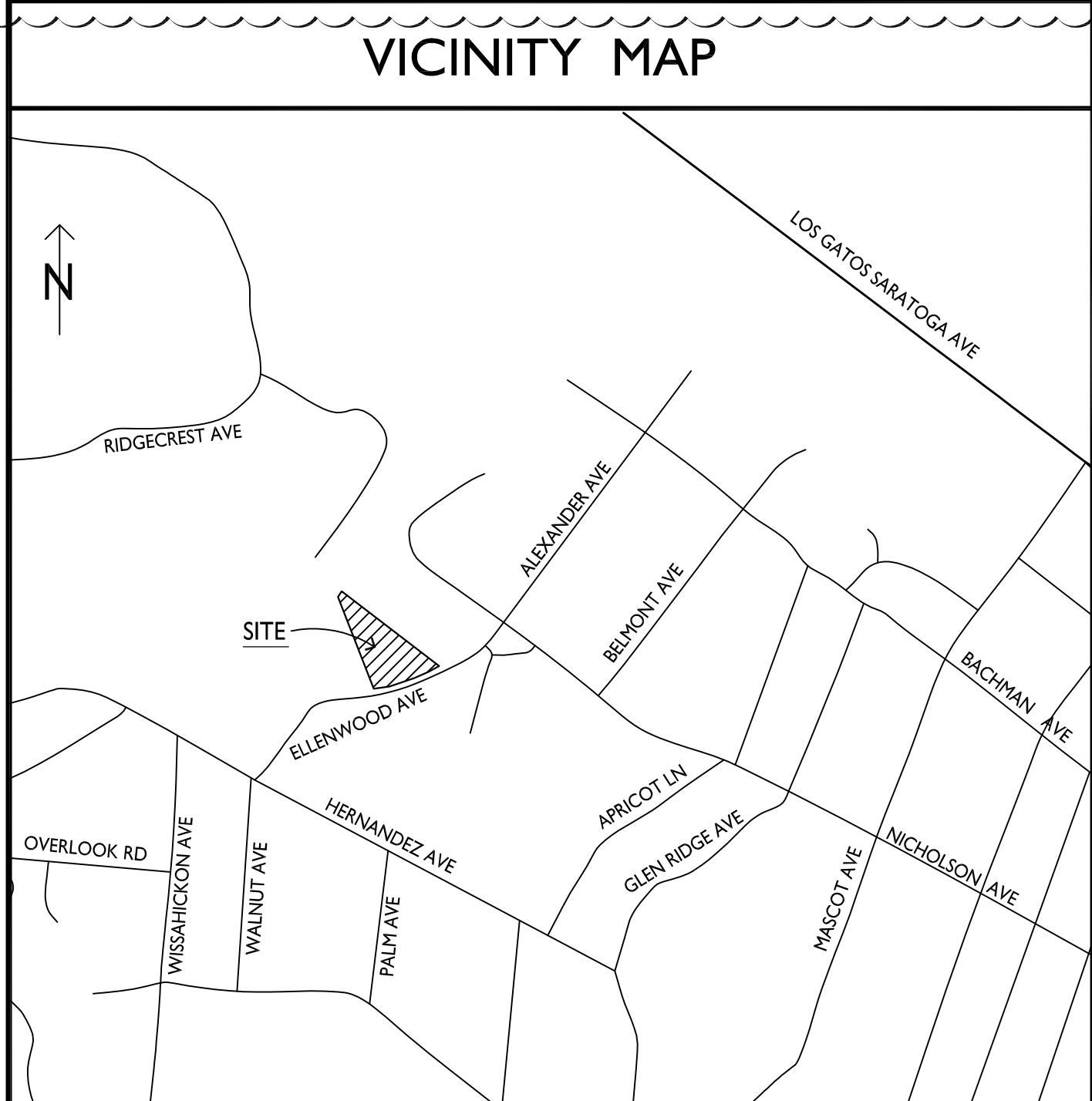


# 62 ELLENWOOD



**ARCANUM**  
 REGISTERED ARCHITECT  
 STATE OF CALIFORNIA  
 C-37088  
 REV. 07.31.11

**62 ELLENWOOD AVE**  
 LOS GATOS, CALIFORNIA  
 APN: 510-20-068



PROJECT DIRECTORY		
<b>OWNER:</b>	Case and Lisa Swenson 62 Ellenwood Avenue Los Gatos, CA 95030	Lisa Swenson T: (408) 690-0173 E: lisa@swenson.com
<b>ARCHITECT:</b>	Arcanum Architecture, Inc. 329 Bryant Street, Suite 3C San Francisco, CA 94107	Tim Chappelle T: (415) 357-4400 E: tim@arcanumarchitecture.com
<b>SURVEYOR:</b>	Westfall Engineers, Inc. 14583 Big Basin Way Saratoga, CA 95070	Harry Babicka T: (408) 867-0244 E: harry@westf.com
<b>LANDSCAPE ARCHITECT:</b>	Studio Green 232 Sir Francis Drake Blvd San Anselmo, CA 94960	John Merten T: (415) 721-0905 E: john@studiogreen.com
<b>CIVIL:</b>	BKF Engineers 255 Shoreline Drive, Suite 200 Redwood City, CA 94065	Craig Smith T: (650) 482-6300 E: csmith@bkf.com
<b>GEOTECHNICAL ENGINEER:</b>	Pollak Engineers, Inc. 61 East Main Street, Suite D Los Gatos, CA 95030	Robert Pollak T: (408) 499-5589 E: rp@pollakengineering.com

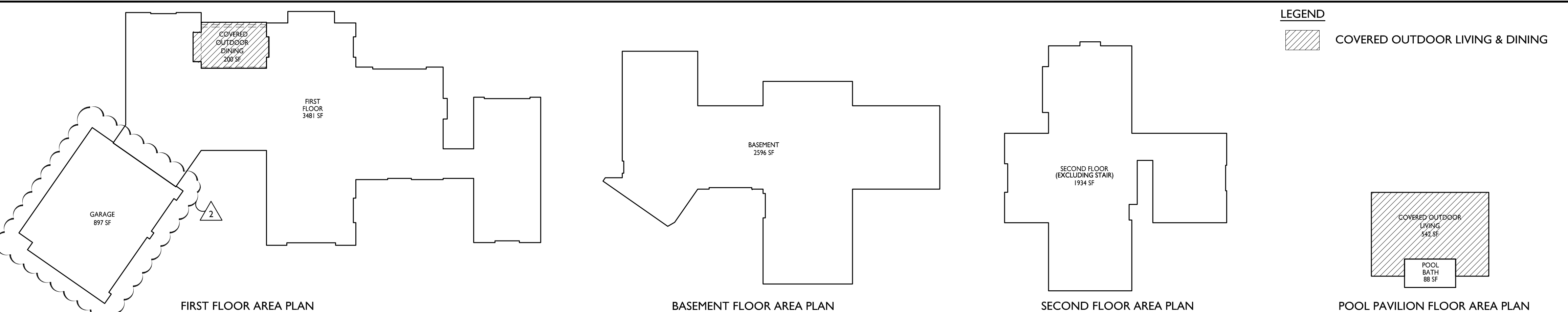
PROJECT STATISTICS	
<b>PROJECT LOCATION:</b>	62 ELLENWOOD AVENUE LOS GATOS, CA 95030 510-20-068
<b>A.P.N.:</b>	32,733 SF (0.75 ACRES) PER SURVEY
<b>LOT SIZE:</b>	(N) TWO STORY SINGLE FAMILY DWELLING W/ PARTIAL BASEMENT. THE PROJECT ALSO WILL INCLUDE A (N) POOL AND POOL PAVILION.
<b>PROJECT TYPE:</b>	ALL (E) STRUCTURES TO BE DEMOLISHED OR REMOVED. R-1:12
<b>EXISTING CONDITIONS:</b>	R-3 SINGLE FAMILY DWELLING, U-GARAGE
<b>ZONING:</b>	TYPE V-B
<b>OCCUPANCY GROUP:</b>	TWO OVER PARTIAL BASEMENT
<b>CONSTRUCTION TYPE:</b>	SEWER
<b>STORIES:</b>	0.75 ACRES (32,733 SF)
<b>SEPTIC/SEWER:</b>	
<b>SIZE OF PROPERTY:</b>	
<b>IMPERVIOUS COVERAGE:</b>	NONE
<b>MAXIMUM ALLOWED PROPOSED:</b>	
<b>WILDLAND URBAN INTERFACE FIRE AREA:</b>	IN - VERY HIGH
<b>SANITARY DISTRICT:</b>	WEST VALLEY SANITATION DISTRICT
<b>SEE CIVIL DRAWINGS</b>	
<b>GRADING QUANTITIES:</b>	7.9%
<b>LOT AVERAGE SLOPE:</b>	YES (LOT AREA > 30,000 SF)
<b>NOTE: NO NEED TO FOLLOW HDSG, SEE LOT AVERAGE SLOPE</b>	
<b>LOT UNDER HDGS:</b>	YES
<b>FIRE SPRINKLERS:</b>	

SHEET INDEX	
<ul style="list-style-type: none"> <li>■ A0.0 COVER SHEET</li> <li>■ SU-1 BOUNDARY AND TOPOGRAPHIC SURVEY</li> </ul>	<ul style="list-style-type: none"> <li>■ A1.0 STREETScape ELEVATIONS AND SECTIONS</li> <li>■ A1.1 STREETScape ELEVATIONS AND SECTIONS AND OVERLAY ELEVATION</li> <li>■ A1.2 SHADOW STUDIES</li> </ul>
<b>CIVIL</b> <ul style="list-style-type: none"> <li>■ C0.0 TITLE SHEET</li> <li>■ C0.1 NOTES</li> <li>■ C1.1 EXISTING CONDITIONS</li> <li>■ C2.1 GRADING PLAN</li> <li>■ C2.2 SITE SECTIONS</li> <li>■ C3.1 UTILITY PLAN</li> <li>■ C4.1 EROSION CONTROL PLAN</li> <li>■ C4.2 BEST MANAGEMENT PRACTICES</li> <li>■ C5.1 DETAIL SHEET</li> </ul>	<b>LANDSCAPE</b> <ul style="list-style-type: none"> <li>■ L0.0 SITE PLAN &amp; LANDSCAPE COVER SHEET</li> <li>■ L0.0R RENDERED SITE PLAN</li> <li>■ L0.1 EXISTING TREE &amp; REMOVAL PLAN</li> <li>■ L0.2 EXISTING TREE &amp; REMOVAL PLAN MATERIAL &amp; CALLOUT PLAN</li> <li>■ L1.0 MATERIAL &amp; CALLOUT PLAN</li> <li>■ L1.1 MATERIAL &amp; CALLOUT PLAN LIGHTING SCHEDULE &amp; PLAN</li> <li>■ L2.0 LIGHTING PLAN</li> <li>■ L2.1 LIGHTING LEGEND</li> <li>■ L3.0 PLANTING PLAN</li> <li>■ L3.1 PLANTING PLAN</li> <li>■ L3.2 PLANTING PLAN</li> <li>■ L5.0 DETAILS</li> <li>■ L5.1 DETAILS</li> <li>■ L5.2 DETAILS</li> <li>■ L5.3 SECTIONS/ ELEVATIONS</li> </ul>
<b>ARCHITECTURAL</b> <ul style="list-style-type: none"> <li>■ A0.1 EXISTING SITE PLAN AND SITE PHOTOS</li> <li>■ A0.2 SITE PLAN</li> <li>■ A0.3 BASEMENT FLOOR PLAN</li> <li>■ A0.4 FIRST FLOOR PLAN</li> <li>■ A0.5 SECOND AND POOL PAVILION FLOOR PLANS</li> <li>■ A0.6 EXTERIOR ELEVATIONS</li> <li>■ A0.7 EXTERIOR ELEVATIONS</li> <li>■ A0.8 EXTERIOR ELEVATIONS AND SECTIONS</li> <li>■ A0.9 POOL PAVILION EXTERIOR ELEVATIONS</li> </ul>	

Date	Issue
Drawn By	TECHNICAL REVIEW
Checked By	T.R. COMMENTS
Project No.	18004
Date	REVISION
4.23.20	
8.18.20	
11.17.20	

## FLOOR AREA CALCULATIONS

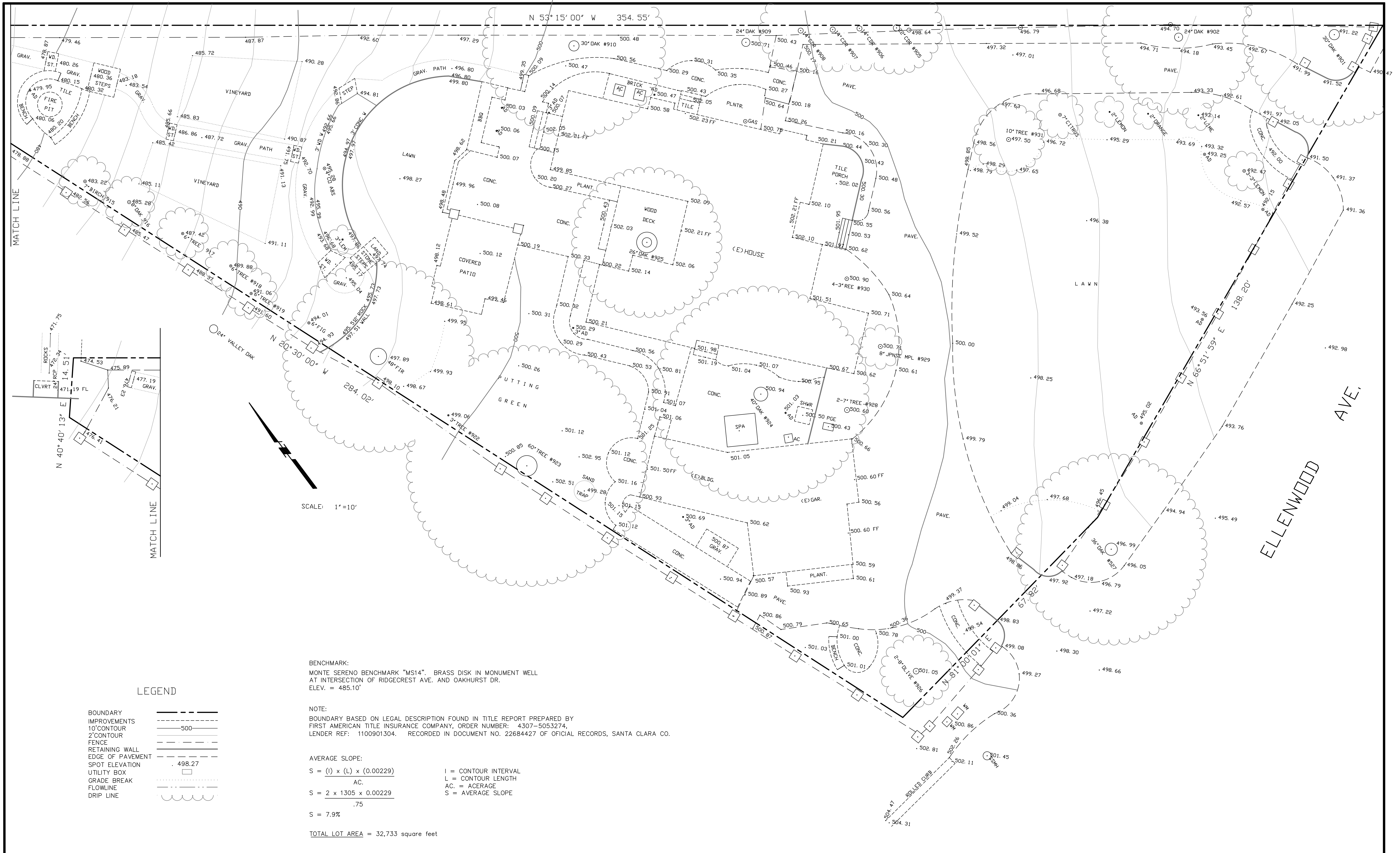
PLANNING FLOOR AREA CALCULATIONS:		
<b>ALLOWABLE FLOOR AREA (AFA):</b>	<b>PROPOSED</b>	<b>ALLOWED</b>
FIRST FLOOR:	3481 SF	
SECOND FLOOR (EXCLUDING STAIR):	1934 SF	
GARAGE: (897 SF - 400 SF <sup>**</sup> )	497 SF	
POOL BATH:	88 SF	
BASEMENT LEVEL (NOT INCLUDED):	2596 SF	
<b>TOTAL:</b>	<b>6000 SF</b>	<b>6000 SF</b>
<b>LOT COVERAGE:</b>		
FIRST FLOOR (INCLUDING GARAGE):	4378 SF	
POOL BATH:	88 SF	
COVERED OUTDOOR LIVING & DINING:	742 SF	
<b>TOTAL:</b>	<b>5208 SF</b>	<b>13093 SF</b>



**COVER SHEET**

# A0.0

\*\* THE FIRST 400 SQUARE FEET OF A GARAGE, ATTACHED OR DETACHED, IS EXCLUDED FROM THE FLOOR AREA ALLOWANCE



BENCHMARK:  
 MONTE SERENO BENCHMARK "MS14". BRASS DISK IN MONUMENT WELL  
 AT INTERSECTION OF RIDGECREST AVE. AND OAKHURST DR.  
 ELEV. = 485.10'

NOTE:  
 BOUNDARY BASED ON LEGAL DESCRIPTION FOUND IN TITLE REPORT PREPARED BY  
 FIRST AMERICAN TITLE INSURANCE COMPANY, ORDER NUMBER: 4307-5053274,  
 LENDER REF: 1100901304. RECORDED IN DOCUMENT NO. 22684427 OF OFFICIAL RECORDS, SANTA CLARA CO.

AVERAGE SLOPE:  
 $S = \frac{(I) \times (L) \times (0.00229)}{AC}$  I = CONTOUR INTERVAL  
 $S = \frac{2 \times 1305 \times 0.00229}{.75}$  L = CONTOUR LENGTH  
 S = 7.9% AC = ACERAGE  
 S = AVERAGE SLOPE

TOTAL LOT AREA = 32,733 square feet

LEGEND

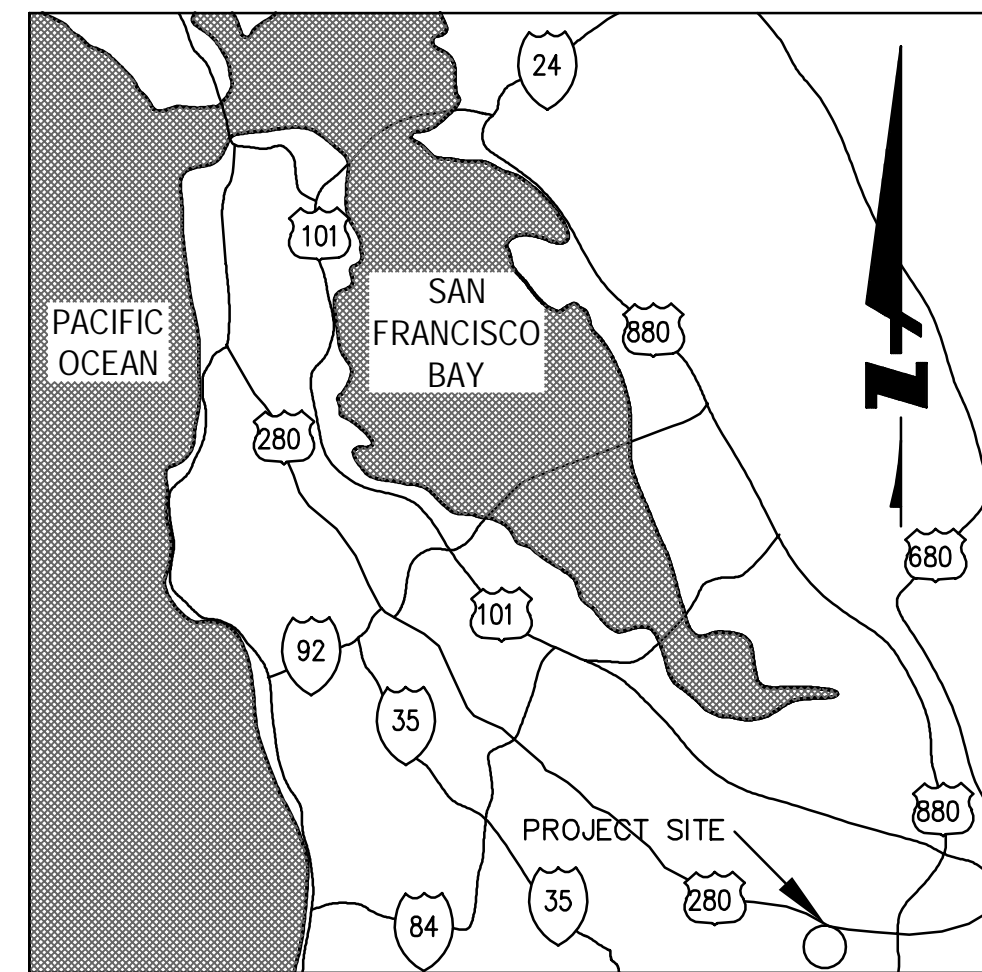
BOUNDARY IMPROVEMENTS	---
10' CONTOUR	---
2' CONTOUR	---
FENCE	---
RETAINING WALL	---
EDGE OF PAVEMENT	---
SPOT ELEVATION	498.27
UTILITY BOX	□
GRADE BREAK	---
FLOWLINE	---
DRIP LINE	---

NO.	BY	DATE	REVISION	BY	DATE	DATE: AUGUST, 2018
						SCALE: HOR: 1"=10' VERT: 1"=10'
						DESIGNED: BY: HARRY BABICKA L. S. 4953
						DRAWN: JK DATE:
						PRD.J. ENGR:

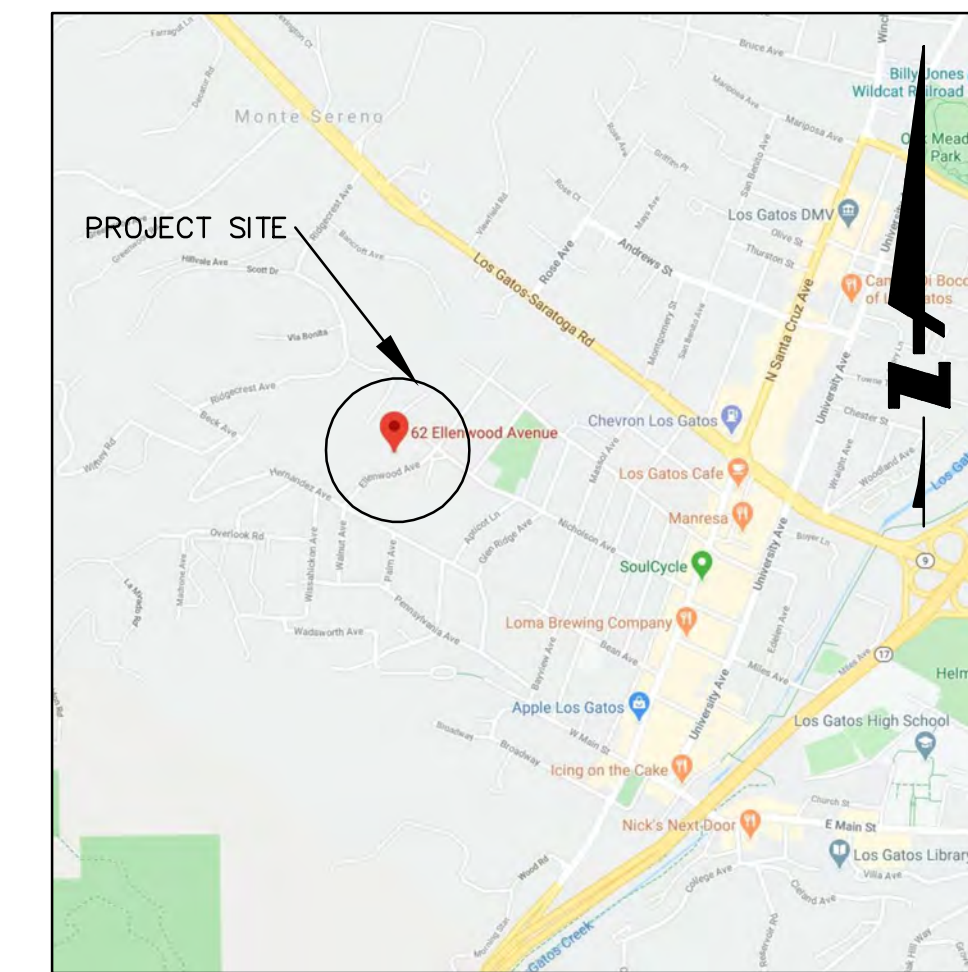

**WESTFALL ENGINEERS, INC.**  
 14583 BIG BASIN WAY, SARATOGA, CA 95070 (408)867-0244

**TOPOGRAPHIC MAP**  
 62 ELLENWOOD AVENUE, LOS GATOS

JOB NO. 2017-003
SHEET 1
DF 1



**VICINITY MAP**  
N.T.S.



**LOCATION MAP**  
N.T.S.

# SWENSON RESIDENCE

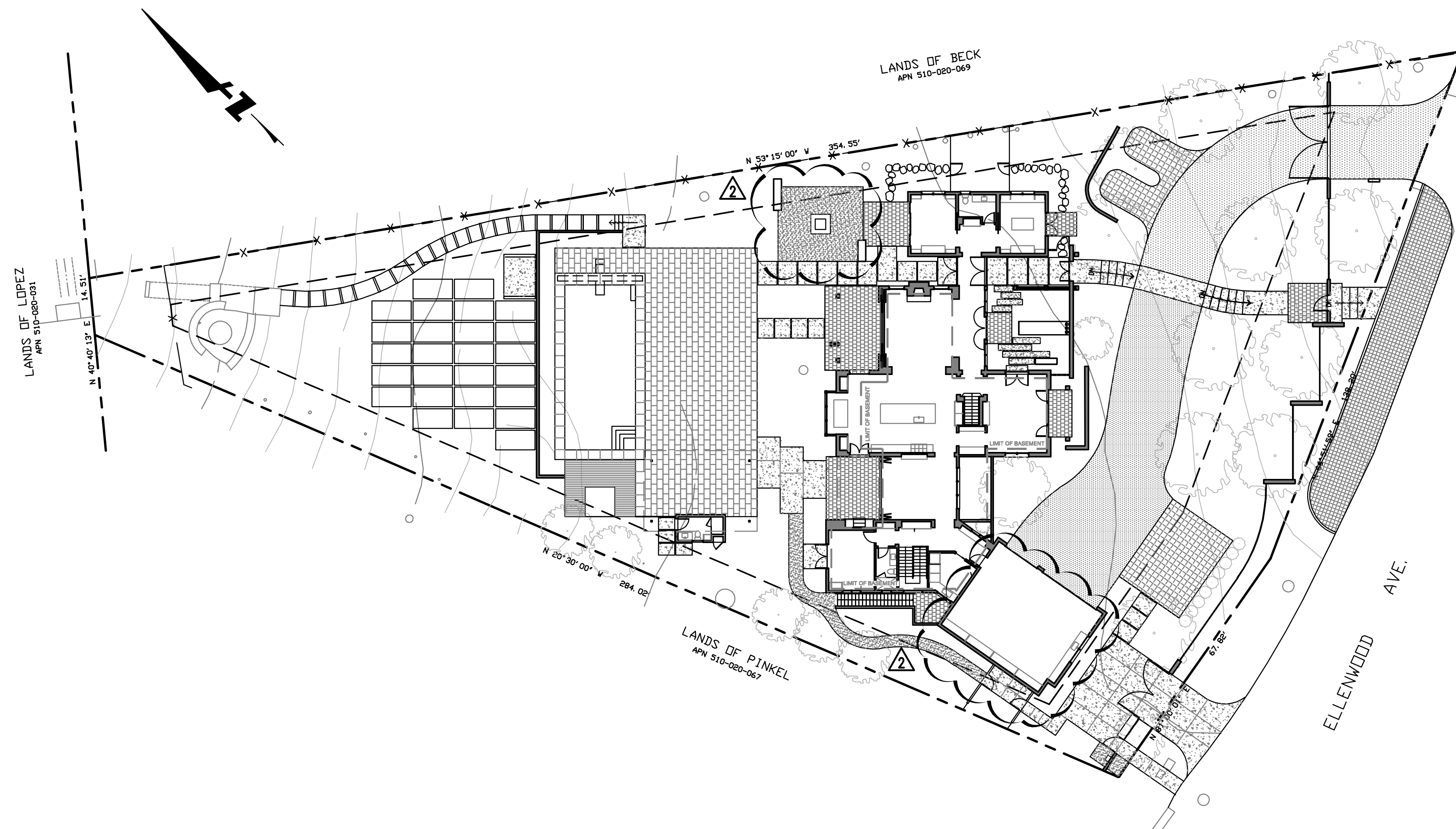
## 62 ELLENWOOD AVENUE

### LOS GATOS, CA

APN: 510-20-068

**ABBREVIATIONS:**

AB	AGGREGATE BASE
AC	ASPHALT CONCRETE
AD	AREA DRAIN
ATD	ATRIUM DRAIN
BFPD	BACK FLOW PREVENTION DEVICE
BSTD	BRICKSLOT TRENCH DRAIN
BW	BOTTOM OF WALL ELEVATION
CB	CATCH BASIN
CL	CENTER LINE
CS	CRAWL SPACE ELEVATION
CIP	CAST IRON PIPE
CONC	CONCRETE
DD	DECK DRAIN
DDCV	DOUBLE DETECTOR CHECK VALVE
DIP	DUCTILE IRON PIPE
DS	ROOF DOWN SPOUT
DW	DOMESTIC WATER LINE
DWL	DRYWELL CATCH BASIN
DWY	DRIVEWAY
(E)	EXISTING
EG	EXISTING GRADE
ELEC	ELECTRICAL
EM	ELECTRICAL METER
EP	EDGE OF PAVEMENT
FC	FACE OF CURB ELEVATION
FDC	FIRE DEPARTMENT CONNECTION
FF	FINISHED FLOOR ELEVATION
FG	FINISHED GROUND ELEVATION
FL	FLOW LINE ELEVATION
FM	FORCE MAIN LINE
FS	FINISHED SURFACE ELEVATION
FP	FINISHED PAVEMENT ELEVATION
FW	FINISHED WATER LINE
GB	GRADE BREAK
GM	GAS METER
GR	GRATE ELEVATION
GV	GATE VALVE
HP	HIGH POINT
INV	INVERT ELEVATION
JT	JOINT TRENCH
JP	JOINT POLE
LD	LANDSCAPE DRAIN
LF	LINEAR FEET
LP	LOW POINT
(N)	NEW
PH	POOL HOUSE
PIV	POST INDICATOR VALVE
PKG	PARKING
POC	POINT OF CONNECTION
RET	RETAINING WALL
RIM	RIM ELEVATION
S	SLOPE
SAP	SEE ARCHITECTURAL PLANS
SBD	STORM SUB DRAIN
SBDCO	STORM SUB DRAIN CLEANOUT
SD	STORM DRAIN
SDCO	STORM DRAIN CLEANOUT
SGR	SEE GEOTECHNICAL REPORT
SIB	SEE INLET CATCH BASIN
SLP	SEE LANDSCAPE PLANS
SFP	SEE PLUMBING PLANS
SS	SANITARY SEWER
SSCO	SANITARY SEWER CLEANOUT
SSP	SEE STRUCTURAL PLANS
TW	TYPICAL
TYP	TYPICAL
USD	UNDERSLAB DRAIN
VD	PIPE VERTICAL DROP
W	WATER METER
WM	WATER METER



**LEGEND:**

EXISTING	PROPOSED	BOUNDARY
6" SS	6" SS	--- BOUNDARY
10" SD	10" SD	- - - - - LIMIT OF WORK
4" SBD	4" SBD	--- SANITARY SEWER
FM	2" FM	--- SOLID STORM DRAIN
10" FW	10" FW	--- PERFORATED SUB DRAIN
2" W	2" W	--- FORCE MAIN
IRR	2" IRR	--- FIRE SERVICE
G	G	--- DOMESTIC WATER SERVICE
T	T	--- IRRIGATION SERVICE
TV	TV	--- NATURAL GAS
E	E	--- TELEPHONE
JT	JT	--- TV/CABLE TV
0/H	0/H	--- ELECTRIC
X	X	--- JOINT TRENCH
		--- OVERHEAD WIRES
		--- FENCE
		--- CLEAN OUT TO GRADE
		--- FOUND MONUMENT
		--- DOUBLE DETECTOR CHECK VALVE
		--- VALVE
		--- METER BOX
		--- STREET LIGHT
		--- DRAIN
		--- ATRIUM DRAIN
		--- CATCH BASIN
		--- FIRE HYDRANT
		--- FIRE DEPARTMENT CONNECTION
		--- BENCHMARK
		--- MANHOLE
		--- SIGN
		--- SPLASH BLOCK
		--- (2) CS.1
		--- (2) CS.1

**SHEET INDEX**

SHEET NO.	DESCRIPTION
C0.0	TITLE SHEET
C0.1	NOTES
C1.1	EXISTING CONDITIONS
C2.1	GRADING PLAN
C2.2	SITE SECTIONS
C3.1	UTILITY PLAN
C4.1	EROSION CONTROL PLAN
C4.2	BEST MANAGEMENT PRACTICES
C5.1	DETAIL SHEET

**EARTHWORK QUANTITIES**

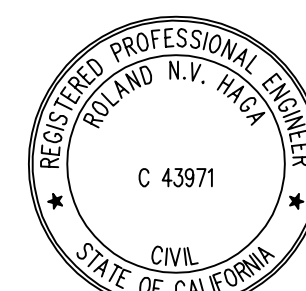
GROSS FIGURES	QUANTITY BREAKDOWN
CUT 1,770 CUBIC YARDS	BUILDINGS (BASEMENT/LIGHTWELL)
FILL 140 CUBIC YARDS	CUT 1,370 CUBIC YARDS
TOTAL 1,910 CUBIC YARDS	BUILDINGS (CS/SLAB ON GRADE)
BALANCE 1,630 CUBIC YARDS OF EXPORT	CUT 100 CUBIC YARDS
	POOL
	CUT 190 CUBIC YARDS
	DRIVEWAY
	CUT 60 CUBIC YARDS
	FILL 10 CUBIC YARDS
	SITE WORK AND LANDSCAPING
NET FIGURES	CUT 50 CUBIC YARDS
CUT 110 CUBIC YARDS	FILL 140 CUBIC YARDS
FILL 140 CUBIC YARDS	
TOTAL 250 CUBIC YARDS	
BALANCE 30 CUBIC YARDS OF IMPORT	

EARTHWORK QUANTITIES SHOWN ARE FOR PLANNING PURPOSES ONLY. CONTRACTOR SHALL PERFORM THEIR OWN EARTHWORK QUANTITY CALCULATION, AND USE THEIR CALCULATION FOR BIDDING AND COST ESTIMATING PURPOSES.

**ENGINEER'S STATEMENT**

THIS SITE IMPROVEMENT PLAN SUBMITTAL HAS BEEN PREPARED UNDER MY DIRECTION.

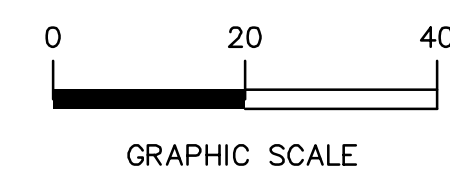
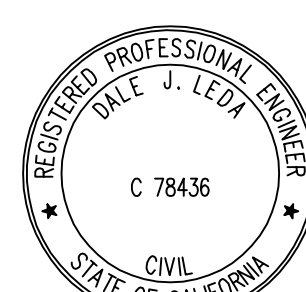
ROLAND N.V. HAGA  
VICE PRESIDENT  
P.E. #43971  
BKF ENGINEERS



**ENGINEER OF WORK**

I HEREBY DECLARE THAT I AM THE CIVIL ENGINEER OF WORK FOR THIS PROJECT AND THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THIS PROJECT AS DEFINED IN SECTION 6703 OF THE STATE OF CALIFORNIA, BUSINESS PROFESSIONAL CODES, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS.

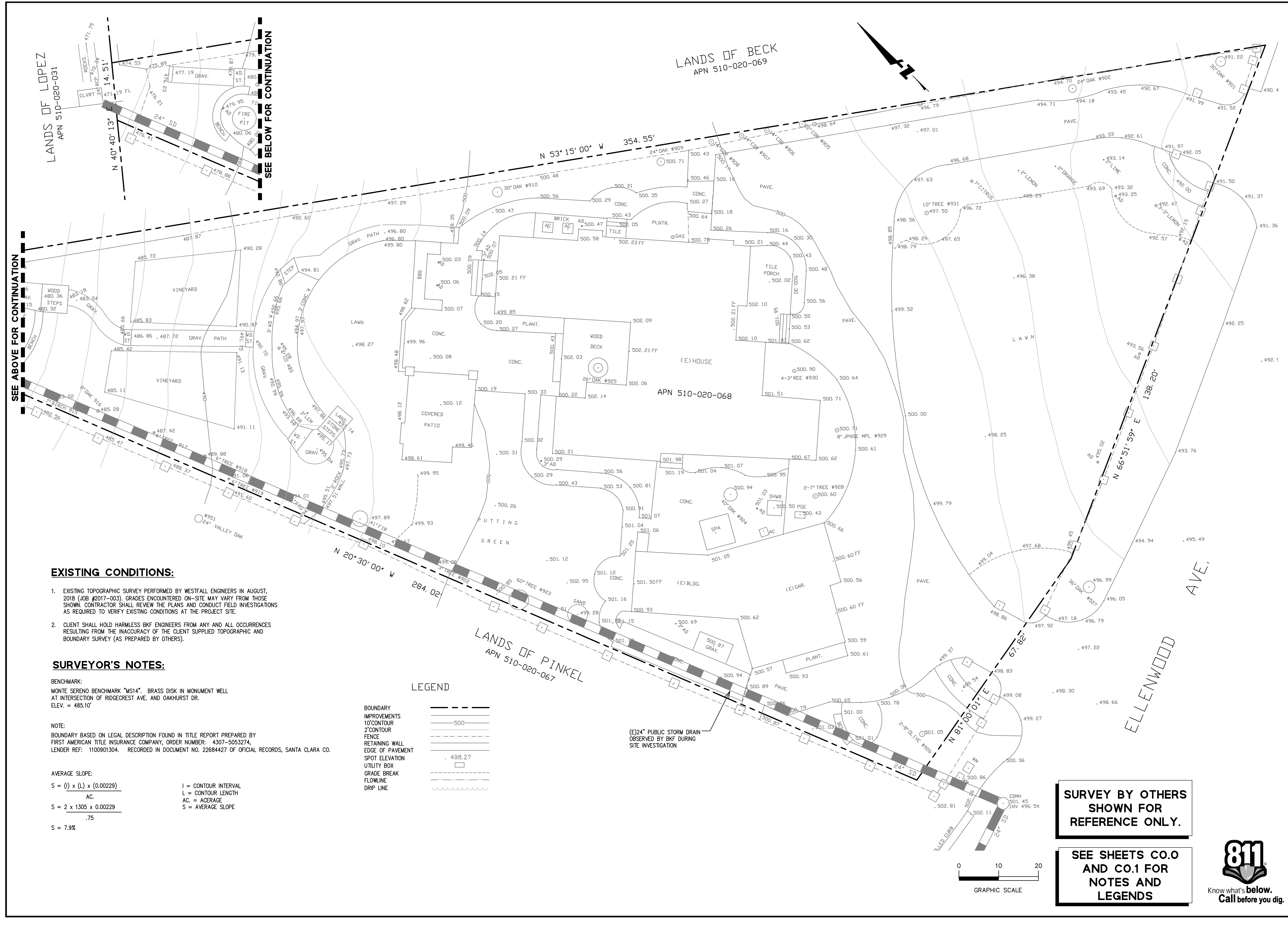
DALE LEDA  
PROJECT MANAGER  
P.E. #78436  
BKF ENGINEERS





Date	Revisions
08/18/2020	TR COMMENTS
11/19/2020	REVISION

Date	Scale	Design	Drawn	Approved	Job No.
04/23/2020	1" = 10'	CHS	CW	D.J.L.	20200194-10



**EXISTING CONDITIONS:**

- EXISTING TOPOGRAPHIC SURVEY PERFORMED BY WESTFALL ENGINEERS IN AUGUST, 2018 (JOB #2017-003). GRADES ENCOUNTERED ON-SITE MAY VARY FROM THOSE SHOWN. CONTRACTOR SHALL REVIEW THE PLANS AND CONDUCT FIELD INVESTIGATIONS AS REQUIRED TO VERIFY EXISTING CONDITIONS AT THE PROJECT SITE.
- CLIENT SHALL HOLD HARMLESS BKF ENGINEERS FROM ANY AND ALL OCCURRENCES RESULTING FROM THE INACCURACY OF THE CLIENT SUPPLIED TOPOGRAPHIC AND BOUNDARY SURVEY (AS PREPARED BY OTHERS).

**SURVEYOR'S NOTES:**

**BENCHMARK:**  
MONTE SERENO BENCHMARK "MS14". BRASS DISK IN MONUMENT WELL AT INTERSECTION OF RIDGECREST AVE. AND OAKHURST DR. ELEV. = 485.10'

**NOTE:**  
BOUNDARY BASED ON LEGAL DESCRIPTION FOUND IN TITLE REPORT PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, ORDER NUMBER: 4307-5053274, LENDER REF: 1100901304. RECORDED IN DOCUMENT NO. 22684427 OF OFFICIAL RECORDS, SANTA CLARA CO.

**AVERAGE SLOPE:**

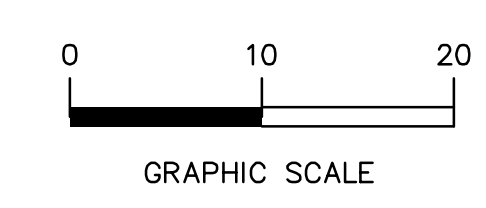
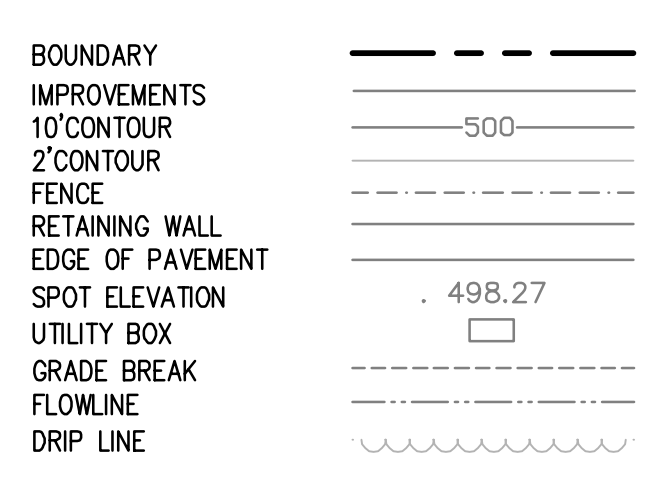
$$S = \frac{(I) \times (L) \times (0.00229)}{AC}$$

$$S = 2 \times 1305 \times 0.00229$$

$$S = 7.9\%$$

I = CONTOUR INTERVAL  
L = CONTOUR LENGTH  
AC = ACERAGE  
S = AVERAGE SLOPE

**LEGEND**



**SURVEY BY OTHERS SHOWN FOR REFERENCE ONLY.**

**SEE SHEETS CO.0 AND CO.1 FOR NOTES AND LEGENDS**

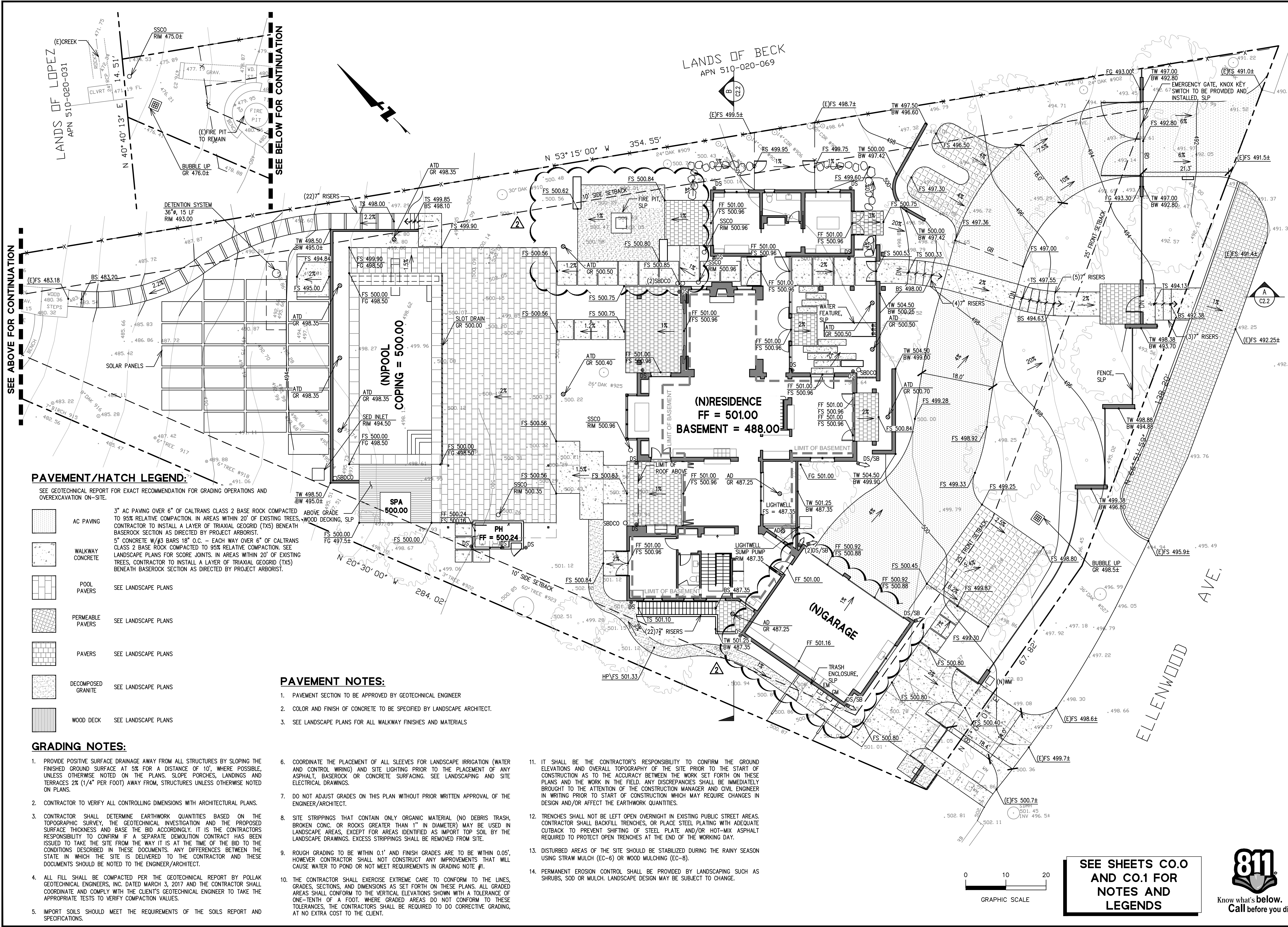


Date	Revisions	No.	TR COMMENTS
08/19/2020			
11/19/2020			

Date	Scale	Drawn	Checked	Approved	Job No
04/23/2020	1" = 10'	CHS	CHS	DLL	202000194-10

Drawing Number: **C2.1**  
OF



**PAVEMENT/HATCH LEGEND:**

SEE GEOTECHNICAL REPORT FOR EXACT RECOMMENDATION FOR GRADING OPERATIONS AND OVEREXCAVATION ON-SITE.

- AC PAVING 3" AC PAVING OVER 6" OF CALTRANS CLASS 2 BASE ROCK COMPACTED TO 95% RELATIVE COMPACTION. IN AREAS WITHIN 20' OF EXISTING TREES, WOOD DECKING, SLP CONTRACTOR TO INSTALL A LAYER OF TRIAXIAL GEOGRID (TXS) BENEATH BASE ROCK SECTION AS DIRECTED BY PROJECT ARBORIST.
- WALKWAY CONCRETE 5" CONCRETE W/ #3 BARS 18" O.C. - EACH WAY OVER 6" OF CALTRANS CLASS 2 BASE ROCK COMPACTED TO 95% RELATIVE COMPACTION. SEE LANDSCAPE PLANS FOR SCORE JOINTS. IN AREAS WITHIN 20' OF EXISTING TREES, CONTRACTOR TO INSTALL A LAYER OF TRIAXIAL GEOGRID (TXS) BENEATH BASE ROCK SECTION AS DIRECTED BY PROJECT ARBORIST.
- POOL PAVERS SEE LANDSCAPE PLANS
- PERMEABLE PAVERS SEE LANDSCAPE PLANS
- PAVERS SEE LANDSCAPE PLANS
- DECOMPOSED GRANITE SEE LANDSCAPE PLANS
- WOOD DECK SEE LANDSCAPE PLANS

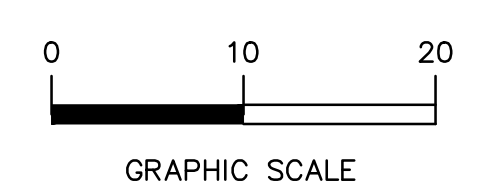
**GRADING NOTES:**

1. PROVIDE POSITIVE SURFACE DRAINAGE AWAY FROM ALL STRUCTURES BY SLOPING THE FINISHED GROUND SURFACE AT 5% FOR A DISTANCE OF 10', WHERE POSSIBLE, UNLESS OTHERWISE NOTED ON THE PLANS. SLOPE PORCHES, LANDINGS AND TERRACES 2% (1/4" PER FOOT) AWAY FROM STRUCTURES UNLESS OTHERWISE NOTED ON PLANS.
2. CONTRACTOR TO VERIFY ALL CONTROLLING DIMENSIONS WITH ARCHITECTURAL PLANS.
3. CONTRACTOR SHALL DETERMINE EARTHWORK QUANTITIES BASED ON THE TOPOGRAPHIC SURVEY, THE GEOTECHNICAL INVESTIGATION AND THE PROPOSED SURFACE THICKNESS AND BASE THE BID ACCORDINGLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM IF A SEPARATE DEMOLITION CONTRACT HAS BEEN ISSUED TO TAKE THE SITE FROM THE WAY IT IS AT THE TIME OF THE BID TO THE CONDITIONS DESCRIBED IN THESE DOCUMENTS. ANY DIFFERENCES BETWEEN THE STATE IN WHICH THE SITE IS DELIVERED TO THE CONTRACTOR AND THESE DOCUMENTS SHOULD BE NOTED TO THE ENGINEER/ARCHITECT.
4. ALL FILL SHALL BE COMPACTED PER THE GEOTECHNICAL REPORT BY POLLAK GEOTECHNICAL ENGINEERS, INC. DATED MARCH 3, 2017 AND THE CONTRACTOR SHALL COORDINATE AND COMPLY WITH THE CLIENT'S GEOTECHNICAL ENGINEER TO TAKE THE APPROPRIATE TESTS TO VERIFY COMPACTION VALUES.
5. IMPORT SOILS SHOULD MEET THE REQUIREMENTS OF THE SOILS REPORT AND SPECIFICATIONS.

**PAVEMENT NOTES:**

1. PAVEMENT SECTION TO BE APPROVED BY GEOTECHNICAL ENGINEER
2. COLOR AND FINISH OF CONCRETE TO BE SPECIFIED BY LANDSCAPE ARCHITECT.
3. SEE LANDSCAPE PLANS FOR ALL WALKWAY FINISHES AND MATERIALS
6. COORDINATE THE PLACEMENT OF ALL SLEEVES FOR LANDSCAPE IRRIGATION (WATER AND CONTROL WIRING) AND SITE LIGHTING PRIOR TO THE PLACEMENT OF ANY ASPHALT, BASE ROCK OR CONCRETE SURFACING. SEE LANDSCAPING AND SITE ELECTRICAL DRAWINGS.
7. DO NOT ADJUST GRADES ON THIS PLAN WITHOUT PRIOR WRITTEN APPROVAL OF THE ENGINEER/ARCHITECT.
8. SITE STRIPPINGS THAT CONTAIN ONLY ORGANIC MATERIAL (NO DEBRIS TRASH, BROKEN CONC. OR ROCKS GREATER THAN 1" IN DIAMETER) MAY BE USED IN LANDSCAPE AREAS, EXCEPT FOR AREAS IDENTIFIED AS IMPORT TOP SOIL BY THE LANDSCAPE DRAWINGS. EXCESS STRIPPINGS SHALL BE REMOVED FROM SITE.
9. ROUGH GRADING TO BE WITHIN 0.1' AND FINISH GRADES ARE TO BE WITHIN 0.05', HOWEVER CONTRACTOR SHALL NOT CONSTRUCT ANY IMPROVEMENTS THAT WILL CAUSE WATER TO POND OR NOT MEET REQUIREMENTS IN GRADING NOTE #1.
10. THE CONTRACTOR SHALL EXERCISE EXTREME CARE TO CONFORM TO THE LINES, GRADES, SECTIONS, AND DIMENSIONS AS SET FORTH ON THESE PLANS. ALL GRADED AREAS SHALL CONFORM TO THE VERTICAL ELEVATIONS SHOWN WITH A TOLERANCE OF ONE-TENTH OF A FOOT, WHERE GRADED AREAS DO NOT CONFORM TO THESE TOLERANCES, THE CONTRACTORS SHALL BE REQUIRED TO DO CORRECTIVE GRADING, AT NO EXTRA COST TO THE CLIENT.

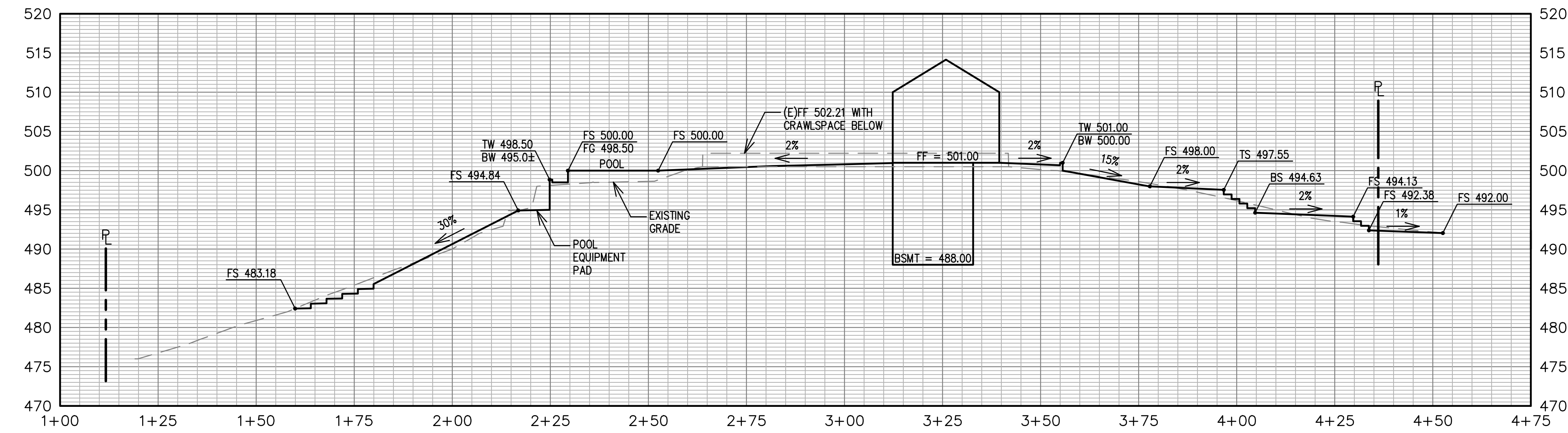
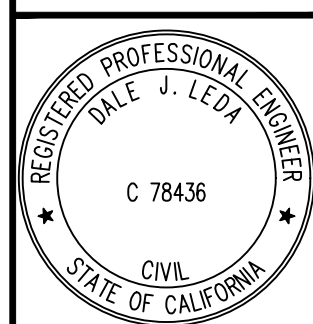
11. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM THE GROUND ELEVATIONS AND OVERALL TOPOGRAPHY OF THE SITE PRIOR TO THE START OF CONSTRUCTION AS TO THE ACCURACY BETWEEN THE WORK SET FORTH ON THESE PLANS AND THE WORK IN THE FIELD. ANY DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE CONSTRUCTION MANAGER AND CIVIL ENGINEER IN WRITING PRIOR TO START OF CONSTRUCTION WHICH MAY REQUIRE CHANGES IN DESIGN AND/OR AFFECT THE EARTHWORK QUANTITIES.
12. TRENCHES SHALL NOT BE LEFT OPEN OVERNIGHT IN EXISTING PUBLIC STREET AREAS. CONTRACTOR SHALL BACKFILL TRENCHES, OR PLACE STEEL PLATING WITH ADEQUATE CUTBACK TO PREVENT SHIFTING OF STEEL PLATE AND/OR HOT-MIX ASPHALT REQUIRED TO PROTECT OPEN TRENCHES AT THE END OF THE WORKING DAY.
13. DISTURBED AREAS OF THE SITE SHOULD BE STABILIZED DURING THE RAINY SEASON USING STRAW MULCH (EC-6) OR WOOD MULCHING (EC-8).
14. PERMANENT EROSION CONTROL SHALL BE PROVIDED BY LANDSCAPING SUCH AS SHRUBS, SOO OR MULCH. LANDSCAPE DESIGN MAY BE SUBJECT TO CHANGE.



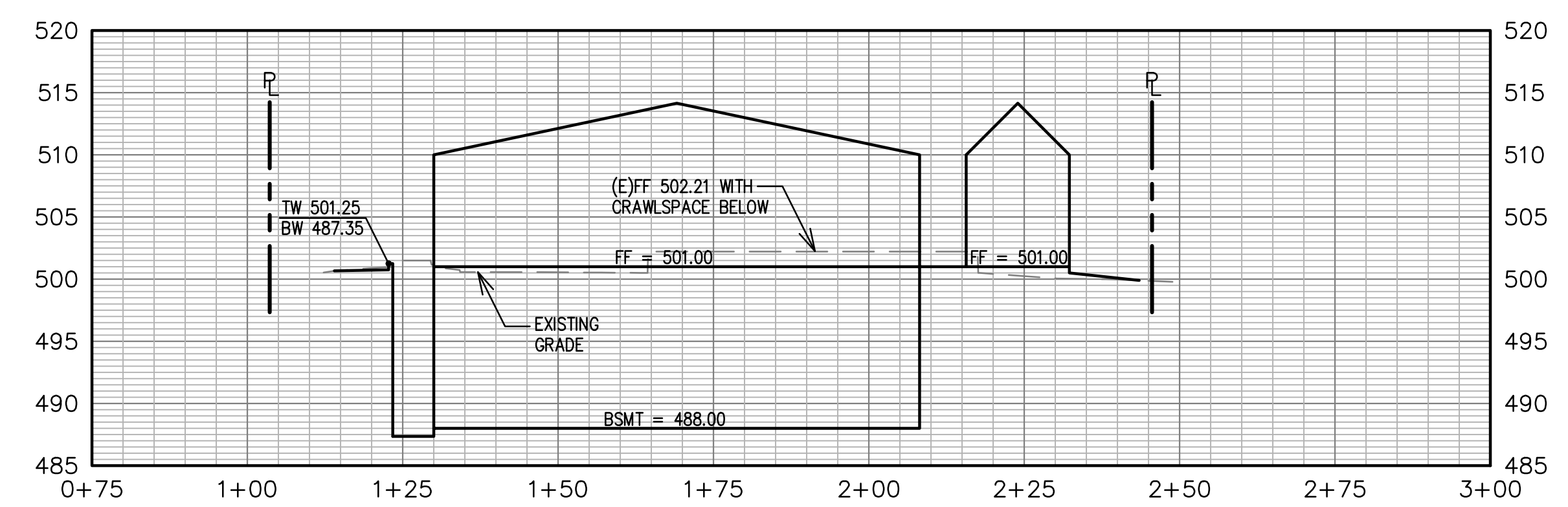
SEE SHEETS C.O.0 AND C.O.1 FOR NOTES AND LEGENDS



DRAWING NAME: K:\2020\200194\_62\_Ellenwood.Ave\ENG\e\1\sheets.dwg  
PLOT DATE: 11-19-20  
PLOTTED BY: wort



**SECTION A**  
 SCALE: 1" = 20' HORIZ.  
 1" = 10' VERT.



**SECTION B**  
 SCALE: 1" = 20' HORIZ.  
 1" = 10' VERT.

DRAWING NAME: K:\2020\200194\_62\_Ellenwood\_Ave\ENG\elsheets.dwg  
 PLOT DATE: 11-19-20 PLOTTED BY: wort

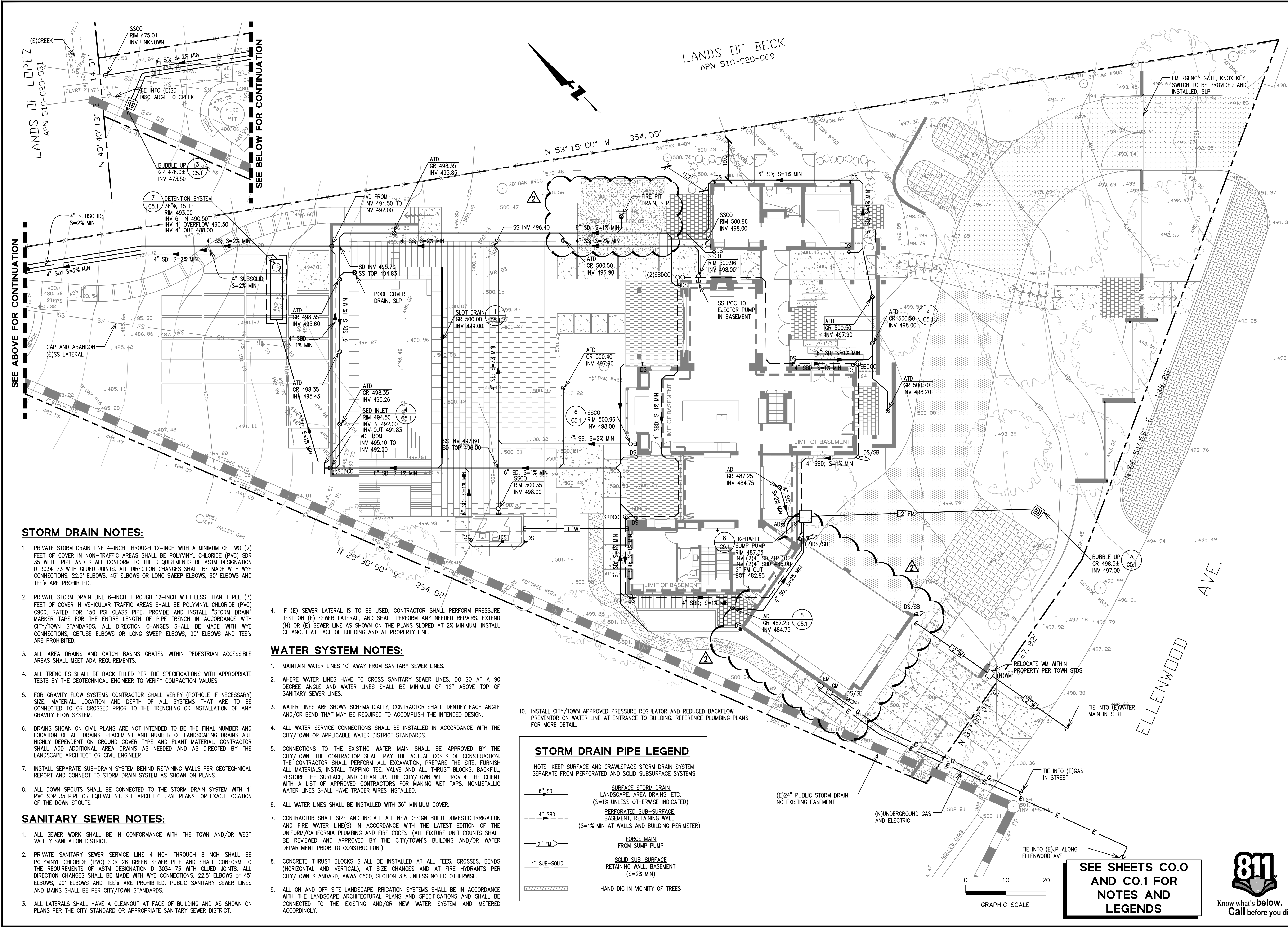
**SEE SHEETS C.O. AND C.O.1 FOR NOTES AND LEGENDS**



Date	Revisions	No.	Date
08/18/2020	TR COMMENTS	1	08/18/2020
11/19/2020	REVISION	2	11/19/2020
04/23/2020	AS SHOWN	3	04/23/2020
	Design CHS		
	Drawn CW		
	Approved DJL		
	Job No 20200194-10		

Drawing Number:  
**C2.2**  
 OF

No.	TR COMMENTS	REVISION	Date
04/23/2020 <td>Scale 1" = 10'</td> <td>Design CHS</td> <td>08/19/2020</td>	Scale 1" = 10'	Design CHS	08/19/2020
04/23/2020 <td>Drawn CW</td> <td>REVISION</td> <td>11/19/2020</td>	Drawn CW	REVISION	11/19/2020
04/23/2020 <td>Approved DJL</td> <td></td> <td></td>	Approved DJL		
04/23/2020 <td>Job No 20200194-10</td> <td></td> <td></td>	Job No 20200194-10		



**STORM DRAIN NOTES:**

- PRIVATE STORM DRAIN LINE 4-INCH THROUGH 12-INCH WITH A MINIMUM OF TWO (2) FEET OF COVER IN NON-TRAFFIC AREAS SHALL BE POLYVINYL CHLORIDE (PVC) SDR 35 WHITE PIPE AND SHALL CONFORM TO THE REQUIREMENTS OF ASTM DESIGNATION D 3034-73 WITH GLUED JOINTS. ALL DIRECTION CHANGES SHALL BE MADE WITH WYE CONNECTIONS, 22.5° ELBOWS OR LONG SWEEP ELBOWS, 90° ELBOWS AND TEE'S ARE PROHIBITED.
- PRIVATE STORM DRAIN LINE 6-INCH THROUGH 12-INCH WITH LESS THAN THREE (3) FEET OF COVER IN VEHICULAR TRAFFIC AREAS SHALL BE POLYVINYL CHLORIDE (PVC) C900, RATED FOR 150 PSI CLASS PIPE. PROVIDE AND INSTALL "STORM DRAIN" MARKER TAPE FOR THE ENTIRE LENGTH OF PIPE TRENCH IN ACCORDANCE WITH CITY/TOWN STANDARDS. ALL DIRECTION CHANGES SHALL BE MADE WITH WYE CONNECTIONS, OBTUSE ELBOWS OR LONG SWEEP ELBOWS, 90° ELBOWS AND TEE'S ARE PROHIBITED.
- ALL AREA DRAINS AND CATCH BASINS GRATES WITHIN PEDESTRIAN ACCESSIBLE AREAS SHALL MEET ADA REQUIREMENTS.
- ALL TRENCHES SHALL BE BACK FILLED PER THE SPECIFICATIONS WITH APPROPRIATE TESTS BY THE GEOTECHNICAL ENGINEER TO VERIFY COMPACTION VALUES.
- FOR GRAVITY FLOW SYSTEMS CONTRACTOR SHALL VERIFY (POTHOLE IF NECESSARY) SIZE, MATERIAL, LOCATION AND DEPTH OF ALL SYSTEMS THAT ARE TO BE CONNECTED TO OR CROSSED PRIOR TO THE TRENCHING OR INSTALLATION OF ANY GRAVITY FLOW SYSTEM.
- DRAINS SHOWN ON CIVIL PLANS ARE NOT INTENDED TO BE THE FINAL NUMBER AND LOCATION OF ALL DRAINS. PLACEMENT AND NUMBER OF LANDSCAPING DRAINS ARE HIGHLY DEPENDENT ON GROUND COVER TYPE AND PLANT MATERIAL. CONTRACTOR SHALL ADD ADDITIONAL AREA DRAINS AS NEEDED AND AS DIRECTED BY THE LANDSCAPE ARCHITECT OR CIVIL ENGINEER.
- INSTALL SEPARATE SUB-DRAIN SYSTEM BEHIND RETAINING WALLS PER GEOTECHNICAL REPORT AND CONNECT TO STORM DRAIN SYSTEM AS SHOWN ON PLANS.
- ALL DOWN SPOUTS SHALL BE CONNECTED TO THE STORM DRAIN SYSTEM WITH 4" PVC SDR 35 PIPE OR EQUIVALENT. SEE ARCHITECTURAL PLANS FOR EXACT LOCATION OF THE DOWN SPOUTS.

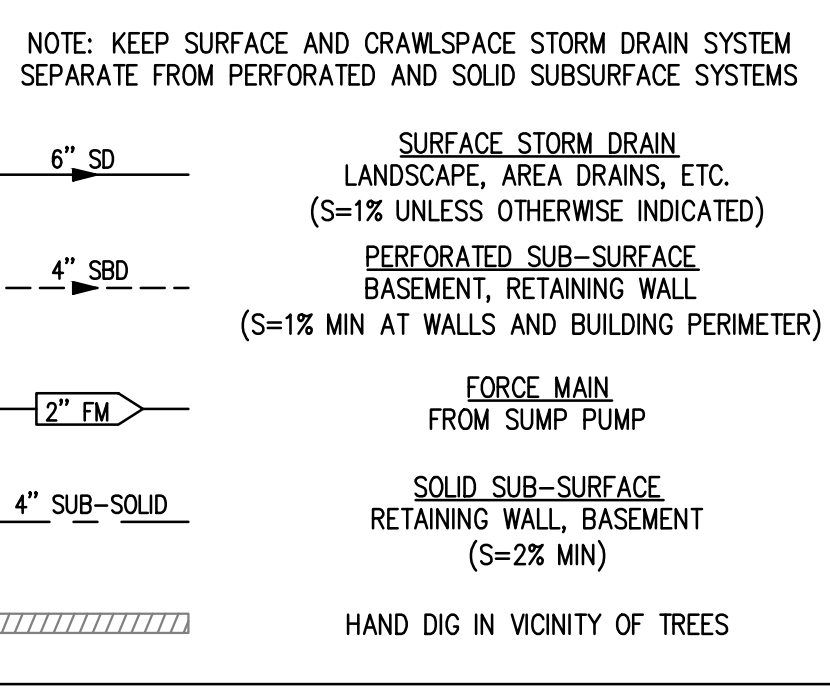
**SANITARY SEWER NOTES:**

- ALL SEWER WORK SHALL BE IN CONFORMANCE WITH THE TOWN AND/OR WEST VALLEY SANITATION DISTRICT.
- PRIVATE SANITARY SEWER SERVICE LINE 4-INCH THROUGH 8-INCH SHALL BE POLYVINYL CHLORIDE (PVC) SDR 26 GREEN SEWER PIPE AND SHALL CONFORM TO THE REQUIREMENTS OF ASTM DESIGNATION D 3034-73 WITH GLUED JOINTS. ALL DIRECTION CHANGES SHALL BE MADE WITH WYE CONNECTIONS, 22.5° ELBOWS OR 45° ELBOWS, 90° ELBOWS AND TEE'S ARE PROHIBITED. PUBLIC SANITARY SEWER LINES AND MAINS SHALL BE PER CITY/TOWN STANDARDS.
- ALL LATERALS SHALL HAVE A CLEANOUT AT FACE OF BUILDING AND AS SHOWN ON PLANS PER THE CITY STANDARD OR APPROPRIATE SANITARY SEWER DISTRICT.

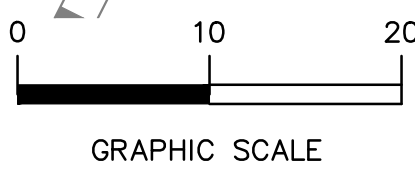
**WATER SYSTEM NOTES:**

- MAINTAIN WATER LINES 10' AWAY FROM SANITARY SEWER LINES.
- WHERE WATER LINES HAVE TO CROSS SANITARY SEWER LINES, DO SO AT A 90 DEGREE ANGLE AND WATER LINES SHALL BE MINIMUM OF 12" ABOVE TOP OF SANITARY SEWER LINES.
- WATER LINES ARE SHOWN SCHEMATICALLY, CONTRACTOR SHALL IDENTIFY EACH ANGLE AND/OR BEND THAT MAY BE REQUIRED TO ACCOMPLISH THE INTENDED DESIGN.
- ALL WATER SERVICE CONNECTIONS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY/TOWN OR APPLICABLE WATER DISTRICT STANDARDS.
- CONNECTIONS TO THE EXISTING WATER MAIN SHALL BE APPROVED BY THE CITY/TOWN. THE CONTRACTOR SHALL PAY THE ACTUAL COSTS OF CONSTRUCTION. THE CONTRACTOR SHALL PERFORM ALL EXCAVATION, PREPARE THE SITE, FURNISH ALL MATERIALS, INSTALL TAPPING TEE, VALVE AND ALL THRUST BLOCKS, BACKFILL, RESTORE THE SURFACE, AND CLEAN UP. THE CITY/TOWN WILL PROVIDE THE CLIENT WITH A LIST OF APPROVED CONTRACTORS FOR MAKING WET TAPS. NONMETALLIC WATER LINES SHALL HAVE TRACER WIRES INSTALLED.
- ALL WATER LINES SHALL BE INSTALLED WITH 36" MINIMUM COVER.
- CONTRACTOR SHALL SIZE AND INSTALL ALL NEW DESIGN BUILD DOMESTIC IRRIGATION AND FIRE WATER LINE(S) IN ACCORDANCE WITH THE LATEST EDITION OF THE UNIFORM/CALIFORNIA PLUMBING AND FIRE CODES. (ALL FIXTURE UNIT COUNTS SHALL BE REVIEWED AND APPROVED BY THE CITY/TOWN'S BUILDING AND/OR WATER DEPARTMENT PRIOR TO CONSTRUCTION.)
- CONCRETE THRUST BLOCKS SHALL BE INSTALLED AT ALL TEES, CROSSES, BENDS (HORIZONTAL AND VERTICAL), AT SIZE CHANGES AND AT FIRE HYDRANTS PER CITY/TOWN STANDARD, AWWA C600, SECTION 3.8 UNLESS NOTED OTHERWISE.
- ALL ON AND OFF-SITE LANDSCAPE IRRIGATION SYSTEMS SHALL BE IN ACCORDANCE WITH THE LANDSCAPE ARCHITECTURAL PLANS AND SPECIFICATIONS AND SHALL BE CONNECTED TO THE EXISTING AND/OR NEW WATER SYSTEM AND METERED ACCORDINGLY.

**STORM DRAIN PIPE LEGEND**

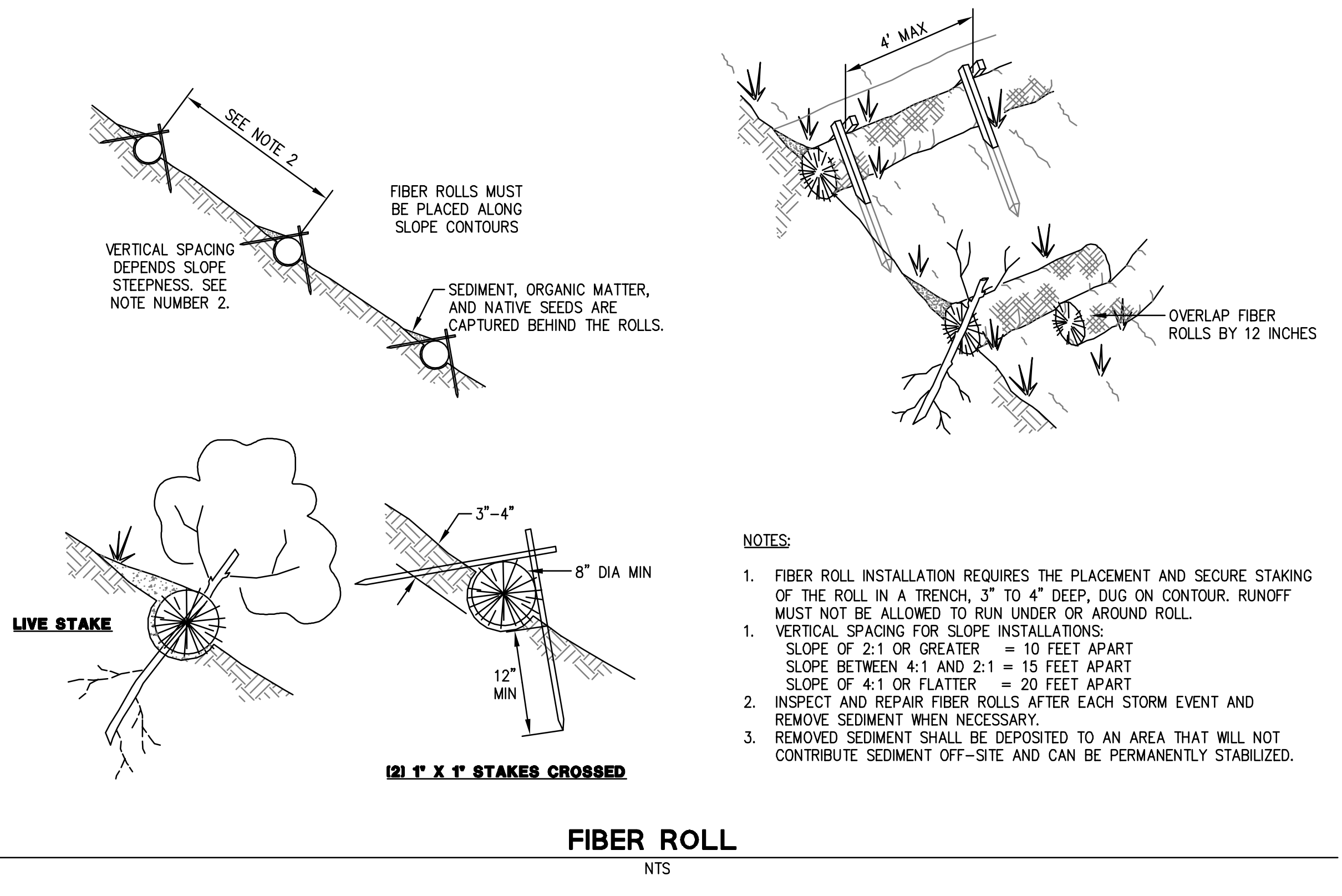
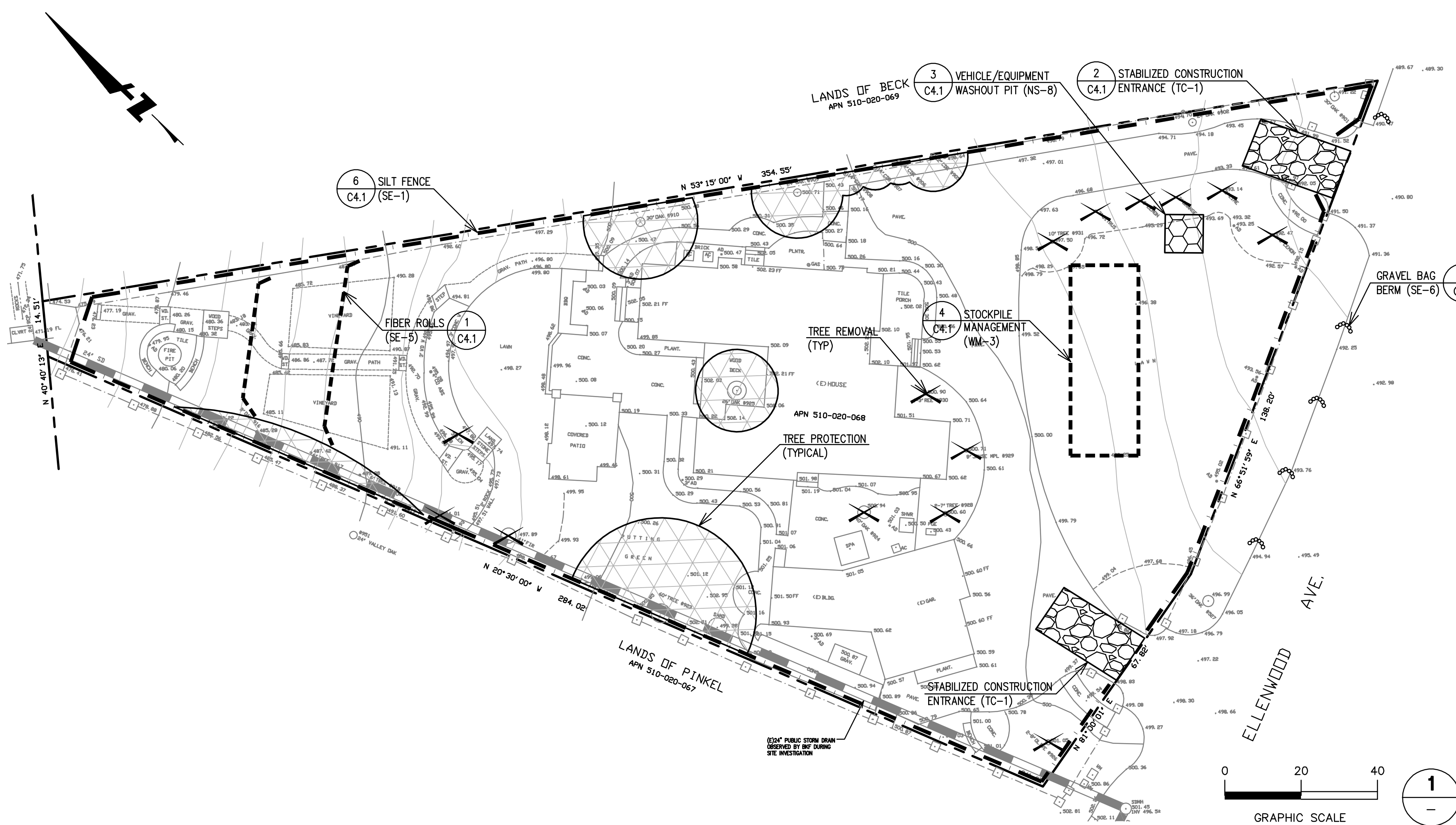


**SEE SHEETS C.O.0 AND C.O.1 FOR NOTES AND LEGENDS**





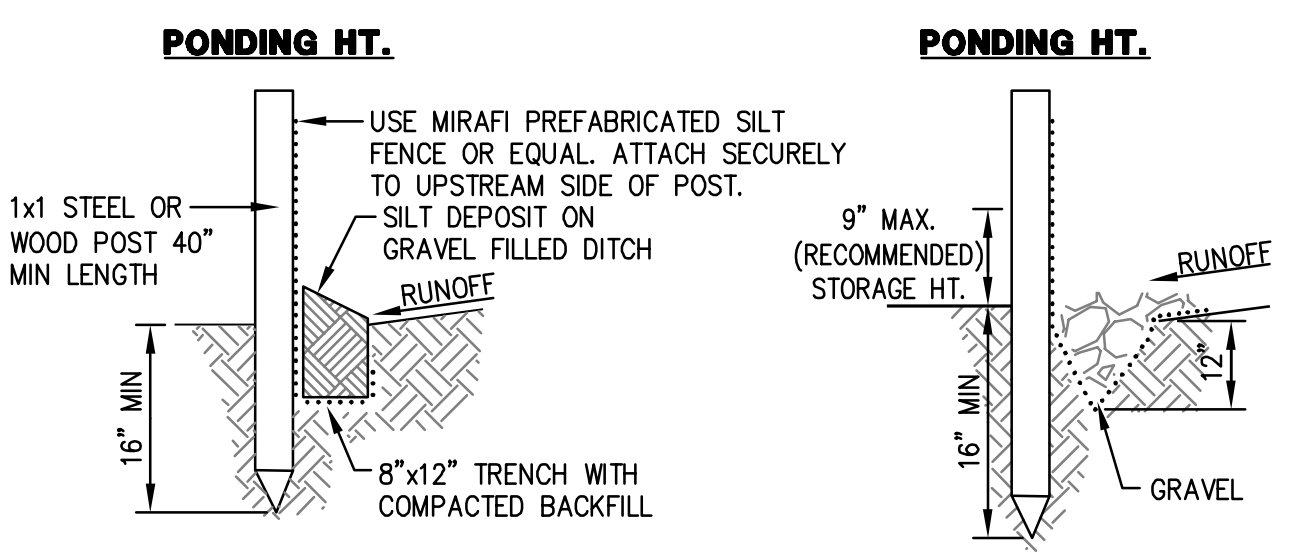
Date	04/23/2020	Revisions	
Scale	AS SHOWN	TR COMMENTS	
Design	CHS	REVISION	
Drawn	CW		
Approved	D.J.L.		
Job No.	20200194-10		
Drawing Number:			



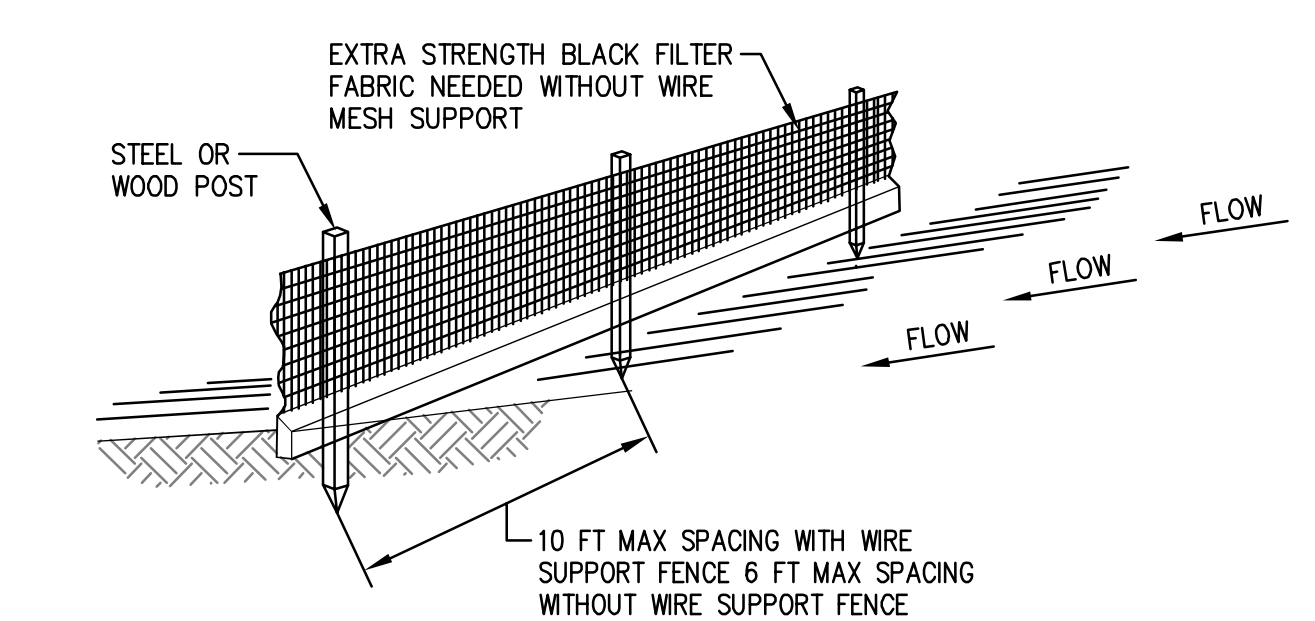
- NOTES:**
- FIBER ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE ROLL IN A TRENCH, 3" TO 4" DEEP, DUG ON CONTOUR. RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND ROLL.
  - VERTICAL SPACING FOR SLOPE INSTALLATIONS:  
SLOPE OF 2:1 OR GREATER = 10 FEET APART  
SLOPE BETWEEN 4:1 AND 2:1 = 15 FEET APART  
SLOPE OF 4:1 OR FLATTER = 20 FEET APART
  - INSPECT AND REPAIR FIBER ROLLS AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
  - REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.

**PERMANENT EROSION/SEDIMENT CONTROLS:**

- CONTRACTOR SHALL PROVIDE POST-CONSTRUCTION PERMANENT EROSION/SEDIMENT CONTROL THROUGHOUT THE SITE IN THE FORM OF FINISH LANDSCAPING.
- PERMANENT EROSION CONTROLS SHOULD CONSIST OF VEGETATION OR OTHER MEANS OF STABILIZING ALL DISTURBED AREAS OF THE SITE. SUITABLE EROSION CONTROLS INCLUDE TURF, SHRUBS, ESTABLISHED HYDROSEEDING, MULCH, BARK, AND OTHER GROUNDCOVERS.
- ALL DISTURBED GROUND SURFACES SHALL BE STABILIZED UPON COMPLETION OF CONSTRUCTION ACTIVITIES.
- FINAL LANDSCAPING PLAN TO BE DEVELOPED IN COORDINATION WITH THE PROJECT ARCHITECT AND TO BE CONSISTENT WITH EXISTING LANDSCAPING AND TREES TO REMAIN, AND MEET THE APPROVAL OF THE PROJECT ARBORIST.
- LANDSCAPING PROPOSED SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH THE CALIFORNIA MODEL WATER EFFICIENT LANDSCAPE ORDINANCE.
- DISTURBED AREAS OF THE SITE SHOULD BE STABILIZED DURING THE RAINY SEASON USING STRAW MULCH (EC-6) OR WOOD MULCHING (EC-8).
- PERMANENT EROSION CONTROL SHALL BE PROVIDED BY LANDSCAPING SUCH AS SHRUBS, SOD OR MULCH. LANDSCAPE DESIGN MAY BE SUBJECT TO CHANGE.

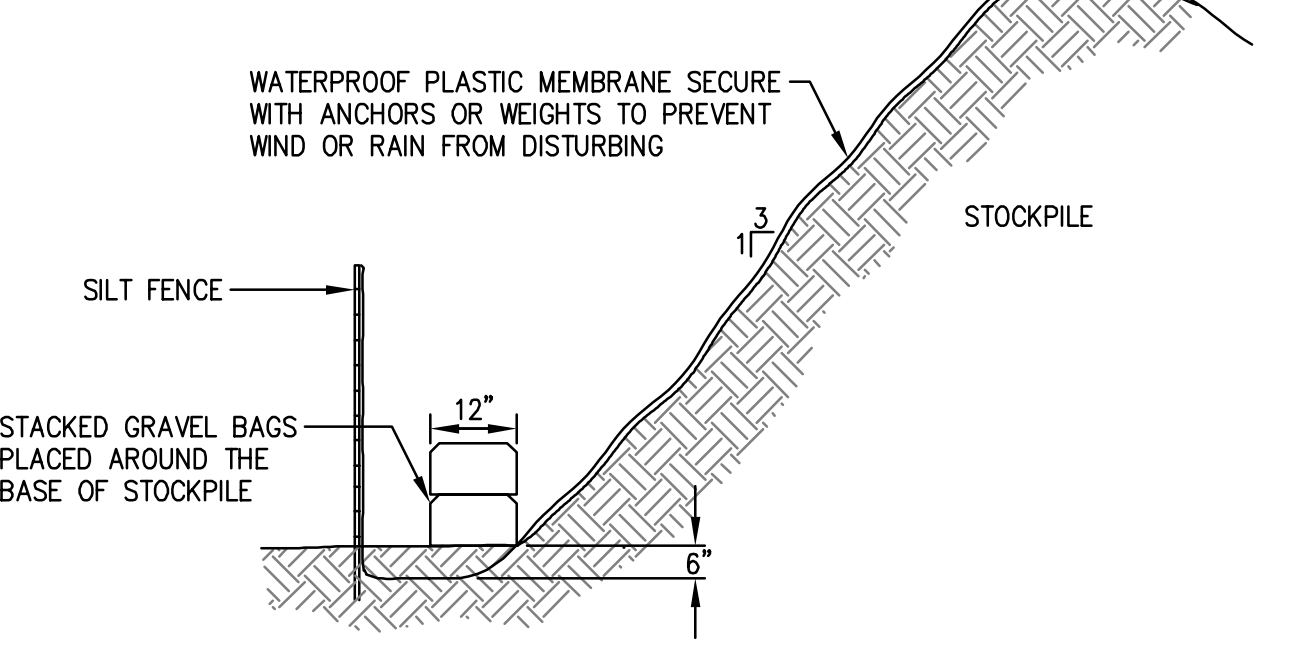


**STANDARD DETAIL TRENCH WITH NATIVE BACKFILL**  
**ALTERNATE DETAIL TRENCH WITH GRAVEL**

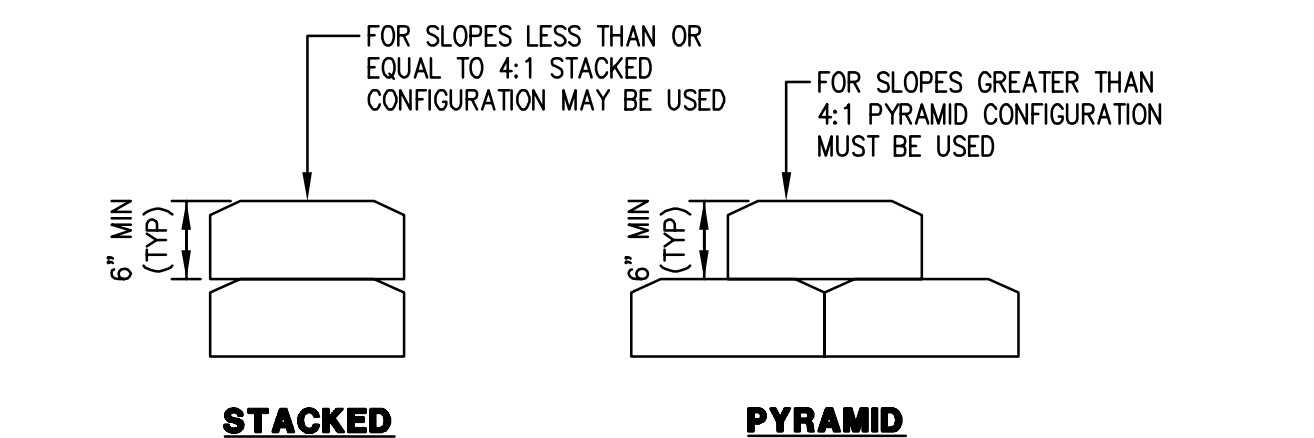


- NOTES:**
- INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
  - REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
  - SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.

**6 SILT FENCE**  
NTS

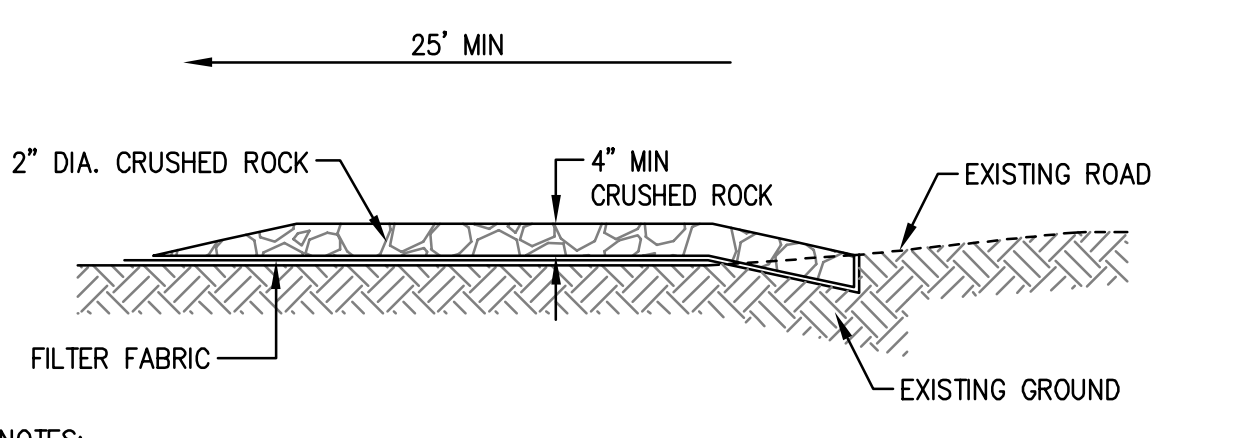


**4 STOCKPILE COVERING**  
NTS



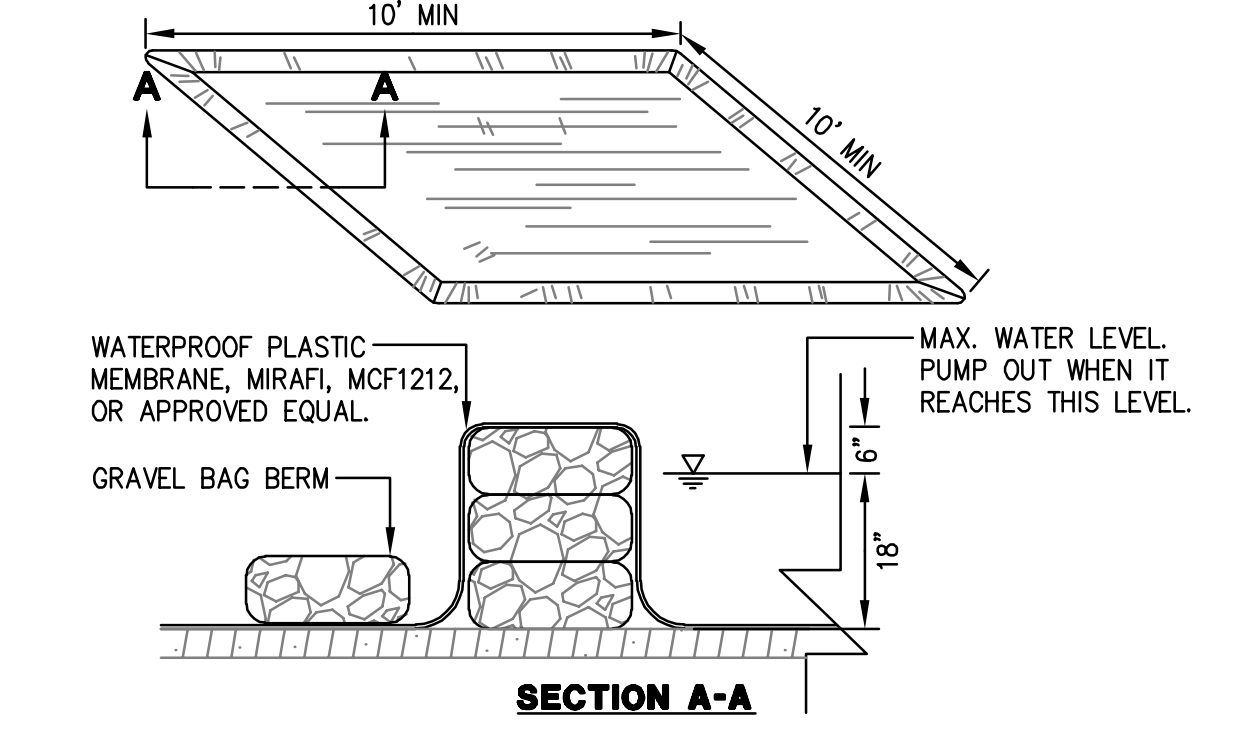
- NOTES:**
- INSTALL AT LOCATIONS AS SHOWN ON EROSION CONTROL PLAN, AND IN ADDITION, PROTECT ALL EXISTING AND PROPOSED STORM DRAIN STRUCTURES WITH GRAVEL BAGS.

**5 GRAVEL BAG BERM**  
NTS



- NOTES:**
- PROVIDE A FANNED STABILIZED CONSTRUCTION ENTRANCE TO ACCOMMODATE THE TURNING RADIUS OF CONSTRUCTION EQUIPMENT ON AND OFF THE PUBLIC STREET.
  - INSTALL ALONG NEW DWY CORRIDOR FOR THE FULL PROPOSED WIDTH.

**2 STABILIZED CONSTRUCTION ENTRANCE**  
NTS



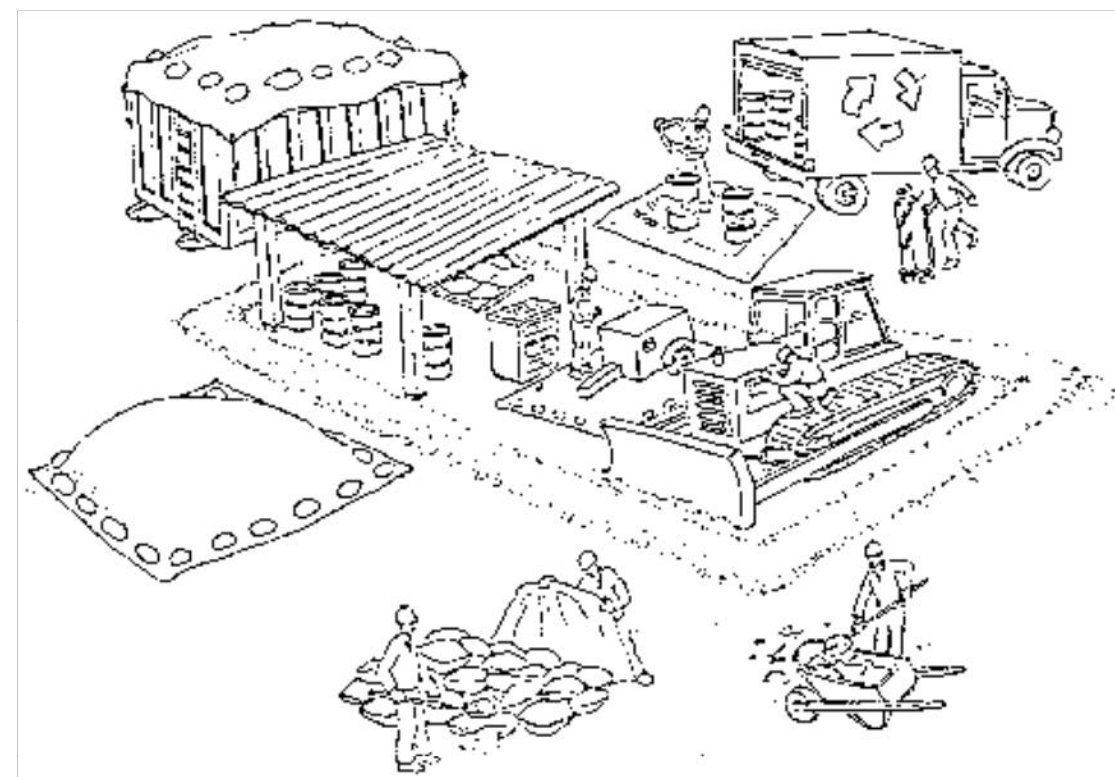
**3 VEHICLE/EQUIPMENT WASHOUT PIT**  
NTS

**SEE SHEETS CO.0 AND CO.1 FOR NOTES AND LEGENDS**



DRAWING NAME: K:\2020\200194\_62\_Ellenwood\_Ave\_ENC\elsheds.dwg  
PLOT DATE: 11-20-20 PLOTTED BY: wort

# Pollution Prevention — It's Part of the Plan



## Make sure your crews and subs do the job right!

Runoff from streets and other paved areas is a major source of pollution in San Francisco Bay. Construction activities can directly affect the health of the Bay unless contractors and crews plan ahead to keep dirt, debris, and other construction waste away from storm drains and local creeks. Following these guidelines will ensure your compliance with local ordinance requirements.



### Materials storage & spill cleanup

#### Non-hazardous materials management

- ✓ Sand, dirt, and similar materials must be stored at least 10 feet from catch basins, and covered with a tarp during wet weather or when rain is forecast.
- ✓ Use (but don't overuse) reclaimed water for dust control as needed.
- ✓ Sweep streets and other paved areas daily. Do not wash down streets or work areas with water!
- ✓ Recycle all asphalt, concrete, and aggregate base material from demolition activities.
- ✓ Check dumpsters regularly for leaks and to make sure they don't overflow. Repair or replace leaking dumpsters promptly.

#### Hazardous materials management

- ✓ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, state, and federal regulations.
- ✓ Store hazardous materials and wastes in secondary containment and cover them during wet weather.
- ✓ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ✓ Be sure to arrange for appropriate disposal of all hazardous wastes.

#### Spill prevention and control

- ✓ Keep a stockpile of spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ✓ When spills or leaks occur, contain them immediately and be particularly careful to prevent leaks and spills from reaching the gutter, street, or storm drain. Never wash spilled material into a gutter, street, storm drain, or creek!
- ✓ Report any hazardous materials spills immediately! Dial 911 or your local emergency response number.

### Vehicle and equipment maintenance & cleaning

- ✓ Inspect vehicles and equipment for leaks frequently. Use drip pans to catch leaks until repairs are made; repair leaks promptly.
- ✓ Fuel and maintain vehicles on site only in a bermed area or over a drip pan that is big enough to prevent runoff.
- ✓ If you must clean vehicles or equipment on site, clean with water only in a bermed area that will not allow rinsewater to run into gutters, streets, storm drains, or creeks.
- ✓ Do not clean vehicles or equipment on-site using soaps, solvents, degreasers, steam cleaning equipment, etc.



### Dewatering operations

- ✓ Reuse water for dust control, irrigation, or another on-site purpose to the greatest extent possible.
- ✓ Be sure to call your city's storm drain inspector before discharging water to a street, gutter, or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ✓ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the city inspector to determine what testing to do and to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.



### Concrete, grout, and mortar storage & waste disposal

- ✓ Be sure to store concrete, grout, and mortar under cover and away from drainage areas. These materials must never reach a storm drain.
- ✓ Wash out concrete equipment/trucks off-site or designate an on-site area for washing where water will flow onto dirt or into a temporary pit in a dirt area. Let the water seep into the soil and dispose of hardened concrete with trash.

### Saw cutting

- ✓ Always completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, hay bales, sand bags, or fine gravel dams to keep slurry out of the storm drain system.
- ✓ Shovel, absorb, or vacuum saw-cut slurry and pick up all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ✓ If saw cut slurry enters a catch basin, clean it up immediately.



### Earthwork & contaminated soils

- ✓ Keep excavated soil on the site where it is least likely to collect in the street. Transfer to dump trucks should take place on the site, not in the street.
- ✓ Use hay bales, silt fences, or other control measures to minimize the flow of silt off the site.



- ✓ Avoid scheduling earth moving activities during the rainy season if possible. If grading activities during wet weather are allowed in your permit, be sure to implement all control measures necessary to prevent erosion.
- ✓ Mature vegetation is the best form of erosion control. Minimize disturbance to existing vegetation whenever possible.
- ✓ If you disturb a slope during construction, prevent erosion by securing the soil with erosion control fabric, or seed with fast-growing grasses as soon as possible. Place hay bales down-slope until soil is secure.

- ✓ If you suspect contamination (from site history, discoloration, odor, texture, abandoned underground tanks or pipes, or buried debris), call your local fire department for help in determining what testing should be done.
- ✓ Manage disposal of contaminated soil according to Fire Department instructions.

### Paving/asphalt work



- ✓ Do not pave during wet weather or when rain is forecast.
- ✓ Always cover storm drain inlets and manholes when paving or applying seal coat, tack coat, slurry seal, or fog seal.
- ✓ Place drip pans or absorbent material under paving equipment when not in use.
- ✓ Protect gutters, ditches, and drainage courses with hay bales, sand bags, or earthen berms.
- ✓ Do not sweep or wash down excess sand from sand sealing into gutters, storm drains, or creeks. Collect sand and return it to the stockpile, or dispose of it as trash.
- ✓ Do not use water to wash down fresh asphalt concrete pavement.

### Painting



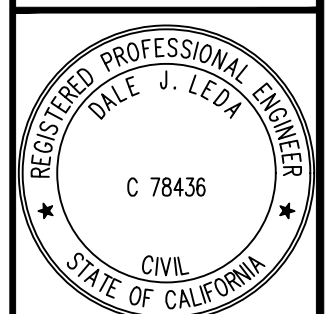
- ✓ Never rinse paint brushes or materials in a gutter or street!
- ✓ Paint out excess water-based paint before rinsing brushes, rollers, or containers in a sink. If you can't use a sink, direct wash water to a dirt area and spade it in.
- ✓ Paint out excess oil-based paint before cleaning brushes in thinner.
- ✓ Filter paint thinners and solvents for reuse whenever possible. Dispose of oil-based paint sludge and unusable thinner as hazardous waste.

DRAWING NAME: K:\2020\200194\_62\_Ellenwood.Ave\ENG\elsheets.dwg  
PLOT DATE: 11-19-20  
PLOTTED BY: wort

**BASMAA** Bay Area Stormwater Management Agencies Association (BASMAA)  
1-888-BAYWISE

## Storm drain polluters may be liable for fines of up to \$10,000 per day!

**BEST MANAGEMENT PRACTICES**  
**SWENSON RESIDENCE**  
**62 ELLENWOOD AVENUE**  
SANTA CLARA COUNTY  
LOS GATOS  
CALIFORNIA

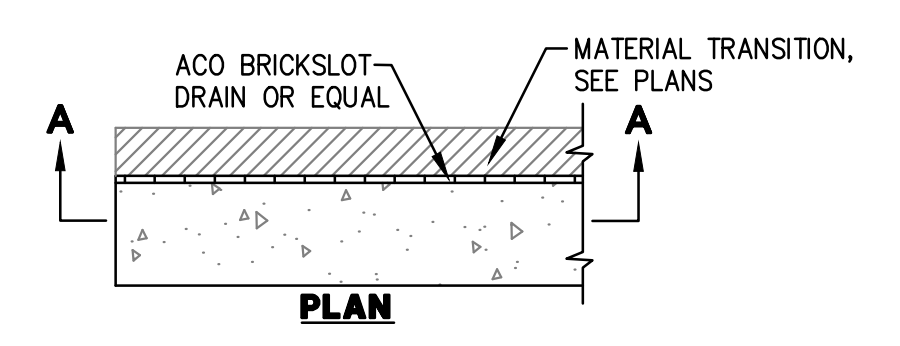
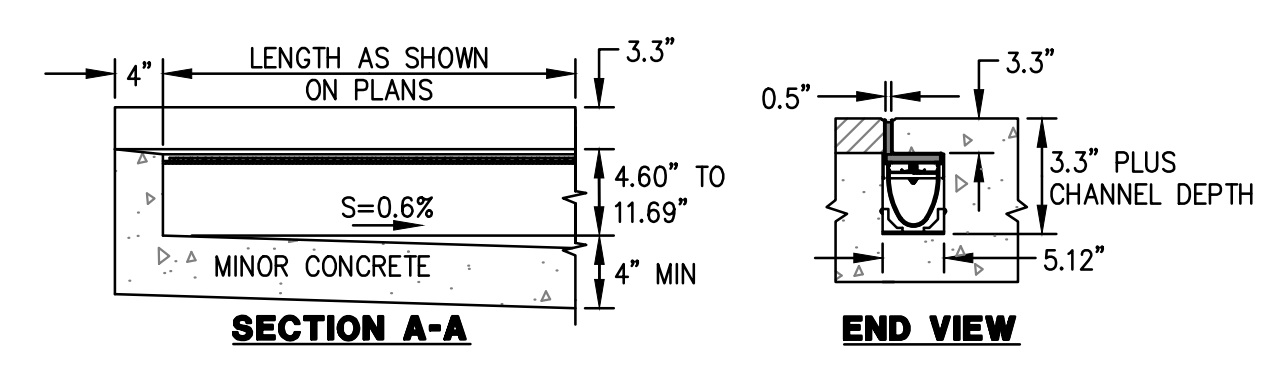


Date	Revisions	No.	TR COMMENTS	Date
08/18/2020		1		08/18/2020
11/19/2020		2	REVISION	11/19/2020

Drawing Number:  
**C4.2**  
OF

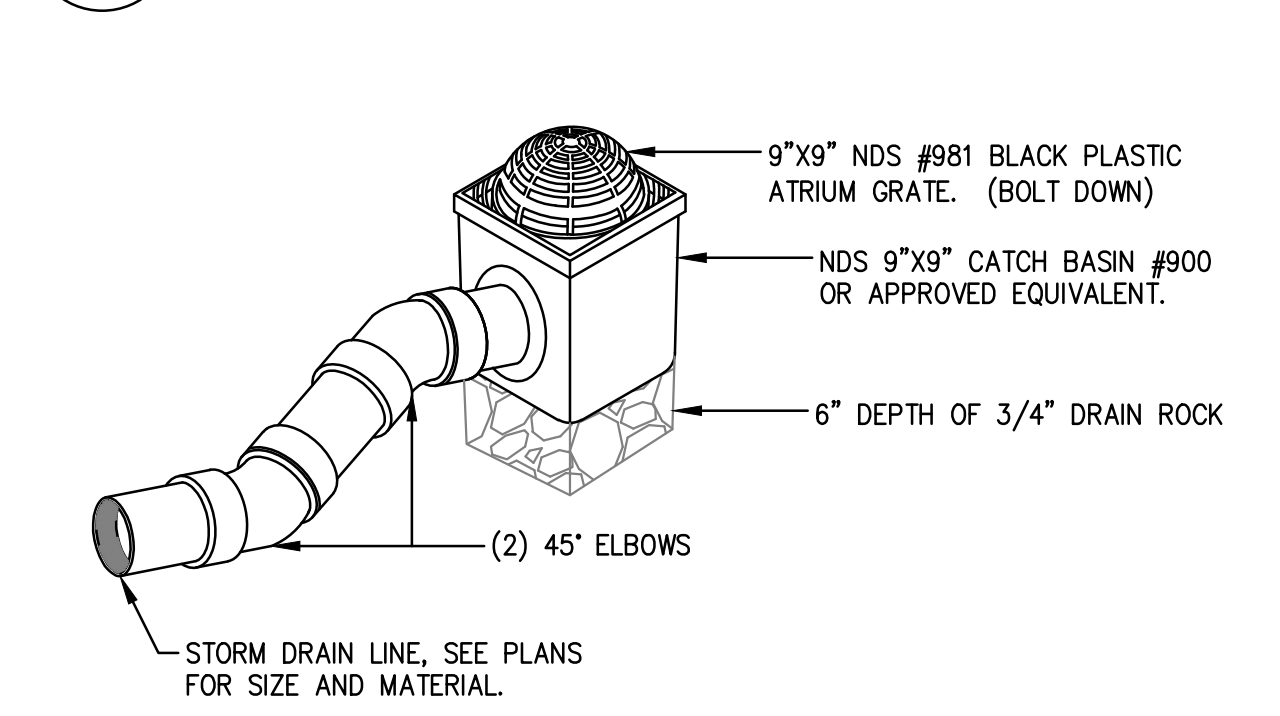
**BKF100**  
**YEARS**  
**ENGINEERS · SURVEYORS · PLANNERS**  
255 SHORELINE DR.,  
SUITE 200  
REDWOOD CITY, CA 94065  
(650) 482-6300  
www.bkf.com

No.	TR COMMENTS	Date
1	REVISION	08/18/2020
2	REVISION	11/19/2020

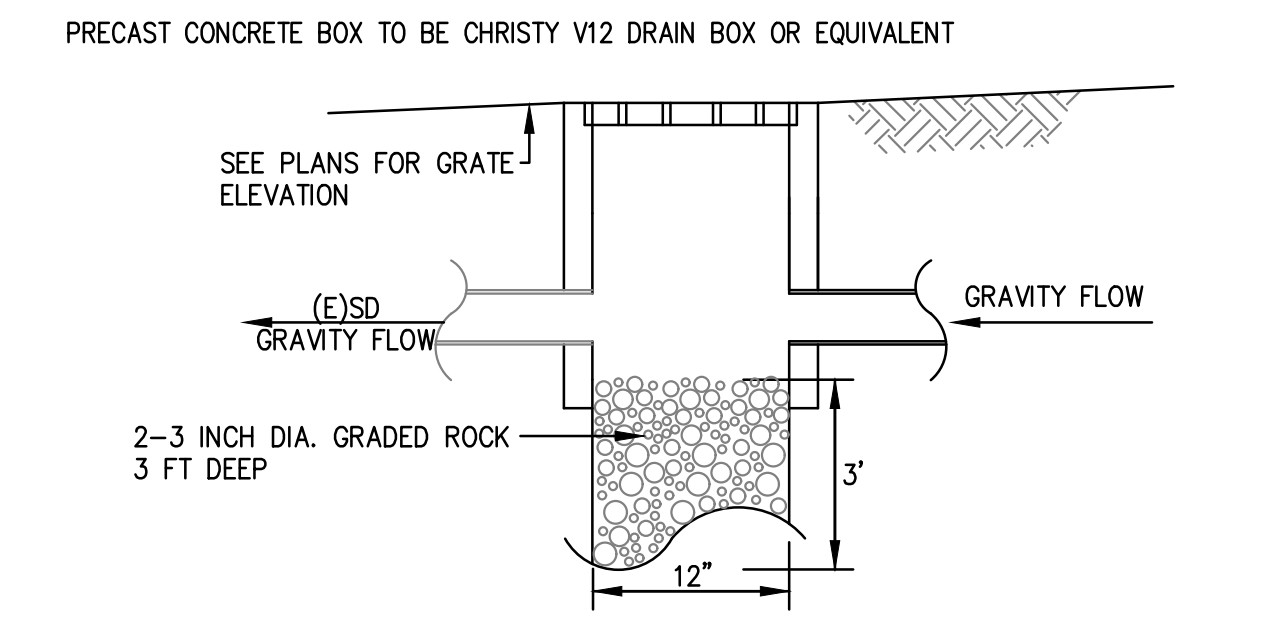


NOTES:  
 1. ACO BRICKSLOT 0.6% SLOPED CHANNELS IN METER LENGTHS AND 30 DEPTHS WHICH CONNECT TO CREATE CONTINUOUSLY SLOPING RUN. HALF METER CHANNELS AND NEUTRAL SLOPING CHANNELS ARE ALSO AVAILABLE. INSTALL PER MANUFACTURERS RECOMMENDATIONS.

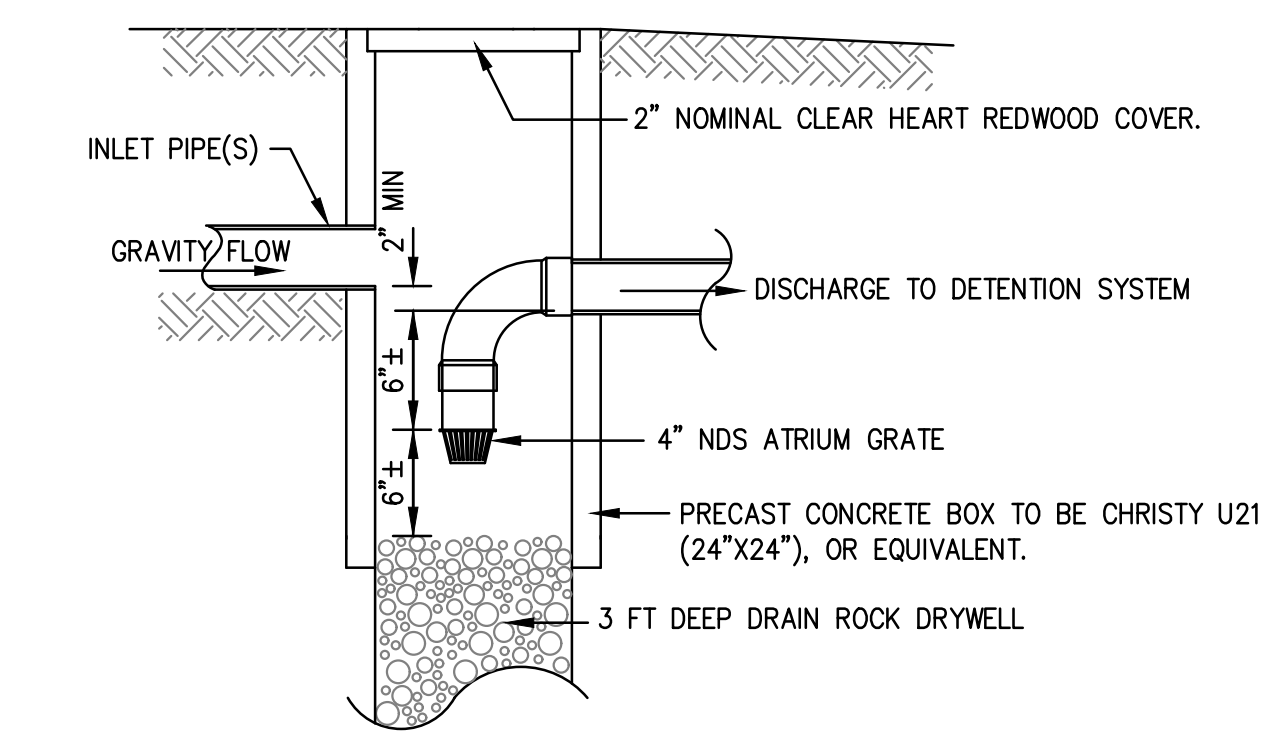
**1** ACO BRICKSLOT DRAIN  
 NTS



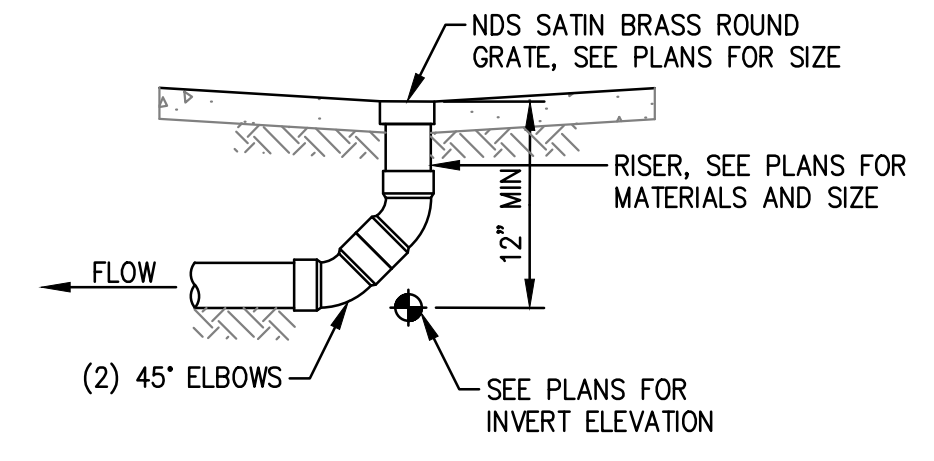
**2** 9"x9" ATRIUM DRIAN  
 NTS



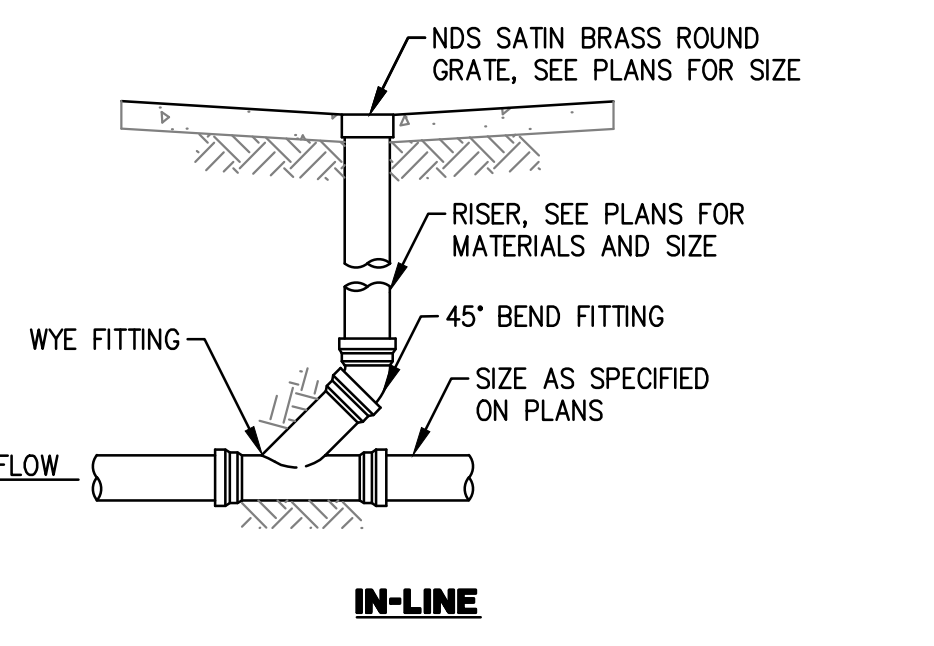
**3** BUBBLE UP BOX  
 NTS



**4** SEDIMENTATION INLET  
 NTS

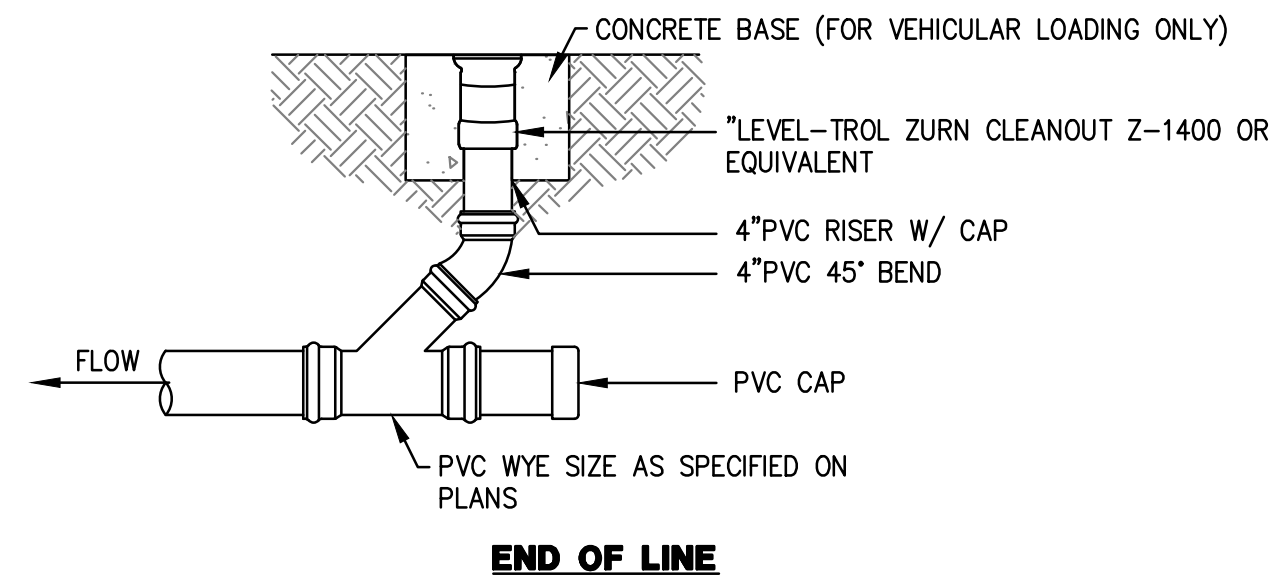


**5** SMALL AREA DRAIN  
 NTS

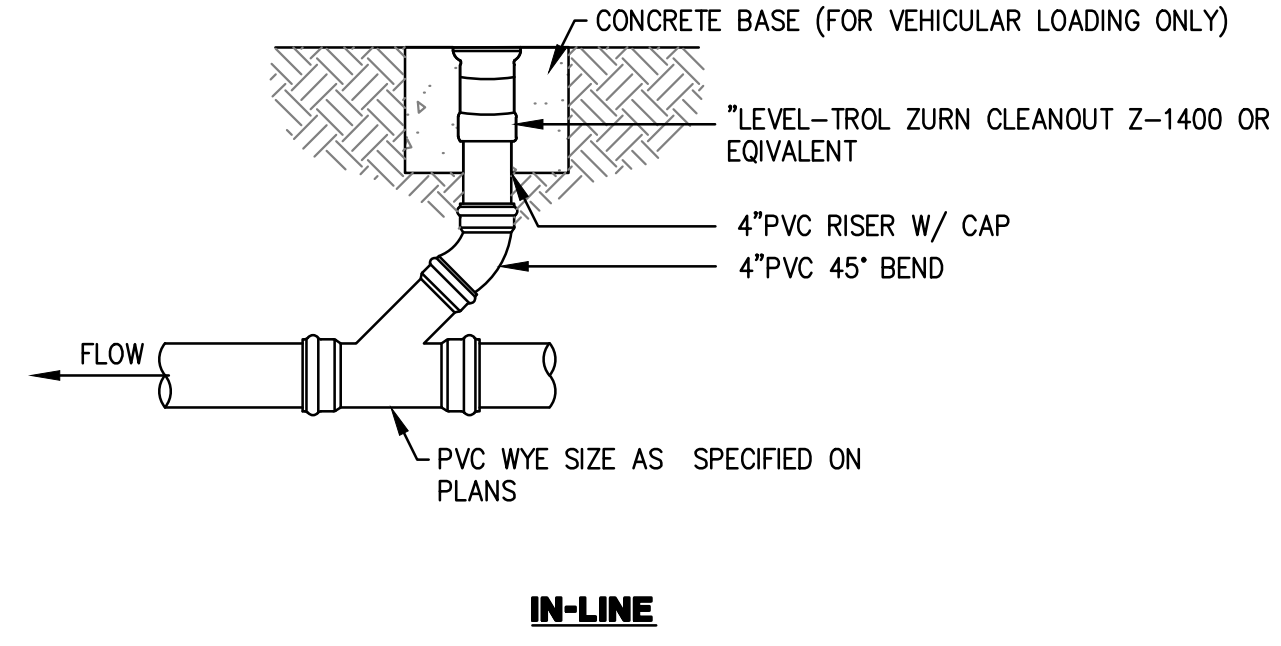


NOTES:  
 1. GLUED FITTINGS MAY BE SUBSTITUTED FOR GASKETED FITTINGS AT THE OPTION OF THE INSTALLATION CONTRACTOR.

**5** SMALL AREA DRAIN  
 NTS

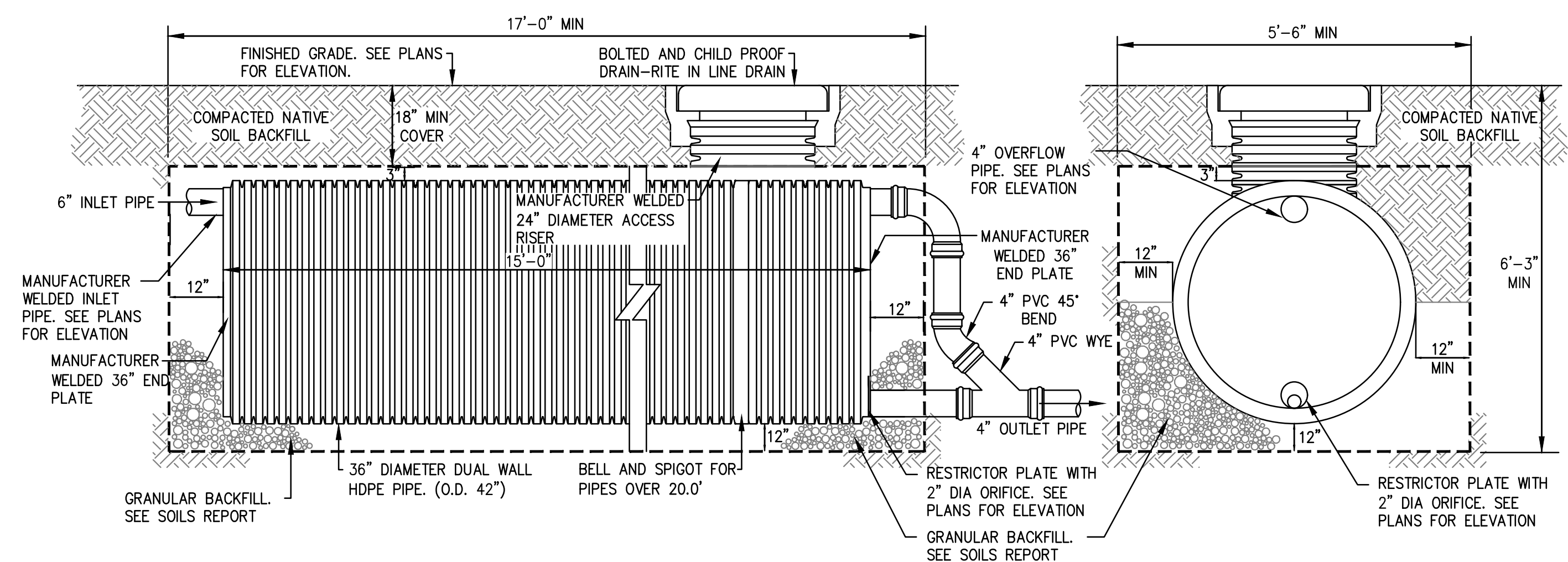


**6** SEWER CLEANOUT  
 NTS



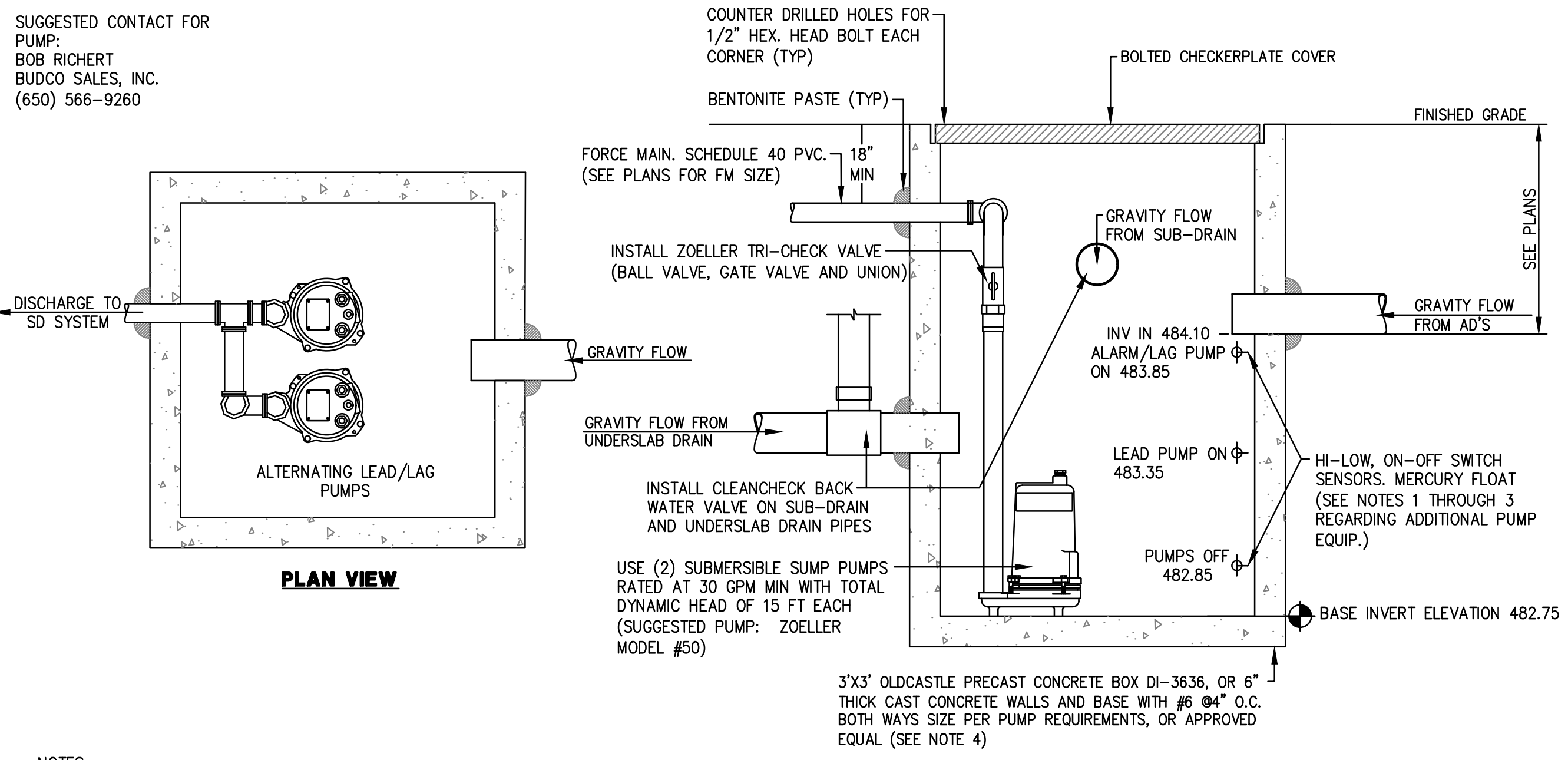
NOTES:  
 GLUED FITTINGS MAY BE SUBSTITUTED FOR GASKETED FITTINGS AT THE OPTION OF THE INSTALLATION CONTRACTOR.

**6** SEWER CLEANOUT  
 NTS



NOTES:  
 1. BOTTOM OF TRENCH MUST BE A MINIMUM OF 10 FEET ABOVE GROUND WATER TABLE.

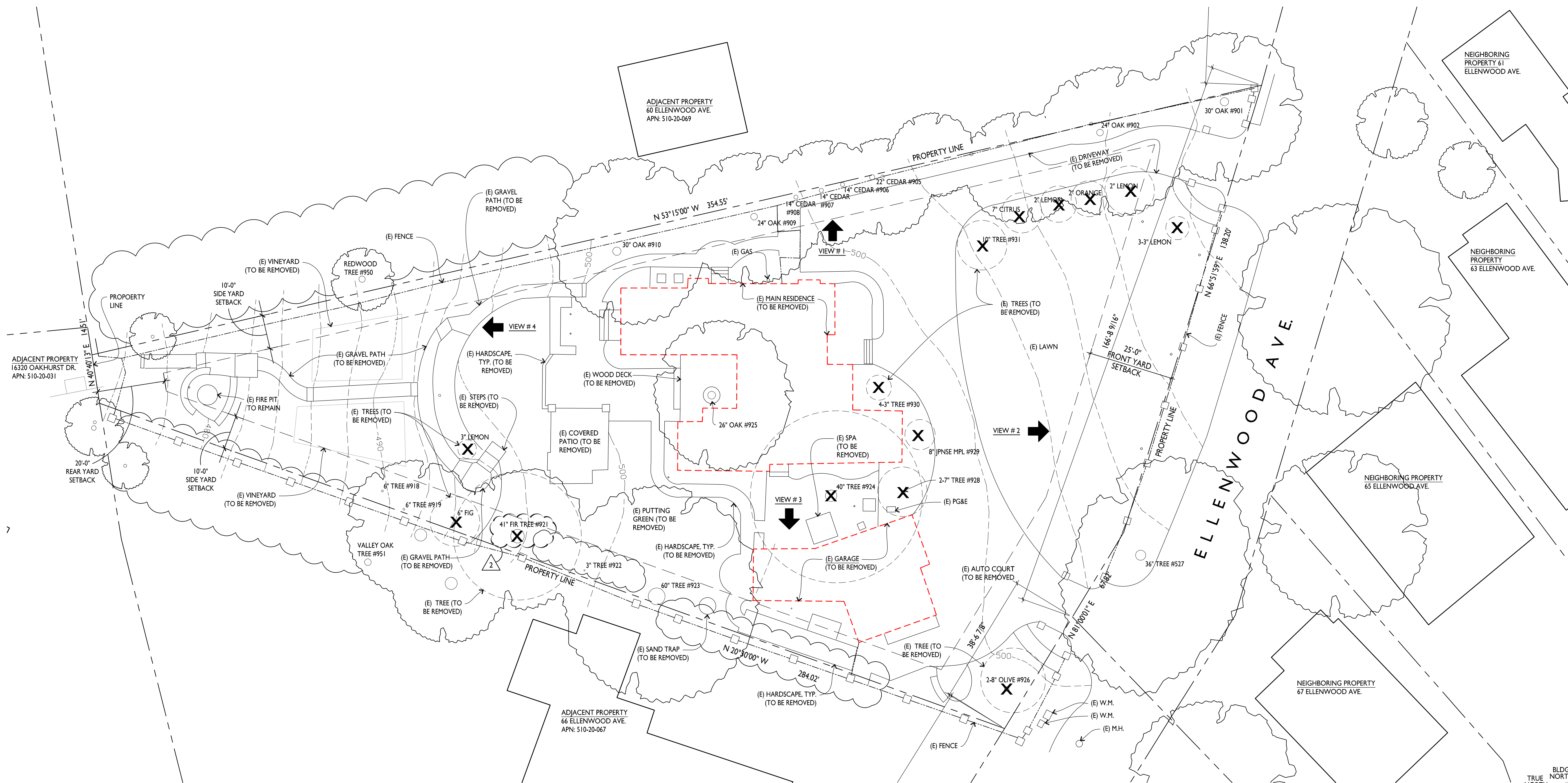
**7** DETENTION SYSTEM  
 NTS



NOTES:  
 1. INSTALL PUMP(S) PER MANUFACTURES RECOMMENDATIONS  
 2. CONTRACTOR SHALL SUPPLY A COMPLETELY SELF-CONTAINED DUPLEX MOTOR CONTROL PANEL. THE CONTROL PANEL SHALL PROVIDE SHORT CIRCUIT AND OVERLOAD PROTECTION FOR THE PUMPS.  
 3. PROVIDE HIGH-WATER ALARM SYSTEM AND CONNECT TO HOUSE SECURITY SYSTEM.  
 4. PROVIDE BENTONITE PASTE AT ALL PIPE CONNECTIONS TO PUMP BASIN.  
 5. CONTRACTOR SHALL COORDINATE LOCATION OF SUMP PUMP BASIN WITH PROJECT ARCHITECT PRIOR TO CONSTRUCTION AND FIELD VERIFY ACTUAL BASE ELEVATION BASED ON FINAL FIELD CONDITIONS.  
 6. SUMP PUMP MAINTENANCE REQUIREMENTS: CLEAN PUMP VAULT AND PUMP OF DEBRIS EVERY SIX MONTHS MINIMUM.

**8** BASEMENT DUAL SUMP PUMP  
 NTS

DRAWING NAME: K:\2020\200194\_62\_Ellenwood\_Ave\ENG\1sheets.dwg PLOT DATE: 11-19-20 PLOTTED BY: wort



2 EXISTING SITE PLAN  
A0.1



VIEW #1 FACING NORTH (60 ELLENWOOD AVE)



VIEW #2 FACING EAST (63 & 65 ELLENWOOD)



VIEW #3 FACING SOUTH (66 ELLENWOOD AVE)



VIEW #4 WEST (16320 OAKHURST DRIVE)

1 EXISTING SITE PHOTOS  
A0.1

**ARCANUM**  
 REGISTERED ARCHITECT  
 ARCHITECTURE, INC.  
 359 MISSION ST.  
 SAN FRANCISCO, CA 94107  
 415.357.4400  
 arcanumarchitecture.com

**62 ELLENWOOD AVE**  
 LOS GATOS, CALIFORNIA  
 APN: 510-20-068

Date	
Drawn By	
Checked By	
Project No.	18004
Date	
Issue	TECHNICAL REVIEW
8.18.20	T.R. COMMENTS
11.17.20	REVISION

EXISTING SITE PLAN  
AND SITE PHOTOS

SCALE: 1/16" = 1'-0"

**A0.1**



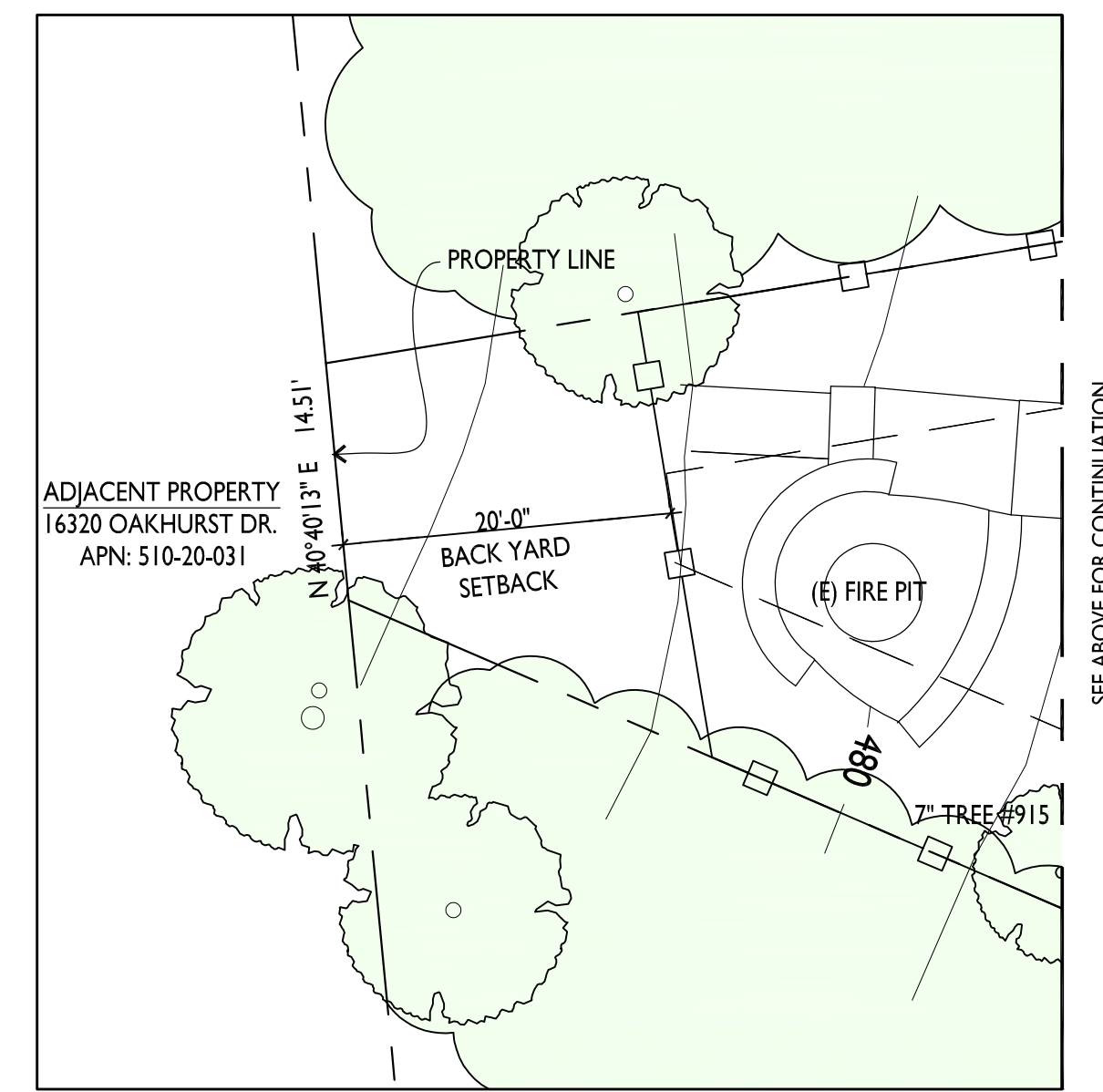
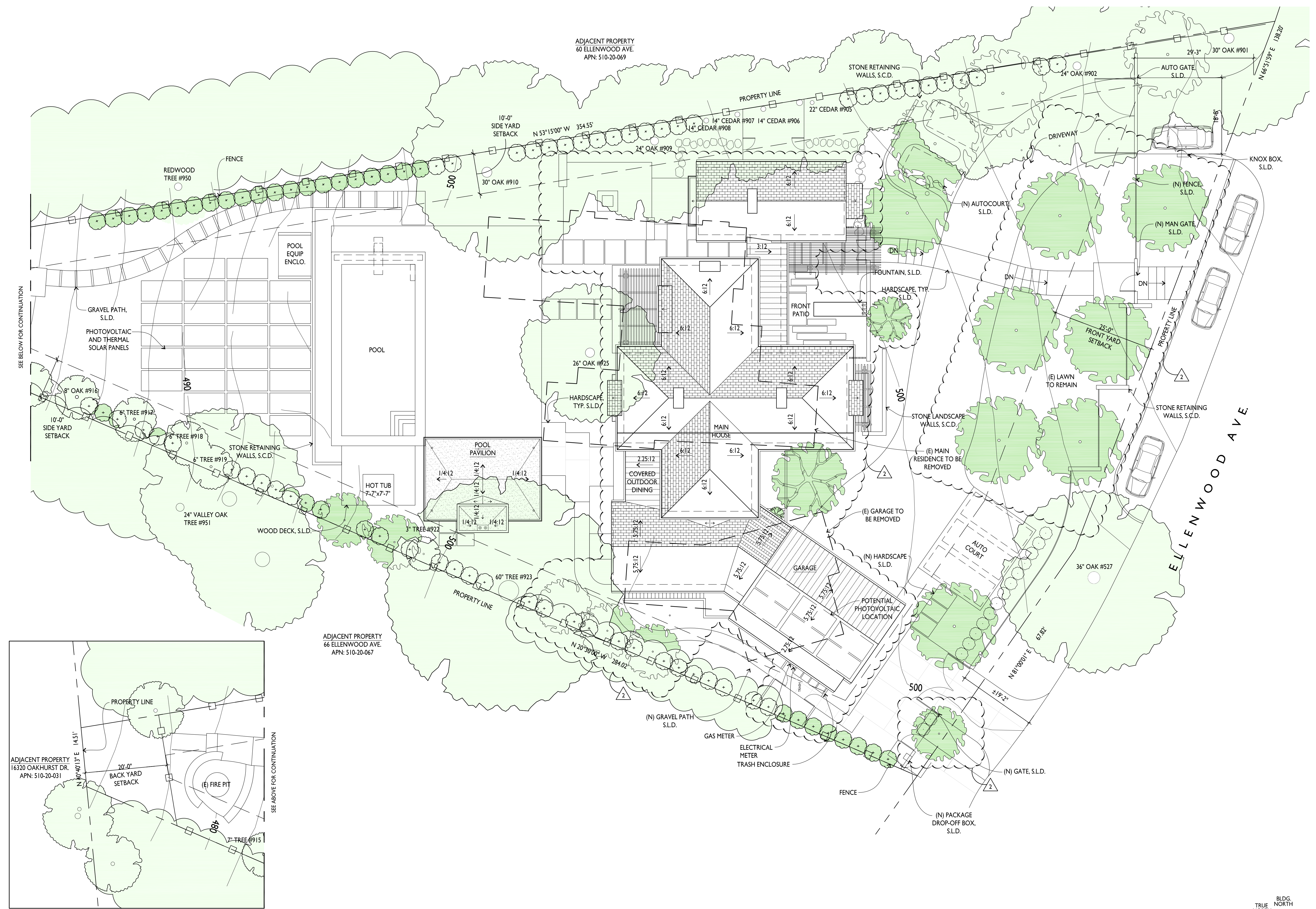
**62 ELLENWOOD AVE**  
 LOS GATOS, CALIFORNIA  
 APN: 510-20-068

Date	
Drawn By	
Checked By	
Project No.	18004
Date	4.23.20
Issue	TECHNICAL REVIEW
8.18.20	T.R. COMMENTS
11.17.20	REVISION

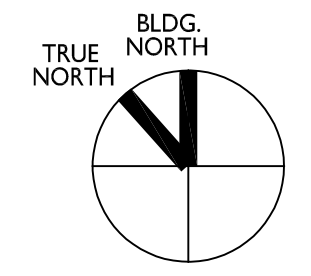
**SITE PLAN**

SCALE: 3/32" = 1'-0"

**A0.2**

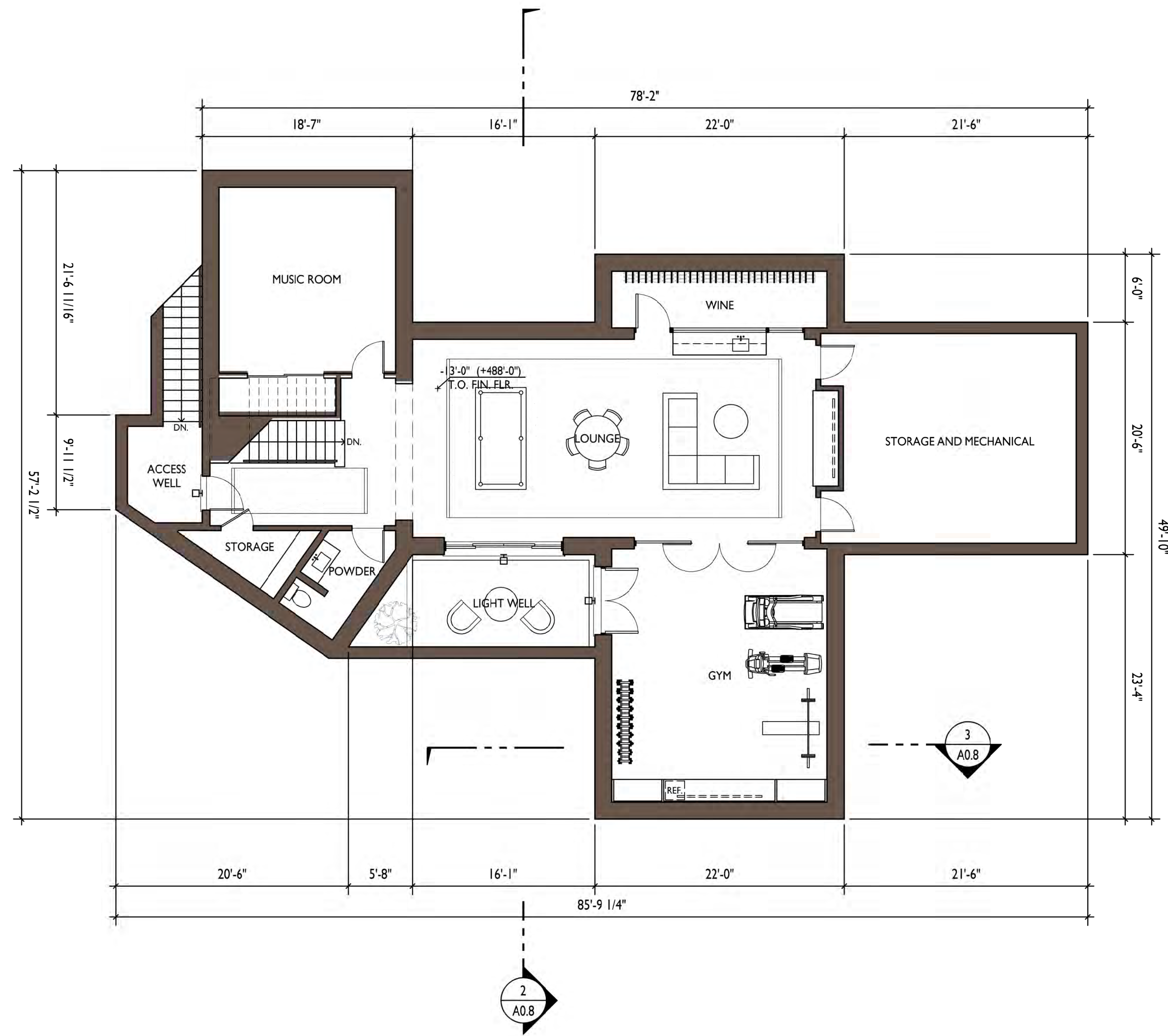


**SITE PLAN**  
 A0.2





62 ELLENWOOD AVE  
LOS GATOS, CALIFORNIA  
APN: 510-20-068

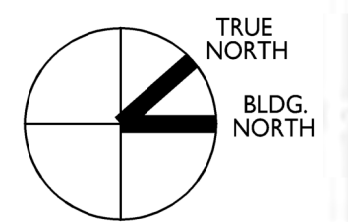


Date	
Drawn By	
Checked By	
Project No.	18004
Date	
4.23.20	Issue TECHNICAL REVIEW
8.18.20	T.R. COMMENTS
11.17.20	REVISION

BASEMENT FLOOR PLAN

SCALE: 1/8" = 1'-0"

1 A0.3 BASEMENT FLOOR PLAN



LIGHTING LEGEND

L1 BK LIGHTING 'NITE STAR' EXTERIOR LOW VOLTAGE MONOPOINT (SEE ENCLOSED CUT SHEET)

L2 TECH LIGHTING EXTERIOR 'PITCH' SINGLE WALL SCONCE (SEE ENCLOSED CUT SHEET)

L3 BK LIGHTING 'VERSA STAR' EXTERIOR LOW VOLTAGE DOWN LIGHT (SEE ENCLOSED CUT SHEET)

L4 WAC LIGHTING 'RECTANGLE STEP LIGHT' (SEE ENCLOSED CUT SHEET)

L5 PENDANT LIGHT

NOTE: ALL EXTERIOR LIGHT FIXTURES WILL COMPLY WITH THE REQUIREMENTS OF SECTION 29.20.0915 OF THE TOWN CODE TO BE SHIELDED AND DOWNWARD DIRECTED.

A0.3



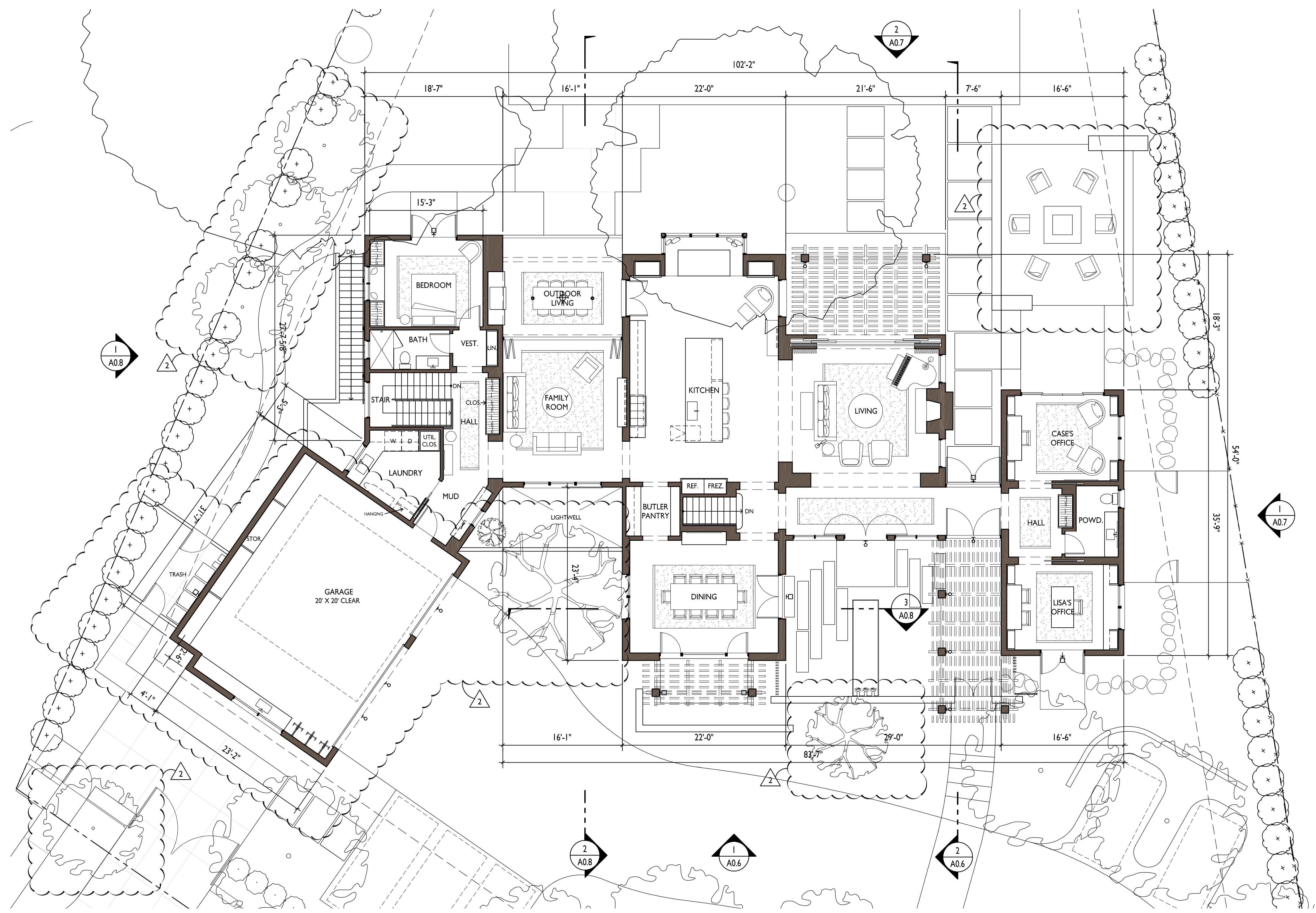
62 ELLENWOOD AVE  
LOS GATOS, CALIFORNIA  
APN: 510-20-068

Date	Issue
Drawn By	TECHNICAL REVIEW
Checked By	T.R. COMMENTS
Project No.	18004
Date	REVISION
4.23.20	
8.18.20	
11.17.20	

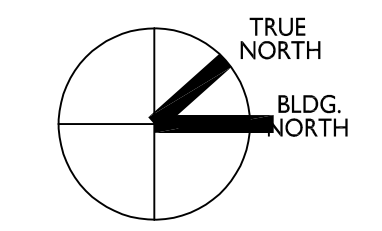
FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

A0.4



1 A0.4 FIRST FLOOR PLAN



LIGHTING LEGEND

- 1 BK LIGHTING 'NITE STAR' EXTERIOR LOW VOLTAGE MONOPOINT (SEE ENCLOSED CUT SHEET)
- 2 TECH LIGHTING EXTERIOR 'PITCH' SINGLE WALL SCONCE (SEE ENCLOSED CUT SHEET)
- 3 BK LIGHTING 'VERSA STAR' EXTERIOR LOW VOLTAGE DOWN LIGHT (SEE ENCLOSED CUT SHEET)
- 4 WAC LIGHTING 'RECTANGLE STEP LIGHT' (SEE ENCLOSED CUT SHEET)
- 5 PENDANT LIGHT

NOTE: ALL EXTERIOR LIGHT FIXTURES WILL COMPLY WITH THE REQUIREMENTS OF SECTION 29.20.0915 OF THE TOWN CODE TO BE SHIELDED AND DOWNWARD DIRECTED.



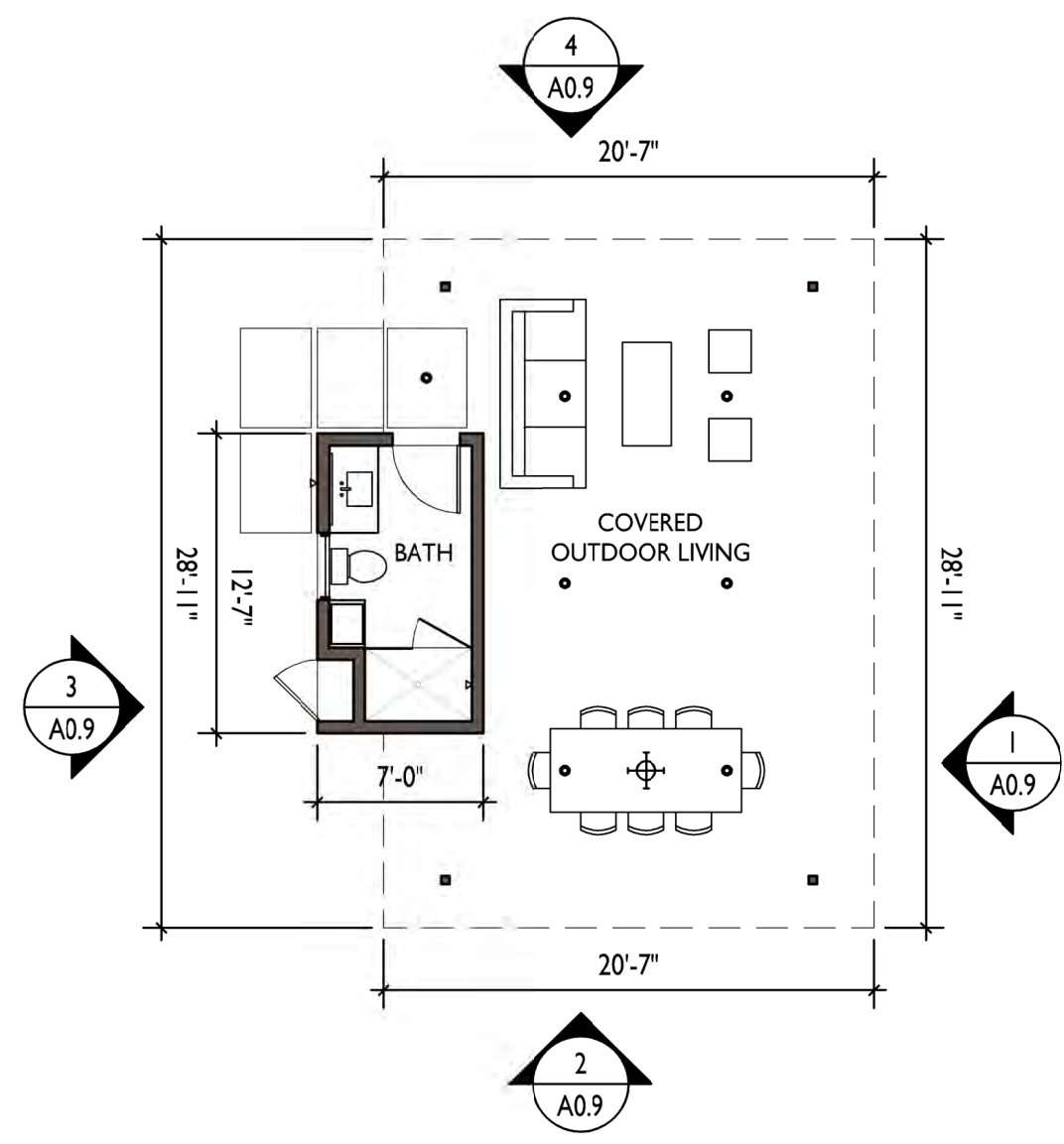
62 ELLENWOOD AVE  
 LOS GATOS, CALIFORNIA  
 APN: 510-20-068

Date	_____
Drawn By	_____
Checked By	_____
Project No.	18004
Date	_____
Issue	TECHNICAL REVIEW
4.23.20	
8.18.20	T.R. COMMENTS
11.17.20	REVISION

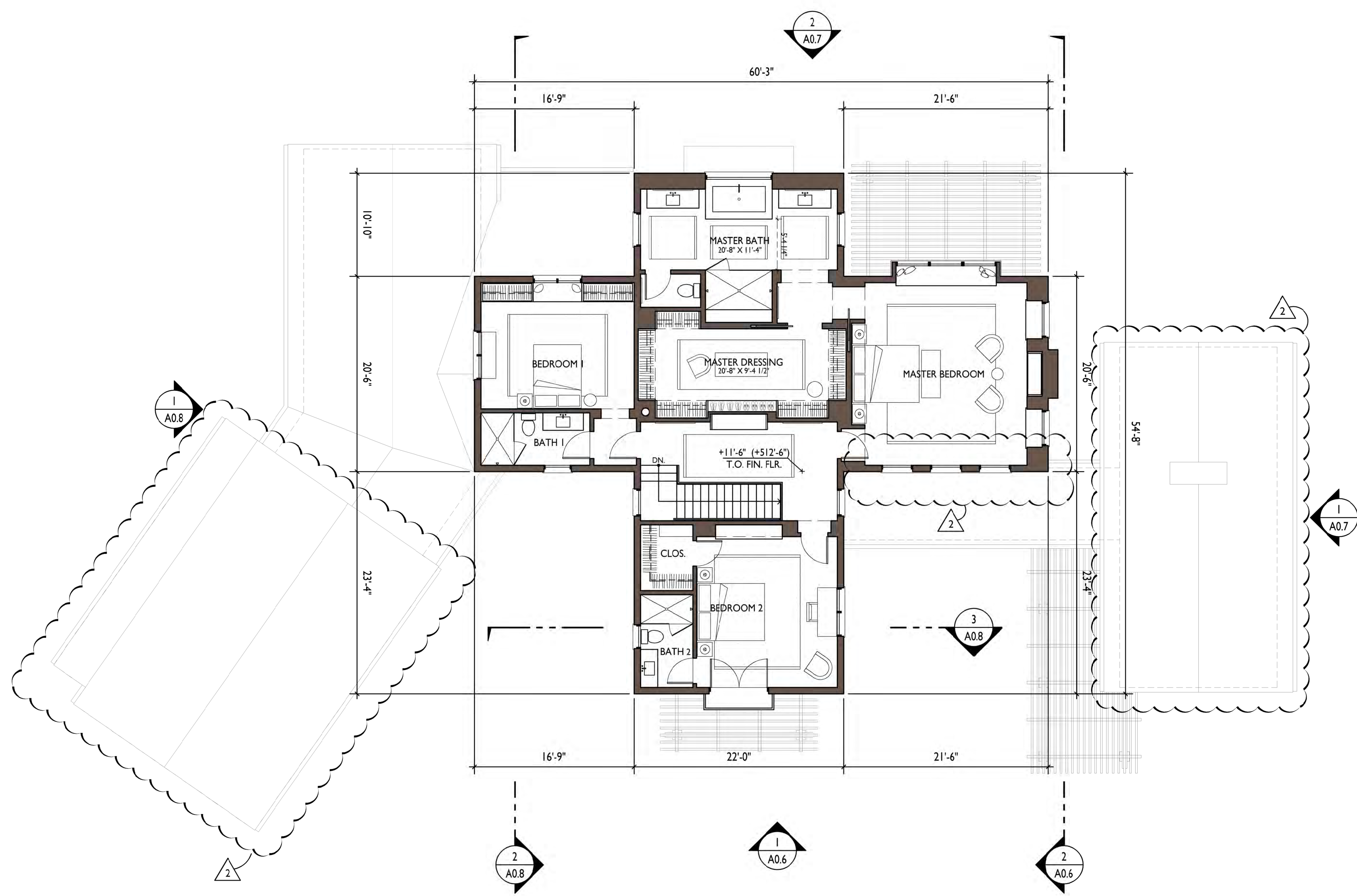
SECOND FLOOR PLAN  
 AND POOL PAVILION  
 FLOOR PLAN

SCALE: 1/8" = 1'-0"

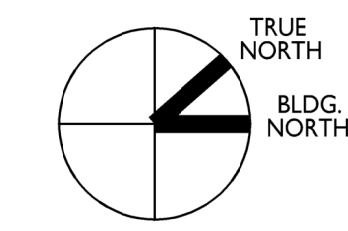
A0.5



2  
A0.5 POOL PAVILION FLOOR PLAN



1  
A0.5 SECOND FLOOR PLAN



LIGHTING LEGEND

L1 BK LIGHTING 'NITE STAR' EXTERIOR LOW VOLTAGE MONOPOINT (SEE ENCLOSED CUT SHEET)

L2 TECH LIGHTING EXTERIOR 'PITCH' SINGLE WALL SCONCE (SEE ENCLOSED CUT SHEET)

L3 BK LIGHTING 'VERSA STAR' EXTERIOR LOW VOLTAGE DOWN LIGHT (SEE ENCLOSED CUT SHEET)

L4 WAC LIGHTING 'RECTANGLE STEP LIGHT' (SEE ENCLOSED CUT SHEET)

L5 PENDANT LIGHT

NOTE: ALL EXTERIOR LIGHT FIXTURES WILL COMPLY WITH THE REQUIREMENTS OF SECTION 29.20.0915 OF THE TOWN CODE TO BE SHIELDED AND DOWNWARD DIRECTED.





62 ELLENWOOD AVE  
LOS GATOS, CALIFORNIA  
APN: 510-20-068

Date	
Drawn By	
Checked By	
Project No.	18004
Date	4.23.20
Issue	TECHNICAL REVIEW
8.18.20	T.R. COMMENTS
11.17.20	REVISION

EXTERIOR ELEVATIONS

SCALE: 1/8" = 1'-0"

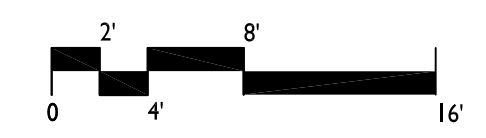
A0.6



2 NORTH ELEVATION / SECTION  
A0.6



1 EAST ELEVATION  
A0.6



KEYNOTES / FINISH NOTES

- |   |   |   |  |                                  |                           |
|---|---|---|--|----------------------------------|---------------------------|
| 1 1" STANDING SEAM METAL ROOF               | 5 STAINED CEDAR WOOD RAFTER TAILS, DECKING, & COLUMNS | 9 PAINTED CEDAR GARAGE DOORS                | 13 PAINTED METAL DINING NOOK               | 17 STEEL WINDOWS & DOORS         | 21 OUTDOOR SHOWER         |
| 2 PAINTED STEEL TRELLIS                     | 6 STAINED CEDAR T&G VERTICAL WOOD SIDING              | 10 SPLIT FACED STONE LANDSCAPE WALL, S.L.D. | 14 PAINTED STEEL GUARDRAIL                 | 18 INTEGRAL COLOR VENEER PLASTER | 22 EXISTING HOUSE OUTLINE |
| 3 METAL RAW-BONDERIZED DOWNSPOUTS & GUTTERS | 7 SPLIT FACED STONE VENEER                            | 11 (E) GRADE SHOWN DASHED                   | 15 RECLAIMED, SOLID WOOD LINTEL            | 19 WOOD SHINGLE OR SLATE ROOF    |                           |
| 4 METAL CLAD WOOD WINDOWS                   | 8 PAINTED METAL FLUE ENCLOSURE                        | 12 PROPOSED GRADE                           | 16 PAINTED STEEL POSTS, FASCIA, AND AWNING | 20 EXTERIOR LIGHT FIXTURE        |                           |



62 ELLENWOOD AVE  
LOS GATOS, CALIFORNIA  
APN: 510-20-068

Date	Issue
Drawn By	TECHNICAL REVIEW
Checked By	T.R. COMMENTS
Project No.	18004
Date	Issue
4.23.20	TECHNICAL REVIEW
8.18.20	T.R. COMMENTS
11.17.20	RESUBMITTAL

EXTERIOR ELEVATIONS

SCALE: 1/8" = 1'-0"

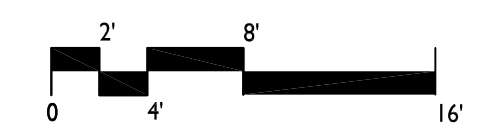
A0.7



2 WEST ELEVATION  
A0.7

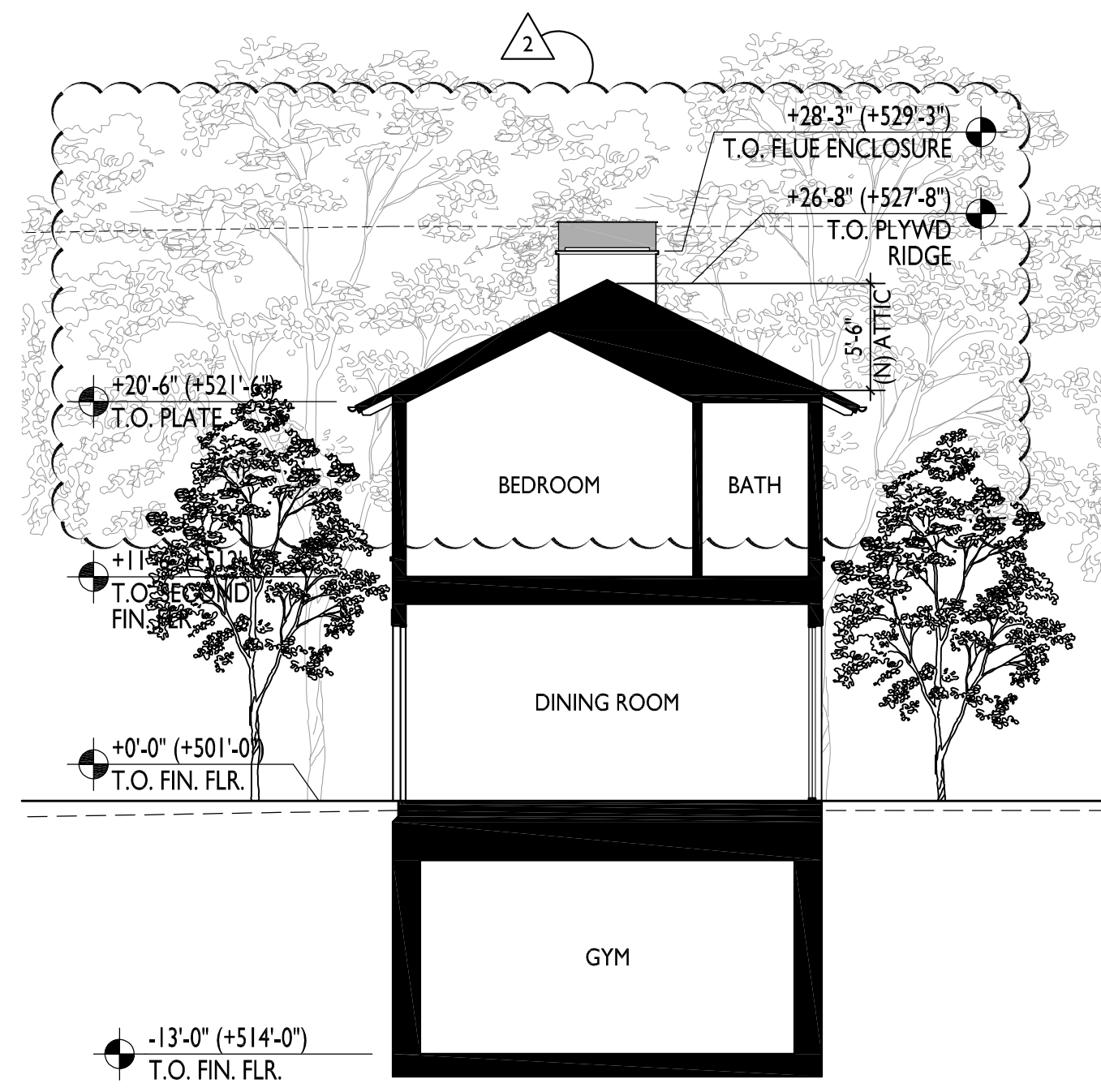


1 NORTH ELEVATION  
A0.7

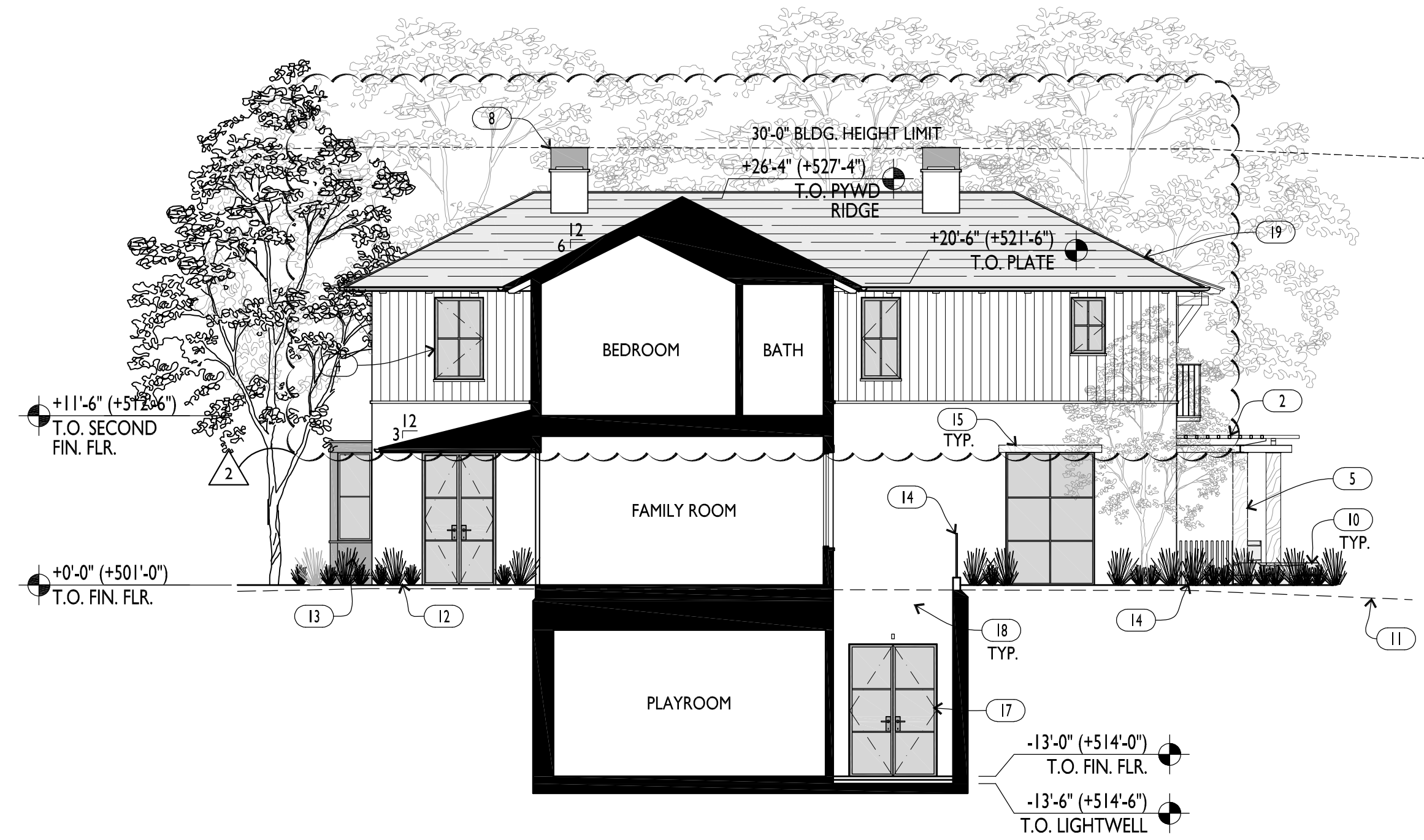


KEYNOTES / FINISH NOTES

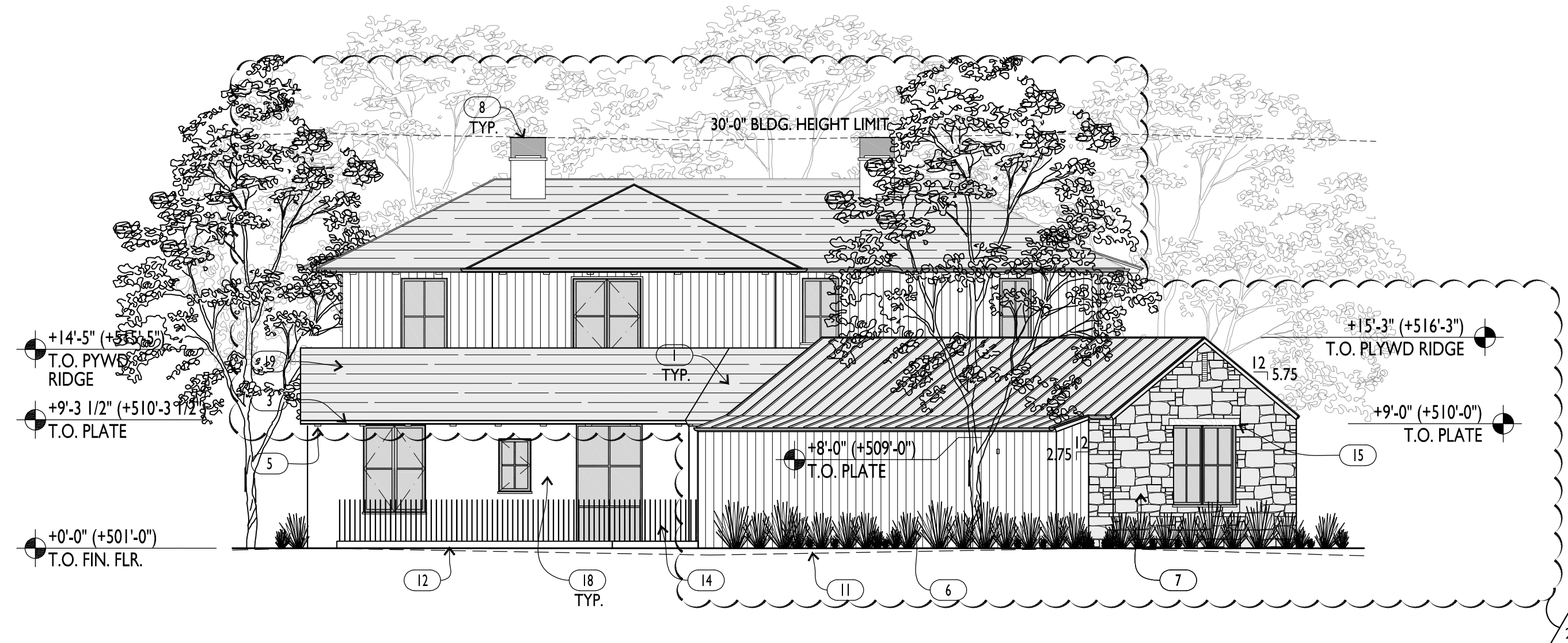
- |   |   |   |  |                                  |                           |
|---|---|---|--|----------------------------------|---------------------------|
| 1 1" STANDING SEAM METAL ROOF               | 5 STAINED CEDAR WOOD RAFTER TAILS, DECKING, & COLUMNS | 9 PAINTED CEDAR GARAGE DOORS                | 13 PAINTED METAL DINING NOOK               | 17 STEEL WINDOWS & DOORS         | 21 OUTDOOR SHOWER         |
| 2 PAINTED STEEL TRELLIS                     | 6 STAINED CEDAR T&G VERTICAL WOOD SIDING              | 10 SPLIT FACED STONE LANDSCAPE WALL, S.L.D. | 14 PAINTED STEEL GUARDRAIL                 | 18 INTEGRAL COLOR VENEER PLASTER | 22 EXISTING HOUSE OUTLINE |
| 3 METAL RAW-BONDERIZED DOWNSPOUTS & GUTTERS | 7 SPLIT FACED STONE VENEER                            | 11 (E) GRADE SHOWN DASHED                   | 15 RECLAIMED, SOLID WOOD LINTEL            | 19 WOOD SHINGLE OR SLATE ROOF    |                           |
| 4 METAL CLAD WOOD WINDOWS                   | 8 PAINTED METAL FLUE ENCLOSURE                        | 12 PROPOSED GRADE                           | 16 PAINTED STEEL POSTS, FASCIA, AND AWNING | 20 EXTERIOR LIGHT FIXTURE        |                           |



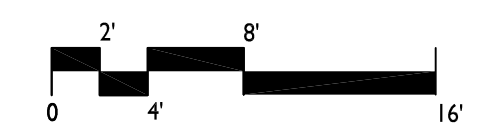
3 EAST SECTION  
A0.8



2 SOUTH ELEVATION / SECTION  
A0.8



1 SOUTH ELEVATION  
A0.8



Date	Issue
Drawn By	TECHNICAL REVIEW
Checked By	T.R. COMMENTS
Project No.	18004
Date	REVISION
8.18.20	
11.17.20	

EXTERIOR ELEVATIONS AND SECTIONS

SCALE: 1/8" = 1'-0"

KEYNOTES / FINISH NOTES

- |   |   |   |  |                                  |                           |
|---|---|---|--|----------------------------------|---------------------------|
| 1 1" STANDING SEAM METAL ROOF               | 5 STAINED CEDAR WOOD RAFTER TAILS, DECKING, & COLUMNS | 9 PAINTED CEDAR GARAGE DOORS                | 13 PAINTED METAL DINING NOOK               | 17 STEEL WINDOWS & DOORS         | 21 OUTDOOR SHOWER         |
| 2 PAINTED STEEL TRELLIS                     | 6 STAINED CEDAR T&G VERTICAL WOOD SIDING              | 10 SPLIT FACED STONE LANDSCAPE WALL, S.L.D. | 14 PAINTED STEEL GUARDRAIL                 | 18 INTEGRAL COLOR VENEER PLASTER | 22 EXISTING HOUSE OUTLINE |
| 3 METAL RAW-BONDERIZED DOWNSPOUTS & GUTTERS | 7 SPLIT FACED STONE VENEER                            | 11 (E) GRADE SHOWN DASHED                   | 15 RECLAIMED, SOLID WOOD LINTEL            | 19 WOOD SHINGLE OR SLATE ROOF    |                           |
| 4 METAL CLAD WOOD WINDOWS                   | 8 PAINTED METAL FLUE ENCLOSURE                        | 12 PROPOSED GRADE                           | 16 PAINTED STEEL POSTS, FASCIA, AND AWNING | 20 EXTERIOR LIGHT FIXTURE        |                           |

**A0.8**



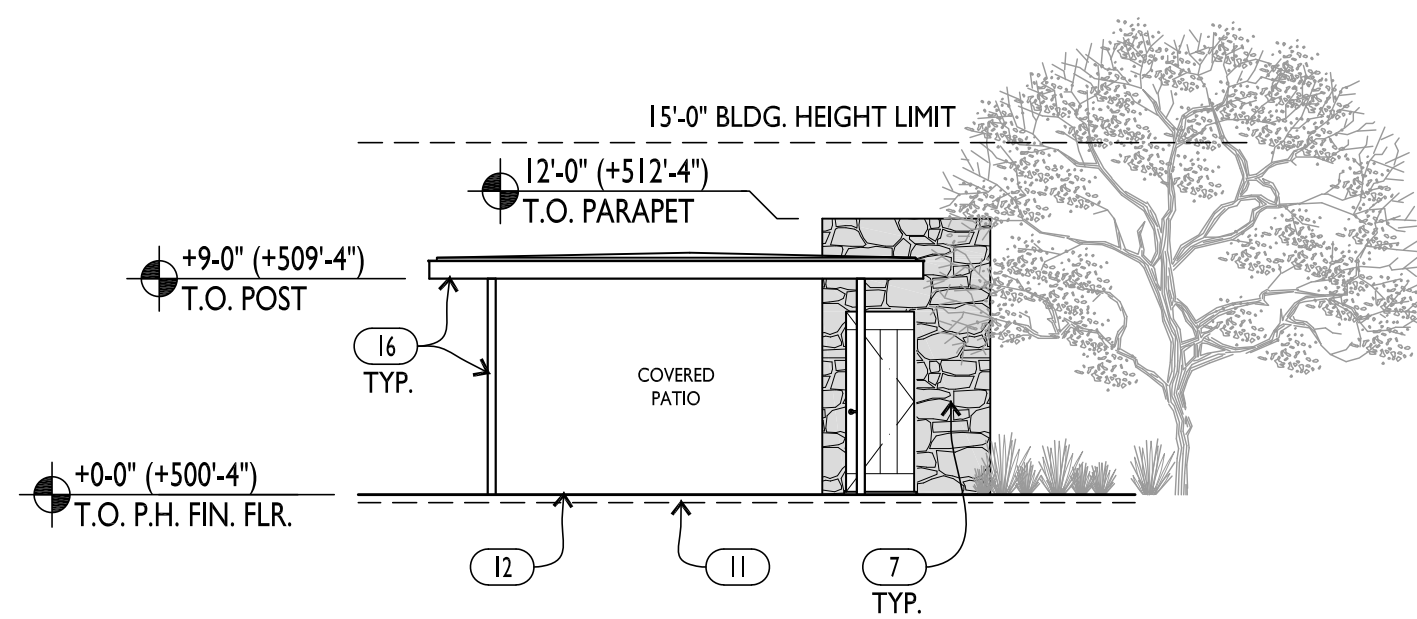
62 ELLENWOOD AVE  
LOS GATOS, CALIFORNIA  
APN: 510-20-068

Date	Issue
Drawn By	TECHNICAL REVIEW
Checked By	T.R. COMMENTS
Project No.	18004
Date	Issue
4.23.20	TECHNICAL REVIEW
8.18.20	T.R. COMMENTS
11.17.20	REVISION

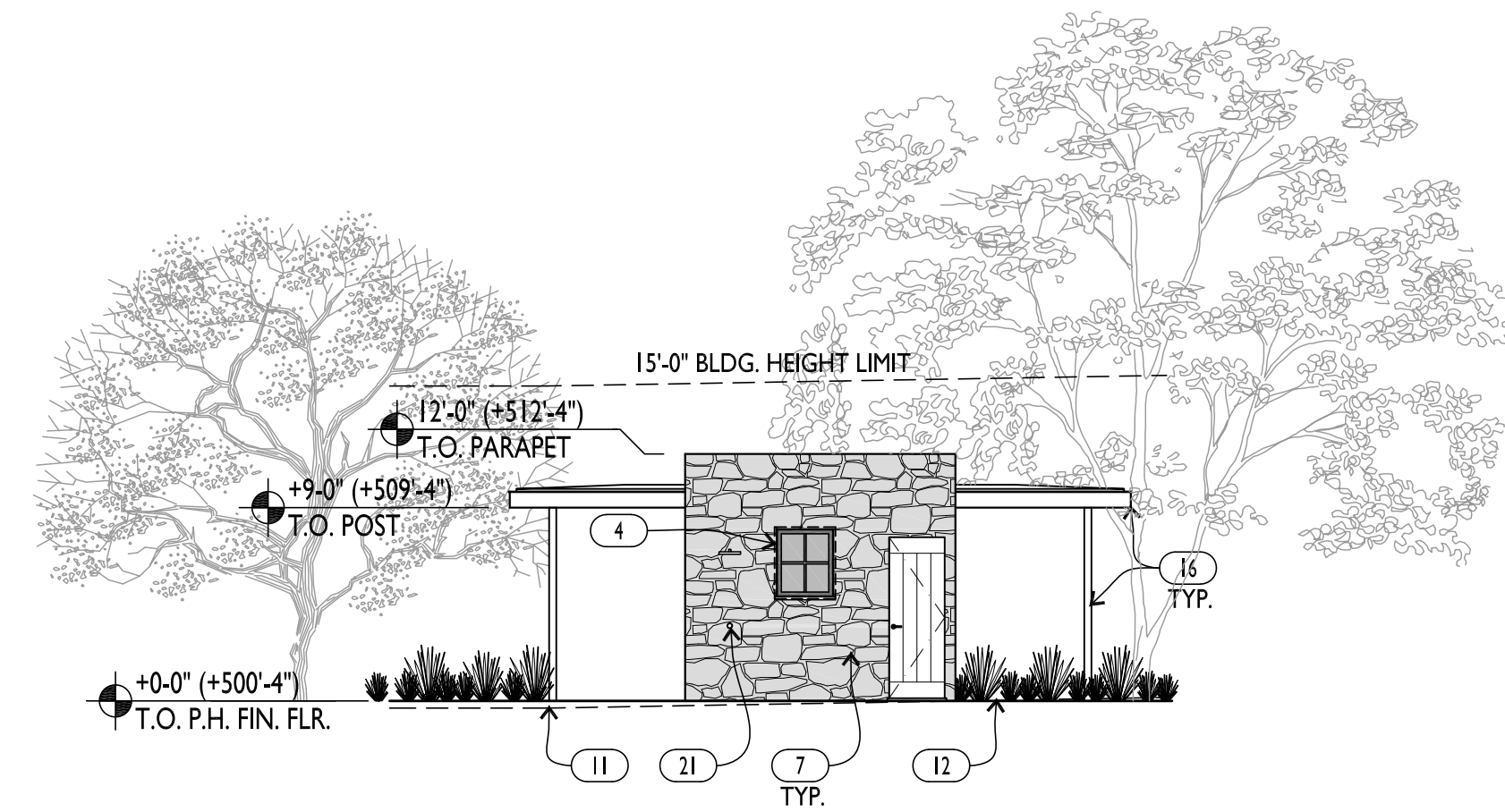
POOL PAVILION  
EXTERIOR  
ELEVATIONS

SCALE: 1/8" = 1'-0"

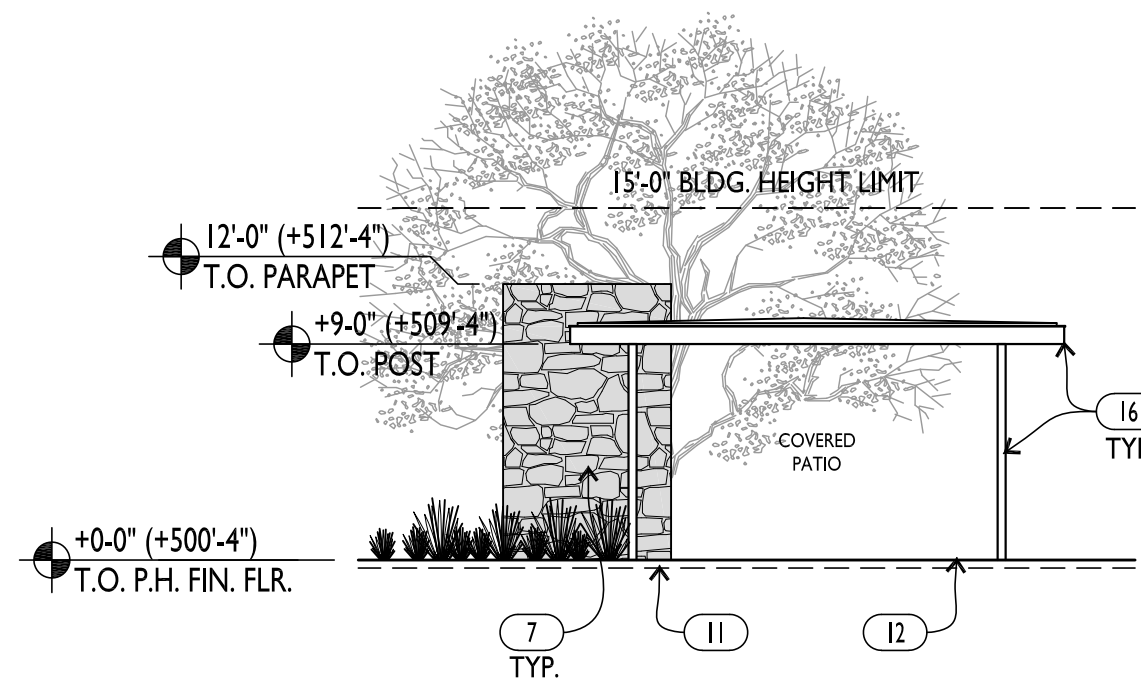
A0.9



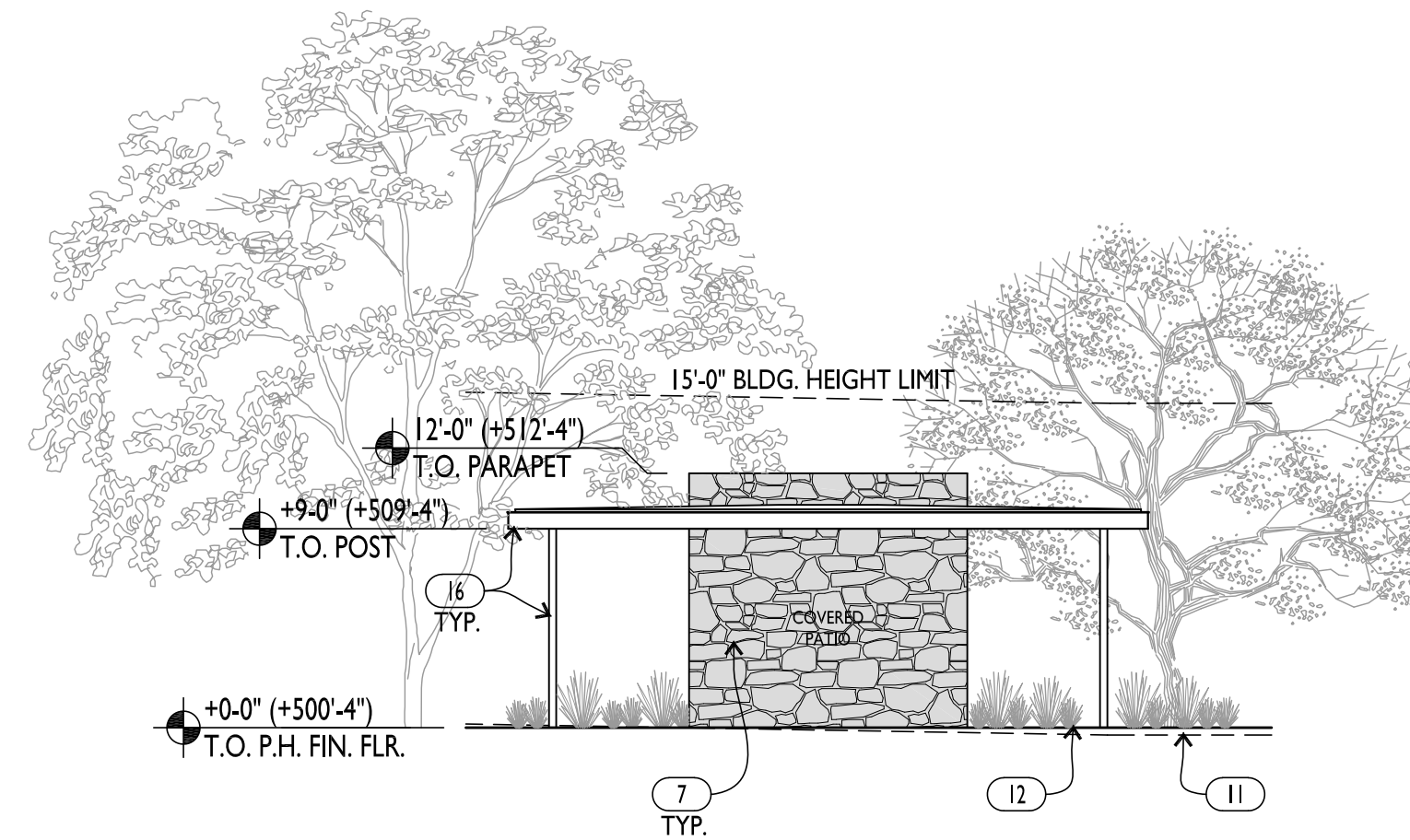
4 WEST ELEVATION  
A0.9



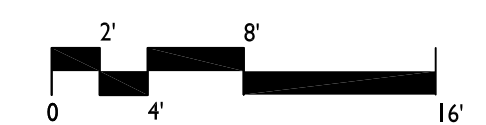
3 SOUTH ELEVATION  
A0.9



2 EAST ELEVATION  
A0.9



1 NORTH ELEVATION  
A0.9

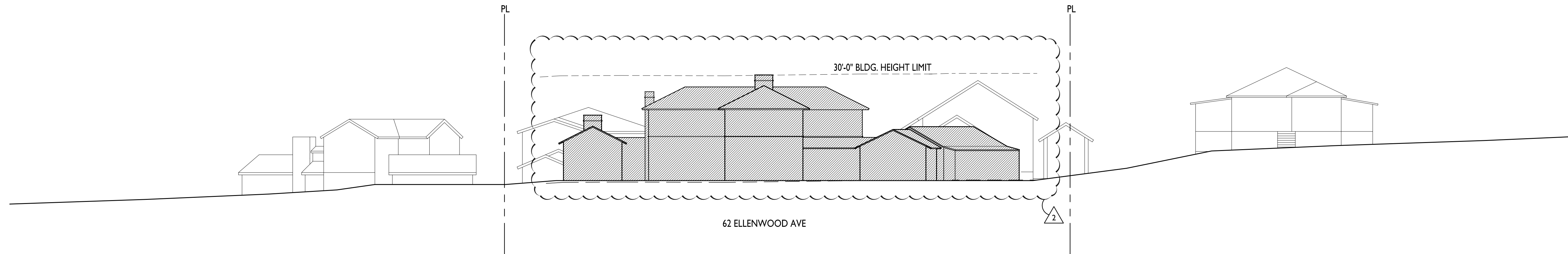


KEYNOTES / FINISH NOTES

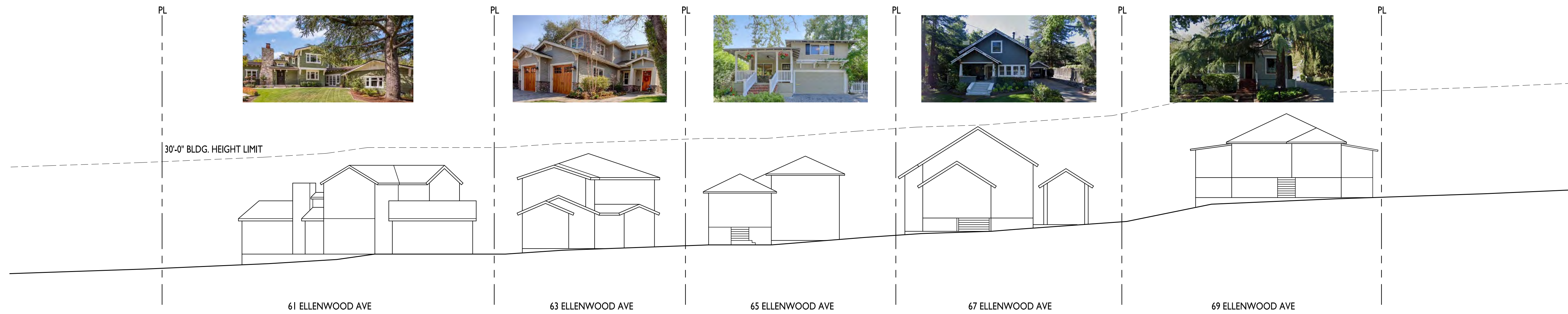
- |   |   |   |  |                                  |                           |
|---|---|---|--|----------------------------------|---------------------------|
| 1 1" STANDING SEAM METAL ROOF               | 5 STAINED CEDAR WOOD RAFTER TAILS, DECKING, & COLUMNS | 9 PAINTED CEDAR GARAGE DOORS                | 13 PAINTED METAL DINING NOOK               | 17 STEEL WINDOWS & DOORS         | 21 OUTDOOR SHOWER         |
| 2 PAINTED STEEL TRELLIS                     | 6 STAINED CEDAR T&G VERTICAL WOOD SIDING              | 10 SPLIT FACED STONE LANDSCAPE WALL, S.L.D. | 14 PAINTED STEEL GUARDRAIL                 | 18 INTEGRAL COLOR VENEER PLASTER | 22 EXISTING HOUSE OUTLINE |
| 3 METAL RAW-BONDERIZED DOWNSPOUTS & GUTTERS | 7 SPLIT FACED STONE VENEER                            | 11 (E) GRADE SHOWN DASHED                   | 15 RECLAIMED, SOLID WOOD LINTEL            | 19 WOOD SHINGLE OR SLATE ROOF    |                           |
| 4 METAL CLAD WOOD WINDOWS                   | 8 PAINTED METAL FLUE ENCLOSURE                        | 12 PROPOSED GRADE                           | 16 PAINTED STEEL POSTS, FASCIA, AND AWNING | 20 EXTERIOR LIGHT FIXTURE        |                           |



62 ELLENWOOD AVE  
LOS GATOS, CALIFORNIA  
APN: 510-20-068



2 SITE SECTION - FACING EAST  
A1.0



1 STREETScape ELEVATION - FACING EAST  
A1.0

Date	
Drawn By	
Checked By	
Project No.	18004
Date	4.23.20
Issue	TECHNICAL REVIEW
8.18.20	T.R. COMMENTS
11.17.20	REVISION

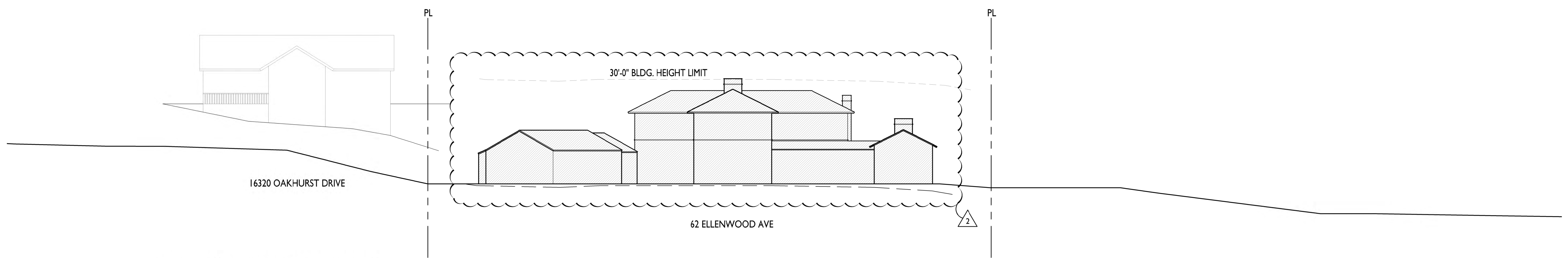
STREETSCAPE ELEVATIONS & SECTIONS

SCALE: 1/16" = 1'-0"

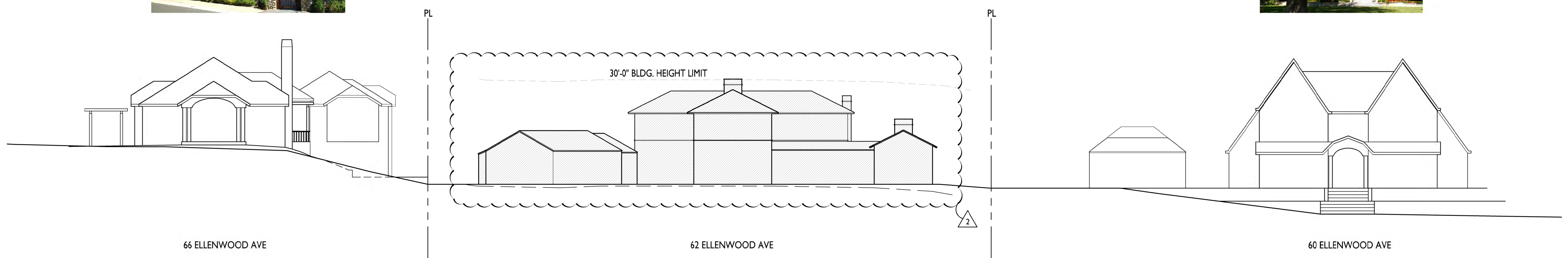
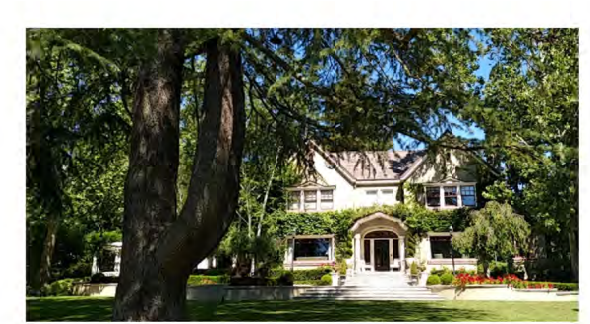
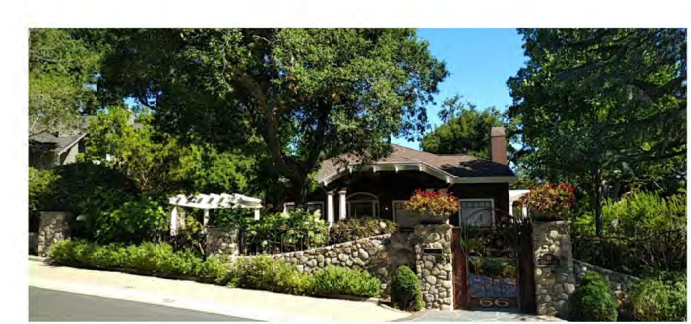
A1.0



3 EAST OVERLAY ELEVATION  
 AI.1 SCALE: 1/8" = 1'-0"



2 SITE SECTION - FACING WEST (TOWARDS OAKHURST DRIVE)  
 AI.1



1 STREETScape ELEVATION - FACING WEST  
 AI.1

**ARCANUM**  
 arcanum architecture, inc.  
 379 marina avenue, 3c  
 san francisco ca 94107  
 415.357.4400  
 arcanumarchitecture.com

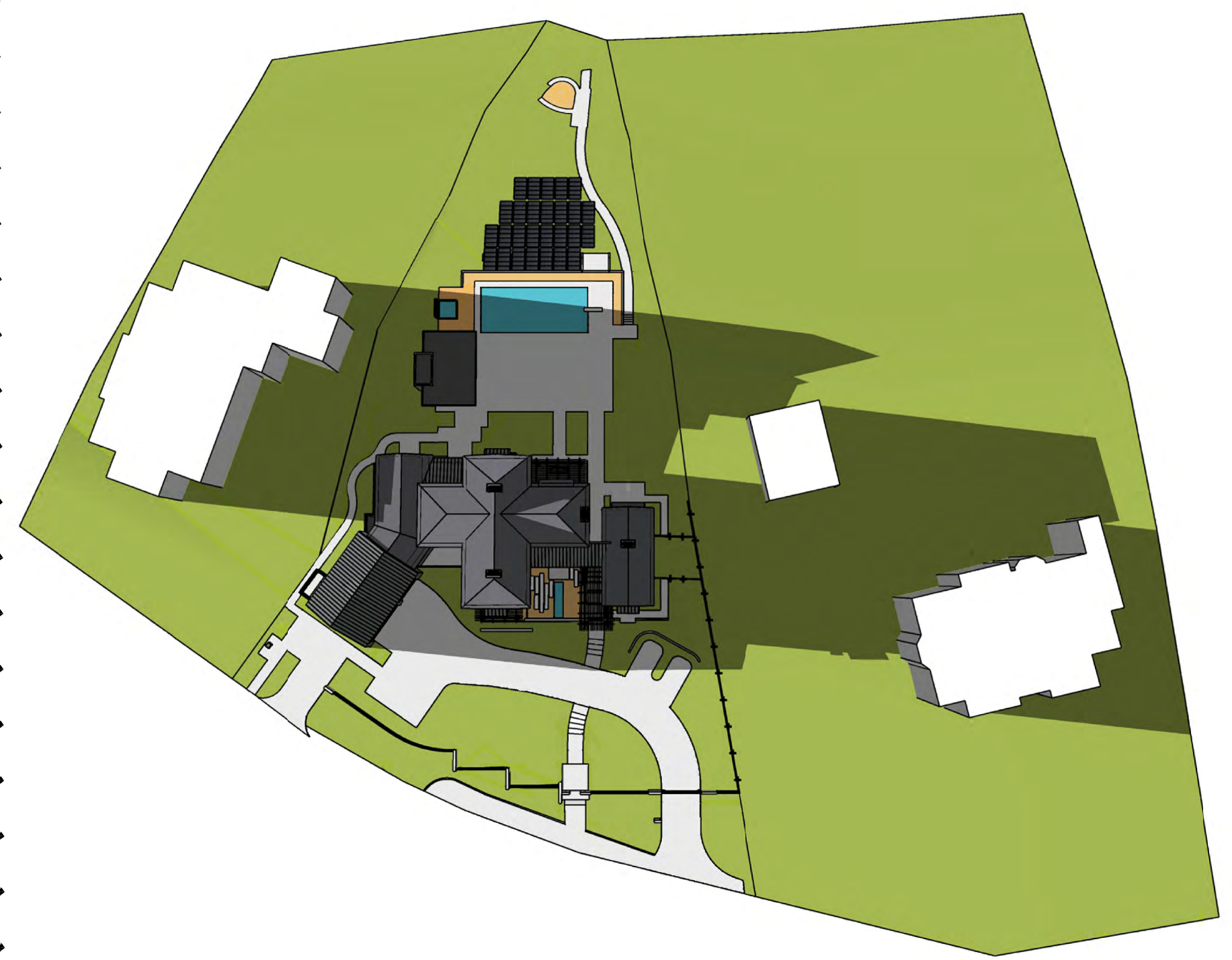
**62 ELLENWOOD AVE**  
 LOS GATOS, CALIFORNIA  
 APN: 510-20-068

Date	_____
Drawn By	_____
Checked By	_____
Project No.	18004
Date	_____
Issue	TECHNICAL REVIEW
4.23.20	_____
8.18.20	T.R. COMMENTS
11.17.20	REVISION

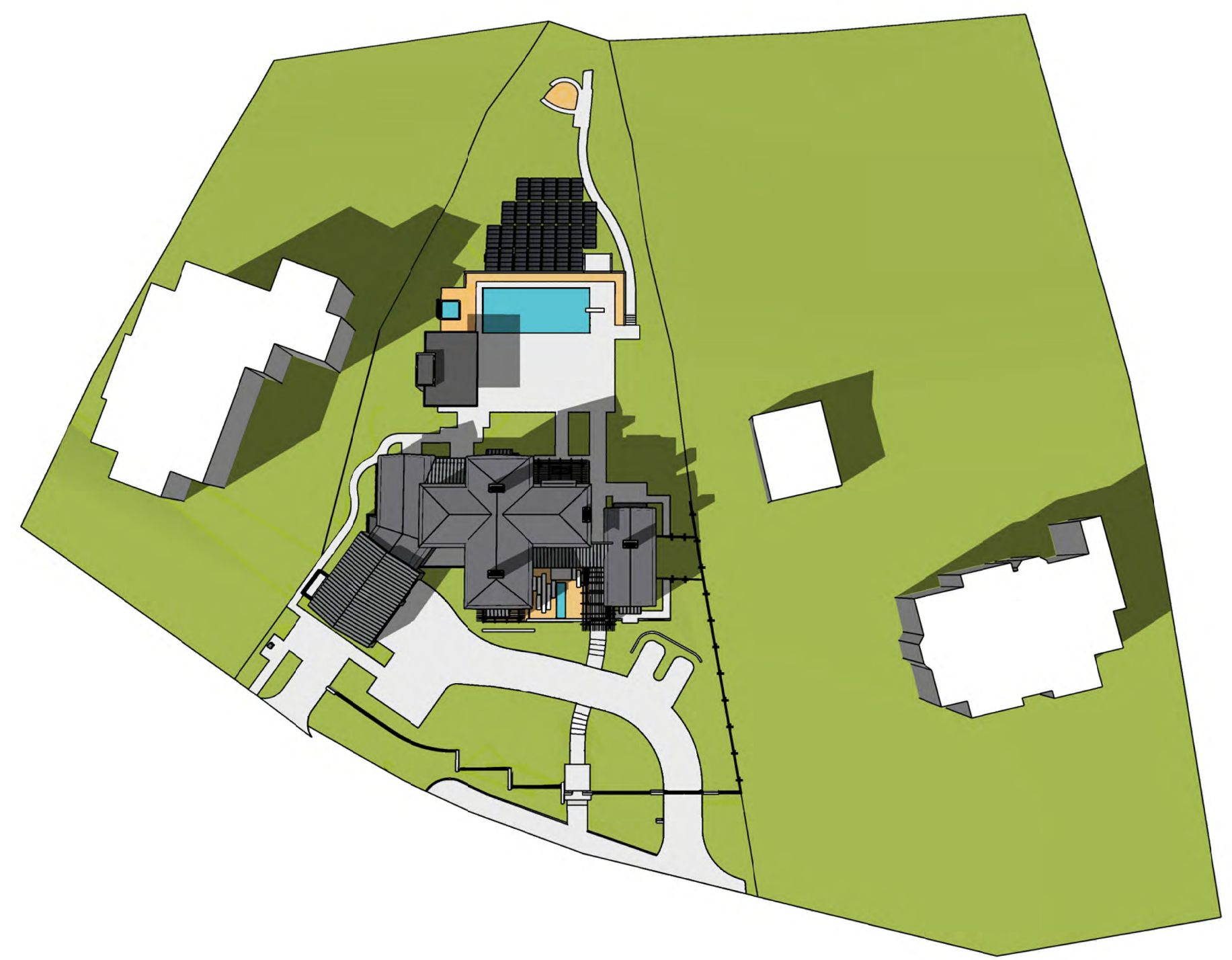
STREETScape ELEVATIONS & SECTIONS, OVERLAY ELEVATION

SCALE: 1/16" = 1'-0"

AI.1



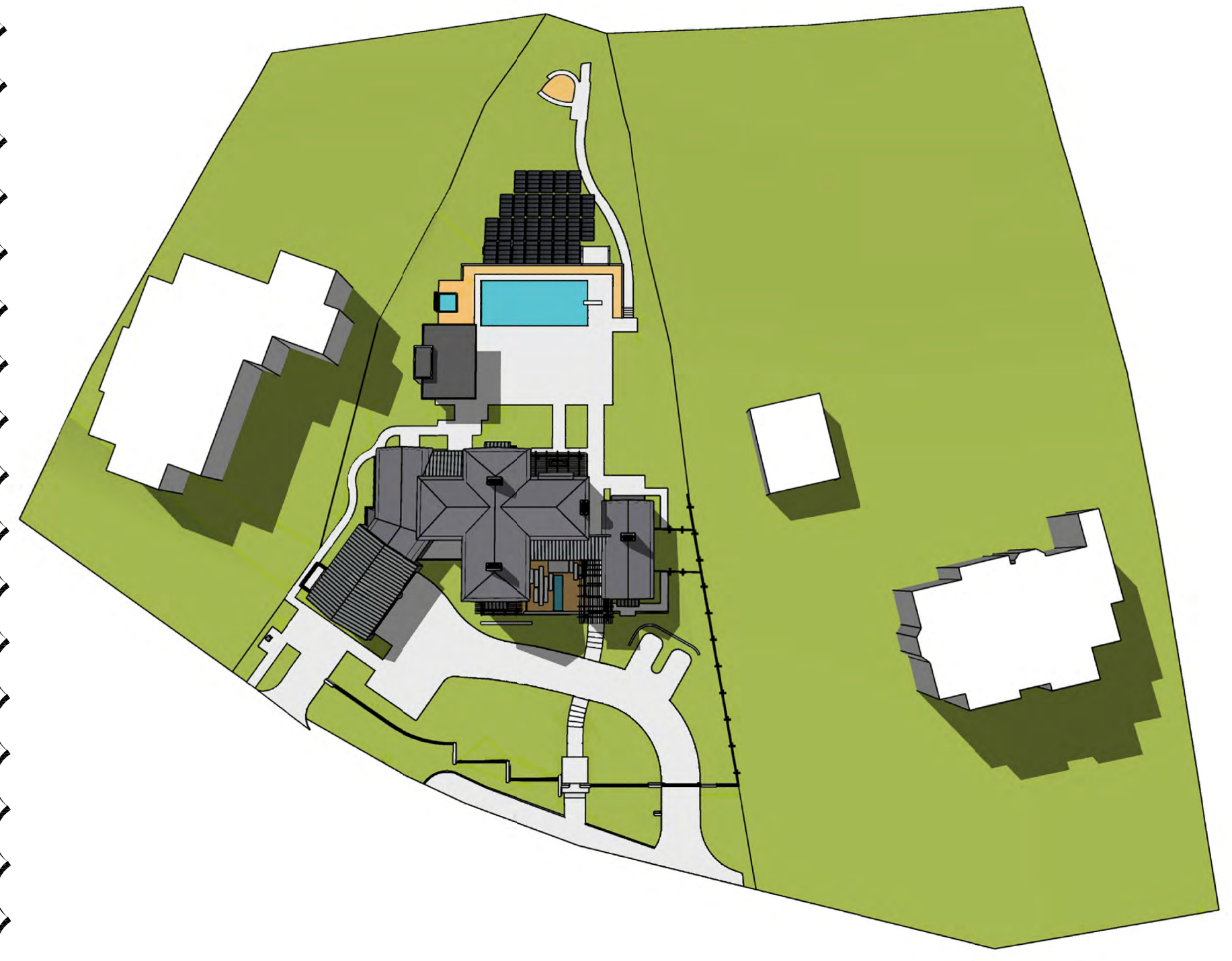
DECEMBER 21, 3 PM



DECEMBER 21, 12 PM



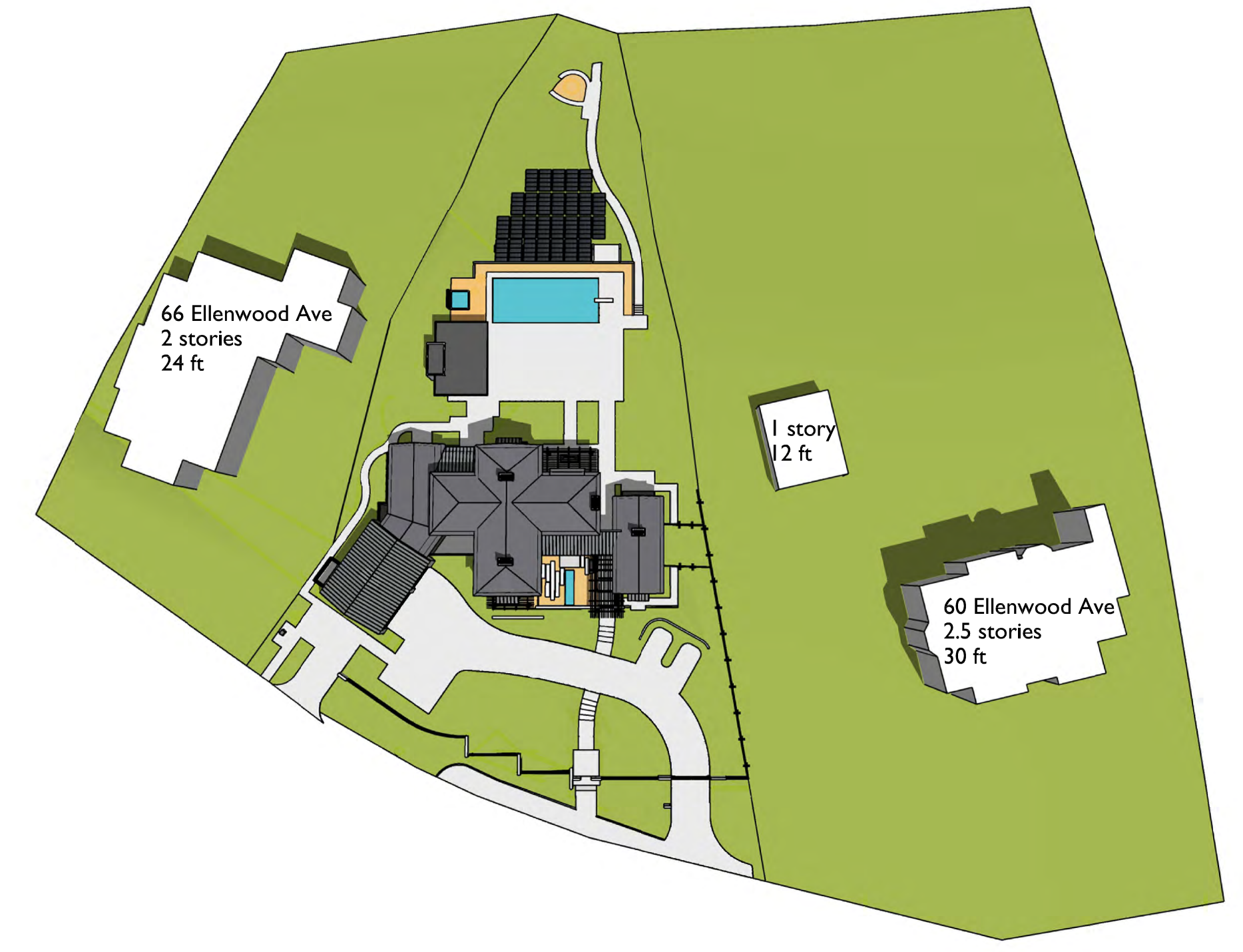
DECEMBER 21, 9 AM



JUNE 21, 3 PM

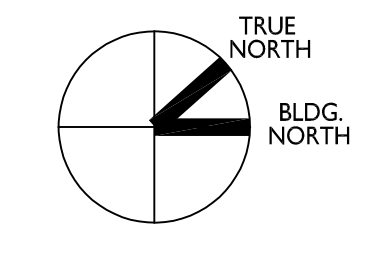


JUNE 21, 12 PM



JUNE 21, 9 AM

A1.2 SHADOW STUDY - EFFECT ON ADJACENT PROPERTIES



ARCANUM  
 arcanum architecture, inc.  
 319 san francisco ca 94107  
 415.357.4400  
 arcanumarchitecture.com

62 ELLENWOOD AVE  
 LOS GATOS, CALIFORNIA  
 APN: 510-20-068

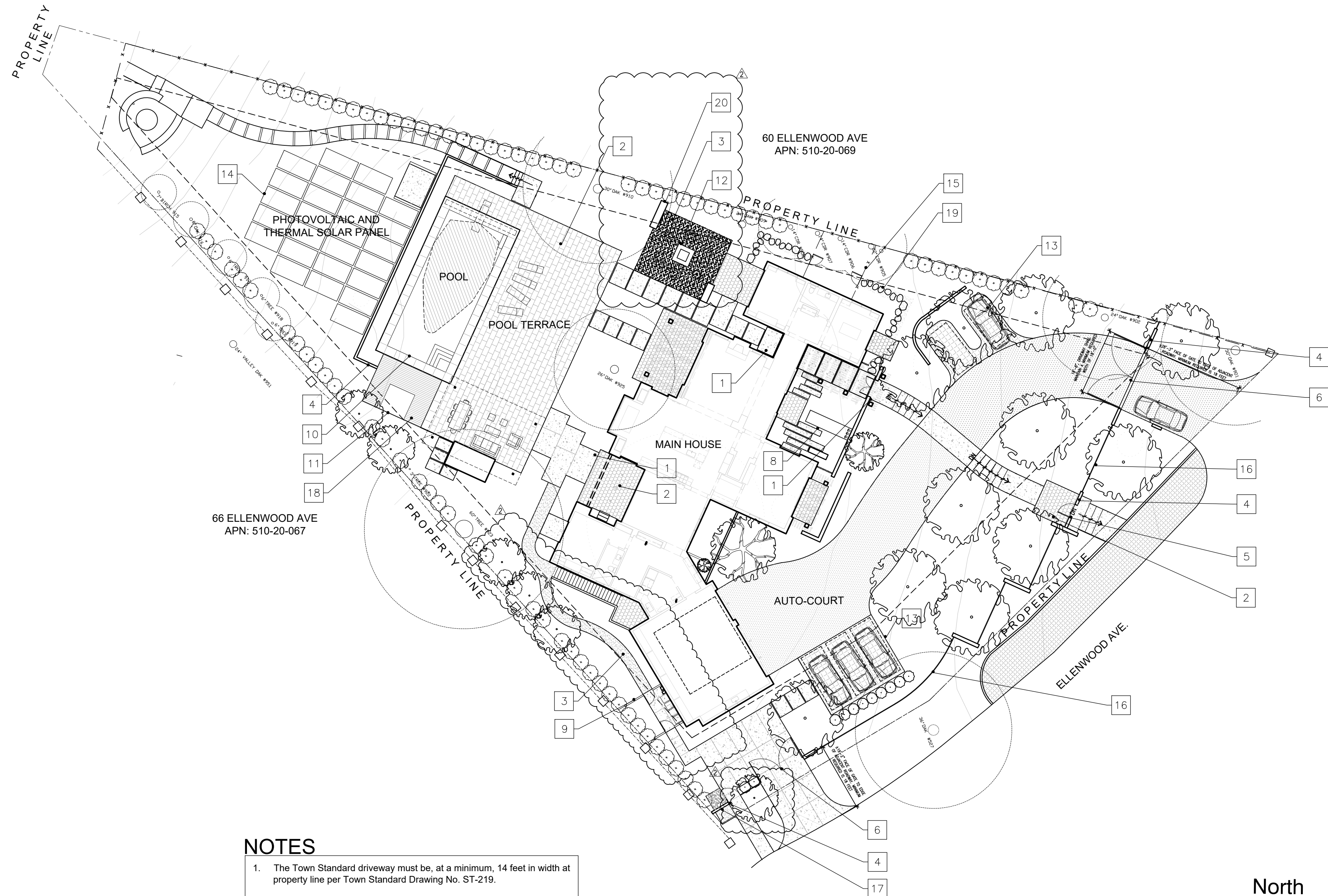
Date	Issue
Drawn By	TECHNICAL REVIEW
Checked By	T.R. COMMENTS
Project No.	18004
Date	REVISION
4.23.20	
8.18.20	
11.17.20	

SHADOW STUDY

DIAGRAMS NOT TO SCALE

A1.2

16320 OAKHURST DR  
APN: 510-20-031



**NOTES**

- The Town Standard driveway must be, at a minimum, 14 feet in width at property line per Town Standard Drawing No. ST-219.

**SCCFD NOTES**

- This project shall comply with the following: The California Fire (CFC) & Building (CBC) 2016 edition, as adopted by the Town of Los Gatos Town Code (LGTC), California Cod of Regulators (CCR) and Health & Safety Code
- Water Supply Requirements: Potable water supplies shall be protected from contamination caused by fire protection water supplies. It is the responsibility of the applicant and any contractors and subcontractors to contact the water purveyor supplying the site of such a project, and comply with the requirements of that purveyor. Such requirements shall be incorporated into the design of any water-based fire protection systems, and/or fire suppression water supply systems or storage containers that may be physically connected in any manner to an appliance capable of causing contamination of the potable water supply of the purveyor of record. Final approval of the system(s) under consideration will not be granted by this office until compliance with the requirements of the water purveyor of record are documented by that purveyor as having been met by the applicant(s). 019 CFC Dec. 903.3.5 and Health and Safety Code 13114.7
- Address identification: new and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with the background. address numbers shall be arabic numbers or alphabetical letters. numbers shall be a minimum of 4 inches (101.6mm) high and a minimum stroke width of 0.5 inch (12.7 mm), where access is by means of a private road and building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. cfc sec 505.1.
- Emergency Gate/Access Gate Requirements: Gate installations conform with Fire Department Standard Details and Specifications G-1 and, when open hall not obstruct any portion of the minimum required width of 20' for emergency access roadways or driveways. Locks, if provided, shall be fire department approved prior to installation. Gates across the emergency access roadways shall be equipped with an approved access devices. If the gates are operated electrically, an approved Knox key switch shall be installed. Gates providing access from a road to a driveway or other roadway shall be at least 18 feet from the road being exited. [CFC Sec. 503.6 and 506] [LGTC Sec.29.40.030]. Knox Key Switch will be provided and installed.
- Construction Site Fire Safety: All construction sites must comply with applicable provisions of the CFC Chapter 33 and our standard Detail and Specification SI-7. Provide appropriate notations on subsequent plan submittals as appropriate to project. CFC Chp 33.
- Fire Apparatus (Engine) Access Driveway Required: Provide an access driveway with a paved all weather surface, a minimum unobstructed width of 14 feet, vertical clearance of 13 feet 6 inches, minimum circulating turning radius of 36 feet outside and 23 feet inside, and a maximum slope of 15%. Installations shall conform to Fire Department Standard Details and Specifications sheet D-1.

**SCOPE OF WORK**

- |  |   |
|--|---|
| 1. Concrete Paving<br>Earth tone gray color                              | 11. Hot Tub<br>7'-7"X7'-7" Hot Tub  |
| 2. Stone Paving<br>Earth tone gray color                                 | 12. Fire Pit<br>Bronze Pre-Fab Fire Pit   |
| 3. Gravel Paving<br>Earth tone gray color                                | 13. Permeable Paving  |
| 4. Stone Walls<br>Material to match house                                | 14. Photovoltaic and Thermal Solar Panel<br>On ground mounted panels                |
| 5. Pedestrian Gate<br>4'-6" Tall Steel Pedestrian Gate painted dark gray | 15. Dog Run<br>Mulched area with wood wire enclosure                                |
| 6. Vehicle Gate<br>4'-6" Tall Steel gate w/ approved Knox Key switch     | 16. Vertical Picket Fence<br>Grape Vine Stake wood pickets with steel support frame |
| 7. Wood Wire Fence/Gate<br>Wire Mesh with wood frame                     | 17. Package Drop-box<br>Steel drop-box embedded into stone wall                     |
| 8. Water Feature<br>Bronze Spillway & trough                             | 18. Wood Deck<br>IPE wood deck  |
| 9. Trash Enclosure<br>Wood Enclosure painted to match garage doors       | 19. Stepping Stone Pathway<br>Irregular natural warm earth tones                    |
| 10. Pool<br>18'x42' Pool with diving board                               | 20. Stone Seat Wall<br>Earth tone gray color  |

**ABBREVIATION**

AC ASPHALTIC CONCRETE	DWG DRAWING	LA LANDSCAPE ARCHITECT	RET RETAINING
AGG AGGREGATE	(E) EXISTING	MAX MAXIMUM	SCH SCHEDULE
ALT ALTERNATE	EA EACH	MIN MINIMUM	SF SQUARE FEET
BLDG BUILDING	ELEC ELECTRICAL	MFR MANUFACTURER	SIM SIMILAR
BW BOTTOM WALL	EQ EQUAL	(N) NEW	STRCT STRUCTURAL
GB CATCH BASIN	FG FINISH GRADE	NIC NOT IN CONTRACT	TP TOP OF PAVING
CLR CLEAR	FW FACE OF WALL	NTS NOT TO SCALE	TW TOP OF WALL
CY CUBIC YARD	GALV GALVANIZED	OC ON CENTER	TYP TYPICAL
CONC CONCRETE	IRRI IRRIGATION	PA PLANTING AREA	W/ WITH
DG DECOMPOSED GRANITE	LF LINEAR FEET	RAD RADIUS	W/O WITHOUT

**LEGEND**

	CENTER LINE		CENTER POINT
	PROPERTY LINE		ALIGN
	LIMIT OF WORK		LANDSCAPE FEATURE
	EXISTING CONTOUR	(500)	EXISTING ELEVATION
	PROPOSED CONTOUR	500	PROPOSED ELEVATION
	MATCHLINE	(+101.7')	EXISTING SPOT ELEVATION
	PLANTING AREA	+101.7'	PROPOSED SPOT ELEVATION
	GAS SUPPLY LINE	5%	% SLOPE AND DIRECTION
	WATER SUPPLY LINE	2'-10"	DIMENSIONS/DISTANCE

PARCEL  
NOT TO SCALE

**SHEET INDEX**

LANDSCAPE DRAWINGS

L0.0	SITE PLAN & LANDSCAPE COVER SHEET
L0.0R	RENDERED SITE PLAN
L0.1	EXISTING TREE & REMOVAL PLAN
L0.2	EXISTING TREE & REMOVAL PLAN
L1.0	MATERIAL & CALLOUT PLAN
L1.1	MATERIAL & CALLOUT PLAN
L2.0	LIGHTING SCHEDULE & PLAN
L2.2	LIGHTING PLAN
L3.0	PLANTING LEGEND
L3.1	PLANTING PLAN
L3.2	PLANTING PLAN
L5.0	DETAILS
L5.1	DETAILS
L5.2	DETAILS
L5.3	SECTIONS/ ELEVATIONS

**PROJECT INFORMATION**

Owners	Lisa & Case Swenson 62 Ellenwood Avenue, Los Gatos, CA 95030
Landscape Architect	Studio Green 232 Sir Francis Drake Boulevard San Anselmo, CA 94960 415.721.0905
Architect	Arcanum Architecture, Inc. 329 Bryant Street, Suite 3c San Francisco CA, 94107 arcanumarchitecture.com 415.357.4400
Civil Engineers	BKF Engineering 255 Shoreline Drive, Suite 200, Redwood City, CA 94065 650.482.6315

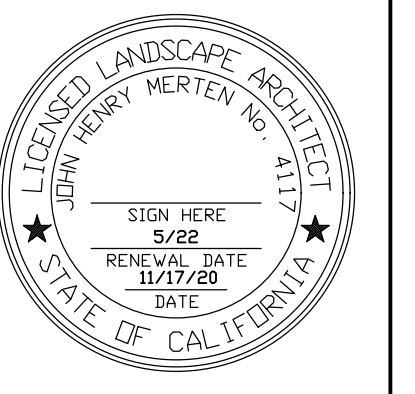
Date:	Issue:
04.23.20	Technical Review
08.18.20	T.R.
11.17.20	Revision

**SITE PLAN & LANDSCAPE COVER SHEET**

Drawn by: RP  
Checked by: JM

**L0.0**

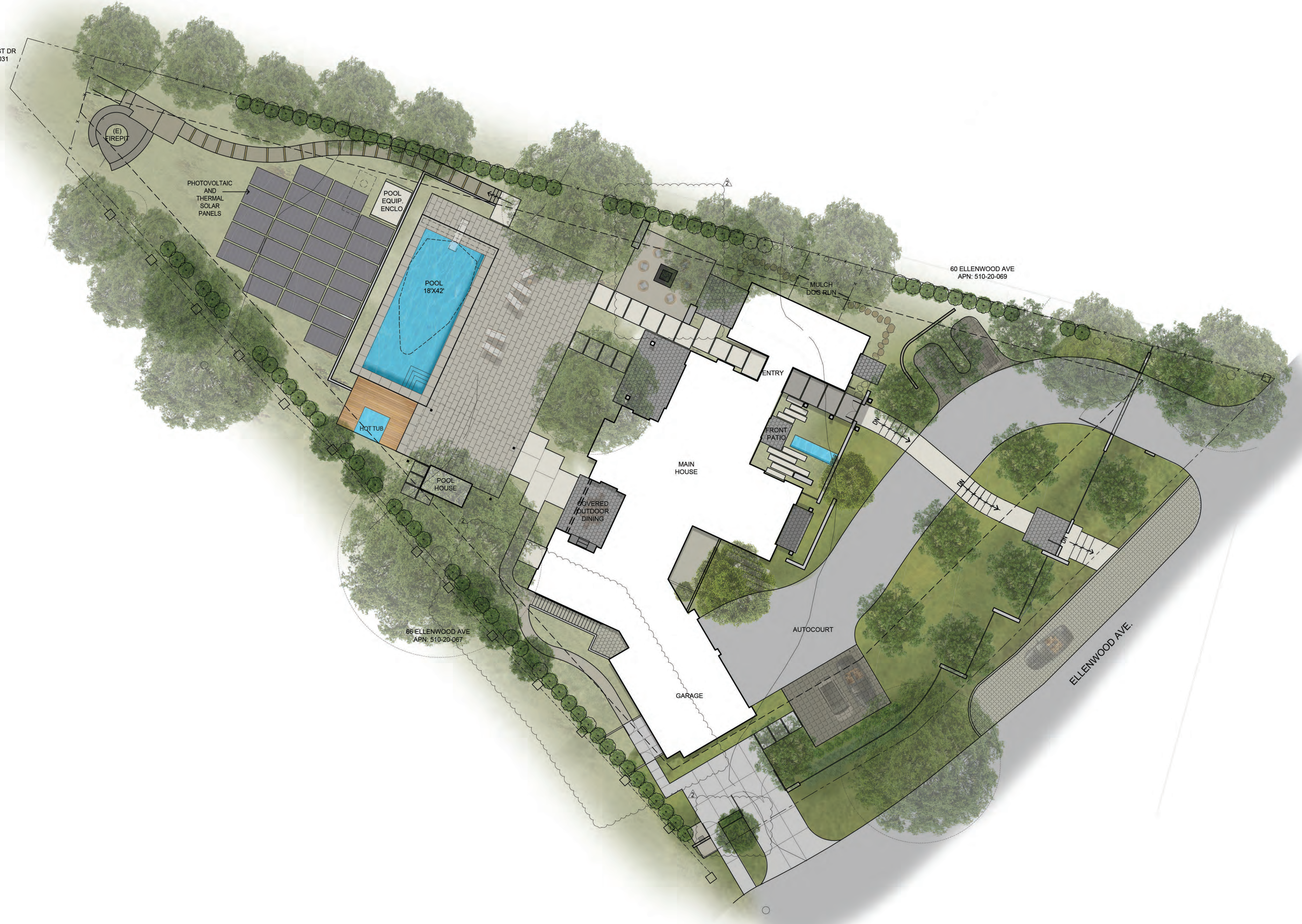
**STUDIO GREEN**  
Landscape Architecture  
232 Sir Francis Drake Blvd.  
San Anselmo, CA 94960  
Phone: (415) 721-0905  
Fax: (415) 721-0910  
Web: studiogreen.com  
Email: info@studiogreen.com



**SWENSEN RESIDENCE**  
62 Ellenwood Avenue  
Los Gatos, CA  
APN: 510-20-068



16320 OAKHURST DR  
APN: 510-20-031



60 ELLENWOOD AVE  
APN: 510-20-069

66 ELLENWOOD AVE  
APN: 510-20-087

ELLENWOOD AVE

**STUDIO GREEN**

Landscape Architecture  
232 Sir Francis Drake Blvd.  
San Anselmo, CA 94960  
Phone: (415) 721-0905  
Fax: (415) 721-0910  
www.studiogreen.com  
Email: info@studiogreen.com



# SWENSEN RESIDENCE

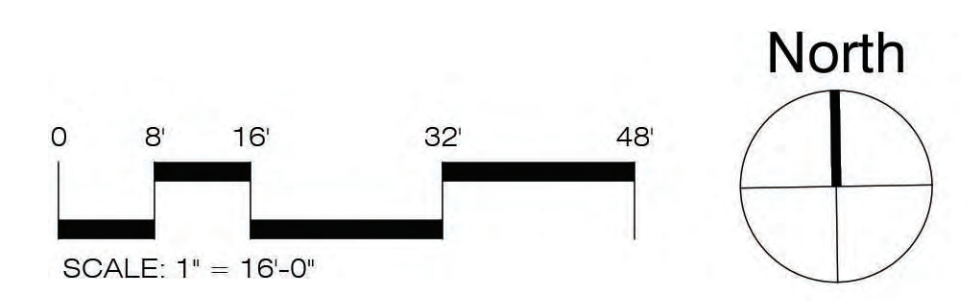
62 Ellenwood Avenue  
Los Gatos, CA  
APN: 510-20-068

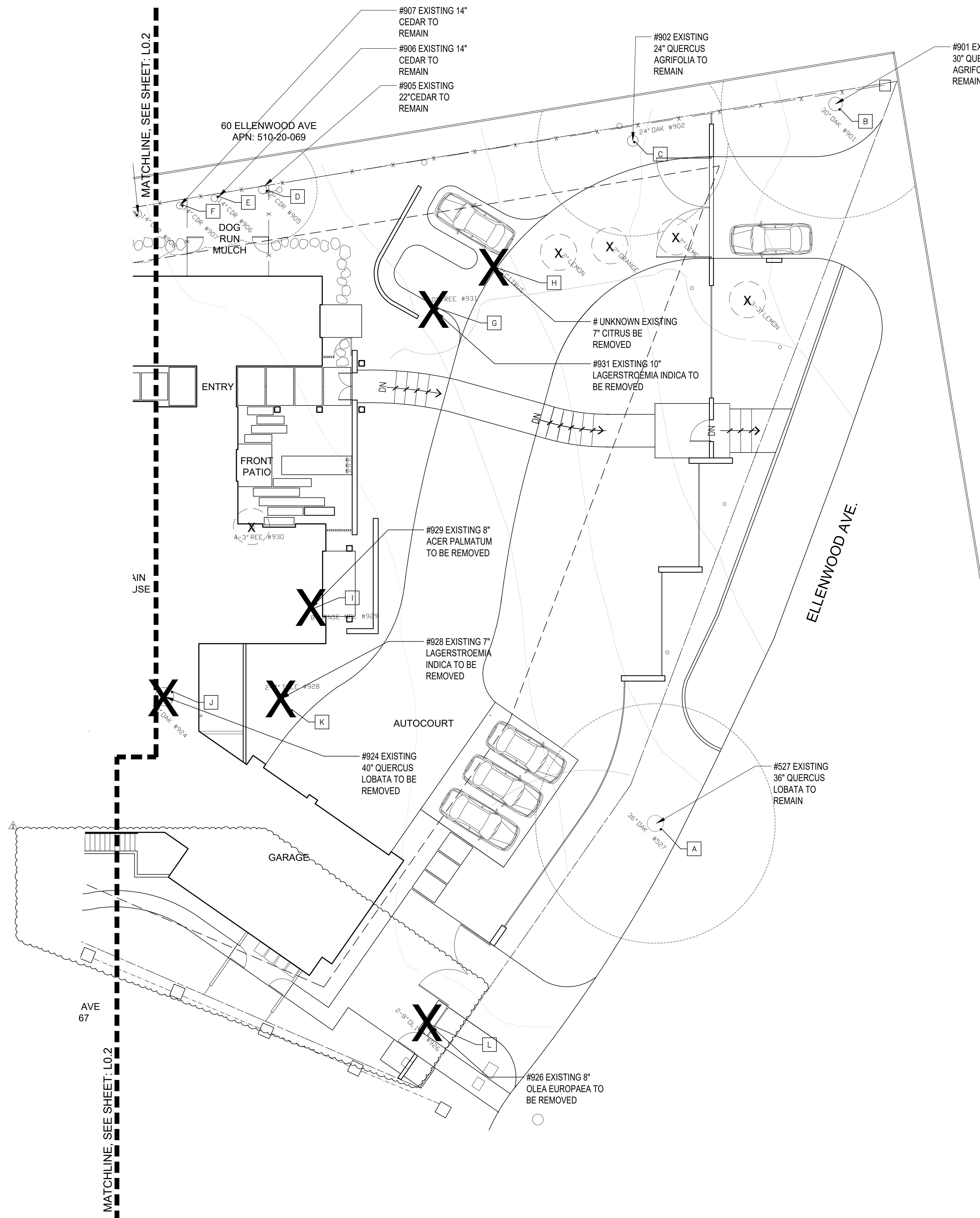
Date:	Issue:
04.23.20	Technical Review
08.18.20	T.R. Comments
11.17.20	Revision

## RENDERED SITE PLAN

Drawn by: RP  
Checked by: JM

### L0.0R





**LEGEND**

X >4" TREES TO BE REMOVED

(X) >4" TREES TO BE REMOVED

[A] SYMBOL

**STUDIO GREEN**  
 Landscape Architecture  
 232 Sir Francis Drake Blvd.  
 San Anselmo, CA 94960  
 Phone: (415) 721-0905  
 Fax: (415) 721-0910  
 Web: [www.studiogreen.com](http://www.studiogreen.com)  
 Email: [info@studiogreen.com](mailto:info@studiogreen.com)



**>4" EXISTING TREE TREE LEGEND**

SYMBOL	TREE #	BOTANICAL NAME	COMMON NAME	TRUNK CIR.	CONDITION	REMOVAL	REASON FOR REMOVAL
A	527	QUERCUS LOBATA	VALLEY OAK	36" Ø	GOOD	NO	
B	901	QUERCUS LOBATA	VALLEY OAK	24.7" Ø	FAIR	NO	
C	902	QUERCUS LOBATA	VALLEY OAK	23.1" Ø	GOOD	NO	
D	905	CEDRUS DEODARA	DEODAR CEDAR	18" Ø	GOOD	NO	
E	906	CEDRUS DEODARA	DEODAR CEDAR	18" Ø	GOOD	NO	
F	907	CEDRUS DEODARA	DEODAR CEDAR	18" Ø	FAIR	NO	
G	931	LAGERSTROEMIA INDICA	CREPE MYTLE	10" Ø	GOOD	YES	IN PROPOSED DEVELOPMENT AREA
H	UNKNOWN	CITUS X LIMON	LEMON TREE	7" Ø	GOOD	YES	IN PROPOSED DEVELOPMENT AREA
I	929	ACER PALMATUM	JAPANESE MAPLE	8" Ø	GOOD	YES	IN PROPOSED DEVELOPMENT AREA
J	924	QUERCUS LOBATA	VALLEY OAK	39.8" Ø	FAIR	YES	IN PROPOSED DEVELOPMENT AREA
K	928	LAGERSTROEMIA INDICA	CREPE MYTLE	7" Ø	GOOD	YES	IN PROPOSED DEVELOPMENT AREA
L	926	OLEA EUROPAEA	OLIVE TREE	8" Ø	GOOD	YES	IN PROPOSED DEVELOPMENT AREA

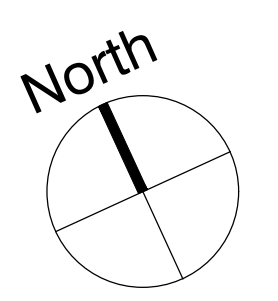
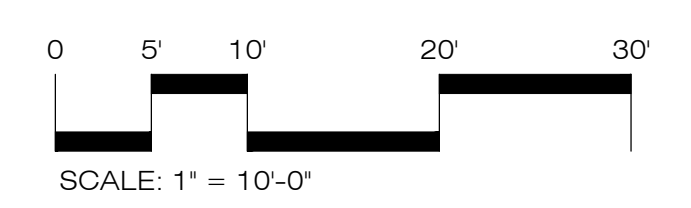
**SWENSEN RESIDENCE**  
 62 Ellenwood Avenue  
 Los Gatos, CA  
 APN: 510-20-068

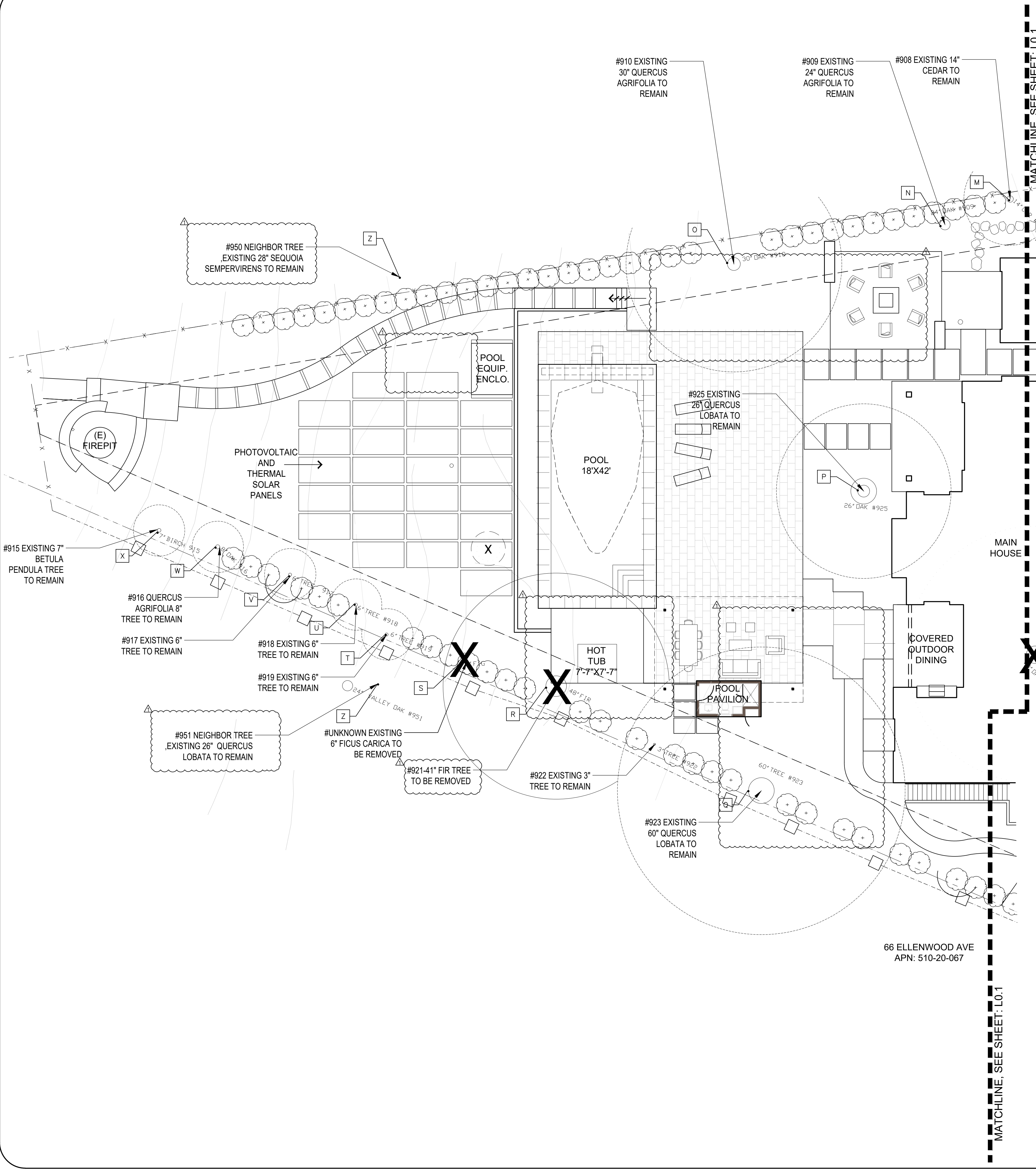
Date:	Issue:
04.23.20	Technical Review
08.18.20	T.R. Comments
11.17.20	Revision

**EXISTING TREE & REMOVAL PLAN**

Drawn by: RP  
 Checked by: JM

**L0.1**





**LEGEND**

X >4" TREES TO BE REMOVED

(X) >4" TREES TO BE REMOVED

A SYMBOL

**>4" EXISTING TREE TREE LEGEND**

SYMBOL	TREE #	BOTANICAL NAME	COMMON NAME	TRUNK CIR.	CONDITION	REMOVAL	REASON FOR REMOVAL
M	908	DEODAR DEODARA	DEODAR CEDAR	15" Ø	GOOD	NO	
N	909	DEODAR DEODARA	DEODAR CEDAR	24" Ø	GOOD	NO	
O	910	QUERCUS AGRIFOLIA	COAST LIVE OAK	32" Ø	GOOD	NO	
P	925	QUERCUS LOBATA	VALLEY OAK	25.2" Ø	POOR	NO	
Q	923	QUERCUS LOBATA	VALLEY OAK	59.6" Ø	FAIR	NO	
R	921	SEUDOTSUGA MENZIESII	DOUGLAS FIR	41.0" Ø	FAIR	YES	CRITICAL ROOTS IN CONSTRUCTION ZONE
S	UNKNOWN	FICUS CARICA	FIG TREE	6" Ø	GOOD	YES	UNDESIRABLE
T	919	ACER SPECIES	ACER	6" Ø	GOOD	NO	
U	918	ACER SPECIES	ACER	6" Ø	GOOD	NO	
V	917	ACER SPECIES	ACER	6" Ø	GOOD	NO	
W	916	QUERCUS AGRIFOLIA	COAST LIVE OAK	10.1" Ø	FAIR	NO	
X	915	BETULA PENDULA	EUROPEAN BIRCH	9" Ø	GOOD	NO	
Y	950	NEIGHBOR'S SEQUOIA SEMPERVIRENS	REDWOOD TREE	28" Ø	FAIR	NO	
Z	951	NEIGHBOR'S QUERCUS LOBATA	VALLEY OAK	26" Ø	FAIR	NO	

**STUDIO GREEN**

Landscape Architecture  
 232 Sir Francis Drake Blvd.  
 San Anselmo, CA 94960  
 Phone: (415) 721-0905  
 Fax: (415) 721-0910  
 Web: studiodgreen.com  
 Email: info@studiodgreen.com

LICENSED LANDSCAPE ARCHITECT  
 JOHN ADRIAN MERTEN NO. 4117  
 SIGN HERE 5/22  
 RENEWAL DATE 11/17/20  
 STATE OF CALIFORNIA

**SWENSEN RESIDENCE**  
 62 Ellenwood Avenue  
 Los Gatos, CA  
 APN: 510-20-068

Date: 04.23.20 Issue: Technical Review

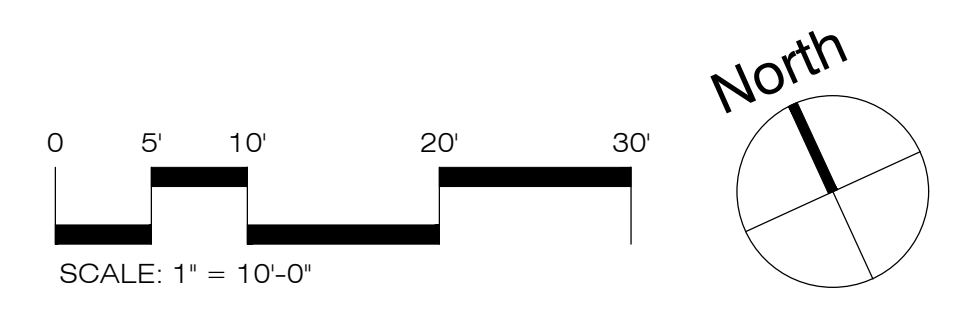
08.18.20 T.R. Comments

11.17.20 Revision

**EXISTING TREE & REMOVAL PLAN**

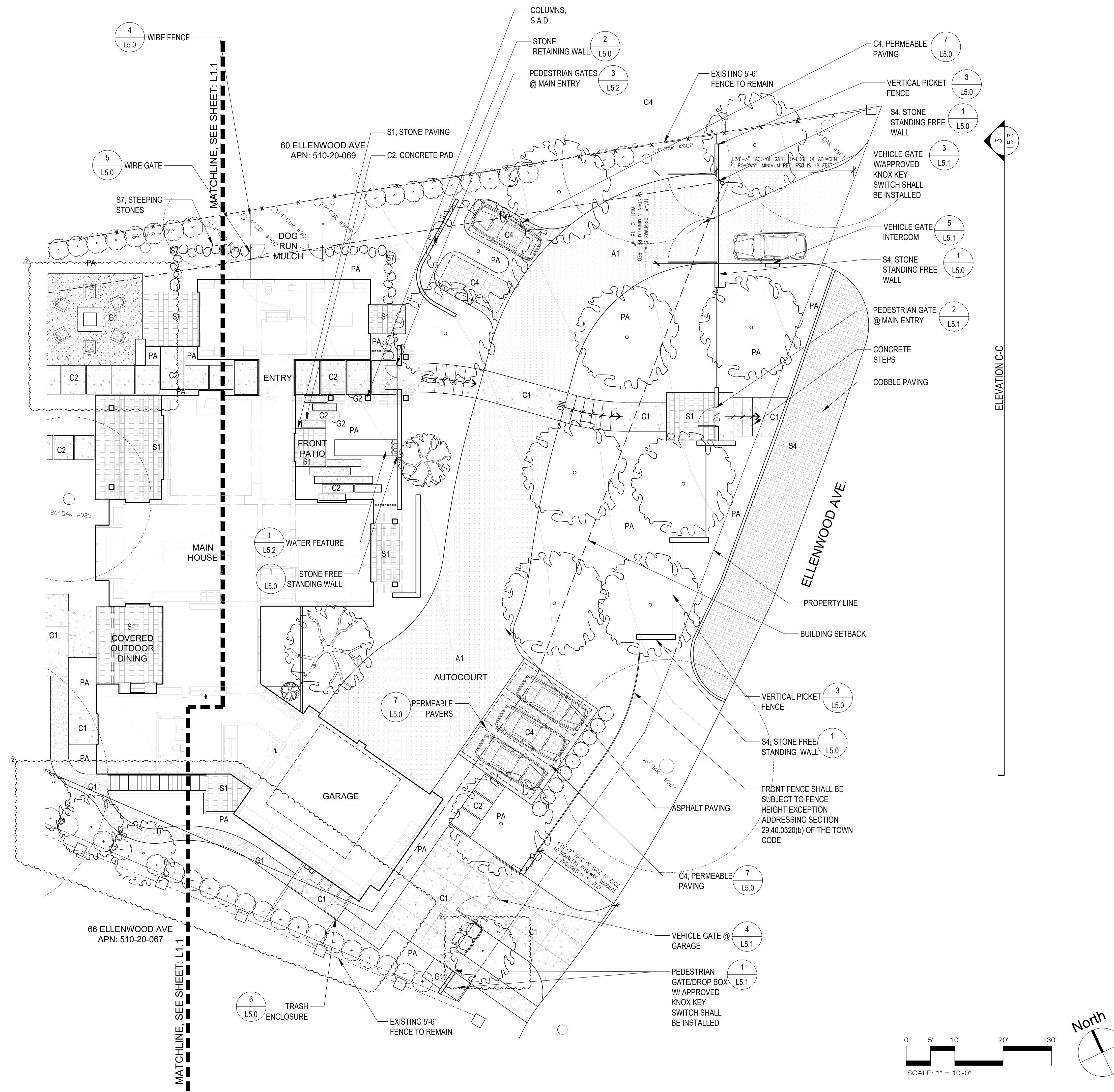
Drawn by: RP  
 Checked by: JM

**L0.2**



66 ELLENWOOD AVE  
 APN: 510-20-067

MATCHLINE: SEE SHEET: L0.1



### MATERIAL SCHEDULE

- A1 ASPHALT PAVING
- C1 CONCRETE PAVING
  - Color: Davis Colors, Miami Buff 5447, Powder Dose 1LB per 94LB Sack of Cement
  - Finish: Grace Top-Cast, Sandblast-05 Powder Blue Violet
  - Joint: 1-1/2" deep tooled
  - Sample: Provide 24"x24" sample on site for approval
- C2 CONCRETE PAD
  - Match C1 specification
- C3 CONCRETE WALLS
  - Color: Match C1
  - Finish: Board form finish, 5 1/2" boards w/ 1/16" gaps.
- C4 PERMEABLE PAVERS
  - Color: Warm Gray tones
- G1 DECOMPOSED GRANITE PAVING
  - COLOR: Tan/gold color, 1/4" minus with stabilizer solutions from Lyngso
  - BRAND: Lyngso, (650.364.1730), or approved equal. apply per mfr's recommendations. submit samples for approval.
- G2 DECORATIVE STONE
  - Size: 2-3" Decorative rounded pebbles.
  - Finish: Ivory Seaside Beach Pebble or Equal
  - Brand: Coverall Stone (800-779-3234).
  - Sample: Submit samples for approval.
- G3 FIRE PIT STONE
  - Size: 1-2" Black Lava Rock
- S1 STONE PAVING
  - Color: Warm Gray
  - Finish: Flamed
  - Size/Pattern: TBD
  - Brand: TBD
  - Sample: Provide sample pieces for approval
  - Contact: TBD
- S2 STONE PAVING
  - Color: Warm Gray
  - Finish: Flamed
  - Size/Pattern: TBD
  - Brand: TBD
  - Sample: Provide sample pieces for approval
  - Contact: TBD
- S3 STONE POOL COPING
  - Color: Match S2
  - Finish: Match S2
  - Size: Varies
  - Brand: TBD
  - Sample: Provide sample pieces for approval
  - Contact: TBD
- S4 COBBLE PAVING
  - Color: Warm Gray
  - Finish: Flamed
  - Size/Pattern: TBD
  - Brand: TBD
  - Sample: Provide sample pieces for approval
  - Contact: TBD
- S5 STONE VENEER WALL
  - Color: Warm Gray
  - Finish: TBD
  - Size: TBD
  - Brand: TBD
  - Sample: Provide sample pieces for approval
  - Contact: TBD
- S6 STONE CAP
  - Match S5
- S7 STEPPING STONES
  - Color: Warm Gray
- W1 WOOD DECKING
  - WOOD DECKING
  - 1X6 IPE WOOD

**STUDIO GREEN**  
 Landscape Architecture  
 232 St Francis Drake Blvd.  
 San Anselmo, CA 94960  
 Phone (415) 721-0905  
 Fax (415) 721-0910  
 www.studiogreen.com  
 Email info@studiogreen.com

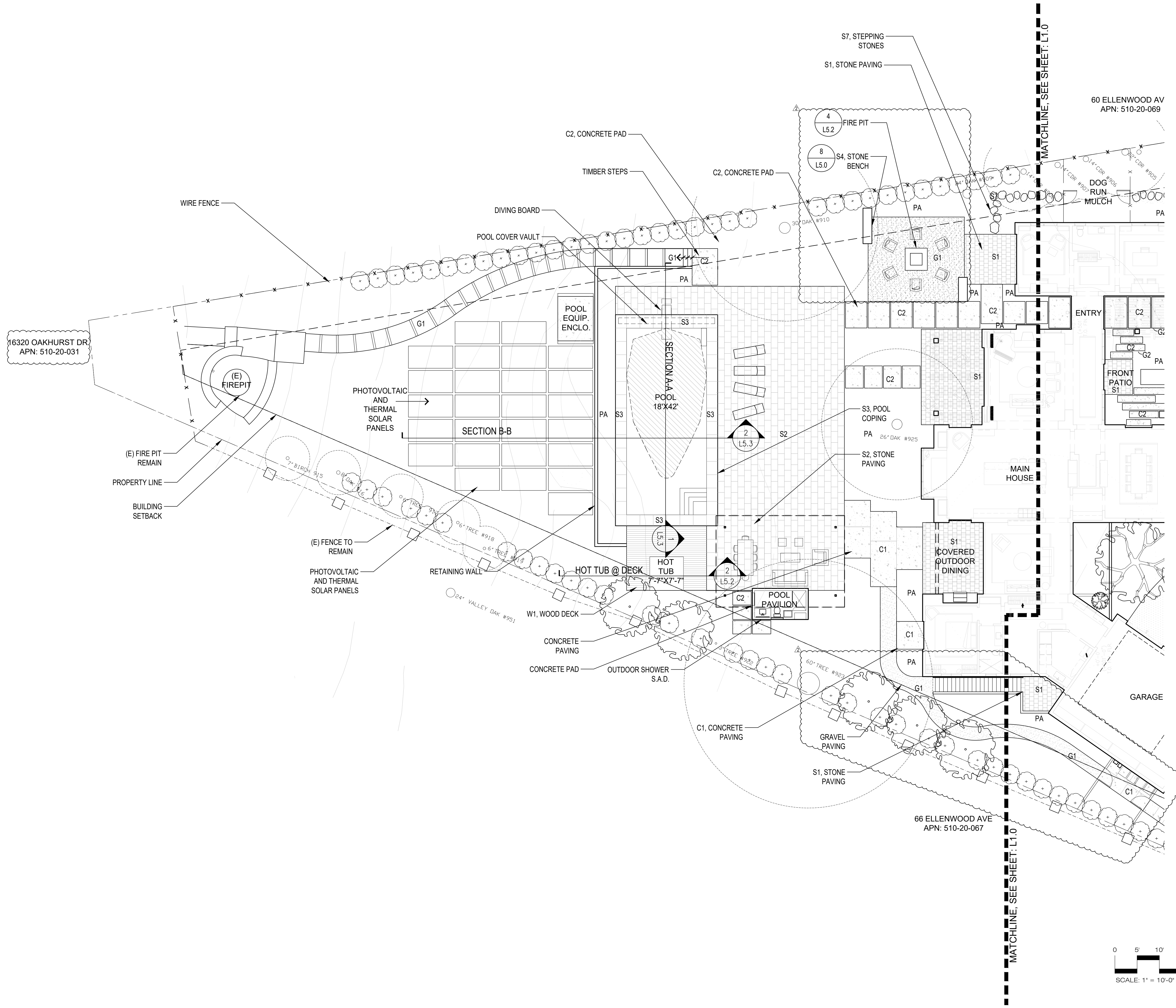
**SWENSEN RESIDENCE**  
 62 Ellenwood Avenue  
 Los Gatos, CA  
 APN: 510-20-068

Date:	Issue:
04.23.20	Technical Review
08.18.20	T.R. Comments
11.17.20	Revision

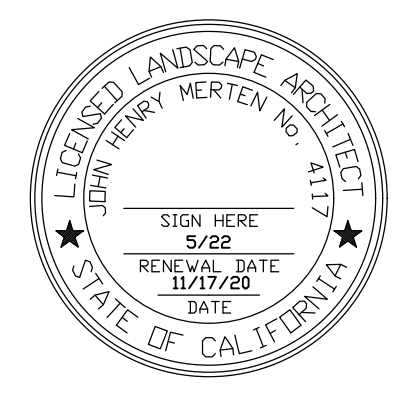
### MATERIAL CALLOUT PLAN

Drawn by: RP  
 Checked by: JM

**L1.0**



**STUDIO GREEN**  
 Landscape Architecture  
 232 St Francis Drake Blvd.  
 San Anselmo, CA 94960  
 Phone (415) 721-0905  
 Fax (415) 721-0910  
 www.studiogreen.com  
 Email info@studiogreen.com



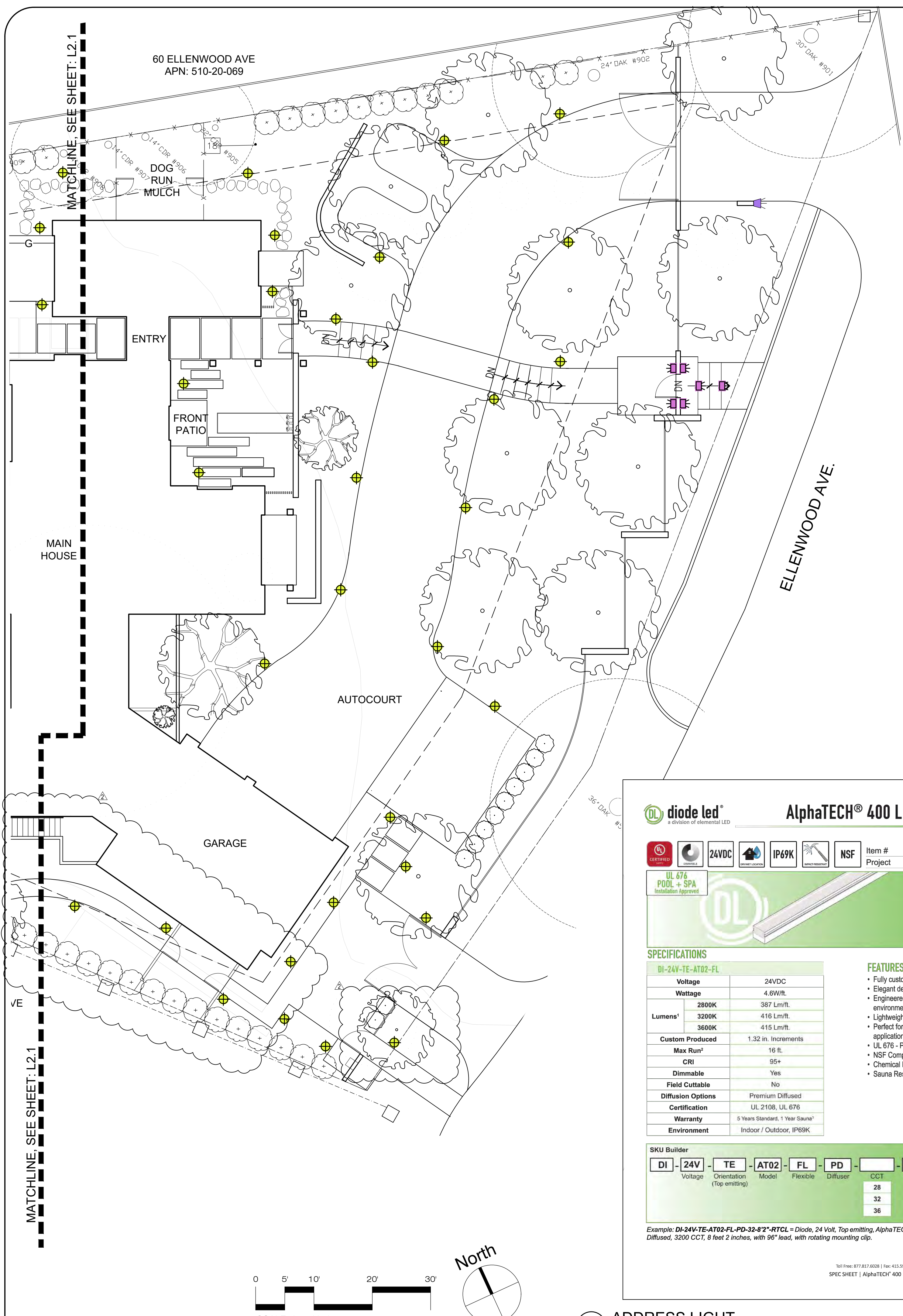
**SWENSEN RESIDENCE**  
 62 Ellenwood Avenue  
 Los Gatos, CA  
 APN: 510-20-068

Date:	Issue:
04.23.20	Technical Review
08.18.20	T.R. Comments
11.17.20	Revision

**MATERIAL CALLOUT PLAN**

Drawn by: RP  
 Checked by: JM

**L1.1**



### LIGHTING NOTES

1/L2.1: PATH LIGHT:  
SPJ LIGHTING  
Model #: SPJ-BG3-MBR-1.5W-125-2700K-8-15V

2/L2.1: WALL/STEP LIGHT:  
W.A.C. Lighting,  
Model #: 4011-27-BK

3/L2.1: STRIP LIGHT  
DIODE LED ALPPHATECH 400 LED  
STRIP LIGHT  
MODEL: DI-24V-TE-AT02-FL-PD

POOL LIGHT:  
By Pool Contractor

120 VOLT ELECTRICAL LINE IN  
CONDUIT

NATURAL GAS LINE FROM  
HOUSE

GFCI RECPTACLE - Wall mounted

### LIGHTING NOTES

1. All exterior light fixtures will comply with the requirements of Section 29.20.09015 of the town code to be shielded and downward directed

### Forever Bright

**Model: SPJ-BG3**  
Finish: Matte Bronze

**Adjustable Below Grade Path Lighting**

**DESCRIPTION**  
Model#: SPJ-BG3  
Material: Solid Brass  
Electrical: 8-15V  
Engine: FB-01CK  
Lumens: 125  
Color Temp: 2700K  
Mounting: SPJ19-03-RBBG Incl.  
LED: Nichia  
Beam Spread: 180°

**Option: Adjustable Below Grade Elser**  
Model: SPJ19-03-RBBG  
Finish: Matte Bronze  
Base: Solid brass top fits on our standard perme post with finish to match initial fixture at grade level and as the landscape grows adjust fixture height as needed.

**ORDERING INFORMATION**

Model#	Finishes	Wattage	Lumens	Color Temp.	Electrical
SPJ-BG3	MBR	1.5W	125	2700K	8-15V

www.spjlighting.com

1 PATH LIGHT  
Scale: NTS

### diode led AlphaTECH® 400 LED STRIP LIGHT

UL 676 POOL + SPA Certified

**SPECIFICATIONS**

DI-24V-TE-AT02-FL	24VDC	IP69K	NSF
Voltage	24VDC		
Wattage	4.6W/ft.		
Lumens	3200K 387 Lm/ft. 3200K 416 Lm/ft. 3600K 415 Lm/ft.		
Custom Produced	1.32 in. Increments		
Max Run	16 ft.		
CRI	95+		
Dimmable	Yes		
Field Cuttable	No		
Diffusion Options	Premium Diffused		
Certification	UL 2108, UL 676		
Warranty	5 Years Standard, 1 Year Sauna*		
Environment	Indoor / Outdoor, IP69K		

**FEATURES**

- Fully customizable
- Elegant design
- Engineered for rugged environments
- Lightweight, durable, and flexible
- Perfect for both indoor and outdoor applications
- UL 676 - Pool and Spa certified
- NSF Component Approved
- Chemical Resistant
- Sauna Resistant

**SKU Builder**

DI - 24V - TE - AT02 - FL - PD - CCT - Length - Mount

Example: DI-24V-TE-AT02-FL-PD-32-8'2"-RTCL = Diode, 24 Volt, Top emitting, AlphaTECH® 400 Type 2, Flexible, Premium Diffused, 3200 CCT, 8 feet 2 inches, with 96° lead, with rotating mounting clip.

3 ADDRESS LIGHT  
Scale: NTS

### WAC LANDSCAPE LIGHTING

**RECTANGLE STEP LIGHTS 12V**  
4011

**PRODUCT DESCRIPTION**  
Horizontal rectangle step light designed for safety and style on stairways, patios, decks, balcony areas, walkways and building perimeters. Features an architectural design. Energy efficient for long-lasting outdoor lighting solutions. Creates an attractive, romantic impression at night.

**FEATURES**

- Solid diecast brass, corrosion resistant aluminum alloy, or cast stainless steel construction
- IP66 rated. Protected against high-pressure water jets
- Conveniently adapts into existing 12V system
- Invisible hardware
- Maintains constant lumen output against voltage drop
- UL 1688 Listed

**ORDERING NUMBER**

Color Temp	CRI	Finish	Lumens
27	2700K	90 BBR Bronze on Brass	17
		90 BK Black on Aluminum	17
		90 BZ Bronze on Aluminum	17
		90 WT White on Aluminum	38
		90 BR Bronze on Brass	17
		90 BK Black on Aluminum	17
		90 BZ Bronze on Aluminum	17
		90 WT White on Aluminum	38
		90 SS Cast Stainless Steel	23
		90 BR Bronze on Brass	11
		90 BK Black on Aluminum	11
		90 BZ Bronze on Aluminum	11
		90 WT White on Aluminum	22
		90 SS Cast Stainless Steel	14

Example: 4011-30BK

www.wac-lighting.com

2 WALL/STEP LIGHT  
Scale: NTS

**STUDIO GREEN**

Landscape Architecture  
232 St. Francis Drake Blvd.  
San Anselmo, CA 94960  
Phone: (415) 721-0905  
Fax: (415) 721-0910  
www.studiogreen.com  
Email: info@studiogreen.com

LICENSED LANDSCAPE ARCHITECT  
LARRY HENRY WERTER, No. 2172  
SIGN HERE  
5/22  
RENEWAL DATE  
12/17/20  
DATE  
STATE OF CALIFORNIA

**SWENSEN RESIDENCE**  
62 Ellenwood Avenue  
Los Gatos, CA  
APN: 510-20-068

Date: 04.23.20 Issue: Technical Review

08.18.20 T.R. Review

11.17.20 Revision

**LIGHTING SCHEDULE & PLAN**

Drawn by: RP  
Checked by: JM  
**L2.0**



**SWENSEN RESIDENCE**  
 62 Ellenwood Avenue  
 Los Gatos, CA  
 APN: 510-20-068

Date:	Issue:
04.23.20	Technical Review
08.18.20	T.R. Comments
11.17.20	Revision

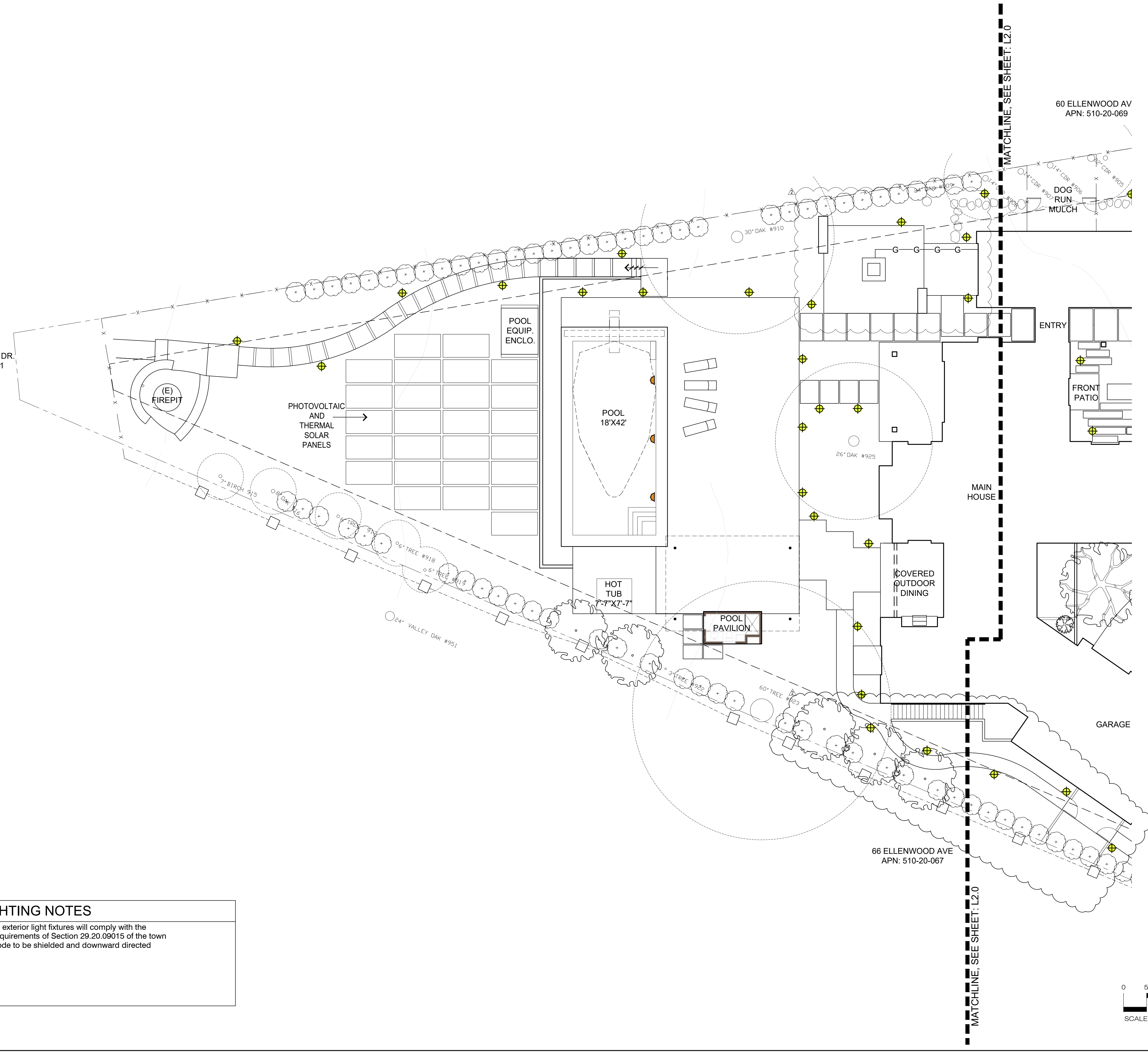
**LIGHTING PLAN**

Drawn by: RP  
 Checked by: JM  
**L2.1**

16320 OAKHURST DR.  
 APN: 510-20-031

60 ELLENWOOD AV  
 APN: 510-20-069

66 ELLENWOOD AVE  
 APN: 510-20-067



**LIGHTING NOTES**

1. All exterior light fixtures will comply with the requirements of Section 29.20.09015 of the town code to be shielded and downward directed

# TREES



ACE PAL  
ACER PALMATUM  
JAPANESE MAPLE



CAR BET  
CARPINUS BETULUS  
COMMON HORNBEAM



CER CAN  
CERCIS CANADENSIS  
EASTERN REDBUD



LAU STD  
LAURUS 'SARATOGA'  
SARATOGA LAUREL (STANDARD)



OLE EUR  
OLEA EUROPAEA 'SWAN HILL'  
SWALL HILL OLIVE

# LARGE SHRUBS



LAU SAR  
LAURUS 'SARATOGA'  
SARATOGA LAUREL (MULTI)



PRU LAU  
PRUNUS LAUROCERASUS  
ENGLISH LAUREL



RHU INT  
RHUS INTEGRIFOLIA  
LEMONADE BERRY



THU EME  
THUJA OCCIDENTALIS 'EMERALD GREEN'  
EMERALD GREEN ARBORVITAE

# SHRUBS & PERENNIALS



BAC PIL  
BACCHARIS PILULARIS 'PIGEON POINT'  
COYOTE BUSH



CAR DIV  
CAREX DIVULSA  
BERKELEY SEDGE



CEA GRI  
CEANOTHUS GRISEUS VAR. HORIZONTALIS  
YANKEE POINT CEANOTHUS



COP KIR  
COPROSMA KIRKII  
CREEPING COPROSMA



LAV GTO  
LAVANDULA X INTERMEDIA 'GROSSO'  
GROSSO LAVENDER



OLEA EUR  
OLEA EUROPAEA 'MONTRA'  
DWARF LITTLE OLLIE



LOM LON  
LOMANDRA LONGIFOLIA  
BREEZE DWARF MAT RUSH



MUH RIG  
MUHLENBERGIA RIGENS  
DEER GRASS



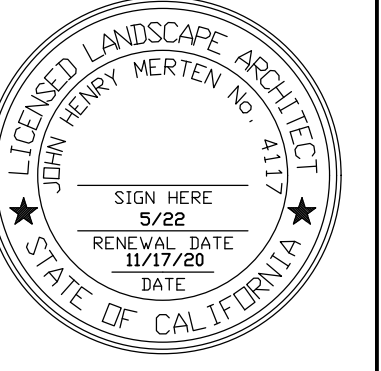
RHA CAL  
RHAMNUS CALIFORNICA 'EVE CASE'  
COFFEEBERRY



SAL CLE  
SALVIA CLEVELANDII  
CLEVELAND SAGE

SCREENING LEGEND							
SYM.	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT PLANTED	MATURE SIZE/PLAN TYPE	TYPE	WUCOLS
TREES							
ACE PAL	ACER PALMATUM	JAPANESE MAPLE	24" BOX	6' TALL	10' TALL	DECIDUOUS	M
CAR BET	CARPINUS BETULUS	COMMON HORNBEAM	36" BOX	6'-8' TALL	16' TALL	DECIDUOUS	M
CER CAN	CERCIS CANADENSIS	EASTERN REDBUD	36" BOX	6'-8' TALL	14' TALL	DECIDUOUS	M
LAU STD	LAURUS 'SARATOGA'	SARATOGA LAUREL (STANDARD)	36" BOX	12' TALL	20' TALL	EVERGREEN	L
OLE SWA	OLEA EUROPAEA 'SWAN HILL'	SWAN HILL OLIVE	36" BOX	8'-10' TALL	18'-20' TALL	EVERGREEN	L
LARGE SHRUBS							
LAU SAR	LAURUS 'SARATOGA'	SARATOGA LAUREL (MULTI)	24" BOX	6' TALL	8' TALL	EVERGREEN	L
PRU LAU	PRUNUS LAUROCERASUS	ENGLISH LAUREL	B&B	5' TALL	8' TALL	EVERGREEN	M
RHU INT	RHUS INTEGRIFOLIA	LEMONADE BERRY	24" BOX	3' TALL	4' TALL	EVERGREEN	L
THU EME	THUJA OCCIDENTALIS 'EMERALD GREEN'	EMERALD GREEN ARBORVITAE	15 GAL	3' TALL	4' TALL	EVERGREEN	L
SHRUB & PERENNIALS							
BAC PIL	BACCHARIS PILULARIS 'PIGEON POINT'	COYOTE BUSH	1 GAL	>1' TALL	2' TALL	EVERGREEN	L
CAR DIV	CAREX DIVULSA	EUROPEAN GREY SEDGE	1 GAL	1' TALL	2' TALL	EVERGREEN	M
CEA GRI	CEANOTHUS GRISEUS HORIZONTALIS	CARMEL CREEPER	1 GAL	1' TALL	1' TALL	EVERGREEN	L
COP KIR	COPROSMA KIRKII	KIRK'S COPROSMA	1 GAL	1' TALL	1' TALL	EVERGREEN	L
LAV GRO	LAVANDULA X INTERMEDIA 'GROSSO'	GROSSO LAVENDER	1 GAL	2' TALL	3' TALL	EVERGREEN	L
LIT OLE	OLEA EUROPAEA 'MONTRA'	DWARF LITTLE OLLIE	15 GAL	2' TALL	4' TALL	EVERGREEN	L
LOM LON	LOMANDRA LONGIFOLIA BREEZE	DWARF MAT RUSH	1 GAL	1' TALL	2'-3' TALL	EVERGREEN	L
MUH RIG	MUHLENBERGIA RIGENS	DEER GRASS	1 GAL	1' TALL	2'-3' TALL	EVERGREEN	L
RHA CAL	RHAMNUS CALIFORNICA 'EVE CASE'	COFFEEBERRY	15 GAL	2' TALL	4' TALL	EVERGREEN	L
SAL CLE	SALVIA CLEVELANDII	CLEVELAND SAGE	1 GAL	1' TALL	2'-3' TALL	EVERGREEN	L

**STUDIO GREEN**  
Landscape Architecture  
232 Sir Francis Drake Blvd.  
San Anselmo, CA 94960  
Phone: (415) 721-0905  
Fax: (415) 721-0910  
Web: [studogreen.com](http://studogreen.com)  
Email: [info@studogreen.com](mailto:info@studogreen.com)



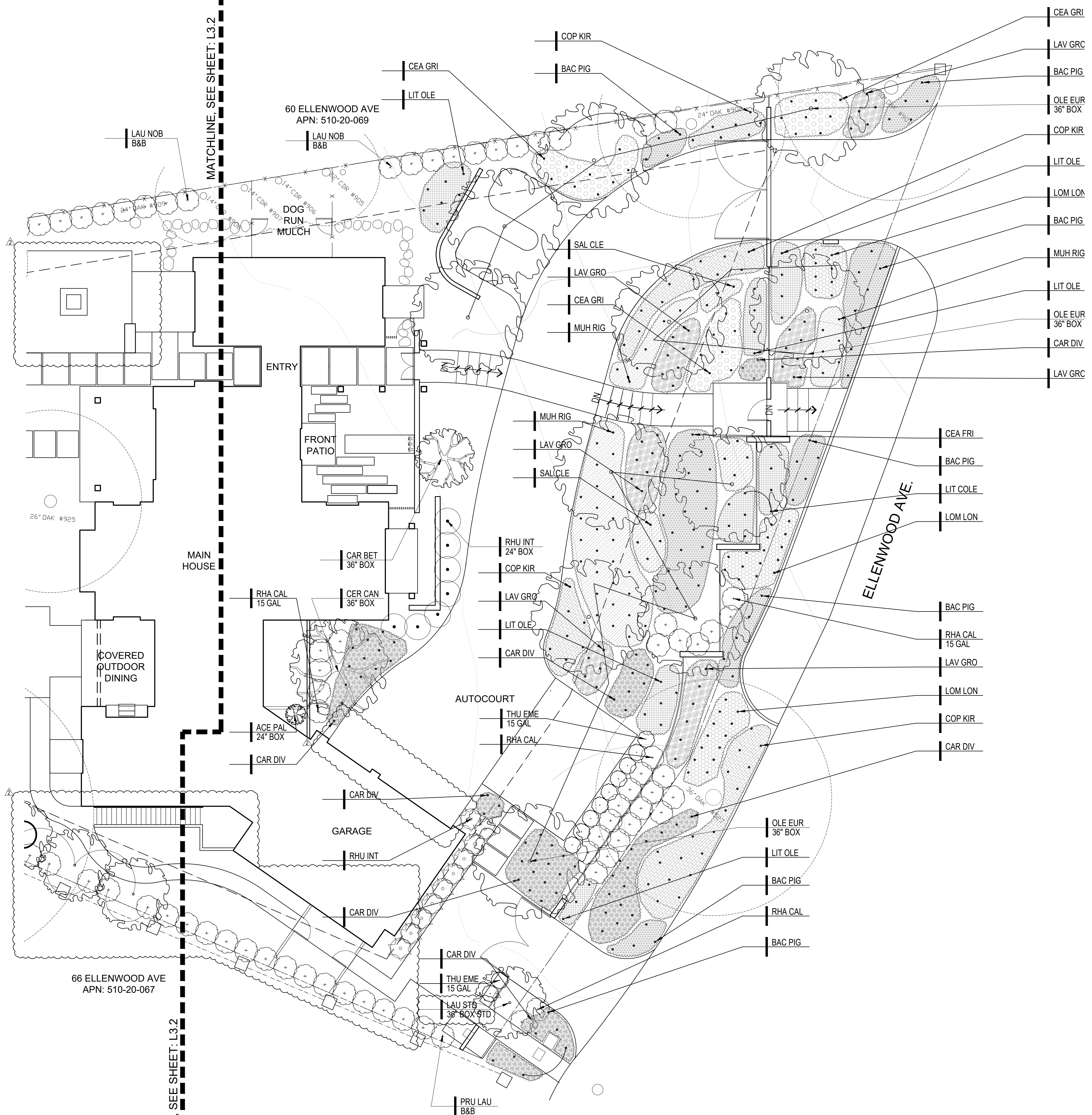
**SWENSEN RESIDENCE**  
62 Ellenwood Avenue  
Los Gatos, CA  
APN: 510-20-068

Date: 04.23.20 Issue: Technical Review  
08.18.20 T.R. Comments  
11.17.20 Revision

# PLANTING LEGEND

Drawn by: RP  
Checked by: JM  
**L3.0**





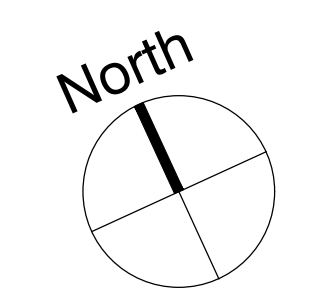
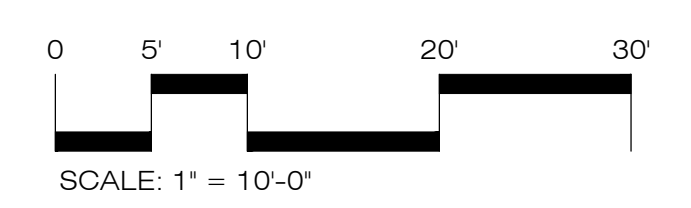
MATCHLINE, SEE SHEET: L3.2

60 ELLENWOOD AVE  
APN: 510-20-069

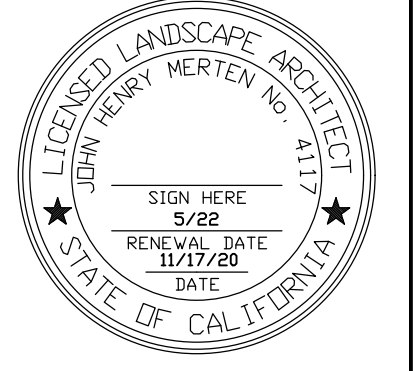
ELLENWOOD AVE.

66 ELLENWOOD AVE  
APN: 510-20-067

MATCHLINE, SEE SHEET: L3.2



**STUDIO GREEN**  
Landscape Architecture  
232 Sir Francis Drake Blvd.  
San Anselmo, CA 94960  
Phone: (415) 721-0905  
Fax: (415) 721-0910  
Web: [www.studiogreen.com](http://www.studiogreen.com)  
Email: [info@studiogreen.com](mailto:info@studiogreen.com)

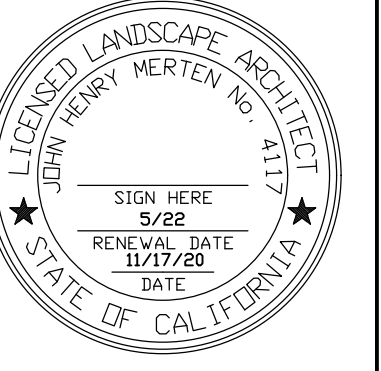


**SWENSEN RESIDENCE**  
62 Ellenwood Avenue  
Los Gatos, CA  
APN: 510-20-068

Date:	Issue:
04.23.20	Technical Review
08.18.20	T.R. Comments
11.17.20	Revision

**PLANTING PLAN**

Drawn by: RP  
Checked by: JM  
**L3.1**

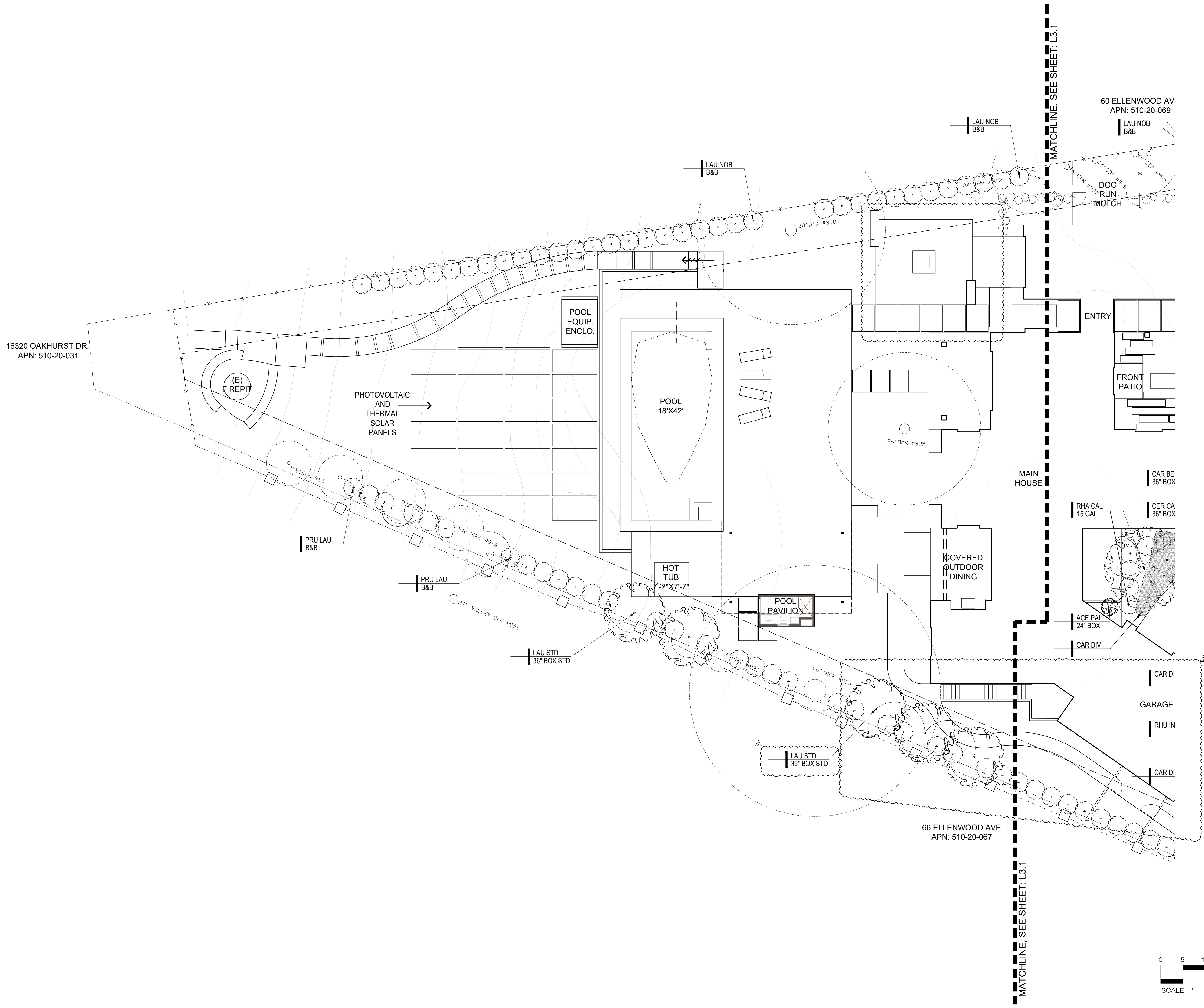


**SWENSEN RESIDENCE**  
 62 Ellenwood Avenue  
 Los Gatos, CA  
 APN: 510-20-068

Date:	Issue:
04.23.20	Technical Review
08.18.20	T.R. Comments
11.17.20	Revision

**PLANTING PLAN**

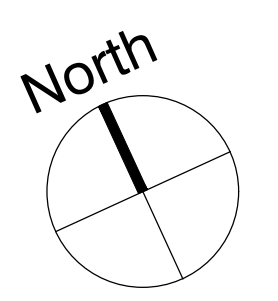
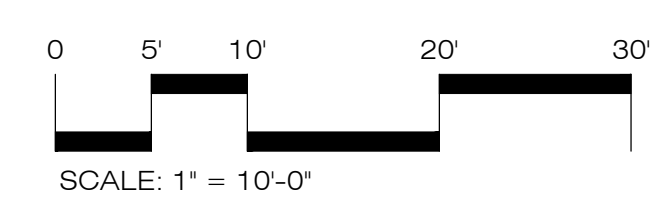
Drawn by: RP  
 Checked by: JM  
**L3.2**



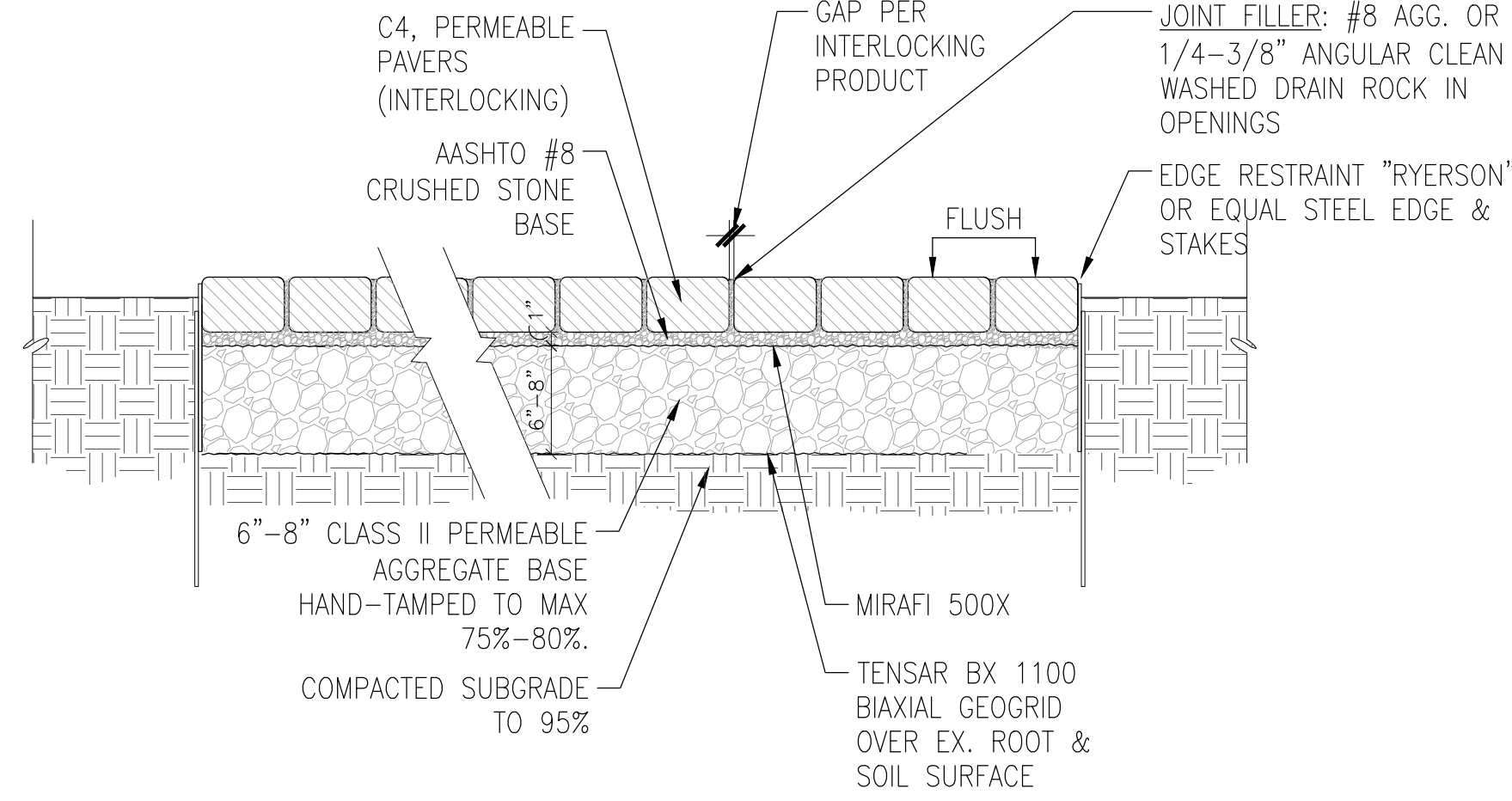
16320 OAKHURST DR.  
 APN: 510-20-031

60 ELLENWOOD AV  
 APN: 510-20-069

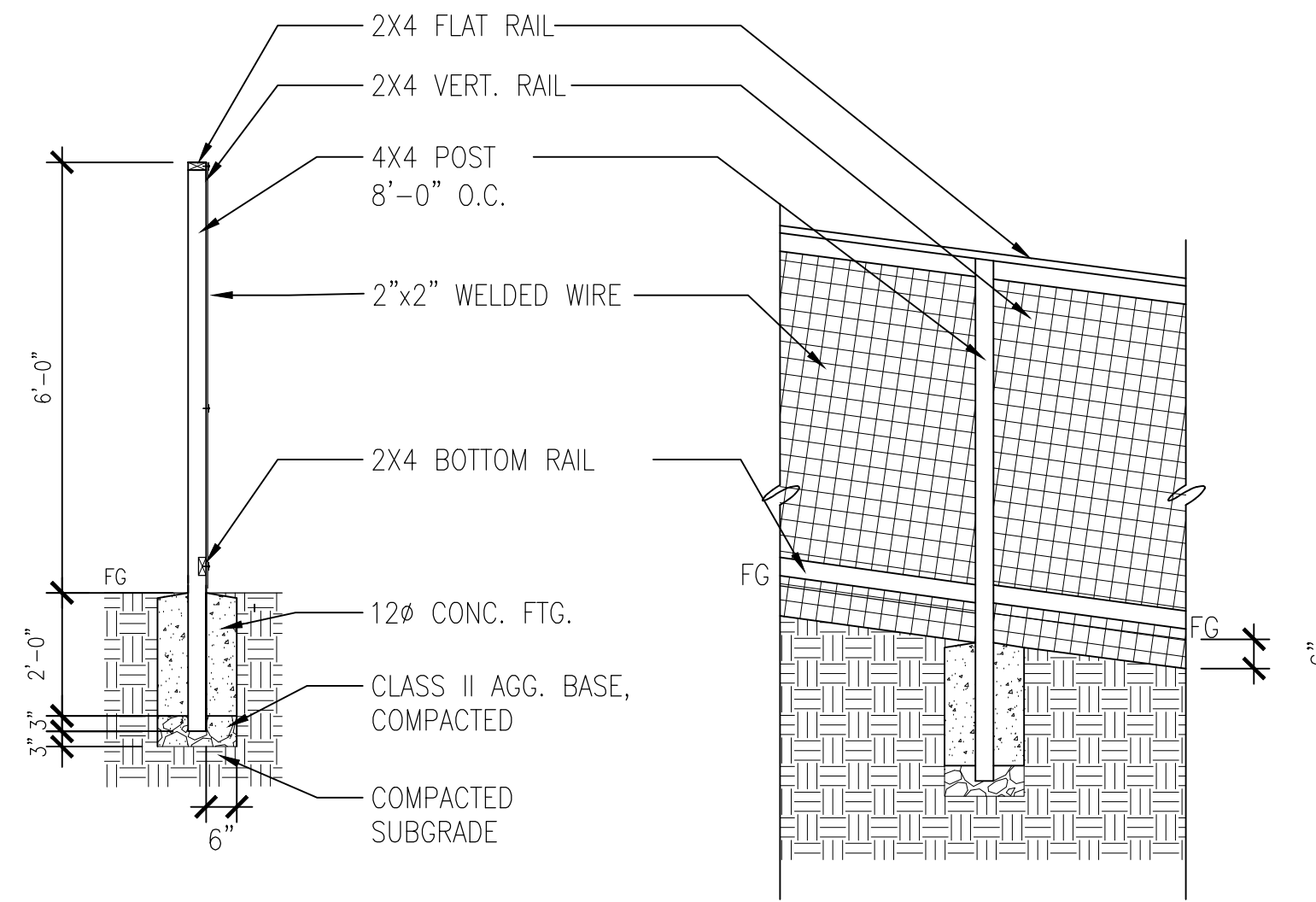
66 ELLENWOOD AVE  
 APN: 510-20-067



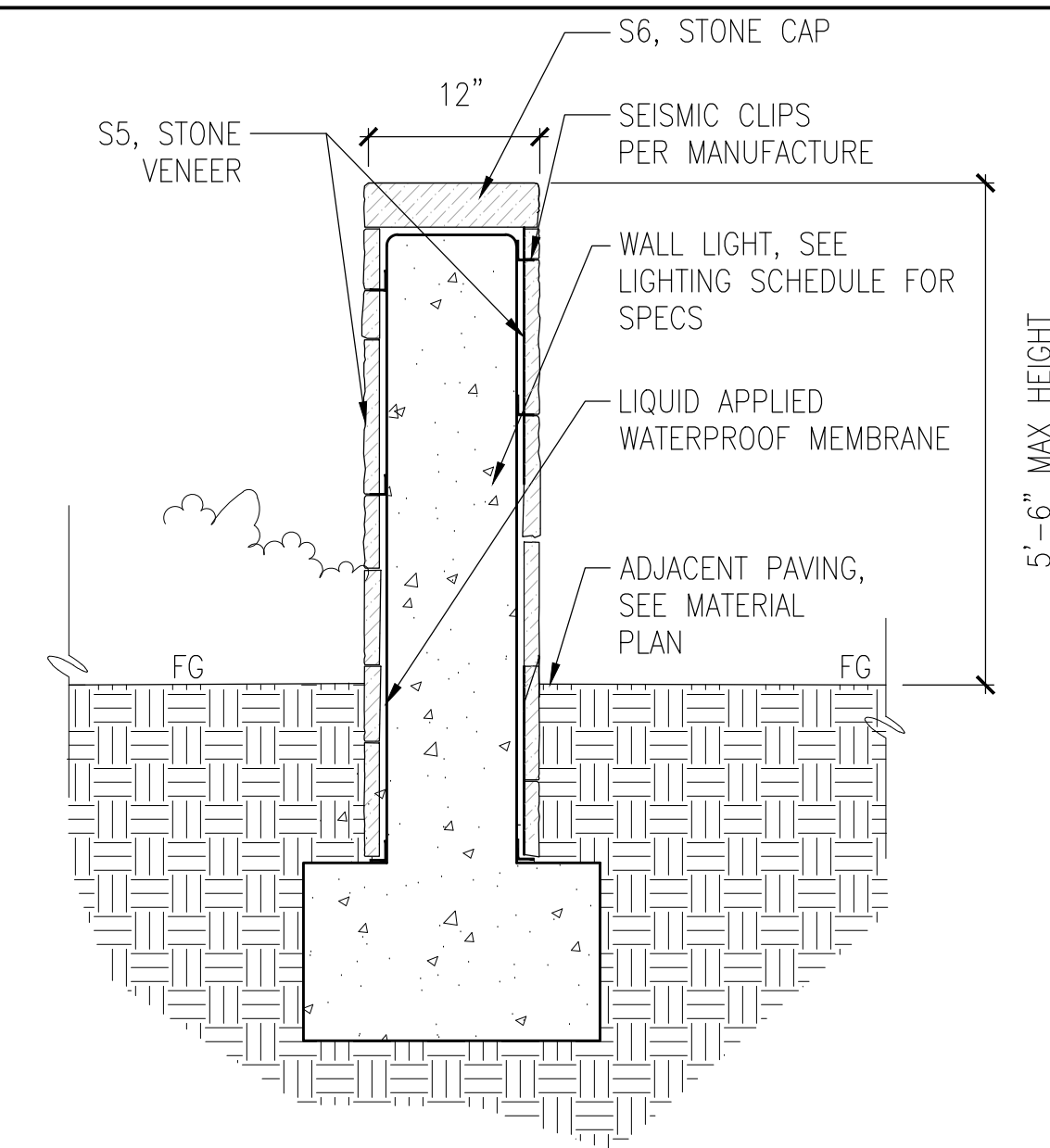
- NOTES:  
 1. LAYOUT OF SUBGRADE CONCRETE CURB IN THE FIELD WITH THE LANDSCAPE ARCHITECT IN ORDER TO OBTAIN ALIGNMENT WITH PAVING GRID PATTERN  
 2. ALL BASE ROCK TO BE CLEAN WASHED, PERMEABLE AND COMPACTED. PROTECT FROM CONTAMINATION OF FINES.



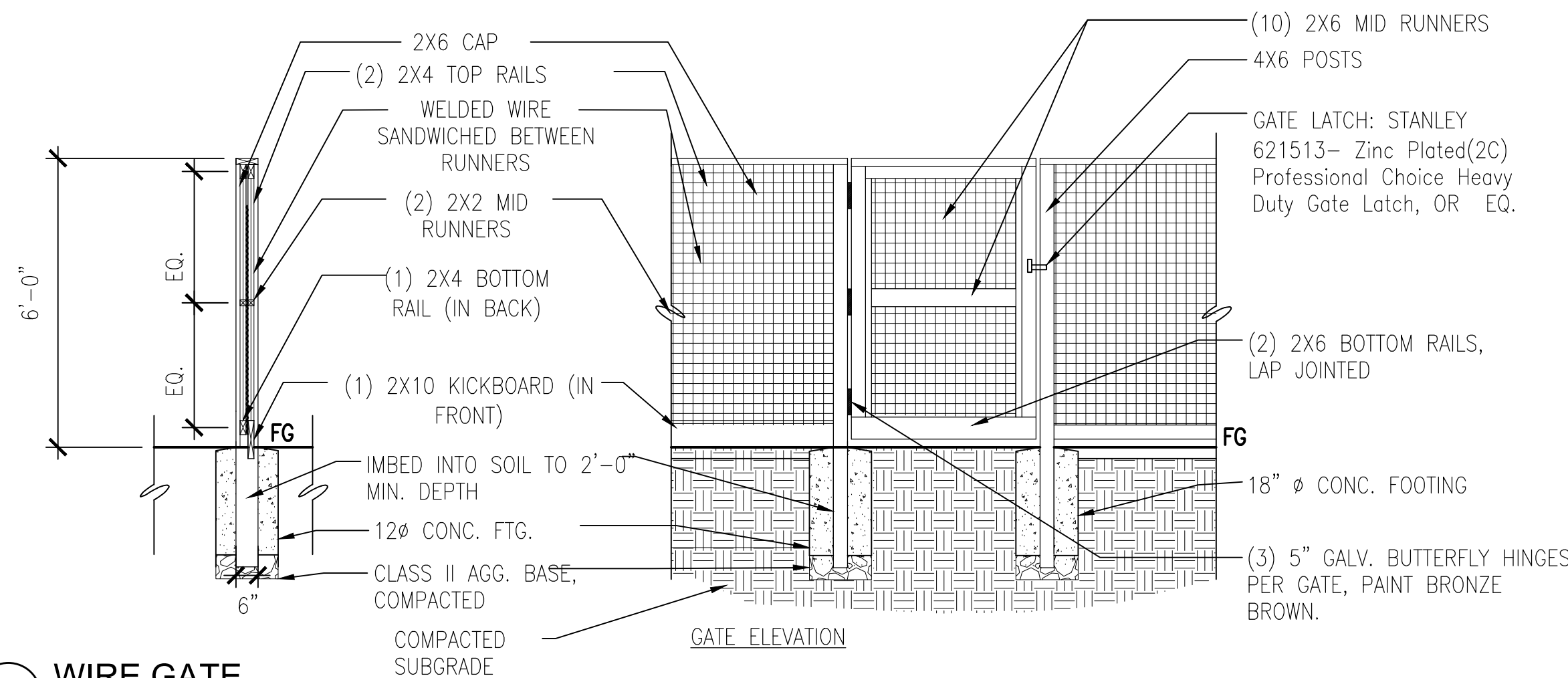
**7 PERMEABLE PAVER**  
 Scale: 1"=1'-0"



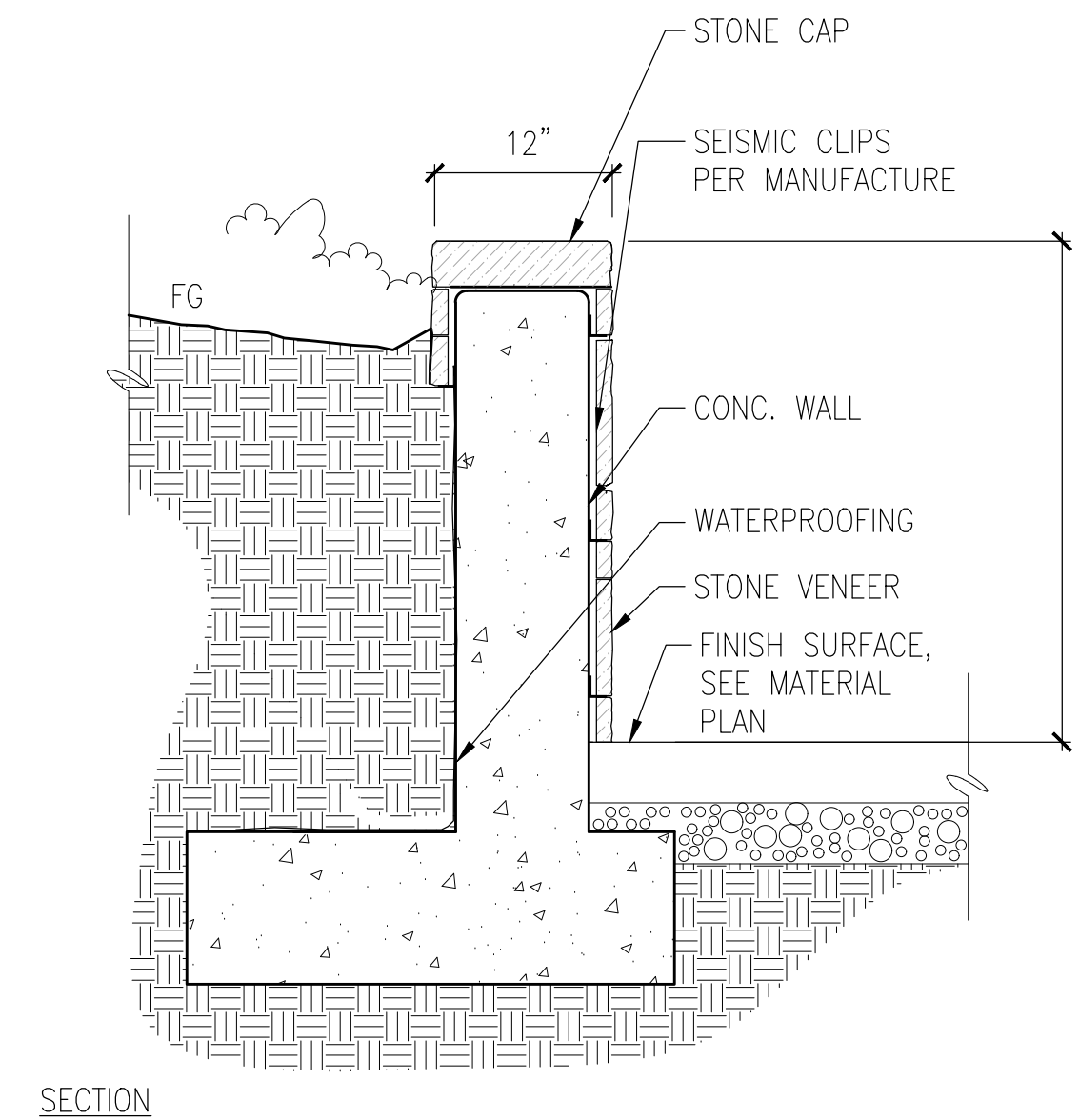
**4 WIRE FENCE**  
 Scale: 3/8"=1'-0"



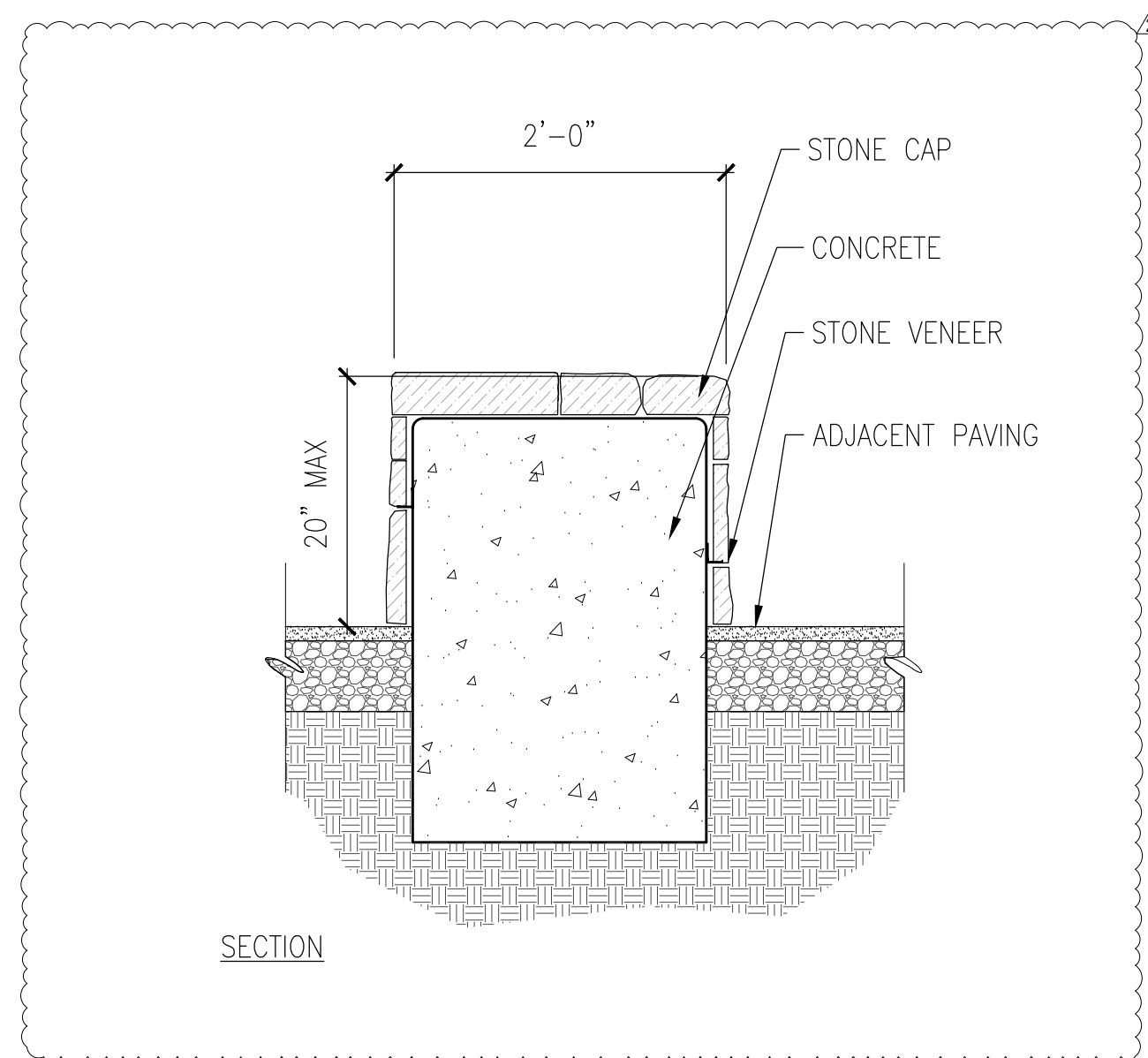
**1 STONE FREE STANDING WALL**  
 Scale: 1"=1'-0"



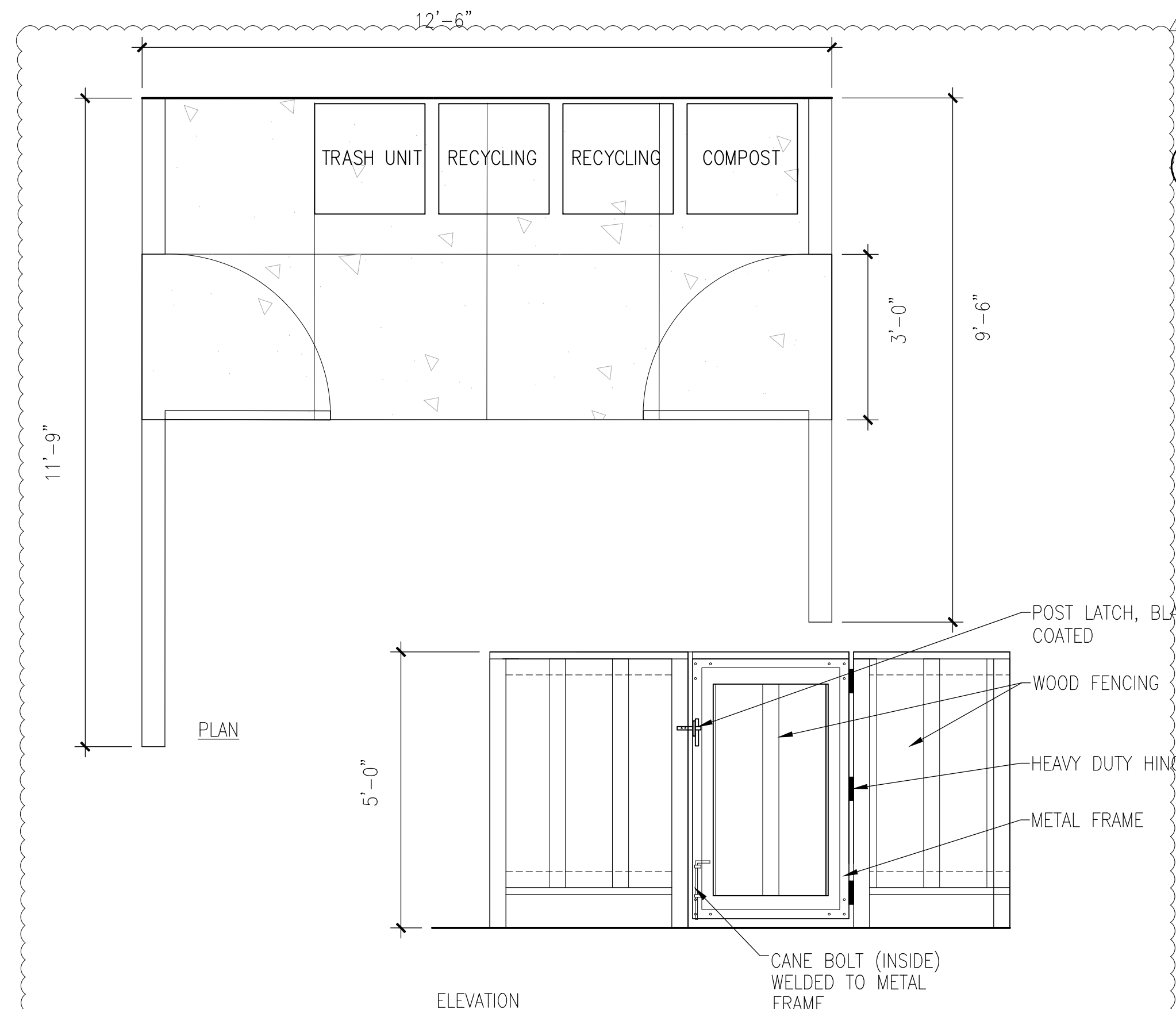
**5 WIRE GATE**  
 Scale: 3/8"=1'-0"



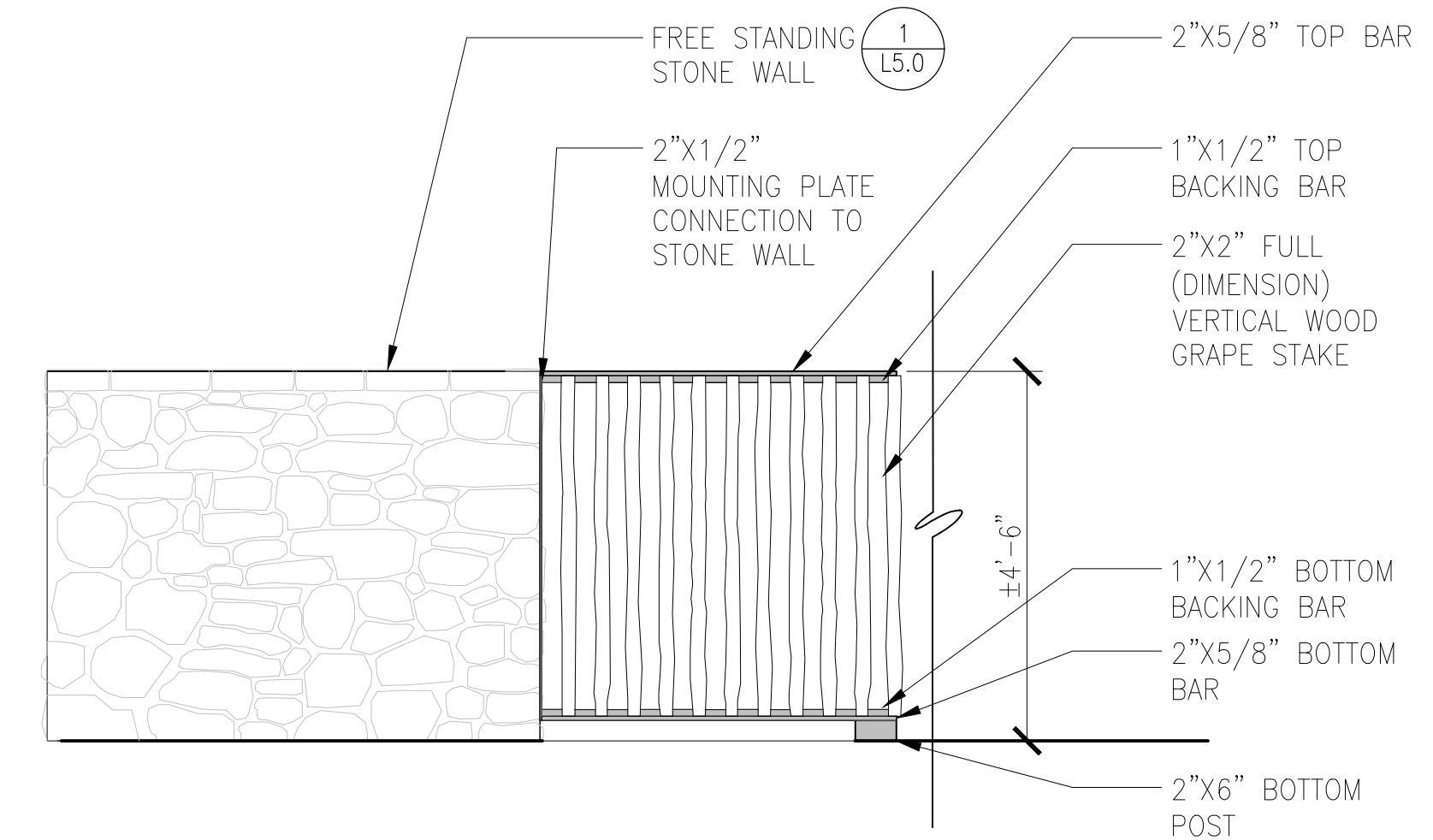
**2 STONE RETAINING WALL**  
 Scale: 1"=1'-0"



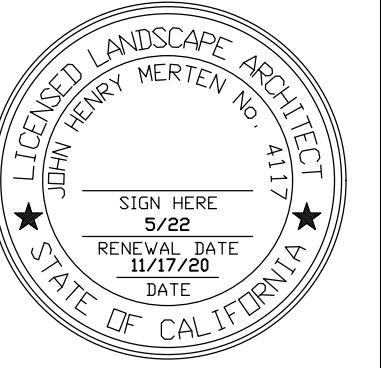
**8 STONE BENCH**  
 Scale: 1"=1'-0"



**6 TRASH ENCLOSURE**  
 Scale: 1/2"=1'-0"



**STUDIO GREEN**  
 Landscape Architecture  
 232 Sir Francis Drake Blvd.  
 San Anselmo, CA 94960  
 Phone: (415) 721-0905  
 Fax: (415) 721-0910  
 Web: studiogreen.com  
 Email: info@studiogreen.com



**SWENSEN RESIDENCE**  
 62 Ellenwood Avenue  
 Los Gatos, CA  
 APN: 510-20-068

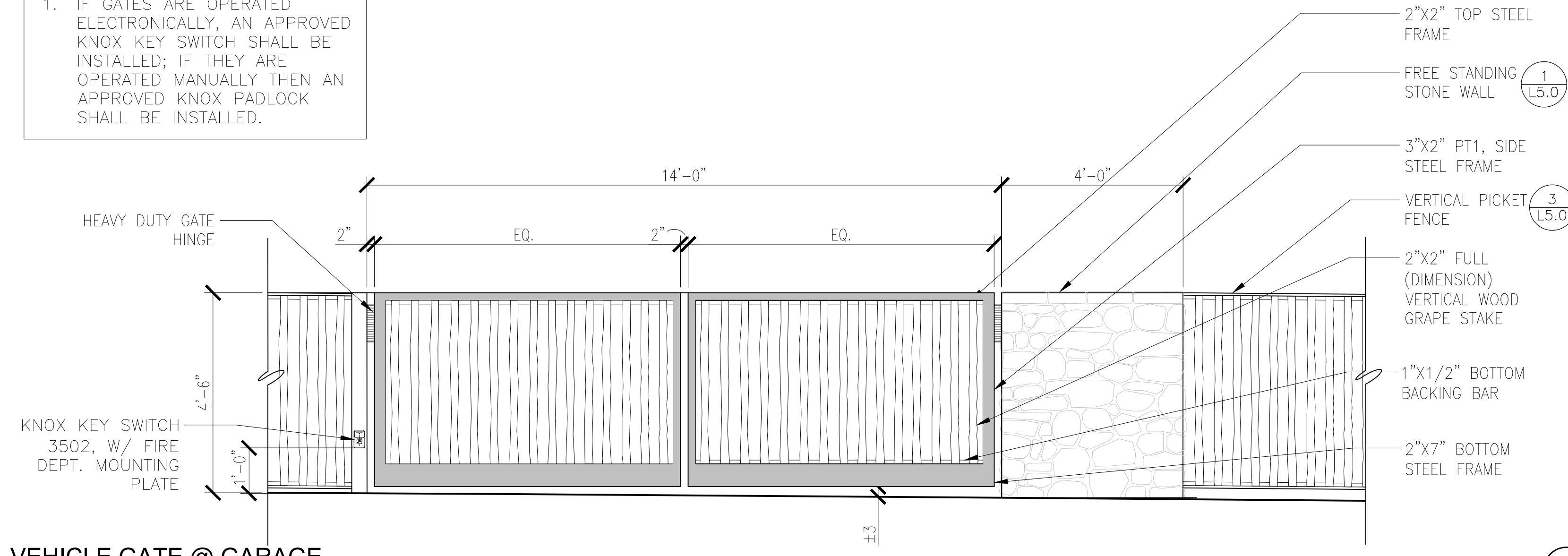
Date: 04.23.20 Issue: Technical Review  
 08.18.20 T.R. Comments  
 11.17.20 Revision

**DETAILS**

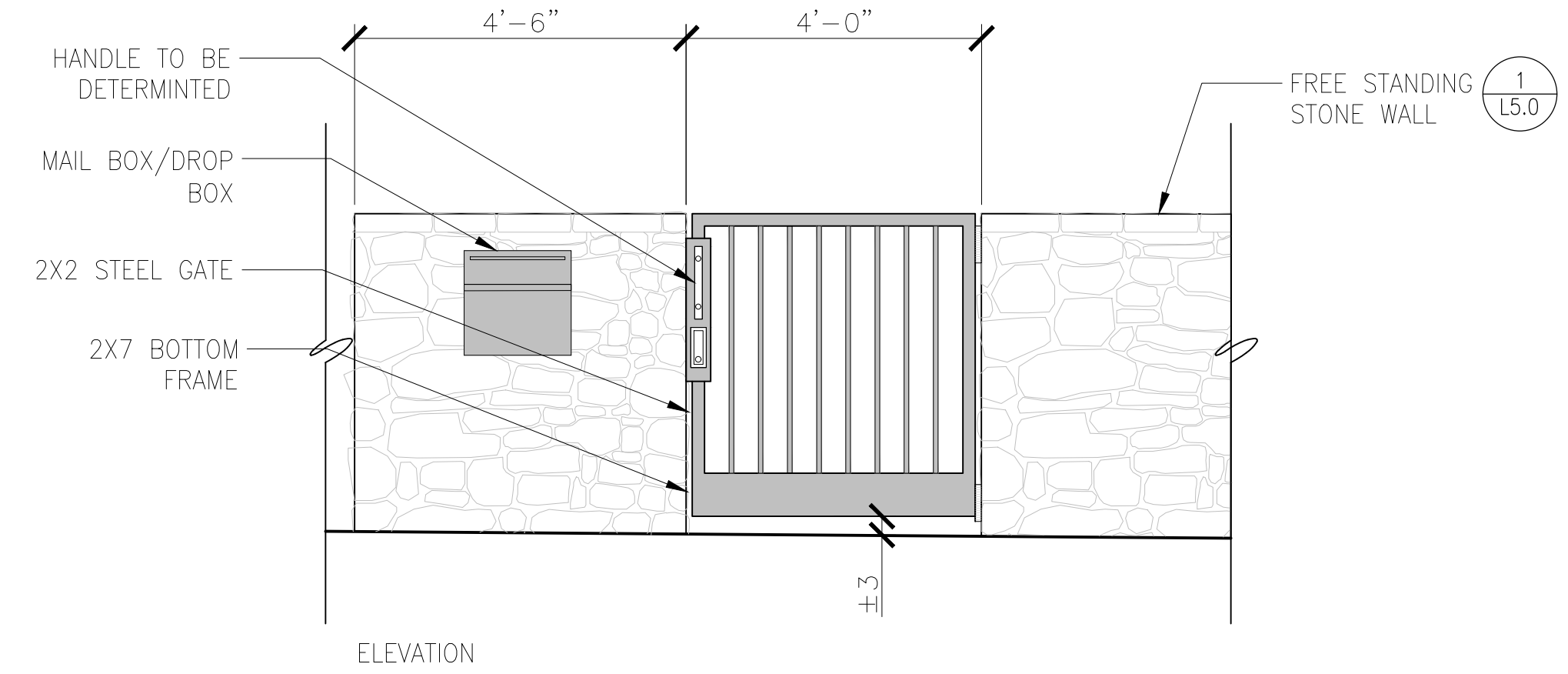
Drawn by: RP  
 Checked by: JM

**L5.0**

NOTE:  
 1. IF GATES ARE OPERATED ELECTRONICALLY, AN APPROVED KNOX KEY SWITCH SHALL BE INSTALLED; IF THEY ARE OPERATED MANUALLY THEN AN APPROVED KNOX PADLOCK SHALL BE INSTALLED.

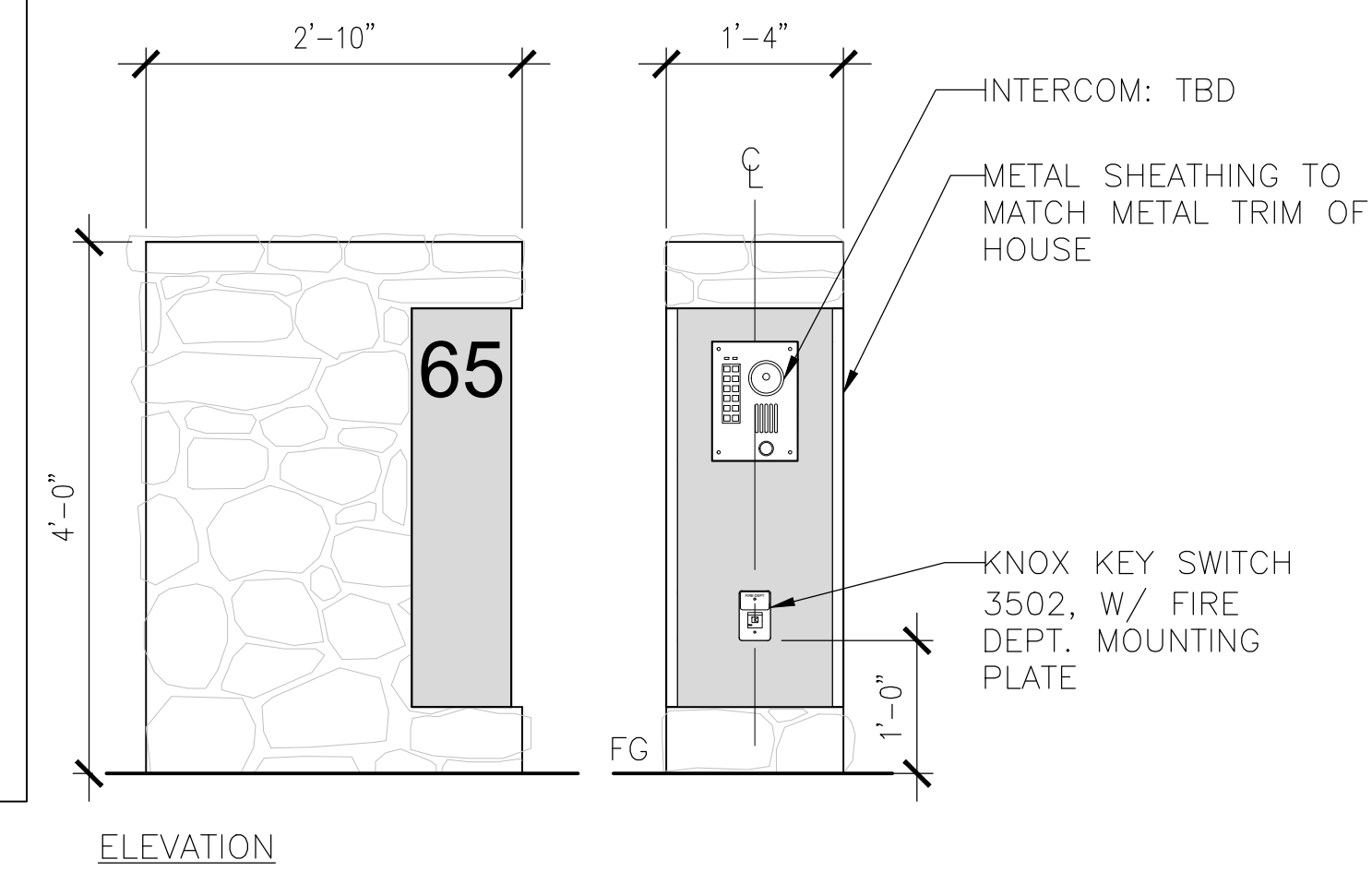


**4 VEHICLE GATE @ GARAGE**  
 Scale: 1/2"=1'-0"



**1 PEDESTRIAN GATE/DROP-BOX**  
 Scale: 1/2"=1'-0"

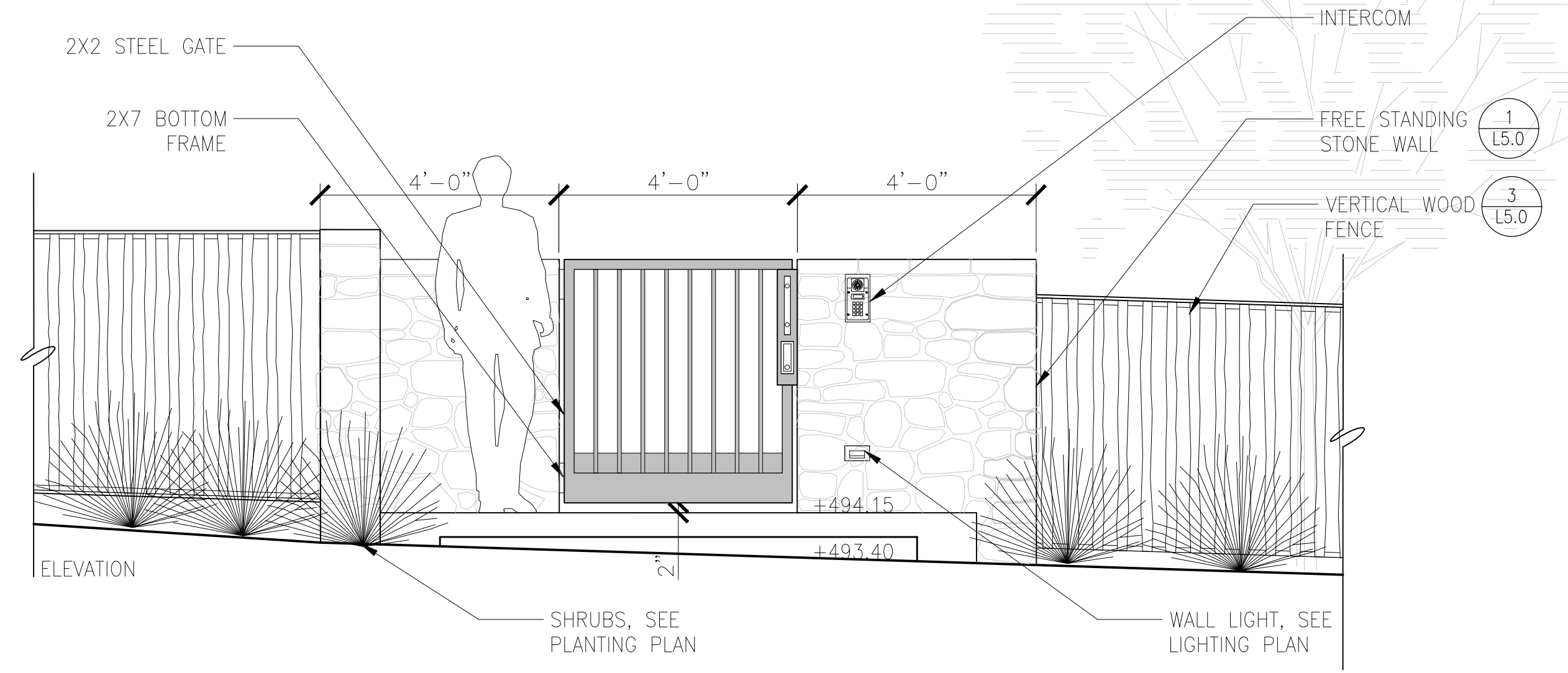
NOTE:  
 1. ADDRESS IDENTIFICATION: NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THE BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MINIMUM OF 4 INCHES (101.6MM) HIGH AND A MINIMUM STROKE WIDTH OF 0.5 INCH (12.7 MM). WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. CFC SEC 505.1.  
 2. IF GATES ARE OPERATED ELECTRONICALLY, AN APPROVED KNOX KEY SWITCH SHALL BE INSTALLED; IF THEY ARE OPERATED MANUALLY THEN AN APPROVED KNOX PADLOCK SHALL BE INSTALLED.



**5 VEHICLE GATE INTERCOM**  
 Scale: 3/4"=1'-0"



PERSPECTIVE

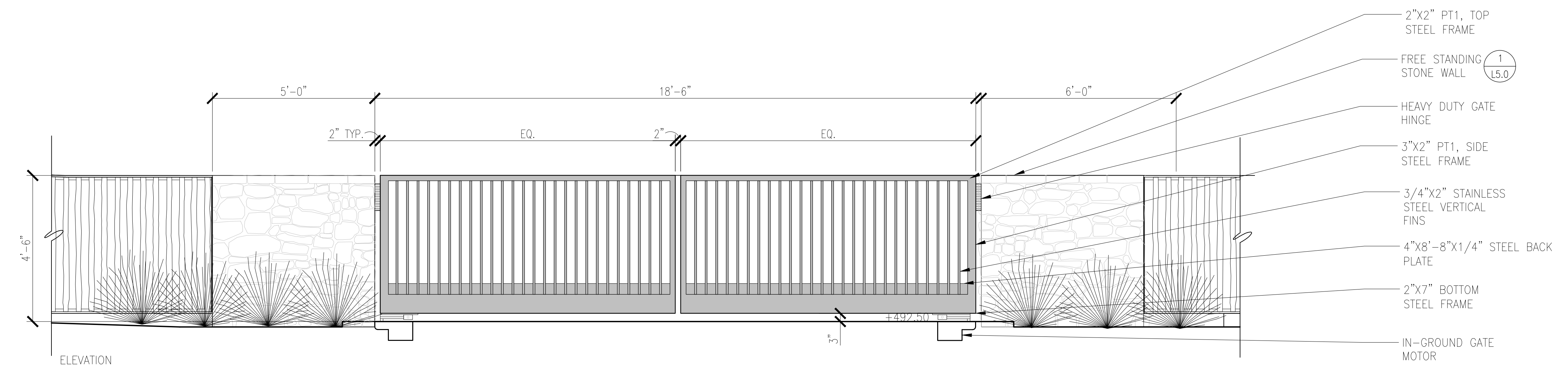


**2 PEDESTRIAN GATE @ MAIN ENTRY**  
 Scale: 1/2"=1'-0"

NOTE:  
 1. LGTC SEC 29.40.0315 (C) 3 REQUIRES A MINIMUM SET BACK OF 18' FROM THE EDGE OF THE STREET TO THE GATE.  
 2. SEE 5/L5.1 FOR APPROVED KNOX BOX KEY SWITCH LOCATION

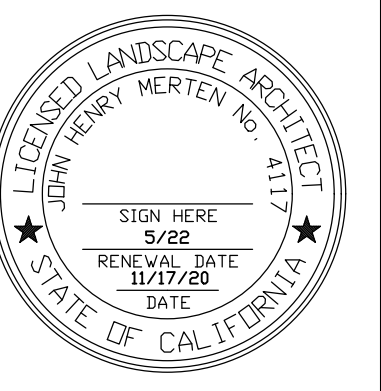


PERSPECTIVE



**3 VEHICLE GATE**  
 Scale: 1/2"=1'-0"

**STUDIO GREEN**  
 Landscape Architecture  
 232 Sir Francis Drake Blvd.  
 San Anselmo, CA 94960  
 Phone: (415) 721-0905  
 Fax: (415) 721-0910  
 Web: studiogreen.com  
 Email: info@studiogreen.com



**SWENSEN RESIDENCE**  
 62 Ellenwood Avenue  
 Los Gatos, CA  
 APN: 510-20-068

Date: 04.23.20 Issue: Technical Review  
 08.18.20 T.R. Comments  
 11.17.20 Revision

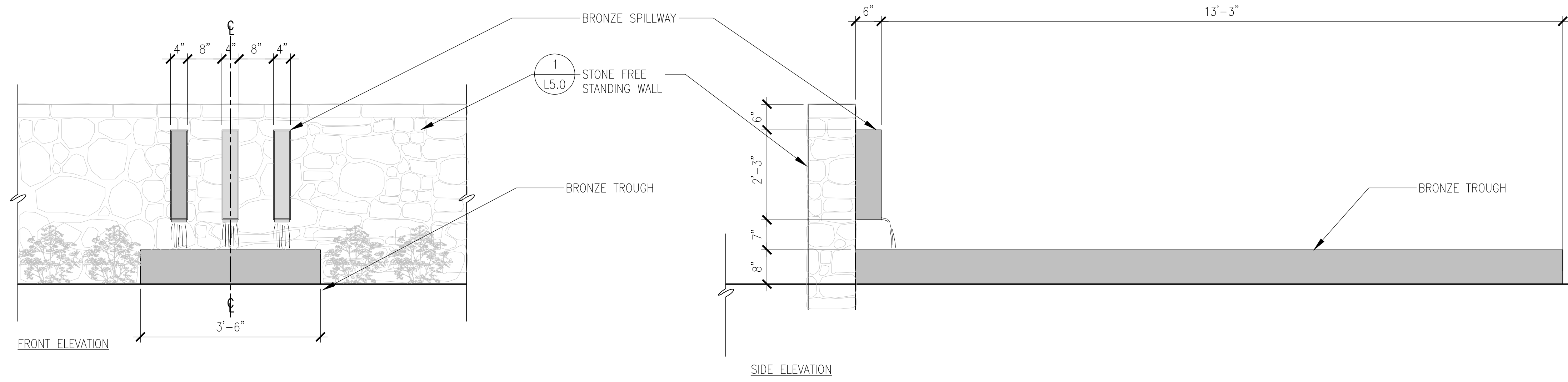
**DETAILS**

Drawn by: RP  
 Checked by: JM

**L5.1**



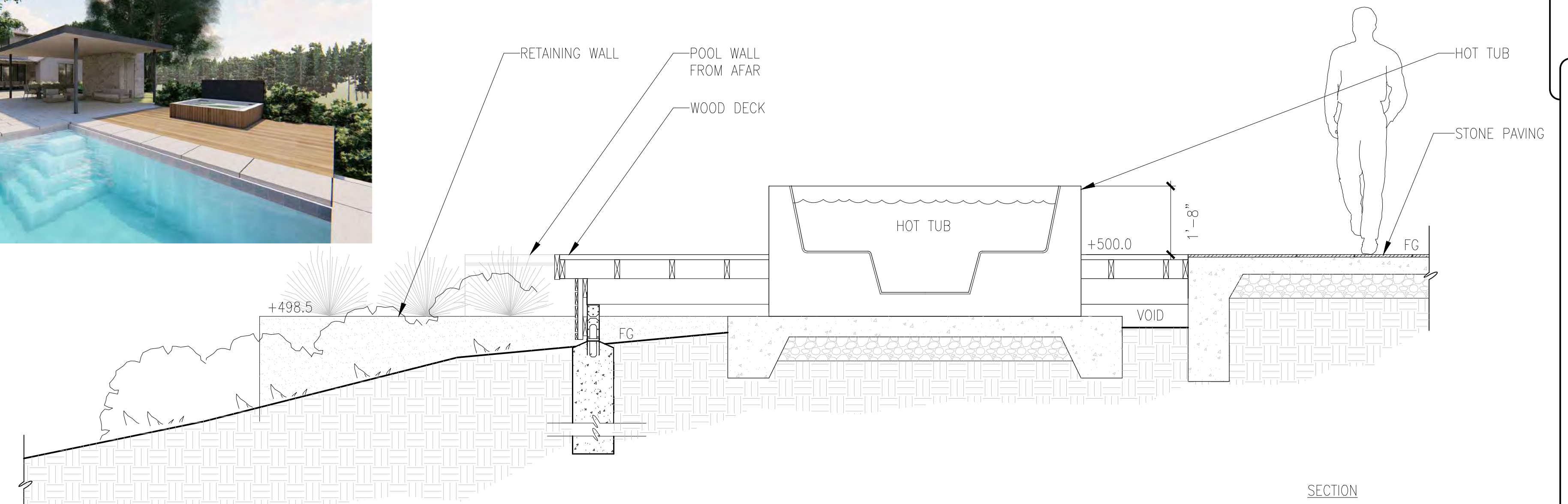
PERSPECTIVE



**1 WATER FEATURE**  
Scale: 3/4"=1'-0"



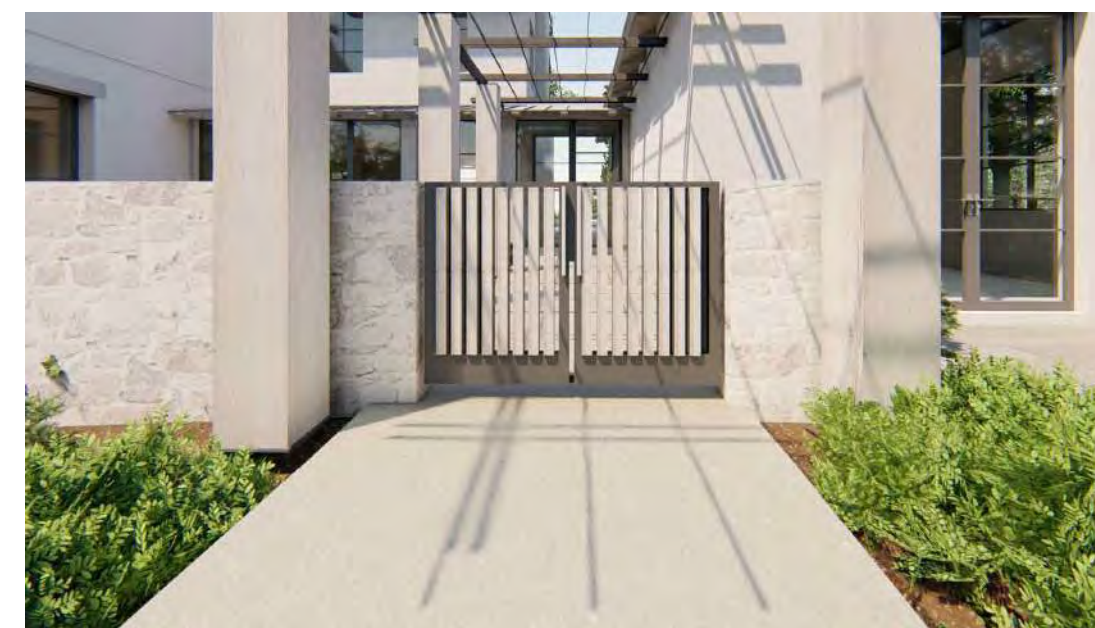
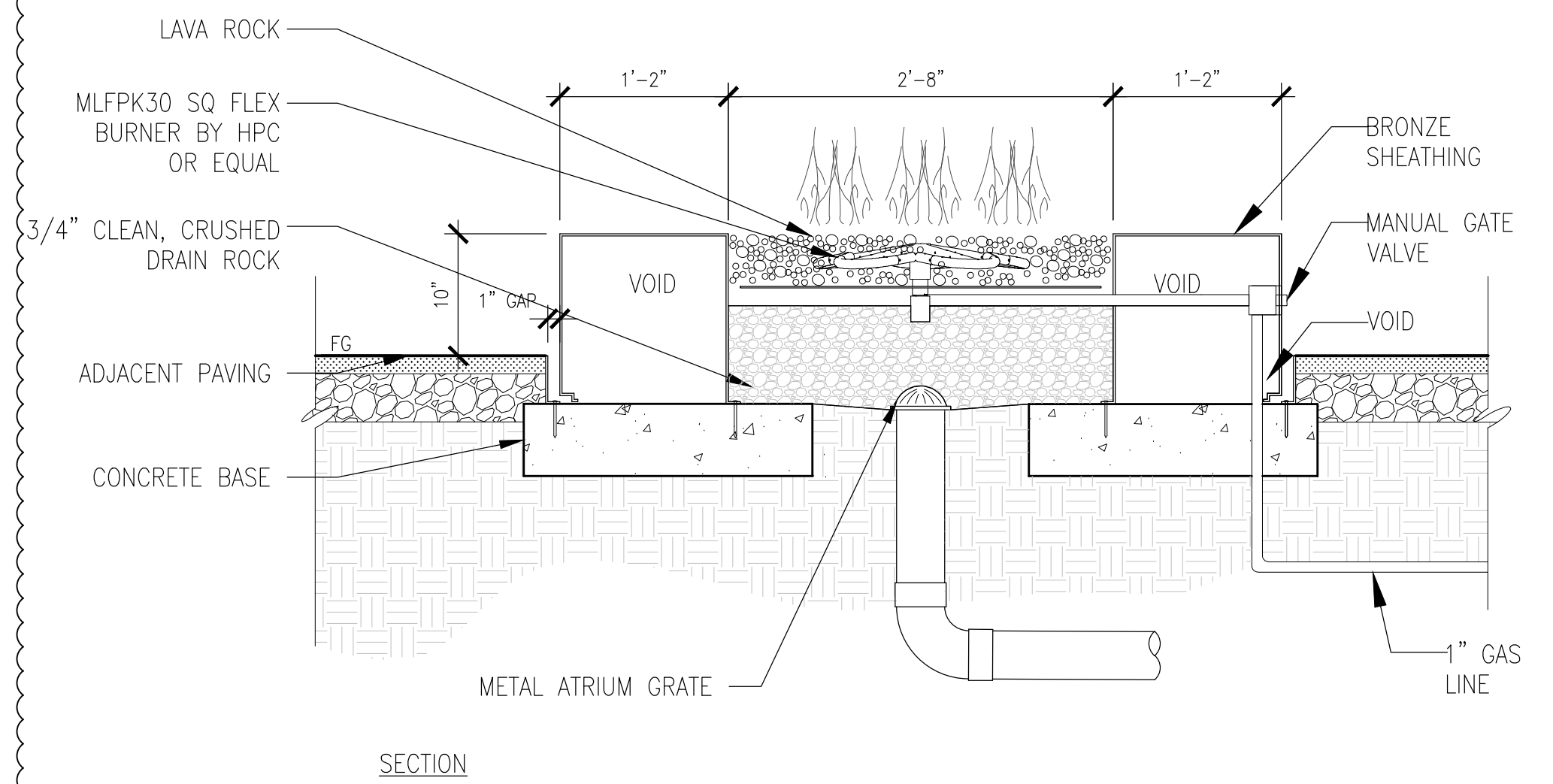
PERSPECTIVE



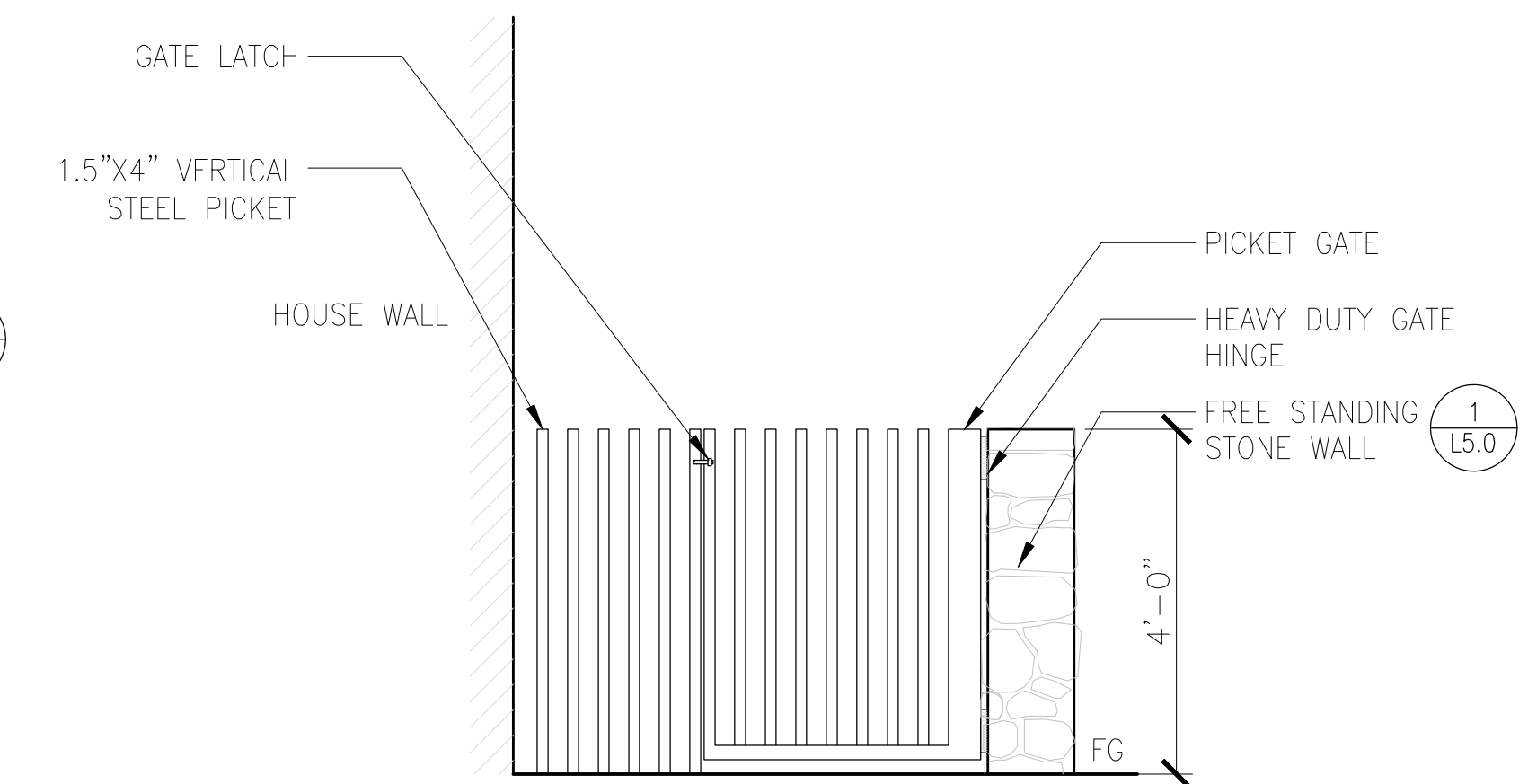
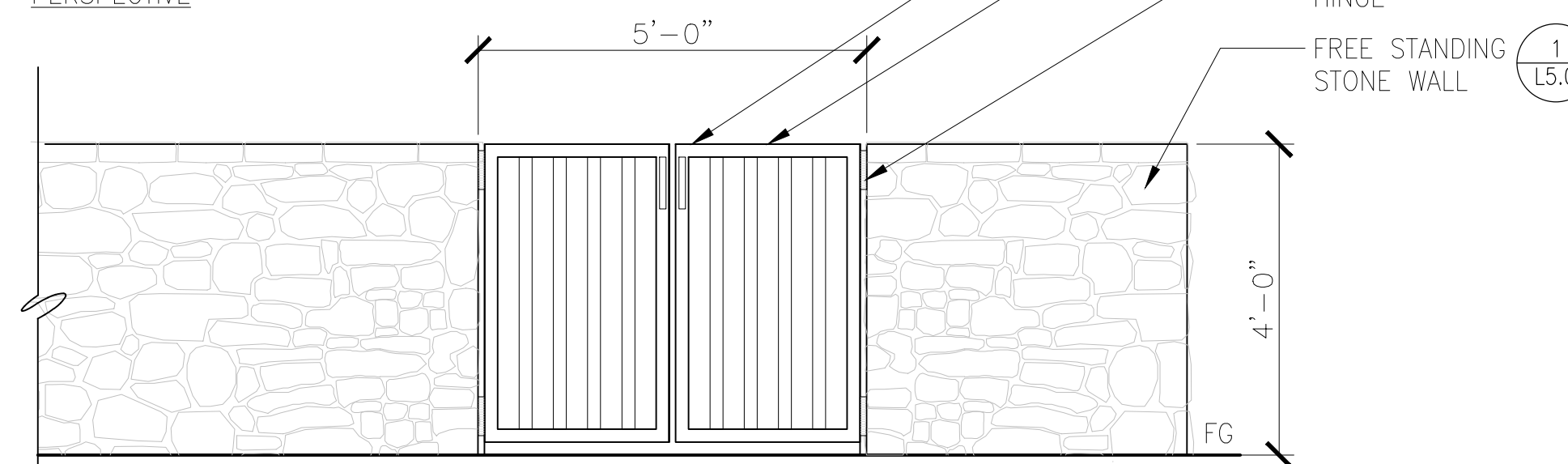
**2 HOT TUB @ DECK**  
Scale: 1/2"=1'-0"



PERSPECTIVE



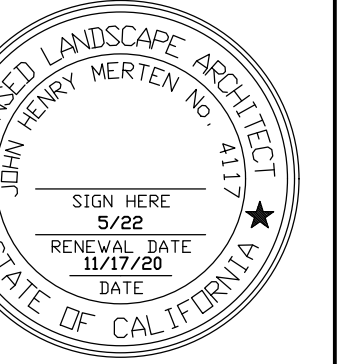
FRONT PEDESTRIAN GATE PERSPECTIVE



**3 PEDESTRIAN GATES @ MAIN HOUSE**  
Scale: 1/2"=1'-0"

**4 FIRE PIT**  
Scale: NTS

**STUDIO GREEN**  
Landscape Architecture  
232 St Francis Drake Blvd.  
San Anselmo, CA 94960  
Phone: (415) 721-0905  
Fax: (415) 721-0910  
Web: studiogreen.com  
Email: info@studiogreen.com



**SWENSEN RESIDENCE**  
62 Eilenwood Avenue  
Los Gatos, CA  
APN: 510-20-068

Date: 04.23.20 Issue: Technical Review  
08.18.20 T.R. Comments  
11.17.20 Revision

**DETAILS**

Drawn by: RP  
Checked by: JM

**L5.2**

**S.R. Smith**  
**ASSEMBLY AND INSTALLATION INSTRUCTIONS**  
**656/658 SUPREME FIBERGLASS JUMP STAND**

**CAUTION**

ALL MINIMUM WATER ENVELOPE DIMENSIONS FOR RESIDENTIAL INGROUND SWIMMING POOLS MUST MEET THE AMERICAN NATIONAL STANDARD FOR RESIDENTIAL INGROUND SWIMMING POOLS (INTERNATIONAL THROUGHOUT THESE INSTRUCTIONS) AND INSTALLATION MUST COMPLY WITH ANSIS/APSP-2007. All diving boards and related equipment are manufactured for swimming pools ONLY. The S.R. Smith 656/658 Supreme Fiberglass Jump Stands are designed to be easily transported and installed. Follow all instructions carefully and inspect closely to ensure proper and safe installation. PROPER INSTALLATION CANNOT BE OVERSTATED. IMPROPER INSTALLATION VOIDS S.R. SMITH'S WARRANTY AND MAY AFFECT THE SAFETY OF THE USER.

CORPORATE HEADQUARTERS  
 WESTERN SALES AND MANUFACTURING PLANT  
 P.O. Box 400 • 617 SW Gang Parkway  
 Canby, Oregon 97103  
 (503) 266-2231 • Fax (503) 266-4334  
 www.srsmith.com

ATTENTION! THESE INSTRUCTIONS MUST REMAIN WITH STAND OWNER.

06-336 MAY05

ANSI/APSP/ICC-5 2011

Figure 3 Minimum diving board envelope

Minimum Water Surface Slope - Plan View  
 NOTE: 1/4" equals to 1'-0" on wall.

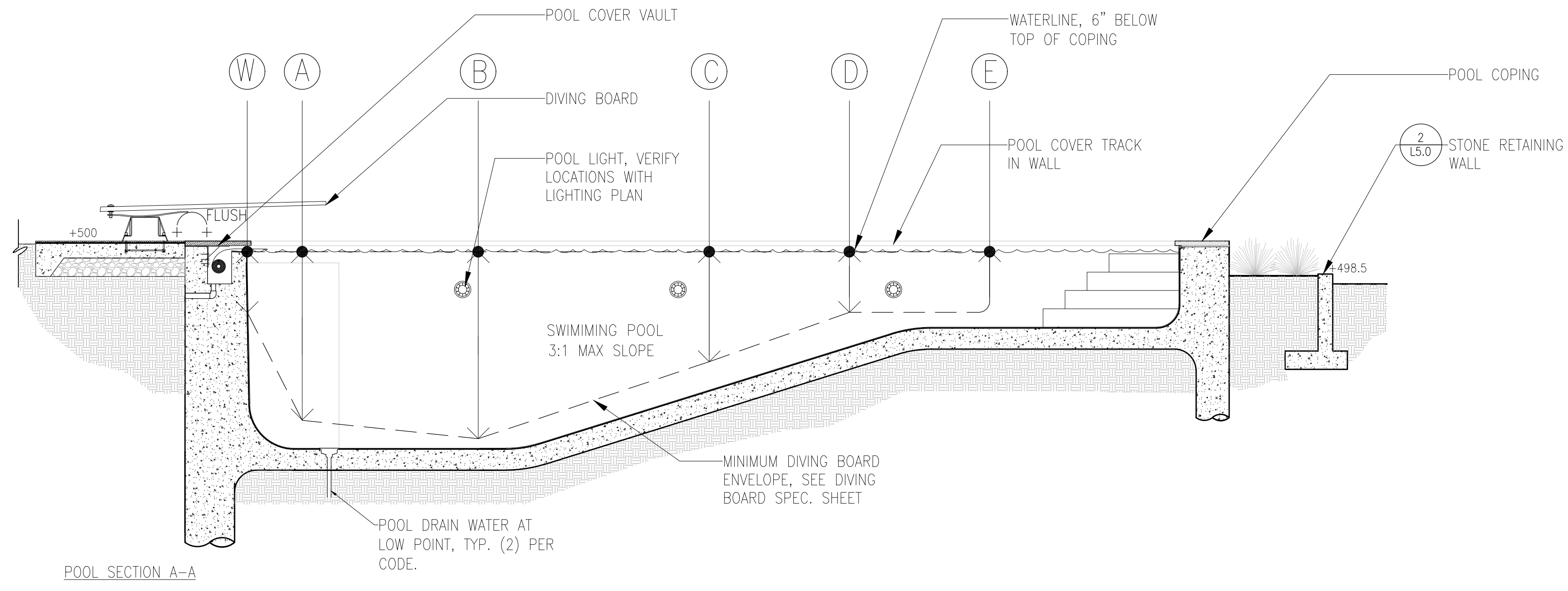
Minimum Water Depth - Section A-A

Minimum Water Depth - Section B-B

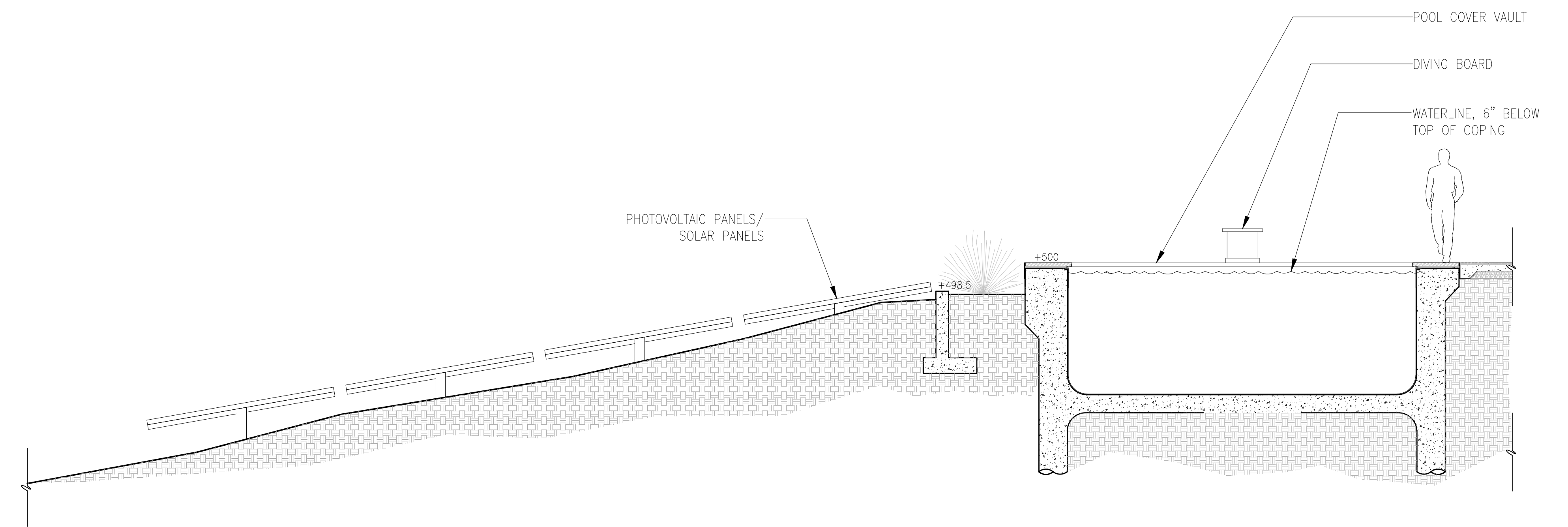
Table 3. Minimum diving water envelope for permitting public designated types 1-4

Pool Type	Minimum Depth at Point				Minimum Width at Point				Minimum Length between Points							
	A	B	C	D	A	B	C	D	WA	AB	BC	CD	DE	WE	WD	
1	4'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"
2	4'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"
3	4'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"
4	4'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"

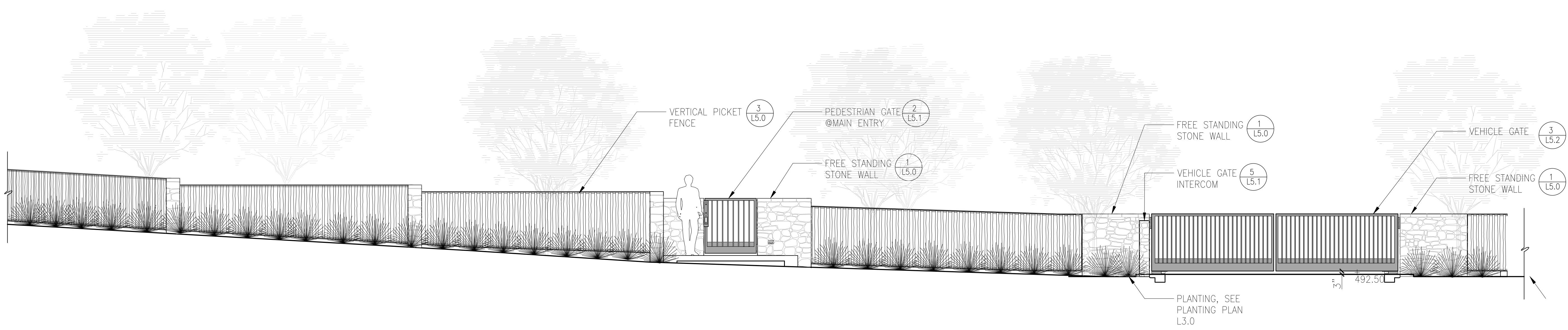
NOTES:  
 1. Minimum depth between points CD (high light) shall be at least 4'-0" at any point between points CD.  
 2. Slope shall be 1/4" to 1'-0".  
 3. Regional codes may vary from those shown. It is the responsibility of the designer to verify the minimum depth at the minimum depth location.  
 4. Pool type designations for water envelope are as specified in the International Building Code (IBC).



1 SECTION A-A  
 Scale: 1/4"=1'-0"



2 SECTION B-B  
 Scale: 1/4"=1'-0"



3 ELEVATION C-C  
 Scale: 1/4"=1'-0"

**STUDIO GREEN**  
 Landscape Architecture  
 232 Sir Francis Drake Blvd.  
 San Anselmo, CA 94960  
 Phone: (415) 721-0910  
 Fax: (415) 721-0910  
 Web: [studiogreen.com](http://studiogreen.com)  
 Email: [info@studiogreen.com](mailto:info@studiogreen.com)

LICENSED LANDSCAPE ARCHITECT  
 JOHN HENRY MERTEN NO. 1117  
 SIGN HERE  
 RENEWAL DATE 11/17/20  
 STATE OF CALIFORNIA

**SWENSEN RESIDENCE**  
 62 Ellenwood Avenue  
 Los Gatos, CA  
 APN: 510-20-068

Date: 04.23.20 Issue: Technical Review  
 08.18.20 T.R. Comments  
 11.17.20 Revision

**SECTION/  
 ELEVATIONS**

Drawn by: RP  
 Checked by: JM  
**L5.3**