



**TOWN OF LOS GATOS**  
**HISTORIC PRESERVATION COMMITTEE**  
**REPORT**

MEETING DATE: 12/18/2024

ITEM NO: 6

DATE: December 13, 2024

TO: Historic Preservation Committee

FROM: Joel Paulson, Community Development Director

SUBJECT: Requesting Preliminary Review for Construction of a New Second-Story Addition to an Existing Pre-1941 Single-Family Residence on Property Zoned R-1D. **Located at 34 Pleasant Street.** APN 529-26-018. Exempt Pursuant to CEQA Guidelines, Section 15301: Existing Facilities. Request for Review Application PHST-24-023. Property Owner: Michael Hyman. Applicant: Maia Gendreau. Project Planner: Ryan Safty.

RECOMMENDATION:

Requesting preliminary review for construction of a new second-story addition to an existing pre-1941 single-family residence on property zoned R-1D located at 34 Pleasant Street.

PROPERTY DETAILS:

1. Date primary structure was built: 1920 per County Assessor's Database
2. Town of Los Gatos Historic Status Code: + rating, historic and intact or worthy of special note.
3. Does property have an LHP Overlay? No
4. Is structure in a historic district? No
5. If yes, is it a contributor? N/A
6. Findings required? No
7. Considerations required? Yes

BACKGROUND:

The Santa Clara County's Accessors Database lists a construction date of 1920 for the residence. According to the Sanborn Fire Insurance Maps, the property was vacant until the 1928-1944 map update. The footprint on the 1928-1944 and 1928-1956 maps shows the house in its current condition (Attachment 1).

PREPARED BY: Ryan Safty  
Associate Planner

The property is included in the 1991 Anne Bloomfield Historic Survey (Attachment 2), showing that the bungalow style residence has an estimated construction date of the 1920s and has a preliminary rating of “historic and intact or worthy of special note.”

Town records only show a re-roof permit from 1982 (Attachment 3). The applicant provided a summary of the property research (Attachment 4), as well as photographs of the property and surrounding neighborhood (Attachment 5).

#### DISCUSSION:

The subject property at 34 Pleasant Street is located on the east side of Pleasant Street, across the street from Los Gatos High School. The applicant is requesting a preliminary review by the Committee to provide feedback on a proposed remodel at the back of the house, rear addition, and second-story addition to the existing one-story house.

The project proposes an internal remodel at the rear of the house, and a 521-square foot one-story addition to the rear. The project also proposes a new 740-square foot second-story addition towards the back of the residence, with the beginning of the second-story being placed approximately 20 feet behind the front wall of the existing residence (Attachment 6).

The existing one-story house is approximately 14 feet, nine inches in height with two front gables. The entire existing front façade would be maintained with this proposed project. The existing house has stucco siding, wood frame windows, and a membrane roof.

The proposed residence would be 24 feet, nine inches in height and would maintain the stucco siding. The roof would be composition shingle, and the windows would be replaced throughout the home with new fiberglass frame windows to match the existing windows.

The proposed project would fall below the Town’s demolition thresholds for historic residences.

#### ***Town’s Residential Design Guidelines***

The Committee should consider Section 3.9 of the Town’s Residential Design Guidelines, which provides recommendations for construction of additions to existing residences (Attachment 7). Including but not limited to the following recommendations:

- The existing built forms, components and materials should be reinforced. Heights and proportions of additions and alterations should be consistent with and continue the original architectural style and design.
- Additions should be subordinate, and compatible in scale and proportion to the historically significant portions of the existing structure.

- When an addition or remodel requires the use of newly constructed exterior elements, they should be identical in size, dimension, shape, and location as the original, and should utilize the same materials as the existing protected exterior elements.

**CONCLUSION:**

The applicant is requesting preliminary review for construction of an addition and remodel to an existing pre-1941 single-family residence located at 34 Pleasant Street. A new second-story addition, if not triggering a technical demolition, is processed under a Minor Residential Development application. This application would return to the Committee for a recommendation to be forwarded to the Community Development Director and the application would continue through the Minor Residential Development process.

**CONSIDERATIONS:**

A. Considerations

**Sec. 29.80.290. Standards for review.**

In evaluating applications, the deciding body shall consider the architectural style, design, arrangement, texture, materials and color, and any other pertinent factors. Applications shall not be granted unless:

- \_\_\_ For pre-1941 structures, the proposed work will neither adversely affect the exterior architectural characteristics or other features of the property which is the subject of the application.

B. Residential Design Guidelines

Section 3.9 of the Town's Residential Design Guidelines offers recommendations for construction of additions to existing residences (Attachment 5).

**ATTACHMENTS:**

1. Sanborn Fire Insurance Maps
2. Anne Bloomfield Historic Survey
3. Building Permit Records
4. Property Research
5. Pictures
6. Project Plans
7. Section 3.9, Residential Design Guideline

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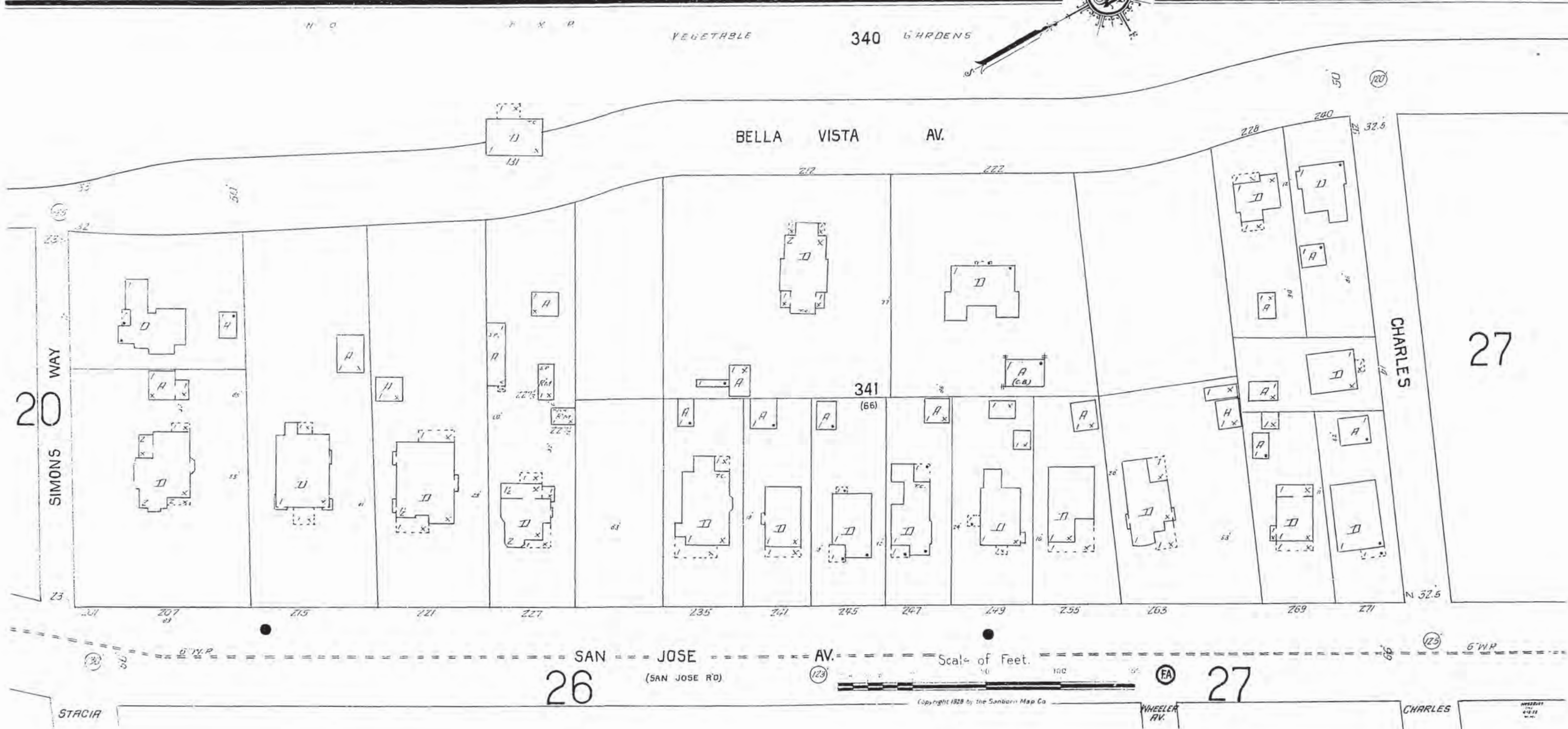
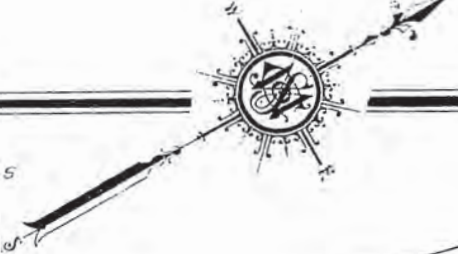
20

MARCH 1928  
LOS GATOS  
CALIF.



25

26



27

27



20 CAL. 520

53

20

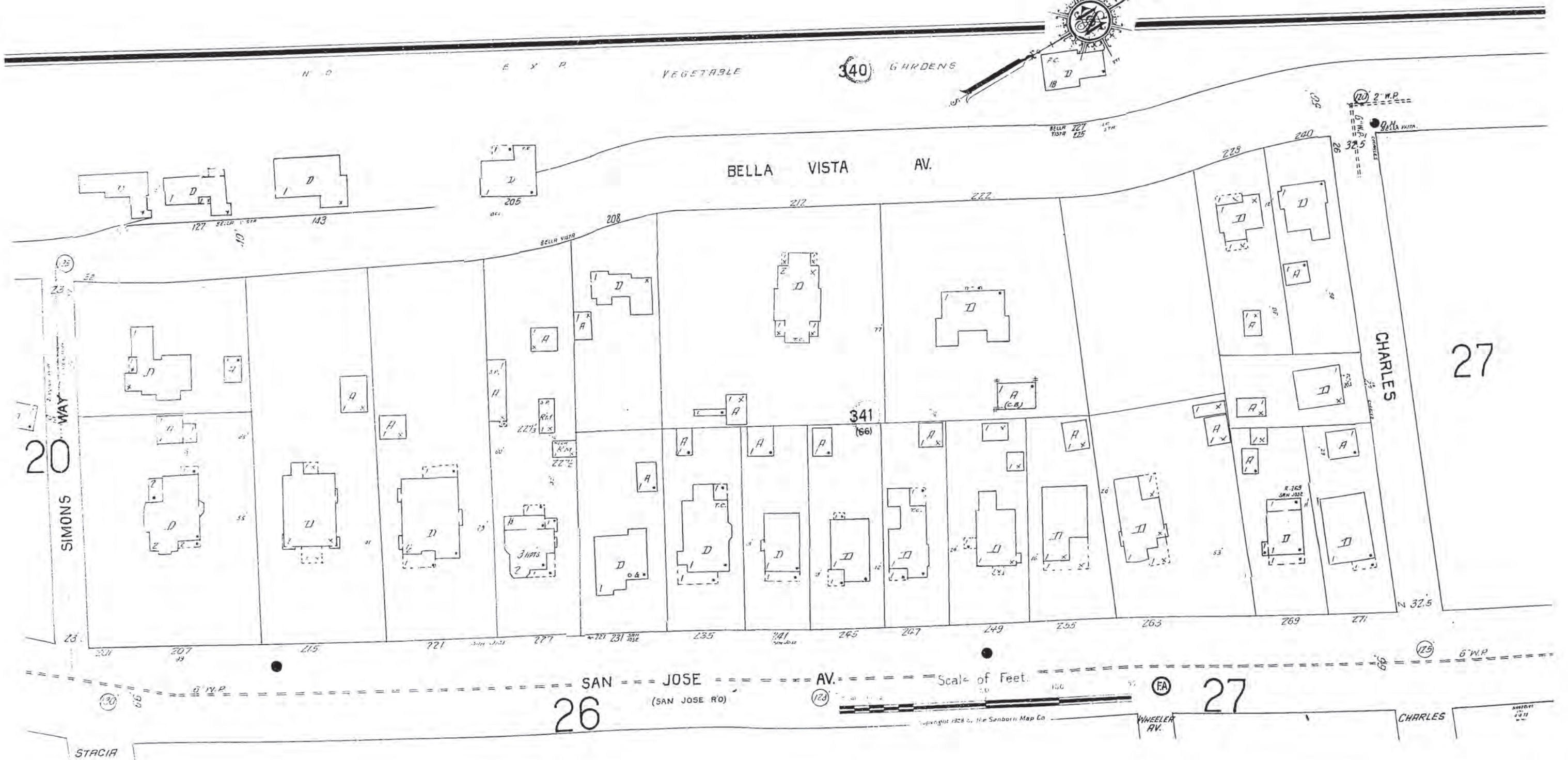
MARCH 1928  
LOS GATOS  
CALIF.

19



25

26



27

26

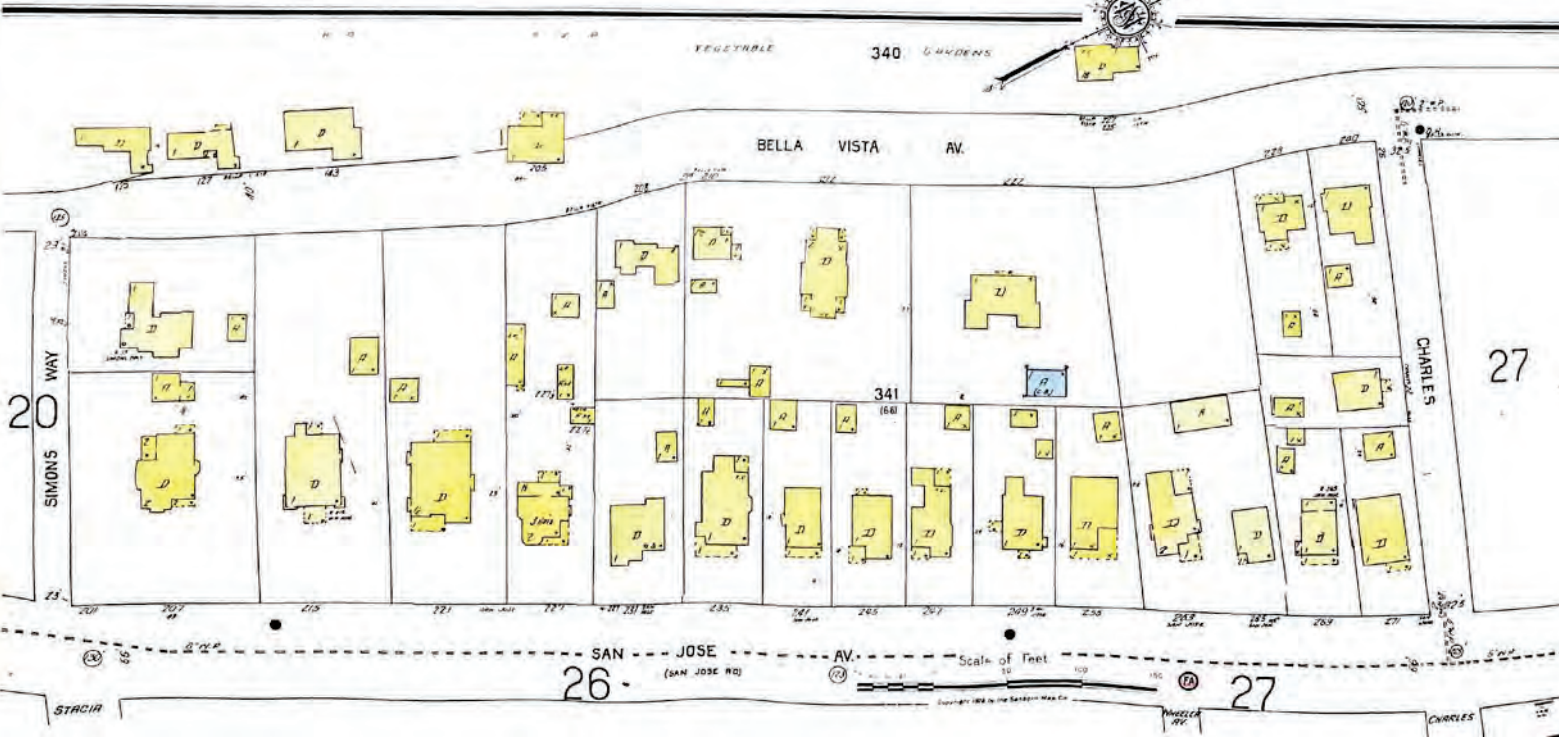
27



20

20

MARCH 1928  
LOS GATOS  
CALIF.



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*Anne Bloomfield*

ARCHITECTURAL/CULTURAL SURVEY  
LOS GATOS RESEARCH

File address 34 Pleasant

PARCEL MAP INFORMATION

Parcel # 529-26-018 Lot size: 50 front ft. x 143-15<sup>2</sup> ft. deep

Lot shape: Rectangle ff L ff Rectangle with small rear jog ff Other ff

Location: N ff S ff E ff W ff side of P St ff Ave ff Other ff

distance to cross st: 250 ft. N ff S ff E ff W ff from New York

at NE ff NW ff SE ff SW ff corner of ff

HISTORIC INFORMATION ON PARCEL MAP

Old tract or subdivision name El Monte [or] Goldsworthy Dennis Old Block # ff Old lot # 18

FIELD SURVEY INFORMATION (handwritten in red)

Preliminary rating + Estimated age 1920s Style Bungalow # stories ff

Alterations ff

Other ff

COUNTY ASSESSOR--PROPERTY CHARACTERISTICS (paste on copy) Effective date ff

OWNERSHIP SHOWN ON MAPS

| Source Name | Source Date | Source Page | Location of property, or Old tract/block/lot | Lot Size | Owner Name |
|-------------|-------------|-------------|--|----------|------------|
|             | 1891        |             |  |          |            |
| Blk Book    | 1908        |             |  |          |            |
| Survey      | 1944        |             |  |          |            |
|             |             |             |  |          |            |
|             |             |             |  |          |            |
|             |             |             |  |          |            |

MISCELLANEOUS

National Register listed date ff

County Inventory 1979 ff

Town of Los Gatos: Designation ff Recognition ff

District Name ff

Previous Survey ff

Gebhard: page # ff illustration page # ff

Butler/Junior League ff

PHOTOS: Roll/frame # 000/14 Date 28-12-89



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# TOWN OF LOS GATOS

110 E. MAIN ST., LOS GATOS, CA. 95030  
BUILDING INSPECTION DEPARTMENT - PHONE 354-6876

## APPLICATION FOR BUILDING PERMIT

B 9262

FOR APPLICANT TO FILL IN

|  |       |                    |        |                 |     |     |       |        |          |       |       |     |      |       |
|--|-------|--------------------|--------|-----------------|-----|-----|-------|--------|----------|-------|-------|-----|------|-------|
| BUILDING ADDRESS<br><b>34 Phasant St.</b>  |       | LOT NO.            | TRACT  | NEED FOR PERMIT |     |     |       |        |          |       |       |     |      |       |
| OWNER<br><b>SPR</b>  |       | PH                 |        |                 |     |     |       |        |          |       |       |     |      |       |
| ARCHITECT/ENGINEER   |       | PH                 |        |                 |     |     |       |        |          |       |       |     |      |       |
| CONTRACTOR<br><b>Williams Pest Control</b>   |       | PH <b>376-1055</b> |        |                 |     |     |       |        |          |       |       |     |      |       |
| ADDRESS<br><b>491 McGlincey Ln #3</b>  |       | TOWN <b>2241</b>   |        |                 |     |     |       |        |          |       |       |     |      |       |
| STATE <b>5388</b>  |       | COUNTY <b>2241</b> |        |                 |     |     |       |        |          |       |       |     |      |       |
| <p><b>DESCRIPTION OF WORK</b></p> <table border="1"> <tr> <td>NEW</td> <td>ADD</td> <td>ALTER</td> <td>REPAIR</td> <td>DEMOLISH</td> </tr> <tr> <td>TO BE</td> <td>TO BE</td> <td>GAR</td> <td>BSMT</td> <td>OTHER</td> </tr> </table> |       |                    |        |                 | NEW | ADD | ALTER | REPAIR | DEMOLISH | TO BE | TO BE | GAR | BSMT | OTHER |
| NEW  | ADD   | ALTER              | REPAIR | DEMOLISH        |     |     |       |        |          |       |       |     |      |       |
| TO BE  | TO BE | GAR                | BSMT   | OTHER           |     |     |       |        |          |       |       |     |      |       |
| <p><b>USE OF STRUCTURE</b></p> <p><b>Re-Roof</b></p>   |       |                    |        |                 |     |     |       |        |          |       |       |     |      |       |
| <p><b>CONSTRUCTION LENDING AGENCY</b></p> <p><b>NAME</b></p> <p><b>ADDRESS</b></p> <p><b>PHONE</b></p>   |       |                    |        |                 |     |     |       |        |          |       |       |     |      |       |

| BUILDING PERMIT APPROVAL |                     | DATE         |
|--------------------------|---------------------|--------------|
| PLAN DEPT.               |                     | 1/1          |
| PUBLIC WORKS             |                     | 1/1          |
| FIRE DEPT.               |                     | 1/1          |
| BUILDING DEPT.           | <i>Jessi German</i> | 1/22/82      |
| SEWER DEPT.              |                     |              |
| WATER DEPT.              |                     |              |
| VALUATION                | \$                  |              |
| <b>FEES &amp; TAXES</b>  |                     |              |
| BUILDING PERMIT          | \$                  | 17.50        |
| SEISMIC TAX              |                     | 50           |
| CONSTRUCTION TAX         |                     |              |
| UTILITY TAX              |                     |              |
| PLAN CHECK FEE           |                     |              |
| <b>TOTAL</b>             | <b>\$</b>           | <b>18.00</b> |

### INSPECTION RECORD

*7-11-82 Jack R. Smith*

### CONTRACTORS DECLARATION

I CERTIFY THAT I AM PROPERLY LICENSED BY THE STATE OF CALIFORNIA AS A CONTRACTOR'S LICENSE LAW.

*x Jeff Bolvanz W.P.C.*

### COMPLETE A OR B

#### WORKER'S COMPENSATION DECLARATION

**A** I HEREBY AFFIRM THAT I HAVE A POLICY OF WORKER'S COMPENSATION INSURANCE. A CERTIFIED COPY OF A CERTIFICATE OF THAT INSURANCE IS HEREWIT FURNISHED, AND ON FILE WITH THE TOWN. I FURTHER AFFIRM THAT I SHALL KEEP THE INSURANCE IN EFFECT THROUGHOUT THE JOB.

*x Jeff Bolvanz W.P.C.*

#### CERTIFICATE OF EXEMPTION FROM WORKER'S COMPENSATION INSURANCE

**B** I CERTIFY THAT IN THE PERFORMANCE OF THE WORK FOR WHICH THIS PERMIT IS ISSUED, I SHALL NOT EMPLOY ANY PERSON IN ANY MANNER SO AS TO BECOME SUBJECT TO THE WORKER'S COMPENSATION LAWS OF CALIFORNIA.

SIGNATURE *x*

I CERTIFY THAT I HAVE READ THIS APPLICATION AND STATE THAT THE ABOVE INFORMATION IS CORRECT. I AGREE TO COMPLY WITH ALL TOWN ORDINANCES AND STATE LAWS RELATING TO BUILDING CONSTRUCTION, AND HEREBY AUTHORIZE REPRESENTATIVES OF THIS CITY TO ENTER UPON THE ABOVE MENTIONED PROPERTY FOR INSPECTION PURPOSES.

SIGNATURE *x Jeff Bolvanz W.P.C.*

### VALIDATION

|            |  |      |                       |
|------------|--|------|-----------------------|
| APPROVALS  |  | DATE | INSPECTOR'S SIGNATURE |
| FOUNDATION |  |      |                       |
| FRAME      |  |      |                       |
| BRACING    |  |      |                       |
| JOIST      |  |      |                       |
| CEILING    |  |      |                       |
| WALL       |  |      |                       |
| ROOF       |  |      |                       |
| MECHANICAL |  |      |                       |
| ELECTRICAL |  |      |                       |
| PLUMBING   |  |      |                       |
| PAINTING   |  |      |                       |
| FINAL      |  |      |                       |

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**TOWN OF LOS GATOS  
HISTORIC PRESERVATION COMMITTEE  
HISTORIC RESEARCH WORKSHEET**



Applicants shall provide written evidence and supporting documents to justify their request for a remodel, alteration, addition, determination of significance, or demolition of a designated or presumptive historic resource. This worksheet is intended to assist the applicant in gathering written evidence and supporting documents, and to assist the Historic Preservation Committee during evaluation of the request.

Applicants shall provide written evidence and supporting documents of the historical and architectural characteristics, regarding both structures (construction date, alteration dates, photographic documentation) and people (owner and/or resident names). If written evidence cannot fit on this worksheet, please attach separate sheets.

The Historic Preservation Committee reviews the application using the Town's Historic District Ordinance requirements. Copies of the ordinance(s) are available at Town Hall. The Committee meets the fourth Wednesday of every month. The filing deadline is 20 days prior to the meeting by 11:00 AM.

**The applicant shall research the following** (please check the box once you complete your research):

1. Los Gatos Public Library (see How to Research the History of a House in Los Gatos):
  - ☒ Sanborn Maps
  - ☒ 1941 Tax Assessment
  - ☒ 1989 Anne Bloomfield Historic Resource Survey forms
  - ☒ Polk's Directories
  - ☒ Telephone Directories
  - ☒ Other **OWNER ORAL HISTORY**
2. Santa Clara County Resources (especially helpful for properties previously located in the county's jurisdiction):
  - ☐ Santa Clara County Planning Department records **N/A**
  - ☐ San Jose Public Library (California Room)
3. Community Development Department Resources:
  - ☐ Sanborn Maps
  - ☐ 1989 Anne Bloomfield Historic Resource Survey forms
  - ☐ Community Development Department property files (permit history)

Research was conducted on (please enter date): 10.22.2024

Records and Documents found (please attach copies): Anne Bloomfield Survey,  
1941 tax assessment, Polk directories research (1934-1972)  
Telephone directories (1974-1985+1995)  
Sanborn Maps 1928+1944

*Anne Bloomfield*

ARCHITECTURAL/CULTURAL SURVEY  
LOS GATOS RESEARCH

File address 34 Placer

PARCEL MAP INFORMATION

Parcel # 529-26-218 Lot size: 50 front ft. x 143 ft. deep

Lot shape: Rectangle L Rectangle with small rear jog Other

Location: N S E W side of P St Ave Other

distance to cross st: 1350 ft. N S E W from Placer

at NE NW SE SW corner of

HISTORIC INFORMATION ON PARCEL MAP

Old tract or subdivision name 21 Map C 25 Old Block # Old lot # 18

FIELD SURVEY INFORMATION (handwritten in red)

Preliminary rating + Estimated age 1920s Style E # stories

Alterations

Other

COUNTY ASSESSOR--PROPERTY CHARACTERISTICS (paste on copy)

Effective date

OWNERSHIP SHOWN ON MAPS

| Source Name | Source Date | Source Page | Location of property, or Old tract/block/lot | Lot Size | Owner Name |
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| Survey      | 1944        |             |  |          |            |
|             |             |             |  |          |            |
|             |             |             |  |          |            |

MISCELLANEOUS

National Register listed date

County Inventory 1979

Town of Los Gatos: Designation Recognition

District Name

Previous Survey

Gebhard: page # illustration page #

Butler/Junior League

PHOTOS: Roll/frame # Date





Sec 1926 build

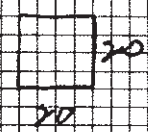
Form 1(20)

BUILDING CLASSIFICATION AND COMPUTATION RECORD

BUILDING DIAGRAM AND DETAILS

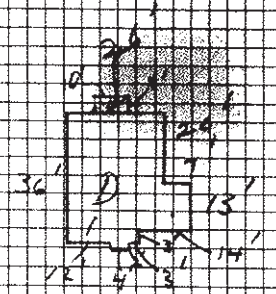
ADDRESS LOCATION 34 Pleasant ST. AVE. CITY OF LOS GATOS CALIFORNIA  
BLOCK NUMBER 69 LOT NUMBER 18 OWNERSHIP Jessie A. Rulley  
SUBDIVISION OR TRACT, El Monte Sub.

Scale 1" = 50' HEIGHT..... FT.



DESCRIPTION

| Sect.                              | Dimensions  | Area or Cubage | Unit Cost | Repro. Cost             | Out'bldgs    | Pres. Value |
|------------------------------------|-------------|----------------|-----------|-------------------------|--------------|-------------|
| (A)                                | X X =       | 1014 cu. ft.   | \$ 3.15   | \$ 3194                 |              | \$          |
| (B)                                | X 10 X 4 =  | 40 sq. ft.     | \$ 2.75   | 110                     |              |             |
| (C)                                | X X =       | cu. ft.        | \$ .      |                         | Miscel.      |             |
| (D)                                | X X =       | cu. ft.        | \$ .      |                         | Retain. Wall |             |
|                                    | X X =       | cu. ft.        | \$ .      |                         | Tank         |             |
|                                    | X X =       | cu. ft.        | \$ .      |                         | Pool         |             |
| Reproduction Cost of Main Building |             |                |           | \$ 3304.                | 68% Good     | \$ 2245.    |
| Garage                             | X 20 X 20 = | 400 cu. ft.    | \$ .75    | \$ 300.                 | 45% Good     | \$ 135.     |
| Depreciation                       | %           | Pct. Good      | %         | TOTAL DEPRECIATED VALUE |              |             |
|                                    |             |                |           | \$ 2380.                |              |             |



36 x 2 = 72  
38 x 4 = 152  
36 x 3 = 108  
33 x 7 = 231  
7 x 13 = 91  
TOTAL

EXTERIOR DESCRIPTION

INTERIOR DESCRIPTION

|  |  |   |  |   |   |  |
|--|--|---|--|---|---|--|
| <b>COMMERCIAL BLDGS</b><br>Stories<br>Stores<br>Office Bldg<br>Aparts<br>Rms. Hotel<br>Eng. House<br>Rms. Hosp.<br>Bank<br>Hall<br>Whse. Loft<br>Car Garage<br>Seat Theatre<br>Mill<br>Factory<br>Gas Station<br>Green House<br>School | <b>FOUNDATION</b><br>Deep Shallow<br>Concrete<br>Brick Stone<br>Posts Piers<br>Mud Sill<br>Piles<br><b>ROOF</b><br>Gable Flat<br>Hip Gambrel<br>Mansard Drmr<br>Plain Cut up | <b>EXTERIOR WALLS</b><br>Brick<br>Stone<br>Terra Cotta<br>Tile<br>Stucco<br>On Wood Lath<br>On Chick Wire<br>Rustic Pl.<br>Resawed<br>Brd. & Bat.<br>Shiplap<br>Novelty T&G<br>Corr. Iron<br>Painted<br>Stained | <b>INSIDE TRIM</b><br>Stock Spec.<br>Pine Hdw.<br>Painted Enam.<br><b>WALLS &amp; CEILINGS</b><br>Plastered Rms<br>Plast. Bd. Rms<br>Compo. Bd. Rms<br>Stucco Rms<br>Wainscot<br>Paneled<br>Beamed Ceiling | <b>PLUMBING</b><br>No. of Fixt. 5<br>Old Style<br>Modern<br>Good Med. Chp.<br><b>BATH ROOMS</b><br>Large Small<br>Rooms 1 NO.<br>Good<br>Medium<br>Cheap<br>Showr<br>Lyn Floor<br>Tile Wall 1 1 1 | <b>BUILT-IN FEATURES</b><br>Kitch. Cab. Ft<br>Buffet Ft<br>Book Cases<br>Lockers<br>Patent Beds<br>Refrigerator<br>Open Shelvg.<br><b>MISCELLANEOUS</b><br>Sidewalk Lights<br>Fire Escapes<br>Plate Glass   | <b>BASEMENT</b><br>Garage Cars<br>Full Part. None<br>Floor: On St. Wd. Dt<br>Walls: Cm. St. Wd. Dt<br>Un Finished<br><b>ELEVATORS</b><br>Speed: Ht Low<br>Elec. Hyd. Auto<br>Pass. Pat. Dmb Wt.<br>Height Ft<br>Sidewalk |
| <b>RESID'L BUILDINGS</b><br>1 Stories<br>3 Rooms<br>Apts<br>Family<br>Duplex Flat<br>Dwlg. Bng.<br>Cottage Shack   | <b>WOOD SHINGLE</b><br>Pat. Shingle<br>Tar & Gravel<br>Tile<br>Composition<br>Metal<br>Cor. Iron<br>Good Med. Chp.   | <b>EXTERIOR TRIM</b><br>Masonry<br>Metal<br>Plastic<br>Tile<br>Wood<br>Glass<br>Ornamental<br>Plain   | <b>DECORATING</b><br>Papered Rms<br>Tinted 5 Rms<br>Canvas Rms<br>Santitas Rms<br>Cloth & Pap. Rms<br>Rms Unfin.<br>Plain Med. Good  | <b>LIGHTING</b><br>No. of Fixt. 1<br>Electric<br>Old Style<br>Modern<br>Gas Oil<br>Good Med. Chp.<br>Special  | <b>MECHANICAL EQUIPMENT - Pres. Val.</b><br>Ventilating System \$<br>Sprinkler System \$<br>Automatic Fire Alarm \$<br>Vacuum Cleaning System \$<br>Water Heater Storage Automatic<br>Air Conditioning \$<br>Well Windmill Elec. Pump<br>Tank Pressure System | <b>OUTBUILDINGS - VALUE Under \$400</b><br>Dishen X Ft: Age<br>Walls Roof Floor<br>Area Sqft \$<br>Repro. Cost \$<br>% Good: PRES. VALUE \$  |
| <b>CONSTRUCTION</b><br>Lt. Med. Hvy.<br>Masonry<br>Reinfd. Conc. Fr.<br>Fl.  | <b>PORCHES - NUMBER</b><br>Front Rear<br>Open Roofed<br>Screened<br>Glassed In   | <b>STORE FRONT</b><br>Bulkhead<br>Plate in Met.<br>Plate in Wood<br>Plate in Red<br>Sheet Glass   | <b>FLOORS</b><br>Number of Rooms.<br>Pine 1<br>Hardwood 4<br>Cement<br>Tile<br>Marble<br>Terrazzo<br>Composition<br>Earth  | <b>HEATING</b><br>Fire Pl. Stove<br>Hot Air Furn.<br>Ducts: Pipeless<br>Gas or Oil Fire<br>Radiant Fire<br>Steam or Hot Wat.<br>Arcola System<br>Thermostat<br>Floor Furn.                        | <b>MISCELLANEOUS REMARKS</b><br>See Reverse   |  |

STREET FRONT

PRICED BY W. W. Holden DATE 4/26/41

CLASSIFICATION 1 2 3 4 A B C D

QUALITY: Cheap....; Medium...; Good....; Special....

OCCUPANCY Owner Tenant  
Vacant Not None

Age 15 Yrs. Remodeled Age Yrs.

Condition: New Good Medium Poor

Obsolescence Yes No Functional Defects....%

Special Depreciation For: Lack of Utility.....%

Over....% Under....% Improvement: Location.....%

DESIGN: Good....; Acceptable...; Poor....; Freak....

FLOOR PLAN: Good...; Acceptable....; Awkward.....

Perimeter of Walls...; Number of angles.....

RENT \$ Per Source of Information  
Mo. Tenant Agent Estimated

## BLOCK NO.

69

LOT NO.

18

BLOCK BOOK PAGE

18

Description, Dimensions and Ownership of Real Property Described herein, conforms with Official Block Book, and Assessment Map of The City Named on Reverse.  
No accountability Assumed for Matters Legal in Character. Computation of Values of Land and Buildings in Accordance with Contract Provisions for Equatax System Valuation.

| SYMBOL | FRONT            | DEPTH | PCT.   | COEF. | UNIT  | COMPUTED VALUE |         |
|--------|------------------|-------|--------|-------|-------|----------------|---------|
|        | 50               | X     | 147.88 | 114   | 57.50 | 7 1/2          | \$ 428. |
|        |                  | X     |        |       |       |                |         |
|        |                  | X     |        |       |       |                |         |
|        |                  | X     |        |       |       |                |         |
|        |                  |       |        |       |       |                |         |
|        | Added For Corner |       |        |       |       |                |         |
|        | Added For Alley  |       |        |       |       |                |         |

F.T.=Front Triangle. R.T.=Rear Triangle. B.L.=Back Lot Comp.  
C.I.=Corner Influence. ♂ = Reverse Corner Comp.

TOTAL \$

Retail Business ☐  
Semi Business ☐

Residence ☐  
Industrial ☐

SPECIAL REMARKS

REVISIONS AND ADJUSTMENTS:

Record Below Subsequent Changes in Value due to Re-appraisal. Indicate Reason for Action Such as Additions, Alterations, Rebuilding, Fire Loss, Demolition, or Removal of Buildings.

[illegible]

## YEAR

1940

19

19

19

Land  
Value

\$730

\$

5

50

Building  
Value

\$7380

§

|  |    |
|--|----|
|  | 53 |
|--|----|

\$

Number  
of Bids

2

## OWNERSHIP RECORD

1940

1941

1942

1943

1944

1945

1946

1947

SKETCHES OR REMARKS, OR  
METES AND BOUNDS DESCRIPTION



Owner [REDACTED] oral history of 34 Pleasant Street, Los Gatos.  
(transcribed 28 October, 2024, by Maia Gendreau, MBA Architects).

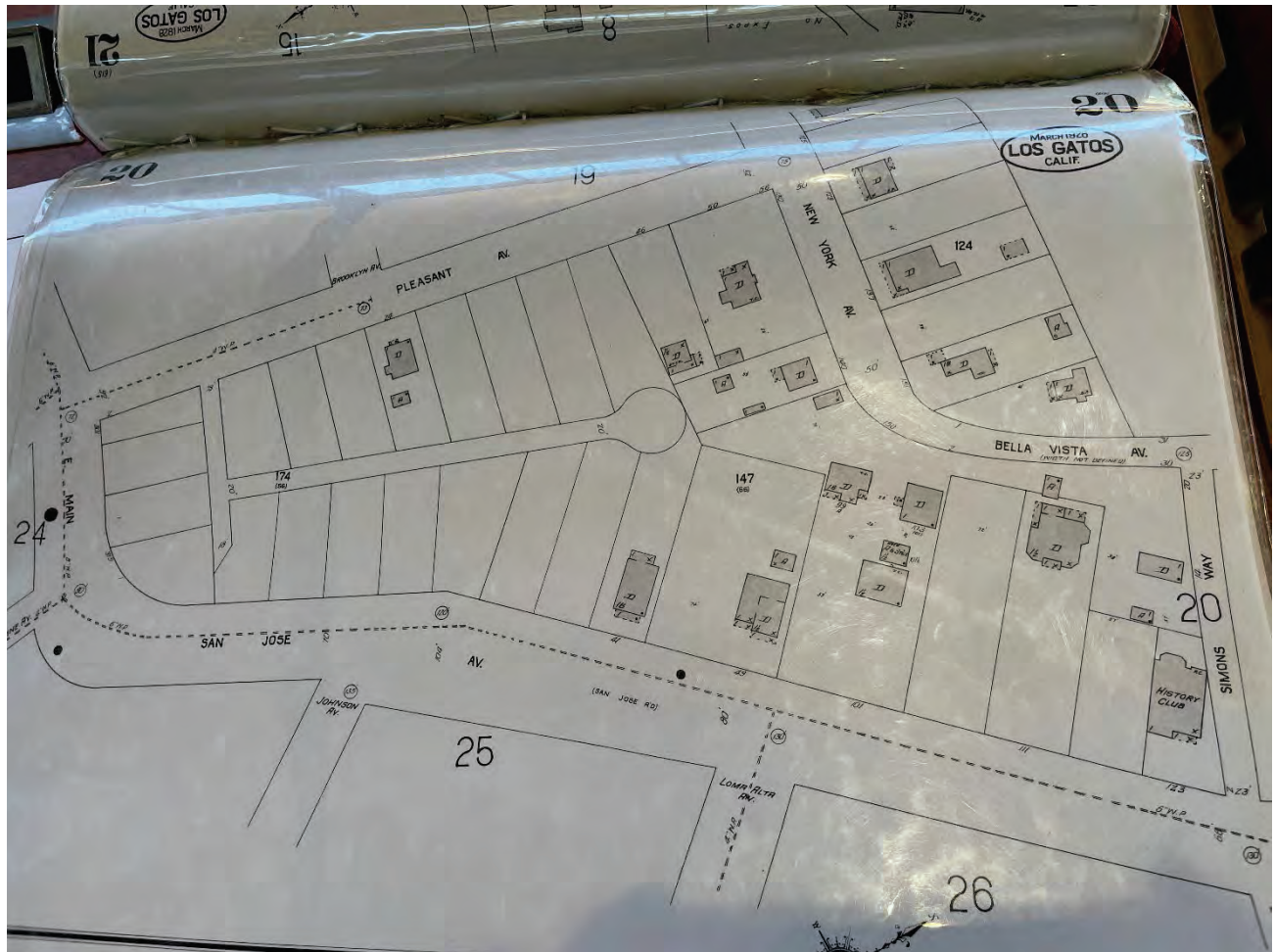
My grandparents, (Charles A. and Jessie A. Reilly), built the house. It was the second home built in the "El Monte" tract. The insurance company and the tax statements seem to indicate that it was completed in 1920, but I have read a diary entry that it was "fit for occupancy on December 14, 1928? Perhaps the land was purchased in 1920 (\$4,000) and the house was built in 1928 (\$5,000). My grandfather Charles A. Reilly died when my mom was 6 years old and my grandmother (Jessie (Ennis) Reilly) moved to Montana with her to live with family. They rented the house out (linens and all). They returned to Los Gatos and lived in the house until my mom's senior year at Los Gatos High. They then moved to Turlock, CA and once again rented the house out. My mom upon graduation from Turlock High attended the College of Pacific (latter UOP) in Stockton, CA where she met my dad. I grew up in Stockton and from the 50's my grandmother and parents lived in Stockton renting out the house in Los Gatos (34 Pleasant). I moved to Los Gatos in 1981, but rented an apartment until 1983 when I moved into the house. At that time we asked the current tenants to move out (it was occupied by "John Sorenson (a local plumber) his wife and their two sons) tenants for over 15 years. I has been my principle residence ever since.

34 Pleasant Street< Los Gatos  
Polk Directories history of residents

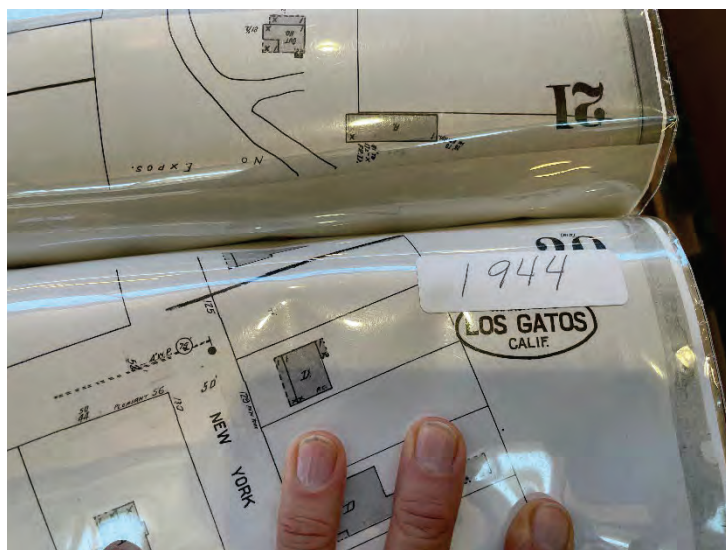
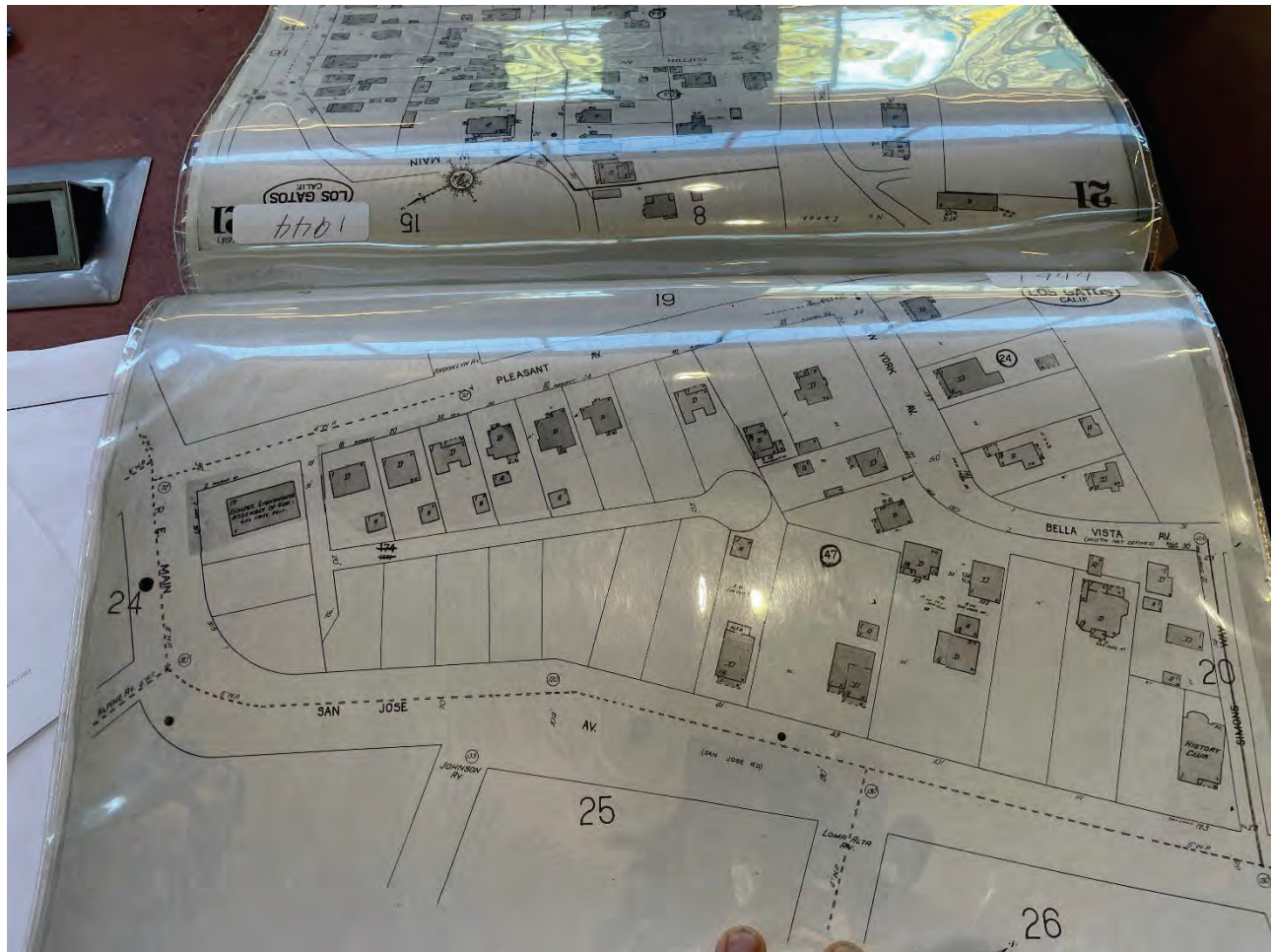
| YEAR          | RESIDENT   | PROFESSION                      | NOTES  |
|---------------|--|---------------------------------|--|
| 1934          | Reilly, Chas. A., (Jessie A.)  | no listing                      | Jessie A Reilly is noted as the OWNER on the 1941 tax assessor |
| 1936          | no listing   |                                 |  |
| 1938          | Vollmer, E.E., (Myrle M.)  | MGR; Kerful Laundry System Inc. |  |
| 1940          | Dutro Raymond A. (Clarice)   | Clerk JW Crider                 |  |
| 1944          | McGregor Donald R. (Nellie)  | metallurgist                    |  |
| 1949-50       | Keller, Frank M. (Marjory)   | Civil Engineer                  |  |
| 1952          | Helms. Clinton H (Virginia)  |                                 |  |
| 1954          | Malone, (Robert E.L.) (Patricia)   | physician, County Hospital      |  |
| 1956          | Crichton Ruth A (Mrs.)   | widow, Carl S.                  |  |
| 1958          | Prinzing Kelsy C Rev, (Evelyn A)   | pastor, Assembly of God Church  |  |
| 1960          | Rodema Chas., (Margaret E)   | Building Contractor             |  |
| 1961          | Rodema Chas., (Margaret E)   | Building Contractor             |  |
| 1962          | Curtis Dahl A. (Mary)  | Laborer                         |  |
| 1965          | No Return  |                                 |  |
| 1965-72       | Sorenson John C  | Sorenson's Plumbing             | 1965-72 Sorenson John C is listed as resident                  |
| Phone Books - |  |                                 |  |
| 1974-85       | Sorenson Plumbing is listed as a business at 21 Main Street under John Sorenson's license, 56355 |                                 |  |
| 1995          | Sorenson Plumbing is listed as a busines at 21 Main Street under license 514085.                 |                                 |  |



1928 Sanborn Map – 34 Pleasant Street shows no building.



1944 Sanborn Map – 34 Pleasant Street shown in the approximate current shape





Homes on Pleasant Street, Los Gatos, CA



34 Pleasant – THIS PROJECT

Immediate neighbors:

36 Pleasant



26 Pleasant





Other homes on the street:

22 Pleasant



40 Pleasant



75 New York



Across the street is a building on the High School Campus





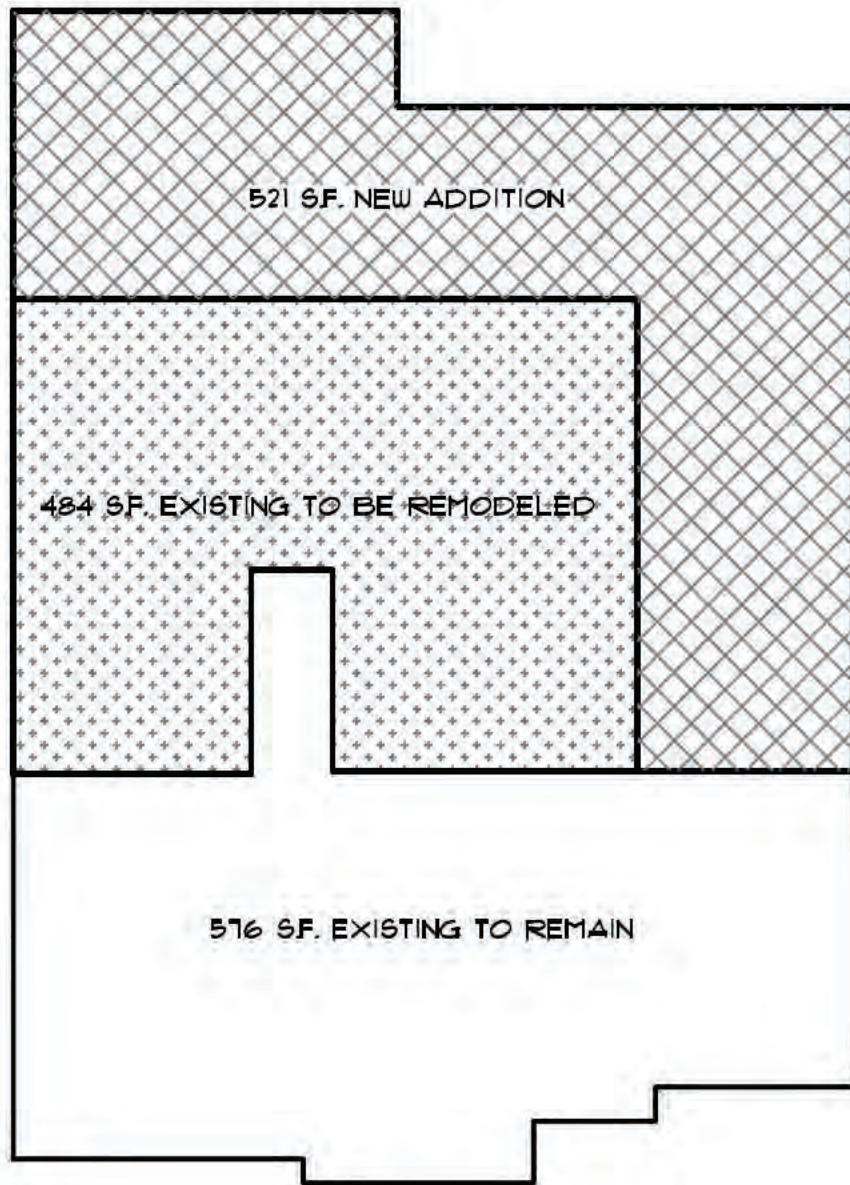
ABBREVIATIONS

|         |                                    |          |                              |
|---------|------------------------------------|----------|------------------------------|
| A       | ANCHOR BOLT                        | LF       | LINEAL FOOT                  |
| A.C.    | ASPHALTIC CONCRETE                 | LG       | LONG                         |
| ACoust  | ACOUSTICAL                         | LKR      | LOCKER                       |
| ADD     | ADDENDUM                           | LT       | LIGHT                        |
| ADJ     | ADJUSTABLE                         | LVT      | LUXURY VINYL TILE            |
| AGGR    | AGGREGATE                          | MAX      | MAXIMUM                      |
| AHJ     | AUTHORITIES HAVING JURISDICTION    | M.B.     | MACHINE BOLT                 |
| ALT     | ALTERNATE                          | M.C.     | MEDICINE CABINET             |
| ALUM    | ALUMINUM                           | MECH     | MECHANICAL                   |
| APPROX  | APPROXIMATELY                      | MEMB     | MEMBRANE                     |
| ARCH    | ARCHITECT                          | MET      | METAL                        |
| Z       | ANGLE                              | MFG      | MANUFACTURE(R)               |
| BD      | BOARD                              | MH       | MANHOLE                      |
| BLDG    | BUILDING                           | MI       | MALLEABLE IRON               |
| BLK/G   | BLOCKING                           | MIN      | MINIMUM                      |
| BT      | BEAT                               | MIR      | MIRROR                       |
| BOT     | BOTTOM                             | MISC     | MISCELLANEOUS                |
| BOW     | BACK OF WALK                       | M.O.     | MASONRY OPENING              |
| B&L     | BUILDING SETBACK LINE              | MTD      | MOUNTED                      |
| B&FL    | BACKSPLASH                         | MUL      | MULLION                      |
| BTW     | BETWEEN                            | N        | NORTH                        |
| BUR     | BUILT-UP ROOFING                   | NE       | NEW                          |
| BW      | BOTH WAYS                          | N.E.C.   | NATIONAL ELECTRIC CODE       |
| CAB     | CABINET                            | N.C.     | NOT IN CONTRACT              |
| C.A.H.  | CLEAR ALL HEART                    | N.C.     | NUMBER                       |
| CB      | CATCH BASIN, CORNER BEAD           | NCH      | NOMINAL                      |
| C.B.C.  | CALIFORNIA BUILDING CODE           | N.T.S.   | NOT TO SCALE                 |
| C.C.    | CENTER TO CENTER                   | NRC      | NOISE REDUCTION CONTROL      |
| C.C.R.  | CALIFORNIA CODE OF REGULATION      | O        | OVER                         |
| CEI     | CEMENT                             | O.A.     | OVERALL                      |
| C.I.    | CAST IRON                          | OBS      | OBSCURE                      |
| C.J.    | COLD JOINT, CONTROL JOINT          | O.C.     | ON CENTER                    |
| CLG     | CEILING                            | O.D.     | OUTSIDE DIMENSION (DIA)      |
| CLKG    | CALLING                            | OFF      | OFFICE                       |
| CLO     | CLOSET                             | OH       | OVERHEAD, OVERHANG           |
| CLR     | CLEAR                              | OPG      | OPENING                      |
| CMC     | CALIFORNIA MECHANICAL CODE         | OPP      | OPPOSITE                     |
| C.M.P.  | CORRUGATED METAL PIPE              | OZ       | OUNCE                        |
| CHU     | CONCRETE MASONRY UNIT              | P.C.     | PLUMBING CONTRACTOR          |
| COL     | COLUMN                             | P.F.B.   | PLASTIC FINISH BOARD         |
| CONE    | CONCRETE                           | FL.E     | FLATE, PROPERTY LINE         |
| CONN    | CONNECTION                         | FLAS     | FLASTER                      |
| CONSTR  | CONSTRUCTION                       | FLYUD    | PLYWOOD                      |
| CONT    | CONTINUOUS                         | FOL      | POLISHED                     |
| CONC.   | CALIFORNIA OFFICE OF NOISE CONTROL | FR       | PAIR                         |
| COTG    | CLEANOUT TO GRADE                  | FRCAST   | PRECAST                      |
| C.P.C.  | CALIFORNIA PLUMBING CODE           | FT       | POINT                        |
| CPT     | CARPET                             | P.T.D.   | PAPER TOWEL DISPENSER        |
| C.T.    | CERAMIC TILE                       | P.T.D.P. | PRESSURE TREATED DOUGLAS FIR |
| TR      | CENTER                             | P.T.D./R | COMBINATION P.T.D. & P.T.R.  |
| CTSK    | COUNTERSINK                        | PTN      | PARTITION                    |
| CU      | CONDENSING UNIT                    | P.T.R.   | PAPER TOWEL RECEPTACLE       |
| CL      | CENTERLINE                         | PUE      | PUBLIC UTILITY EASEMENT      |
| DBL     | DOUBLE                             | Q.T.     | QUARRY TILE                  |
| DET     | DETAIL                             | R        | RISER                        |
| D.F.    | DOUGLAS FIR                        | R.A.     | RETURN AIR                   |
| D.F.    | DRINKING FOUNTAIN                  | RAD      | RADIATOR                     |
| DIA     | DIAMETER                           | R.A.G.   | RETURN AIR GRILLE            |
| DIAG    | DIAGONAL                           | R.C.P.   | REINFORCED CONCRETE PIPE     |
| DM      | DIMENSION                          | R.D.     | ROOF DRAIN                   |
| DISP    | DISPENSER, DISPOSER                | REF      | REFERENCE                    |
| DN      | DOWN                               | REINF    | REINFORCED(ING)              |
| DO      | DITTO                              | RES      | RESINOUS FLOORING            |
| D.R.    | DOWN SPOUT                         | RET      | RETAINING                    |
| D.S.    | DOWN SPOUT                         | REQ      | REQUIRED                     |
| DW      | DISHWASHER                         | RESIL    | RESILIENT                    |
| DWG     | DRAWING                            | RFG      | REFRIGERATOR                 |
| DUR     | DRAWER                             | RSTR     | REGISTER                     |
| E       | EAST                               | RM       | ROOM                         |
| E.A.    | EACH                               | RO       | ROUGH                        |
| E.J.    | EXPANSION JOINT                    | R.O.     | ROUGH OPENING                |
| ELEC    | ELECTRICAL                         | RS       | RAINWATER LEADER             |
| EL      | ELEVATION                          | RUL      | REDWOOD                      |
| ELEV    | ELEVATOR                           | R/W      | RIGHT OF WAY                 |
| EMER    | EMERGENCY                          | S        | SOUTH                        |
| EN      | EDGE NAILING                       | SAD      | SEE ARCHITECTURAL DWGS.      |
| ENCL    | ENCLOSURE                          | S.A.R.   | SUPPLY AIR REGISTER          |
| EQ      | EQUAL                              | SASH     | SELF-ADHERED SHEET MEMBRANE  |
| EOP     | EQUIPMENT                          | SC       | SOLID CORE                   |
| E.W.C.  | ELECTRIC WATER COOLER              | S.C.D.   | SEAT COVER DISPENSER         |
| EW      | EACH WAY                           | S.D.     | SOAP DISPENSER               |
| E/EXIST | EXISTING                           | SECT     | SECTION                      |
| EXP     | EXPANSION                          | SF       | SQUARE FEET                  |
| EXPO    | EXPOSED                            | SH       | SHED                         |
| EXT     | EXTERIOR, EXTENSION                | SHR      | SHOWER                       |
| F.A.    | FIRE ALARM                         | SHT      | SHEET                        |
| FAU     | FORCED AIR UNIT                    | SHTG     | SHEATHING                    |
| F.B.    | FLAT BAR                           | SHTL     | SIMILAR                      |
| F.C.    | FRAMING CLIP                       | SHTS.    | SHEETMETAL SCREWS            |
| F.C.O.  | FLOOR CLEANOUT                     | SND      | SANITARY NAPKIN DISPENSER    |
| F.D.    | FLOOR DRAIN                        | SNR      | SANITARY NAPKIN RECEPTACLE   |
| FDC     | FIRE DEPT. CONNECTION              | S.O.V.   | SHUT-OFF VALVE               |
| FDN     | FOUNDATION                         | S 4 P    | SHELF & POLE                 |
| F.E.    | FIRE EXTINGUISHER                  | SO       | SQUARE                       |
| FF      | FACE OF FRAME, FACEFRAME           | S.S.     | SELECT STRUCTURAL            |
| FFA     | FREE FLOW AREA                     | SS       | STAINLESS STEEL              |
| F.G.    | FINISH GRADE                       | ST       | SERVICE SINK                 |
| FGL     | FIXED GLASS                        | STA      | STATION                      |
| FIN     | FINISH                             | STD      | STANDARD                     |
| FL      | FLOOR                              | STL      | STEEL                        |
| FLASH   | FLASHING                           | STO      | STORAGE                      |
| FLUOR   | FLUORESCENT                        | STRL     | STRUCTURAL                   |
| F.O.C.  | FACE OF CONCRETE                   | SUSP     | SUSPENDED                    |
| F.O.F.  | FACE OF FINISH                     | SV       | SHEET VINYL FLOORING         |
| F.O.P.  | FACE OF MASONRY                    | SW       | SHEAR WALL                   |
| F.O.S.  | FACE OF STUD                       | SYM      | SYMMETRICAL                  |
| F.O.    | FACE OF STUD                       | T        | TEMPERED                     |
| FFRF    | FIREPROOF                          | T.B.     | TOWEL BAR                    |
| FRT.    | FIRE RETARDANT TREATED             | T 4 B    | TOP 4 BOTTOM                 |
| FR      | FIRE RATED(ING)                    | TZ       | TOP OF CURB                  |
| FTG     | FOOTING                            | TEL      | TELEPHONE                    |
| FTI     | FOOT                               | TER      | TERRAZZO                     |
| FUR     | FURRING                            | T 4 G    | TONGUE & GROOVE              |
| FUT     | FUTURE                             | TH       | THRESHOLD                    |
| GA      | GAUGE                              | THK      | THICK                        |
| GAL     | GALLON                             | T.O.P.   | TOP OF PLATE                 |
| GALV    | GALVANIZED                         | TP       | TOP OF PAVEMENT              |
| GB      | GRAB BAR                           | T.P.D.   | TOILET PAPER DISPENSER       |
| GLB     | GULLAM BEAM                        | TRD      | TREAD                        |
| GI      | GALVANIZED IRON                    | TS       | TUBULAR STEEL                |
| GL      | GLASS                              | T.S.B.   | TOP-SET BASE                 |
| GND     | GROUND                             | T.V.     | TELEVISION                   |
| GR      | GRADE                              | T.W.     | TOP OF WALL                  |
| GSM     | GALVANIZED SHEET METAL             | TYP      | TYPICAL                      |
| GWB     | GYPSTUM WALLBOARD                  | UNF      | UNFINISHED                   |
| GYP     | GYPSTUM                            | UNO, UON | UNLESS NOTED OTHERWISE       |
|         |                                    | UR       | URINAL                       |
| H.B.    | HOSE BIBB                          | V.C.F.   | VITRIOUS CLAY PIPE           |
| H.C.    | HOLLOW CORE                        | V.C.T.   | VINYL COMPOSITION TILE       |
| HD      | HOLD                               | VERT     | VERTICAL                     |
| HDUR    | HARDWARE                           | VEST     | VESTIBULE                    |
| HDWD    | HARDWOOD                           | V.G.     | VERTICAL GRAIN               |
| HDOR    | HEADER                             | V.I.F.   | VERIFY IN FIELD              |
| HGT     | HEIGHT                             | V.T.R.   | VENT THRU ROOF               |
| H.M.    | HOLLOW METAL                       | VW.C.    | VINYL WALL COVERING          |
| HORIZ   | HORIZONTAL                         | W        | WEST, WASHER                 |
| H.R.    | HANDRAIL                           | W/C      | WITH                         |
| HR      | HOUR                               | W.D.     | WINDOW DIMENSION             |
| HDS     | HOT DIPPED GALVANIZED              | W.I.     | WROUGHT IRON                 |
| HWH     | HOT WATER HEATER                   | W.W.F.   | WOVEN WIRE FABRIC            |
| I.A.W.  | IN ACCORDANCE WITH                 | W/O      | WITHOUT                      |
| I.D.    | INSIDE DIMENSION                   | W/P      | WATERPROOF                   |
| I.N.    | INCH, INCHES                       | W.S.     | WOOD SCREWS                  |
| INSUL   | INSULATION                         | W/SCOT   | WAINSCOT                     |
| INT     | INTERIOR                           | WT       | WEIGHT                       |
| INV     | INVERT                             | WWM      | WOVEN WIRE MESH              |
| ISA     | INTERNATIONAL SYMBOL               | WRC      | WESTERN RED CEDAR            |
| JAN     | JANITOR                            |          |                              |
| JST     | JOIST                              |          |                              |
| JO      | JOINT                              |          |                              |
| KIT     | KITCHEN                            |          |                              |
| LAB     | LABORATORY                         |          |                              |
| LAM     | LAMINATED                          |          |                              |
| LAV     | LAVATORY                           |          |                              |
| LB      | FOUND(S)                           |          |                              |

REMODEL/ADDITION

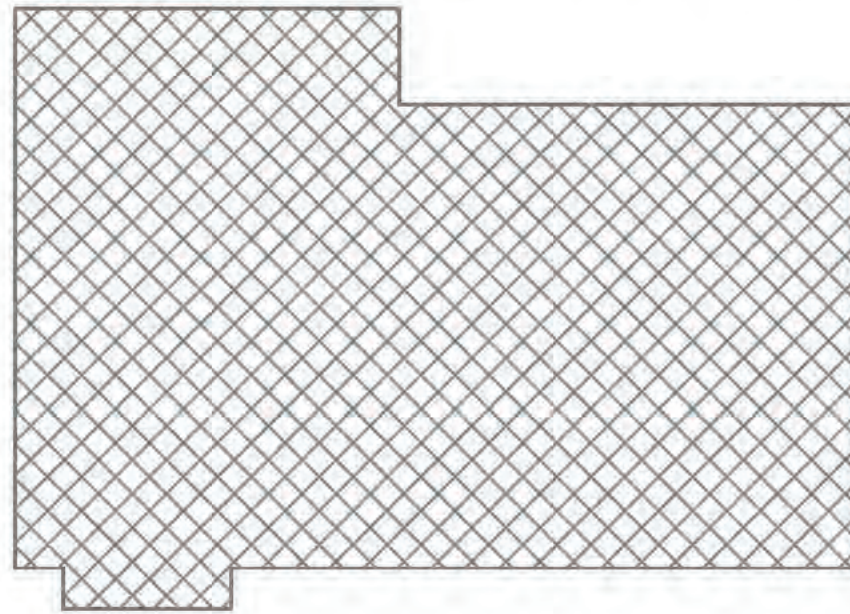
PRELIMINARY REVIEW

HISTORIC PRESERVATION COMMITTEE



FLOOR 1 PLAN

516 SF. EXISTING TO REMAIN  
484 SF. EXISTING TO BE REMODELED  
521 SF. NEW ADDITION  
1591 SF. TOTAL FLOOR 1  
140 SF. TOTAL FLOOR 2  
2321 SF. TOTAL  
LOT SIZE : 1130 SF.



FLOOR 2 PLAN

140 SF. NEW



GENERAL

OWNER

34 PLEASANT STREET  
LOS GATOS, CA 95030

PHONE : (415) 353-1111

EMAIL : info@pleasant-street.com

PROJECT DESCRIPTION

THIS PROJECT IS A REMODEL AND ADDITION TO AN EXISTING SINGLE FAMILY RESIDENCE, ORIGINALLY CONSTRUCTED C. 1930.

THIS PROJECT WILL RETAIN 62% OF THE EXISTING EXTERIOR PERIMETER. APPROXIMATELY 38% OF THE EXISTING PERIMETER WILL BE OBLISCURED OR REMOVED AS A PART OF THIS PROJECT.

PROJECT INFORMATION

BUILDING USE SINGLE FAMILY RESIDENCE  
ASSESSOR'S PARCEL NUMBER 529 26 018  
ZONING R-1D  
OCCUPANCY TYPE: R3  
YEAR ORIGINALLY BUILT 1930

STORIES 1 EXISTING  
ADD NEW FLOOR 2

EXISTING FLOOR AREA 1060 SF.

NEW FLOOR:  
FIRST FLOOR 1060 SF.  
FIRST FLOOR ADDITION 521 SF.  
SECOND FLOOR 140 SF.

TOTAL 2321 SF.

F.A.R.  
0.35 MAX LOT SIZE - 1,130 SF.  
MAX F.A.R. ALLOWABLE 2,105 SF.

APPLICABLE CODES:  
2022 CBC  
2022 CEC  
2022 CPC  
2022 CFC

2022 CA HISTORIC BUILDING CODE  
2022 CA EXISTING BUILDING CODE  
2022 CAL GREEN  
MUNICIPAL CODE OF THE TOWN OF LOS GATOS

CONSULTANTS

INDEX OF DRAWINGS

| SHT. # | SEQ. | DESCRIPTION   |
|--------|------|---|
| GO     | 1    | COVER SHEET   |
| G1     | 2    | SITE PLAN   |
| A1     | 3    | EXISTING FLOOR PLAN<br>EXISTING EXTERIOR ELEVATIONS |
| A2     | 4    | FLOOR 1<br>FLOOR 2                                  |
| A4     | 5    | EXTERIOR ELEVATIONS                                 |

|                     |             |      |      |
|---------------------|-------------|------|------|
| - DATE: 28 OCT 2024 | JOB No.     | 2434 |      |
|                     | DATE        |      |      |
|                     | DESCRIPTION | DATE | REV. |
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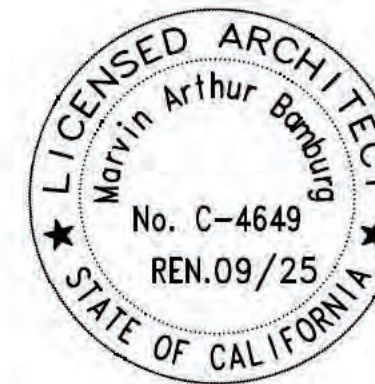
REMODEL/ADDITION

34 PLEASANT STREET  
LOS GATOS

ARCHITECTS

MBA ARCHITECTS

1178 LINCOLN AVENUE SAN JOSE CALIFORNIA 95125  
PH 408/297-0289X13 FAX 408/297-0384



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COVER SHEET

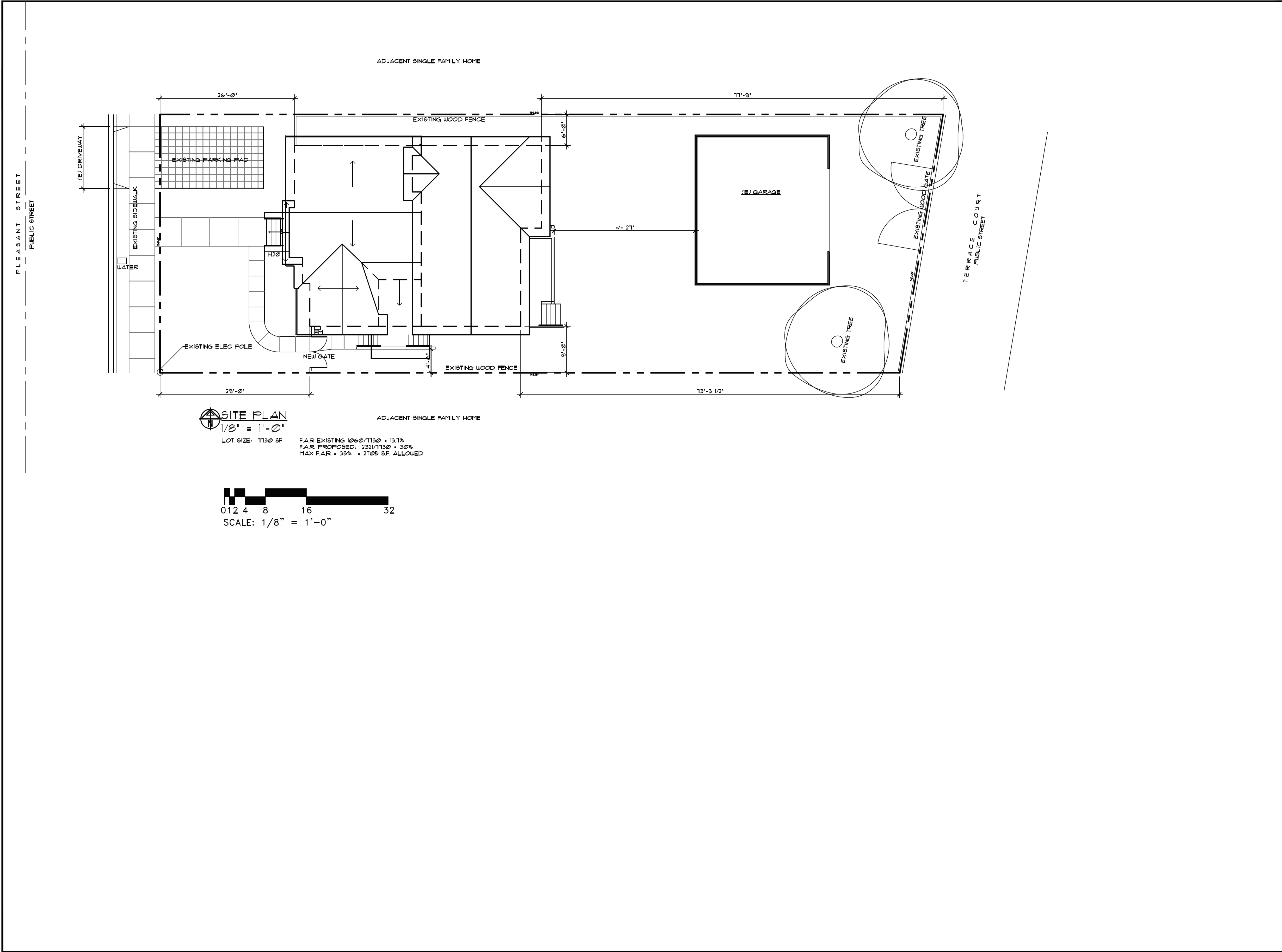
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SHEET

GO

1 OF SHEETS





NOT FOR CONSTRUCTION ISSUED ONLY FOR PLAN CHECK - DATE: 28 OCT 2024

JOB No.2434

DATE

| DESCRIPTION | DATE | REV. |
|-------------|------|------|
|             |      |      |
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REMODEL/ADDITION

34 PLEASANT STREET  
LOS GATOS, CA 95030

ARCHITECTS

MBA ARCHITECTS  
1176 LINCOLN AVENUE SAN JOSE CALIFORNIA 95125  
PH 408/297-0288X13 FAX 408/297-0384

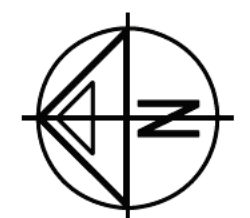
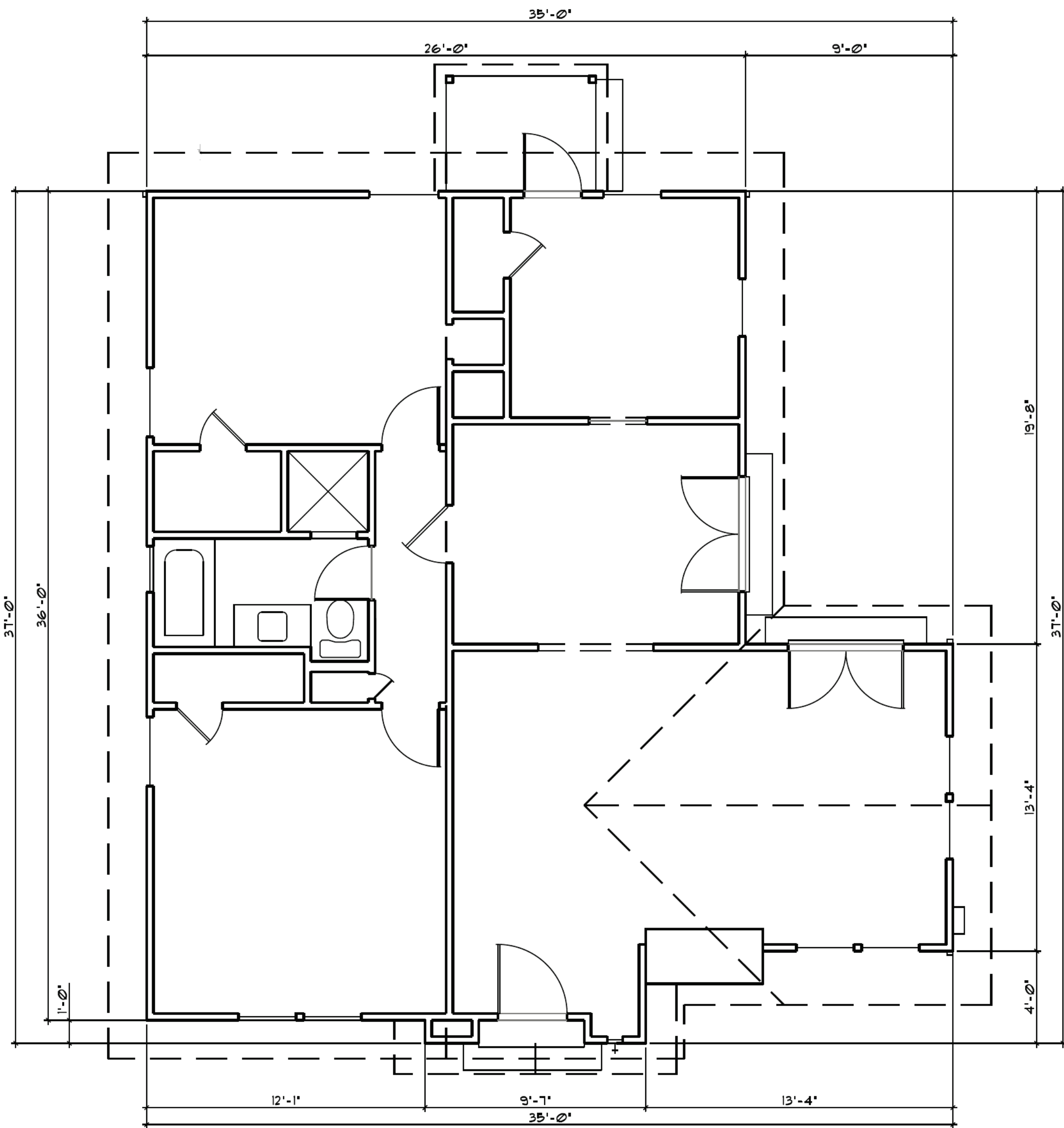
LICENSED ARCHITECT  
Marvin Arthur Barbud  
No. C-4649  
REN. 9/25  
STATE OF CALIFORNIA

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SHEET TITLE  
SITE PLAN

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G1  
OF SHEETS



## EXISTING FLOOR PLAN

1060 S.F.

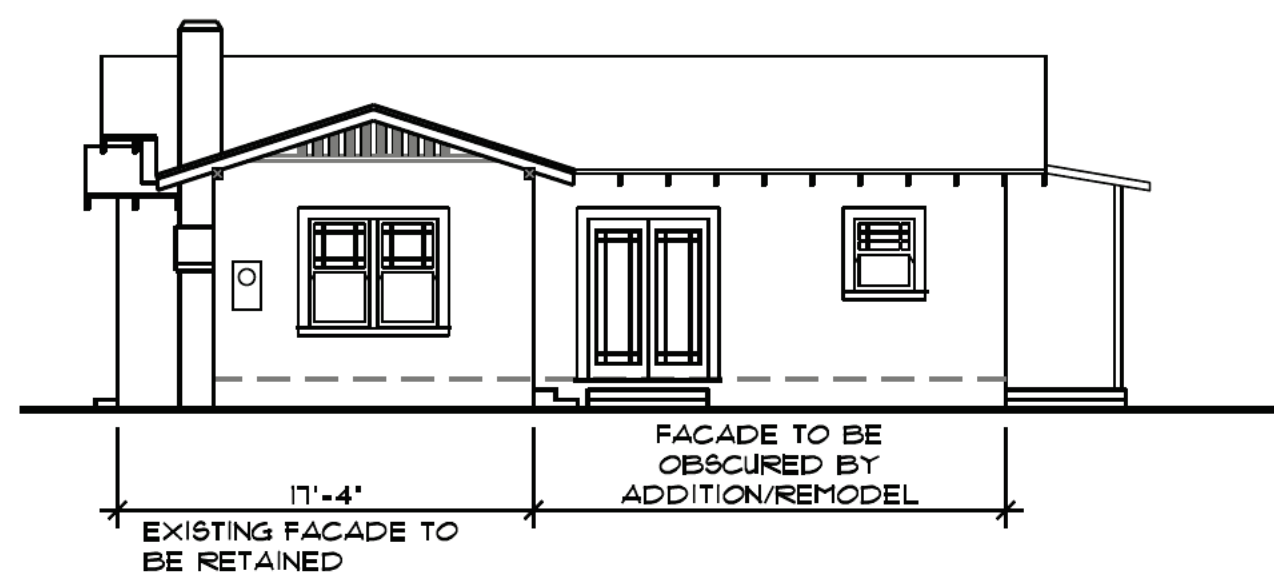
### PERIMETER TO BE REMOVED/RETAINED CALCULATION

|       | RETAINED | REMOVED |
|-------|----------|---------|
| WEST  | 35'      |         |
| SOUTH | 17'-4"   | 19'-8"  |
| EAST  |          | 35'     |
| NORTH | 31'      |         |
| TOTAL | 89'-4"   | 54'-8"  |

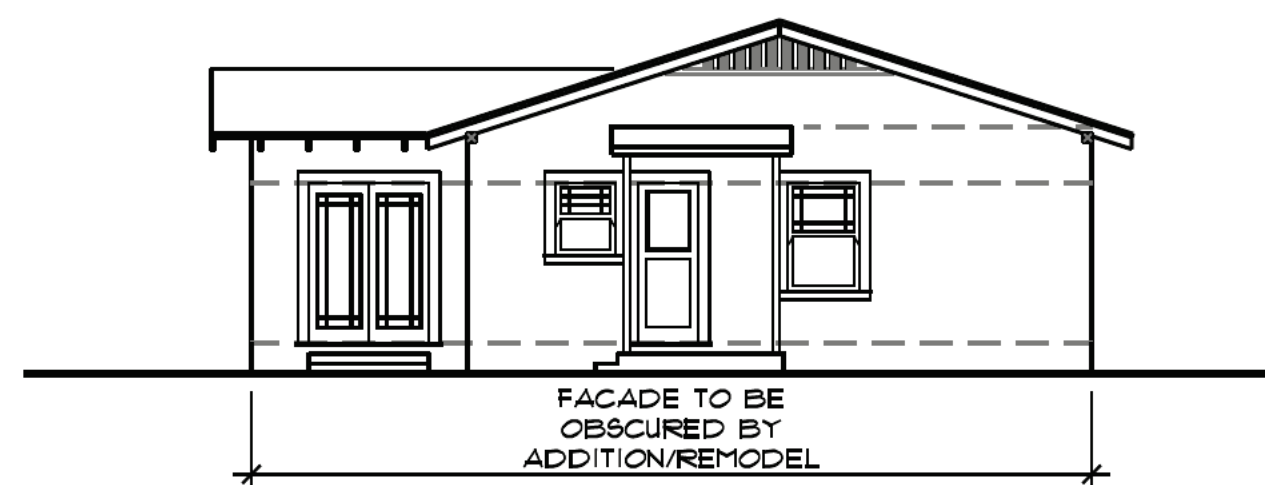
TOTAL PERIMETER: 144' : 62% TO BE RETAINED, 38% TO BE OBSCURED BY NEW ADDITION/REMODEL



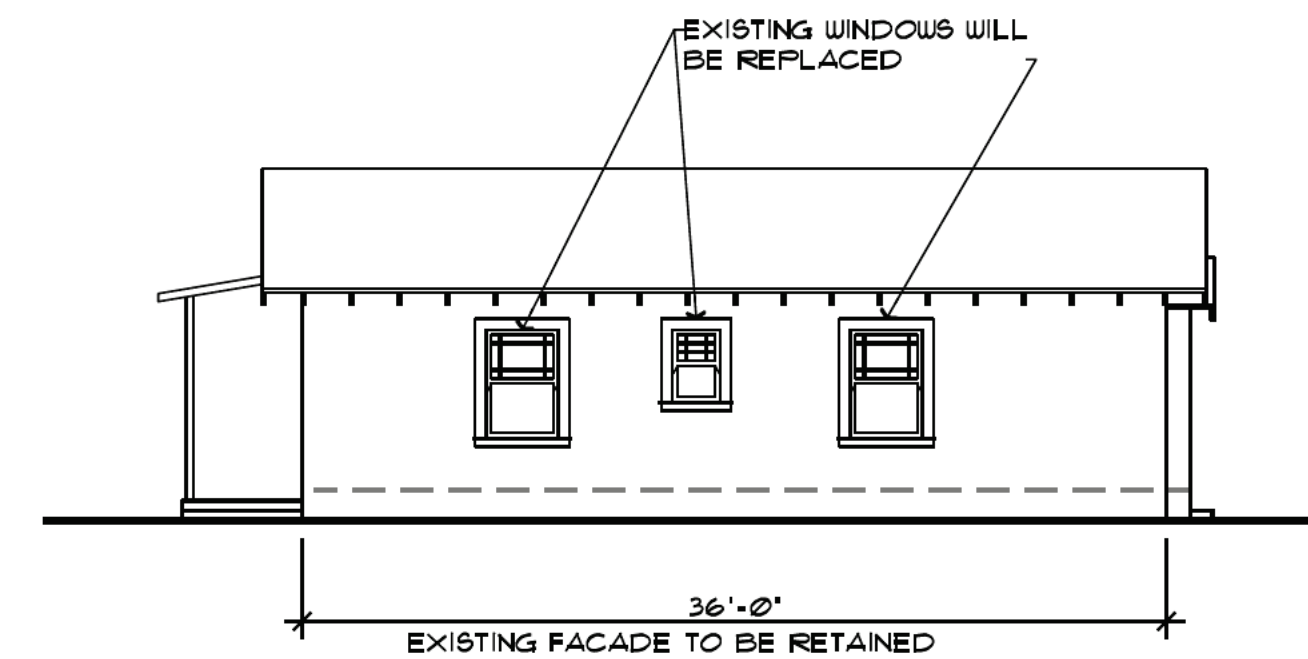
EXISTING WEST ELEVATION  
1/8" = 1'-0"



EXISTING SOUTH ELEVATION  
1/8" = 1'-0"



EXISTING EAST ELEVATION  
1/8" = 1'-0"



EXISTING NORTH ELEVATION  
1/8" = 1'-0"

NOT FOR CONSTRUCTION ISSUED ONLY FOR PLAN CHECK - DATE: 28 OCT 2024

|         |      |
|---------|------|
| JOB No. | 2434 |
| DATE    |      |

| DESCRIPTION | DATE | REV. |
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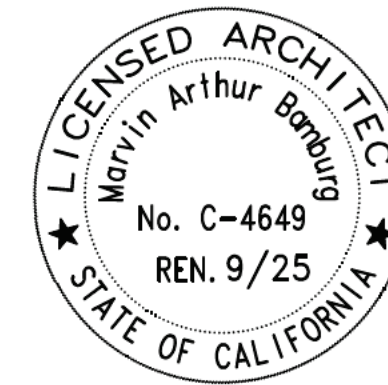
REMODEL/ADDITION

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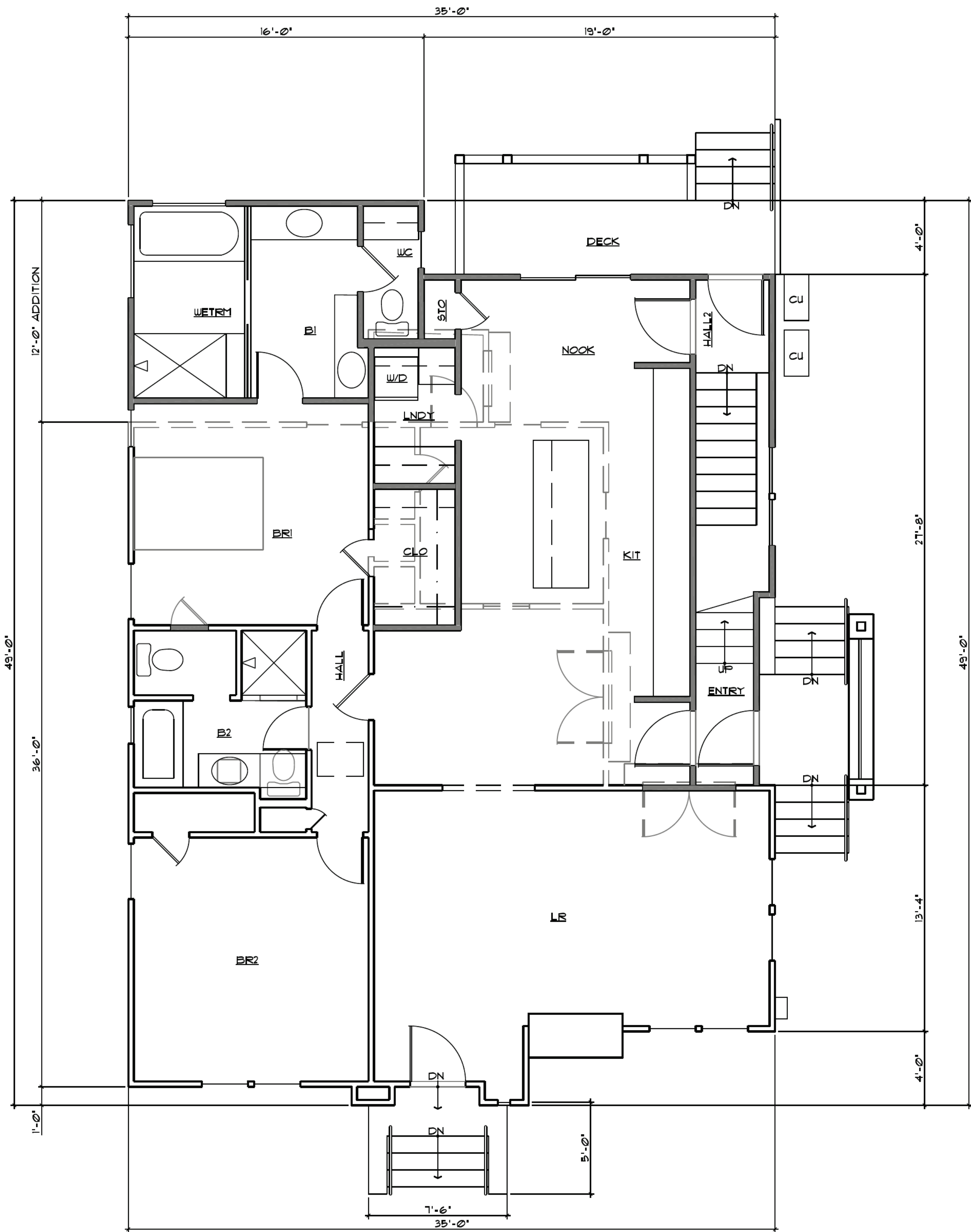
SHEET TITLE  
EXISTING FLOOR PLAN  
EXTERIOR ELEVATIONS

SCALE As Shown  
CAD FILE 2434-Aldwg  
DRAWN BY

SHEET

A1

OF SHEETS



### FLOOR 1 PLAN

516 SF. EXISTING TO REMAIN  
484 SF. EXISTING TO BE REMODELED  
521 SF. NEW ADDITION  
1581 SF. TOTAL FLOOR 1  
140 SF. TOTAL FLOOR 2  
2321 SF. TOTAL

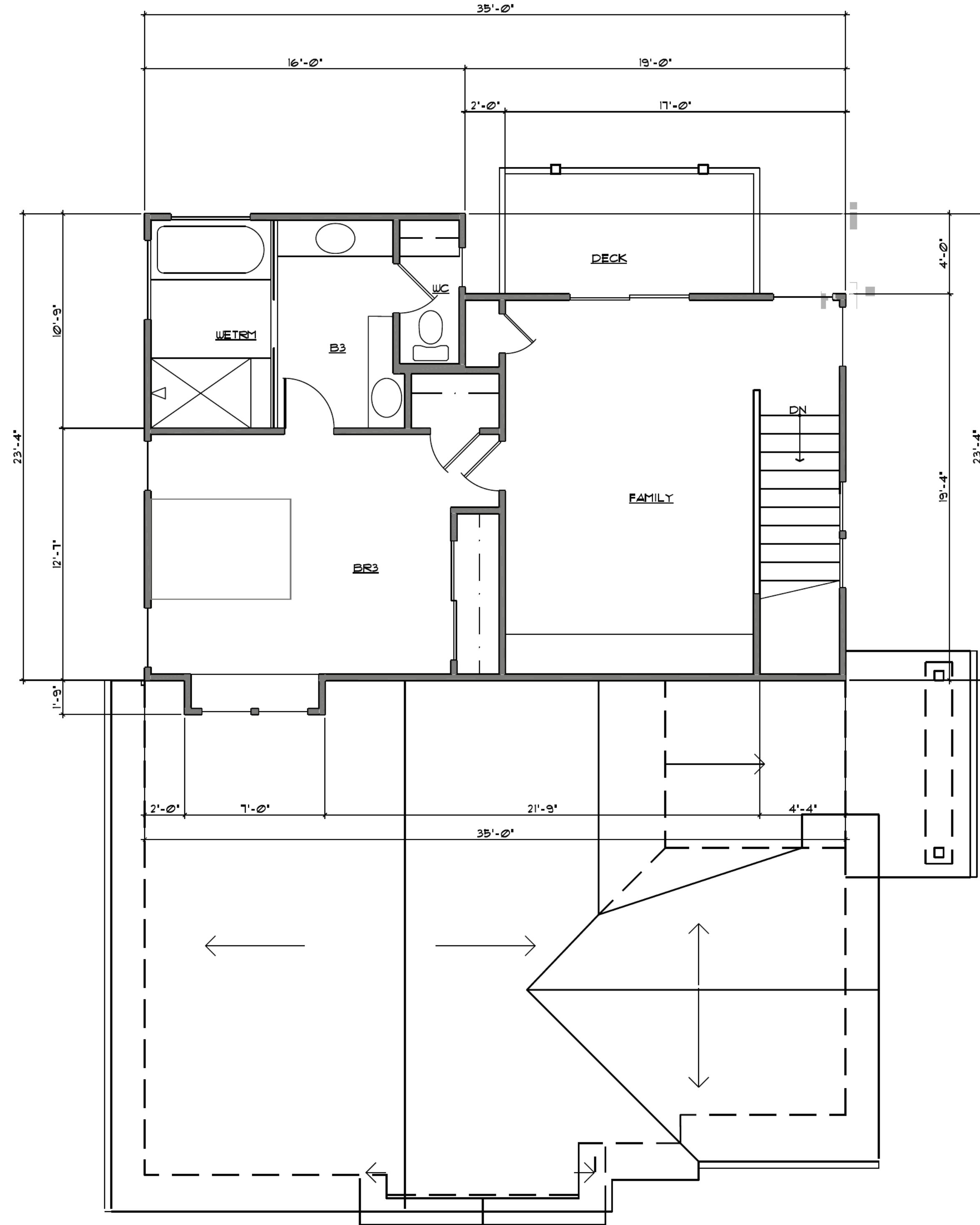
LOT SIZE : 7730 SF.



SCALE: 1/4" = 1'-0"

### LEGEND

- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO BE REMOVED
- NEW WALLS



### FLOOR 2 PLAN

140 SF. NEW

NOT FOR CONSTRUCTION ISSUED ONLY FOR PLAN CHECK - DATE: 28 OCT 2024

|         |      |
|---------|------|
| JOB No. | 2434 |
| DATE    |      |

| DESCRIPTION | DATE | REV. |
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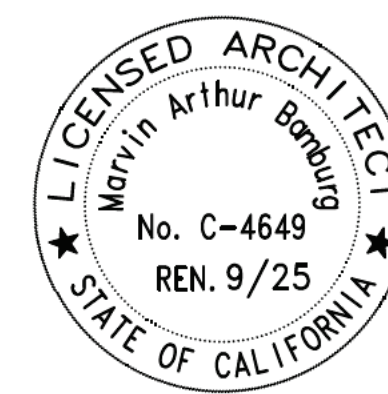
REMODEL/ADDITION

34 PLEASANT STREET  
LOS GATOS, CA 95030

ARCHITECTS

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MARVIN BARBUR ASSOCIATES

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MBA ARCHITECTS

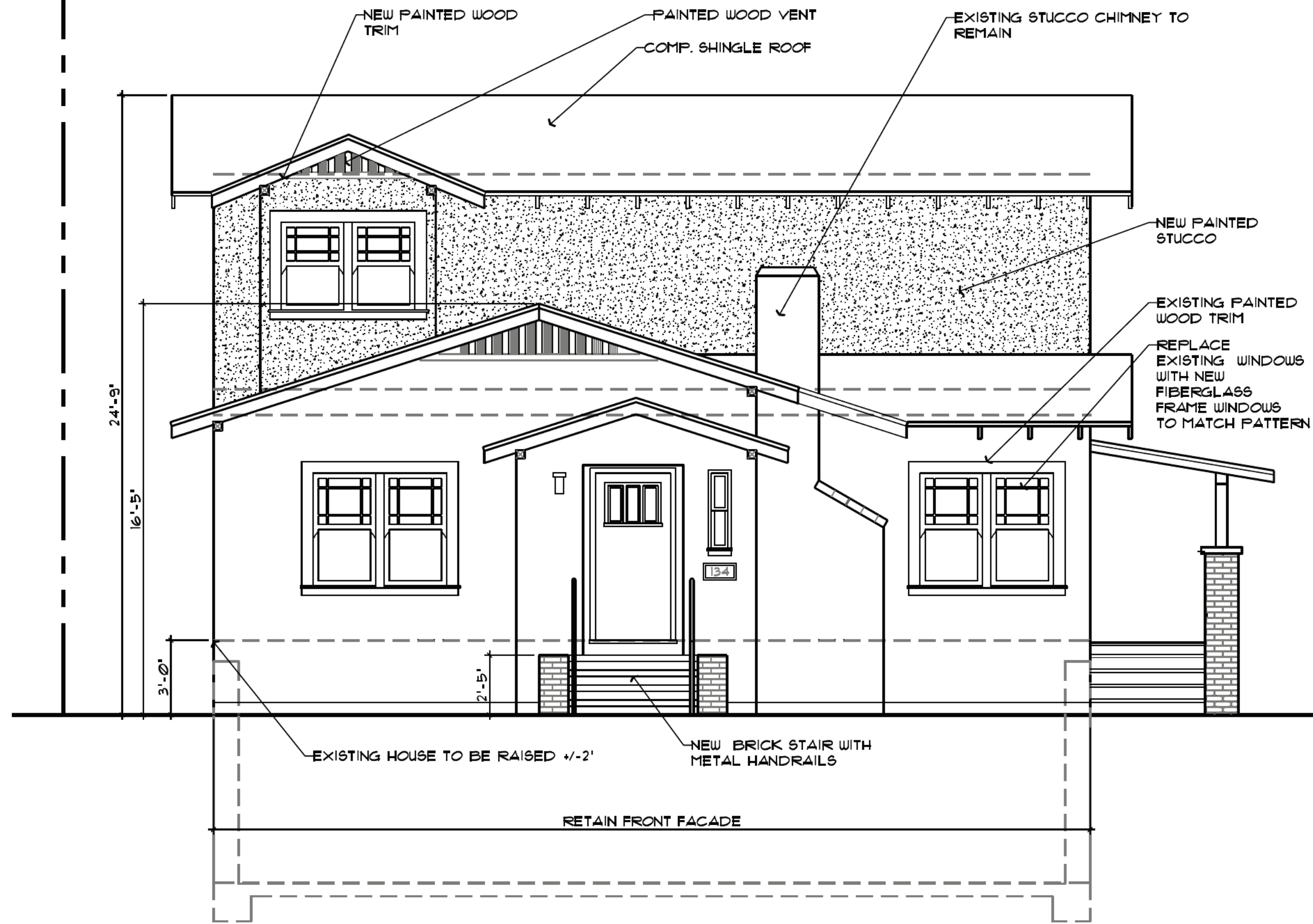
SHEET TITLE  
FLOOR 1  
FLOOR 2

SCALE As Shown  
CAD FILE 2434-A2.dwg  
DRAWN BY

SHEET

A2  
OF SHEETS

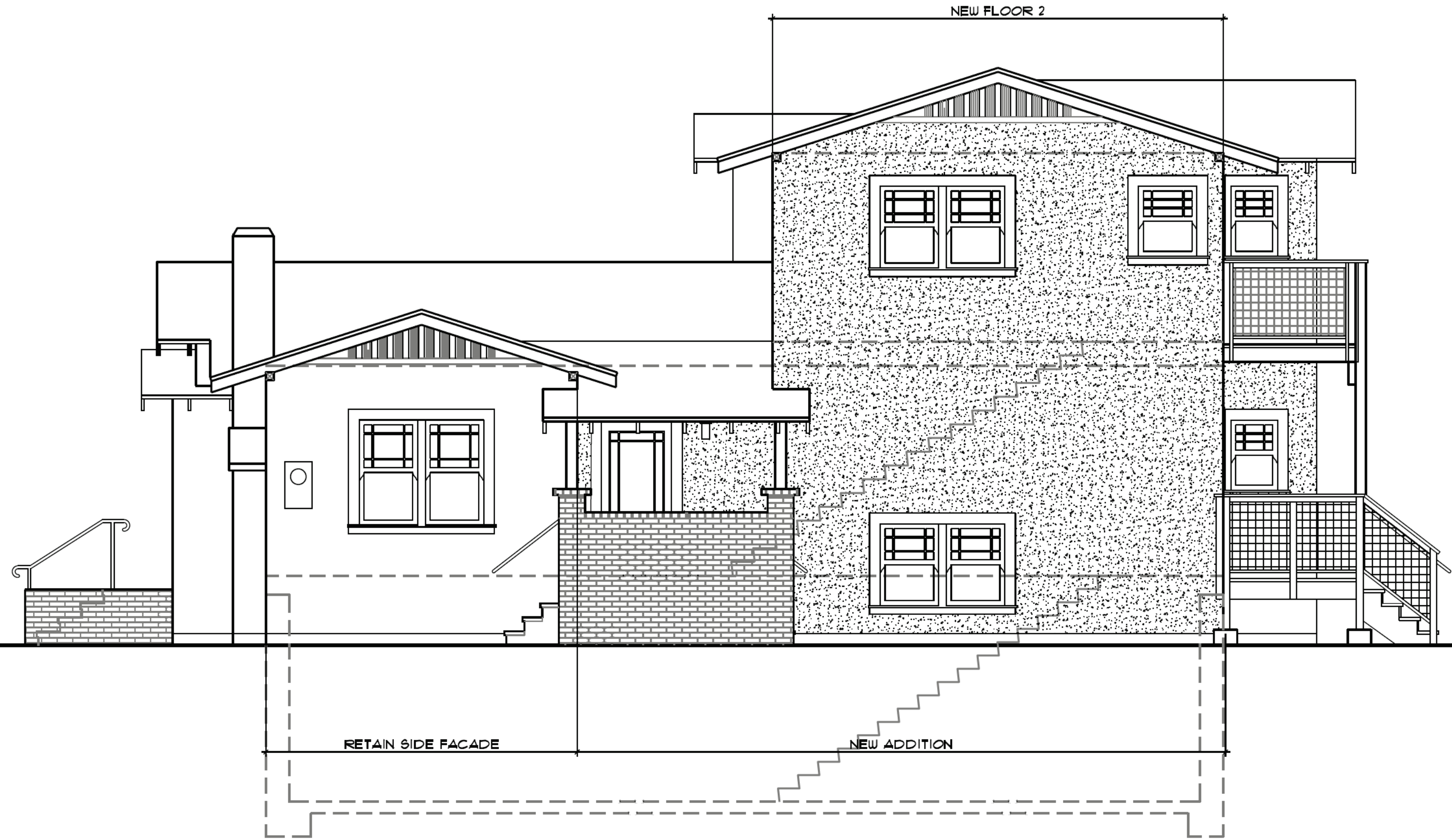




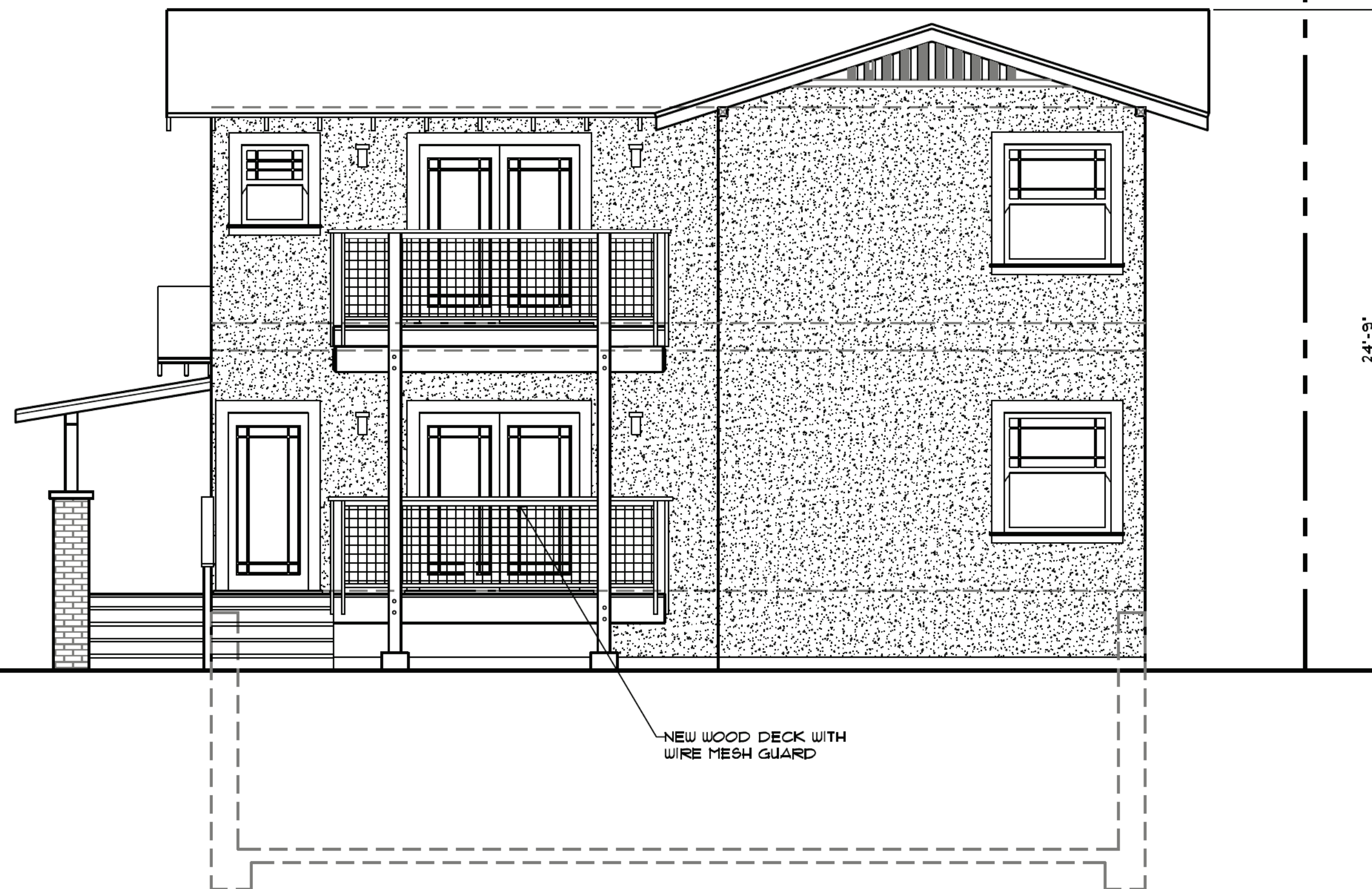
WEST

0 1 2 4 8 16

SCALE: 1/4" = 1'-0"

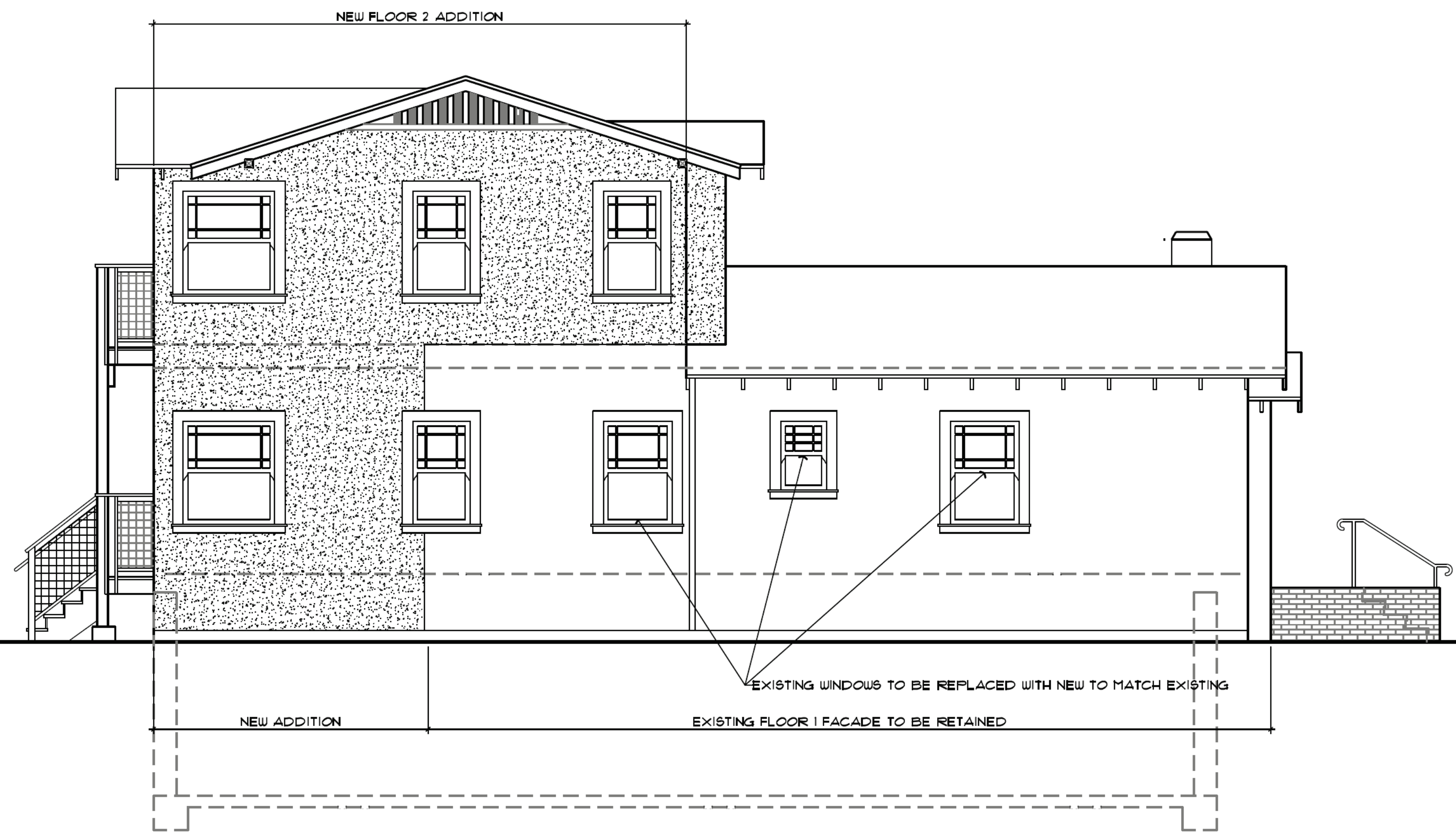


SOUTH



EAST

EAST FACADE IS ALL NEW ADDITION



NORTH

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JOB No. 2434

DATE

| DESCRIPTION | DATE | REV. |
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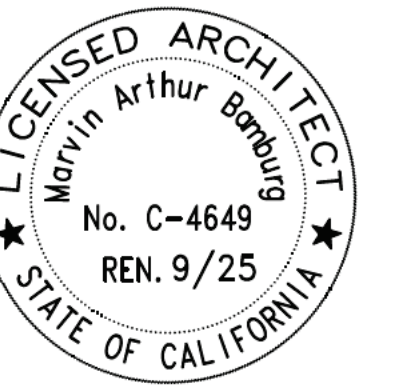
REMODEL/ADDITION

34 PLEASANT STREET  
LOS GATOS, CA 95030

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SHEET TITLE  
EXTERIOR  
ELEVATIONS

SCALE As Shown  
CAD FILE 2434-A4.dwg  
DRAWN BY

SHEET  
A4  
OF SHEETS



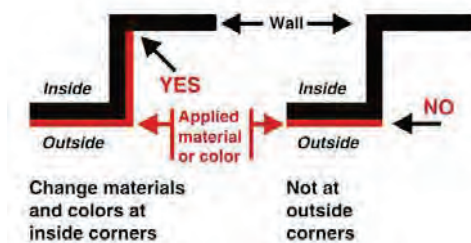
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### 3.8.3 Use traditional detailing

- Treat openings in walls as though they were constructed of the traditional material for the style. For example, be sure to provide substantial wall space above arches in stucco and stone walls. Traditionally, wall space above the arch would have been necessary to structurally span the opening, and to make the space too small is inconsistent with the architectural style.
- Openings in walls faced with stone, real or synthetic, should have defined lintels above the opening except in Mission or Spanish Eclectic styles. Lintels may be stone, brick or wood as suits the style of the house.
- Treat synthetic materials as though they were authentic. For example, select synthetic stone patterns that place the individual stones in a horizontal plane as they would have been in a load bearing masonry wall.
- Select roof materials that are consistent with the traditional architectural style (e.g., avoid concrete roof tiles on a Craftsman Style house.)

### 3.8.4 Materials changes

- Make materials and color changes at inside corners rather than outside corners to avoid a pasted on look.



Use stone or wood lintels over openings in stone walls

### 3.9 ADDITIONS/ACCESSORY BUILDINGS/SECONDARY UNITS

- Site additions in the least conspicuous place. In many cases this is a rear or side elevation - only rarely is it a rooftop.
- The existing built forms, components and materials should be reinforced. Heights and proportions of additions and alterations should be consistent with and continue the original architectural style and design.
- Additions should be subordinate, and compatible in scale and proportion to the historically significant portions of the existing structure.
- When an addition or remodel requires the use of newly constructed exterior elements, they should be identical in size, dimension, shape and location as the original, and



Additions, accessory buildings and secondary units should match the form, architectural style, and details of the original house



## BUILDING DESIGN

## 3



*Original structure*



*Addition incorporated into the roof successfully adds space while respecting the integrity of the existing house and the scale of the neighborhood*



*Placing a two story addition to the rear can minimize its impact on the historic resource and the scale of the neighborhood*

should utilize the same materials as the existing protected exterior elements.

- When an addition necessitates the removal of architectural materials, such as siding, windows, doors, and decorative elements, they should be carefully removed and reused in the addition where possible.
- The introduction of window and door openings not characteristic in proportion, scale, or style with the original architecture is strongly discouraged (e.g., sliding windows or doors in a structure characterized by double hung windows and swinging doors).
- The character of any addition or alteration should be in keeping with and subordinate to the integrity of the original structure.
- The amount of foundation exposed on the addition should match that of the original building.
- Do not add roof top additions where the roof is of historic significance.
- Second floor additions are discouraged in neighborhoods with largely one story homes. If horizontal expansion of the house is not possible, consider incorporating a second floor addition within the roof form as shown in the example to the left.
- Second floor additions which are not embedded within the roof form should be located to the rear of the structure.
- The height and proportion of an addition or a second story should not dominate the original structure.
- Deck additions should be placed to the rear of the structure only, and should be subordinate in terms of scale and detailing.
- New outbuildings, such as garages, should be clearly subordinate to the main structure in massing, and should utilize forms, materials and details which are similar to the main structure.
- Garages should generally be located to the rear of the lot behind the rear wall of the residence. One car wide access driveways should be utilized.