



# The Jellinek Residence

REVISIONS	
A.	09/25/23
B.	11/02/23
C.	11/22/23
D.	02/01/24



AN ADDITION & REMODEL FOR:  
**THE JELLINEK RESIDENCE**  
 323 PENNSYLVANIA AVENUE LOS GATOS, CA

COVER SHEET

DATE: 07/05/23

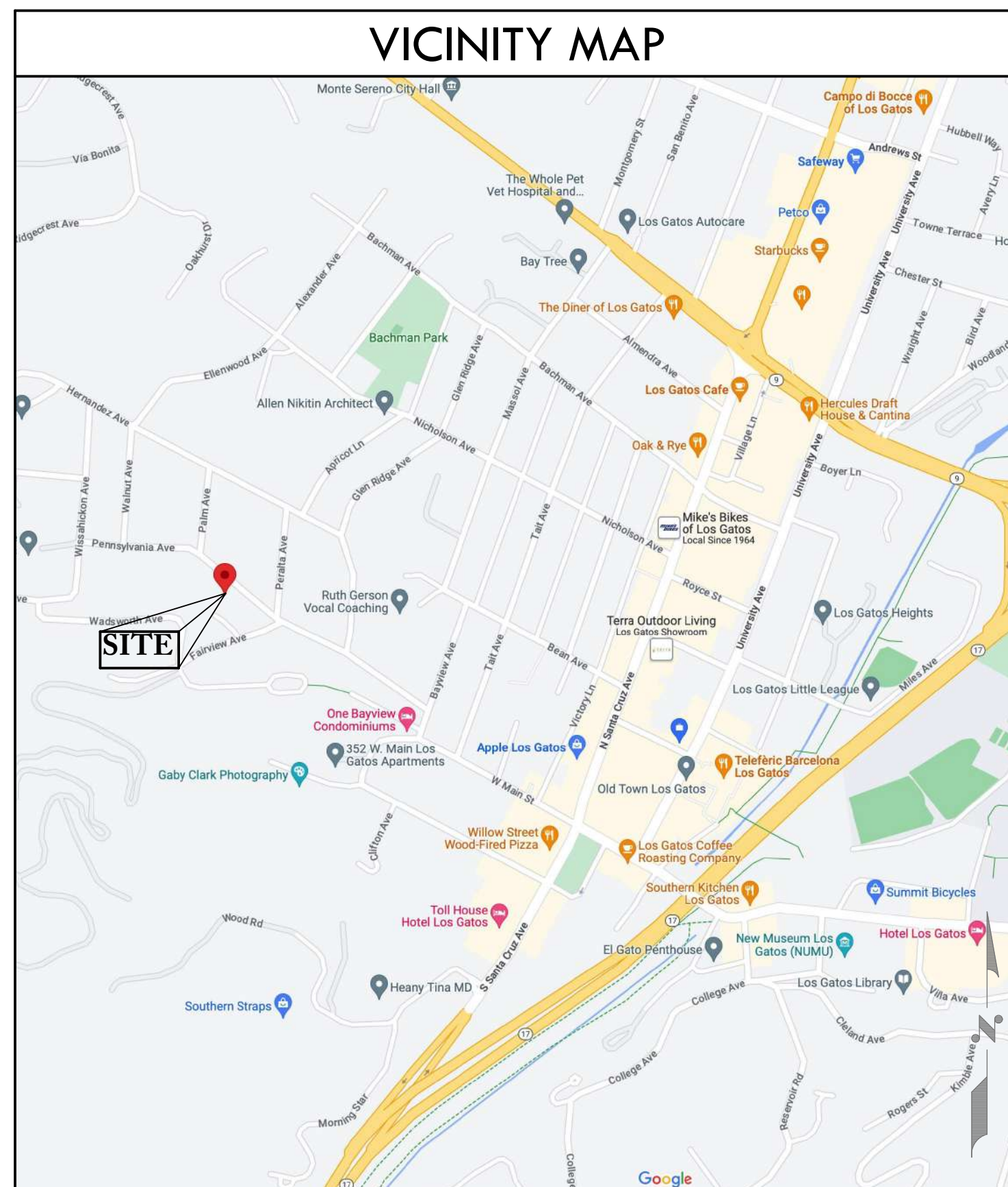
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**A-1**

1 OF -

ATTACHMENT 3



## PROJECT DIRECTORY

**ARCHITECT:**  
 KOHLSAAT & ASSOCIATES  
 51 UNIVERSITY AVENUE, SUITE L  
 LOS GATOS, CA 95030

**CIVIL ENGINEER:**  
 HANNA-BRUNETTI  
 7651 EIGLEBERRY STREET  
 GILROY, CA 95020

## NOTES

1. AN AUTOMATIC FIRE SPRINKLER SYSTEM WILL BE INSTALLED THROUGHOUT, AS A DEFERRED SUBMITTAL.

## SCOPE OF WORK

A REMODEL AND ADDITION OF A PRE-1941 SINGLE FAMILY RESIDENCE AND A NEW DETACHED GARAGE, WHICH INCLUDE A NEW SECOND STORY & BASEMENT. SCOPE INCLUDES 3 TOTAL BEDROOMS, 3 1/2 BATHS, A GAME ROOM, AN OFFICE AND A COVERED LOGGIA. ALSO INCLUDES SITE RETAINING WALLS AND A POOL. REQUESTING REMOVAL OF 3 PROTECTED TREES, TWO OF WHICH ARE IN POOR CONDITION. 4 UNPROTECTED TREES ARE ALSO PROPOSED FOR REMOVAL.

## PROJECT DATA

**PROJECT ADDRESS:** 323 PENNSYLVANIA AVENUE  
 LOS GATOS, CA 95030

**OWNER:** MEGAN JELLINEK

**APN:** 510-43-044  
**ZONING:** R-1.5

**OCCUPANCY GROUP:** R-3/U  
**CONSTRUCTION TYPE:** Y-B / SPRINKLERED

**GROSS & NET SITE AREA:** 9,002 SF  
**AVERAGE SLOPE:** 8.8%

**ALLOWABLE F.A.R. - RESIDENCE:** .35 - [(9.5) X .20] / 25  
 .32 X 9,002 = 2,881 SF

**ALLOWABLE F.A.R. - GARAGE:** .10 - [(9.5) X .07] / 25  
 .089 X 9,002 = 801 SF

**ALLOWABLE BUILDING COVERAGE:** 40% = 3,601 SF  
**ALLOWABLE ACC. STR. COVERAGE:** 15% OF BUILDABLE AREA = 15% OF 4,623 = 693 SF

FLOOR AREAS:	EXISTING	ADDITION	TOTAL	EXISTING STRUCTURES TO BE DEMOLISHED:
MAIN FLOOR	1,801 SF	559 SF	1,860 SF	ADU 410 SF
BASEMENT	0 SF	1,367 SF	1,367 SF	CARPOR 219 SF
DETACHED GARAGE	0 SF	660 SF	660 SF	

SITE AREAS:	EXISTING	PROPOSED
RESIDENCE	1,801 SF	1,860 SF
COVERED PORCH & PATIOS	127 SF	367 SF
LIGHTWELLS	0 SF	321 SF
ADU	410 SF	0 SF
CARPOR/DET. GARAGE	219 SF	660 SF
TOTAL BUILDING COVERAGE	2,057 SF	3,214 SF
PATIOS & PATHS	70 SF	1,058 SF
POOL & SPA	0 SF	551 SF
DRIVEWAY	0 SF	417 SF
TOTAL SITE COVERAGE	2,127 SF	5,148 SF

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- A-4 SITE PLAN & LANDSCAPE PLAN
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- 2 CONSTRUCTION BEST MANAGEMENT PRACTICES
- 3 EXISTING TOPOGRAPHIC SURVEY & DEMOLITION PLAN
- 4 GRADING & DRAINAGE PLAN
- 5 EROSION CONTROL PLAN
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- A-12 GARAGE PLANS
- A-13 SHADOW STUDIES



Front View



Front Left View



Right Side



Right Side



Front Gable



Left Side View



ADU



Porch Left Side



Front Porch



Rear View



Carport

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**KOHLSAAT & ASSOCIATES**  
 51 UNIVERSITY AVE., TULSA, OKLAHOMA 74103 • (918) 396-2555

AN ADDITION & REMODEL FOR:  
**THE JELLINEK RESIDENCE**  
 323 PENNSYLVANIA AVENUE LOS GATOS, CA

EXISTING PHOTOS

DATE: 07/05/23

SCALE: AS SHOWN

SHEET

**A-2**

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**KOHLSAAT & ASSOCIATES**  
51 UNIVERSITY AVE., T.L. - LOS GATOS, CA. - 95030 - (408) 396-2555



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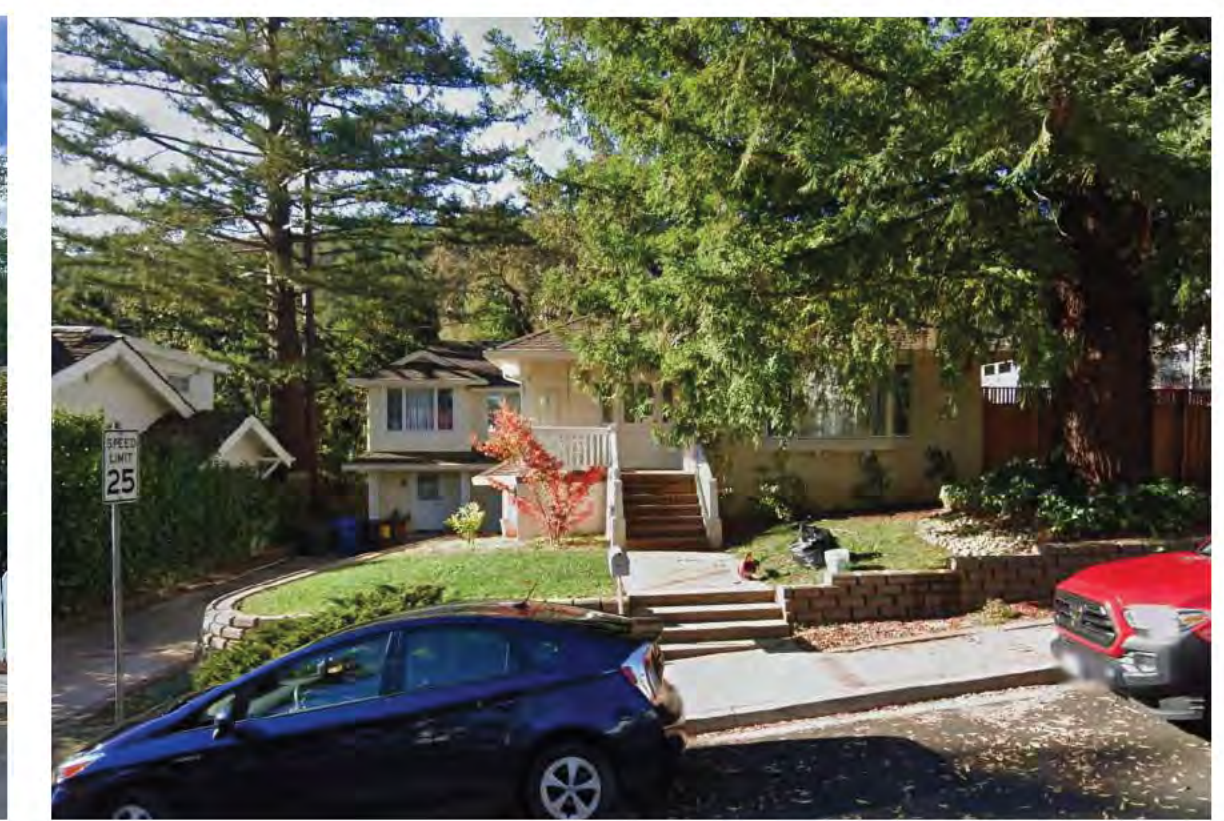
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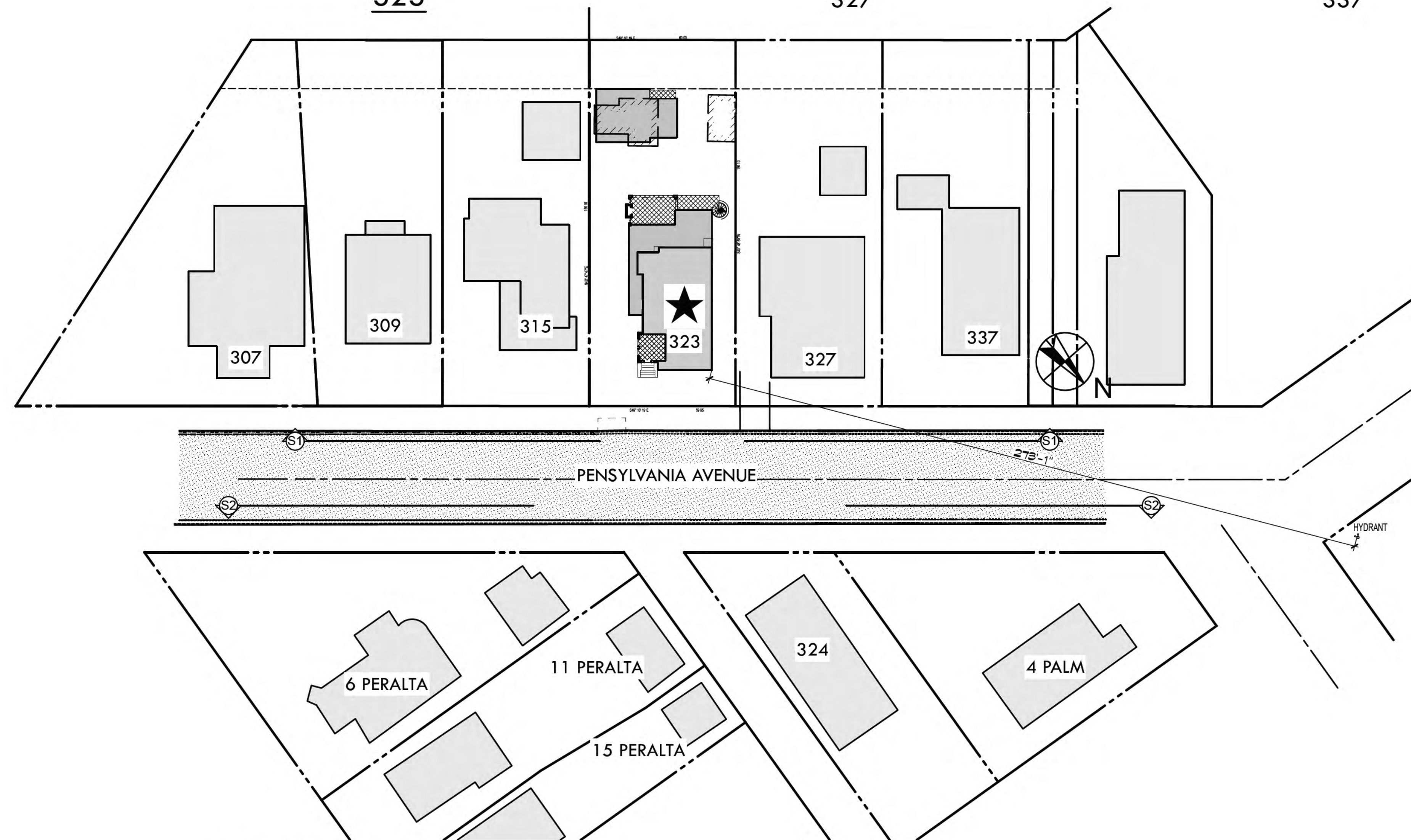


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**STREETSCAPE 1**



**NEIGHBORHOOD PLAN**

SCALE: 1" = 50'



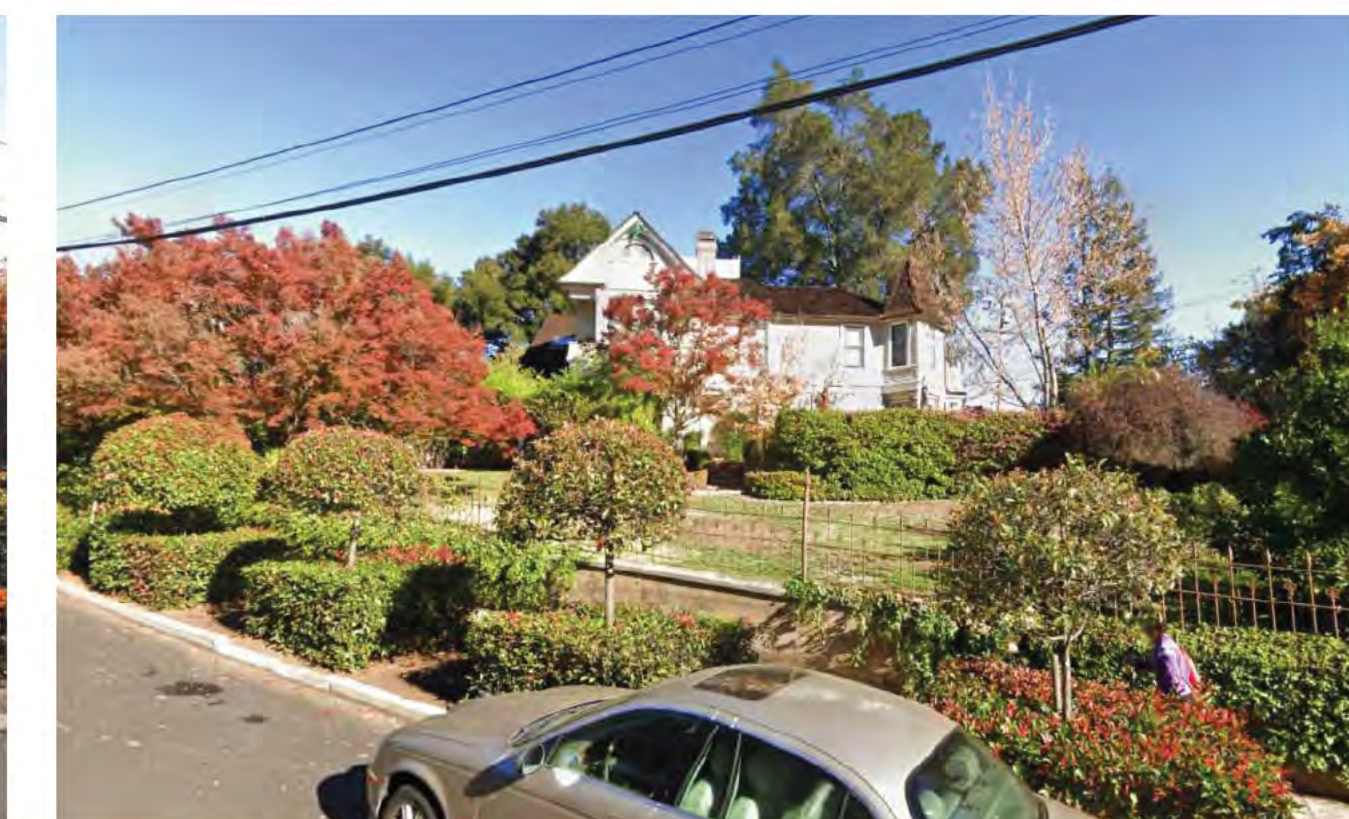
4 Palm



324



11, 15 & 6 Peralta Garages



6 Peralta

**STREETSCAPE 2**

AN ADDITION & REMODEL FOR:  
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 323 PENNSYLVANIA AVENUE LOS GATOS, CA

NEIGHBORHOOD PLAN & STREETSCAPE S

DATE: 07/05/23

SCALE: AS SHOWN

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 51 UNIVERSITY AVE., T., LOS GATOS, CA. 95030 • (408) 396-2555

AN ADDITION & REMODEL FOR:  
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 323 PENNSYLVANIA AVENUE LOS GATOS, CA

SITE PLAN & LANDSCAPE PLAN

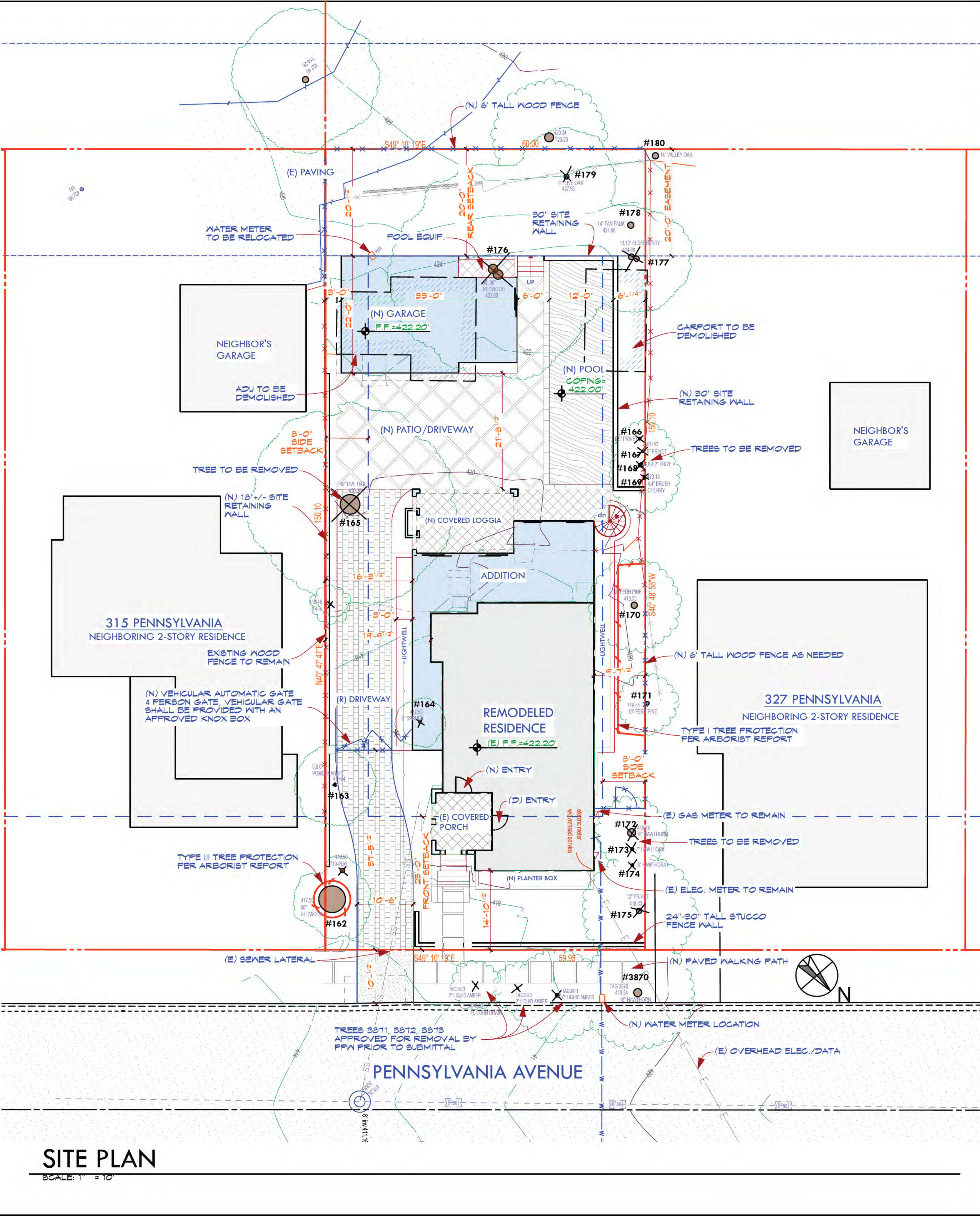
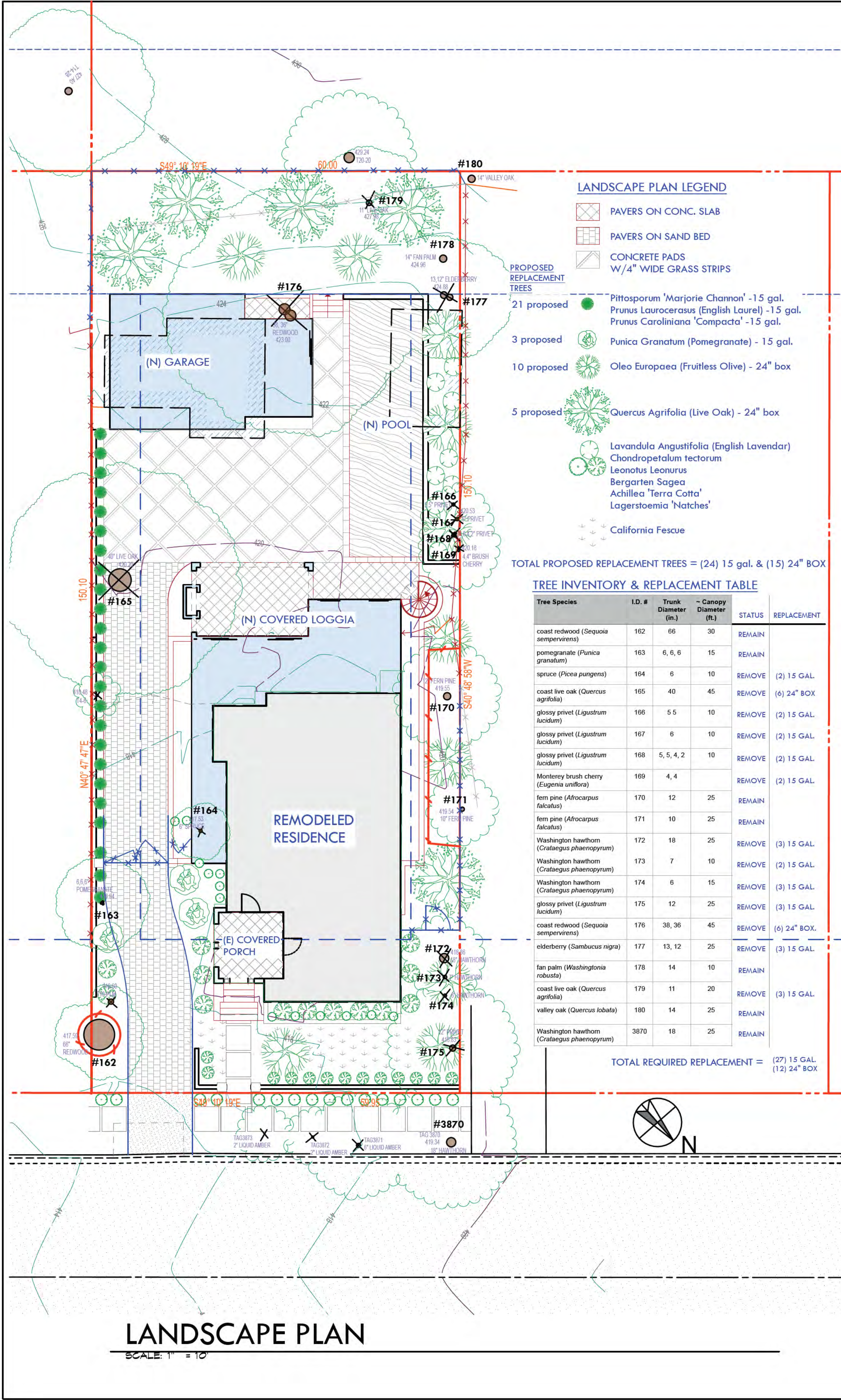
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SCALE: AS SHOWN

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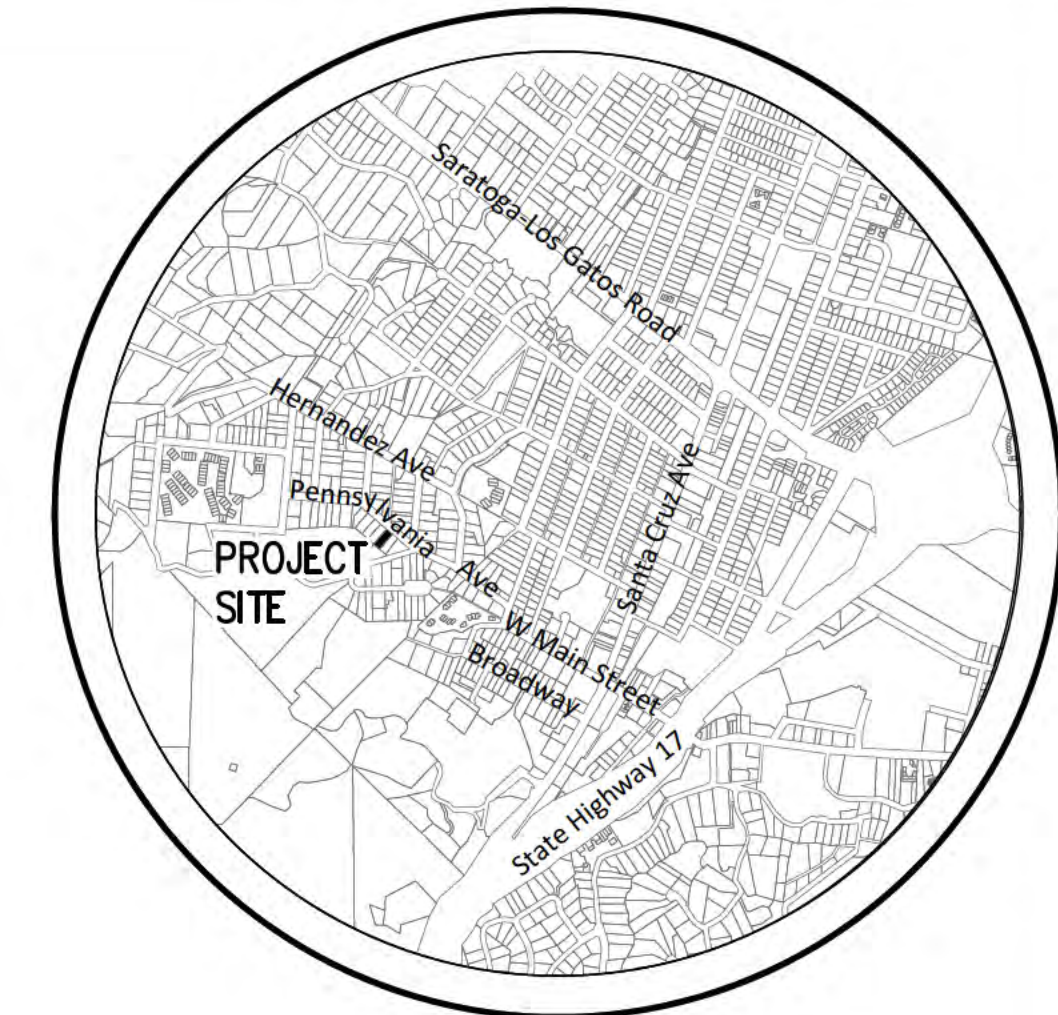
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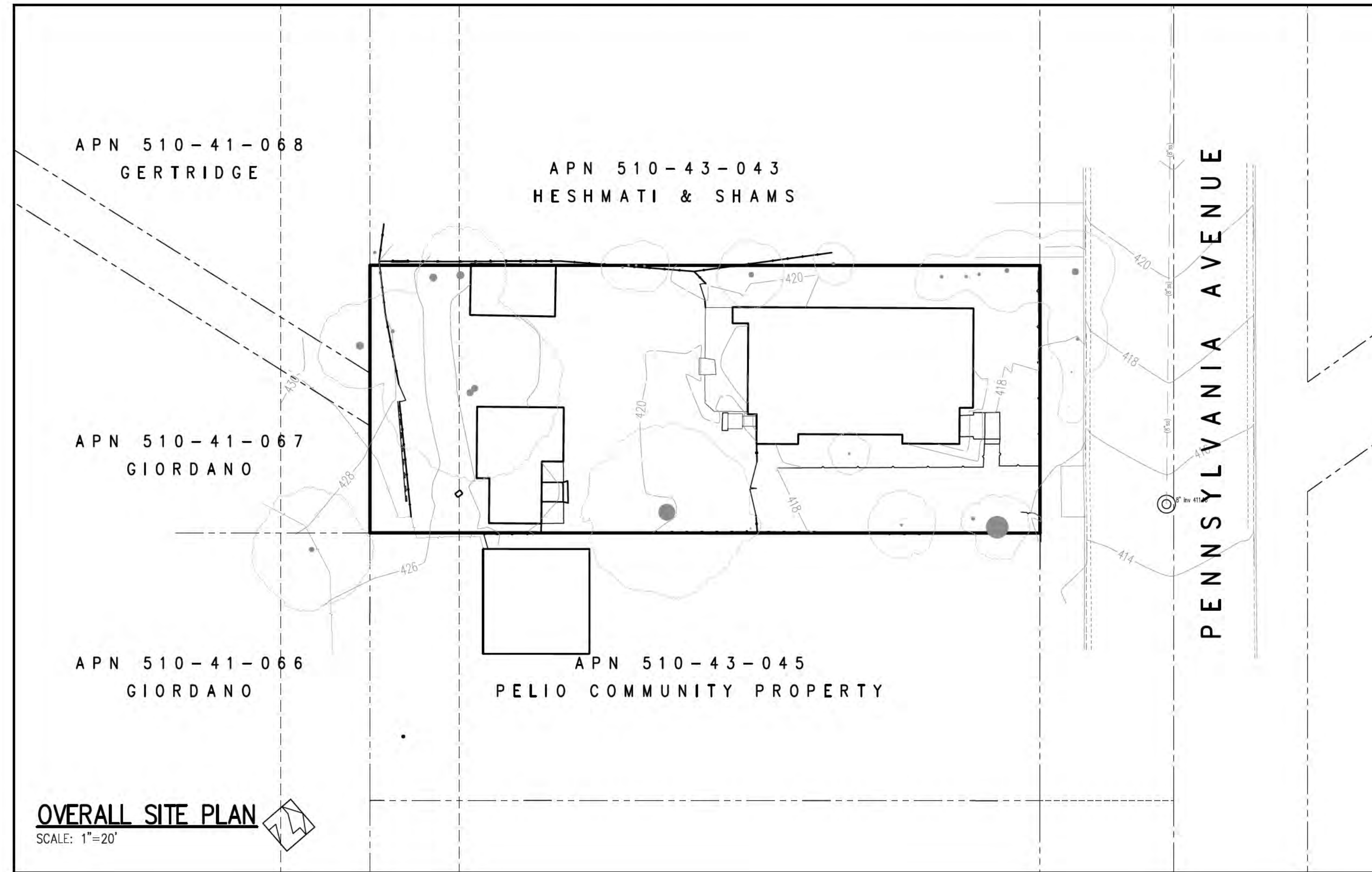
**LANDSCAPE PLAN**  
SCALE: 1" = 10'

**SITE PLAN**  
SCALE: 1" = 10'

# PLAN FOR THE IMPROVEMENT OF GRADING & DRAINAGE PLANS TOWN OF LOS GATOS ARCHITECTURAL AND SITE APPLICATION NO. S-23-018



VICINITY MAP



**OVERALL SITE PLAN**  
SCALE: 1"=20'

## SHEET INDEX

1. TOWN NOTES, PROJECT DATA, LEGEND & ABBREVIATIONS
2. BLUEPRINT FOR A CLEAN BAY SHEET
3. EXISTING TOPOGRAPHY AND DEMOLITION PLAN
4. GRADING & DRAINAGE PLAN
5. EROSION CONTROL PLAN

SITE ELEMENT	CUT	FILL
GARAGE	2.87'	0'
POOL	0.52'	1.71'
DRIVEWAY	0.62'	1.74'

TOTAL SITE AREA: 9000 SF	TOTAL SITE AREA DISTURBED: 7800 SF (INCLUDING CLEARING, GRADING OR EXCAVATING)			TOTAL AREA POST-PROJECT (SF)
	EXISTING AREA (SF)	PROPOSED AREA (SF) REPLACED	NEW	
IMPERVIOUS AREA	2456	1308	2834	5638
TOTAL NEW & REPLACED IMPERVIOUS AREA			4142	
PERVIOUS AREA	6553		3362	

## ABBREVIATIONS

AB	AGGREGATE BASE	GA	GAUGE	R/W	RIGHT-OF-WAY
AC	ASPHALT CONCRETE	GB	GRADE BREAK	(S)	SOUTH
AD	AREA DRAIN	S	SLOPE	SCC	SANTA CLARA COUNTY
ARV	AIR RELEASE VALVE	GS	GAS SERVICE	SCCFD	SANTA CLARA COUNTY FIRE DEPARTMENT
BC	BACK OF CURB	HDPE	HIGH-DENSITY POLYETHYLENE	SD	STORM DRAIN
BFP	BACKFLOW PREVENTER	HP	HIGH POINT	SDCO	STORM DRAIN CLEANOUT
BW	BOTTOM OF WALL	IE	INGRESS/EGRESS EASEMENT	SDE	STORM DRAIN EASEMENT
CATV	CABLE TELEVISION	IN	INCH	SDMH	STORM DRAIN MANHOLE
CB	CATCH BASIN	INV	INVERT ELEVATION	SDR	STANDARD DIMENSION RATIO
CFS	CUBIC FEET PER SECOND	LAT	LATERAL	SF	SQUARE FEET
C/L	CENTERLINE	LG	LIP OF GUTTER	SIJWC	SAN JOSE WATER COMPANY
CMP	CORRUGATED METAL PIPE	LP	LOW POINT	SS	SANITARY SEWER
CO	CLEANOUT	MAX	MAXIMUM	SSCO	SANITARY SEWER CLEANOUT
CY	CUBIC YARD	MH	MANHOLE	SSE	SANITARY SEWER EASEMENT
DCVA	DOUBLE CHECK VALVE ASSEMBLY	MIN	MINIMUM	SSVMH	SANITARY SEWER MANHOLE
DI	DROP INLET	MPH	MILES PER HOUR	STD	STANDARD
DIA	DIAMETER	(N)	NORTH	S/W	SIDEWALK
DIP	DUCTILE IRON PIPE	N.T.S.	NOT TO SCALE	TC	TOP OF CURB
DWY	DRIVEWAY	O.C.	ON CENTER	TLG	TELEPHONE
(E)	EAST	O.D.	OUTSIDE DIAMETER	TW	TOWN OF LOS GATOS
EG	EXISTING GRADE	PAD	PAD ELEVATION	TW	TOP OF WALL
ELEC	ELECTRICAL	PCC	PORTLAND CEMENT CONCRETE	TYP	TYPICAL
EP	EDGE OF PATH	PERF	PERFORATED	VCP	VITRIFIED CLAY PIPE
EVAE	EMERGENCY VEHICLE ACCESS EASEMENT	PG&E	PACIFIC GAS & ELECTRIC COMPANY	(W)	WEST
EX	EXISTING	PIEE	PRIVATE INGRESS/EGRESS EASEMENT	W	WATER
FC	FACE OF CURB	PL	PROPERTY LINE	WM	WATER METER
FDC	FIRE DEPARTMENT CONNECTION	PR	PROPOSED	WS	WATER SERVICE
FF	FINISHED FLOOR ELEVATION	PSDE	PRIVATE STORM DRAIN EASEMENT	WV	WATER VALVE
FG	FINISHED GRADE	PSE	PUBLIC SERVICE EASEMENT	WVSD	WEST VALLEY SANITATION DISTRICT
FH	FIRE HYDRANT	PSSE	PRIVATE SANITARY SEWER EASEMENT	XING	CROSSING
FL	FLOW LINE	PUE	PUBLIC UTILITY EASEMENT		
FM	FORCED MAIN	PVC	POLYVINYL CHLORIDE		
FS	FIRE SERVICE	R	RADIUS		
FT	FEET	RCP	REINFORCED CONCRETE PIPE		
G	GAS	RIM	RIM ELEVATION		

## NOTE:

WHERE THE FIRM OF HANNA & BRUNETTI DOES NOT PROVIDE CONSTRUCTION STAKES, SAID FIRM WILL ASSUME NO RESPONSIBILITY WHATSOEVER FOR IMPROVEMENTS CONSTRUCTED THEREFROM.

## NOTE TO CONTRACTOR

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

## NOTE:

ADVANCE NOTICE SHALL BE PROVIDED TO NEIGHBORING PROPERTY OWNERS AND SCHOOLS OF HEAVY CONSTRUCTION ACTIVITIES AND HEAVY CONSTRUCTION SHALL NOT START BEFORE 8:30 AM ON DAYS WHEN SCHOOLS ARE IN SESSION. NO CONSTRUCTION IS ALLOWED ON SUNDAYS.

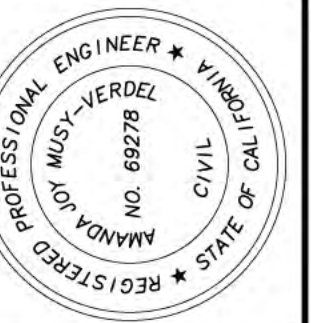
## UTILITY INFORMATION:

WATER	SAN JOSE WATER COMPANY
SANITARY SEWER	WEST VALLEY SANITATION DISTRICT
GAS & ELECTRIC SERVICES	PACIFIC GAS & ELECTRIC
GARBAGE COLLECTION CO.	WEST VALLEY COLLECTION & RECYCLING, LLC
TELEPHONE	FRONTIER COMMUNICATIONS
STORM DRAIN	TOWN OF LOS GATOS

**PRELIMINARY PLANS  
NOT FOR CONSTRUCTION**

## TOWN OF LOS GATOS STANDARD PUBLIC IMPROVEMENT NOTES

1. ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH THE FOLLOWING:
  - a. TOWN OF LOS GATOS ENGINEERING DESIGN STANDARDS AND SPECIFICATIONS (UNLESS SPECIFICALLY STATED OTHERWISE ON THE PLANS).
  - b. ALL TOWN OF LOS GATOS CONDITIONS OF APPROVAL RELATED TO THE PROJECT.
  - c. THESE PLANS AND DETAILS.
  - d. RECOMMENDATIONS OF THE PROJECT SOILS INVESTIGATION SOILS ENGINEER REFERENCE REPORT NO. \_\_\_\_\_ DATED \_\_\_\_\_ SHALL BE THOROUGHLY COMPLIED WITH. BOTH THE MENTIONED REPORT AND ALL UPDATES/ADDENDUMS/LETTERS ARE HEREBY APPENDED AND MADE A PART OF THESE PLANS.
2. NO WORK MAY BE STARTED ON-SITE WITHOUT AN APPROVED GRADING PLAN AND A GRADING PERMIT ISSUED BY THE TOWN OF LOS GATOS, PARKS AND PUBLIC WORKS DEPARTMENT LOCATED AT 41 MILES AVENUE, LOS GATOS, CA 95030.
3. A PRE-JOB MEETING SHALL BE HELD WITH THE TOWN ENGINEERING INSPECTOR FROM THE PARKS AND PUBLIC WORKS DEPARTMENT PRIOR TO ANY WORK BEING DONE. THE CONTRACTOR SHALL CALL THE INSPECTIONS LINE AT (408) 399-5771 AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO ANY GRADING OR ONSITE WORK. THIS MEETING SHOULD INCLUDE:
  - a. A DISCUSSION OF THE PROJECT CONDITIONS OF APPROVAL, WORKING HOURS, SITE MAINTENANCE AND OTHER CONSTRUCTION MATTERS;
  - b. ACKNOWLEDGEMENT IN WRITING THAT CONTRACTOR AND APPLICANT HAVE READ AND UNDERSTAND THE PROJECT CONDITIONS OF APPROVAL, AND WILL MAKE CERTAIN THAT ALL PROJECT SUB-CONTRACTORS HAVE READ AND UNDERSTAND THEM PRIOR TO COMMENCING WORK AND THAT A COPY OF THE PROJECT CONDITIONS OF APPROVAL WILL BE POSTED ON SITE AT ALL TIMES DURING CONSTRUCTION.
4. APPROVAL OF PLANS DOES NOT RELEASE THE DEVELOPER OF THE RESPONSIBILITY FOR THE CORRECTION OF MISTAKES, ERRORS, OR OMISSIONS CONTAINED THEREIN. IF, DURING THE COURSE OF CONSTRUCTION OR THE IMPROVEMENTS, PUBLIC INTEREST AND SAFETY REQUIRES A MODIFICATION OR DEPARTURE FROM THE TOWN SPECIFICATIONS OR THESE IMPROVEMENT PLANS, THE TOWN ENGINEER SHALL HAVE FULL AUTHORITY TO REQUIRE SUCH MODIFICATION OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE MADE.
5. APPROVAL OF THIS PLAN APPLIES ONLY TO THE GRADING, EXCAVATION, PLACEMENT, AND COMPACTION OF NATURAL EARTH MATERIALS. THIS APPROVAL DOES NOT CONFER ANY RIGHTS OF ENTRY TO EITHER PUBLIC PROPERTY OR THE PRIVATE PROPERTY OF OTHERS AND DOES NOT CONSTITUTE APPROVAL OF ANY OTHER IMPROVEMENTS.
6. IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE OR CONTRACTOR TO IDENTIFY, LOCATE AND PROTECT ALL UNDERGROUND FACILITIES. PERMITTEE OR CONTRACTOR SHALL NOTIFY USA (UNDERGROUND SERVICE ALERT) AT 1-800-227-2600 A MINIMUM OF FORTY-EIGHT (48) HOURS BUT NOT MORE THAN FOURTEEN (14) DAYS PRIOR TO COMMENCING ALL WORK.
7. ALL WORK SHALL BE PERFORMED IN SUCH A MANNER AS TO COMPLY WITH THE STANDARDS ESTABLISHED BY THE AIR QUALITY MANAGEMENT DISTRICT FOR AIRBORNE PARTICULATES.
8. THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL LAWS, CODES, RULES AND REGULATIONS GOVERNING THE WORK IDENTIFIED ON THESE PLANS. THESE SHALL INCLUDE, WITHOUT LIMITATION, SAFETY AND HEALTH RULES AND REGULATIONS ESTABLISHED BY OR PURSUANT TO THE OCCUPATIONAL SAFETY AND HEALTH ACT OR ANY OTHER APPLICABLE PUBLIC AUTHORITY.
9. THE GENERAL CONTRACTOR SHALL PROVIDE QUALIFIED SUPERVISION ON THE JOB SITE AT ALL TIMES DURING CONSTRUCTION.
10. CONTRACTOR SHALL EXERCISE ALL NECESSARY CAUTION TO AVOID DAMAGE TO ANY EXISTING TREES, SURFACE IMPROVEMENTS, DRAINAGE, WATER, SEWER, ELECTRICAL OR TELECOMMUNICATION FACILITIES WHETHER ABOVE GROUND OR UNDERGROUND. CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR ANY DAMAGE THERETO.
11. HORIZONTAL AND VERTICAL CONTROLS SHALL BE SET AND CERTIFIED BY A LICENSED SURVEYOR OR REGISTERED CIVIL ENGINEER QUALIFIED TO PRACTICE LAND SURVEYING.
12. DURING CONSTRUCTION, ALL APPLICABLE WORK (SUBGRADE, PAVING, ETC.) SHALL BE INSPECTED BY THE APPLICANT'S SOILS ENGINEER. THE ENGINEER SHALL BE NOTIFIED AT LEAST 48 HOURS BEFORE BEGINNING SUCH WORK. THE ENGINEER SHALL BE ON-SITE TO VERIFY CONDITIONS AS REQUIRED IN HIS REPORT. SHOULD ANY CHANGES TO THE REPORT RECOMMENDATIONS BE NECESSARY, TOWN APPROVAL SHALL BE OBTAINED PRIOR TO ANY ASSOCIATED WORK.
13. THE RESULTS OF THE CONSTRUCTION OBSERVATION AND TESTING SHALL BE DOCUMENTED IN AN "AS-BUILT" LETTER/REPORT PREPARED BY THE APPLICANTS' SOILS ENGINEER AND SUBMITTED FOR THE TOWN'S REVIEW AND ACCEPTANCE BEFORE FINAL RELEASE OF ANY OCCUPANCY PERMIT IS GRANTED.
14. ALL PRIVATE AND PUBLIC STREETS ACCESSING PROJECT SITE SHALL BE KEPT OPEN AND IN A SAFE, DRIVABLE CONDITION THROUGHOUT CONSTRUCTION. IF TEMPORARY CLOSURE IS NEEDED, THEN FORMAL WRITTEN NOTICE TO THE ADJACENT NEIGHBORS AND THE TOWN OF LOS GATOS PARKS AND PUBLIC WORKS DEPARTMENT SHALL BE PROVIDED AT LEAST ONE WEEK IN ADVANCE OF CLOSURE, AND NO CLOSURE SHALL BE GRANTED WITHOUT THE EXPRESS WRITTEN APPROVAL OF THE TOWN. NO MATERIAL OR EQUIPMENT SHALL BE STORED IN THE PUBLIC OR PRIVATE RIGHT-OF-WAY.
15. THE CONTRACTOR SHALL INSTALL AND MAINTAIN FENCES, BARRIERS, LIGHTS AND SIGNS THAT ARE NECESSARY TO GIVE ADEQUATE WARNING AND PROTECTION TO THE PUBLIC AT ALL TIMES.
16. OWNER/APPLICANT: \_\_\_\_\_ PHONE: \_\_\_\_\_
17. GENERAL CONTRACTOR: \_\_\_\_\_ PHONE: \_\_\_\_\_
18. A TOWN ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY. A STATE ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK WITHIN STATE RIGHT-OF-WAY (IF APPLICABLE). THE PERMITTEE AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING INSPECTION PERFORMED BY OTHER GOVERNMENTAL AGENCIES.
19. GOOD HOUSEKEEPING PRACTICES SHALL BE OBSERVED AT ALL TIMES DURING THE COURSE OF CONSTRUCTION. SUPERINTENDENCE OF CONSTRUCTION SHALL BE DILIGENTLY PERFORMED BY A PERSON OR PERSONS AUTHORIZED TO DO SO AT ALL TIMES DURING WORKING HOURS. THE STORING OF GOODS AND/OR MATERIALS ON THE SIDEWALK AND/OR THE STREET WILL NOT BE ALLOWED UNLESS A SPECIAL PERMIT IS ISSUED BY THE ENGINEERING DIVISION. THE ADJACENT PUBLIC RIGHT-OF-WAY SHALL BE KEPT CLEAR OF ALL JOB RELATED DIRT AND DEBRIS AT THE END OF THE DAY. FAILURE TO MAINTAIN THE PUBLIC RIGHT-OF-WAY ACCORDING TO THIS CONDITION MAY RESULT IN PENALTIES AND/OR THE TOWN PERFORMING THE REQUIRED MAINTENANCE AT THE DEVELOPER'S EXPENSE.



DATE:	FEBRUARY 8, 2024
SCALE:	AS SHOWN
DESIGN:	AM
DRAWN:	TM
CHECK:	XX
ENGR:	AM

PLAN FOR THE IMPROVEMENT OF  
**LANDS OF JELLINEK - 323 PENNSYLVANIA AVENUE**  
 APN 510-43-044  
**COVER SHEET**  
 ARCHITECTURAL AND SITE APPLICATION S-23-018

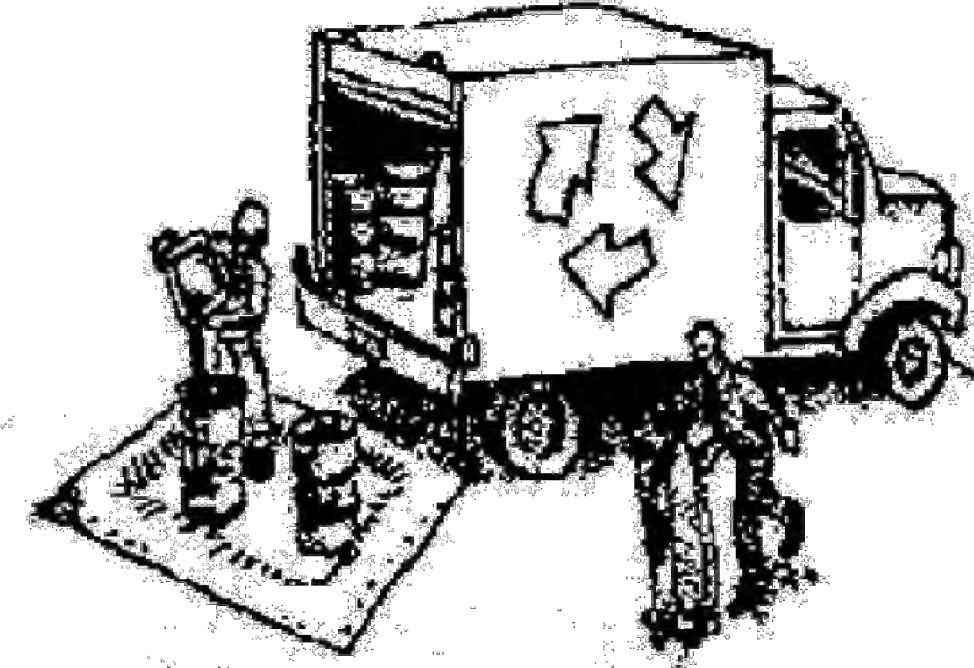
**HANNA-BRUNETTI**  
 EST. 1982  
 CIVIL ENGINEERS - LAND SURVEYORS  
 CONSTRUCTION MANAGERS  
 7651 EGLIBERRY STREET - GILROY - 95020 - CALIFORNIA  
 OFFICE (408) 842-2173  
 EMAIL: ENGINEERING@HANNABRUNETTI.COM

REVISIONS	DATE	BY	REVISIONS

# Construction Best Management Practices (BMPs)

Construction projects are required to implement year-round stormwater BMPs.

## Materials & Waste Management



### Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or when they are not in use.
- Use (but don't overuse) reclaimed water for dust control.
- Ensure dust control water doesn't leave site or discharge to storm drains.

### Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with City, County, State and Federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and do not use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

### Waste Management

- Cover and maintain dumpsters. Check frequently for leaks. Place dumpsters under roofs or cover with tarps or plastic sheeting secured around the outside of the dumpster. A plastic liner is recommended to prevent leaks. Never clean out a dumpster by hosing it down on the construction site.
- Place portable toilets away from storm drains. Make sure they are in good working order. Check frequently for leaks.
- Dispose of all wastes and demolition debris properly. Recycle materials and wastes that can be recycled, including solvents, water-based paints, vehicle fluids, broken asphalt and concrete, wood, and cleared vegetation.
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.
- Keep site free of litter (e.g. lunch items, cigarette butts).
- Prevent litter from uncovered loads by covering loads that are being transported to and from site.

### Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

## Equipment Management & Spill Control



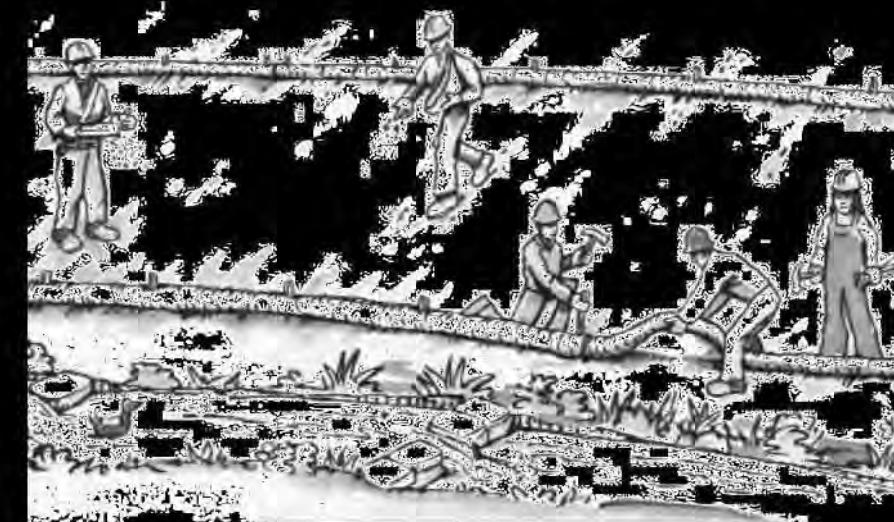
### Maintenance and Parking

- Designate an area of the construction site, well away from streams or storm drain inlets and fitted with appropriate BMPs, for auto and equipment parking, and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment, and do not use diesel oil to lubricate equipment or parts onsite.

### Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Maintain all vehicles and heavy equipment. Inspect frequently for and repair leaks. Use drip pans to catch leaks until repairs are made.
- Clean up leaks, drips and other spills immediately and dispose of cleanup materials properly.
- Use dry cleanup methods whenever possible (absorbent materials, cat litter and/or rags).
- Sweep up spilled dry materials immediately. Never attempt to "wash them away" with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills to the appropriate local spill response agencies immediately. If the spill poses a significant hazard to human health and safety, property or the environment, you must report it to the State Office of Emergency Services. (800) 852-7550 (24 hours).

## Earthmoving



### Grading and Earthwork

- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, plant temporary vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, drainage courses and streams by installing and maintaining appropriate BMPs (i.e. silt fences, gravel bags, fiber rolls, temporary swales, etc.).
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

### Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
  - Unusual soil conditions, discoloration, or odor.
  - Abandoned underground tanks.
  - Abandoned wells
  - Buried barrels, debris, or trash.
- If the above conditions are observed, document any signs of potential contamination and clearly mark them so they are not disturbed by construction activities.

### Landscaping

- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

## Concrete Management and Dewatering



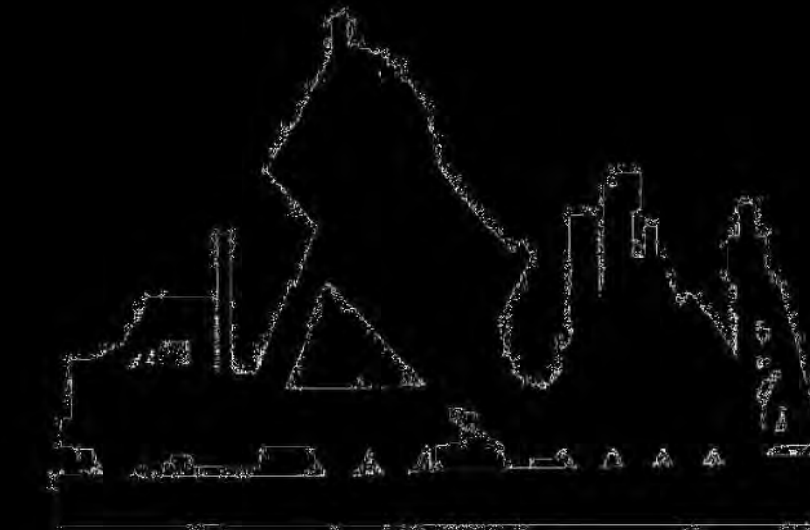
### Concrete Management

- Store both dry and wet materials under cover, protected from rainfall and runoff and away from storm drains or waterways. Store materials off the ground, on pallets. Protect dry materials from wind.
- Wash down exposed aggregate concrete only when the wash water can (1) flow onto a dirt area; (2) drain onto a bermed surface from which it can be pumped and disposed of properly; or (3) block any storm drain inlets and vacuum washwater from the gutter. If possible, sweep first.
- Wash out concrete equipment/trucks offsite or in a designated washout area onsite, where the water will flow into a temporary waste pit, and make sure wash water does not leach into the underlying soil. (See CASQA Construction BMP Handbook for properly designed concrete washouts.)

### Dewatering

- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible, send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer, call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

## Paving/Asphalt Work



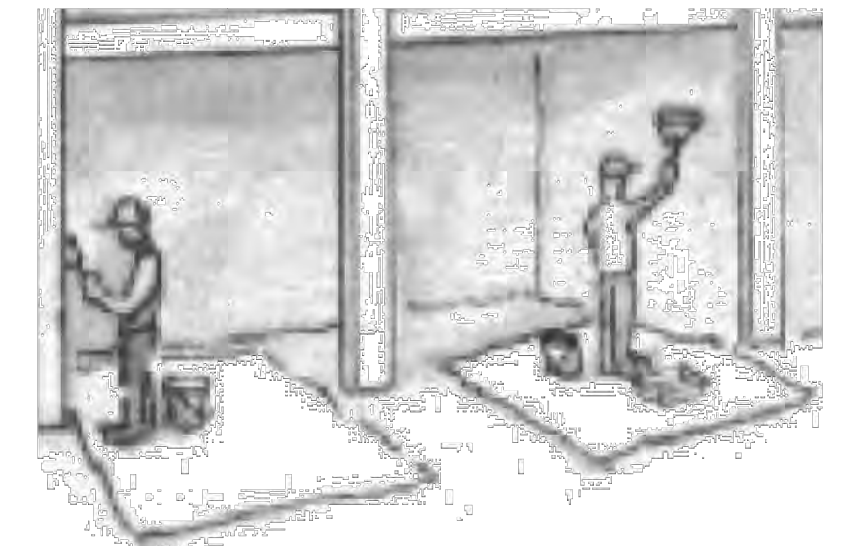
### Paving

- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, slurry seal, fog seal, or similar materials.
- Collect and recycle or properly dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.

### Sawcutting & Asphalt/Concrete Removal

- Protect storm drain inlets during saw cutting.
- If saw cut slurry enters a catch basin, clean it up immediately.
- Shovel or vacuum saw cut slurry deposits and remove from the site. When making saw cuts, use as little water as possible. Sweep up, and properly dispose of all residues.

## Painting & Paint Removal



### Painting Cleanup and Removal

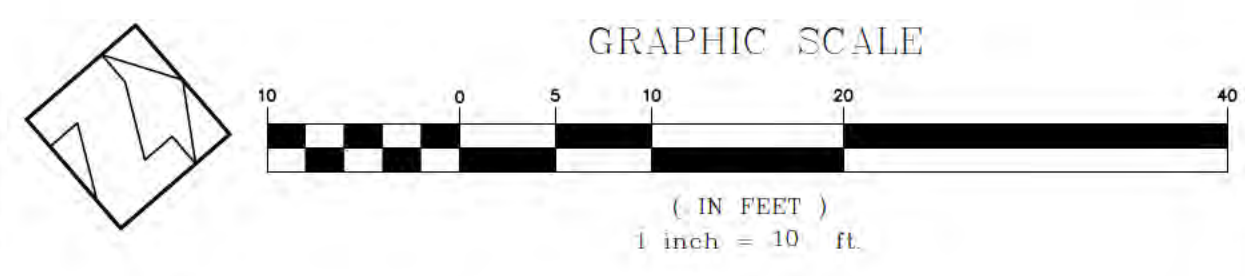
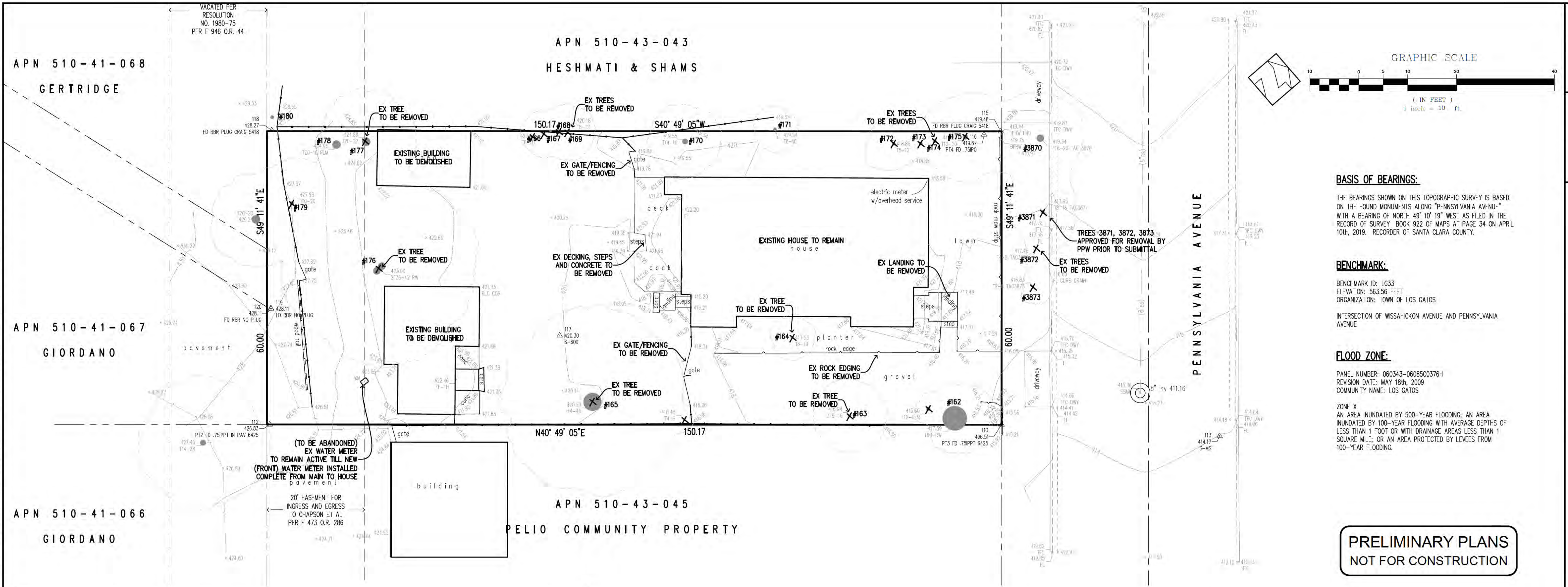
- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Sweep up or collect paint chips and dust from non-hazardous dry stripping and sand blasting into plastic drop cloths and dispose of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.



Santa Clara Valley  
Urban Runoff  
Pollution Prevention Program

Storm drain polluters may be liable for fines of up to \$10,000 per day!

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF ALL PERSONS AND PROPERTY, INCLUDING THE SAFETY OF THE PUBLIC, AND SHALL BE RESPONSIBLE FOR THE PERFORMANCE OF WORK ON THIS PROJECT, ACCEPTING FULL LIABILITY THEREFOR TO THE OWNER AND THE ENGINEER.



**BASIS OF BEARINGS:**

THE BEARINGS SHOWN ON THIS TOPOGRAPHIC SURVEY IS BASED ON THE FOUND MONUMENTS ALONG "PENNSYLVANIA AVENUE" WITH A BEARING OF NORTH 49° 10' 19\"/>

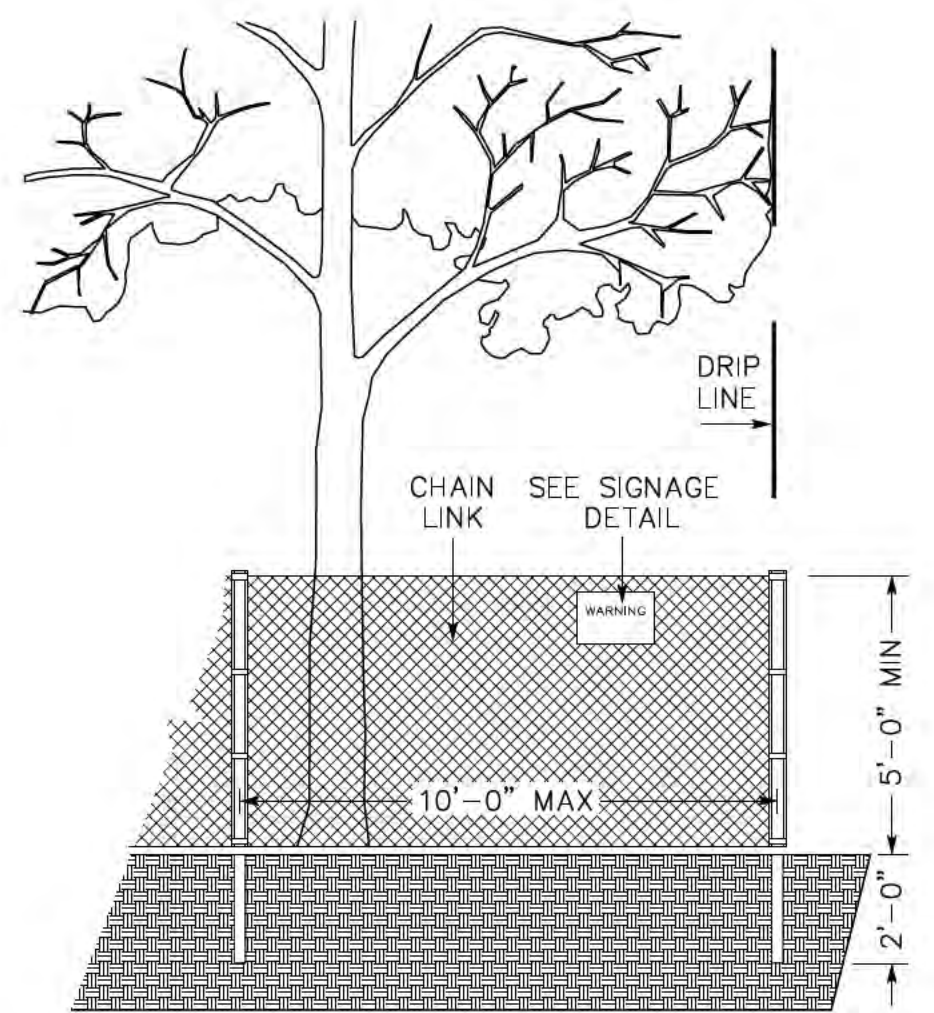
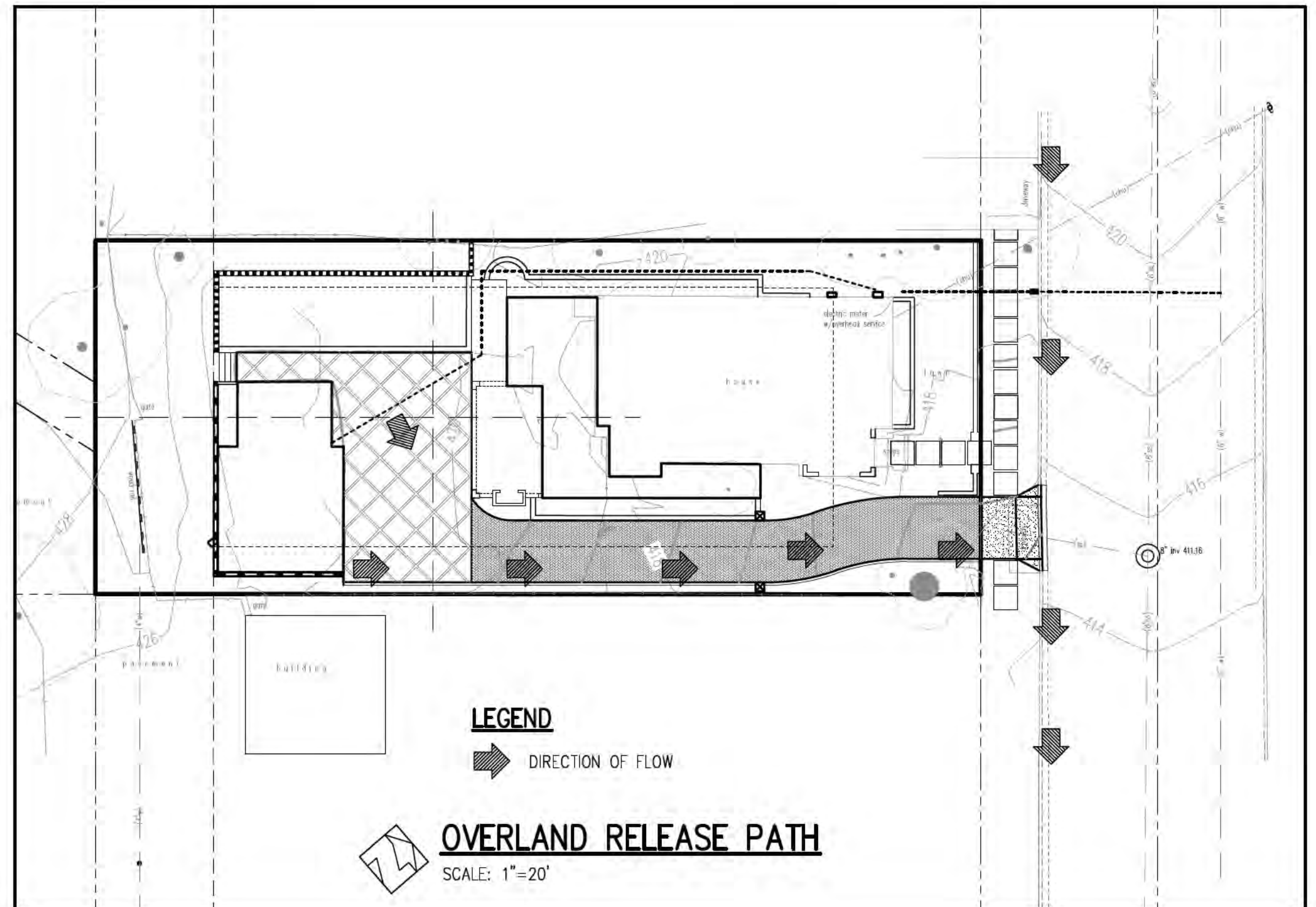
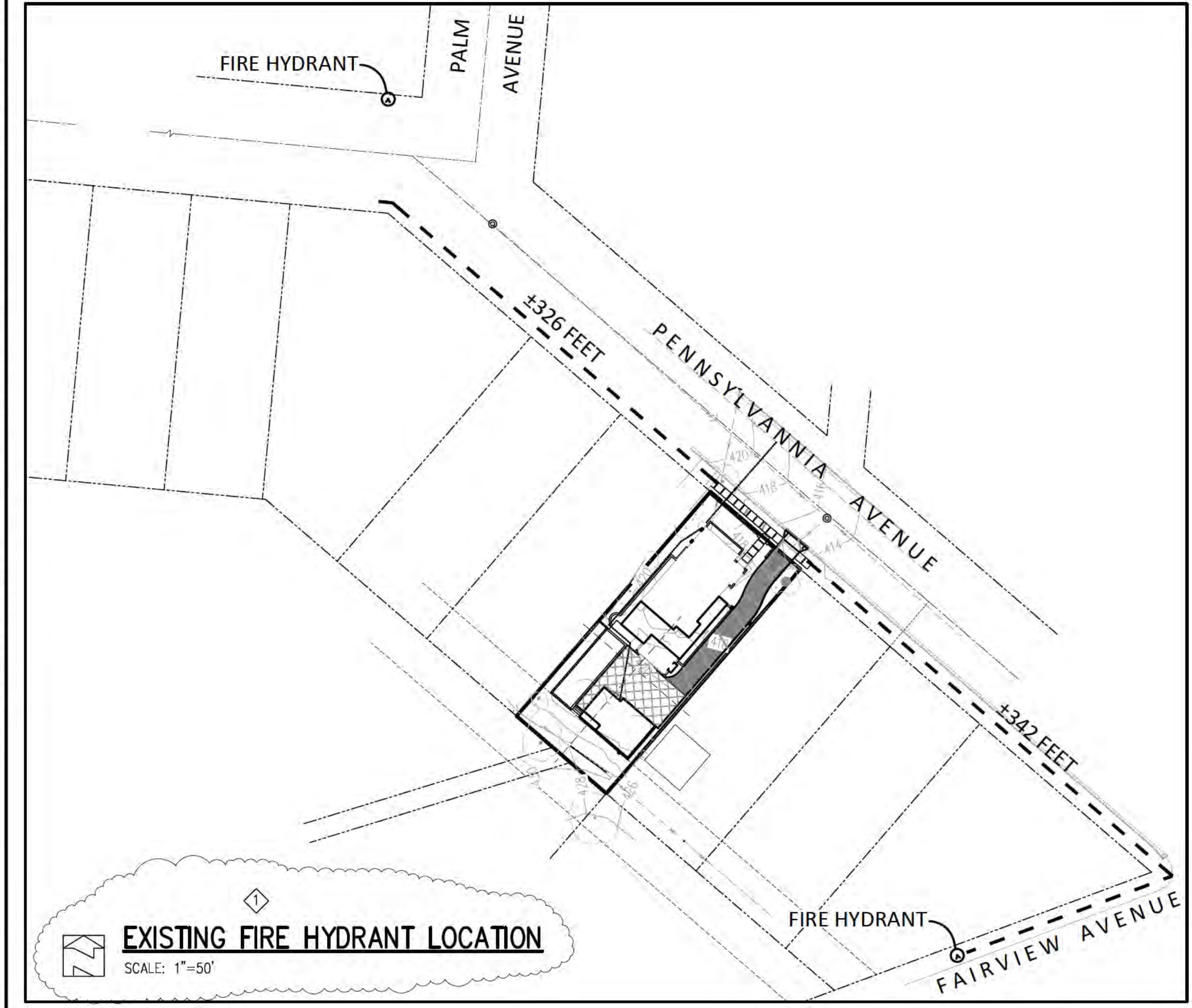
**BENCHMARK:**

BENCHMARK ID: LG33  
ELEVATION: 563.56 FEET  
ORGANIZATION: TOWN OF LOS GATOS  
INTERSECTION OF WISSAHICKON AVENUE AND PENNSYLVANIA AVENUE

**FLOOD ZONE:**

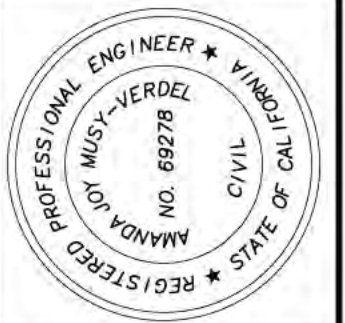
PANEL NUMBER: 060343-060850376H  
REVISION DATE: MAY 18th, 2009  
COMMUNITY NAME: LOS GATOS  
  
ZONE X  
AN AREA INUNDED BY 500-YEAR FLOODING; AN AREA INUNDED BY 100-YEAR FLOODING WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; OR AN AREA PROTECTED BY LEVELS FROM 100-YEAR FLOODING.

**PRELIMINARY PLANS  
NOT FOR CONSTRUCTION**



**EXISTING TREE PROTECTION DETAILS**

- PRIOR TO THE COMMENCEMENT OF ANY GRADING, TREE PROTECTIVE FENCING SHALL BE IN PLACE IN ACCORDANCE WITH THE TREE PRESERVATION PLAN AND INSPECTED BY A CERTIFIED ARBORIST. THE ARBORIST SHALL MONITOR CONSTRUCTION ACTIVITY TO ENSURE THAT THE TREE PROTECTION MEASURES ARE IMPLEMENTED AND ADHERED TO DURING CONSTRUCTION. THIS CONDITION SHALL BE INCORPORATED INTO THE GRADING PLANS.
- FENCE SHALL BE MINIMUM 5 FEET TALL CONSTRUCTED OF STURDY MATERIAL (CHAIN-LINK OR EQUIVALENT STRENGTH/ DURABILITY).
- FENCE SHALL BE SUPPORTED BY VERTICAL POSTS DRIVEN 2 FEET (MIN) INTO THE GROUND AND SPACED NOT MORE THAN 10 FEET APART.
- TREE FENCING SHALL BE MAINTAINED THROUGHOUT THE SITE DURING THE CONSTRUCTION PERIOD, INSPECTED PERIODICALLY FOR DAMAGE AND PROPER FUNCTION, REPAIRED AS NECESSARY TO PROVIDE A PHYSICAL BARRIER FROM CONSTRUCTION ACTIVITIES, AND REMAIN IN PLACE UNTIL THE FINAL INSPECTION.
- A SIGN THAT INCLUDES THE WORDS, "WARNING: THIS FENCE SHALL NOT BE REMOVED WITHOUT THE EXPRESSED PERMISSION OF THE SANTA CLARA COUNTY PLANNING OFFICE," SHALL BE SECURELY ATTACHED TO THE FENCE IN A VISUALLY PROMINENT LOCATION.

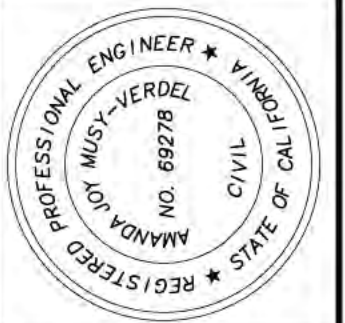


DATE:	FEBRUARY 8, 2024
SCALE:	1"=30'
DESIGN:	AM
DRAWN:	TM
CHECK:	XX
ENGR:	AM
PROJECT NO.:	22066

PLAN FOR THE IMPROVEMENT OF  
**LANDS OF JELLINEK - 323 PENNSYLVANIA AVENUE**  
APN 510-43-044  
**EXISTING TOPOGRAPHIC SURVEY AND DEMOLITION PLAN**  
ARCHITECTURAL AND SITE APPLICATION S-23-018  
TOWN OF LOS GATOS  
PARKS AND PUBLIC WORKS DEPARTMENT

**HANNA-BRUNETTI**  
EST. 1970  
CIVIL ENGINEERS • LAND SURVEYORS  
CONSTRUCTION MANAGERS  
7651 EGLEBERRY STREET • GILROY • 95020 • CALIFORNIA  
OFFICE: (408) 842-2173  
EMAIL: ENGINEERING@HANNABRUNETTI.COM

REVISIONS	BY	DATE	COMMENTS
1	AM/TM	9/20/23	REVISE PER CITY COMMENTS



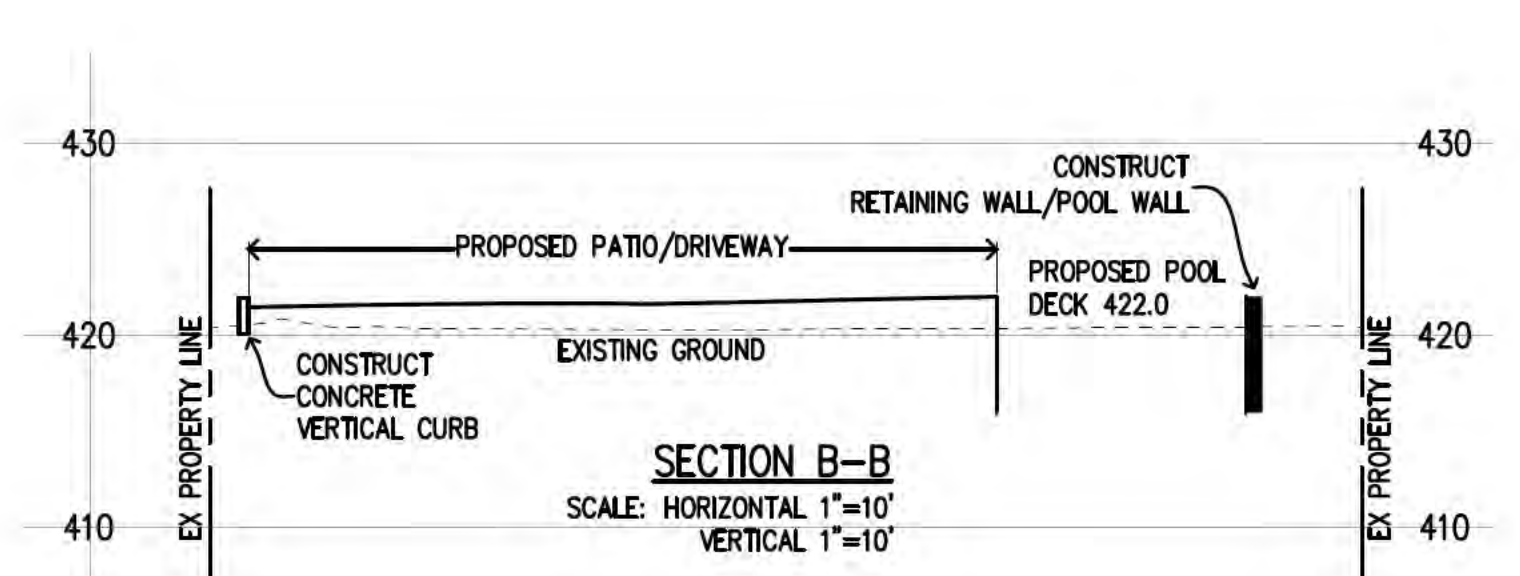
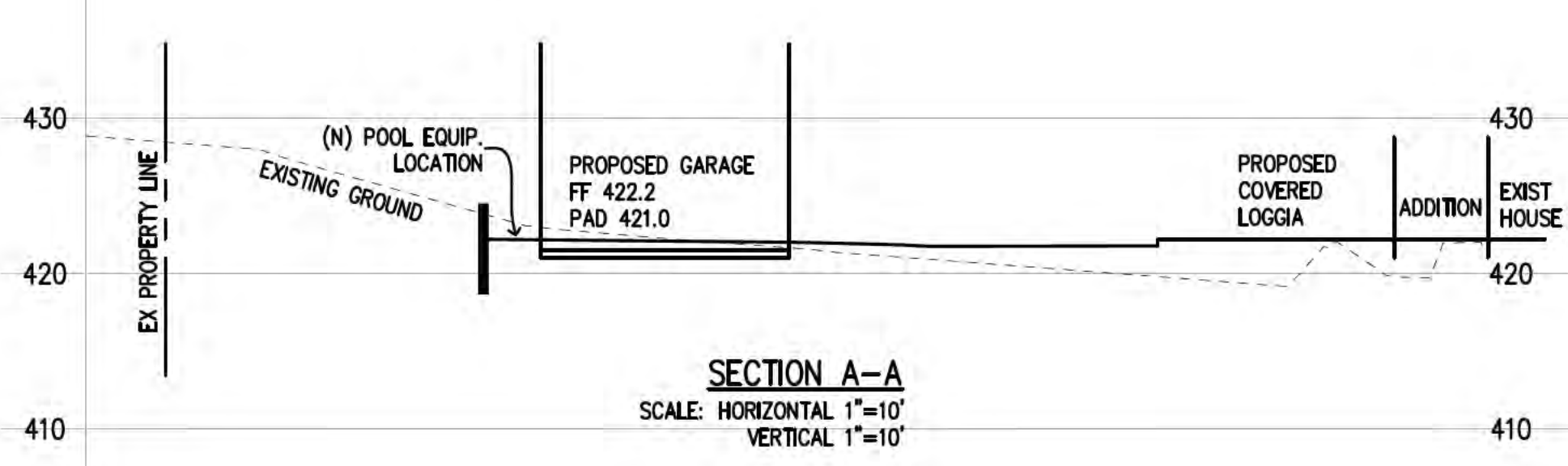
DATE: FEBRUARY 8, 2024  
 SCALE: 1"=10'  
 DESIGN: AM  
 DRAWN: TM  
 CHECK: XK  
 ENGR: AM  
 PROJECT NO.: 22066

PLAN FOR THE IMPROVEMENT OF  
**LANDS OF JELLINEK - 323 PENNSYLVANIA AVENUE**  
 APN 510-43-044  
**GRADING & DRAINAGE PLAN**  
 ARCHITECTURAL AND SITE APPLICATION 5-23-018  
 TOWN OF LOS GATOS  
 PARKS AND PUBLIC WORKS DEPARTMENT

**HANNA BRUNETTI**  
 CIVIL ENGINEERS - LAND SURVEYORS  
 7651 EGLEBERRY STREET • GILROY • 95020 • CALIFORNIA  
 OFFICE (408) 842-2173  
 EMAIL: ENGINEERING@HANNABRUNETTI.COM

BY	DATE	REVISIONS
AM/TM	8/20/23	REVISE PER CITY COMMENTS - SLOPE CALC
AM/TM	10/25/23	REVISE PER CITY COMMENTS - ADD PAVEMENT
AM/TM	11/01/23	MOVE DWY APPROACH; ADD PAVEMENT DETAIL

EXISTING UNDERGROUND UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED ON RECORD INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF PREPARATION OF THESE PLANS. LOCATION MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. THE CONTRACTOR SHALL NOTIFY UTILITY COMPANIES AT LEAST 2 WORKING DAYS IN ADVANCE OF CONSTRUCTION TO FIELD LOCATE UTILITIES. CALL UNDERGROUND SERVICE ALERT (U.S.A.), AT 1-800-642-2444. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF UTILITIES SHOWN ON THESE PLANS, INDICATED IN THE FIELD BY LOCATING SERVICES, OR EVIDENCE BY FACILITIES VISIBLE AT OR ADJACENT TO THE JOB SITE. ANY ADDITIONAL COST INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY LOCATIONS OF EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION SHALL BE BORNE BY THE CONTRACTOR AND IS DEEMED INCLUDED AND MERGED IN THE CONTRACT UNIT PRICE.



**Slope Density of Proposed Developed Area**

$$S = \frac{0.0023 (l \times L)}{A}$$

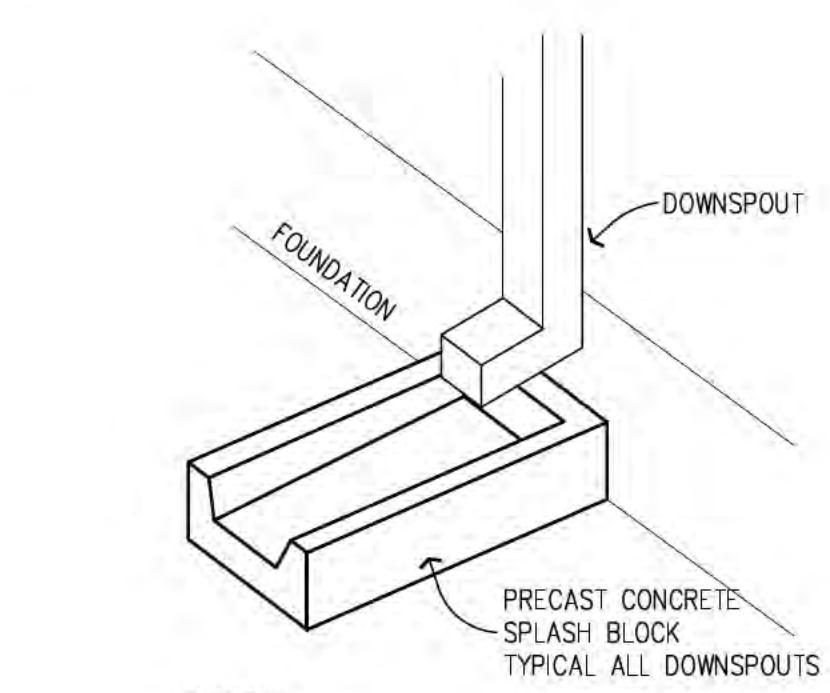
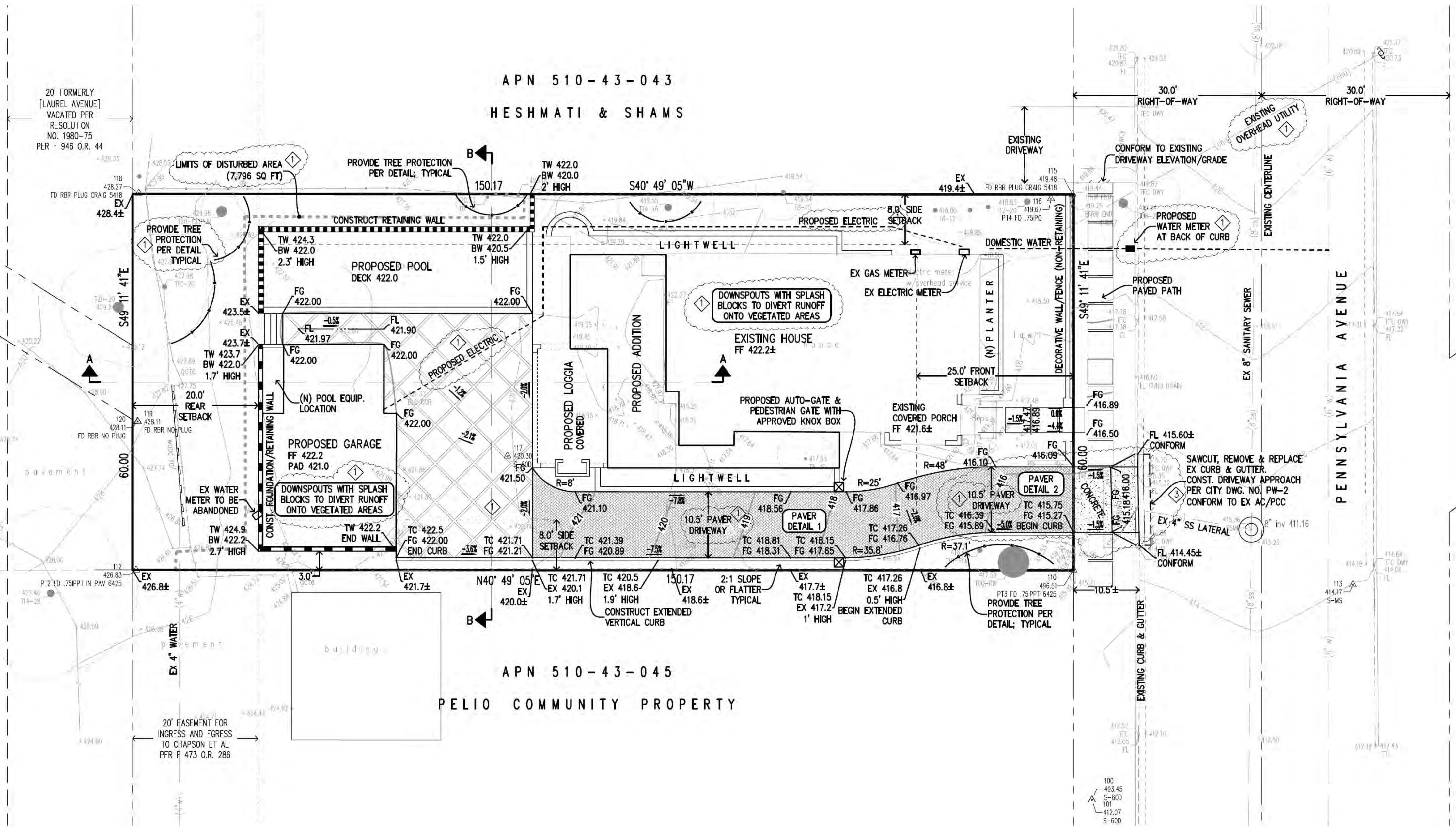
S = the slope density  
 l = the contour interval in feet = 1 ft  
 L = the sum length of contour lines in feet = 809  
 A = the area in acres = 0.21

$$S = \frac{0.0023 (1 \times 809)}{0.21} = 8.8\%$$

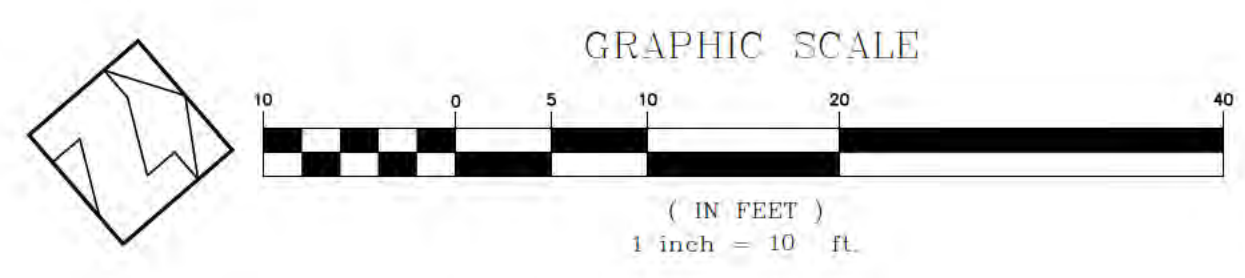
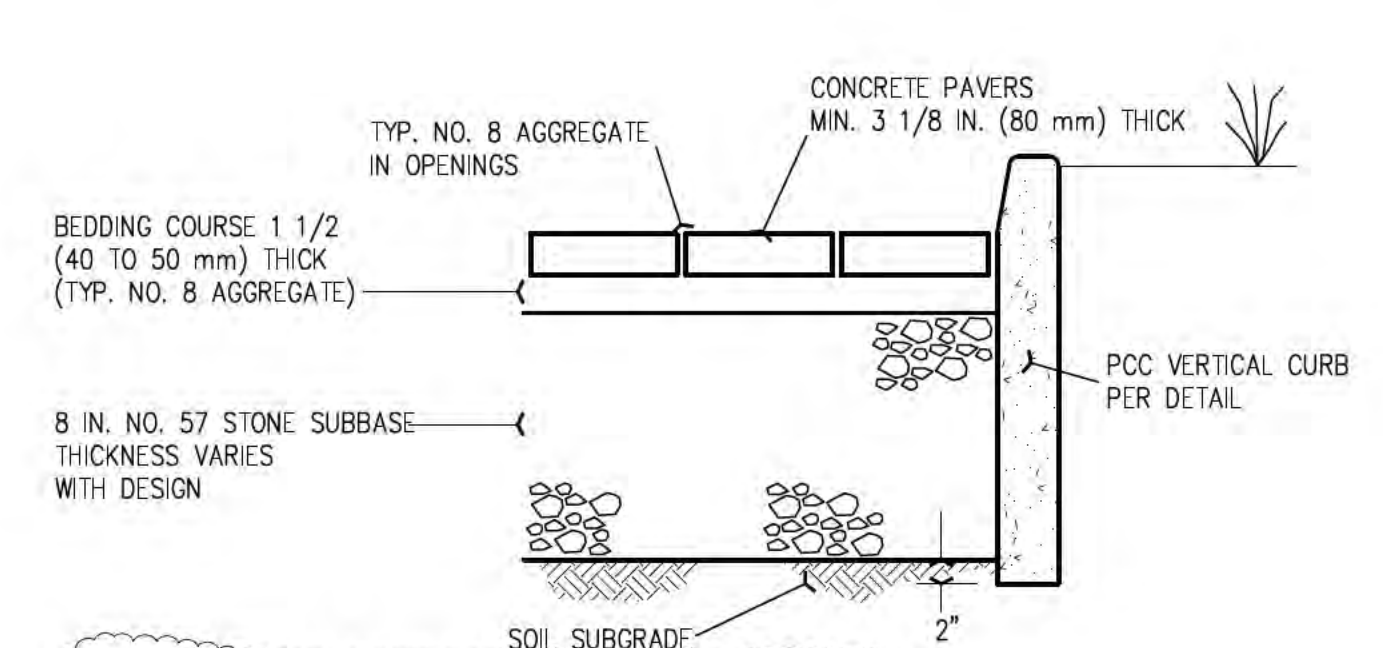
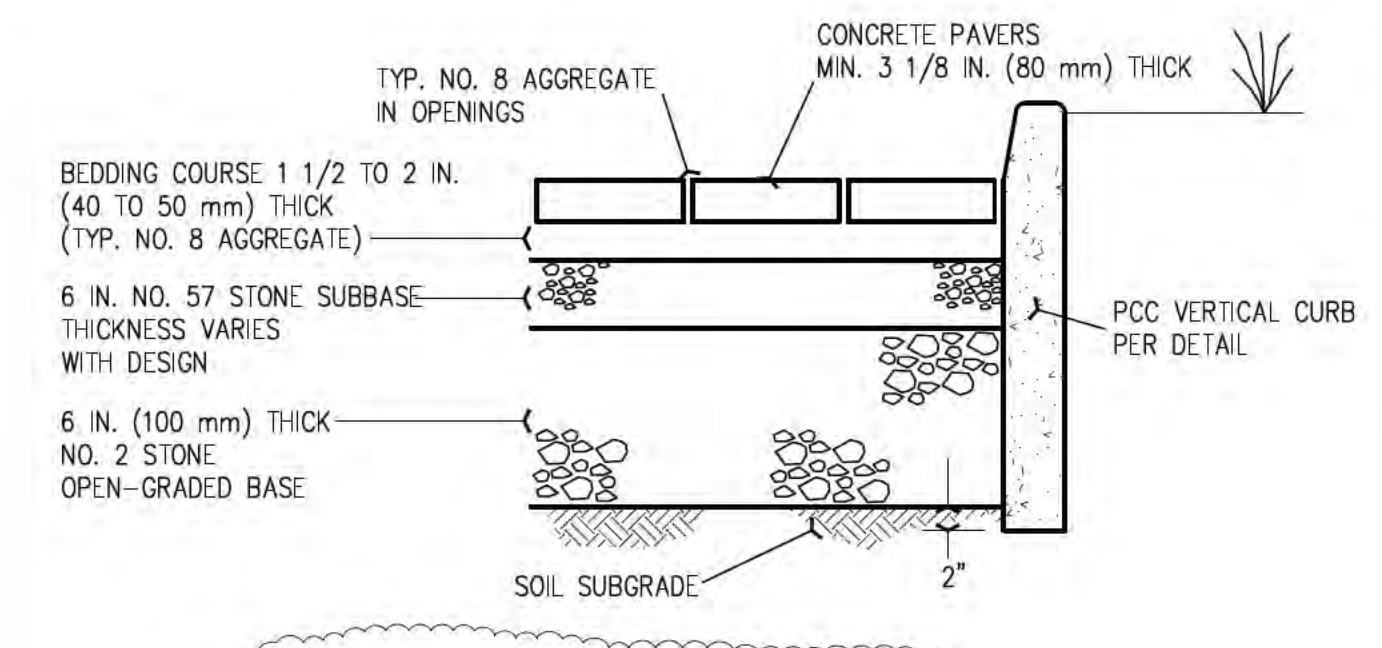
GRADING		
DRIVEWAY	POOL	TOTAL
CUT 35± C.Y.	CUT 105± C.Y.	CUT 140± C.Y.
FILL 20± C.Y.	FILL 0± C.Y.	FILL 20± C.Y.

EXCAVATION (UNDER SEPARATE PERMIT)		PROJECT TOTAL
ADDITION	GARAGE	CUT 173± C.Y.
CUT 12± C.Y.	CUT 21± C.Y.	FILL 20± C.Y.
FILL 0± C.Y.	FILL 0± C.Y.	



**DOWNSPOUT WITH SPLASH BLOCK DETAIL**  
 NO SCALE

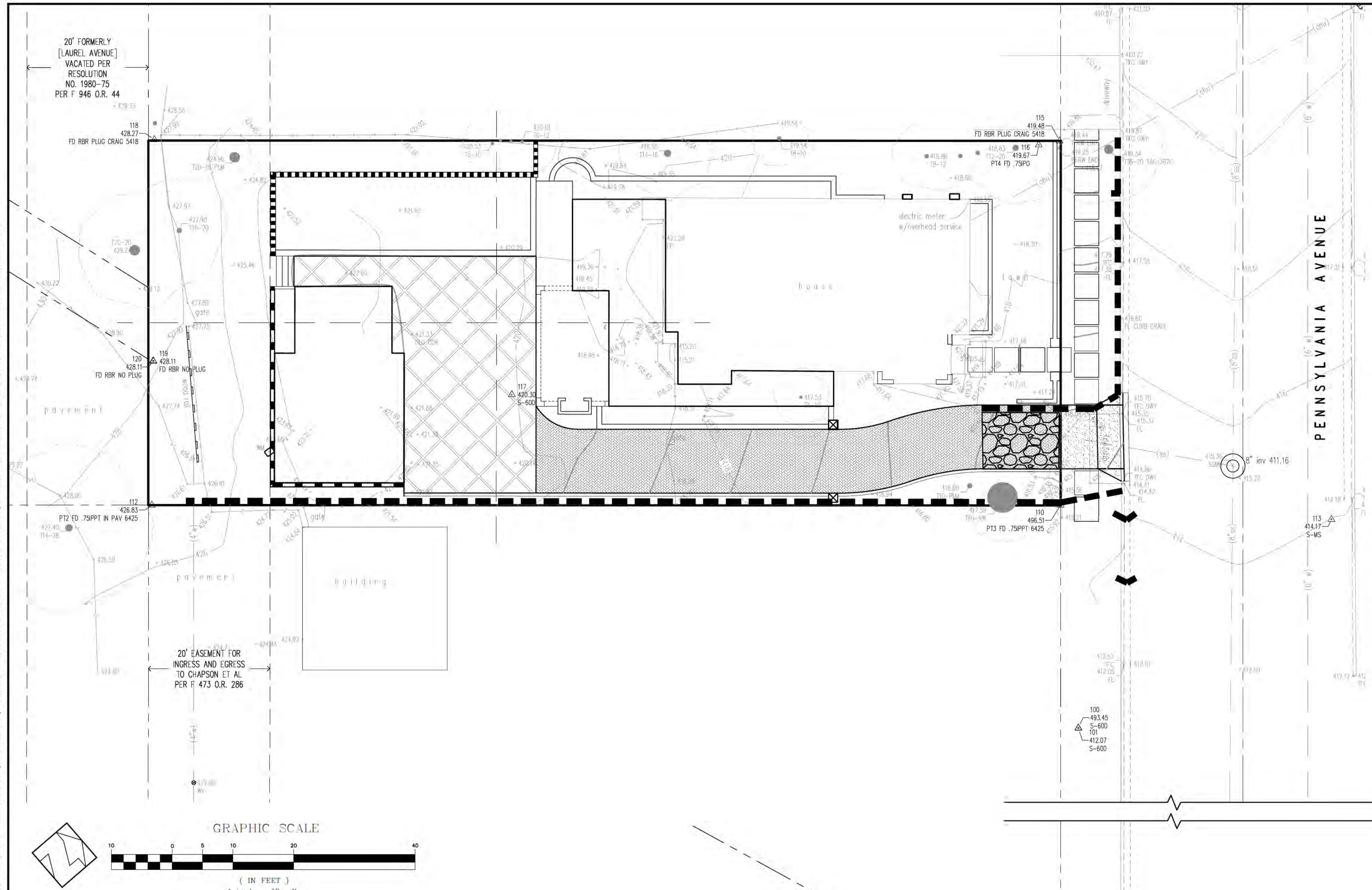


**PRELIMINARY PLANS**  
 NOT FOR CONSTRUCTION

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PERFORMANCE OF WORK ON THIS PROJECT, ACCEPTING FULL LIABILITY FOR ANY AND ALL DAMAGES, INCLUDING BUT NOT LIMITED TO THE SOLE REQUIREMENT OF THE OWNER OR THE ENGINEER.



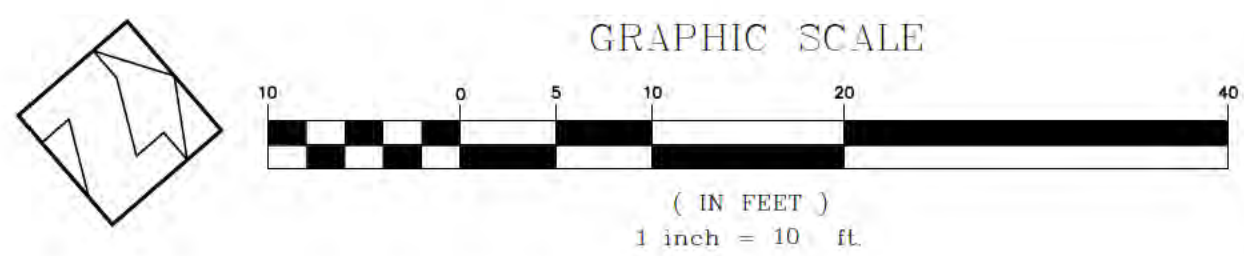
CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR OBTAINING ALL NECESSARY PERMITS AND FOR OBTAINING ALL NECESSARY INFORMATION FROM THE CITY ENGINEER AND THE ENGINEER RESPONSIBLE FOR THE DESIGN OF THIS PROJECT. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. AND THAT THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PERFORMANCE OF HIS WORK ON THIS PROJECT, ACCEPTING FULL LIABILITY FOR ANY AND ALL DAMAGES, INCLUDING THE PERFORMANCE OF HIS WORK ON THIS PROJECT.



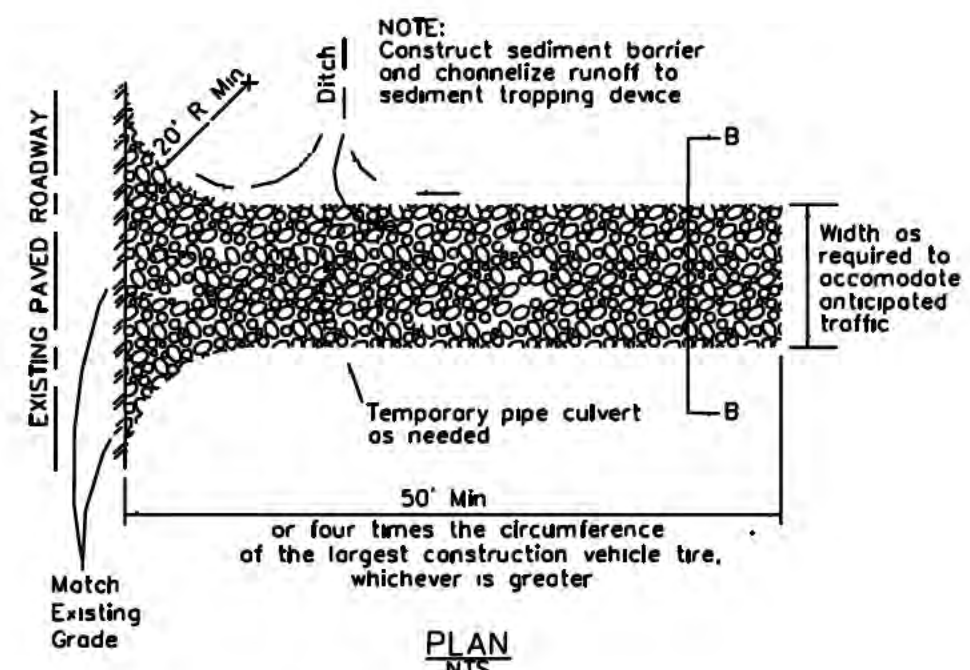
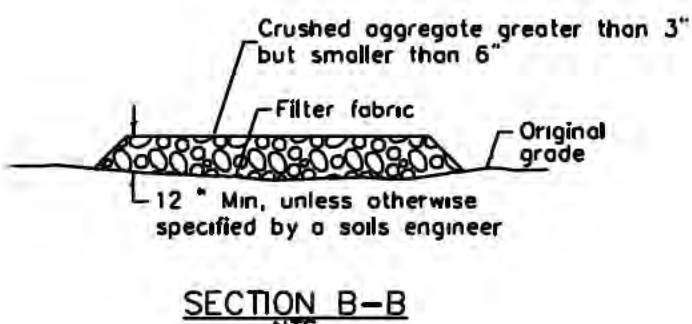
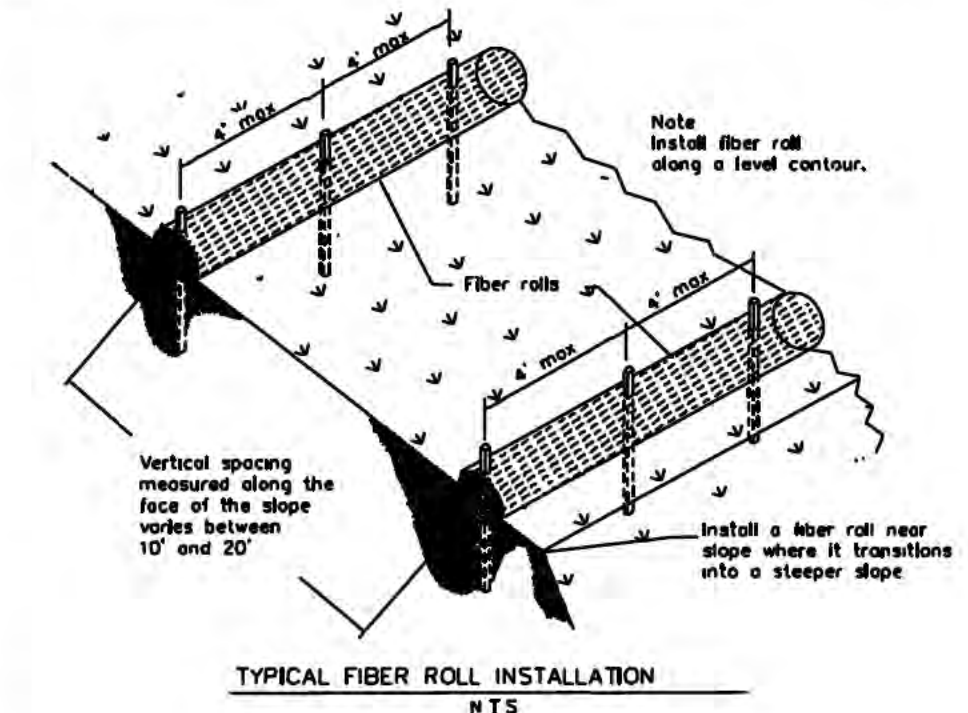
- EROSION CONTROL NOTES**
- EROSION CONTROL MEASURES SHALL BE EFFECTIVE FOR CONSTRUCTION DURING THE RAINY SEASON; OCTOBER 15 THROUGH APRIL 15.
  - NO STORM WATER RUNOFF SHALL BE ALLOWED TO DRAIN INTO THE EXISTING AND/OR PROPOSED UNDERGROUND STORM SYSTEM UNTIL SUITABLE EROSION CONTROL MEASURES ARE FULLY IMPLEMENTED. NO STORM WATER RUNOFF SHALL BE ALLOWED TO ENTER THE STORM DRAIN SYSTEM THAT IS NOT CLEAR, AND FREE OF SILTS.
  - A FIBER ROLL PER "FIBER ROLL DETAIL SE-5" SHALL BE INSTALLED ALONG THE PERIMETER OF THE PROJECT SITE. THE LOCATION OF THE FIBER ROLL ALONG THE PERIMETER SHALL BE ADJUSTED TO ELIMINATE SEDIMENT LADEN RUNOFF FROM LEAVING THE SITE. A FIBER ROLL SHALL ALSO BE REQUIRED AROUND THE PERIMETER OF ANY STOCKPILE OR OTHER SITE OF BARE, LOOSE EARTH.
  - ALL STORM DRAIN MANHOLES, CATCH BASINS, AND/OR DROP INLETS THAT ARE TO ACCEPT STORM WATER SHALL HAVE INLET PROTECTION MEASURES PER DETAIL SE-10. STORM WATER RUNOFF SHALL BE DIRECTED TO THESE INLETS ONLY. STORM DRAIN CATCH BASINS THAT ARE NOT COMPLETE, SHALL BE BLOCKED OFF COMPLETELY.
  - THE NAME, ADDRESS, AND 24 HOUR TELEPHONE NUMBER OF THE PERSON RESPONSIBLE FOR THE IMPLEMENTATION OF THE EROSION CONTROL PLAN SHALL BE PROVIDED TO THE CITY.
  - PRIOR TO GRADING, AN ENTRANCE SHALL BE CONSTRUCTED, CONSISTING OF A MINIMUM OF 50 LF OF DRAIN ROCK, 3" IN DIAMETER, PLACED OVER MIRAFI 500X (OR EQUAL) PER DETAIL TC-1. THE ENTRANCE SHALL CONFORM TO "CONSTRUCTION ENTRANCE DETAIL TC-1". THERE SHALL BE ONLY ONE ENTRANCE/EXIT POINT TO THE SITE DURING THE RAINY SEASON. THE LOCATION SHALL BE AS SHOWN ON THESE PLANS, OR AT A LOCATION APPROVED BY THE CITY.
  - ALL AREAS OF BARE, TURNED OR DISTURBED EARTH SHALL BE STABILIZED BY USE OF HYDROSEED OR NON-VEGETATIVE STABILIZATION PER EC-16, PER THE TABLE BELOW. ALL STOCKPILES, AND/OR BORROW AREAS SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES SUCH AS A PERIMETER SILT FENCE, AND OTHER METHODS TO PREVENT ANY EROSION OR SILTS MIGRATION. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED. CHANGES TO THE EROSION CONTROL PLAN SHALL BE MADE TO MEET FIELD CONDITIONS, BUT ONLY WITH THE APPROVAL OF, OR AT THE DIRECTION OF THE OSD. THE STORM DRAIN SYSTEM SHALL MAINTAIN A FORM OF DRAIN INLET PROTECTION UNTIL CITY ACCEPTS THE FINAL STREET IMPROVEMENTS. THE DRAIN INLET PROTECTION SHALL BE MAINTAINED, EFFECTIVE, AND SUBJECT TO CITY ENGINEER'S APPROVAL.
  - ALL PAVED STREET, AND AREAS ADJACENT TO THE SITE SHALL BE KEPT CLEAR OF EARTH MATERIALS AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO ELIMINATE SEDIMENT LADEN RUNOFF FROM ENTERING THE STORM DRAIN SYSTEM.
  - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSPECT AND REPAIR ALL EROSION CONTROL FACILITIES AT THE END OF EACH DAY. ANY DAMAGED STRUCTURAL MEASURES ARE TO BE REPAIRED BY END OF THE DAY. TRAPPED SEDIMENT IN "SD INLETS" (AND OTHER EROSION CONTROL MEASURES) SHALL BE REMOVED TO MAINTAIN TRAP EFFICIENCY. REMOVED SEDIMENT SHALL BE DISPOSED BY SPREADING ON SITE, WHERE IT WILL NOT MIGRATE.
  - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PREVENT THE FORMATION OF AIRBORNE DUST NUISANCE AND SHALL BE RESPONSIBLE FOR ANY DAMAGE RESULTING FROM A FAILURE TO DO SO.
  - ALL DRAIN SWALES SHALL BE PER DETAIL EC-9.
  - INCOMPLETE GRADING SHALL NOT BE ALLOWED. CONTRACTOR SHALL MAINTAIN A DRAIN PATH AS SHOWN ON THIS PLAN. SAID DRAIN PATH SHALL BE MAINTAINED LINED DRAIN SWALES, AND INLET PROTECTION AT A MINIMUM. IF PONDING DOES OCCUR ON THE SITE AFTER GRADING, THE WATER MUST BE FREE AND CLEAR OF SEDIMENT PRIOR TO DISCHARGE TO THE STORM DRAIN SYSTEM. THIS REQUIREMENT MAY NECESSITATE THE USE OF NATURAL AND/OR MECHANICAL DESILTING METHODS, SUBJECT TO APPROVAL BY THE CITY ENGINEER.
  - IF THESE EROSION CONTROL MEASURES PROVE INADEQUATE, STRAW MULCH, TACKIFIER, AND ADDITIONAL HYDROSEEDING MAY BE REQUIRED.

**HYDROSEED TABLE**

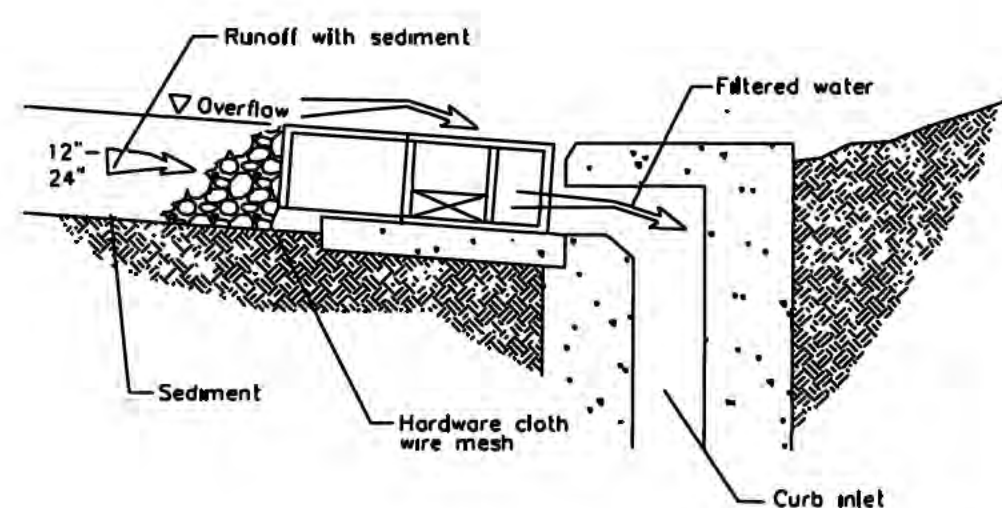
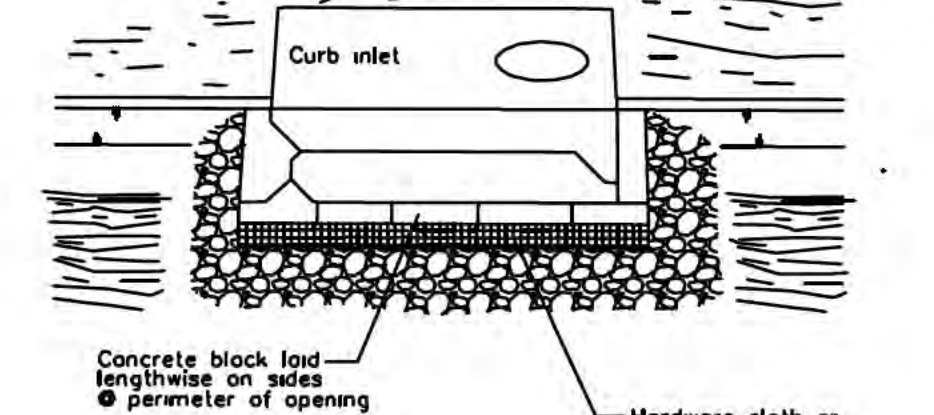
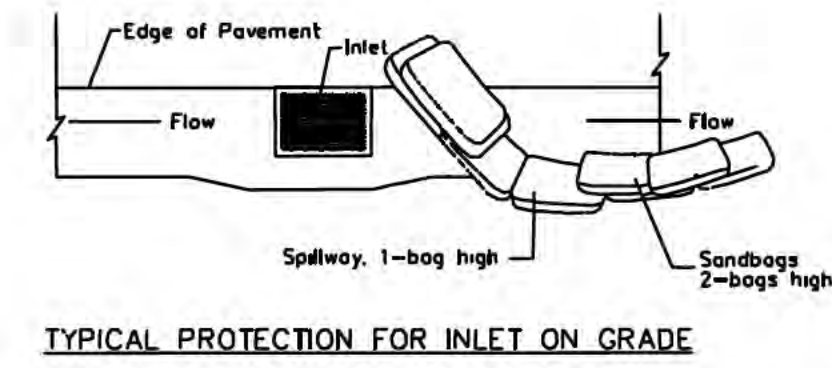
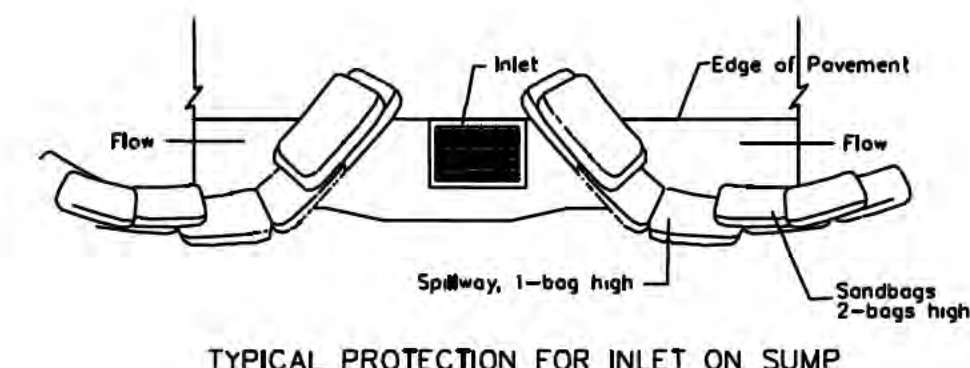
ITEM	LBS/ACRE
COMMON BARLEY	45
ANNUAL RYEGRASS	45
CRIMSON CLOVER	10
FERTILIZER 7-2-3	400
FIBER MULCH	2000
TACKIFIER	100



SE-5 Fiber Rolls      Stabilized Construction Entrance/Exit TC-1      SE-10 Storm Drain Inlet Protection      Storm Drain Inlet Protection      SE-10



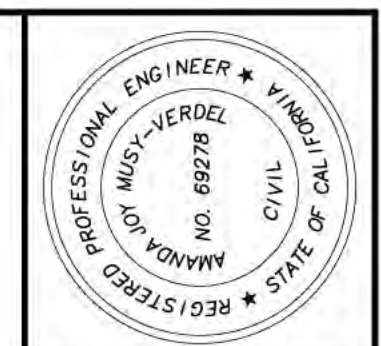
- LEGEND**
- CONSTRUCTION ENTRANCE/EXIT PER DETAIL TC-1
  - FIBER ROLL BARRIER PER DETAIL SE-5
  - FIBER ROLL CHECK DAM
  - STORM DRAIN INLET PROTECTION PER DETAIL SE-10



- NOTES:**
- Intended for short-term use.
  - Use to inhibit non-storm water flow.
  - Allow for proper maintenance and cleanup.
  - Bags must be removed after adjacent operation is completed.
  - Not applicable in areas with high silts and clays without filter fabric.

DI PROTECTION - TYPE 3 NOT TO SCALE

DI PROTECTION - TYPE 4 NOT TO SCALE



DATE: FEBRUARY 8, 2024  
SCALE: 1"=10'

DESIGN:	AM
DRAWN:	TM
CHECK:	XX
ENGR:	AM

PROJECT NO.: 22066

PLAN FOR THE IMPROVEMENT OF  
**LANDS OF JELLINEK - 323 PENNSYLVANIA AVENUE**  
APN 510-43-044  
**EROSION CONTROL PLAN**  
ARCHITECTURAL AND SITE APPLICATION S-23-018  
TOWN OF LOS GATOS  
PARIS AND PUBLIC WORKS DEPARTMENT

**HANNA BRUNETTI**  
CIVIL ENGINEERS - LAND SURVEYORS  
CONSTRUCTION MANAGERS  
7651 FIGLERY STREET - GILROY - 95020 - CALIFORNIA  
OFFICE (408) 842-2173  
EMAIL: ENGINEERING@HANNABRUNETTI.COM

REVISIONS	DATE	BY	COMMENTS

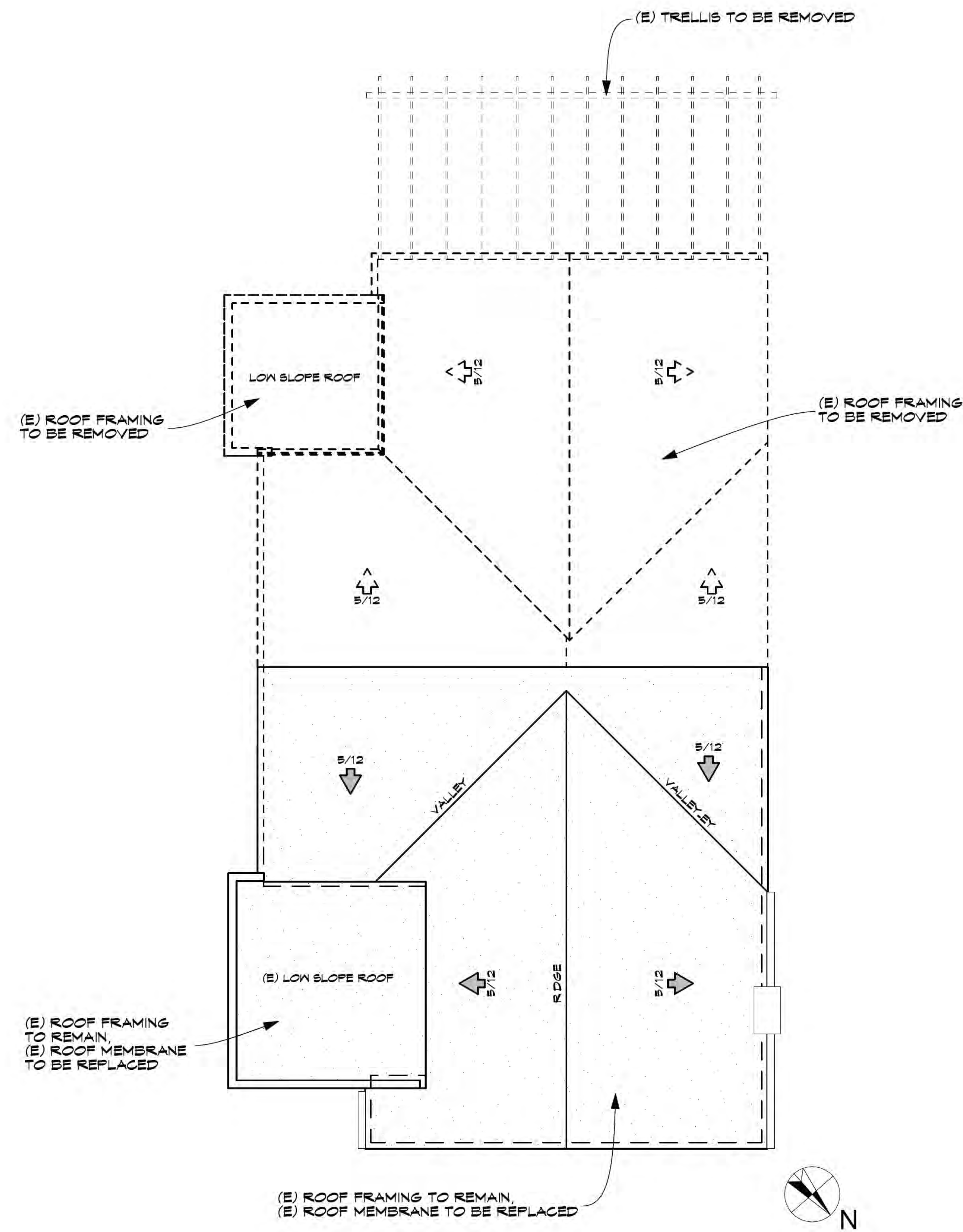
REVISIONS	
A.	09/25/23
B.	11/02/23
C.	11/22/23
D.	02/01/24

**KOHLSAAT & ASSOCIATES**  
51 UNIVERSITY AVE., T.L., LOS GATOS, CA., 95030 • (408) 397-2555

AN ADDITION & REMODEL FOR:  
**THE JELLINEK RESIDENCE**  
323 PENNSYLVANIA AVENUE LOS GATOS, CA

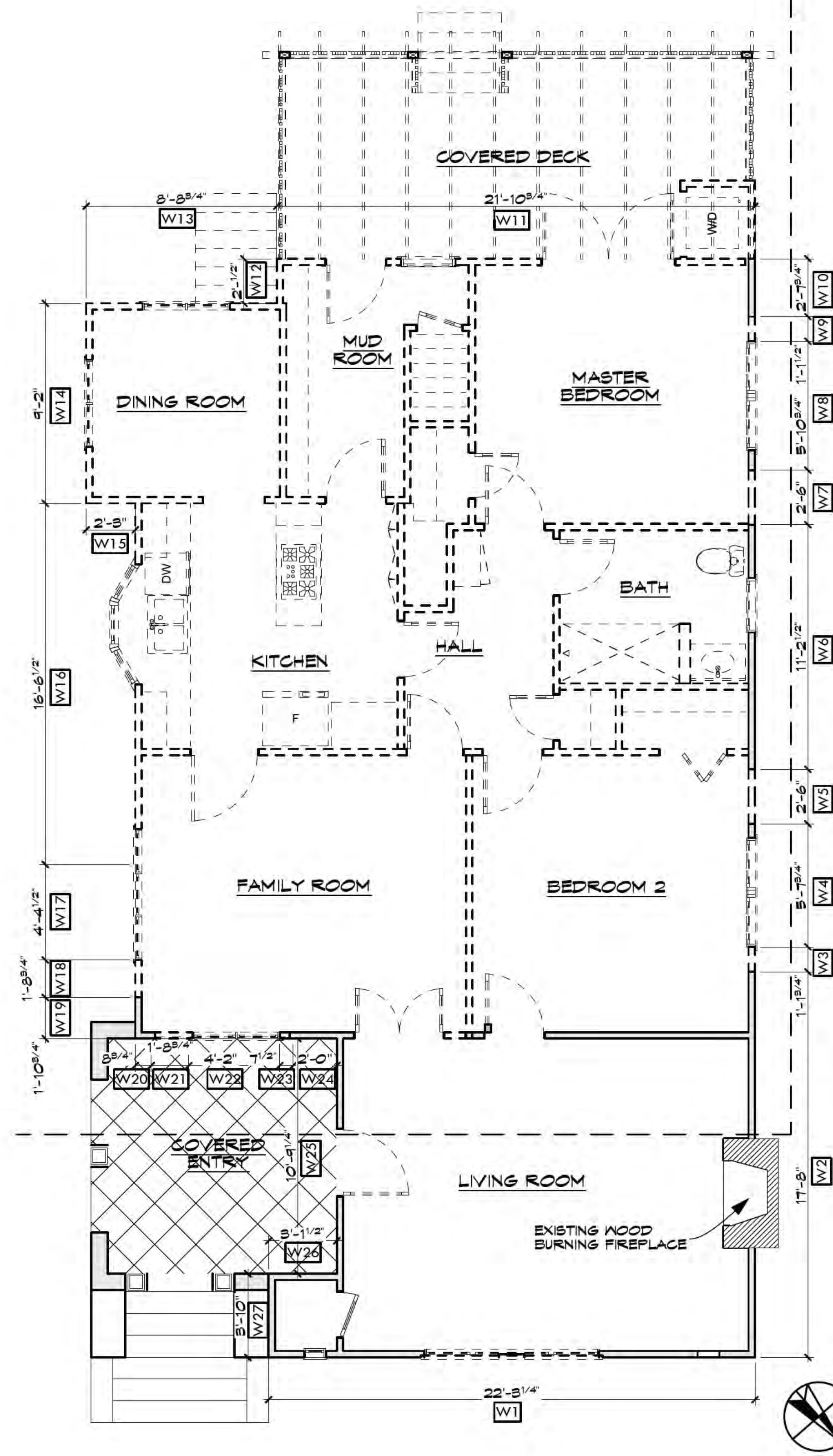
AS-BUILT/  
DEMO  
FLOOR PLAN  
& ROOF  
PLAN

DATE: 07/05/23  
SCALE: AS SHOWN  
SHEET  
**A-5**  
10 OF -



**AS-BUILT/DEMO ROOF PLAN**

SCALE: 1/4" = 1'-0"



**AS-BUILT/DEMO FLOOR PLAN**

SCALE: 1/4" = 1'-0"

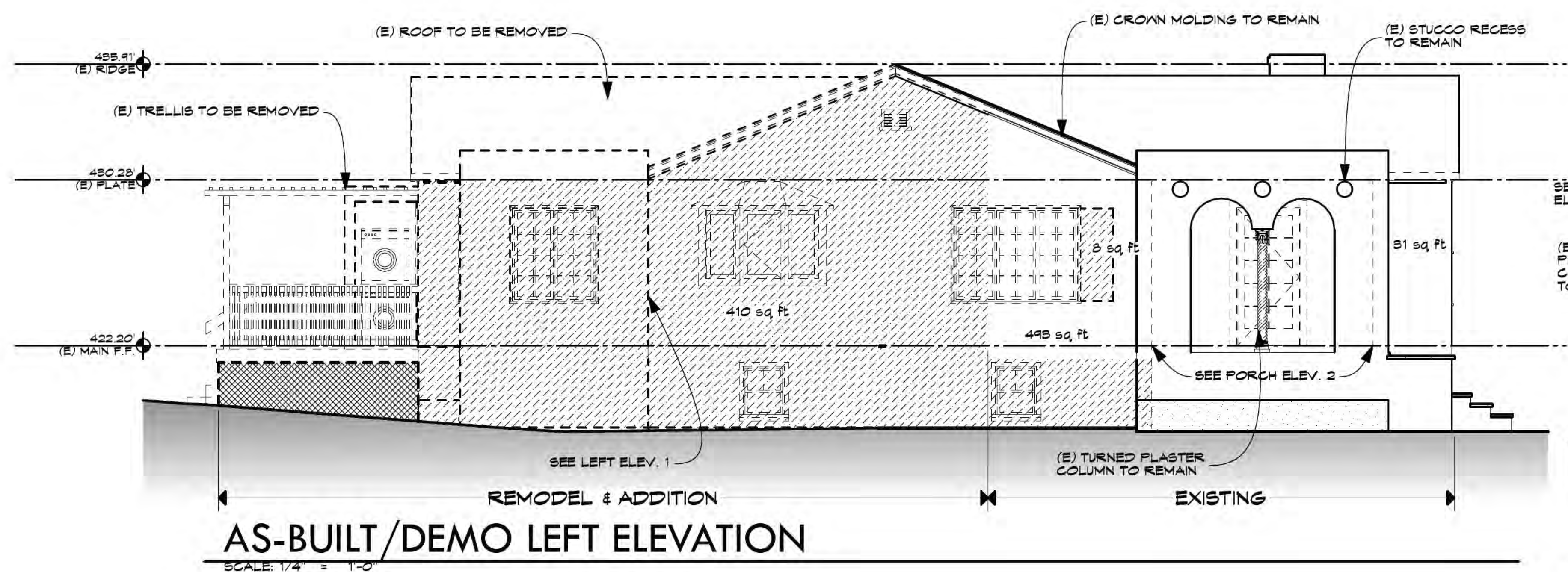
EXTERIOR WALLS		
Wall #	Existing	Demo
W1	22.3	
W2	17.7	
W3		1.1
W4	5.7	
W5		2.5
W6	11.2	
W7		2.5
W8	5.9	
W9		1.1
W10	2.7	
W11		21.9
W12		2
W13		8.7
W14		9.2
W15		2.2
W16		16.5
W17		4.3
W18		1.7
W19	1.9	
W20	0.8	
W21		1.7
W22	4.2	
W23		0.6
W24	2	
W25	10.8	
W26	3.1	
W27	3.8	
TOTAL	96.4	71.7
%	0.57346817	0.42653183
TOTAL WALL AREA		168.1

REVISIONS	
A.	09/25/23
B.	11/02/23
C.	11/22/23
D.	02/01/24

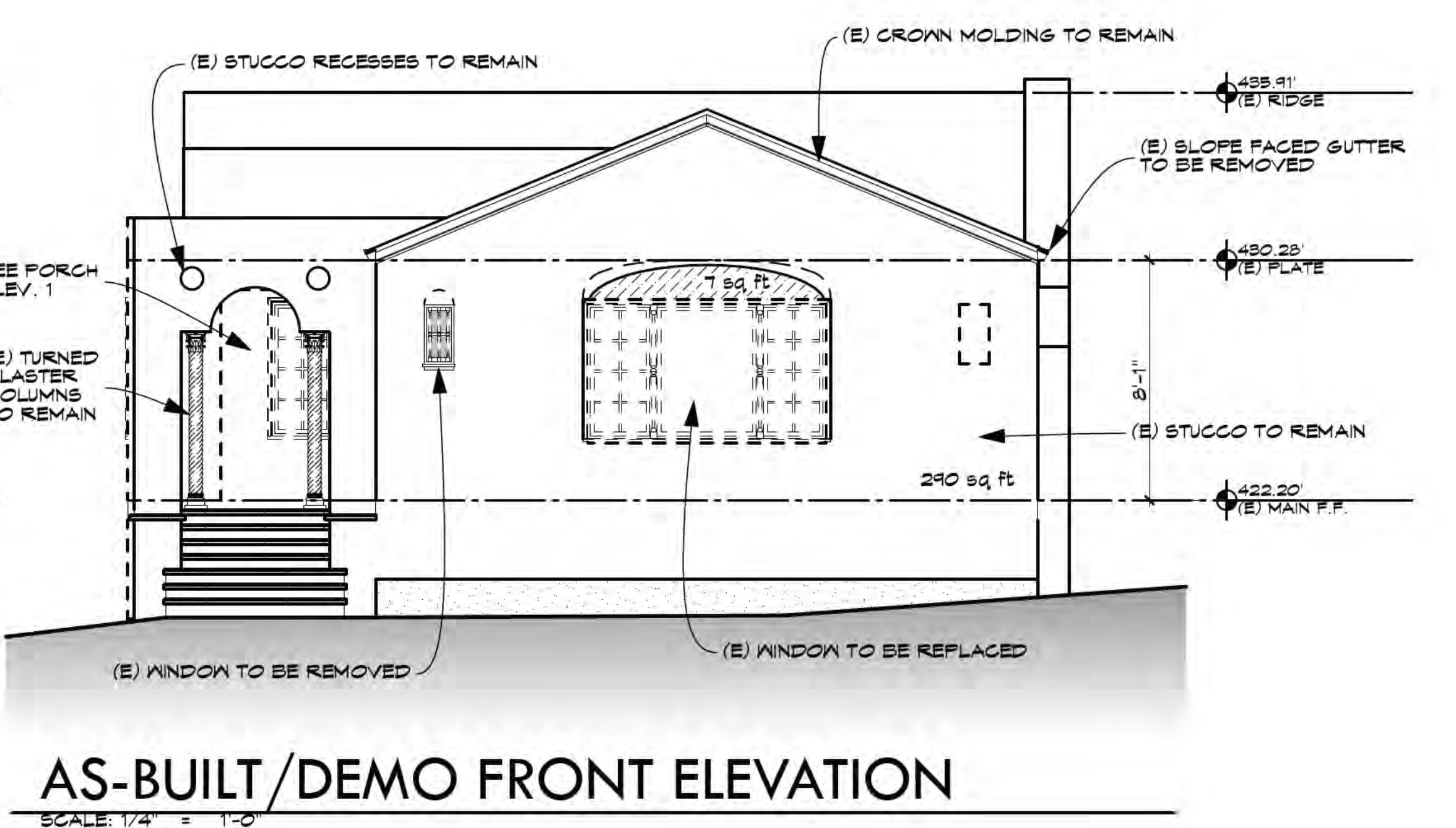
**KOHLSAAT & ASSOCIATES**  
 51 UNIVERSITY AVE., #100 • LOS GATOS, CA • 95030 • (408) 394-2555

AN ADDITION & REMODEL FOR:  
**THE JELLINEK RESIDENCE**  
 323 PENNSYLVANIA AVENUE LOS GATOS, CA

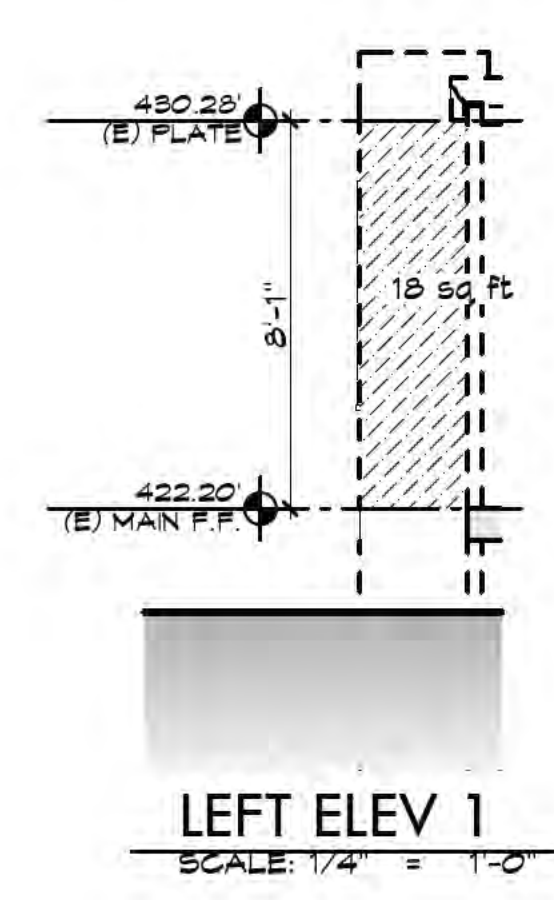
AS-BUILT/  
 DEMO  
 ELEVATIONS  
 & DEMO  
 CALCULATIONS  
 DATE: 07/08/23  
 SCALE: AS SHOWN  
 SHEET  
**A-6**  
 11 OF -



**AS-BUILT/DEMO LEFT ELEVATION**  
SCALE: 1/4" = 1'-0"

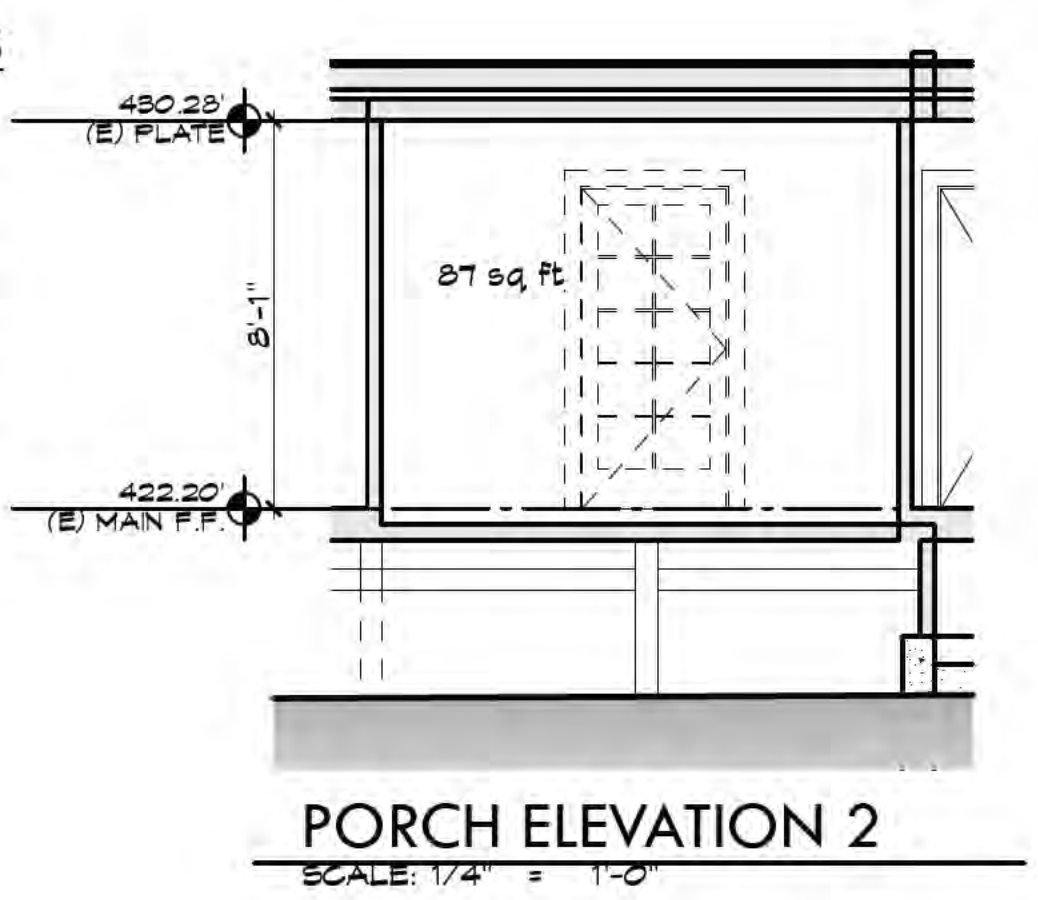


**AS-BUILT/DEMO FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



**LEFT ELEVATION - DEMO CALCULATIONS**

TOTAL LEFT ELEVATION AREA =	524 SF
TOTAL PORCH ELEVATION 2 AREA =	87 SF
TOTAL LEFT ELEV 1 AREA =	18 SF
TOTAL LEFT EXISTING AREA =	629 SF
DEMO LEFT ELEVATION AREA =	418 SF
DEMO PORCH ELEVATION 2 AREA =	0 SF
DEMO LEFT ELEV 1 AREA =	18 SF
TOTAL DEMO AREA =	436 SF

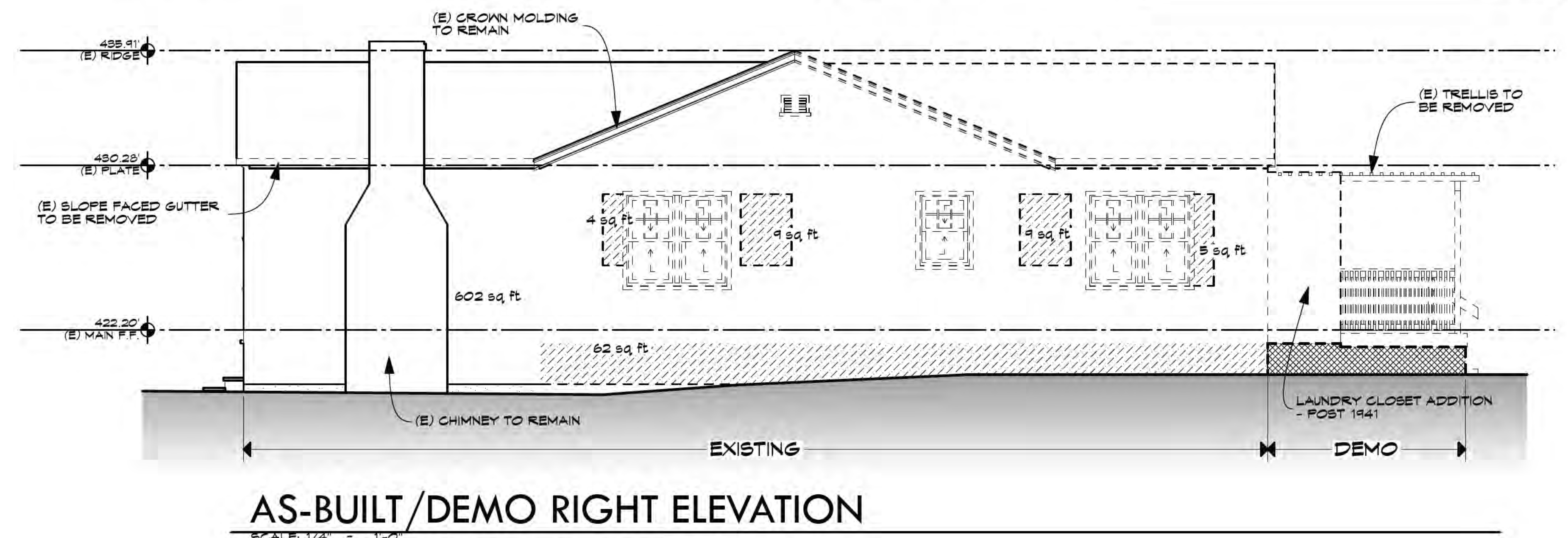
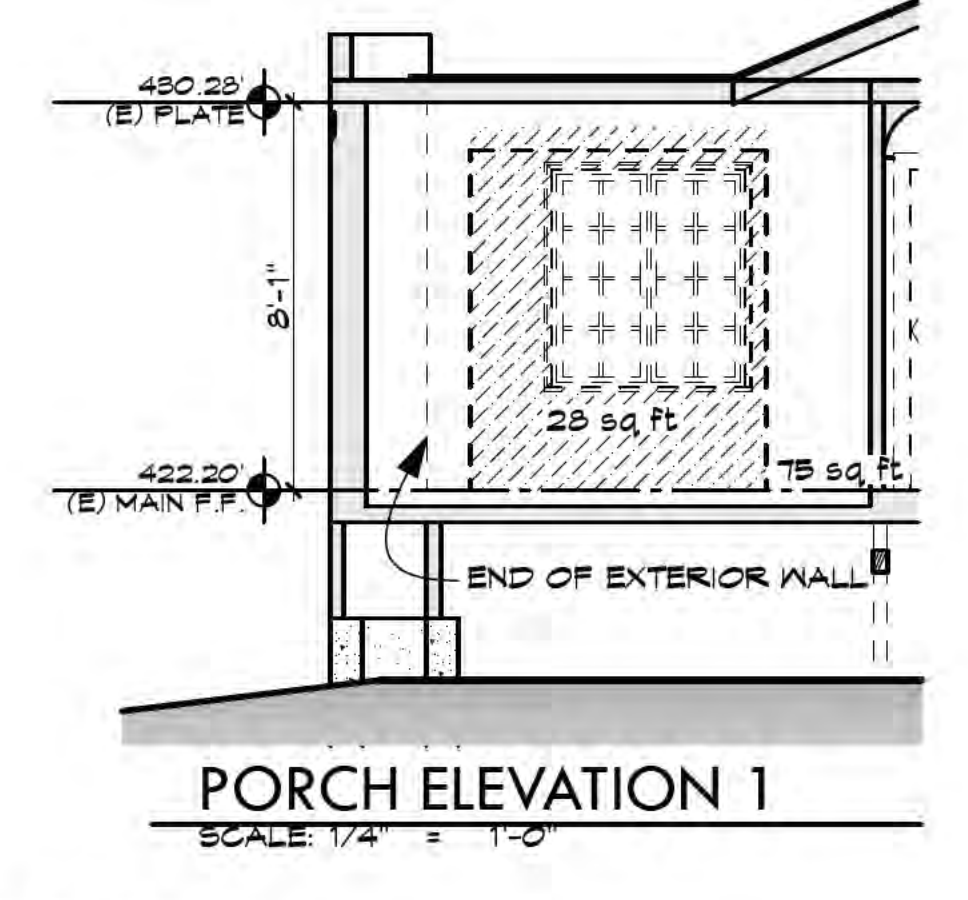


**DEMOLITION CALCULATIONS**

TOTAL FRONT ELEVATION AREA =	365 SF
TOTAL LEFT ELEVATION AREA =	629 SF
TOTAL REAR ELEVATION AREA =	404 SF
TOTAL RIGHT ELEVATION AREA =	602 SF
TOTAL ALL ELEVATION AREA =	2,000 SF
DEMO FRONT ELEVATION AREA =	35 SF
DEMO LEFT ELEVATION AREA =	436 SF
DEMO REAR ELEVATION AREA =	378 SF
DEMO RIGHT ELEVATION AREA =	89 SF
DEMO ALL ELEVATION AREA =	938 SF
	<b>46.9%</b>

**FRONT ELEVATION - DEMO CALCULATIONS**

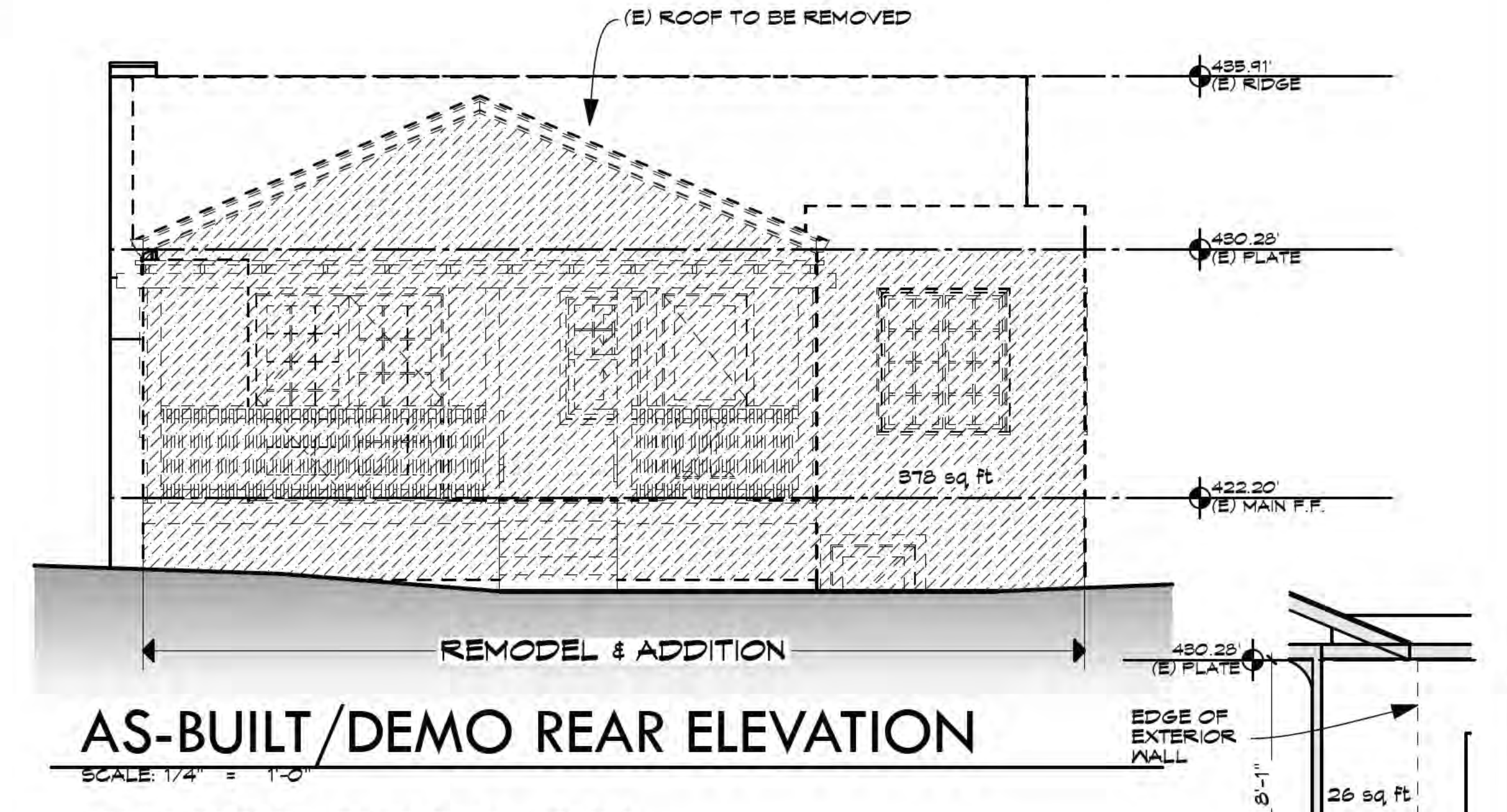
TOTAL FRONT ELEVATION AREA =	290 SF
TOTAL PORCH ELEVATION 1 AREA =	75 SF
TOTAL FRONT EXISTING AREA =	365 SF
DEMO FRONT ELEVATION AREA =	7 SF
DEMO PORCH ELEVATION 1 AREA =	28 SF
TOTAL DEMO AREA =	35 SF = 9.6%



**AS-BUILT/DEMO RIGHT ELEVATION**  
SCALE: 1/4" = 1'-0"

**RIGHT ELEVATION - DEMO CALCULATIONS**

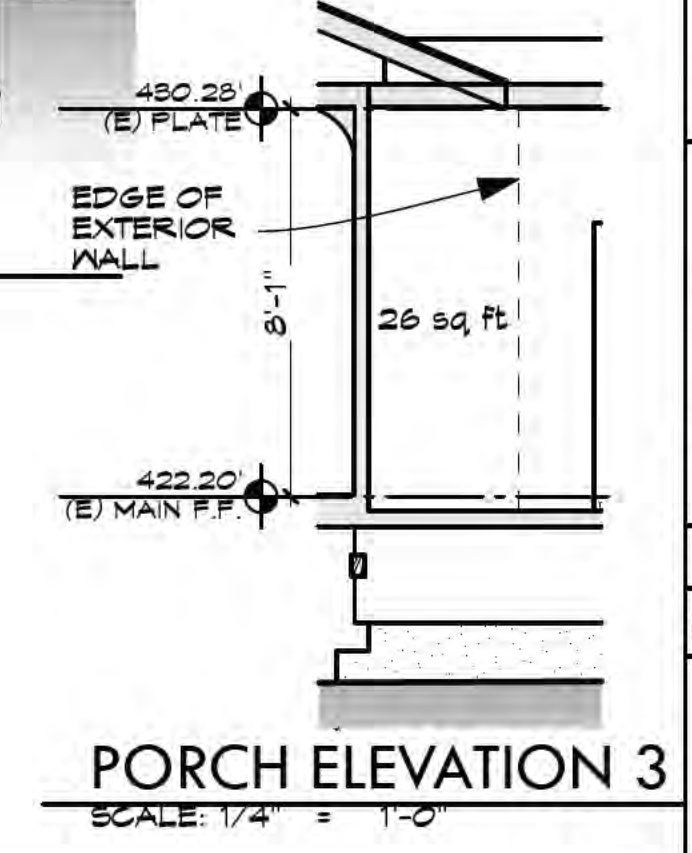
TOTAL RIGHT ELEVATION AREA =	602 SF
DEMO RIGHT ELEVATION AREA =	89 SF

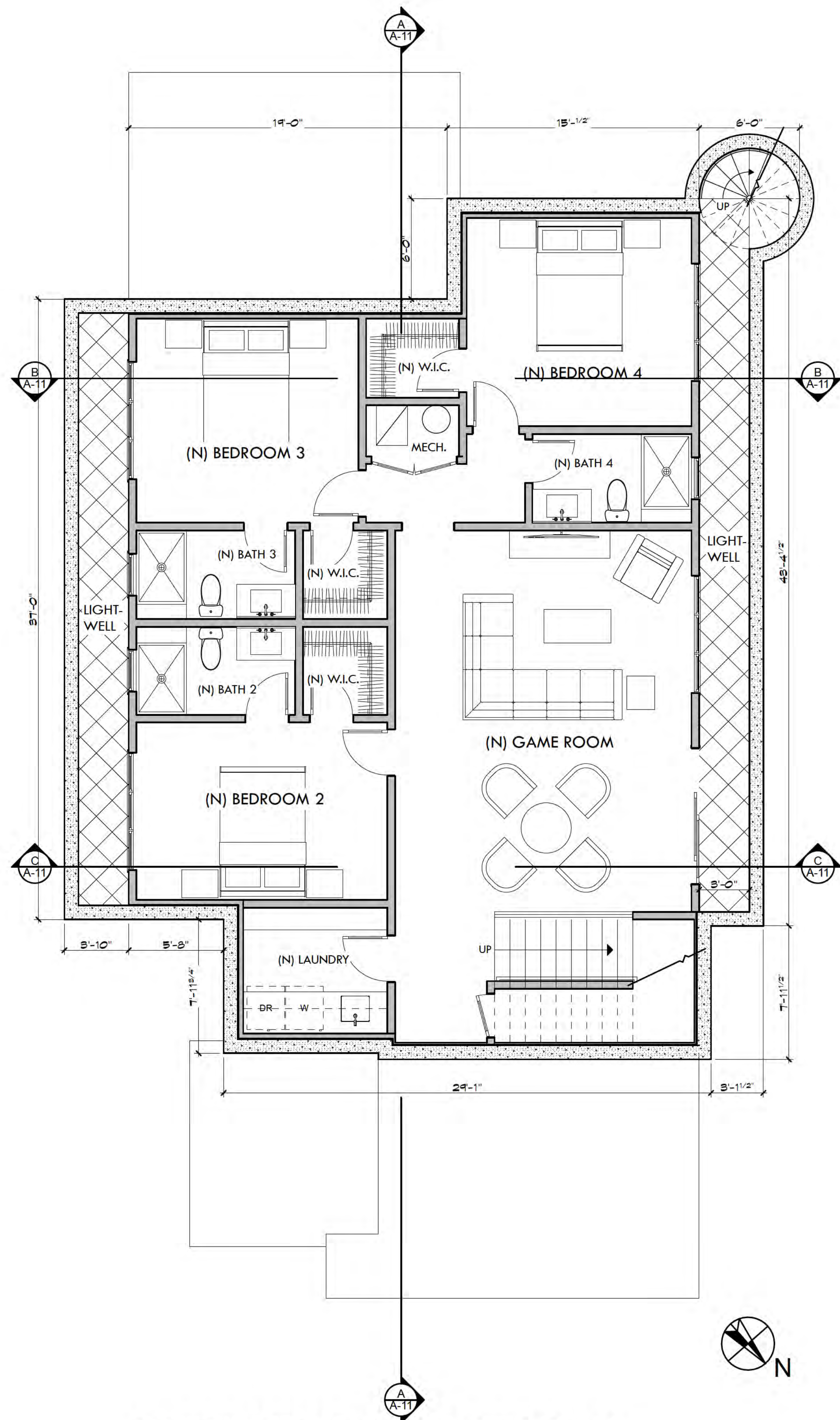


**AS-BUILT/DEMO REAR ELEVATION**  
SCALE: 1/4" = 1'-0"

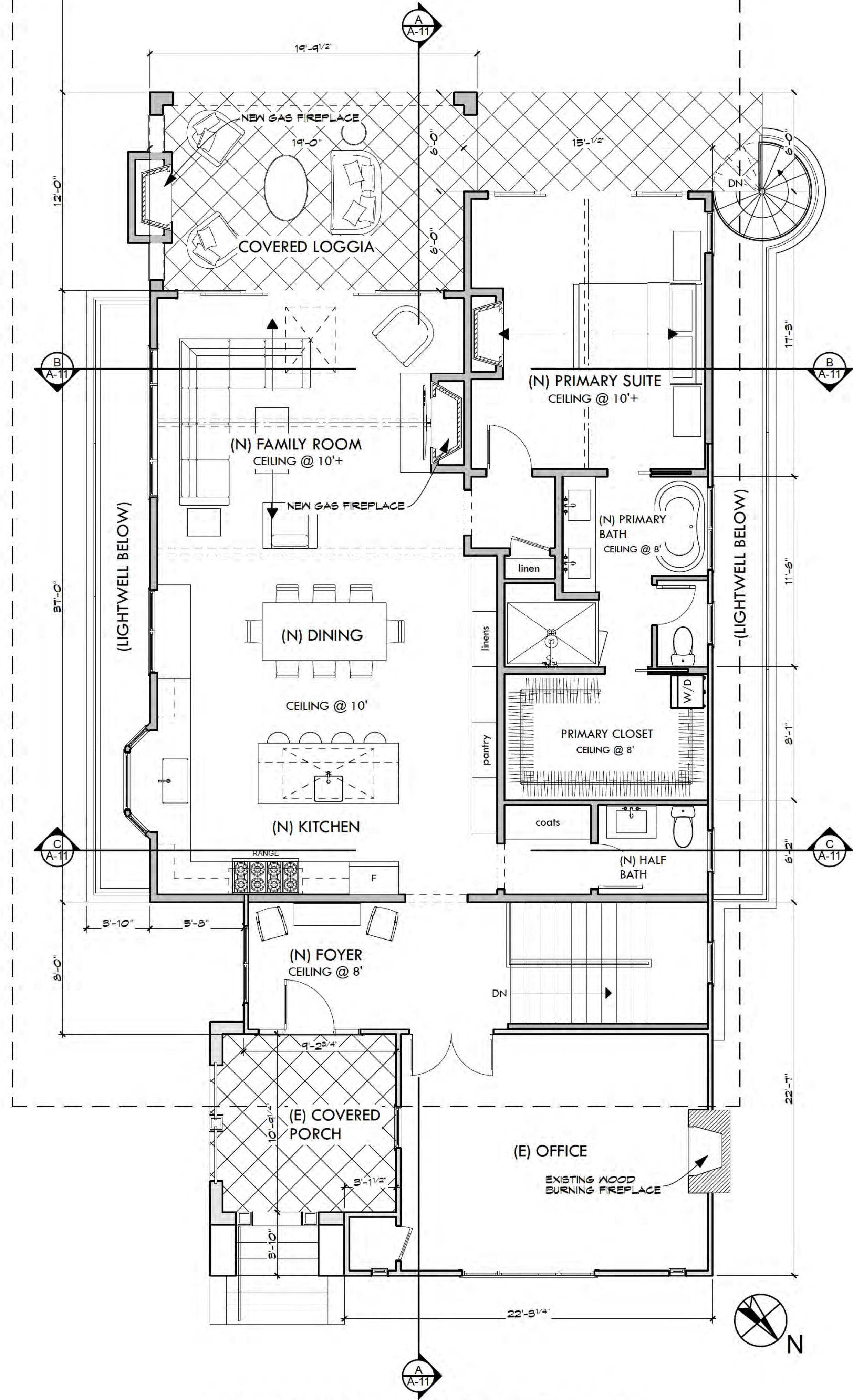
**REAR ELEVATION - DEMO CALCULATIONS**

TOTAL REAR ELEVATION AREA =	378 SF
TOTAL PORCH ELEVATION 3 AREA =	26 SF
TOTAL REAR EXISTING AREA =	404 SF
DEMO REAR ELEVATION AREA =	378 SF
DEMO PORCH ELEVATION 3 AREA =	0 SF
DEMO TOTAL REAR ELEVATION =	378 SF





**PROPOSED LOWER FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**PROPOSED MAIN FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

REVISIONS	
A.	09/25/23
B.	11/02/23
C.	11/22/23
D.	02/01/24

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AN ADDITION & REMODEL FOR:  
**THE JELLINEK RESIDENCE**  
323 PENNSYLVANIA AVENUE LOS GATOS, CA

PROPOSED  
MAIN &  
LOWER  
FLOOR PLAN

DATE: 07/05/23

SCALE: AS SHOWN

SHEET  
**A-7**

REVISIONS	
A.	09/25/23
B.	11/02/23
C.	11/22/23
D.	02/01/24

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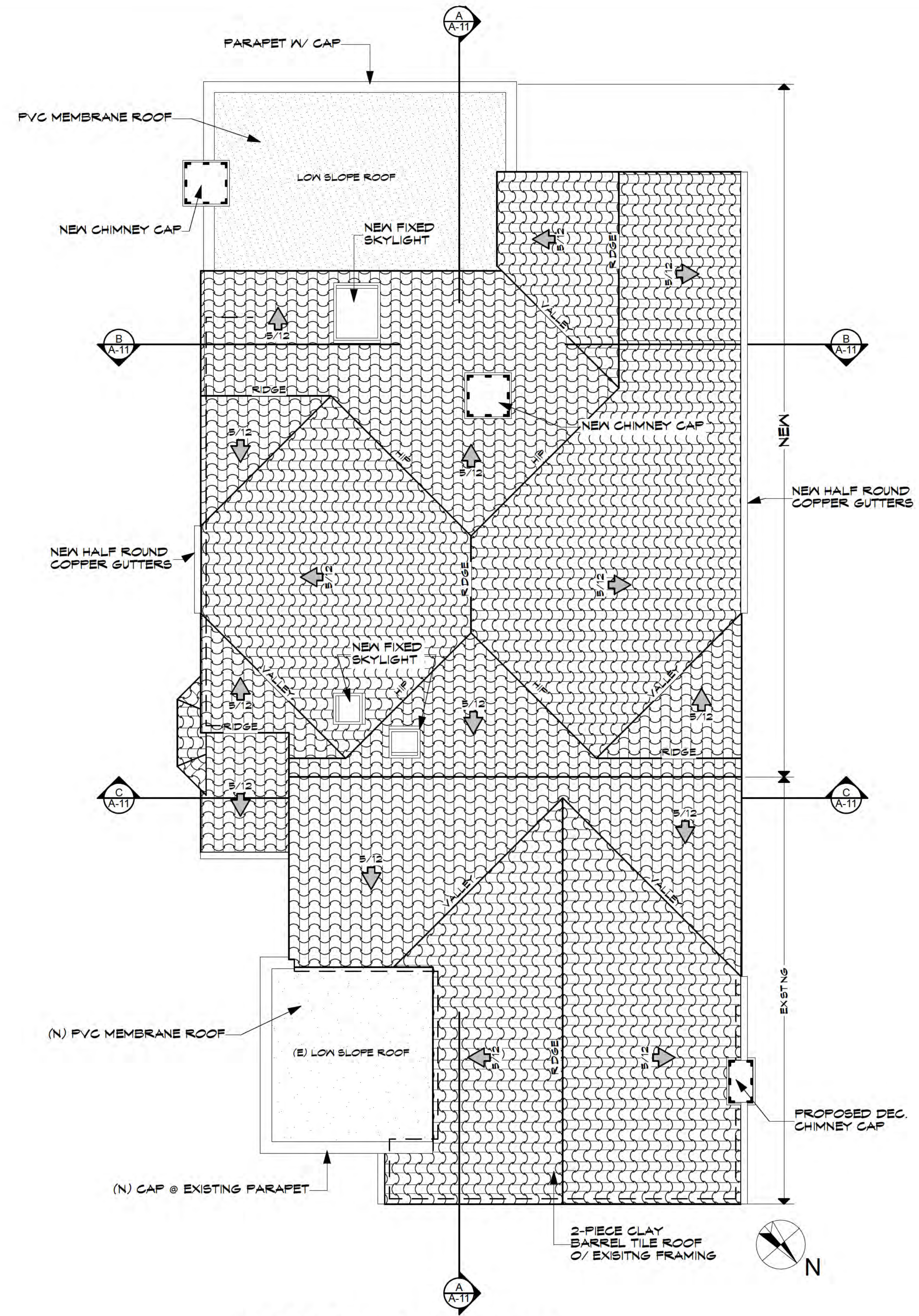
AN ADDITION & REMODEL FOR:  
**THE JELLINEK RESIDENCE**  
 323 PENNSYLVANIA AVENUE LOS GATOS, CA

PROPOSED  
 ROOF PLAN

DATE: 07/05/23

SCALE: AS SHOWN

SHEET  
**A-8**  
 13 OF -



**PROPOSED ROOF PLAN**  
 SCALE: 1/4" = 1'-0"

# ELEVATION NOTES / MATERIALS



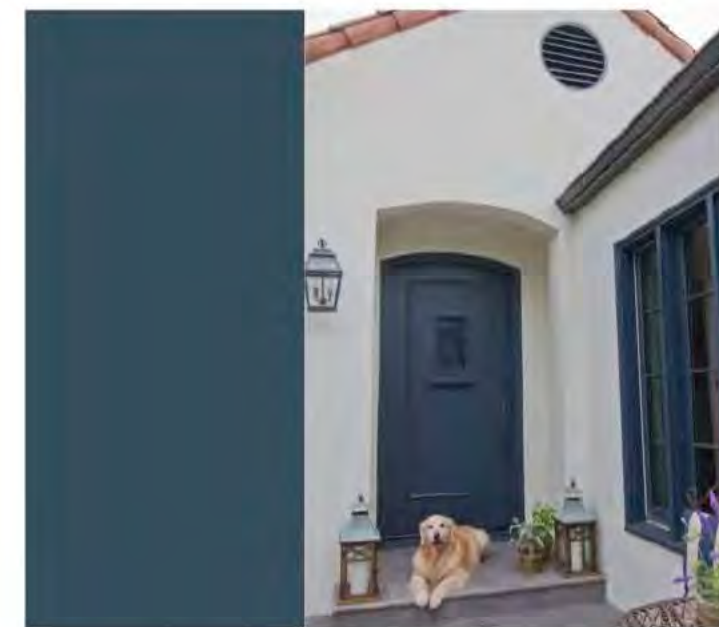
BENJAMIN MOORE  
OC-18 DOVE WING



GLADDING, MCBEAN, 100 Y.O.  
RECLAIMED, 2-PIECE CLAY  
BARREL TILE ROOF



CABOT CORDOVAN BROWN  
SEMI-TRANSPARENT STAIN



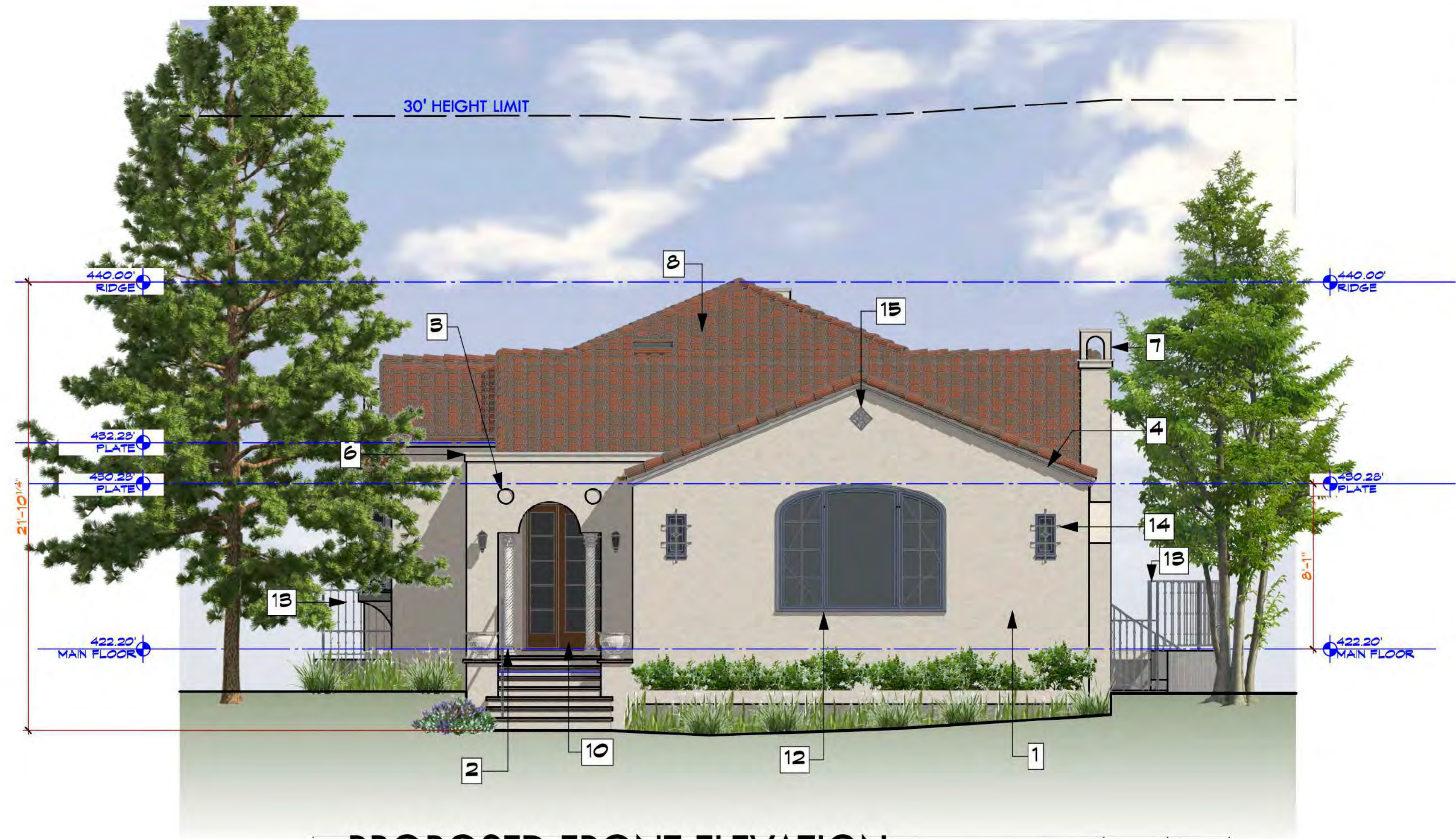
KOLBE HERITAGE SERIES,  
WOOD FRAMED WINDOWS,  
K-KRON FINISH, COASTAL STORM



WROUGHT IRON RAILING,  
BLACK

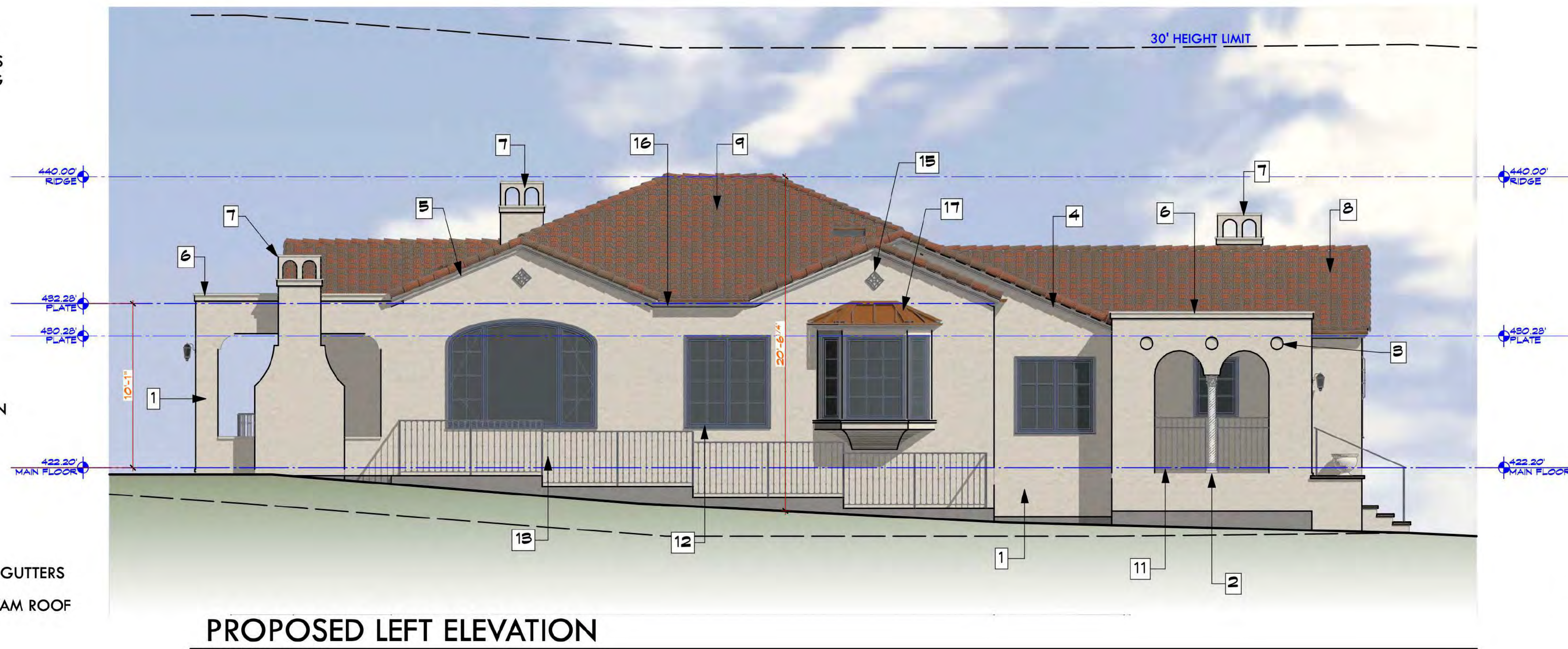


- 1 EXISTING SMOOTH STUCCO FINISH, NEW STUCCO TO MATCH
- 2 EXISTING TURNED PLASTER COLUMN
- 3 EXISTING CIRCULAR RECESS TO REMAIN
- 4 EXISTING CROWN MOLDING
- 5 NEW CROWN MOLDING TO MATCH EXISTING
- 6 NEW STEPPED TRIM @ PARAPET
- 7 NEW DECORATIVE CHIMNEY SHROUD
- 8 NEW 2-PIECE BARREL TILE @ EXISTING ROOF FRAMING
- 9 NEW 2-PIECE BARREL TILE @ NEW ROOF FRAMING
- 10 NEW STAINED WOOD FRONT DOOR W/ SIDELITES
- 11 NEW STAINED WOOD GARAGE DOOR W/ LITES
- 12 NEW WOOD FRAMED CASEMENT WINDOWS W/ STUCCO MOLDING & SILL
- 13 NEW WROUGHT IRON GUARDRAIL @ LIGHTWELLS & BALCONY
- 14 NEW WROUGHT IRON DECORATIVE GRILL OVER WINDOWS
- 15 NEW RECESSED DECORATIVE METAL GABLE END GRILL @ YENT
- 16 HALF ROUND COPPER GUTTERS
- 17 COPPER STANDING SEAM ROOF AT BAY WINDOW



PROPOSED FRONT ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED LEFT ELEVATION

SCALE: 1/4" = 1'-0"

REVISIONS	
A.	09/25/23
B.	11/02/23
C.	11/22/23
D.	02/01/24



AN ADDITION & REMODEL FOR:  
**THE JELLINEK RESIDENCE**  
323 PENNSYLVANIA AVENUE LOS GATOS, CA

PROPOSED  
FRONT &  
LEFT  
ELEVATIONS

DATE: 07/03/23

SCALE: AS SHOWN

SHEET

**A-9**

14 OF -

# ELEVATION NOTES / MATERIALS



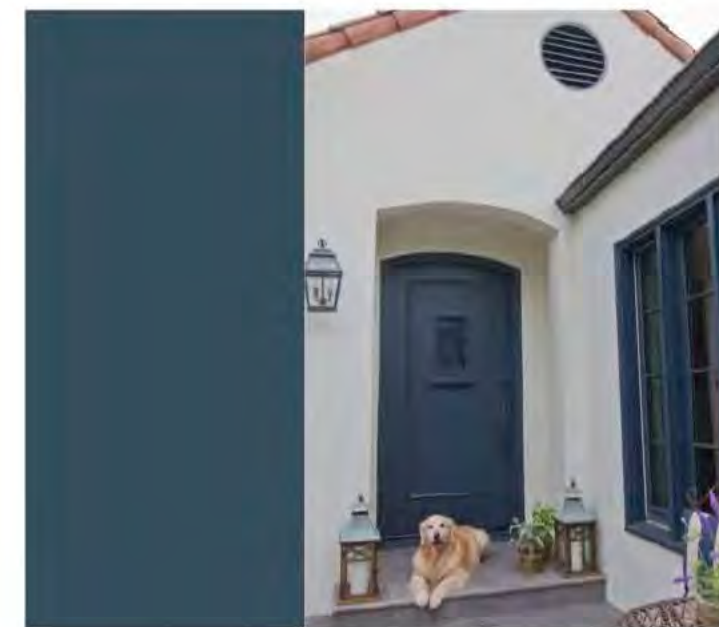
BENJAMIN MOORE  
OC-18 DOVE WING



GLADDING, MCBEAN, 100 Y.O.  
RECLAIMED, 2-PIECE CLAY  
BARREL TILE ROOF



CABOT CORDOVAN BROWN  
SEMI-TRANSPARENT STAIN



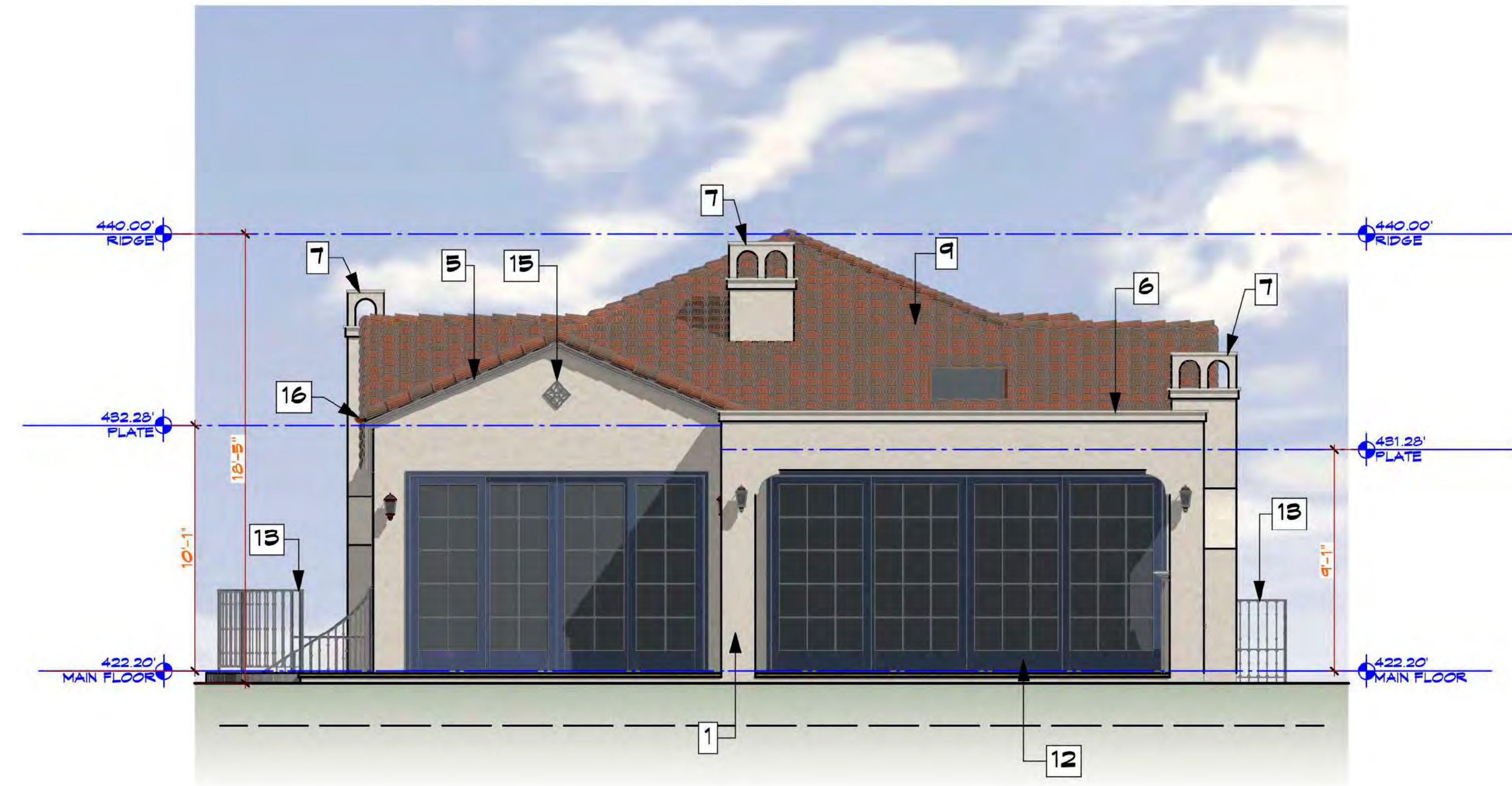
KOLBE HERITAGE SERIES,  
WOOD FRAMED WINDOWS,  
K-KRON FINISH, COASTAL STORM



WROUGHT IRON RAILING,  
BLACK

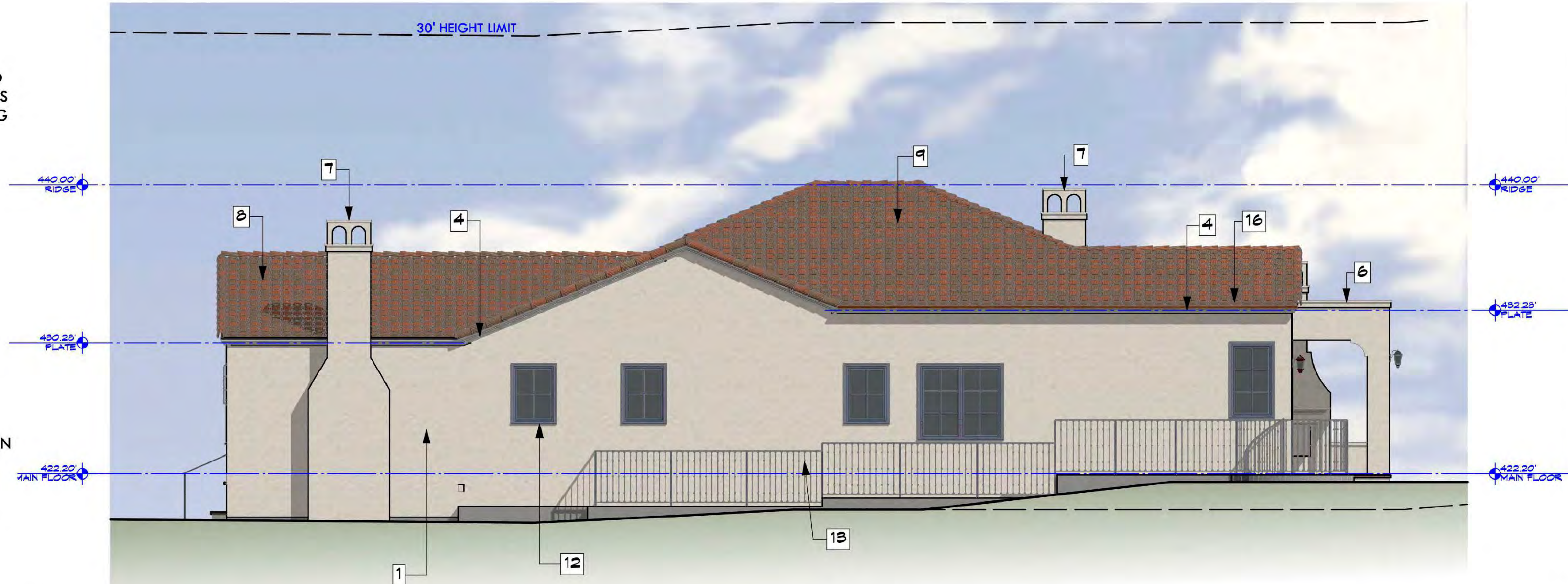


- 1 EXISTING SMOOTH STUCCO FINISH, NEW STUCCO TO MATCH
- 2 EXISTING TURNED PLASTER COLUMN
- 3 EXISTING CIRCULAR RECESS TO REMAIN
- 4 EXISTING CROWN MOLDING
- 5 NEW CROWN MOLDING TO MATCH EXISTING
- 6 NEW STEPPED TRIM @ PARAPET
- 7 NEW DECORATIVE CHIMNEY SHROUD
- 8 NEW 2-PIECE BARREL TILE @ EXISTING ROOF FRAMING
- 9 NEW 2-PIECE BARREL TILE @ NEW ROOF FRAMING
- 10 NEW STAINED WOOD FRONT DOOR W/ SIDELITES
- 11 NEW STAINED WOOD GARAGE DOOR W/ LITES
- 12 NEW WOOD FRAMED CASEMENT WINDOWS W/STUCCO MOLDING & SILL
- 13 NEW WROUGHT IRON GUARDRAIL @ LIGHTWELLS & BALCONY
- 14 NEW WROUGHT IRON DECORATIVE GRILL OVER WINDOWS
- 15 NEW RECESSED DECORATIVE METAL GABLE END GRILL @ YENT
- 16 HALF ROUND COPPER GUTTERS
- 17 COPPER STANDING SEAM ROOF AT BAY WINDOW



PROPOSED REAR ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

REVISIONS

A.	09/25/23
B.	11/02/23
C.	11/22/23
D.	02/01/24



AN ADDITION & REMODEL FOR:  
**THE JELLINEK RESIDENCE**  
323 PENNSYLVANIA AVENUE LOS GATOS, CA

PROPOSED  
REAR &  
RIGHT  
ELEVATIONS

DATE: 07/03/23

SCALE: AS SHOWN

SHEET

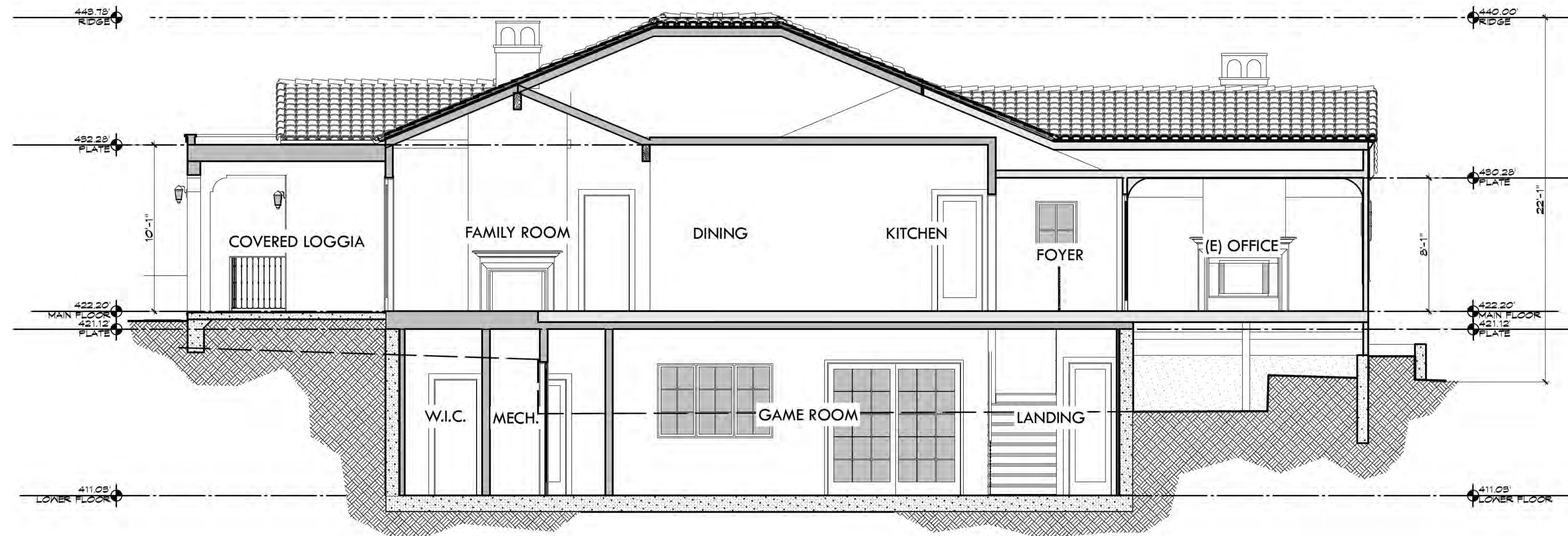
**A-10**

15 OF -

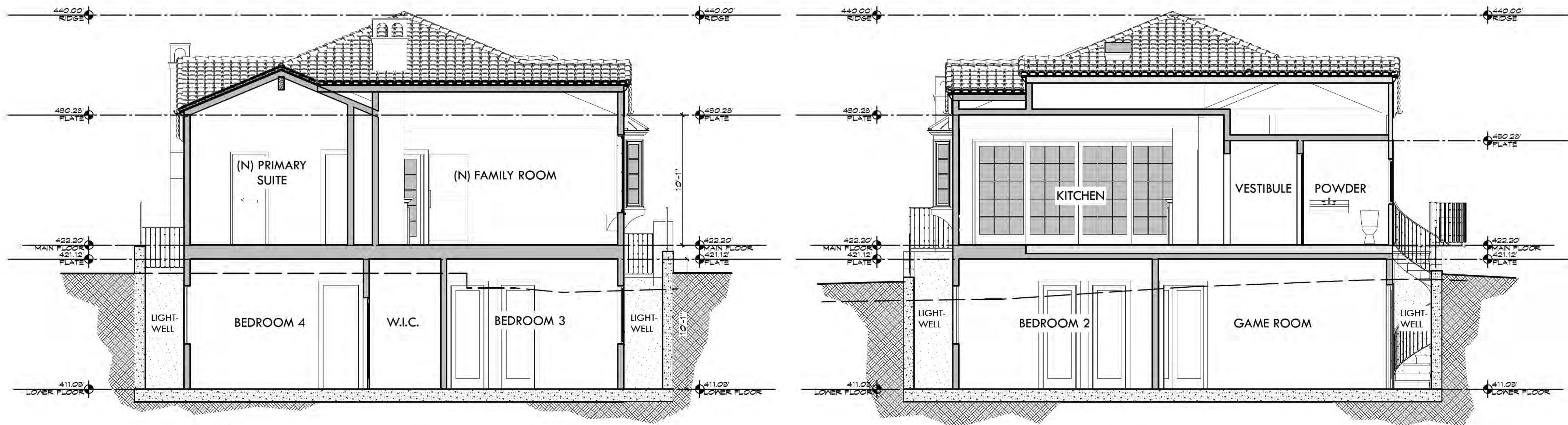
REVISIONS

A.	09/25/23
B.	11/02/23
C.	11/22/23
D.	02/01/24

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**SECTION A-A**  
 SCALE: 1/4" = 1'-0"



**SECTION B-B**  
 SCALE: 1/4" = 1'-0"

**SECTION C-C**  
 SCALE: 1/4" = 1'-0"

AN ADDITION & REMODEL FOR:  
**THE JELLINEK RESIDENCE**  
 323 PENNSYLVANIA AVENUE LOS GATOS, CA

CROSS SECTIONS

DATE: 07/08/23  
 SCALE: AS SHOWN  
 SHEET

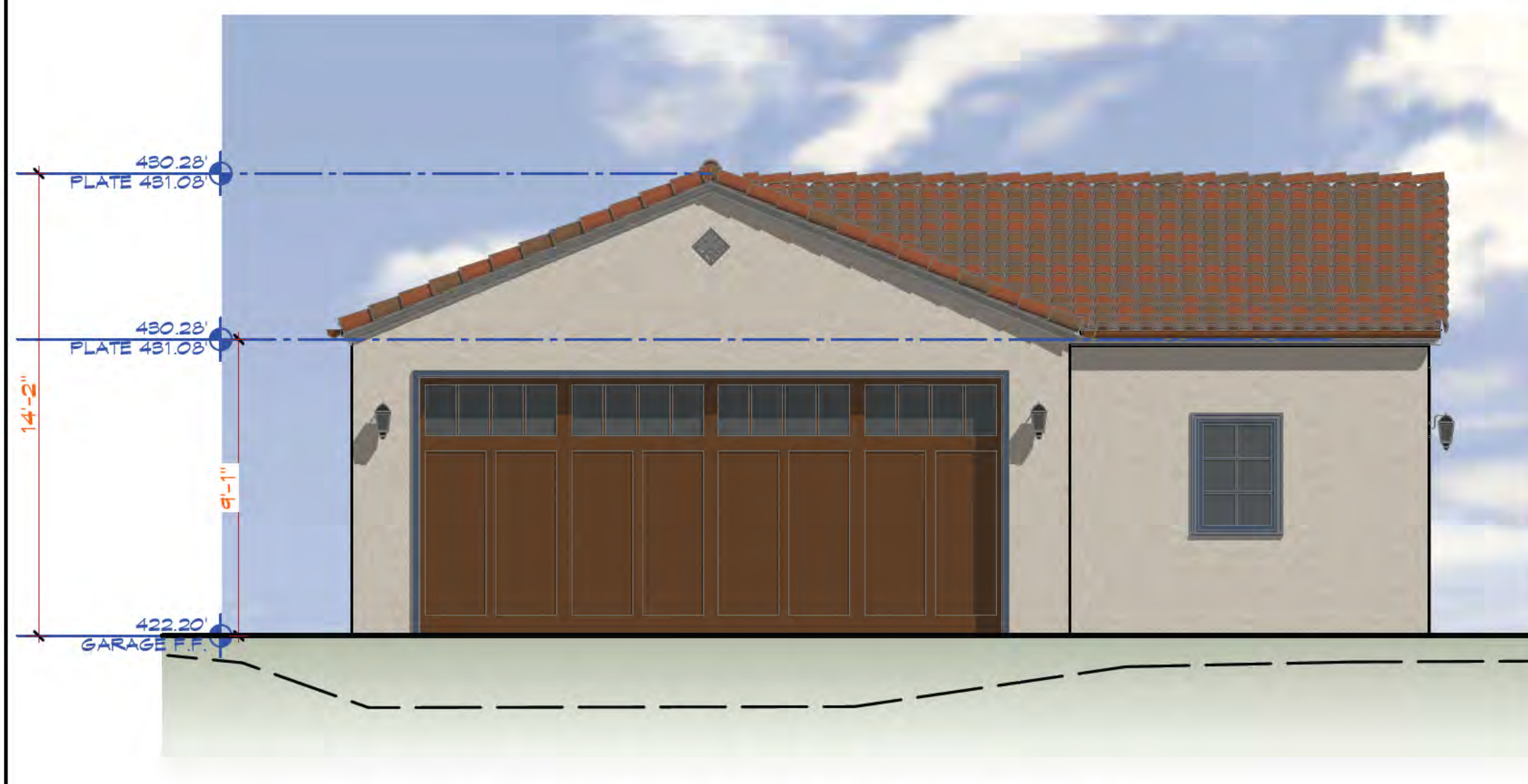


REVISIONS	
A.	09/25/23
B.	11/02/23
C.	11/22/23
D.	02/01/24

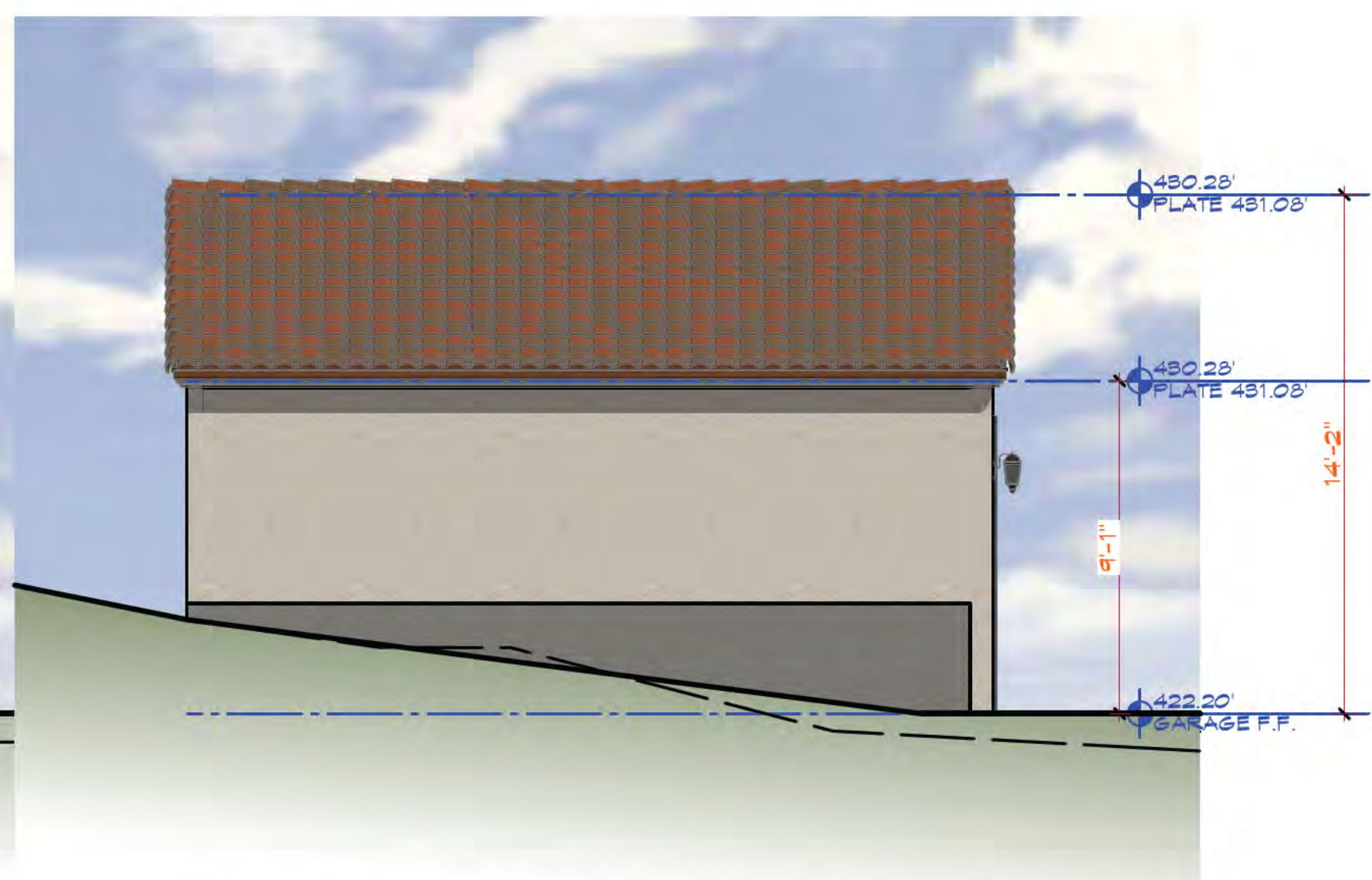
**KOHLSAAT & ASSOCIATES**  
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AN ADDITION & REMODEL FOR:  
**THE JELLINEK RESIDENCE**  
 323 PENNSYLVANIA AVENUE LOS GATOS, CA

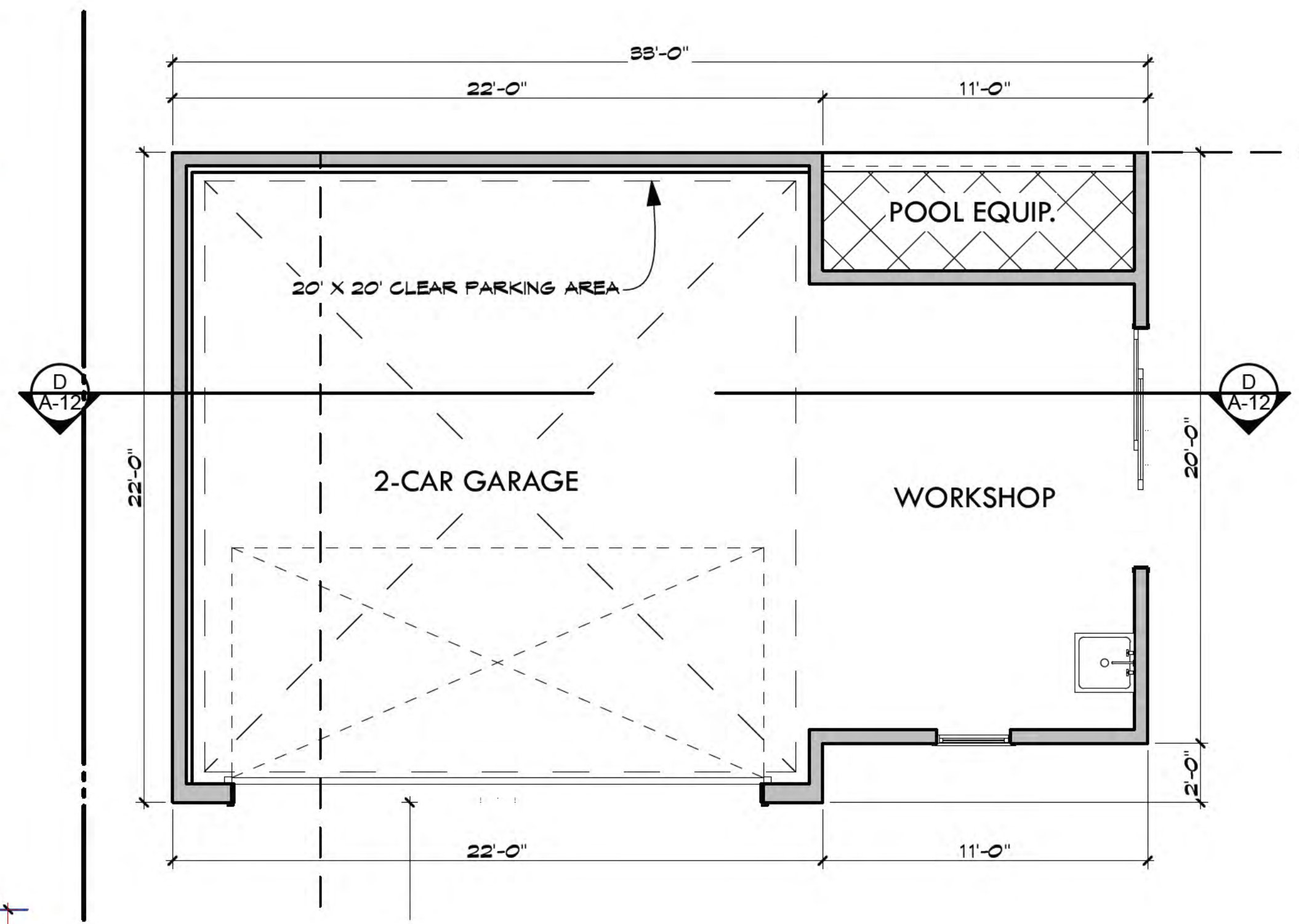
GARAGE PLANS  
 DATE: 07/05/23  
 SCALE: AS SHOWN  
 SHEET  
**A-12**  
 17 OF -



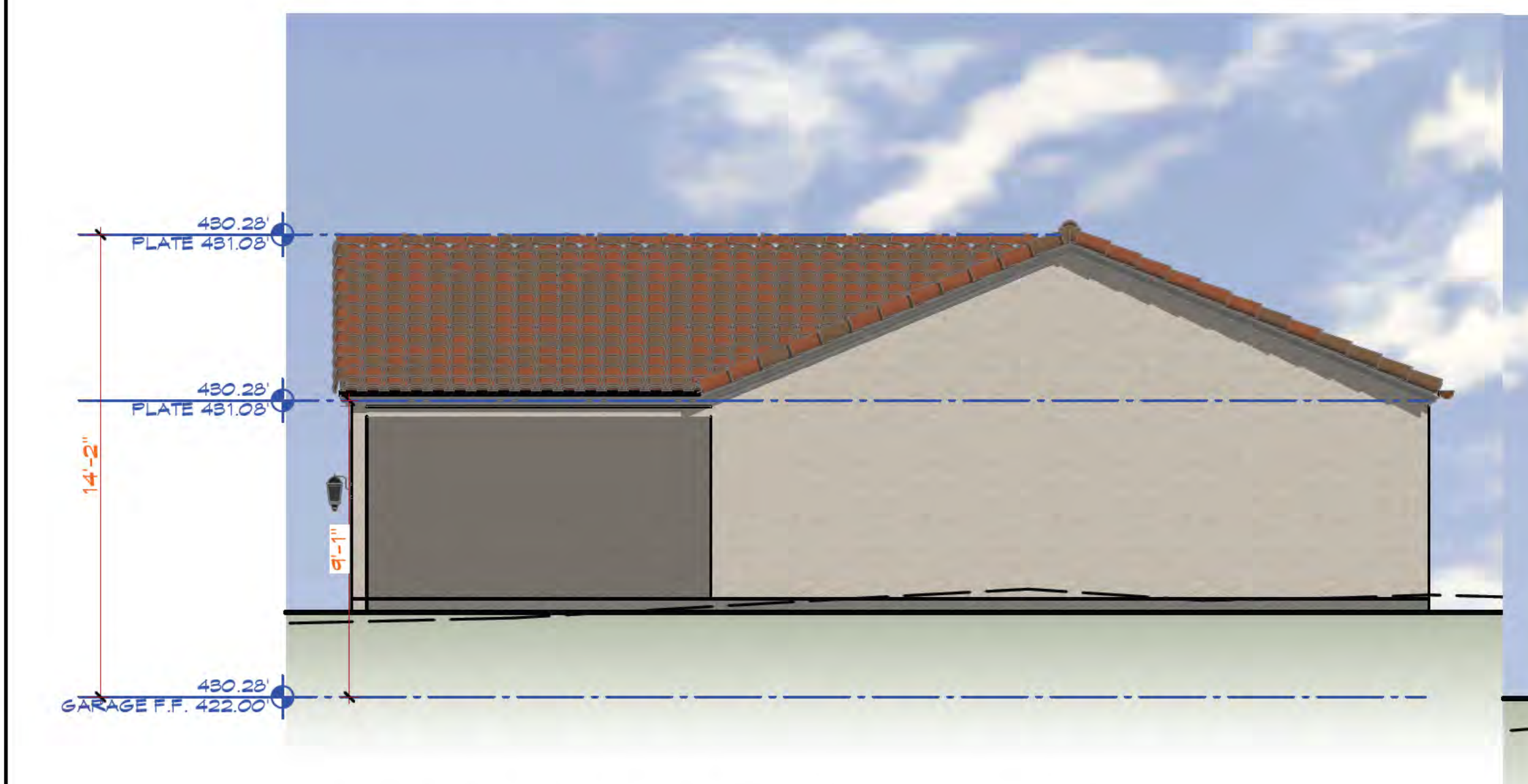
**GARAGE FRONT ELEVATION**  
 SCALE: 1/4" = 1'-0"



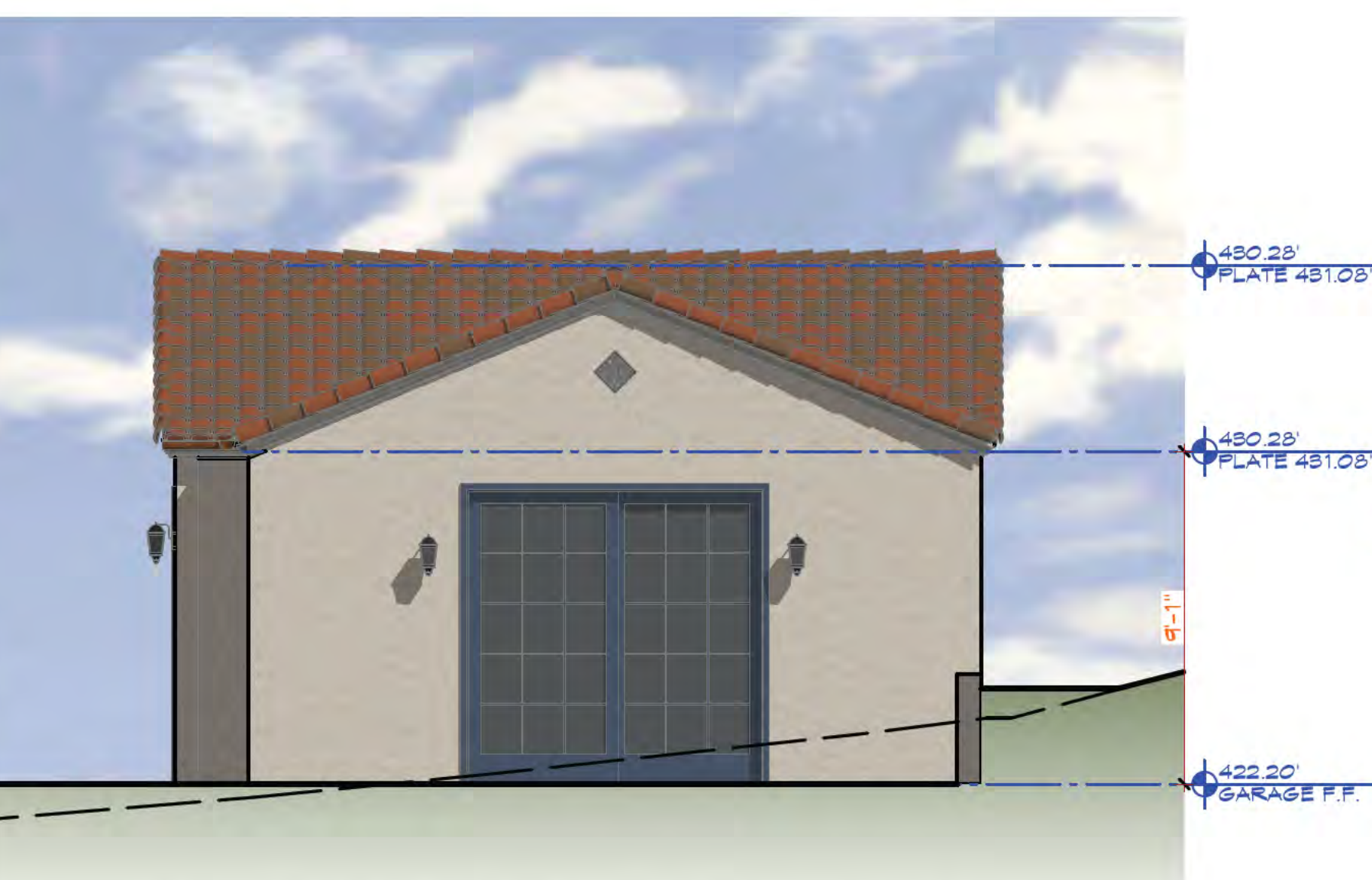
**GARAGE LEFT ELEVATION**  
 SCALE: 1/4" = 1'-0"



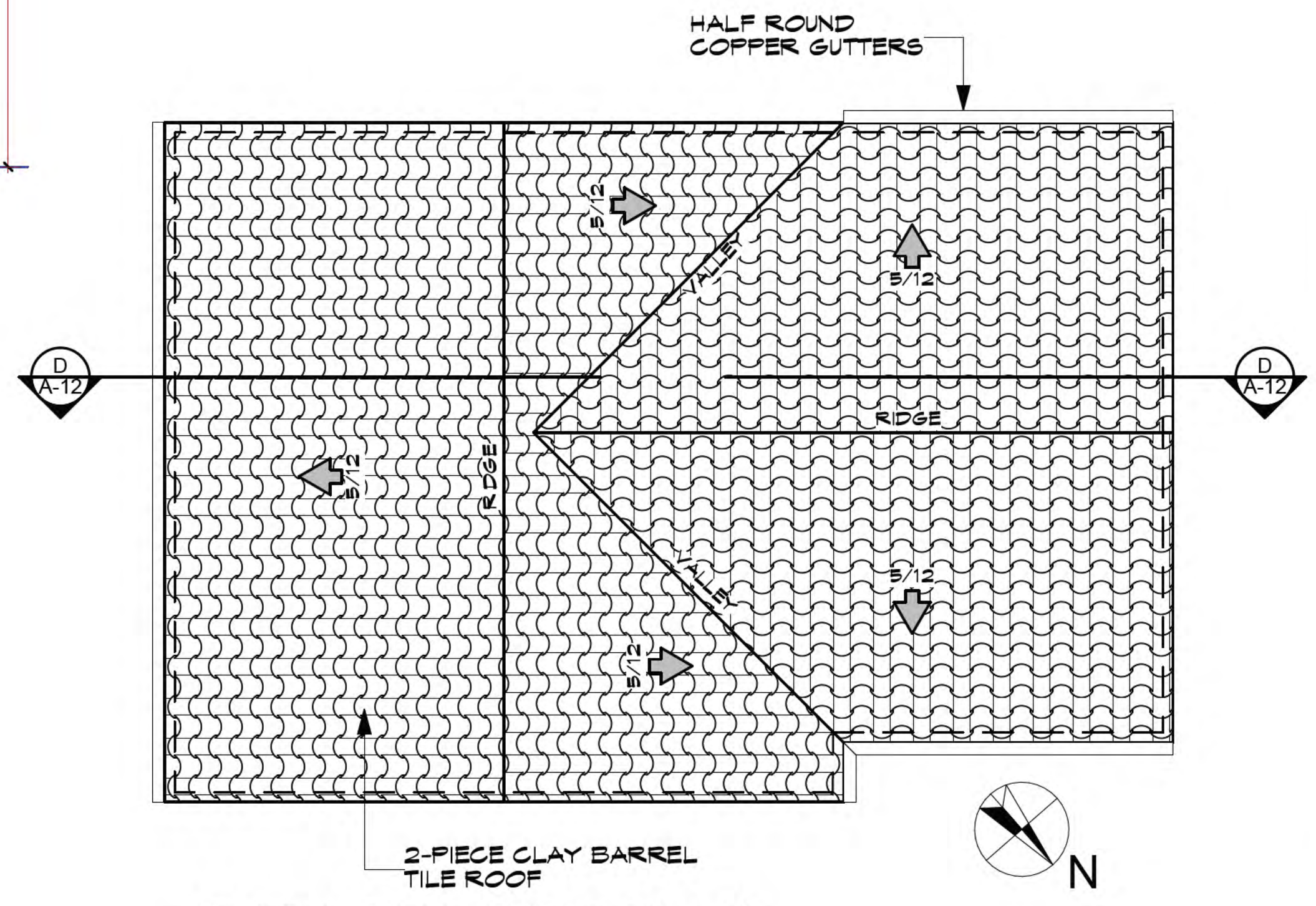
**GARAGE FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"



**GARAGE REAR ELEVATION**  
 SCALE: 1/4" = 1'-0"

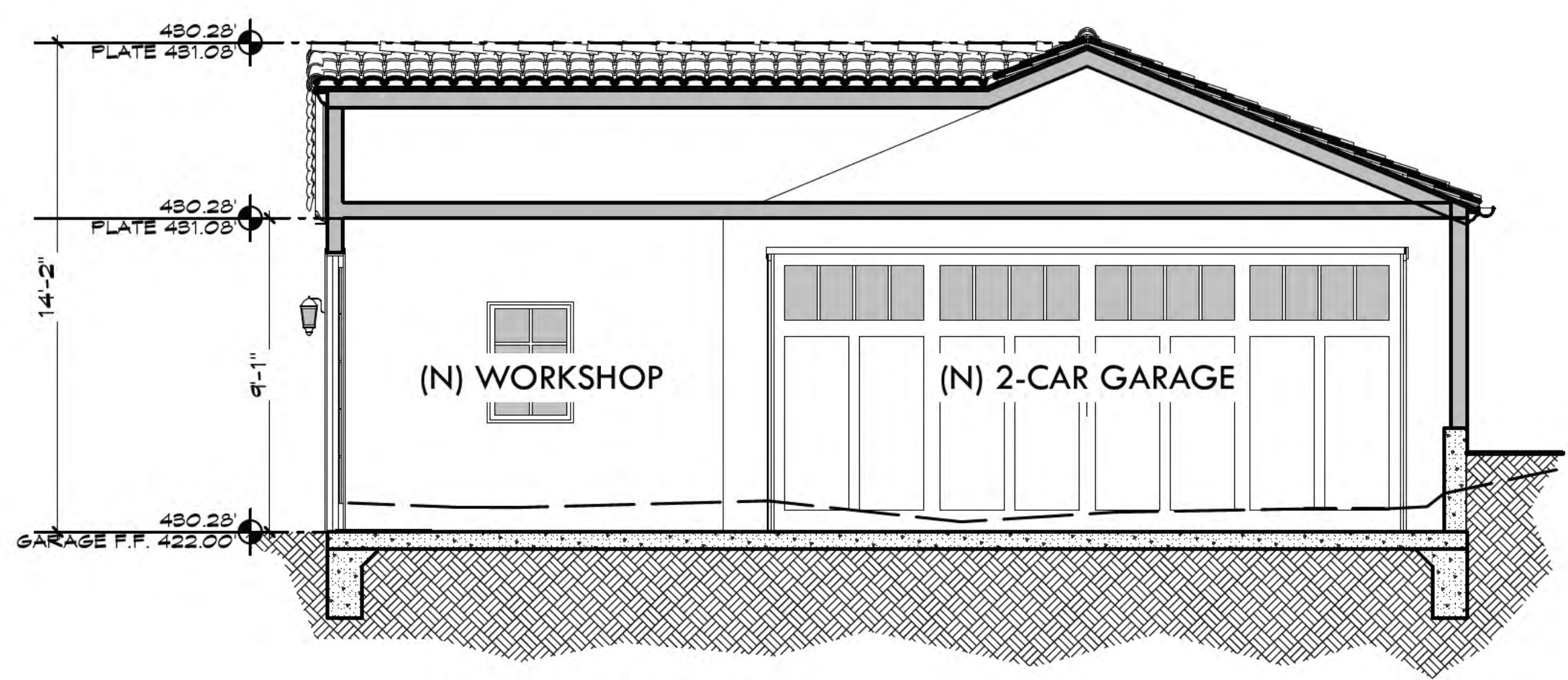


**GARAGE RIGHT ELEVATION**  
 SCALE: 1/4" = 1'-0"

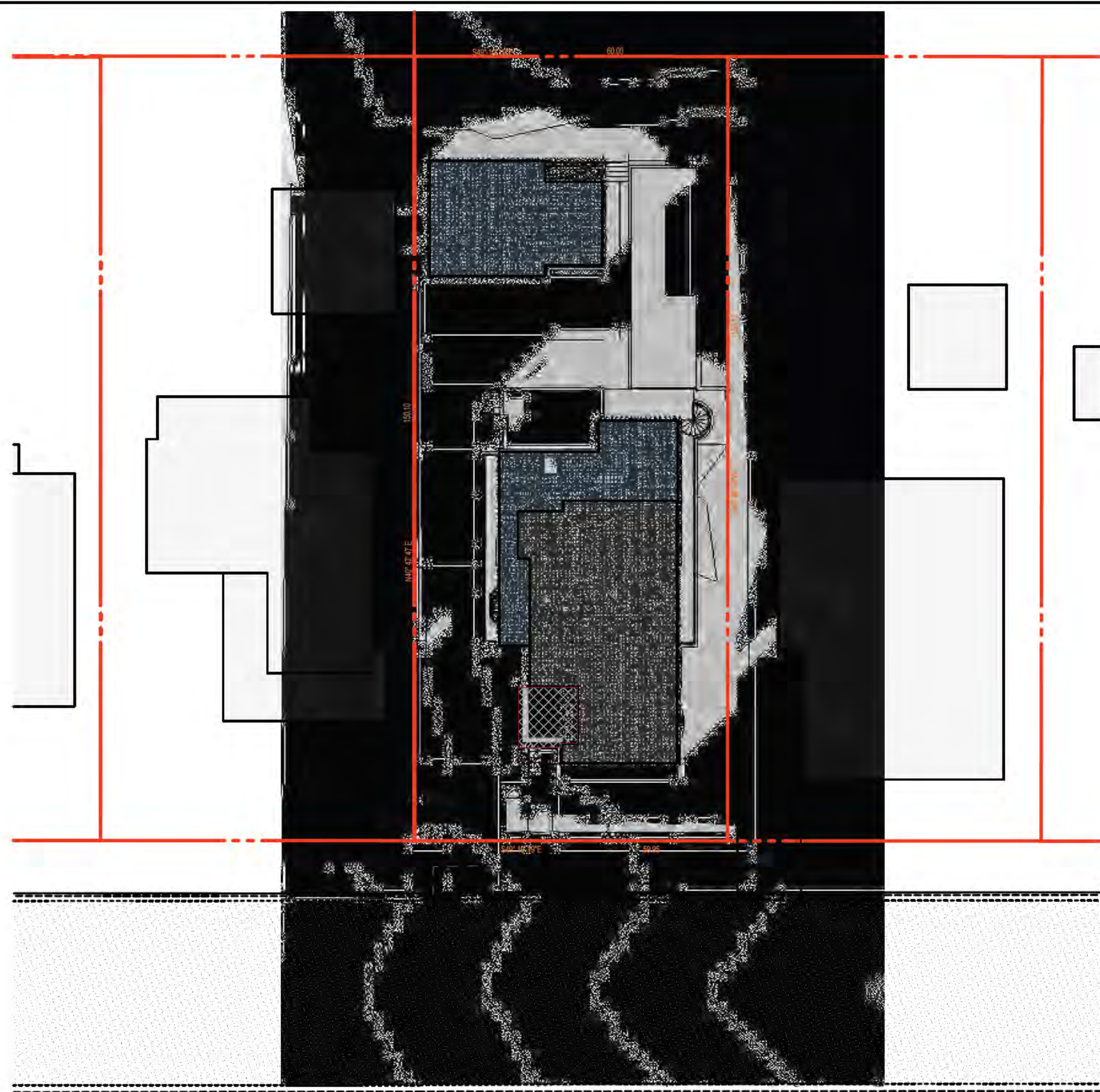


**GARAGE ROOF PLAN**  
 SCALE: 1/4" = 1'-0"

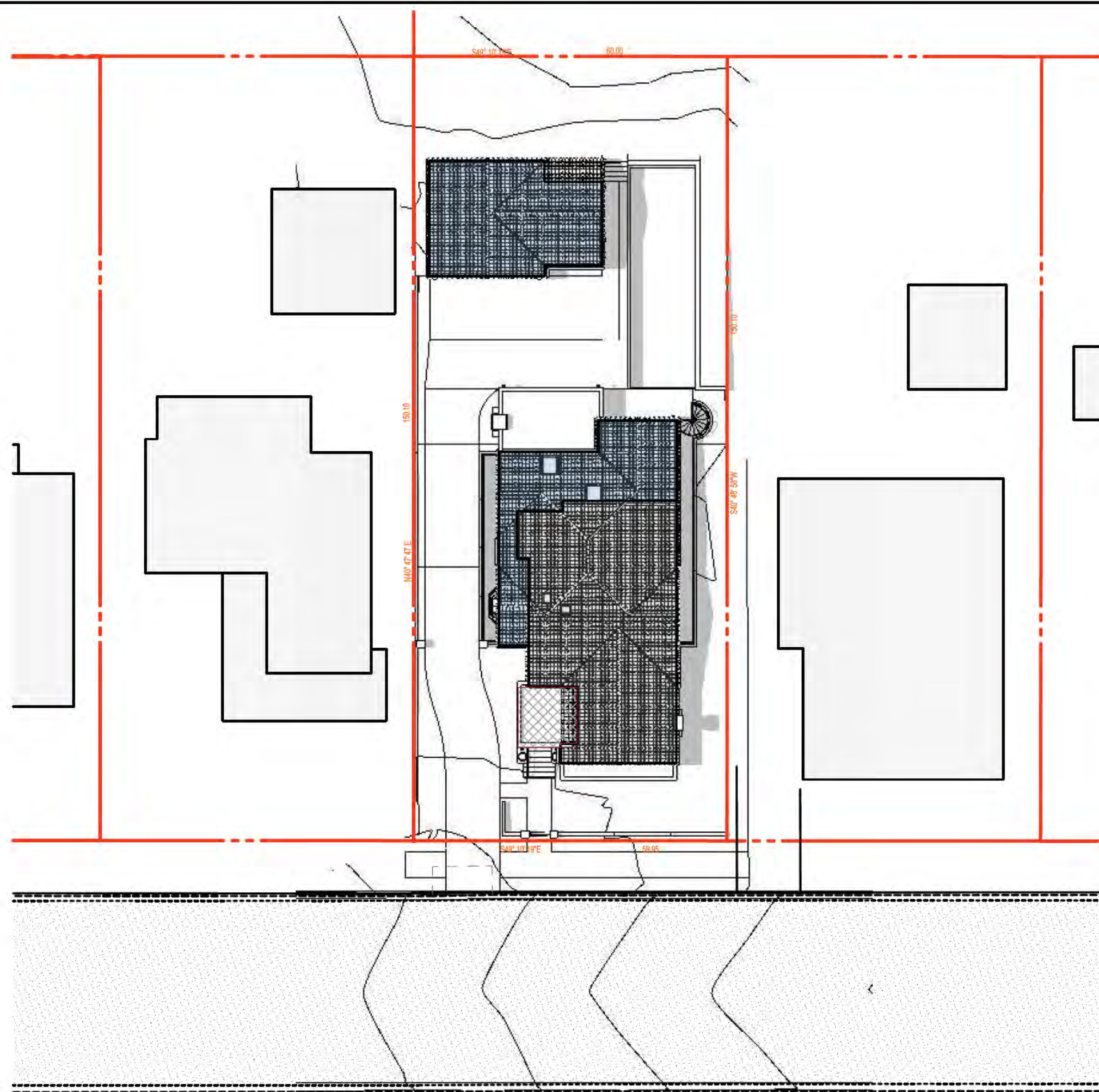
\* SEE FINISHES AND MATERIALS ON THE MAIN RESIDENCE ELEVATION SHEETS.



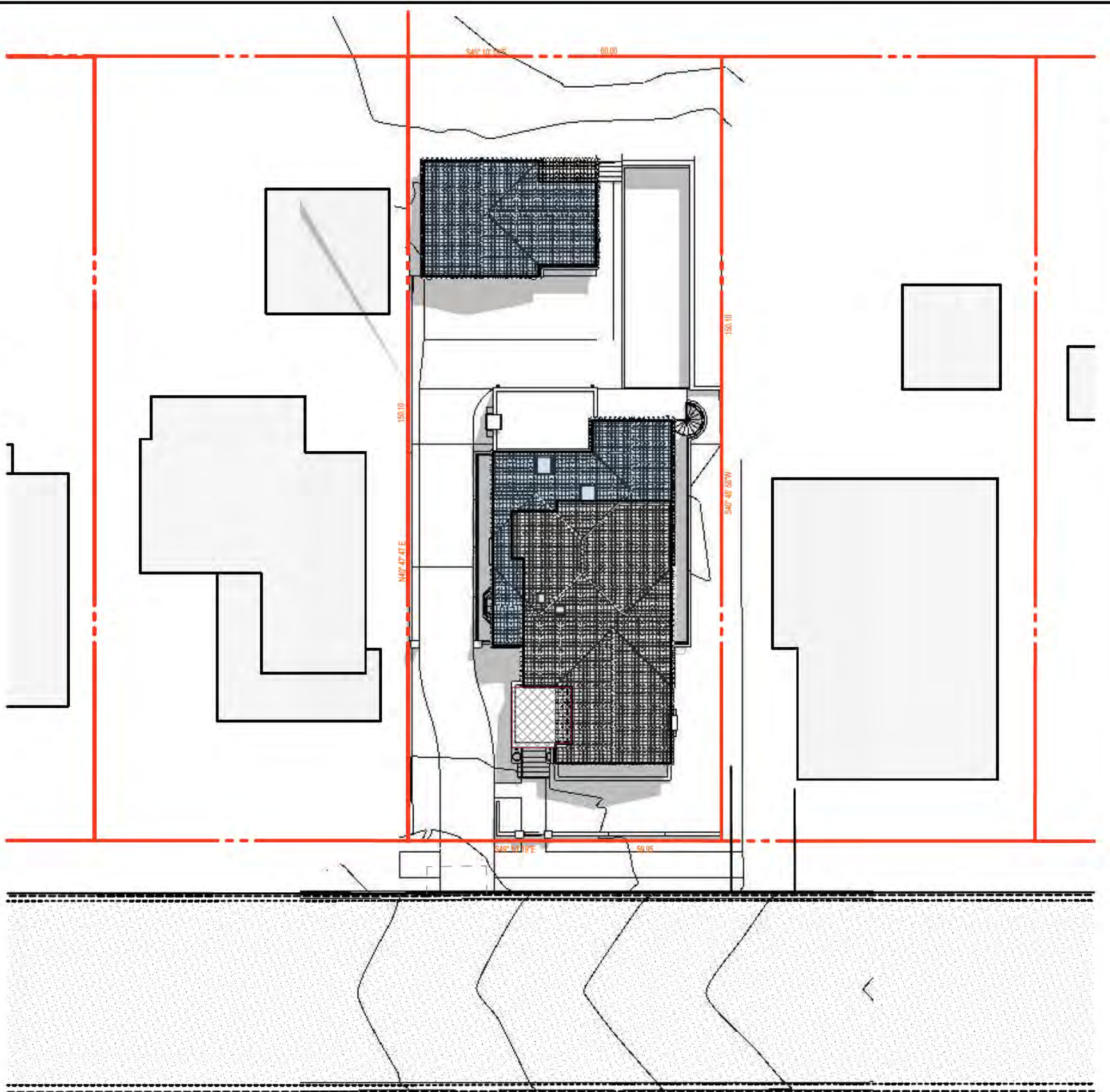
**SECTION D-D**  
 SCALE: 1/4" = 1'-0"



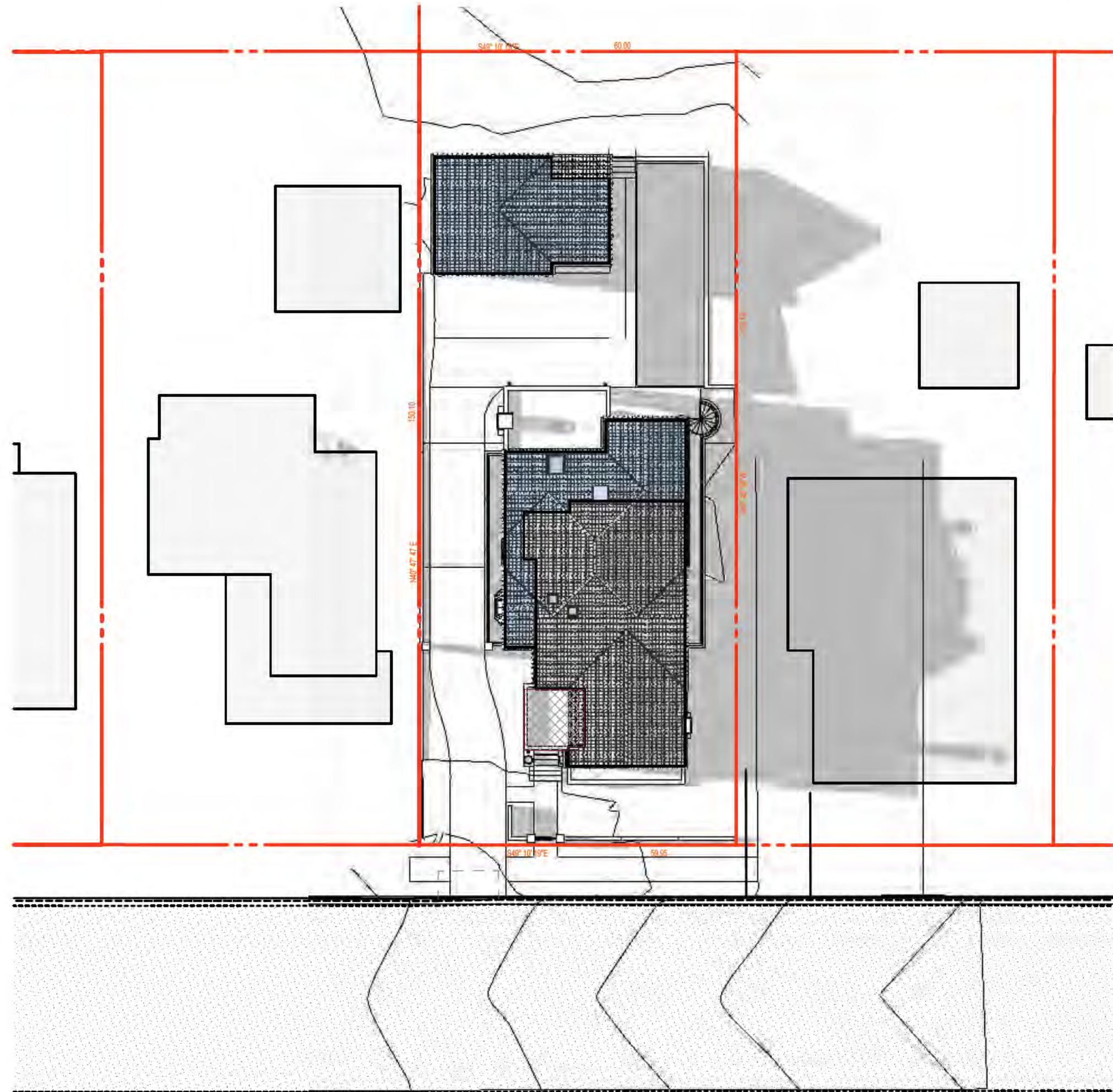
June 21 @9:00am



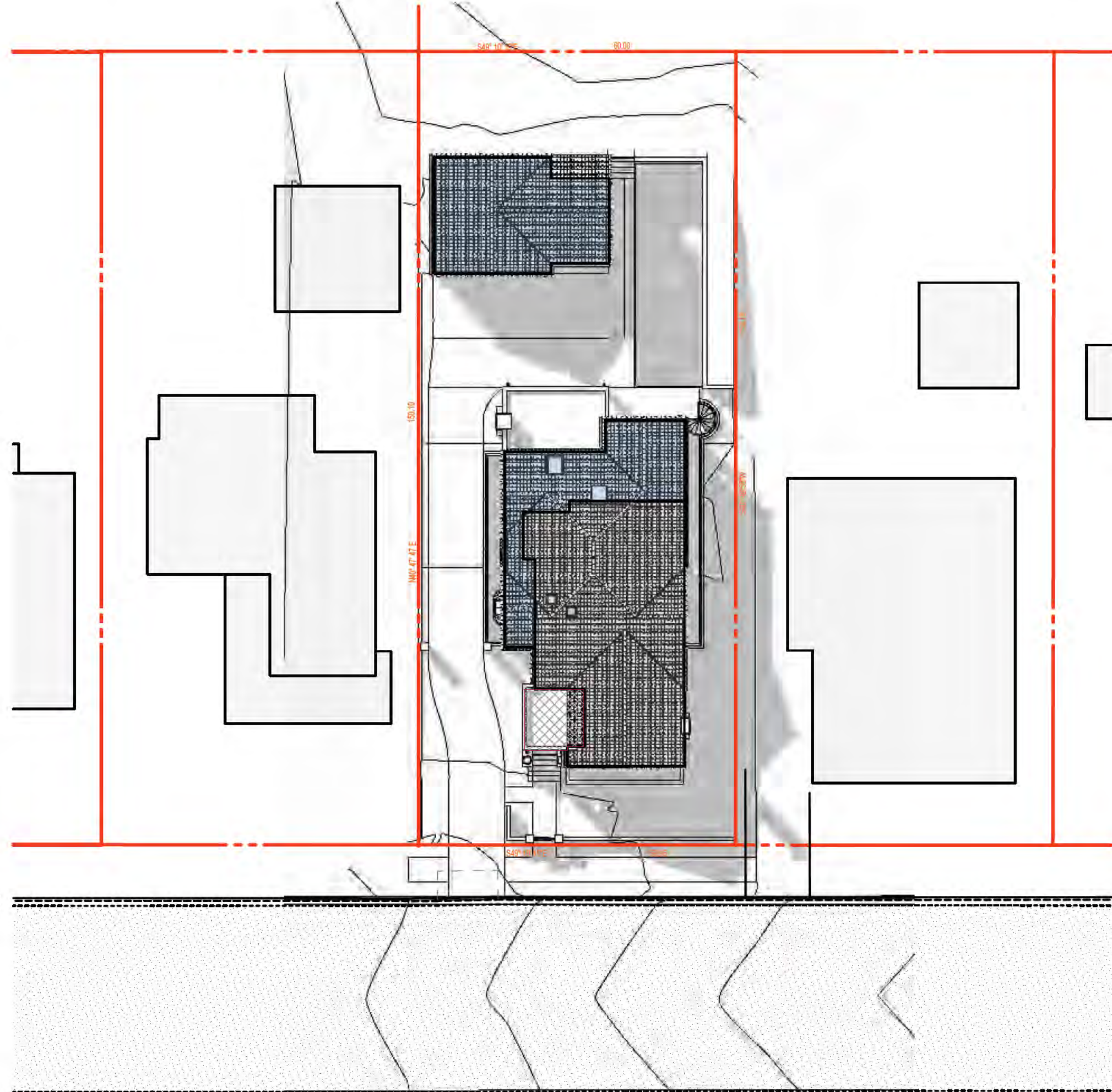
June 21 @12pm



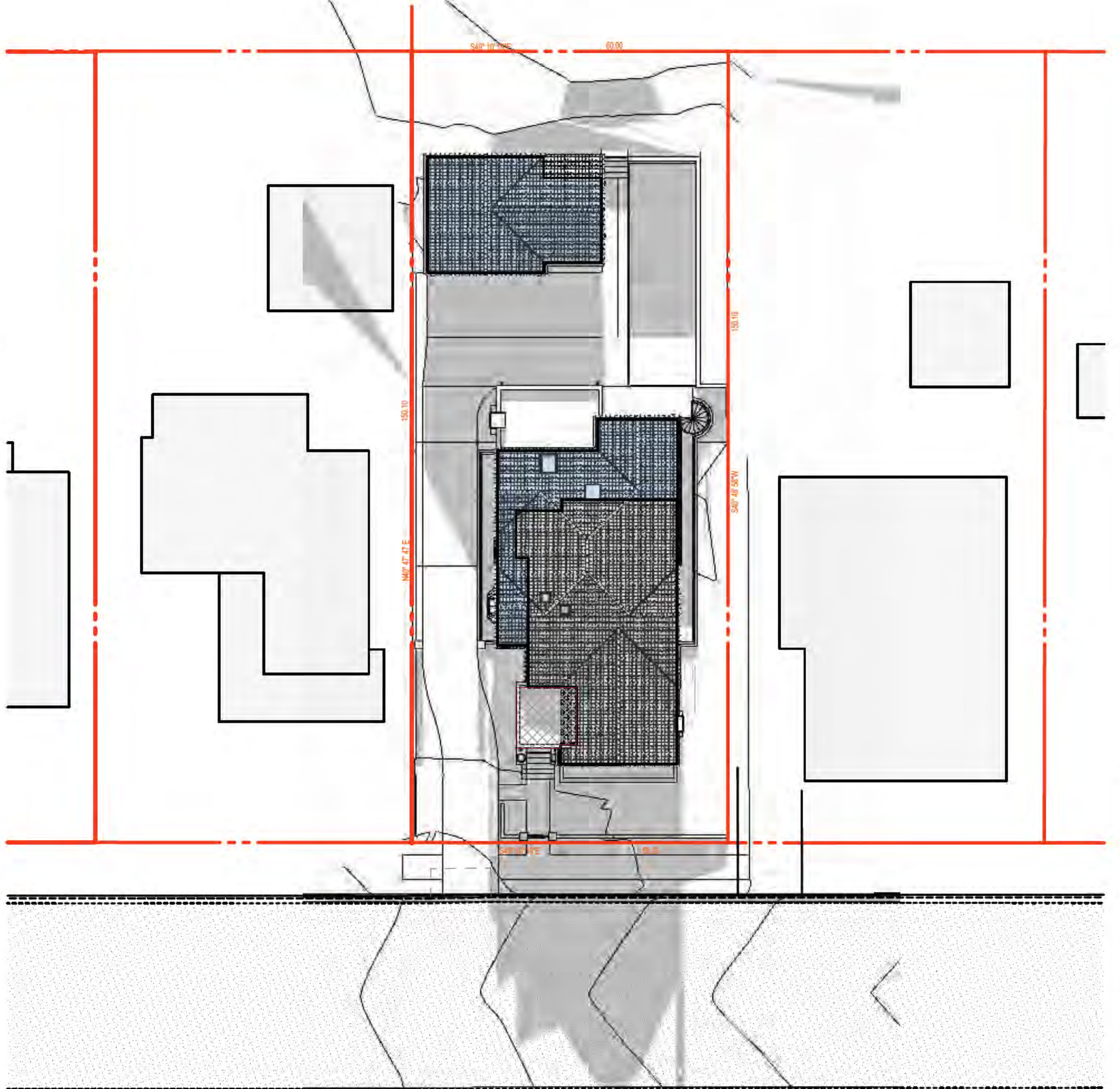
June 21 @3:00pm



December 21 @ 9:00am



December 21 @ 12:00pm



December 21 @ 3:00pm

REVISIONS	
A.	09/25/23
B.	11/02/23
C.	11/22/23
D.	02/01/24



AN ADDITION & REMODEL FOR:  
**THE JELLINEK RESIDENCE**  
 323 PENNSYLVANIA AVENUE LOS GATOS, CA

SHADOW STUDIES

DATE: 07/05/23  
 SCALE: 1" = 20'-0"  
 SHEET

**A-13**  
 18 OF -