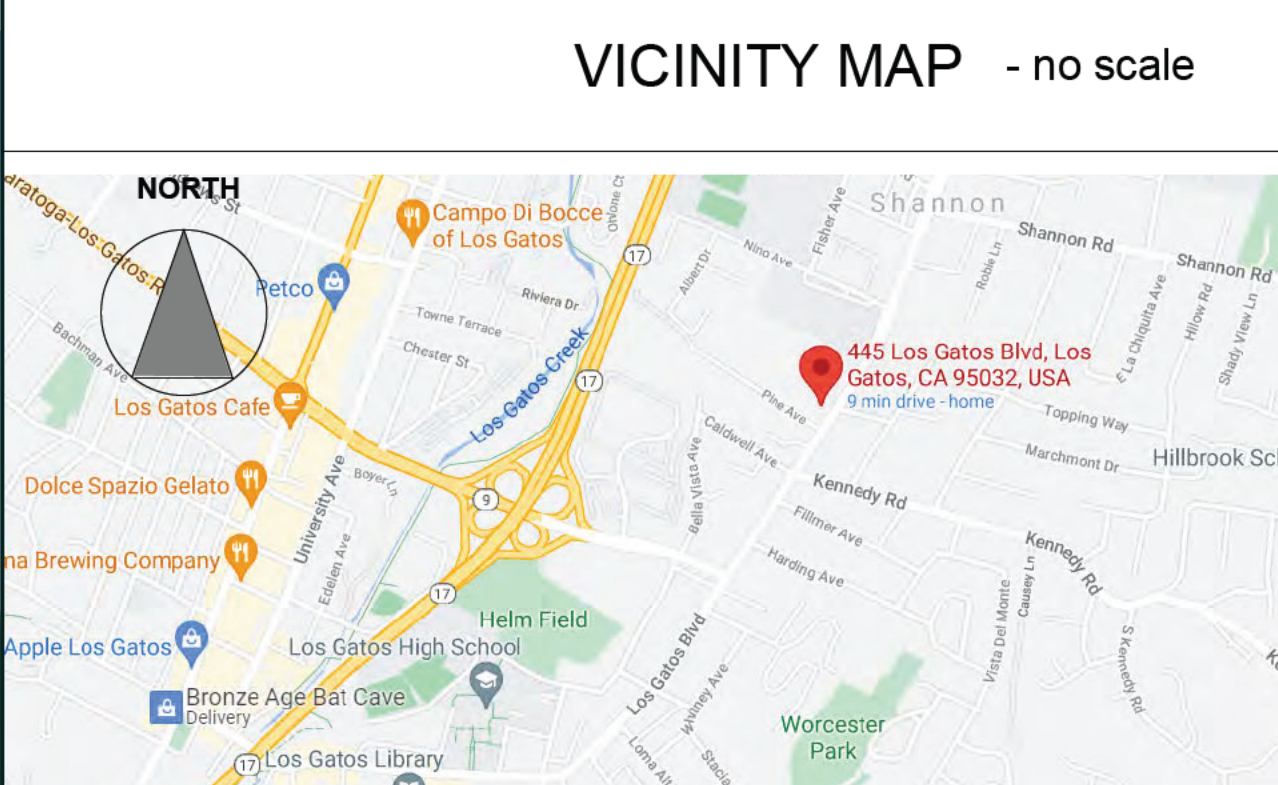


SYMBOLS and ABBREVIATIONS

Table of symbols and abbreviations for various construction materials and components, including concrete, steel, wood, and plumbing fixtures.



PERSPECTIVE



PROJECT DATA

PROJECT: Nguyen Residence - Remodel & Addition
ADDRESS: 445 Los Gatos Blvd., Los Gatos, CA 95032
MUNICIPAL AUTHORITY: Town of Los Gatos
COUNTY: Santa Clara County
APN: 529-20-006
ZONING: R1-8
SETBACKS: FRONT 25 feet SIDES 8 feet REAR 20 feet

SCOPE OF WORK

- RELOCATION OF AND STRUCTURAL RETROFITS TO EXISTING ONE-STORY "HISTORIC" RESIDENCE ON NEW FOUNDATION
REMODEL AND MAIN AND UPPER LEVEL ADDITION TO EXISTING "HISTORIC" RESIDENCE
CONSTRUCTION OF DETACHED 3-CAR GARAGE
DRIVEWAY PAVING AND RELATED IMPROVEMENTS
BELOW GROUND RELOCATION AND EXTENSION OF EXISTING UTILITIES

IMPERVIOUS SURFACE - PROPOSED

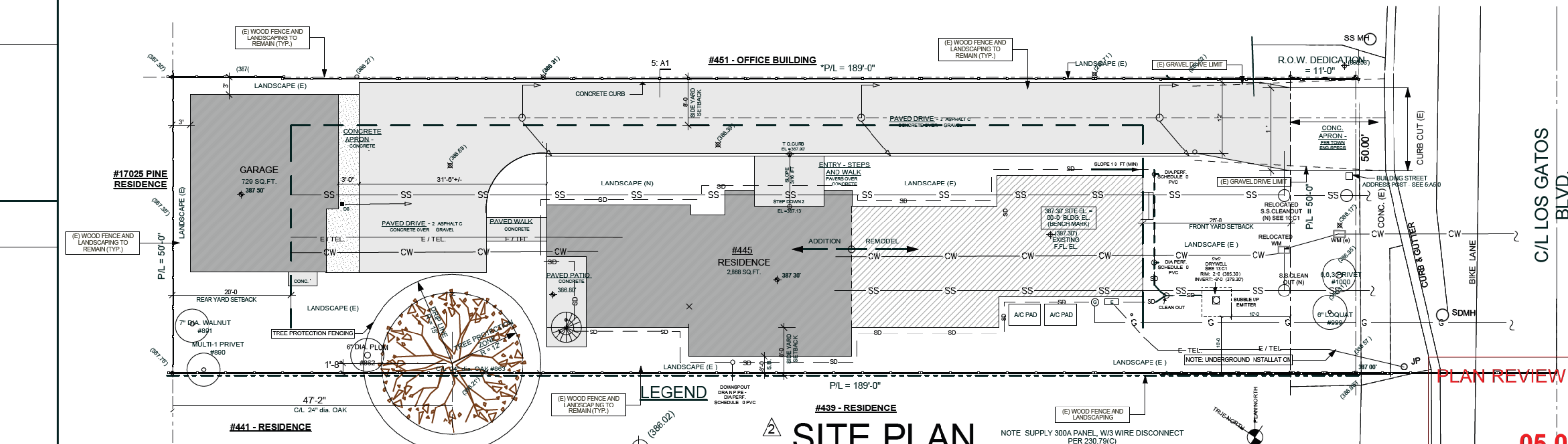
SITE AREA : 9,450 SQ.FT.
LOT COVERAGE: RESIDENCE and GARAGE = 2,826 SQ.FT.
PORCH, WALK, ENTRY, PATIO = 197 SQ.FT.
DRIVEWAY = 2,490 SQ.FT.
TOTAL IMPERVIOUS = 5,577 SQ.FT.
PERCENTAGE IMPERVIOUS: 59%

GENERAL NOTES

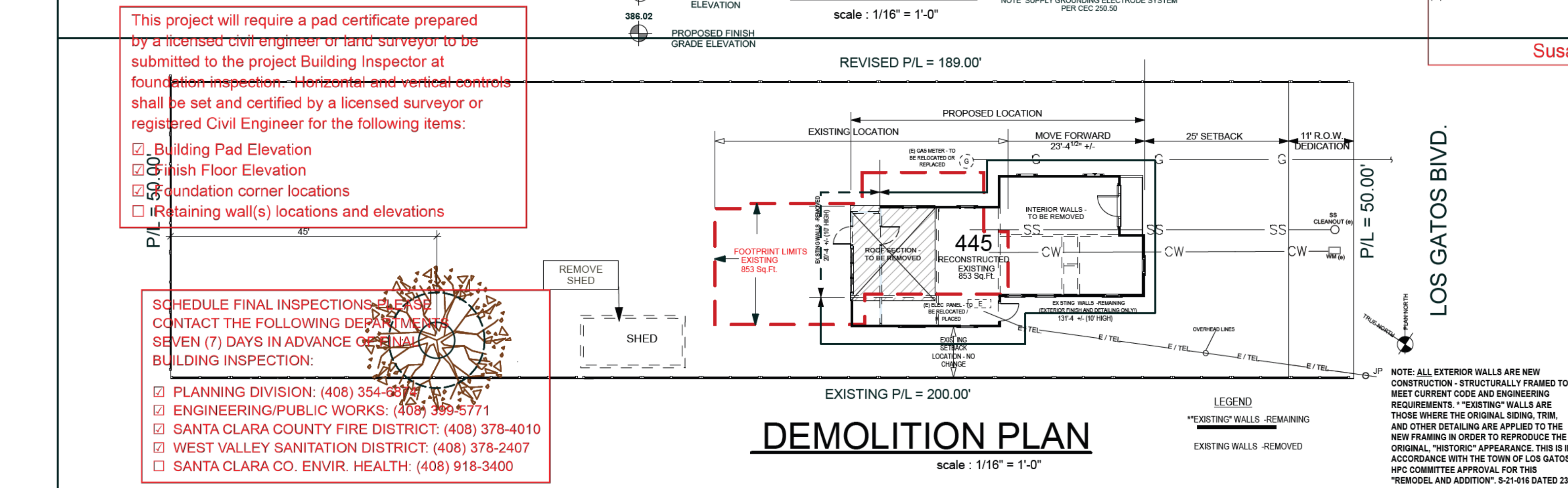
- 1. ALL WORK, INCLUDING MATERIALS AND WORKMANSHIP, SHALL CONFORM TO THE REQUIREMENTS OF LOCAL CODES, LAWS AND ORDINANCES AND THE CALIFORNIA 2019 STANDARD CODES, AS AMENDED...
2. THE CONTRACTOR SHALL VISIT THE JOB SITE PRIOR TO BIDDING AND SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO BEGINNING WORK...
3. THE STARTING OF ANY WORK BY ANY CONTRACTOR OR SUBCONTRACTOR SHALL BE CONSIDERED PERMANENT EVIDENCE THAT HE HAS INSPECTED AND ACCEPTED ALL CONDITIONS INVOLVED IN HIS WORK AND FINDS THEM SATISFACTORY...
4. DIMENSIONS TAKE PRECEDENCE: DIMENSIONS TYPICALLY TO COLUMN CENTER LINES, FACE OF FINISH, FACE OF CONCRETE OR MASONRY, OR AS NOTED ON THE DRAWINGS...
5. BARRICADES SHALL BE ERRECTED PER LOCAL DEPARTMENT OF BUILDING AND SAFETY AND AS REQUIRED FOR SECURITY...
6. THE CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONARY MEASURES TO PROTECT THE PUBLIC AND ADJACENT PROPERTIES FROM DAMAGE THROUGHOUT CONSTRUCTION...
7. ALL GLASS WORK SHALL COMPLY WITH CHAPTER 24 AND SKYLIGHTS COMPLY WITH CHAPTER 2409 OF THE UNIFORM BUILDING CODE, OR LOCAL BUILDING CODE...
8. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE INTEGRITY OF FIRE RATED WALLS (I.E. NO GAPS, HOLES, VOIDS, UNSEALED PENETRATIONS, ETC. BEYOND THAT WHICH CODE ALLOWS)...
9. STRUCTURAL GENERAL NOTES: SEE STRUCTURAL DRAWINGS...
10. EXCAVATION CUTS EXCEEDING 5 FEET TYPICALLY REQUIRE A DOSH PERMIT. ALL EXCAVATIONS MUST COMPLY TO APPLICABLE OSHA AND CALIFORNIA REQUIREMENTS. CONTACT CALIFORNIA DEPARTMENT OF OCCUPATIONAL SAFETY AND HEALTH (DOSH) FOR INFORMATION ABOUT REQUIRED PERMITS. DOSHS LOCAL OFFICE: (510) 794-2521. PRIOR TO EXCAVATION, THE EXCAVATION CONTRACTOR SHALL SUBMIT PROOF TO THE TOWN BUILDING INSPECTOR THAT SHE HAS RECEIVED SUCH A PERMIT FROM DOSH...
11. HERS VERIFICATION REQUIRED FOR THE HVAC COOLING, HVAC DISTRIBUTION, HVAC FAN SYSTEMS, IAQ (INDOOR AIR QUALITY VENTILATION), AND VERIFICATION OF EXISTING CONDITIONS. PROVIDE EVIDENCE OF THIRD PARTY VERIFICATION (HERS) TO PROJECT BUILDING INSPECTOR PRIOR TO FINAL INSPECTION...
12. HERS RATER MUST VERIFY THAT INSTALLED RANGE HOOD(S) ARE LISTED IN THE HVI CERTIFIED HOME VENTS DIRECTORY AND HAVE BEEN CERTIFIED AS MEETING ASHRAE 62.2 VENT LATION AND SOUND REQUIREMENTS. PROVIDE EVIDENCE OF HERS VERIFICATION TO TOWN BUILDING INSPECTOR PRIOR TO FINAL INSPECTION...
13. WHERE COMBUSTION APPLIANCES OR SOLID-FUEL BURNING APPLIANCES ARE LOCATED INSIDE THE PRESSURE BOUNDARY, THE MAXIMUM ALLOWABLE NET EXHAUST FLOW OF THE TWO LARGEST EXHAUST FANS SHALL NOT EXCEED 15 CFM PER 100 SQ.FT. OF OCCUPIABLE SPACE. WHEN OPERATING AT FULL CAPACITY. IF THE DESIGNED TOTAL NET FLOW EXCEEDS THIS LIMIT, THE NET EXHAUST FLOW MUST BE REDUCED BY REDUCING THE EXHAUST FLOW OR PROVIDING COMPENSATING OUT-DOOR AIRFLOW. (NOTE: IF MAKE-UP AIR FAN IS INSTALLED, IT MUST BE ELECTRICALLY INTERLOCKED WITH THE LARGEST EXHAUST FAN)...
14. BUILDER TO PROVIDE HOME OWNER WITH A LUMINA RESCHEDULE (AS REQUIRED IN TITLE 24 CALIFORNIA CODE OF REGULATIONS, PART 1, SECTION 10-103(b)) THAT INCLUDES A LIST OF LAMPS INSTALLED IN THE LUMINAIRES...
15. THE SOILS ENGINEER SHALL BE RETAINED TO PROVIDE OBSERVATION AND TESTING SERVICES DURING THE GRADING AND FOUNDATION PHASE OF CONSTRUCTION PER SOIL REPORT RECOMMENDATIONS AND THAT THE INSPECTION AND TEST REPORTS SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT...
16. PRIOR TO FIRST INSPECTION, DOCUMENTATION CONFIRMING COMPLIANCE TO THE WASTE MANAGEMENT PLAN TO BE PROVIDED...
17. A MANUAL, COMPACT DISC, WEB-BASED REFERENCE, OR OTHER ACCEPTABLE MEDIA, INCLUDING ITEMS 1-10 IN ACCORDANCE WITH CGS&C SECTION 4.410.1 SHALL BE PLACED IN BUILDING...
18. ALL ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS, AND AEROSOL CONTAINERS MUST REMAIN ON SITE FOR FIELD VERIFICATION BY BUILDING INSPECTOR...
19. PRIOR TO FINAL INSPECTION, A LETTER SIGNED BY THE GENERAL CONTRACTOR MUST BE PROVIDED TO THE TOWN OF LOS GATOS BUILDING OFFICIAL CERTIFYING THAT ALL ADHESIVES, SEALANTS, ETC. (INCLUDING CARPETING, CUSHION, ADHESIVE, RESILIENT FLOORING SYSTEMS, AND WOOD PRODUCTS) INSTALLED ON THE PROJECT ARE WITHIN THE EMISSION LIMITS SPECIFIED IN CGS&C SECTION 4.410.1...
20. PRIOR TO ENCLOSING THE WALL AND FLOOR FRAMING, CONFIRMATION MUST BE PROVIDED TO THE BUILDING INSPECTOR SHOWING THE FRAMING MEMBERS DO NOT EXCEED 19% MOISTURE CONTENT...
21. NO RIGID LANDSCAPING IS INCLUDED IN THIS PROJECT...
22. TREE FENCING TO BE INSTALLED WITH PICTURES. UPLOADED TO TOWN OF LOS GATOS WEBSITE PRIOR TO PERMIT ISSUANCE.

BUILDING DEPARTMENT NOTES

- 1. OCCUPANCY GROUP: R-3/U
2. CONSTRUCTION TYPE: V-B, SPRINKLERED
3. BUILDING CODE: 2019 CALIFORNIA RESIDENTIAL BUILDING CODE
4. PLUMBING CODE: 2019 CALIFORNIA PLUMBING CODE
5. MECHANICAL CODE: 2019 CALIFORNIA MECHANICAL CODE
6. ELECTRICAL CODE: 2019 CALIFORNIA ELECTRICAL CODE
7. ACCESSIBILITY CODE: 2019 CALIFORNIA BUILDING CODE
8. FIRE PREVENTION: 2019 NFPA 101 LIFE SAFETY CODE
9. GREEN BUILDING CODE: 2019 STANDARD CALIFORNIA CODE



SITE PLAN



DEMOLITION PLAN

Table with columns: EXISTING, PROPOSED, ALLOWABLE. Rows include LOT SIZE, BLDG. FLOOR AREA, MAIN LEVEL, UPPER LEVEL, BASEMENT, GARAGE, COVERED PORCHES / PATIOS/APRON, TOTAL LOT COVERAGE, ACCESSORY LOT COVERAGE, FAR (HABITABLE), FAR (GARAGE), MAX. HGT. (HABITABLE), MAX. HGT. (GARAGE).

CALCULATIONS

Table with columns: EXISTING, PROPOSED, ALLOWABLE. Rows include LOT SIZE, BLDG. FLOOR AREA, MAIN LEVEL, UPPER LEVEL, BASEMENT, GARAGE, COVERED PORCHES / PATIOS/APRON, TOTAL LOT COVERAGE, ACCESSORY LOT COVERAGE, FAR (HABITABLE), FAR (GARAGE), MAX. HGT. (HABITABLE), MAX. HGT. (GARAGE).

INDEX to DRAWINGS

- COVER SHEET/ SITE PLAN
BLUEPRINT FOR A CLEAN BAY
EXISTING / PROPOSED SITE CONDITIONS
MAIN FLOOR PLAN
UPPER FLOOR PLAN / ROOF PLANS
REFLECTED CEILING PLANS
SCHEDULES
EXTERIOR ELEVATIONS - RESIDENCE
GARAGE FLOOR, ROOF PLANS / ELEVATIONS
GARAGE SECTIONS/ FDTN/ STRUCTL/ DETAILS
STAIR DETAILS
BUILDING SECTIONS
WALL SECTIONS
WALL SECTIONS
ARCHITECTURAL DETAILS - WINDOW and DOOR
ARCHITECTURAL DETAILS - WALL and ROOF
SPECIFICATIONS - ARCHITECTURAL
ARBORIST REPORT / SPECIFICATIONS
GRADING AND DRAINAGE / DETAILS
SPECIFICATIONS
TABLES / CHARTS / DETAILS
FOUNDATION PLAN / MAIN FLOOR FRAMING
FOUNDATION DETAILS
FRAMING DETAILS
UPPER FLOOR / LOWER ROOF FRAMING
UPPER LEVEL ROOF FRAMING
MECHANICAL - ELECTRICAL PLANS / NOTES
TITLE 24 ENERGY & LIGHTING
TITLE 24 ENERGY & LIGHTING

COVER SHEET

MARCH 2023

REVISED:
October 2023
January 2024
April 2024

ENGINEER'S STAMP

NGUYEN RESIDENCE
REMODEL & ADDITION
445 Los Gatos Blvd., Los Gatos, CA 95032

COMMUNITY DEVELOPMENT
PLANNING DIVISION
APPROVED
Sean Mullin

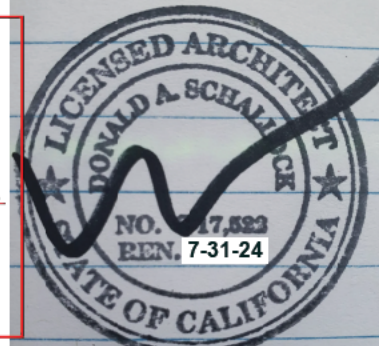
THESE PLANS HAVE BEEN APPROVED AS SHOWN. ANY MODIFICATION TO WHAT HAS BEEN PROPOSED OR TO WHAT IS SHOWN AS EXISTING MAY REQUIRE A SEPARATE APPROVAL.

don schallock
Architect AIA
Office: The World (Montepulciano, Italy)
Phone: 1.408.987.1508
E-Mail: don@donschallock.com

ARCHITECTURE
by design

ENCROACHMENT PERMIT IS REQUIRED WHEN WORKING IN THE PUBLIC RIGHT-OF-WAY
ENGINEERING DEPARTMENT
41 MILES AVENUE, LOS GATOS
(408) 399-5771

Town of Los Gatos
BUILDING DIVISION
PLAN APPROVED
DATE: 05.23.2023



PLAN CHECK STAMP

PAGE

A1.0
of SIXTEEN

REVISED:

April 2024

ENGINEER'S STAMP

NGUYEN RESIDENCE
REMODEL & ADDITION
445 Los Gatos Blvd., Los Gatos, CA 95032

refer to the Town's Construction Management Plan Guidelines document for additional information.

61. SANITARY SEWER BACKWATER VALVE: Drainage piping serving fixtures which have flood level rims less than twelve (12) inches (304.8 mm) above the elevation of the next upstream manhole and/or flushing inlet cover at the public or private sewer system serving such drainage piping shall be protected from backflow of sewage by installing an approved type backwater valve. Fixtures above such elevation shall not discharge through the backwater valve, unless first approved by the Building Official. The Town shall not incur any liability or responsibility for damage resulting from a sewer overflow where the property owner or other person has failed to install a backwater valve as defined in the Uniform Plumbing Code adopted by the Town and maintain such device in a functional operation condition. Evidence of West Sanitation District's decision on whether a backwater device is needed shall be provided prior to the issuance of a building permit.

62. BEST MANAGEMENT PRACTICES (BMPs): The Owner/Applicant is responsible for ensuring that all contractors are aware of all storm water quality measures and that such measures are implemented. Best Management Practices (BMPs) shall be maintained and be placed for all areas that have been graded or disturbed and for all material, equipment and/or operations that need protection. Removal of BMPs (temporary removal during construction activities) shall be replaced at the end of each working day. Failure to comply with the construction BMP will result in the issuance of correction notices, citations, or stop work orders.

63. SITE DESIGN MEASURES: All projects shall incorporate at least one of the following measures:

- a. Protect sensitive areas and minimize changes to the natural topography.
- b. Minimize impervious surface areas.
- c. Direct roof downspouts to vegetated areas.
- d. Use porous or pervious pavement surfaces on the driveway, at a minimum.
- e. Use landscaping to treat stormwater.

64. EROSION CONTROL: Interim and final erosion control plans shall be prepared and submitted to the Engineering Division of the Parks and Public Works Department. A maximum of two (2) weeks is allowed between clearing of an area and stabilizing/building on an area if grading is allowed during the rainy season. Interim erosion control measures, to be carried out during construction and before installation of the final landscaping, shall be included. Interim erosion control method shall include, but are not limited to: silt fences, fiber rolls (with locations and details), erosion control blankets, Town standard seeding specification, filter berms, check dams, retention basins, etc. Provide erosion control measures as needed to protect downstream water quality during winter months. The Town of Los Gatos Engineering Division of the Parks and Public Works Department and the Building Department will conduct periodic NPDES inspections of the site throughout the recognized storm season to verify compliance with the Construction General Permit and Stormwater ordinances and regulations.

65. DUST CONTROL: Blowing dust shall be reduced by timing construction activities so that paving and building construction begin as soon as possible after completion of grading, and by landscaping disturbed soils as soon as possible. Further, water trucks shall be present

and in use at the construction site. All portions of the site subject to blowing dust shall be watered as often as deemed necessary by the Town, or a minimum of three (3) times daily, or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas, and staging areas at construction sites in order to insure proper control of blowing dust for the duration of the project. Watering on public streets shall not occur. Streets shall be cleaned by street sweepers or by hand as often as deemed necessary by the Town Engineer, or at least once a day. Watering associated with on-site construction activity shall take place between the hours of 8 a.m. and 5 p.m. and shall include at least one (1) late-afternoon watering to minimize the effects of blowing dust. All public streets soiled or littered due to this construction activity shall be cleaned and swept on a daily basis during the workweek to the satisfaction of the Town. Demolition or earthwork activities shall be halted when wind speeds (instantaneous gusts) exceed twenty (20) miles per hour (MPH). All trucks hauling soil, sand, or other loose debris shall be covered.

66. AIR QUALITY: To limit the project's construction-related dust and criteria pollutant emissions, the following the Bay Area Air Quality Management District (BAAQMD)-recommended basic construction measures shall be included in the project's grading plan, building plans, and contract specifications:

- a. All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered two times per day, or otherwise kept dust-free.
- b. All haul trucks designated for removal of excavated soil and demolition debris from site shall be staged off-site until materials are ready for immediate loading and removal from site.
- c. All haul trucks transporting soil, sand, debris, or other loose material off-site shall be covered.
- d. As practicable, all haul trucks and other large construction equipment shall be staged in areas away from the adjacent residential homes.
- e. All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day, or as deemed appropriate by Town Engineer. The use of dry power sweeping is prohibited. An on-site track-out control device is also recommended to minimize mud and dirt-track-out onto adjacent public roads.
- f. All vehicle speeds on unpaved surfaces shall be limited to fifteen (15) miles per hour.
- g. All driveways and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.
- h. Post a publicly visible sign with the telephone number and person to contact at the lead agency regarding dust complaints. This person shall respond and take corrective action within forty-eight (48) hours. The Air District's phone number shall also be visible to ensure compliance with applicable regulations. Please provide the BAAQMD's complaint number on the sign: 24-hour toll-free hotline at 1-800-334-ODOR (6367).
- i. All excavation, grading, and/or demolition activities shall be suspended when average wind speeds exceed twenty (20) miles per hour.

- j. Vegetative ground cover (e.g., fast-germinating native grass seed) shall be planted in disturbed areas as soon as possible and watered appropriately until vegetation is established.

67. DETAILING OF STORMWATER MANAGEMENT FACILITIES: Prior to the issuance of any grading or building permits, all pertinent details of any and all proposed stormwater management facilities, including, but not limited to, ditches, swales, pipes, bubble-ups, dry wells, outfalls, infiltration trenches, detention basins and energy dissipaters, shall be provided on submitted plans, reviewed by the Engineering Division of the Parks and Public Works Department, and approved for implementation.

68. CONSTRUCTION ACTIVITIES: All construction shall conform to the latest requirements of the CASQA Stormwater Best Management Practices Handbooks for Construction Activities and New Development and Redevelopment, the Town's grading and erosion control ordinance, and other generally accepted engineering practices for erosion control as required by the Town Engineer when undertaking construction activities.

69. SITE DRAINAGE: Rainwater leaders shall be discharged to splash blocks. No through curb drains will be allowed. On-site drainage systems for all projects shall include one of the alternatives included in section C.3.i of the Municipal Regional NPDES Permit. These include storm water reuse via cisterns or rain barrels, directing runoff from impervious surfaces to vegetated areas and use of permeable surfaces. No improvements shall obstruct or divert runoff to the detriment of an adjacent, downstream or down slope property.

70. SILT AND MUD IN PUBLIC RIGHT-OF-WAY: It is the responsibility of Contractor and homeowner to make sure that all dirt tracked into the public right-of-way is cleaned up on a daily basis. Mud, silt, concrete and other construction debris SHALL NOT be washed into the Town's storm drains.

71. GOOD HOUSEKEEPING: Good housekeeping practices shall be observed at all times during the course of construction. All construction shall be diligently supervised by a person or persons authorized to do so at all times during working hours. The Owner/Applicant's representative in charge shall be at the job site during all working hours. Failure to maintain the public right-of-way according to this condition may result in penalties and/or the Town performing the required maintenance at the Owner/Applicant's expense.

72. PERMIT ISSUANCE: Permits for each phase; reclamation, landscape, and grading, shall be issued simultaneously.

73. COVERED TRUCKS: All trucks transporting materials to and from the site shall be covered.

TO THE SATISFACTION OF THE SANTA CLARA COUNTY FIRE DEPARTMENT:

74. GENERAL: Review of this Developmental proposal is limited to acceptability of site access, water supply and may include specific additional requirements as they pertain to fire department operations, and shall not be construed as a substitute for formal plan review to determine compliance with adopted model codes. Prior to performing any work, the applicant shall make application to, and receive from, the Building Department all applicable construction permits.

75. FIRE SPRINKLERS REQUIRED: (As Noted on Sheet A1) An automatic residential fire sprinkler system shall be installed in one- and two-family dwellings as follows: 1) In all new one- and two-family dwellings and in existing one- and two-family dwellings when additions are made that increase the building area to more than 3,600 SF whether by increasing the area of the primary residence or by creation of an attached Accessory Dwelling Unit. 2) In all new basements and in existing basements that are expanded by more than 50%. 3) In all attached ADUs, additions or alterations to an existing one- and two-family dwelling that have an existing fire sprinkler system. Exceptions: 1) One or more additions made to a building after January 1, 2011 that does not total more than 1,000 square feet of building area and meets all access and water supply requirements of Chapter 5 and Appendix B and C of the 2019 California Fire Code. Residence exceeds total of 3600 SF after addition including all covered patios, porches, upper floor and basement. Addition exceeds 1,000 SF. Make a note on sheet A1 Building Department Notes section: "Main Residence: Sprinklered"

76. FIRE SPRINKLERS REQUIRED: (As Noted on Sheet A1) Approved fire apparatus access roads shall be provided for every facility, building or portion of a building hereafter constructed or moved into or with the jurisdiction. The fire apparatus access road shall comply with the requirements of this section and shall extend to within 200 feet (as amended by SCCFD) of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility. [CFC, Section 503.1.1]. Distance from the Fire Apparatus Access Road (center of the street) to the farthest exterior corner of the new detached garage exceeds the maximum 200'. [CFC 503.1.1] Make a note on sheet A1 Building Department Notes section: "Garage: Sprinklered"

77. REQUIRED FIRE FLOW: (Letter received) The fire flow for this project is 1,750 GPM at 20 psi residual pressure. If an automatic fire sprinkler system will be installed, the fire flow will be reduced by 50%, establishing a required adjusted fire flow of 875 GPM at 20 psi residual pressure. Note: The minimum required number and spacing of the hydrants shall be in accordance with CFC Table C102.1.

Provide documentation from a local water purveyor confirming the required fire flow of 875 GPM @ 20 psi residual from a fire hydrant located within 600' of the farthest exterior corner of the structure is required. Letter shall be provided along with plan submittal before building permit.

78. CONSTRUCTION SITE FIRE SAFETY: All construction sites must comply with applicable provisions of the CFC Chapter 33 and our Standard Detail and Specification S1-7. Provide appropriate notations on subsequent plan submittals, as appropriate to the project. CFC Chp. 33.

79. WATER SUPPLY REQUIREMENTS: Potable water supplies shall be protected from contamination caused by fire protection water supplies. It is the responsibility of the applicant and any contractors and subcontractors to contact the water purveyor at the site of such project, and to comply with the requirements of that purveyor. Such requirements shall be incorporated into the design of any water-based fire protection systems, and/or fire suppression water supply systems or storage containers that may be

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THESE PLANS HAVE BEEN APPROVED AS SHOWN. ANY MODIFICATION TO WHAT HAS BEEN PROPOSED OR TO WHAT IS SHOWN AS EXISTING MAY REQUIRE A SEPARATE APPROVAL.

PLAN REVIEW ACCEPTANCE

05.03.2024

Susan O'Brien

physically connected in any manner to an appliance capable of causing contamination of the potable water supply of the purveyor of record. Final approval of the system(s) under consideration will not be granted by this office until compliance with the requirements of the water purveyor of record are documented by that purveyor as having been met by the applicant(s). 2019 CFC Sec. 903.3.5 and Health and Safety Code 13114.7.

80. ADDRESS IDENTIFICATION: New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Where required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.5 inch (12.7 mm). Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address numbers shall be maintained. CFC Sec. 505.1.

81. GENERAL: This review shall not be construed to be an approval of a violation of the provisions of the California Fire Code or of other laws or regulations of the jurisdiction. A permit presuming to give authority to violate or cancel the provisions of the fire code or other such laws or regulations shall not be valid. Any addition to or alteration of approved construction documents shall be approved in advance. [CFC, Ch.1, 105.3.6]

PLAN REVIEW APPROVAL
PLAN CHECK STAMP

05.23.2024

CONDITIONS OF APPROVAL

MARCH 2023

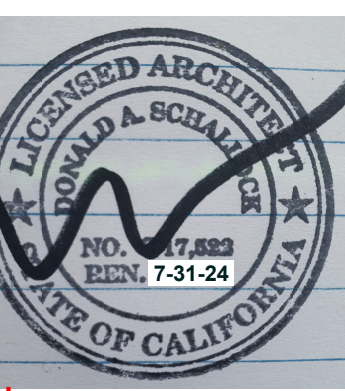
TOWN OF LOS GATOS
BUILDING DIVISION

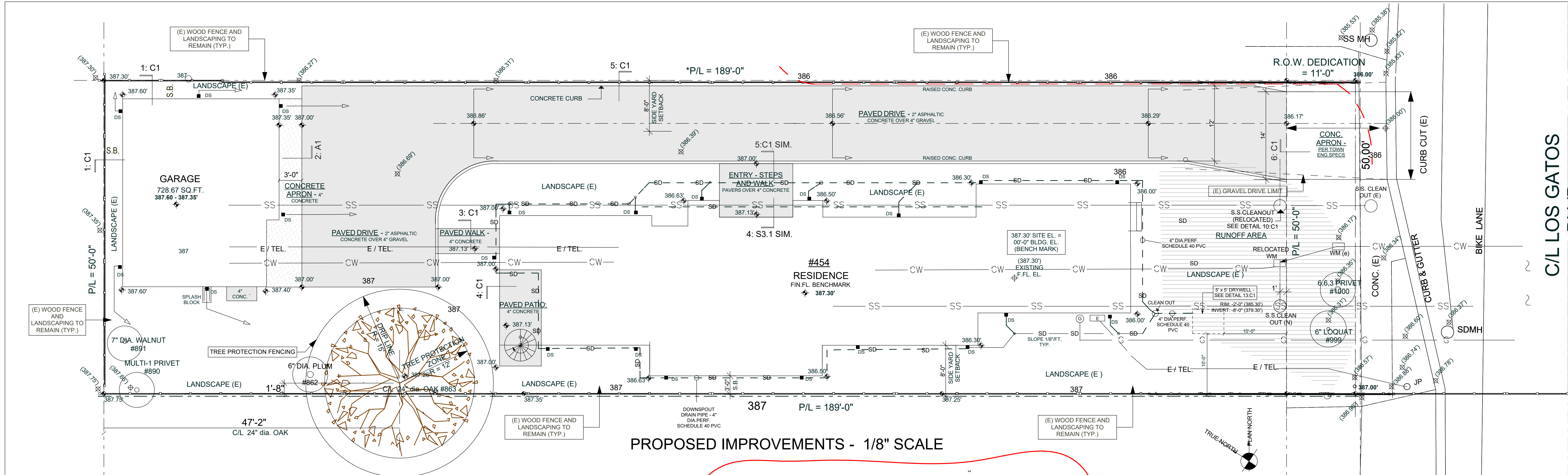
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OF TWO

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Architect AIA
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(Montepulciano, Italy)
Phone: 1.408.987.1508
E-Mail: don@donshallock.com





PROPOSED IMPROVEMENTS - 1/8" SCALE

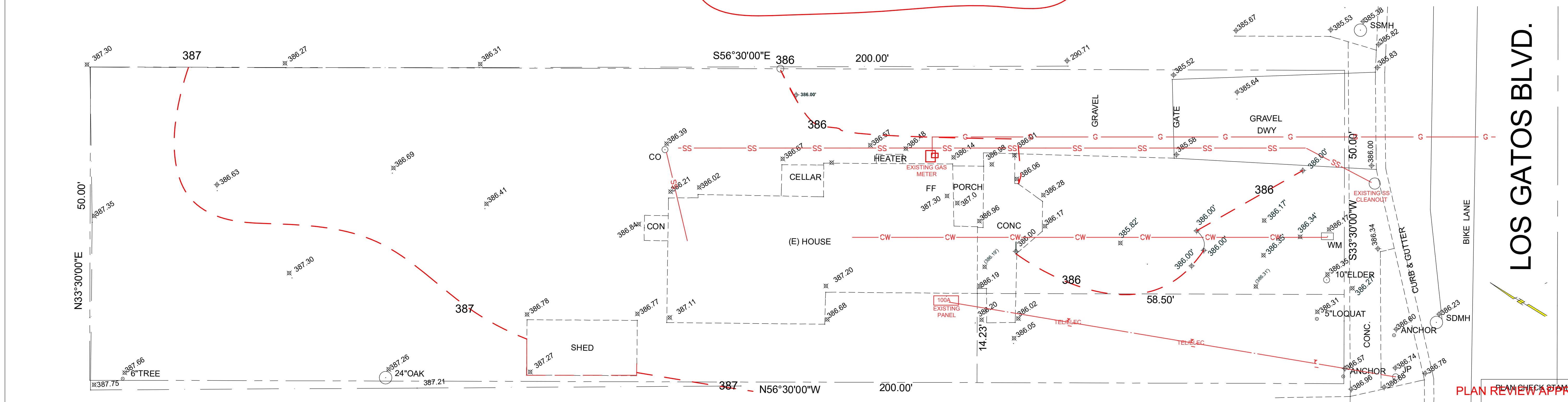
SITE ELEMENT	EARTHWORK (CY)		MAX CUT/FILL DEPTH (FT)		C/Y	
	CUT	FILL	CUT	FILL	IMPORT	EXPORT
DRIVEWAY/PARKING	15.12	19.50	0.50	0.60	19.50	15.12
BLDG. FOOTPRINT			EXEMPT			
LANDSCAPE	2.62	0.0		0.40	0.00	2.62
MISC. HARDSCAPE	5.35	3.16	0.62	0.34	3.16	5.35
GARAGE			EXEMPT			
TOTAL	23.09	22.66			45.65 TOTAL	

LEGEND

- SPOT ELEVATION (PROPOSED)
- SPOT ELEVATION (EXISTING, BY WESTFALL TOPOGRAPHIC SURVEY)
- PROPOSED PERVIOUS SURFACE WATER RUNOFF AREA
- 1 FOOT CONTOUR (EXISTING/PROPOSED)

COMMUNITY DEVELOPMENT
 PLANNING DIVISION
 APPROVED
 xx-xx-xxxx
 THESE PLANS HAVE BEEN APPROVED AS SHOWN. ANY MODIFICATION TO WHAT HAS BEEN PROPOSED OR TO WHAT IS SHOWN AS EXISTING MAY REQUIRE A SEPARATE APPROVAL.

PLAN REVIEW ACCEPTANCE
 05.03.2024
 Susan O'Brien



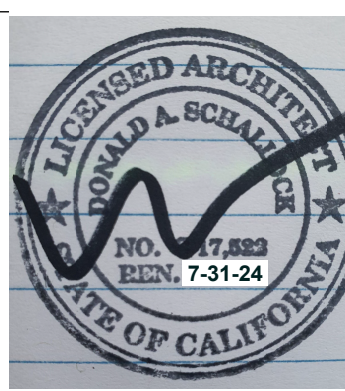
EXISTING SITE PLAN - 1/8" SCALE

EXISTING AND PROPOSED SITE CONDITIONS - LARGE SCALE

PLAN REVIEW APPROVAL
 05.23.2024
 TOWN OF LOS GATOS BUILDING DIVISION

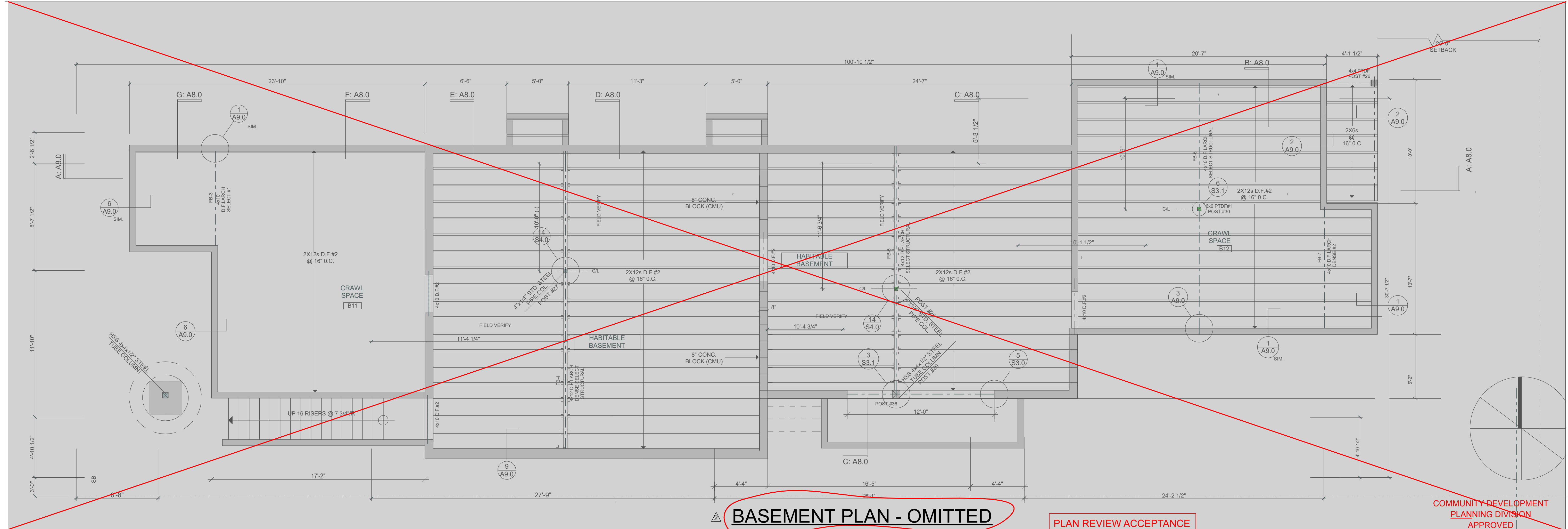
- LEGEND:
- BOUNDARY
 - CENTERLINE
 - IMPROVEMENTS
 - 1' CONTOUR
 - FENCE
 - RETAINING WALL
 - EDGE OF PAVEMENT
 - SPOT ELEVATION (EXISTING)
 - EX. MANHOLE
 - UTILITY BOX
 - UTILITY POLE
- BENCH MARK:
 TOWN OF LOS GATOS LG41, ELEV. = 421.04', BRASS DISK LG41 IN MONUMENT BOX ON LOMA ALTA AVENUE AND CROSS WAY

don schallock
 Architect AIA
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 Phone: 1.408.987.1508
 E-Mail: don@donshallock.com



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BASEMENT PLAN - OMITTED

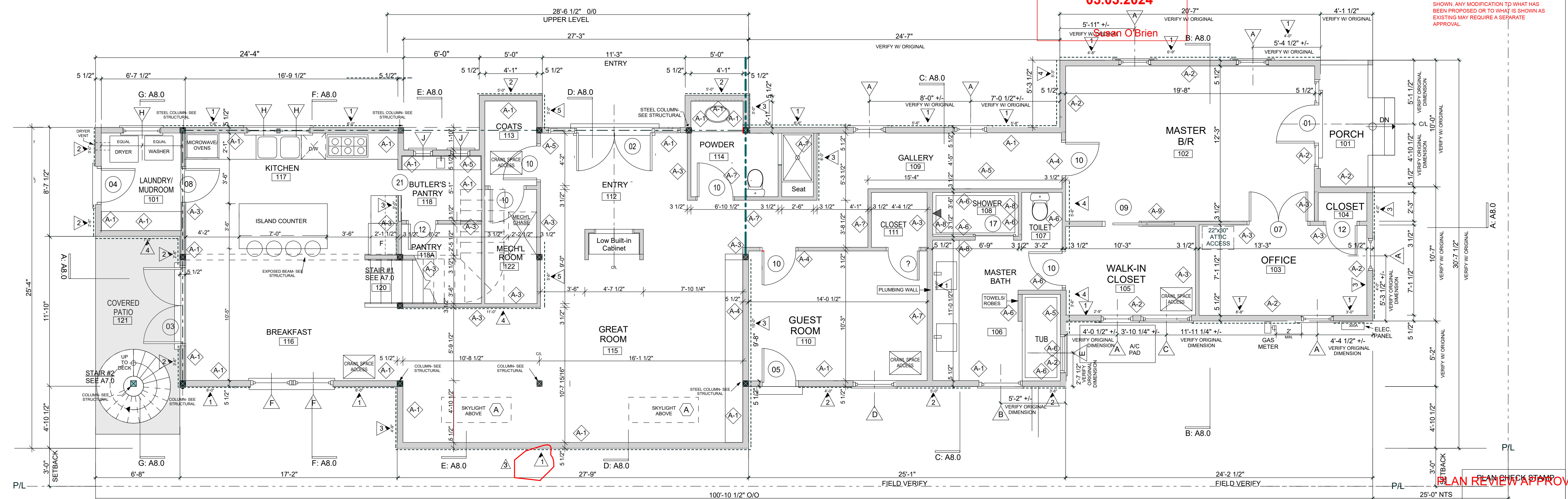
PLAN REVIEW ACCEPTANCE

COMMUNITY DEVELOPMENT
PLANNING DIVISION
APPROVED
XX-XX-XXXX

05.03.2024

Susan O'Brien

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MAIN FLOOR PLAN
2,098 S.F.

MAIN FLOOR PLAN

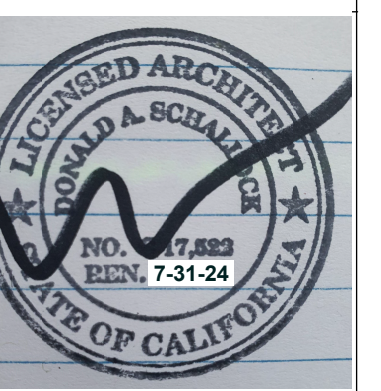
1/4" SCALE
MARCH 2023

TOWN OF LOS GATOS
BUILDING DIVISION

05.23.2024

don schallock
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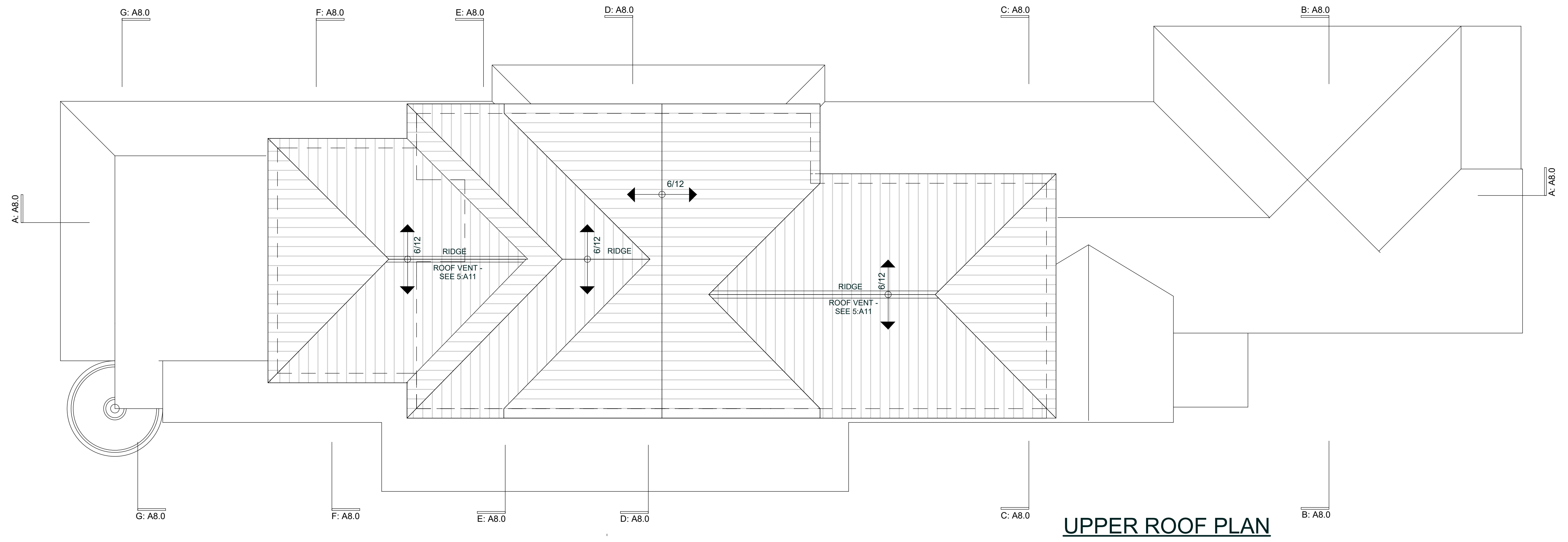
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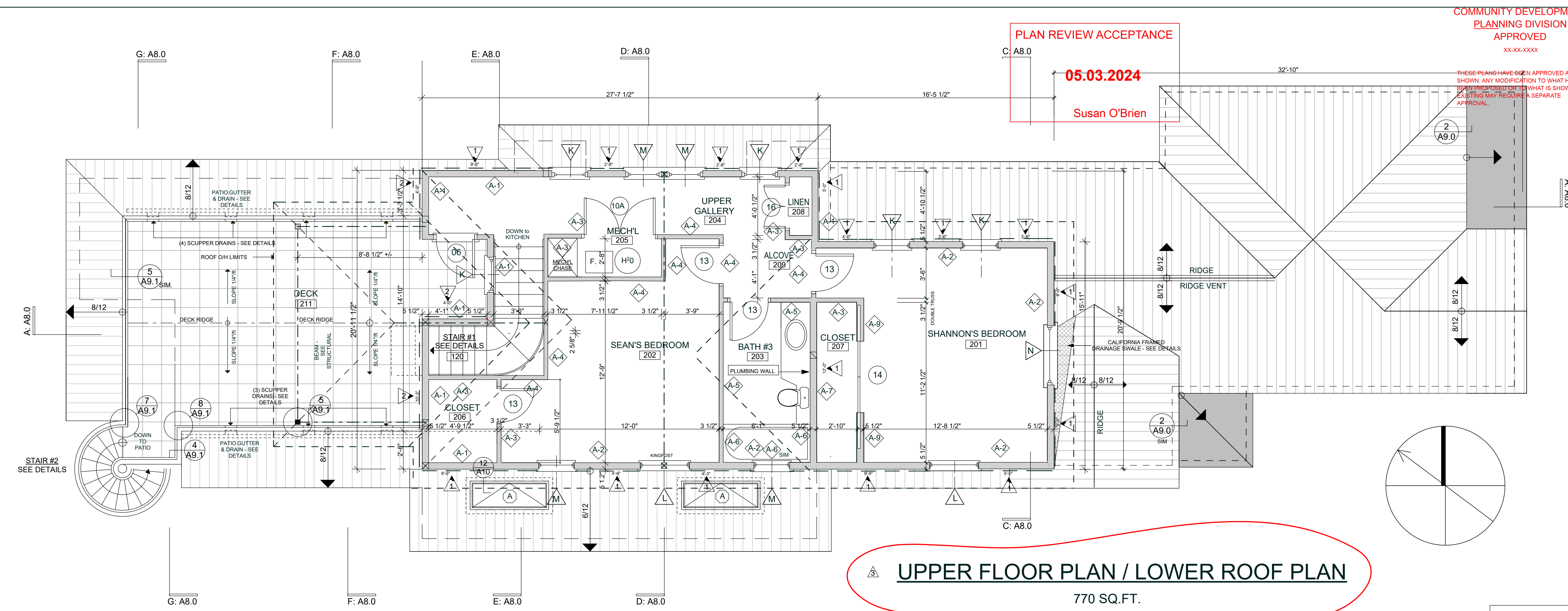
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April 2024

ENGINEER'S STAMP

NGUYEN RESIDENCE
REMODEL & ADDITION
445 Los Gatos Blvd., Los Gatos, CA 95032



UPPER ROOF PLAN



UPPER FLOOR PLAN / LOWER ROOF PLAN
770 SQ.FT.

UPPER FLOOR PLAN / ROOF PLANS

1/4" SCALE

MARCH 2023

COMMUNITY DEVELOPMENT
PLANNING DIVISION
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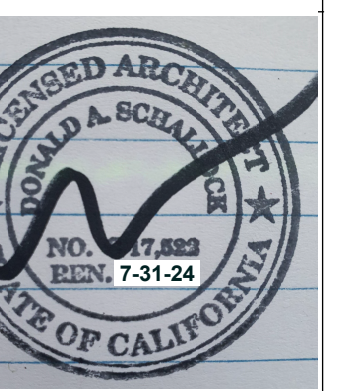
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PLAN CHECK STAMP
PLAN REVIEW APPROVAL

05.23.2024

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PLAN CHECK STAMP
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A3.0
OF SIXTEEN

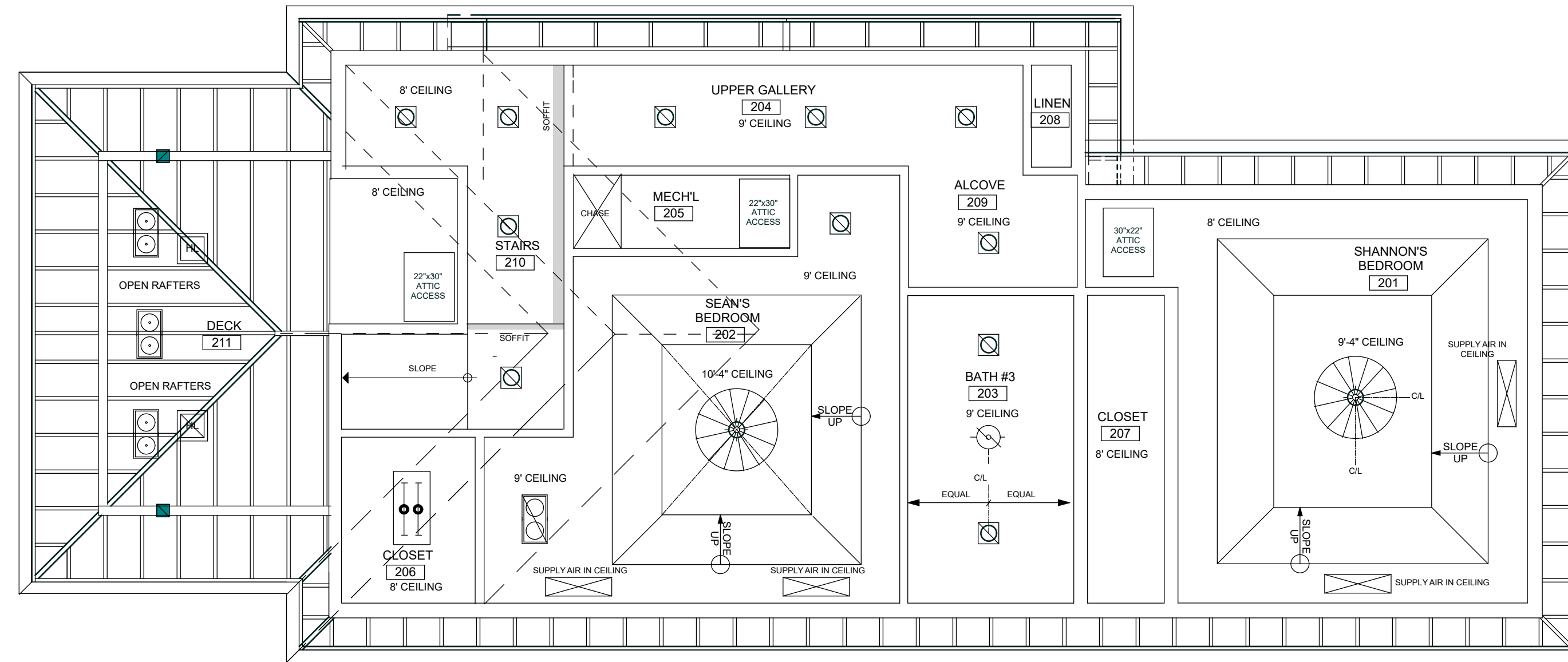
DETAILS / NOTES

- NOTES
1. PROVIDE OUTLETS AS INDICATED & AS REQUIRED BY CODE.
 2. PROVIDE GFCI OUTLETS AS REQUIRED BY CODE.
 3. VERIFY & LOCATE ALL SWITCHES & FIXTURES IN FIELD W/ DESIGNER AND/OR CLIENT PRIOR TO INSTALLATION.
 4. ALL SWITCHES TO BE ON DIMMERS UNLESS OTHERWISE INDICATED OR REQUESTED. 'D' DENOTES DIMMER LOCATION ON 3- AND 4-WAY SWITCHES.
 5. PROVIDE COLOR-BALANCED FLUORESCENT BULBS WITH INSTANT-ON.
 6. CONTRACTOR TO VERIFY POWER REQUIRED FOR RANGE, AND HOOD 110 OR 220.
 7. PROVIDE ELECTRICAL SERVICE TO ALL APPLIANCES, HVAC EQUIPMENT ETC. AS REQUIRED.
 8. VERIFY ELECTRICAL SERVICE AND CIRCUITS ARE ADEQUATE FOR THE PROPOSED WORK.
 9. MODIFY AS REQUIRED.
 10. PROVIDE SMOKE DETECTORS AS REQUIRED BY CODE.
 11. PROVIDE ALL LIFE SAFETY EQUIPMENT AS REQUIRED BY CODE.
 12. 'X' DENOTES LOCATION OF EXISTING FIXTURE, ELECTRICAL BOX AND CONNECTION TO REMAIN. SEE SPEC FOR FIXTURE SELECTION.
 13. NOTE: ALL LIGHTING TO BE HIGH EFFICIENCY.
 14. PROVIDE ANCHORAGE PROTECTION AT ALL ROOMS AS REQUIRED BY 210.12 CEC.
 15. RECEPTACLES TO COMPLY WITH ARTICLE 408.8 CEC - TAMPER PROOF.
 16. PROVIDE GFI PROTECTION FOR ALL BATH AND ABOVE COUNTER RECEPTACLES AS REQ BY CODE.
 17. PROVIDE SEPARATE CIRCUITS FOR BATH (20 AMP), SMALL APPLIANCE CIRCUITS AT KITCHEN (2 @ 20 AMP), GARBAGE DISPOSAL, DISHWASHER, LAUNDRY (20 AMP) AND EXTERIOR HOT TUB AS NOTED AND REQUIRED.
 18. RECESSED LIGHTS TO BE AT 4" RATED AND CALLED BETWEEN FIXTURE AND CEILING GYP BD.
 19. ALL CLOSET FIXTURES TO COMPLY W/ 410.8 CEC.
 20. PROVIDE OCCUPANCY SENSORS AT ALL BATHS.
 21. HVAC IN WEST ATTIC SPACE. PROVIDE ELECTRICAL, CARBON MONOXIDE DETECTORS AND SAFETY EQUIPMENT AS REQUIRED BY CODE.
 22. PROVIDE NECESSARY CIRCUITS AND LIGHTING CONTROL FOR EXTERIOR LIGHTING AS DETERMINED BY LANDSCAPING PLAN.
 23. ALL EXTERIOR LIGHT FIXTURES WILL COMPLY WITH TOWN CODE REQUIREMENTS TO UTILIZE SHIELDS SO THAT NO BULB IS VISIBLE AND TO INSURE THAT LIGHT IS DIRECTED TO THE GROUND SURFACE AND DOES NOT SPILL LIGHT ONTO NEIGHBORING PARCELS OR PRODUCE GLARE WHEN SEEN FROM NEARBY HOMES. DECORATIVE LIGHT FIXTURES ARE PREFERRED FOR SECURITY LIGHT FIXTURES.

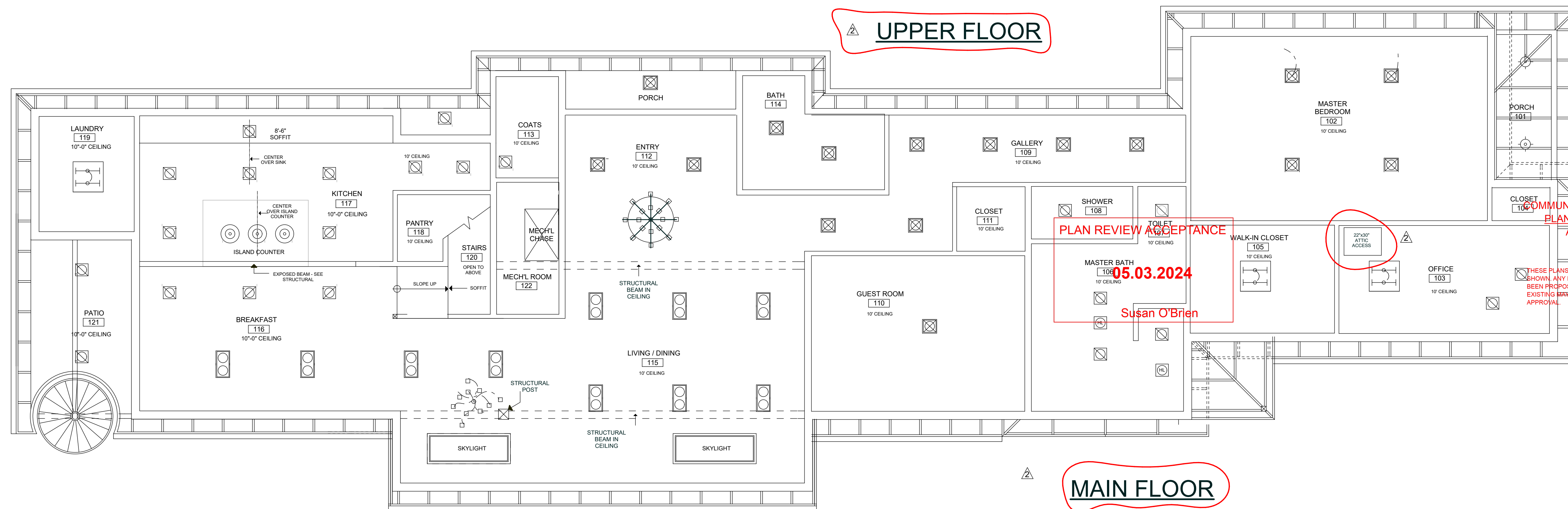
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UPPER FLOOR

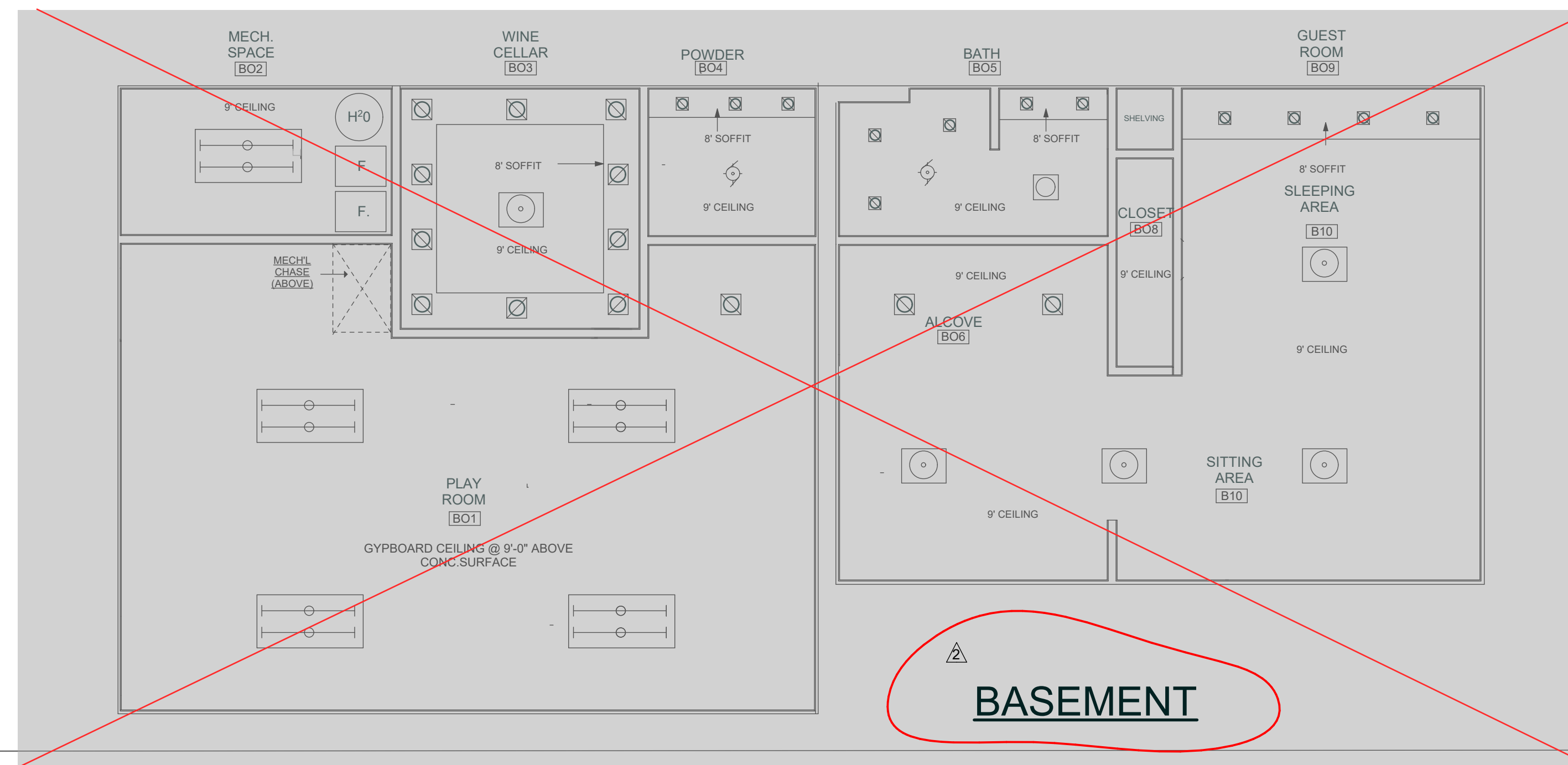


MAIN FLOOR

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05.03.2024
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BASEMENT

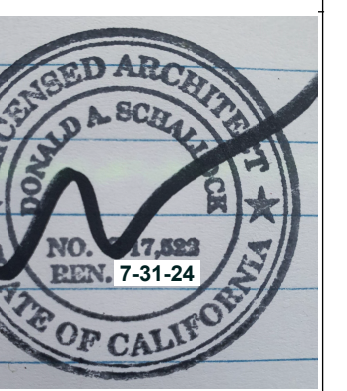
REFLECTED CEILING PLANS
1/4" SCALE
MARCH 2023

PLAN CHECK STAMP
PLAN REVIEW APPROVAL

05.23.2024
TOWN OF LOS GATOS
BUILDING DIVISION

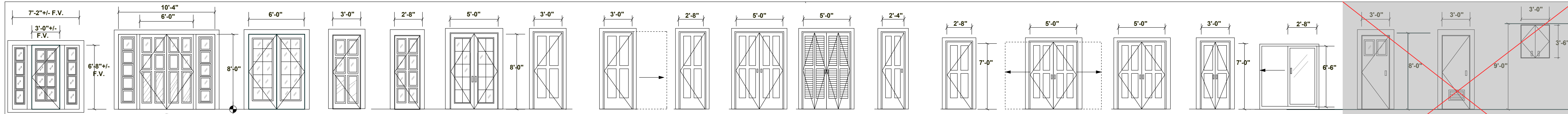
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01 REPLACEMENT ENTRY DOOR AND SIBETILES
 FIELD VERIFY ALL DIMENSIONS!
 1 3/4" THICK, SOLID WOOD, STAIN GRADE W/1/2" CLEAR INSULATING TEMPERED, TRUE DIVIDED GLASS PANELS AND SIBETILES
 FURNISH W/MPGR'S, WIRE MESH SCREEN, BAKED ENAMEL FINISH AND MATCHING HARDWARE, THRESHOLD AND WEATHERSTRIP

02 NEW PAIR 3089 ENTRY DOORS AND WIDE STYLE TRUE DIVIDED LITES
 1 3/4" THICK, SOLID WOOD, STAIN GRADE W/1/2" CLEAR INSULATING TEMPERED, AND OBSCURE GLAZING AT SIBETILES
 FURNISH W/MPGR'S, WIRE MESH SCREEN DOORS, BAKED ENAMEL FINISH AND MATCHING HARDWARE, THRESHOLD AND WEATHERSTRIPPING

03 PAIR 2072 EXTERIOR FRENCH DOORS
 TRUE DIVIDED LITES
 1 3/4" THICK, SOLID WOOD, PAINT GRADE, W/1/2" INSULATING TEMPERED, CLEAR GLAZING
 FURNISH W/MPGR'S, WIRE MESH SCREEN DOORS, BAKED ENAMEL FINISH AND MATCHING HARDWARE, THRESHOLD AND WEATHERSTRIPPING

04 05 NEW EXTERIOR DOOR
 1 3/4" THICK, SOLID WOOD, PAINT GRADE, W/1/2" INSULATING TEMPERED, CLEAR GLAZING IN TRUE DIVIDED LITES
 FURNISH W/MPGR'S, WIRE MESH SCREEN DOOR, BAKED ENAMEL FINISH AND MATCHING HARDWARE, THRESHOLD, AND WEATHERSTRIPPING

06 NEW EXTERIOR DOOR
 1 3/4" THICK, SOLID WOOD, PAINT GRADE, W/1/2" INSULATING TEMPERED, CLEAR GLAZING IN TRUE DIVIDED LITES
 FURNISH W/MPGR'S, WIRE MESH SCREEN DOOR, BAKED ENAMEL FINISH AND MATCHING HARDWARE, THRESHOLD, AND WEATHERSTRIPPING

07 PAIR 2889 OFFICE DOOR
 1 3/4" THICK, SOLID WOOD, PAINT GRADE, W/1/2" INSULATING TEMPERED, CLEAR GLAZING AND 5/8"x1/2" METAL GRIDS
 PROVIDE "SOUNDSTRIPPING" AT MEDIA ROOM

08 INTERIOR DOOR
 1 3/4" THICK, SOLID WOOD, PAINT GRADE, 4-PANEL

09 INTERIOR DOOR
 1 3/4" THICK, SOLID WOOD, PAINT GRADE, 4-PANEL, FURNISH WITH RUBBER STOP AND FLUSH HARDWARE

10 INTERIOR DOOR
 1 3/4" THICK, SOLID WOOD, PAINT GRADE, 4-PANEL

11 INTERIOR DOOR
 1 3/4" THICK, SOLID WOOD, PAINT GRADE, 4-PANEL

11A CLOSET DOOR
 1 3/4" THICK, SOLID WOOD, PAINT GRADE, LOUVERED BIFOLD

12 INTERIOR DOOR
 1 3/4" THICK, SOLID WOOD, PAINT GRADE, 4-PANEL

13 INTERIOR DOOR
 1 3/4" THICK, SOLID WOOD, PAINT GRADE, 4-PANEL

14 PAIR 2670 INTERIOR DOOR
 1 3/4" THICK, SOLID WOOD, PAINT GRADE, 4-PANEL, FURNISH WITH RUBBER STOP AND FLUSH HARDWARE

15 PAIR 2670 INTERIOR DOORS
 1 3/4" THICK, SOLID WOOD, PAINT GRADE, 4-PANEL

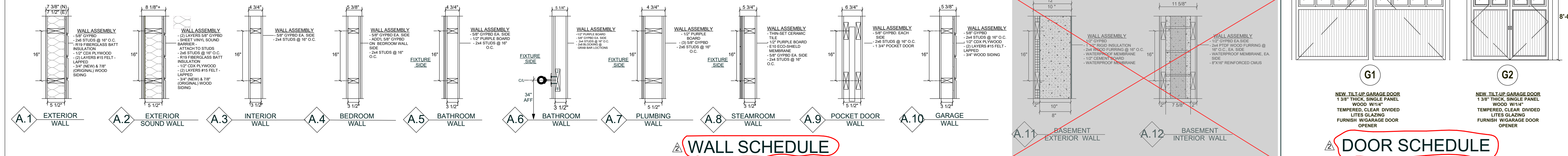
16 PAIR 1670 INTERIOR DOORS
 1 3/4" THICK, SOLID WOOD, PAINT GRADE, 2-PANEL

17 SPECIALTY STEAM SHOWER DOOR
 CLEAR, INSULATING, TEMPERED LAMINATED SAFETY GLASS

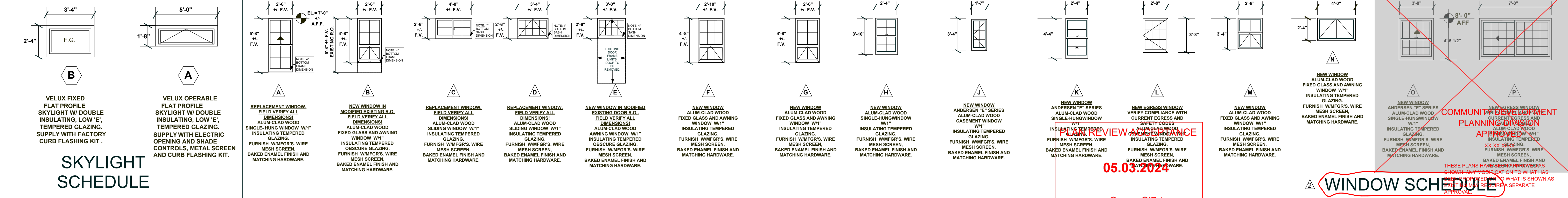
18 NEW EXTERIOR DOOR
 1 3/4" THICK, FLUSH PANEL AND OZDZED METAL, W/1/2" INSULATING TEMPERED, CLEAR TRUE DIVIDED LITES GLAZING
 FURNISH W/MPGR'S, WIRE MESH SCREEN DOOR, BAKED ENAMEL FINISH AND MATCHING HARDWARE, THRESHOLD, WEATHERSTRIPPING.

19 MECHANICAL ROOM DOOR
 1 3/4" THICK, FLUSH PANEL, W/ WOOD VENT PANEL

20 CRAWL SPACE ACCESS
 3/4" THICK, FLW W/ 1/2" GYP FACING, FLUSH PANEL, INSULATING



WALL SCHEDULE



WINDOW SCHEDULE

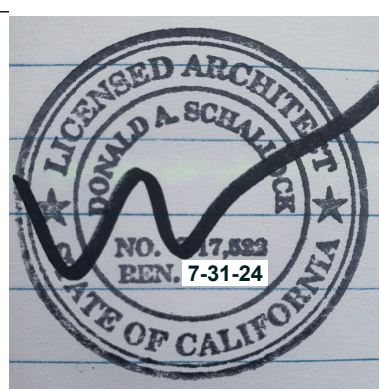
ROOM FINISH SCHEDULE

NUMBER	NAME	FLOORS	BASE	WALLS	CEILING	BUILT-INS	REMARKS	NUMBER	NAME	FLOORS	BASE	WALLS	CEILING	BUILT-INS	REMARKS
B01	PLAY ROOM	CONCRETE	NONE 1	UNPAINTED GYPBOARD - TAPED AND SANDED	9' HIGH - GYPBD.PAINT	NONE 1	NOTE 2: EXTERIOR WALLS TO BE INSULATED AND COVERED W/ 1/2" GYPBD. - UNFINISHED	101	PORCH	2X6 REDWOOD	SEE REMARKS	SEE REMARKS	8' - CEDER STRIPS - PAINT	*CUSTOM HAND RAILS AND NEWEL POSTS	*NOTE: REUSE AND REPAIR OF SALVAGED MATERIALS
B02	MECH'L RM.							102	MASTER B/R	HARDWOOD	8" WOOD	*GYPBOARD - PAINT	10' HIGH - GYPBD.PAINT	NONE	WALLS AND CEILING - SOUND INSULATE
B03	WINE / CIGAR ROOM							103	OFFICE					NONE	WALLS AND CEILING - SOUND INSULATE
B04	POWDER ROOM							104	CLOSET		4" WOOD			ROD & SHELF	
B05	BATHROOM							105	WALK-IN		8" WOOD			CLOSET SYSTEM - B.O.	"GREEN BOARD" AT ALL CER TILE WALLS
B06	ALCOVE							106	MASTER BATH	CERAMIC TILE	6" CERAMIC TILE	CER. TILE / WATERPROOF GYPBOARD - PAINT		BASIN, CABINET, MIRROR	
B08	CLOSET							107	TOILET	CERAMIC TILE	6" CERAMIC TILE			TOWEL BAR, PAPER HOLDER, ETC.	NOTE: STEAM SHOWER - (B.O.) OFFSET SHOWER CONTROLS AND 2 NOZZLES
B09	GUEST ROOM							108	*SHOWER	CAST TERRAZO		10' HIGH - WATERPROOF GYPBD.PAINT			
B10	SITTING AREA							109	GALLERY	HARDWOOD		GYPBOARD - PAINT	10' HIGH - GYPBD.PAINT		
B11	CRAWL SPACE	MEMBRANE OVER CEMENT BOARD						110	GUEST ROOM	HARDWOOD	8" WOOD	GYPBOARD - PAINT			
B12	CRAWL SPACE	MEMBRANE OVER CEMENT BOARD						111	CLOSET	CEDAR STRIPS	4" CEDAR	GYPBOARD - PAINT/ CEDAR STRIPS		ROD & SHELF	
201	SHANNON'S BEDROOM	CARPET	8" WOOD	GYPBOARD - PAINT	VARIES - SEE CEILING PLAN	NONE		112	ENTRY	HARDWOOD/SLATE	8" WOOD	GYPBOARD - PAINT		ROD & SHELVES (2)	
202	CLOSET	CEDAR STRIPS				ROD & SHELF		113	COATS	HARDWOOD	8" WOOD	GYPBOARD - PAINT		BASIN, CABINET, MIRROR TOWEL BAR, PAPER HOLDER	"GREEN BOARD" AT ALL CER TILE WALLS
203	SEAN'S BEDROOM	CARPET				NONE		114	POWDER ROOM	CERAMIC TILE	8" WOOD	CER. TILE / WATERPROOF GYPBOARD - PAINT			
204	CLOSET	CEDAR STRIPS				ROD & SHELF		115	LIVING/DINING	HARDWOOD	8" WOOD	GYPBOARD - PAINT			
205	BATH #3	CERAMIC TILE	6" TILE	W/R GYPBD./CERAMIC TILE	9' CEILING	CABINETS, MIRROR		116	BKFS.			GYPBOARD - PAINT			
206	GALLERY	HARDWOOD	8" WOOD	GYPBOARD - PAINT		NONE		117	KITCHEN			* GYPBOARD - PAINT/ CER.TILE		CABINETS, APPLIANCES (B.O.)	INSTALL FLOOR DRAIN BY SINK
207	ALCOVE					NONE		118	PANTRY		6" WOOD	GYPBOARD - PAINT		SHELVING CABINETS (N.I.C.)	
208	LINEN					NONE		119	LAUNDRY	HARDWOOD	8" WOOD	GYPBOARD - PAINT		CABINETS, APPLIANCES (B.O.)	INSTALL FLOOR DRAIN BY WASHER
209	MECH'L ROOM	COML. LINO. TILE	4" RUBBER			NONE		120	STAIRS	BRUSHED CONCRETE		GYPBOARD - PAINT	VARIES - SEE DETAILS	HANDRAILS	
210	STAIRS	HARDWOOD	6" WOOD			RAILINGS		121	PATIO	SLATE TILES (B.O.)		WOOD SIDING - PAINT	10' HIGH - WATERPROOF GYPBD.PAINT		
211	DECK	SLATE TILES	4" TILE	PAINT / STAIN	WOOD PANELS - HEIGHT VARIES - STAIN / PAINT	HANDRAILS	NOTE: STEEL SPIRAL STAIR AND RAIL INCLUDED AND INTEGRATED WITH DECK HANDRAIL SYSTEM								
G01	GARAGE	CONCRETE- SEAL	NONE	PAINT / STAIN	OPEN RAFTER	CABINET, SHELVING (B.O.)	CUSTOM SKYLIGHT								

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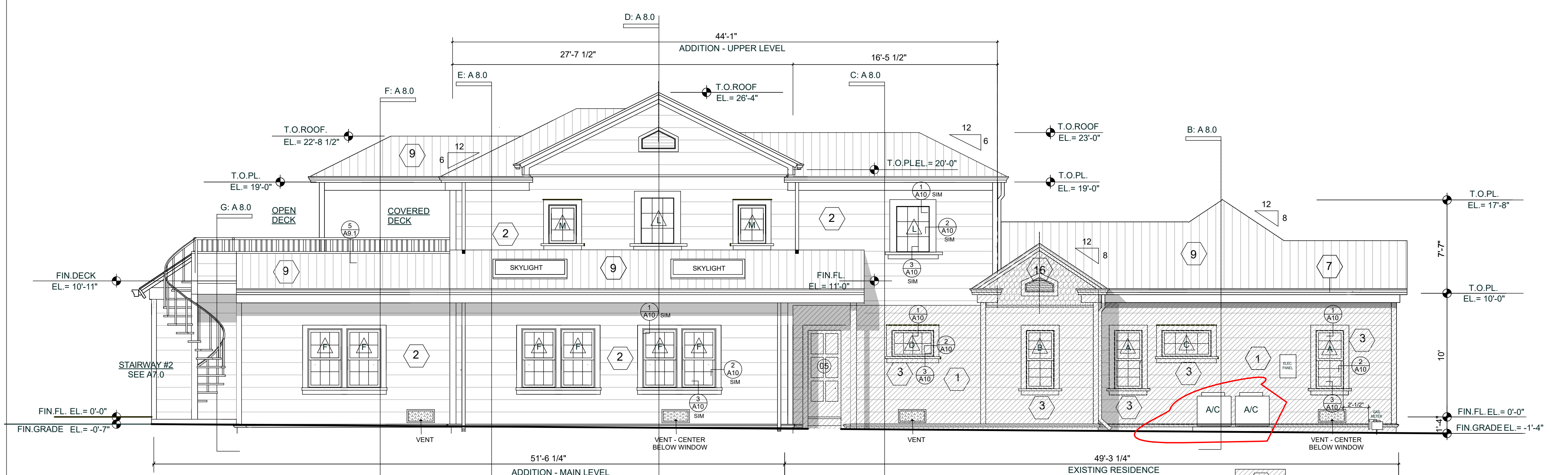
don schallock
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ARCHITECTURE
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LEGEND

- 1 WALLS: RE-FRAMED APPLY ORIGINAL 1"x8" HORIZONTAL SHIP-LAP SIDING... 2 WALLS: NEW 1"x8" WOOD SIDING TO MATCH ORIGINAL... 3 WINDOWS: ORIGINAL SINGLE-HUNG WOOD W/ WIDE SASH AND FRAMES... 4 WINDOWS: NEW, SINGLE-, DOUBLE-HUNG, AND ALUM. CLAD... 5 DOORS: ORIGINAL WOOD W/ FIXED LITES... 6 DOORS: NEW, "CRAFTSMAN STYLE" WOOD UNITS... 7 EAVES, GUTTERS, FASCIA: REPAIR OR REPLACE... 8 ROOF: ORIGINAL, REMOVE AND REPLACE ASPHALT SHINGLES... 9 ROOF: NEW - METAL, STANDING SEAM... 12 GABLE TRIM: NEW WOOD 1/2"x3" VERTICAL STRIPS... 13 SKYLIGHT: LOW-PROFILE, OPERABLE, ALUM. CLAD... 15 PORCH: EXISTING CONCRETE SPINDLE WORK... 16 GABLE: EXISTING DECORATIVE WOOD SHINGLES AND TRIM



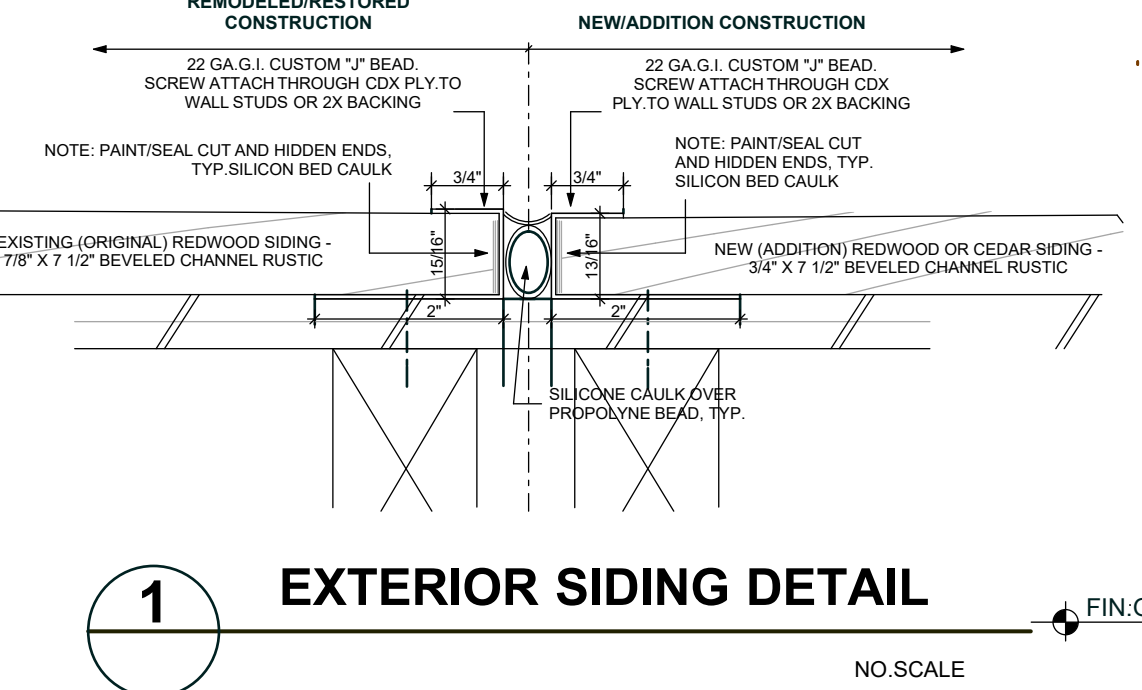
SOUTH (SIDE) ELEVATION



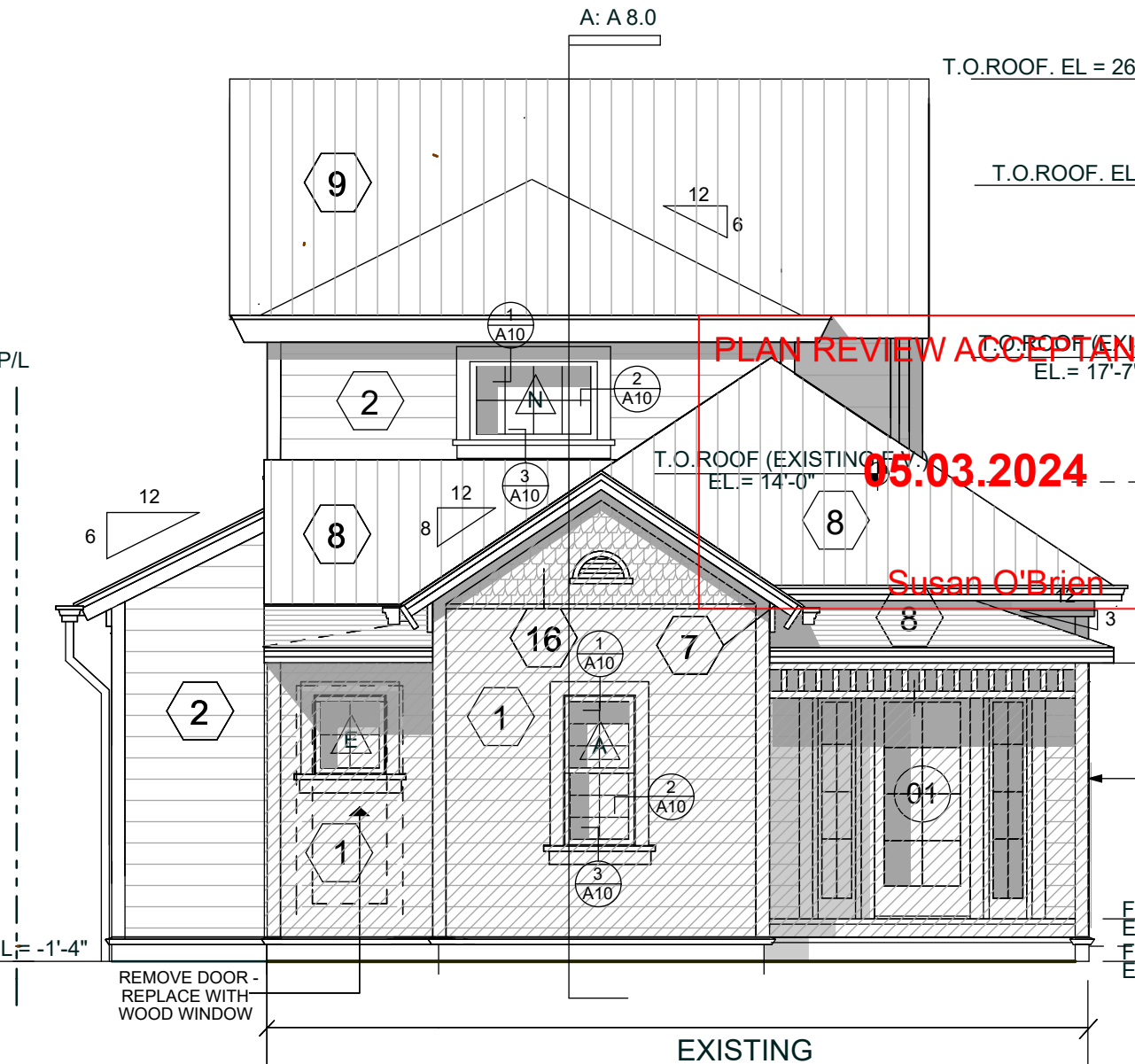
5 ADDRESS POST DETAIL scale: 3/4" = 1'



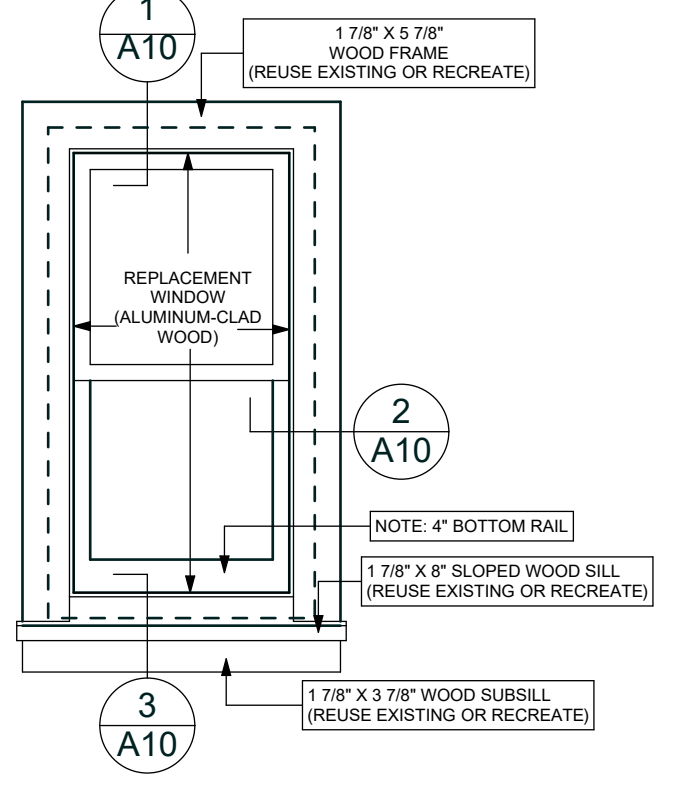
4 O.S. CORNER TRIM DETAIL (E & N) 2" = 1'-0"



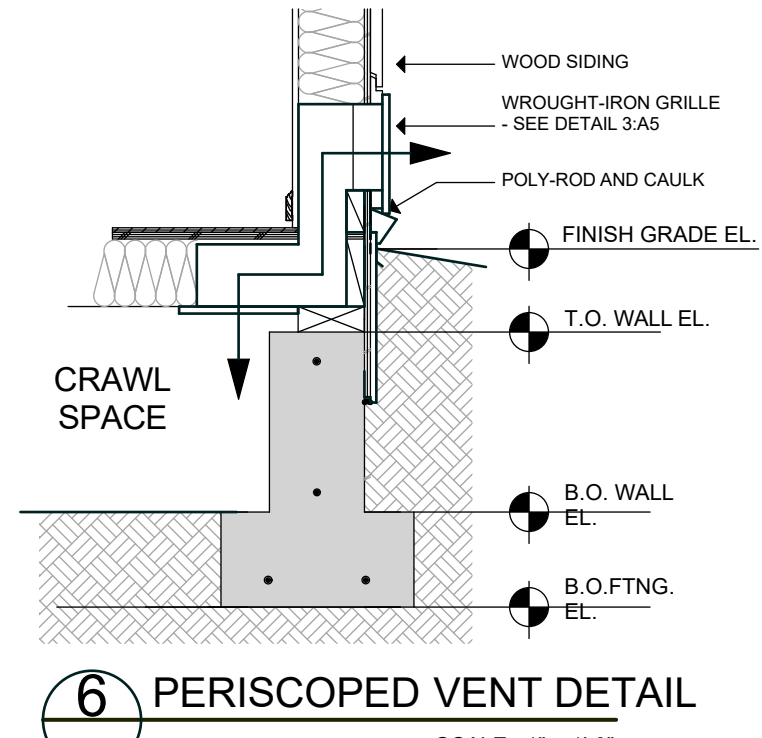
1 EXTERIOR SIDING DETAIL NO SCALE



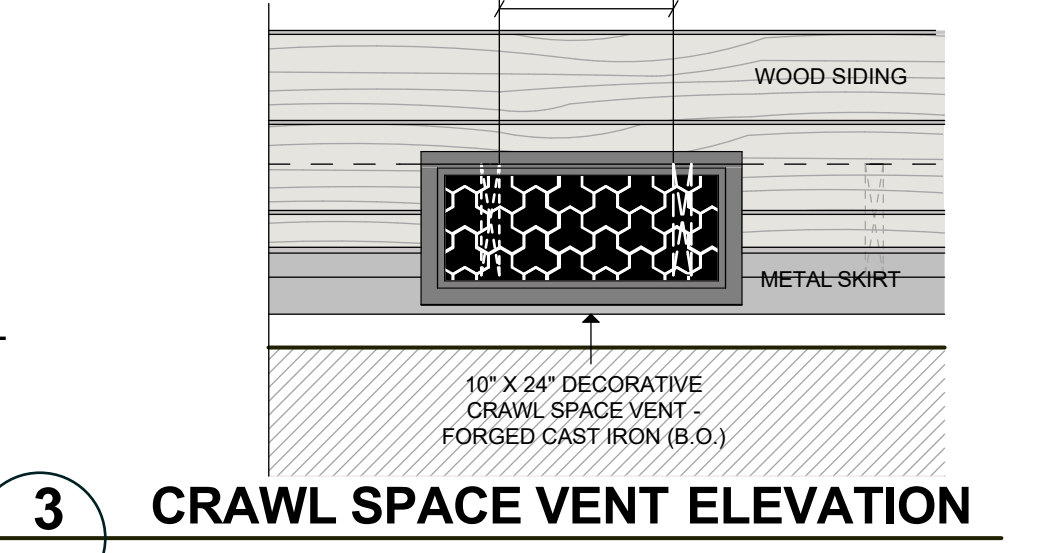
EAST (FRONT) ELEVATION



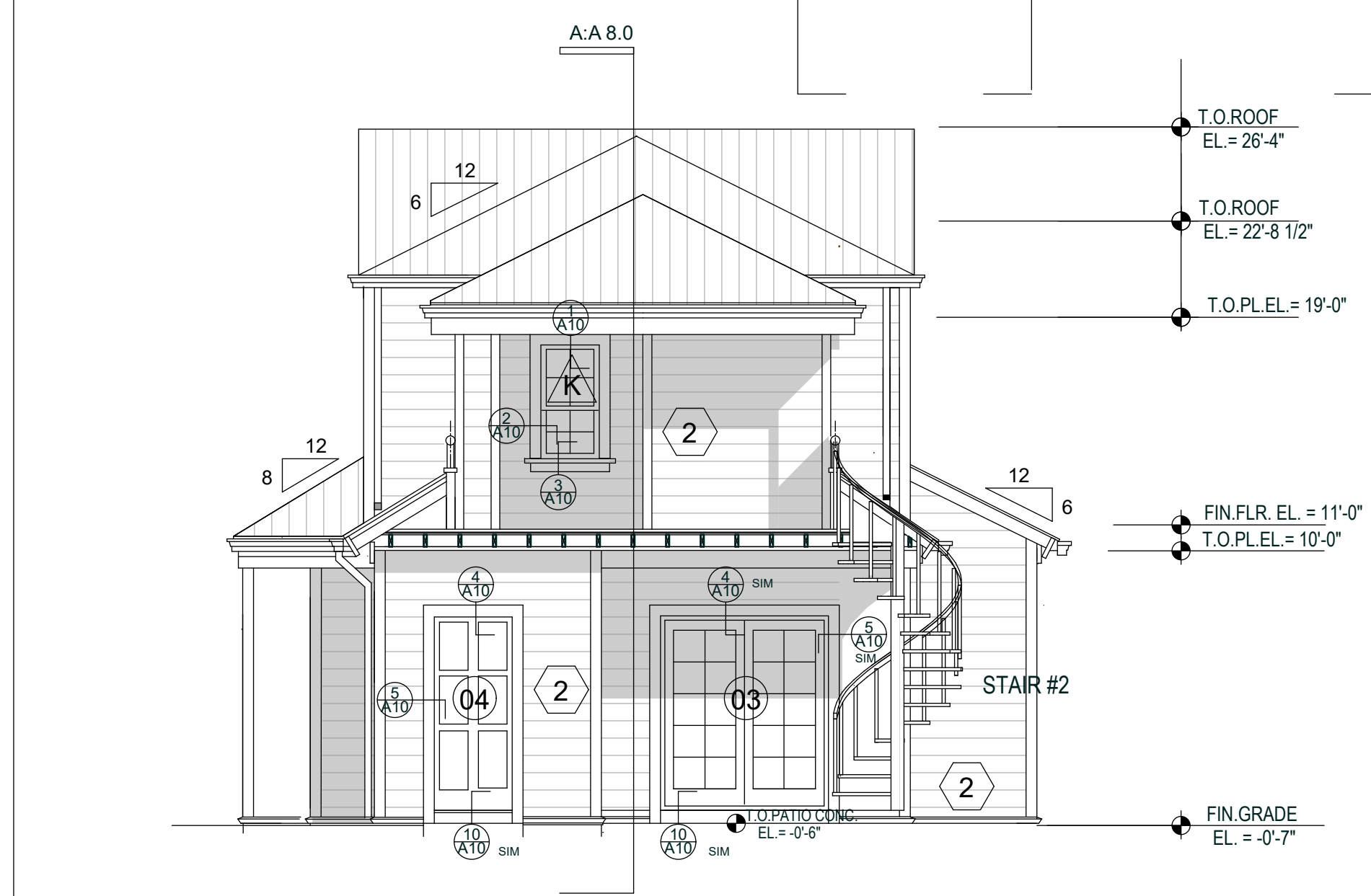
2 EXTERIOR TRIM DETAIL NO SCALE



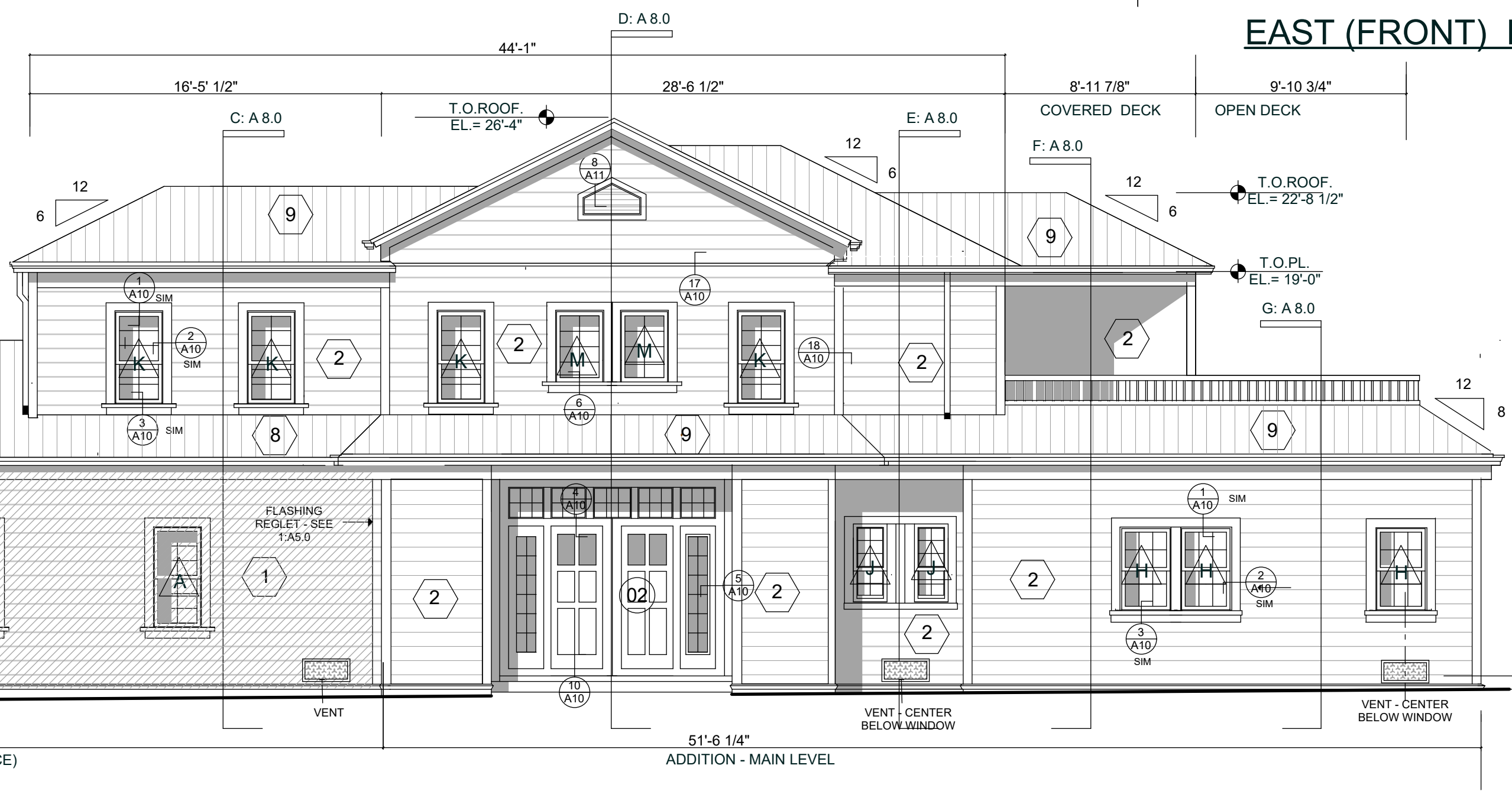
6 PERISCOPED VENT DETAIL SCALE: 1" = 1'-0"



3 CRAWL SPACE VENT ELEVATION SCALE: 3/4" = 1'



REAR (WEST) ELEVATION



NORTH (ENTRY) ELEVATION

EXTERIOR ELEVATIONS - RESIDENCE

SCALE: 3/16" = 1'-0"

MARCH 2023

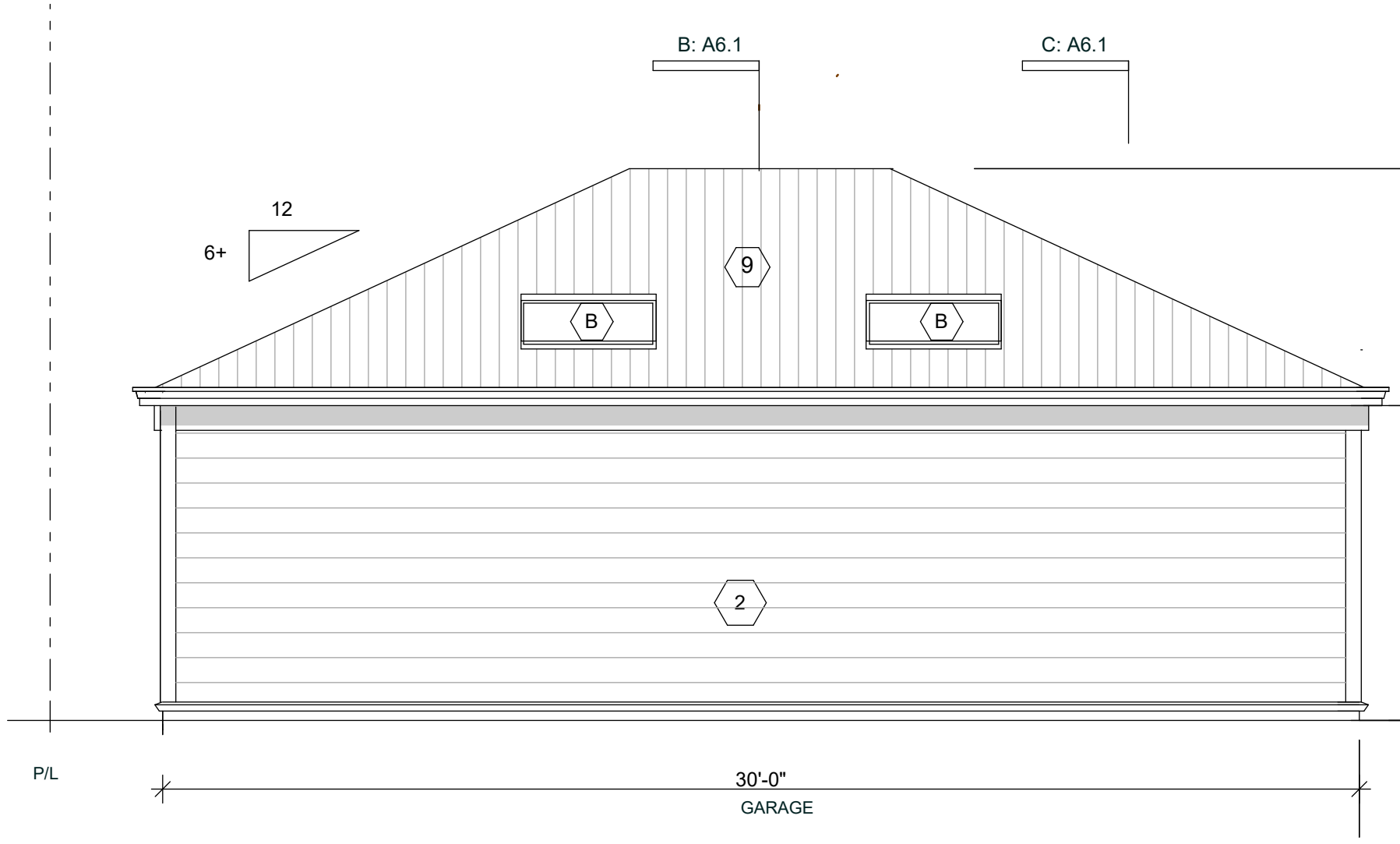
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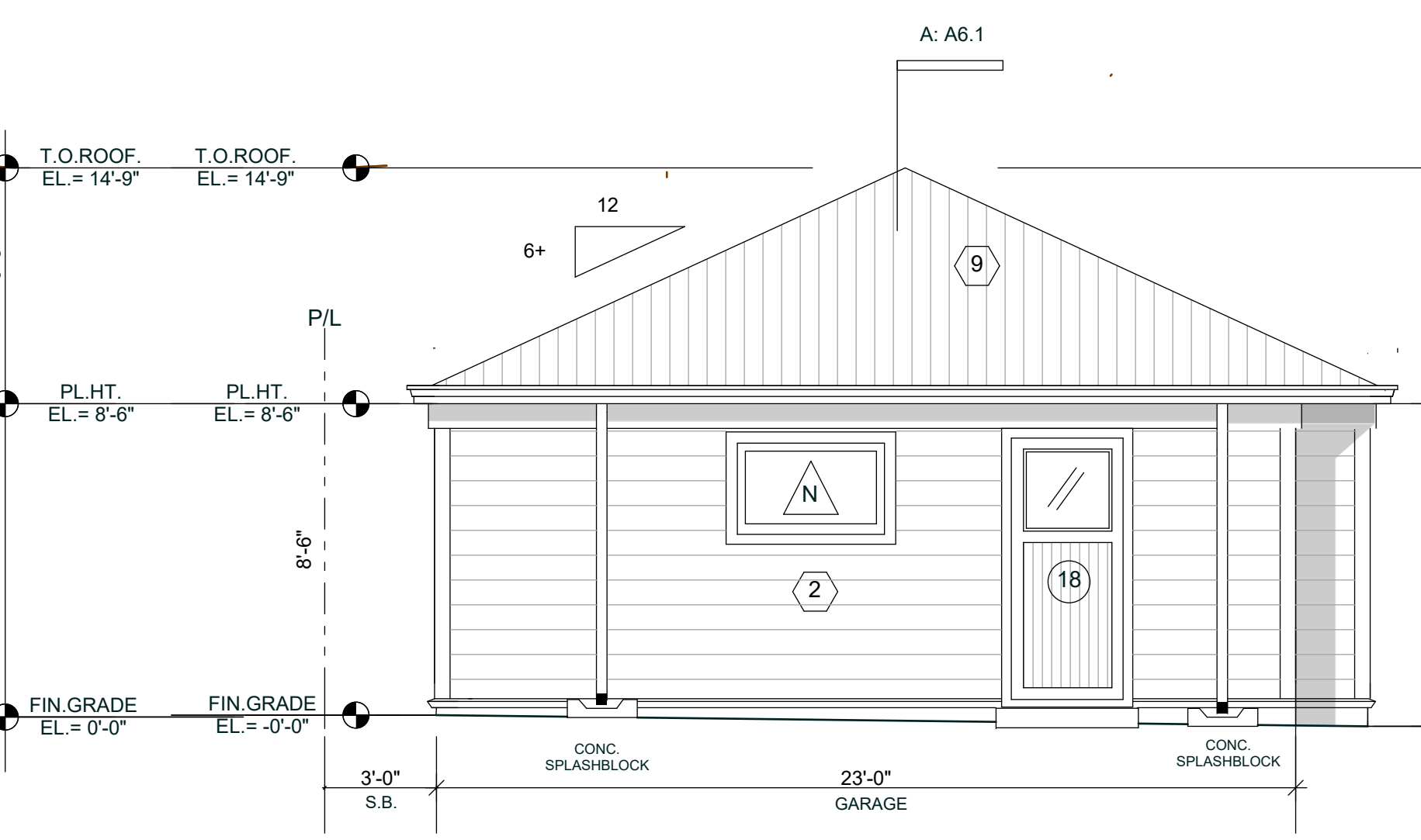
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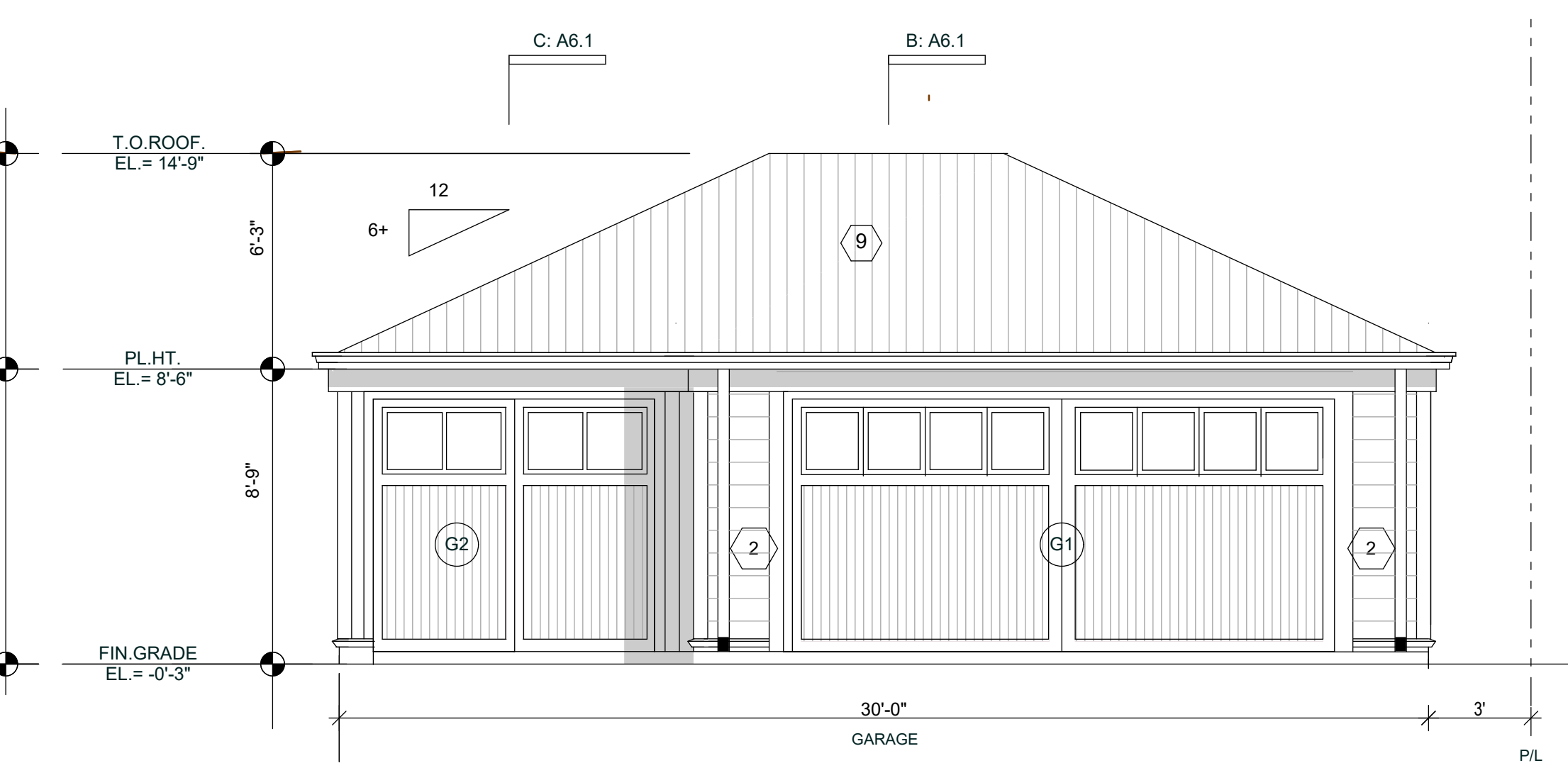
A5.0 OF SIXTEEN



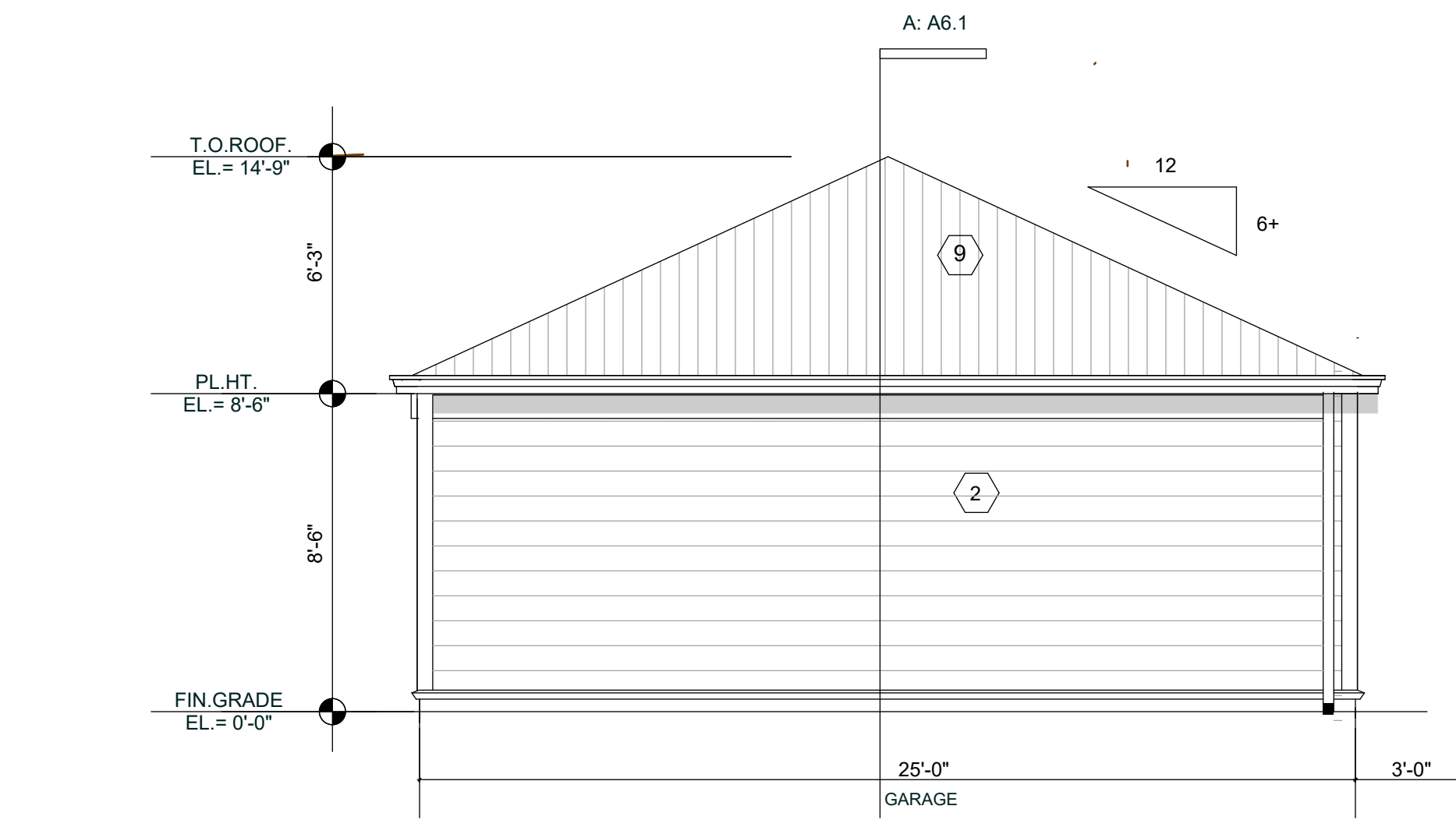
REAR (WEST) ELEVATION
SCALE : 1/4 = 1'-0"



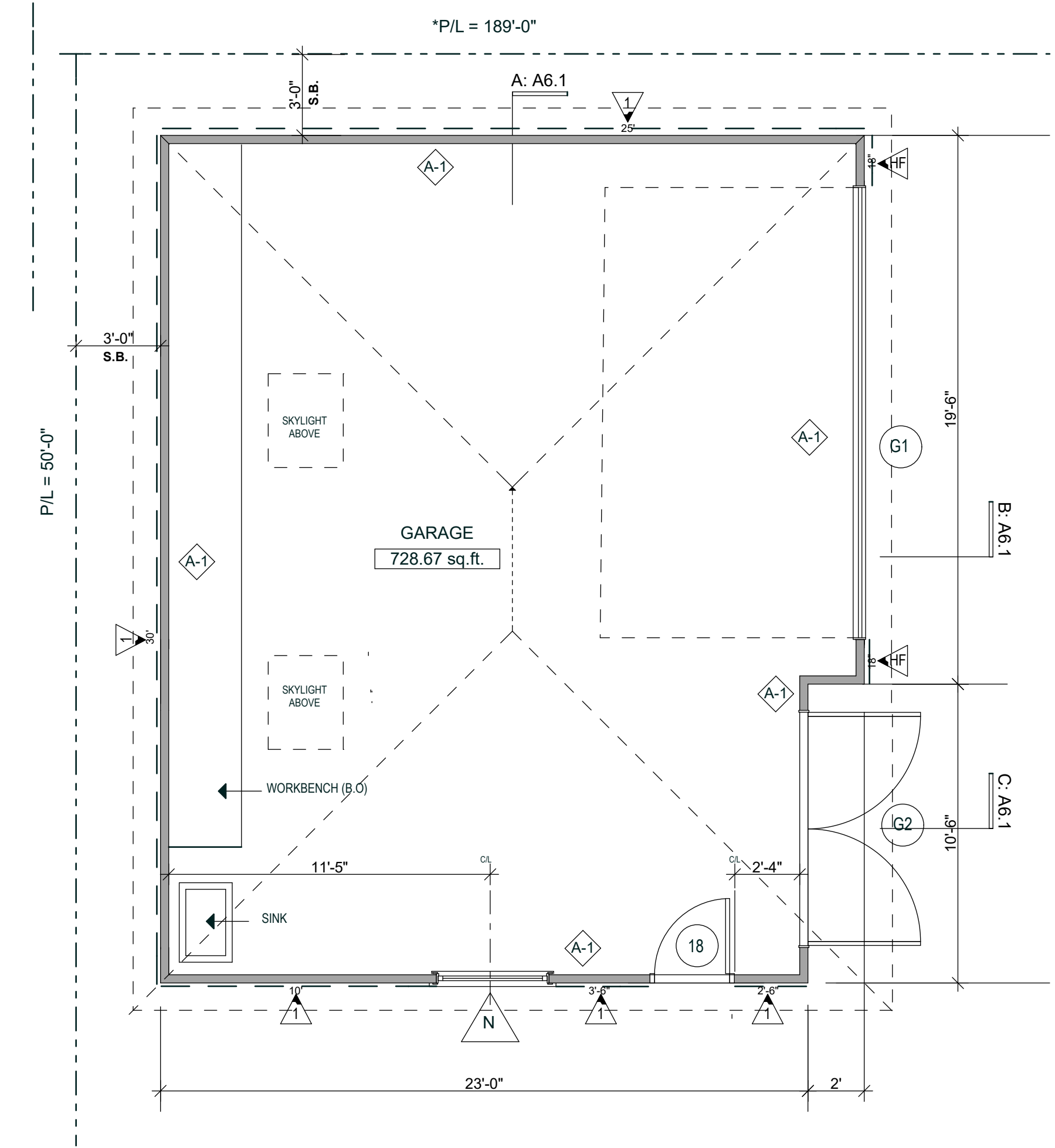
SIDE (SOUTH) ELEVATION
SCALE : 1/4 = 1'-0"



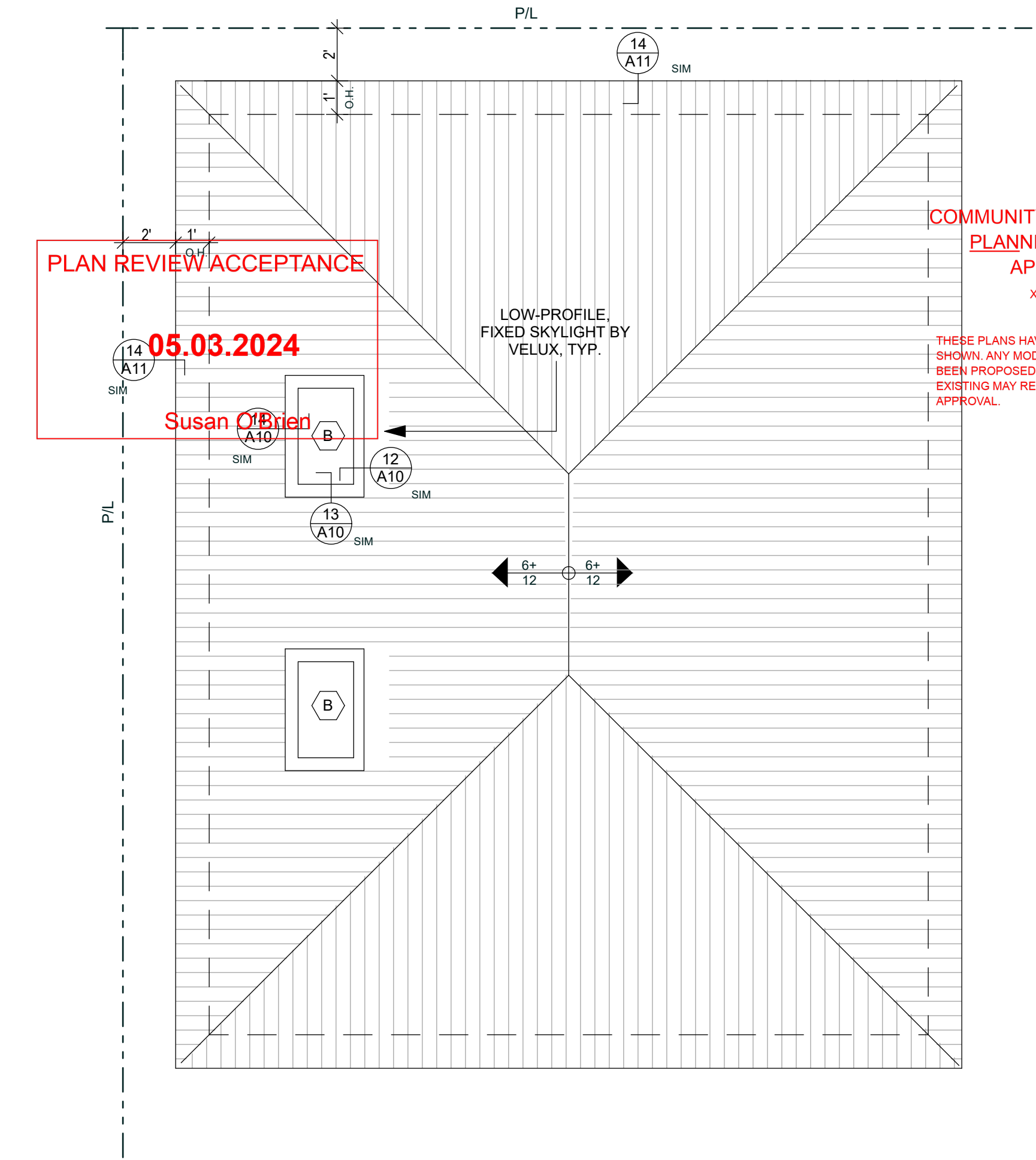
FRONT (EAST) ELEVATION
SCALE : 1/4 = 1'-0"



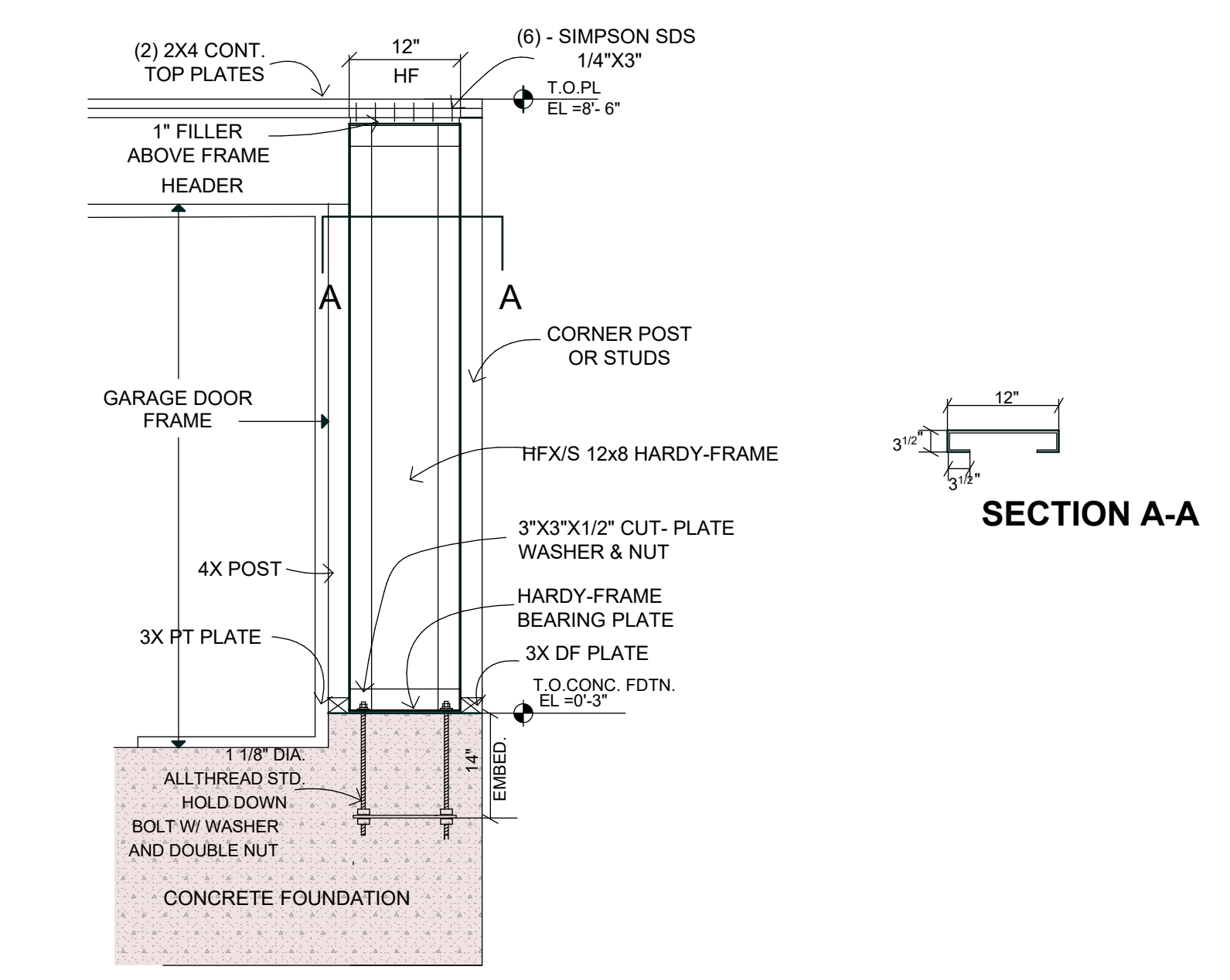
SIDE (NORTH) ELEVATION
SCALE : 1/4 = 1'-0"



FLOOR PLAN
SCALE : 1/4 = 1'-0"
729 SQ.FT.



ROOF PLAN
SCALE : 1/4 = 1'-0"



1 HARDI-FRAME DETAIL
NO SCALE

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05.03.2024
Susan O'Brien

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PLAN CHECK STAMP
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REVISION

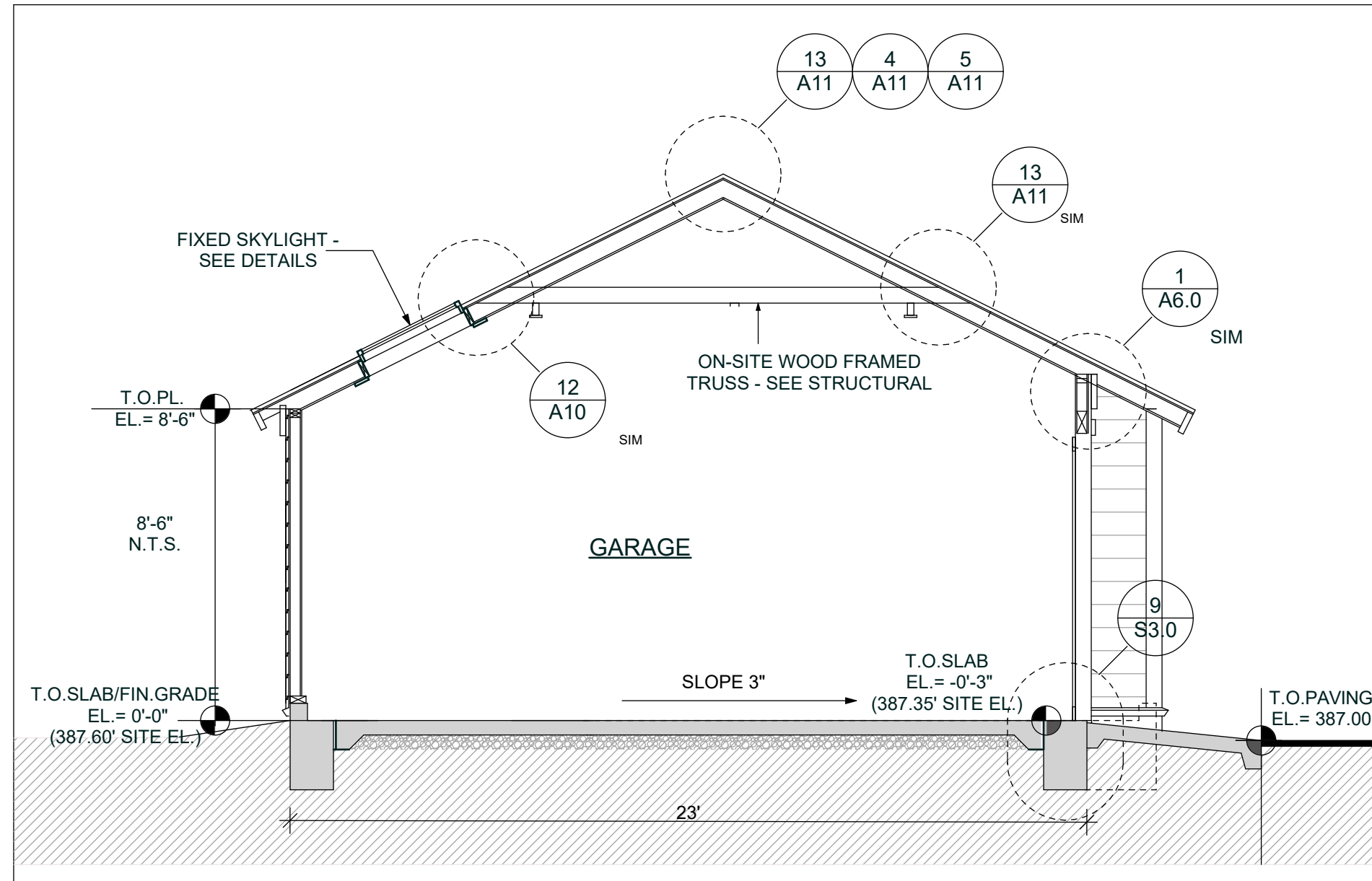
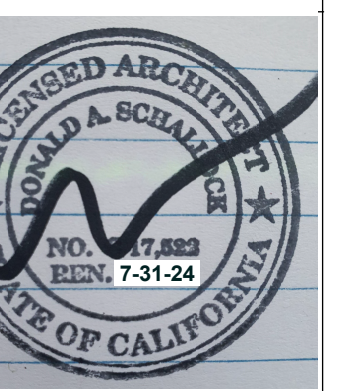
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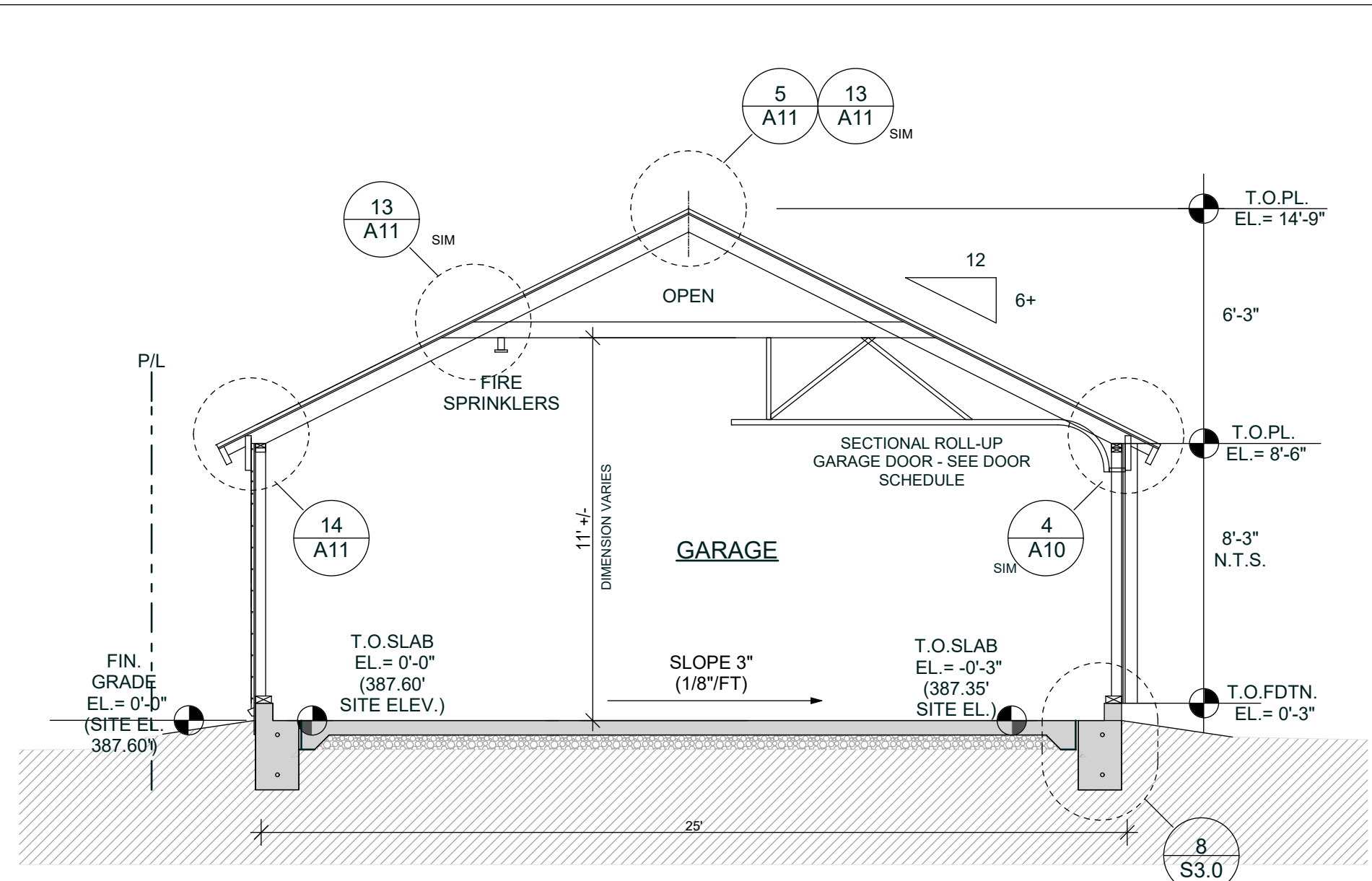
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E-Mail: don@donshallock.com

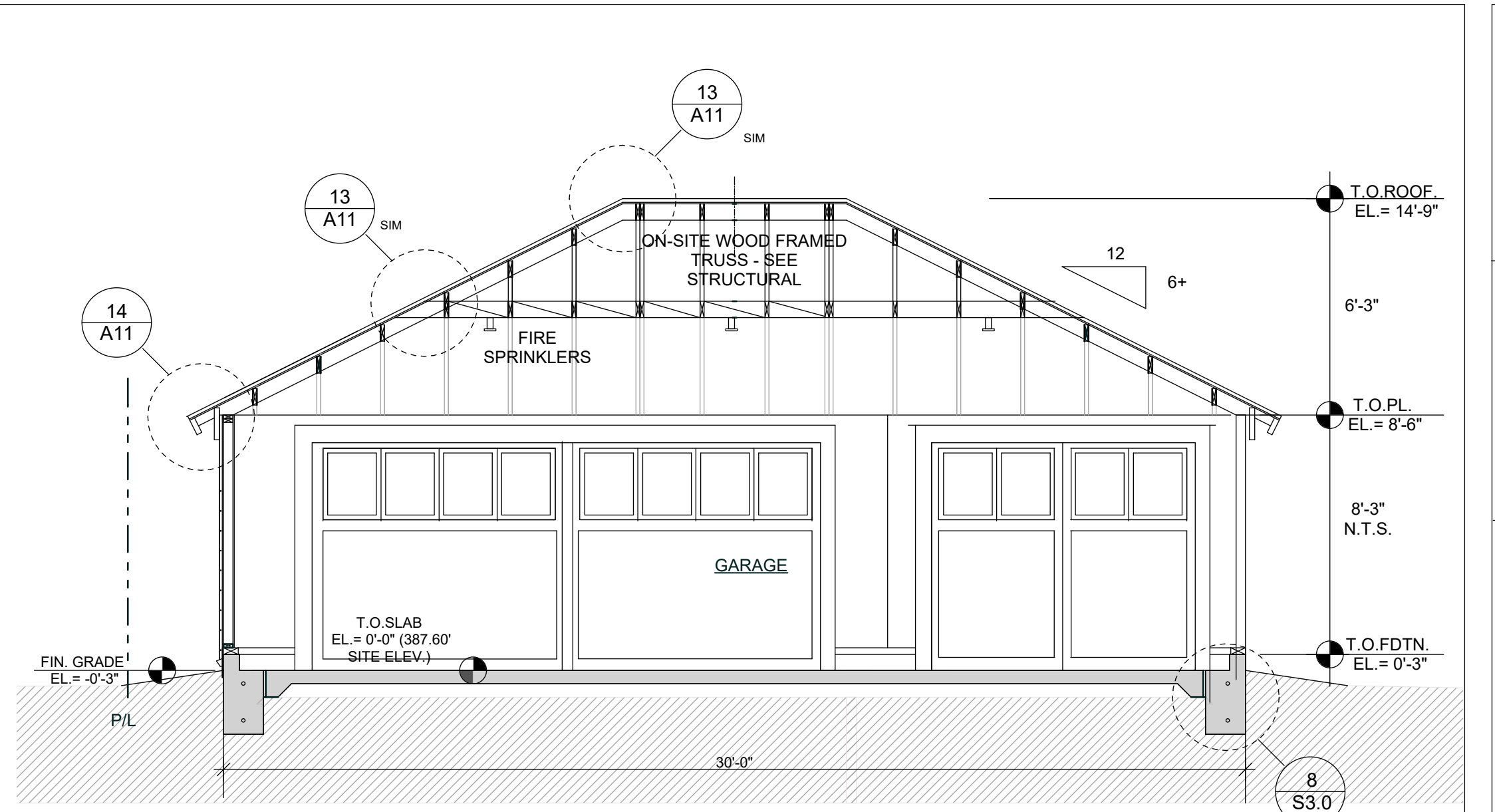
ARCHITECTURE
by
design



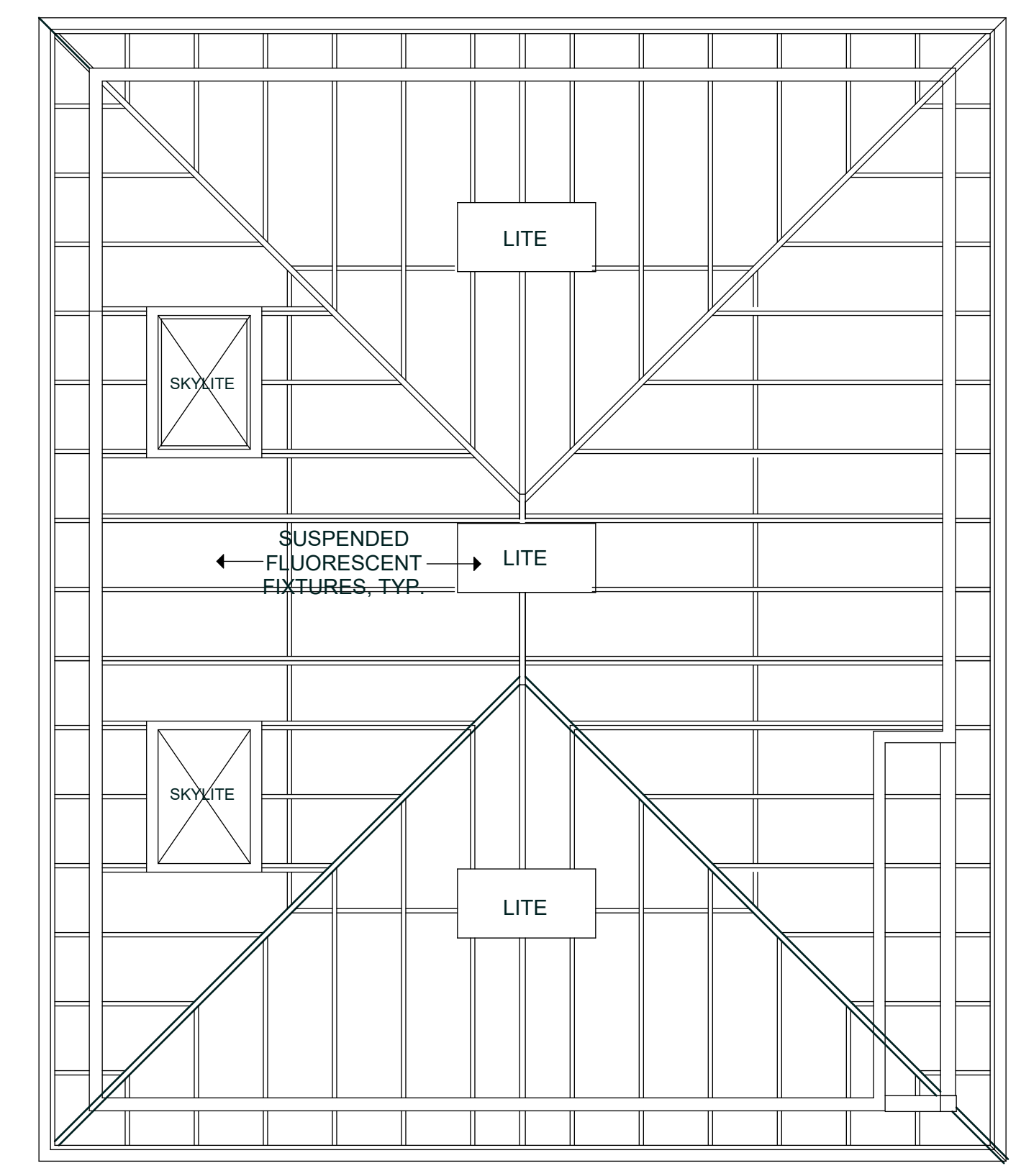
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1/4" = 1'-0" SCALE



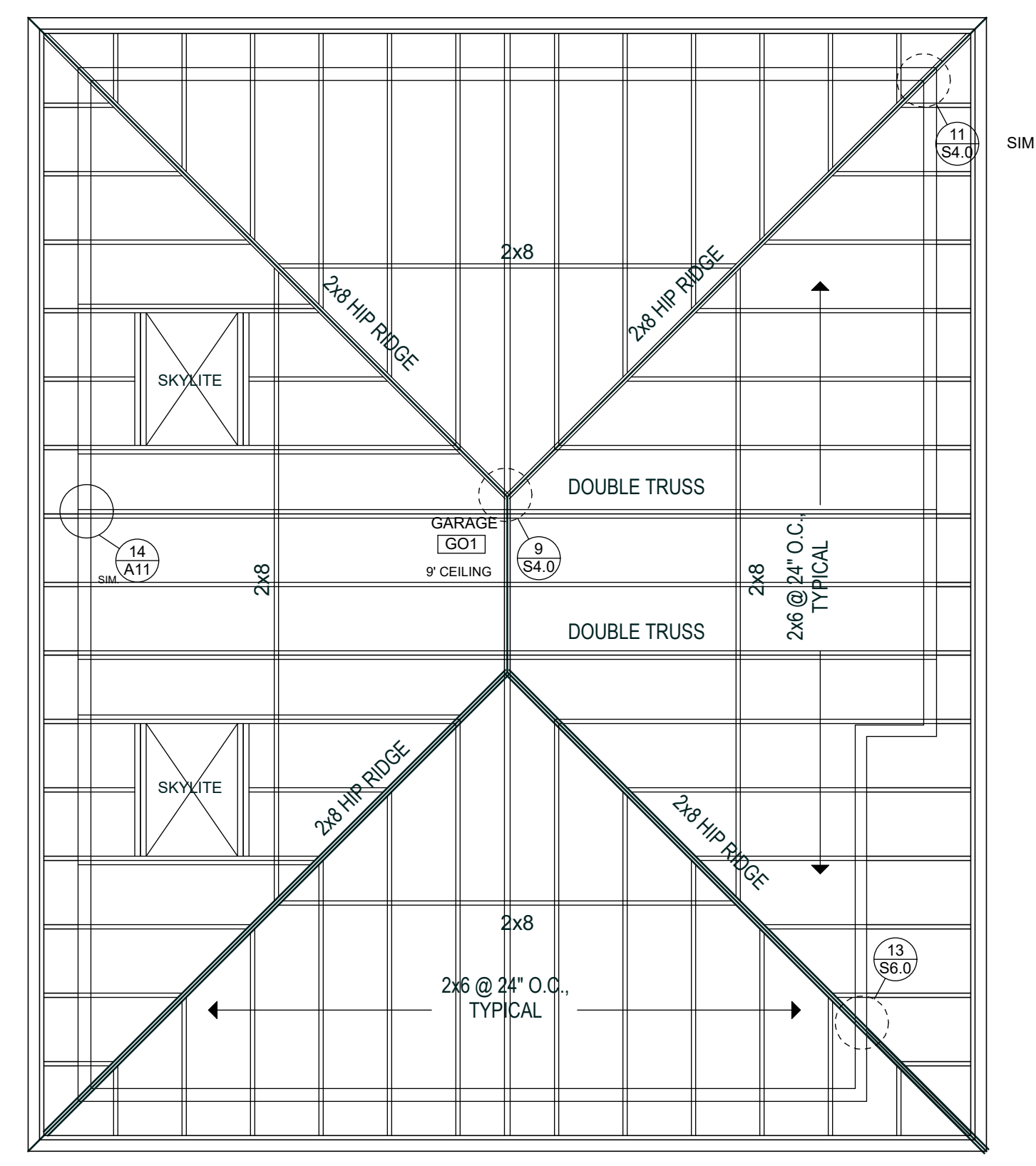
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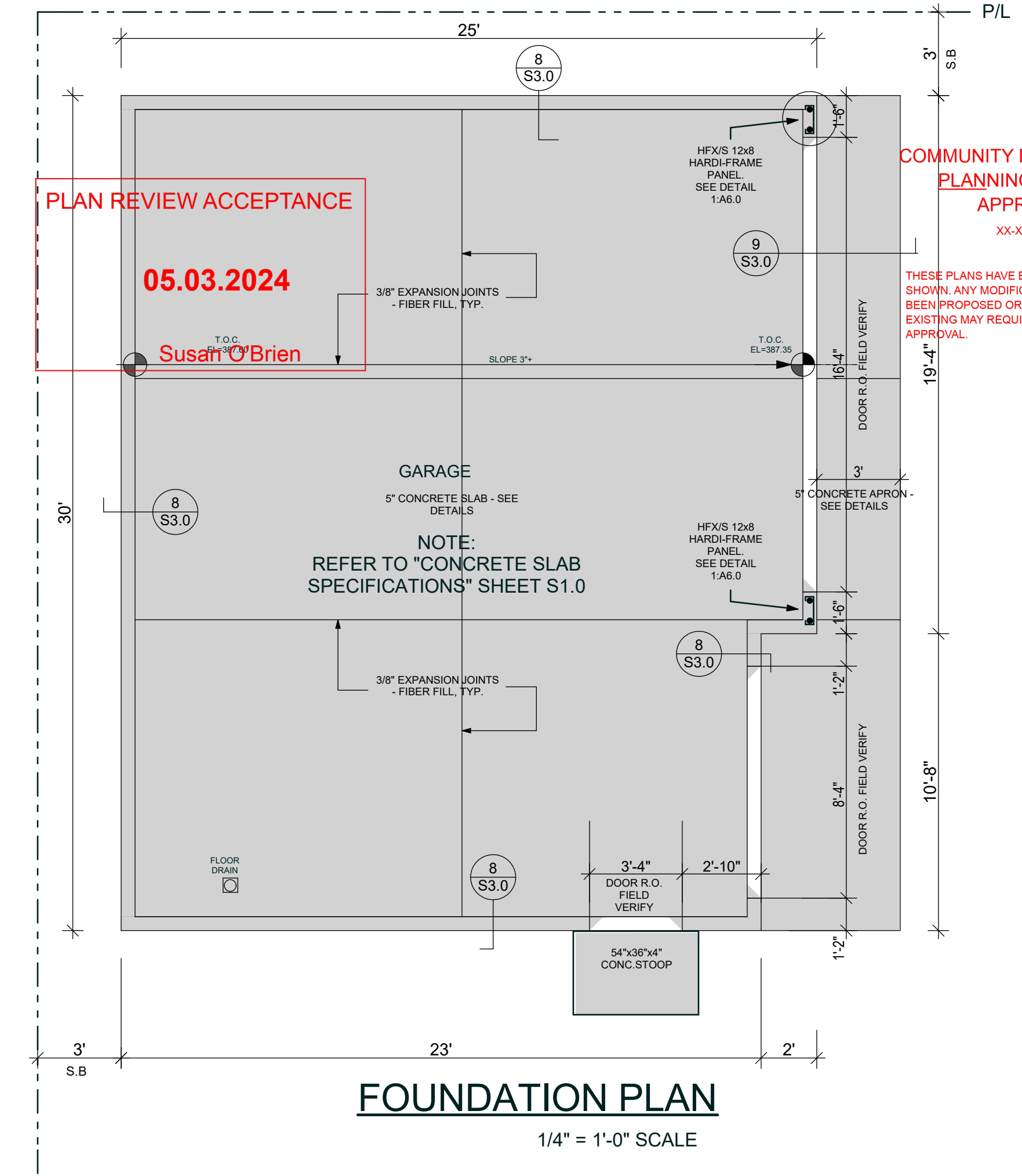
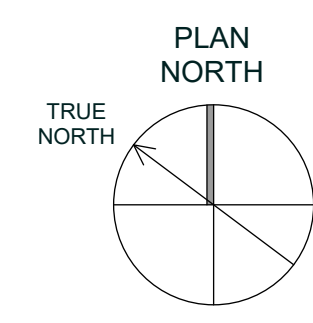
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1/4" = 1'-0" SCALE



REFLECTED CEILING PLAN
1/4" = 1'-0" SCALE



FRAMING PLAN
1/4" = 1'-0" SCALE



FOUNDATION PLAN
1/4" = 1'-0" SCALE

PLAN REVIEW ACCEPTANCE
05.03.2024
Susan O'Brien

COMMUNITY DEVELOPMENT
PLANNING DIVISION
APPROVED
xx-xx-xxxx

THESE PLANS HAVE BEEN APPROVED AS SHOWN. ANY MODIFICATION TO WHAT HAS BEEN PROPOSED OR TO WHAT IS SHOWN AS EXISTING MAY REQUIRE A SEPARATE APPROVAL.

PLAN REVIEW APPROVAL

05.23.2024

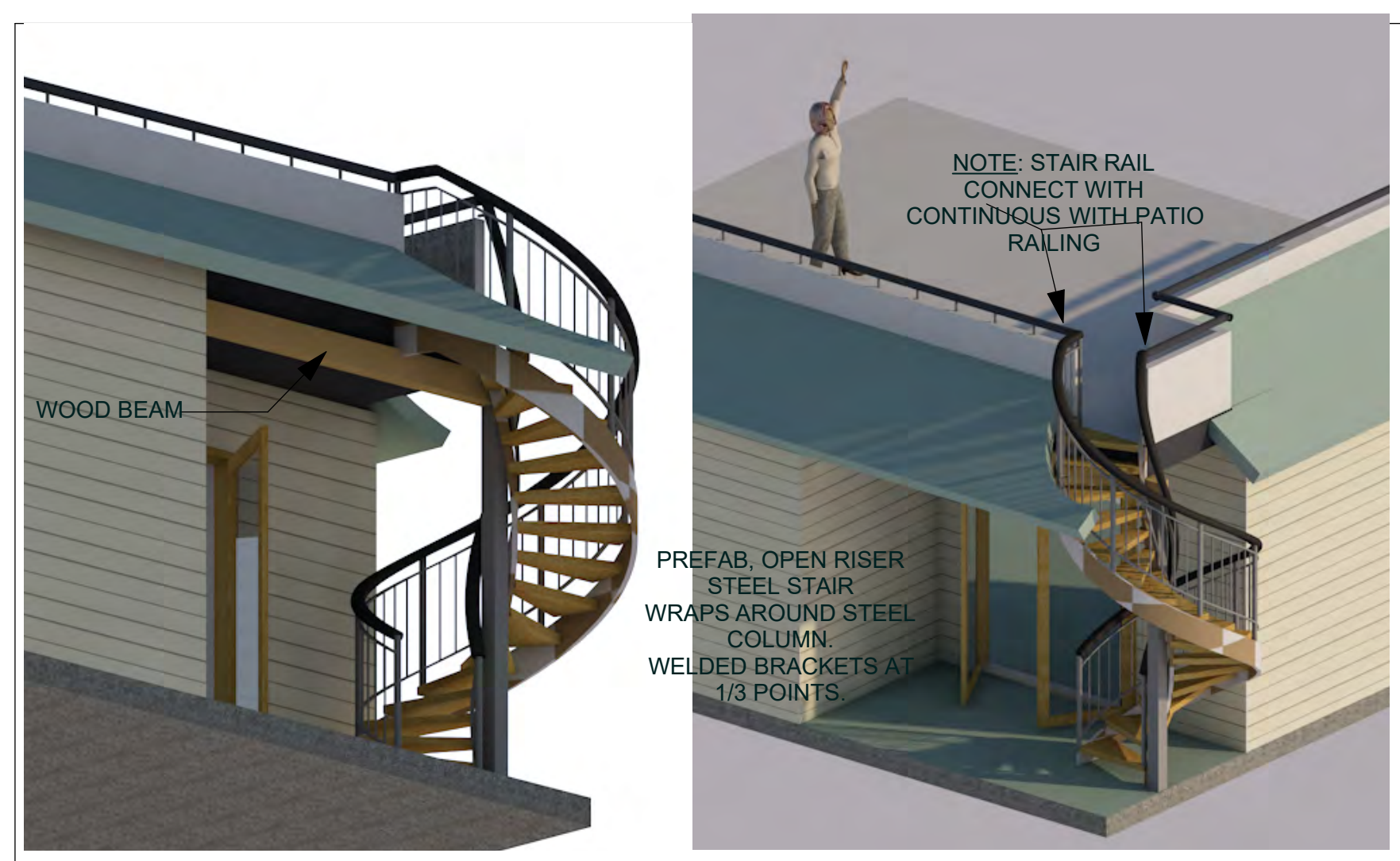
GARAGE FOUNDATION & FRAMING DETAILS

MARCH 2023

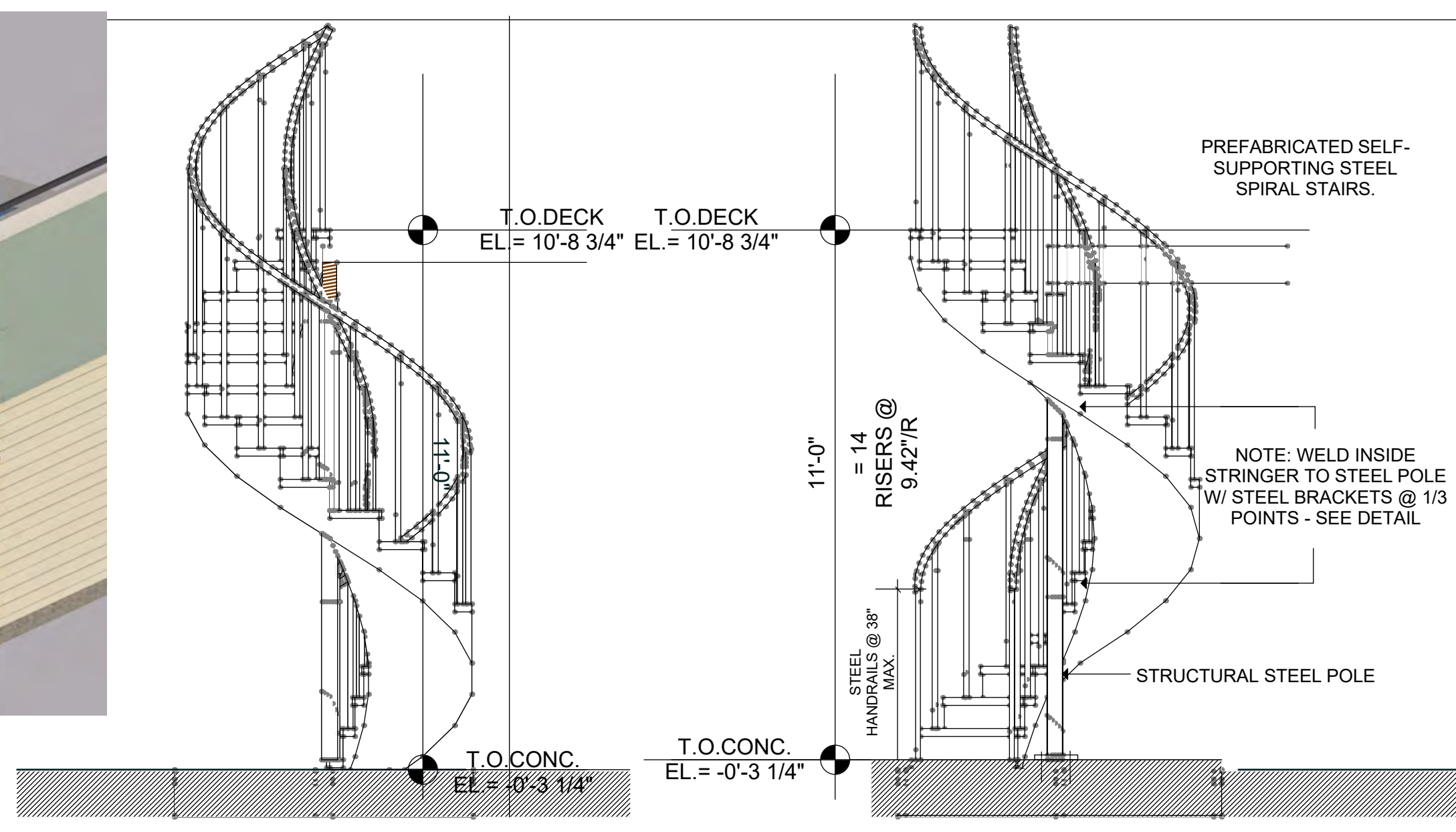
TOWN OF LOS GATOS
BUILDING DIVISION

PAGE

A6.1
OF SIXTEEN

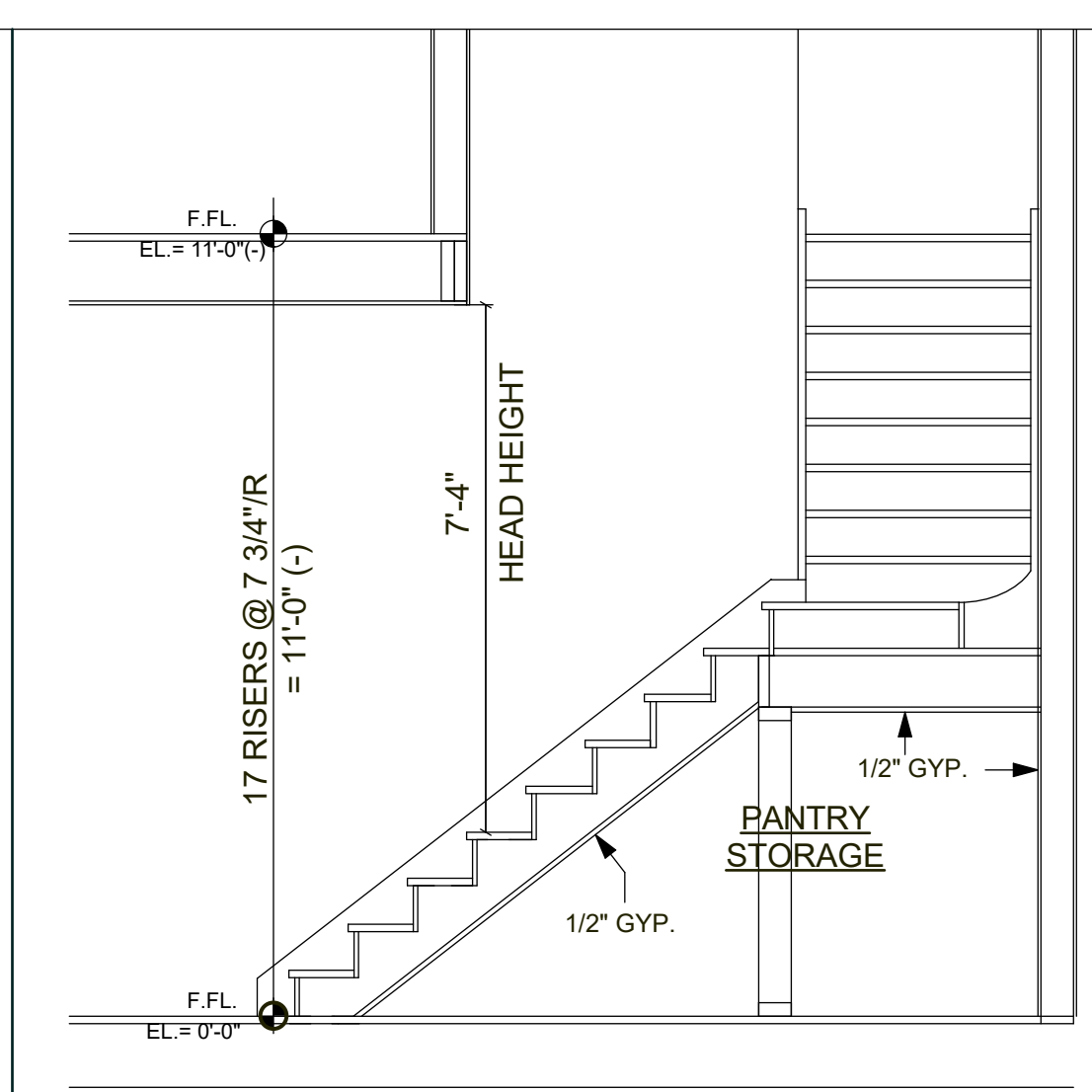


PERSPECTIVES

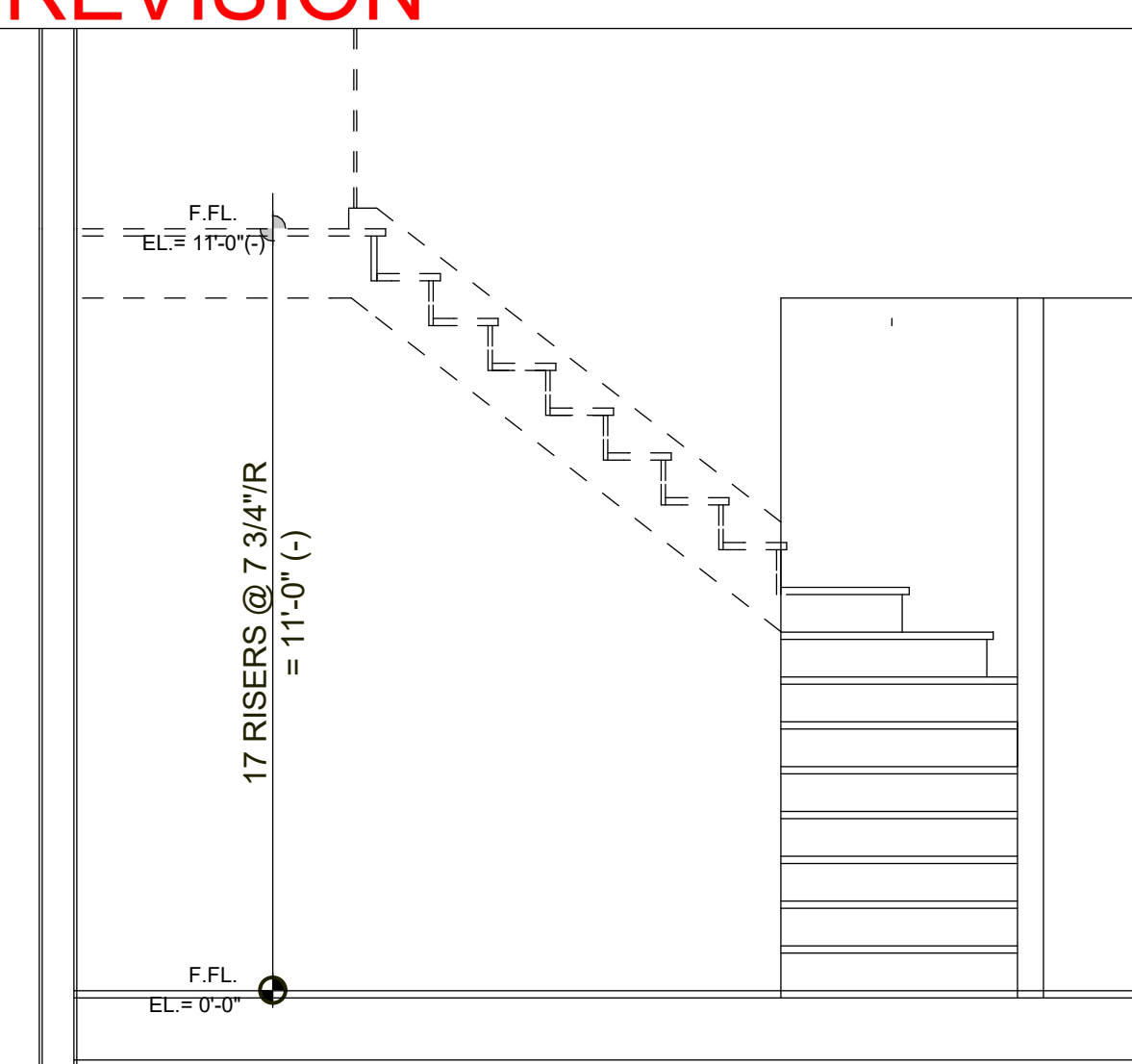


SOUTH ELEVATION

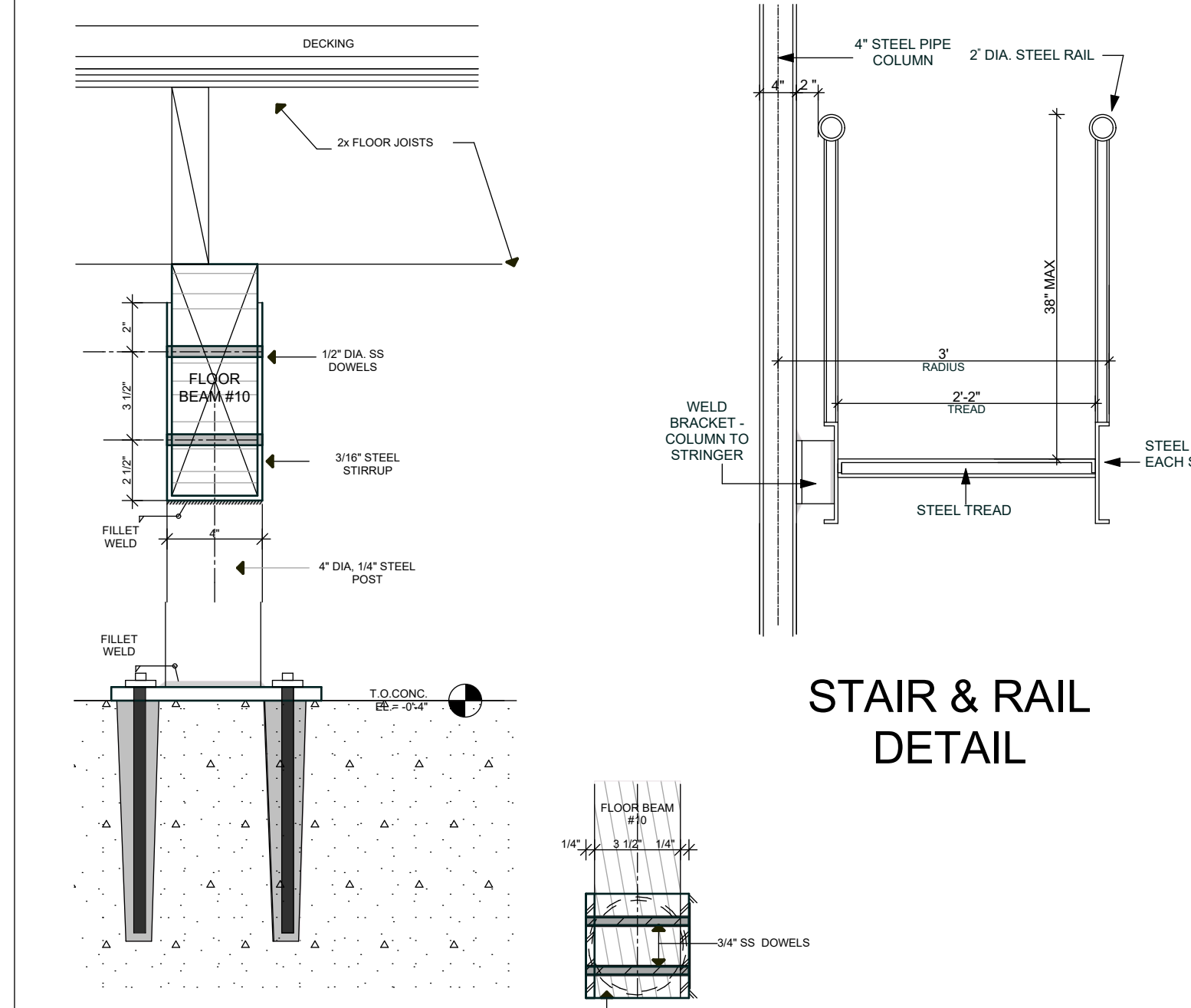
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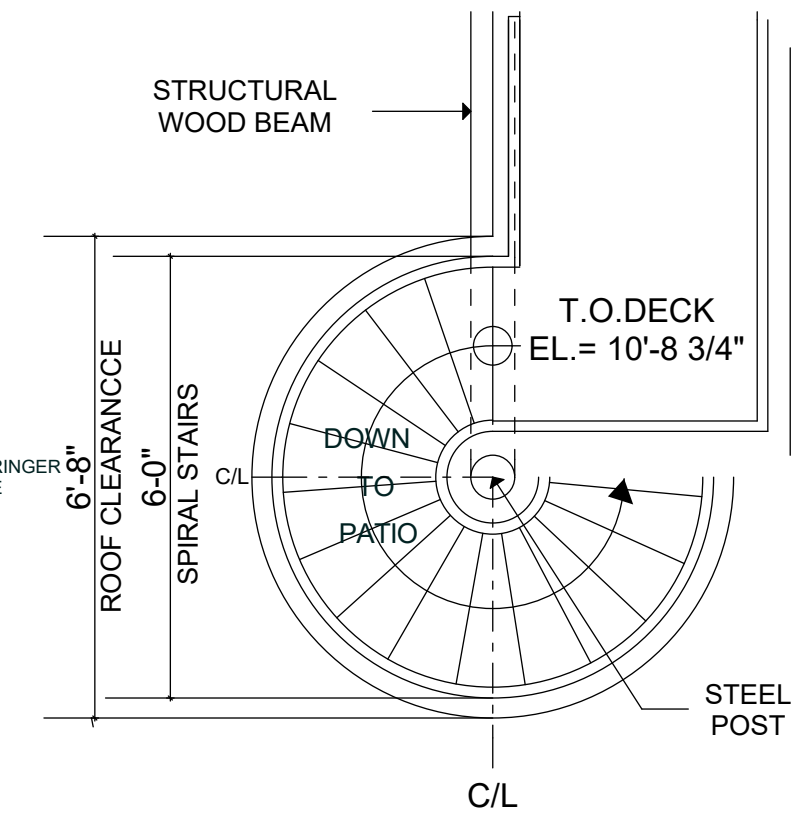
SECTION



ELEVATION

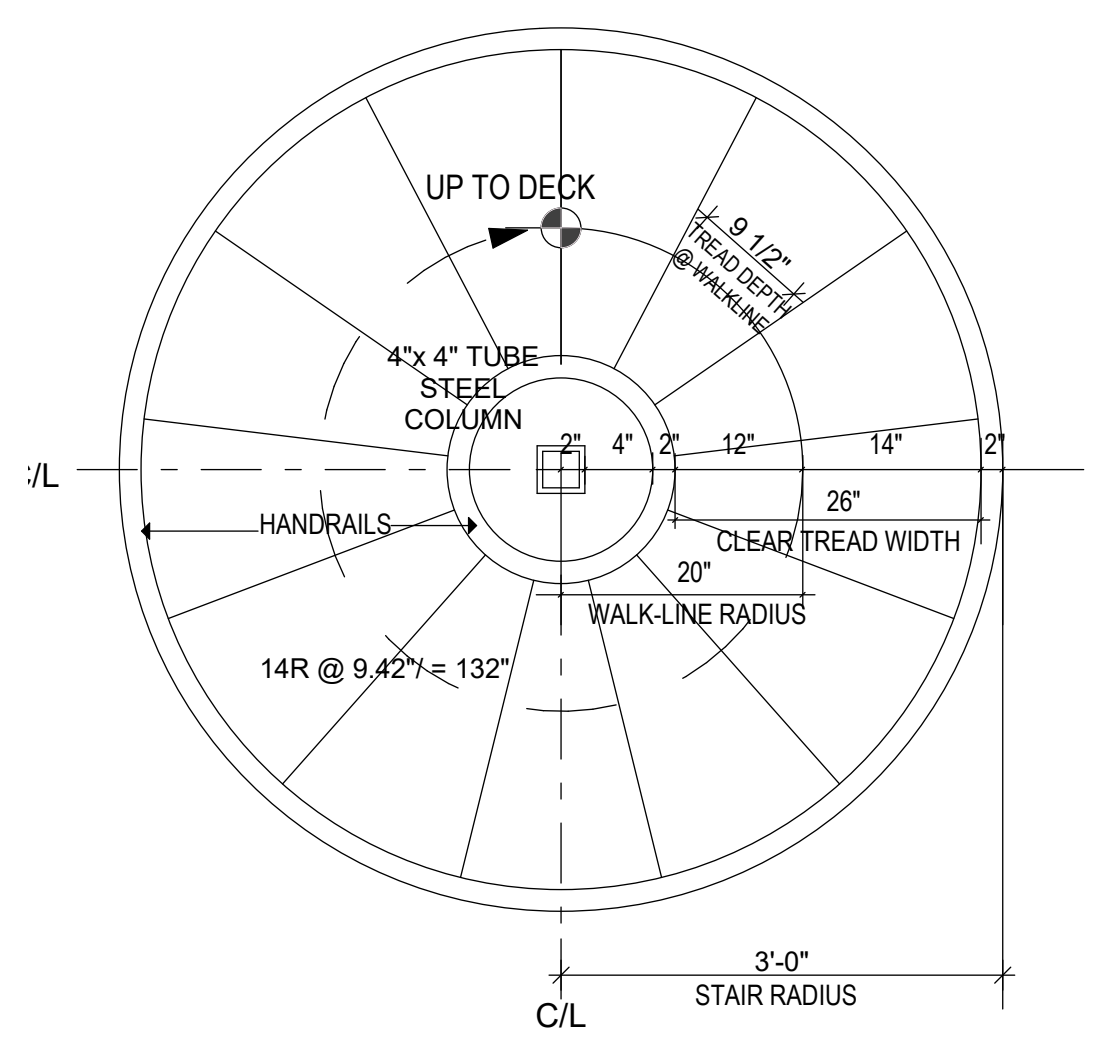


STAIR & RAIL DETAIL



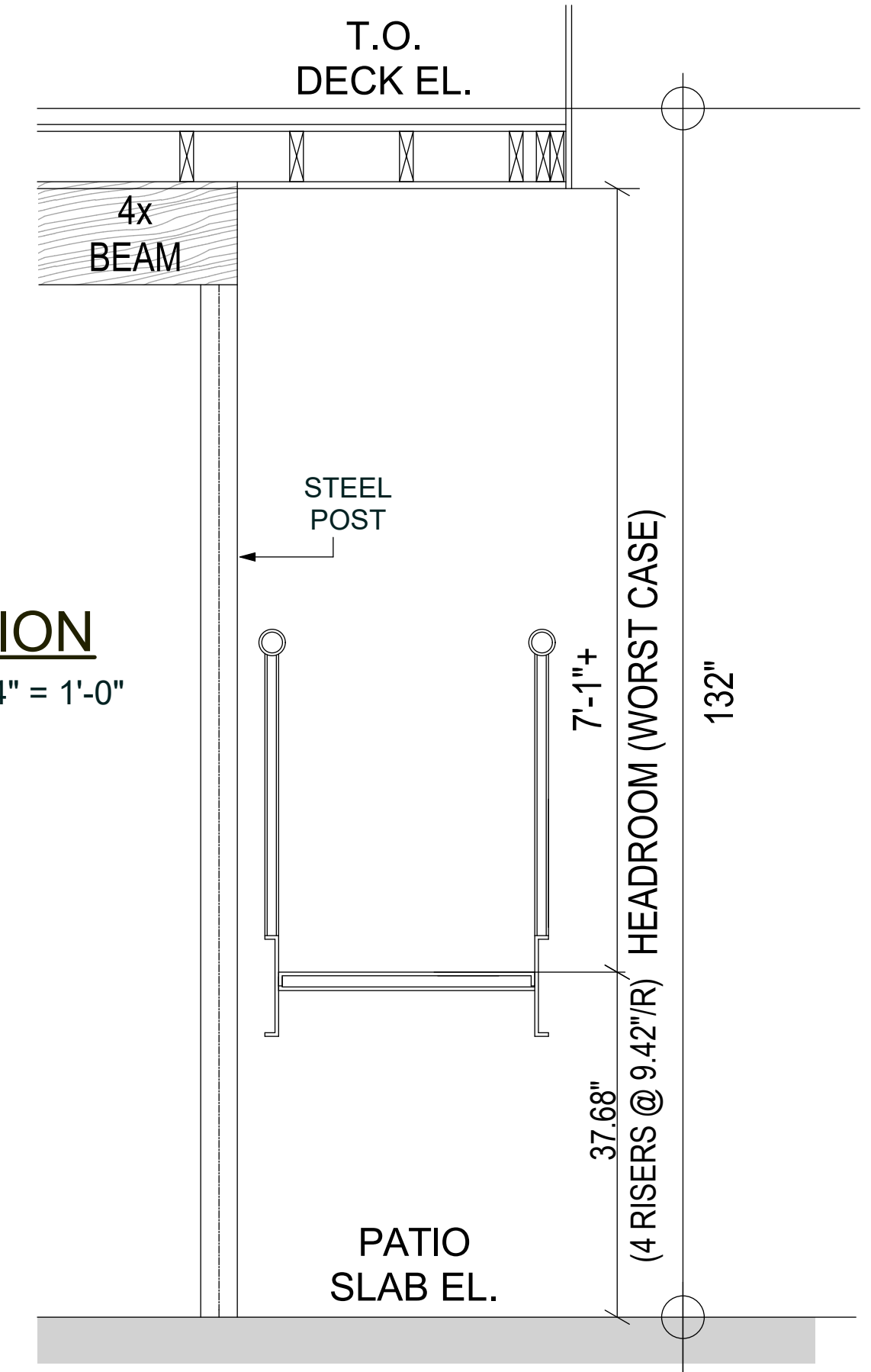
PLAN

SCALE: 3/8" = 1'-0"



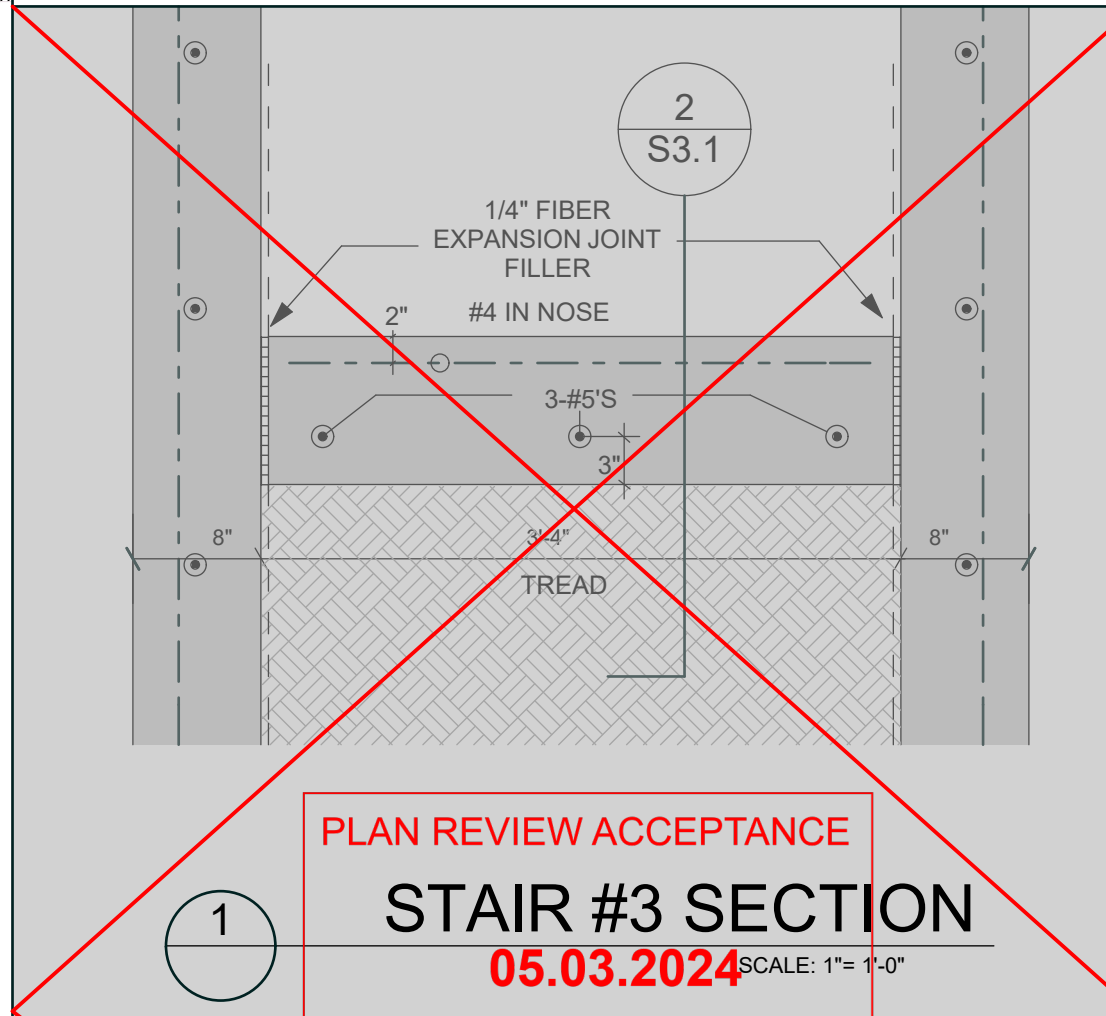
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SCALE: 3/4" = 1'-0"



SECTION

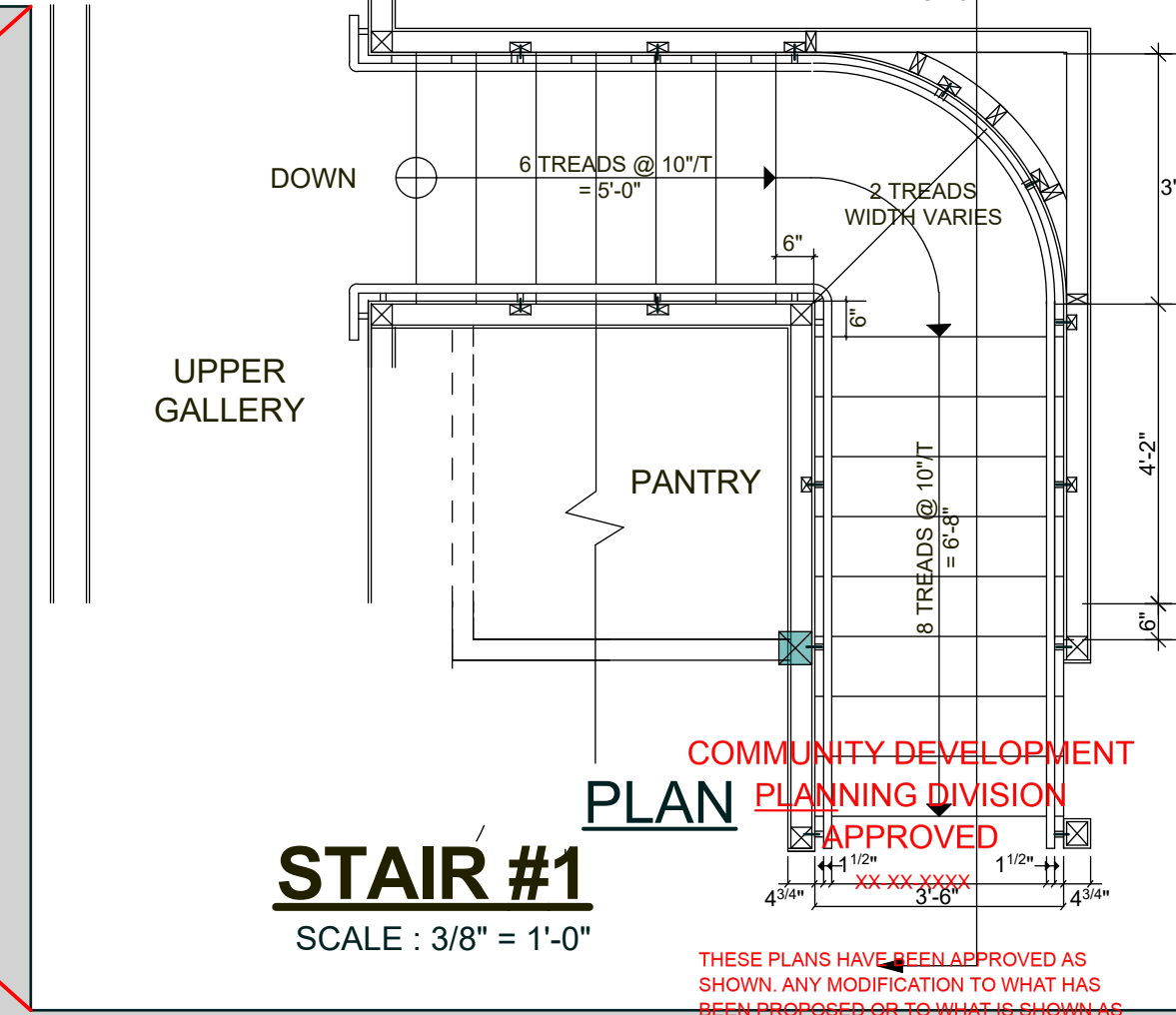
SCALE: 3/4" = 1'-0"



STAIR #3 SECTION

SCALE: 1" = 1'-0"

Susan O'Brien

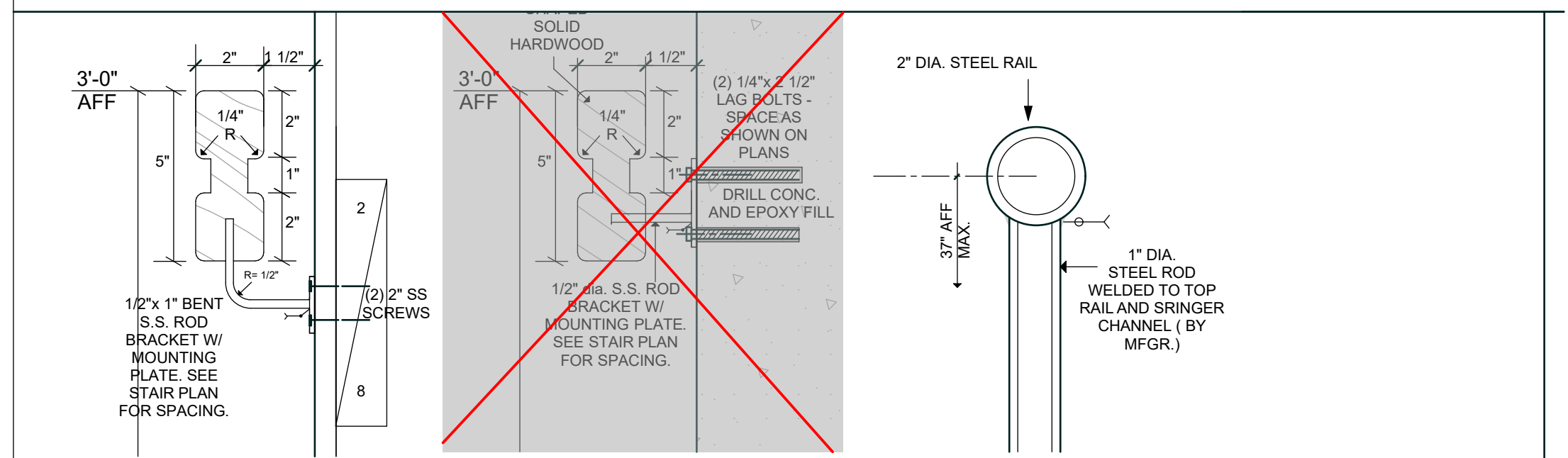


STAIR #1

SCALE: 3/8" = 1'-0"

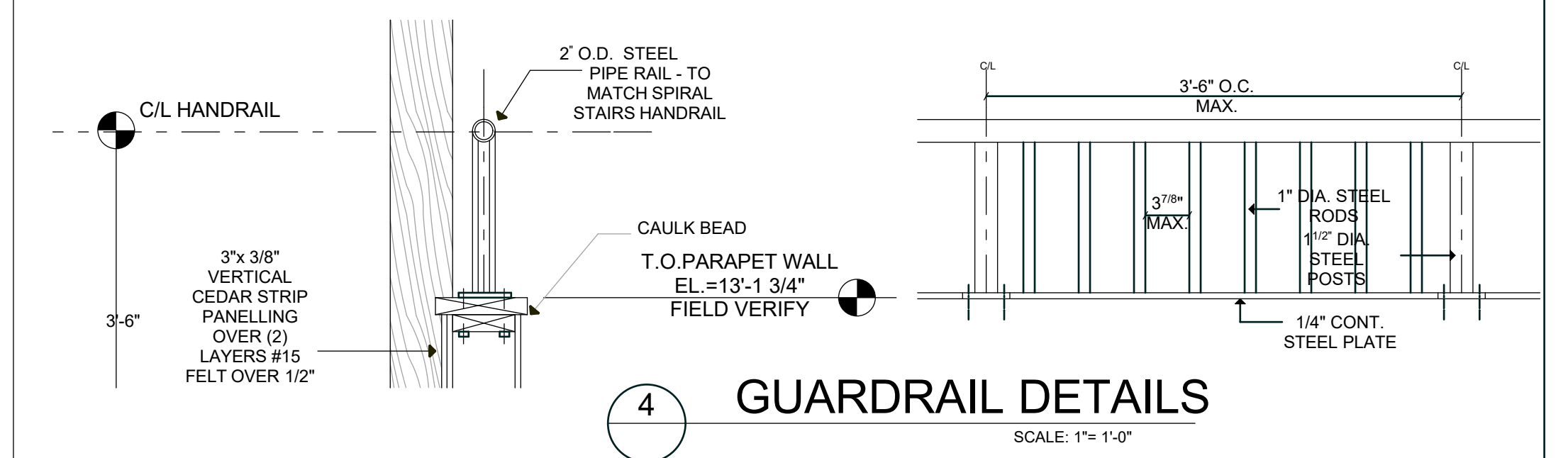
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2 POST DETAILS



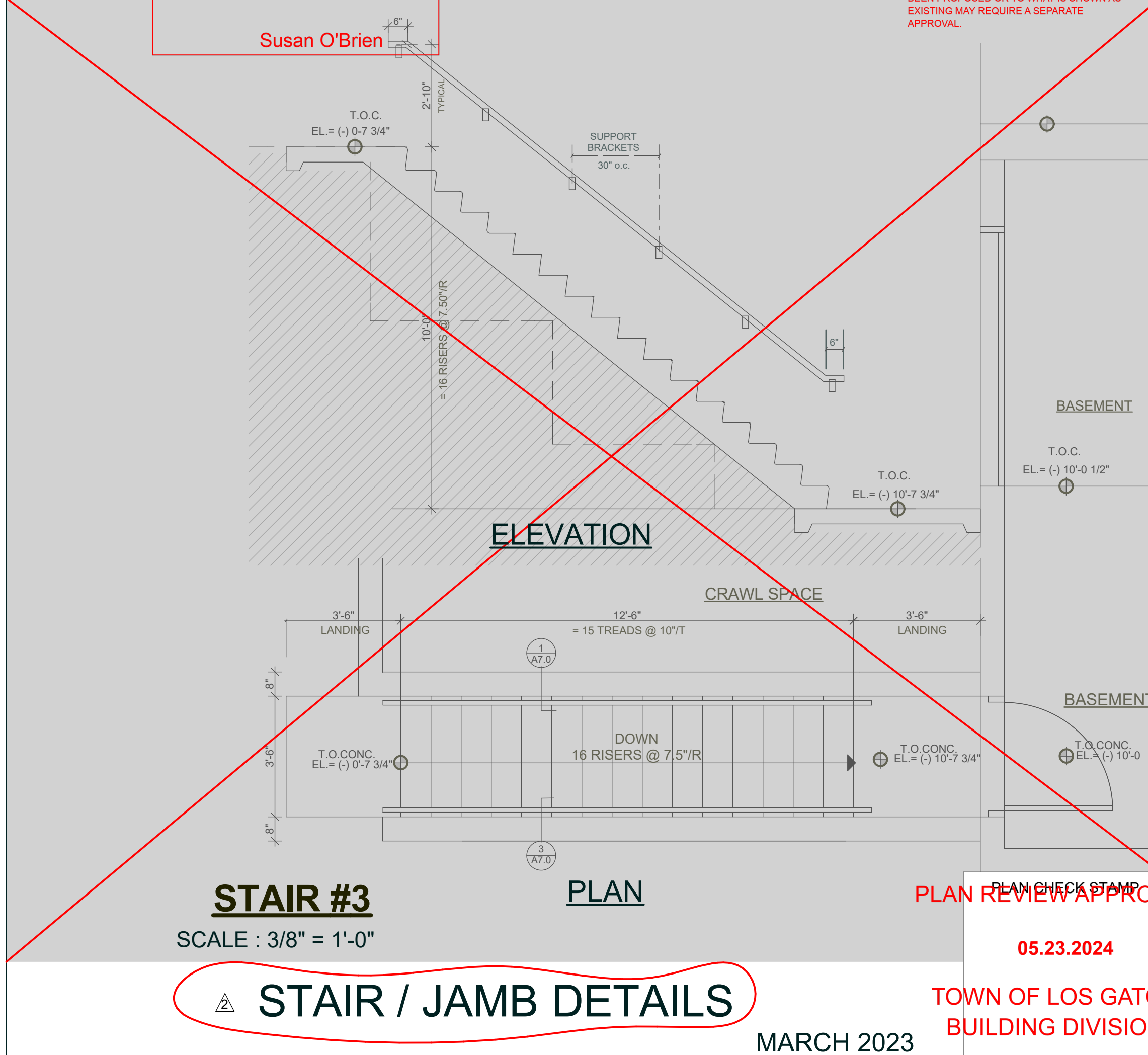
3 HANDRAIL DETAILS

SCALE: 3/8" = 1'-0"



4 GUARDRAIL DETAILS

SCALE: 1" = 1'-0"



STAIR #3

SCALE: 3/8" = 1'-0"

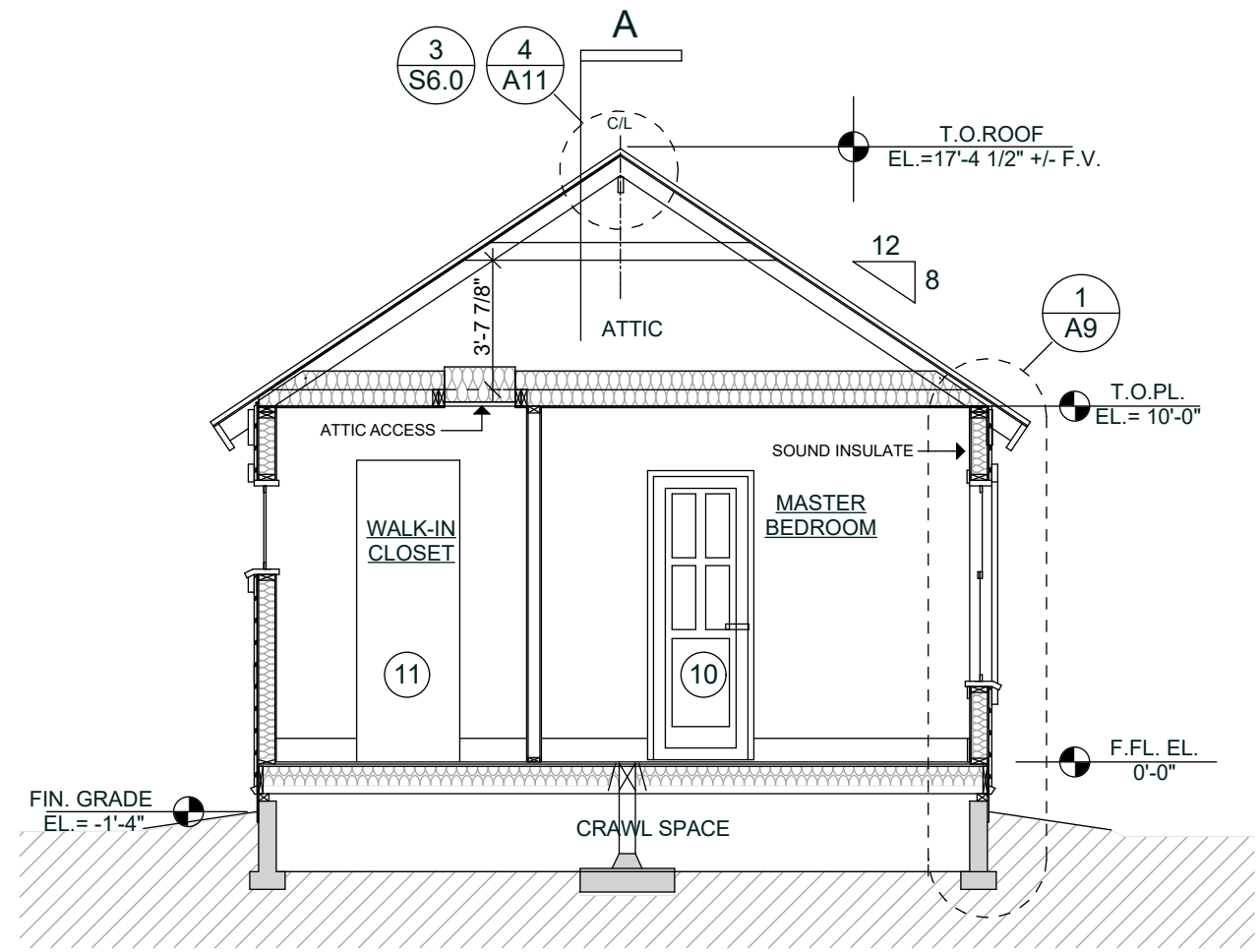
STAIR / JAMB DETAILS

MARCH 2023

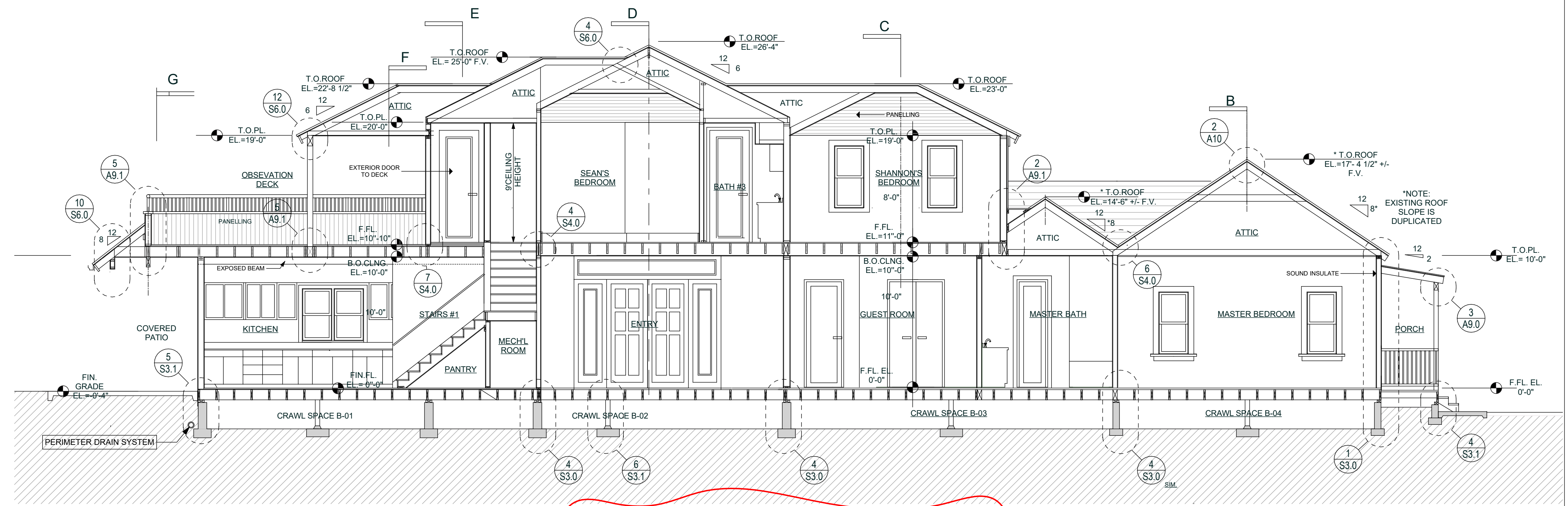
PLAN REVIEW APPROVAL

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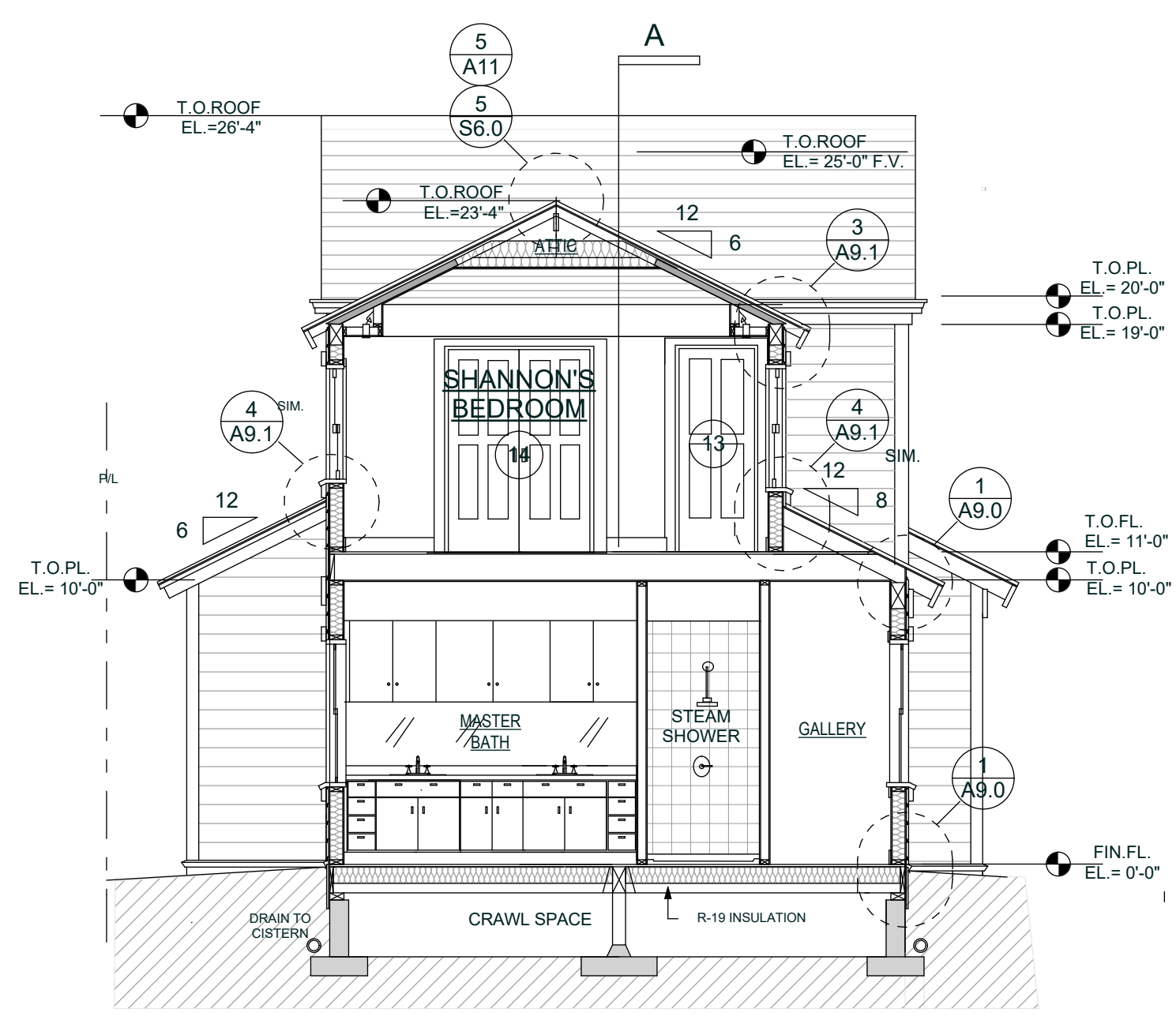
TOWN OF LOS GATOS
BUILDING DIVISION



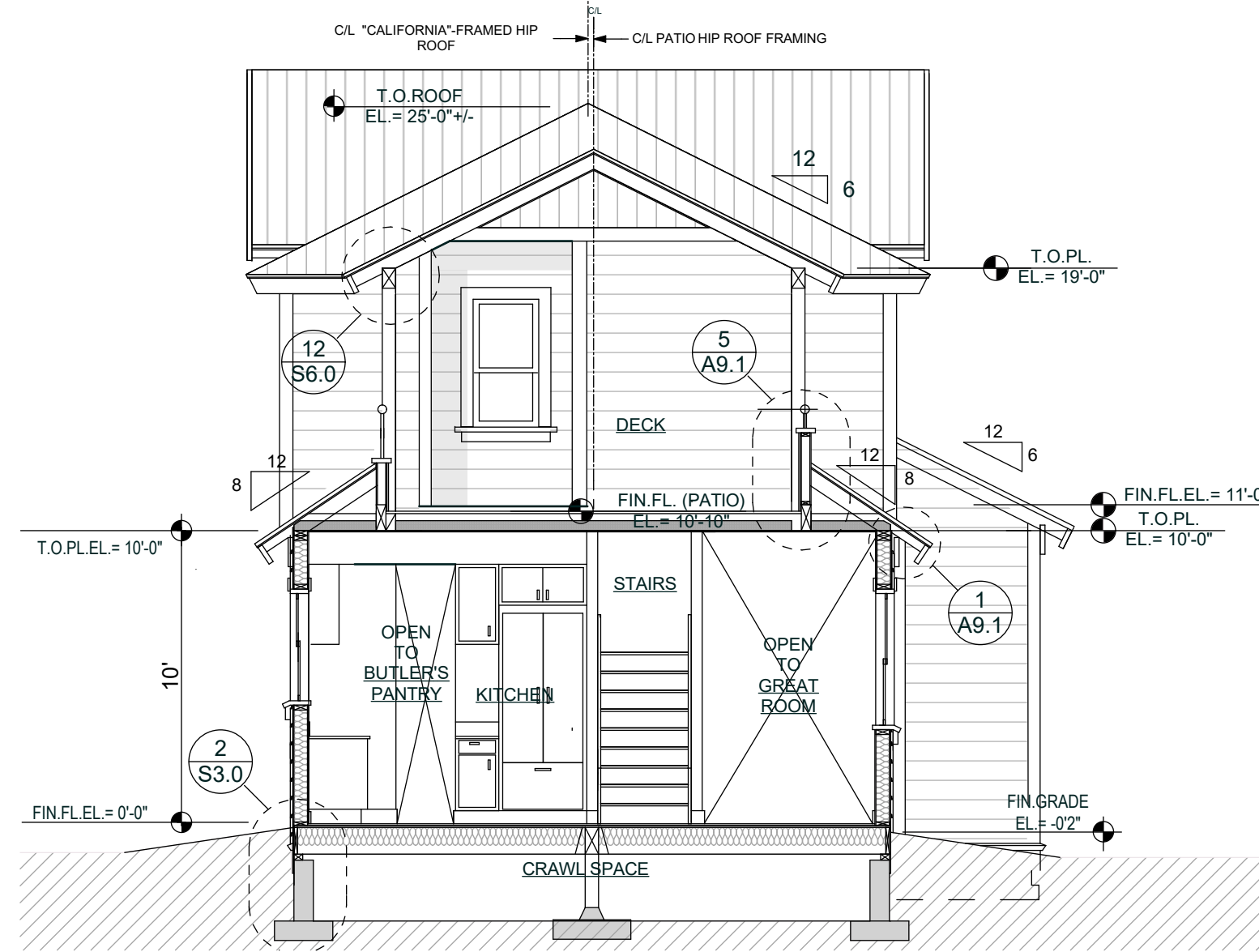
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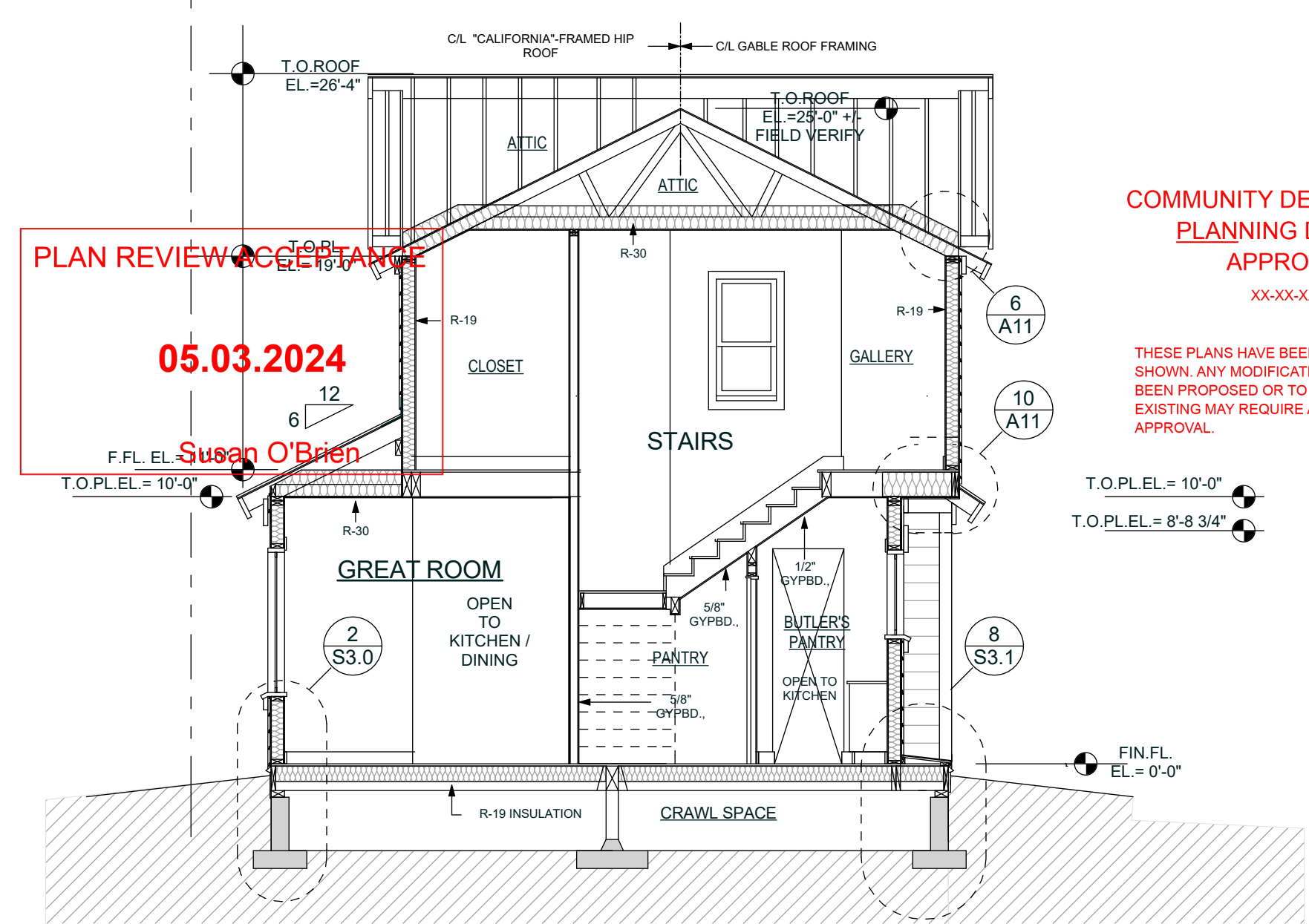
LONGITUDINAL CROSS SECTION A



SECTION C



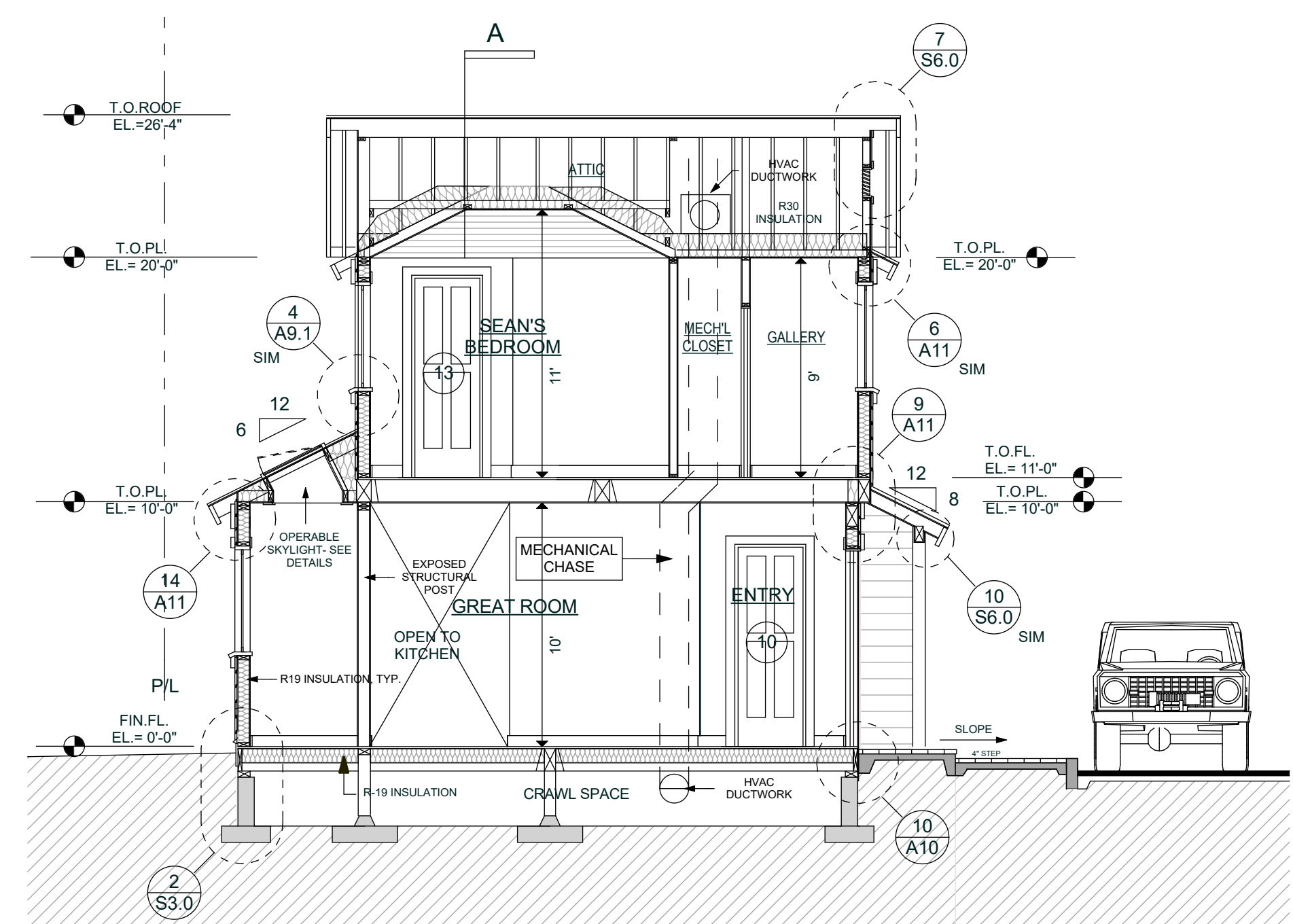
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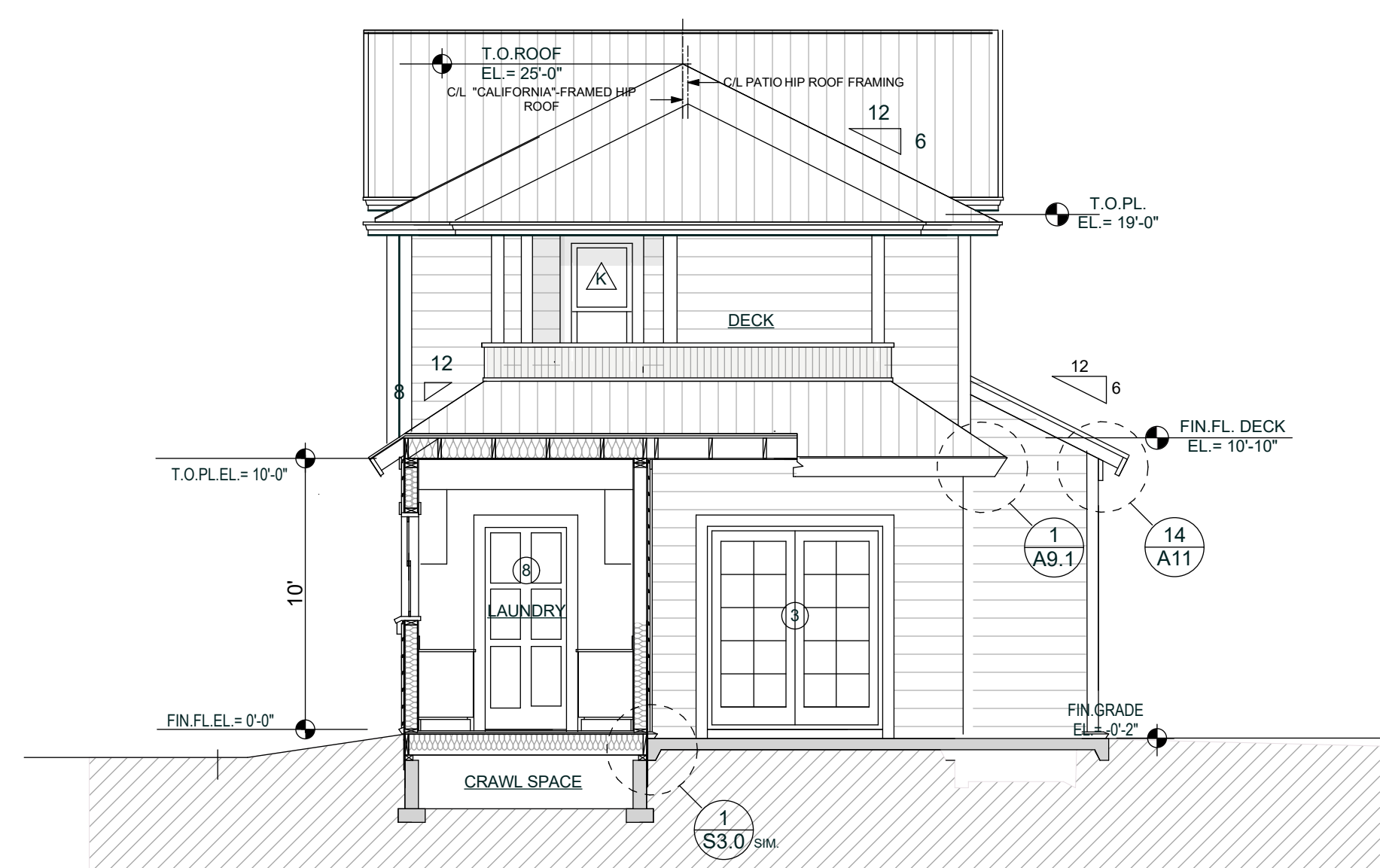
SECTION E

PLAN REVIEW ACCEPTANCE
05.03.2024
Susan O'Brien

COMMUNITY DEVELOPMENT
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SECTION D



SECTION G

BUILDING SECTIONS
SCALE: 3/16" = 1'-0"

PLAN REVIEW APPROVAL

05.23.2024

TOWN OF LOS GATOS
BUILDING DIVISION

MARCH 2023

PLAN REVIEW APPROVAL

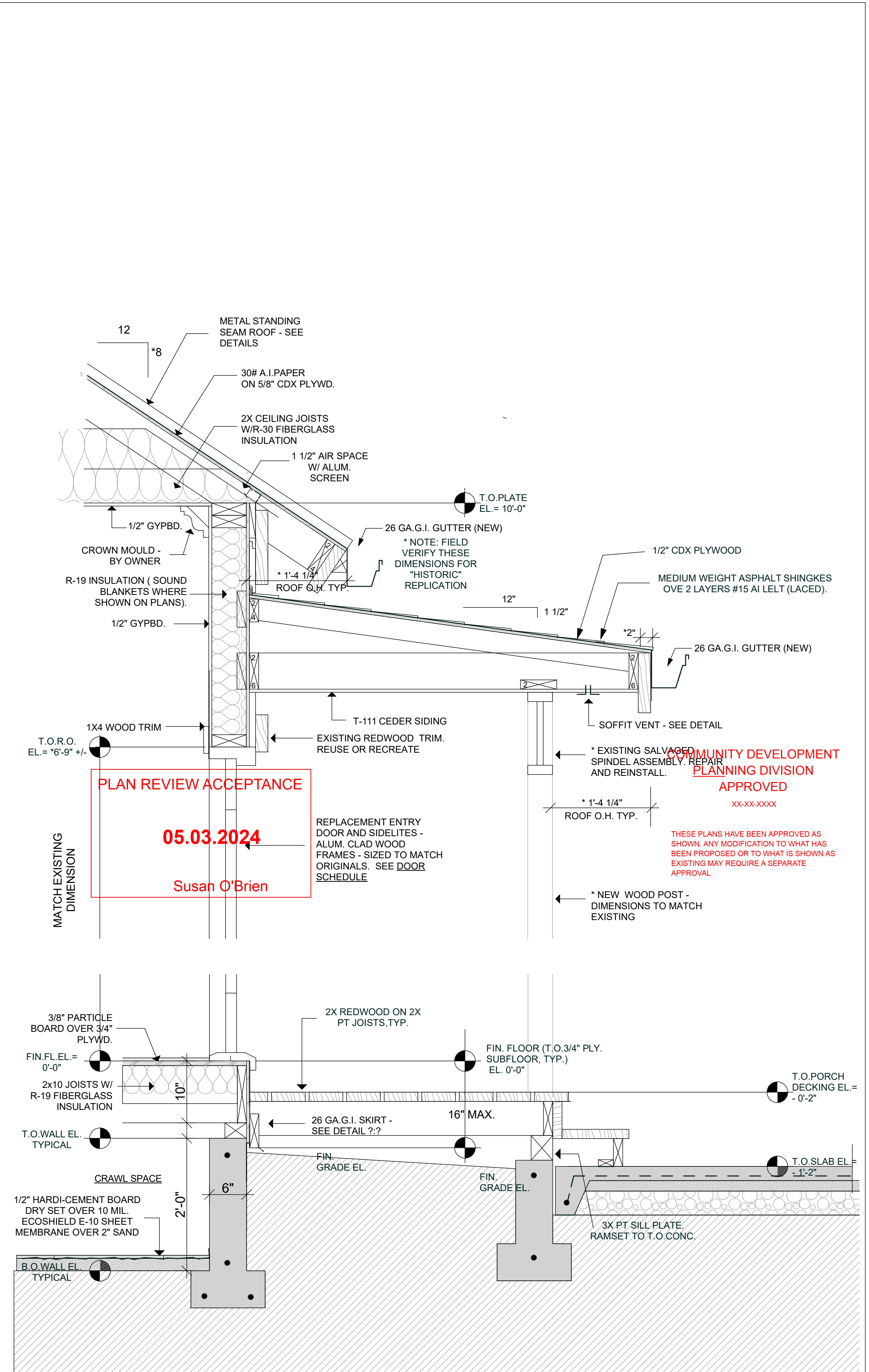
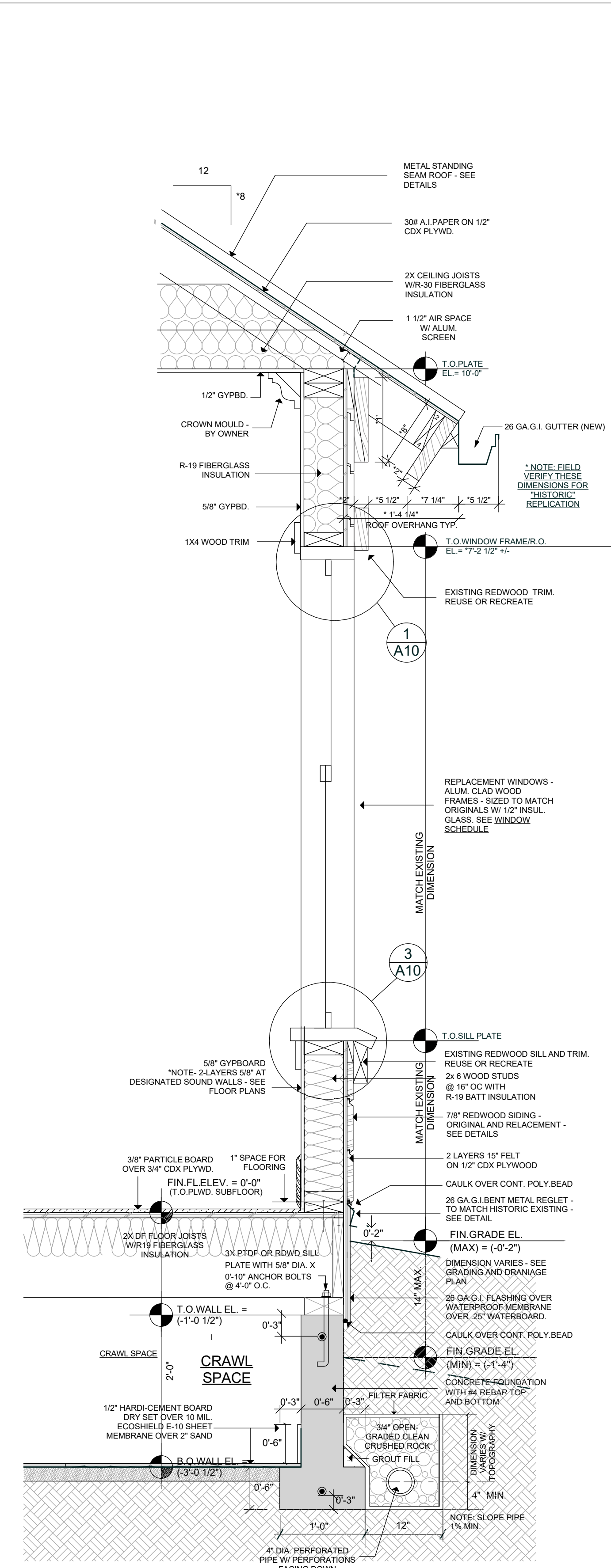
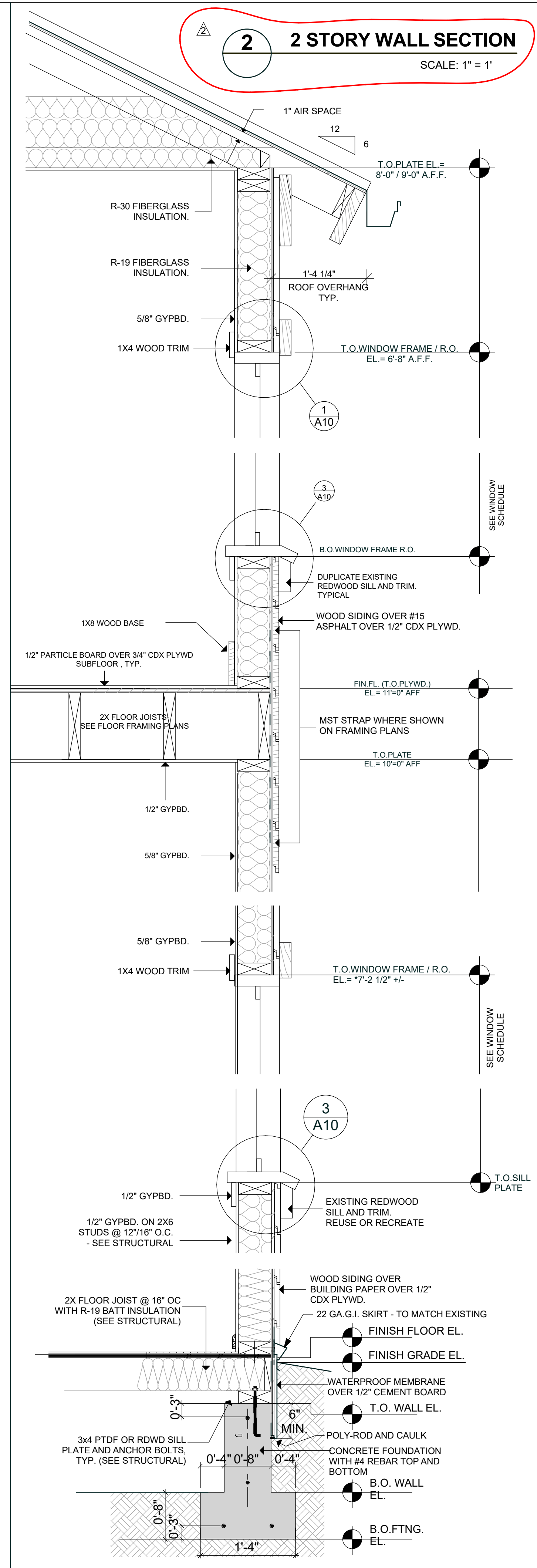
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WALL SECTIONS
MARCH 2023

TOWN OF LOS GATOS
BUILDING DIVISION

PAGE

A9.0
OF SIXTEEN



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PLAN REVIEW APPROVAL

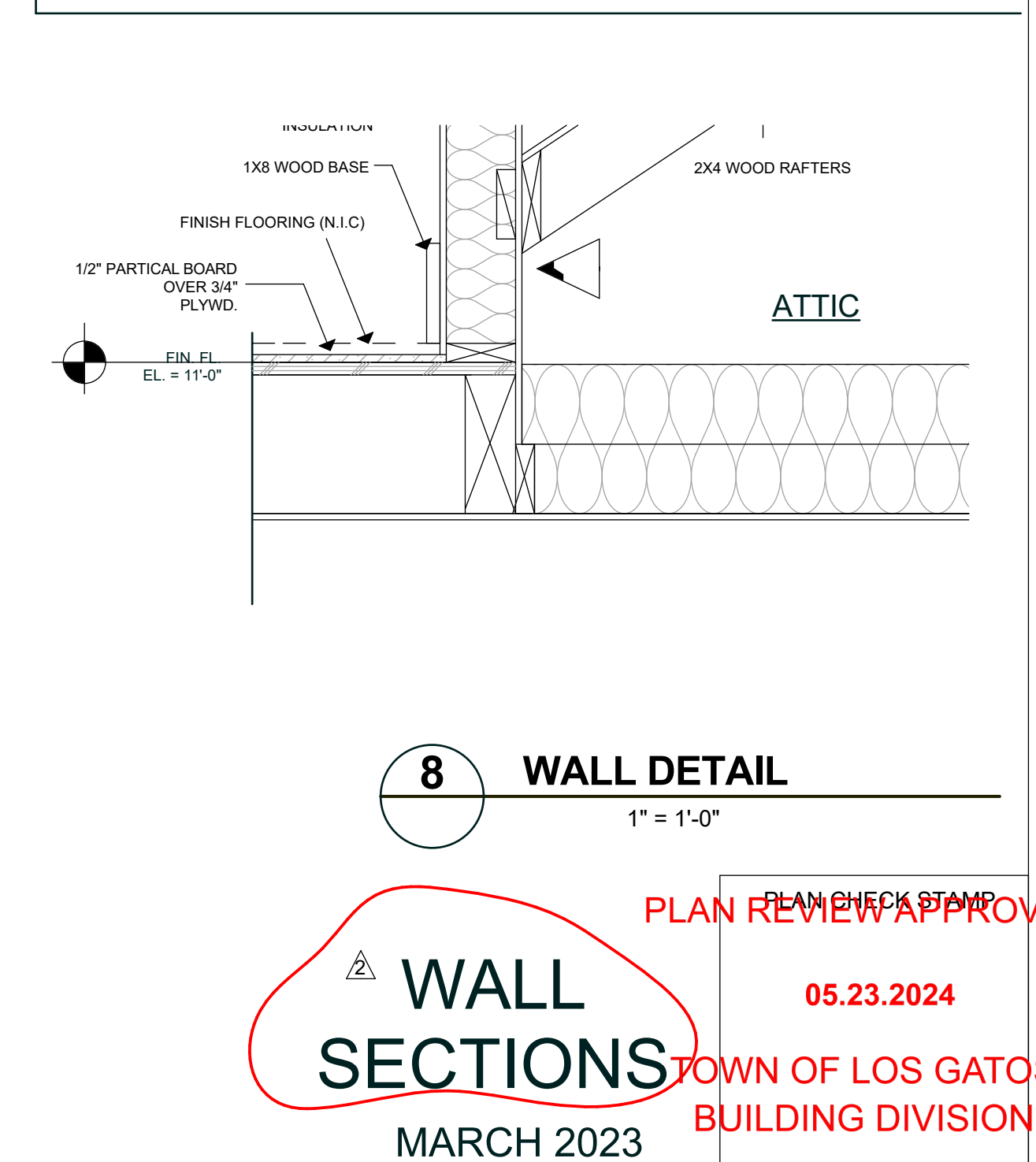
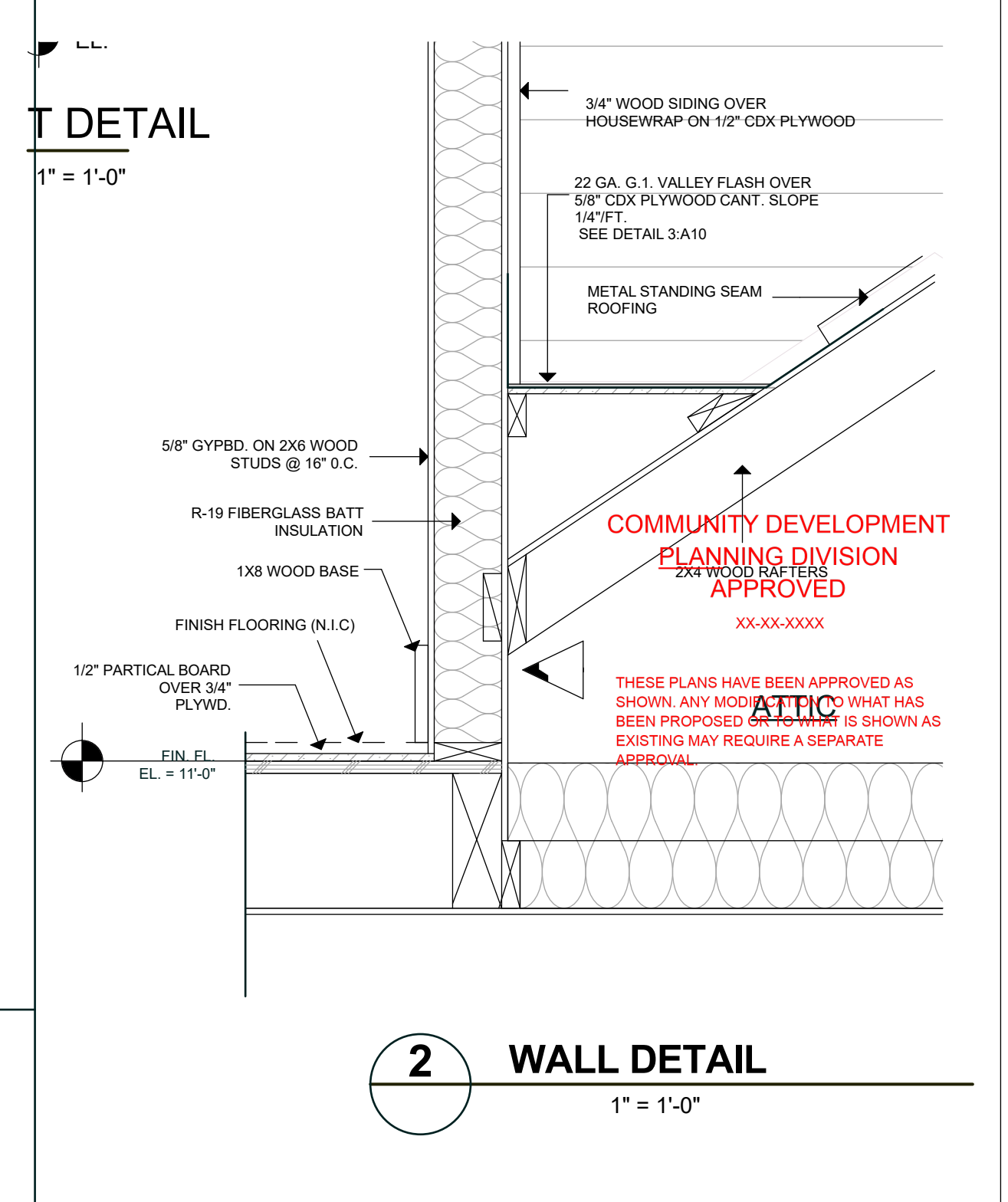
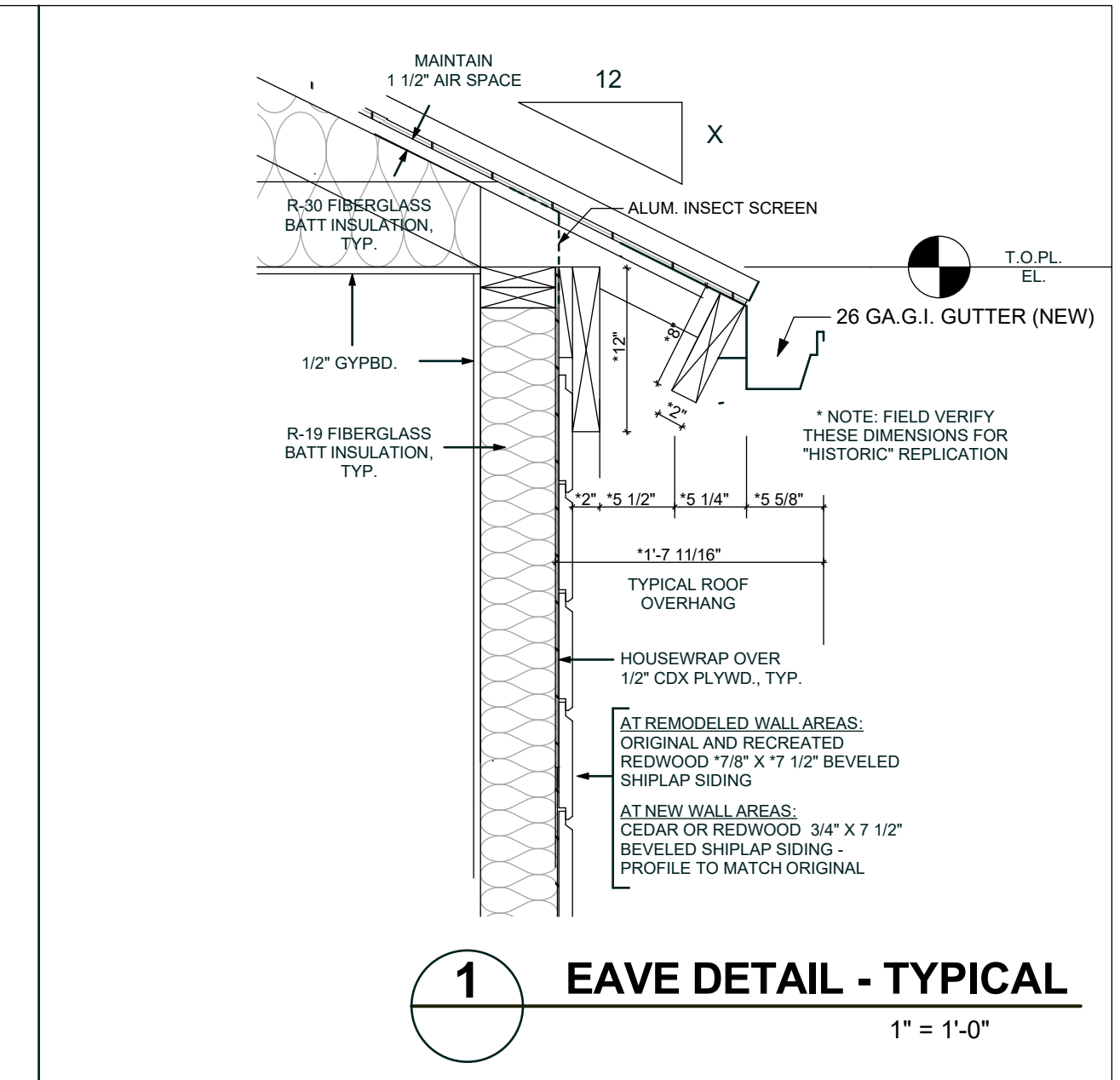
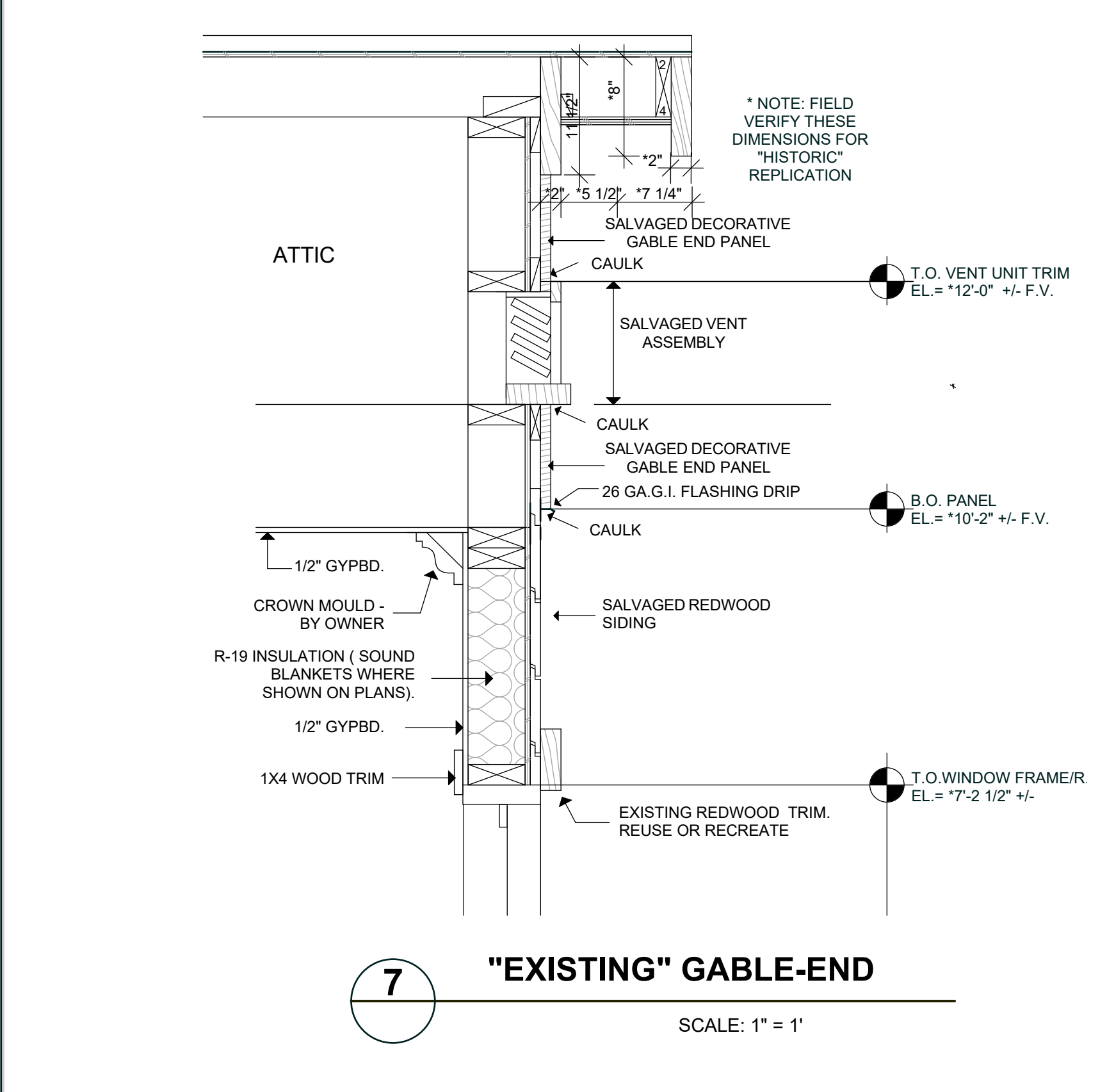
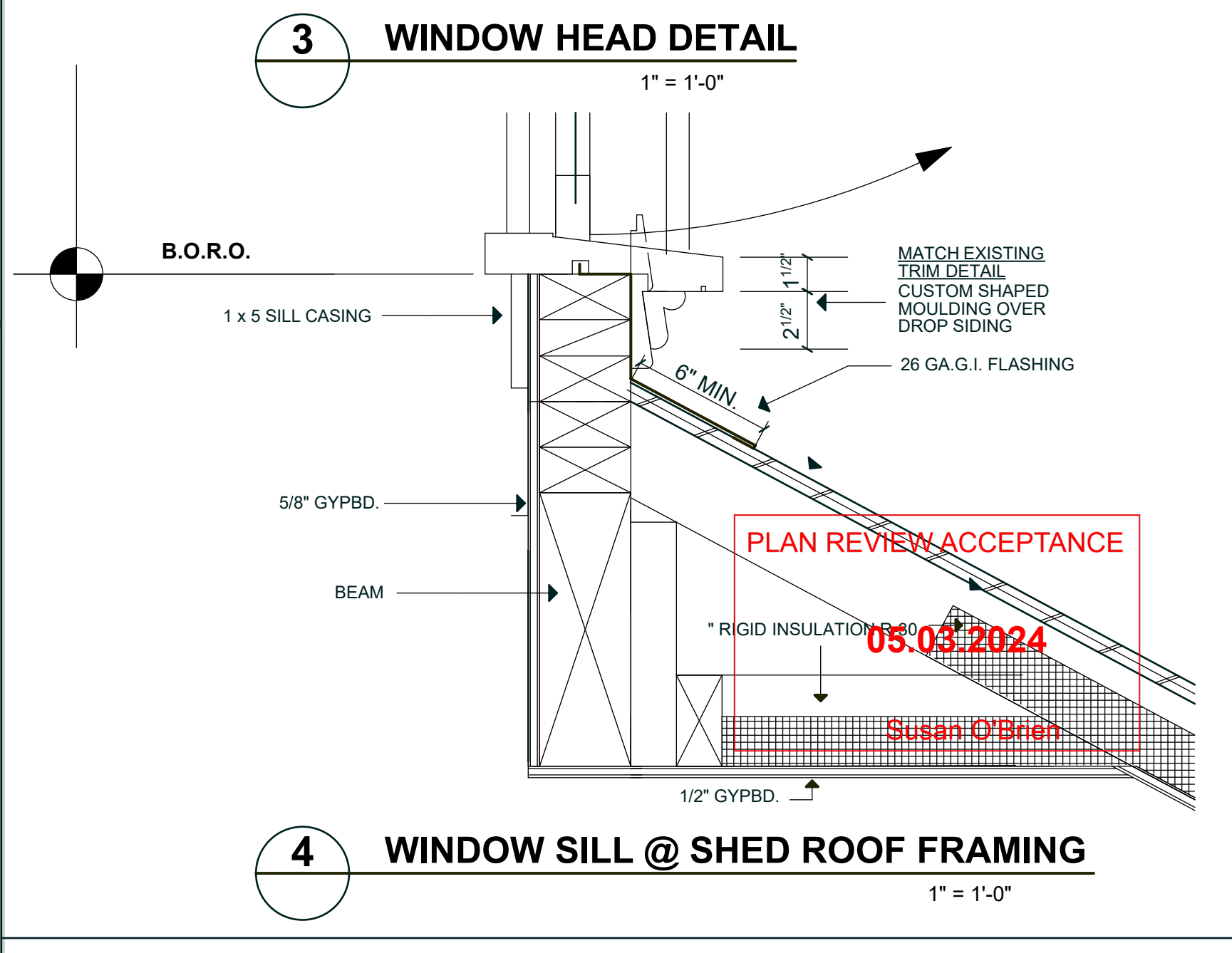
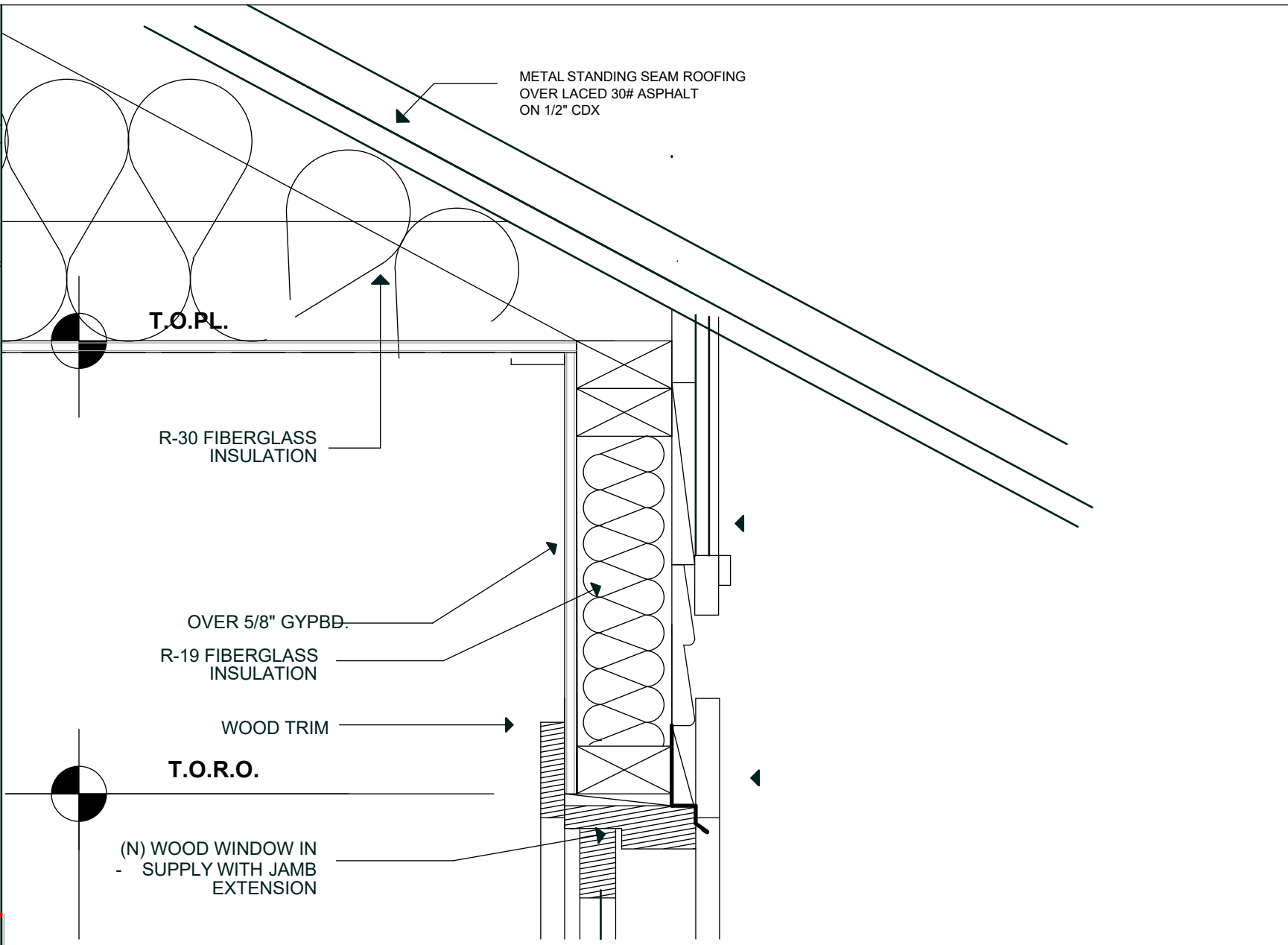
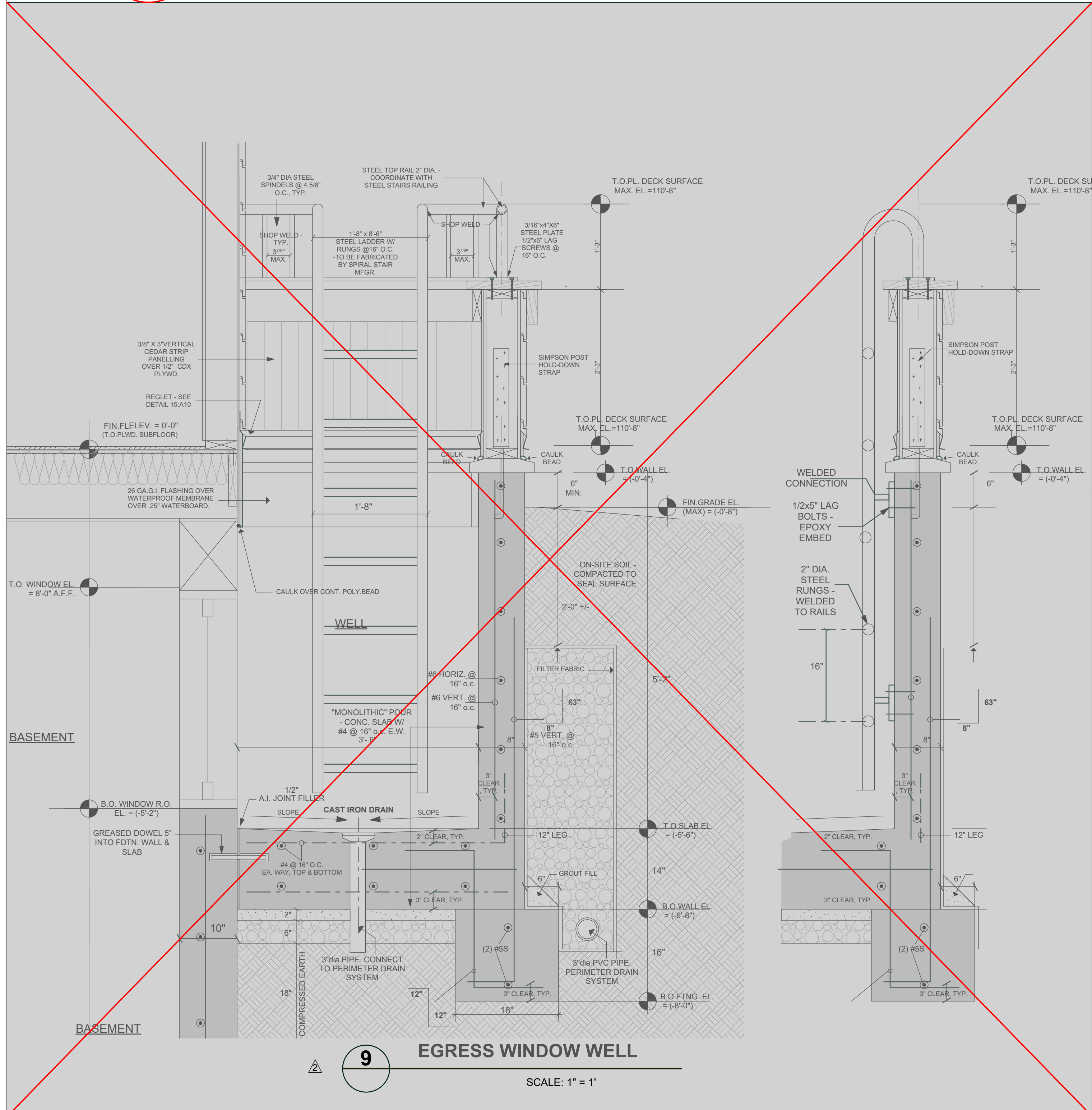
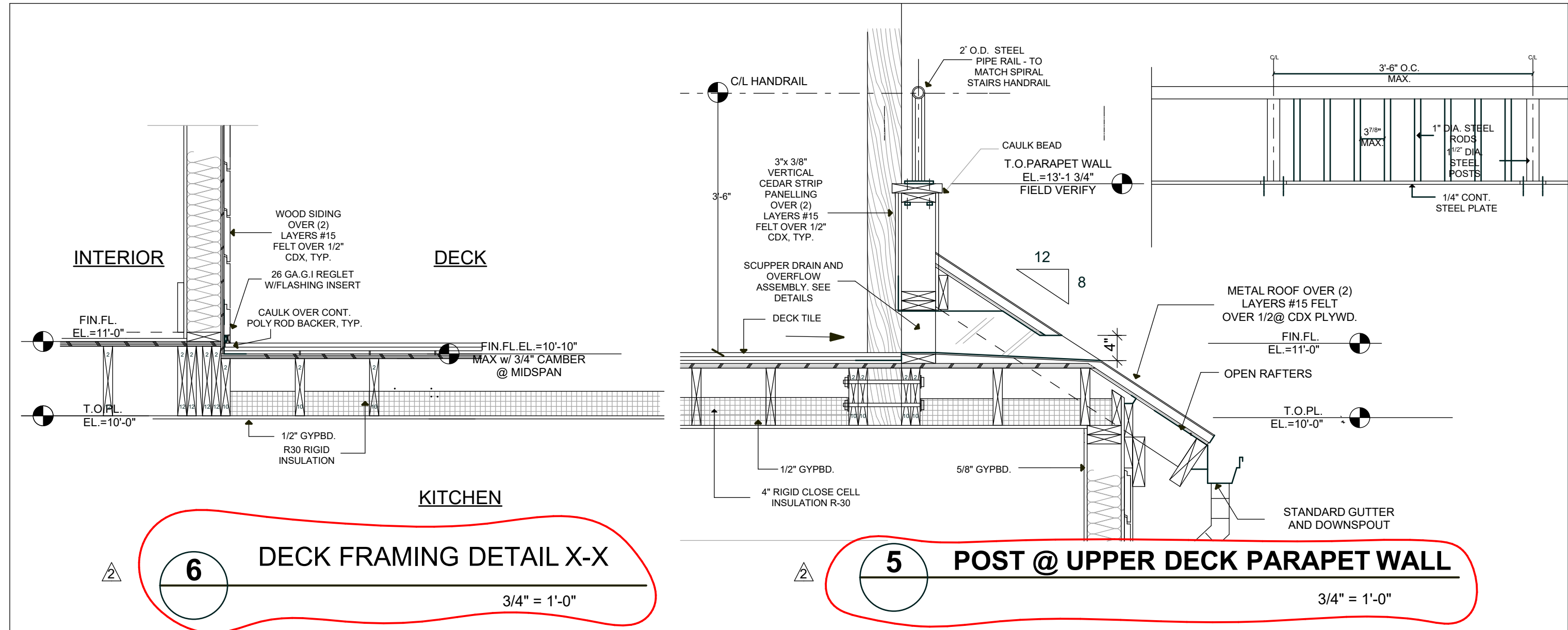
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WALL SECTIONS
MARCH 2023

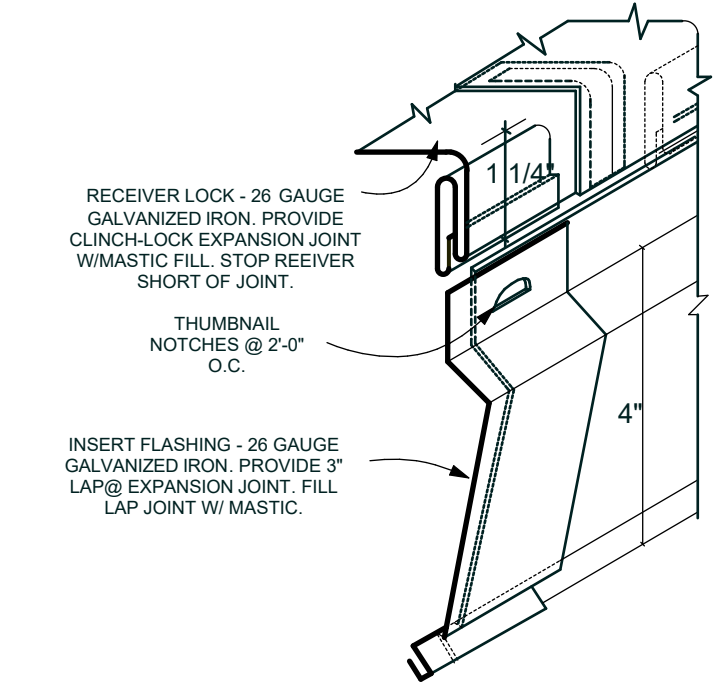
TOWN OF LOS GATOS
BUILDING DIVISION

PAGE

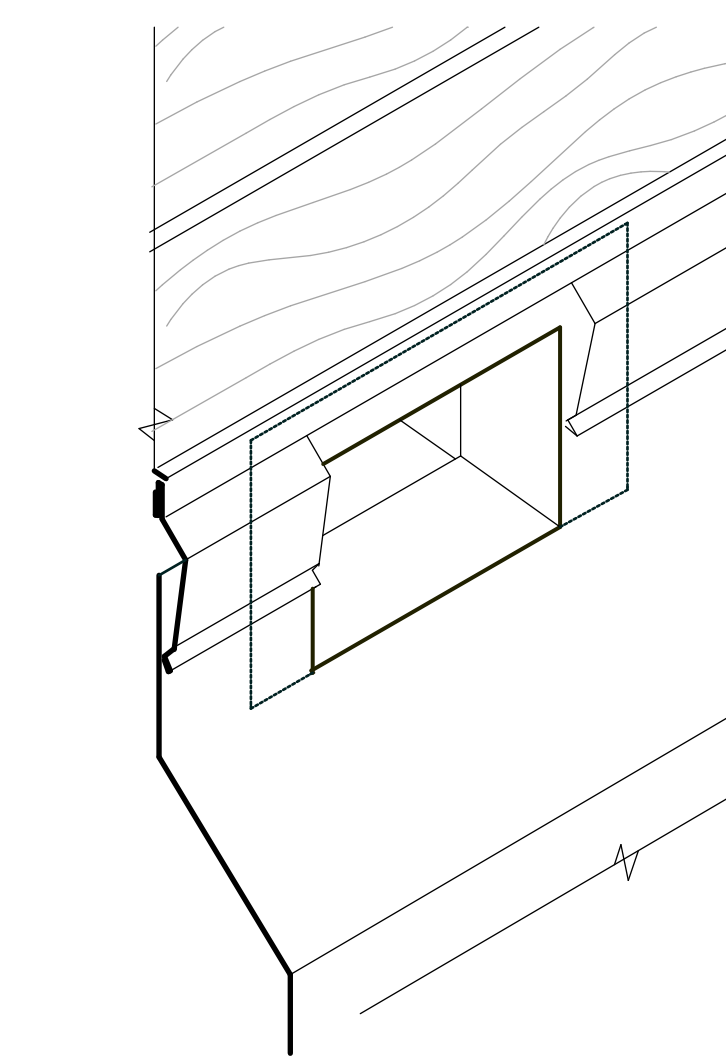
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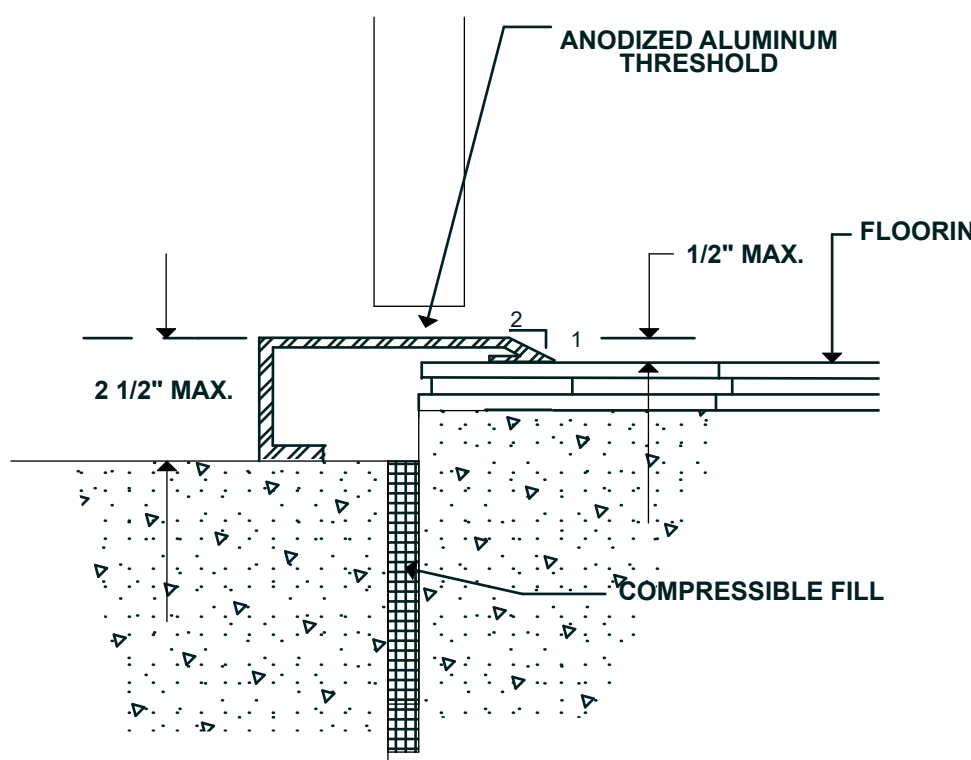
WALL SECTIONS
MARCH 2023
PLAN REVIEW APPROVAL
05.23.2024
TOWN OF LOS GATOS
BUILDING DIVISION



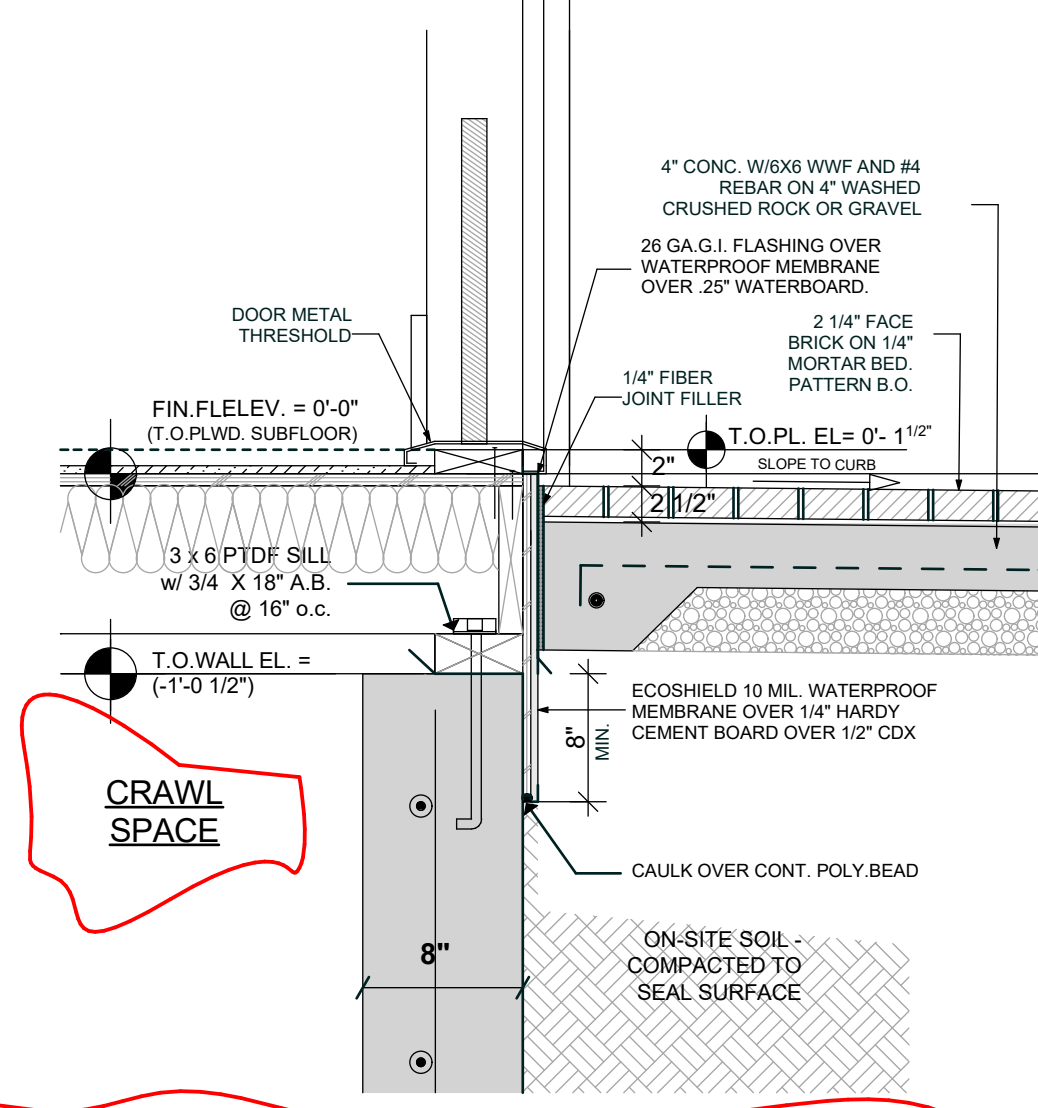
15 REGLET FLASHING DETAIL NO SCALE



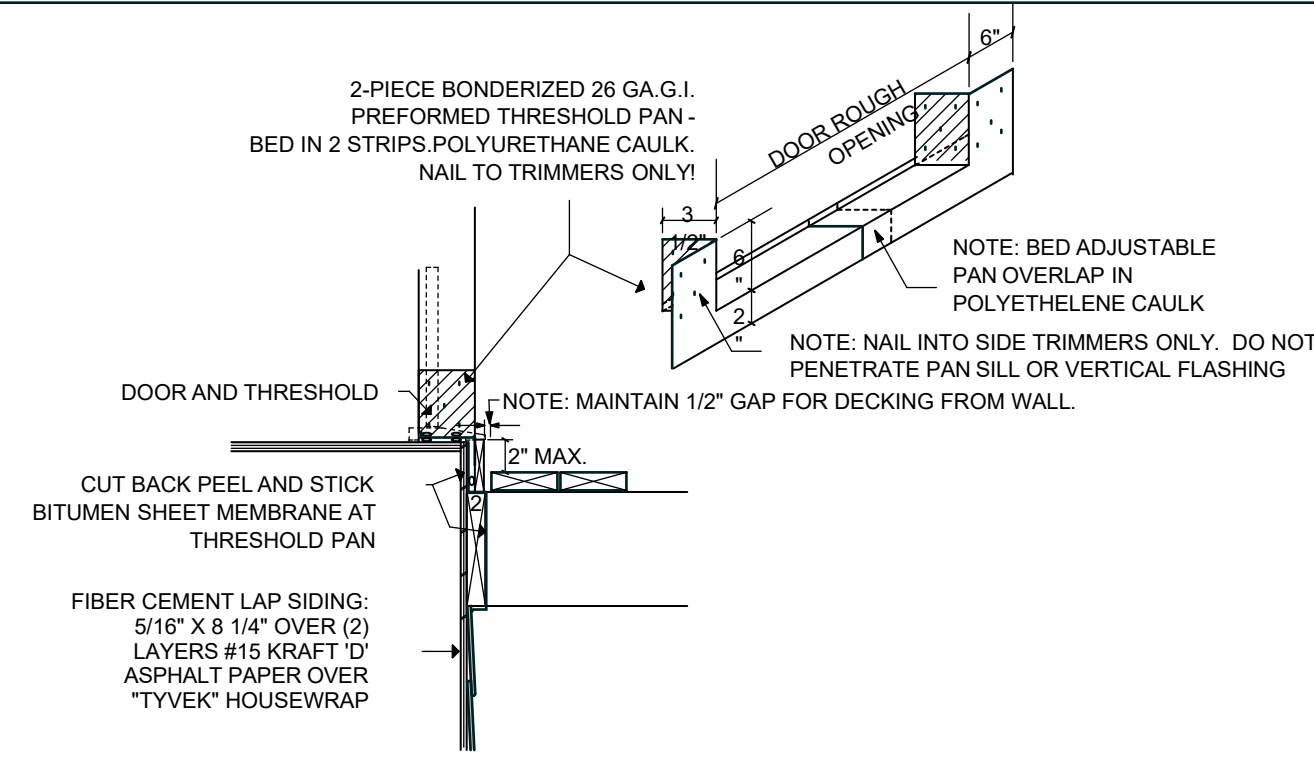
16 SCUPPER FLASHING SCALE: 1 1/2" = 1'-0"



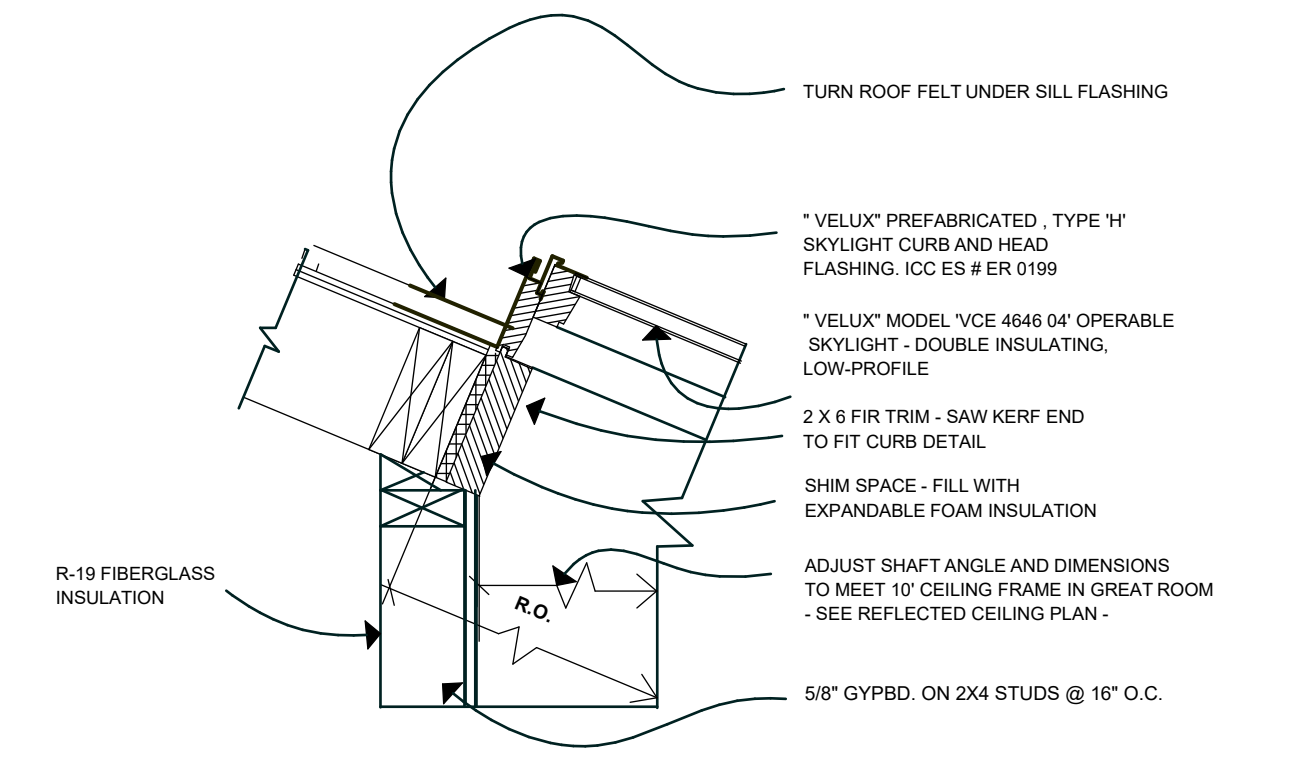
17 THRESHOLD DETAIL SCALE: 3" = 1'-0"



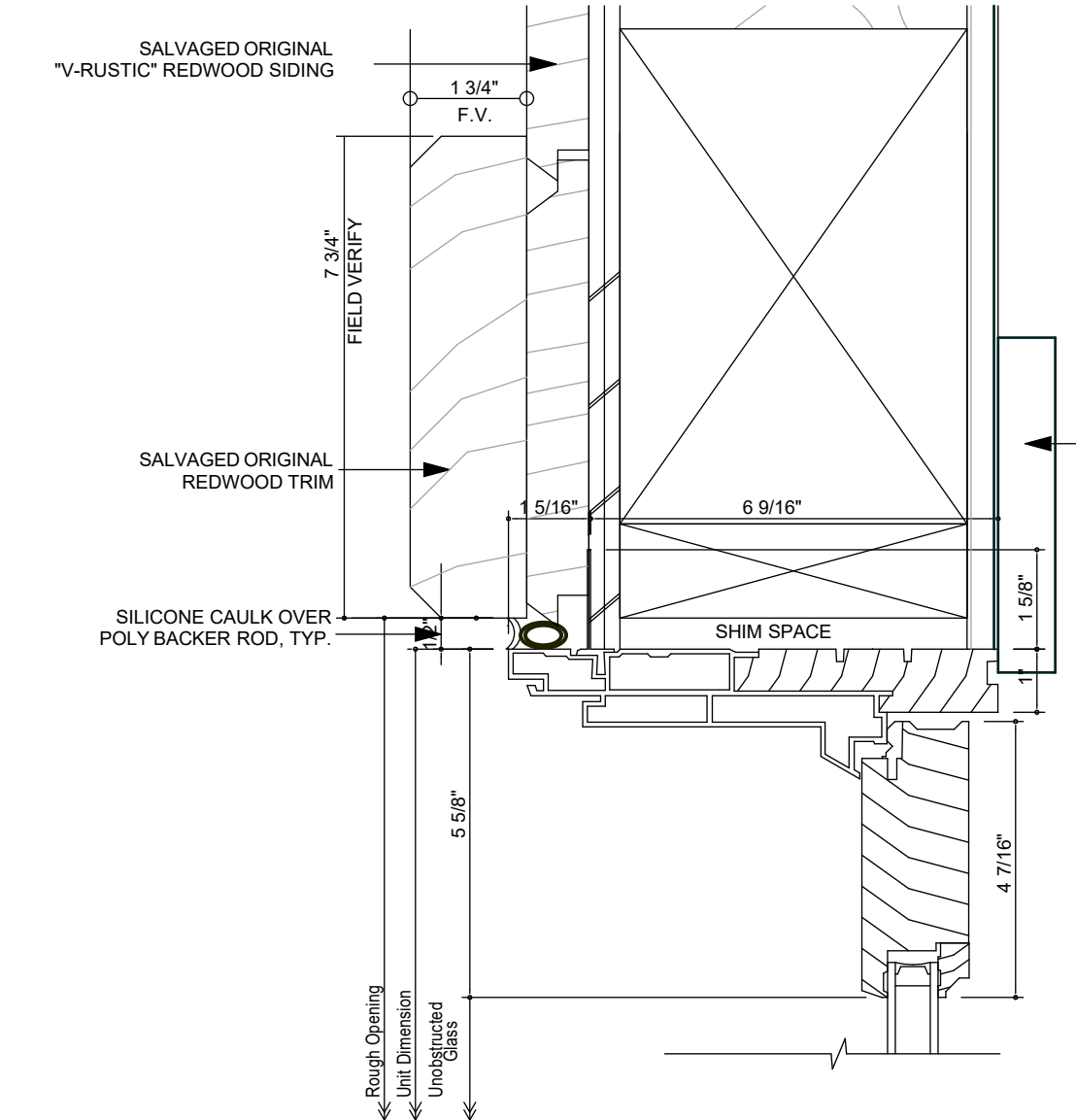
10 ENTRY DOOR THRESHOLD DETAIL SCALE: 1" = 1'-0"



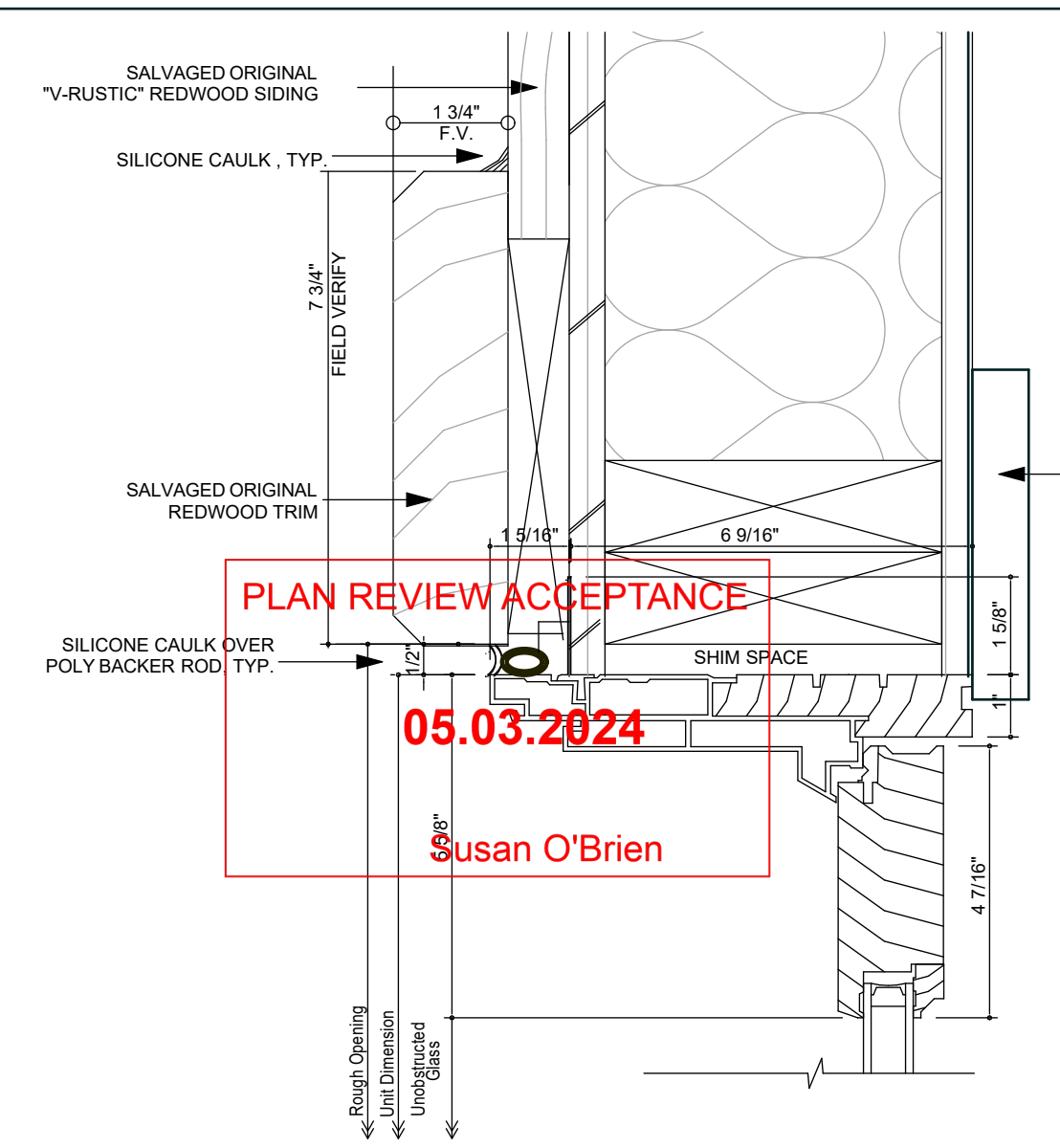
11 EXTERIOR DOOR FLASHING DETAIL SCALE: 1" = 1'-0"



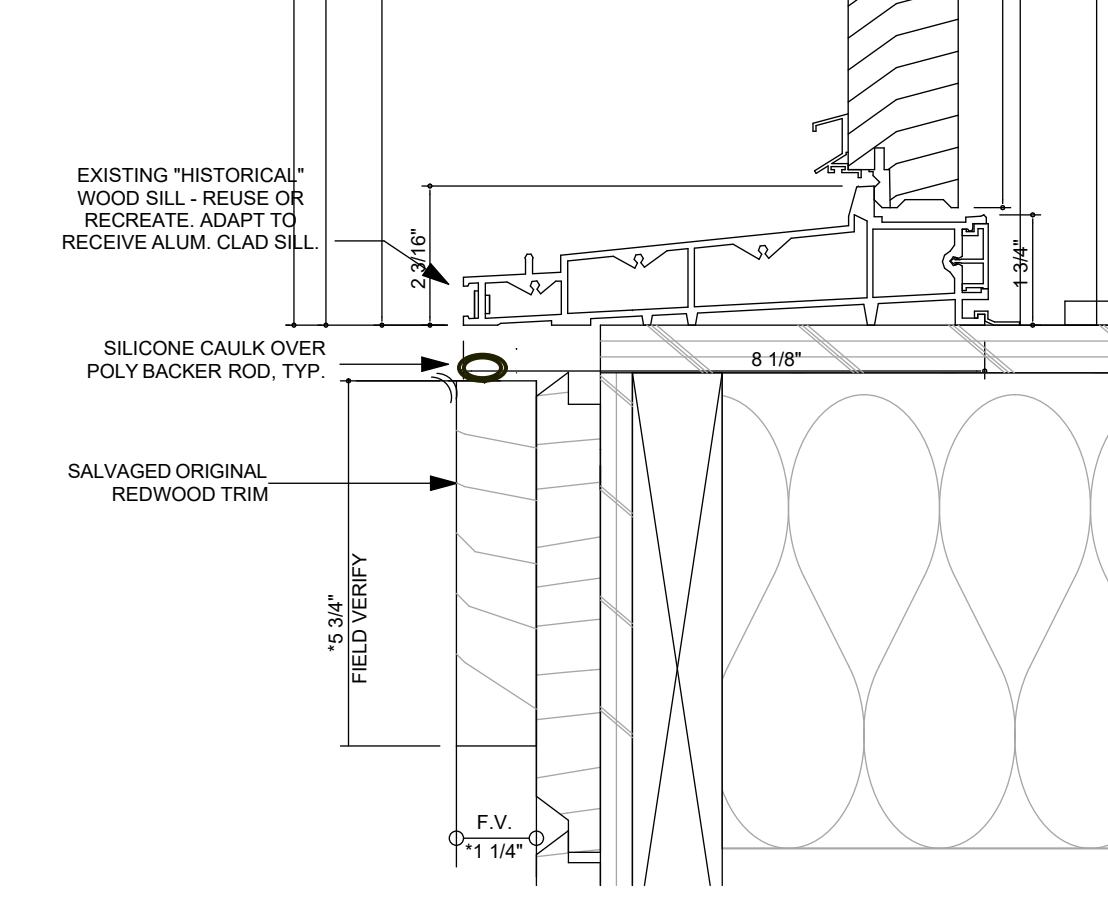
12 SKYLIGHT DETAIL SCALE: 1 1/2" = 1'-0"



4 DOOR HEAD DETAIL 4" = 1'-0" SCALE

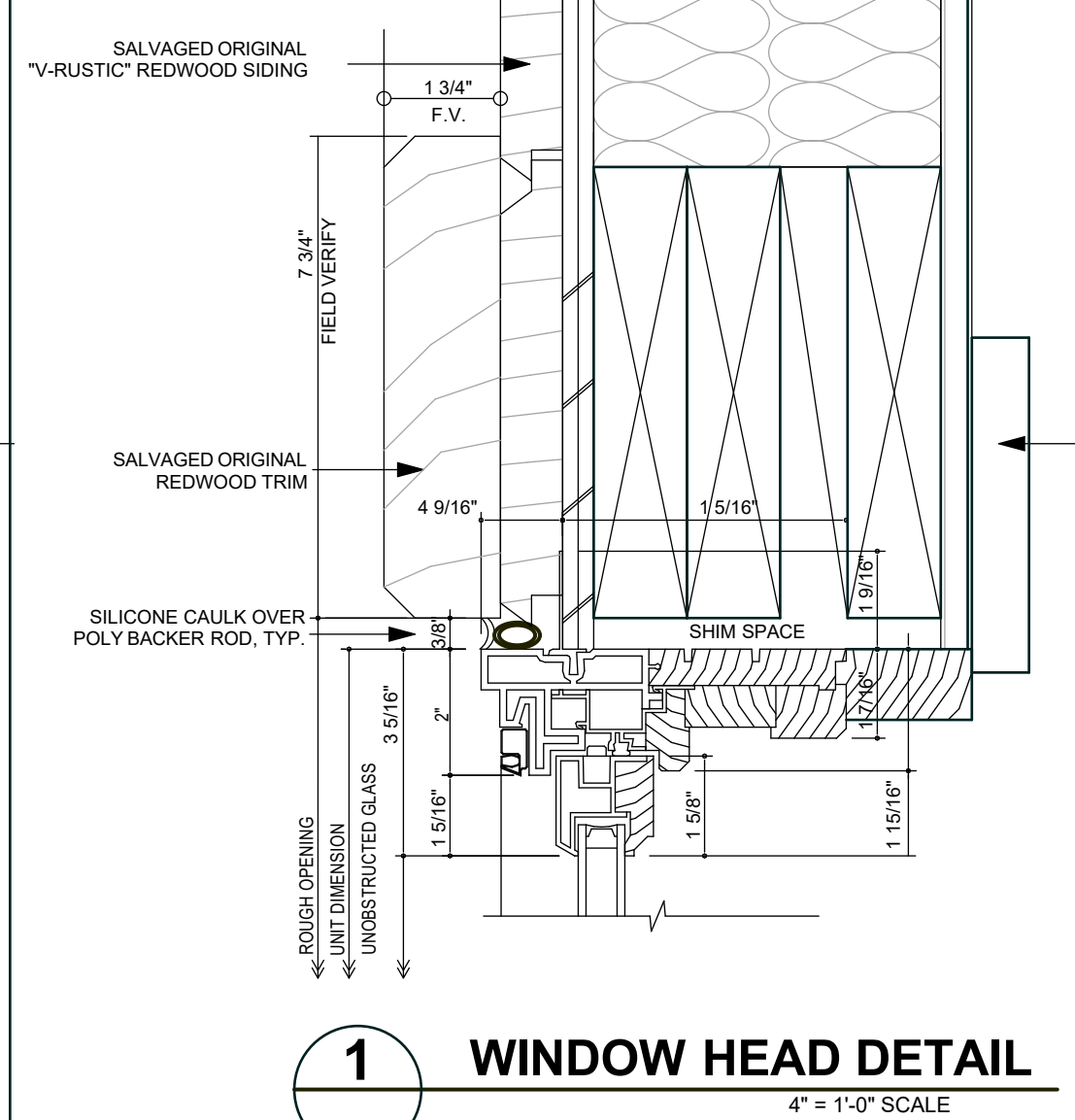


5 DOOR JAMB DETAIL 4" = 1'-0" SCALE

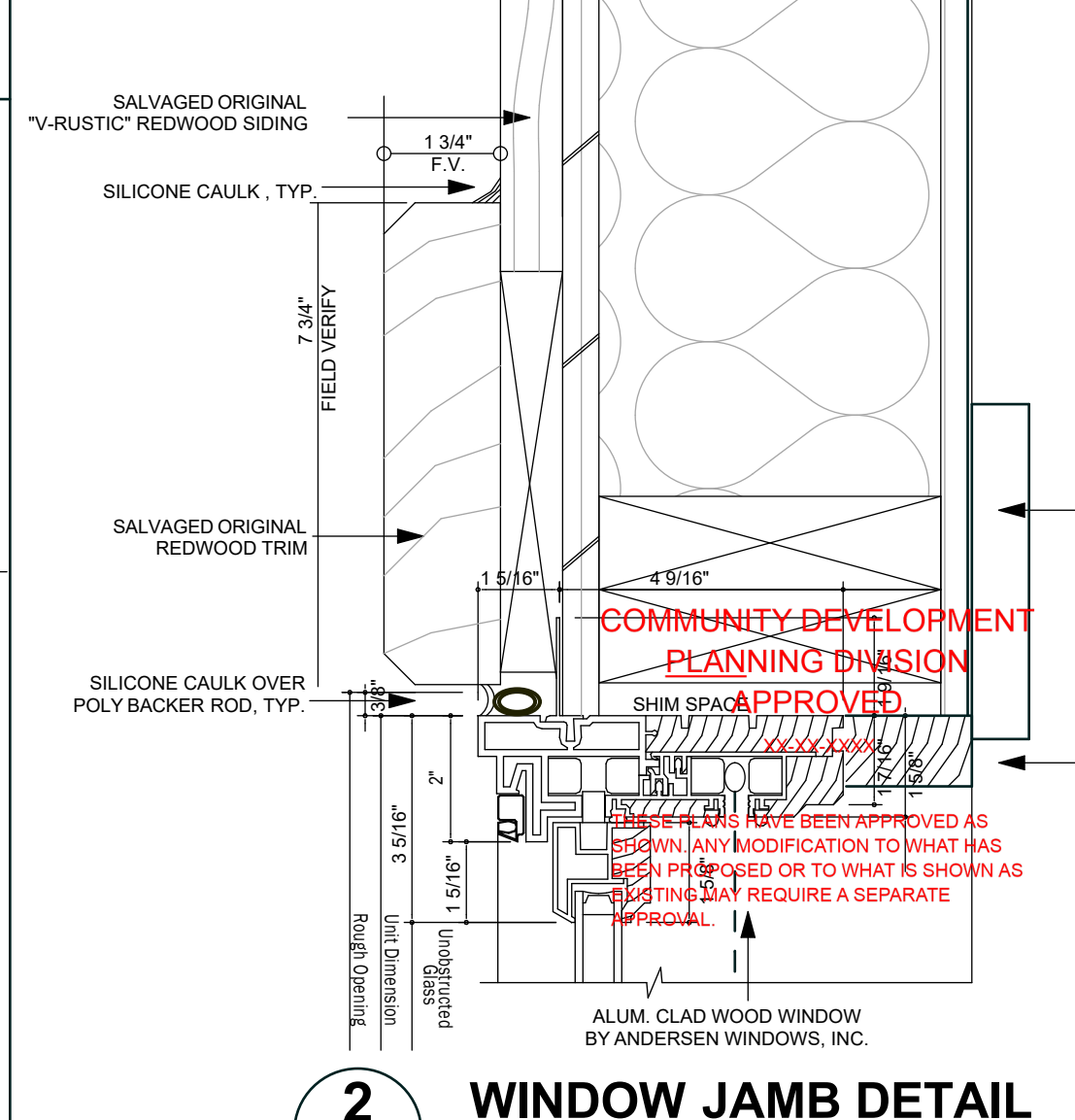


6 DOOR SILL DETAIL 4" = 1'-0" SCALE

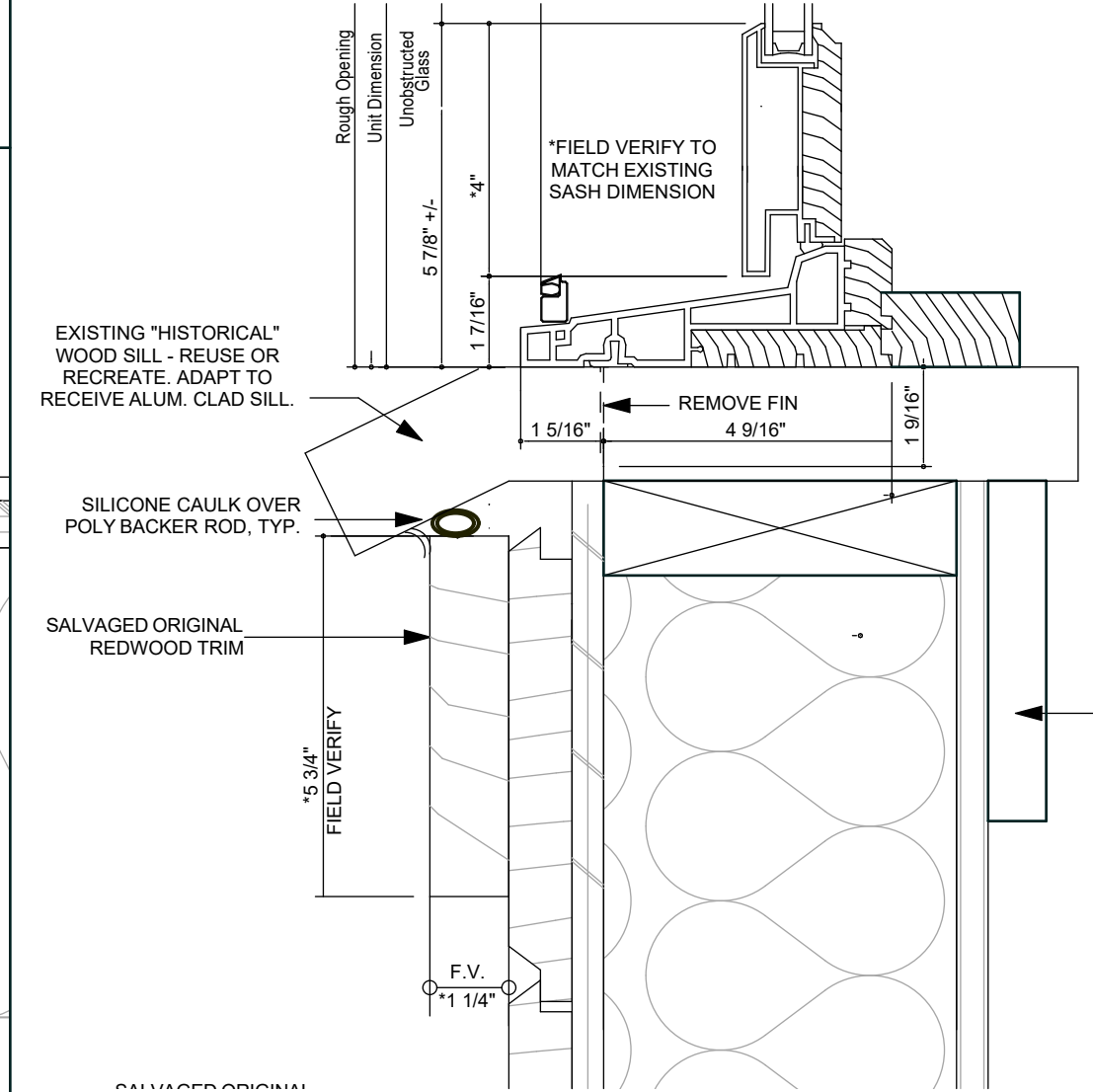
DOORS



1 WINDOW HEAD DETAIL 4" = 1'-0" SCALE



2 WINDOW JAMB DETAIL 4" = 1'-0" SCALE



3 WINDOW SILL DETAIL 4" = 1'-0" SCALE

WINDOWS

JAMB DETAILS

PLAN REVIEW APPROVAL

05.23.2024

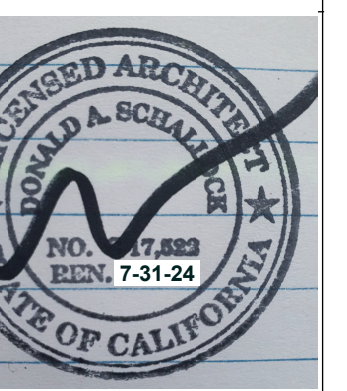
TOWN OF LOS GATOS BUILDING DIVISION

REVISED: October 2023, January 2024, April 2024

ENGINEER'S STAMP

NGUYEN RESIDENCE REMODEL & ADDITION 445 Los Gatos Blvd., Los Gatos, CA 95032

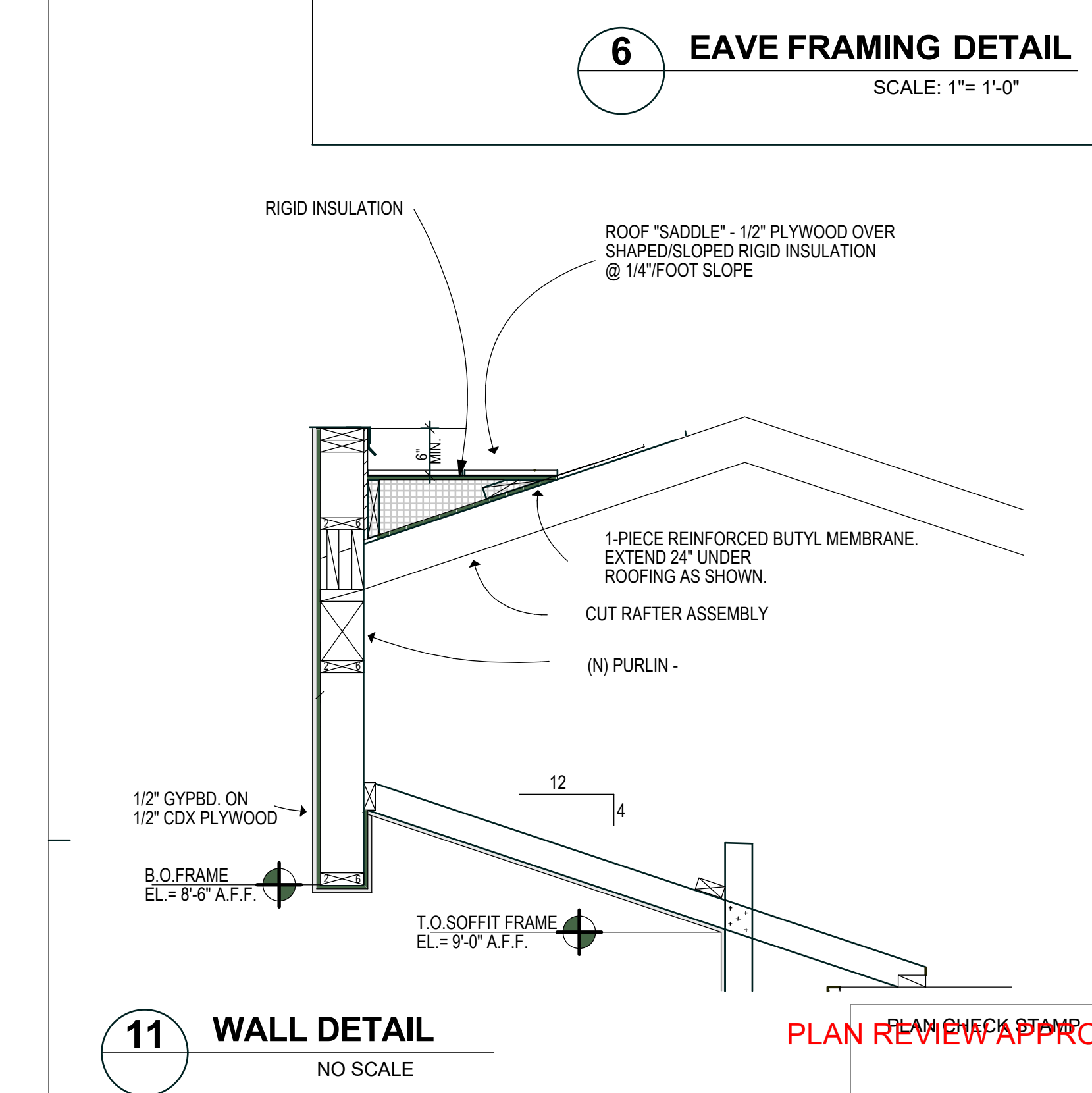
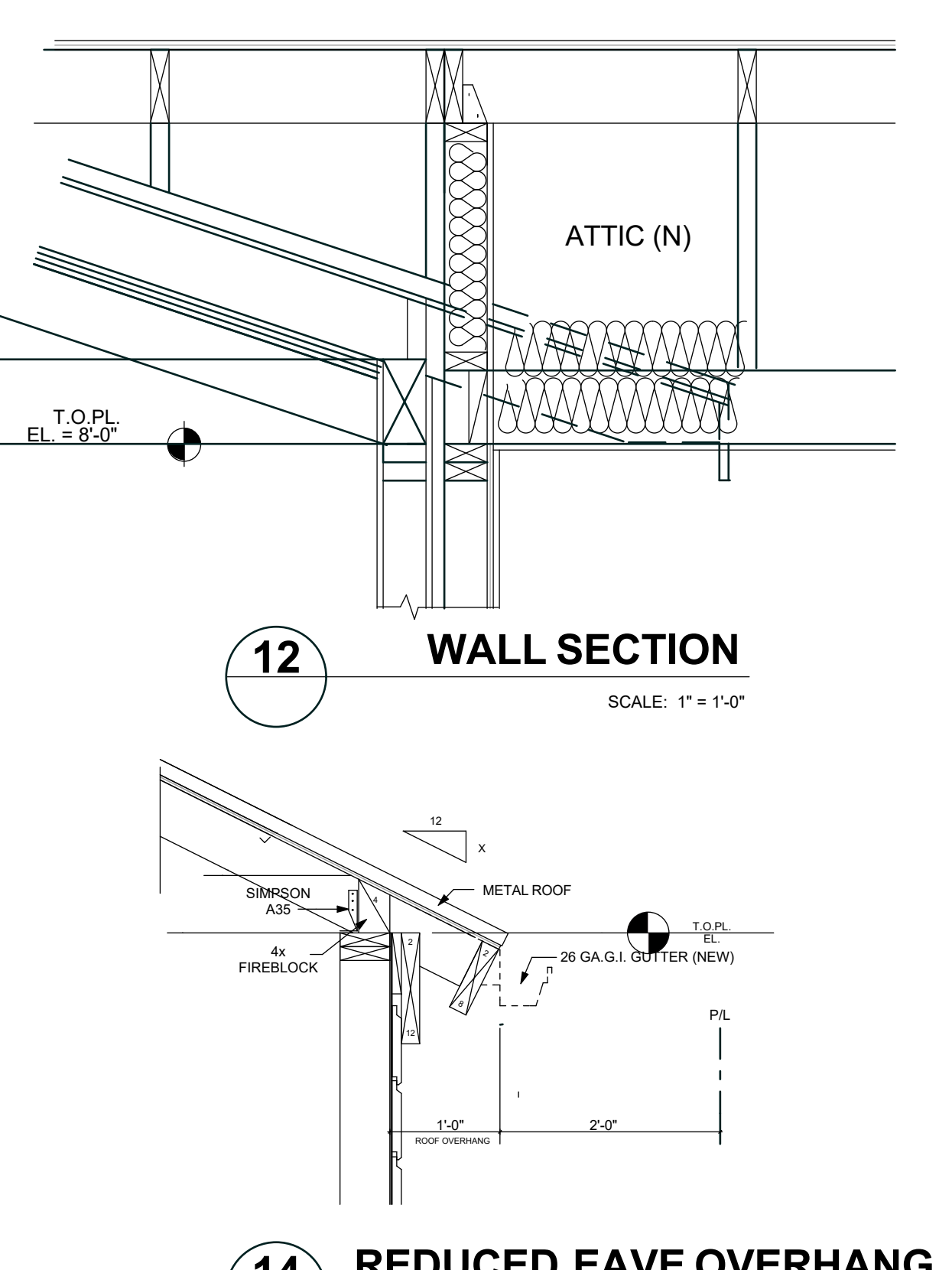
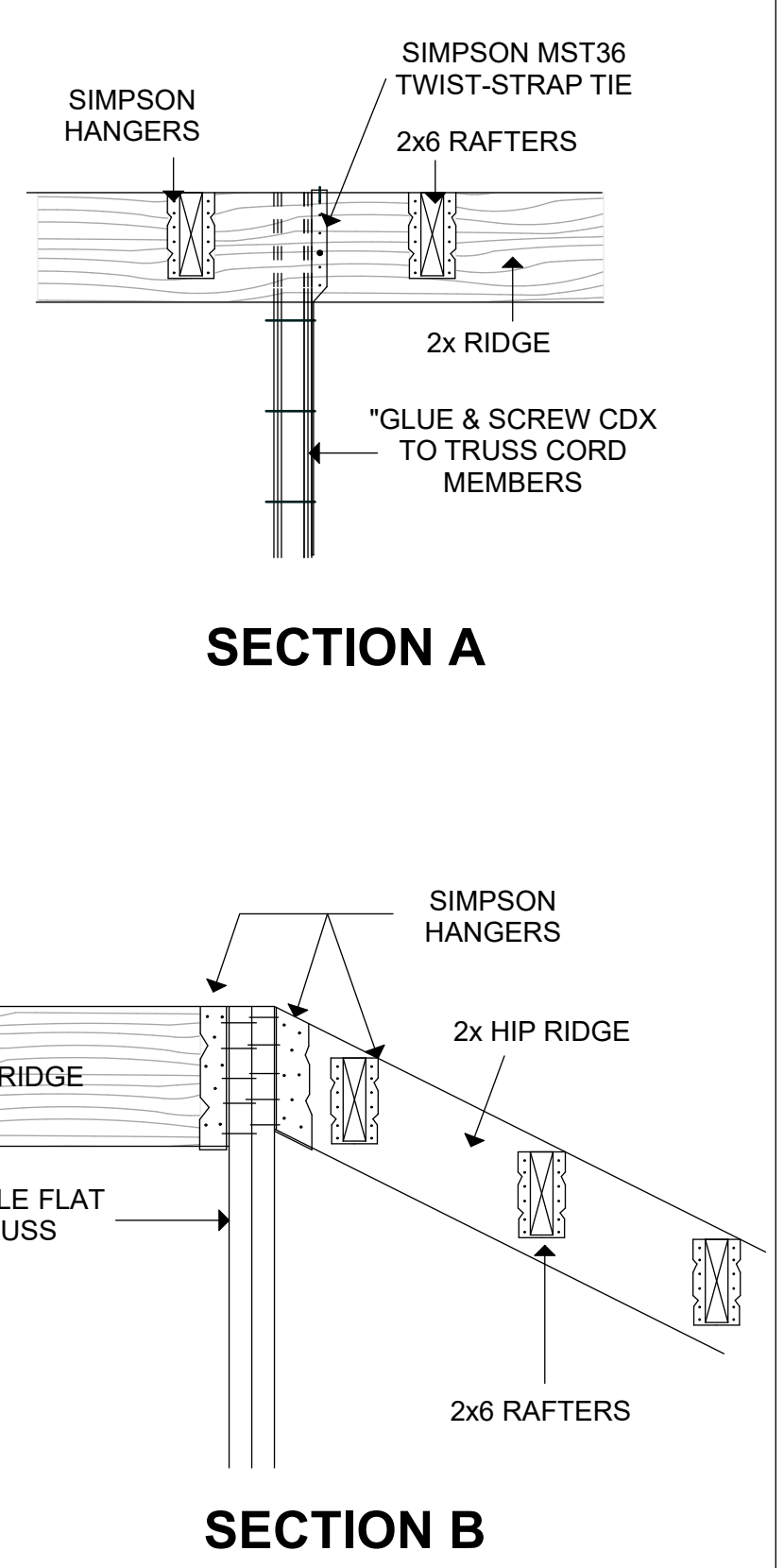
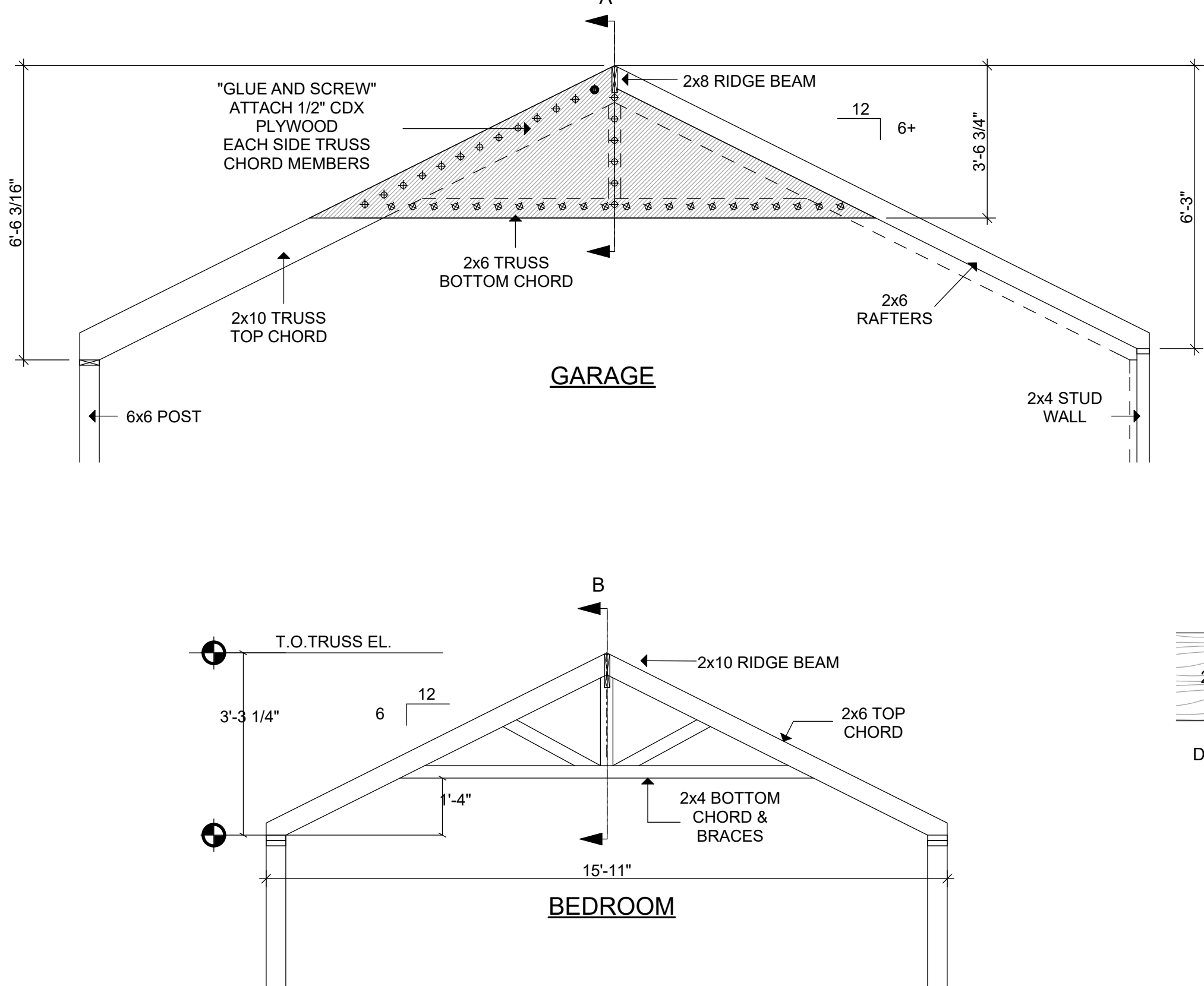
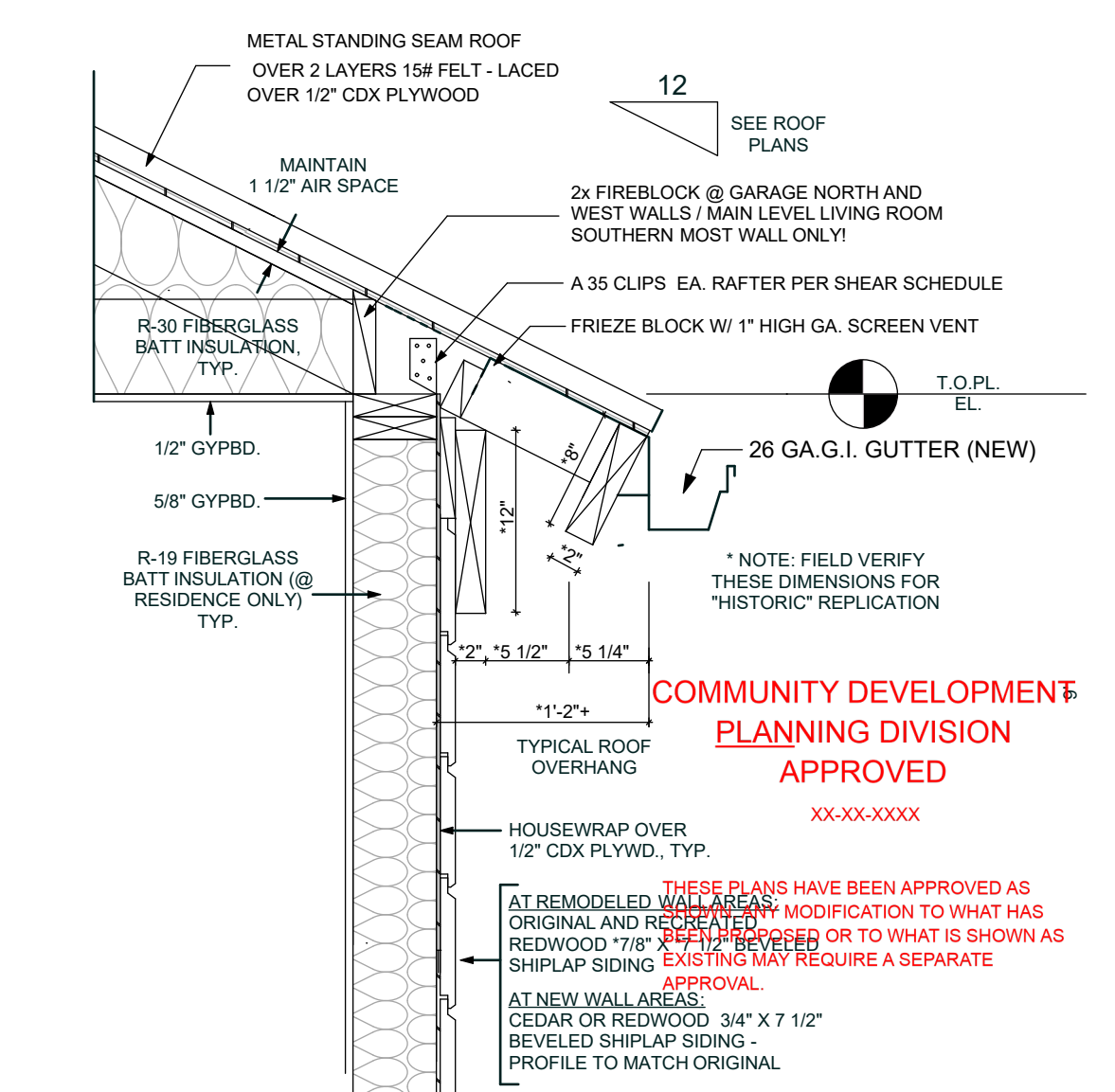
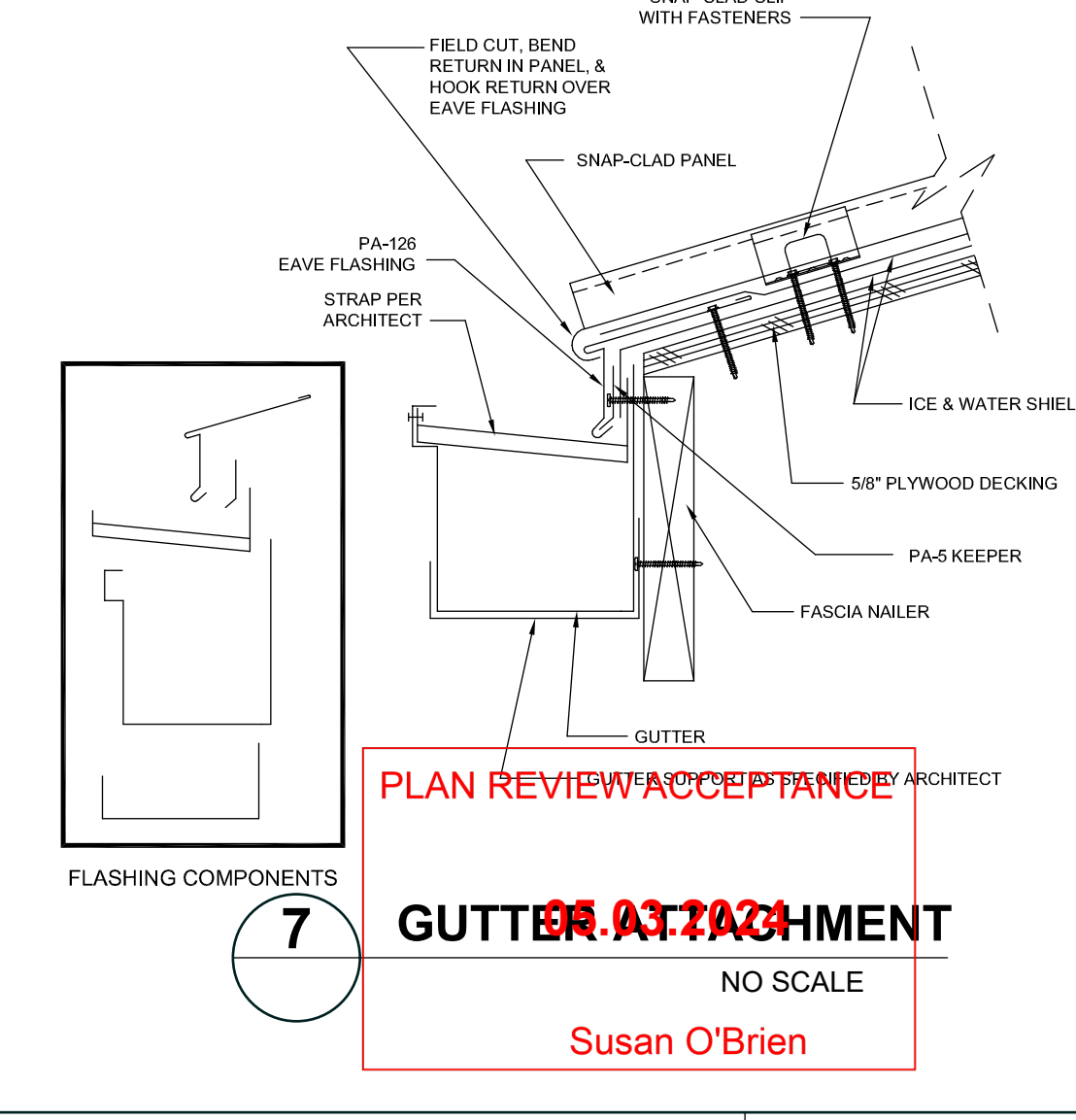
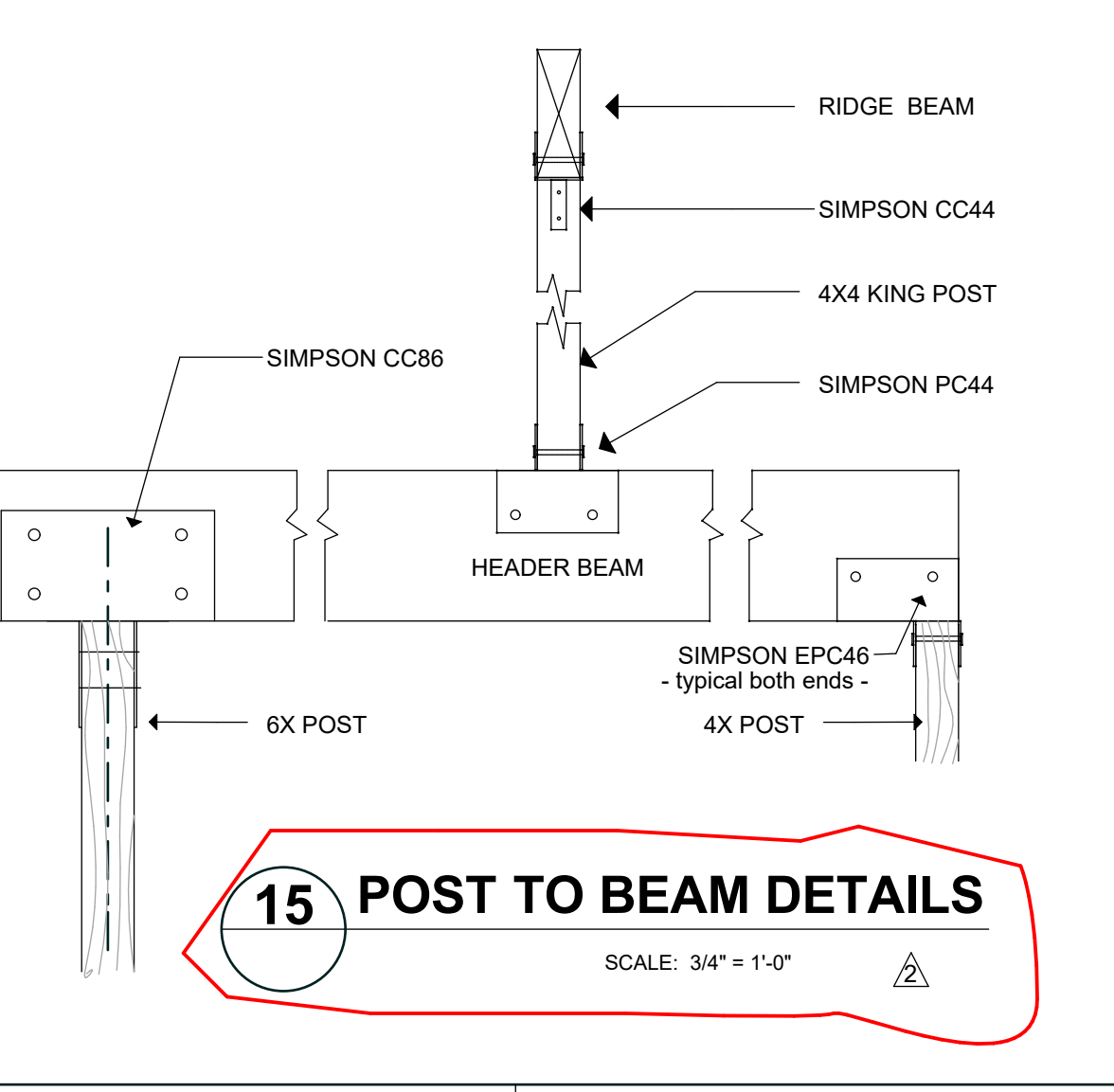
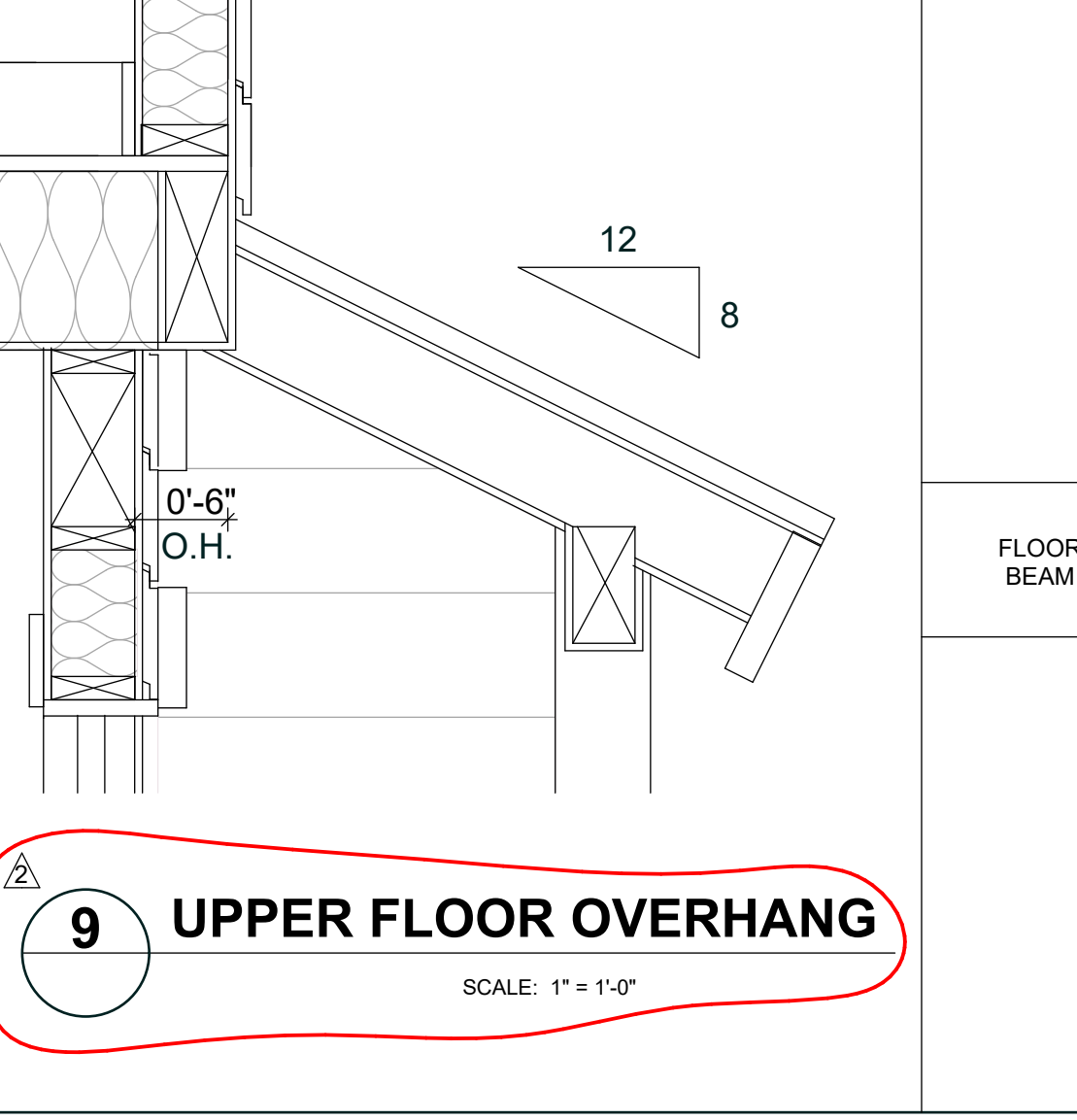
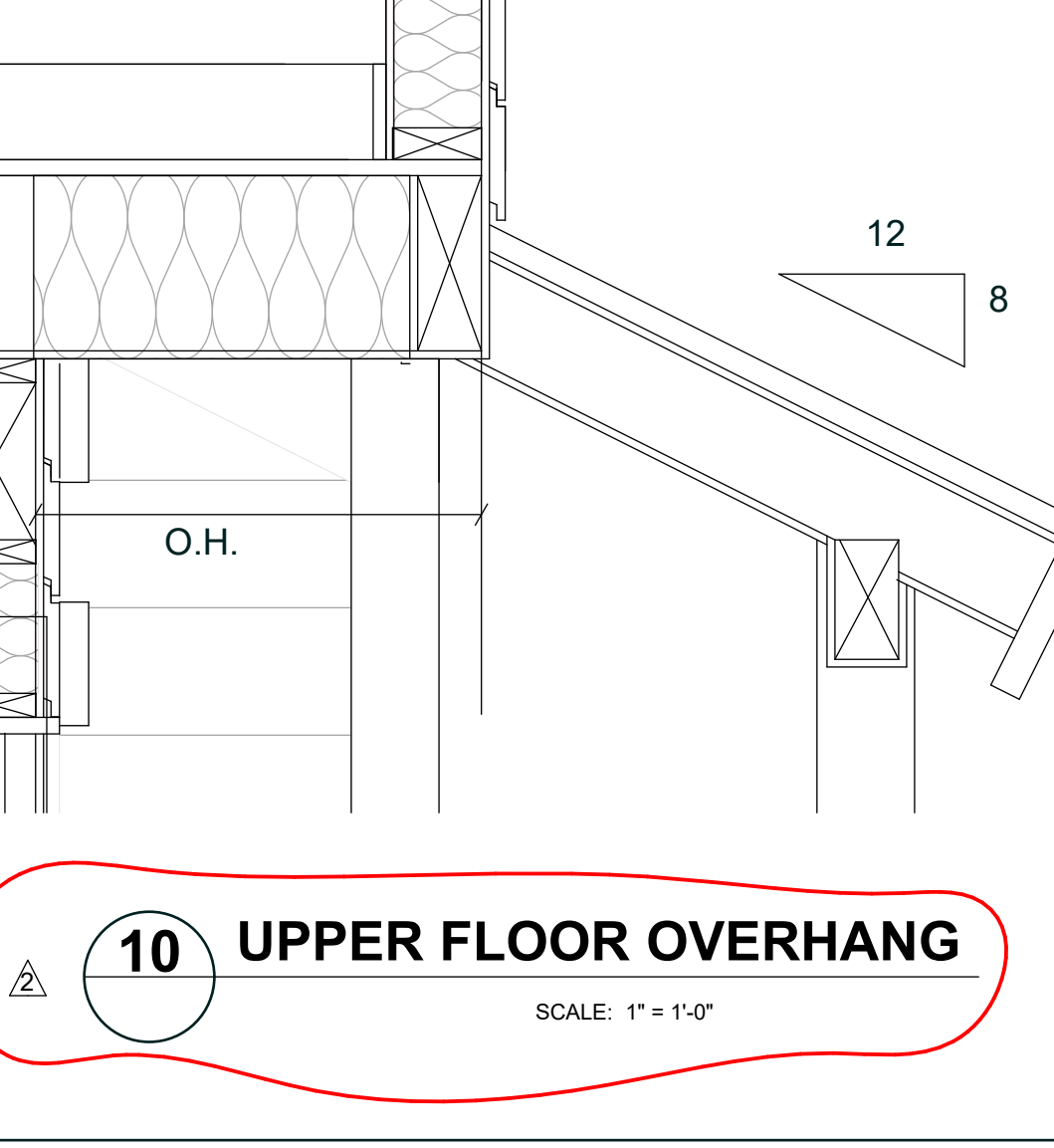
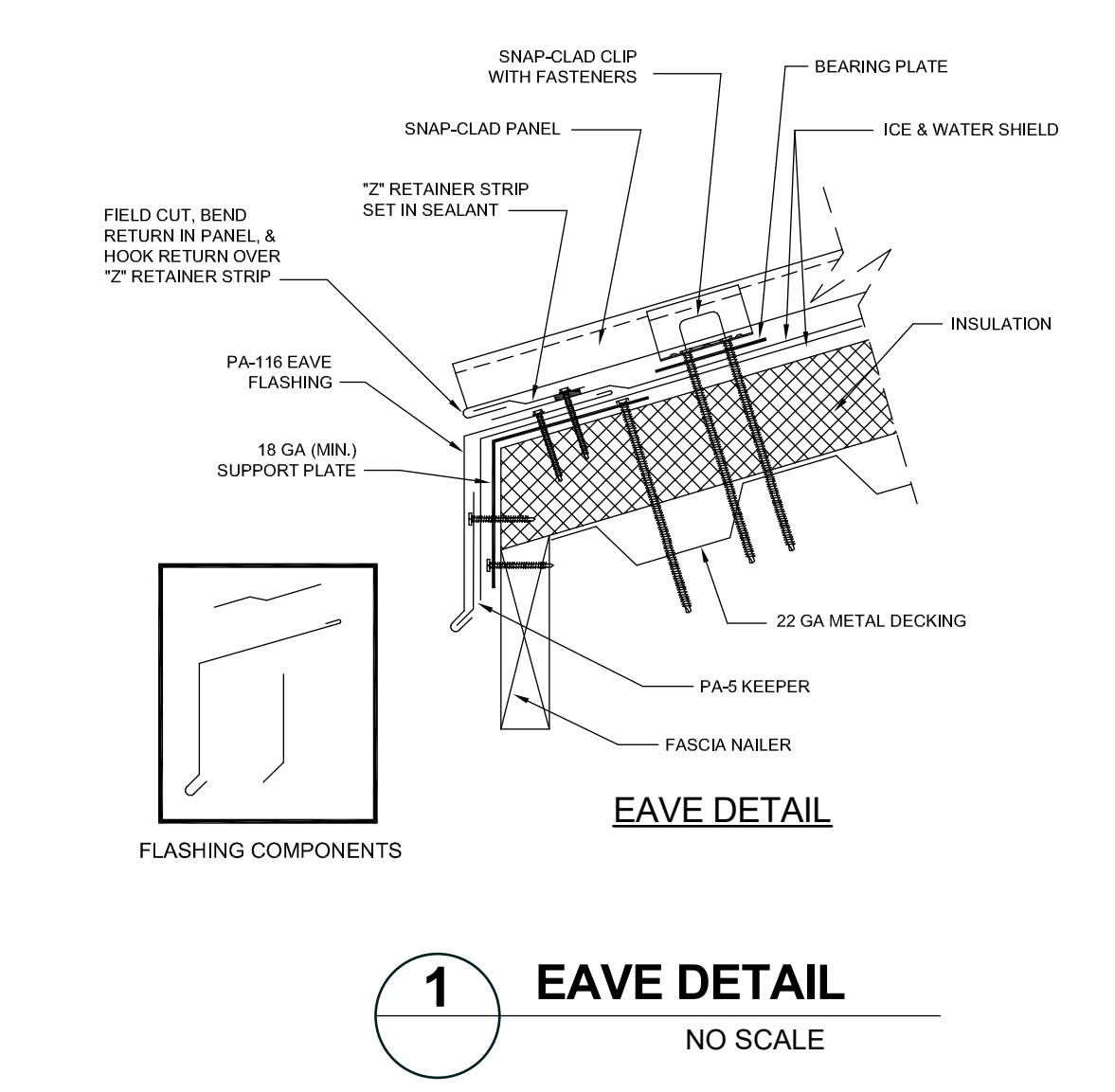
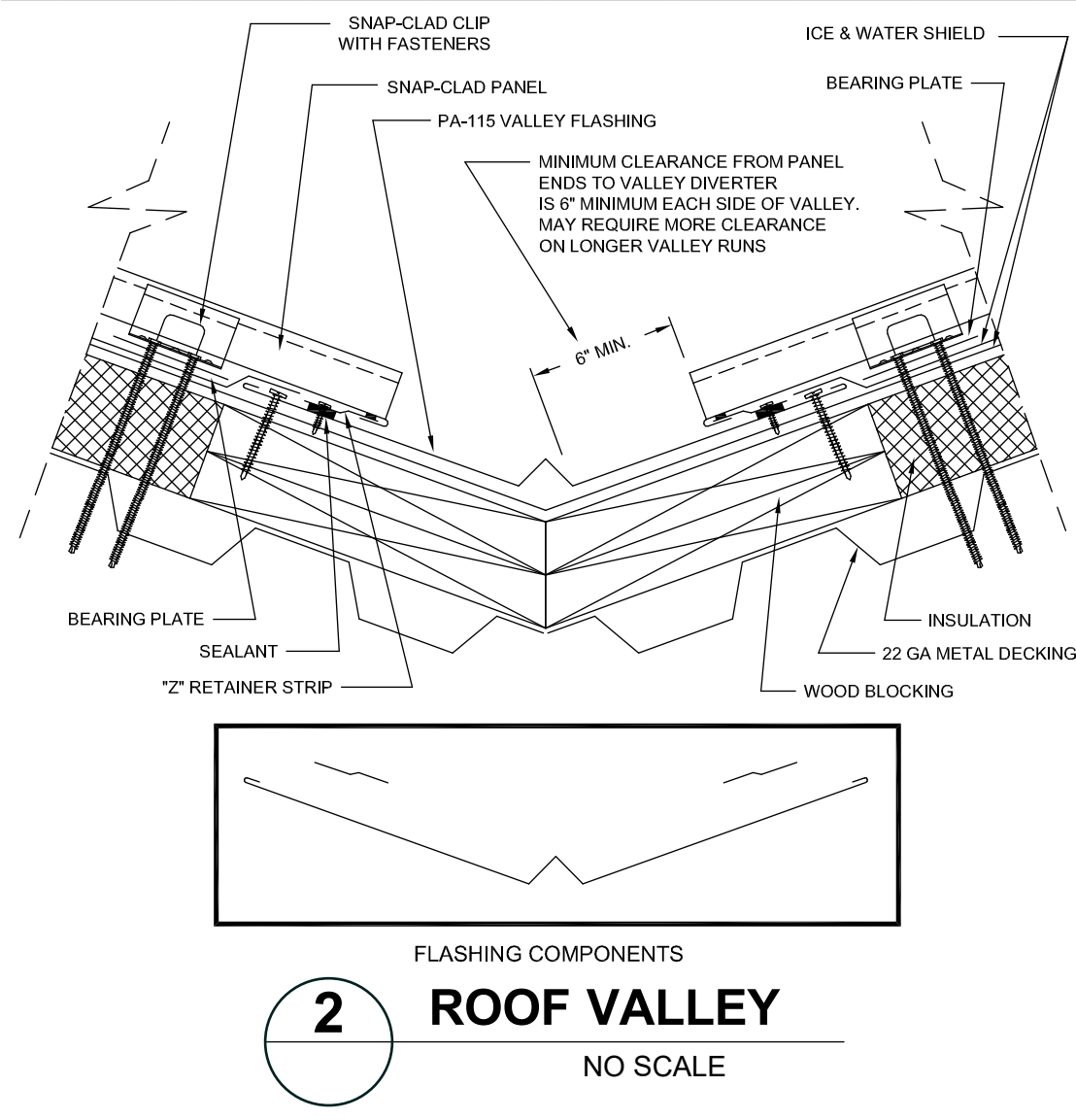
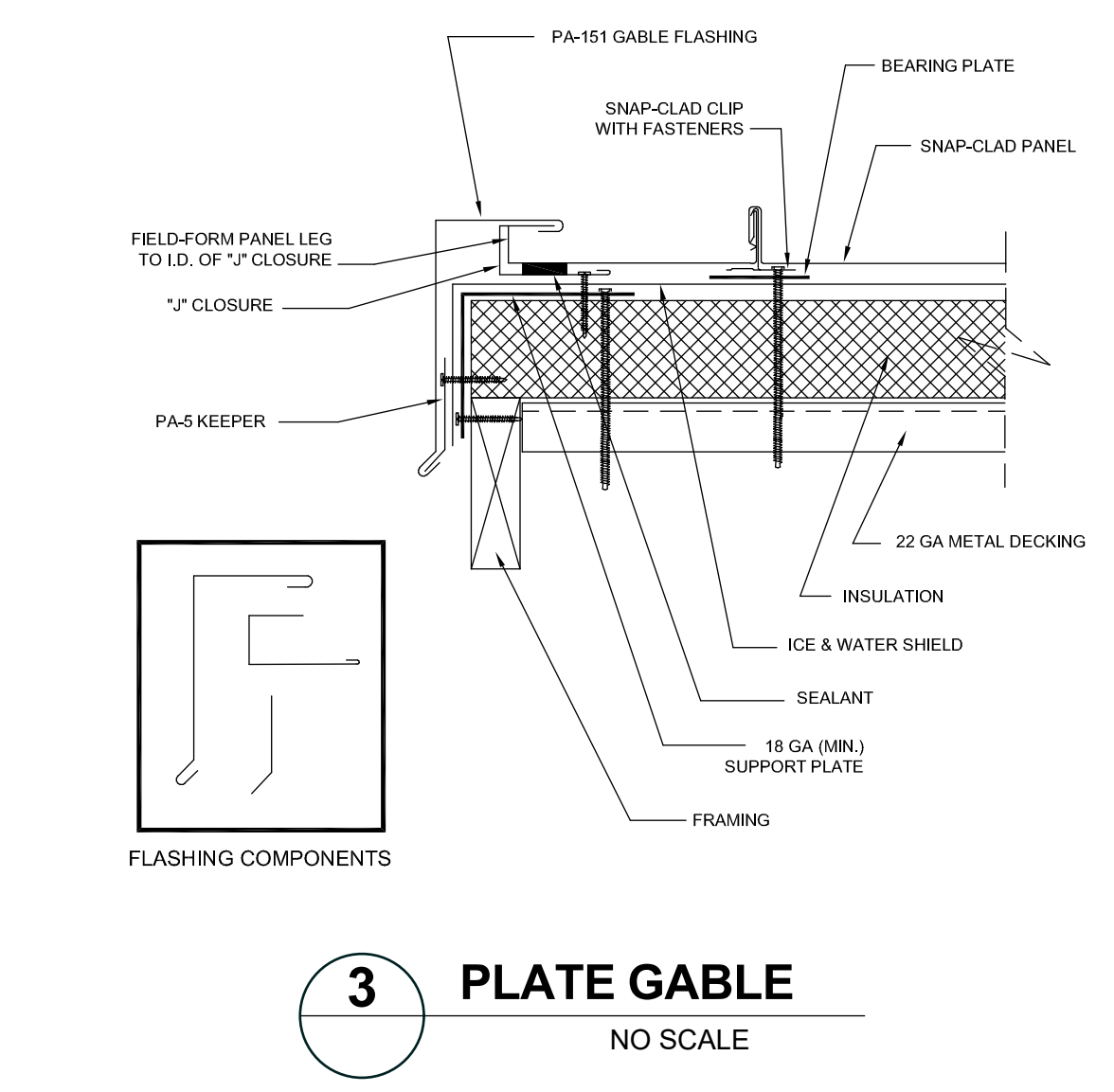
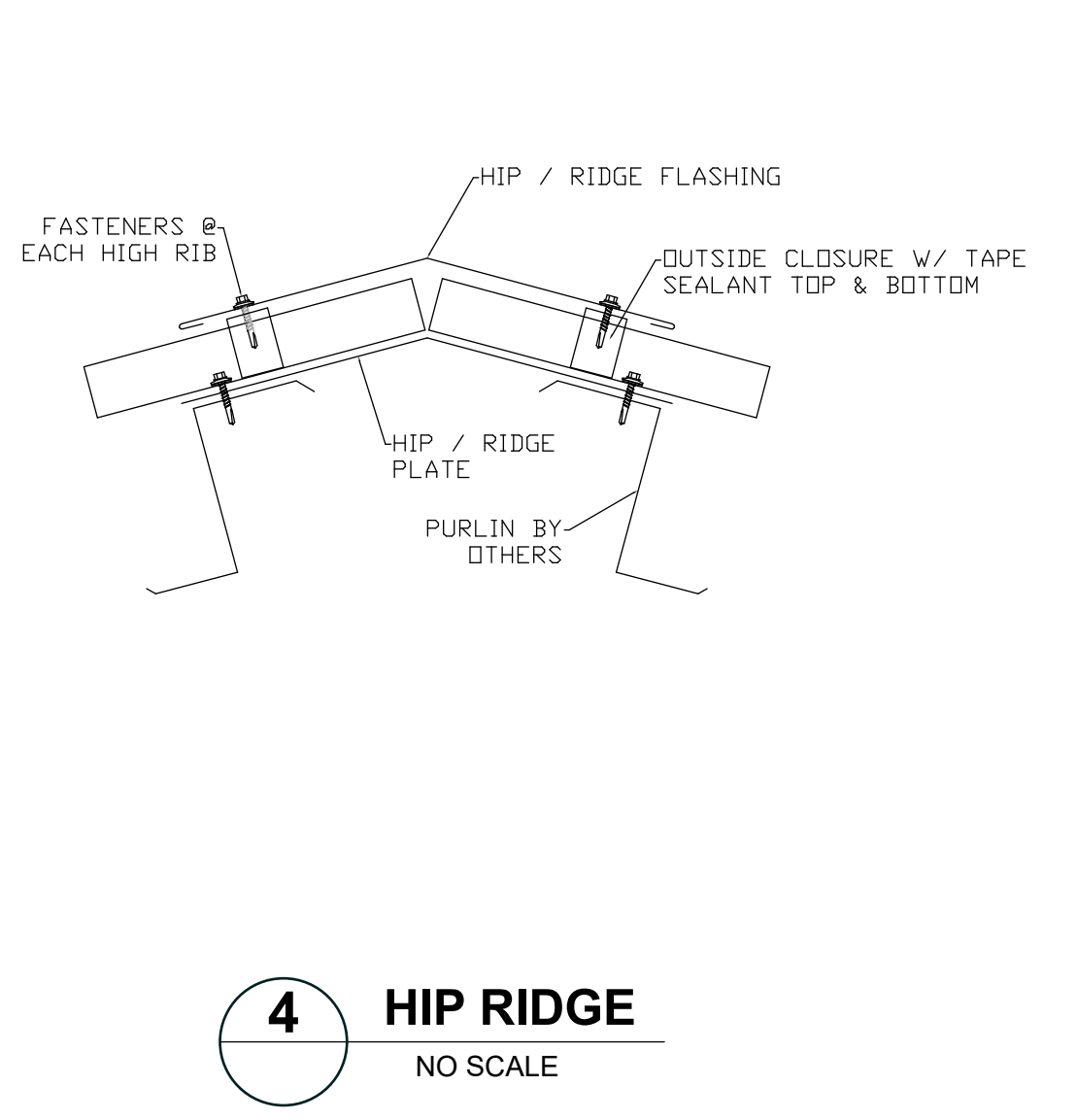
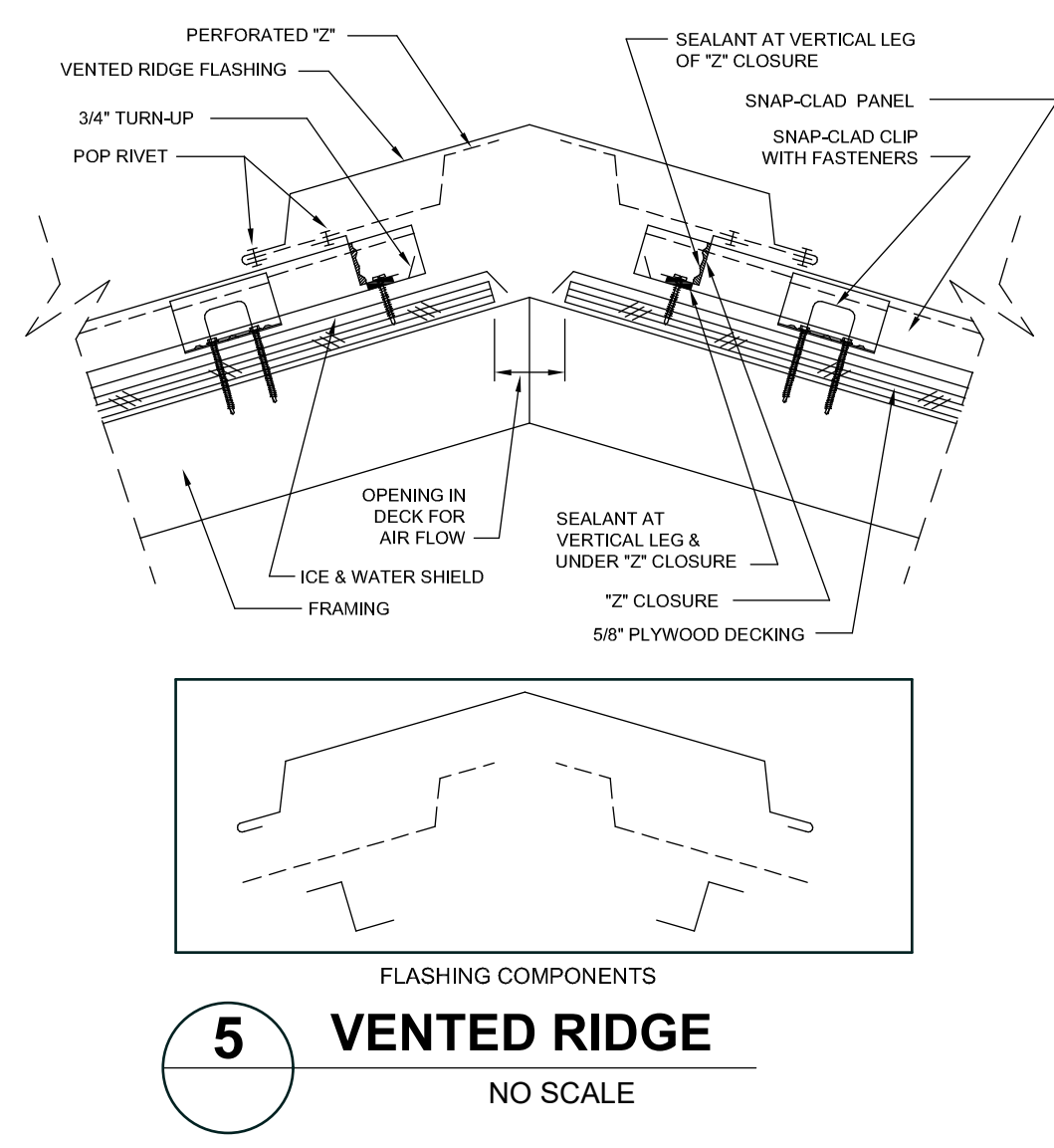
don schallock Architect AIA Office: The World (Montepulciano, Italy) Phone: 1.408.987.1508 E-Mail: don@donshallock.com



PLAN CHECK STAMP

PAGE

A10 OF SIXTEEN



PLAN REVIEW ACCEPTANCE 05.03.2024 Susan O'Brien

COMMUNITY DEVELOPMENT PLANNING DIVISION APPROVED

THESE PLANS HAVE BEEN APPROVED AS ORIGINAL AND REVISIONS. MODIFICATION TO WHAT HAS REDWOOD SIDING EXISTING OR TO WHAT IS SHOWN AS SHIPLAP SIDING EXISTING MAY REQUIRE A SEPARATE APPROVAL. AT NEW WALL AREAS: CEDAR OR REDWOOD 3/4" X 7 1/2" BEVELED SHIPLAP SIDING - PROFILE TO MATCH ORIGINAL.

WALL & ROOF DETAILS MARCH 2023

don schallock Architect AIA Office: The World (Montepulciano, Italy) ARCHITECTURE by design



DIVISION 1 - GENERAL CONDITIONS

- 1. Project: 445 Los Gatos Blvd. - Remodel and Addition
2. Summary: See Scope Of Work - Cover Sheet A1.0
3. Construction: Type V : Non-Rated Fire Sprinklered
4. Major Systems: Architectural, Structural, Mechanical, and Electrical
5. Location: 445 Los Gatos Blvd., Los Gatos, CA 95032
6. Owner: Mr. and Mrs. Nam and Nikki Nguyen
7. Architect: ABD Architects/Donald A. Schallock, Architect

8. To include all work necessary to relocate and remodel the existing, historic, single story residence and for the construction of the one and two story new single family residence, and detached garage; as well as modifications and improvements to the existing structure, foundation and all other work not otherwise indicated as under separate contract (NIC) or materials supplied by Owner (BO).

DIVISION 2 - SITEWORK and DEMOLITION

- 1. Demolish and remove all existing residence construction indicated or required to complete the modifications
2. Demolish and remove existing shed;
3. Excavate for new footings and pads to depths indicated on Drawings. Verify holes free of water.
4. Work shall be executed in an orderly manner with due consideration to the Owner, neighbors, and Provide temporary bracing as required to adequately hold all components of the structure in place until final support is firmly anchored.

DIVISION 3 - CONCRETE and REINFORCEMENT

- 1. Verify excavations free of water and other obstructions.
2. Concrete for slabs on grade and foundations shall have a minimum compressive strength of 2500 psi at 28 days, unless noted otherwise on Drawings.
3. Maximum aggregate size shall be 3/4", and maximum slump shall be 4 1/2".
4. Anchor bolts, hold-down bolts, dowels, and other required inserts shall be positioned and firmly secured in place before concrete is poured.

DIVISION 4 - MASONRY

DIVISION 5 - METALS

- 1. Supply miscellaneous anchors, clips, plates, straps, channels, etc., as required for rough framing.
2. Structural Steel shall conform to ASTM (A-50) specifications and to the AISC specifications for fabrication and erection.
3. All bolts shall conform to ASTM (A-307) for unfinished bolts.
4. Provide full bearing on unthreaded portion of bolt shank for all steel connections.
5. All nuts shall be heavy, hexagonal nuts.
6. All fasteners (nails, bolts, washers, etc.) used with pressure-treated lumber be hot-dipped galvanized, silicon bronze, stainless steel, or copper. Ref: UBC 2304.3

DIVISION 6 - WOOD AND PLASTICS

- 1. Rough Carpentry - Studs - Douglas fir, standard & better
2. Sheathing: CDX plywood, 1/2" for roof and walls, unless otherwise noted on Drawings.
3. Building paper: 2 layers of 15# asphalt impregnated felt.
4. Nailing per UBC except where more or larger nailing is shown on Drawings.
5. All roof rafters, beams and joists to be anchored to supports with 18 gauge framing anchors.

DIVISION 7 - THERMAL, ACOUSTIC AND MOISTURE PROTECTION

- 1. Insulation: Thermal: Provide and install fiberglass batts with Kraft-paper faced vapor barrier at new/replacement construction as shown on Drawings;
Acoustic: Provide and install "Sonic Barrier Max" acoustic membrane insulation, .019" thick, as manufactured by AcousticSonic, Inc., Miami, FL, acousticsonic.com at locations designated on Drawings. Install per Mgr's instructions.
Moisture: a) Provide and install "EcoShield E10" waterproof membrane, 10 mils thick, as manufactured by EPRO SERVICES, Derby, KS, eproinc.com at locations designated on Drawings. Install per Mgr's instructions.
2. Sloped Roofing: a) Metal - 22 Ga. steel w/ ZINCALUME PLUS, standing seam, 12" Span, Box-Rib Profile concealed fasteners, as approved by the Los Gatos Historical Commission, Color: Old-Zinc Grey as manufactured by ASC PROFILES, LLC - West Sacramento, CA phone:1-800-733-4955. Finish to be matte, non-reflective.
3. "Flat" Roofing: 3-Tab Asphalt Shingle over water-proof membrane. Color: Charcoal
4. Contractor to furnish guarantee for all roofing, new roofing, flashing and waterproofing for a period of 2 years from the date of acceptance by Owner. Guarantee is against leaks due to faulty workmanship and/or materials - to repair same without additional cost to Owner.

DIVISION 8 - DOORS AND WINDOWS

- A. Doors: 1. See DOOR SCHEDULE, FLOOR PLAN and EXTERIOR ELEVATIONS
2. Exterior and Interior wood doors to be "Bungalow Series" as manufactured by Simpson Door Co., and distributed by Peninsula Doors, Inc., Los Gatos, CA., Solid core wood construction, stain and paint grade, 1 3/8" and 1 3/4" thick, with 1" insulating (Low "E") clear safety glass. Provide true-divide lites where shown in Door Schedule. Provide with anodized aluminum thresholds, and hinged metal screens with factory baked enamel white aluminum frames. All doors to receive flashing paper between frame and siding before seal. Guarantee: All doors shall be guaranteed weathertight and properly functioning.
3. Exterior sliding glass doors to be aluminum-clad wood as manufactured by Andersen Windows and Doors. Color and finish to match E-Series window collection. Provide with 1" insulating (Low "E") clear safety glass. Provide with anodized aluminum thresholds, and hinged metal screens with factory baked enamel white aluminum frames. All doors to receive flashing paper between frame and siding before seal. Guarantee: All doors shall be guaranteed weathertight and properly functioning.
4. Garage doors to be solid wood, non-insulating overhead and hinged operability "Reserve Wood Custom Series" as manufactured by CLOPAY Garage Doors, clopaydoor.com. Furnish to match designs in Door Schedule. Supply with Overhead Door electric operator where shown.
5. Interior doors to be 1 3/4" and 1 3/8", 2, 3 and 4 panel, composition - See Door Schedule
6. Hardware to be Schlage, A Series.
7. Hinges to be Hager #BB1279 Series, ball bearing, satin nickel with clear coating.
8. All cylinders to be Schlage.
9. All locks and latchsets shall have wrought box and full lip strikes.

DIVISION 8 - DOORS AND WINDOWS (CONTINUED)

B. Windows:

- 1. "E-Series" anodized aluminum clad wood, as manufactured by Andersen Window and Door Co., Color: "Flat White" - See Window Schedule - Sheet A4
2. Glazing to be 1" insulating (Low "E") glass - tempered or laminated safety glass where required by code and/or designated on Drawings. Provide with Manufacturer's white baked-enamel aluminum frames and metal screening.

DIVISION 9 - FINISHES - See Room Finish, Wall Schedules sheet A4.0

- 1. Gypsum board: 1/2" and 5/8" (where shown in Drawings), and taped, sanded and light stipple textured at all interior wall constructions, unless otherwise noted on Drawings.
2. See Division 7 for caulking of all penetrations through sound walls.
3. Interior Tile: Custom ceramic (B.O.) set to walls with appropriate mastic in accordance with Manufacturer's recommendations.
4. Exterior (Deck) Tile: 3/8" Slate (B.O.) thin-set to approved membrane. See Details.
5. Flooring: a) Underlayment 3/8" particle or mds board. b) Hardwood and Carpeting - N.I.C..
6. Paint color(s) as selected by Owner.
7. Paint on exterior wood, new construction, to be Benjamin Moore Primer plus 2 finish coats.
8. Paint on exterior galvanized iron: first coat - Benjamin Moore Galvanized already factory primed); second and third coats - Benjamin Moore Rust-Inhibitive Enamel.
9. Paint on interior drywall to be appropriate BM Primer plus two (2) coats Benjamin Moore Master "Painter Latex Eggshell Enamel". Tint primer to shade of final coats.
10. Stain on interior wood: first coat - Benjamin Moore Fast Drying Wiping Stain; second coat - Benjamin Moore Hi-Gloss; third coat - Benjamin Moore Satin Finish. Sand between coats, typical.

DIVISION 15: MECHANICAL - See ME sheets for additional specifications

SECTION A: PLUMBING

- 1. Completely Rough plumb Existing House and Rough and Finish Plumb all New and Remodelled Areas;
2. Extend natural gas, waste, vent, and domestic water supply service from existing line locations to new locations as shown on Drawings.
3. All plumbing installations shall conform to the California Plumbing Code and Town of Los Gatos regulations.
4. Shower shall be provided with pressure balance or thermostatic mixing valve controls.
5. Water piping to be copper tube, type L hard drawn temper with wrought-copper fittings and soldered joints. Provide 1" thick R-4 cellular foam pipe insulation on hot water supply and return.
6. Install all fixtures to be supplied by Owner (BO).
7. Refer to Energy Notes section of Specifications for additional requirements.
8. Provide non-removable backflow prevention devices on all exterior hose bibs.
9. Install new 80 Gal. Water Heater as supplied By Owner (BO).

SECTION B: HEATING

- 1. Install new Furnaces and 3-Zone Forced-Air heating ductwork, registers, etc. as required for new and remodeled construction.
2. Supply and install Nutone QT200 exhaust fan for Bathrooms.

DIVISION 16 - ELECTRICAL - See also ME Sheets for additional specifications

- 1. Replace existing service w/ new 200 amp panel; Existing House to be completely rewired;
2. Light fixtures supplied by Owner for installation by Contractor;
3. Provide all switches and receptacles as shown on Drawings and required by Code. Spacing and placement to meet Code requirements will be Contractor's responsibility. Outlets and switches on the Drawings indicate
4. Provide GFI circuit in Bathroom, and Exterior weather-proof locations;
5. Provide Weather proof outlets at exterior;
6. Provide duplex type wall outlets except as noted. Cover plates to be paintable;
7. Install phone and T.V. outlets to locations directed by Owner.

End of Specifications

PROJECT SPECIFICATIONS

MARCH 2023

REVISED: October 2023, January 2024, April 2024

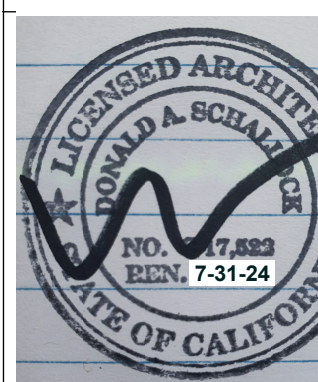
ENGINEER'S STAMP

NGUYEN RESIDENCE REMODEL & ADDITION

445 Los Gatos Blvd., Los Gatos, CA 95032

don schallock Architect AIA

ARCHITECTURE by design



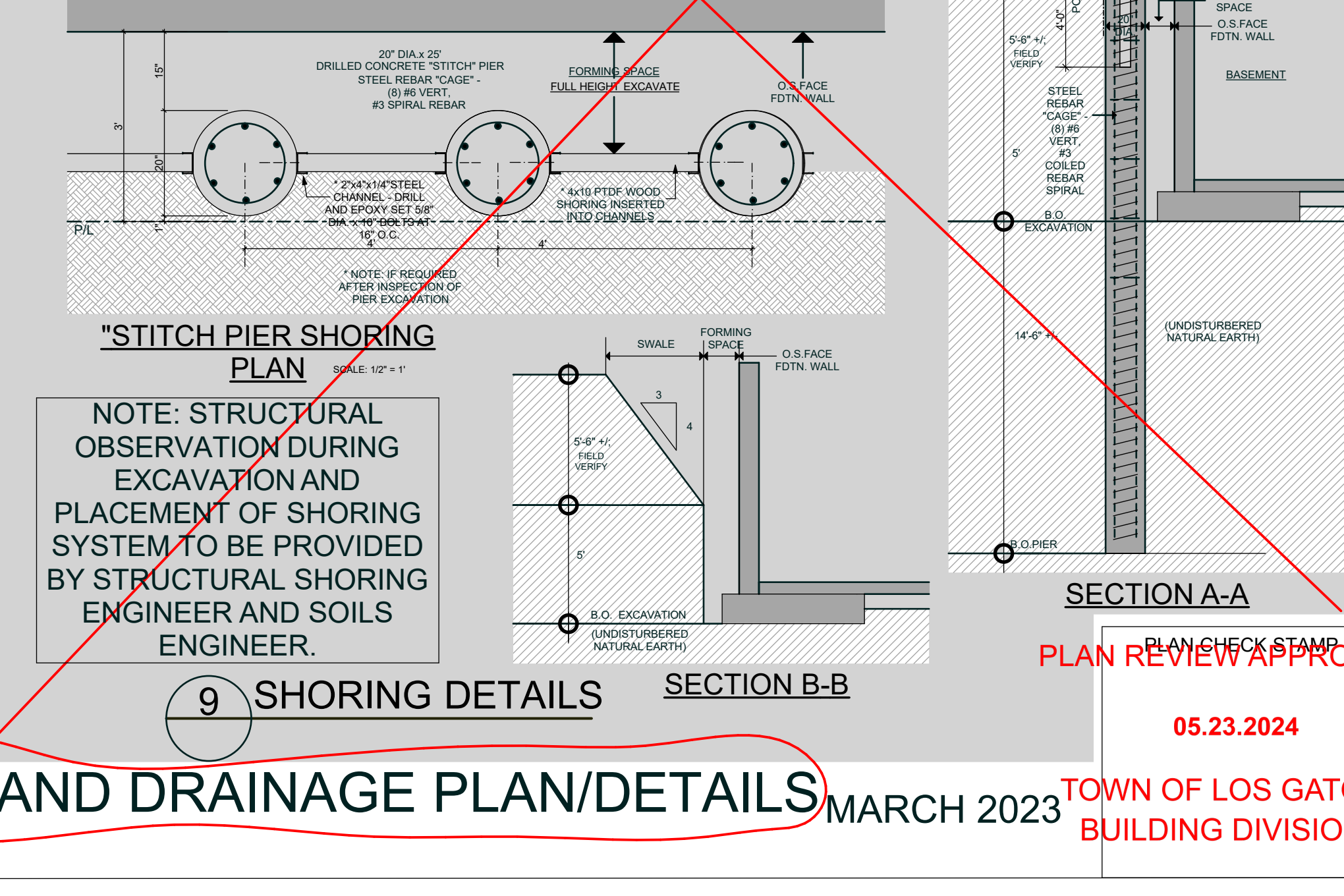
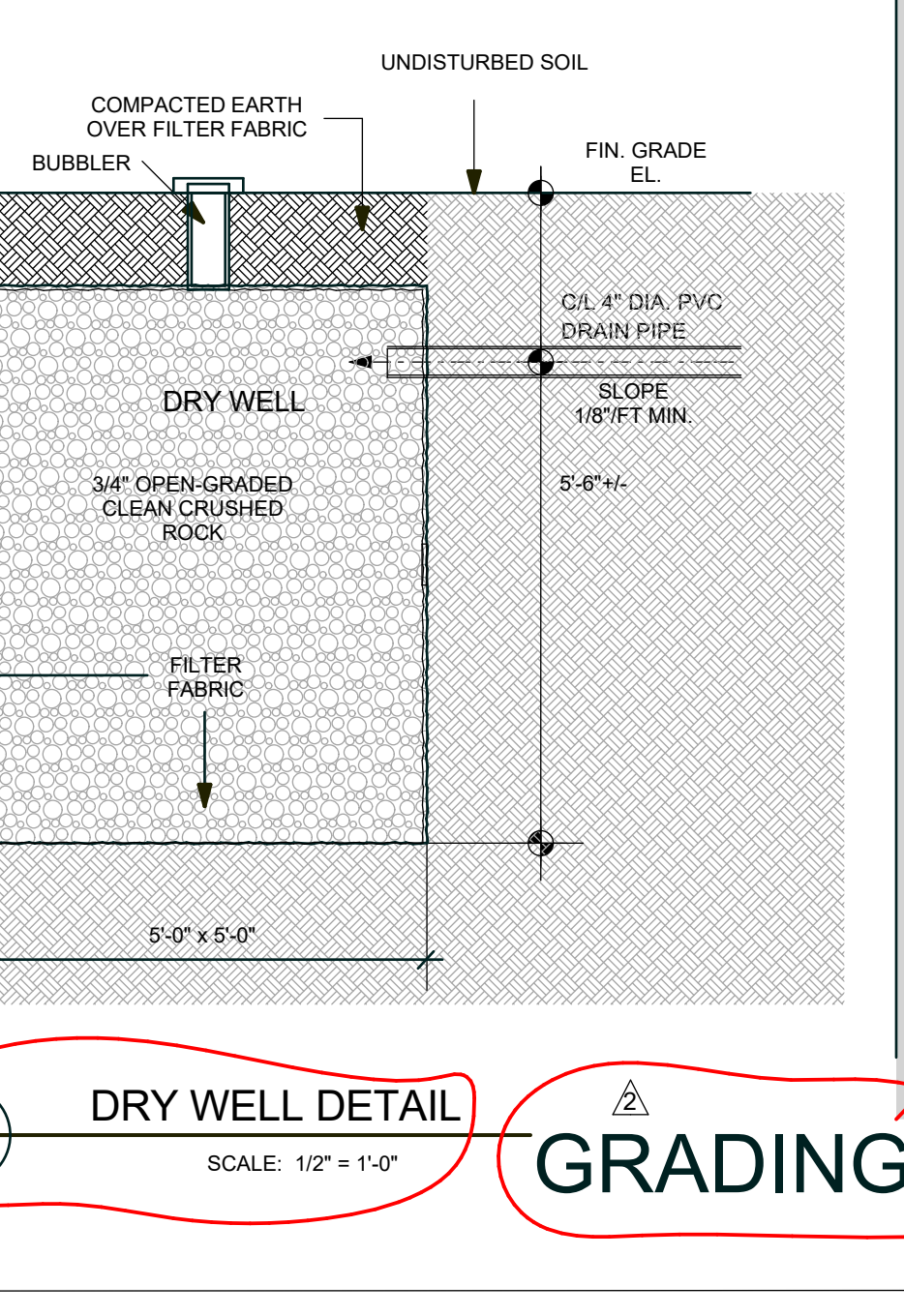
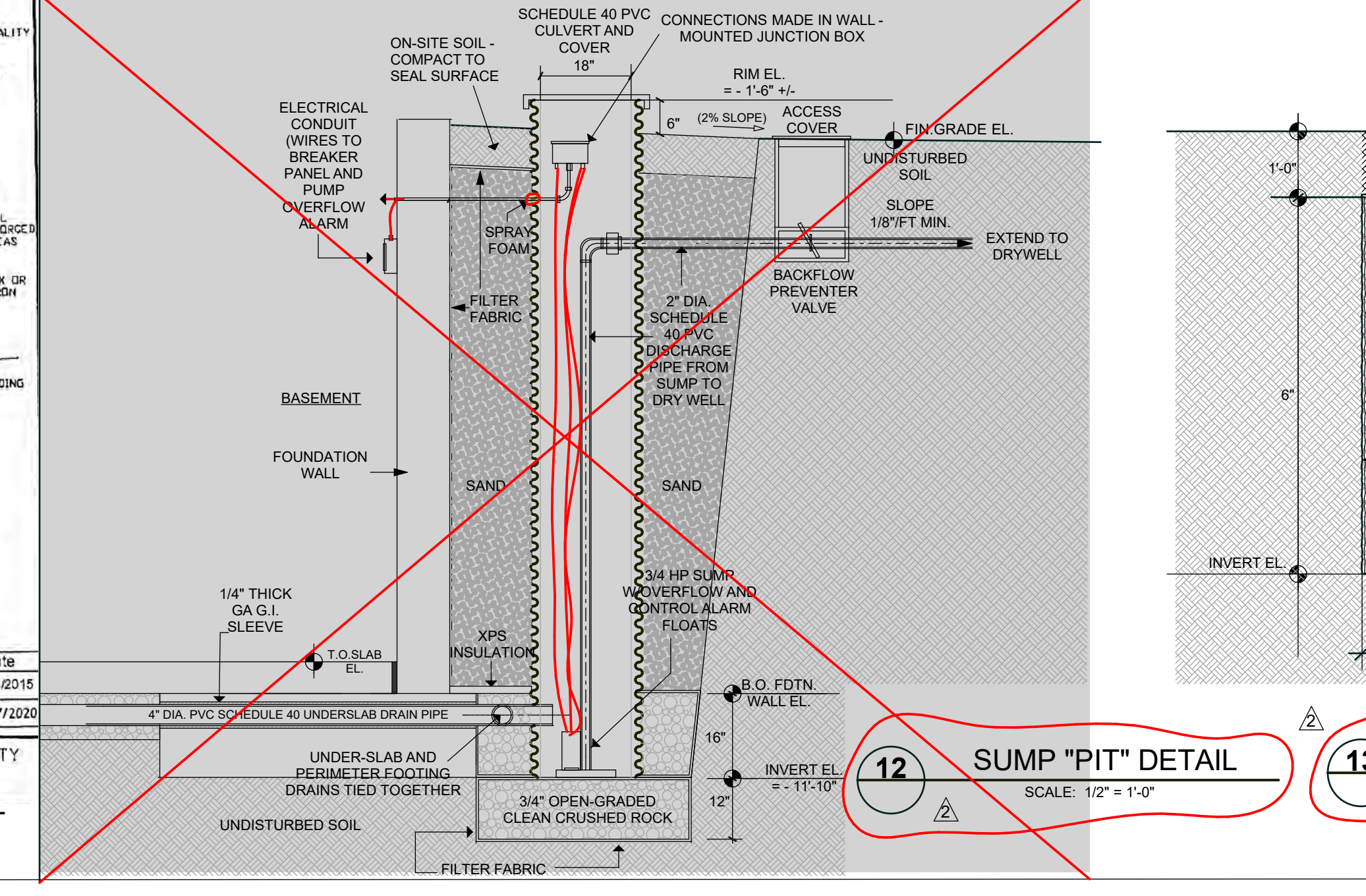
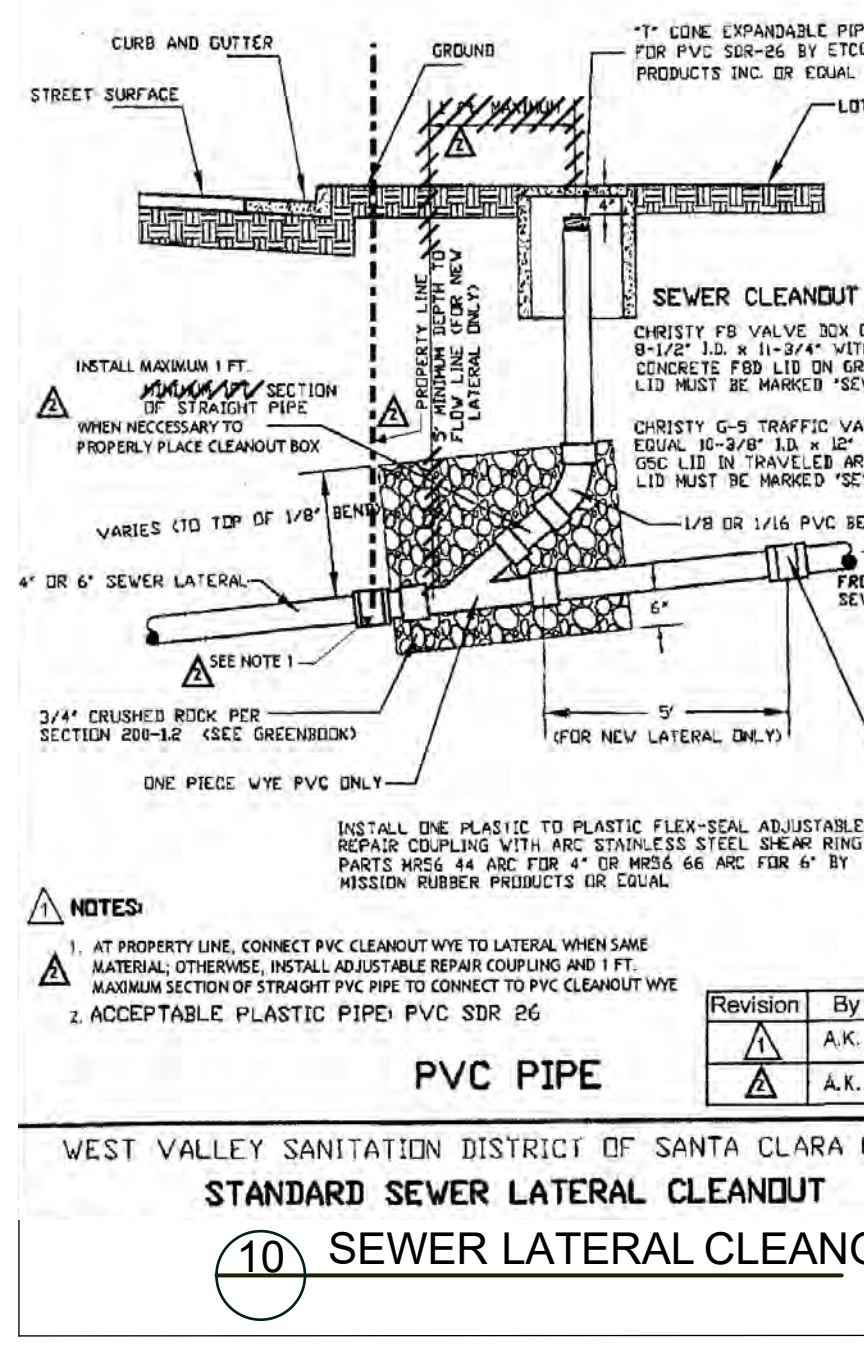
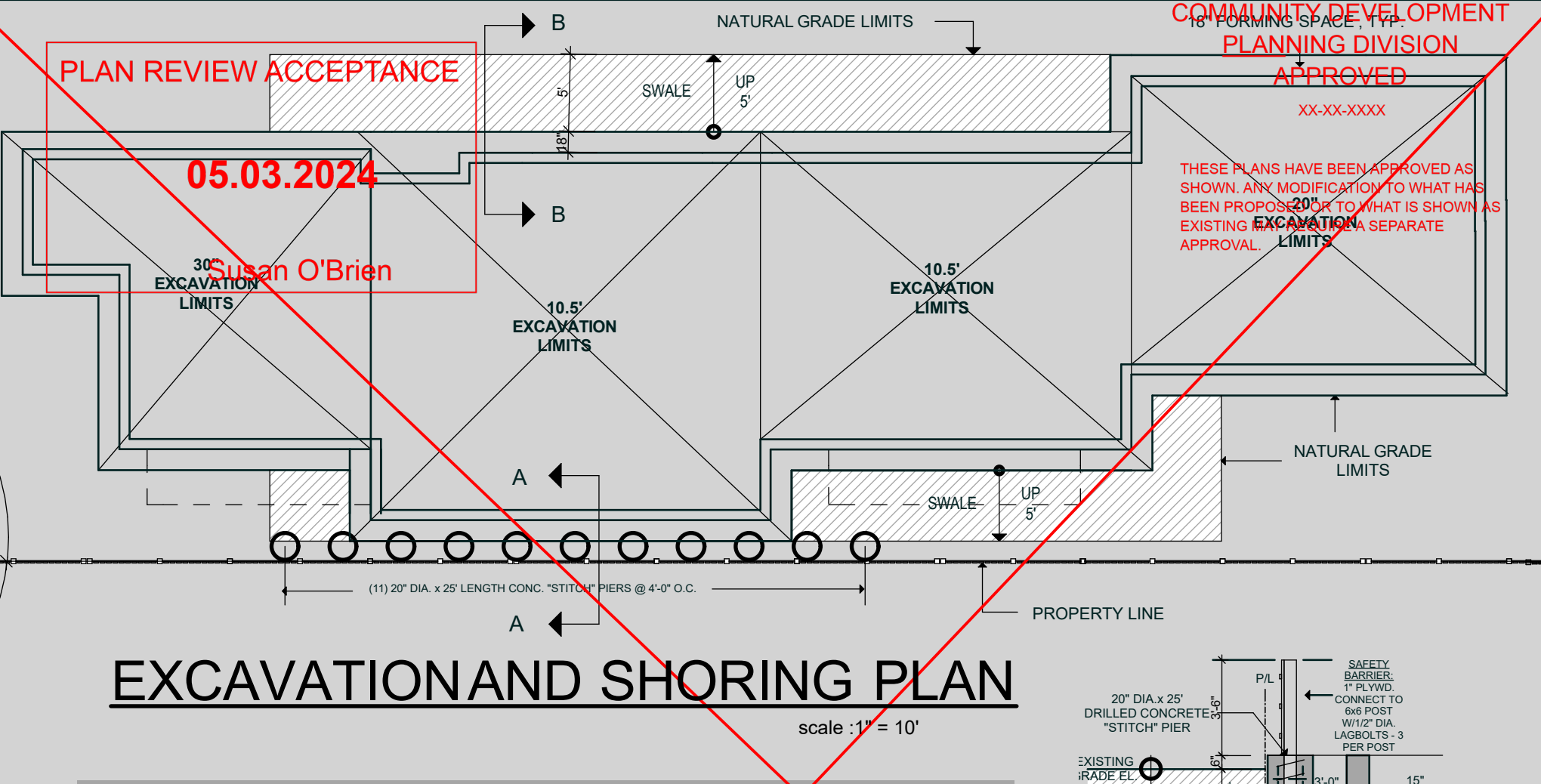
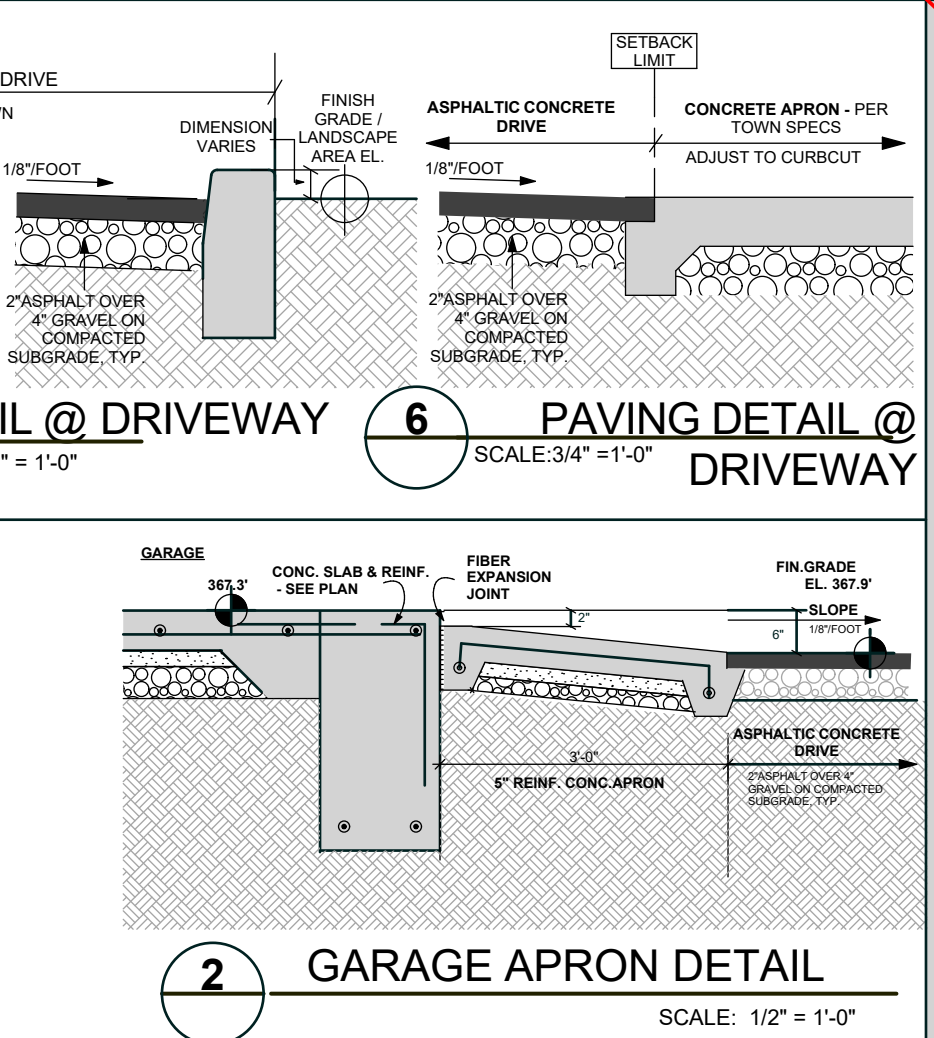
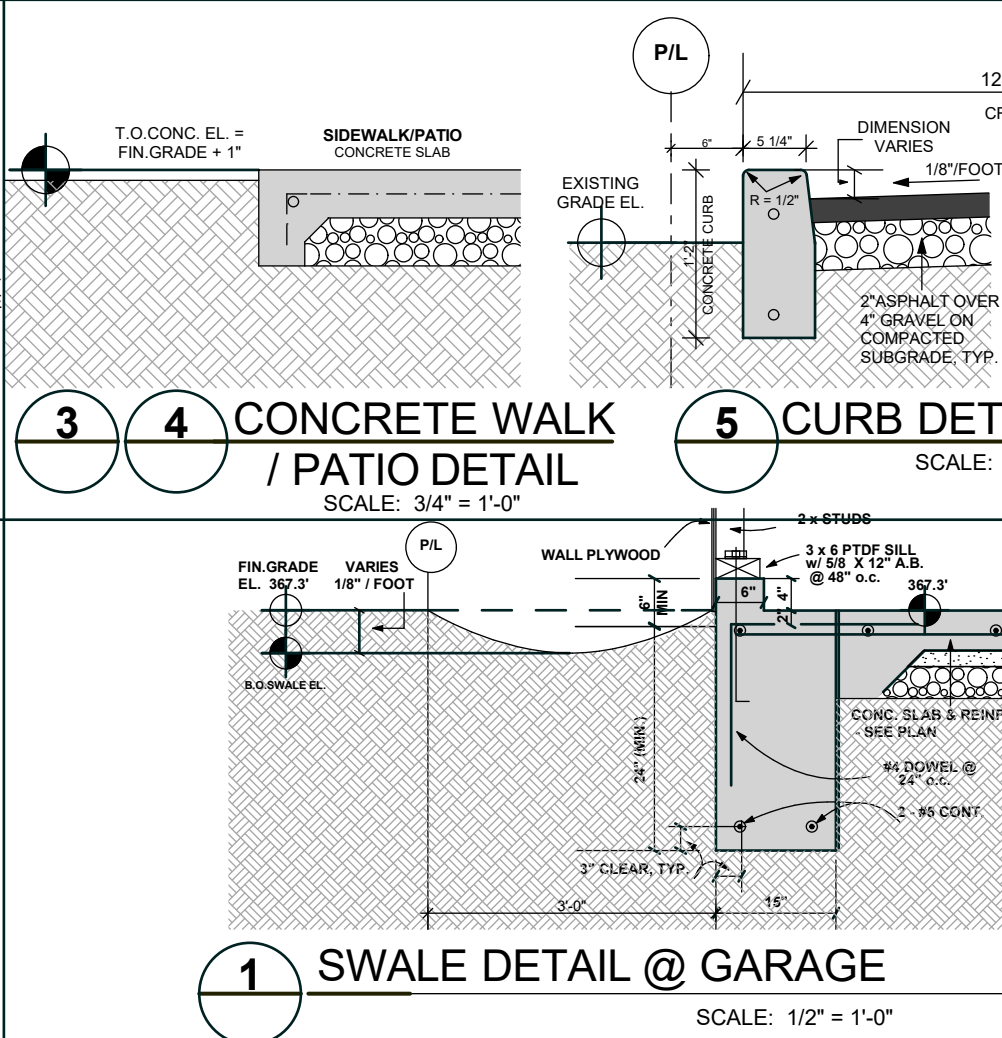
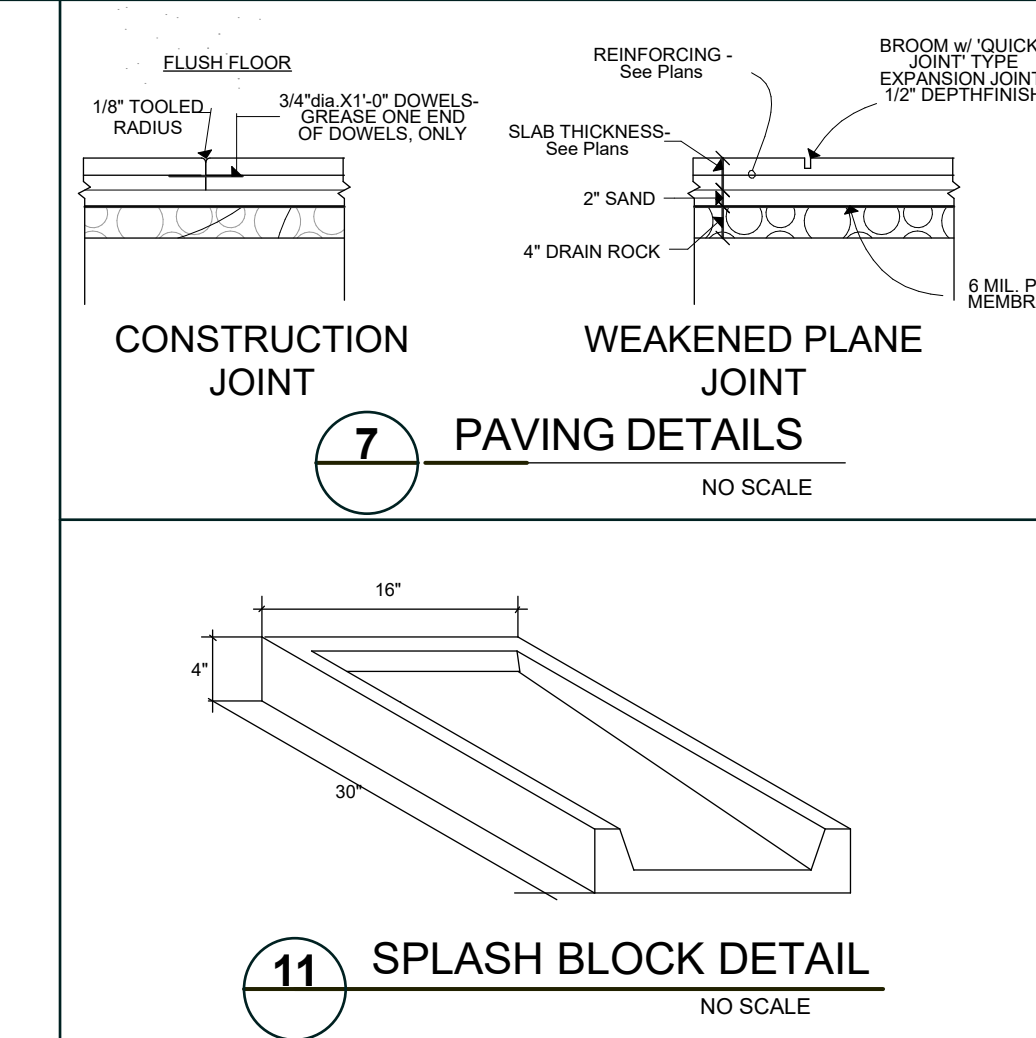
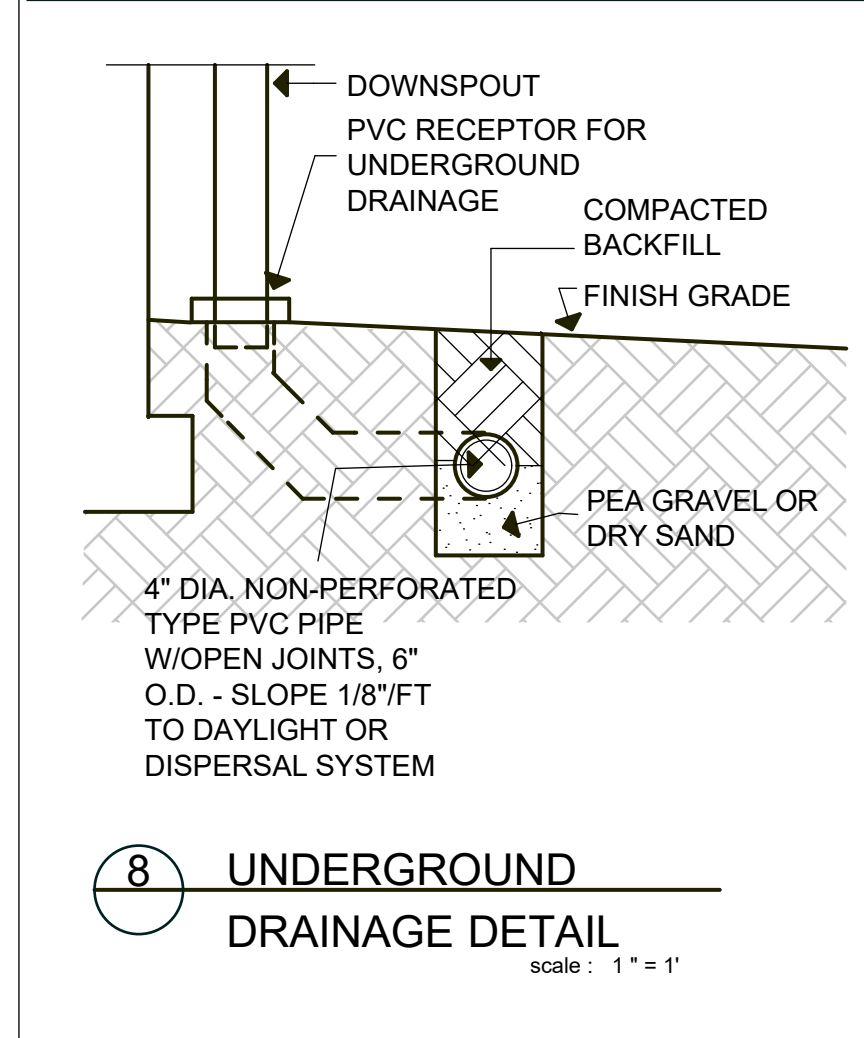
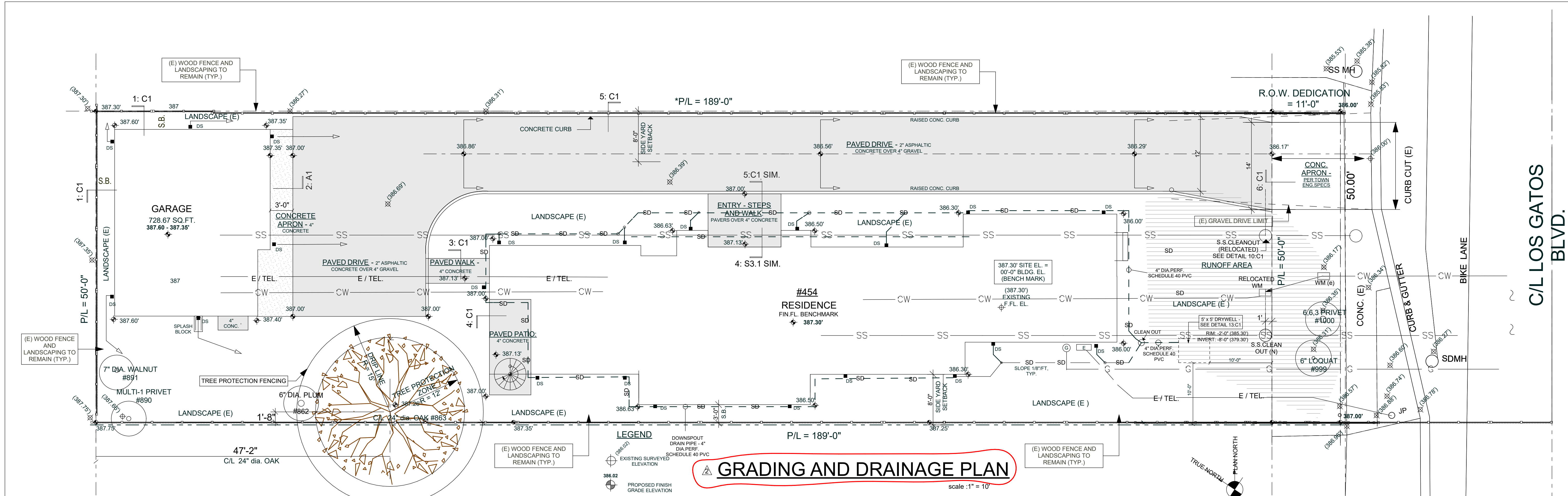
PLAN REVIEW APPROVAL

05.23.2024

TOWN OF LOS GATOS BUILDING DIVISION

PAGE

A12 OF SIXTEEN



GRADING AND DRAINAGE PLAN scale: 1" = 10'

EXCAVATION AND SHORING PLAN scale: 1" = 10'

"STITCH PIER SHORING PLAN" scale: 1/2" = 1'

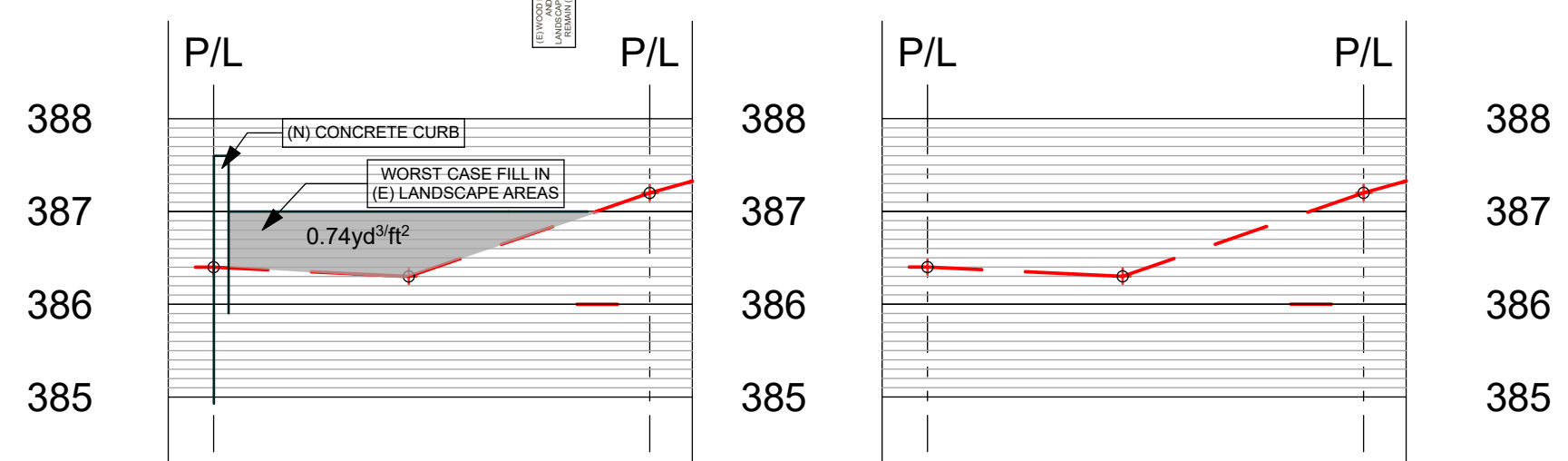
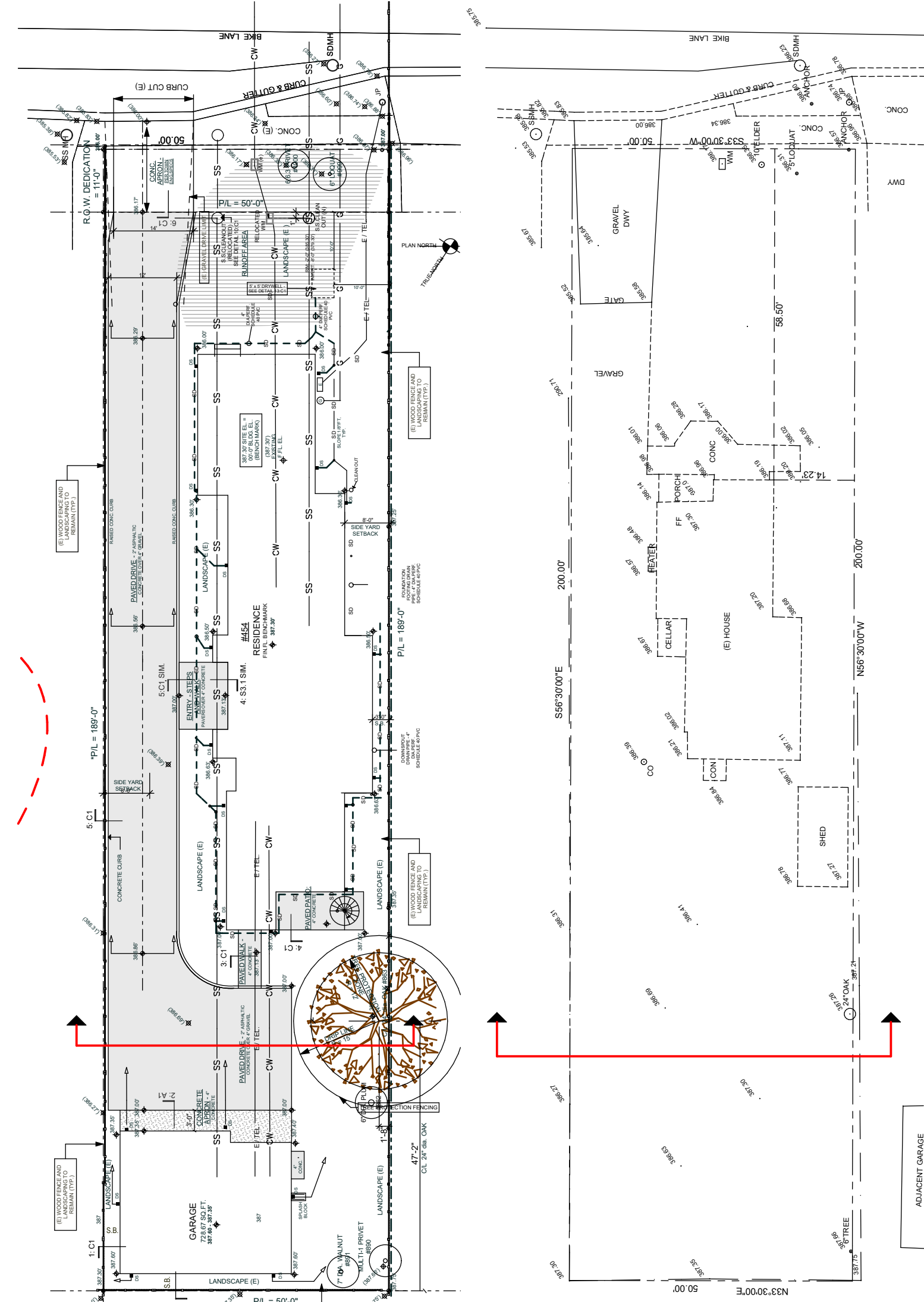
NOTE: STRUCTURAL OBSERVATION DURING EXCAVATION AND PLACEMENT OF SHORING SYSTEM TO BE PROVIDED BY STRUCTURAL SHORING ENGINEER AND SOILS ENGINEER.

9 SHORING DETAILS SECTION A-A SECTION B-B

GRADING AND DRAINAGE PLAN/DETAILS

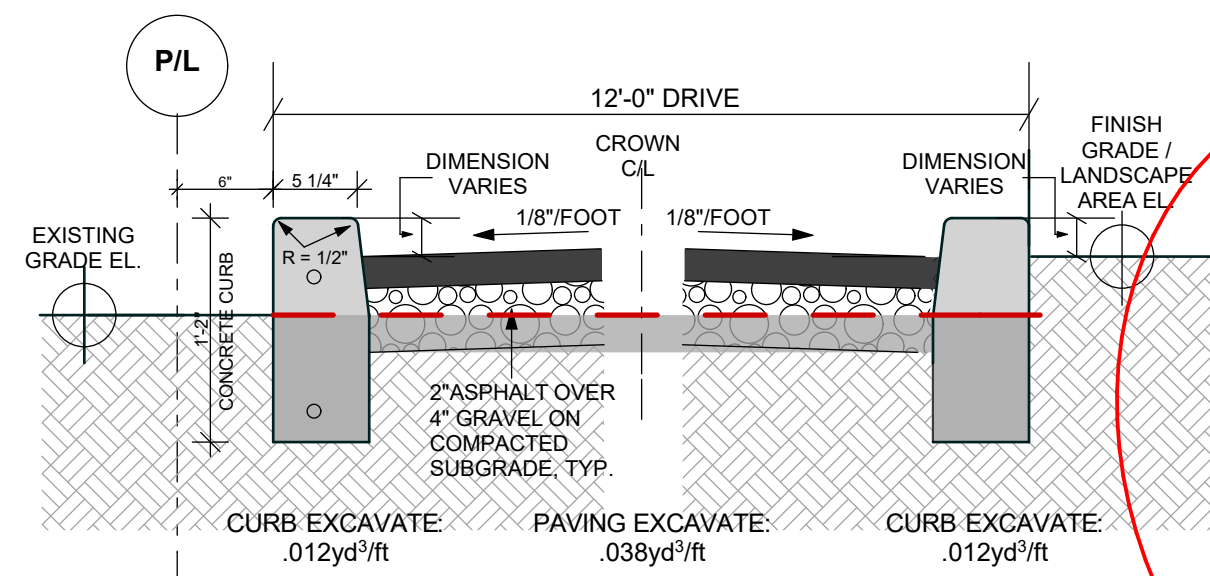
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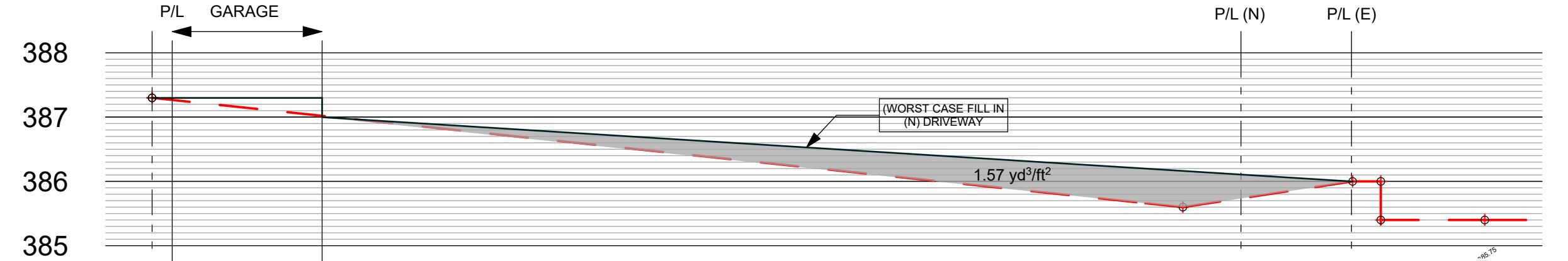


PROPOSED SITE PLAN
 SCALE: 1" = 20'

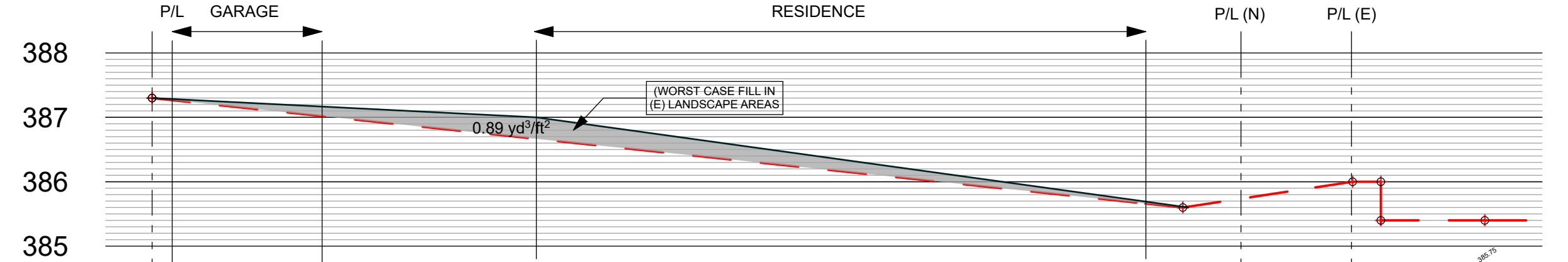
EXISTING SITE CONDITION
 SCALE: 1" = 20'



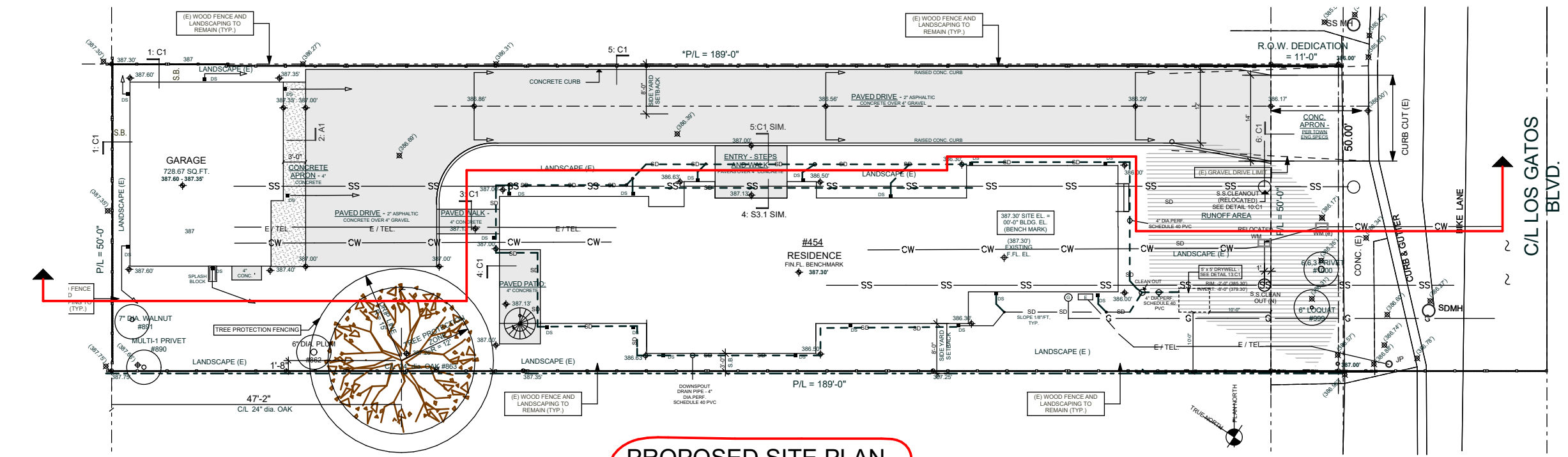
PROPOSED DRIVE CROSS-SECTION
 SCALE: 1" = 1'



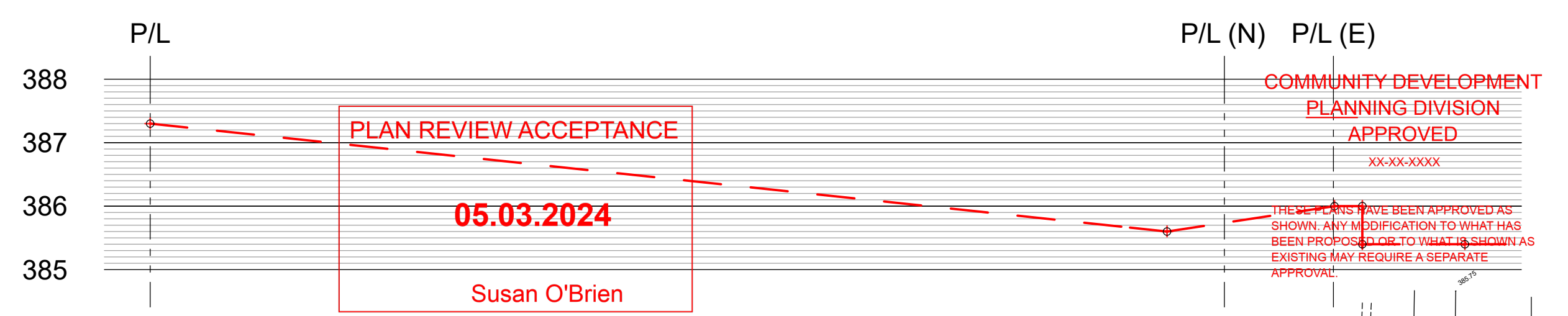
SITE PROFILE AT NEW DRIVE



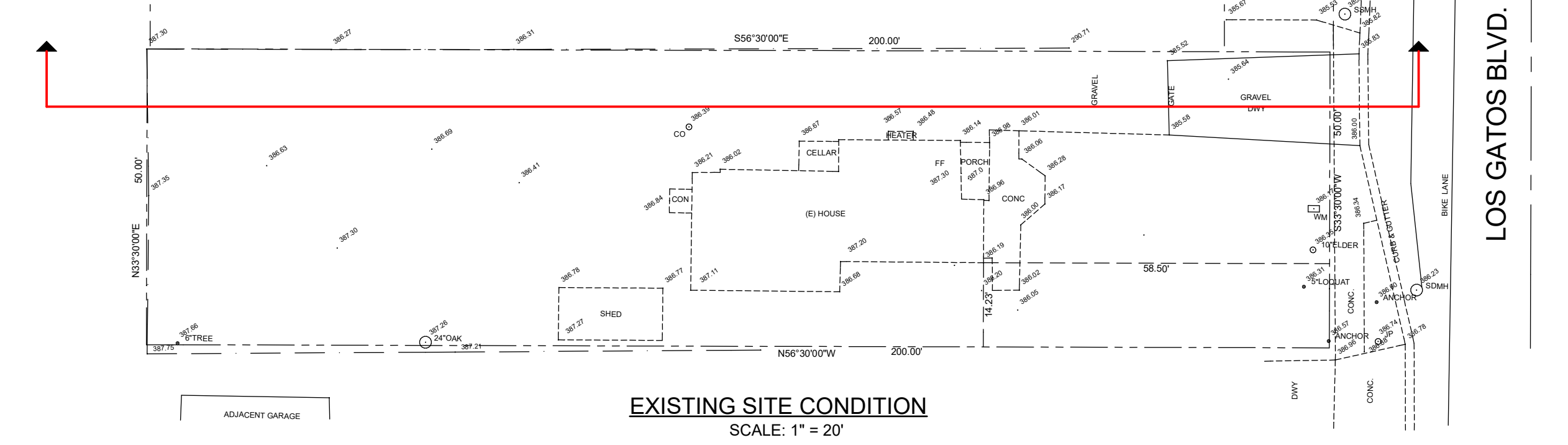
SITE PROFILE AT LANDSCAPE AREAS



PROPOSED SITE PLAN
 SCALE: 1" = 20'



COMMUNITY DEVELOPMENT
 PLANNING DIVISION
 APPROVED
 XX-XX-XXXX
 (THESE PLANS HAVE BEEN APPROVED AS SHOWN. ANY MODIFICATION TO WHAT HAS BEEN PROPOSED WILL BE AT THE SUBMITTER'S RISK. EXISTING MAY REQUIRE A SEPARATE APPROVAL.)



EXISTING SITE CONDITION
 SCALE: 1" = 20'

SITE ELEMENT	EARTHWORK (CY)		MAX CUT/FILL DEPTH (FT)		C/Y	
	CUT	FILL	CUT	FILL	IMPORT	EXPORT
DRIVEWAY/PARKING	15.12	19.50	0.50	0.60	19.50	15.12
BLDG. FOOTPRINT			EXEMPT			
LANDSCAPE	2.62	0.0	0.40		0.00	2.62
MISC. HARDSCAPE	5.35	3.16	0.62	0.34	3.16	5.35
GARAGE			EXEMPT			
TOTAL	23.09	22.66			45.65 TOTAL	

LEGEND

- 386.50' SPOT ELEVATION (PROPOSED)
- 386.50' SPOT ELEVATION (EXISTING, BY WESTFALL TOPOGRAPHIC SURVEY)
- PROPOSED PERVIOUS SURFACE WATER RUNOFF AREA
- 386 1 FOOT CONTOUR (EXISTING/PROPOSED)

GRADING AND DRAINAGE PLAN/DETAILS

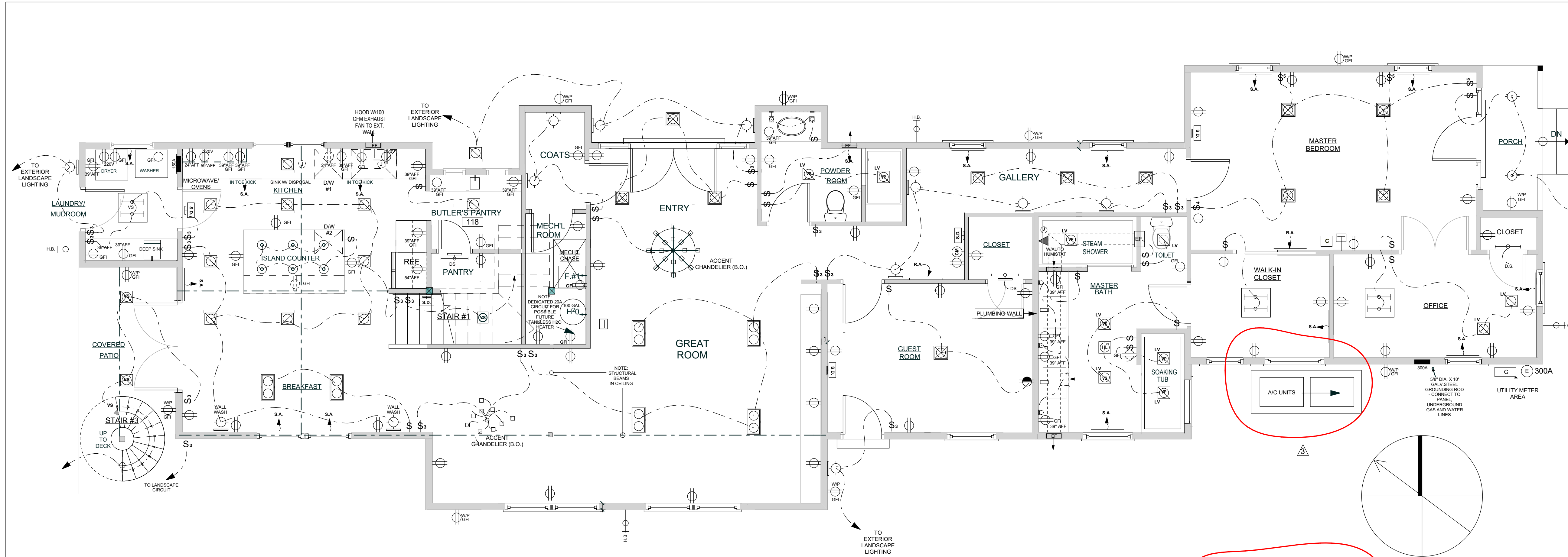
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05.23.2024

MARCH 2023 TOWN OF LOS GATOS
 BUILDING DIVISION

PAGE

C2.0
 OF TWO



LEGEND	
[Symbol]	DESCRIPTION
[Symbol]	SINGLE RECEPTACLE 125V 20A SPEC GRADE
[Symbol]	1/2 SWITCHED DUPLEX RECEPTACLE 125V 20A SPEC GRADE
[Symbol]	DUPLEX RECEPTACLE 125V 20A SPEC GRADE
[Symbol]	DUPLEX RECEPTACLE 125V 20A WP = WATERPROOF W/COVER PLATE
[Symbol]	DUPLEX RECEPTACLE 125V 20A GROUND FAULT CIRCUIT INTERRUPT
[Symbol]	DUPLEX FLOOR RECEPTACLE 125V 20A SPEC GRADE
[Symbol]	RECEPTACLE OUTLET SPECIAL
[Symbol]	200/240 RECEPTACLE 4 WIRE
[Symbol]	DIMMER SWITCH SINGLE POLE 20A SPEC GRADE
[Symbol]	DIMMER SWITCH 2 POLE 20A SPEC GRADE
[Symbol]	DIMMER SWITCH 3 WAY 20A SPEC GRADE
[Symbol]	DIMMER SWITCH 4 WAY 20A SPEC GRADE
[Symbol]	LUTRON KEYPAD
[Symbol]	LUTRON CIRCUIT
[Symbol]	TELEPHONE JACK
[Symbol]	DATA OUTLET
[Symbol]	CABLE SATELLITE TELEVISION OUTLET/CATV
[Symbol]	DOORBELL PUSHBUTTON
[Symbol]	WALL MOUNTED LIGHT FIXTURE
[Symbol]	RECESSED LIGHT FIXTURE - FIXED
[Symbol]	RECESSED LIGHT FIXTURE - ADJUSTABLE
[Symbol]	RECESSED WALL WASH FIXTURE
[Symbol]	MULTI-LIGHT RECESSED LIGHT - LED FIXTURE
[Symbol]	MULTI-LIGHT RECESSED LIGHT
[Symbol]	PLUCK LIGHT FIXTURE
[Symbol]	CEILING MOUNTED LIGHT FIXTURE
[Symbol]	CHANDELLIER
[Symbol]	VAPOR PROTECTED RECESSED LIGHT FIXTURE
[Symbol]	LEED STRIP LIGHTING
[Symbol]	FLUORESCENT LIGHT FIXTURE
[Symbol]	UNDER-CABINET LIGHTING
[Symbol]	PLUG-MOLD STRIP
[Symbol]	SMOKE DETECTOR
[Symbol]	SPEAKER
[Symbol]	CARBON MONOXIDE DETECTOR - HARD WIRED
[Symbol]	MOTION DETECTOR 360 DEGREE LITHONIA MODEL - LUSC H
[Symbol]	EXHAUST FAN - VENTED TO OUTSIDE
[Symbol]	ELECTRICAL CIRCUIT PANEL
[Symbol]	CEILING FAN RECEPTACLE LOCATION
[Symbol]	FIXTURE OPERATED BY PULL CHAIN
[Symbol]	FIXTURE OPERATED BY DOOR HINGE SWITCH
[Symbol]	RECESSED LOW VOLTAGE DOWNLIGHT
[Symbol]	EXHAUST FAN W/ LIGHT COMBINATION
[Symbol]	ELECTRICAL JUNCTION BOX FOR FUTURE CONNECTION
[Symbol]	RECESSED HIGH EFFICACY STEPLIGHT WIRELESS
[Symbol]	THERMOSTAT - WALL MOUNTED
[Symbol]	HVAC REGISTER IN WALL - SUPPLY AIR
[Symbol]	HVAC REGISTER IN WALL - RETURN AIR
[Symbol]	HVAC REGISTER IN CEILING - SUPPLY AIR
[Symbol]	HVAC REGISTER IN CEILING - RETURN AIR
[Symbol]	GAS SUPPLY OUTLET
[Symbol]	FLOOR BISS
[Symbol]	FLOOR DRAIN
[Symbol]	FIXTURE CONTRIBUTING TO COMMUNITY DEVELOPMENT
[Symbol]	FIXTURE CONTRIBUTING TO ENVIRONMENTAL IMPROVEMENT

REVISED:
 October 2023
 January 2024
 April 2024

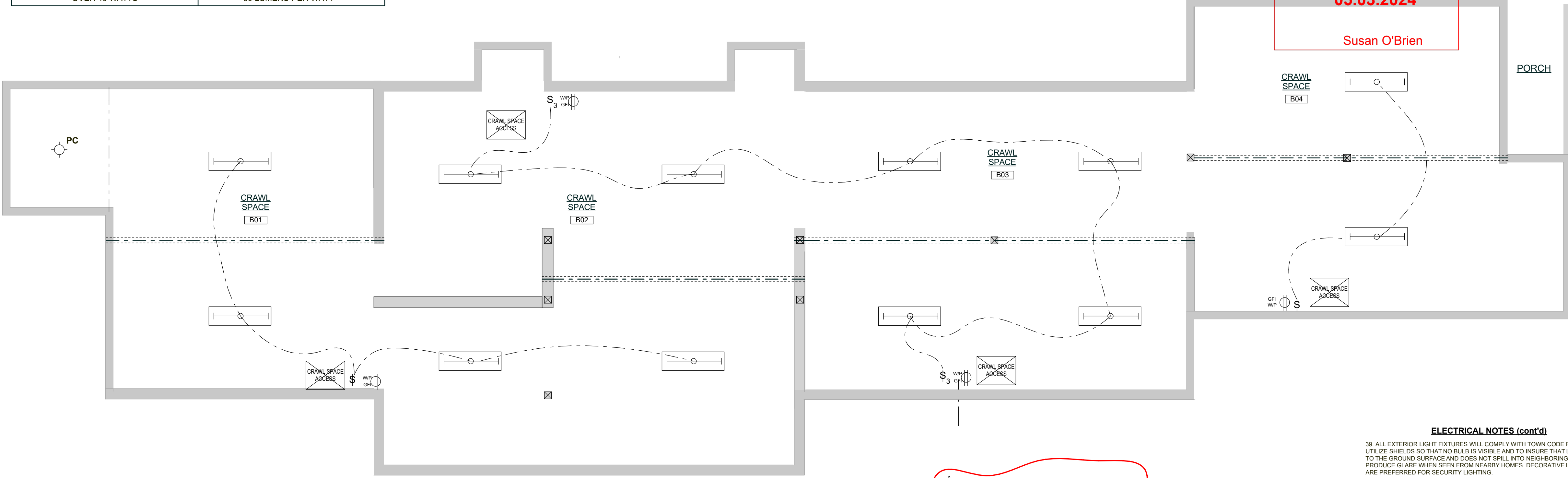
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REMODEL & ADDITION
 445 Los Gatos Blvd., Los Gatos, CA 95032

TABLE 150-C
HIGH EFFICIENCY LAMP REQUIREMENTS

LAMP POWER RATING	MINIMUM LAMP EFFICACY
15 WATTS OR LESS	40 LUMENS PER WATT
OVER 15 TO 40 WATTS	50 LUMENS PER WATT
OVER 40 WATTS	60 LUMENS PER WATT

MAIN FLOOR
 PLAN REVIEW ACCEPTANCE
 05.03.2024
 Susan O'Brien



CRAWL SPACE

MAIN LEVEL & CRAWL SPACE
MECHANICAL/ELECTRICAL PLANS
 scale: 1/4" = 1'

- ELECTRICAL NOTES**
- PROVIDE OUTLETS AS INDICATED & AS REQUIRED BY CODE.
 - PROVIDE GFCI OUTLETS AS REQUIRED BY CODE.
 - VERIFY & LOCATE ALL SWITCHES & FIXTURES IN THE FIELD PRIOR TO INSTALLATION.
 - ALL SWITCHES TO BE ON DIMMERS UNLESS OTHERWISE NOTED OR APPROVED.
 - PROVIDE COLOR BALANCED FLUORESCENT/LED LIGHTING.
 - CONTRACTOR TO VERIFY POWER RANGES FOR RANGE AND HOOD (110 OR 220).
 - PROVIDE ELECTRICAL SERVICE TO ALL APPLIANCES, HVAC EQUIPMENT, ETC. AS REQUIRED.
 - VERIFY ELECTRICAL SERVICE AND CIRCUITS ARE ADEQUATE FOR THE PROPOSED WORK.
 - MODIFY AS REQUIRED.
 - PROVIDE SMOKE DETECTORS AS REQUIRED BY CODE.
 - PROVIDE ALL LIFE SAFETY EQUIPMENT AS REQUIRED BY CODE.
 - VERIFY LOCATION OF EXISTING FIXTURES, ELECTRICAL BOX AND CONNECTION TO REMAIN. SEE SPEC FOR FIXTURE SELECTION.
 - ALL KITCHEN LIGHTS TO BE HIGH EFFICACY.
 - PROVIDE ARC-FAULT PROTECTION AT ALL ROOMS AS REQUIRED BY 210.12 CEC.
 - RECEPTACLES TO COMPLY WITH ARTICLE 400.6 CEC - TAMPER PROOF.
 - PROVIDE GFI PROTECTION FOR ALL BATH AND ABOVE COUNTER RECEPTACLES AS REQ BY CODE.
 - PROVIDE SEPARATE CIRCUITS FOR BATH (20 AMP), SMALL APPLIANCE CIRCUITS AT KITCHEN (2 @ 20 AMP), GARBAGE DISPOSAL, DISHWASHER, LAUNDRY (20 AMP) AND EXTERIOR HOT TUB AS NOTED AND REQUIRED.
 - RECESSED LIGHTS TO BE AT A KIC RATED AND CALKED BETWEEN FIXTURE AND CEILING GYP BD.
 - PROVIDE DIMMERS, OCCUPANCY SENSORS AND MOTION DETECTORS FOR ALL LIGHTING SHOWN.
 - ALL CLOSET FIXTURES TO COMPLY W/ 410.8 CEC.
 - PROVIDE OCCUPANCY OR VACANCY SENSORS LIGHTING AT ALL BATHS.
 - A HERS RATER SHALL VERIFY THAT INSTALLED RANGE HOODS ARE LISTED IN THE HVI CERTIFIED HOME VENTILATING PRODUCTS DIRECTORY AND HAVE BEEN HVI-CERTIFIED AS MEETING ASHRAE 62.2 VENTILATION AND SOUND REQUIREMENTS. PROVIDE EVIDENCE OF HERS CERTIFICATION TO TOWN BUILDING INSPECTOR PRIOR TO FINAL INSPECTION.
 - PROVIDE MINIMUM 50 CFM INTERMITTENT AIRFLOW FOR ALL BATHROOM EXHAUST FANS. OR PROVIDE 20 CFM FOR THE CONTINUOUSLY OPERATING BATHROOM EXHAUST FANS.
 - VENTILATION, HEATING, AND AIR CONDITIONING SYSTEMS SHALL HAVE MERV 13 FILTERS OR BETTER.
 - ALL LIGHTING TO BE HIGH EFFICACY (I.E. - PIN-BASED CFL; PULSE-START MH; GU-24 SOCKETS OTHER THAN LED; LED LUMINAIRES WITH INTEGRAL SOURCE, ETC.) PER 2019 CAL ENERGY CODE SECTION 150.0 FOR LIGHTING.
 - ALL SCREW-BASED, PERMANENTLY INSTALLED LIGHT FIXTURES MUST CONTAIN SCREW-BASED JAB (JAB-2019) OR COMPLIANT LAMPS. JAB COMPLIANT LIGHT SOURCES MUST BE MARKED AS "JAB-2019" OR "JAB-2019-E" ("JAB-2019-E" LUMINAIRES ARE STILL ALLOWED IN ENCLOSED LUMINAIRES THROUGH THE END OF THE 2019 CODE CYCLE).
 - LOCATIONS FOR JAB COMPLIANT LIGHT SOURCES CONTROLLED BY VACANCY SENSORS OR DIMMERS (EXCEPTION: CLOSETS LESS THAN 70 S.F. AND HALLWAYS):
 1) CEILING RECESSED DOWNLIGHT LUMINAIRES;
 2) LED LUMINAIRES WITH INTEGRAL SOURCES;
 3) PIN-BASED LED LAMPS (I.E. MR-16, MR-11, ETC.);
 4) GU-24 BASED LED LIGHT SOURCES.
 - ANY NIGHT LIGHTS, STEP LIGHTS, PATH LIGHTS, AND LIGHT SOURCES INTEGRAL TO DRAWERS, CABINETS, AND LINEN CLOSETS TO BE HIGH EFFICACY AND CONTROLLED BY A VACANCY SENSOR.
 - ALL OUTDOOR LIGHTING TO BE HIGH EFFICACY WITH MANUAL ON/OFF SWITCH AND ONE OF THE FOLLOWING:
 1) PHOTOCONTROL AND MOTION SENSOR;
 2) PHOTOCONTROL AND AUTOMATIC TIME SWITCH CONTROL;
 3) ASTRONOMICAL TIME SWITCH CONTROL;
 4) ENERGY MANAGEMENT CONTROL SYSTEMS.
 - COMPLETE CABLE-TIEABLE FORM TO BE PROVIDED TO TOWN BUILDING INSPECTOR PRIOR TO FINAL INSPECTION.
 - REQUIRED BATHROOM OUTLETS SHALL BE SERVED BY A DEDICATED 20A CIRCUIT. THIS CIRCUIT CANNOT SUPPLY ANY OTHER FIXTURES (S. LIGHTS, FANS, ETC.). EXCEPTION: WHERE THE CIRCUIT SUPPLIES A SINGLE BATHROOM ONLY, OUTLETS FOR OTHER EQUIPMENT WITHIN THE SAME BATHROOM SHALL BE PERMITTED TO BE SUPPLIED.
 - ALL 125V, 15A & 20A OUTLETS FOR RECEPTACLES, LIGHTS, AND SMOKE ALARMS INSTALLED IN BEDROOMS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER (GFCI) LISTED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT.
 - LIGHT FIXTURES IN TUB AND SHOWER ENCLOSURES SHALL BE LABELED AS "TO BE SUITABLE FOR DAMP LOCATIONS".
 - NEW SMOKE ALARMS TO BE 110V WITH BATTERY BACK UP AND SHALL BE AUDIBLE IN ALL SLEEPING AREAS.
 - ALL RECESSED LUMINAIRES IN INSULATED CEILINGS TO BE IC-RATED AND AIR-TIGHT (AT). RECESSED FLUORESCENT LUMINAIRES TO HAVE ELECTRONIC BALLASTS.
 - LIGHTING IN BATHROOMS, GARAGES, LAUNDRY ROOMS, AND/OR UTILITY ROOMS MUST BE HIGH EFFICACY AND MUST BE CONTROLLED BY A MANUAL-ON OCCUPANCY SENSOR. SEE CIRC TABLE 150-C.
 - ALL BRANCH CIRCUITS THAT SUPPLY OUTLETS INSTALLED IN DWELLING UNIT KITCHENS, FAMILY ROOMS, LIVING ROOMS, DINING ROOMS, PARLORS, LIBRARIES, DEN, BEDROOMS, SLEEPING PORCHES, CLOSETS, HALLWAYS, LAUNDRY ROOMS, BATHS OR SIMILAR AREAS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER.
 - MANUAL SWITCH FOR WHOLE BUILDING VENTILATION TO BE LABELED "THIS SWITCH CONTROLS THE INDOOR AIR QUALITY VENTILATION FOR THE HOME. LEAVE IT ON UNLESS OUTDOOR AIR QUALITY IS POOR."

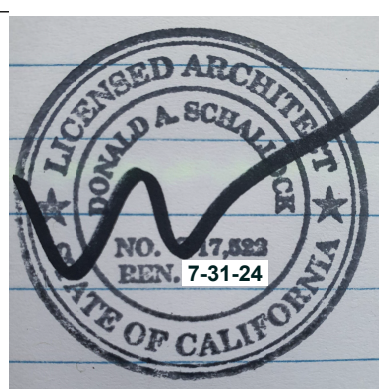
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05.23.2024

MARCH 2023 TOWN OF LOS GATOS
 BUILDING DIVISION

don schallock
 Architect AIA

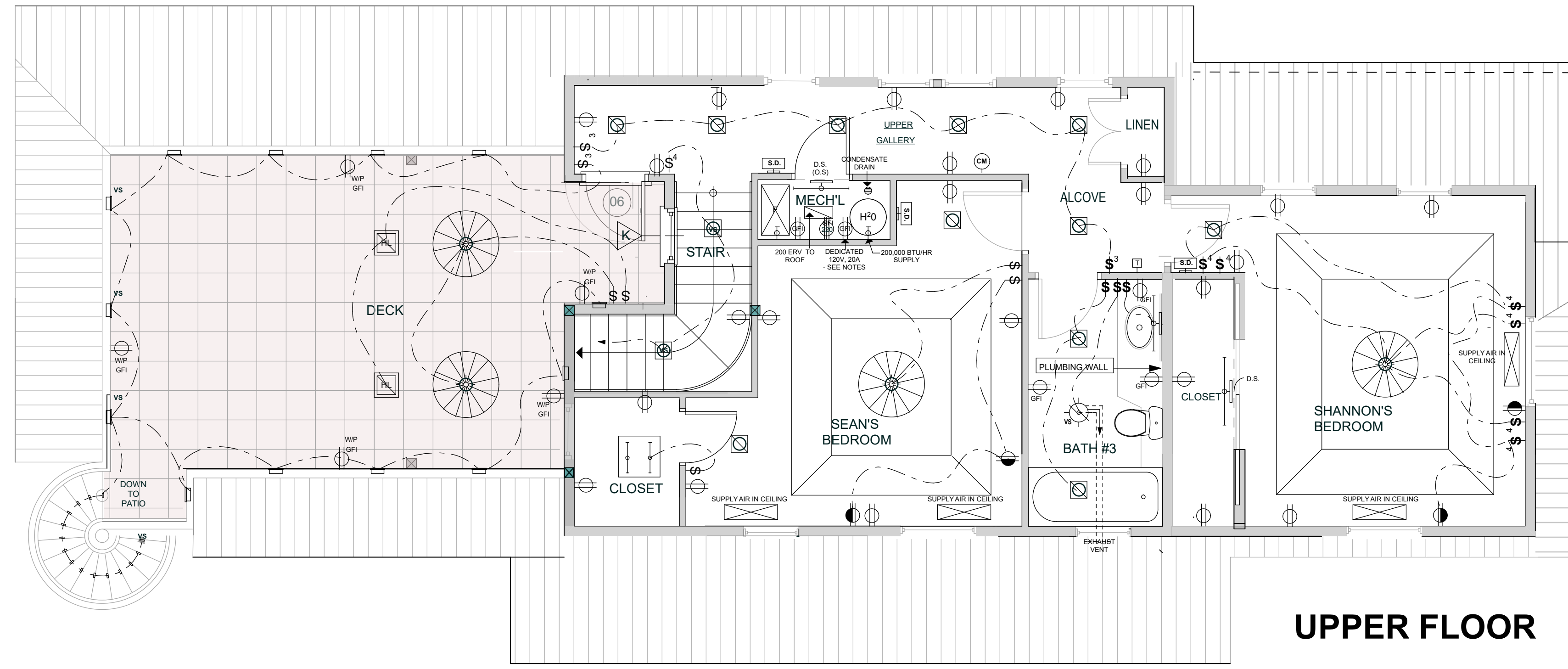
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 by
design



PAGE
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MECHANICAL NOTES

1. TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS SHALL BE A MINIMUM OF 3 FEET FROM ANY OPENINGS INTO THE BUILDING (I.E.: DRYERS, BATH AND UTILITY FANS, ETC.; AND FROM DOORS, WINDOWS, OPENING SKYLIGHTS OR ATTIC VENTS).
2. SHOWER AND TUB SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE.
3. DRAINAGE PIPING FOR ALL FIXTURES THAT HAVE FLOOD LEVEL RIMS LESS THAN 12 INCHES ABOVE THE ELEVATION OF THE NEXT UPSTREAM MANHOLE SHALL HAVE AN APPROVED BACKWATER VALVE.
4. TOILET CLEARANCE: 24" MIN. IN FRONT, AND 15" ON EACH SIDE, WHERE MEASURED FROM THE CENTERLINE OF THE FIXTURE.
5. VENTILATION REQUIRED BY MECHANICAL VENTILATION (I.E., EXHAUST FAN).
6. SHOWER COMPARTMENTS MUST HAVE A FINISHED INTERIOR NO LESS THAN 1024 SQ. INCHES AND SHALL ENCOMPASS A MIN. 30" CIRCLE.
7. SHOWER AND TUB/SHOWER SHALL HAVE A SMOOTH, HARD, NON-ABSORBENT SURFACE (I.E., CERAMIC TILE OR FIBERGLASS) OVER A MOISTURE RESISTANT UNDERLAYMENT (E.G., W/R GYP.) TO A HEIGHT OF 70" ABOVE THE DRAIN INLET.
8. SAFETY GLAZING IS REQUIRED ON WINDOWS WITHIN THE TUB OR SHOWER AREA WHEN THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE A STANDING SURFACE AND DRAIN INLET.
9. ALL PLUMBING FIXTURES AND FITTINGS TO MEET STANDARDS REFERENCED IN TABLE 1701.1 OF THE 2019 CALIFORNIA PLUMBING CODE.
10. ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS AND OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY, OR SIMILAR ACCEPTABLE METHODS.
11. ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEET METAL, OR OTHER ACCEPTABLE METHODS AT THE TIME OF ROUGH INSTALLATION OR DURING STORAGE ON THE CONSTRUCTION SITE - UNTIL FINAL STARTUP OF THE HEATING AND COOLING EQUIPMENT.
12. ALL BATHROOM EXHAUST FANS MUST BE ENERGY STAR COMPLIANT, MUST BE DUCTED TO TERMINATE OUTSIDE THE BUILDING, AND MUST BE CONTROLLED BY A HUMIDISTAT WHICH IS READILY ACCESSIBLE.
13. ALL HEATING AND AIR-CONDITIONING SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF CGBCS SECTION 4.507.2
14. PROVIDE 100 CFM MIN. INTERMITTANT AIR FLOW FOR KITCHEN RANGE HOOD/MICROWAVE COMBINATION WITH A SOUND RATING OF THREE (3) SOME OR LESS.
15. 50 CFM MIN. INTERMITTANT AIRFLOW FOR ALL BATHROOM EXHAUST FANS.
16. PROVIDE MERV 13 FILTERS OR BETTER FOR ALL HVAC AND VENTILATION SYSTEMS.
17. PROVIDE PRESSURE RELIEF VALVE WITH DRAIN TO OUTSIDE AT ALL WATER HEATER SYSTEMS.
18. NO DISHWASHER SHALL BE DIRECTLY CONNECTED TO A DRAINAGE SYSTEM OR FOOD WASTE DISPOSER WITHOUT THE USE OF AN APPROVED DISHWASHER AIR GAP FITTING ON THE DISCHARGE SIDE OF THE DISHWASHING MACHINE. LISTED AIR GAPS SHALL BE INSTALLED WITH THE FLOOD-LEVEL (FL) MARKING AT OR ABOVE THE FLOOD LEVEL OF THE SINK OR DRAINBOARD - WHICHEVER IS HIGHER.
19. PROVIDE DEDICATED 120V, 20A ELECTRICAL RECEPTACLE AT EACH H₂O WATER HEATER LOCATION (FOR FUTURE HEAT PUMP OPTION), WITHIN 3 FEET OF H₂O HEATER. BOTH ENDS OF THE UNUSED CONDUCTOR SHALL BE LABELED "SPARE" AND BE ELECTRICALLY ISOLATED; RESERVE A SINGLE-POLE CIRCUIT BREAKER FOR EACH BRANCH CIRCUIT, LABELED "FUTURE 240V USE".
20. AT EACH MECHANICAL ROOM PROVIDE:
 - 1) A CATEGORY III OR IV VENT, OR A TYPE B VENT WITH STRAIGHT PIPE BETWEEN OUTSIDE TERMINATION AND THE H₂O HEATER SPACE;
 - 2) PROVIDE A CONDENSATE DRAIN NO MORE THAN 2" HIGHER THAN THE INSTALLED H₂O WATER HEATER BASE, THAT ALLOWS NATURAL DRAINING WITHOUT PUMP ASSISTANCE;
 - 3) A GAS SUPPLY LINE WITH A MINIMUM CAPACITY OF AT LEAST 200,000 BTU/HR FOR EACH H₂O WATER HEATER.



UPPER FLOOR

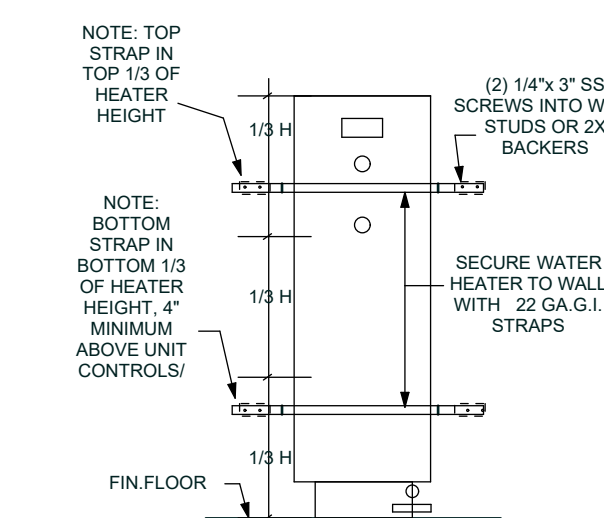
PLUMBING FIXTURE SCHEDULE

- WATER CLOSETS - 1.20 GAL/FLUSH
- RESIDENTIAL SHOWERS HEADS - 1.8 GPM @ 80 PSI
- MULTIPLE SHOWER HEADS - COMBINED FLOW RATE - 1.8 GPM @ 80 PSI.
- LAVATORY FAUCETS - 1.2 GPM @ 60 PSI W/MIN. NOT LESS THAN 0.8 GPM @ 20 PSI.
- 05.03.2024

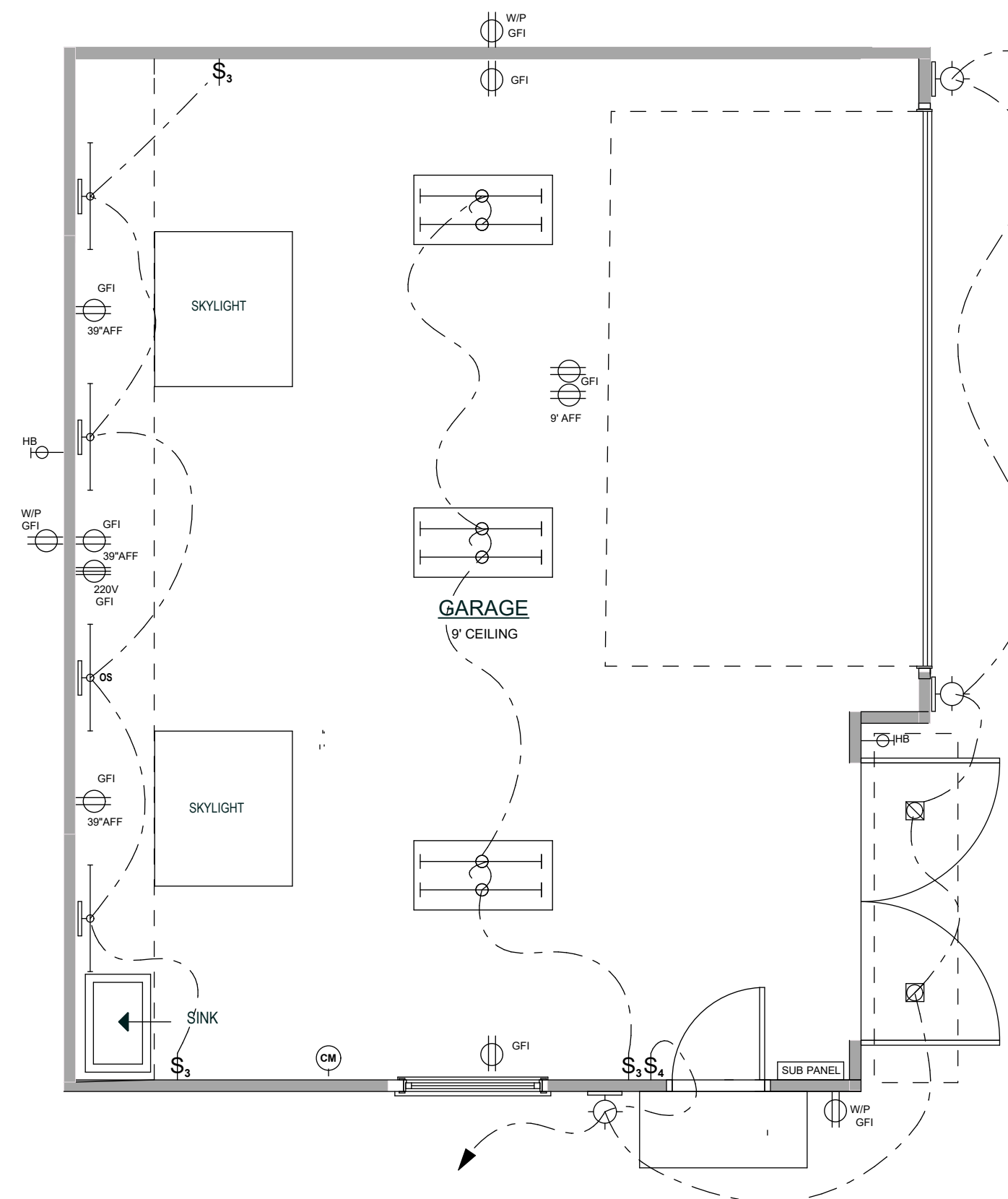
TABLE 150-C SUBSTITUTION REQUIREMENTS

LAMP POWER RATING	MINIMUM LAMP EFFICACY
15 WATTS OR LESS	40 LUMENS PER WATT
OVER 15 TO 40 WATTS	50 LUMENS PER WATT
OVER 40 WATTS	60 LUMENS PER WATT

GAS PIPE SIZING
 MAX DISTANCE - FROM GAS METER TO UPPER LEVEL H₂O HEATER = 100 FT.
 200,000 BTU/HR MIN. INPUT DESIGN CAPACITY.
 200,000 BTU/HR /1100 BTU/FT³ = 182 FT³/HR
 USE 1" DIA. SCHEDULE 40 METAL PIPE (PER CPC TABLES)



1 SEISMIC ANCHOR @ WATER HEATER
 no scale



GARAGE

LEGEND

SYMBOL	DESCRIPTION
⊖	SINGLE RECEPTACLE 125V 20A SPEC GRADE
⊖	1/2 SWITCHED DUPLEX RECEPTACLE 125V 20A SPEC GRADE
⊖	DUPLEX RECEPTACLE 125V 20A SPEC GRADE
⊖	DUPLEX RECEPTACLE 125V 20A WP = WATERPROOF W/COVER PLATE
⊖	DUPLEX RECEPTACLE 125V 20A GROUND FAULT CIRCUIT INTERRUPT
⊖	DUPLEX FLOOR RECEPTACLE 125V 20A SPEC GRADE
⊖	RECEPTACLE OUTLET SPECIAL
⊖	200/240 RECEPTACLE 4 WIRE
⊖	DIMMER SWITCH SINGLE POLE 20A SPEC GRADE
⊖	DIMMER SWITCH 2 POLE 20A SPEC GRADE
⊖	DIMMER SWITCH 3 WAY 20A SPEC GRADE
⊖	DIMMER SWITCH 4 WAY 20A SPEC GRADE
⊖	LUTRON KEYPAD
⊖	LUTRON CIRCUIT
⊖	TELEPHONE JACK
⊖	DATA OUTLET
⊖	CABLE SATELLITE TELEVISION OUTLET/CATV
⊖	DOORBELL PUSHBUTTON
⊖	WALL MOUNTED LIGHT FIXTURE
⊖	RECESSED LIGHT FIXTURE - FIXED
⊖	RECESSED LIGHT FIXTURE - ADJUSTABLE
⊖	RECESSED WALL WASH FIXTURE
⊖	MULTI-LIGHT RECESSED LIGHT - LED FIXTURE
⊖	MULTI-LIGHT RECESSED LIGHT
⊖	PUCK LIGHT FIXTURE
⊖	CEILING MOUNTED LIGHT FIXTURE
⊖	CHANDELIER
⊖	VAPOR PROTECTED RECESSED LIGHT FIXTURE
⊖	LED STRIP LIGHTING
⊖	FLUORESCENT LIGHT FIXTURE
⊖	UNDER-CABINET LIGHTING
⊖	PLUG/MOLD STRIP
⊖	SMOKE DETECTOR
⊖	SPEAKER
⊖	CARBON MONOXIDE DETECTOR
⊖	MOTION DETECTOR 360 DEGREE LITHONIA MODEL - LUSC H
⊖	EXHAUST FAN - VENTED TO OUTSIDE
⊖	ELECTRICAL CIRCUIT PANEL
⊖	CEILING FAN RECEPTACLE LOCATION
⊖	FIXTURE OPERATED BY PULL CHAIN
⊖	FIXTURE OPERATED BY DOOR HINGE SWITCH
⊖	RECESSED LOW VOLTAGE DOWNLIGHT
⊖	EXHAUST FAN W/ LIGHT COMBINATION
⊖	ELECTRICAL JUNCTION BOX FOR FUTURE CONNECTION
⊖	RECESSED HIGH EFFICACY STEPLIGHT WIRELS
⊖	THERMOSTAT - WALL MOUNTED
⊖	HVAC REGISTER IN WALL - SUPPLY AIR
⊖	HVAC REGISTER IN WALL - RETURN AIR
⊖	HVAC REGISTER IN CEILING - SUPPLY AIR
⊖	HVAC REGISTER IN CEILING - RETURN AIR
⊖	GAS SUPPLY OUTLET
⊖	HOSE BIBB
⊖	FLOOR DRAIN
⊖	FIXTURE OPERATED BY COMMUNITY DEVELOPMENT
⊖	FIXTURE OPERATED BY PLANNING DIVISION

EXHAUST VENTILATION
 CONDITIONED FLOOR AREA = 4,134 SQ. FT.
 4,134 SQ. FT. / 100 = 41.34 x 30 CFM = 1240 CFM APPROVED AS PER GREEN APPROVAL
 7.5 CFM x 6 = 45 CFM = 168 CFM REQUIRED. APPROVAL TO WHAT HAS BEEN APPROVED.
 USE: PANASONIC INTELLIBALANCE 200ERV (FV-20VEC1) APPROVAL PER RECORD SEPARATE

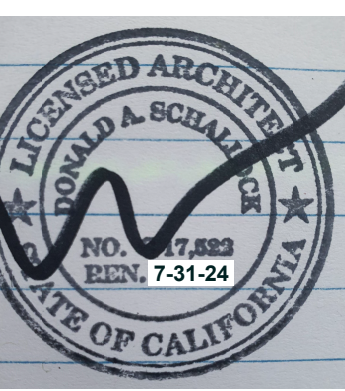
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 October 2023
 January 2024
 April 2024

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 Architect AIA

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UPPER LEVEL/ GARAGE
 MECHANICAL/ ELECTRICAL PLANS

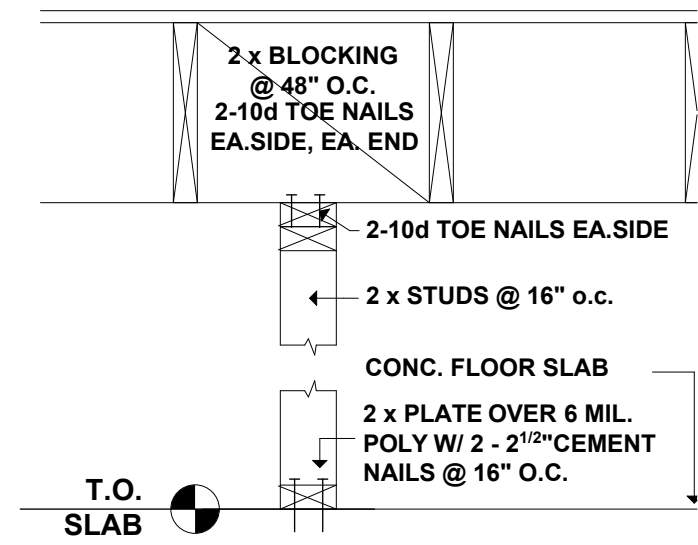
PLAN CHECK STAMP
 PLAN REVIEW APPROVAL

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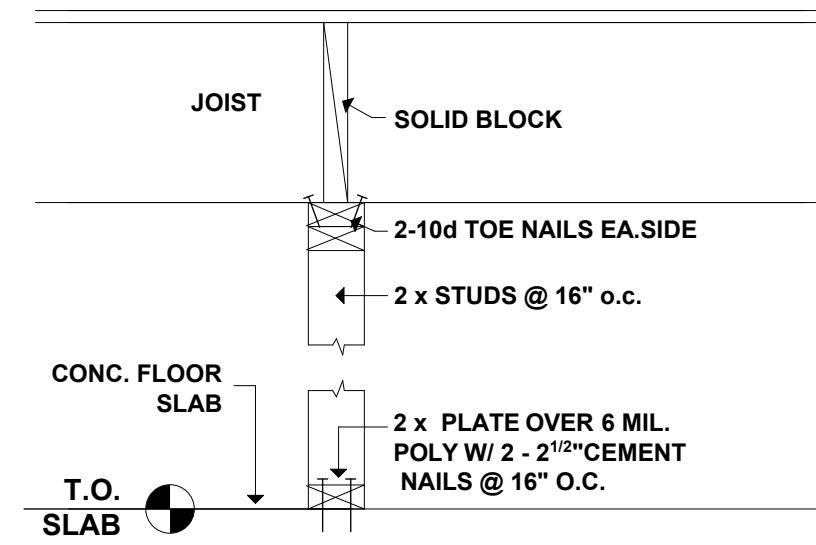
MARCH 2023 TOWN OF LOS GATOS
 BUILDING DIVISION

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 OF TWO

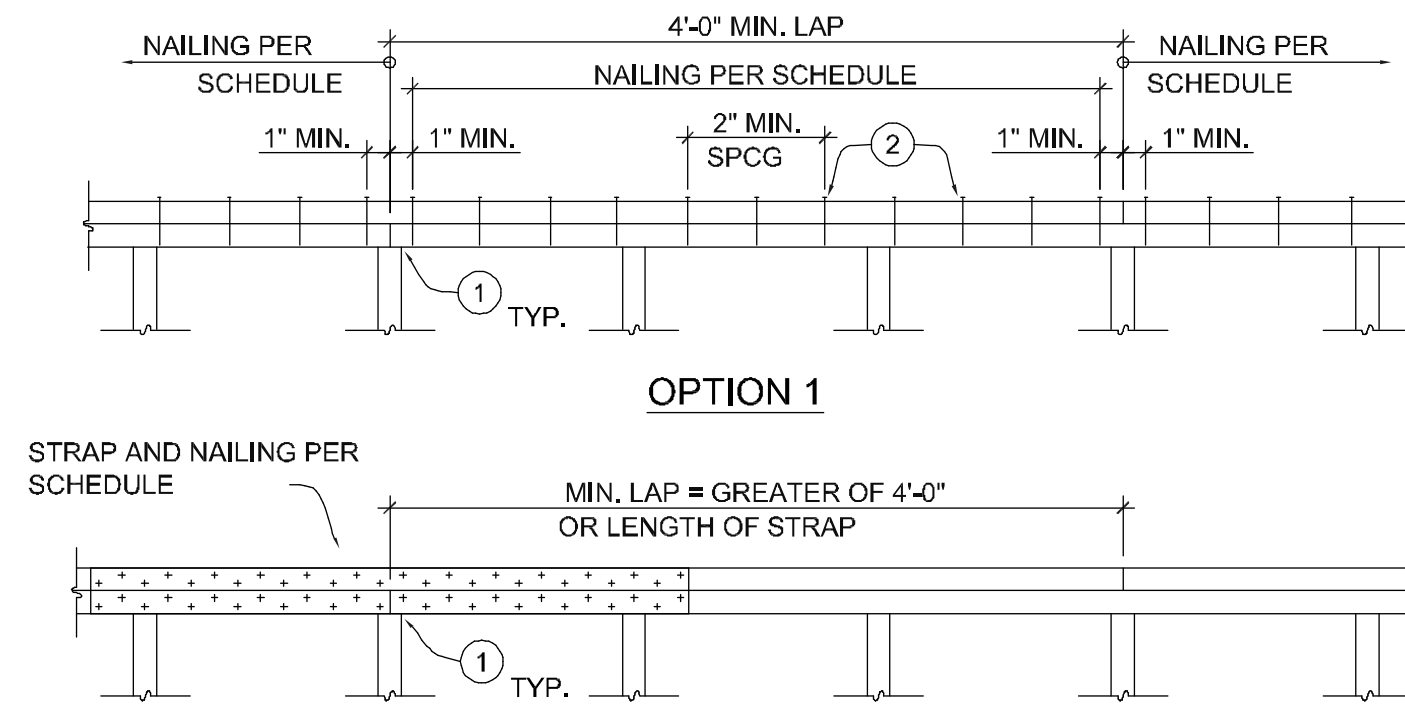
scale: 1/4" = 1'



**NON-BEARING WALL
PARALLEL TO CEILING
JOISTS**
SCALE: 1" = 1'-0"



**NON-BEARING WALL
PERPENDICULAR TO
CEILING JOISTS**
SCALE: 1" = 1'-0"



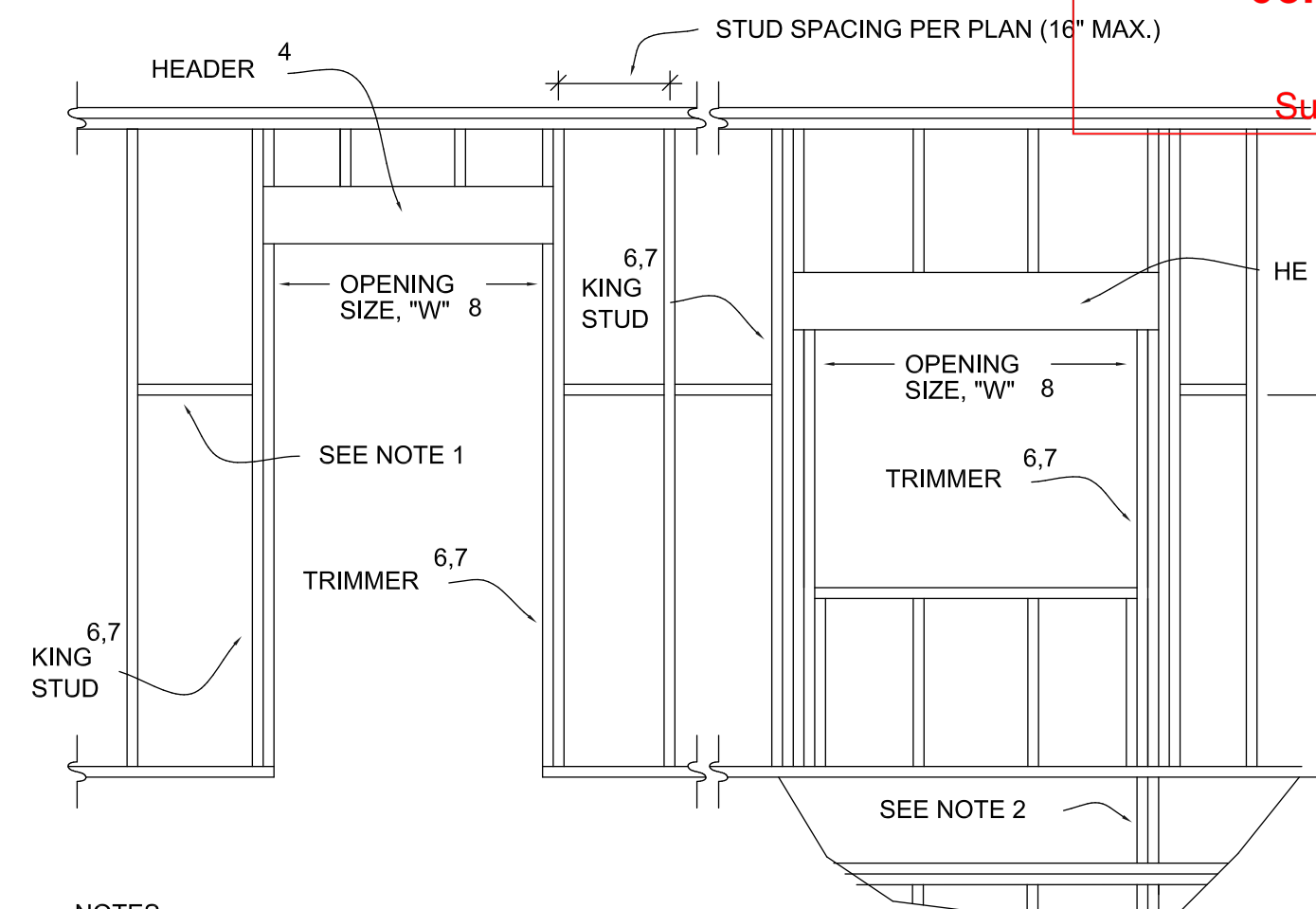
- 1 ALL INTERSECTIONS IN PLATES SHALL BE CENTERED OVER A STUD.
- 2 STAGGER ADJACENT NAILS HORIZONTALLY ACROSS TOP PLATE WIDTH (PROVIDE 1" MIN. EDGE DIST.)

MINIMUM NUMBER OF NAILS LISTED BELOW FOR OPTION 1 SHALL BE USED EACH SIDE OF EACH UPPER & LOWER PLATE INTERSECTION.

MARK	FASTENERS (OPTION 1)	STRAPPING (OPTION 2)	LOAD (LB)
(A)	10 - 16d EA, SIDE OF INTRSCNTNS	LSTA36 STRAP W/ 24 - 16d	1300
(B)	14 - 16d EA, SIDE OF INTRSCNTNS	LSTA36 STRAP W/ 24 - 16d	1640
(C)	18 - 16d EA, SIDE OF INTRSCNTNS	MSTC28 STRAP W/ 36 - 16d	2450
(D)	22 - 16d EA, SIDE OF INTRSCNTNS	MSTC40 STRAP W/ 36 - 16d	2990
(E)	28 - 16d EA, SIDE OF INTRSCNTNS	MSTC40 STRAP W/ 52 - 16d	3750
(F)	34 - 16d EA, SIDE OF INTRSCNTNS	MSTC52 STRAP W/ 62 - 16d	4460
(G)	42 - 16d EA, SIDE OF INTRSCNTNS	MSTC66 STRAP W/ 76 - 16d	5660
(H)	48 - 16d EA, SIDE OF INTRSCNTNS	CMST14 STRAP W/ 88 - 16d	6490

- NOTES:
- TOP PLATES SHALL BE 2x HEM FIR #2 OR BETTER, UNO.
 - ALL NAILS ARE TO BE SINKERS OR BETTER.
 - PROVIDE DESIGNATED CONN. AT ALL TOP PLATE SPLICES AND TOP PLATE / BEAM SPLICES OF MARKED WALL LINES.
 - INSTALL STRAPS PER MANUFACTURER'S SPECIFICATIONS.
 - 2 x 6 MINIMUM TOP PLATE REQUIRED.
 - PROVIDE NAILING PER CODE BETWEEN ALL SPLICES.

TOP PLATE SPLICE SCHEDULE



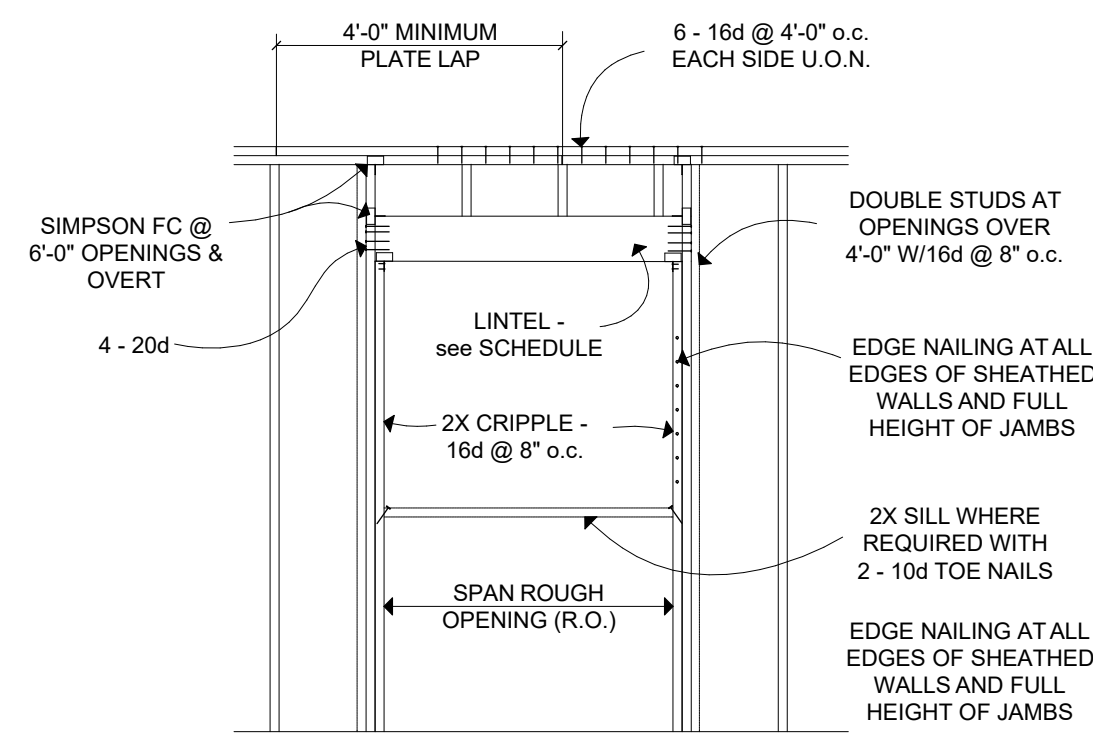
- NOTES:
- BLOCK AT PLYWOOD SPLICES AND PROVIDE MAXIMUM UNBRACED STUD LENGTHS PER NOTE 6-1 SHEET S-1.
 - BLOCK SOLID AT MULTIPLE STUDS & CONTINUE MULTIPLE STUD GROUPS TO FOUNDATION, UNO.
 - TRIMMER AND KING STUD WIDTHS TO MATCH WALL STUD WIDTHS.
 - HEADERS TO BE PER NOTE 6-28 ON SHEET S-1.
 - PROVIDE LUMBER GRADE PER NOTE 6-20, 7-1 AND 7-4 ON SHEET S-1.
 - ATTACH MULTIPLE MEMBERS PER NOTE 6-24 ON SHEET S-1.
 - KING STUDS AND TRIMMERS MUST OCCUR ON EA. SIDE OF OPENINGS. WHERE KING STUDS CANN OCCUR ON EA. SIDE OF AN OPENING DUE TO THE PRESENCE OF ADJACENT OPENINGS, THE NUM OF KING STUDS PROVIDED SHALL BE BASED ON THE TOTAL WIDTH (SUM OF THE OPENING SIZES ALL OPENINGS).
 - FOR OPENINGS WIDER THAN 16'-0", CHECK WITH ENGINEER FOR REQUIREMENTS.

OPENING SIZE	TRIMMERS	KING STUDS
"W" <= 4'-0"	(1) 2X	(1) 2X
4'-0" < "W" <= 6'-0"	(2) 2X	(2) 2X
6'-0" < "W" <= 8'-0"	(2) 2X	(2) 2X
8'-0" < "W" <= 10'-0"	(3) 2X	(3) 2X
10'-0" < "W" <= 12'-0"	(3) 2X	(3) 2X
12'-0" < "W" <= 14'-0"	(4) 2X	(4) 2X
14'-0" < "W" <= 16'-0"	(4) 2X	(4) 2X

WALL OPENING SCHEDULE

	SPAN	LINTEL	CRIPPLE
BEARING WALLS	3'-6" MAX.	4 X 6	2 X 4
	3'-7" to 6'-2"	4 X 8	2 X 4
	6'-3" to 10'-0"	4 X 10	3 X 4
	10'-1" to 12'-0"	4 X 14	4 X 4
	12'-1" to 14'-0"	4 X 16	4 X 4
NON-BEARING WALLS	5'-0" MAX.	4 X 4	2 X 4
	5'-1" to 8'-0"	4 X 6	2 X 4
	8'-1" to 10'-0"	4 X 8	2 X 4

- NOTES:
- SCHEDULE IS FOR 4" STUD WALLS. AT 6" STUDS USE 6 X MEMBERS.
 - SIZES ABOVE APPLY UNLESS NOTED OTHERWISE ON PLANS OR DETAILS.
 - LINTELS THAT DO NOT HAVE ROOF PURLINS OR FLOOR JOISTS BEARING ABOVE THEM MAY BE AS NOTED FOR NON-BEARING WALLS.



SHEAR WALL SCHEDULE							
SHEAR WALL	1	2	3	4	5	6	7
ALLOWABLE LOAD/FOOT	210	300	390	510	610	780	940
3/8" CDX PLYWOOD OR EXT. RATED OSB 1,2	1 SIDE	1 SIDE	1 SIDE	1 SIDE	2 SIDES	2 SIDES	2 SIDES
EDGE NAILING 4	8d @ 6"	8d @ 4"	8d @ 3"	8d @ 2"	8d @ 4"	8d @ 3"	10d @ 3"
FIELD NAILING 4	8d @ 12"	8d @ 12"	8d @ 12"	8d @ 12"	8d @ 12"	8d @ 12"	10d @ 12"
FOUNDATION SILL PLATE THICKNESS	1 1/2"	1 1/2"	1 1/2"	1 1/2"	2 1/2"	2 1/2"	2 1/2"
CLIP BLOCK TO PLATE 5	LS50 @ 24"	LS50 @ 16"	LS90 @ 20"	LS90 @ 14"	LS90 @ 12"	LS90 @ 10"	LS90 @ 8"
5/8" Ø A.B. SPACING 6	48" o.c.	34" o.c.	16" o.c.	12" o.c.	26" o.c.	20" o.c.	18" o.c.

- NOTES:
- OVER SPRUCE PINE FIR STUDS @ 16" O.C., HEM-FIR TOP AND BOTTOM PLATES ARE OKAY
 - ALL PANEL EDGES BACKED WITH 2-INCH NOMINAL OR WIDER FRAMING U.O.N.
 - ALL VERTICAL STUDS RECEIVING EDGE NAILING FROM ABUTTING PANELS SHALL BE APPLIED OVER 3-INCH NOMINAL OR WIDER FRAMING WITH NAILS STAGGERED.
 - NAILS SHALL BE SINKERS. IF MACHINE NAILS ARE USED, NAILS WITH A PARTIAL HEAD ARE NOT PERMITTED.
 - SIMPSON MANUFACTURED CLIPS AT 24" O.C. FOR ENTIRE BALANCE OF WALL LINE. "BLOCK" MAY BE TRUSS CHORD OR RAFTER PER DETAIL.
 - ANCHOR BOLTS SHALL HAVE A MINIMUM 3" X 3" X 1/4" THICK PLATE WASHER.
 - FOR ANCHOR BOLTS REQ'D IN RETROFIT SITUATIONS, SEE NOTE 6-3 ON SHEET S-1.
 - USE 5/8" DIA. MIN. ANCHOR BOLTS IN SEISMIC DESIGN CATEGORIES E AND F.

HOLDOWNS AT SECOND FLOOR				
MARK	STRAP 1	FASTENERS REQUIRED	STUDS OR POST	HOLDOWN ALTERNATE (ABOVE AND BELOW)
28	MSTC28	16- 16d NAILS	2- 2x STUDS	HDU2 W/ 5/8" DIA. THREADED ROD
40	MSTC40	36- 16d NAILS	4x POST	HDU4 W/ 5/8" DIA. THREADED ROD
52	MSTC52	48- 16d NAILS	4x POST	HDU4 W/ 5/8" DIA. THREADED ROD
78	MSTC78	76- 16d NAILS	4x6 POST	HDU8 W/ 1" DIA. THREADED ROD
12	CMST12 W/ C.L. = CLR SPN + 90"	100- 16d NAILS	4x8 OR 6x6 POST	HDU11 W/ 1" DIA. THREADED ROD

- NOTES:
- THE MAXIMUM CLEAR SPAN BETWEEN (TOP OF BOTTOM SILL) PLATE AT FLOOR BELOW SHALL BE 16".

ANCHOR BOLT / HOLDOWN SCHEDULE									
MARK	HD	(MONO POUR) ANCHOR BOLT	L _e MIN.	(TWO POUR) ANCHOR BOLT	L _e MIN.	D _c MIN.	MIN. STEM WALL THICK.	MIN. POST REQ'D	POST OR STUD ATTACHMENT
2	HDU2	SSTB16	13"	SSTB20	17"	5"	6"	2-2x	6- SDS SCREWS 1
4	HDU4	SSTB20	17"	SSTB24	21"	5"	6"	4x	10- SDS SCREWS 1
5	HDU5	SSTB20	17"	SSTB24	21"	5"	6"	4x6	14- SDS SCREWS 1
8	HDU8	SSTB28	25"	SSTB34	29"	5"	8"	4x8	20- SDS SCREWS 1
11	HDU11	SB1X30 OR 1"Ø 5	25"	SB1X30 OR 1"Ø 5	29"	8"	8"	6x6	30- SDS SCREWS 1
14	HDU14	SB1X30 OR 1"Ø 5	26"	SB1X30 OR 1"Ø 5	29"	8"	8"	6x6	36- SDS SCREWS 1

- NOTES:
- ALL WOOD SCREWS SHALL BE 1/4"x3" SIMPSON STRONG DRIVE WOOD SCREWS.
 - SIMPSON RFB#5 x 16 W/ SIMPSON SET EPOXY MAY BE SUBSTITUTED FOR SSTBxx FOR MARK 2 -MARK 5 HOLDOWNS. SPECIAL INSPECTION IS REQ'D. SEE "REQUIREMENTS FOR SPECIAL INSPECTION" ON SHEET S-1 FOR ADD'L INFO.
 - 7/8" DIA. ALLTHREAD x 18" MIN. EMBEDMENT W/ SIMPSON SET EPOXY MAY BE SUBSTITUTED FOR SSTBxx FOR MARK 8 HOLDOWNS. MIN. STEMWALL THICKNESS = 8". SPECIAL INSPECTION IS REQ'D. SEE "REQUIREMENTS FOR SPECIAL INSPECTION" ON SHEET S-1 FOR ADD'L INFO.
 - CNW COUPLERS AND ALL-THREAD OR SSTBL ANCHOR BOLTS ARE REQUIRED FOR SILL PLATES WITH THICKNESSES GREATER THAN A 2X MEMBER.
 - PROVIDE 1" DIA. ALLTHREAD X 21" MIN. EMBEDMENT W/ DBL. NUT AND 3/8" x 3 1/2" SQ. WASHER, TACK WELD NUTS TO WASHER AND ALLTHREAD

NAIL CONVERSION SCHEDULE		
SINKER NAIL (DIA., LENGTH)	BOX NAIL EQUIVALENT	COMMON NAIL EQUIVALENT
8d NAILS (0.113"Ø, 2-3/8")	8d NAILS (0.113"Ø, 2-1/2")	7d NAILS (0.113"Ø, 2-1/4")
10d NAILS (0.120"Ø, 2-7/8")	10d NAILS (0.128"Ø, 3")	8d NAILS (0.131"Ø, 2-1/2")
12d NAILS (0.135"Ø, 3-1/8")	16d NAILS (0.135"Ø, 3-1/2")	10d NAILS (0.148"Ø, 3")
16d NAILS (0.148"Ø, 3-1/4")	20d NAILS (0.148"Ø, 4")	12d NAILS (0.148"Ø, 3-1/4")

- NOTES:
- ALL NAILS SPECIFIED ON PLANS ARE SINKERS PER NOTE 6-10 ON SHEET S-1 U.O.N. BOX OR COMMON NAILS MAY BE SUBSTITUTED PER THE TABLE ABOVE.

TABLES / CHARTS / DETAILS

MARCH 2023

PLAN REVIEW APPROVAL

05.23.2024

TOWN OF LOS GATOS BUILDING DIVISION

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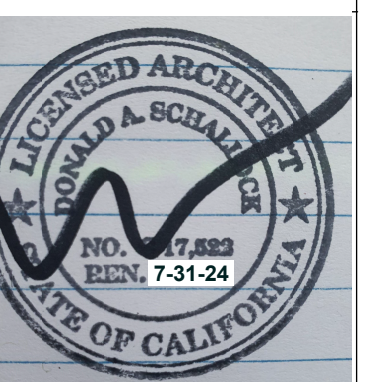
January 2024
April 2024

ENGINEER'S STAMP

**NGUYEN RESIDENCE
REMODEL & ADDITION**

445 Los Gatos Blvd., Los Gatos, CA 95032

don schallock
Architect AIA



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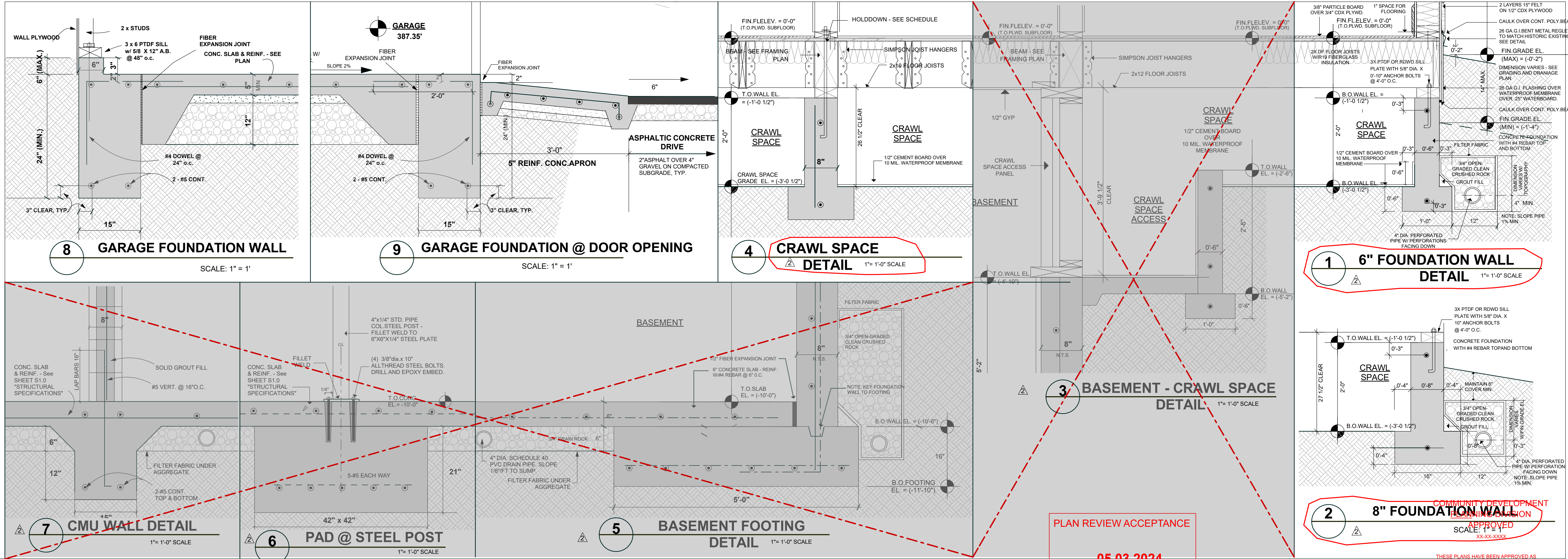
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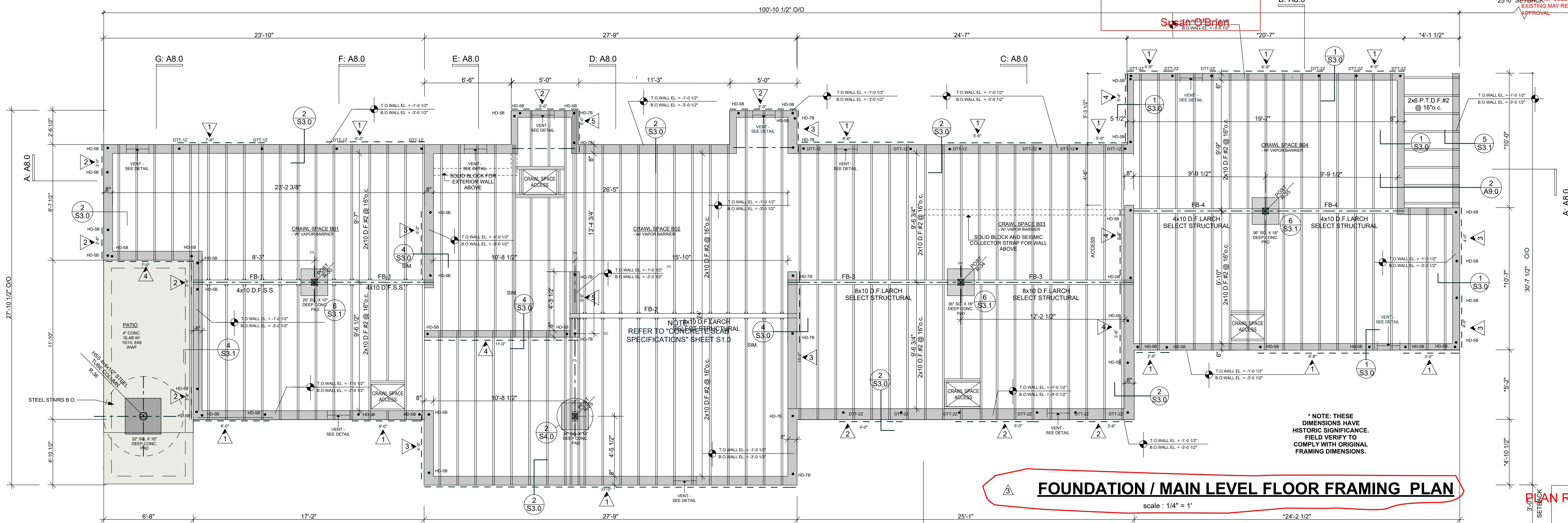
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OF SEVEN

REVISION



PLAN REVIEW ACCEPTANCE
 05.03.2024
 Susan O'Brien

THESE PLANS HAVE BEEN APPROVED AS SHOWN. ANY MODIFICATION TO WHAT HAS BEEN PROPOSED OR TO WHAT IS SHOWN AS EXISTING MAY REQUIRE A SEPARATE APPROVAL.



FOUNDATION PLAN/MAIN FLOOR FRAMING/ DETAILS

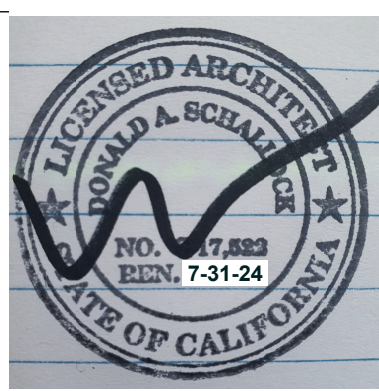
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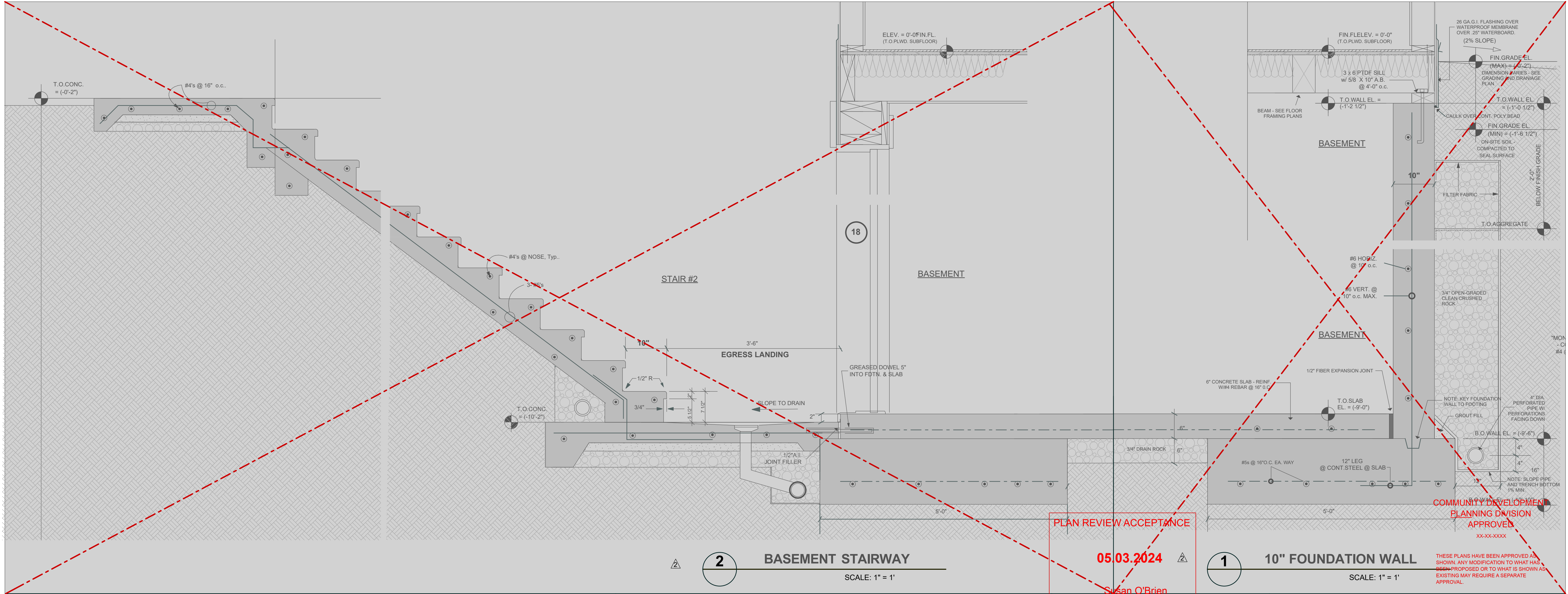
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S3.0
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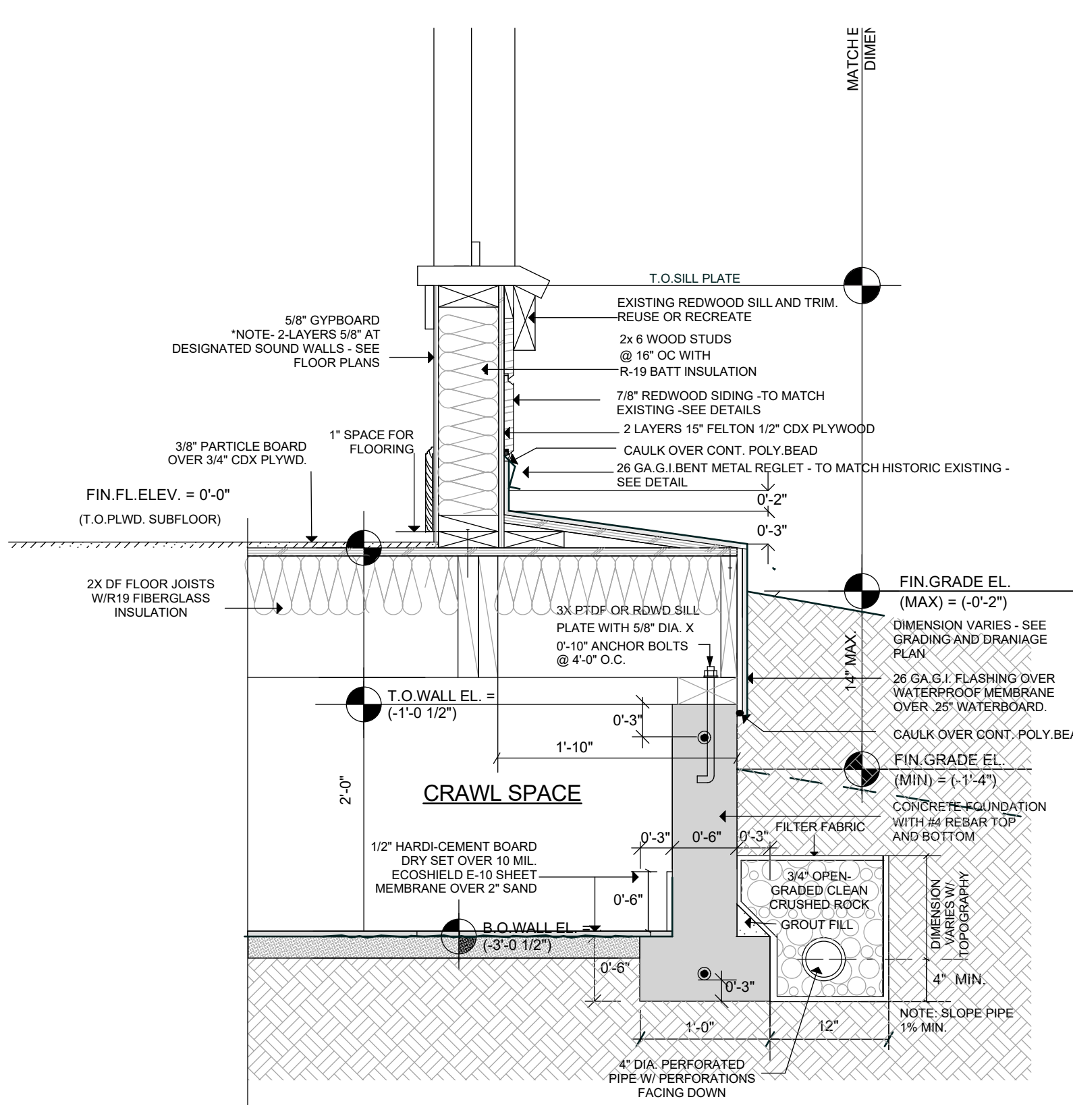
PLAN REVIEW ACCEPTANCE
05.03.2024
Susan O'Brien

COMMUNITY DEVELOPMENT
PLANNING DIVISION
APPROVED
XX-XX-XXXX

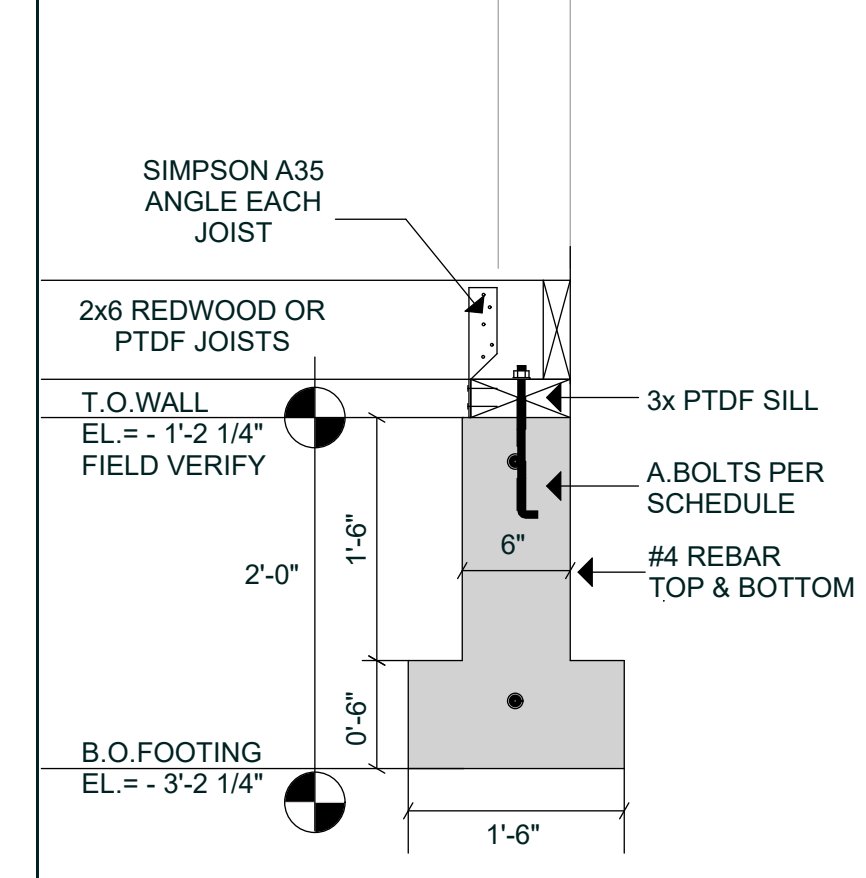
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2 BASEMENT STAIRWAY
SCALE: 1" = 1'

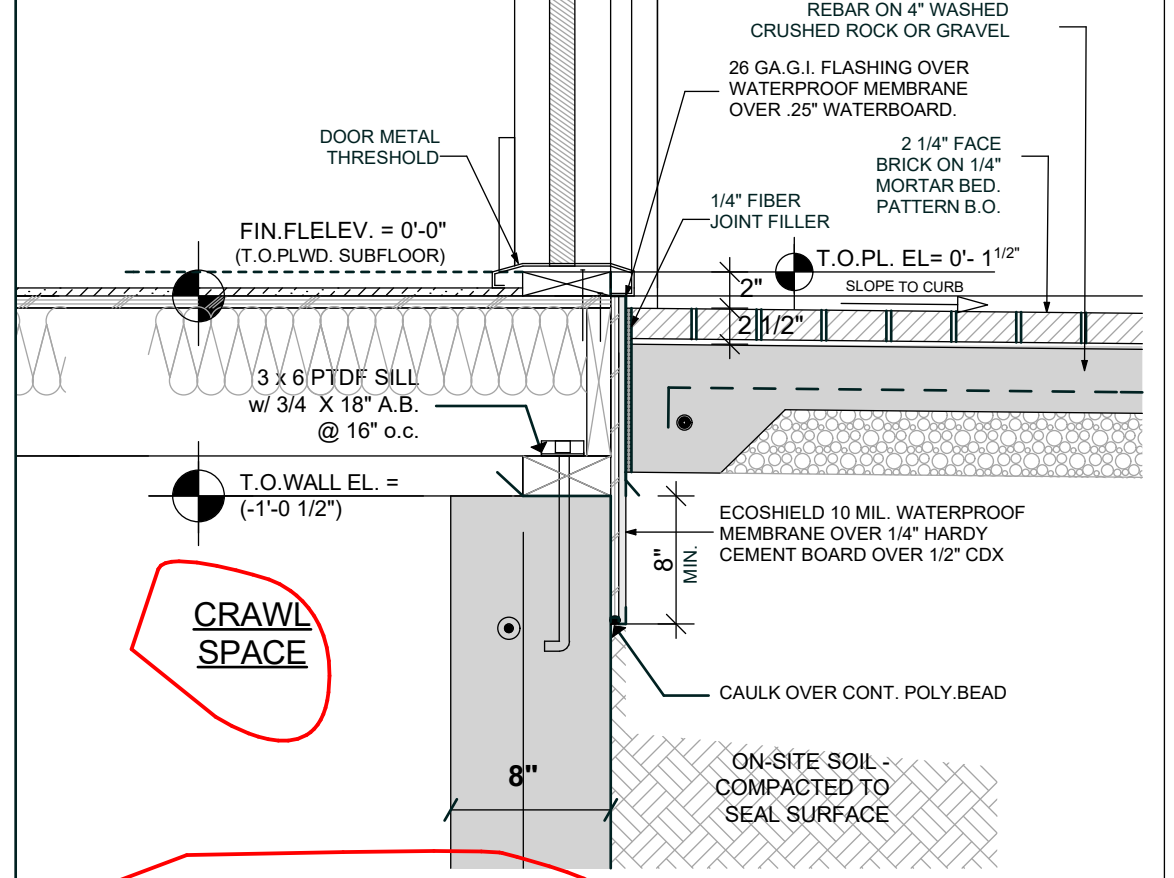
1 10" FOUNDATION WALL
SCALE: 1" = 1'



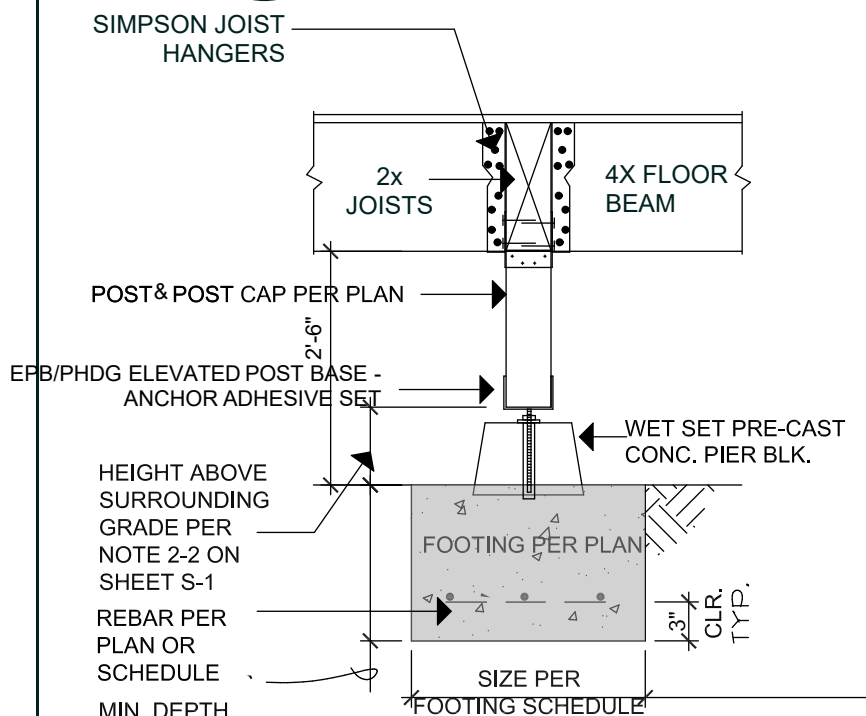
8 FOUNDATION DETAIL
SCALE: 1" = 1'



5 PORCH FOOTING
1" = 1'-0"



4 REAR PATIO
SCALE: 1" = 1'



6 CONCRETE PAD DETAIL
NO SCALE

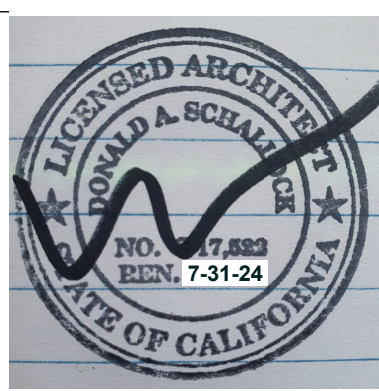
FOUNDATION DETAILS
scale: AS NOTED

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05.23.2024
TOWN OF LOS GATOS
BUILDING DIVISION

MARCH 2023

don schallock
Architect AIA

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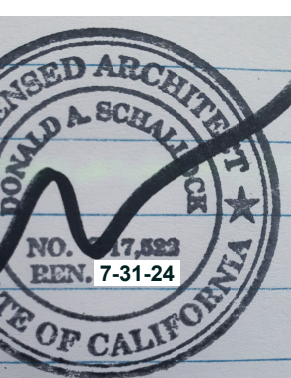
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April 2024

ENGINEER'S STAMP

NGUYEN RESIDENCE
REMODEL & ADDITION
445 Los Gatos Blvd., Los Gatos, CA 95032

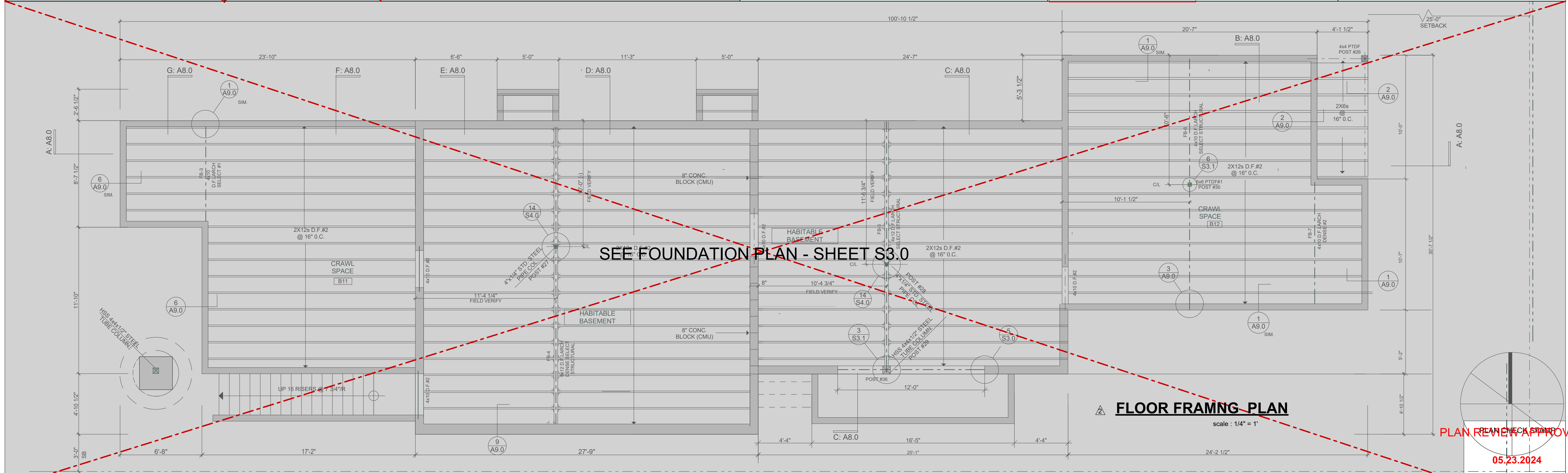
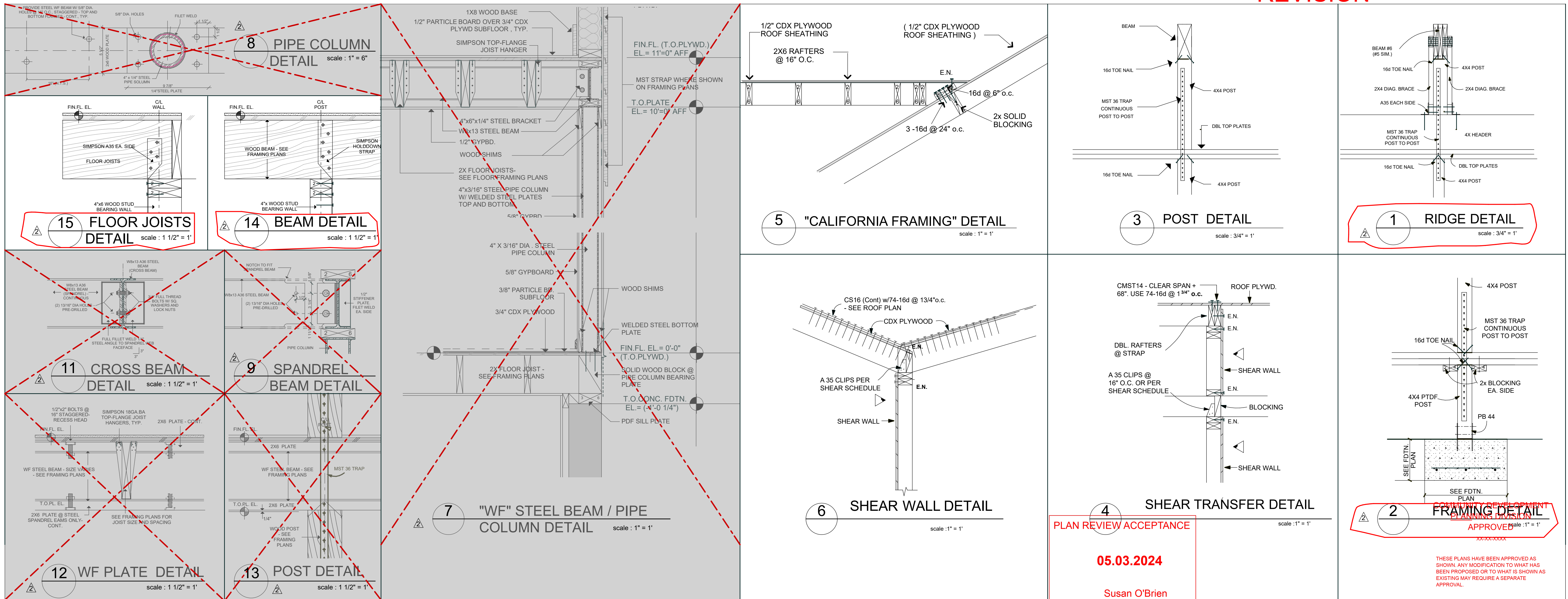
don schallock
Architect AIA

ARCHITECTURE
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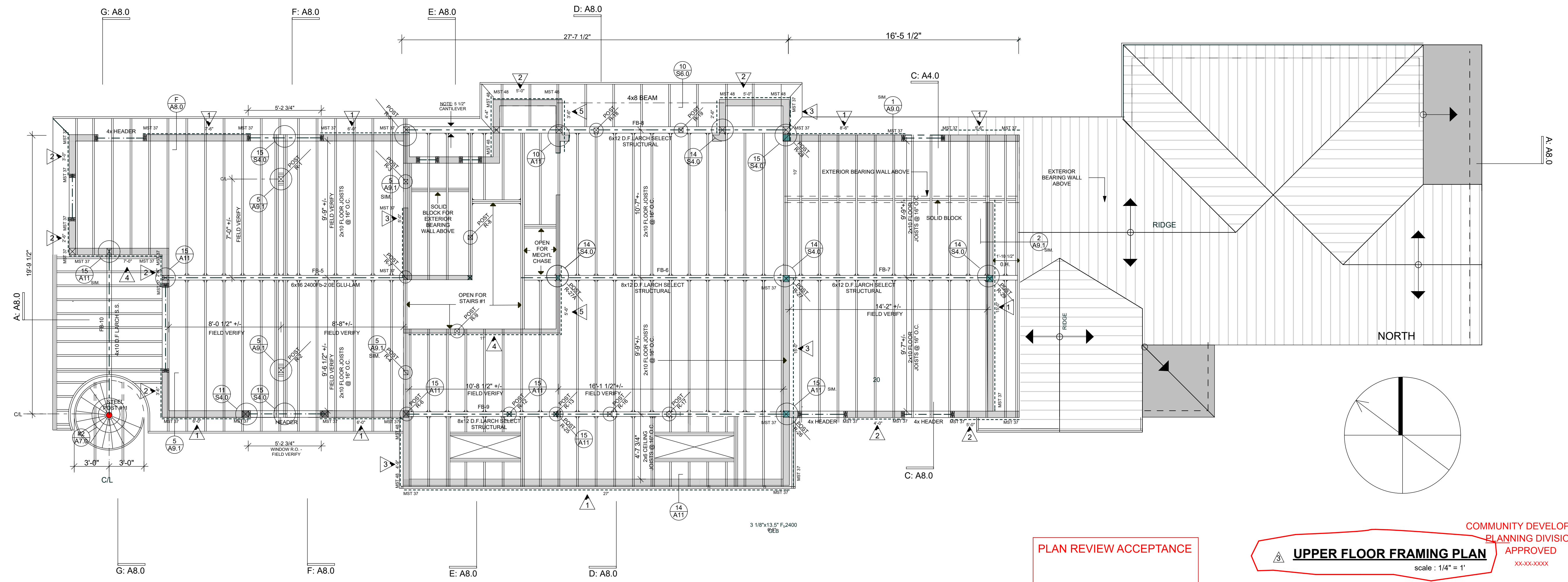
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OF SEVEN



FLOOR FRAMING DETAILS scale: AS NOTED MARCH 2023
TOWN OF LOS GATOS BUILDING DIVISION

REVISED:
October 2023
January 2024
April 2024

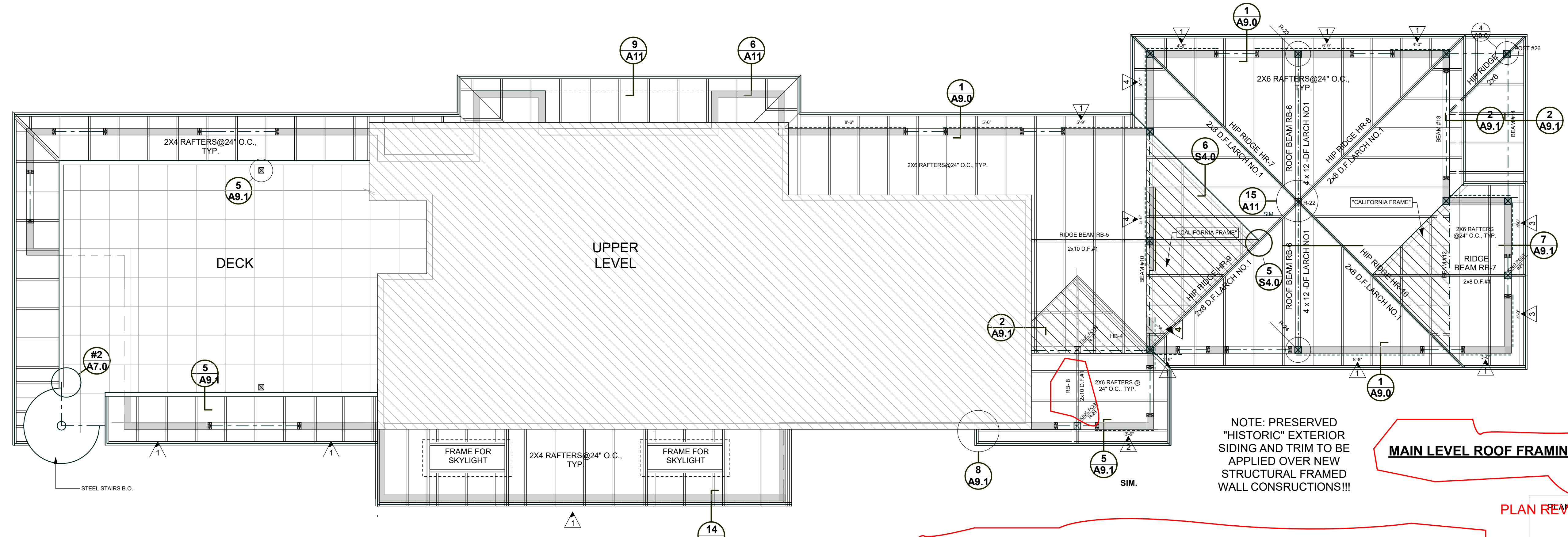
ENGINEER'S STAMP



PLAN REVIEW ACCEPTANCE
05.03.2024
Susan O'Brien

COMMUNITY DEVELOPMENT
PLANNING DIVISION
UPPER FLOOR FRAMING PLAN
APPROVED
scale : 1/4" = 1'

THESE PLANS HAVE BEEN APPROVED AS SHOWN. ANY MODIFICATION TO WHAT HAS BEEN PROPOSED OR TO WHAT IS SHOWN AS EXISTING MAY REQUIRE A SEPARATE APPROVAL.



NOTE: PRESERVED "HISTORIC" EXTERIOR SIDING AND TRIM TO BE APPLIED OVER NEW STRUCTURAL FRAMED WALL CONSTRUCTIONS!!!

MAIN LEVEL ROOF FRAMING PLAN

UPPER FLOOR AND MAIN ROOF FRAMING PLANS
scale : 1/4" = 1'

PLAN REVIEW APPROVAL

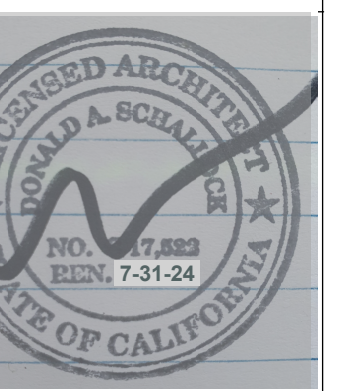
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TOWN OF LOS GATOS
BUILDING DIVISION

MARCH 2023

NGUYEN RESIDENCE
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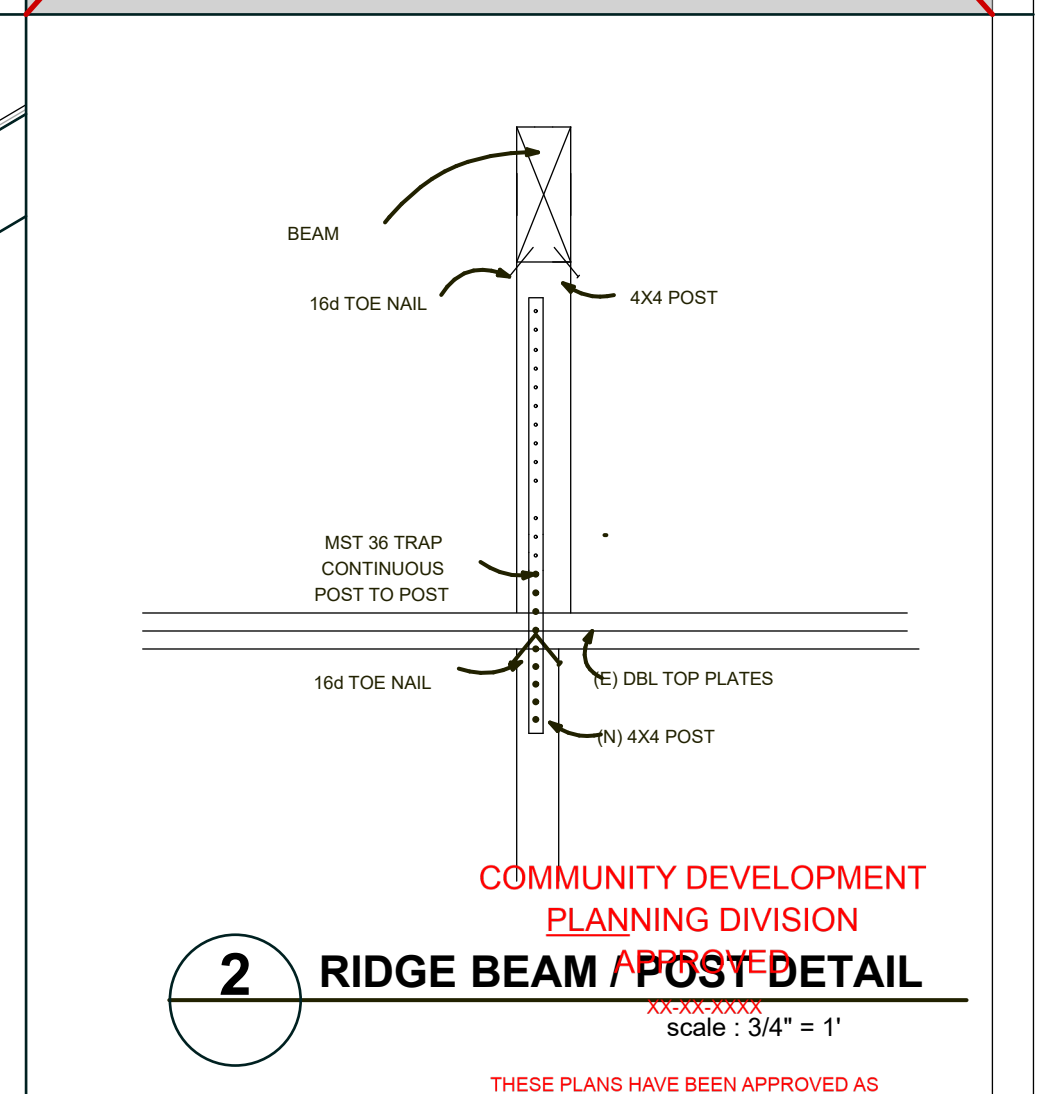
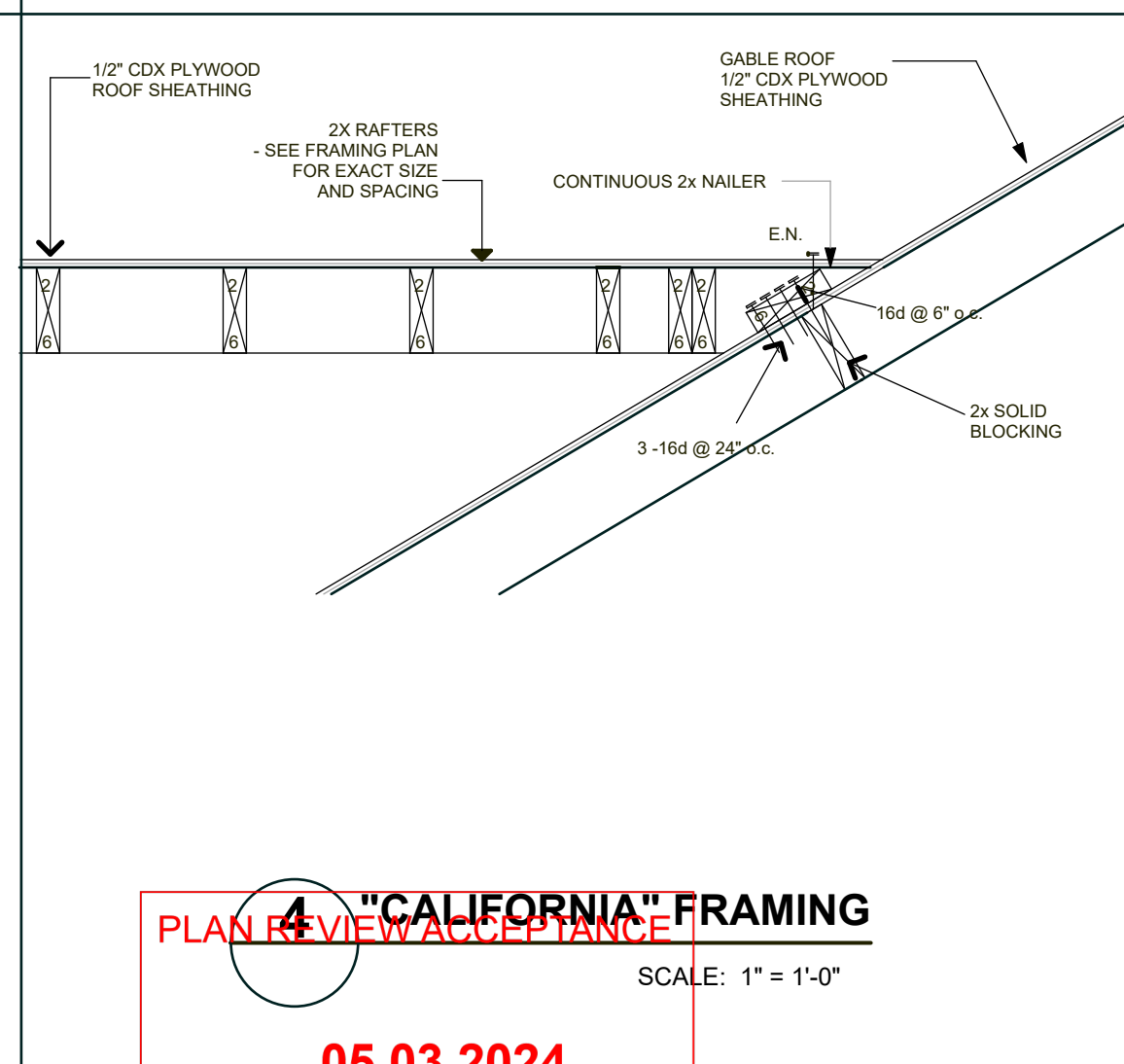
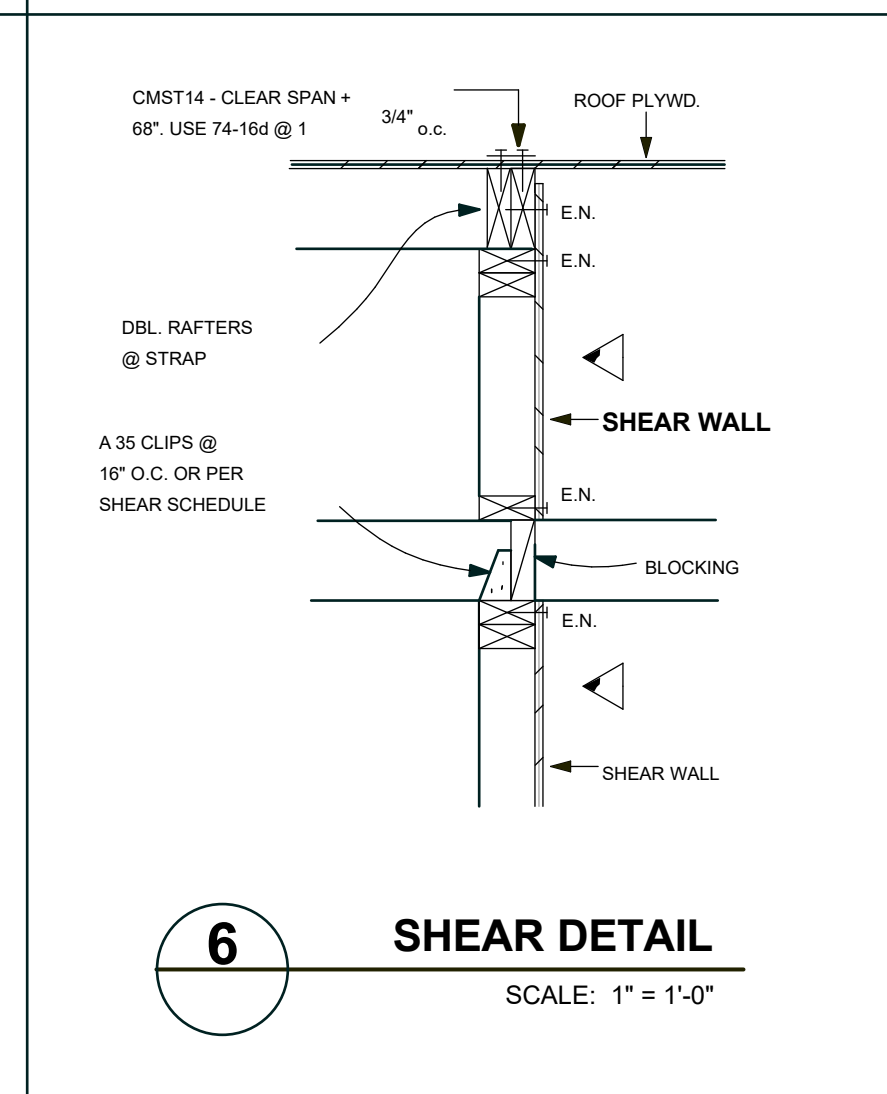
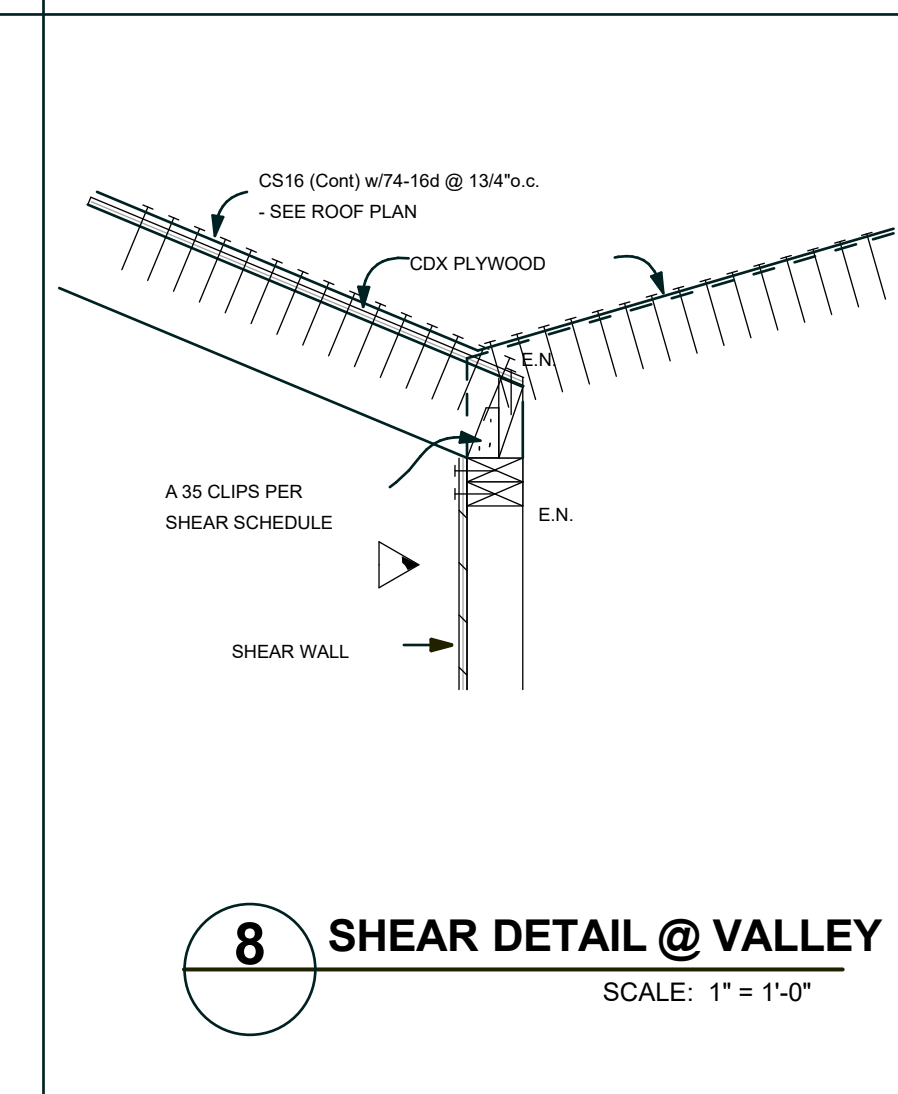
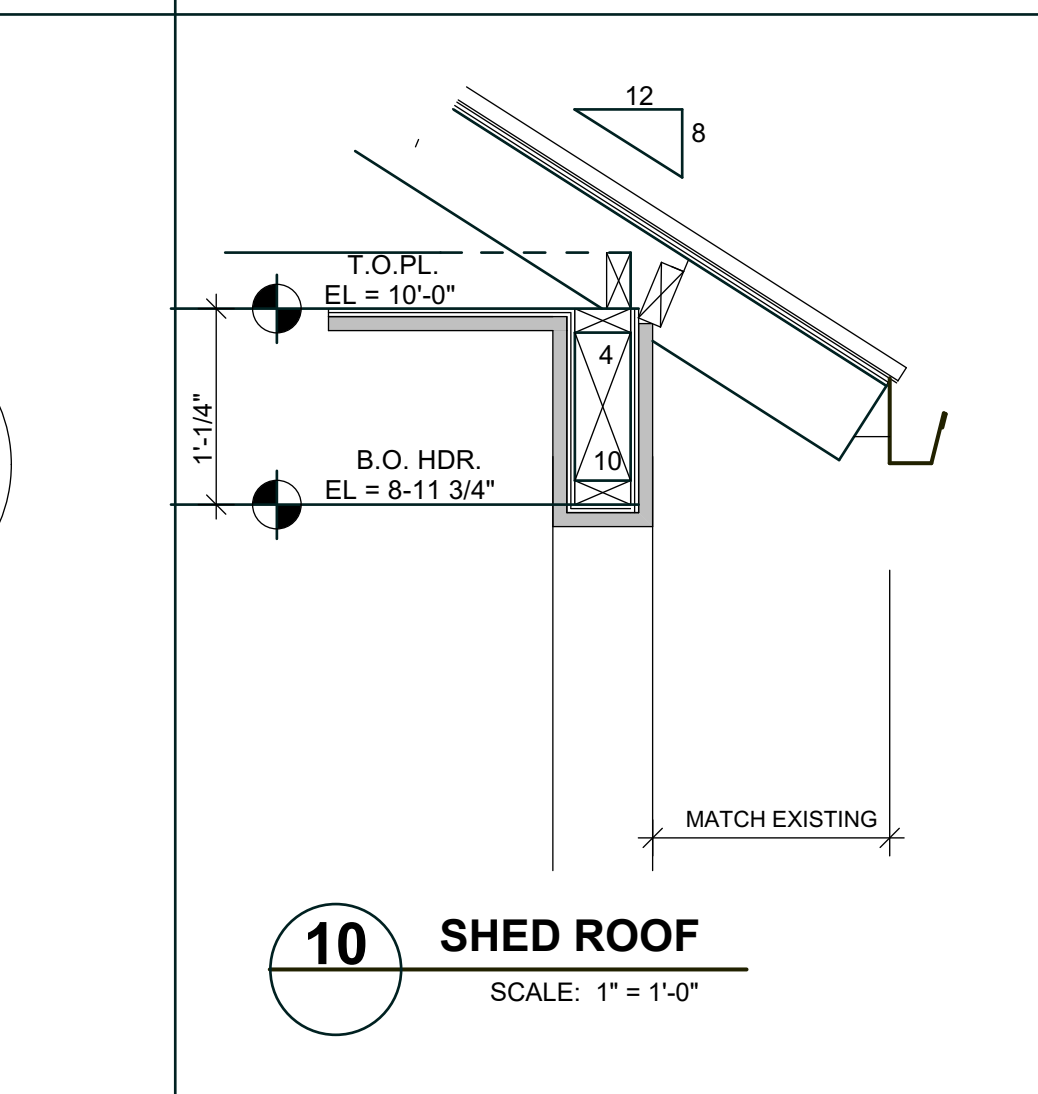
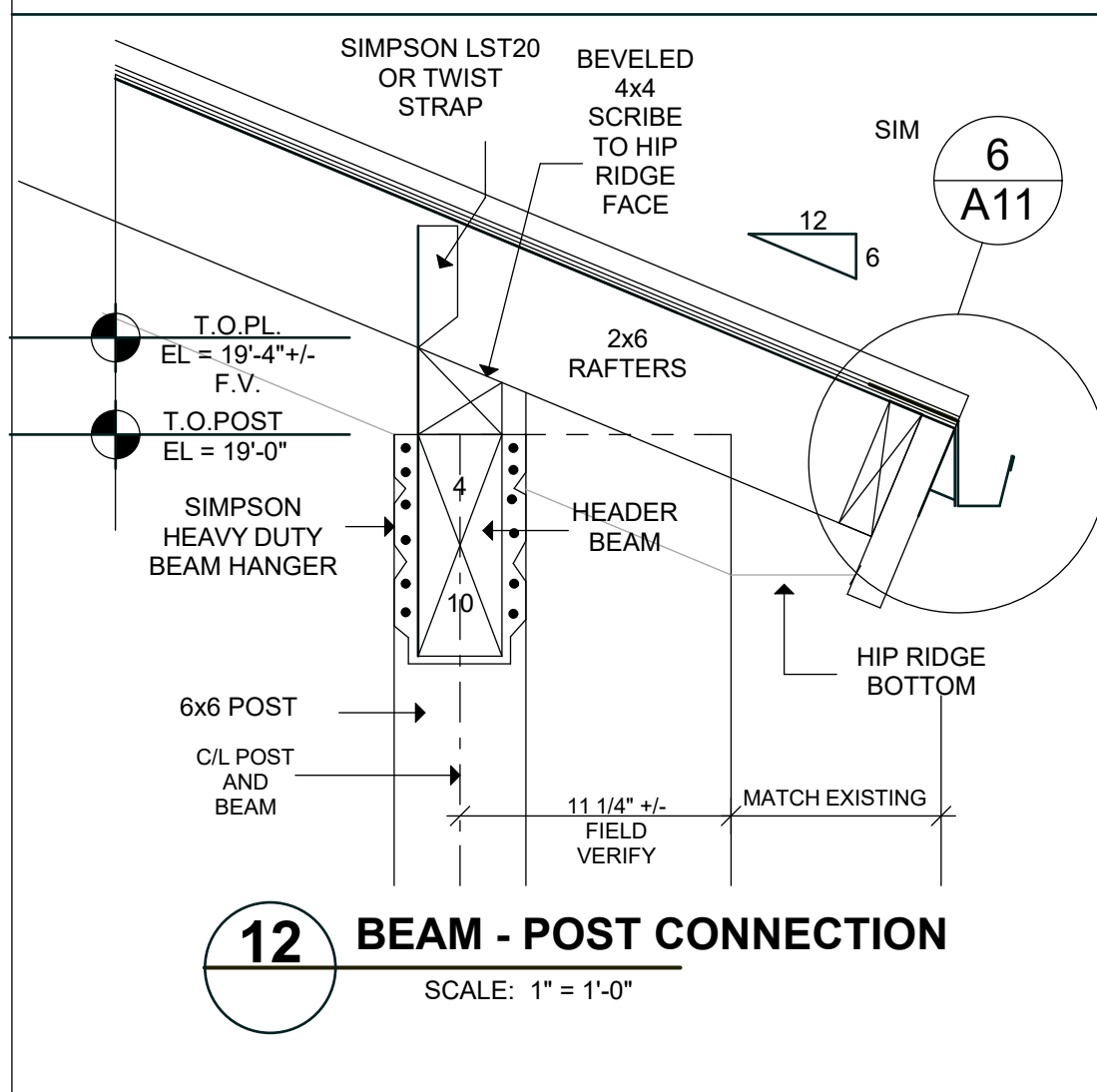
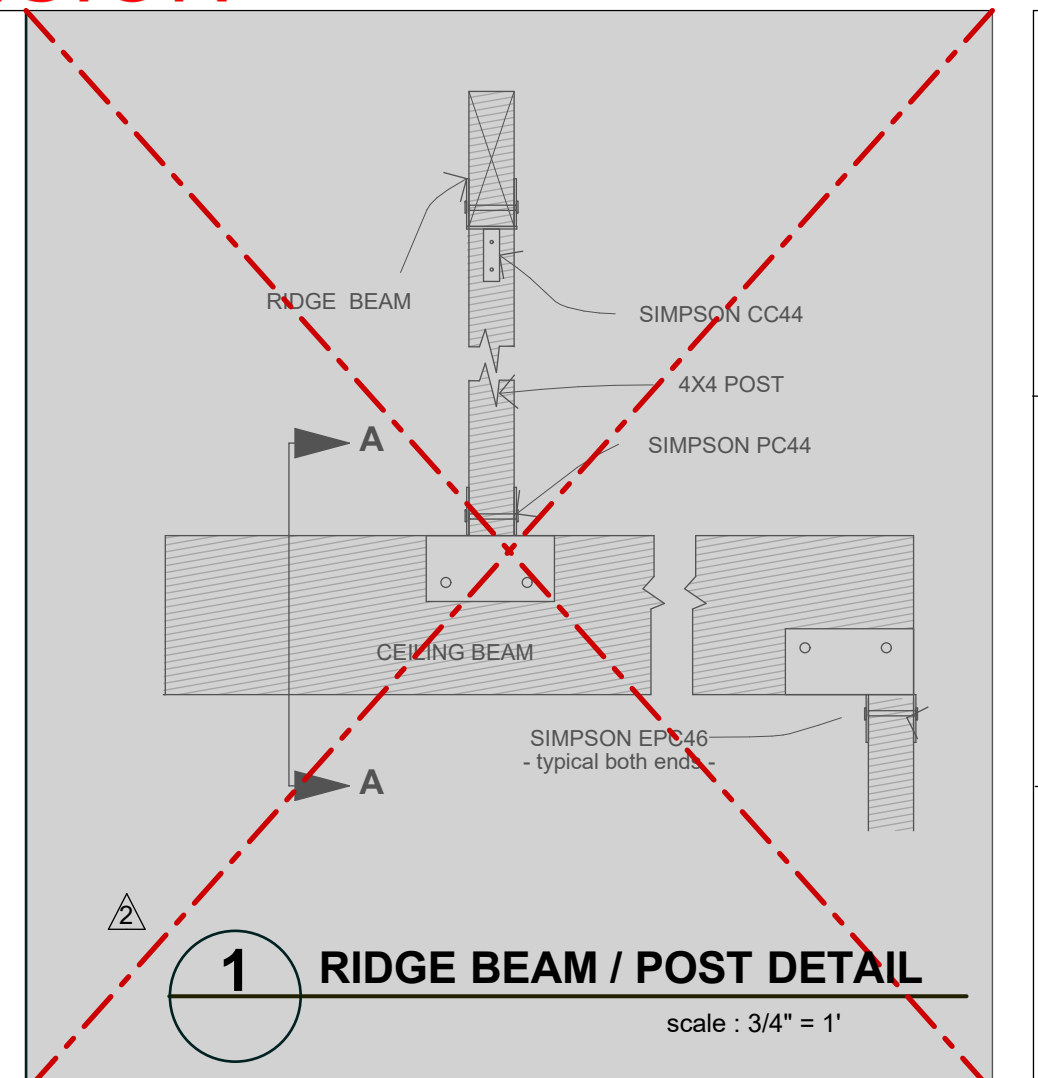
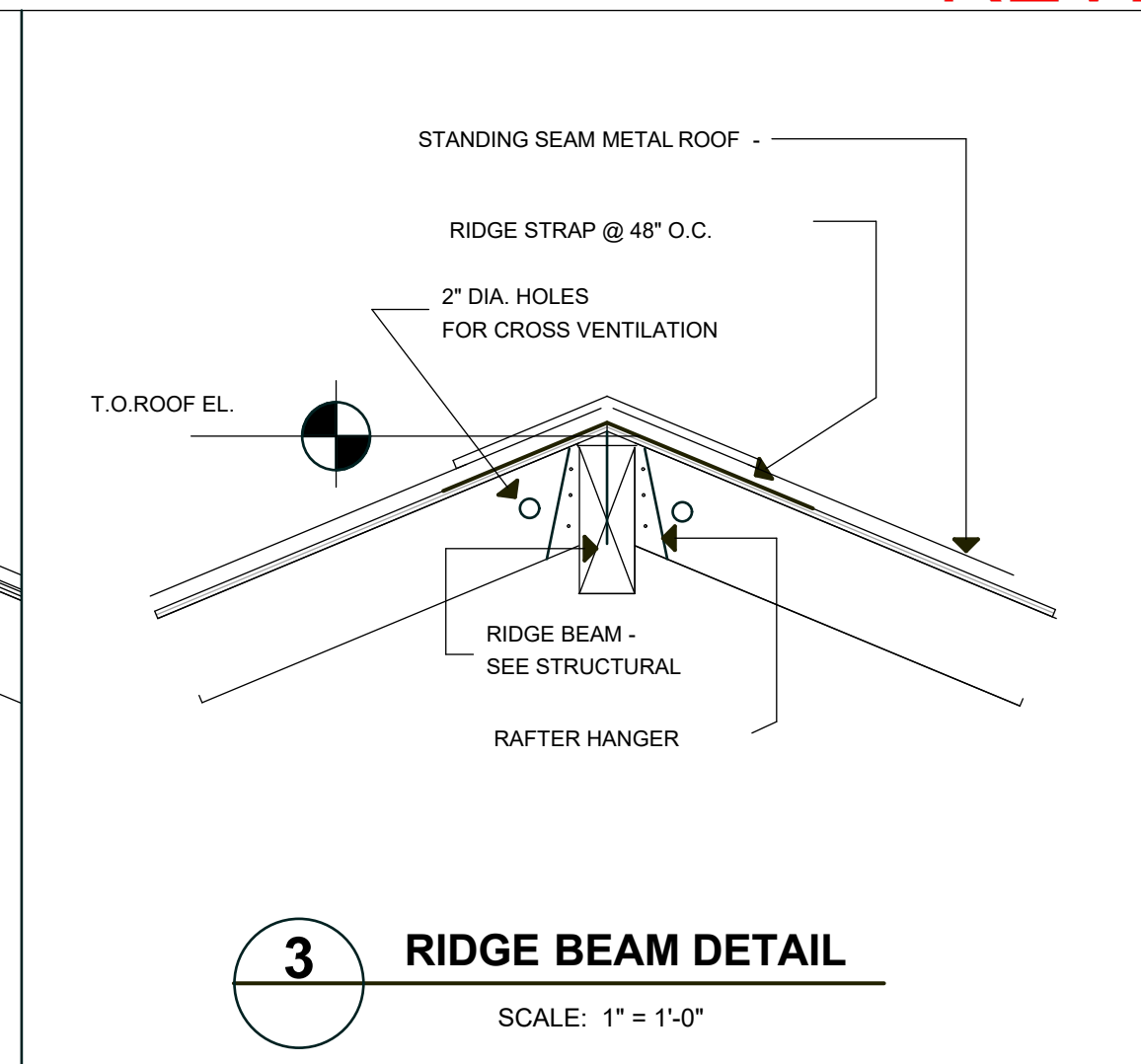
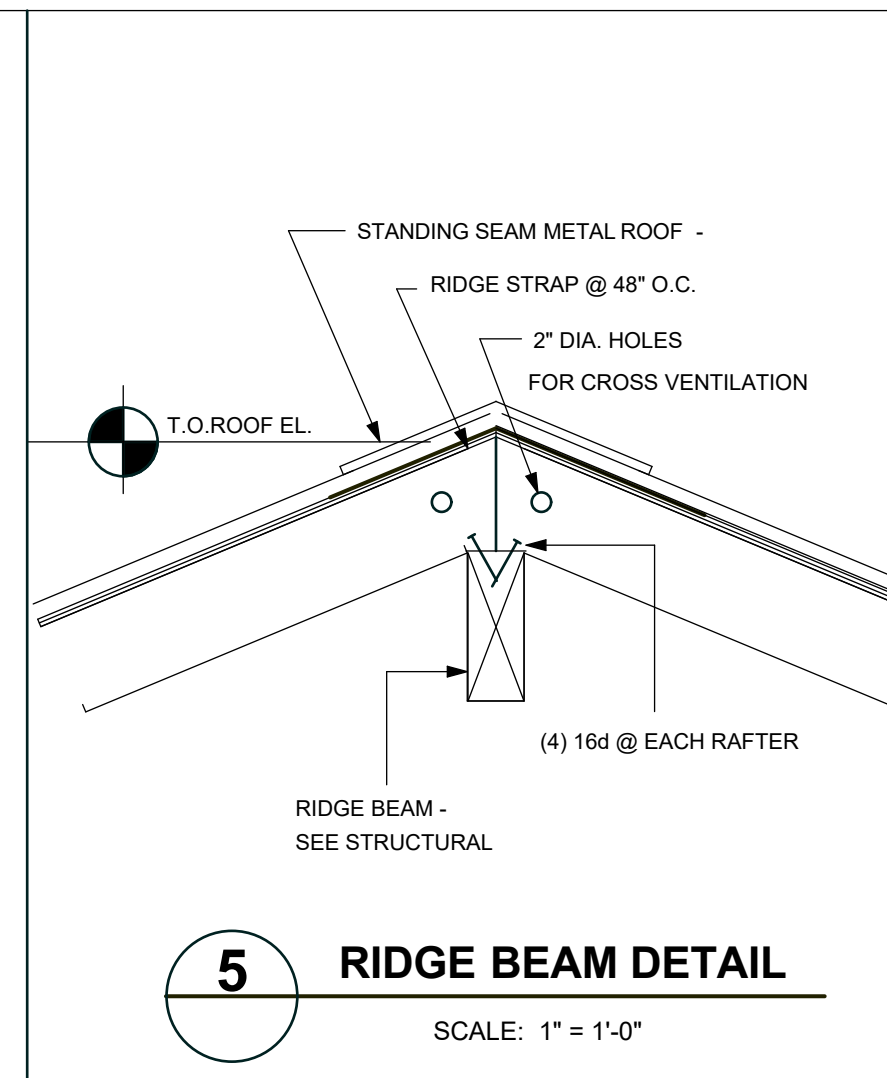
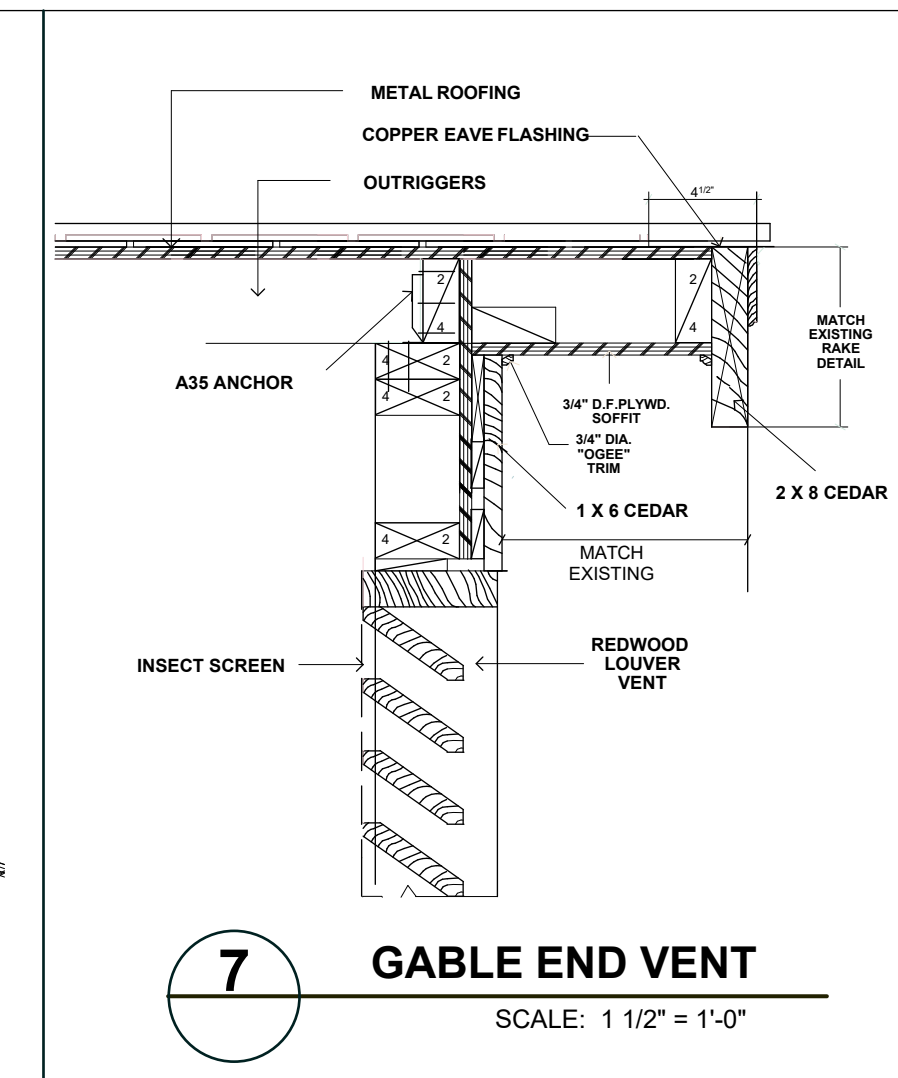
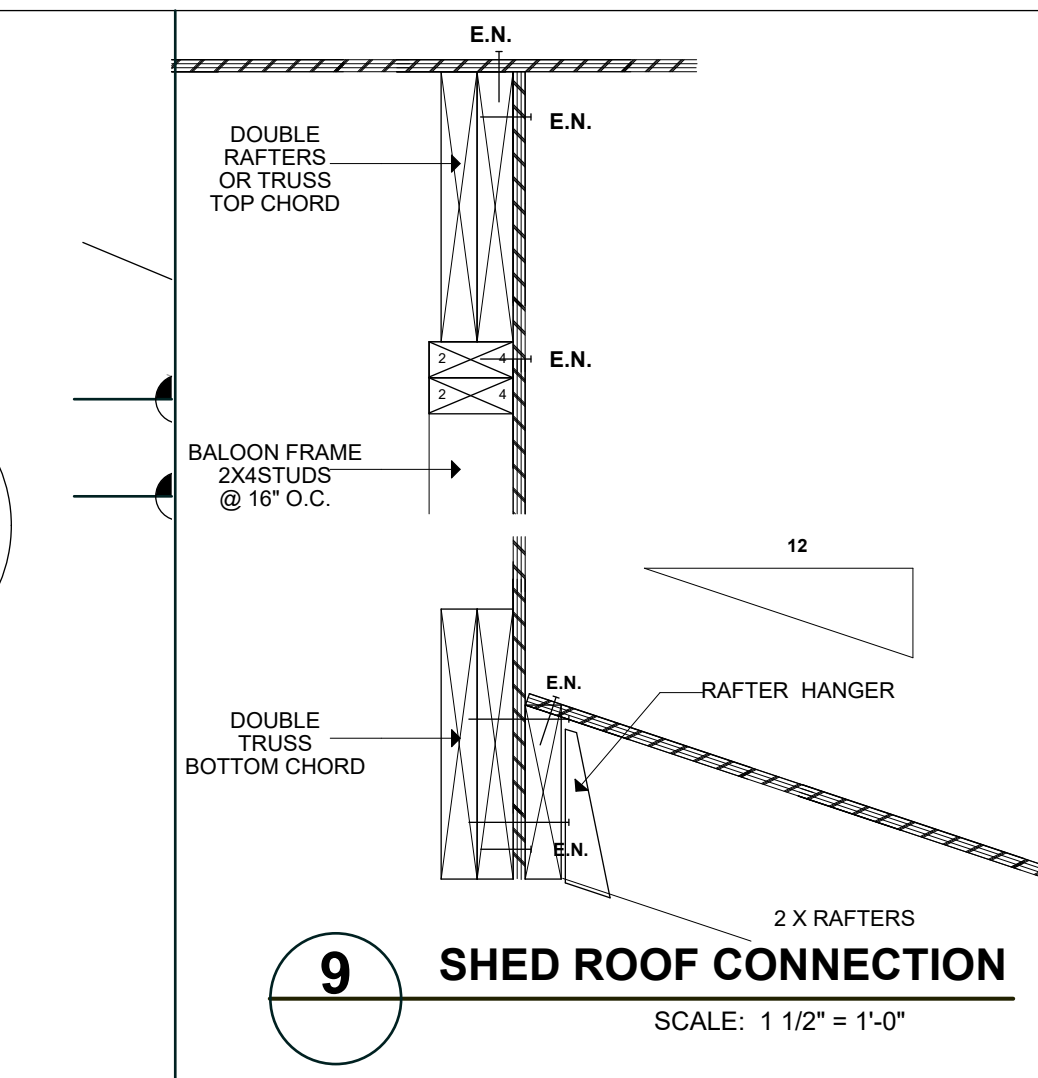
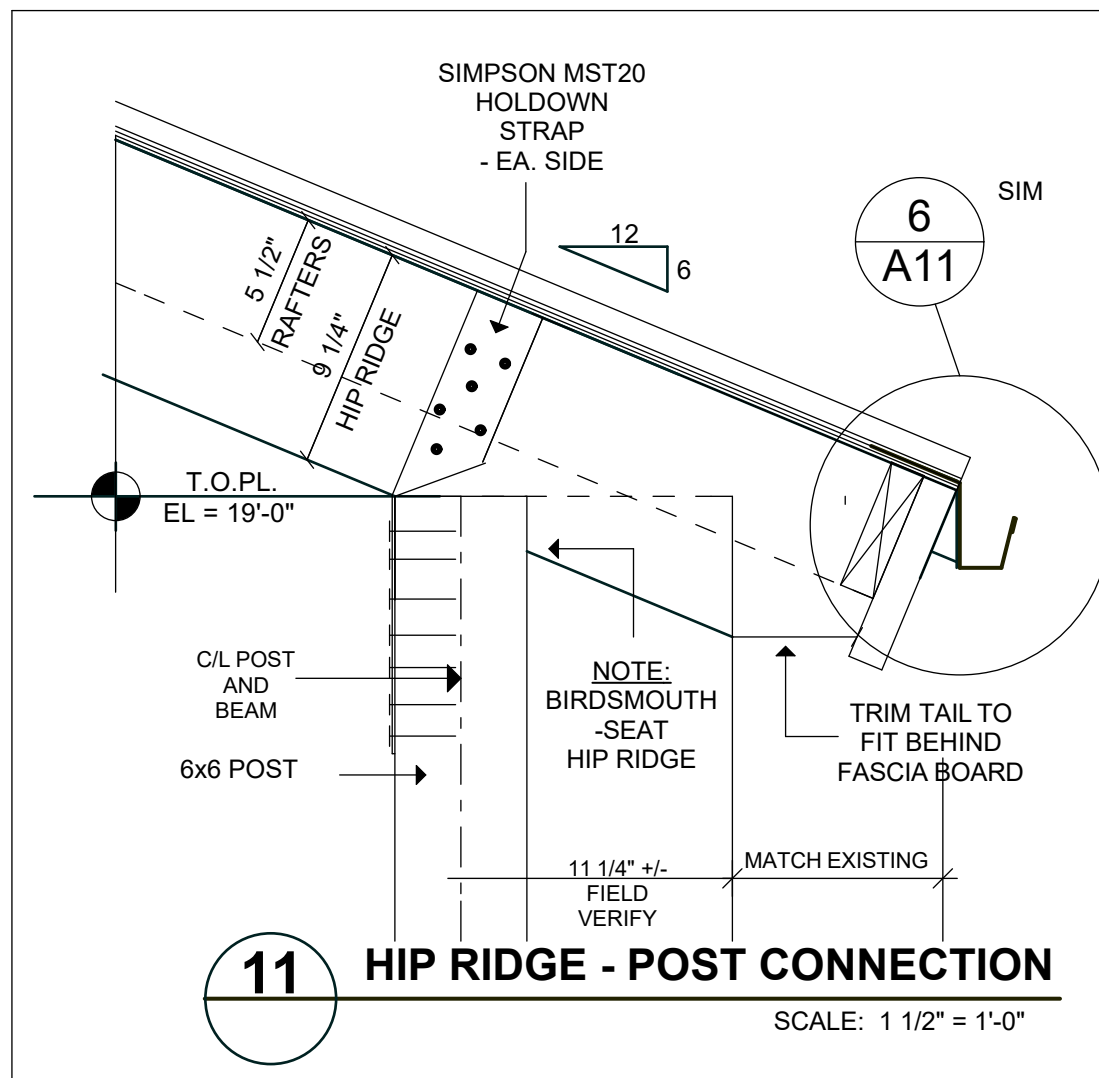
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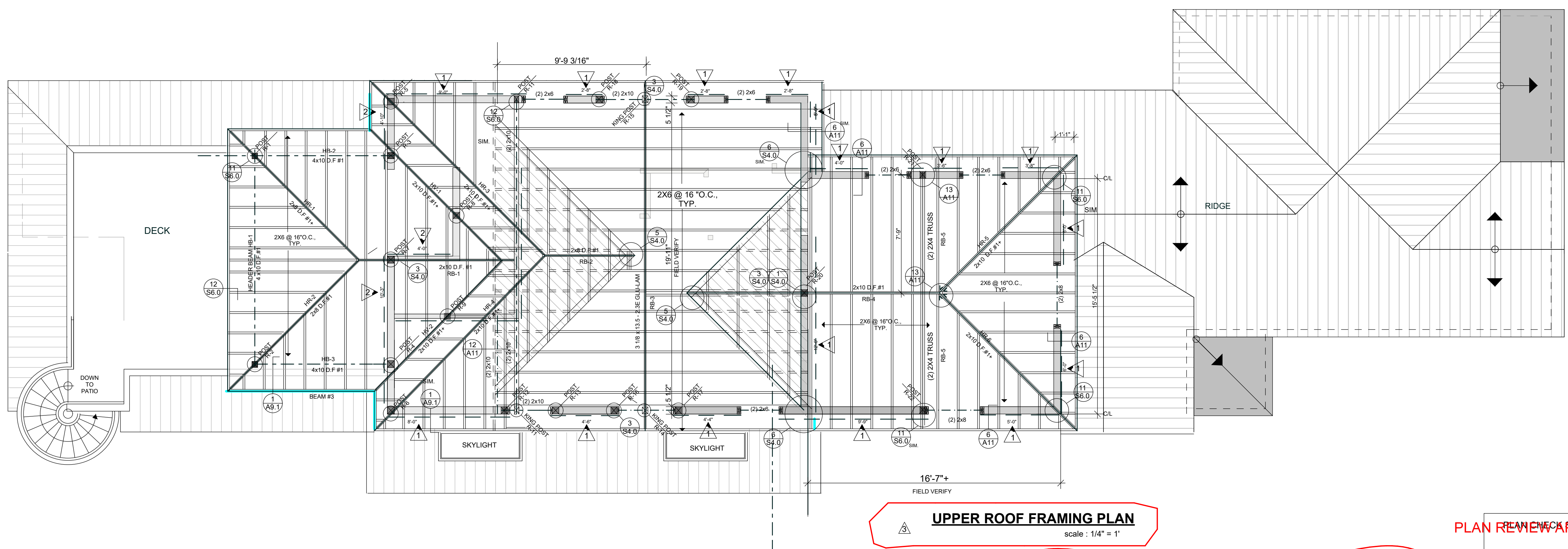
REVISED:
October 2023
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05.03.2024
Susan O'Brien



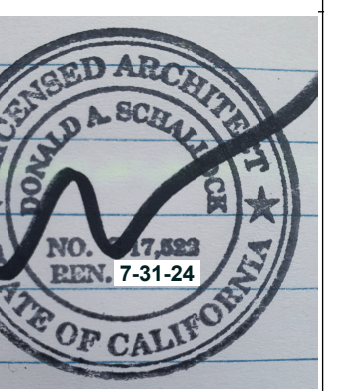
UPPER ROOF FRAMING PLAN
scale: 1/4" = 1'

UPPER ROOF FRAMING / DETAILS
MARCH 2023

PLAN REVIEW APPROVAL
05.23.2024
TOWN OF LOS GATOS
BUILDING DIVISION

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design



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OF SEVEN

ARBORIST'S REPORT

445 Los Gatos Boulevard Tree Inventory, Assessment, and Protection Report July 7, 2021

Observations

The inventory consists of trees protected by the Town of Los Gatos located on site and those in close proximity to neighboring properties. Sec. 29.10.0960. - Scope of protected trees. All trees which have a four-inch or greater diameter (twelve and one half-inch circumference) of any trunk, when removal relates to any review for which zoning approval or subdivision approval is required. Los Gatos Town Ordinance 29.10.0970 Exceptions (1) states the following: "A fruit or nut tree that is less than eighteen (18) inches in diameter (fifty-seven-inch circumference).

The inventory contains four trees comprised of four different species with one Protected, no Large Protected, and three Exempt (Table 1). The numbers are not in sequence but the tags are affixed to the trees for on site reference.

Table 1: Tree Inventory

Table with 5 columns: Species, Tag #1, Tag #2, Tag #3, and Status. Rows include coast live oak (Quercus agrifolia), plum (Prunus sp.), black walnut (Juglans nigra), and privet (Ligustrum lucidum).

Analysis

Tree appraisal was performed according to the Council of Tree & Landscape Appraisers Guide for Plant Appraisal 10th Edition, 2019 (CLTA) along with Western Chapter International Society of Arboriculture Species Classification and Group Assignment, 2004. The trees were appraised using the "Cost Approach" and more specifically the "Trunk Formula Technique" (Appendix B).

"Trunk Formula Technique" is calculated as follows: Basic Tree Cost = (Unit tree cost x Appraised trunk area), Appraised Value = (Basic tree cost X functional Limitations (percentage) X Condition (percentage) X External Limitations (percentage)).

The trunk formula valuations are based on four tree factors; size (trunk cross sectional area), condition, functional limitations, and external limitations. There are two steps to determine the overall value. The first step is to determine the "Basic Tree Cost" based on size and unit tree cost. Unit tree cost is calculated by dividing the nursery wholesale cost of a 24 inch box specimen and its replacement size (cost per square inch trunk caliper) which is determined by the Species Classification and Group Assignment, 2004 Western Chapter Regional Supplement. The cost of the 24 inch box wholesale specimen was determined through personal communications with BrightView and Normans nurseries in Farmington and Central Wholesale in San Jose for an average of \$214.00.

The second part is to depreciate the tree's Basic Cost through an assessment of condition, functional limitations, and external limitations. The condition assessment guidelines and percentages are defined in the "Condition Rating" section of this report. Functional limitations are based on factors associated with the tree's interaction to its planting site that would affect condition, limit development, or reduce the utility in the future and include genetics, placement, and site conditions for the individual tree. External limitations are outside the property, out of control of the owner and also affect condition, limit development, or reduce the utility in the future (i.e power lines, municipal restrictions, drought adaptations, or species susceptibility to pests).

One protected tree was appraised for a depreciated value of \$4,090.00 using the Trunk Formula Technique.

Discussion

Condition

A tree's condition is a determination of its overall health, structure, and form. The assessment considered all three criteria for a combined condition rating.

- 100% - Exceptional = Good health and structure with significant size, location or quality.
61-80% - Good = Normal vigor, well-developed structure, function and aesthetics not compromised with good longevity for the site.
41-60 % - Fair = Reduced vigor, damage, dieback, or pest problems, at least one significant structural problem or multiple moderate defects requiring treatment.
21-40% - Poor = Unhealthy and declining appearance with poor vigor, abnormal foliar color, size or density with potential irreversible decline.
6-20% - Very Poor = Poor vigor and dying with little foliage in irreversible decline.
0-5% - Dead/Unstable = Dead or imminently ready to fail.

The coast live oak is in good condition with normal structure, foliar color, size, and density.

Expected Impact

Impact level defines how a tree may be affected by construction activity and proximity to the tree, and is described as low, moderate, or high. The following scale defines the impact rating:

- Low = The construction activity will have little influence on the tree.
Moderate = The construction may cause future health or structural problems, and steps must be taken to protect the tree to reduce future problems.
High = Tree structure and health will be compromised and removal is recommended, or other actions must be taken for the tree to remain. The tree is located in the building envelope.

The coast live oak will be moderately impacted and the ponding area will need to be reconfigured to avoid unnecessary harm. Coast live oak is not tolerant of wet or excessively moist soils. With that in mind the construction of the pond area and the long term affects of pooling water adjacent to the tree could be detrimental.

Conclusion

The plans indicate the existing house is to be demolished and a new residence and detached garage are to be constructed. The structures are all located outside six times the trunk diameter distance for a young tolerant coast live oak with the exception of the proposed "ponding area" adjacent to the tree and garage. There are 4 trees comprised of 4 different species with one Protected (coast live oak), no Large Protected, and three Exempt (plum, walnut, privet). The coast live oak is in good condition with normal structure, foliar color, size, and density. The tree will be moderately impacted and the ponding area will need to be reconfigured to avoid unnecessary harm. Coast live oak is not tolerant of wet or excessively moist soils. For this project the tree protection fence should be placed around the coast live oak #863 at a radius of 12 feet minimum, which is six times the trunk diameter radius. One Protected coast live oak was appraised for a depreciated value of \$4,090.00 using the Trunk Formula Technique. Any tree pruning should be performed according to the ISA Best Management Practices: Pruning (Third Edition) (2019) and specified in writing by the tree care contractor in accordance with ANSI A300 Part 1 (2017).

Recommendations

- 1. Relocate the "ponding area".
2. Place tree protection fence around coast live oak #863 at a minimum radius of twelve feet. Place temporary irrigation within the tree protection zone and irrigate monthly with 220 gallons of water.
3. Place tree numbers and tree protection fence locations and guidelines on the plans including the grading, drainage, and utility plans to create the required T-1 Sheet.
4. All tree maintenance and care shall be performed by a qualified arborist with a C-61/D-49 California Contractors License. Tree maintenance and care shall be specified in writing according to American National Standard for Tree Care Operations: Tree, Shrub and Other Woody Plant Management: Standard Practices parts 1 through 10 and adhere to ANSI Z133.1 safety standards and local regulations. All maintenance is to be performed according to ISA Best Management Practices.
5. Provide a copy of this report to all contractors and project managers, including the architect, civil engineer, and landscape designer or architect. It is the responsibility of the owner to ensure all parties are familiar with this document.
6. Arrange a pre-construction meeting with the project arborist or landscape architect to verify tree protection is in place, with the correct materials, and at the proper distances.

Appendix A: Tree Protection Guidelines

Section 29.10.1005. - Protection of Trees During Construction

Tree Protection Zones and Fence Specifications

- 1. Size and materials: Six (6) foot high chain link fencing, mounted on two-inch diameter galvanized iron posts, shall be driven into the ground to a depth of at least two (2) feet at no more than ten-foot spacing. For paving area that will not be demolished and when stipulated in a tree preservation plan, posts may be supported by a concrete base.
2. Area type to be fenced: Type I: Enclosure with chain link fencing of either the entire dripline area or at the tree protection zone (TPZ), when specified by a certified or consulting arborist. Type II: Enclosure for street trees located in a planter strip: chain link fence around the entire planter strip to the outer branches. Type III: Protection for a tree located in a small planter cutout only (such as downtown): orange plastic fencing shall be wrapped around the trunk from the ground to the first branch with two-inch wooden boards bound securely on the outside. Caution shall be used to avoid damaging any bark or branches.
3. Duration of Type I, II, III fencing: Fencing shall be erected before demolition, grading or construction permits are issued and remain in place until the work is completed. Contractor shall first obtain the approval of the project arborist on record prior to removing a tree protection fence.
4. Warning Sign: Each tree fence shall have prominently displayed an eight and one-half-inch by eleven-inch sign stating: "Warning—Tree Protection Zone—This fence shall not be removed and is subject to penalty according to Town Code 29.10.1025." Text on the signs should be in both English and Spanish (Appendix E).

All persons, shall comply with the following precautions

- 1. Prior to the commencement of construction, install the fence at the dripline, or tree protection zone (TPZ) when specified in an approved arborist report, around any tree and/or vegetation to be retained which could be affected by the construction and prohibit any storage of construction materials or other materials, equipment cleaning, or parking of vehicles within the TPZ. The dripline shall not be altered in any way so as to increase the encroachment of the construction.
2. Prohibit all construction activities within the TPZ, including but not limited to: excavation, grading, drainage and leveling within the dripline of the tree unless approved by the Director.
3. Prohibit disposal or depositing of oil, gasoline, chemicals or other harmful materials within the dripline of or in drainage channels, swales or areas that may lead to the dripline of a protected tree.
4. Prohibit the attachment of wires, signs or ropes to any protected tree.
5. Design utility services and irrigation lines to be located outside of the dripline when feasible.
6. Retain the services of a certified or consulting arborist who shall serve as the project arborist for periodic monitoring of the project site and the health of those trees to be preserved. The project arborist shall be present whenever activities occur which may pose a potential threat to the health of the trees to be preserved and shall document all site visits.
7. The Director and project arborist shall be notified of any damage that occurs to a protected tree during construction so that proper treatment may be administered.

Prohibited Activities

The following are prohibited activities within the TPZ:

- Grade changes (e.g. soil cuts, fills);
Trenches;
Root cuts;
Pedestrian and equipment traffic that could compact the soil or physically damage roots;
Parking vehicles or equipment;
Burning of brush and woody debris;
Storing soil, construction materials, petroleum products, water, or building refuse; and,
Disposing of wash water, fuel or other potentially damaging liquids.

Warning Tree Protection Zone

This Fence Shall Not Be Removed And Is Subject To Penalty According To Town Code 29.10.1025

Cuidado Zona De Arbol Pretejido

Esta valla no podrán ser sacados Y está sujeta a sanción en función de Código Ciudad del 29.101025

Monitoring

Any trenching, construction or demolition that is expected to damage or encounter tree roots should be monitored by the project arborist or a qualified ISA Certified Arborist and should be documented.

The site should be evaluated by the project arborist or a qualified ISA Certified Arborist after construction is complete, and any necessary remedial work that needs to be performed should be noted.

Root Pruning

Roots greater than two inches in diameter shall not be cut. When roots over two inches in diameter are encountered and are authorized to be cut or removed, they should be pruned by hand with loppers, handsaw, reciprocating saw, or chain saw rather than left crushed or torn. Roots should be cut beyond sinker roots or outside root branch junctions and be supervised by the project arborist. When completed, exposed roots should be kept moist with burlap or backfilled within one hour.

Boring or Tunneling

Boring machines should be set up outside the drip line or established Tree Protection Zone. Boring may also be performed by digging a trench on both sides of the tree until roots one inch in diameter are encountered and then hand dug or excavated with an Air Spade® or similar air or water excavation tool. Bore holes should be adjacent to the trunk and never go directly under the main stem to avoid oblique (heart) roots. Bore holes should be a minimum of three feet deep.

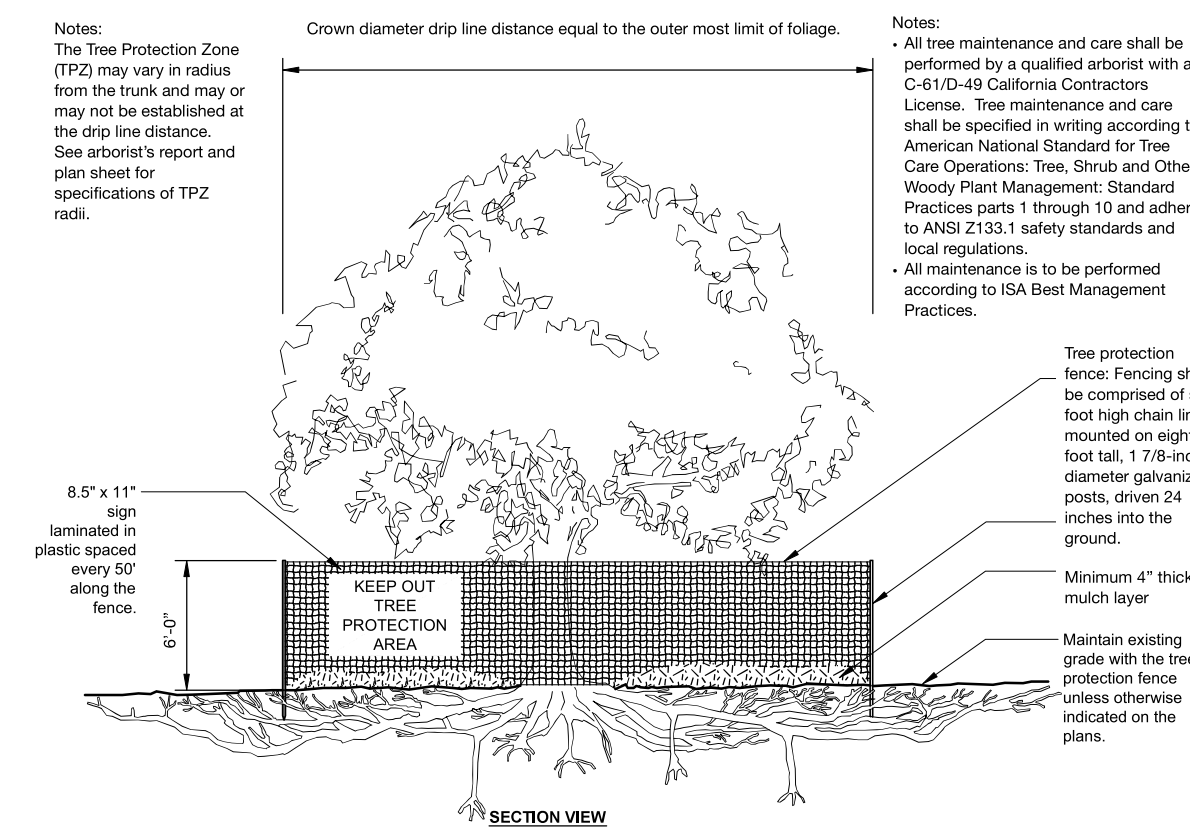
Tree Pruning and Removal Operations

All tree pruning or removals should be performed by a qualified arborist with a C-61/D-49 California Contractors License. Treatment, including pruning, shall be specified in writing according to the most recent ANSI A-300A Standards and Limitations and performed according to ISA Best Management Practices while adhering to ANSI Z133.1 safety standards. Trees that need to be removed or pruned should be identified in the pre-construction walk through.

Tree Protection

Typically there are three different tree protection schemes which are called Type I Type II and Type III trunk protection only. Tree protection focuses on avoiding damage to the roots, trunk, or scaffold branches. The most current accepted method for determining the TPZ is to use a formula based on species tolerance, tree age/vigor, and trunk diameter (Matheny, N. and Clark, J. 1998) (Fite, K, and Smiley, E. T., 2016). Preventing mechanical damage to the trunk from equipment or hand tools can be accomplished by wrapping the main stem with straw wattle or using vertical timbers.

For this project the tree protection fence should be placed around the coast live oak #863 at a radius of 12 feet minimum, which is six times the trunk diameter radius.



TREE PROTECTION

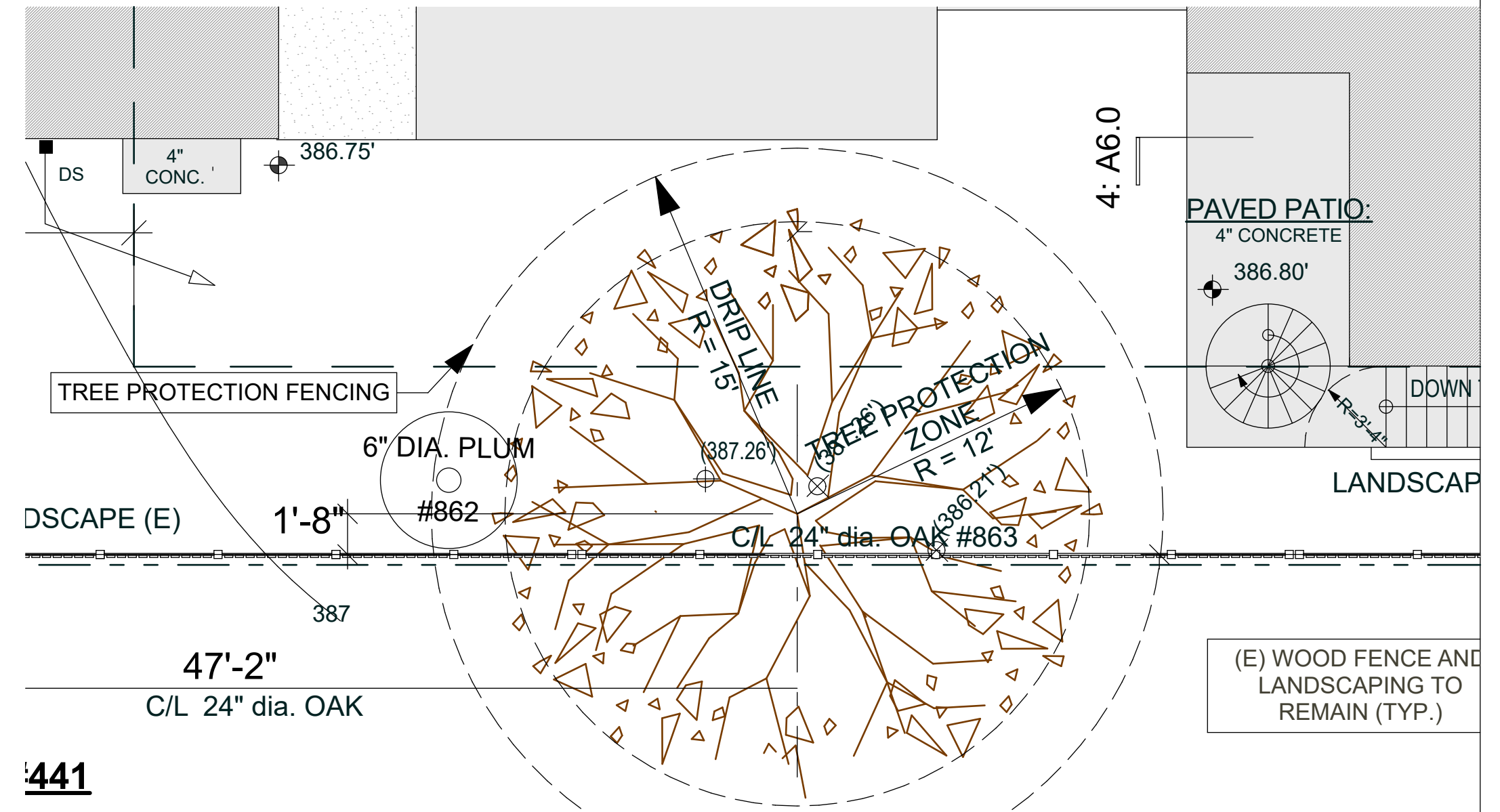
ARBOR TREE FOUNDATION © 2014 OPEN TO TREE TO USE Modified by: Mervyn Gonzalez Arroyo LLC, 2019

GENERAL NOTES:
1. NO IRRIGATED LANDSCAPING INCLUDED IN THIS PROJECT;
2. TREE FENCING TO BE INSTALLED WITH PICTURES UPLOADED TO TOWN OF LOS GATOS WEBSITE PRIOR TO PERMIT ISSUANCE.

PLAN REVIEW ACCEPTANCE
05.03.2024
Susan O'Brien

COMMUNITY DEVELOPMENT PLANNING DIVISION APPROVED
XX-XX-XXXX

THESE PLANS HAVE BEEN APPROVED AS SHOWN. ANY MODIFICATION TO WHAT HAS BEEN PROPOSED OR TO WHAT IS SHOWN AS EXISTING MAY REQUIRE A SEPARATE APPROVAL.



ARBORIST INSTRUCTIONS

NOVEMBER 2022

PLAN REVIEW APPROVAL

05.23.2024

TOWN OF LOS GATOS BUILDING DIVISION

REVISED:
January 2024
April 2024

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don schallock Architect AIA

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TITLE 24 REPORT - PART ONE January 2024

PLAN REVIEW APPROVAL 05.23.2024 TOWN OF LOS GATOS BUILDING DIVISION

REVISION

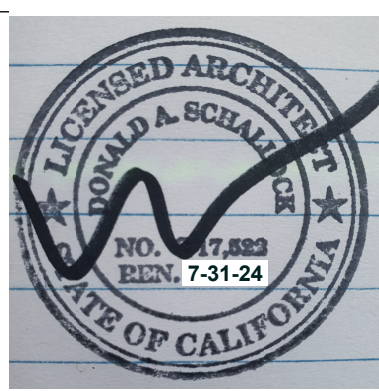
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PAGE TWO
T-24
of TWO

2019 Low-Rise Residential Mandatory Measures Summary. Table with 3 columns: Measure ID, Measure Description, and Compliance Status. Includes sections for Clearances, Storage Tank Installation, Water Piping, Gas or Propane Water Heating Systems, Insulation Protection, Recirculating Loops, Ducts and Fans, and Solar Water-Heating Systems.

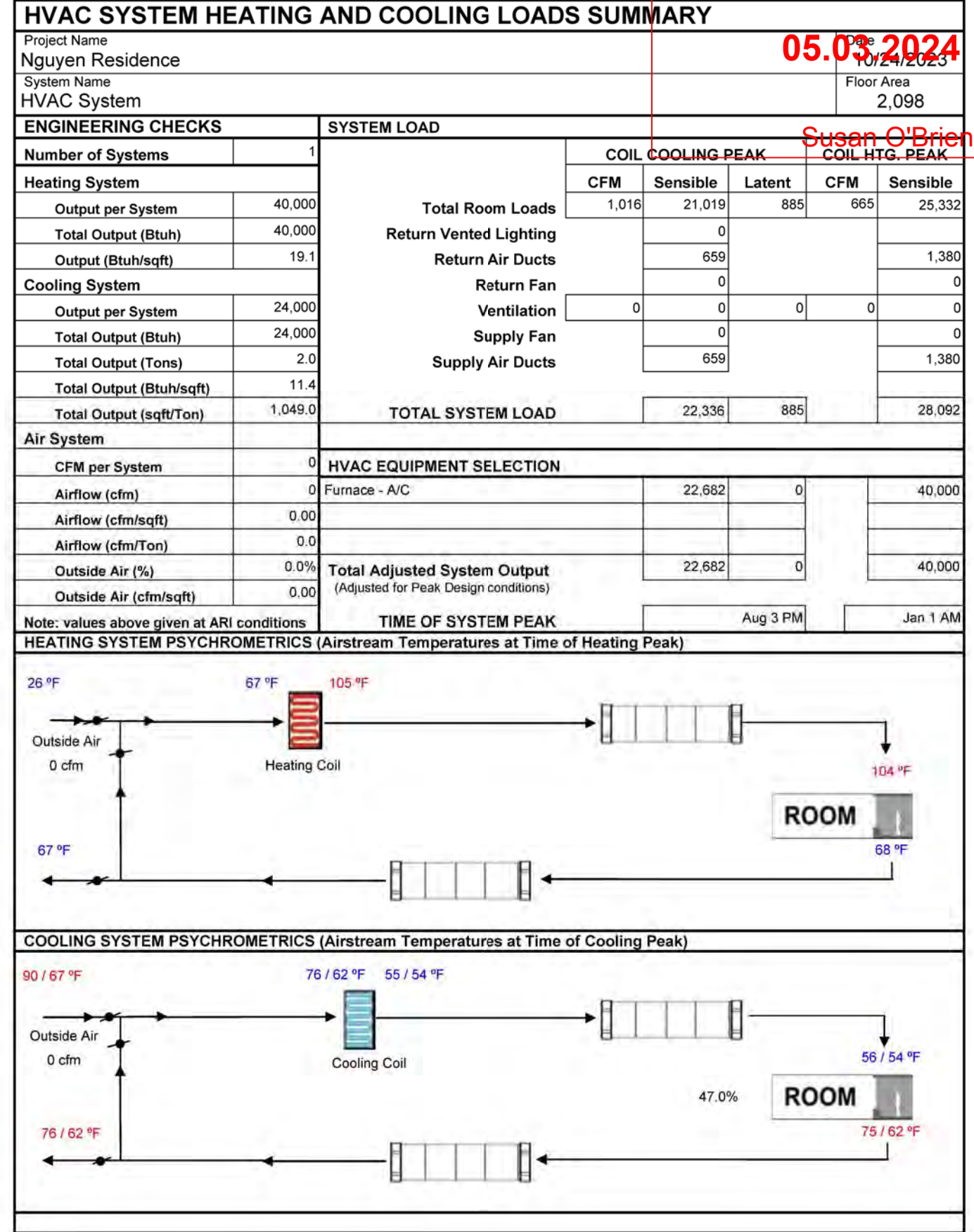
COMMUNITY DEVELOPMENT
PLANNING DIVISION
APPROVED
xx-xx-xxxx

2019 Low-Rise Residential Mandatory Measures Summary. Table with 3 columns: Measure ID, Measure Description, and Compliance Status. Includes sections for Building Envelope Measures, Air Leakage, Labeling, Field fabricated exterior doors, Air Leakage, Insulation Certification, Insulation Requirements for Heated Slab Floors, Roofing Products, Radiant Barrier, Ceiling and Rafter Roof Insulation, Loose-fill Insulation, Wall Insulation, Raised-floor Insulation, Slab Edge Insulation, Vapor Retarder, Vapor Retarder, Fenestration Products, Fireplaces, Decorative Gas Appliances, and Gas Log Measures, Space Conditioning, Water Heating, and Plumbing System Measures, HVAC Efficiency, Controls for Heat Pumps with Supplementary Electric Resistance Heaters, Thermostats, Water Heating Recirculation Loops, Isolation Valves, Pilot Lights, and Building Cooling and Electrical Supply Loads.

PLAN REVIEW ACCEPTANCE

05.03.2024

Susan O'Brien



BASEMENT HAS BEEN ELIMINATED

TITLE 24 REPORT - PART TWO

JANUARY 2024

PLAN REVIEW APPROVAL

05.23.2024

TOWN OF LOS GATOS
BUILDING DIVISION

CERTIFICATE OF COMPLIANCE. Project Name: Nguyen Residence. Calculation Date/Time: 2023-10-24T15:07:05-07:00. Includes a table for OPaque SURFACES - VERIFIED AND ALTERED with columns for Name, Size, Existing Construction, Surface Type, and Total Gwv or Value.

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2019 Low-Rise Residential Mandatory Measures Summary. Table with 3 columns: Measure ID, Measure Description, and Compliance Status. Includes sections for Requirements for Ventilation and Indoor Air Quality, Kitchen Range Hoods, Field Verification and Diagnostic Testing, Pool and Spa Systems and Equipment Measures, Lighting Measures, Luminaire Efficacy, Blank Electrical Boxes, Recessed Downlight Luminaires, Electronic Ballasts, Night Lights, Day Lights, and Path Lights, Lighting Integral to Exhaust Fans, Screw-based Luminaires, Light Sources in Enclosed or Recessed Luminaires, Light Sources in Drawers, Cabinets, and Linen Closets, Interior Switches and Controls, and Interior Switches and Controls.

2019 Low-Rise Residential Mandatory Measures Summary. Table with 3 columns: Measure ID, Measure Description, and Compliance Status. Includes sections for Interior Switches and Controls, Interior Switches and Controls, Interior Switches and Controls, Interior Common Areas of Low-rise Multifamily Residential Buildings, Interior Common Areas of Low-rise Multifamily Residential Buildings, Minimum Solar Zone Area, Shading, Structural Design Loads on Construction Documents, Interconnection Pathways, Main Electrical Service Panel, and Main Electrical Service Panel.