

STUDIO THREE DESIGN

INTERIORS
REMODELS +
ADDITIONS
NEW CONSTRUCTION

638 UNIVERSITY AVE
LOS GATOS
CALIFORNIA
95032

t 408.292.3252
f 253.399.1125

PROJECT DATA:

PROJECT ADDRESS: 328 BACHMAN AVENUE
LOS GATOS, CA 95030

APN: 510-14-037

CONSTRUCTED: 1900

LOT AREA: 11,100 SF (0.25 ACRES)

ZONING: R-1D:LHP

TRACT: #35 (MASSOL SUBDIVISION)

OCCUPANCY: R301 (SINGLE FAMILY RESIDENCE)

CONSTRUCTION TYPE: V-B (NON-SPRINKLERED)

WUI ZONE: NO

JURISDICTION: TOWN OF LOS GATOS

FIRE SPRINKLERS: NO

SETBACKS: PROPOSED ALLOWED
FRONT: (E) 35'-1" 15'-0"
LEFT SIDE: (E) 12'-6" 10'-0"
RIGHT SIDE: (E) 11'-11" 5'-0"
REAR: (E) 54'-1" 20'-0"

BUILDING HT: PROPOSED ALLOWED
RESIDENCE: (E) 28'-5" 30'-0"

HABITABLE AREAS: EXISTING PROPOSED ALLOWED
LIVING AREA @ 1ST: 1,847 SF 1,847 SF
LIVING AREA @ 2ND: 997 SF 1,129 SF
CELLAR (NIC IN FAR): (1,383 SF) (1,383 SF)

HABITABLE TOTAL: 2,776 SF 3,300 SF (FAR = .30)

GARAGE AREA: (E) GARAGE AREA: 360 SF 360 SF

GARAGE TOTAL: 360 SF 360 SF 921 SF (FAR = .083)

PROJECT INFO:

OWNER: [REDACTED]
328 BACHMAN AVENUE
LOS GATOS, CA 95030

DESIGNER: STUDIO 3 DESIGN
CONTACT BESS WIERSEMA
bess@studio-three.com
638 UNIVERSITY AVENUE
LOS GATOS, CA 95032
408.292.3252 (OFFICE)

STRUCTURAL ENGINEER: TBD

T24 ANALYST: FRI CONSULTING INC.
CONTACT NICK BIGNARDI
nick@friconsulting.com
21 N HARRISON STREET
SUITE 210
CAMPBELL, CA 95008
408.866.1620

SHEET INDEX:

A1.1	TITLE SHEET/SITE PLAN
A2.1	(E & N) CELLAR FLOOR PLANS - DEMOLITION
A2.2	(E & N) 1ST LEVEL FLOOR PLANS - DEMOLITION
A2.3	(E & N) 2ND LEVEL FLOOR PLANS - DEMOLITION
A2.4	(E & N) ROOF PLAN
A2.5	(E) EXTERIOR WALL DEMO & COLORIZED ELEVATIONS
A3.1	(E & N) FRONT ELEVATIONS
A3.2	(E & N) LEFT SIDE ELEVATIONS
A3.3	(E & N) REAR ELEVATIONS
A3.4	(E & N) RIGHT SIDE ELEVATIONS
A4.1	BUILDING SECTIONS
A4.2	BUILDING SECTIONS

GOVERNING CODES:

1. GOVERNING CODES: ALL WORK SHALL CONFORM TO THE FOLLOWING CODES AND STANDARDS:

A) 2022 CALIFORNIA BUILDING CODE (CBC); TITLE 24, PART 2 (BASED ON 2021 IBC)

B) 2022 CALIFORNIA RESIDENTIAL CODE (CRC); TITLE 24, PART 2.5 (BASED ON 2021 IRC)

C) 2022 CALIFORNIA ELECTRIC CODE (CEC); TITLE 24, PART 3 (BASED ON 2020 NEC)

D) 2022 CALIFORNIA MECHANICAL CODE (CMC); TITLE 24, PART 4 (BASED ON 2021 UMC)

E) 2022 CALIFORNIA PLUMBING CODE (CPC); TITLE 24, PART 5 (BASED ON 2021 UPC)

F) 2022 CALIFORNIA ENERGY CODE (CENC); TITLE 24, PART 6 (CA BUILDING STANDARDS COMMISSION)

G) 2022 CALIFORNIA FIRE CODE (CFC); TITLE 24, PART 9 (BASED ON 2021 IFC)

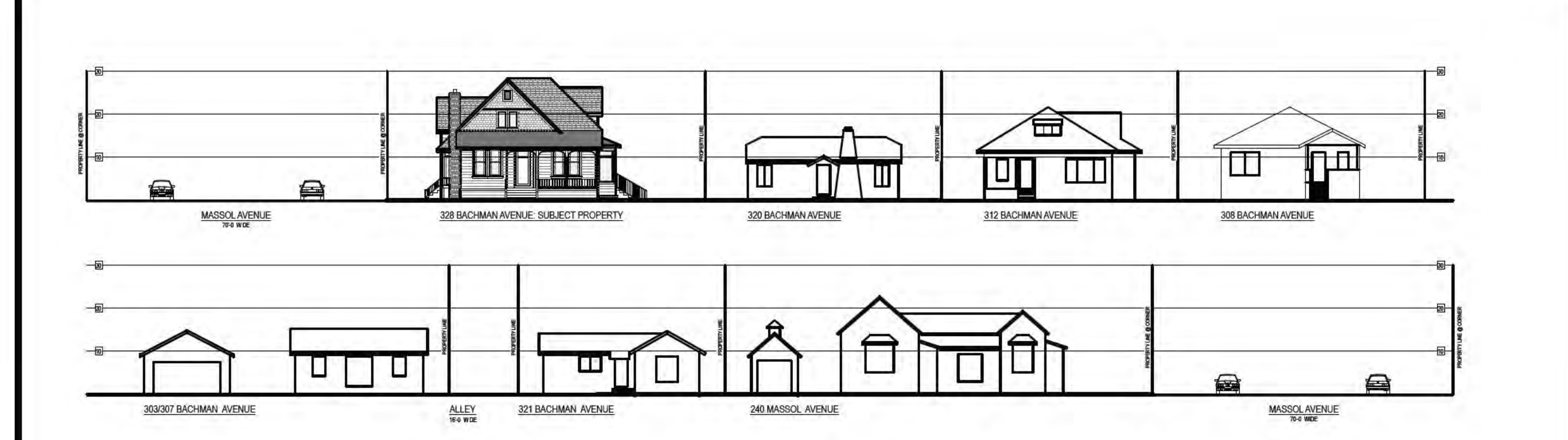
H) 2022 CALIFORNIA GREEN BUILDING CODE; TITLE 24, PART 11 (CA BUILDING STANDARDS COMMISSION)

IN ADDITION TO THE CODES REFERENCED ABOVE, ALL WORK SHALL CONFORM TO ALL LOCAL ORDINANCES & CODES AS APPLICABLE. CROSS REFERENCE ALL CODE NUMBERS AND VERIFY CONSISTENCY AS REQUIRED.

PROJECT SCOPE OF WORK:

SCOPE OF WORK: INTERIOR REMODEL TO AN EXISTING TWO-STORY, SINGLE FAMILY RESIDENCE WITH A CELLAR CONSTRUCTED IN 1900 (HISTORICAL). INCLUDES RECONFIGURATION OF (E) CELLAR (NOT INCLUDED IN FAR CALCULATIONS), INTERIOR BATH REMODEL, KITCHEN REMODEL & STAIR RECONSTRUCTION @ MAIN LEVEL, A 44 SF ADDITION (UNDER THE ROOF LINE), & 88 SF ADDITION @ PRIMARY BATH @ 2ND LEVEL. REMODEL & ADDITION CREATES 4 BEDROOMS & 4.5 BATHS. ALL NEW DETAILS SHALL MATCH (E) HISTORICAL CONSTRUCTION IN MATERIALS, STYLE & ARCHITECTURAL PROPORTIONS.

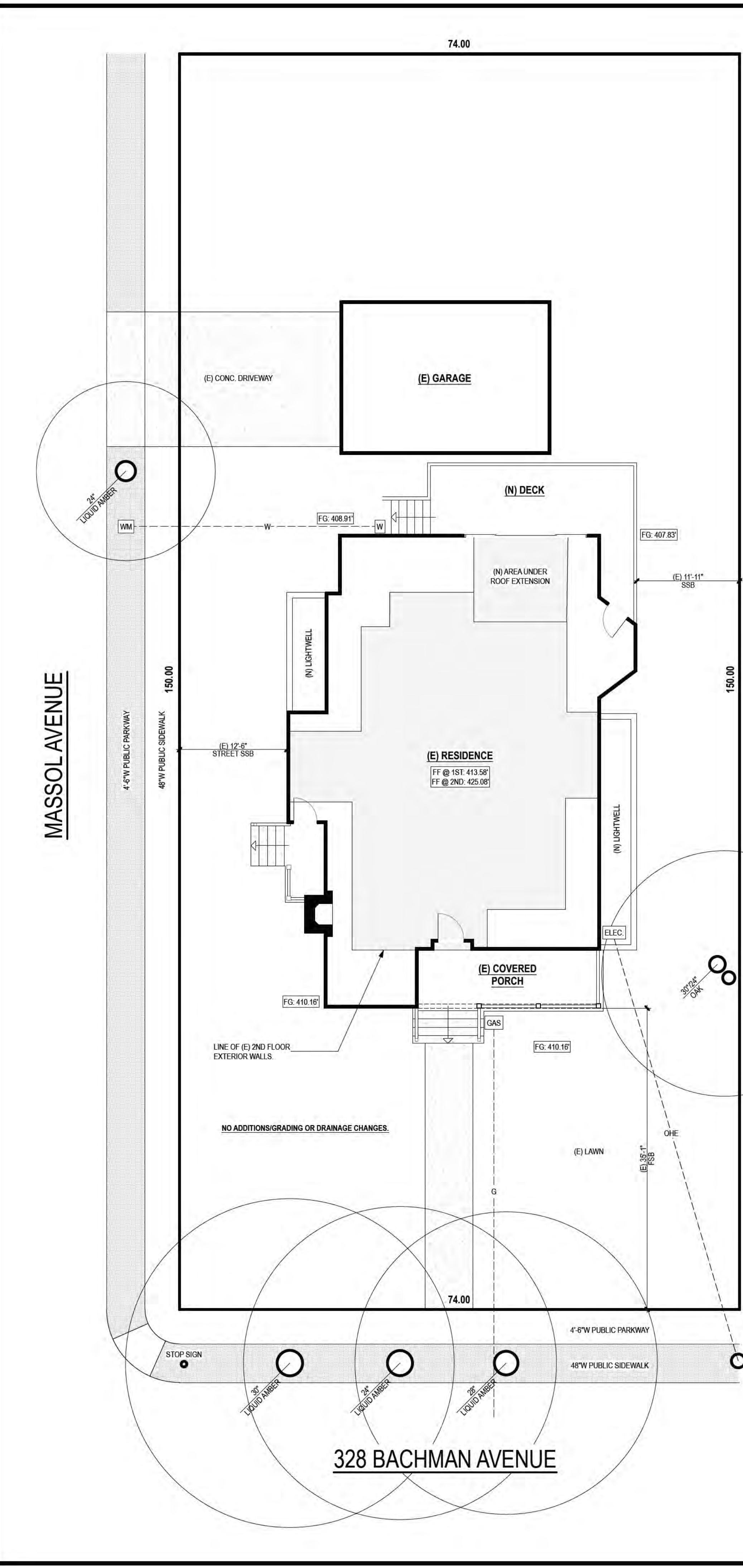
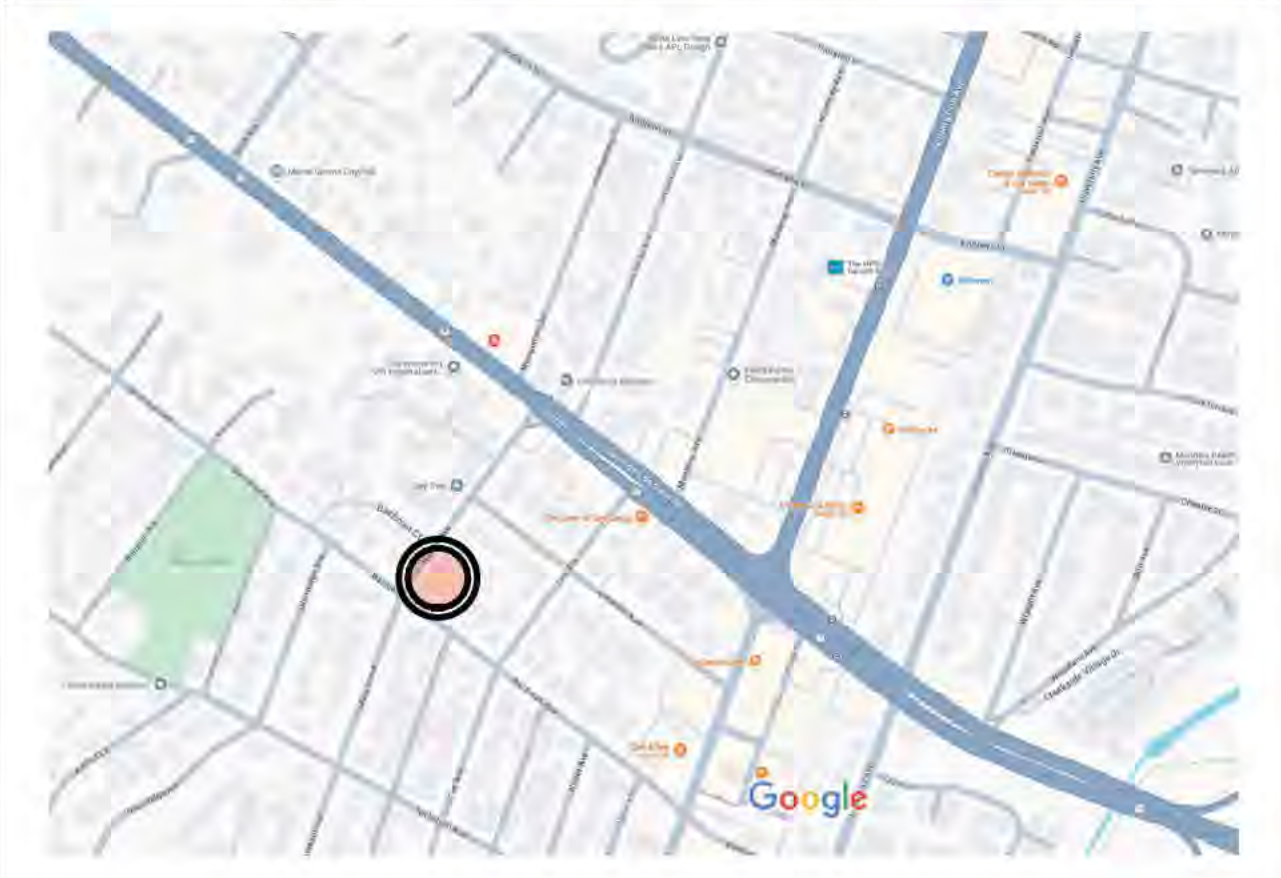
STREETSCAPE: BACHMAN AVENUE



PARCEL MAP (APM):



VICINITY MAP:



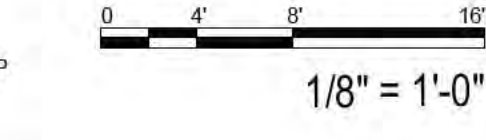
SITE PLAN NOTES:

- WHEN REQUIRED BASED ON THE SCOPE OF WORK, SEE THE CIVIL ENGINEER'S 'GRADING & DRAINAGE PLANS' AS APPLICABLE AND/OR REQUIRED FOR TOPOGRAPHY, SITE WORK & UNDERGROUND CONSTRUCTION (TYP) ALL GRADING SHALL BE PERFORMED IN ACCORDANCE WITH ALL LOCAL CODES & REQUIREMENTS. CIVIL ENGINEER'S PLANS SHALL TAKE PRECEDENCE OVER ANY ARCHITECTURAL, SITE PLANS AND/OR LANDSCAPE PLANS.
- WHEN REQUIRED AND AS APPLICABLE, A LICENSED CIVIL ENGINEER OR LICENSED LAND SURVEYOR SHALL PROVIDE WRITTEN CERTIFICATION OF SETBACK COMPLIANCE FROM PROPERTY LINES AND ALL RELATIVE PAD ELEVATIONS FOR ALL NEW CONSTRUCTION ON THE SITE.
- UNLESS NOTED OTHERWISE ON CIVIL ENGINEERING PLANS (GRADING AND DRAINAGE), THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF 2% FOR A MINIMUM DISTANCE OF 10'-0" MEASURED PERPENDICULAR TO THE FACE OF THE WALL. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10'-0" OF HORIZONTAL DISTANCE, A 5% SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. DRAINAGE SWALES USED FOR THIS PURPOSE SHALL BE SLOPED 2% WHERE LOCATED WITHIN 10'-0" OF THE BUILDING FOUNDATION. IMPERVIOUS SURFACES WITHIN 10'-0" OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2% AWAY FROM THE BUILDING. CBC1804.4. SEE EXCEPTION FOR ALLOWABLE FINISH GRADE SLOPE REDUCTION TO 2% AWAY FROM STRUCTURE.
- WHEN EXISTING SEWER LATERALS ARE APPROVED FOR REUSE, EXISTING LINES SHALL BE TELEVIEWED & APPROVED BY THE LOCAL SANITATION DISTRICT PRIOR TO FINAL INSPECTION. PROVIDE A NEW CLEAN OUT LOCATED @ THE PROPERTY LINE WITH AN APPROVED BACK FLOW PREVENTION DEVICE APPROVED BY THE SANITATION DEPARTMENT (AS APPLICABLE).
- IN NEW CONSTRUCTION, ALL UTILITIES SHALL BE INSTALLED UNDERGROUND (UNO). SEE THE UTILITY PROVIDER'S PLANS & SPECIFICATIONS FOR EXACT DETAIL & SERVICES TO BE PROVIDED. VERIFY JURISDICTION FOR SPECIAL MUNICIPAL REQUIREMENTS.
- ALL TREES MARKED ON THE 'SITE PLAN' NOT SCHEDULED FOR REMOVAL SHALL BE PROTECTED BY THE APPROPRIATE TREE PROTECTION MEASURES IDENTIFIED BY THE CONSULTING ARBORIST OF RECORD AND/OR LOCAL PLANNING JURISDICTION AS APPLICABLE & REQUIRED AS A CONDITION OF APPROVAL. NO EQUIPMENT, MATERIALS OR WORK SHALL COMMENCE UNTIL ALL TREE PROTECTION FENCING IS INSTALLED. TREE PROTECTION FENCING SHALL REMAIN IN PLACE UNTIL THE PROJECT IS READY FOR FINAL INSPECTION. ANY WORK REQUIRED WITHIN THE FENCED PROTECTED AREA SHALL BE PERFORMED WITH HAND TOOLS.
- AS APPLICABLE, SEE CONSULTING LANDSCAPE ARCHITECT'S DRAWINGS FOR FLATWORK, PAVING, RECREATIONAL FIXTURES, PROPOSED PLANTING & IRRIGATION INSTALLATIONS.
- R318.4 ADDRESS IDENTIFICATION. BUILDINGS SHALL BE PROVIDED WITH APPROVED ADDRESS IDENTIFICATION. THE ADDRESS IDENTIFICATION SHALL BE LEGIBLE AND PLACED IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. ADDRESS IDENTIFICATION CHARACTERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL NOT BE SPELLED OUT. EACH CHARACTER SHALL BE NOT LESS THAN 4 INCHES (102 MM) IN HEIGHT WITH A STROKE WIDTH OF NOT LESS THAN 0.5 INCH (12.7 MM), WHERE REQUIRED BY THE FIRE CODE OFFICIAL. ADDRESS IDENTIFICATION SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE, WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD & THE BUILDING ADDRESS CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS IDENTIFICATION SHALL BE MAINTAINED.

SITE PLAN

37° 13' 44" N
121° 59' 03" W

ADDRESS: 328 BACHMAN AVENUE
APN: 510-14-037
LOT SIZE: 11,100 SF (.25 ACRES)
ZONING: R-1D:LHP
TRACT: #35 (MASSOL SUBDIVISION)
BUILT: 1900
WUI: NO



RESIDENCE
328 BACHMAN AVENUE
LOS GATOS,
CA 95030

APN: 510-14-037

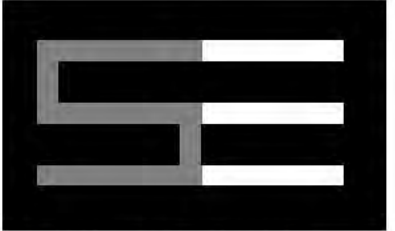
12/9/24
PLANNING SUBMITTAL SET

P1 12/09/24

SCALE: 1/8" = 1'-0"

SITE PLAN

A1.1
ATTACHMENT 6



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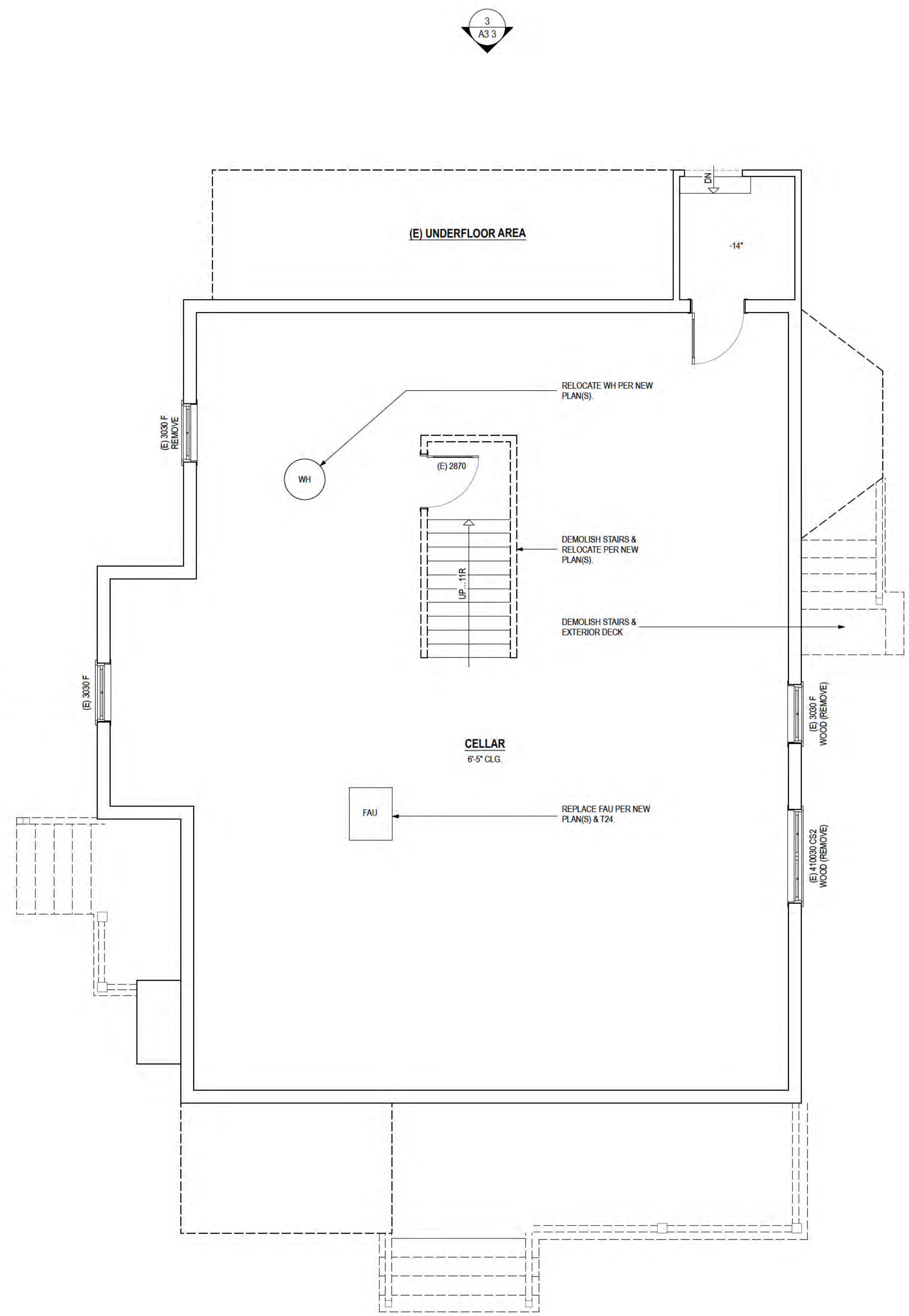
12/9/24
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P1 12/09/24

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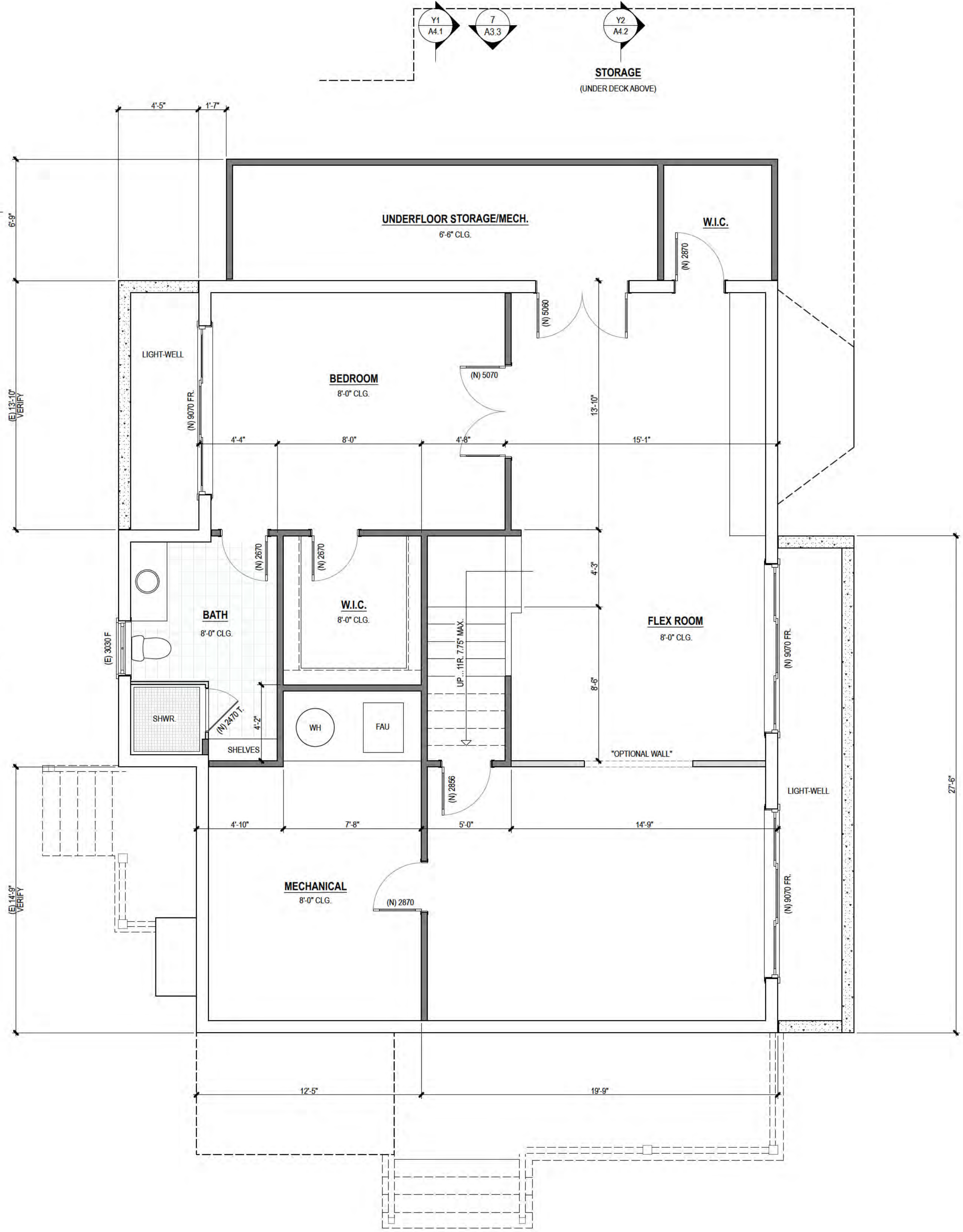
CELLAR PLANS

A2.1



EXISTING CELLAR PLAN

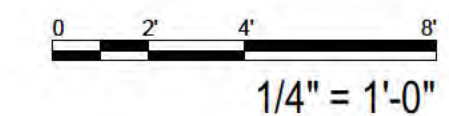
- (E) 2X DF STUD WALL TO REMAIN
- (E) CELLAR AREA: 1,393 SF



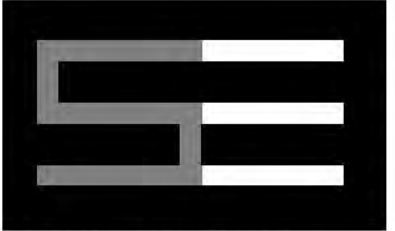
PROPOSED CELLAR PLAN

- (E) 2X DF STUD WALL TO REMAIN
- (N) 2X DF STUD WALL TO CONSTRUCT
USE 2X4 DF STUDS @ 16\"/>

(E) CELLAR AREA: 1,393 SF (**NOT INCLUDED IN FLOOR AREA**)
EXCAVATE AS NEEDED TO CREATE LEGAL HEADROOM @ (E) CELLAR.



A2.1



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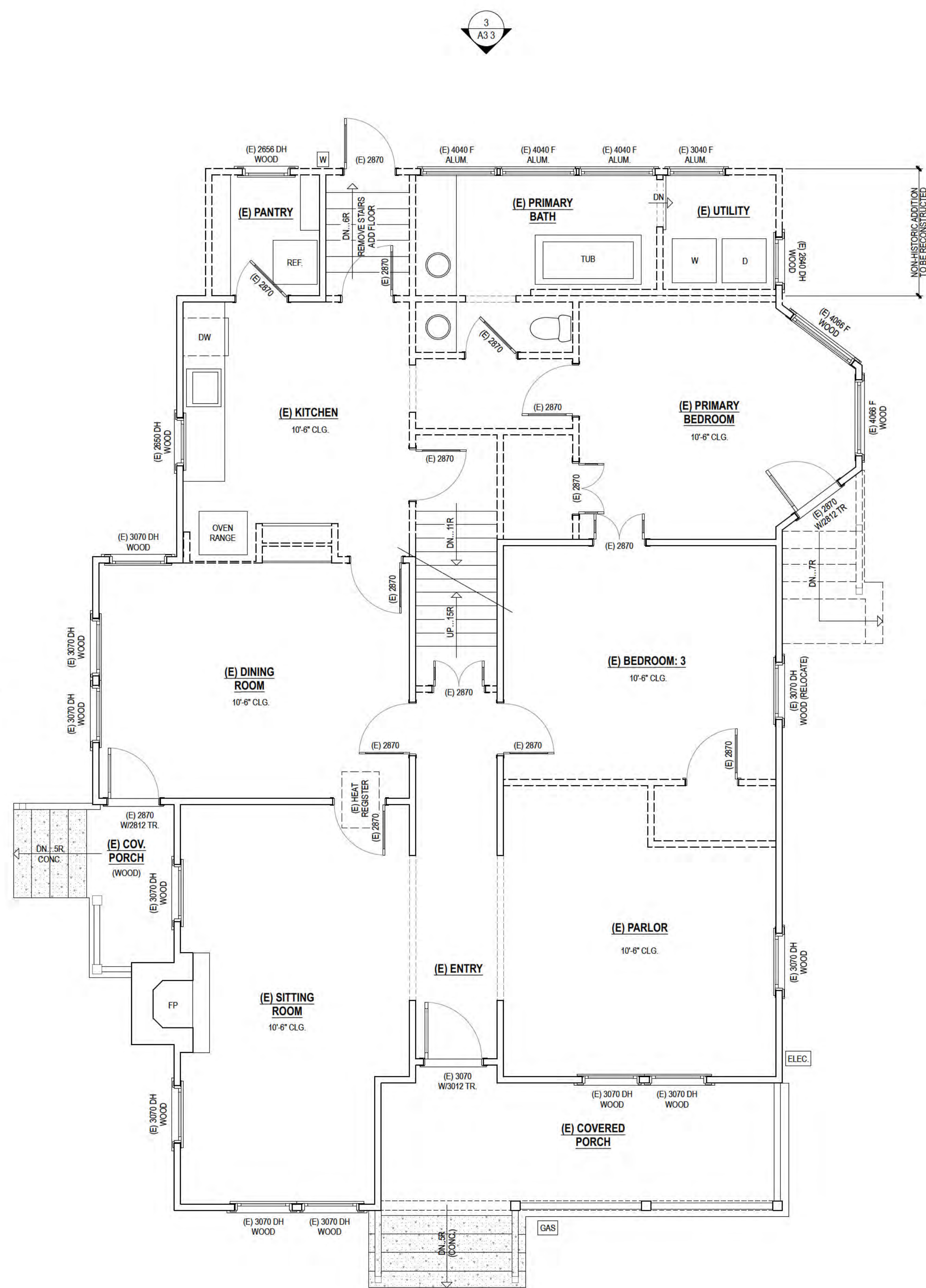
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1ST FLOOR PLANS

A2.2



4 A3.4

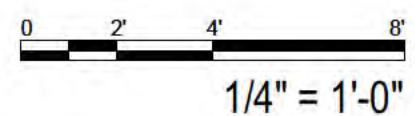
6 A3.2

1 A3.1

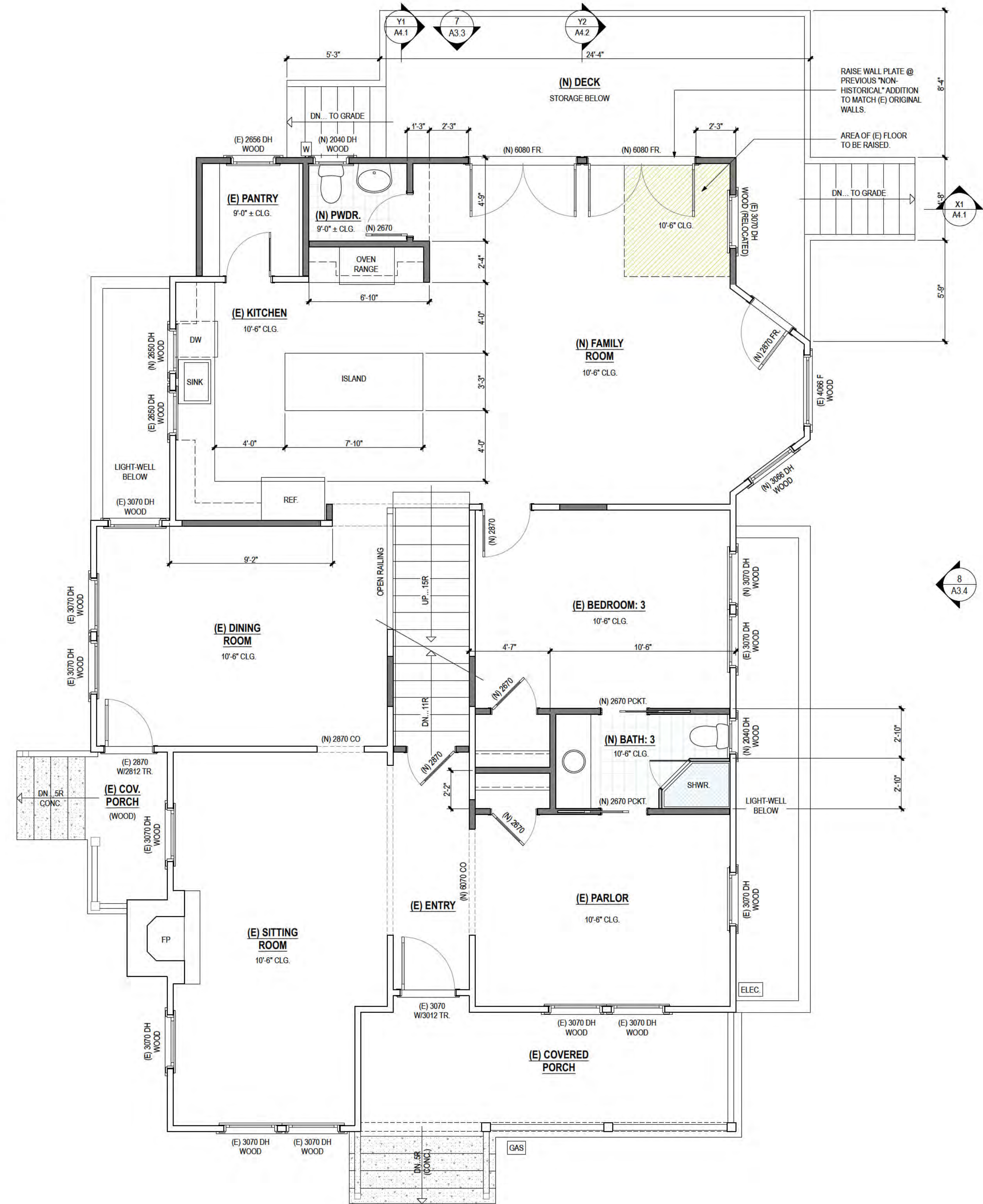


NORTH
37° 13' 44" N
121° 59' 03" W

**EXISTING 1ST LEVEL
FLOOR PLAN/DEMO**



- (E) 2X DF STUD WALL TO REMAIN
- - - - (E) 2X DF STUD WALL TO REMOVE
- (E) LIVING AREA: 1,647 SF (STAIRWAY/SHAFT EXCLUDED)
- (E) COVERED PORCH: 143 SF (ENTRY @ BACHMAN AVE.)
- (E) COVERED PORCH: 37 SF (ENTRY @ MASSOL AVE.)



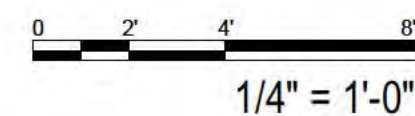
5 A3.1

Y2 M2



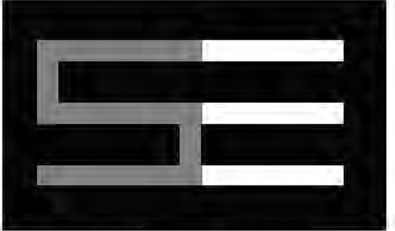
NORTH
37° 13' 44" N
121° 59' 03" W

**PROPOSED 1ST LEVEL
FLOOR PLAN**



- (E) 2X DF STUD WALL TO REMAIN
- (N) 2X DF STUD WALL TO CONSTRUCT
USE 2X4 DF STUDS @ 16"OC TYP. (UNO)
- (E) LIVING AREA: 1,647 SF (STAIRWAY/SHAFT EXCLUDED)
- (E) COVERED PORCH: 143 SF (ENTRY @ BACHMAN AVE.)
- (E) COVERED PORCH: 37 SF (ENTRY @ MASSOL AVE.)
- (N) WOOD DECK: 291 SF (@ REAR)

NO NEW FLOOR AREA



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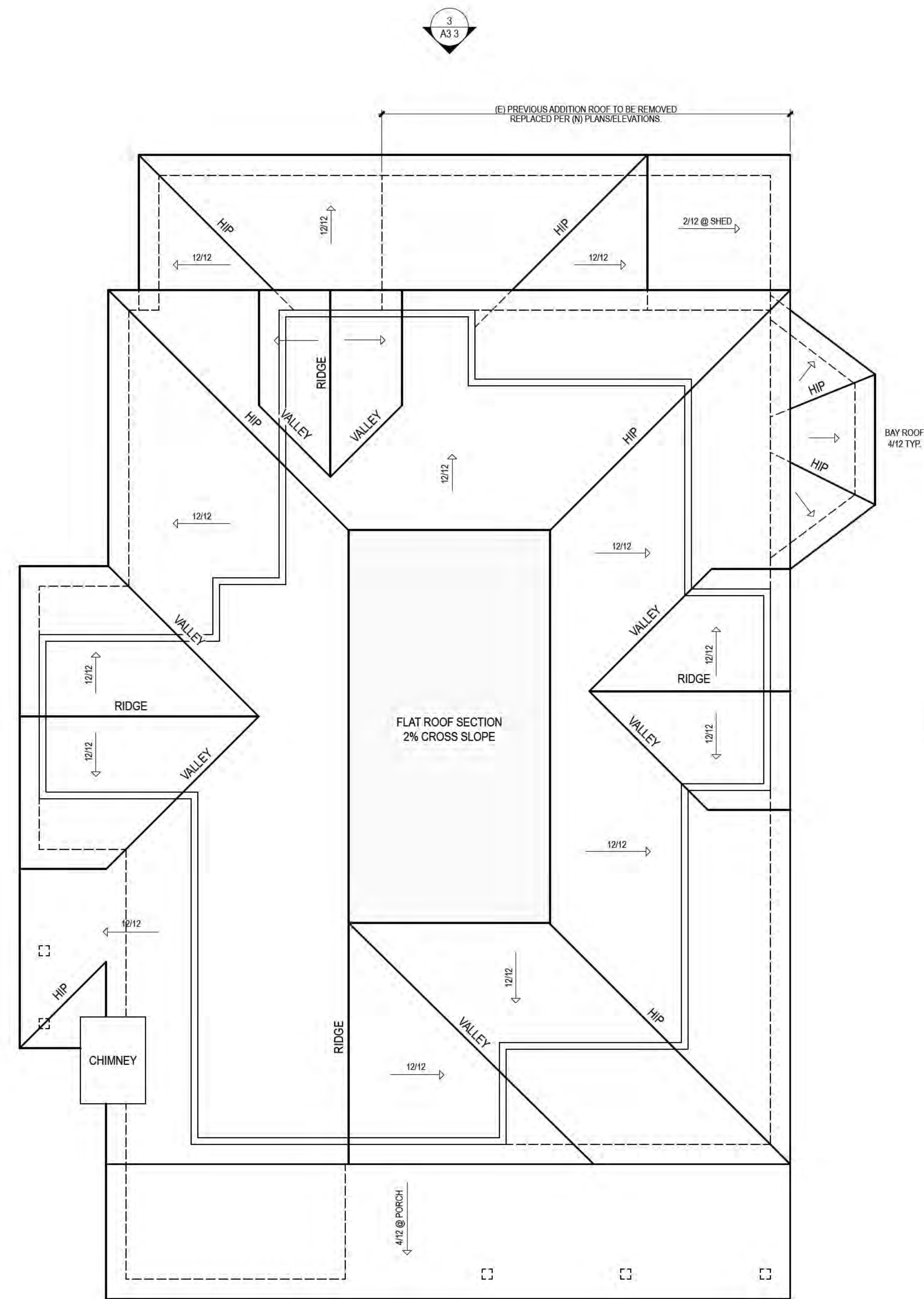
A.P.N. 510-14-037

12/9/24
PLANNING SUBMITTAL SET

SCALE: 1/4" = 1'-0"

(E) & (N) ROOF PLAN

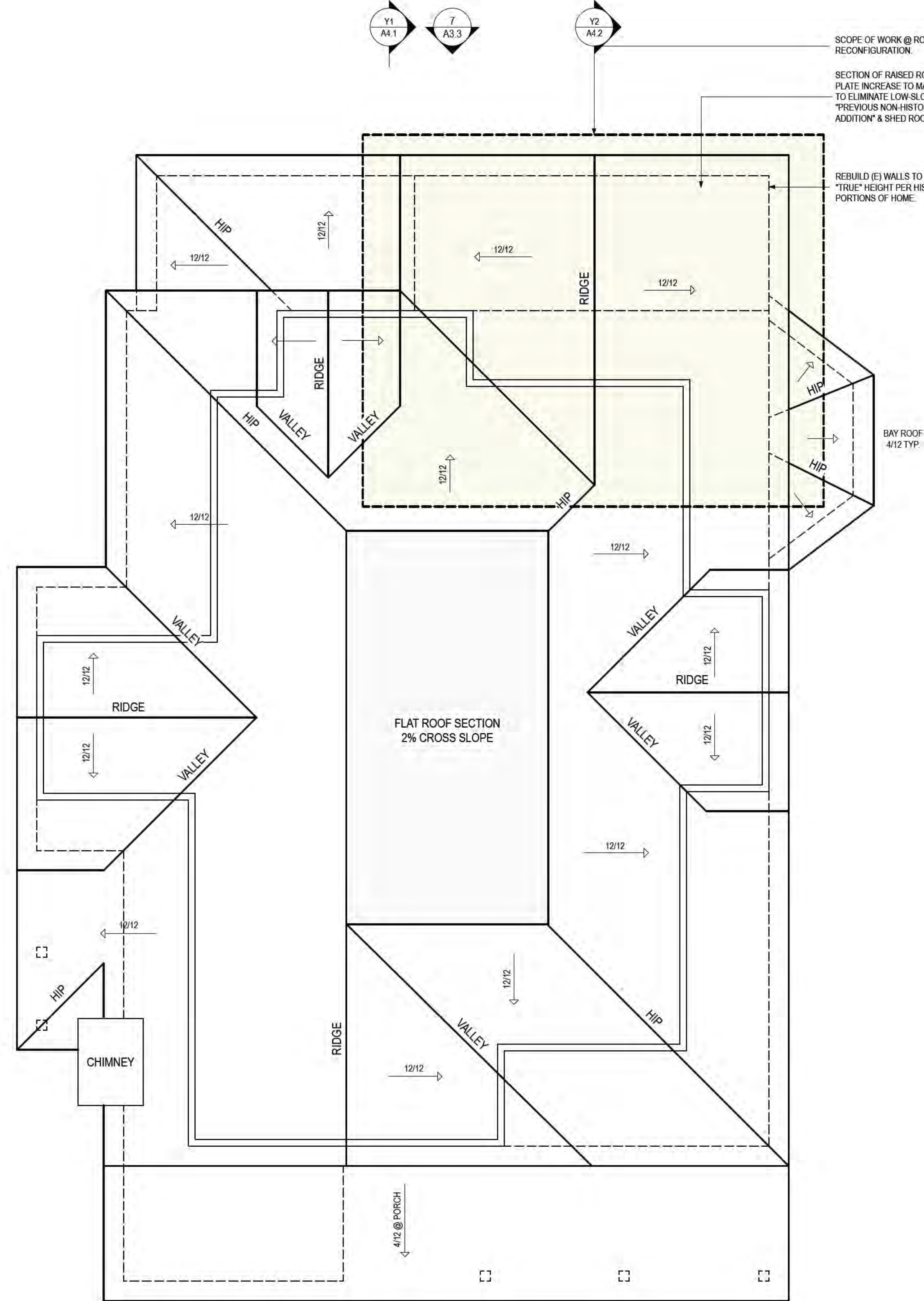
A2.4



EXISTING ROOF PLAN

(E) ROOF SLOPE: 12/12 (UNO)
(E) ROOFING MATERIAL: CLASS A, ASPHALT SHINGLES.
(E) OVERHANG: 12" TYP. W/CLOSED EAVE

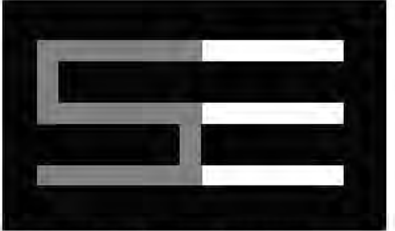
NORTH
37° 18' 23" N
121° 54' 38" W



PROPOSED ROOF PLAN

(E) ROOF SLOPE: 12/12 (UNO)
(E) ROOFING MATERIAL: CLASS A, ASPHALT SHINGLES.
(E) OVERHANG: 12" TYP. W/CLOSED EAVE

NORTH
37° 18' 23" N
121° 54' 38" W



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SCALE: 1/4" = 1'-0"

(E) 2ND FLOOR PLANDEMO

A2.5



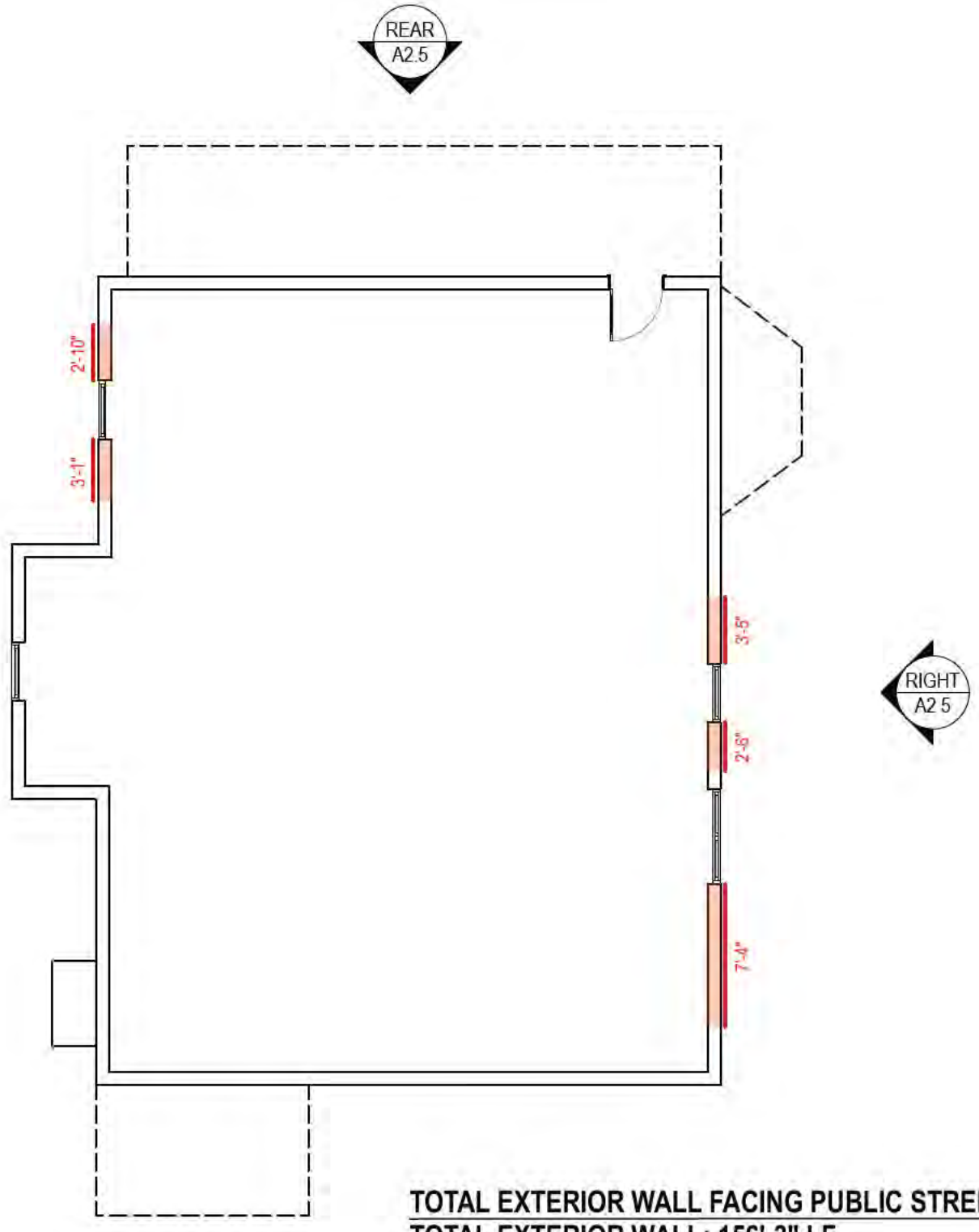
593 SF OF EXTERIOR WALL SIDING.
0 SF OF EXTERIOR WALL SIDING REMOVED. (0%) FACING PUBLIC STREET.
EXISTING FRONT ELEVATION (SOUTHWEST)
1/8" = 1'-0"



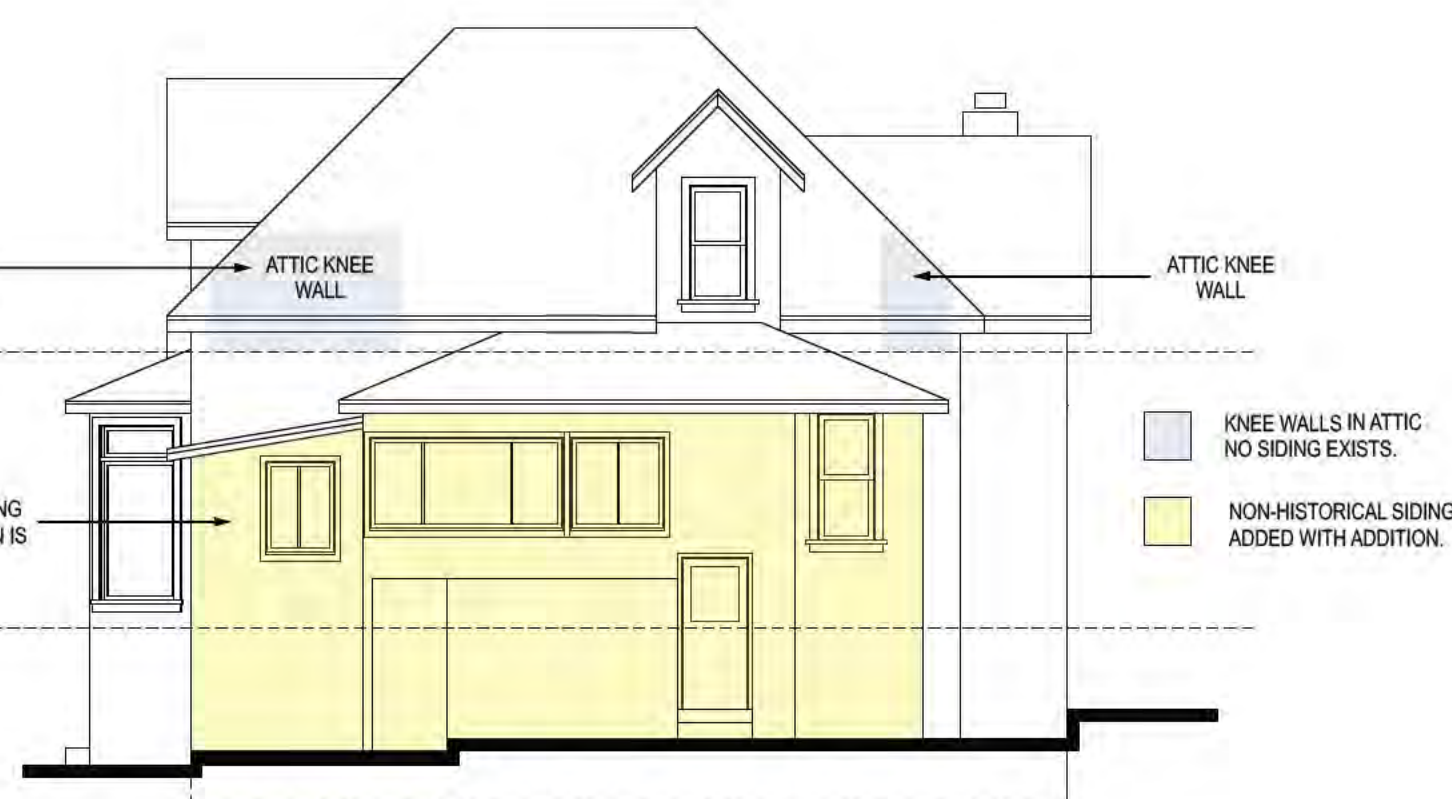
896 SF OF EXTERIOR WALL SIDING.
113 SF OF EXTERIOR WALL SIDING REMOVED. (13%) FACING A PUBLIC STREET.
EXISTING LEFT SIDE ELEVATION (NORTHWEST)
1/8" = 1'-0"



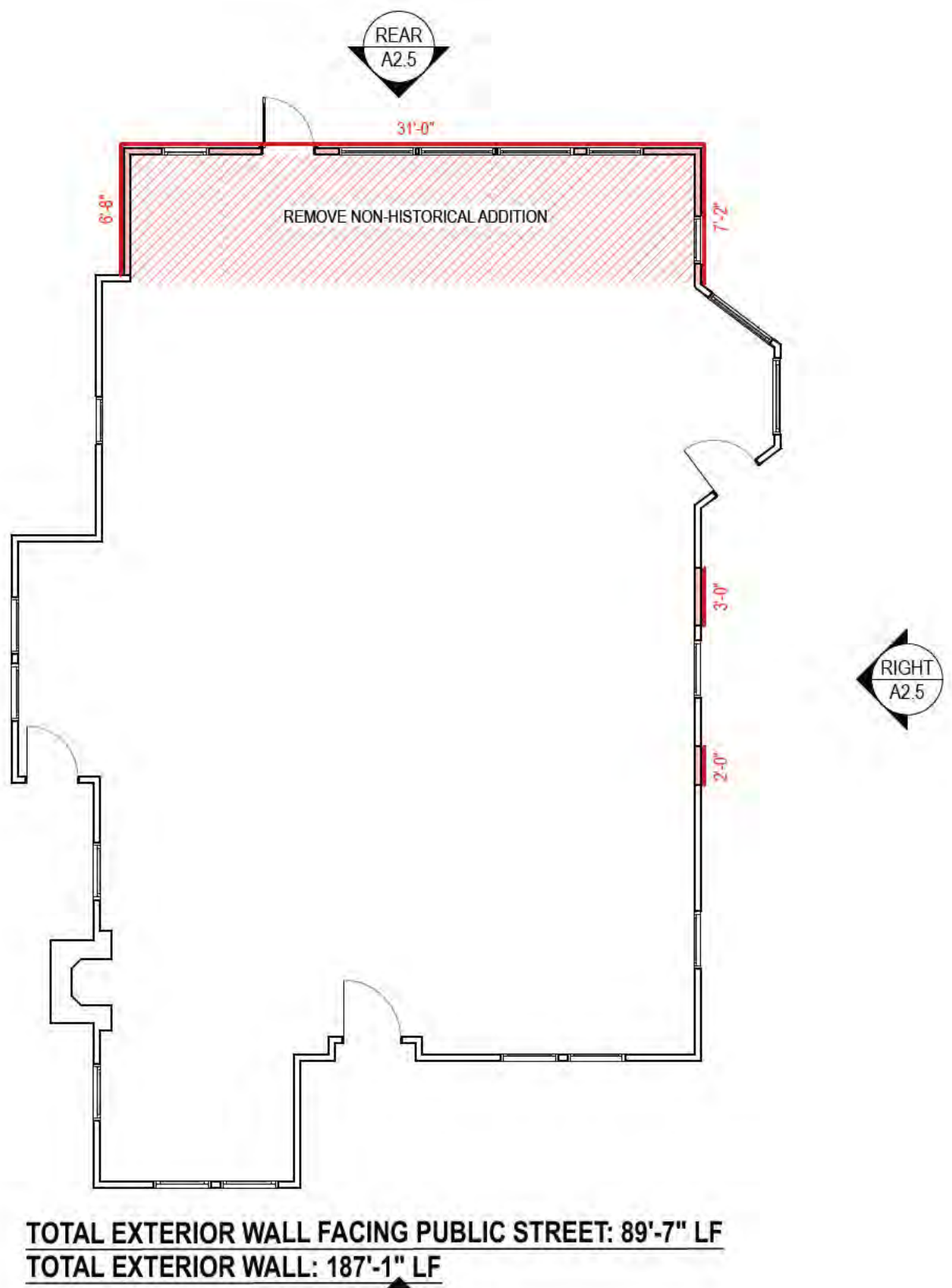
905 SF OF EXTERIOR WALL.
176 SF OF EXTERIOR WALL SIDING REMOVED. (19%) NOT FACING A PUBLIC STREET.
EXISTING RIGHT SIDE ELEVATION (NORTHEAST)
1/8" = 1'-0"



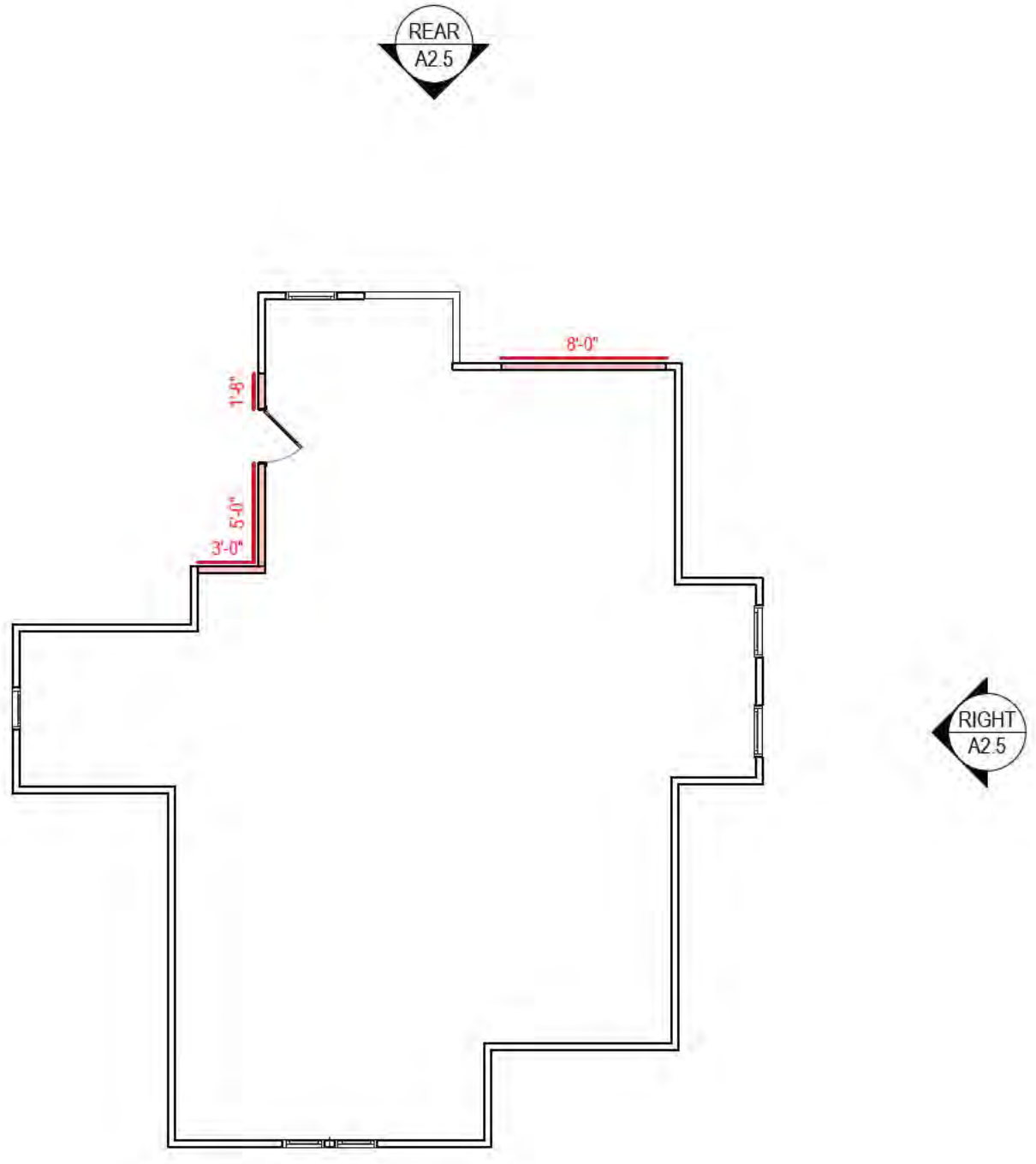
TOTAL EXTERIOR WALL FACING PUBLIC STREET: 78'-1" LF
TOTAL EXTERIOR WALL: 156'-3" LF
EXISTING CELLAR LEVEL EXTERIOR WALL DEMO 1/8" = 1'-0"
— (E) 2X DF STUD WALL TO REMAIN
— (E) 2X DF STUD WALL TO REMOVE



632 SF OF EXTERIOR WALL SIDING.
411 SF OF EXTERIOR WALL SIDING REMOVED. (65%) NOT FACING A PUBLIC STREET.
EXISTING REAR ELEVATION (NORTHWEST)
1/8" = 1'-0"



TOTAL EXTERIOR WALL FACING PUBLIC STREET: 89'-7" LF
TOTAL EXTERIOR WALL: 187'-1" LF
EXISTING 1ST LEVEL EXTERIOR WALL DEMO 1/8" = 1'-0"
— (E) 2X DF STUD WALL TO REMAIN
— (E) 2X DF STUD WALL TO REMOVE

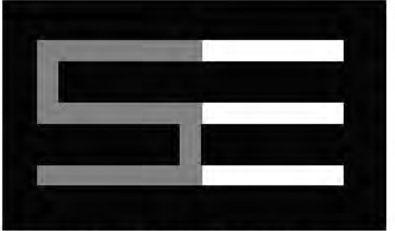


TOTAL EXTERIOR WALL FACING PUBLIC STREET: 73'-10" LF
TOTAL EXTERIOR WALL: 141'-10" LF
EXISTING 2ND LEVEL EXTERIOR WALL DEMO 1/8" = 1'-0"
— (E) 2X DF STUD WALL TO REMAIN
— (E) 2X DF STUD WALL TO REMOVE

TOWN OF LOS GATOS DEMOLITION CALCS (TOTAL EXTERIOR WALLS)			
	TOTAL EXT. WALL LENGTH (LF)	WALL LENGTH TO BE REMOVED (LF)	WALL LENGTH TO REMAIN (LF)
CELLAR	156.25	19.25	137
1ST FLOOR	187.1	49.85	137.25
2ND FLOOR	141.75	17.65	124.1
TOTAL EXT. WALL	485.1	86.75	398.35
TOTAL PROPOSED (%)		17.88%	82.12%
		17.88% < 50% THEREFORE NO TECHNICAL DEMO	

TOWN OF LOS GATOS DEMOLITION CALCS (TOTAL EXTERIOR WALLS FACING PUBLIC)			
	TOTAL EXT. WALL LENGTH (LF)	WALL LENGTH TO BE REMOVED (LF)	WALL LENGTH TO REMAIN (LF)
CELLAR	78.1	6	72.1
1ST FLOOR	89.6	6.6	83
2ND FLOOR	73.9	6.7	67.2
TOTAL EXT. WALL	241.6	19.3	222.3
TOTAL PROPOSED (%)		7.99%	92.01%
		7.99% < 25% THEREFORE NO TECHNICAL DEMO	

- REMOVAL IS LESS THAN 25% OF ALL EXTERIOR WALLS FACING A PUBLIC STREET. **NO TECHNICAL DEMOLITION.**
- REMOVAL IS LESS THAN FIFTY (50%) OF ALL EXTERIOR WALLS. **NO TECHNICAL DEMOLITION.**
- AN EXTERIOR WALL ENCOMPASSES THE TOTAL HEIGHT AND WIDTH OF THE STUDS/STRUCTURAL ELEMENTS USED IN FRAMING THE SIDE OF THE BUILDING.
- MEASUREMENT OF EXISTING EXTERIOR WALLS, FOR THE PURPOSE OF DEMOLITION CALCULATION, IS A LINEAR MEASUREMENT OF THE PERIMETER OF EACH FLOOR OF THE BUILDING (THE PERIMETER OF THE FIRST FLOOR PLUS THE PERIMETER OF THE SECOND FLOOR).
- THERE IS AN EXEMPTION FOR REPAIR. PLEASE SEE SECTION 29.10.020 FOR THE EXEMPTION.
- ADDITIONAL INFORMATION:
- DRY ROT OR ANY OTHER DAMAGE DOES NOT EXEMPT THE PROJECT FROM ANY PROVISION SET FORTH BY SECTION 29.10.08030. IF YOU FIND DRY ROT AND NEED TO REPAIR IT, **STOP WORK** AND CONTACT THE PLANNING DIVISION AT (408) 354-8872 TO DISCUSS THE CHANGES BEFORE YOU PROCEED.
- IF YOU ENCOUNTER AN UNANTICIPATED SITUATION THAT CHANGES THE SCOPE OF WORK, **STOP WORK** AND CONTACT THE PLANNING DIVISION AT (408) 354-8872 TO DISCUSS THE CHANGES BEFORE YOU PROCEED.
- THE INSTALLATION OF NEW DOORS OR WINDOWS WITHIN EXISTING DOOR AND WINDOW OPENINGS DOES NOT COUNT AS DEMOLITION.



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SCALE: 1/4" = 1'-0"

(E & N) FRONT ELEVATIONS

A3.1



BACHMAN AVE. STREET VIEW



1. EXISTING FRONT ELEVATION (SOUTHWEST)

BACHMAN AVENUE SIDE

1/4" = 1'-0"



FRONT PORCH RAILING DETAIL



5. PROPOSED FRONT ELEVATION (SOUTHWEST)

BACHMAN AVENUE SIDE

1/4" = 1'-0"



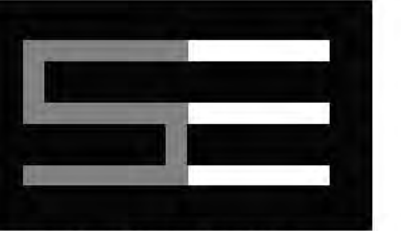
MASSOL AVE. STREET VIEW



2. EXISTING LEFT SIDE ELEVATION (NORTHWEST)
 MASSOL AVENUE SIDE
 1/4" = 1'-0"



6. PROPOSED LEFT SIDE ELEVATION (NORTHWEST)
 MASSOL AVENUE SIDE
 1/4" = 1'-0"



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P1 12/09/24

SCALE: 1/4" = 1'-0"

(N & E) LEFT ELEVATIONS

A3.2



NON-HISTORICAL ADDITION TO REMOVE



3. EXISTING REAR ELEVATION (NORTHWEST)

1/4" = 1'-0"



3. PROPOSED REAR ELEVATION (NORTHWEST)

1/4" = 1'-0"



STUDIO THREE DESIGN

INTERIORS
REMODELS +
ADDITIONS
NEW CONSTRUCTION

638 UNIVERSITY AVE
LOS GATOS
CALIFORNIA
95032

t 408.292.3252
f 253.399.1125

RESIDENCE
328 BACHMAN AVENUE,
LOS GATOS,
CA 95030

A.P.N. 510-14-037

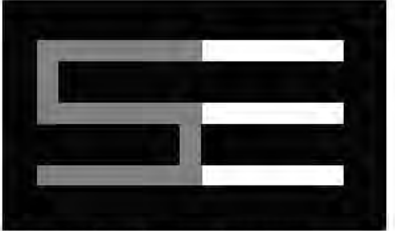
12/9/24
PLANNING SUBMITTAL SET

P1 12/09/24

SCALE: 1/4" = 1'-0"

(N & E) REAR ELEVATIONS

A3.3



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12/9/24
PLANNING SUBMITTAL SET

P1 12/09/24

SCALE: 1/4" = 1'-0"

(N & E) RIGHT ELEVATIONS

A3.4



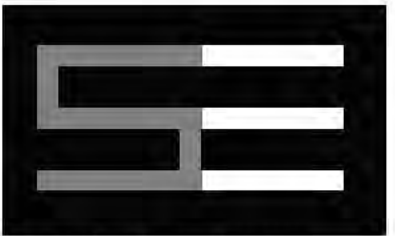
4. EXISTING RIGHT SIDE ELEVATION (NORTHEAST)

1/4" = 1'-0"



8. PROPOSED RIGHT SIDE ELEVATION (NORTHEAST)

1/4" = 1'-0"

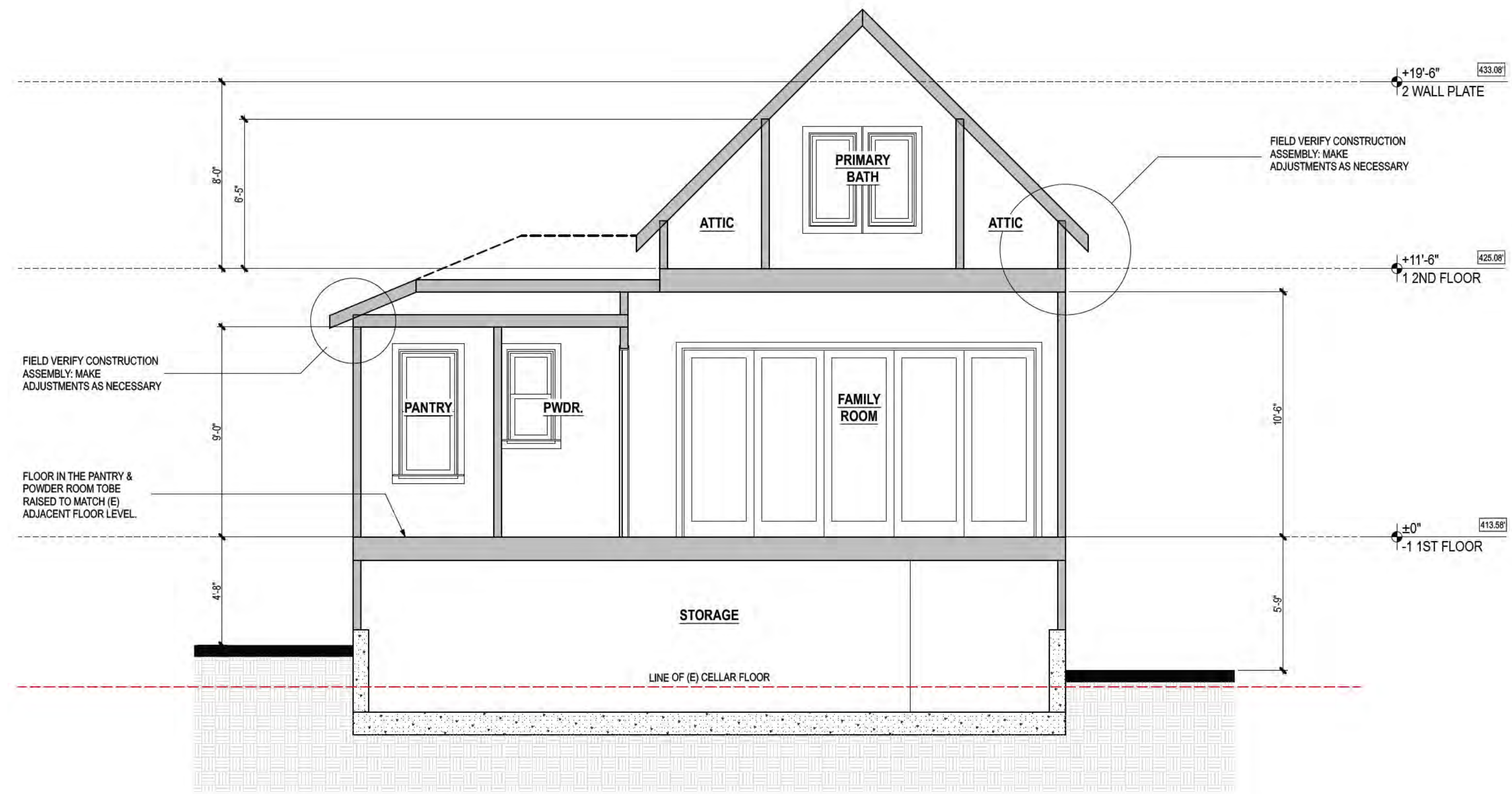


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X1. BUILDING SECTION



Y1. BUILDING SECTION

RESIDENCE
328 BACHMAN AVENUE
LOS GATOS,
CA 95030

A.P.N. 510-14-037

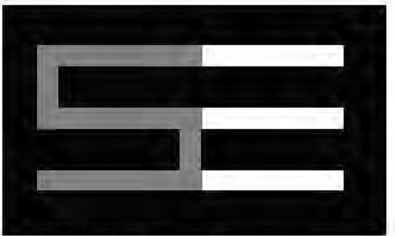
12/9/24
PLANNING SUBMITTAL SET

P1 12/09/24

SCALE: 1/4" = 1'-0"

SECTIONS

A4.1

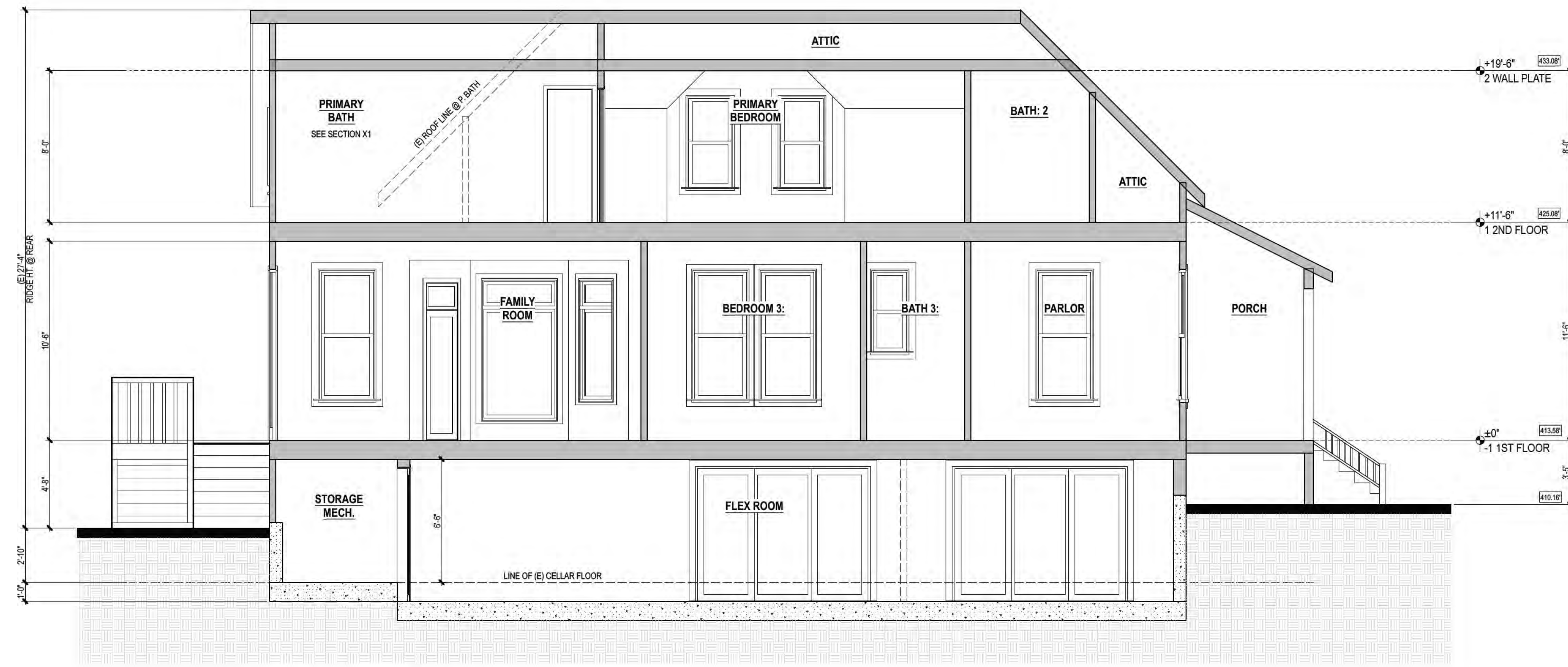


STUDIO THREE DESIGN

INTERIORS
REMODELS +
ADDITIONS
NEW CONSTRUCTION

638 UNIVERSITY AVE
LOS GATOS
CALIFORNIA
95032

t 408.292.3252
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Y2. BUILDING SECTION

RESIDENCE
328 BACHMAN AVENUE,
LOS GATOS,
CA 95030

A.P.N. 510-14-037

12/9/24
PLANNING SUBMITTAL SET

P1 12/09/24

SCALE: 1/4" = 1'-0"

SECTIONS

A4.2