



**TOWN OF LOS GATOS
HISTORIC PRESERVATION COMMITTEE
REPORT**

MEETING DATE: 12/18/2024

ITEM NO: 6

DATE: December 13, 2024
TO: Historic Preservation Committee
FROM: Joel Paulson, Community Development Director
SUBJECT: Requesting Preliminary Review for Construction of a New Second-Story Addition to an Existing Pre-1941 Single-Family Residence on Property Zoned R-1D. **Located at 34 Pleasant Street.** APN 529-26-018. Exempt Pursuant to CEQA Guidelines, Section 15301: Existing Facilities. Request for Review Application PHST-24-023. Property Owner: Michael Hyman. Applicant: Maia Gendreau. Project Planner: Ryan Safty.

RECOMMENDATION:

Requesting preliminary review for construction of a new second-story addition to an existing pre-1941 single-family residence on property zoned R-1D located at 34 Pleasant Street.

PROPERTY DETAILS:

1. Date primary structure was built: 1920 per County Assessor's Database
2. Town of Los Gatos Historic Status Code: + rating, historic and intact or worthy of special note.
3. Does property have an LHP Overlay? No
4. Is structure in a historic district? No
5. If yes, is it a contributor? N/A
6. Findings required? No
7. Considerations required? Yes

BACKGROUND:

The Santa Clara County's Assessors Database lists a construction date of 1920 for the residence. According to the Sanborn Fire Insurance Maps, the property was vacant until the 1928-1944 map update. The footprint on the 1928-1944 and 1928-1956 maps shows the house in its current condition (Attachment 1).

PREPARED BY: Ryan Safty
Associate Planner

The property is included in the 1991 Anne Bloomfield Historic Survey (Attachment 2), showing that the bungalow style residence has an estimated construction date of the 1920s and has a preliminary rating of "historic and intact or worthy of special note."

Town records only show a re-roof permit from 1982 (Attachment 3). The applicant provided a summary of the property research (Attachment 4), as well as photographs of the property and surrounding neighborhood (Attachment 5).

DISCUSSION:

The subject property at 34 Pleasant Street is located on the east side of Pleasant Street, across the street from Los Gatos High School. The applicant is requesting a preliminary review by the Committee to provide feedback on a proposed remodel at the back of the house, rear addition, and second-story addition to the existing one-story house.

The project proposes an internal remodel at the rear of the house, and a 521-square foot one-story addition to the rear. The project also proposes a new 740-square foot second-story addition towards the back of the residence, with the beginning of the second-story being placed approximately 20 feet behind the front wall of the existing residence (Attachment 6).

The existing one-story house is approximately 14 feet, nine inches in height with two front gables. The entire existing front façade would be maintained with this proposed project. The existing house has stucco siding, wood frame windows, and a membrane roof.

The proposed residence would be 24 feet, nine inches in height and would maintain the stucco siding. The roof would be composition shingle, and the windows would be replaced throughout the home with new fiberglass frame windows to match the existing windows.

The proposed project would fall below the Town's demolition thresholds for historic residences.

Town's Residential Design Guidelines

The Committee should consider Section 3.9 of the Town's Residential Design Guidelines, which provides recommendations for construction of additions to existing residences (Attachment 7). Including but not limited to the following recommendations:

- The existing built forms, components and materials should be reinforced. Heights and proportions of additions and alterations should be consistent with and continue the original architectural style and design.
- Additions should be subordinate, and compatible in scale and proportion to the historically significant portions of the existing structure.

- When an addition or remodel requires the use of newly constructed exterior elements, they should be identical in size, dimension, shape, and location as the original, and should utilize the same materials as the existing protected exterior elements.

CONCLUSION:

The applicant is requesting preliminary review for construction of an addition and remodel to an existing pre-1941 single-family residence located at 34 Pleasant Street. A new second-story addition, if not triggering a technical demolition, is processed under a Minor Residential Development application. This application would return to the Committee for a recommendation to be forwarded to the Community Development Director and the application would continue through the Minor Residential Development process.

CONSIDERATIONS:

A. Considerations

Sec. 29.80.290. Standards for review.

In evaluating applications, the deciding body shall consider the architectural style, design, arrangement, texture, materials and color, and any other pertinent factors. Applications shall not be granted unless:

- For pre-1941 structures, the proposed work will neither adversely affect the exterior architectural characteristics or other features of the property which is the subject of the application.

B. Residential Design Guidelines

Section 3.9 of the Town's Residential Design Guidelines offers recommendations for construction of additions to existing residences (Attachment 5).

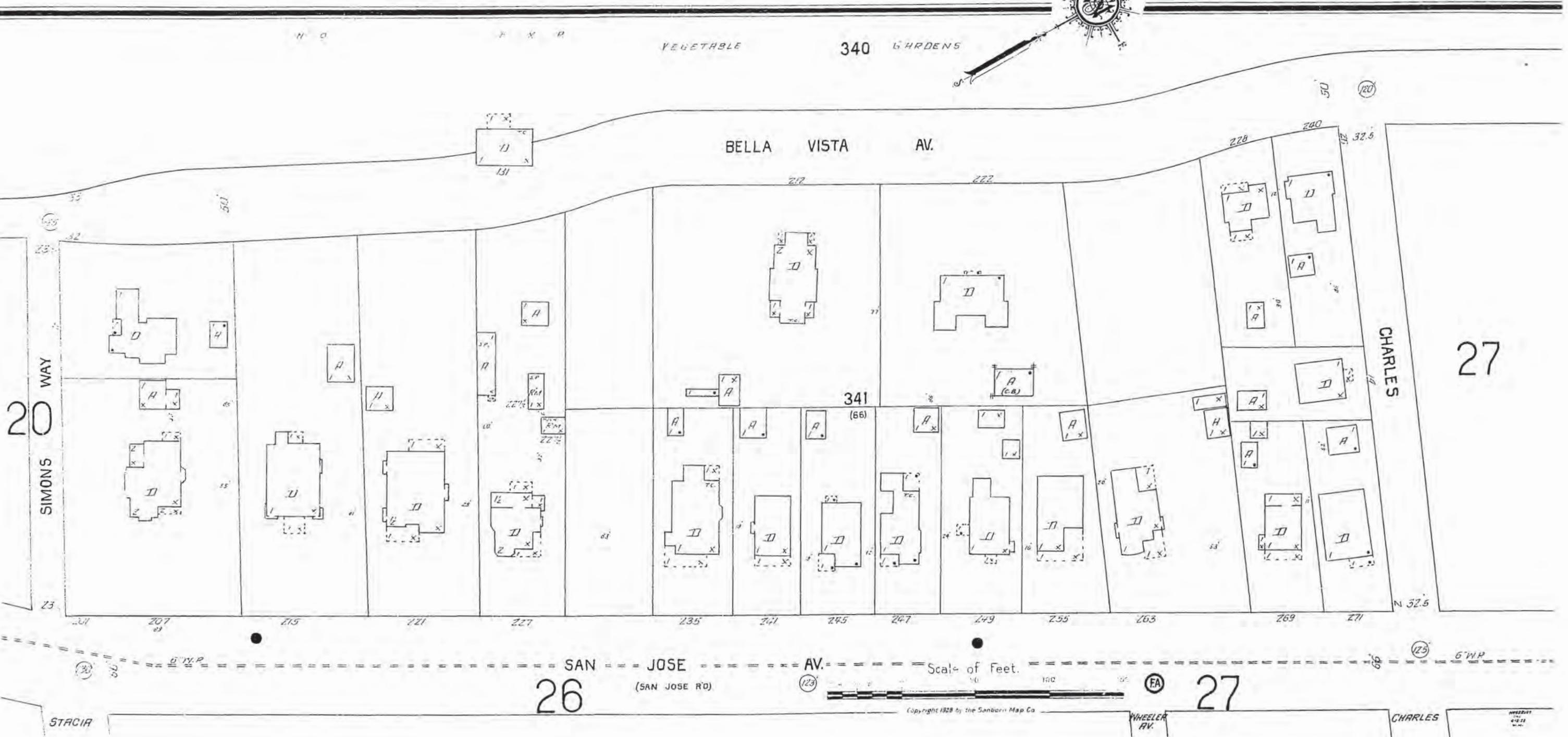
ATTACHMENTS:

1. Sanborn Fire Insurance Maps
2. Anne Bloomfield Historic Survey
3. Building Permit Records
4. Property Research
5. Pictures
6. Project Plans
7. Section 3.9, Residential Design Guideline

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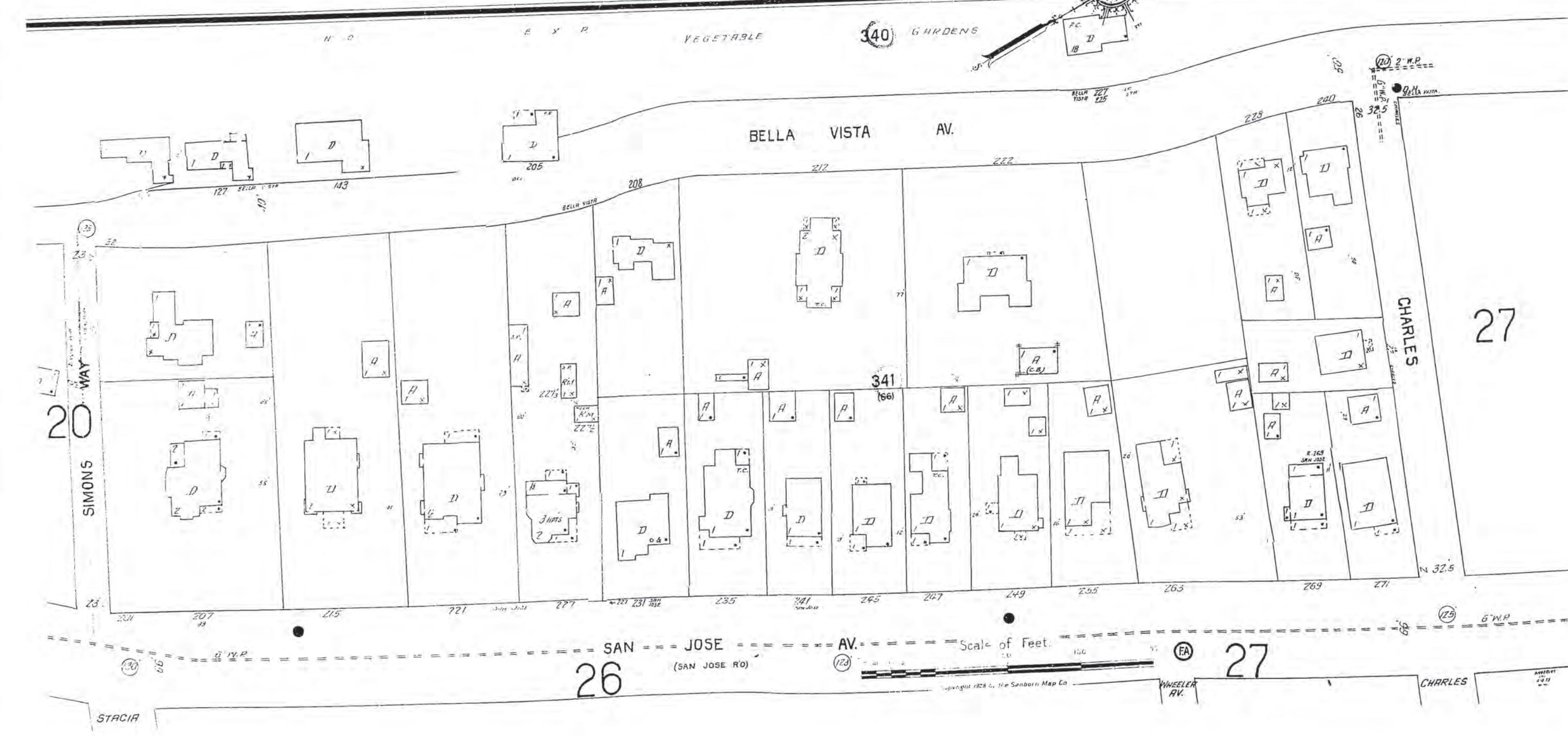
26

27

ATTACHMENT 1

20 CAL. 5.20

63



STACIA

20

(65)
MARCH 1928
LOS GATOS
CALIF.

27

CHARLES

27

20

19

20

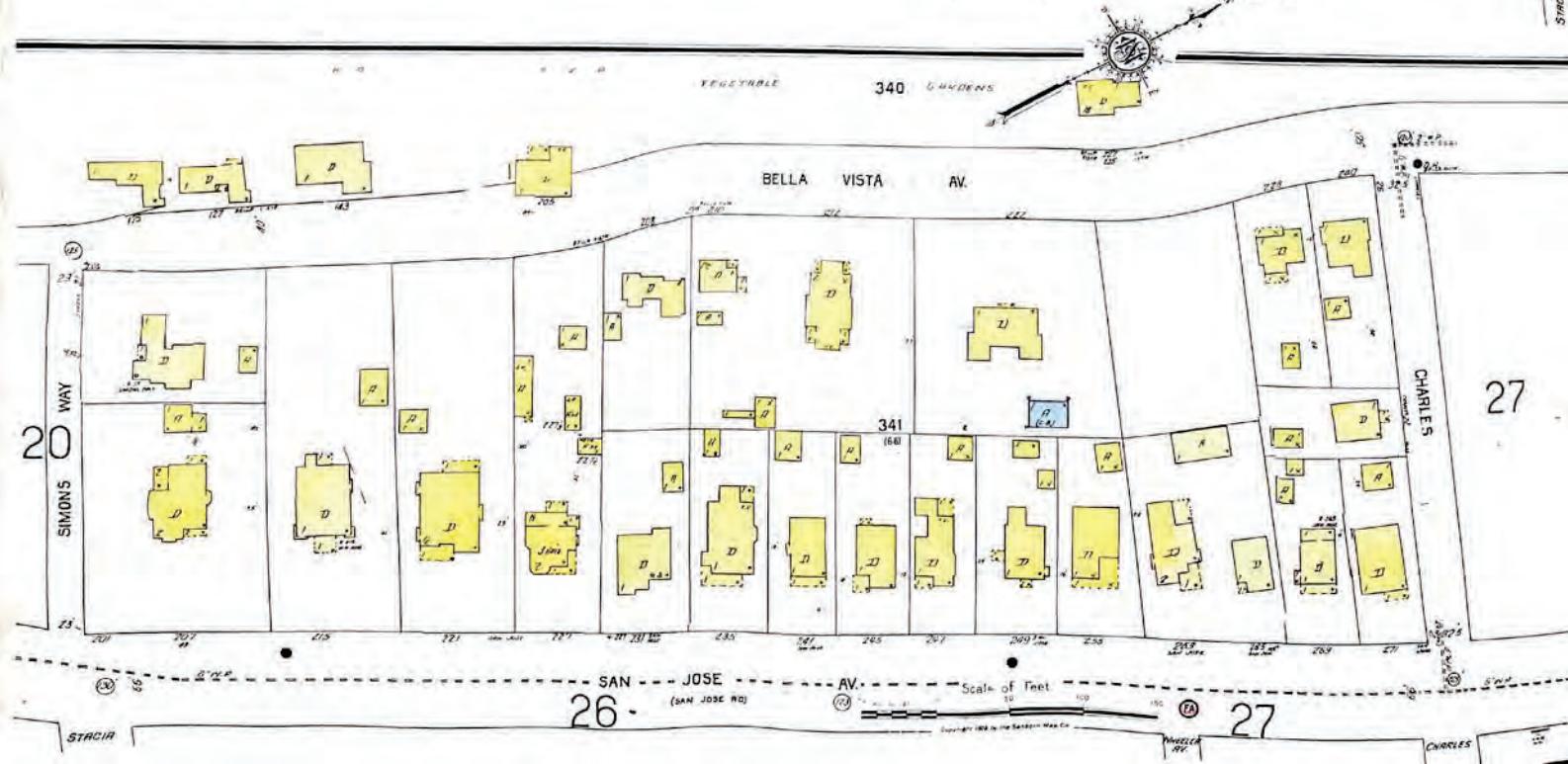
MARCH 1928
LOS GATOS
CALIF.

25

26

20

27



26.

27

STACIA

CHARLES

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TOWN OF LOS GATOS

110 E. MAIN ST., LOS GATOS, CA. 95030
BUILDING INSPECTION DEPARTMENT - PHONE 354-6876

APPLICATION FOR BUILDING PERMIT

B 9262

DISTRIBUTION: 1. INSPECTION RECORD 2. INTERIM RECORD 3. PREMISES 4. TOWN CLERK

ATTACHMENT 3

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TOWN OF LOS GATOS
HISTORIC PRESERVATION COMMITTEE
HISTORIC RESEARCH WORKSHEET



Applicants shall provide written evidence and supporting documents to justify their request for a remodel, alteration, addition, determination of significance, or demolition of a designated or presumptive historic resource. This worksheet is intended to assist the applicant in gathering written evidence and supporting documents, and to assist the Historic Preservation Committee during evaluation of the request.

Applicants shall provide written evidence and supporting documents of the historical and architectural characteristics, regarding both structures (construction date, alteration dates, photographic documentation) and people (owner and/or resident names). If written evidence cannot fit on this worksheet, please attach separate sheets.

The Historic Preservation Committee reviews the application using the Town's Historic District Ordinance requirements. Copies of the ordinance(s) are available at Town Hall. The Committee meets the fourth Wednesday of every month. The filing deadline is 20 days prior to the meeting by 11:00 AM.

The applicant shall research the following (please check the box once you complete your research):

1. Los Gatos Public Library (see How to Research the History of a House in Los Gatos):

- Sanborn Maps
- 1941 Tax Assessment
- 1989 Anne Bloomfield Historic Resource Survey forms
- Polk's Directories
- Telephone Directories
- Other **OWNER ORAL HISTORY**

2. Santa Clara County Resources (especially helpful for properties previously located in the county's jurisdiction):

- Santa Clara County Planning Department records **N/A**
- San Jose Public Library (California Room)

3. Community Development Department Resources:

- Sanborn Maps
- 1989 Anne Bloomfield Historic Resource Survey forms
- Community Development Department property files (permit history)

Research was conducted on (please enter date): 10.22.2024

Records and Documents found (please attach copies): Anne Bloomfield Survey, 1941 tax assessment, Polk directories research (1934-1972)
Telephone directories (1974-1985+1995)
Sanborn Maps 1928+1944

Anne Bloomfield

ARCHITECTURAL/CULTURAL SURVEY
LOS GATOS RESEARCH

File address 3rd & Phoenix

PARCEL MAP INFORMATION

Parcel # 522-66-018 Lot size: 50 front ft. x 143 1/2 ft. deep

Lot shape: Rectangle L Rectangle with small rear jog Other None

Location: N S E ✓ W side of R St Ave Other

distance to cross st: 1350 ft. N S ✓ E W from Highway

at NE NW SE SW corner of

HISTORIC INFORMATION ON PARCEL MAP

Blk Map 21
Old tract or subdivision name Blk 1 Old Block # Old lot # 18

FIELD SURVEY INFORMATION (handwritten in red)

Preliminary rating + Estimated age 1920s Style 2-story # stories 2

Alterations

Other

COUNTY ASSESSOR--PROPERTY CHARACTERISTICS (paste on copy) EFFECTIVE DATE

OWNERSHIP SHOWN ON MAPS

Source Name	Source Date	Source Page	Location of property, or Old tract/block/lot	Lot Size	Owner Name
	1891				
Blk Book	1908				
Survey	1944				

MISCELLANEOUS

National Register listed date PHOTOS: Roll/frame # Date

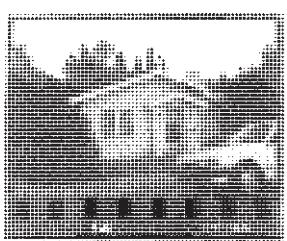
County Inventory 1979

Town of Los Gatos: Designation Recognition

District Name

Previous Survey

Gebhard: page # illustration page #
Butler/Junior League



Soy (926 build)

Form 1(20)

BUILDING CLASSIFICATION AND COMPUTATION RECORD

ADDRESS LOCATION 34 Pleasant ST. AVE.

CITY OF LOS GATOS CALIFORNIA

BLOCK NUMBER 69

LOT NUMBER 18

OWNERSHIP Jessie A. Rulley

SUBDIVISION OR TRACT,

El Monte Sub.

DESCRIPTION

Sect.	Dimensions	Area or Cubage	Unit Cost	Repro.Cost	Out'bldgs	Pres.Value
(A)	X X =	1014 cu. ft	@\$ 3.15	\$ 3194		\$
(B)	X 10 X 4 =	40 cu. ft	@\$ 2.75	110		
(C)	X X =	cu. ft	@\$.		Miscel.	
(D)	X X =	cu. ft	@\$.		Retain.Wall	
	X X =	cu. ft	@\$.		Tank	
	X X =	cu. ft	@\$.		Pool	
Reproduction Cost of Main Building				\$ 3304.	68% Good	\$ 2245.
Garage	X 20 X 20 = 400	cu. ft	@\$.75	\$ 300.	45% Good	\$ 135.
Depreciation	%	Pct. Good	%	TOTAL DEPRECIATED VALUE		
						\$ 2380.

EXTERIOR DESCRIPTION

COMMERCIAL BLDGS	FOUNDATION	EXTERIOR WALLS
Stories	Deep ✓ Shallow ✓	Brick
Stores	Concrete ✓	Stone
Office Bldg	Brick ✓ Stone	Terra Cotta
Apts.	Posts Piers	Tile
Hotels	Mudsill	Stucco
Res. House	Piles	On Wood Lath
Hosp.		✓ On ChickWire
Bank	Hall	Hustic OP RW
Wrks.	Loft	Resawed
Car Garage	Gable Flat	Brd. & Bat.
Seat Theatre	Hip Gambrel	Shiplap
Mill	Mansard Dorm	Novelty T&G
Gas Station	Plain Cut up	Corr. Iron
Green House		Painted
School		Stained

RESID'L BUILDINGS	ROOFING
1 Stories	Wood Shingle
Rooms	Pat. Shingle
Tar & Gravel	Tar & Gravel
Apts.	Tile
Family	Masonry
Duplex	Composition
Bdg.	Metal
Bdg.	Plastic
Cottage	Title
	Wood
	Glass

CONSTRUCTION	PORCHES: NUMBER	EXTERIOR TRIM
Lt. Med. ✓ Hvy.	Front Rear	Ornamental
Masonry	Open Roofed	Plain ✓
Rein'd. Concrete	Screened	
FI.	Glassed In	
Steel Frame		
Wood Frame ✓		
Mill Frame		
Single Wall ✓		
Double Wall ✓		

INTERIOR DESCRIPTION

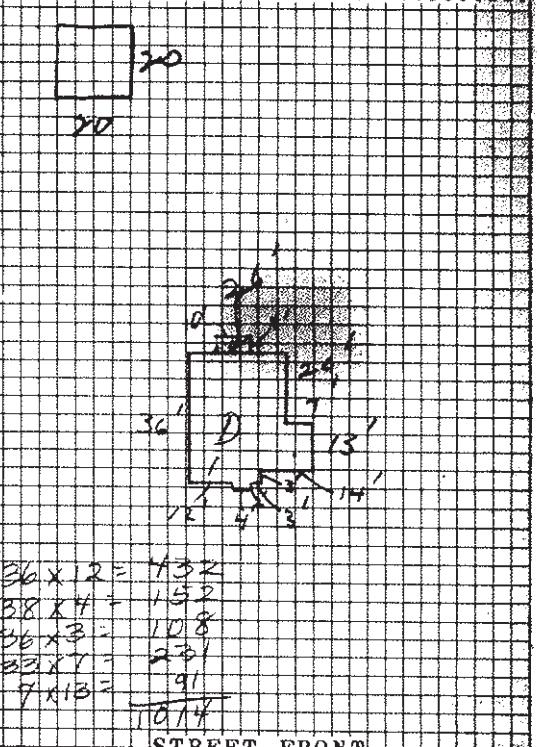
INSIDE TRIM	PLUMBING	BUILT-IN FEATURES	BASEMENT
Stock ✓ Spec.	No. of Fixt. 5	Kitch. Cab. ✓	Ft. Garage Cars
Pine ✓ Hwd.	Old Style ✓	Buffet	Full Part None ✓
Painted ✓ Enam.	Modern ✓	Boot Cases	Floor: Cm. St. Wd. Dt
	Good Med. ✓ Chp.	Lockers	Walls: Cm. St. Wd. Dt
		Patent Beds	Un Finished
		Refrigerator	
		Open Shelvng.	
		ELEVATORS	
		Speed: Hi Low	
		Elec. Byd. Auto	
		Pass. Pat. Dm. Wt.	
		Fire Escapes	Height Ft
		Plate Glass	Sidewalk

DECORATING	LIGHTING	MECHANICAL EQUIPMENT - Pres. Val.
Papered ✓ Rms	No. of Fixt. ✓	Ventilating System \$
Tinted ✓ Rms	Electric	Sprinkler System \$
Canvas ✓ Rms	Old Style ✓	Automatic Fire Alarm \$
Sanitas ✓ Rms	Modern ✓	Vacuum Cleaning System \$
Cloth & Pap. ✓ Rms	Gas Oil	Water Heater ✓ Storage Automatic
Hms Unfin. ✓	Good Med. ✓ Chp.	Air Conditioning \$
Plain Med. ✓ Good	Special	Well Windmill Elec. Pump
		Tank Pressure System

HEATING	OUTBUILDINGS-VALUE Under \$400
Firepl. ✓ Stove	Dimension X Ft. Age
Hot Air Furn.	Ducts: Pipeless
Pine ✓	Gas or Oil Fire
Hardwood ✓	Radiant Fire
Cement	Steam or Hot Wat.
	Arcola System
	Thermostat
	Floor or ✓
	Wall Furn.
	Miscellaneous Remarks
	See Reverse

BUILDING DIAGRAM AND DETAILS.

Scale 1" = 50' HEIGHT FT.



PRICED BY W.W. Holden DATE 4/26/49

CLASSIFICATION 1234 1800

QUALITY: Cheap...; Medium...; Good...; Special...

OCCUPANCY Owner Tenant Vacant Not Home

Age 15 Yrs. Remodeled Age Yrs.

Condition: New Good Medium Poor

Obsolescence Yes No Functional Defects....%

Special Depreciation For: Lack of Utility....%

Over....% Under....% Improvement: Location....%

DESIGN: Good...; Acceptable...; Poor...; Freak....

FLOOR PLAN: Good...; Acceptable...; Awkward....

Perimeter of Walls 142 ft; Number of angles....

HENT \$ _____ Per _____ Source of Information

Mo. Tenant Agent Estimated

REAL ESTATE APPRAISAL COMPUTATION.

BLOCK NO.

69

LOT NO. 18

BLOCK BOOK PAGE

14

Description, Dimensions and Ownership of Real Property Described herein, conforms with Official Block Book, and Assessment Map of The City Named on Reverse.
No accountability Assumed for Matters Legal in Character. Computation of Values of Land and Buildings in Accordance with Contract Provisions for Equatax System Valuation.

SYMBOL	FRONT	DEPTH	PCT.	COEF.	UNIT	COMPUTED VALUE
	50	X 147.88	114	57.00	7 1/2	\$ 428.
	X					
	X					
	X					
	Added For Corner					
	Added For Alley					

SYMBOLS

SYMBOLS
F.T.=Front Triangle. R.T.=Rear Triangle. B.L.=Back Lot Comp.
C.I.=Corner Influence. δ =Reverse Corner Comp.

TOTAL

Retail Business
Semi Business

Residence SPECIAL REMARKS
Industrial

VALUATION RECORD

YEAR	1940	19	19	19
Land Value	\$ 430.	\$	\$	\$
Building Value	\$ 2380	\$	\$	\$
Number of Bids	2			

OWNERSHIP RECORD

1940

19.11

1942

1

19.15

1946

1947

SKETCHES OR REMARKS, OR
METERS AND BOUNDS DESCRIPTION

REVISIONS AND ADJUSTMENTS: Record Below Subsequent Changes in Value due to Re-appraisal. Indicate Reason for Action Such as Additions, Alterations, Rebuilding, Fire Loss, Demolition, or Removal of Buildings.

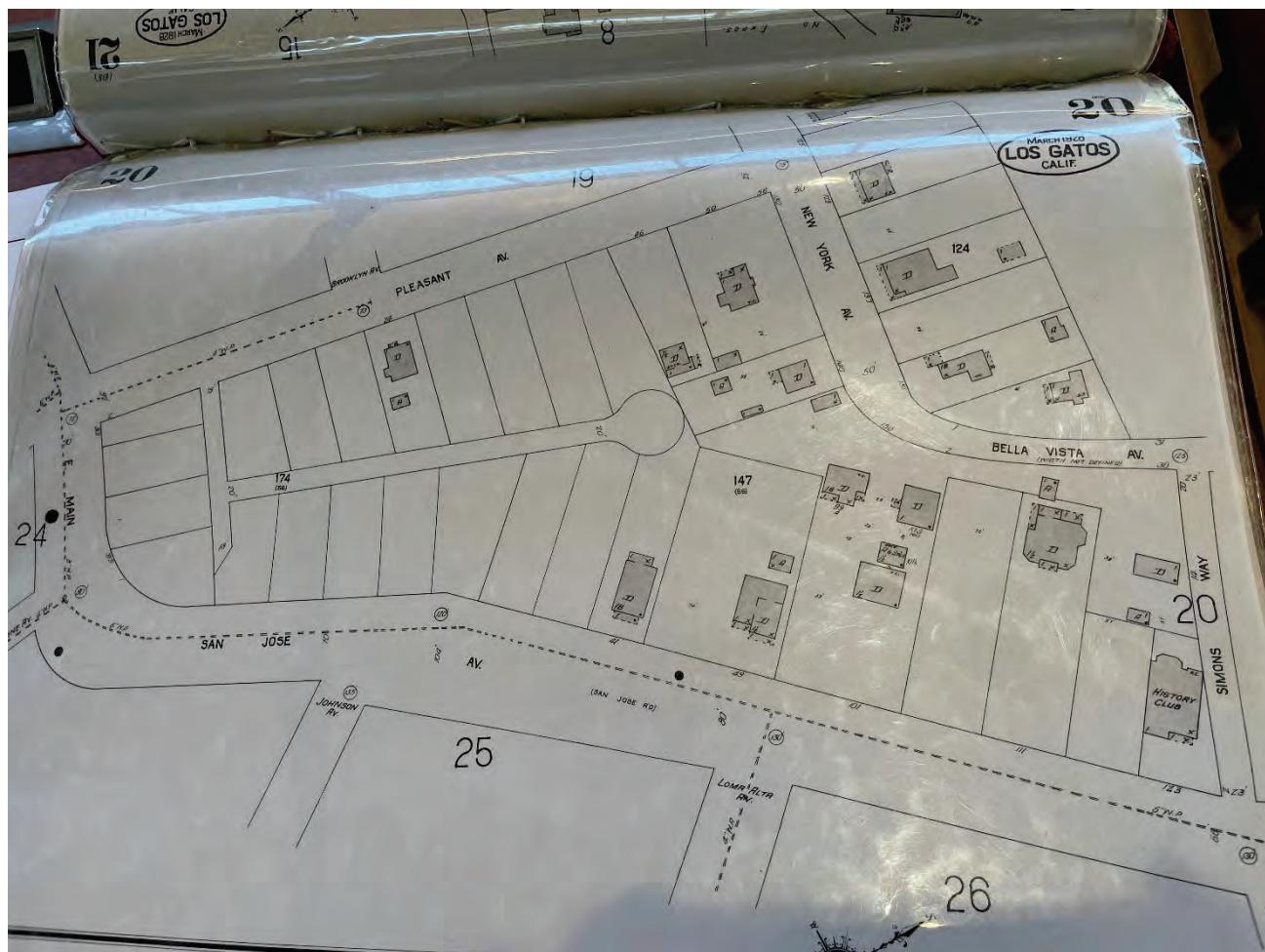
Owner [REDACTED] oral history of 34 Pleasant Street, Los Gatos.
(transcribed 28 October, 2024, by Maia Gendreau, MBA Architects).

My grandparents, (Charles A. and Jessie A. Reilly), built the house. It was the second home built in the "El Monte" tract. The insurance company and the tax statements seem to indicate that it was completed in 1920, but I have read a diary entry that it was "fit for occupancy on December 14, 1928? Perhaps the land was purchased in 1920 (\$4,000) and the house was built in 1928 (\$5,000). My grandfather Charles A Reilly died when my mom was 6 years old and my grandmother (Jessie (Ennis) Reilly) moved to Montana with her to live with family. They rented the house out (linens and all). They returned to Los Gatos and lived in the house until my mom's senior year at Los Gatos High. They then moved to Turlock, CA and once again rented the house out. My mom upon graduation from Turlock High attended the College of Pacific (latter UOP) in Stockton, CA where she met my dad. I grew up in Stockton and from the 50's my grandmother and parents lived in Stockton renting out the house in Los Gatos (34 Pleasant). I moved to Los Gatos in 1981, but rented an apartment until 1983 when I moved into the house. At that time we asked the current tenants to move out (it was occupied by "John Sorenson (a local plumber) his wife and their two sons) tenants for over 15 years. I has been my principle residence ever since.

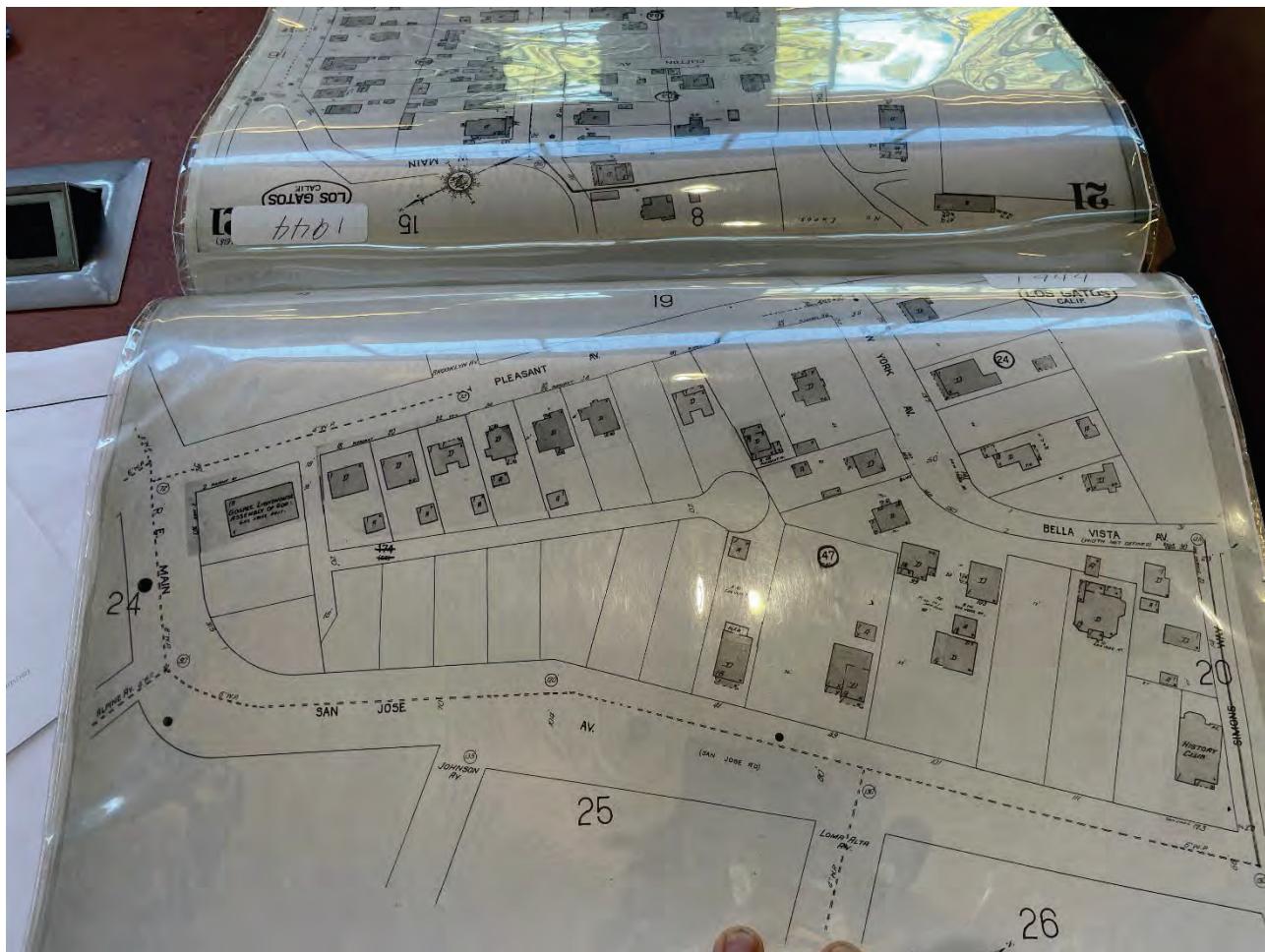
34 Pleasant Street< Los Gatos
 Polk Directories history of residents

YEAR	RESIDENT	PROFESSION	NOTES
1934	Reilly, Chas. A., (Jessie A.)	no listing	Jessie A Reilly is noted as the OWNER on the 1941 tax assessor
1936	no listing		
1938	Vollmer, E.E., (Myrle M.)	MGR; Kerful Laundry System Inc.	
1940	Dutro Raymond A. (Clarice)	Clerk JW Crider	
1944	McGregor Donald R. (Nellie)	metallurgist	
1949-50	Keller, Frank M. (Marjory)	Civil Engineer	
1952	Helms. Clinton H (Virginia)		
1954	Malone, (Robert E.L.) (Patricia)	physician, County Hospital	
1956	Crichton Ruth A (Mrs.)	widow, Carl S.	
1958	Prinzing Kelsy C Rev, (Evelyn A)	pastor, Assembly of God Church	
1960	Rodema Chas., (Margaret E)	Building Contractor	
1961	Rodema Chas., (Margaret E)	Building Contractor	
1962	Curtis Dahl A. (Mary)	Laborer	
1965	No Return		
1965-72	Sorenson John C	Sorenson's Plumbing	1965-72 Sorenson John C is listed as resident
Phone Books -			
1974-85	Sorenson Plumbing is listed as a business at 21 Main Street under John Sorenson's license, 56355		
1995	Sorenson Plumbing is listed as a business at 21 Main Street under license 514085.		

1928 Sanborn Map – 34 Pleasant Street shows no building.



1944 Sanborn Map – 34 Pleasant Street shown in the approximate current shape



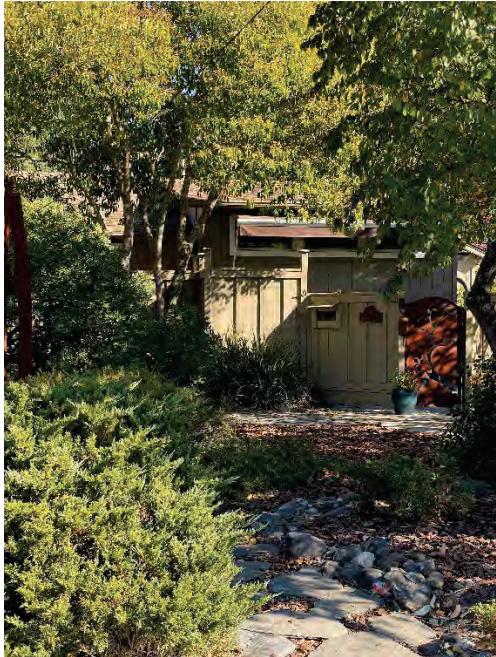
Homes on Pleasant Street, Los Gatos, CA



34 Pleasant – THIS PROJECT

Immediate neighbors:

36 Pleasant

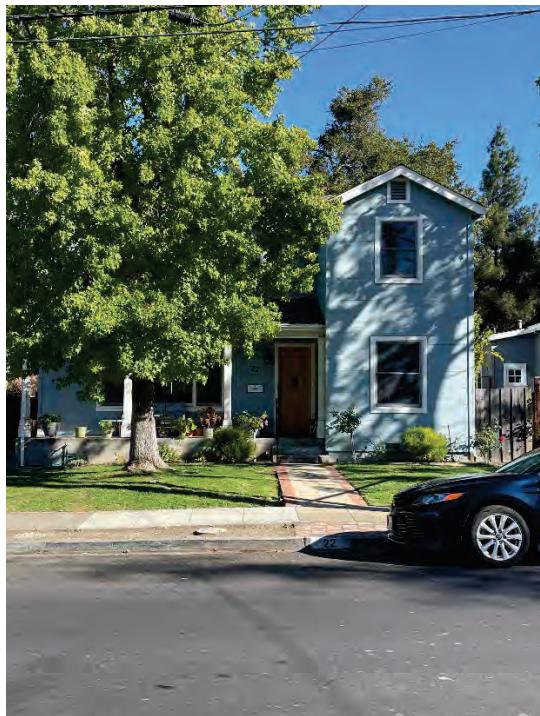


26 Pleasant



Other homes on the street:

22 Pleasant



40 Pleasant



75 New York



Across the street is a building on the High School Campus



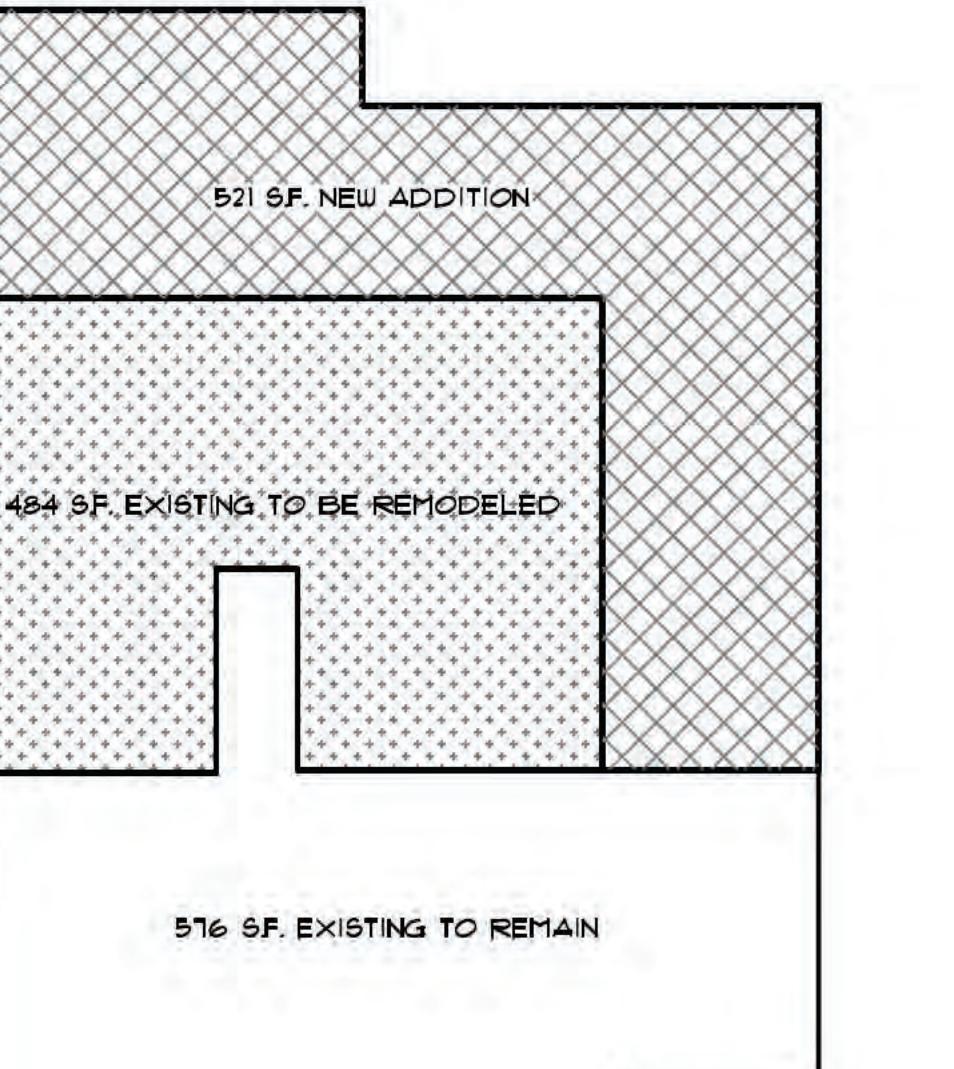
ABBREVIATIONS

AT	ANCHOR BOLT	LF.	LINEAL FOOT
AC	ASPHALTIC CONCRETE	LG. L	LONG
ACOUST	ACOUSTICAL	LDR	LOCKER
ADD	ADDENDUM	LT	LIGHT
ADJ	ADJUSTABLE	LVT	LUXURY VINYL TILE
AH	AUTHORITIES HAVING JURISDICTION	MAX	MAXIMUM
ALT	ALTERNATE	MB	MACHINE BOLT
ALUM	ALUMINUM	MC	MEDICINE CABINET
APPROX	APPROXIMATELY	MECH	MECHANICAL
ARCH	ARCHITECT	MEMBR	MEMBRANE
ASGR	ASSEMBLY	MET	METAL
ALT	ALTERNATE	HGS	MANUFACTURE(R)
ALUM	ALUMINUM	MJ	MALLEABLE IRON
APPROX	APPROXIMATELY	MIN	MINIMUM
ARCH	ARCHITECT	MIR	MIRROR
ASGR	ASSEMBLY	MOS	MOSAIC
BLDG	BUILDING	MOUNTED	MOUNTED
BLK(G)	BLOCK(ING)	MUL	MULLION
BM	BEAM	N	NORTH
BOT	BOTTOM	NEC	NEW
BOC	BLOCK OF WALK	N.E.C.	NATIONAL ELECTRIC CODE
B&L	BUILDING SETBACK LINE	NO.	NOT IN CONTRACT
BSPL	BACKSPLASH	NO. *	NUMBER
BTU	BTU	NOM	NOMINAL
BUR	BOTH	N.I.S.	NOT TO SCALE
BUR	BUILT-UP ROOFING	NRC	NOISE REDUCTION CONTROL
BUR	BOTH WAYS	O	OVER
CAB	CABINET	OA	OVERALL
CAH	CAHILL, ALL HEART	OBSE	OBSCURE
CB	CABIN BATH, CORNER BEAD	OC	ON CENTER
CBC	CALIFORNIA BUILDING CODE	OD	OUTSIDE DIMENSION (DIA)
CCR	CENTER TO CENTER	OFF	OFFICE
CEM	CALIFORNIA CODE OF REGULATION	OH	OVERHEAD, OVERHANG
CEM	CENTER	OPG	OPENING
CI	CASE IRON	OPPSITE	OPPOSITE
CJ	COLD JOINT, CONTROL JOINT	OZ	OUNCE
CL	CEILING	PC	PLUMBING CONTRACTOR
CLKG	CAULKING	PPB	PLASTIC FINISH BOARD
CLD	CLD	PLAS	PLATE, PROPERTY LINE
CLR	CLEAR	PLYUD	PLASTER
CMC	CALIFORNIA MECHANICAL CODE	POL	PLYWOOD
CMP	CORRUGATED METAL PIPE	PRE	POLISHED
CMU	CONCRETE MASONRY UNIT	PRECAST	PREFAB
CO	COLLECTOR	PT	POINT
CONC	CONCRETE	P.T.D.	PAPER TOWEL DISPENSER
CONN	CONNECTION	P.T.D.F.	PRESURIZED TREATED DOUGLAS FIR
CONSTR	CONSTRUCTION	P.T.D.R.	COMBINATION P.T.D. & P.T.R.
CONC	CONCRETE	PTN	PARTITION
CNC	CALIFORNIA OFFICE OF NOISE CONTROL	P.T.R.	PAPER TOWL RECEPABLE
CNC	CLEANOUT TO GRADE	PUE	PUBLIC UTILITY EASEMENT
CPC	CALIFORNIA PLUMBING CODE	Q.T.	QUARRY TILE
CPT	CARPET	R	RISER
CT	CERAMIC TILE	RA	RETURN AIR
CTR	CENTER	RAD	RADIUS
CTSK	COUNTERSINK	RAG	RETURN AIR GRILLE
CU	CONDENSING UNIT	RCP	REINFORCED CONCRETE PIPE
CU	CENTERLINE	RD	ROOF DRAIN
D	DRYER	REF	REFLECTOR
DBL	DOUBLE	REFINE	REFINING
DET	DETAIL	RES	RESINOUS FLOORING
DF	DOUGLAS FIR	RET	RETAINING
DM	DRIVE MOUNTAIN	REQ	REQUIRED
DIAG	DIAMETER	REQD	REQUIRED
DIM	DIAGONAL	REFRIG	REFRIGERATOR
DISP	DISPENSER, DISPOSER	RGTR	REGISTER
DR	DR	R1	ROOF
DO	DO	RO	ROUGH
DR	DR	RS	ROUGH OPENING
D.S.	DRAIN SPOUT	RUL	RESAUN
DWG	DRAWSHEAR	RUD	RAINWATER LEADER
DUR	DRAWING	R/W	REDWOOD
E	DR	R/W	RIGHT OF WAY
EA	EAST	S	SOUTH
EJ	EACH	SAD	SEE ARCHITECTURAL DUGS,
ELEC	EXPANSION JOINT	SAR	SUPPLY AIR REGISTER
ELEC	ELECTRICAL	SASM	SELF-ADHERED SHEET MEMBRANE
ELW	EACH WAY	SC	SOLID
(E)EXIST	EXISTING	SCD	SEAT COVER DISPENSER
EMER	EMERGENCY	SD	SOAP DISPENSER
EN	EDGE NAILING	SECT	SECTION
ENCL	ENCLOSURE	SF	SQUARE FEET
EQ	EQUIPMENT	SH	SHOWER
EWC	ELECTRIC WATER COOLER	SHT	SHEET
EWL	EACH WAY	SHTG	SM
(E)EXIST	EXISTING	SMS	SHEETMETAL SCREWS
EMER	EMERGENCY	SNB	SANITARY NAPKIN DISPENSER
EXPO	EXPOSED	SNR	SANITARY NAPKIN RECEPTACLE
EXT	EXTERIOR, EXTENSION	SOV	SHUT-OFF VALVE
F.A.	FIRE ALARM	SP	SPIRE, POLE
FAU	FORCED AIR UNIT	SQ	SQUARE
FB	FLAT BOTTOM	SS	SELECT STRUCTURAL
FC	FLANGE CLIP	SS	STAINLESS STEEL
F.C.O.	FLOOR CLEANOUT	SSK	SERVICE SINK
FD	FLOOR DRAIN	ST	STATION
FDC	FIRE DEPT. CONNECTION	STD	STANDARD
FGN	FOUNDRY	STL	STEEL
FE	FACE EXTINGUISHER	STO	STORAGE
FF	FACE OF FRAME, FACEFRAME	SUSP	STRUCTURAL
FFA	FREE FLOW AREA	SV	SUSPENDED
FFG	FREE FLOW GRADE	SU	SHEET VINYL FLOORING
FGL	FIXED GLASS	SYM	SHEAR WALL
FIN	FINISH	T	SYMETRICAL
FL	FLOOR	TB	TEMPERED
FLASH	FLASHING	T B	TOP & BOTTOM
FLUOR	FLUOR	T.C.	TOP OF CURB
FOC	FACE OF CONCRETE	TEL	TELEPHONE
F.O.M.	FACE OF MASONRY	TER	TERRAZZO
F.O.S.	FACE OF STUD	TH	THICK
FOP	FLASH OPENING	THK	THRESHOLD
F.R.T.	FIRE RETARDANT TREATED	TOP	TOP OF PLATE
FR	FIRE RETARDANT TREATED	TP	TOP OF PAVEMENT
FTG	FOOTING	TPD	TOP, PAPER DISPENSER
FUR	FURRING	TRD	TREAD
FUT	FUTURE	T.S.	TUBULAR STEEL
G	GALVE	T.S.B.	TOP-SET BASE
GAL	GALLON	T.V.	TELEVISION
GALV	GALVANIZED	TU	TOP OF WALL
GB	GRAB BAR	TYP	TOPICAL
GLB	GUILLIUM BEAM	UNF	UNFINISHED
GL	GALVANIZED IRON	UNL	UNLESS NOTED OTHERWISE
GND	GROUND	UR	URINAL
GR	GRADE	VCP	VITROUS CLAY PIPE
GSM	GYLVED SHEET METAL	V.C.T.	VINYL COMPOSITION TILE
GWB	GYPSUM WALLBOARD	VERT	VERTICAL
GYP	GYPSUM	VEST	VESTIBULE
HB	HOSE BIBB	VZ	VERD
HC	HOLLOW CORE	V.F.	VERMICULITE
HD	HOLLOWDUN	V.T.	VERMILLION GRAIN
HDUR	HARDWARE	V.T.R.	VENT THRU ROOF
HDUR	HARDWOOD	W	VINYL WALL COVERING
HDR	HEADER	W.C.	WEST, WASHER
HGT	HEIGHT	W.C.	WATER CLOSET
HM	HOLLOW METAL	WD.	WINDOW DIMENSION
HORIZ	HORIZONTAL	WI.	WROUGHT IRON
HR	HORIZONTAL	W.M.F.	WOVEN WIRE FABRIC
HR	HOUR	W.O.	WITHOUT
HDD	HOT DIPPED GALVANIZED	WP	WATERPROOF
HWH	HOT WATER HEATER	WS.	WOOD SCREWS
I&W	IN ACCORDANCE WITH	WSCT	WAIRSCOT
ID	INSIDE DIMENSION	WT	WEAVE
IM	IMBALANCES	WWM	WOVEN WIRE MESH
INSUL	INSULATION	WRC	WESTERN RED CEDAR
INT	INTERIOR		
INV	INVERT		
ISA	INTERNATIONAL SYMBOL		
ACCESSIBILITY			
JAN	JANITOR		
JST	JOINT		
KT	KITCHEN		
LBS	LOCAOTOR		
LAM	LAMINATED		
LAV	LAVATORY		
LB.	LOADING		
LB.	ROUND(S)		

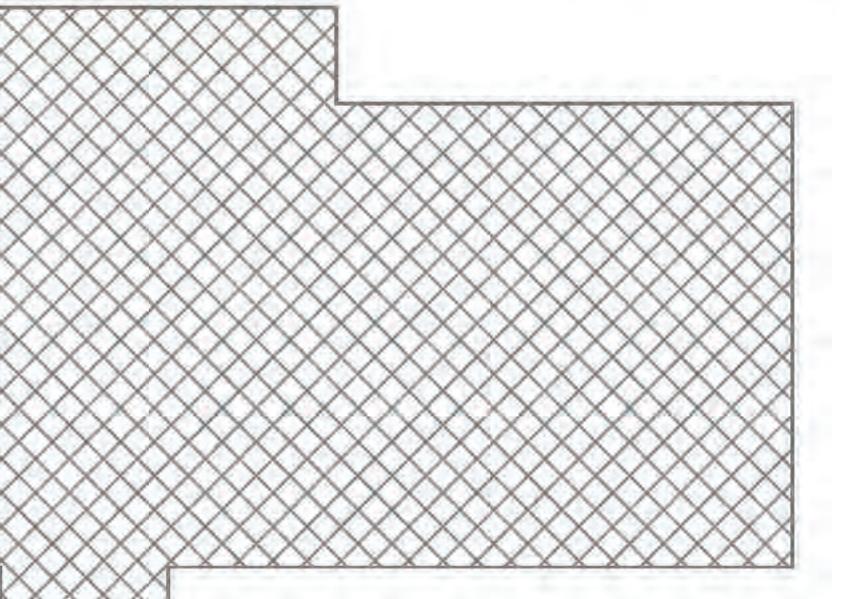
REMODEL/ADDITION

PRELIMINARY REVIEW

HISTORIC PRESERVATION COMMITTEE



FLOOR 1 PLAN
140 SF. NEW



GENERAL

OWNER
34 PLEASANT STREET
LOS GATOS, CA 95030
PHONE: ()
EMAIL: [REDACTED]

PROJECT DESCRIPTION

THIS PROJECT IS A REMODEL AND ADDITION TO AN EXISTING SINGLE FAMILY RESIDENCE, ORIGINALLY BUILT C. 1930.

THIS PROJECT WILL RETAIN 62% OF THE EXISTING EXTERIOR PERIMETER. APPROXIMATELY 38% OF THE EXISTING PERIMETER WILL BE OBSCURED OR REMOVED AS A PART OF THIS PROJECT.

PROJECT INFORMATION

BUILDING USE: SINGLE FAMILY RESIDENCE
ASSESSOR'S PARCEL NUMBER: 528 26 018

ZONING: R-1D
OCCUPANCY TYPE: R3
YEAR ORIGINALLY BUILT: 1930

STORIES: 1 EXISTING
ADD NEW FLOOR 2

EXISTING FLOOR AREA: 1060 SF.

NEW FLOOR:
FIRST FLOOR: 521 SF.
SECOND FLOOR: 140 SF.

TOTAL: 2321 SF.

FAR: 0.35 MAX LOT SIZE - 1,130 SF.
MAX FAR ALLOWABLE: 2,105 SF.

APPLICABLE CODES:
2022 CBC
2022 CEC
2022 CMC
2022 CPC

2022 CA HISTORIC BUILDING CODE
2022 CA EXISTING BUILDING CODE
2022 CAL GREEN

MUNICIPAL CODE OF THE TOWN OF LOS GATOS

CONSULTANTS

INDEX OF DRAWINGS

SHT. #	SEQ.	DESCRIPTION
GO	1	COVER SHEET
		ARCHITECTURAL
GI	2	SITE PLAN
A1	3	EXISTING FLOOR PLAN EXISTING EXTERIOR ELEVATIONS
A2	4	FLOOR 1 FLOOR 2
A4	5	EXTERIOR ELEVATIONS

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COVER SHEET

As Shown
CAD FILE 2434-COVERdwg
DRAWN BY

SHEET

GO
1 OF SHEETS



ATTACHMENT 6

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SITE PLAN
1/8" = 1'-0"

ADJACENT SINGLE FAMILY HOME

LOT SIZE: 7130 SF FAR EXISTING: 1060/7130 = 13.1%
FAR PROPOSED: 2321/7130 = 30%
MAX FAR = 35% = 2105 SF ALLOWED

SCALE: 1/8" = 1'-0"

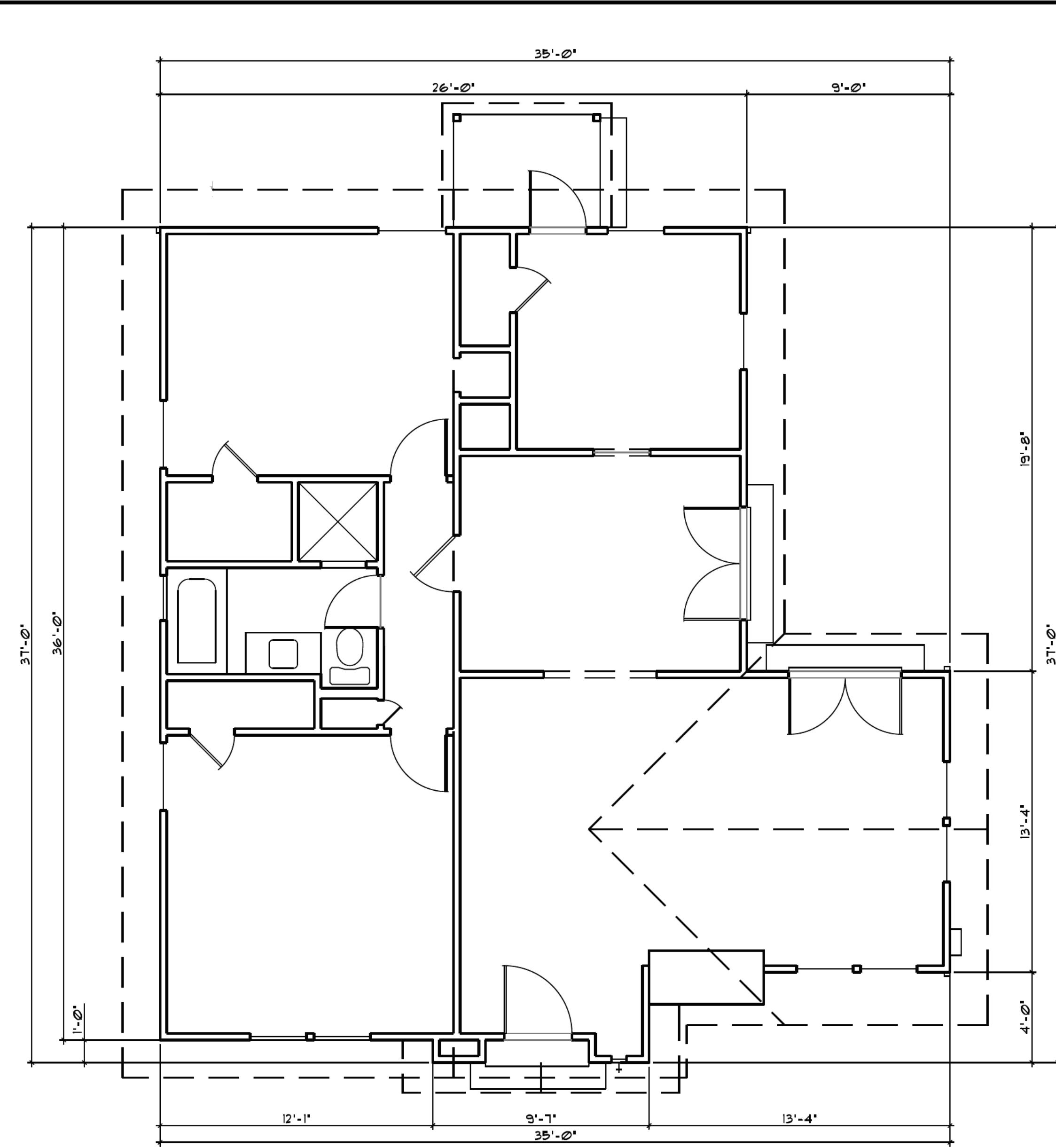
MBA MARVIN BAMBURG ASSOCIATES INC. 1176 LINCOLN AVENUE SAN JOSE CALIFORNIA 95125 PH 408/297-0288X13 FAX 408/297-0384 www.mba-architects.net

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SHEET TITLE
SITE PLAN

SCALE	As Shown
CAD FILE	2434-G1.dwg
DRAWN BY	



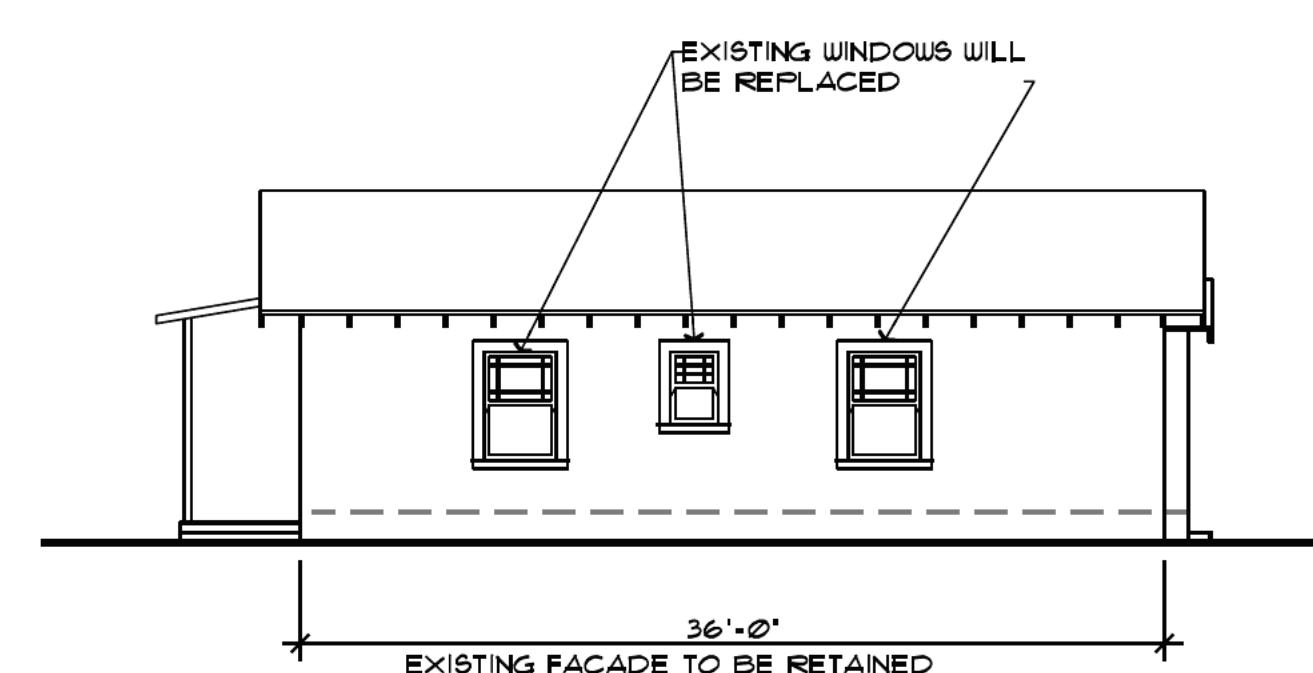
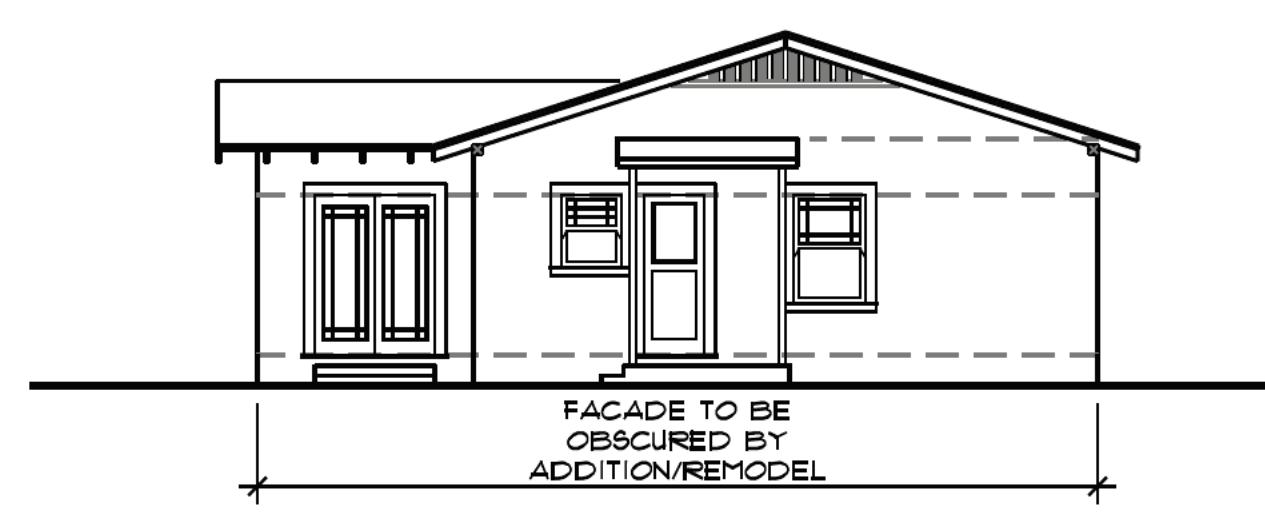
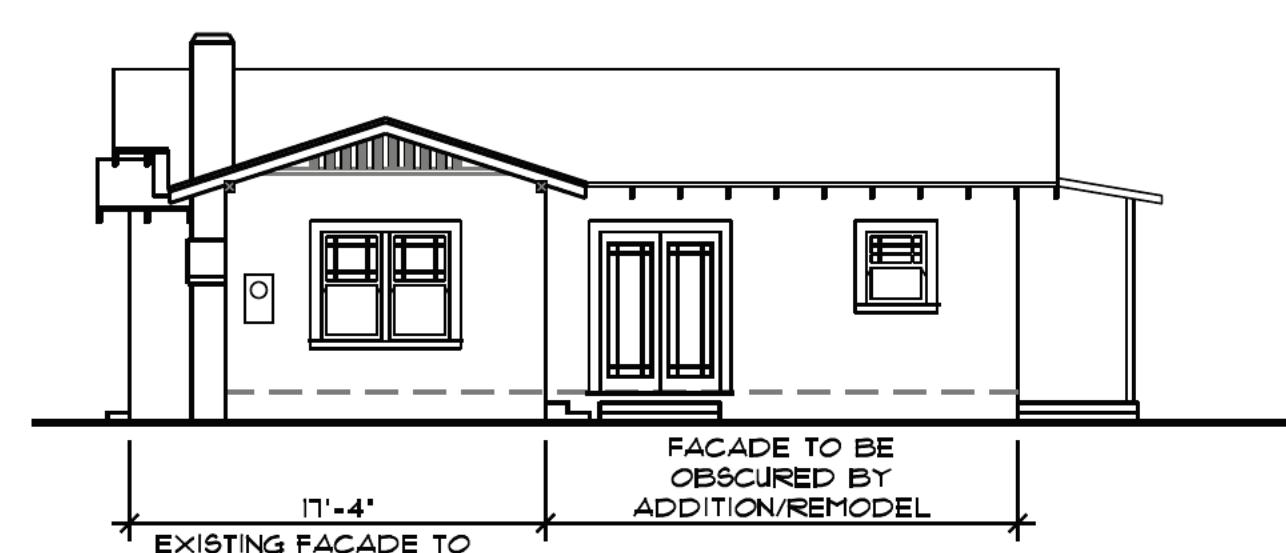
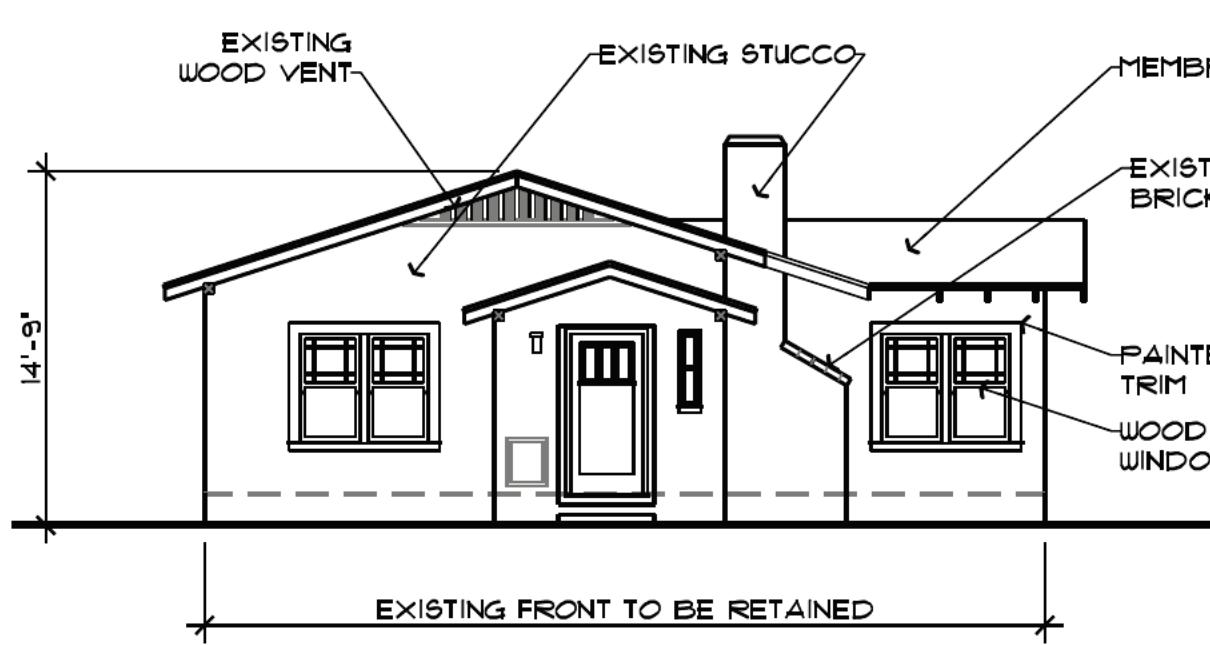
EXISTING FLOOR PLAN

1060 S.F.

PERIMETER TO BE REMOVED/RETAINED CALCULATION

	RETAINED	REMOVED
WEST	35'	
SOUTH	11'-4"	19'-8"
EAST		35'
NORTH	31'	
TOTAL	89'-4"	54'-8"

TOTAL PERIMETER: 144': 62% TO BE RETAINED, 38% TO BE OBSCURED BY NEW ADDITION/REMODEL



EXISTING WEST ELEVATION
1/8" = 1'-0"

EXISTING SOUTH ELEVATION
1/8" = 1'-0"

EXISTING EAST ELEVATION
1/8" = 1'-0"

EXISTING NORTH ELEVATION
1/8" = 1'-0"

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JOB No.	2434
DATE	
DESCRIPTION	DATE REV.

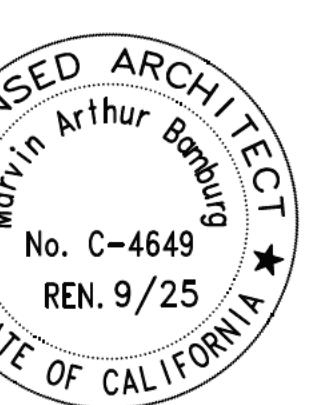
REMODEL/ADDITION

34 PLEASANT STREET
LOS GATOS, CA 95030

ARCHITECTS

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MBA ARCHITECTS

SHEET TITLE
EXISTING FLOOR PLAN EXTERIOR ELEVATIONS

SCALE
As Shown
CAD FILE
DRAWN BY
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1 OF SHEETS
A1

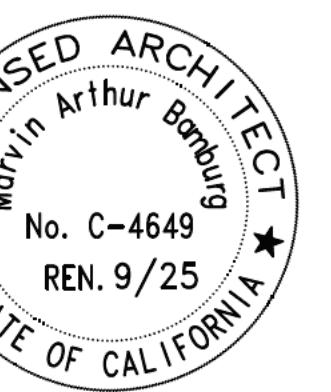
JOB No. 2434
DATE

DESCRIPTION	DATE	REV.

REMODEL/ADDITION

34 PLEASANT STREET
LOS GATOS, CA 95030

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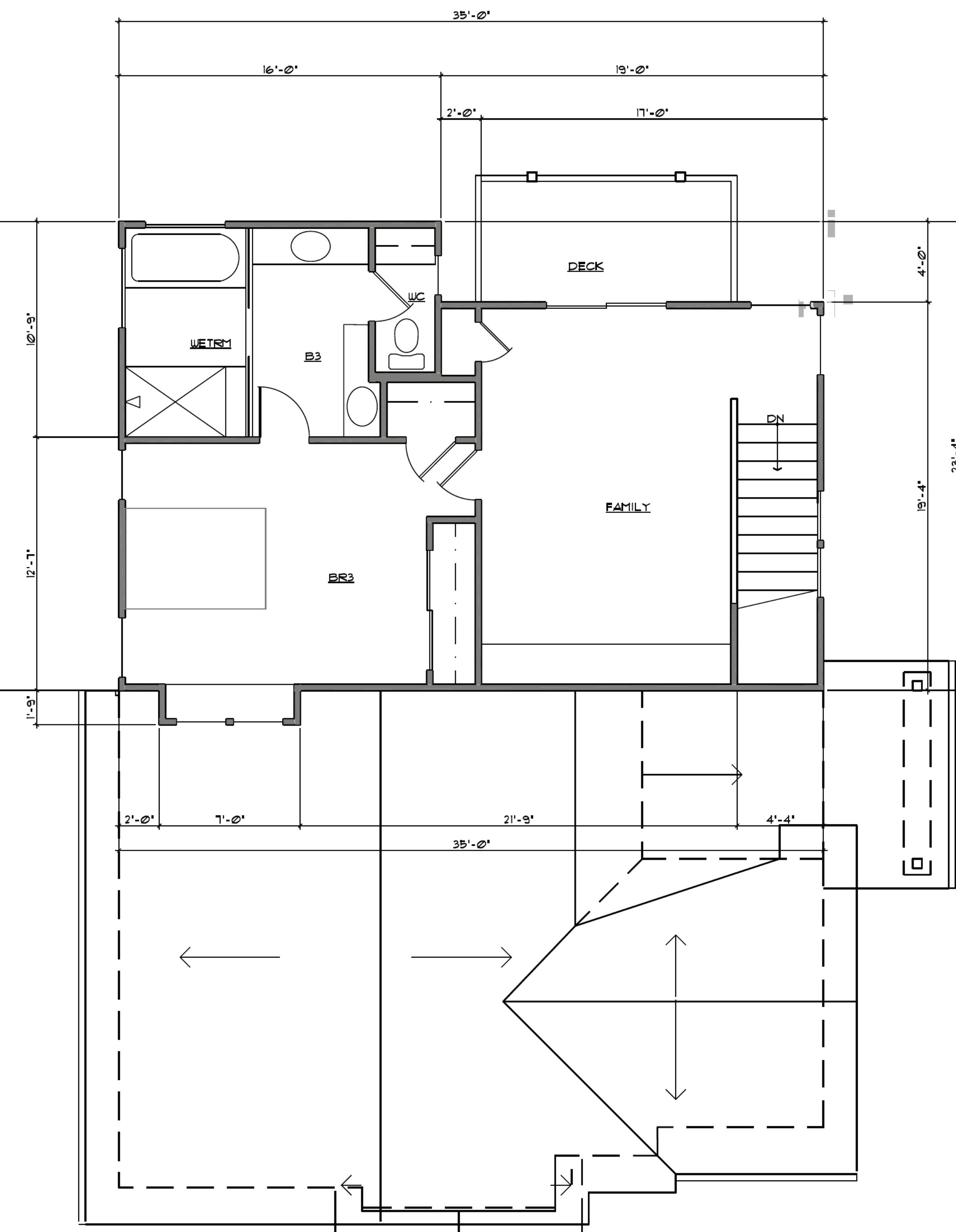
MBA ARCHITECTS

SHEET TITLE
FLOOR 1
FLOOR 2

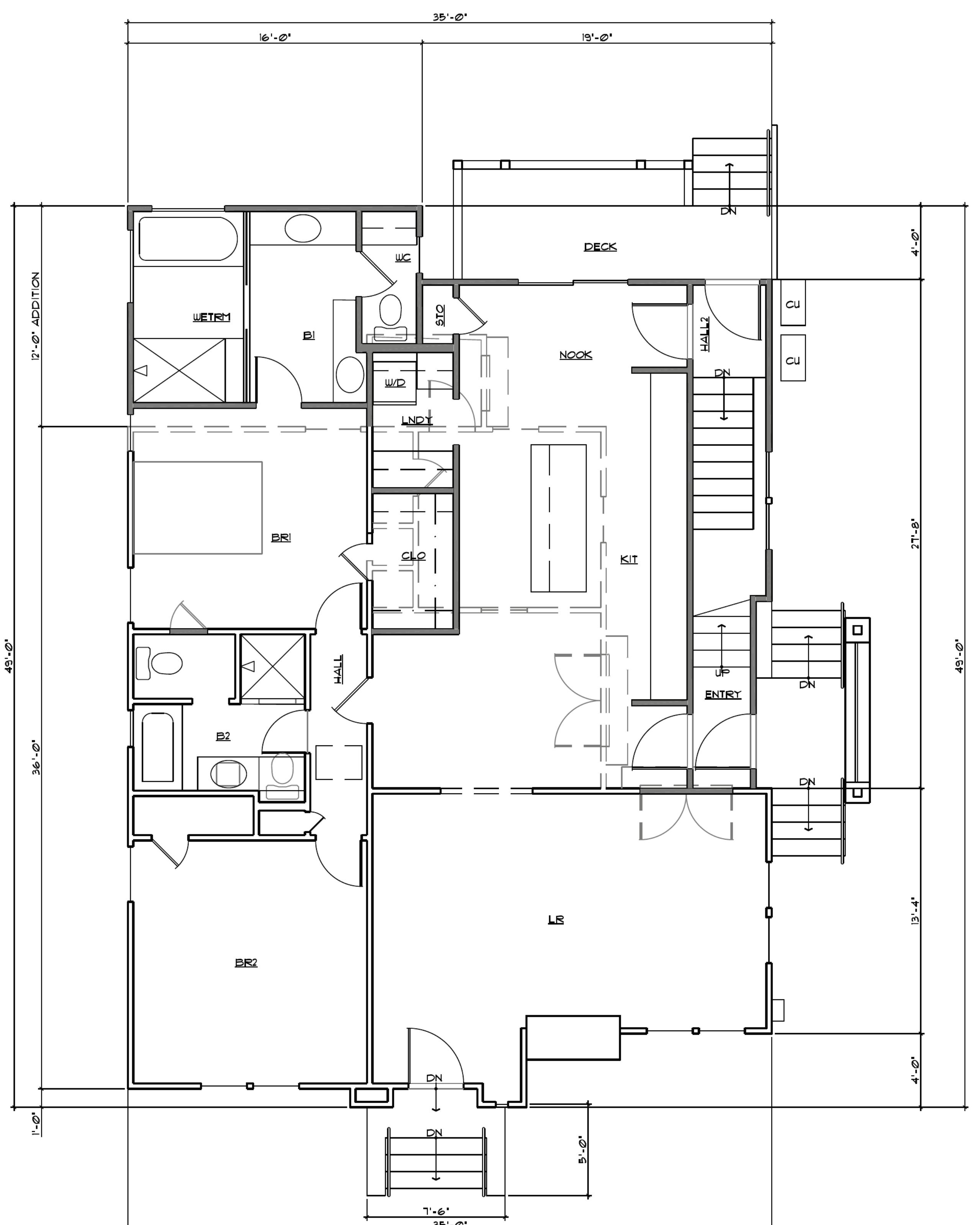
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SHEET
A2
OF SHEETS

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FLOOR 2 PLAN
140 SF. NEW



FLOOR 1 PLAN

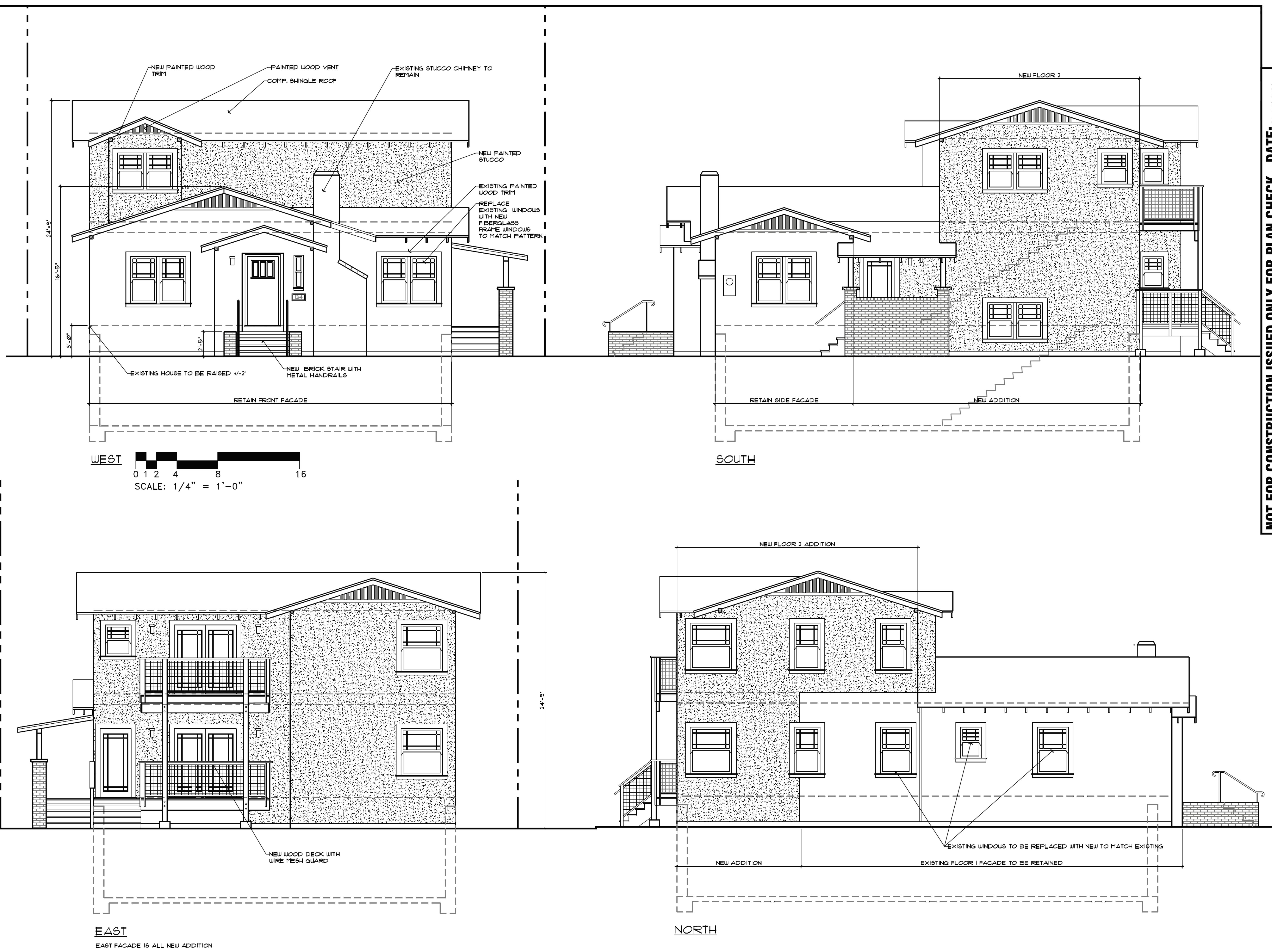
516 SF. EXISTING TO REMAIN
484 SF. EXISTING TO BE REMODELED
521 SF. NEW ADDITION
1581 SF. TOTAL FLOOR 1
140 SF. TOTAL FLOOR 2
2321 SF. TOTAL

LOT SIZE : 7730 SF.

0 1 2 4 8
SCALE: 1/4" = 1'-0"
16

LEGEND

- Existing walls to remain
- Existing walls to be removed
- New walls



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2024

REMODEL/ADDITION

34 PLEASANT STREET
LOS GATOS, CA 95030

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VENUE SAN JOSE CALIFORNIA 95125
FAX 408/297-0384

www.mba-architects.net
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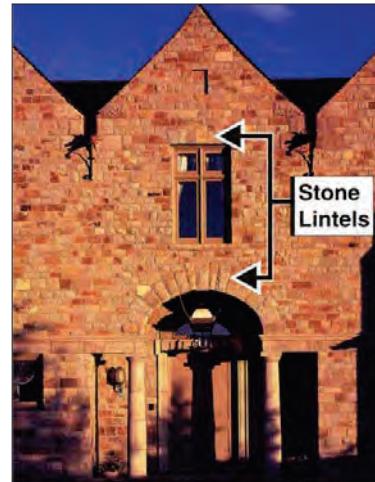
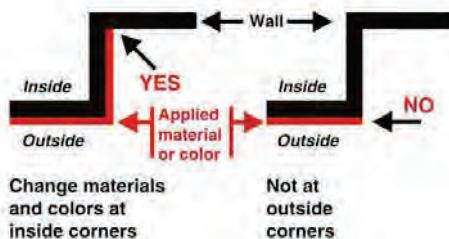
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3.8.3 Use traditional detailing

- Treat openings in walls as though they were constructed of the traditional material for the style. For example, be sure to provide substantial wall space above arches in stucco and stone walls. Traditionally, wall space above the arch would have been necessary to structurally span the opening, and to make the space too small is inconsistent with the architectural style.
- Openings in walls faced with stone, real or synthetic, should have defined lintels above the opening except in Mission or Spanish Eclectic styles. Lintels may be stone, brick or wood as suits the style of the house.
- Treat synthetic materials as though they were authentic. For example, select synthetic stone patterns that place the individual stones in a horizontal plane as they would have been in a load bearing masonry wall.
- Select roof materials that are consistent with the traditional architectural style (e.g., avoid concrete roof tiles on a Craftsman Style house.)

3.8.4 Materials changes

- Make materials and color changes at inside corners rather than outside corners to avoid a pasted on look.



Use stone or wood lintels over openings in stone walls

3.9 ADDITIONS/ACCESSORY BUILDINGS/SECONDARY UNITS

- Site additions in the least conspicuous place. In many cases this is a rear or side elevation - only rarely is it a rooftop.
- The existing built forms, components and materials should be reinforced. Heights and proportions of additions and alterations should be consistent with and continue the original architectural style and design.
- Additions should be subordinate, and compatible in scale and proportion to the historically significant portions of the existing structure.
- When an addition or remodel requires the use of newly constructed exterior elements, they should be identical in size, dimension, shape and location as the original, and



Garage style, form, materials and details match primary house

Additions, accessory buildings and secondary units should match the form, architectural style, and details of the original house

BUILDING DESIGN

3



Original structure



Addition incorporated into the roof successfully adds space while respecting the integrity of the existing house and the scale of the neighborhood



Placing a two story addition to the rear can minimize its impact on the historic resource and the scale of the neighborhood

should utilize the same materials as the existing protected exterior elements.

- When an addition necessitates the removal of architectural materials, such as siding, windows, doors, and decorative elements, they should be carefully removed and reused in the addition where possible.
- The introduction of window and door openings not characteristic in proportion, scale, or style with the original architecture is strongly discouraged (e.g., sliding windows or doors in a structure characterized by double hung windows and swinging doors).
- The character of any addition or alteration should be in keeping with and subordinate to the integrity of the original structure.
- The amount of foundation exposed on the addition should match that of the original building.
- Do not add roof top additions where the roof is of historic significance.
- Second floor additions are discouraged in neighborhoods with largely one story homes. If horizontal expansion of the house is not possible, consider incorporating a second floor addition within the roof form as shown in the example to the left.
- Second floor additions which are not embedded within the roof form should be located to the rear of the structure.
- The height and proportion of an addition or a second story should not dominate the original structure.
- Deck additions should be placed to the rear of the structure only, and should be subordinate in terms of scale and detailing.
- New outbuildings, such as garages, should be clearly subordinate to the main structure in massing, and should utilize forms, materials and details which are similar to the main structure.
- Garages should generally be located to the rear of the lot behind the rear wall of the residence. One car wide access driveways should be utilized.