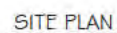
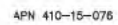
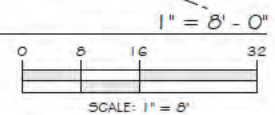


[illegible]

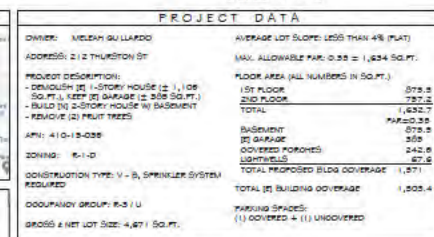
PLOTTED ON SURVEY BY ROBERT J. CRAIG, DATED 12-8-2022, JOB # C-22086



DRAWING INDEX	
ARCHITECTURAL	
SHEET A1	SITE PLAN, PROJECT DATA, SHAD- STUDY
SHEET A2	FLOOR PLANS, ROOF PLAN
SHEET A3	ELEVATIONS
SHEET A4	SECTIONS, STREETScape & SITE SECTION
CIVIL	
SHEET 1	GRADING & DRAINAGE NOTES
SHEET 2	SW FLOW
SHEET 3	SITE PLAN & DEMO PLAN
SHEET 4	DRAINAGE PLAN
SHEET 5	SITE PROFILE, SECT ON OUTS, & DETAILS
SHEET 6	UTILITY PLAN
SHEET 7	CONSTRUCTION MANAGEMENT PL- DESIGN & SEDIMENT CONTROL
SHEET 8	PLAN, NOTES AND DATA
SHEET 9	CONSTRUCTION SITE FIRE SAFETY



FRONT SETBACK NOTE
THE ADJACENT HOUSE SETBACKS ARE 10'-0" AND MINUS 8", SO THE REQUIRED FRONT SETBACK IS THE AVERAGE = $(10-0.75)/2 = 7.125'$



NOTES:

1. A separate building permit is required for the P/V system that is required by the California Energy Code Performance or Prescriptive standards. The separate P/V system permit must be filed prior to the issuance of Certificate of Occupancy.
2. The Residence will comply with the Town's all electric appliance, electric vehicle and energy storage system requirements in accordance with Town Code.

DRAWINGS PREPARED BY
CHRIS SPAULDING

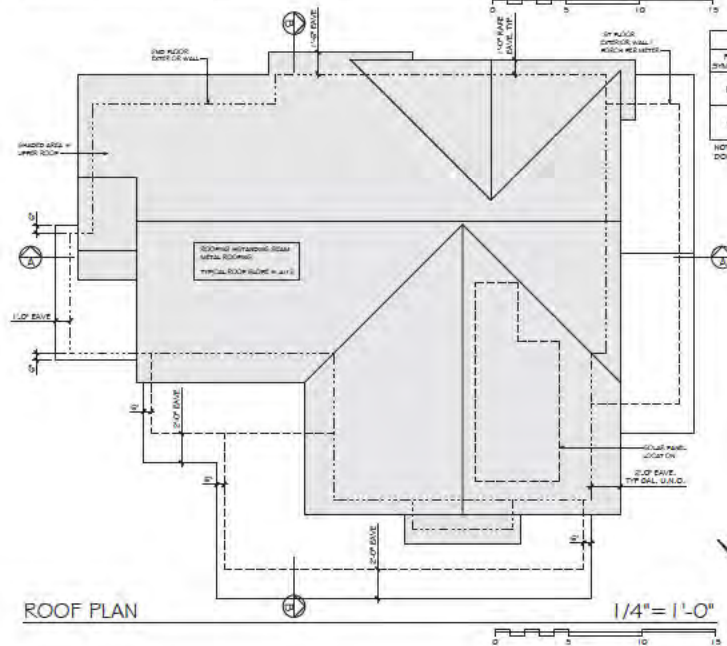
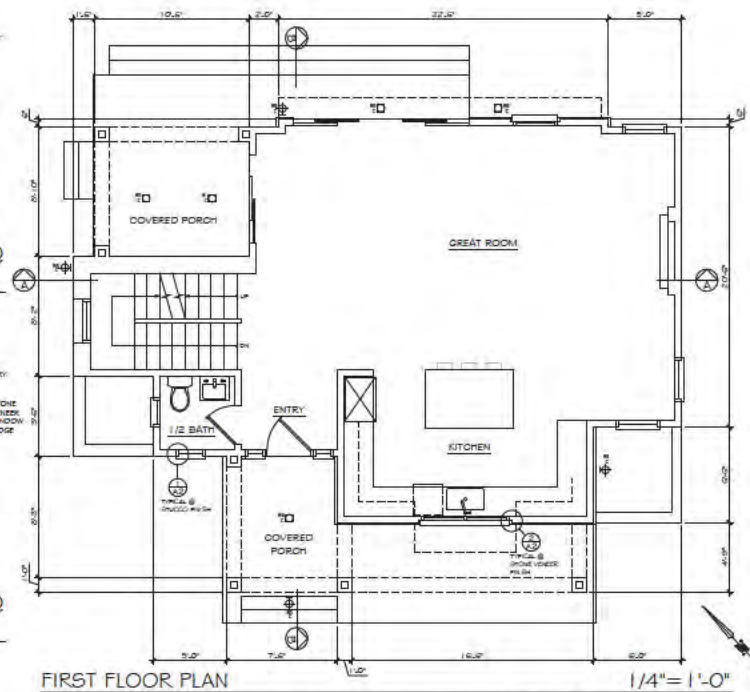
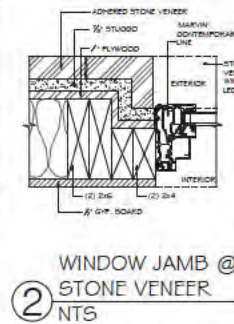
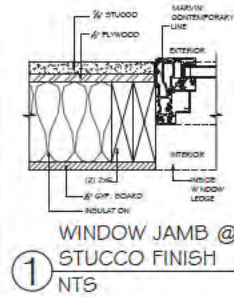
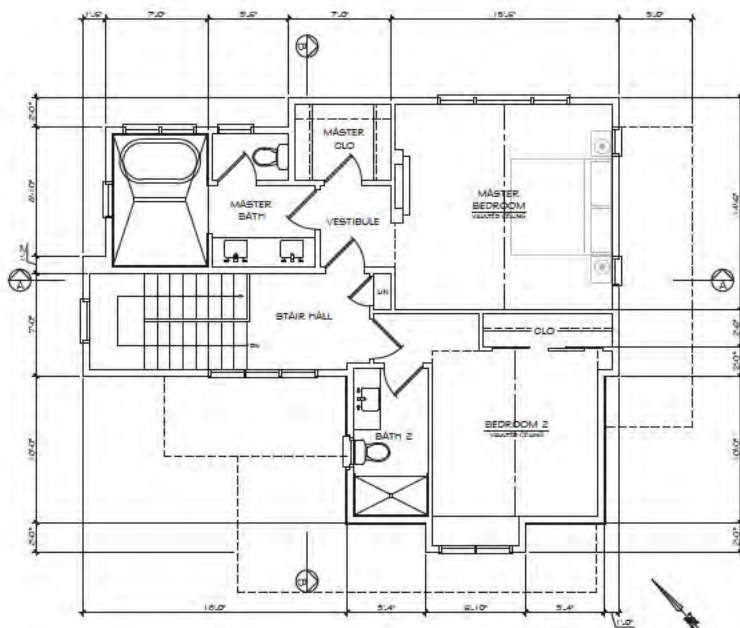
REVISIONS	BY
7-10-25	dm
10-11-25	
10-20-25	
11-25-25 Enlarge parking	aprac

PRELIMINARY SET	
DESIGN REVIEW SET	
PLAN CHECK SET	
PERMIT SET	
CONSTRUCTION SET	

A PROPOSED NEW 2-STORY HOME FOR
GUILLARDO RESIDENCE
212 THURSTON ST
LOS GATOS • CALIFORNIA

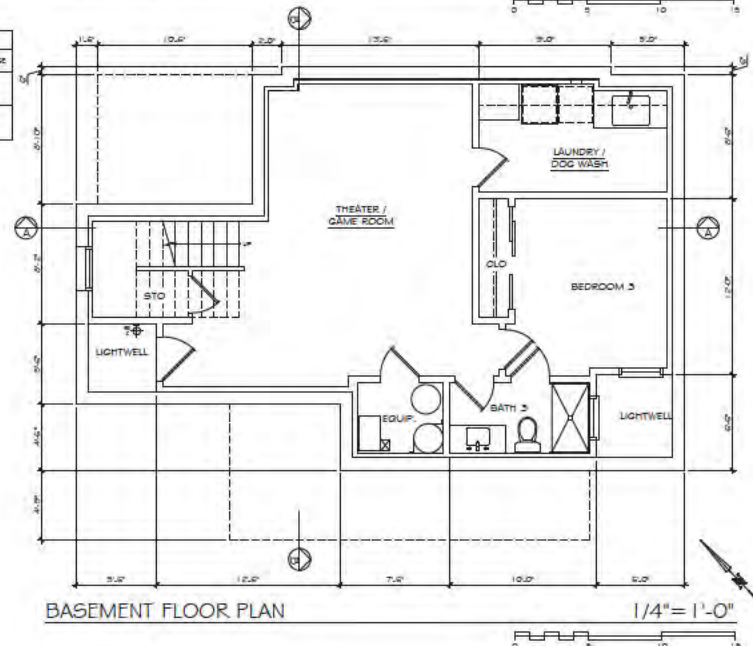
DATE	4-17-22
SCALE	AS NOTED
DRAWN	OSDB
JOB	QUILLARDO
SHEET	

A1



PLAN SYMBOL ID	FIGURE NAME/MODEL	QUANTITY	RATINGS
⬢	WALL LIGHTING (ROCK) LED WALL LANTERN WITH MOTION & PHOTOCELL SENSOR	5	16
⬢	LED RECESSED LIGHTING WITH MOTION & PHOTOCELL SENSOR	5	

NOTE: EXTERIOR LIGHTING SHALL BE DOWNWARD DIRECTED AND SHIELDED



DRAWINGS PREPARED BY
CHRIS SPAULDING
ARCHITECT

REVISIONS	BY
7-15-23	CS
10-11-23	
10-20-23	
11-28-23 Design printing/proof	

PRELIMINARY SET	
DESIGN REVIEW SET	
PLAN CHECK SET	
PERMIT SET	
CONSTRUCTION SET	

A PROPOSED NEW 2-STORY HOME FOR
GUILLARDO RESIDENCE
212 THURSTON ST
LOS GATOS • CALIFORNIA

DATE	4-17-23
SCALE	AS NOTED
DRAWN	CS/DB
JOB	GUILLARDO
SHEET	

A2

OF 4 SHEETS



LEFT SIDE (NORTHWEST) ELEVATION 1/4" = 1'-0"



FRONT (SOUTHWEST) ELEVATION 1/4" = 1'-0"



RIGHT SIDE (SOUTHEAST) ELEVATION 1/4" = 1'-0"



REAR (NORTHEAST) ELEVATION 1/4" = 1'-0"



DRAWINGS PREPARED BY
CHRIS SPAULDING
ARCHITECT

REVISIONS	BY
7-18-23	ds
10-11-23	ds
10-20-23	ds
11-29-23	ds

PRELIMINARY SET	
DESIGN REVIEW SET	
PLANNING SET	
PERMIT SET	
CONSTRUCTION SET	

A PROPOSED NEW 2-STORY HOME FOR
GUILLARDO RESIDENCE
212 THURSTON ST
LOS GATOS • CALIFORNIA

DATE	4-17-23
SCALE	AS NOTED
DRAWN	ds/bs
JOB	GUILLARDO
SHEET	

A3
SHEETS

DRAWINGS PREPARED BY

CHRIS SPAULDING
ARCHITECT

801 CAMELIA STREET SUITE E
BERKELEY CALIFORNIA 9 710
(510) 527-5997 FAX (510) 527-5999

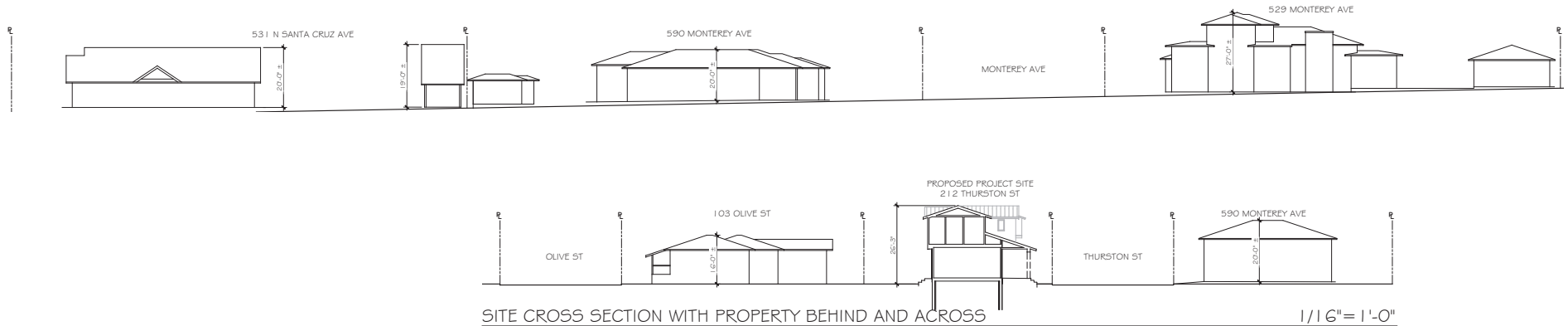
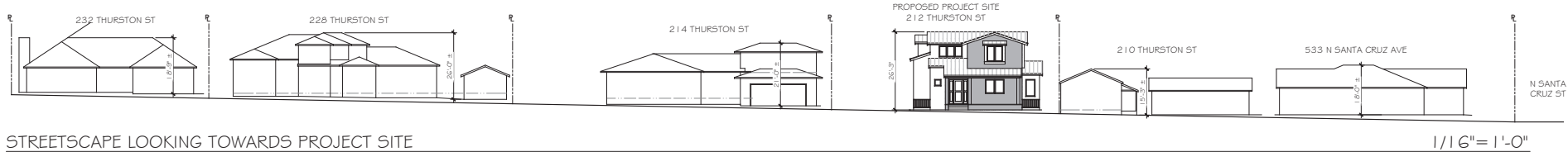
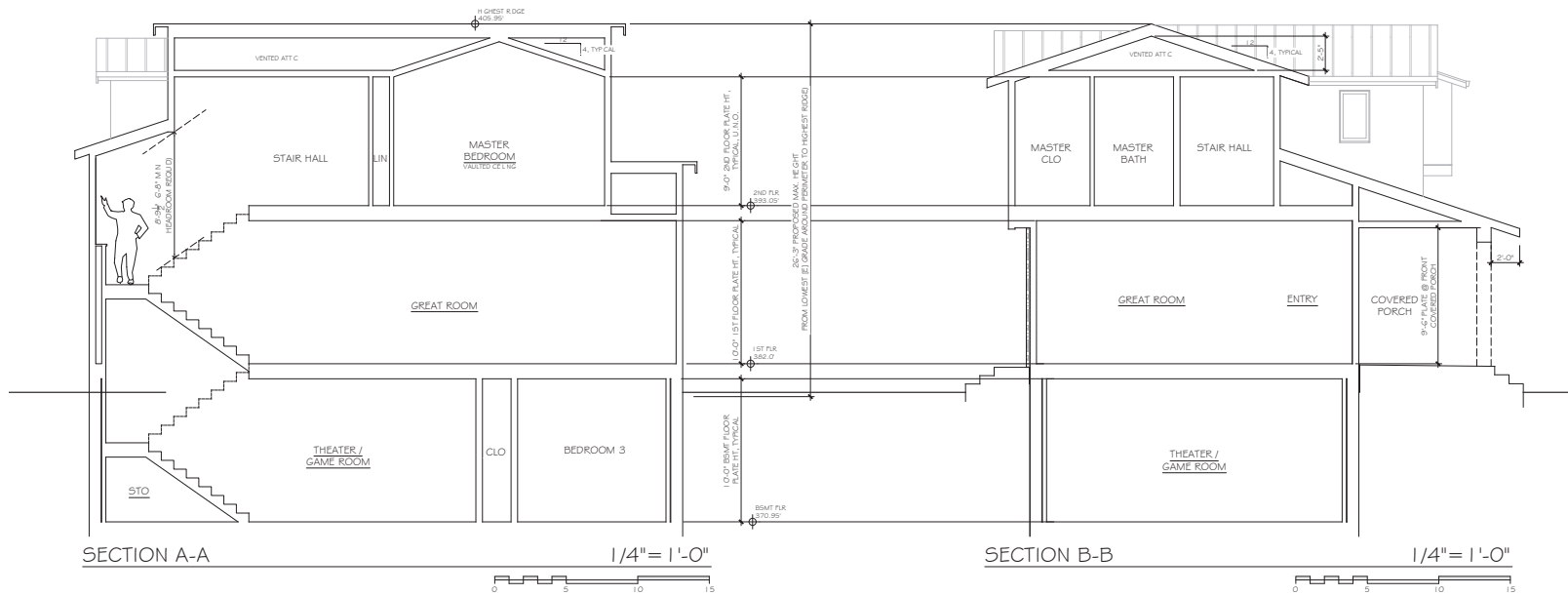
REVISIONS	BY
7-19-23	db
10-11-23	
10-20-23	
11-29-23	Enlarge parking space

PRELIMINARY SET	
DESIGN REVIEW SET	
PLAN CHECK SET	
PERMIT SET	
CONSTRUCTION SET	

A PROPOSED NEW 2-STORY HOME FOR
GUILLARDO RESIDENCE
212 THURSTON ST
LOS GATOS • CALIFORNIA

DATE	4-17-23
SCALE	AS NOTED
DRAWN	CS/DB
JOB	GUILLARDO
SHEET	

A4
OF 4 SHEETS



TOWN OF LOS GATOS STANDARD GRADING NOTES

- ALL WORK SHALL CONFORM TO CHAPTER 12 OF THE CODE OF THE TOWN OF LOS GATOS, THE ADAPTED CALIFORNIA BUILDING CODE AND THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, EXCEPT AS SPECIFIED OTHERWISE ON THESE PLANS AND DETAILS.
- NO WORK MAY BE STARTED ON-SITE WITHOUT AN APPROVED GRADING PLAN AND A GRADING PERMIT ISSUED BY THE TOWN OF LOS GATOS, PARKS AND PUBLIC WORKS DEPARTMENT LOCATED AT 41 MILES AVENUE, LOS GATOS, CA 95030.
- A PRE-JOB MEETING SHALL BE HELD WITH THE TOWN ENGINEERING INSPECTOR FROM THE PARKS AND PUBLIC WORKS DEPARTMENT PRIOR TO ANY WORK BEING DONE. THE CONTRACTOR SHALL CALL THE INSPECTOR LINE AT (408) 369-5777 AT LEAST FORTY-FOUR (48) HOURS PRIOR TO ANY GRADING OR CRUZE WORK. THIS MEETING SHOULD INCLUDE:
 - A DISCUSSION OF THE PROJECT CONDITIONS OF APPROVAL, WORKING HOURS, SITE MAINTENANCE AND OTHER CONSTRUCTION MATTERS.
 - ACKNOWLEDGMENT IN WRITING THAT CONTRACTOR AND APPLICANT HAVE READ AND UNDERSTAND THE PROJECT CONDITIONS OF APPROVAL, AND WILL HAVE OBTAINED THAT ALL PROJECT SUB-CONTRACTORS HAVE READ AND UNDERSTAND THEIR PRIOR TO COMMENCING WORK AND THAT A COPY OF THE PROJECT CONDITIONS OF APPROVAL WILL BE POSTED ON SITE AT ALL TIMES DURING CONSTRUCTION.
- APPROVAL OF PLANS DOES NOT RELEASE THE DEVELOPER OF THE RESPONSIBILITY FOR THE CORRECTION OF MISTAKES, ERRORS, OR OMISSIONS CONTAINED THEREIN. DURING THE COURSE OF CONSTRUCTION OF THE IMPROVEMENTS, PUBLIC INTEREST AND SAFETY REQUIRES A MODIFICATION OR DEPARTURE FROM THE TOWN SPECIFICATIONS OR THESE IMPROVEMENT PLANS. THE TOWN ENGINEER SHALL HAVE FULL AUTHORITY TO REQUIRE SUCH MODIFICATION OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE MADE.
- APPROVAL OF THIS PLAN APPLIES ONLY TO THE GRADING, EXCAVATION, PLACEMENT, AND COMPACTION OF NATURAL EARTH MATERIALS. THIS APPROVAL DOES NOT CONFIRY ANY RIGHTS OF ENTRY TO OTHER PUBLIC PROPERTY OR THE PRIVATE PROPERTY OF OTHERS AND DOES NOT CONSTITUTE APPROVAL OF ANY OTHER IMPROVEMENTS.
- EXCAVATED MATERIAL SHALL BE PLACED IN THE PLOTS DESIGNATED OR SHALL BE HAULED AWAY FROM THE SITE TO BE DISPOSED OF AT APPROVED LOCATIONS.
- IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE OR CONTRACTOR TO IDENTIFY, LOCATE AND PROTECT ALL UNDERGROUND FACILITIES. PERMITTEE OR CONTRACTOR SHALL NOTIFY USA (UNDERGROUND SERVICE ALERT) AT 1-800-227-2800 A MINIMUM OF FORTY-FOUR (48) HOURS BUT NOT MORE THAN FORTY-FOUR (48) DAYS PRIOR TO COMMENCING ALL WORK.
- ALL GRADING SHALL BE PERFORMED IN SUCH A MANNER AS TO COMPLY WITH THE STANDARDS ESTABLISHED BY THE AIR QUALITY MANAGEMENT DISTRICT FOR AIRBORNE PARTICULATES.
- THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL LAWS, CODES, RULES AND REGULATIONS GOVERNING THE WORK DESCRIBED ON THESE PLANS. THESE SHALL INCLUDE, WITHOUT LIMITATION, SAFETY AND HEALTH RULES AND REGULATIONS ESTABLISHED BY OR PURSUANT TO THE OCCUPATIONAL SAFETY AND HEALTH ACT OR ANY OTHER APPLICABLE PUBLIC AUTHORITY.
- THE GENERAL CONTRACTOR SHALL PROVIDE QUALIFIED SUPERVISION ON THE JOB SITE AT ALL TIMES DURING CONSTRUCTION.
- HORIZONTAL AND VERTICAL CONTROLS SHALL BE SET AND CERTIFIED BY A LICENSED SURVEYOR OR REGISTERED CIVIL ENGINEER QUALIFIED TO PRACTICE LAND SURVEYING, FOR THE FOLLOWING REASONS:
 - RETAINING WALL, TOP OF WALL ELEVATIONS AND LOCATIONS (ALL WALLS TO BE PERMITTED SEPARATELY AND APPLIED FOR AT THE TOWN OF LOS GATOS BUILDING DIVISION).
 - TOE AND TOP OF CUT AND FILL SLOPES.
- PRIOR TO ISSUANCE OF ANY PERMIT, THE APPLICANT'S SOILS ENGINEER SHALL REVIEW THE FINAL GRADING AND DRAINAGE PLANS TO ENSURE THAT DESIGNS FOR FOUNDATIONS, RETAINING WALLS, SITE GRADING, AND SITE DRAINAGE ARE IN ACCORDANCE WITH THEIR RECOMMENDATIONS AND THE PERMITS REVIEW COMMITTEE. THE APPLICANT'S SOILS ENGINEER'S APPROVAL SHALL THEN BE CONVEYED TO THE TOWN EITHER BY LETTER OR BY SIGNING THE PLANS. SOILS ENGINEER: MICHAEL ENGINEERING, INC. REFERENCE REPORT NO. 1047 (DATED 22 JUNE 2023) LETTER NO. 1047 (DATED 22 JUNE 2023) IT SHALL BE THOROUGHLY COMPLIED WITH (WITH THE MENTIONED REPORT) AND ALL GRADING/ADDITIONS/LETTERS ARE HEREBY APPENDED AND MADE A PART OF THIS GRADING PLAN.
- DURING CONSTRUCTION, ALL EXCAVATIONS AND GRADING SHALL BE INSPECTED BY THE APPLICANT'S SOILS ENGINEER. THE ENGINEER SHALL BE NOTIFIED AT LEAST FORTY-FOUR (48) HOURS BEFORE BEGINNING ANY GRADING. THE ENGINEER SHALL BE ON-SITE TO VERIFY THAT THE ACTUAL CONDITIONS ARE AS ANTICIPATED IN THE DESIGN-LEVEL GEOLOGICAL REPORT AND/OR PROVIDE APPROPRIATE CHANGES TO THE REPORT RECOMMENDATIONS AS NECESSARY. ALL UNDESIGNED AND/OR UNAPPROVED GRADING SHALL BE REMOVED AND REPLACED UNDER SOILS ENGINEER SUPERVISION (THE TOWN INSPECTOR SHALL BE MADE AWARE OF ANY REQUIRED CHANGES PRIOR TO WORK BEING PERFORMED).
- THE RESULTS OF THE CONSTRUCTION OBSERVATION AND TESTING SHOULD BE DOCUMENTED IN AN "AS-BUILT" LETTER/REPORT PREPARED BY THE APPLICANT'S SOILS ENGINEER AND SUBMITTED TO THE TOWN'S REVIEW AND ACCEPTANCE BEFORE FINAL RELEASE OF ANY OCCUPANCY PERMIT IS GRANTED.
- ALL PRIVATE AND PUBLIC STREETS ACCESSING PROJECT SITE SHALL BE KEPT OPEN AS FAR AS A SAFE, UNINTERRUPTED CONDITION THROUGHOUT CONSTRUCTION. IF TEMPORARY CLOSURE IS NEEDED, THEN FORMAL WRITTEN NOTICE TO THE ADJACENT NEIGHBORS AND THE TOWN OF LOS GATOS PARKS AND PUBLIC WORKS DEPARTMENT SHALL BE PROVIDED AT LEAST 14 DAYS IN ADVANCE OF CLOSURE AND NO CLOSURE SHALL BE GRANTED WITHOUT THE EXPRESS WRITTEN APPROVAL OF THE TOWN. NO MATERIAL OR EQUIPMENT SHALL BE STORED IN THE PUBLIC OR PRIVATE RIGHT-OF-WAY.
- THE CONTRACTOR SHALL INSTALL AND MAINTAIN FENCES, BARRIERS, LIGHTS AND SIGNS THAT ARE NECESSARY TO GIVE ADEQUATE WARNING AND PROTECTION TO THE PUBLIC AT ALL TIMES.
- OWNER/APPLICANT: MICHAEL GULLARDO PHONE: _____
- GENERAL CONTRACTOR: _____ PHONE: _____
- DRAINAGE CONTRACTOR: _____ PHONE: _____

- CUT: 350 CY DUMP: 350 CY
FILL: 5 CY IMPORT: 0 CY
- WATER SHALL BE AVAILABLE ON THE SITE AT ALL TIMES DURING GRADING OPERATIONS TO PROPERLY MAINTAIN DUST CONTROL.
- THIS PLAN DOES NOT APPROVE THE REMOVAL OF TREES. APPROPRIATE TREE REMOVAL PERMITS AND METHODS OF TREE PRESERVATION SHALL BE REQUIRED. TREE REMOVAL PERMITS ARE REQUIRED PRIOR TO THE APPROVAL OF ALL PLANS.
- A TOWN ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY. A STATE ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK WITHIN STATE RIGHT-OF-WAY (IF APPLICABLE). THE PERMITTEE AND/OR CONTRACTOR SHALL BE RESPONSIBLE COORDINATING INSPECTION PERFORMED BY OTHER GOVERNMENTAL AGENCIES.
- NO GROSS-LOT DRAINAGE WILL BE PERMITTED WITHOUT SATISFACTORY STORMWATER ACCEPTANCE (RED) FACILITIES. ALL SHWAGE SHALL BE DIRECTED TO THE STREET OR OTHER ACCEPTABLE DRAINAGE FACILITY VIA A NON-EROSIVE METHOD AS APPROVED BY THE TOWN ENGINEER.
- IT IS THE RESPONSIBILITY OF CONTRACTOR AND/OR OWNER TO MAKE SURE THAT ALL DIRT TRACKED INTO THE PUBLIC RIGHT-OF-WAY IS CLEANED UP ON A DAILY BASIS. MUD, SALT, CONCRETE AND OTHER CONSTRUCTION DEBRIS SHALL NOT BE WASHED INTO THE TOWN'S STORM DRAINS.
- GOOD HOUSEKEEPING PRACTICES SHALL BE OBSERVED AT ALL TIMES DURING THE COURSE OF CONSTRUCTION. SUPERVISORS OF CONSTRUCTION SHALL BE DULCITY PERFORMED BY A PERSON OR PERSONS AUTHORIZED TO DO SO AT ALL TIMES DURING WORKING HOURS. THE STORING OF COLOS AND/OR MATERIALS ON THE SIDEWALK AND/OR THE STREET WILL NOT BE ALLOWED UNLESS A SPECIAL PERMIT IS ISSUED BY THE ENGINEERING DIVISION. THE ADJACENT PUBLIC RIGHT-OF-WAY SHALL BE KEPT CLEAR OF ALL JOB RELATED MATERIALS AND DEBRIS AT THE END OF THE DAY. FAILURE TO MAINTAIN THE PUBLIC RIGHT-OF-WAY ACCORDING TO THIS CONDITION MAY RESULT IN PENALTIES AND/OR THE TOWN PERFORMING THE REQUIRED MAINTENANCE AT THE DEVELOPER'S EXPENSE.
- GRADING SHALL BE UNDERTAKEN IN ACCORDANCE WITH CONDITIONS AND REQUIREMENTS OF THE PROJECT STORM WATER POLLUTION CONTROL PLAN AND/OR STORM WATER POLLUTION PREVENTION PLAN (SWPPP). THE TOWN OF LOS GATOS STORM WATER QUALITY MANAGEMENT PROGRAM, NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) AND ANY OTHER PERMITS/REGULATIONS ISSUED BY THE STATE OF CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD, PLANS (INCLUDING ALL UPDATES) SHALL BE ON-SITE AT ALL TIMES. NO DIRECT STORMWATER DISCHARGES FROM THE EXCAVATED OR FILLING ONTO TOWN STREETS OR INTO THE PUBLIC STORM DRAIN SYSTEM WITHOUT TREATMENT BY AN APPROVED STORM WATER POLLUTION PREVENTION DEVICE OR OTHER APPROVED METHODS. MAINTENANCE OF PRIVATE STORMWATER POLLUTION PREVENTION DEVICES SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER. DISCHARGES ON CONNECTION WITHOUT TREATMENT BY AN APPROVED AND ADEQUATELY OPERATING STORMWATER POLLUTION PREVENTION DEVICE OR OTHER APPROVED METHOD SHALL BE CONSIDERED A VIOLATION OF THE ABOVE REFERENCED PERMIT AND THE TOWN OF LOS GATOS STORMWATER ORDINANCE.

TOWN OF LOS GATOS NPDES NOTES

- SEDIMENT FROM AREAS DISTURBED BY CONSTRUCTION SHALL BE RETAINED ON SITE USING STRUCTURAL CONTROLS AS REQUIRED BY THE STATEWIDE GENERAL CONSTRUCTION STORMWATER PERMIT.
- STORMWATER FROM THE SITE SHALL BE PROPERLY CONTAINED TO MINIMIZE SEDIMENT TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES OR ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TRACKING, OR WIND AS REQUIRED BY THE STATEWIDE GENERAL CONSTRUCTION STORMWATER PERMIT.
- APPROPRIATE BEST MANAGEMENT PRACTICES (BMPs) FOR CONSTRUCTION-RELATED MATERIALS, WASTES, SPILL OR RESIDUES SHALL BE IMPLEMENTED TO MINIMIZE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES OR ADJACENT PROPERTIES BY WIND OR RUNOFF AS REQUIRED BY THE STATEWIDE GENERAL CONSTRUCTION STORMWATER PERMIT.
- RUNOFF FROM EQUIPMENT AND VEHICLE WASHING SHALL BE CONTAINED AT CONSTRUCTION SITES AND MUST NOT BE DISCHARGED TO RECEIVING WATERS OF TO THE LOCAL STORM DRAIN SYSTEM.
- ALL CONSTRUCTION CONTRACTOR AND SUBCONTRACTOR PERSONNEL ARE TO BE MADE AWARE OF THE REQUIRED BEST MANAGEMENT PRACTICES (BMPs) AND GOOD HOUSEKEEPING MEASURES FOR THE PROJECT SITE AND ANY ASSOCIATED CONSTRUCTION STAGING AREAS.
- AT THE END OF EACH DAY OF CONSTRUCTION ACTIVITY, ALL CONSTRUCTION DEBRIS AND WASTE MATERIALS SHALL BE COLLECTED AND PROPERLY DISPOSED IN TRASH OR RECYCLE BINS.
- CONSTRUCTION SITES SHALL BE MAINTAINED IN SUCH A MANNER THAT A STORM DOES NOT CARRY WASTE OR POLLUTANTS OFF OF THE SITE. DISCHARGES OF MATERIAL OTHER THAN STORMWATER (NON-STORMWATER DISCHARGES) ARE PROHIBITED EXCEPT AS AUTHORIZED BY AN INDIVIDUAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT ON THE STATEWIDE GENERAL CONSTRUCTION STORMWATER PERMIT. POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SOLID OR LIQUID CHEMICAL WASTES FROM PAINTS, STAINS, SEALANTS, SOLVENTS, RESIDUES, OILS, LUBRICANTS, HERBICIDES, FERTILIZERS, WOOD PRESERVATIVES AND ASBESTOS FIBERS, PAINT FLAKES OR STUCK FRAGMENTS, RUBBER, GLASS, LUBRICANTS, AND HYDRAULIC FLUIDS OR BATTERY FLUIDS, CONCRETE AND RELATED CUTTING OR CURING RESIDUES, FLOABLE WASTES, WASTES FROM ENGINE/EQUIPMENT STEAM CLEANING OR CHEMICAL DEGREASING, WASTES FROM STREET CLEANING AND DIRT/ROADWASHED POTABLE WATER FROM LINE FLUSHING AND TESTING. DURING CONSTRUCTION, DISPOSAL OF SUCH MATERIALS SHOULD OCCUR IN A SEPARATED AND CONTROLLED TEMPORARY AREA ON-SITE PHYSICALLY SEPARATED FROM POTENTIAL STORMWATER RUNOFF, WITH A 5% SLOPE IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS.
- DISCHARGES CONTAMINATED GROUNDWATER PRODUCED BY DEWATERING OPERATIONS THAT HAS BEEN INTRODUCED INTO THE CONSTRUCTION SITE IS PROHIBITED. DISCHARGING OF CONTAMINATED SOILS VIA SURFACE EROSION IS ALSO PROHIBITED. DISCHARGING NON-CONTAMINATED GROUNDWATER PRODUCED BY DEWATERING ACTIVITIES REQUIRES A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT FROM THE RESPECTIVE STATE REGIONAL WATER QUALITY CONTROL BOARD.

GRADING AND DRAINAGE PLANS

212 THURSTON STREET, LOS GATOS, CA 95030

GRADING PERMIT APPLICATION NO. _____

ASSESSOR'S PARCEL NO. 410-15-039

PROJECT DATA

1. PROJECT ADDRESS:	212 THURSTON STREET, LOS GATOS, CA 95030
2. PROJECT OWNER:	MICHAEL GULLARDO
3. ASSESSOR'S PARCEL NUMBER:	410-15-039
4. EXISTING USE:	RESIDENTIAL
5. EXISTING ZONING:	R-1 (0)
6. PROPOSED USE:	RESIDENTIAL
7. PROPOSED ZONING:	R-1 (0)
8. SITE AREA:	0.11 ACRES MORE OR LESS
9. APPLICANT/DEVELOPER:	MICHAEL GULLARDO
10. CONSULTANTS:	
A. ARCHITECT:	CHRIS SHULLING ARCHITECT 801 CAMBRIA STREET, SUITE C DUNELLY, CA 94709 TEL: (510) 927-5887
B. SOIL ENGINEERING:	
C. SURVEYOR:	ROBERT J. CRAIG LICENSED LAND SURVEYOR 600 E. SAN JUAN DRIVE, BOULDER CREEK, CA 95008 TEL: (408) 358-1750
D. CIVIL ENGINEER:	LC ENGINEERING 500 E. SANTA CLARA ST. #270 SAN JOSE, CA 95131 TEL: (408) 808-7187
11. WATER SUPPLY:	SAN JOSE WATER COMPANY
12. SANITARY SEWER DISPOSAL:	WEST VALLEY SANITATION DISTRICT (WVSD)
13. GAS AND ELECTRIC:	PACIFIC GAS AND ELECTRIC
14. TELEPHONE:	
15. CABLE:	
16. STORM DRAIN:	WEST VALLEY CLEAN WATER PROGRAM
17. FIRE PROTECTION:	SANTA CLARA COUNTY CENTRAL FIRE PROTECTION DISTRICT
18. DATUM:	ELEVATIONS SHOWN ON THIS MAP ARE BASED ON THE TOWN OF LOS GATOS BENCHMARK "LG 31" ELEVATION = 508.04' NAVD 83
19. BENCHMARK INFORMATION:	PROJECT VERTICAL DATUM IS BASED ON NAVD 83
20. BASIS OF BEARINGS:	THE BEARINGS SHOWN ON THIS MAP ARE BASED ON HOLDING THE BEARING OF N 89° 50' W AS SHOWN ON THE MAP OF THE JOINT SUPERVISOR "JLS" IN BOOK 20 OF MAPS PAGE 10 SANTA CLARA COUNTY RECORDS.

AVERAGE SLOPE

AVERAGE SLOPE LESS THAN 4%

SCOPE OF WORK

- GRADE HOUSE SIZE WITH A BARGMENT
- SEED/LANDSCAPE ALL DISTURBED AREAS

SHEET INDEX

- TOWN NOTES, GENERAL NOTES, LEGEND & ABBREVIATIONS
- BLUEPRINT FOR A CLEAN BAY SHEET
- DEMOLITION PLAN & SITE PLAN
- GRADING AND DRAINAGE PLAN
- BLADING CROSS SECTIONS
- UTILITY PLAN
- EROSION CONTROL PLAN
- EROSION CONTROL DETAILS
- CONSTRUCTION MANAGEMENT PLAN

VICINITY MAP

NTS

TABLE OF PROPOSED PRIVATE AND IMPROVEMENTS AREAS				
TOTAL SITE AREA	TOTAL SITE AREA DISTURBED	TOTAL SITE AREA DISTURBED	TOTAL SITE AREA DISTURBED	TOTAL SITE AREA DISTURBED
4,671.5 SF	4,671.5 SF	4,671.5 SF	4,671.5 SF	4,671.5 SF
EXISTING AREA (SF)	REPLACED AREA (SF)	NEW AREA (SF)	POST-PROJECT (SF)	
2,356	2,356	136	2,394	
IMPROVEMENT AREA				
TOTAL NEW & REPLACED IMPROVEMENT AREA	2,394			
PERVIOUS AREA	2,412	2,277	0	2,277

TABLE OF PROPOSED EARTHWORK QUANTITIES				
AREA DESCRIPTION	CUT (CY)	MAX CUT HEIGHT (FT)	FILL (CY)	MAX FILL DEPTH (FT)
HOUSE FOOTPRINT	348.0	11.0	-	-
BASEMENT	-	-	-	-
ATTACHED GARAGE	-	-	-	-
ACCESSORY BUILDING	-	-	-	-
POOL	-	-	-	-
DRIVEWAY/ACCESS	-	-	-	-
LANDSCAPE/OUTDOOR	5.00	0.5	5.00	0.5
TOTAL	353.0	-	5.00	-

LEGEND

EXISTING	PROPOSED	TO BE REMOVED
SIDEWALK		
CURB AND GUTTER		
CENTER LINE		
PROPERTY LINE		
LOT LINE		
EASEMENT LINE		
EDGE OF PAVEMENT		
DRIVEWAY		
POD		
AC		
STANDARD MONUMENT		
BENCH MARK		
MANHOLE		
SANITARY SEWER CLEANOUT		
SANITARY SEWER MANHOLE		
STORM DRAIN MANHOLE		
STORM DRAIN INLET		
WATER METER		
VALVE		
FIRE HYDRANT		
STREET LIGHT		
POWER POLE		
DOWNSPOUT WITH SPLASH BLOCKS		
CABLE TELEVISION LINE		
ELECTRICAL LINE		
ELECTRICAL METER		
BRIDGION LINE		
NATURAL GAS LINE		
OVERHEAD LINE		
SANITARY SEWER LINE		
STORM DRAIN LINE		
TELEPHONE LINE		
WATER LINE		
TRAFFIC SIGNAL CONDUIT		
LIGHTING CONDUIT		
ROADSIDE SIGN & SIGN CORD		
FENCE		
TRAIL/SHRUB		
CONTOUR LINES		
RETAINING WALL		



DATE	SCALE	NTS	PT	DT	DR	CH	NC	PC	PD

212 THURSTON STREET
TOWN NOTES, GENERAL NOTES, LEGEND & ABBREVIATIONS
(SEE SHEET 1 OF 9)



DATE	DATE	DATE	DATE	DATE	DATE	DATE	DATE	DATE	DATE

Pollution Prevention — It's Part of the Plan



Make sure your crews and subs do the job right!

Runoff from streets and other paved areas is a major source of pollution in San Francisco Bay. Construction activities can directly affect the health of the Bay unless contractors and crews plan ahead to keep dirt, debris, and other construction waste away from storm drains and local creeks. Following these guidelines will ensure your compliance with local ordinance requirements.



Materials storage & spill cleanup

Non-hazardous materials management

- ✓ Sand, dirt, and similar materials must be stored at least 10 feet from catch basins, and covered with a tarp during wet weather or when rain is forecast.
- ✓ Use (but don't overuse) reclaimed water for dust control as needed.
- ✓ Sweep streets and other paved areas daily. Do not wash down streets or work areas with water!
- ✓ Recycle all asphalt, concrete, and aggregate base material from demolition activities.
- ✓ Check dumpsters regularly for leaks and to make sure they don't overflow. Repair or replace leaking dumpsters promptly.

Hazardous materials management

- ✓ Label all hazardous materials and hazardous wastes (such as pesticides, paints, flammables, solvents, fuel, oil, and antifreeze) in accordance with city, state, and federal regulations.
- ✓ Store hazardous materials and wastes in secondary containment and cover them during wet weather.
- ✓ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ✓ Be sure to arrange for appropriate disposal of all hazardous wastes.

Spill prevention and control

- ✓ Keep a stockpile of spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ✓ When spills or leaks occur, contain them immediately and be particularly careful to prevent leaks and spills from reaching the gutter, street, or storm drain. Never wash spilled material into a gutter, street, storm drain, or creek!
- ✓ Report any hazardous materials spills immediately! Dial 911 or your local emergency response number.

Vehicle and equipment maintenance & cleaning

- ✓ Inspect vehicles and equipment for leaks frequently. Use drip pans to catch leaks until repairs are made; repair leaks promptly.
- ✓ Fuel and maintain vehicles on site only in a bermed area or over a drip pan that is big enough to prevent runoff.
- ✓ If you must clean vehicles or equipment on site, clean with water only in a bermed area that will not allow rainwater to run into gutters, streets, storm drains, or creeks.
- ✓ Do not clean vehicles or equipment on-site using soaps, solvents, degreasers, steam cleaning equipment, etc.



Dewatering operations

- ✓ Reuse water for dust control, irrigation, or another on-site purpose to the greatest extent possible.
- ✓ Be sure to call your city's storm drain inspector before discharging water to a street, gutter, or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ✓ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the city inspector to determine what testing to do and to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.



Saw cutting

- ✓ Always completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, hay bales, sand bags, or fine gravel dams to keep slurry out of the storm drain system.
- ✓ Shovel, shovel, or vacuum saw-cut slurry and pick up all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner).
- ✓ If saw cut slurry enters a catch basin, clean it up immediately.

Concrete, grout, and mortar storage & waste disposal

- ✓ Be sure to store concrete, grout, and mortar under cover and away from drainage areas. These materials must never reach a storm drain.
- ✓ Wash out concrete equipment/trucks off-site or designate an on-site area for washing where water will flow onto dirt or into a temporary pit in a dirt area. Let the water seep into the soil and dispose of hardened concrete with trash.
- ✓ Divert water from washing exposed aggregate concrete to a dirt area where it will not run into a gutter, street, or storm drain.
- ✓ If a suitable dirt area is not available, collect the wash water and remove it for appropriate disposal off site.



Earthwork & contaminated soils

- ✓ Keep excavated soil on the site where it is least likely to collect in the street. Transfer to dump trucks should take place on the site, not in the street.
- ✓ Use hay bales, silk fences, or other control measures to minimize the flow of soil off the site.
- ✓ Avoid scheduling earth moving activities during the rainy season if possible. If grading activities during wet weather are allowed in your permit, be sure to implement all control measures necessary to prevent erosion.
- ✓ Mature vegetation is the best form of erosion control. Minimize disturbance to existing vegetation whenever possible.
- ✓ If you disturb a slope during construction, prevent erosion by securing the soil with erosion control fabric, or seed with fast-growing grasses as soon as possible. Place hay bales down slope until soil is secure.
- ✓ If you suspect contamination from site history, discoloration, odor, texture, abandoned underground tanks or pipes, or buried debris, call your local fire department for help in determining what testing should be done.
- ✓ Manage disposal of contaminated soil according to Fire Department instructions.



Paving/asphalt work

- ✓ Do not pave during wet weather or when rain is forecast.
- ✓ Always cover storm drain inlets and manholes when paving or applying seal coat, hot coat, slurry seal, or fog seal.
- ✓ Place drip pans or absorbent material under paving equipment when not in use.
- ✓ Protect gutters, ditches, and drainage courses with hay bales, sandbags or earthen berms.
- ✓ Do not sweep or wash down excess sand from sand sealing into gutters, storm drains, or creeks. Collect sand and return it to the stockpile, or dispose of it as trash.
- ✓ Do not use water to wash down fresh asphalt concrete pavement.



Painting

- ✓ Never rinse paint brushes or materials in a gutter or street!
- ✓ Paint out excess water-based paint before rinsing brushes, rollers, or containers in a sink. If you can't use a sink, direct wash water to a dirt area and spade it in.
- ✓ Paint out excess oil-based paint before cleaning brushes in thinner.
- ✓ Filter paint thinners and solvents for reuse whenever possible. Dispose of oil-based paint sludge and unusable thinner as hazardous waste.



Storm drain polluters may be liable for fines of up to \$10,000 per day!



DATE	SCALE	DESIGN	CHECK	INCH	FEET
06/22/23	1"=20'	PT	PT	PT	PT

GRADING AND DRAINAGE PLAN
212 THURSTON STREET
BLUEPRINT FOR A CLEAR BAY
SIGNING PERMIT APPLICATION NO. _____



DATE	BY	DATE	BY	DATE	BY
06/22/23	PT	06/22/23	PT	06/22/23	PT
06/22/23	PT	06/22/23	PT	06/22/23	PT
06/22/23	PT	06/22/23	PT	06/22/23	PT
06/22/23	PT	06/22/23	PT	06/22/23	PT
06/22/23	PT	06/22/23	PT	06/22/23	PT

CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES.

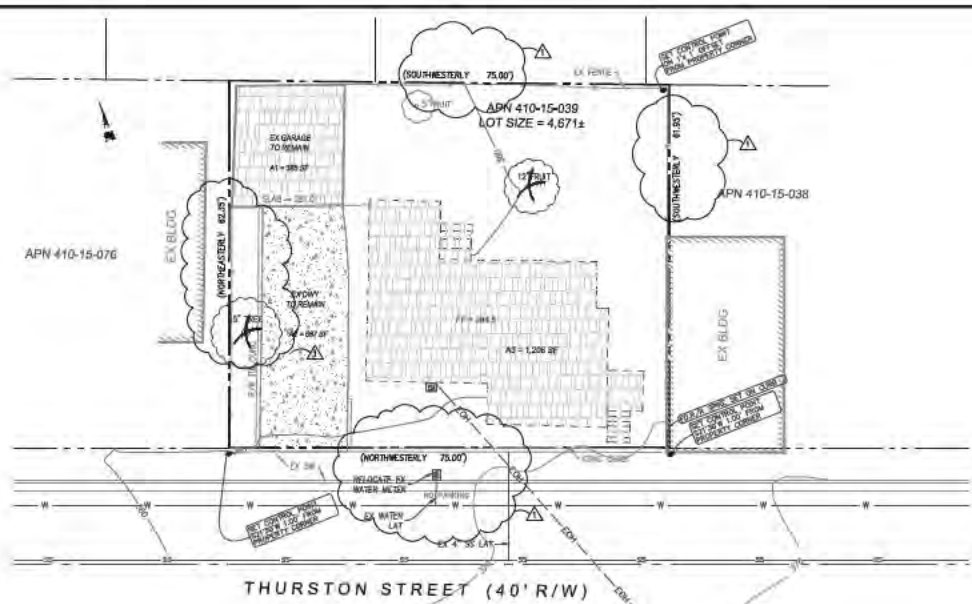


DATE	NO. 2023	NO. 2023	NO. 2023	NO. 2023	NO. 2023
SCALE	DATE	DATE	DATE	DATE	DATE
DESIGN	DATE	DATE	DATE	DATE	DATE
CHECK	DATE	DATE	DATE	DATE	DATE
BY	DATE	DATE	DATE	DATE	DATE
DATE	DATE	DATE	DATE	DATE	DATE

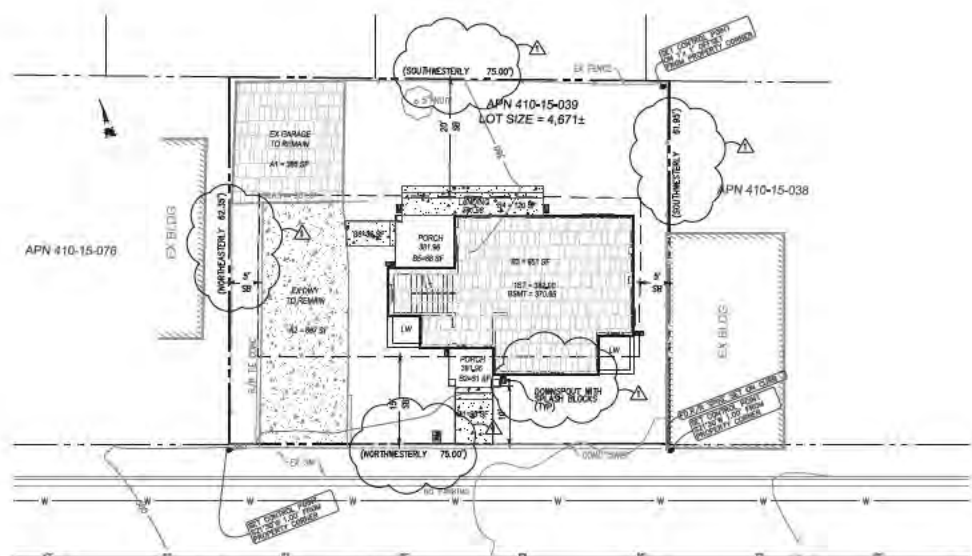
212 THURSTON STREET
DEMOLITION PLAN & SITE PLAN
(SEEING PLANS APPLICATION NO. _____)



REVISIONS	DATE	BY	NO.	NO.	NO.
NO. 2023	NO. 2023	NO. 2023	NO. 2023	NO. 2023	NO. 2023
NO. 2023	NO. 2023	NO. 2023	NO. 2023	NO. 2023	NO. 2023
NO. 2023	NO. 2023	NO. 2023	NO. 2023	NO. 2023	NO. 2023
NO. 2023	NO. 2023	NO. 2023	NO. 2023	NO. 2023	NO. 2023



DEMOLITION PLAN



SITE PLAN

LEGEND

- ITEM OR AREA TO BE REMOVED
- ITEM OR AREA TO REMAIN
- EX CONC TO REMAIN
- PROPOSED CONC
- EX BLDG TO REMAIN
- BUILDING
- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED

ITEM#	DESCRIPTION	INTERVOLS	PERVOLS
A1	GARAGE (REMAIN)	385 SF	
A2	DRIVE (REMAIN)	667 SF	
A3	BLDG (REMOVE)	1,206 SF	
	LANDSCAPE		2,413 SF
TOTAL		2,258 SF	2,413 SF

ITEM#	DESCRIPTION	INTERVOLS	PERVOLS
A1	GARAGE (REMAIN)	385 SF	
A2	DRIVE (REMAIN)	667 SF	
A3	WALK (NEW)	96 SF	
A4	PORCH (NEW)	41 SF	
A5	BLDG (NEW)	951 SF	
A6	LANDING (NEW)	170 SF	
A7	PORCH (NEW)	88 SF	
A8	WALK (NEW)	36 SF	
	LANDSCAPE		2,277 SF
TOTAL		2,894 SF	2,277 SF

ITEM#	DESCRIPTION	INTERVOLS	PERVOLS
1	PRE-DEVELOPMENT	2,258 SF	2,413 SF
2	POST-DEVELOPMENT	2,894 SF	2,277 SF
TOTAL		5,152 SF	4,690 SF

BASIS OF ELEVATIONS

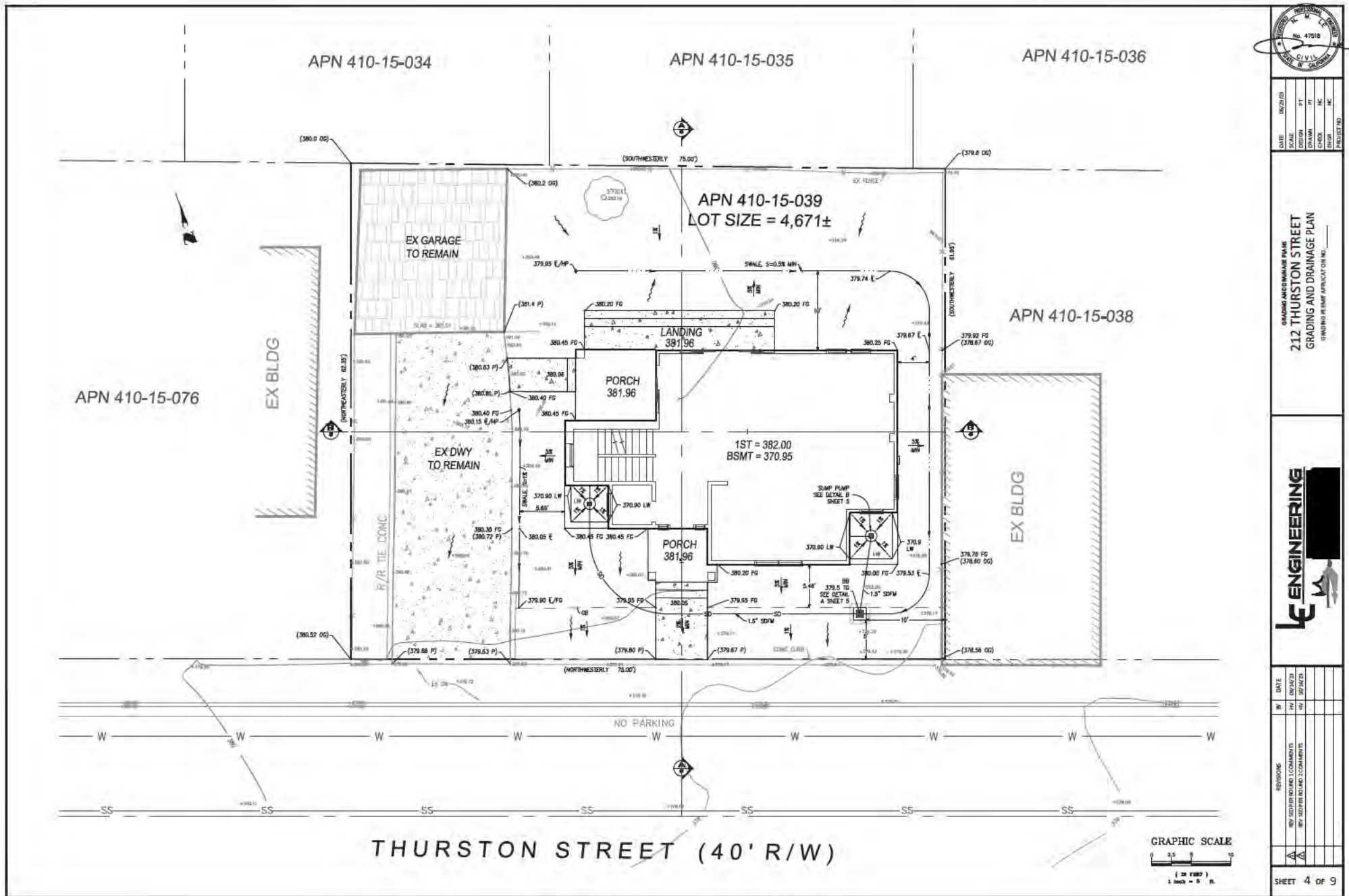
ELEVATIONS SHOWN ON THIS MAP ARE BASED ON THE TOWN OF LOS GATOS BENCHMARK T.G. 31' ELEVATION = 387.04', NGVD 29'

BASIS OF BEARINGS

THE BEARINGS SHOWN ON THIS MAP ARE BASED ON AVERAGING CURB LINES ALONG THURSTON STREET AND HOLDING THE BEARING OF INTERVIEW AS SHOWN ON THE MAP OF THE NOTY SUBDIVISION FILED IN BOOK 17 OF MAPSPACE 6, SANTA CLARA COUNTY RECORDS.

GRAPHIC SCALE



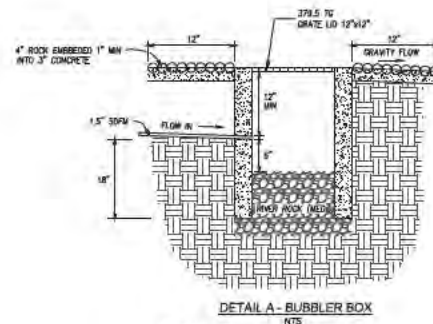
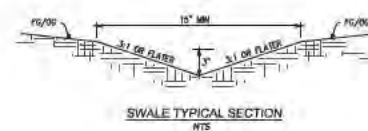
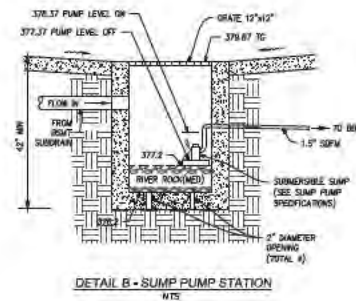
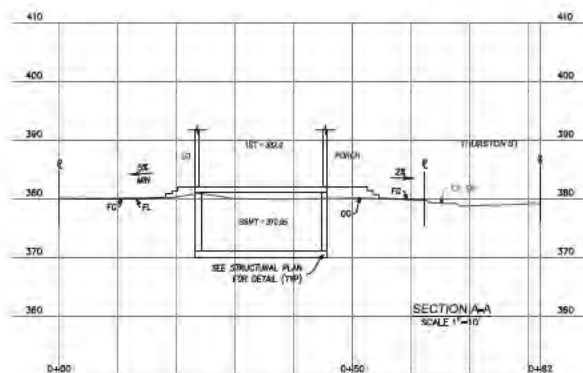
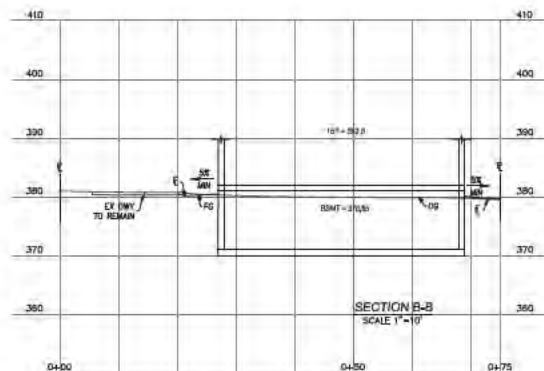


DATE	06/29/23
SCALE	
DESIGN	PT
DRAWN	PT
CHECK	NC
INCH	NC
PROJECT NO.	

GRADING AND DRAINAGE PLAN
212 THURSTON STREET
GRADING AND DRAINAGE PLAN
REVISION PLANS APPLICATION NO.

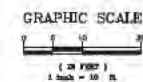


REVISIONS			BY	DATE
1	REVISED PER NO. 1 COMMENTS		HW	08/14/23
2	REVISED PER NO. 2 COMMENTS		HW	10/11/23



NOTES:

1. BOX PLACING, A.C., C.I., OR STEEL PIPE ALLOWED TO BOX FROM INLET.
2. BOX SHALL BE SET WITH ADJACENT GRASSES SLIPPING AWAY TO PREVENT RAINWATER & LANDSCAPE WATER FROM ENTERING.
3. BOX SHALL BE SET IN LANDSCAPED AREA TO FACILITATE PERCOLATION.
4. BOX SHALL NOT HAVE CONCRETE BOTTOM TO FACILITATE PERCOLATION.



DATE	12/22/23
SCALE	1"=10'
DESIGN	PT
DRAWN	PT
CHECK	NS
INCH	IN
FEET	FEET

212 THURSTON STREET
BUILDING CROSS SECTIONS
(SEE PUMP APPLICATION)



DATE	12/22/23
BY	PT
CHECKED	NS
DESIGNED	PT
REVISIONS	
NO. 1	REV. 1
NO. 2	REV. 2
NO. 3	REV. 3
NO. 4	REV. 4
NO. 5	REV. 5
NO. 6	REV. 6
NO. 7	REV. 7
NO. 8	REV. 8
NO. 9	REV. 9
NO. 10	REV. 10

SHEET 5 OF 9



1. EROSION AND SEDIMENT CONTROL SHALL REMAIN IN PLACE AND MAINTAINED UNTIL THE PERMANENT LANDSCAPING IS INSTALLED.
2. CONTRACTOR TO PROVIDE STORMWATER INLET PROTECTION AT NEAREST NEAR DOWNSTREAM OF PROJECT SITE.

CONSTRUCTION
STORAGE AREA

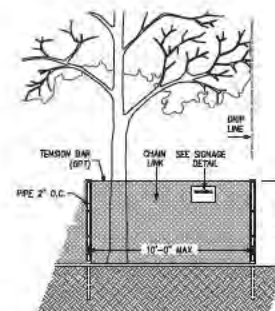
CONCRETE WASHOUT

CONSTRUCTION STORAGE AREA

PIPER ROLLS

PORTABLE TOILET

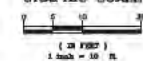
TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIST



EXISTING TREE PROTECTION DETAIL

1. PRIOR TO THE COMMENCEMENT OF ANY GRADING, TREE PROTECTIVE PLANING SHALL BE IN PLACE IN ACCORDANCE WITH THE TREE PRESERVATION PLAN AND THE CITY OF CHICAGO'S TREE PRESERVATION ORDINANCE. THE TREE PROTECTIVE CONSTRUCTION ACTIVITY TO ENSURE THAT THE TREE PROTECTIVE MEASURES ARE IMPLEMENTED AND ADHERED TO DURING CONSTRUCTION. THIS CONDITION SHALL BE IN PLACE UNTIL THE TREE IS REMOVED.
2. FENCE SHALL BE MINIMUM 5 FEET TALL CONSTRUCTED OF STUDY MATERIAL (CHAIN-LINK OR EQUIVALENT STRENGTH/DURABILITY).
3. THE SURROUNDING AREA SHALL BE MAINTAINED WITHIN 12 INCH (MIN) INTO THE GROUND AND SPACES NOT MORE THAN 12 FEET APART.
- THE TREE PROTECTING SHALL BE MAINTAINED THROUGHOUT THE SITE DURING THE CONSTRUCTION PERIOD.
4. THE TREE PROTECTIVE MEASURES SHALL BE MAINTAINED IN GOOD ORDER AND PROPER FUNCTION, REPAIRED AS NECESSARY TO PROVIDE A PHYSICAL BARRIER FROM CONSTRUCTION ACTIVITIES, AND REMAIN IN PLACE UNTIL THE FINAL INSPECTION.
5. THE TREE PROTECTIVE MEASURES SHALL BE REMOVED AFTER THE TREE IS REMOVED WITHOUT THE EXPRESSED PERMISSION OF THE CITY LOTS DATOS PLANNING OFFICE. SHALL BE SEQUENTIALLY ATTACHED TO THE FENCE IN A VISUALLY COORDINATED MANNER.

GRAPHIC SCALE



DATE	06/29/20
SCALE	MTS
DESIGN	PT
DRAWN	PT
CHECK	MC
IN GR	MC

212 THURSTON STREET
EROSION CONTROL PLAN



REV/ISSUE		BY	DATE
1	REVISED PER ROLAND I COMMENT 15	HW	03/14/23
2	REVISED PER ROLAND I COMMENT 15	HW	03/14/23

SHEET 7 OF 9

[illegible]

1. MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:
 - A. REPAIR DAMAGE CAUSED BY SOIL EROSION OR CONSTRUCTION AT THE END OF EACH WORKING DAY.
 - B. SINKS SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.
 - C. SINKS SHALL BE KEPT OPEN AND SHALL BE RE-INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED.
 - D. SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF 1 FOOT.
 - E. EXCESSIVE REMOVAL FROM TRAP SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
 - F. RILLS AND FULLES MUST BE REPAIRABLE.
2. SAND BAY INLET PROTECTION SHALL BE CLEANED OUT WHENEVER SEDIMENT DEPTH IS ONE HALF THE HEIGHT OF THE SAND BAY.
3. EXPOSED SOLE SHALL BE PROTECTED WITH WET NET AND/OR HYDROSEDS. HYDROSEDS SHALL BE A HOMOGENEOUS MIX OF SLURRY CONTAINING NOT LESS THAN 40 LBS OF VITIC ACID, MOLYBDENUM SULFATE FERTILIZER, CHEMICAL ADHESIVES AND



DATE	06/29/23
SCALE	PTS
DESIGN	PT
BRANCH	PT
CHECK	MC
IN GR	MC

GRADING AND DRAINAGE PLAN
212 THURSTON STREET
EROSION CONTROL DETAILS
GRADING PERMIT APPLICATION NO. _____



DATE	BY	REVISIONS	REVISIONS COMMENTS	APPROVED	DATE

APN 410-15-034

APN 410-15-035

APN 410-15-038

APN 410-15-039
LOT SIZE = 4,671±

APN 410-15-076

THURSTON STREET (40' R/W)

GRAPHIC SCALE
0 5 10 20
(IN FEET)
1 inch = 10 ft.



DATE	06/29/23
SCALE	N/T
DESIGN	PT
DRAWN	PT
CHECK	MC
ENGR	MC

212 THURSTON STREET
CONSTRUCTION MANAGEMENT PLAN



REVISIONS		IN	DATE
1	REV. 300 PER BOUND 1 COMMENTS	HW	09/10/2018
2	REV. 300 PER BOUND 2 COMMENTS	HW	09/10/2018

***This Page
Intentionally
Left Blank***