

DRAFT ORDINANCE

**AN ORDINANCE OF THE TOWN COUNCIL OF THE TOWN OF LOS GATOS
REPEALING AND REPLACING PLANNED DEVELOPMENT ORDINANCE 938
ESTABLISHING DEVELOPMENT STANDARDS AND ALLOWABLE USES FOR LOTS
WITHIN THE PLANNED DEVELOPMENT OVERLAY ZONE
FOR PROPERTY LOCATED AT
110 WOOD ROAD (APN 510-47-038).**

THE TOWN COUNCIL OF THE TOWN OF LOS GATOS DOES ORDAIN AS FOLLOWS:

SECTION I. Planned Development Overlay Zone

The Town Code of the Town of Los Gatos is hereby amended to change the zoning on property located at 110 Wood Road (APN 510-47-038) as shown on the map attached hereto as Exhibit A, and is part of this Ordinance, from R:PD (Residential, Planned Development) to R:PD (Residential, Planned Development). Ordinance number 938, passed and adopted by the Town Council of Los Gatos on March 4, 1968, is hereby repealed and replaced with this Ordinance.

SECTION II. Uses and Improvements Authorized.

The PD (Planned Development Overlay) zone established by this Ordinance authorizes the following construction and use of improvements:

1. Demolition of all existing buildings on the site;
2. Construction of a new senior living facility as shown on the Official Development Plans (Exhibit B);
3. Removal of 192 trees, including 8 large protected trees;
4. Site improvements requiring a Grading Permit; and
5. Uses permitted are a senior living facility with independent units and supporting care units.

SECTION III. Compliance with Other Development Standards.

All provisions of the Town Code apply, except when the Official Development Plan specifically shows otherwise.

SECTION IV. Architecture and Site Approval Required.

Architecture and Site Approval is required prior to submitting for Building, Tree

Removal, and/or Grading Permits. Construction permits shall only be in a manner complying with Section 29.80.130 (PD Ordinance) of the Town Code.

SECTION V. Official Development Plan.

The attached Exhibit A (Map), and Exhibit B (Official Development Plans), are part of the Official Development Plan.

SECTION VI. Performance Standards.

The performance standards included as Exhibit C, must be complied with before issuance of any grading, or construction permits (mitigation measures are so noted and are flagged with an asterisk).

SECTION VII. Severability.

In the event that a court of competent jurisdiction holds any Section, subsection, paragraph, sentence, clause, or phrase in this Ordinance unconstitutional, preempted, or otherwise invalid, the invalid portion shall be severed from this Ordinance and shall not affect the validity of the remaining portions of this Ordinance. The Town hereby declares that it would have adopted each Section, subsection, paragraph, sentence, clause, or phrase in this Ordinance irrespective of the fact that any one or more Sections, subsections, paragraphs, sentences, clauses or phrases in this Ordinance might be declared unconstitutional, preempted, or otherwise invalid.

SECTION VIII. Findings.

With respect to findings required for the Planned Development, the Town Council finds as follows:

Required finding for CEQA:

An Environmental Impact Report (EIR) was prepared for the proposed development. By Resolution, the Town Council made the CEQA Findings of Facts, certified the Final EIR, and adopted the Mitigation Monitoring and Reporting Program.

Required consistency with the Town's General Plan:

That the proposed Zone Change is consistent with the General Plan and its Elements in that the proposed development provides much needed senior housing and continuing care services to the Town.

Compliance with Hillside Specific Plan:

The project is in compliance with the Hillside Specific Plan in that the site has served as a senior living facility since 1971 and would continue to do so under the proposed PD. The project includes: modernization of the facility, circulation system, and safety characteristics; an increase in the open space area; and would include a similar number of living units, staff levels, and traffic generation. The proposal is consistent with the development criteria included in the plan.

Required findings for the adoption of a Planned Development Ordinance:

As required by Section 29.80.095 of the Town Code for adoption of a Planned Development Ordinance:

1. The proposed Planned Development complies with Chapter 29, Article VIII, Division 2 of the Town Code.
2. The proposed Planned Development is consistent with the General Plan in that the
3. development provides much needed senior housing and continuing care services to the Town.
4. The proposed Planned Development is consistent with the Hillside Specific Plan in that the project includes: modernization of the existing facility, circulation system, and safety characteristics; an increase in the open space area; and would include a similar number of living units, staff levels, and traffic generation to the existing facility.
5. The proposal is consistent with the development criteria included in the plan. The Planned Development Ordinance provides a public benefit to the Town by providing much needed senior housing and continuing care services.

SECTION IX. Publication.

In accordance with Section 63937 of the Government Code of the State of California, this Ordinance takes effect 30 days from the date of its passage. The Town Council hereby directs the Town Clerk to cause this Ordinance or a summary thereof to be published or posted in accordance with Section 36933 of the Government Code of the State of California.

SECTION X. Effective Date.

This Ordinance was introduced at a regular meeting of the Town Council of the Town of Los Gatos on the 4th day of February 2025, and adopted by the Town Council of the Town of Los Gatos at its regular meeting on the 18th day of February 2025, by the following vote:

COUNCIL MEMBERS:

AYES:

NAYS:

ABSENT:

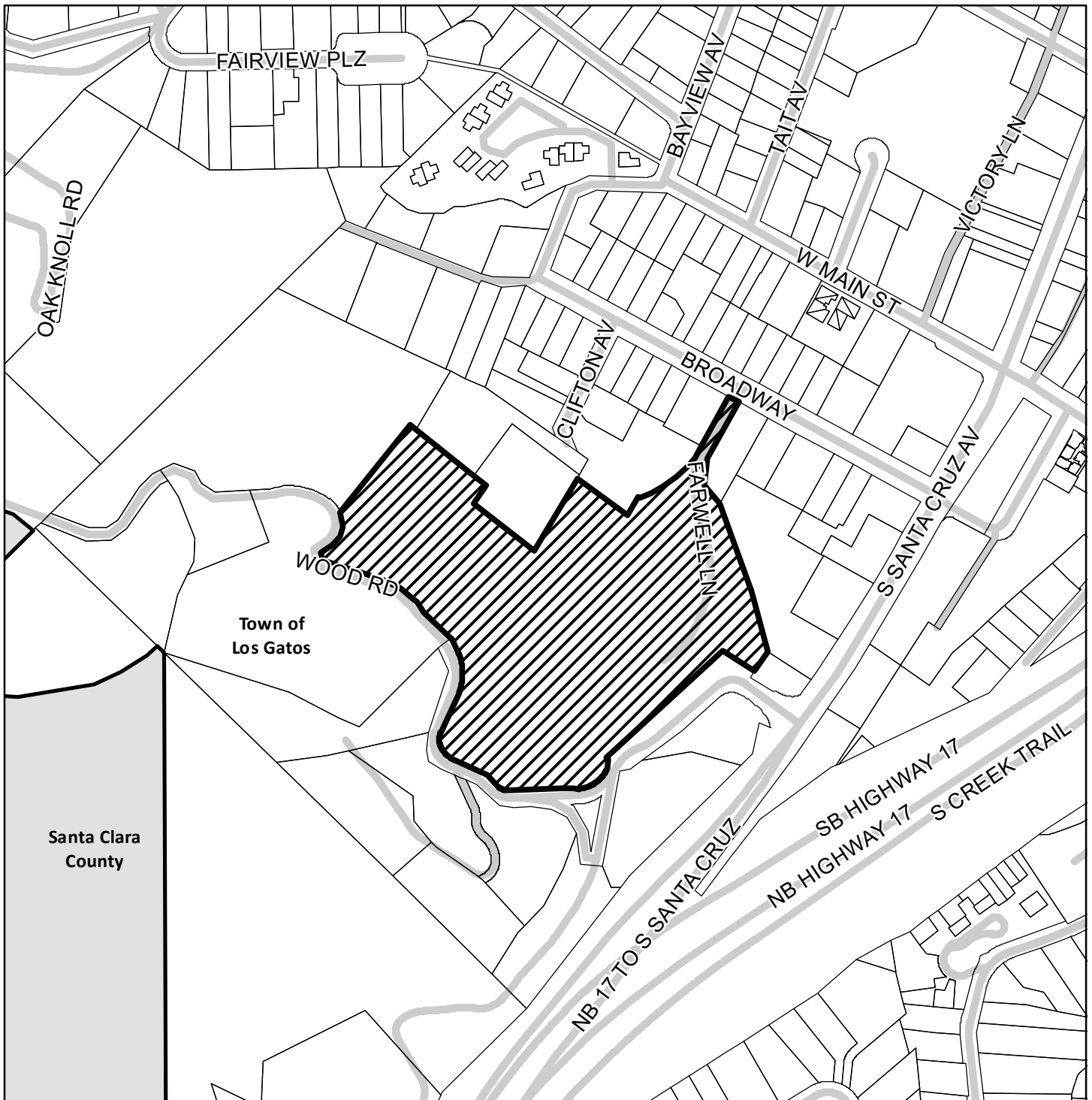
ABSTAIN:

SIGNED:

MAYOR OF THE TOWN OF LOS GATOS
LOS GATOS, CALIFORNIA

ATTEST:

TOWN CLERK OF THE TOWN OF LOS GATOS
LOS GATOS, CALIFORNIA



TOWN OF LOS GATOS

Application No. PD-20-001

A.P.N. # 510-47-038

Change of zoning map amending the Town Zoning Ordinance.

Zone Change

From: R:PD To: R:PD

Prezoning



Forwarded by Planning Commission

Date: November 13, 2024

Approved by Town Council

Date: February 18, 2025 Ord:

Clerk Administrator:

Mayor:

ATTACHMENT 1
EXHIBIT A

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SANTA CLARA COUNTY FIRE DEPARTMENT

Form 24 2726
Rev. 11/22

DEVELOPMENTAL REVIEW COMMENTS

2. A copy of the Alternate Means/Methods application form, with approval signature shall be made part of the planning and building permit drawing set, to be routed to Santa Clara County Fire Department for final approval.

This review shall not be construed to be an approval of a violation of the provisions of the California Fire Code or of other laws or regulations of the jurisdiction. A permit assuming to give authority to violate or cancel the provisions of the fire code or other such laws or regulations shall not be valid. Any addition to or alteration of approved construction documents shall be approved in advance. [CFC, Ch.1, 105.3.6]

Application form for use of alternate materials, methods of construction, or modification of code. Includes fields for project name, address, and applicant information.

Serving Santa Clara County and the communities of Campbell, Cupertino, Los Altos, Los Altos Hills, Los Gatos, Menlo Park, and Saratoga.

Please complete the following information as applicable to support your request. Use additional paper if necessary.

- 1. Quality: All steel and concrete will be the steel conforming to code.
2. Strength
3. Effectiveness: Panels are accessible via aerial ladder and through fire rated stairs and corridors providing full access.
4. Fire Resistance: Panels and openings are fire rated.
5. Durability:
6. Safety: Panels are accessible via aerial ladder and through fire rated stairs and corridors providing full access.

Additional evidence of proof:
- Steel tested per Building A per paragraph 101.12.1 of the 2019 California Fire Code.
- Steel tested per Building B per paragraph 101.12.1 of the 2019 California Fire Code.
- Steel tested per Building C per paragraph 101.12.1 of the 2019 California Fire Code.
- Steel tested per Building D per paragraph 101.12.1 of the 2019 California Fire Code.
- Steel tested per Building E per paragraph 101.12.1 of the 2019 California Fire Code.
- Steel tested per Building F per paragraph 101.12.1 of the 2019 California Fire Code.
- Steel tested per Building G per paragraph 101.12.1 of the 2019 California Fire Code.
- Steel tested per Building H per paragraph 101.12.1 of the 2019 California Fire Code.

Applicant Signature: [Signature] Date: 08/28/2024 (revised 5/15/2024)

The above application has been reviewed and has been: ACCEPTED / REJECTED

Signature: [Signature]
Fire Official: [Signature] Date: 08/28/2024
Building Official: [Signature] Date:



SANTA CLARA COUNTY FIRE DEPARTMENT

Form 24 2726
Rev. 11/22

DEVELOPMENTAL REVIEW COMMENTS

Plans and Scope of Review:

This project shall comply with the following:

The California Fire (CFC) & Building (CBC) Code, 2022 edition, as adopted by the Town of Los Gatos Town Code (LGTC), California Code of Regulations (CCR) and Health & Safety Code.

The scope of this project includes the following:

Alternate Means/Methods Application - Proposed eight building, 187 unit, 2M health care unit senior living complex with continuing and memory care facilities. The complex includes underground parking, covered outdoor canopy, covered balconies and walkways totaling 538,581 SF of building area. The eight proposed buildings include: Villa A - 187,264 SF, five-story with 48 units. Villa B - 41,488 SF, four-story with 20 units. Villa C - 56,361 SF, five-story with 28 units. Villa D - 51,425 SF, four-story with 15 units. Villa E - 40,713 SF, five-story with 18 units. Villa F - 40,712 SF, five-story with 17 units. Villa G - 31,428 SF four-story with 14 units. Villa H - 31,112 SF, three-story with 15 units.

Plan Review:

The alternate means/methods request is Approved, subject to the comments and conditions below.

Plan Review Comments:

Discussion: This application proposes clarification on roof access for building/Villa A. A set of standard aerial access to the top roof. Villa A roof areas are accessible as shown on the submitted diagram. Stair A provides access to all roof levels, and Stair B provides additional access to the top roof. All stairs and corridors will be the steel conforming to code. To mitigate CFC 1016 and BCOP 4.11 standard aerial access requirements, the following alternatives will be proposed: open exit stair between ground and first floor per CFC 1019.3 exception 1 & 4, Stair A discharge through lobby per CFC 1029.2 and stair access to top roof via roof hatch per CFC section 1011.12 exception and 1011.12.2.

Comments:

- 1. Make a note on both planning set and building permit set cover sheet that an approved AMMR is included.

Application form for use of alternate materials, methods of construction, or modification of code. Includes fields for project name, address, and applicant information.

Serving Santa Clara County and the communities of Campbell, Cupertino, Los Altos, Los Altos Hills, Los Gatos, Menlo Park, and Saratoga.



FIRE DEPARTMENT SANTA CLARA COUNTY

1400 Woodside Blvd., Los Gatos, CA 95032-1818
(408) 358-4918 (408) 370-9111 (fax) www.sccfd.org

APPLICATION FOR USE OF ALTERNATE MATERIALS, METHODS OF CONSTRUCTION, OR MODIFICATION OF CODE

Project Address: 110 Wood Rd, Los Gatos, CA
Applicant's Name: Mark Palgout (for Frost Perch)
Applicant's Address: 887 Chestnut Drive, Phoenix, CA 94088 Suite 300
Telephone: (602) 956-7787 Fax:

The applicant hereby requests the following:

- Use of Alternate Materials or Method of Construction
Modification of Code Code Compliance Certification

Codes Affected:
Building Code RECEIVED
Fire Code
Mechanical Code
Electrical Code
Other:
Specific section(s) of the code involved:
Brief description of the request: Clarification on Roof Access for Building A: Building A Roof areas are accessible as shown on the attached diagram. Stair A provides access to all roof levels, and Stair B provides additional access to the Top Roof.

The Building and Fire Official must evaluate information that the material(s), method of work, and/or modification is equal to the intent of the code in strength, effect, fire resistance, durability, safety, etc.

Organized by the Santa Clara County Central Fire Protection District

Table with columns: NO., DATE, ISSUE. Includes a row for 'NOT FOR CONSTRUCTION'.



Project: ROCKWOOD PACIFIC 26 SOUTHWOOD DRIVE OROVILLA, CA 94953 (415) 916-7044
Client: FROST PERCH 800 N. BRAND BLVD, 19TH FLOOR GLENDALE, CA 91201 (951) 956-7400
Architect: PERKINS EASTMAN 4837 CHARLOT DRIVE, SUITE 300 PLEASANTON, CA 94566 (925) 358-4640
Landscape: B. LAWRENCE GATES

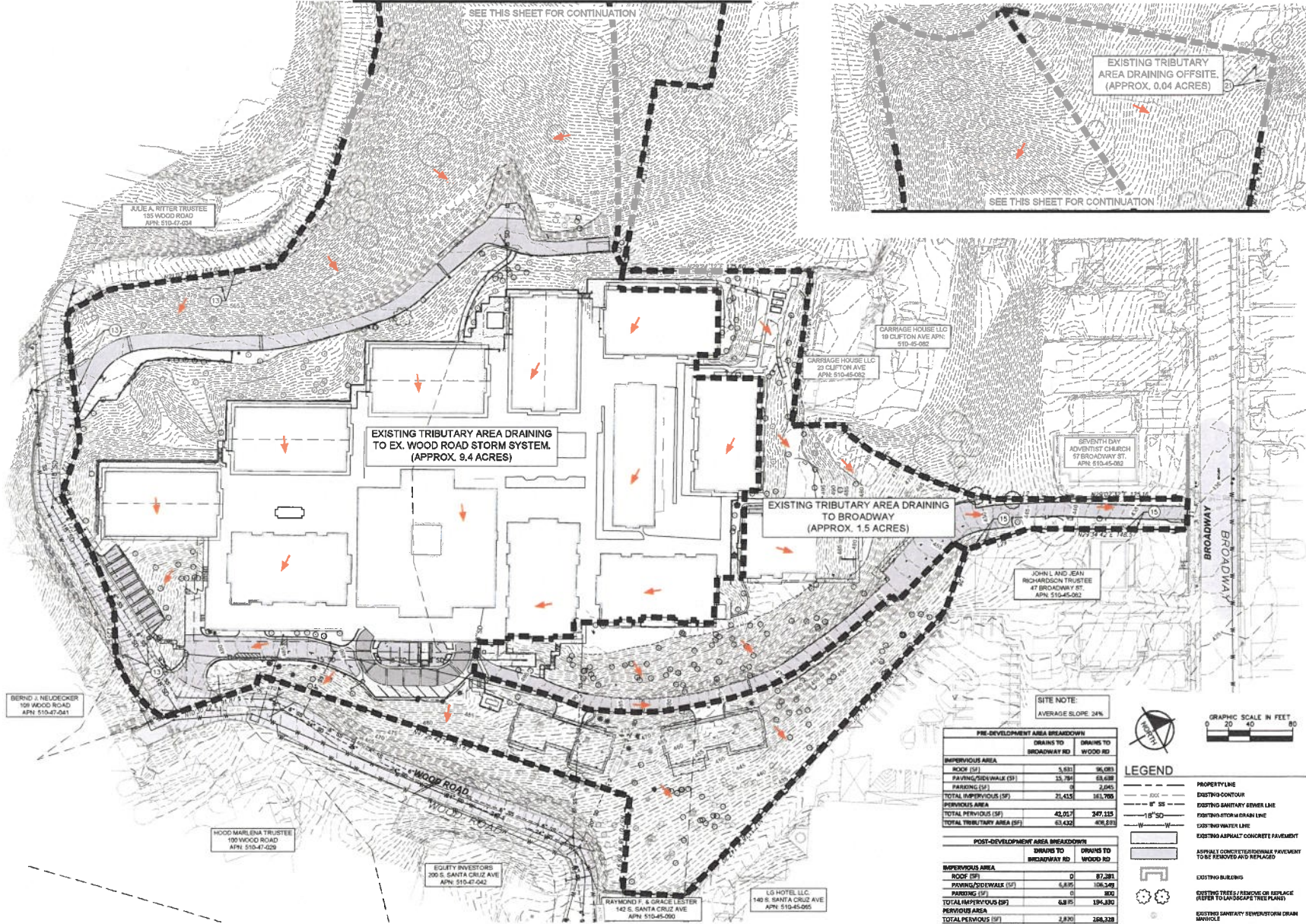
Structural: RYAN COWLING/YING ENGINEERS 45 FREEMONT ST, 28TH FLOOR SAN FRANCISCO, CA 94105 (415) 568-3004
Mechanical, Electrical & Plumbing: GILBRAD 150 CALIFORNIA ST, 3RD FLOOR SAN FRANCISCO, CA 94111 (415) 398-7657
General Contractor: WALK O'BRIEN CONSTRUCTION 420 HAYDEN DR, SUITE 500 PLEASANTON, CA 94566 (925) 498-2000

PROJECT TITLE: LOS GATOS MEADOWS
110 WOOD ROAD LOS GATOS, CA 95033

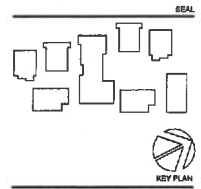
PROJECT NO: 70581.00
DRAWING TITLE: FIRE ACCESS APPROVED AMMR - BLDG A

G001

PLANNING SUBMITTAL
JULY 30, 2024



NO.	DATE	ISSUE



Kimley-Horn
 403 CHADWY DRIVE, SUITE 100, PLEASANTON, CA 94588
 PHONE: 925.269.4040 FAX: 925.269.4049
 WWW.KIMLEY-HORN.COM

Applicant:
 ROCKWOOD PALMIFIC
 36 BENTWOOD DRIVE
 ORLANDO, CA 94563
 (415) 815-7664

Owner:
 COVIA
 2165 N CALIFORNIA BLVD, SUITE 215
 WALNUT CREEK, CA 94598
 (925) 950-1400

CM/J/S:
 KIMLEY-HORN
 403 CHADWY DRIVE, SUITE 100
 PLEASANTON, CA 94588
 (925) 269-4040

Landscape:
 GATES + ASSOCIATED
 2675 CROW CANYON RD
 SAN FRANCISCO, CA 94105
 (415) 774-1178

Structure:
 KPPF CONSULTING ENGINEERS
 46 FREIGHT ST., 28TH FLOOR
 SAN FRANCISCO, CA 94105
 (415) 895-1054

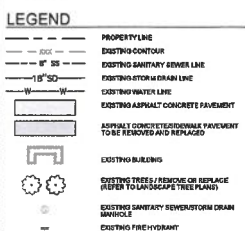
Mechanical, Electrical & Plumbing:
 GUNNAD
 150 CALIFORNIA ST., 3RD FLOOR
 SAN FRANCISCO, CA 94111
 (415) 299-7967

General Contractor:
 DEYCON CONSTRUCTION INC
 600 GIBBALTAR DRIVE
 MILPITAS, CA 95035
 (408) 942-3200

SITE NOTE:
 AVERAGE SLOPE: 24%

PRE-DEVELOPMENT AREA BREAKDOWN			
	DRAINS TO BROADWAY RD	DRAINS TO WOOD RD	
IMPERVIOUS AREA			
ROOF (SF)	5,631	36,081	
PAVING/SIDEWALK (SF)	13,794	69,638	
PARKING (SF)	0	2,045	
TOTAL IMPERVIOUS (SF)	19,425	107,765	
PERVIOUS AREA			
TOTAL PERVIOUS (SF)	42,017	347,115	
TOTAL TRIBUTARY AREA (SF)	61,432	454,880	

POST-DEVELOPMENT AREA BREAKDOWN			
	DRAINS TO BROADWAY RD	DRAINS TO WOOD RD	
IMPERVIOUS AREA			
ROOF (SF)	0	87,381	
PAVING/SIDEWALK (SF)	6,835	106,349	
PARKING (SF)	0	300	
TOTAL IMPERVIOUS (SF)	6,835	194,030	
PERVIOUS AREA			
TOTAL PERVIOUS (SF)	2,820	268,238	
TOTAL TRIBUTARY AREA (SF)	9,655	462,268	

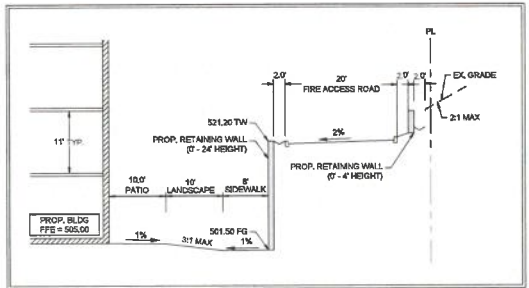


PROJECT TITLE:
 LOS GATOS MEADOWS
 110 WOOD ROAD
 LOS GATOS, CA 95030

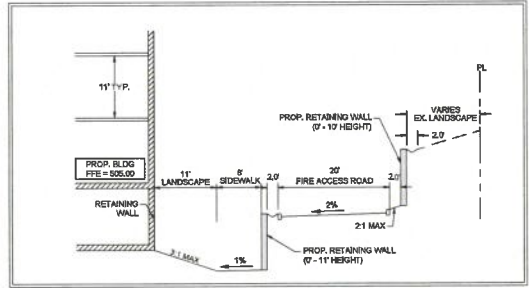
PROJECT No: 70681.00
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C101.1
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 2024-04-30

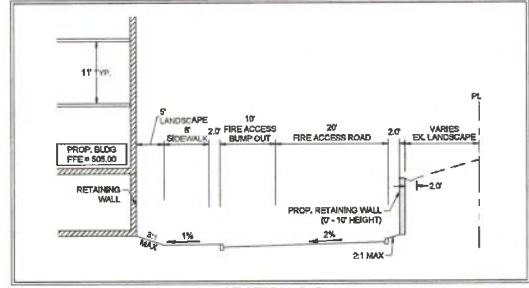
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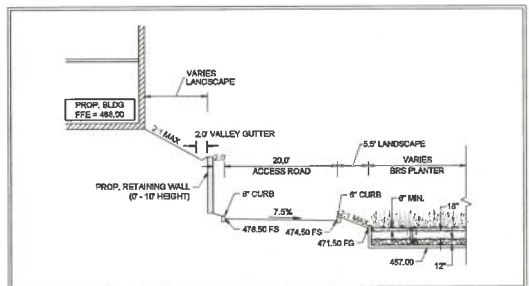
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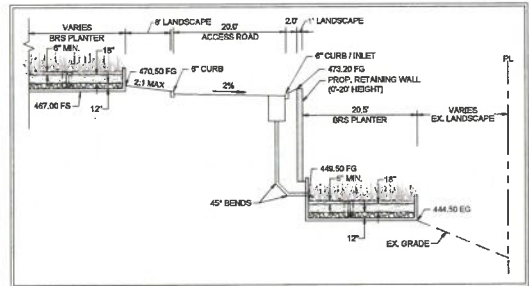
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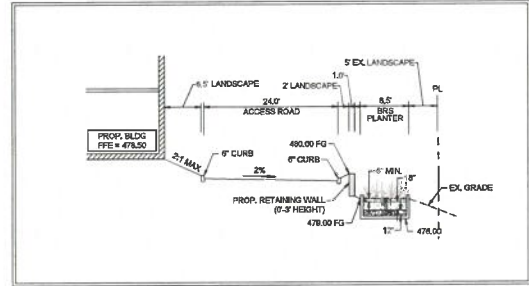
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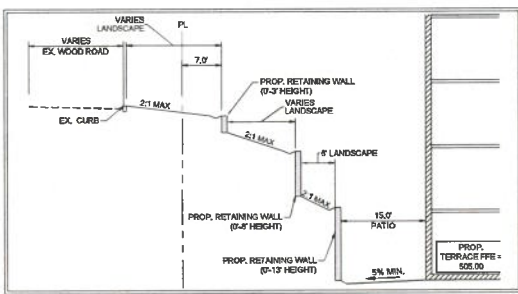
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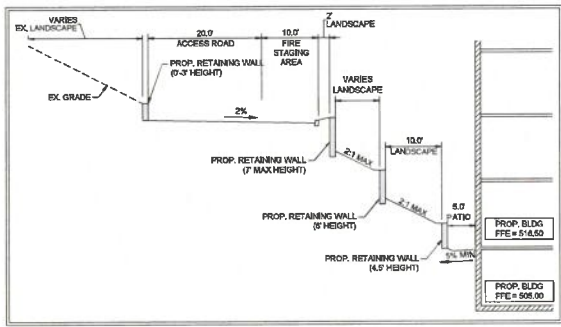
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SECTION F-F
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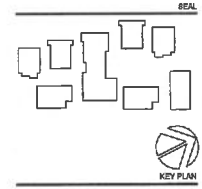


SECTION G-G
N.T.S.



SECTION H-H
N.T.S.

NO.	DATE	ISSUE



Kimley-Horn
 457 CHABOT DRIVE, SUITE 300 PLEASANTON, CA 94568
 PHONE: 925-366-4000 FAX: 925-366-4045
 WWW.KIMLEY-HORN.COM

Applicant:
BOCAWOOD PACIFIC
 35 SOUTHWOOD DRIVE
 ORLANDO, CA 94553
 (415) 815-7944

Owner:
COVIA
 2162 N CALIFORNIA BLVD, SUITE 215
 WALKLET CREEK, CA 94099
 (925) 950-7400

City/State:
KIMLEY-HORN
 4627 CHABOT DRIVE, SUITE 300
 PLEASANTON, CA 94568
 (925) 395-6640

Landscape:
GATES + ASSOCIATES
 2871 CROW CANYON RD
 SAN FRANCISCO, CA 94103
 (825) 735-8178

Structure:
RFF CONSULTING ENGINEERS
 45 FLEMING ST., 3RD FLOOR
 SAN FRANCISCO, CA 94103
 (415) 363-1004

Mechanical, Electrical & Plumbing:
GERBERAC
 150 CALIFORNIA ST., 3RD FLOOR
 SAN FRANCISCO, CA 94111
 (415) 398-7567

General Contractor:
BERKSON CONSTRUCTION INC
 680 GRANTLAR DRIVE
 MOUNTAIN VIEW, CA 94039
 (650) 942-4200

PROJECT TITLE:
LOS GATOS MEADOWS
 110 WOOD ROAD
 LOS GATOS, CA 95030

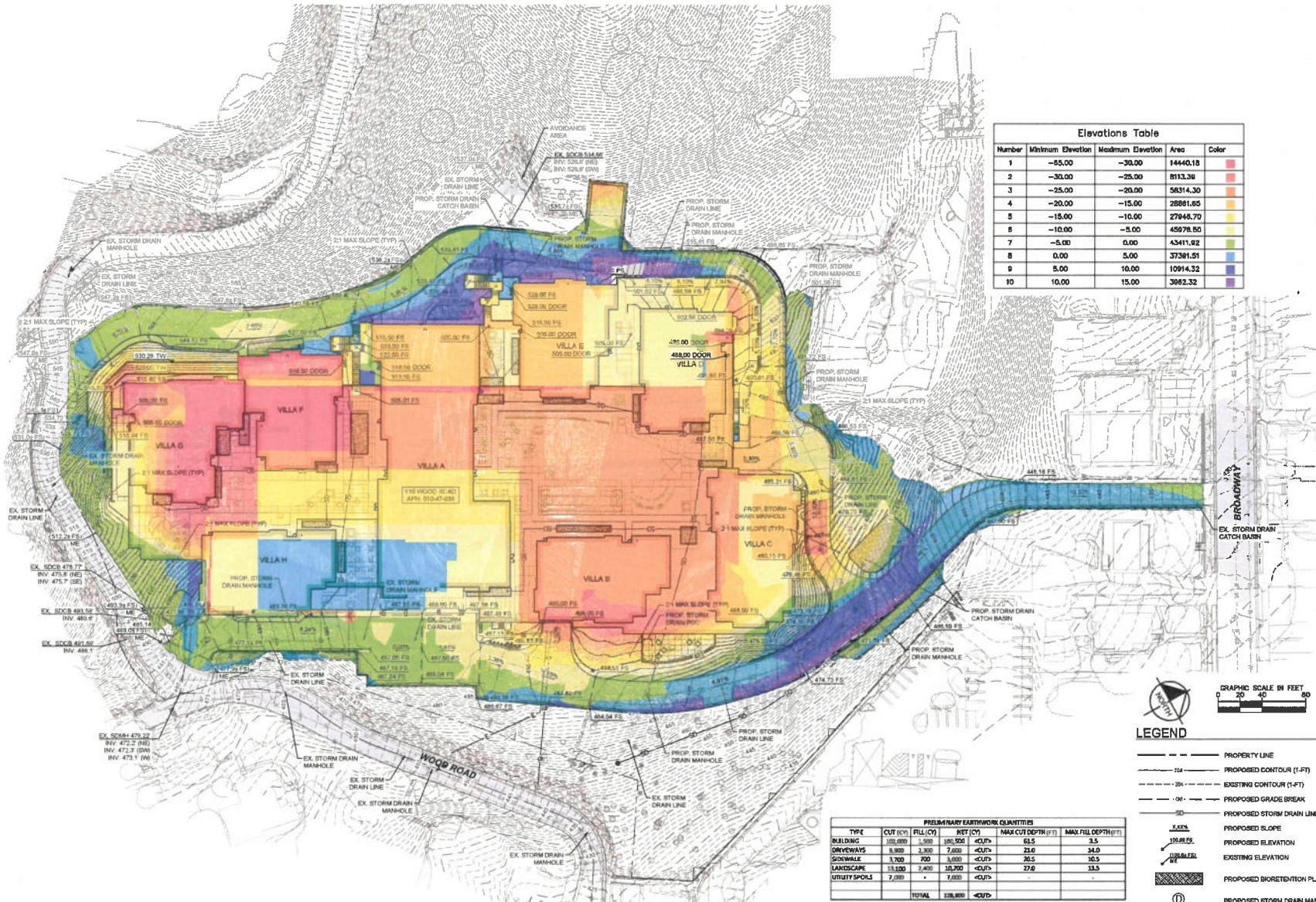
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C103.1

PLANNING SUBMITTAL

2024-04-30

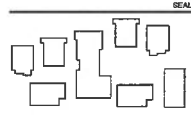


Number	Minimum Elevation	Maximum Elevation	Area	Color
1	-55.00	-30.00	14440.18	Red
2	-30.00	-25.00	8113.39	Orange
3	-25.00	-20.00	58314.30	Yellow
4	-20.00	-15.00	28861.85	Light Green
5	-15.00	-10.00	27946.70	Green
6	-10.00	-5.00	45976.50	Dark Green
7	-5.00	0.00	43411.92	Light Blue
8	0.00	5.00	37361.51	Blue
9	5.00	10.00	10914.32	Dark Blue
10	10.00	15.00	3982.32	Purple

TYPE	CUT (CY)	FILL (CY)	NET (CY)	MAX CUT DEPTH (FT)	MAX FILL DEPTH (FT)
BUILDING	100,000	1,000	100,000	<CUT>	3.5
DRIVEWAYS	8,000	2,300	7,600	<CUT>	34.0
SIDEWALK	1,700	700	3,000	<CUT>	36.5
LANDSCAPE	13,100	1,400	10,700	<CUT>	27.8
UTILITY SPOILS	7,000	-	7,000	<CUT>	-
TOTAL	137,800	4,700	133,100	<CUT>	-

NOTE:
 - EARTHWORK QUANTITIES ARE RAW, UNADJUSTED VOLUMES. THESE CALCULATIONS ASSUME 1" FOUNDATIONS FOR PROPOSED BUILDINGS AND 12" SECTIONS FOR PROPOSED ROAD PAVING. THE UTILITY SPOILS ARE PRELIMINARY.

NO.	DATE	ISSUE



Kimley-Horn
 482 CHABOT DRIVE, SUITE 300, PLEASANTON, CA 94588
 PROJECTS@KIMLEY-HORN.COM WWW.KIMLEY-HORN.COM

APPLIC:
 ROCKWOOD PACIFIC
 30 SOUTHWOOD DRIVE
 CROCKFORD, CA 94503
 (415) 819-7344

OWNER:
 COVINA
 2185 N CALIFORNIA BLVD, SUITE 215
 NUBAY CREEK, CA 94586
 (925) 956-7400

DRG FILE:
 KIMLEY-HORN
 482 CHABOT DRIVE, SUITE 300
 PLEASANTON, CA 94588
 (925) 398-4340

LANDSCAPE:
 GATNER & ASSOCIATES
 2871 CROW CANYON RD
 SAN RAMON, CA 94583
 (925) 724-1176

STRUCTURE:
 RUFFY CONSULTING ENGINEERS
 45 FREEMONT ST. 26TH FLOOR
 SAN FRANCISCO, CA 94111
 (415) 398-1004

MECHANICAL, ELECTRICAL & PLUMBING:
 GILBINE
 52 CALIFORNIA ST. 3RD FLOOR
 SAN FRANCISCO, CA 94111
 (415) 398-1004

GENERAL CONTRACTOR:
 BREYFORD CONSTRUCTION INC
 600 CERRITOS DRIVE
 MILPITAS, CA 95035
 (408) 942-8200

PROJECT TITLE:

LOS GATOS MEADOWS

110 WOOD ROAD
 LOS GATOS, CA 95030

PROJECT No: 70581.00

DRAWING TITLE:
PRELIMINARY CUT AND FILL PLAN

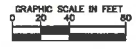
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C104
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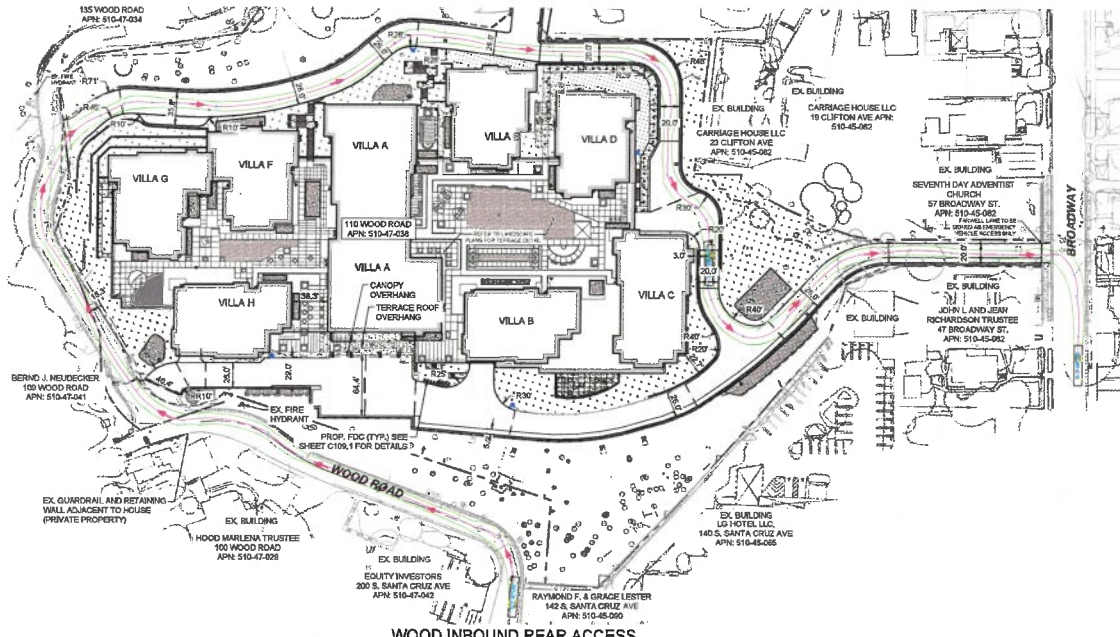
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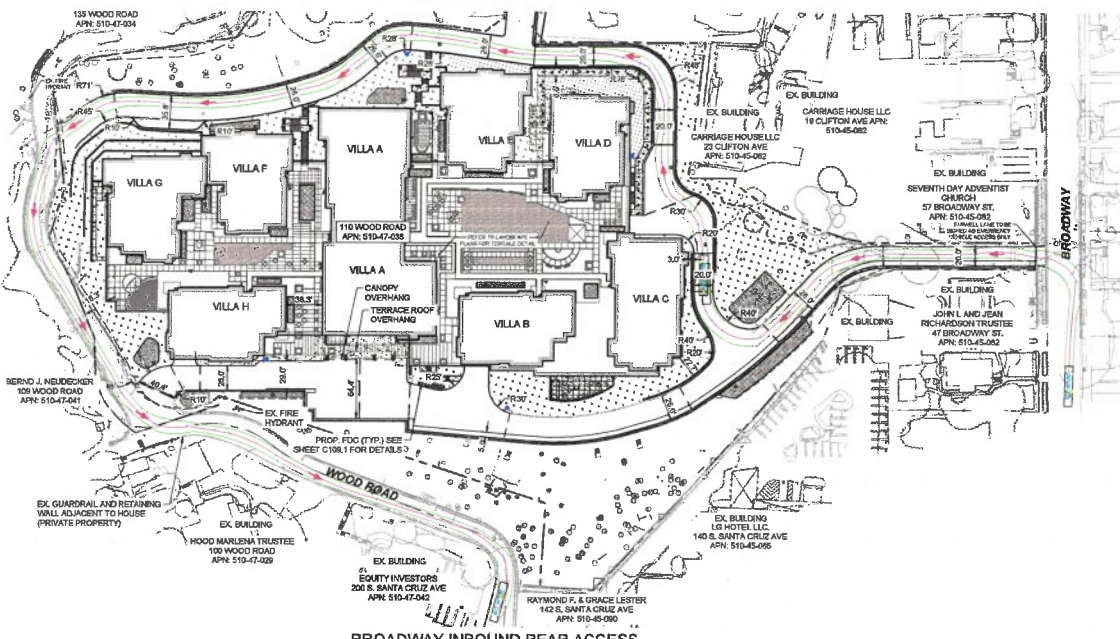
- — — — — PROPERTY LINE
- — — — — PROPOSED CONTOUR (1-F)
- - - - - EXISTING CONTOUR (1-F)
- - - - - PROPOSED GRADE BREAK
- - - - - PROPOSED STORM DRAIN LINE
- — — — — PROPOSED SLOPE
- — — — — PROPOSED ELEVATION
- — — — — EXISTING ELEVATION
- ▨ PROPOSED BIORETENTION PLANTER
- ⊙ PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN CATCH BASIN



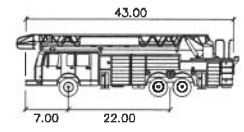
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 April 30, 2024, 09:28:37pm



WOOD INBOUND REAR ACCESS

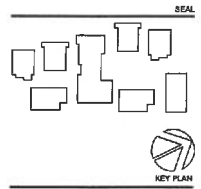


BROADWAY INBOUND REAR ACCESS



Aerial Fire Truck
 feet
 Width : 8.50
 Track : 8.50
 Lock to Lock Time : 5.0
 Steering Angle : 33.3

NO.	DATE	ISSUE



Kimley-Horn
 4837 CHABOT DRIVE, SUITE 300, PLEASANTON, CA 94588
 PHONE: 925.308.4040 FAX: 925.308.4044
 WWW.KIMLEY-HORN.COM

Applicant:
 ROSEWOOD PACIFIC
 38 SOUTHWOOD DRIVE
 ORINDA, CA 94556
 (925) 815-7344

Owner:
 COPWA
 2108 N CALIFORNIA BLVD., SUITE 215
 WALNUT CREEK, CA 94598
 (925) 938-7400

CM / Site:
 KIMLEY-HORN
 4837 CHABOT DRIVE, SUITE 300
 PLEASANTON, CA 94588
 (925) 398-4040

Landscaper:
 GATIES + ASSOCIATES
 2511 CROW CANYON RD
 SAN RAMON, CA 94583
 (925) 738-8178

Structural:
 KPF CONSULTING ENGINEERS
 48 FORTY-NINTH ST., 28TH FLOOR
 SAN FRANCISCO, CA 94105
 (415) 393-1001

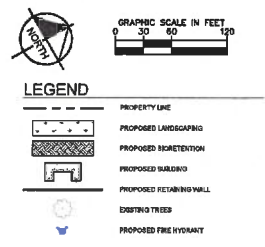
Mechanical, Electrical & Plumbing:
 GILMARD
 150 CALIFORNIA ST., 3RD FLOOR
 SAN FRANCISCO, CA 94111
 (415) 398-7857

General Contractor:
 DEVCON CONSTRUCTION INC
 600 GERALD DRIVE
 MILPITAS, CA 95035
 (408) 942-8200

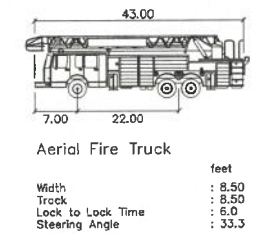
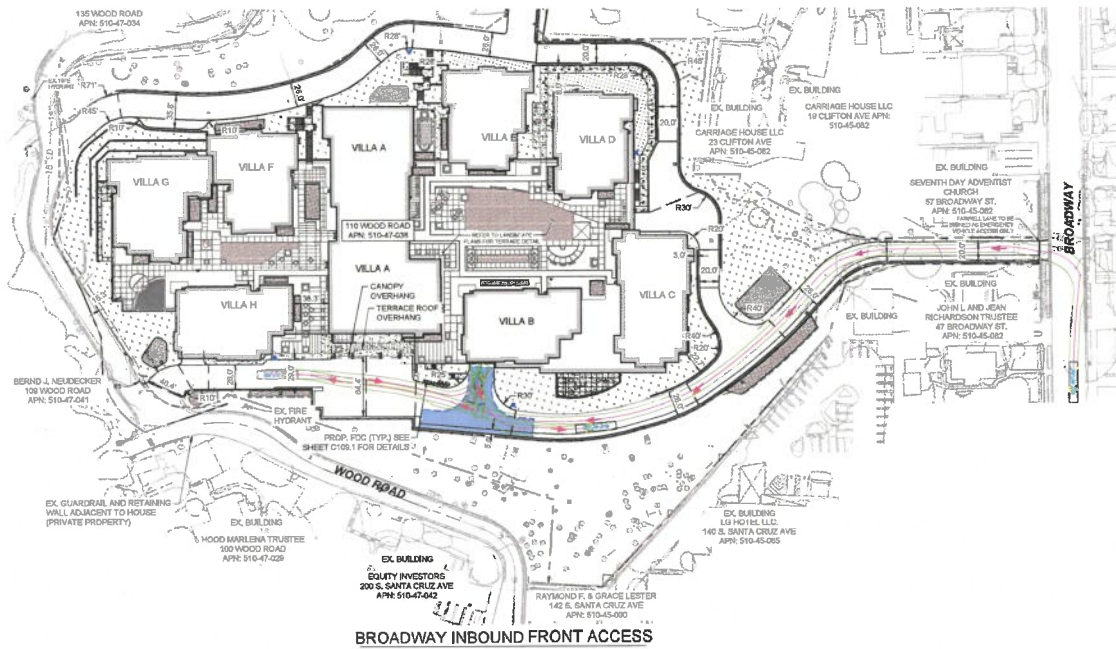
PROJECT TITLE:
LOS GATOS MEADOWS
 110 WOOD ROAD
 LOS GATOS, CA 95030

PROJECT No: 70581.00
 DRAWING TITLE:
FIRE TURNAROUND DETAILS - REAR ACCESS

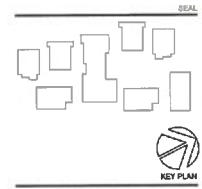
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 2024-04-30



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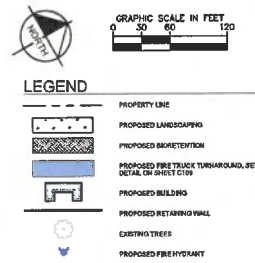
Kimley-Horn
 487 CHABOT DRIVE, SUITE 300, ALAMANTON, CA 94508
 PROJECTS: (925) 462-5000 FAX: (925) 338-0844
 WWW.KIMLEY-HORN.COM

Applicant:
 ROCKWOOD PACIFIC
 38 SOUTHWOOD DRIVE
 CRYSTAL, CA 94553
 (415) 916-7944
Owner:
 COVIA
 2146 N CALIFORNIA BLVD, SUITE 215
 WILMANT, OREGON, CA 97150
 (503) 956-7400
City Firm:
 KIMLEY-HORN
 487 CHABOT DRIVE, SUITE 300
 PLEASANTON, CA 94508
 (925) 338-4840
Landscape:
 GATES & ASSOCIATES
 2871 CROW CANYON RD
 SAN FRANCISCO, CA 94133
 (832) 736-8174
Structural:
 KPFY CONSULTING ENGINEERS
 45 FREEMONT ST., 24TH FLOOR
 SAN FRANCISCO, CA 94105
 (415) 888-1004
Mechanical, Electrical & Plumbing:
 SILVERADO
 190 CALIFORNIA ST., 3RD FLOOR
 SAN FRANCISCO, CA 94111
 (415) 398-7687
General Contractor:
 BEYONCE ENGINEER/CONTRACTOR INC
 890 GENERAL YAKI DRIVE
 MOUNTAIN VIEW, CA 94038
 (650) 942-6200

PROJECT TITLE:
 LOS GATOS MEADOWS
 110 WOOD ROAD
 LOS GATOS, CA 95030

PROJECT No: 70581.00
DRAWING TITLE:
 FIRE TURNAROUND DETAILS - FRONT ACCESS

SCALE: 1" = 40' ON 24" X 36"
C108.2
 PLANNING SUBMITTAL
 2024-04-30





**LOS GATOS
MEADOWS**

110 WOOD ROAD
LOS GATOS
CALIFORNIA

ISSUE: DESCRIPTION: DATE:

**NOT FOR
CONSTRUCTION**

PROJECT NUMBER: XXXX
DRAWN: XX
CHECK: XX
DATE: APRIL 30, 2024
SCALE: SCALE



OVERALL ILLUSTRATIVE
SITE PLAN

LS-1

LAYOUT NOTES

- CONTRACTOR SHALL VERIFY ALL UTILITIES, GRADES, EXISTING CONDITIONS AND DIMENSIONS IN THE FIELD PRIOR TO COMMENCING WORK. ALL DISCREPANCIES OR QUESTIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR RESOLUTION.
- ALL WRITTEN DIMENSIONS SUPERSEDE ALL SCALED DISTANCES AND DIMENSIONS. DIMENSIONS SHOWN ARE FROM THE FACE OF THE BUILDING, WALL, BACK OF CURB, EDGE OF WALK, PROPERTY LINE, OR CENTERLINE OF CHANNELS UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- ALL DIMENSIONS AT BUILDING ARE TO FACE OF BUILDING. ALL DIMENSIONS AT ROADWAY ARE TO FACE OF CURB.
- ALL ANGLES ARE 45 DEGREE, 90 DEGREE, OR 135 DEGREE UNLESS OTHERWISE NOTED.
- ALL CURVES AND ALL TRANSITIONS BETWEEN CURVES AND STRAIGHT EDGES SHALL BE SMOOTH.
- ALL RETURN BENCH AND CURB DATA ARE TO FACE OF CURB.
- MINORVEN DETAIL OF WALL (8" ELEVATION IS GIVEN, IT IS FINISH PAVEMENT OR GRADE ELEVATION AT FACE OF WALL).
- SCORE LINES IN SIDEWALKS SHALL BE SPACED TO EQUAL THE WIDTH OF THE WALKWAY, UNLESS OTHERWISE SHOWN. EXPANSION JOINTS IN SIDEWALKS SHALL BE 20' ON CENTER MAXIMUM.
- EXPANSION JOINTS IN CONCRETE WALLS SHALL BE AT 40' O.C. MAXIMUM.
- BUILDING LAYOUT AND LOCATION, SIDEWALK, CURB AND GUTTER, GRADING AND DRAINAGE IS BASED ON DRAWINGS PREPARED BY THE ARCHITECT AND THE CIVIL ENGINEER.
- STATIONING HEREON IS ALONG CONSTRUCTION CENTERLINE UNLESS OTHERWISE SHOWN OR INDICATED.
- ANY EXTRA CONSTRUCTION STAKING NECESSITATED DURING THE CONTRACTOR'S HOLDINGS WILL BE CHARGED TO THE CONTRACTOR ON A TIME AND EXPENSE BASIS AND PAID FOR BY THE CONTRACTOR.
- SEE IRRIGATION DRAWINGS FOR GENERAL SYSTEM REQUIREMENTS AND FOR LOCATION OF IRRIGATION MAINLINE PIPING. SLEEVES TO ACCOMMODATE IRRIGATION PIPING, SIZES AS NEEDED, SHALL BE IN PLACE UNDER AND THROUGH SLABS AND WALLS PRIOR TO POURING.
- PROVIDE CONTINUOUS HEADERS AT THE EDGES OF ALL AC PAVING, SHRUB AREAS, LAWN AREAS, DECOMPOSED GRANITE WHERE IT IS NOT CONSTRUCTED BY A CONCRETE PAVING OR BOW BOARD.
- ALL CONCRETE PAVEMENTS SHALL BE CONCRETE INTO CURBS, SIDEWALKS, AND BUILDING FOUNDATIONS.
- REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION, SECTIONS, REINFORCEMENT, AND PREPARATION. IN CASE OF DISCREPANCY THE GEOTECHNICAL REPORT SHALL GOVERN.
- ALL TYPICAL DETAILS SHALL APPLY UNLESS NOTED OTHERWISE.
- ANY AND ALL WORK WITHIN TOWN OF LOS GATOS RIGHT OF WAY SHALL CONFORM TO ALL TOWN OF LOS GATOS STANDARD DETAILS AND SPECIFICATIONS.
- CONCRETE FOOTINGS INSTALLED FOR ALL SITE FURNISHINGS, SPORTS EQUIPMENT, ETC. IN DECORATIVE FINISHES, ASPHALT PAVING, DECOMPOSED GRANITE, CONCRETE PAVING, AND PLANTERS SHALL BE HELD BEYOND GRADE.
- ALL EXISTING ITEMS TO REMAIN SHALL BE PROTECTED AS REQUIRED. ANY DAMAGED ITEMS SHALL BE FULLY REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE TO THE FULL SATISFACTION OF THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUBCONTRACTORS AS REQUIRED TO ACCOMPLISH OPERATIONS.
- ALL QUANTITIES AND PAY ITEMS ARE AND WILL BE BASED ON HORIZONTAL MEASUREMENTS.
- ALL PATTERNS, LINE TYPES AND SYMBOLS SHOWN WITHIN THE PLAN SET REFER TO THE LAYOUT LEGEND AND ARE PART OF THE SCOPE OF WORK. CALLOUTS ARE SHOWN FOR CLARIFICATION OF WORK, BUT DO NOT INDICATE EVERY AND ARE PART OF THE SCOPE OF WORK. THE CONTRACTOR SHALL REQUEST CLARIFICATION TO ANY ITEMS (INCLUDING BUT NOT LIMITED TO PAVING, WALLS, FINISHES, COLORS, FENCING, FOUNDATIONS, POYS, AND SITE FURNITURE) NOT CLEARLY IDENTIFIED TO BE PART OF THE SCOPE OF WORK PRIOR TO BID.
- THE CONTRACT DRAWINGS MUST BE ACCOMPANIED BY CONTRACT SPECIFICATIONS. THE CONTRACTOR MUST CONTACT THE LANDSCAPE ARCHITECT AT 925-738-8778 FOR SPECIFICATIONS IF NOT RECEIVED.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL WORK AND MATERIALS OF THE CONTRACT DOCUMENTS INCLUDING ALL WORK AND MATERIALS PROVIDED BY SUBCONTRACTORS. ALL QUALIFICATIONS OF THE CONTRACT DOCUMENTS INCLUDING ALL SPECIFIC EXCLUSIONS OF ANY WORK, DETAILS, MATERIALS, AND INCIDENTALS SHALL BE CONFIRMED AND ACCEPTED IN WRITING BY THE CONTRACTOR AND OWNER UPON FINALIZATION OF BIDS AND CONTRACT. THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED OF ALL QUALIFICATIONS AND NOTIFICATIONS.

LAYOUT LEGEND

	PEDESTRIAN SAWCUT CONCRETE PAVING TYPE: INTEGRAL COLOR CONCRETE COLORS: PEBBLE BY DAVIS COLORS FINISH: MEDIUM BROWN/TOPCAST 25
	VEHICULAR SAWCUT CONCRETE PAVING TYPE: INTEGRAL COLOR CONCRETE COLORS: DARK GRAY BY DAVIS COLORS FINISH: MEDIUM BROWN
	VEHICULAR SAWCUT CONCRETE PAVING TYPE: INTEGRAL COLOR CONCRETE COLORS: DARK GRAY BY DAVIS COLORS FINISH: TOPCAST 25
	VEHICULAR PAVERS TYPE: GRANITE PAVERS MFC: COLD SPRING GRANITE SIZE: 16"X16"X4" COLORS: ACADEMY BLACK FINISH: THERMAL
	SEEDED GRASS IN PAVING COLOR: W/ TO BE SELECTED SIZE: 1/8" @ - 1/4" @ +/-
	TONE AC PAVING (PEDESTRIAN TRAIL) COLOR: T.B.D.

PLANTING NOTES

- GENERAL
- ALL WORK SHALL BE PERFORMED BY PERSONS FAMILIAR WITH PLANTING WORK AND UNDER THE SUPERVISION OF A QUALIFIED PLANTING FOREMAN.
 - ALL QUANTITIES AND PLANT COUNTS ARE FOR THE CONVENIENCE OF THE CONTRACTOR. IN CASE OF DISCREPANCIES, THE PLAN SHALL GOVERN.
 - THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO MAKE SUBSTITUTIONS, ADDITIONS, AND DELETIONS IN THE PLANTING SCHEME AS THEY FEEL NECESSARY WHILE WORK IS IN PROGRESS, UPON APPROVAL BY THE OWNER. SUCH CHANGES ARE TO BE ACCOMPANIED BY DETAILED ADJUSTMENTS IN THE CONTRACT PRICE, WHEN NECESSARY.
 - PLANT MATERIAL LOCATIONS SHOWN ARE DIAGNOSTIC AND MAY BE SUBJECT TO CHANGE IN THE FIELD BY THE LANDSCAPE ARCHITECT. PLANT LOCATIONS ARE TO BE ADJUSTED IN THE FIELD AS NECESSARY TO AVOID UTILITIES, BUT SHALL NOT BLOCK WINDOWS, BLOCK SIGNS NOR IMPEDRE ACCESS.
 - THE DESIGN INTENT OF THE PLANTING PLAN IS TO ESTABLISH AN ATTRACTIVE MATURE LANDSCAPE APPEARANCE. FUTURE PLANT GROWTH WILL NECESSITATE TRIMMING, SHAPING, AND IN SOME CASES REMOVAL OF TREES AND SHRUBS AS AN ON-GOING MAINTENANCE PROCEDURE.
 - ALL PLANTING AREA MUST BE IRRIGATED WITH AUTOMATIC IRRIGATION SYSTEM. IRRIGATION SYSTEM SHALL BE FULLY AUTOMATED AND OPERATIONAL WITH FULL COVERAGE PRIOR TO PLANTING.
 - CONTRACTOR TO REVIEW ALL EXISTING, PROPOSED, & AS BUILT UTILITY PLANS PRIOR TO CONSTRUCTION. CONTRACTOR TO TAKE PRECAUTIONS IN EXCAVATION OF ALL EXISTING UTILITIES. CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS FOUND DURING CONSTRUCTION.
 - CONTRACTOR MUST REVIEW ALL PLANS PRIOR TO THE BEGINNING OF CONSTRUCTION AND MAINTAIN THE FOLLOWING INFORMATION FOR ALL TREE PLANTINGS. CONTRACTOR TO TAKE PRECAUTION IN ALL EXCAVATION ACTIVITY. NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS PRIOR TO INSTALLATION.
 - THE HYDRANTS AND PVS: 5" MINIMUM LIGHT POLES: 10" MINIMUM
 - UTILITIES: 5" MINIMUM
 - BUILDING ROOF EDES: 5" MINIMUM
 - CONTRACTOR TO PROVIDE AND ARRANGE FOR PLANT MATERIAL. UPON CONTRACT GROW PLANT BROKERS, OR DIRECT PURCHASE AS REQUIRED FOR THE FULL IMPLEMENTATION OF THE PROJECTS PLANTING PLAN. CONTRACTOR MUST SUBMIT WITHIN 30 DAYS AFTER AWARD OF A BID A DETAILED NURSERY LIST OF SPECIFIED PLANT MATERIAL, CONTRACT GROW PLANT MATERIAL, AND ANY SUBSTITUTION REQUESTS. CONTRACTOR SHALL ARRANGE AND SECURE ALL PLANT MATERIAL WITHIN 30 DAYS OF BID. UPON RECEIPT, PLANT MATERIAL THAT DOES NOT MEET NURSERY STANDARDS, IS ROOTBOUND, OF POOR QUALITY & HEALTH, SUBSTANDARD SIZE, AND / OR IS NOT APPROVED BY THE LANDSCAPE ARCHITECT SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. MATERIAL WHICH IS NOT SPECIFIED AND IS UNAVAILABLE IN THE SPECIFIED SIZE IS UP-SIZED, IF AVAILABLE. ALL REPLACEMENT MATERIAL, SUBSTITUTIONS OR UP-SIZED PLANT MATERIAL MUST BE PROVIDED AS REQUIRED FOR THE FULL IMPLEMENTATION OF THE PLANTING PLAN AT NO ADDITIONAL COST TO THE CONTRACTOR AND OWNER.
 - PROCUREMENT OF PLANT MATERIAL SHALL NOT BE LIMITED TO NORTHERN CALIFORNIA. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRUCKING, INSPECTIONS, AND INCIDENTALS FOR PROVIDING PLANT MATERIAL FROM SOURCES OUT OF STATE AS REQUIRED BY THE PROJECT PLANTING PLAN.
- EXISTING PLANT MATERIAL
- ALL EXISTING PLANT MATERIAL, TREES, OR LAWN TO REMAIN MUST BE PROTECTED AND MAINTAINED IN PLACE BY THE CONTRACTOR.
 - ANY DAMAGED MATERIAL MUST BE FULLY REPLACED TO MATCH EXISTING BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE CONTRACTOR AND OWNER.
 - CONTRACTOR MUST MAINTAIN ANY EXISTING IRRIGATION SYSTEMS OR PROVIDE TEMPORARY IRRIGATION SYSTEMS AS REQUIRED TO ALL EXISTING PLANTING AREAS TO REMAIN.
- SOILS
- THE CONTRACTOR MAY PROTECT AND STOCKPILE EXISTING SITE SOILS WHICH MAY BE REUSED FOR PLANTING PURPOSES. EXISTING SOILS SHALL BE TESTED PRIOR TO STOCKPILE FOR SOILS SUITABILITY PER THE REQUIREMENTS BELOW.
 - ALL ORGANIC COMPOST SHALL HAVE AN ADDITIONAL SUSTAINABLES TEST FOR COMPATIBILITY TO EXISTING SITE SOILS. TEST RESULTS SHALL BE OBTAINED WITHIN THE LAST 3 MONTHS OF THE SUBMITTAL.
 - ALL EXISTING SITE SOILS SHALL HAVE AN ADDITIONAL SUSTAINABLES TEST BY AN APPROVED SOILS TESTING LAB (APPOINTMENT ANALYTICAL OR APPROVED EQUVA) AND ANALYSIS FOR RECOMMENDATIONS ON ORGANIC COMPOST, AMENDMENTS, GROW POWER FERTILIZER AND ANY INCIDENTALS. RECOMMENDATIONS CONTAINED IN THE SOILS ANALYSIS RESULTS ARE TO BE IMPLEMENTED BEFORE PLANTING OCCURS. CONTRACTOR SHALL PROVIDE UP TO 4 COMBINED TESTS AT LOCATIONS SELECTED BY THE LANDSCAPE ARCHITECT. SOIL SAMPLES TO BE TAKEN AND COMBINED FROM A DEPTH OF 6" AND 24". PROVIDE ADDITIONAL TESTING (ONE 6" AND ONE 24" DEPTH TEST PER 25,000 SF FOR AREAS WHICH WERE LIME TREATED). THE ORGANIC COMPOST TEST RESULTS LISTED ABOVE SHALL BE SUBMITTED TO THE SOILS LAB FOR ACCURATE RECOMMENDATIONS OF THE SOIL AMENDMENT REQUIREMENTS. TEST RESULTS SHALL BE TAKEN AFTER ALL GRADING OPERATIONS ARE COMPLETE.
 - ALL LIME TREATED SOILS IN AREAS TO RECEIVE PLANTING SHALL BE FULLY REMOVED AND REPLACED WITH CLEAN APPROVED IMPORT TOP SOIL AT NO COST TO THE OWNER. AN ADDITIONAL 8 SOILS TESTS MAY BE REQUESTED BY THE LANDSCAPE ARCHITECT. ALL TESTING SHALL BE PAID FOR BY THE CONTRACTOR.
 - ALL SOILS IMPORTED ONTO THE SITE FOR ANY PURPOSE SUCH AS GRADING, NON EXPANSIVE FILL, OR FOR ANY OTHER GENERAL PURPOSE MUST BE TESTED FOR PLANT SUITABILITY PRIOR TO PLACEMENT. ALL IMPORT SOILS SHALL BE NON-EXTRACTIVE TO PLANT MATERIAL, AND SOILS ANALYSIS SUBMITTED TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL. PROVIDE 1 TEST PER 300 CY OF MATERIAL.
 - ALL IMPORT SOILS SHALL BE FREE OF DELETERIOUS MATERIALS, AGGREGATES, AND ROCK. IMPORT SOIL SHALL BE LOAMY CLAY LOAM WITH A PH BETWEEN 6 AND 7.5. SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
 - FOR BID PURPOSES AMEND ALL SOIL WITH 6 YARDS MMR COMPOST, SOILS CYPRUS, SOILS SOIL, SULFUR AND 16LBS OF GROW-POWER PULV 3-3-1 1/2 W/ M PER 1000SF. CONTRACTOR TO SUBMIT ALL DELIVERY TICKETS FOR COMPOST AND FERTILIZERS FOR VERIFICATION.
 - SOIL IS TO BE AMENDED, AT THE RATE INDICATED BY THE SOIL ANALYSIS, TO BRING THE SOIL ORGANIC MATTER CONTENT TO A MINIMUM OF 3.5% BY DRY WEIGHT, AND A MINIMUM OF 2% OF QUALITY RECYCLED COMPOST, ON ALL PLANTING AREAS.
 - ALL PLANTERS IN AREAS WHICH HAVE BEEN COMPACTED, SUCH AS CONSTRUCTION STAGING AREAS AND IN PARKING LOTS, SHALL BE CROSS RIPPED TO THE FOLLOWING DEPTHS: PLANTERS LESS THAN THREE (3) FEET WIDE SHALL HAVE COMPACTION REDUCED TO A MINIMUM OF TWENTY FOUR (24) INCHES BELOW SUBGRADE. PLANTERS THREE TO TEN (3-10) FEET WIDE MUST HAVE COMPACTION REDUCED TO A MINIMUM DEPTH OF 18" BELOW SUBGRADE. PLANTERS MORE THAN 10' WIDE SHALL HAVE COMPACTION REDUCED TO A MINIMUM DEPTH OF 12" BELOW SUBGRADE. AREAS SHALL BE PROTECTED AFTER DECOMPACTION.
 - CONTRACTOR SHALL PERFORM A PERCOLATION TEST AT THE BEGINNING OF CONSTRUCTION AT 1 LOCATION PER ACRE (MAX OF 4) TO DETERMINE THE DRAINAGE CAPACITY OF THE EXISTING SITE SOIL FOR TREE HEALTH. NOTIFY THE LANDSCAPE ARCHITECT IF DRAINAGE IS LESS THAN 2" PER HOUR.

TREES

- ALL TREES SHALL BE SPECIMENS UNLESS SPECIFICALLY NOTED.
- ALL TREES ARE TO BE STAKED AS SHOWN ON THE TREE STAKING/CUTTING DIAGRAMS. BRANCHING HEIGHT OF TREES SHALL BE 4'-8" MINIMUM ABOVE FINISH GRADE. ALL TREES IN A FORMAL GROUP PLANTING MUST BE MATCHING IN SIZE AND SHAPE. ALL STREET TREES TO BE INSTALLED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE OWNER. LANDSCAPE ARCHITECT SHALL BE CONSULTED REGARDING ORIENTATION OF TREES PRIOR TO PLANTING AND/OR BACKDOLLING.
- PLANT TREES 3"-2" MINIMUM FROM FACE OF CURB AT PARKING, AND FROM EDGES OF PAVING. ALL TREES WITHIN 5' OF PAVING AREAS AND BUILDINGS MUST HAVE ROOT BARRIERS INSTALLED. SEE ROOT BARRIER DETAIL. DEEP ROOT BARRIER MODEL NO. URSAL2, (454) 344-1464. INSTALL PER MANUFACTURER'S SPECIFICATIONS. WHERE WATER BARRIERS AND ROOT BARRIERS ARE REQUIRED, USE CENTURY PRODUCTS DUAL PURPOSE WATER/ROOT BARRIER OR-PE24-200, (714)832-7003, S.C.D.O. FOR LOCATIONS OF WATER BARRIER.
- PROVIDE 4" BERM AROUND TREE FOR WATER BASH. SEE TREE STAKING DETAIL. BERM TO BE REMOVED IN LAWN AREA AFTER ANNUAL MAINTENANCE PERIOD. MOUND TREE WELL WITH 4" LAYER OF RECYCLED CHIPPED MULCH. KEEP MULCH AWAY FROM TREE TRUNK HOLD LAWN AND HYDROSEED 2" CLEAR FROM TRUNKS, TYP.
- TREES MUST HAVE AN UNKUT LEADER THAT HAS A UNIFORM TAPER FROM BASE TO TOP. TREES MUST MEET AT LEAST MINOR CALIBER AND HEIGHT FOR CONTAINER SIZE. OVERGROWN OR ROOT BOUND TREES ARE NOT ACCEPTABLE.
- FOR ALL TREES IN STORMWATER INFILTRATION ZONES HOLD PG OF ROOTBALL 4" ABOVE PG OF FLOWLINE. ADJUST ADJACENT GRADE OF SOIL TO BLEND UNIFORMLY AROUND ROOTBALL AND ALLOW UNIMPEDDED FLOW OF WATER.
- SHRUBS, GROUNDCOVERS AND VINES
 - GROUNDCOVER MUST BE PLANTED AS SHOWN ON THE PLAN, INCLUDING UNDER SHRUBS AND IN THE WATERING BASIN.
 - SHRUBS AND PERENNIALS MUST HAVE ADEQUATE SETBACK FROM THE ADJACENT SIDEWALK AND EDGES OF PARKING LOT CURBS. NOTIFY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF PLANT MATERIAL. MAY PROTRUDE INTO THE PATH OF TRAVEL.
 - THE CONTRACTOR IS TO SECURE ALL VINES TO TRELISES WITH APPROVED FASTENERS, ALLOWING FOR TWO (2) YEARS GROWTH. SUBMIT SAMPLE TO LANDSCAPE ARCHITECT.

ACCESSORIES

- ALL PLANTING NOT BOUNDED BY CONCRETE OR A HARDSCAPE EDGE SHALL BE COMPLETELY SURROUNDED BY HEADERS. ALL ASPHALT AND DECOMPOSED GRANITE AREAS TO BE COMPLETELY SURROUNDED BY HEADERS OR ADJACENT CONCRETE WORK.
 - ALL PLANTING AREAS MUST BE TOP-DRESSED WITH 3" LAYER OF RECYCLED CHIPPED MULCH. COLOR: BROWN. SUBMIT SAMPLE TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO GRADING.
 - ALL MULCH WITHIN STORMWATER PLANTING AREAS MUST BE 3" OF WASHED PEA GRAVEL. SUBMIT SAMPLE FOR REVIEW AND APPROVAL.
 - STORMWATER CURB CUTS MUST BE REINFORCED WITH A MINIMUM 12" WIDE 4#X16" 6" DEEP BAND OF CORR. COBBLE SHALL BE 40X 4" 6" AND 80X 24" WIDE COBBLE. PROVIDE 24" WIDE BY 6" DEPTH OF COBBLE AROUND ALL CATCH BASINS LOCATED IN DRAINAGE AREAS. SUBMIT SAMPLE FOR REVIEW AND APPROVAL.
 - ALL BARRIER LEADERS DISCHARGING INTO LANDSCAPE AREAS MUST HAVE SPLASH BLOCKS. MODEL: COX 15024". COLORS: TO MATCH PAVING. (800) 279-2278.
 - ALL SLOPES GREATER THAN 2.5:1 MUST BE COVERED WITH EROSION CONTROL NETTING PER THE MANUFACTURER'S SPECIFICATIONS. OVERLAP ALL EDGES A MINIMUM OF 12" AND SECURE AS REQUIRED WITH METAL STAPLES. EROSION CONTROL NETTING TO BE WESTERN EXCELCEL, EXCEL CS-3 OR APPROVED EQUIV., AVAILABLE FROM R2D2 & GRAMM 925-351-1000.
 - SEE SPECIFICATIONS FOR ALL FERTILIZER REQUIREMENTS
- SUBMITTALS
- CONTRACTOR MUST SUBMIT ALL TESTS, PRODUCTS, ACCESSORIES, INCIDENTALS, CUT SHEETS OF ALL ITEMS SPECIFIED FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
 - ALL PLANT MATERIAL MUST BE REVIEWED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO DELIVERY. CONTRACTOR SHALL SUBMIT PHOTOS OF ALL SHRUBS, GROUND COVERS, VINES, AND TREES FOR PRELIMINARY REVIEW AND APPROVAL.
 - ALL SUBMITTALS AND PLANT MATERIAL NOT REVIEWED AND APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT MAY BE SUBJECT TO FULL REMOVAL AND REPLACEMENT WITH APPROVED SOILS, FERTILIZERS, AND PLANT MATERIAL AT NO ADDITIONAL COST TO THE CONTRACTOR AND OWNER.
 - SUBMITTALS AND SITE MOCUPS OF ALL WORK SHALL BE REQUIRED PRIOR TO FINAL PLACEMENT INCLUDING BUT NOT LIMITED TO ALL WALLS, PAVEMENTS, COLORS, FINISHES, METAL WORK, FENCING, AND PAINTING FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT. SEE SPECIFICATIONS.
- MUNICIPAL REQUIREMENTS
- ALL PLANT MATERIAL TO BE INSPECTED & APPROVED BY THE REPRESENTATIVE OF TOWN OF LOS GATOS AND LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 - CONTACT THE PROJECT LANDSCAPE ARCHITECT FOR FINAL INSPECTION OF LANDSCAPE AND IRRIGATION PRIOR TO RELEASE OF BUILDING FOR OCCUPANCY. THE PROJECT LANDSCAPE ARCHITECT WILL SUBMIT A LETTER TO THE TOWN CERTIFYING THE PLANTING AND IRRIGATION HAS BEEN INSTALLED IN CONFORMANCE WITH THE APPROVED PLANTING AND IRRIGATION PLANS. SUBJECT TO THE REVIEW AND APPROVAL OF THE TOWN LANDSCAPE ARCHITECT, SECURITIES IN LIEU OF INSTALLATION WILL NOT BE ACCEPTED.
 - DURING THE INSTALLATION OF LANDSCAPING AND INSTALLATION AND PRIOR TO THE ISSUANCE OF A BUILDING OCCUPANCY PERMIT, THE LANDSCAPE ARCHITECT MUST INSPECT AND MONITOR THE INSTALLATION OF MATERIALS TO VERIFY CONFORMANCE TO THESE PLANS. ONCE APPROVED, THE LANDSCAPE ARCHITECT SHALL PROVIDE A WRITTEN LETTER TO DEPARTMENT OF PLANNING AND DEVELOPMENT STATING COMPLIANCE WITH THE APPROVED PLANS.

WATER CONSERVATION STATEMENT

- THE PLANT LIST IS PRELIMINARY IN NATURE. SPECIES SHALL BE ADDED AND SUBTRACTED TO FULFILL THE DESIGN AND HORTICULTURAL REQUIREMENTS AS NECESSARY.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED WITH WATER CONSERVATION IN MIND WHILE ACHIEVING THE GOAL OF EFFECTIVELY AND EFFICIENTLY PROVIDING THE LANDSCAPE WITH WATER BY MEANS OF SPRAY, DRIP IRRIGATION TO THE SHRUBS/GROUNDCOVER AREAS AND BUBBLERS TO THE TREES.
- THE SPRAY SYSTEM SHALL BE TORD SPRAY HEADS WITH PRESSURE COMPENSATING NOZZLES IN A HEAD TO HEAD LAYOUT TO ACHIEVE AN EVEN LEVEL OF PRECIPITATION THROUGHOUT THE IRRIGATION SYSTEM.
- A STATE-OF-THE-ART IRRIGATION CONTROLLER SHALL BE SPECIFIED FOR THIS PROJECT TO CONTROL THE WATER ALLOCATED TO EACH VALVE GROUPS PER INDIVIDUAL HYDROZONE (BASED ON PLANT TYPE AND EXPOSURE).

GROUND LEVEL IRRIGATED LANDSCAPE AREA=60,527 SF
TERRAZE LEVEL IRRIGATED LANDSCAPE AREA=21,620 SF
TOTAL IRRIGATED LANDSCAPE AREA=82,147 SF

SEE SHEET LS-4, LS-6 FOR THE PROPOSED STORMWATER TREATMENT AREA.

D. LAURENCE GATES LANDSCAPE ARCHITECTURE

LOS GATOS MEADOWS

110 WOOD ROAD
LOS GATOS
CALIFORNIA

ISSUE: DESCRIPTION: DATE:

NOT FOR
CONSTRUCTION

PROJECT NUMBER: XXXX
DRAWING: XX
CHECKED: JK
DATE: APRIL 30, 2024
SCALE: SCALE



LAYOUT NOTES AND
PLANTING NOTES

LS-2

PLANT PALETTE

TREES



SHRUBS, ORNAMENTAL GRASSES AND GROUNDCOVERS



STORMWATER TREATMENT AREA

D. LAURENCE GATES
LANDSCAPE ARCHITECTURE

LOS GATOS
MEADOWS

110 WOOD ROAD
LOS GATOS
CALIFORNIA

ISSUE: DESCRIPTION: DATE:

NOT FOR
CONSTRUCTION

PROJECT NUMBER: XXXX
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SCALE: SCALE



PLANT PALETTE

LS-3

LOS GATOS
MEADOWS

110 WOOD ROAD
LOS GATOS
CALIFORNIA

ISSUE: DESCRIPTION: DATE:

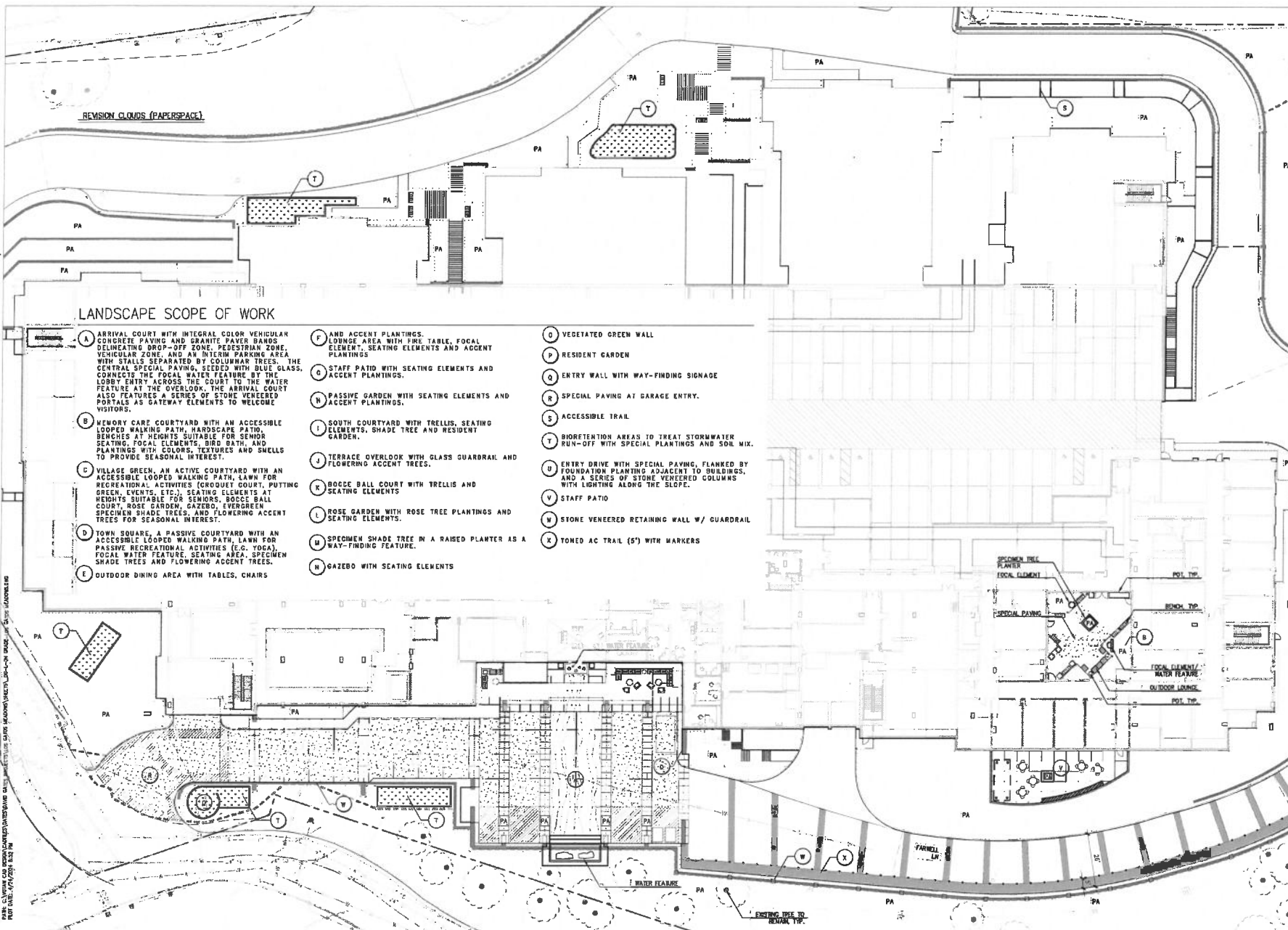
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DATE: APRIL 26, 2024
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GROUND LEVEL
LAYOUT PLAN

LS-4



REVISION CLOUDS (PAPER SPACE)

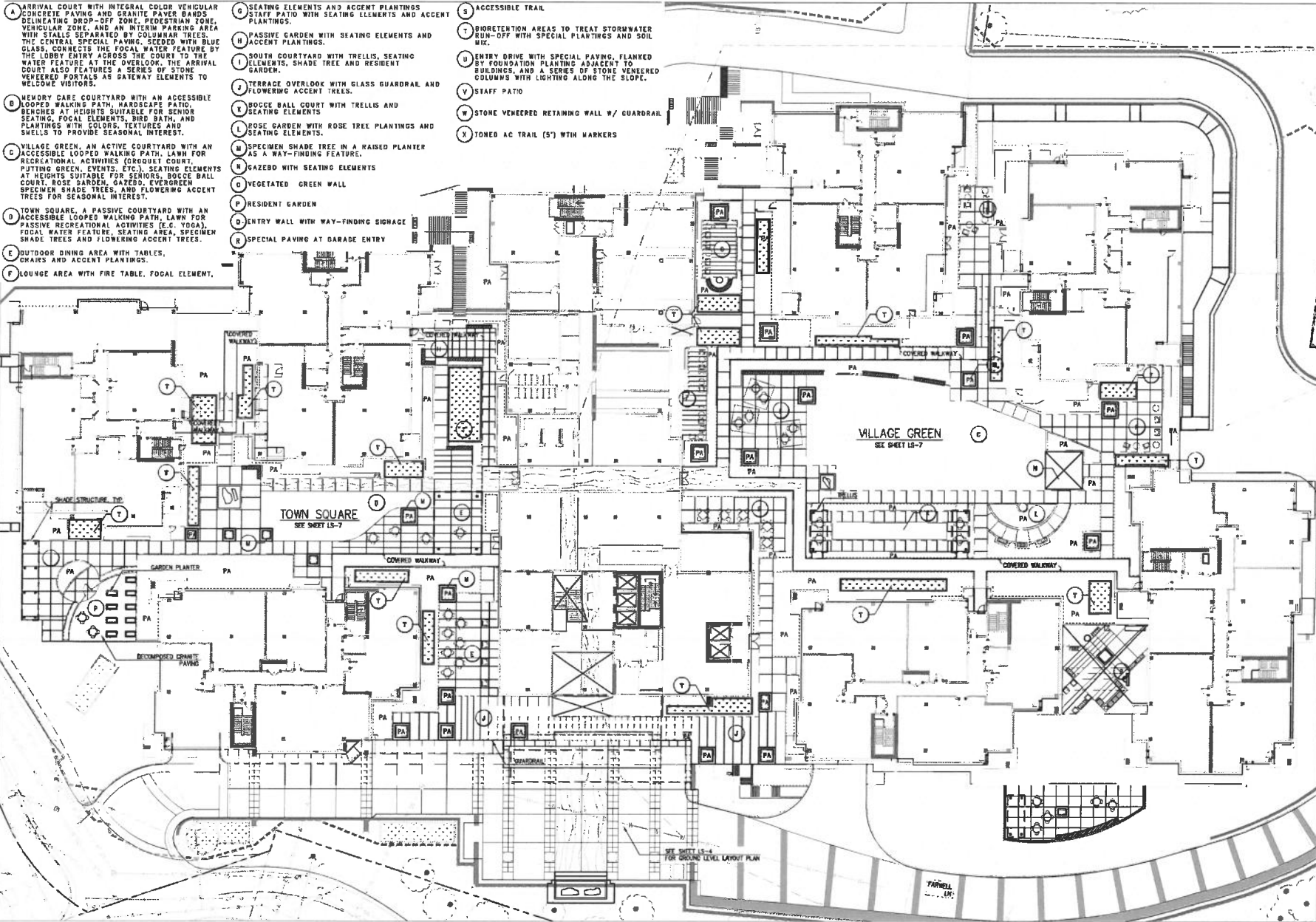
LANDSCAPE SCOPE OF WORK

- A ARRIVAL COURT WITH INTEGRAL COLOR VEHICULAR CONCRETE PAVING AND GRANITE PAPER BANDS DELINEATING DROP-OFF ZONE, PEDESTRIAN ZONE, VEHICULAR ZONE, AND AN INTERIM PARKING AREA WITH STALLS SEPARATED BY COLUMNAR TREES. THE CENTRAL SPECIAL PAVING, SEEDED WITH BLUE GRASS, CONNECTS THE FOCAL WATER FEATURE BY THE LOBBY ENTRY ACROSS THE COURT TO THE WATER FEATURE AT THE OVERLOOK. THE ARRIVAL COURT ALSO FEATURES A SERIES OF STONE VENEERED PORTALS AS GATEWAY ELEMENTS TO WELCOME VISITORS.
- B MEMORY CARE COURTYARD WITH AN ACCESSIBLE LOOPED WALKING PATH, HARDSCAPE PATIO, BENCHES AT HEIGHTS SUITABLE FOR SENIOR SEATING, FOCAL ELEMENTS, BIRD BATH, AND PLANTINGS WITH COLORS, TEXTURES AND SMELLS TO PROVIDE SEASONAL INTEREST.
- C VILLAGE GREEN, AN ACTIVE COURTYARD WITH AN ACCESSIBLE LOOPED WALKING PATH, LAWN FOR RECREATIONAL ACTIVITIES (CROQUET COURT, PUTTING GREEN, EVENTS, ETC.), SEATING ELEMENTS AT HEIGHTS SUITABLE FOR SENIORS, BOCCIA BALL COURT, ROSE GARDEN, GAZEBO, EVERGREEN SPECIMEN SHADE TREES, AND FLOWERING ACCENT TREES FOR SEASONAL INTEREST.
- D TOWN SQUARE, A PASSIVE COURTYARD WITH AN ACCESSIBLE LOOPED WALKING PATH, LAWN FOR PASSIVE RECREATIONAL ACTIVITIES (E.G. YOGA), FOCAL WATER FEATURE, SEATING AREA, SPECIMEN SHADE TREES AND FLOWERING ACCENT TREES.
- E OUTDOOR DINING AREA WITH TABLES, CHAIRS
- F AND ACCENT PLANTINGS. LOUNGE AREA WITH FIRE TABLE, FOCAL ELEMENT, SEATING ELEMENTS AND ACCENT PLANTINGS
- G STAFF PATIO WITH SEATING ELEMENTS AND ACCENT PLANTINGS.
- H PASSIVE GARDEN WITH SEATING ELEMENTS AND ACCENT PLANTINGS.
- I SOUTH COURTYARD WITH TRELIS, SEATING ELEMENTS, SHADE TREE AND RESIDENT GARDEN.
- J TERRACE OVERLOOK WITH GLASS GUARDRAIL AND FLOWERING ACCENT TREES.
- K BOCCIA BALL COURT WITH TRELIS AND SEATING ELEMENTS
- L ROSE GARDEN WITH ROSE TREE PLANTINGS AND SEATING ELEMENTS.
- M SPECIMEN SHADE TREE IN A RAISED PLANTER AS A WAY-FINDING FEATURE.
- N GAZEBO WITH SEATING ELEMENTS
- O VEGETATED GREEN WALL
- P RESIDENT GARDEN
- Q ENTRY WALL WITH WAY-FINDING SIGNAGE
- R SPECIAL PAVING AT GARAGE ENTRY.
- S ACCESSIBLE TRAIL
- T BIoretENTION AREAS TO TREAT STORMWATER RUN-OFF WITH SPECIAL PLANTINGS AND SDN MIX.
- U ENTRY DRIVE WITH SPECIAL PAVING, FLANKED BY FOUNDATION PLANTING ADJACENT TO BUILDINGS, AND A SERIES OF STONE VENEERED COLUMNS WITH LIGHTING ALONG THE SLOPE.
- V STAFF PATIO
- W STONE VENEERED RETAINING WALL W/ GUARDRAIL
- X TONED AC TRAIL (5') WITH MARKERS

DATE: CLIENT AND ARCHITECT APPROVED: DATE: 11/15/2023
 11/15/2023 11:00 AM
 11/15/2023 11:00 AM

LANDSCAPE SCOPE OF WORK

- A** ARRIVAL COURT WITH INTEGRAL COLORED VEHICULAR CONCRETE PAVING AND GRANITE PAVEMENT BANDS DELINEATING DROP-OFF ZONE, PEDESTRIAN ZONE, VEHICULAR ZONE, AND AN INTERIM PARKING AREA WITH STALLS SEPARATED BY COLUMNAR TREES. THE CENTRAL SPECIAL PAVING, SEEDER WITH BLUE GLASS, CONNECTS THE FOCAL WATER FEATURE BY THE LOBBY ENTRY ACROSS THE COURT TO THE WATER FEATURE AT THE OVERLOOK. THE ARRIVAL COURT ALSO FEATURES A SERIES OF STONE VENEERED PORTALS AS GATEWAY ELEMENTS TO WELCOME VISITORS.
- B** MEMORY CARE COURTYARD WITH AN ACCESSIBLE LOOPED WALKING PATH, HARDSCAPE PATIO, BENCHES AT HEIGHTS SUITABLE FOR SENIORS, SEATING, FOCAL ELEMENTS, BIRD BATH, AND PLANTINGS WITH COLORS, TEXTURES AND SMELLS TO PROVIDE SEASONAL INTEREST.
- C** VILLAGE GREEN, AN ACTIVE COURTYARD WITH AN ACCESSIBLE LOOPED WALKING PATH, LAWN FOR RECREATIONAL ACTIVITIES (BOBUCOURT, PUTTING GREEN, EVENTS, ETC.), SEATING ELEMENTS AT HEIGHTS SUITABLE FOR SENIORS, BOBUCOURT COURT, ROSE GARDEN, GAZEBO, EVERGREEN SPECIMEN SHADE TREES, AND FLOWERING ACCENT TREES FOR SEASONAL INTEREST.
- D** TOWN SQUARE, A PASSIVE COURTYARD WITH AN ACCESSIBLE LOOPED WALKING PATH, LAWN FOR PASSIVE RECREATIONAL ACTIVITIES (E.G. YOGA), FOCAL WATER FEATURE, SEATING AREA, SPECIMEN SHADE TREES AND FLOWERING ACCENT TREES.
- E** OUTDOOR DINING AREA WITH TABLES, CHAIRS AND ACCENT PLANTINGS.
- F** LOUNGE AREA WITH FIRE TABLE, FOCAL ELEMENT,
- G** SEATING ELEMENTS AND ACCENT PLANTINGS STAFF PATIO WITH SEATING ELEMENTS AND ACCENT PLANTINGS.
- H** PASSIVE GARDEN WITH SEATING ELEMENTS AND ACCENT PLANTINGS.
- I** SOUTH COURTYARD WITH TRELLIS, SEATING ELEMENTS, SHADE TREE AND RESIDENT GARDEN.
- J** TERRACE OVERLOOK WITH GLASS GUARDRAIL AND FLOWERING ACCENT TREES.
- K** BOBUCOURT BALL COURT WITH TRELLIS AND SEATING ELEMENTS.
- L** ROSE GARDEN WITH ROSE TREE PLANTINGS AND SEATING ELEMENTS.
- M** SPECIMEN SHADE TREE IN A RAISED PLANTER AS A WAY-FINDING FEATURE.
- N** GAZEBO WITH SEATING ELEMENTS.
- O** VEGETATED GREEN WALL.
- P** RESIDENT GARDEN.
- Q** ENTRY WALL WITH WAY-FINDING SIGNAGE.
- R** SPECIAL PAVING AT GARAGE ENTRY.
- S** ACCESSIBLE TRAIL.
- T** BIORETENTION AREAS TO TREAT STORMWATER RUN-OFF WITH SPECIAL PLANTINGS AND SOIL MIX.
- U** ENTRY DRIVE WITH SPECIAL PAVING, FLANKED BY FOUNDATION PLANTING ADJACENT TO BUILDINGS, AND A SERIES OF STONE VENEERED COLUMNS WITH LIGHTING ALONG THE SLOPE.
- V** STAFF PATIO.
- W** STONE VENEERED RETAINING WALL W/ GUARDRAIL.
- X** TONED AC TRAIL (5') WITH MARKERS.



D. LAURENCE GATES
LANDSCAPE ARCHITECTURE

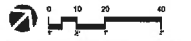
LOS GATOS MEADOWS

110 WOOD ROAD
LOS GATOS
CALIFORNIA

ISSUE: DESCRIPTION: DATE:

NOT FOR CONSTRUCTION

PROJECT NUMBER: 0000
DRAWN: JX
CHECK: JX
DATE: APRIL 30, 2024
SCALE: SCALE



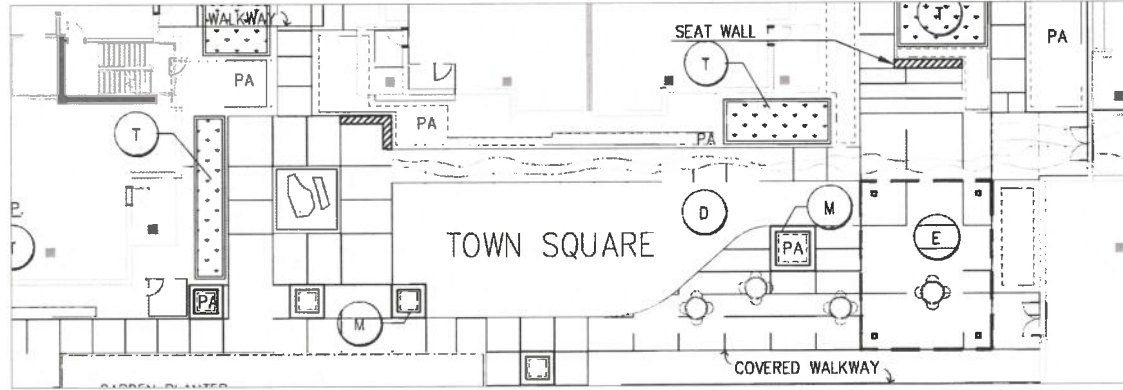
TERRACE LEVEL
LAYOUT PLAN

LS-6

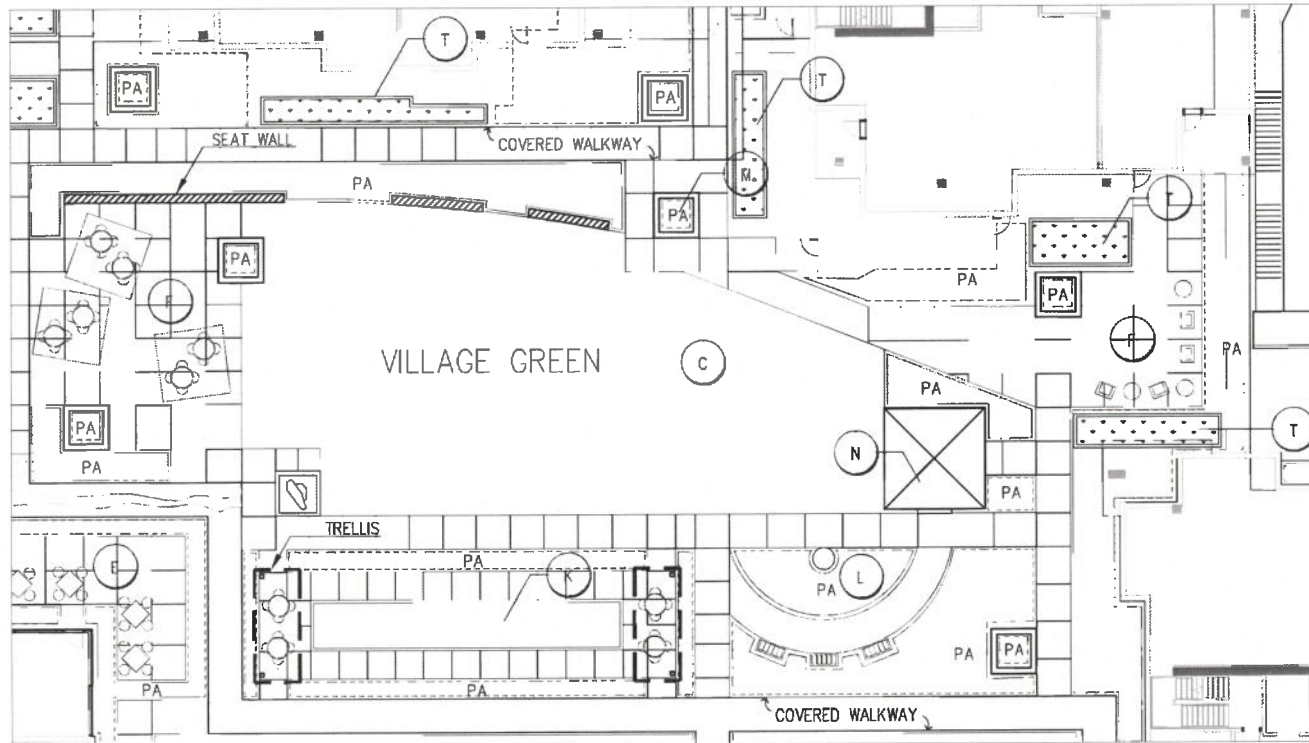
P:\10 - CIVILIAN CARE REVISIONS\10121010\10121010.DWG DATED: 11/11/2024 10:00 AM
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LANDSCAPE SCOPE OF WORK

- A ARRIVAL COURT WITH INTEGRAL COLOR VEHICULAR CONCRETE PAVING AND GRANITE PAVEN BANDS DELINEATING DROP-OFF ZONE, PEDESTRIAN ZONE, VEHICULAR ZONE, AND AN INTERIM PARKING AREA WITH STALLS SEPARATED BY COLUMBIAN TREES. THE CENTRAL SPECIAL PAVING, SECTED WITH BLUE GLASS, CONNECTS THE FOCAL WATER FEATURE BY THE LOBBY ENTRY ACROSS THE COURT TO THE WATER FEATURE AT THE OVERLOOK. THE ARRIVAL COURT ALSO FEATURES A SERIES OF STONE VENEERED PORTALS AS GATEWAY ELEMENTS TO WELCOME VISITORS.
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- C VILLAGE GREEN, AN ACTIVE COURTYARD WITH AN ACCESSIBLE LOOPED WALKING PATH, LAWN FOR RECREATIONAL ACTIVITIES (CROQUET COURT, PUTTING GREEN, EVENTS, ETC.), SEATING ELEMENTS AT HEIGHTS SUITABLE FOR SENIORS, BOUCE BALL COURT, ROSE GARDEN, GAZEBO, EVERGREEN SPECIMEN SHADE TREES, AND FLOWERING ACCENT TREES FOR SEASONAL INTEREST.
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- G STAFF PATIO WITH SEATING ELEMENTS AND ACCENT PLANTINGS.
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- M SPECIMEN SHADE TREE IN A RAISED PLANTER AS A WAY-FINDING FEATURE.
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- W STAFF PATIO
- X STONE VENEERED RETAINING WALL W/ GUARDRAIL
- Y TONED AC TRAIL (5') WITH MARKERS



TOWN SQUARE LAYOUT PLAN



VILLAGE GREEN LAYOUT PLAN

D. LAURENCE GATES
LANDSCAPE ARCHITECTURE

LOS GATOS
MEADOWS

110 WOOD ROAD
LOS GATOS
CALIFORNIA

ISSUE DESCRIPTION DATE

NOT FOR
CONSTRUCTION

PROJECT NUMBER: JXXX
DRAWN: JX
CHECK: JX
DATE: APRIL 20, 2024
SCALE: SCALE



TERRACE LEVEL
LAYOUT PLAN -
VILLAGE GREEN AND
TOWN SQUARE

LS-7

GROUND PLANT LIST - TREES (SUBTOTAL OF PROPOSED TREES: 242)

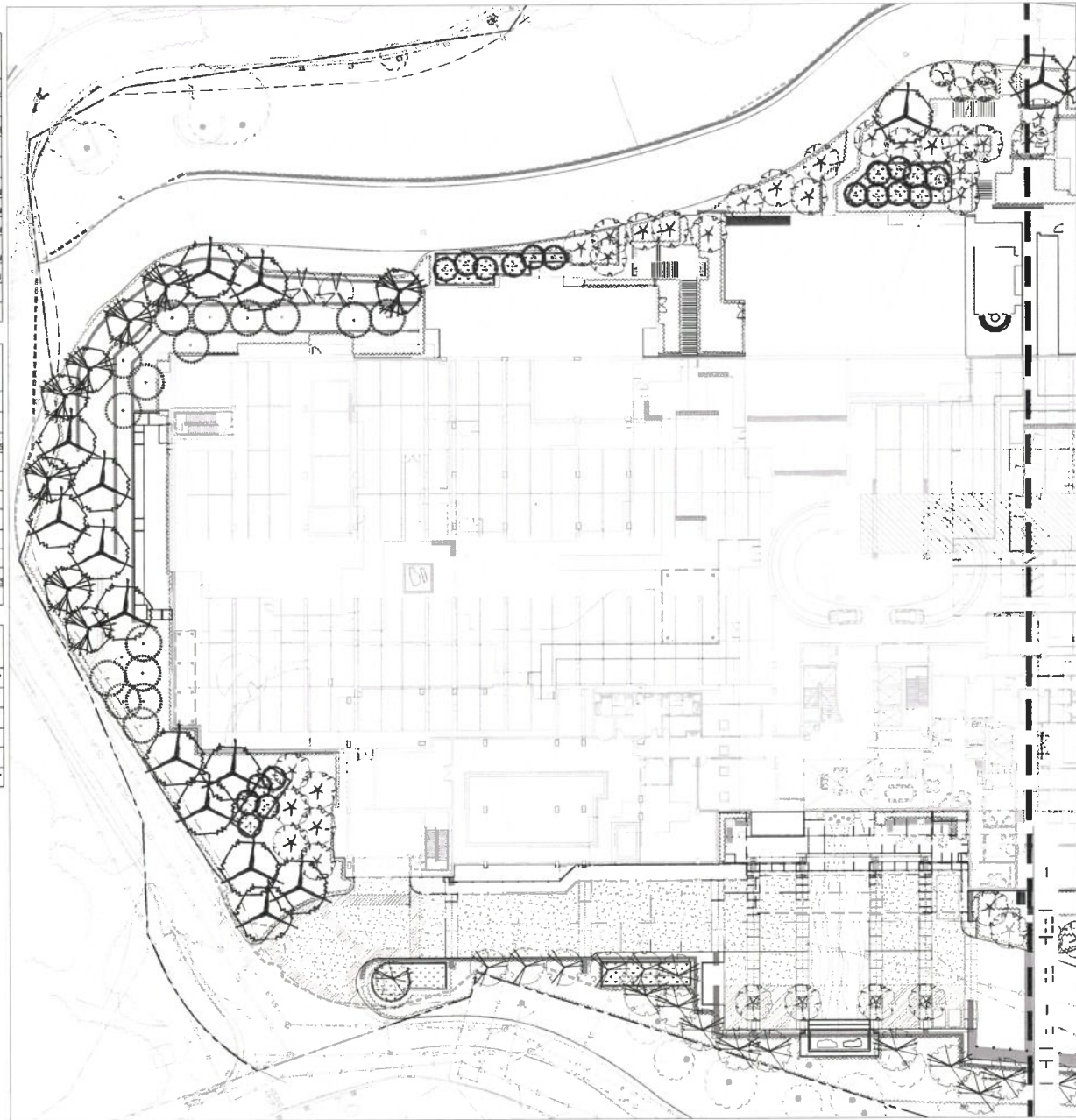
LEGEND KEY	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	WUCOLS ZONE	NATIVE (N)	LOCAL (L)	DRIGHT (R)	TOLERANT (T)	NOTES
ABA	ACER RUBRUM 'ARMSTRONG'	ARMSTRONG RED MAPLE	24"BOX	16	M	N				FULL TO PT SHADE, 55'H x 20'W, DECIDUOUS
ARM	ARBITRUS X 'MARINA'	ARBITRUS STANDARD	24"BOX	33	L	N	Y			FULL SUN, 30'H x 20'W, EVERGREEN
CER	CERCIS OCCIDENTALIS	WESTERN REDBUD	24"BOX	14	VL	N	Y			SUN/PT SHADE, SCREEN, 15'H x 10'W, DECIDUOUS
LAM	LAGERSTROEMIA INDICA 'MUSKOGEE'	MUSKOGEE GRAPE MYRTLE	24"BOX	12	L	L	Y			FULL SUN, 20'H x 15'W, DECIDUOUS
LAT	LAGERSTROEMIA INDICA 'TONTON'	TONTON GRAPE MYRTLE	24"BOX	3	L	L	Y			FULL SUN, 10'H x 6'W, DECIDUOUS
LNS	LAURUS NOBILIS 'SARATOGA'	SWEET BAY	24"BOX	3	L	L	Y			FULL SUN TO PT SHADE, 30'H x 20'W, EVERGREEN
DES	OLEA EUROPAEA 'SWAN HILL'	SWAN HILL OLIVE MULTI-TRUNK	36"BOX	2	VL	L	Y			PT SHADE TO PT SUN, 25'H x 25'W, EVERGREEN
QUI	QUERCUS ILEX	HOLLY OAK	38"48" BOX	15	L	L	Y			FULL SUN TO PT SHADE, 50'H x 50'W, EVERGREEN
QUV	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	38"48" BOX	38	M	L	Y			FULL SUN TO PT SHADE, 50'H x 50'W, EVERGREEN
RHU	RHUS LANCEA	AFRICAN SUMAC	24"BOX	32	L	L	Y			15'H x 20'W, EVERGREEN
SAL	SALIX LASIOLEPIS	ARROYO WILLOW	24"BOX	49	H	N	Y			FULL SUN, 35'H x 15'W, DECIDUOUS
TRI	TRISTANIA CONFERTA	BRISBANE BOX	24"BOX	25	M		Y			FULL SUN, 40'H x 25'W, EVERGREEN

GROUND PLANT LIST - SHRUBS, ORNAMENTAL GRASSES AND GROUND COVER

LEGEND KEY	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	WUCOLS ZONE	NATIVE (N)	LOCAL (L)	DRIGHT (R)	TOLERANT (T)	NOTES
AM	ARCTOSTAPHYLOS MANZANITA 'DR. HURD'	DR. HURD MANZANITA	15 GAL	X	L	N	Y			FULL SUN, 15'H x 12'W, EVERGREEN
CR	CEANOTHUS X 'RAY HARTMAN' MULTI-TRUNK	CALIFORNIA LILAC	15 GAL	X	L	N	Y			FULL SUN, 15'H x 10'W, EVERGREEN
CD	CERCIS OCCIDENTALIS	WESTERN REDBUD MULTI-TRUNK	5 GAL	X	VL	N	Y			SUN/PT SHADE, SCREEN, 15'H x 10'W, DECIDUOUS
CP	CISTIS X PURPUREUS	ORCHID ROCKROSE	15 GAL	X	L	L	Y			FULL SUN, 4'H x 4'W, EVERGREEN
HIA	HETEROMELES ARBUTIFOLIA	TOYON	5 GAL	X	L	N	Y			SUN OR SHADE, 10'H x 8'W, EVERGREEN
MR	MULLENBERGIA RIGENS	DEER GRASS	5 GAL	X	L	N	Y			SUN OR SHADE, 4'H x 6'W, EVERGREEN
RE	RHAMNUS CALIFORNICA 'EVE CASE'	CALIFORNIA COFFEEBERRY	5 GAL	X	L	N	Y			SUN OR SHADE, 8'H x 8'W, EVERGREEN
RL	RHAMNUS CALIFORNICA 'LEATHERLEAF'	CALIFORNIA COFFEEBERRY	5 GAL	X	L	N	Y			SUN OR SHADE, 8'H x 8'W, EVERGREEN
RV	RIBES VIBURNIFOLIUM	EVERGREEN CURRBANT	5 GAL	X	L	N	Y			SUN OR SHADE, 4'H x 6'W, EVERGREEN
RC	ROSA CALIFORNICA	CALIFORNIA WILD ROSE	5 GAL	X	L	N	Y			FULL SUN TO PT SHADE, 10'H x 10'W, DECIDUOUS
EC	EPILOBIUM CANUM 'CATALINA'	CATALINA FUCHSIA	1 GAL	X	L	N	Y			FULL SUN, 2'H x 4'W, DECIDUOUS

GROUND PLANT LIST - STORMWATER TREATMENT AREA

LEGEND KEY	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	WUCOLS ZONE	NATIVE (N)	LOCAL (L)	DRIGHT (R)	TOLERANT (T)	NOTES
BG	BOUTELOUA GRACILIS	BLUE GRAMA GRASS	1GAL	X	L	N	Y			FULL SUN TO PT SHADE, 1'H x 1'W, DECIDUOUS
CT	CAREX TUMULICOLOA	BERKELEY SEDGE	1 GAL	X	L	N	Y			SUN OR SHADE, 1'H x 2'W, EVERGREEN
CE	CHONDROPETALUM TECTORIUM 'EL CAMPO'	CAPE RUSH	5 GAL	X	L	L	Y			SUN OR SHADE, 2'H x 4'W, EVERGREEN
JC	JUNCUS PATENS 'ELK BLUE'	SPREADING RUSH	5 GAL	X	L	N	Y			SUN OR SHADE, 2'H x 2'W, EVERGREEN
LC	LEYMUS CONDENSATUS 'CANYON PRINCE'	NATIVE BLUE RYE	1 GAL	X	L	N	Y			FULL SUN, 2'H x 3'W, EVERGREEN
MA	MIMULUS AURANTIACUS	STICKY MONKEY FLOWER	5 GAL	X	VL	N	Y			FULL SUN TO PT SHADE, 4'H x 3'W, EVERGREEN



D. LAURENCE GATES
LANDSCAPE ARCHITECTURE

LOS GATOS
MEADOWS

110 WOOD ROAD
LOS GATOS
CALIFORNIA

ISSUE DESCRIPTION DATE

NOT FOR
CONSTRUCTION

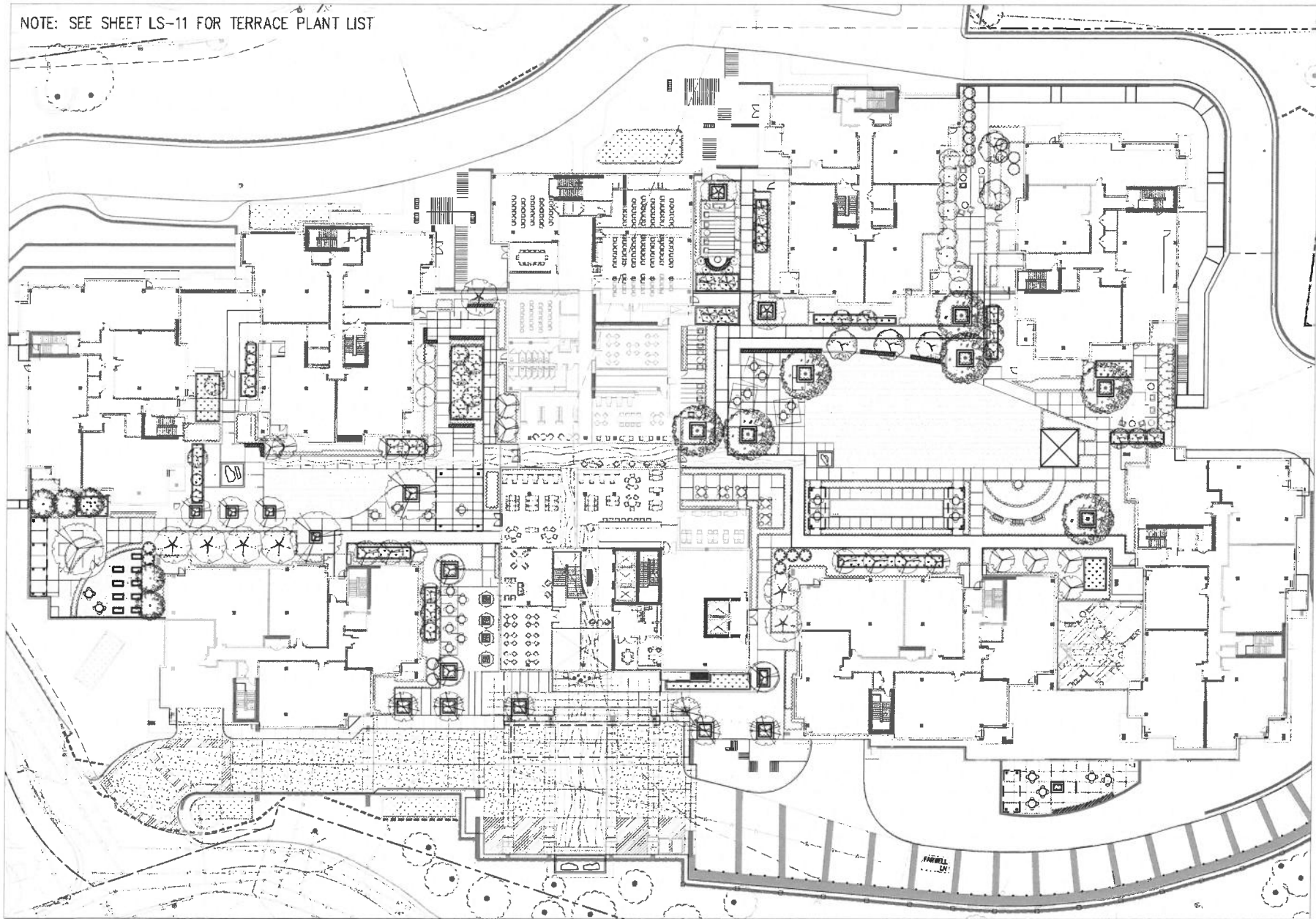
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DATE: APRIL 20, 2024
SCALE: SCALE



GROUND LEVEL
PLANTING PLAN

LS-9

NOTE: SEE SHEET LS-11 FOR TERRACE PLANT LIST



D. LAURENCE GATES
LANDSCAPE ARCHITECTURE

LOS GATOS
MEADOWS

110 WOOD ROAD
LOS GATOS
CALIFORNIA

ISSUE DESCRIPTION DATE

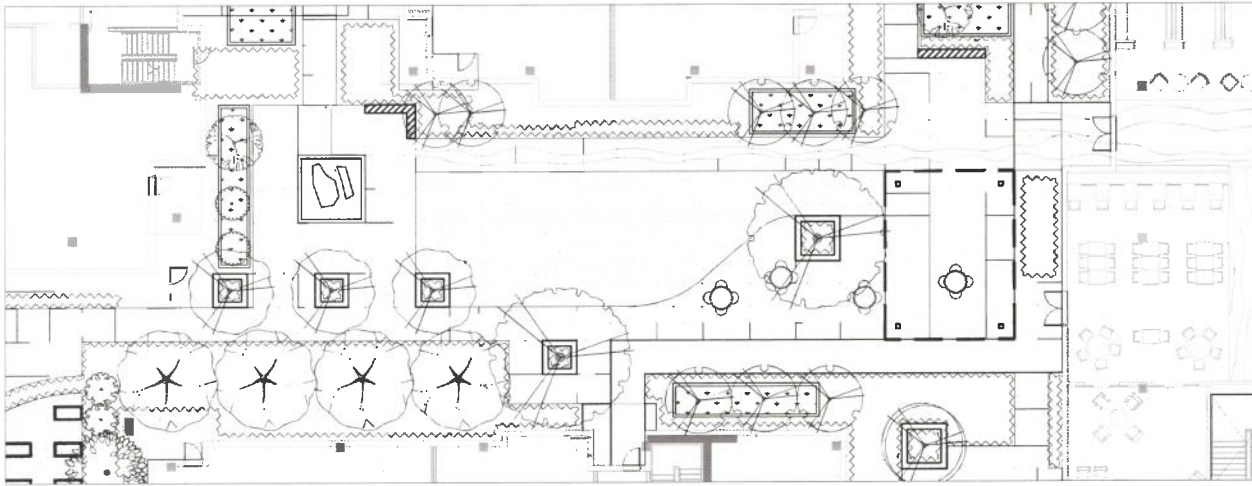
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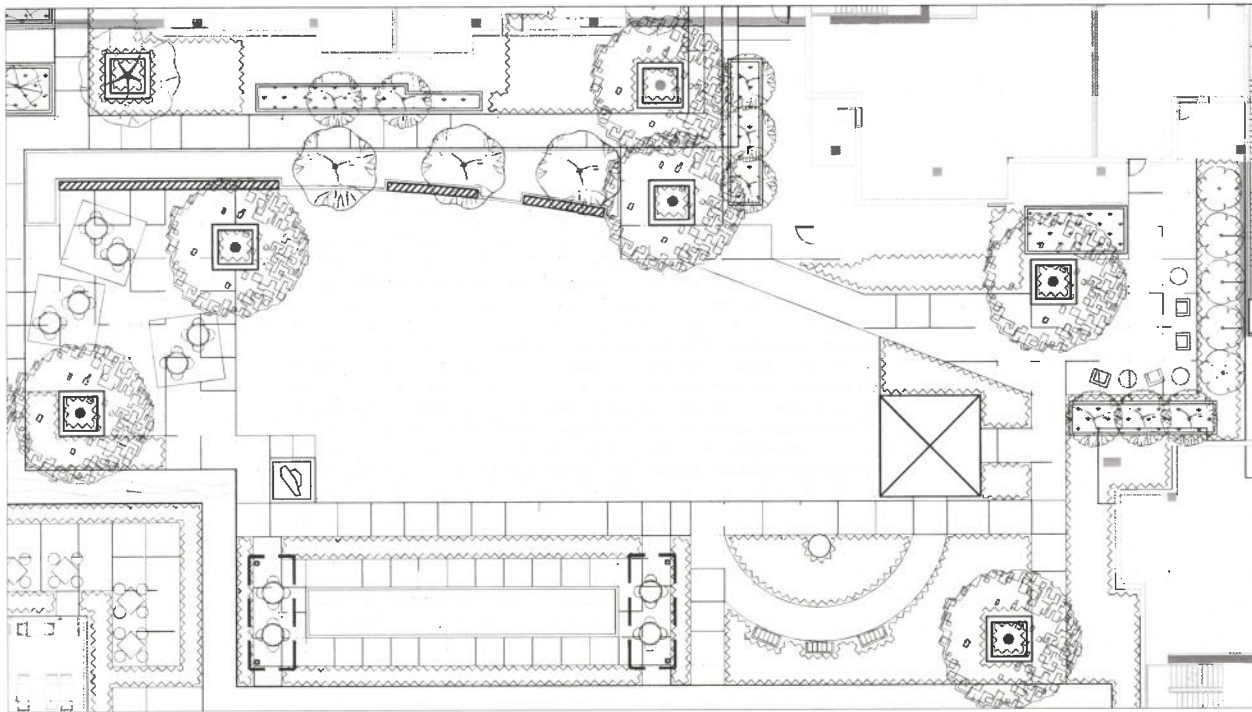


TERRACE LEVEL
PLANTING PLAN

LS-10



TOWN SQUARE PLANTING PLAN & BIO PLANTER



VILLAGE GREEN PLANTING PLAN

TERRACE PLANT LIST - TREES (SUBTOTAL OF PROPOSED TREES: 131)

LEGEND	KEY	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	WALDO'S	NATIVE	PLANTING	REQUIREMENT	NOTES
	APM	ACER PALMATUM 'MORTON'	MORTON JAPANESE MAPLE	24"BOX	3	M	N			FULL TO PT SHAD, 10'H X 8'W, DECIDUOUS
	ARA	ACER RUBRUM 'ARMSTRONGS'	ARMSTRONG RED MAPLE	24"BOX	18	M	N			FULL TO PT SHADE, 55'H X 20'W, DECIDUOUS
	ARI	ARIBUTUS X 'MARINA'	ARIBUTUS STANDARD	24"BOX	8	L	N	Y		FULL SUN, 30'H X 20'W, EVERGREEN
	CER	CERCIS OCCIDENTALIS	WESTERN REDBUD	24"BOX	19	VL	N	Y		SUN OR SHADE, 30'W X 20'W, DECIDUOUS
	CIT	CITRUS SPP.	ORANGE TREE	24"BOX	4	M	Y			FULL SUN, 30'H X 20'W, EVERGREEN
	LAM	LAGERSTROEMIA INDICA 'MUSKOGEE'	MUSKOGEE CRAPE MYRTLE	24"BOX	8	L	L	Y		FULL SUN, 30'H X 15'W, DECIDUOUS
	LAT	LAGERSTROEMIA INDICA 'TONTO'	TONTO CRAPE MYRTLE	24"BOX	3	L	L	Y		FULL SUN, 30'H X 5'W, DECIDUOUS
	LP	LAGERSTROEMIA INDICA 'PURPLE TOWER'	PURPLE TOWER CRAPE MYRTLE	24"BOX	7	L	L	Y		FULL SUN, 25'H X 10'W, DECIDUOUS
	LNS	LAURUS NOBILIS 'SARATOGA'	SWEET BAY	24"BOX	5	L	L	Y		FULL SUN TO PT SHADE, 30'H X 20'W, EVERGREEN
	OES	OLEA EUROPAEA 'SWAN HILL'	SWAN HILL OLIVE	36"BOX	3	VL	L	Y		FULL SUN TO PT SHADE, 25'H X 25'W, EVERGREEN
	PRY	PRUNUS X 'VEDDONS'	YOSHINO CHERRY	24"BOX	4	M	L	Y		FULL SUN, 40'H X 35'W, DECIDUOUS
	PSA	PRUNUS SERIALATA 'AMANOAWA'	JAPANESE FLOWERING CHERRY	15 GAL	6	M	L	Y		PT SHADE TO FULL SUN, 25'H X 12'W, DECIDUOUS
	RPI	RUBRA 'BRILLIANT PINK KOBURG'	ROSE	15 GAL	4	M	L	N		5'H X 5'W, DECIDUOUS
	UPF	ULMUS CARPINIFOLIA 'FRONTIER'	FRONTIER ELM	36"BOX	7	L	L	Y		FULL SUN, 35'H X 25'W, DECIDUOUS
	ZEM	ZELKOVA SERRATA 'MUSASHINO'	SAWLEAF ZELKOVA	24"BOX	11	M	Y			FULL SUN, 40'H X 20'W, DECIDUOUS

TERRACE PLANT LIST - SHRUBS, ORNAMENTAL GRASSES AND GROUNDCOVER

LEGEND	KEY	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	WALDO'S	NATIVE	PLANTING	REQUIREMENT	NOTES
	AU	ARBITUS UNDO	STRAWBERRY TREE SHRUB	15 GAL	4	L	N	Y		FULL SUN PT SHADE, 20'H X 10'W, EVERGREEN
	PM	PODOCARPUS MACROPHYLLUS 'MAKI'	MAKI SHRUBBY YEW	15 GAL	16	M	L	Y		FULL SUN PT SHADE, 20'H X 5'W, EVERGREEN
	PC	PRUNUS CAROLINIANA 'BRIGHT TREAT'	BRIGHT TREAT CAROLINA LAUREL	15 GAL	5	L	N	Y		SUN OR SHADE, 10'H X 6'W, EVERGREEN
	AI	ACHILLEA MILEFOLIUM AGRIA ATTENUATA 'KARA 5 STRIPES'	COMMON YARROW	1 GAL	2	L	N	Y		FULL SUN, 2'H X 3'W, DECIDUOUS
	AK	ASUTLON PALMERI	ABAYE	5 GAL	X	L	N	N		FULL SUN, 4'H X 4'W, EVERGREEN
	AP	ASUTLON PALMERI	INDIAN MALLOW	5 GAL	X	L	N	Y		EVERGREEN
	CS	CAMELLIA SASANGUA	CHRISTMAS CAMELLIA	5 GAL	X	M	Y			FULL SUN TO PT SHADE, 4'H X 6'W, EVERGREEN
	CU	COLONEMA PULCHRUM 'SUNSET GOLD'	GOLDEN BREATH OF HEAVEN	5 GAL	X	M	L	Y		FULL SUN, 4'H X 6'W, EVERGREEN
	DB	DIETES BICOLOR	FORTNIGHT LILY	1 GAL	X	L	L	Y		FULL SUN TO SHADE, 3'H X 2'W, EVERGREEN
	DV	DIETES GRANDIFLORA 'VARIEGATA'	STRIPED FORTNIGHT LILY	5 GAL	X	L	L	Y		SUN OR PT SHADE, 3'H X 2'W, EVERGREEN
	EB	EPILOBUM CALIFORNICUM 'BOWMAN'S #1'	CALIFORNIA FUCHSIA	1 GAL	X	L	N	Y		FULL SUN, 2'H X 2'W, DECIDUOUS
	EC	EPILOBUM CANNUM 'CATALINA'	CATALINA FUCHSIA	5 GAL	X	L	N	Y		FULL SUN, 3'H X 4'W, DECIDUOUS
	FM	FESTUCA MAIBER	ATLAS FESCUE	1 GAL	X	L	L	Y		SUN OR PT SHADE, 3'H X 2'W, EVERGREEN
	HR	HESPERALOS PARVIFLORA 'BRAKELIGHTS'	BRAKELIGHTS RED YUCCA	5 GAL	X	L	L	Y		FULL SUN, 3'H X 3'W, EVERGREEN
	HE	HEUCHERA X 'ELECTRIC LIME'	CORAL BELLS	1 GAL	X	M	L	Y		FULL SUN, 3'H X 3'W, EVERGREEN
	HP	HESPERALOS PARVIFLORA 'BREIT'	BREIT MAT RUSH	5 GAL	X	L	L	Y		FULL SUN, 3'H X 4'W, EVERGREEN
	LO	LOMANDRA LONGIFOLIA 'BREIT'	BREIT MAT RUSH	1 GAL	X	L	L	Y		SUN OR SHADE, 3'H X 2'W, EVERGREEN
	LS	LOBELIA SINENSE 'SUNSHINE'	SUNSHINE DIGITRUM	5 GAL	X	L	L	Y		FULL SUN, 6'H X 4'W, EVERGREEN
	LT	LAVATERA MARIETTA	TREE MALLOW	5 GAL	X	L	L	Y		SUN OR SHADE, 6'H X 12'W, EVERGREEN
	LV	LIVORPE MUSCARI 'VARIEGATA'	VARIEGATED LILY TURF	1 GAL	X	M	Y			FULL SUN TO PT SHADE, 3'H X 2'W, EVERGREEN
	MD	MIRALBERGIA DUBIA	PINE MUILY	1 GAL	X	L	L	Y		FULL SUN, 3'H X 3'W, EVERGREEN
	NC	NEPETA FAASSENII	CATMINT	1 GAL	X	L	L	Y		FULL SUN TO PT SHADE, 2'H X 2'W, EVERGREEN
	NL	NEMOPHYLLA 'LEMON LIME'	LEMON LIME NEMOPHYLLA	1 GAL	X	M	L	Y		FULL SUN TO PT SHADE, 3'H X 2'W, EVERGREEN
	RF	ROSA X 'FLOWER CARPET APPLEBLOSSOM'	ROSE	2 GAL	X	M	L	Y		FULL SUN, 3'H X 4'W, DECIDUOUS
	RM	RHODNANUS CALIFORNICA 'MOUND SAN BRANO'	SUN BRANO COFFEENUT	5 GAL	X	L	N	Y		SUN OR SHADE, 4'H X 12'W, EVERGREEN
	RT	ROSMARINUS OFFICINALIS 'TUSCAN BLUE'	TUSCAN BLUE ROSEMARY	5 GAL	X	L	L	Y		FULL SUN, 6'H X 3'W, EVERGREEN
	SB	SALVIA LELCANTHA 'SANTA BARBARA'	MEXICAN BUSH SAGE	5 GAL	X	L	L	Y		FULL SUN, 3'H X 4'W, EVERGREEN
	SH	SALVIA MICROPHYLLA 'HOT LIPS'	HOT LIPS SAGE	5 GAL	X	L	L	Y		FULL SUN TO PT SHADE, 3'H X 3'W, EVERGREEN
	SS	SENECIO SPP.	AMANI SENECIO	1 GAL	X	L	L	Y		FULL SUN TO PT SHADE, 3'H X 3'W, EVERGREEN
	TC	TEUCRIUM CHAMAEDRYS	GERMANDER	1 GAL	X	L	L	Y		FULL SUN TO PT SHADE, 3'H X 3'W, EVERGREEN

TERRACE PLANT LIST - STORMWATER TREATMENT AREA

LEGEND	KEY	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	WALDO'S	NATIVE	PLANTING	REQUIREMENT	NOTES
	BG	BOUTELOUA GRACIOS	BLUE GRAMA GRASS	1 GAL	X	L	N	Y		FULL SUN TO PT SHADE, 1'H X 1'W, DECIDUOUS
	CT	CAREN TUMMICOLOA 'CHONDROPTALMIA'	BERKELEY SEDGE	1 GAL	X	L	N	Y		SUN OR SHADE, 1'H X 2'W, EVERGREEN
	CE	TECTARIUM 'EL CAMPO'	CAPE RUSH	5 GAL	X	L	L	Y		SUN OR SHADE, 3'H X 4'W, EVERGREEN
	IE	JUNCUS PATENS 'ELK BLUE'	SPREADING RUSH	5 GAL	X	L	N	Y		SUN OR SHADE, 2'H X 2'W, EVERGREEN
	LC	LEYMUS CONDENSATUS 'CANTON PRINCE'	NATIVE BLUE RYE	1 GAL	X	L	N	Y		FULL SUN, 3'H X 3'W, EVERGREEN
	MA	AMMILUS ALURMATICUS	STICKY MONKEY FLOWER	5 GAL	X	VL	N	Y		FULL SUN TO PT SHADE, 4'H X 3'W, EVERGREEN

D. LAURENCE GATES
LANDSCAPE ARCHITECTURE

LOS GATOS
MEADOWS

110 WOOD ROAD
LOS GATOS
CALIFORNIA

ISSUE DESCRIPTION: DATE:

NOT FOR CONSTRUCTION

PROJECT NUMBER: XXXX
DRAWN: JX
CHECK: JX
DATE: APRIL 30, 2024
SCALE: SCALE



TERRACE LEVEL
PLANTING PLAN -
VILLAGE GREEN AND
TOWN SQUARE

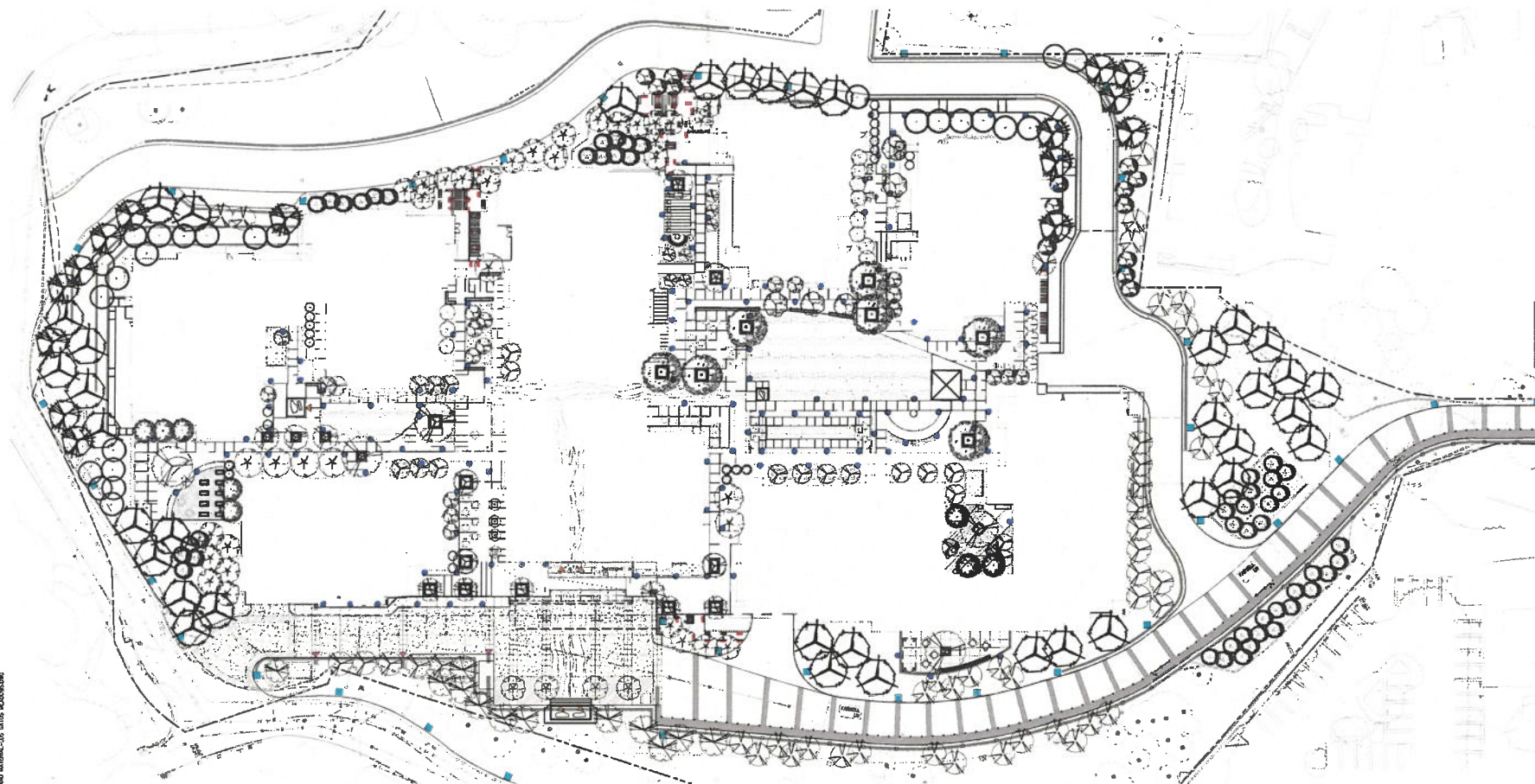
LS-11

LOS GATOS
MEADOWS




110 WOOD ROAD
LOS GATOS
CALIFORNIA

ISSUE: DESCRIPTION: DATE:

NOT FOR
CONSTRUCTION

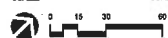


LIGHT FIXTURE SCHEDULE:

■ : POST TOP LIGHT	● : BOLLARD LIGHT	▼ : WALL MOUNTED LIGHT	◊ : FOUNTAIN LIGHT
<p>MFR: BEGA MODLE: 77120, 23.4W LED POLE HEIGHT: 10' LIGHT SOURCE: LED COLOR FINISH: T.B.D.</p> 	<p>MFR: BEGA MODLE: 77120, 23.4W LED POLE HEIGHT: 10' LIGHT SOURCE: LED COLOR FINISH: T.B.D.</p> 	<p>MFR: BEGA MODLE: 22263, 11.8W LED SIZE: 9-7/8"x9-7/8"x5-3/8" LIGHT SOURCE: LED COLOR FINISH: T.B.D.</p> 	<p>MFR: FOUNTAIN PEOPLE MODLE: FX SERIES FOUNTAIN FLUSH MOUNT, 25.5W LED, 3000K WARM WHITE SIZE: 4.75"DIA. FINISH: STAINLESS STEEL</p> 
		<p>— : STAIR LIGHT</p> <p>MFR: BEGA MODLE: 22 130, 3.4 W LED SIZE: 7-1/2"x 3-1/8"x 4" FINISH: #4 BRUSHED STAINLESS STEEL</p> 	

NOTE: EXTERIOR FIXTURES
WILL COMPLY WITH TOWN
REQUIREMENTS TO BE
DOWNWARD DIRECTED AND
SHIELDED (FULL CUT-OFF)

PROJECT NUMBER: XXXX
DRAWING: XX
CHECK: XX
DATE: APRIL 30, 2024
SCALE: SCALE



SITE LIGHTING
CONCEPT PLAN

LS-12

PAVING



VEHICULAR PAVER BAND – 8"X8"X3" THICKNESS
 GRANITE PAVERS AT ARRIVAL COURT
 MFR: COLD SPRING GRANITE
 COLOR: ACADEM BLACK
 FINISH: THERMAL

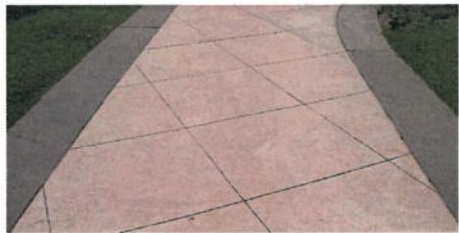
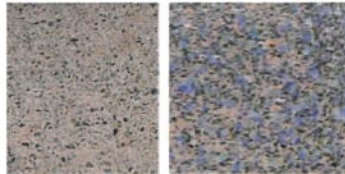


TONED AC PAVING
 FOR THE TRAIL ALONG EVA



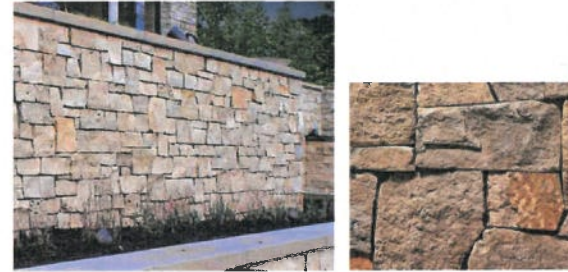
VEHICULAR COLORED SAWCUT CONCRETE PAVING
 COLOR: DARK GRAY BY DAVIS COLORS
 FINISH: MEDIUM BROOM FOR THE MAIN COURT;
 TOPOCAST 25 FOR THE INTERIM PARKING STALLS

SEEDED GLASS IN PAVING



PEDESTRIAN COLORED SAWCUT CONCRETE PAVING
 COLOR: PEBBLE BY DAVIS COLORS
 FINISH: MEDIUM BROOM/TOPOCAST 25

STONE VENEERED RETAINING WALL



VEGETATED GREEN WALL BIOPHILIA



D. LAURENCE GATES
 LANDSCAPE ARCHITECTURE

LOS GATOS
 MEADOWS

110 WOOD ROAD
 LOS GATOS
 CALIFORNIA

ISSUE: DESCRIPTION: DATE:

NOT FOR
 CONSTRUCTION

PROJECT NUMBER: XX.XX
 DRAWN: XX
 CHECKED: XX
 DATE: APRIL 30, 2024
 SCALE: SCALE



MATERIAL BOARD

LS-13

TREE INVENTORY TABLE

TREE / TAG NO.	TREE NAME	TRUNK DIAMETER (INCHES)	APPROX. CROWN DIAMETER (FEET)	CONDITION OUT OF 100%	SUITABILITY FOR PRESERVATION	PROTECTED STATUS	REMOVAL	REASON FOR REMOVAL
1	Coast Redwood <i>Sequoia sempervirens</i>	40	~30	50%	Mod	Protected		
2	California Bay <i>Umbellularia californica</i>	8,8,7	~30	50%	Low	Protected		
3	California Bay <i>Umbellularia californica</i>	6,5	~30	30%	Low	Protected		
4	Valley Oak <i>Quercus lobata</i>	17	~30	50%	Mod	Protected		
5	Valley Oak <i>Quercus lobata</i>	14	~20	30%	Low	Protected	X	New EVA. construction
6	Coast Live Oak <i>Quercus agrifolia</i>	23	~30	70%	High	Protected		
7	Blue Gum <i>Eucalyptus globulus</i>	40	~30	30%	Low	Protected	X	Invasive, fire prone
8	Blue Gum <i>Eucalyptus globulus</i>	38	~30	30%	Low	Protected	X	Invasive, fire prone
9	Blue Gum <i>Eucalyptus globulus</i>	20,7	~20	30%	Low	Exception	X	Invasive, fire prone
10	Blue Gum <i>Eucalyptus globulus</i>	54	~50	30%	Low	Protected	X	Invasive, fire prone
11	Blue Gum <i>Eucalyptus globulus</i>	28	~30	30%	Low	Protected	X	Invasive, fire prone
12	Blue Gum <i>Eucalyptus globulus</i>	39	~30	30%	Low	Protected	X	Invasive, fire prone
13	Canary Island Pine <i>Pinus canariensis</i>	21	~30	70%	High	Protected	2019 X	Fire prone, within 50 feet of structures
14	Coast Live Oak <i>Quercus agrifolia</i>	15	~20	50%	Low	Protected	X	New EVA. construction
15	California Bay <i>Umbellularia californica</i>	10	~20	50%	Mod	Protected	X	New EVA. construction
16	California Bay <i>Umbellularia californica</i>	10	~20	50%	Mod	Protected	X	New EVA. construction
17	California Bay <i>Umbellularia californica</i>	9,9	~20	30%	Low	Protected	X	New EVA. construction
18	California Bay <i>Umbellularia californica</i>	5	~20	10%	Low	Protected	X	New EVA. construction
19	California Bay <i>Umbellularia californica</i>	13,8	~30	50%	Mod	Protected		
20	California Bay <i>Umbellularia californica</i>	11	~20	30%	Low	Protected	X	Within grading limits
21	California Bay <i>Umbellularia californica</i>	13	~30	30%	Low	Protected		
22	California Buckeye <i>Aesculus californica</i>	9	~30	50%	Mod	Protected		
23	California Bay <i>Umbellularia californica</i>	7	~50	30%	Low	Protected		
24	California Bay <i>Umbellularia californica</i>	17,15	~50	70%	High	Protected		
25	California Bay <i>Umbellularia californica</i>	11	~20	30%	Low	Protected		
26	California Bay <i>Umbellularia californica</i>	12	~20	50%	Low	Protected		
27	California Bay <i>Umbellularia californica</i>	7	~20	10%	Low	Protected		
28	California Bay <i>Umbellularia californica</i>	8	~20	10%	Low	Protected		
29	California Bay <i>Umbellularia californica</i>	12,7,5	~50	10%	High	Protected		
30	Valley Oak <i>Quercus lobata</i>	34	~60	70%	High	Large Protected		
31	California Bay <i>Umbellularia californica</i>	16	~30	50%	Low	Protected		
32	California Bay <i>Umbellularia californica</i>	8	~20	50%	Low	Protected		
33	California Bay <i>Umbellularia californica</i>	14,6	~20	50%	Low	Protected		
34	California Bay <i>Umbellularia californica</i>	8	~20	30%	Low	Protected		
35	California Bay <i>Umbellularia californica</i>	11,10,7	~30	50%	Low	Protected		
36	Coast Live Oak <i>Quercus agrifolia</i>	19	~30	50%	Mod	Protected		
37	California Bay <i>Umbellularia californica</i>	10	~20	30%	Low	Protected		
38	Blue Oak <i>Quercus douglasii</i>	19	~20	30%	Low	Protected		
39	Coast Live Oak <i>Quercus agrifolia</i>	27	~30	50%	Low	Large Protected		
40	Valley Oak <i>Quercus lobata</i>	17	~20	30%	Low	Protected		

TREE INVENTORY TABLE (CONT.)

TREE / TAG NO.	TREE NAME	TRUNK DIAMETER (INCHES)	APPROX. CROWN DIAMETER (FEET)	CONDITION OUT OF 100%	SUITABILITY FOR PRESERVATION	PROTECTED STATUS	REMOVAL	REASON FOR REMOVAL
41	California Bay <i>Umbellularia californica</i>	8,5,4	~20	50%	Mod	Protected		
42	California Bay <i>Umbellularia californica</i>	5	~20	50%	Low	Protected		
43	Valley Oak <i>Quercus lobata</i>	14	~30	50%	Mod	Protected		
44	Coast Live Oak <i>Quercus agrifolia</i>	22	~50	50%	Low	Protected		
45	California Bay <i>Umbellularia californica</i>	6,5	~20	50%	Low	Protected		
46	California Bay <i>Umbellularia californica</i>	6	~20	50%	Low	Protected		
47	Valley Oak <i>Quercus lobata</i>	17,13	~50	50%	Mod	Protected		
48	California Bay <i>Umbellularia californica</i>	22,12	~50	10%	Low	Protected		
49	California Bay <i>Umbellularia californica</i>	7	~20	50%	Low	Protected		
50	California Bay <i>Umbellularia californica</i>	7	~20	50%	Low	Protected		
51	California Bay <i>Umbellularia californica</i>	7	~30	30%	Low	Protected		
52	California Bay <i>Umbellularia californica</i>	9	~30	30%	Low	Protected		
53	California Bay <i>Umbellularia californica</i>	10	~20	50%	Low	Protected		
54	California Bay <i>Umbellularia californica</i>	13,9	~30	50%	Low	Protected		
55	California Bay <i>Umbellularia californica</i>	6,5,4	~30	50%	Low	Protected		
56	California Bay <i>Umbellularia californica</i>	7	~30	30%	Low	Protected		
57	California Bay <i>Umbellularia californica</i>	9,8	~30	30%	Low	Protected		
58	California Bay <i>Umbellularia californica</i>	12	~30	30%	Low	Protected		
59	Coast Live Oak <i>Quercus agrifolia</i>	27,15	~60	50%	Mod	Large Protected		
60	California Bay <i>Umbellularia californica</i>	14	~20	10%	Low	Protected		
61	California Bay <i>Umbellularia californica</i>	15	~30	30%	Low	Protected		
62	California Bay <i>Umbellularia californica</i>	13	~30	30%	Low	Protected		
63	California Bay <i>Umbellularia californica</i>	6	~20	50%	Low	Protected		
64	California Bay <i>Umbellularia californica</i>	10,9	~30	50%	Low	Protected		
65	California Bay <i>Umbellularia californica</i>	9	~30	30%	Low	Protected		
66	California Bay <i>Umbellularia californica</i>	11	~20	30%	Low	Protected		
67	Olive <i>Olea spp.</i>	5,4,3,2	~20	30%	Low	Exception		
68	California Bay <i>Umbellularia californica</i>	6	~20	50%	Low	Protected		
69	California Bay <i>Umbellularia californica</i>	7	~20	30%	Low	Protected		
70	Coast Live Oak <i>Quercus agrifolia</i>	6	~20	50%	Mod	Protected		
71	California Bay <i>Umbellularia californica</i>	17,8	~30	50%	Mod	Protected		
72	Valley Oak <i>Quercus lobata</i>	33	~60	70%	High	Large Protected		
73	Olive <i>Olea spp.</i>	5	~10	50%	Mod	Exception	2019 X	Invasive
74	Coast Live Oak <i>Quercus agrifolia</i>	6	~20	50%	Mod	Protected		
75	Coast Live Oak <i>Quercus agrifolia</i>	30	~50	50%	Mod	Large Protected		
76	Monterey Pine <i>Pinus radiata</i>	15	~20	50%	Low	Protected	2019 X	Fire prone, within 50 feet of structures
77	Monterey Pine <i>Pinus radiata</i>	17	~20	50%	Low	Protected	2019 X	Fire prone, within 50 feet of structures
78	Coast Redwood <i>Sequoia sempervirens</i>	7	~10	90%	High	Protected	X	New EVA. construction
79	Coast Redwood <i>Sequoia sempervirens</i>	13	~20	90%	High	Protected	X	Within grading limits
80	Blue Oak <i>Quercus douglasii</i>	12	~20	50%	Mod	Protected	X	New EVA. construction

TREE INVENTORY TABLE (CONT.)

TREE / TAG NO.	TREE NAME	TRUNK DIAMETER (INCHES)	APPROX. CROWN DIAMETER (FEET)	CONDITION OUT OF 100%	SUITABILITY FOR PRESERVATION	PROTECTED STATUS	REMOVAL	REASON FOR REMOVAL
81	Coast Redwood <i>Sequoia sempervirens</i>	5	~10	90%	High	Protected	X	Within grading limits
82	Coast Redwood <i>Sequoia sempervirens</i>	7	~20	30%	Low	Protected		
83	Monterey Pine <i>Pinus radiata</i>	14	~20	50%	Low	Protected	2019 X	Fire prone, within 50 feet of structures
84	Big Leaf Maple <i>Acer macrophylla</i>	9	~30	30%	Low	Protected		
85	Coast Redwood <i>Sequoia sempervirens</i>	7	~10	90%	High	Protected		
86	Valley Oak <i>Quercus lobata</i>	19	~50	70%	Mod	Protected		
87	Coast Redwood <i>Sequoia sempervirens</i>	10	~20	90%	High	Protected		
88	Monterey Pine <i>Pinus radiata</i>	8	~20	50%	Low	Protected	2019 X	Fire prone, within 50 feet of structures
89	Monterey Pine <i>Pinus radiata</i>	8	~20	50%	Mod	Protected	2019 X	Fire prone, within 50 feet of structures
90	Blackwood Acacia <i>Acacia melanoxylon</i>	10,6	~20	30%	Low	Exception	2019 X	Invasive, Fire prone
91	Blackwood Acacia <i>Acacia melanoxylon</i>	5	~20	30%	Low	Exception	2019 X	Invasive, Fire prone
92	Blackwood Acacia <i>Acacia melanoxylon</i>	8,7,4	~20	30%	Low	Exception	2019 X	Invasive, Fire prone
93	Blackwood Acacia <i>Acacia melanoxylon</i>	5,5,4	~20	30%	Low	Exception	2019 X	Invasive, Fire prone
94	California Bay <i>Umbellularia californica</i>	10	~20	30%	Low	Protected		
95	California Bay <i>Umbellularia californica</i>	16	~30	30%	Low	Protected		
96	California Bay <i>Umbellularia californica</i>	5	~10	10%	Low	Protected		
97	California Bay <i>Umbellularia californica</i>	19,6,5,4,4	~30	50%	Low	Protected		
98	Valley Oak <i>Quercus lobata</i>	17,16	~50	50%	Mod	Protected		
99	California Bay <i>Umbellularia californica</i>	7,6,5,5	~30	50%	Low	Protected		
100	California Bay <i>Umbellularia californica</i>	6	~20	50%	Low	Protected		
101	California Bay <i>Umbellularia californica</i>	5	~20	70%	High	Protected		
102	California Bay <i>Umbellularia californica</i>	5,5,5,4,3,3,2	~50	70%	Mod	Protected		
103	Coast Redwood <i>Sequoia sempervirens</i>	9	~20	50%	Mod	Protected		
104	Coast Redwood <i>Sequoia sempervirens</i>	8	~20	90%	High	Protected		
105	Coast Redwood <i>Sequoia sempervirens</i>	9	~20	90%	High	Protected		
106	Coast Redwood <i>Sequoia sempervirens</i>	10	~20	90%	High	Protected		
107	Coast Redwood <i>Sequoia sempervirens</i>	8	~20	90%	High	Protected		
108	Coast Redwood <i>Sequoia sempervirens</i>	4	~10	90%	High	Protected		
109	Grecian Laurel <i>Laurus nobilis</i>	10,9,9	~20	30%	Low	Protected		
110	Grecian Laurel <i>Laurus nobilis</i>	6,6,5,5,4,3,3,2	~20	30%	Low	Protected		
111	Grecian Laurel <i>Laurus nobilis</i>	5,4,4,4,4,3,3,3	~20	30%	Low	Protected		
112	Olive <i>Olea spp.</i>	9	~10	50%	Mod	Exception		
113	Olive <i>Olea spp.</i>	12,7	~20	50%	Mod	Exception		
114	Olive <i>Olea spp.</i>	10,6,5,4,3,2,2,2	~20	50%	Mod	Exception		
115	Valley Oak <i>Quercus lobata</i>	21	~30	50%	Low	Protected		
116	Blue Gum <i>Eucalyptus globulus</i>	47,32,17	~60	50%	Low	Large Protected		
117	Bronze Laurel <i>Eriobotrya deflexa</i>	6	~20	30%	Low	Protected		
118	Coast Live Oak <i>Quercus agrifolia</i>	19,15	~50	70%	High	Protected		
119	Coast Live Oak <i>Quercus agrifolia</i>	19	~50	70%	High	Protected		
120	Valley Oak <i>Quercus lobata</i>	14	~30	50%	Mod	Protected		



GATES + ASSOCIATES
LANDSCAPE ARCHITECTURE
LAND PLANNING • URBAN DESIGN
2071 CROW CANYON RD. SAN RAFAEL, CA 94903
711.751.8176 www.gates.com

LOS GATOS MEADOWS

110 WOOD ROAD
LOS GATOS
CALIFORNIA

ISSUE: DESCRIPTION: DATE:

NOT FOR CONSTRUCTION



PROJECT NUMBER: 5530
DRAWN: AMFTZ
CHECK: KC
DATE: 03/01/2024
SCALE:



TREE INVENTORY TABLE

T-2

DATE: 03/01/2024 11:48 AM
FILE: PLANS - CALIFORNIA CALIFORNIA MONUMENTAL MONUMENTS - LOS GATOS MEADOWS.dwg
PLOT DATE: 3/27/2024 11:48 AM

DESIGNS TO BE REMOVED AND PRESERVED PER THE ARBORIST REPORT BY HORTISCIENCE DATED ON OCTOBER 12, 2020

TREE INVENTORY TABLE (CONT.)

TREE/TAG NO.	TREE NAME	TRUNK DIAMETER (INCHES)	APPROX. CROWN DIAMETER (FEET)	CONDITION OUT OF 100%	SUITABILITY FOR PRESERVATION	PROTECTED STATUS	REMOVAL	REASON FOR REMOVAL
121	Valley Oak <i>Quercus lobata</i>	19	~30	50%	Low	Protected		
122	Coast Live Oak <i>Quercus agrifolia</i>	11	~20	50%	Mod	Protected		
123	Olive <i>Olea spp.</i>	7,7.5,4,4.3	~20	50%	Mod	Exception		
124	Coast Live Oak <i>Quercus agrifolia</i>	25	~30	10%	Low	Large Protected		
125	Coast Redwood <i>Sequoia sempervirens</i>	19	~20	10%	Low	Protected	X	New retaining wall construction
126	Coast Live Oak <i>Quercus agrifolia</i>	7,7	~20	10%	Low	Protected		
127	Coast Live Oak <i>Quercus agrifolia</i>	8	~20	10%	Low	Protected		
128	Canary Island Pine <i>Pinus canariensis</i>	26	~30	70%	Mod	Protected	2019 X	Fire prone, within 50 feet of structures
129	Coast Live Oak <i>Quercus agrifolia</i>	15	~30	50%	Low	Protected	X	New bio-retention construction
130	Canary Island Pine <i>Pinus canariensis</i>	23	~30	70%	High	Protected	2019 X	Fire prone, within 50 feet of structures
131	Canary Island Pine <i>Pinus canariensis</i>	26	~30	30%	Low	Protected	2019 X	Fire prone, within 50 feet of structures
132	Coast Redwood <i>Sequoia sempervirens</i>	7	~20	90%	Mod	Protected	X	New building construction
133	Canary Island Pine <i>Pinus canariensis</i>	22	~30	70%	High	Protected	2019 X	Fire prone, within 50 feet of structures
134	Coast Live Oak <i>Quercus agrifolia</i>	18	~50	70%	Mod	Protected	X	New building construction
135	Canary Island Pine <i>Pinus canariensis</i>	22	~30	70%	Mod	Protected	2019 X	Fire prone, within 50 feet of structures
136	Canary Island Pine <i>Pinus canariensis</i>	23	~30	70%	High	Protected	2019 X	Fire prone, within 50 feet of structures
137	Canary Island Pine <i>Pinus canariensis</i>	21	~30	70%	High	Protected	2019 X	Fire prone, within 50 feet of structures
138	Canary Island Pine <i>Pinus canariensis</i>	21	~30	70%	High	Protected	2019 X	Fire prone, within 50 feet of structures
139	Bronze Lequint <i>Eriobotrya deflexa</i>	5,3,3,3	~20	50%	Mod	Protected	X	New EVA construction
140	Bronze Lequint <i>Eriobotrya deflexa</i>	6,4,2	~20	30%	Low	Protected	X	New EVA construction
141	Crabapple <i>Malus spp.</i>	8	~30	70%	High	Exception	X	New building construction
142	Coast Live Oak <i>Quercus agrifolia</i>	18	~30	70%	High	Protected	X	New building construction
143	Coast Live Oak <i>Quercus agrifolia</i>	16	~30	70%	High	Protected	X	New building construction
144	Canary Island Pine <i>Pinus canariensis</i>	18	~30	50%	Mod	Protected	2019 X	Fire prone, within 50 feet of structures
145	Canary Island Pine <i>Pinus canariensis</i>	22	~30	70%	High	Protected	2019 X	Fire prone, within 50 feet of structures
146	Canary Island Pine <i>Pinus canariensis</i>	26	~30	70%	Mod	Protected	2019 X	Fire prone, within 50 feet of structures
147	Douglas Fir <i>Pseudotsuga menziesii</i>	18	~30	70%	Mod	Protected	X	Within grading limits
148	Douglas Fir <i>Pseudotsuga menziesii</i>	29	~30	70%	Mod	Protected	X	New EVA construction
149	Hollywood Juniper <i>Juniperus chinensis</i>	9,5	~30	70%	High	Protected	X	New building construction
150	Douglas Fir <i>Pseudotsuga menziesii</i>	15	~30	50%	Mod	Protected	X	Within grading limits
151	Douglas Fir <i>Pseudotsuga menziesii</i>	15	~30	30%	Low	Protected	X	Within grading limits
152	Douglas Fir <i>Pseudotsuga menziesii</i>	18	~30	50%	Low	Protected	X	Within grading limits
153	Douglas Fir <i>Pseudotsuga menziesii</i>	14	~30	50%	Mod	Protected	X	New retaining wall construction
154	Valley Oak <i>Quercus lobata</i>	11	~30	70%	High	Protected	X	New retaining wall construction
155	Silk Oak <i>Coccoloba robusta</i>	11	~30	50%	Low	Protected	X	New retaining wall construction
156	Coast Live Oak <i>Quercus agrifolia</i>	17	~30	70%	High	Protected	X	New retaining wall construction
157	Coast Live Oak <i>Quercus agrifolia</i>	15	~50	30%	Low	Protected	X	New retaining wall construction
158	Douglas Fir <i>Pseudotsuga menziesii</i>	22	~30	30%	Low	Protected	X	New retaining wall construction
159	Coast Live Oak <i>Quercus agrifolia</i>	21	~30	50%	Mod	Protected	X	New building construction
160	Valley Oak <i>Quercus lobata</i>	21	~50	50%	Mod	Protected	X	New building construction

TREE INVENTORY TABLE (CONT.)

TREE/TAG NO.	TREE NAME	TRUNK DIAMETER (INCHES)	APPROX. CROWN DIAMETER (FEET)	CONDITION OUT OF 100%	SUITABILITY FOR PRESERVATION	PROTECTED STATUS	REMOVAL	REASON FOR REMOVAL
161	Valley Oak <i>Quercus lobata</i>	16	~30	30%	Low	Protected	X	New retaining wall construction
162	Coast Live Oak <i>Quercus agrifolia</i>	20	~30	50%	Mod	Protected	X	New retaining wall construction
163	Italian Cypress <i>Cupressus sempervirens</i>	5	~10	90%	High	Protected	X	New EVA construction
164	Italian Cypress <i>Cupressus sempervirens</i>	6	~10	90%	High	Protected	X	New EVA construction
165	Italian Cypress <i>Cupressus sempervirens</i>	6	~10	90%	High	Protected	X	New EVA construction
166	Italian Cypress <i>Cupressus sempervirens</i>	5	~10	90%	High	Protected	X	New EVA construction
167	Monterey Pine <i>Pinus sabiniana</i>	4	~20	90%	High	Protected	2019 X	Fire prone, within 50 feet of structures
168	Red Horsechestnut <i>Aesculus x carnea</i>	5,2	~20	90%	High	Protected	X	New building construction
169	Coast Live Oak <i>Quercus agrifolia</i>	7	~20	50%	Low	Protected	X	New EVA construction
170	California Bay <i>Umbellularia californica</i>	17,10,8	~50	30%	Low	Protected		
171	California Bay <i>Umbellularia californica</i>	7,7,7,6,5,5,5,3	~30	30%	Low	Protected		
172	California Bay <i>Umbellularia californica</i>	8,5,5,4	~30	30%	Low	Protected		
173	California Bay <i>Umbellularia californica</i>	18	~30	50%	Mod	Protected	X	Tested positive for SOD
174	Coast Live Oak <i>Quercus agrifolia</i>	8	~20	70%	Mod	Protected	X	Retaining Wall Construction
175	Coast Live Oak <i>Quercus agrifolia</i>	15	~30	30%	Low	Protected	X	Retaining Wall Construction
176	Sugar Gum Tree <i>Liquidambar styraciflua</i>	17,16	~30	50%	Mod	Protected	X	New EVA construction
177	Sugar Gum Tree <i>Liquidambar styraciflua</i>	12,11,11,1,1	~50	30%	Low	Protected	X	New building construction
178	Deodar Cedar <i>Cedrus deodara</i>	6	~20	90%	High	Protected	X	New EVA construction
179	Coast Live Oak <i>Quercus agrifolia</i>	14	~30	50%	Mod	Protected	X	New building construction
180	Italian Cypress <i>Cupressus sempervirens</i>	5	~10	90%	High	Protected	X	New EVA construction
181	Silka Spruce <i>Picea sitchensis</i>	6	~10	70%	High	Protected	X	New building construction
182	Italian Stone Pine <i>Pinus pinea</i>	22	~30	50%	Mod	Protected	2019 X	Fire prone, within 50 feet of structures
183	Italian Stone Pine <i>Pinus pinea</i>	19	~30	50%	Mod	Protected	2019 X	Fire prone, within 50 feet of structures
184	Red Ironbark <i>Eucalyptus sideroxylon</i>	13	~20	10%	Low	Exception	X	Poor condition, SOD carrier, fire prone
185	Incense Cedar <i>Calocedrus decurrens</i>	11	~20	90%	High	Protected	X	New building construction
186	Italian Cypress <i>Cupressus sempervirens</i>	5	~10	50%	Mod	Protected	X	New EVA construction
187	Italian Cypress <i>Cupressus sempervirens</i>	5	~10	90%	High	Protected	X	New building construction
188	Blackwood Acacia <i>Acacia melanocoryna</i>	4	~10	70%	Low	Exception	2019 X	Invasive, Fire prone
189	Coast Live Oak <i>Quercus agrifolia</i>	19	~50	50%	Mod	Protected	X	New EVA construction
190	Red Ironbark <i>Eucalyptus sideroxylon</i>	13	~30	10%	Low	Exception	X	Poor condition, SOD carrier, fire prone
191	Blackwood Acacia <i>Acacia melanocoryna</i>	17	~30	50%	Low	Exception	2019 X	Invasive, Fire prone
192	Red Ironbark <i>Eucalyptus sideroxylon</i>	14	~30	10%	Low	Exception	X	Poor condition, SOD carrier, fire prone
193	Hollywood Juniper <i>Juniperus chinensis</i>	17	~20	70%	High	Protected	X	New building construction
194	Hollywood Juniper <i>Juniperus chinensis</i>	5,5,4,3,3,3	~20	50%	Low	Protected	X	New building construction
195	Hollywood Juniper <i>Juniperus chinensis</i>	11,7	~20	50%	Low	Protected	X	New building construction
196	Blue Blossom <i>Ceanothus thyrsiflorus</i>	5,4,4	~20	30%	Low	Protected	X	New building construction
197	Hollywood Juniper <i>Juniperus chinensis</i>	18	~20	50%	Low	Protected	X	New building construction
198	Hollywood Juniper <i>Juniperus chinensis</i>	13	~20	50%	Low	Protected	X	New building construction
199	Hollywood Juniper <i>Juniperus chinensis</i>	11	~20	50%	Low	Protected	X	New building construction
200	Hollywood Juniper <i>Juniperus chinensis</i>	10	~20	50%	Low	Protected	X	New building construction

TREE INVENTORY TABLE (CONT.)

TREE/TAG NO.	TREE NAME	TRUNK DIAMETER (INCHES)	APPROX. CROWN DIAMETER (FEET)	CONDITION OUT OF 100%	SUITABILITY FOR PRESERVATION	PROTECTED STATUS	REMOVAL	REASON FOR REMOVAL
201	Hollywood Juniper <i>Juniperus chinensis</i>	12	~20	50%	Low	Protected	X	New building construction
202	Hollywood Juniper <i>Juniperus chinensis</i>	13	~20	50%	Low	Protected	X	New building construction
203	Crabapple <i>Malus spp.</i>	4,3	~20	70%	High	Protected	X	New building construction
204	Sawleaf Zeltova <i>Zelkova serrata</i>	23	~50	50%	Mod	Protected	X	New building construction
205	Sawleaf Zeltova <i>Zelkova serrata</i>	22	~50	30%	Low	Protected	X	New building construction
206	Valley Oak <i>Quercus lobata</i>	24	~50	70%	Mod	Large Protected	X	New building construction
207	Sawleaf Zeltova <i>Zelkova serrata</i>	19	~50	30%	Low	Protected	X	New building construction
208	Sawleaf Zeltova <i>Zelkova serrata</i>	18	~50	30%	Low	Protected	X	New building construction
209	Maylen Tree <i>Maytenus boaria</i>	7	~20	30%	Low	Protected	X	New building construction
210	Italian Cypress <i>Cupressus sempervirens</i>	14	~10	70%	Mod	Protected	X	New building construction
211	Italian Cypress <i>Cupressus sempervirens</i>	14	~10	70%	Low	Protected	X	New building construction
212	Crabapple <i>Malus spp.</i>	12	~20	50%	Mod	Exception	X	New building construction
213	Crabapple <i>Malus spp.</i>	11	~20	50%	Mod	Exception	X	New building construction
214	Crabapple <i>Malus spp.</i>	11	~20	30%	Low	Exception	X	New building construction
215	Coast Live Oak <i>Quercus agrifolia</i>	22,22	~50	50%	Low	Protected	X	New EVA construction
216	California Bay <i>Umbellularia californica</i>	10	~20	50%	Mod	Protected	X	Poor condition, SOD carrier, fire prone
217	Brazilian Peppertree <i>Schinus terebinthifolius</i>	5	~20	50%	Low	Protected	2019 X	Invasive
218	Loquat <i>Eriobotrya japonica</i>	6	~20	70%	Mod	Protected	X	New building construction
219	Blue Gum <i>Eucalyptus globulus</i>	36	~50	50%	Mod	Protected	2019 X	Invasive, Fire prone
220	Blue Gum <i>Eucalyptus globulus</i>	62	~60	50%	Mod	Large Protected	2019 X	Invasive, Fire prone
221	Blue Gum <i>Eucalyptus globulus</i>	36	~50	50%	Mod	Protected	2019 X	Invasive, Fire prone
222	African Fern Pine <i>Alseodaphnegracilis</i>	5	~20	70%	Mod	Protected	X	New building construction
223	California Bay <i>Umbellularia californica</i>	13	~20	50%	Mod	Protected	X	Poor condition, SOD carrier, fire prone
224	California Bay <i>Umbellularia californica</i>	13,13	~30	50%	Mod	Protected	X	Poor condition, SOD carrier, fire prone
225	Coast Live Oak <i>Quercus agrifolia</i>	20	~50	70%	Mod	Protected	X	New EVA construction
226	Red Horsechestnut <i>Aesculus x carnea</i>	8	~20	30%	Low	Protected	X	New EVA construction
227	Red Horsechestnut <i>Aesculus x carnea</i>	8	~20	50%	Low	Protected	X	New EVA construction
228	Red Horsechestnut <i>Aesculus x carnea</i>	5	~20	50%	Mod	Protected	X	New EVA construction
229	Coast Live Oak <i>Quercus agrifolia</i>	23	~30	70%	Mod	Protected	X	New EVA construction
230	Red Ironbark <i>Eucalyptus sideroxylon</i>	22	~30	30%	Low	Exception	X	New EVA construction
231	Red Ironbark <i>Eucalyptus sideroxylon</i>	5,5,5,5,4	~20	30%	Low	Exception	X	New EVA construction
232	Purpleleaf Plum <i>Prunus caroliniana</i>	4	~10	30%	Low	Protected	2019 X	Invasive
233	Red Ironbark <i>Eucalyptus sideroxylon</i>	19	~20	50%	Low	Exception	X	New EVA construction
234	Coast Live Oak <i>Quercus agrifolia</i>	10,9	~20	50%	Mod	Protected	X	Retaining Wall Construction
235	Toyon <i>Heteromeles arbutifolia</i>	6,5,4,4	~20	50%	Mod	Protected		
236	California Bay <i>Umbellularia californica</i>	12	~30	50%	Low	Protected		
237	California Bay <i>Umbellularia californica</i>	11	~20	50%	Mod	Protected		
238	Coast Live Oak <i>Quercus agrifolia</i>	14	~30	50%	Low	Protected		
239	Olive <i>Olea spp.</i>	10,5,5	~20	50%	Mod	Exception		
240	Coast Live Oak <i>Quercus agrifolia</i>	28	~20	50%	Low	Large Protected	X	Within grading limits



GATES + ASSOCIATES
LANDSCAPE ARCHITECTURE
LAND PLANNING - URBAN DESIGN
3671 CROW CANYON RD. SAN RAMON, CA 94583
T 925.734.6174 www.gatesinc.com

LOS GATOS MEADOWS

110 WOOD ROAD
LOS GATOS CALIFORNIA

ISSUE: DESCRIPTION: DATE:

NOT FOR CONSTRUCTION



PROJECT NUMBER: 2639
DRAWN: MW7Z
CHECK: KC
DATE: 03/01/2024



TREE INVENTORY TABLE

T-3

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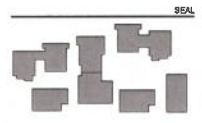
NEEDS TO BE REMOVED AND PRESERVED FOR THE ADJACENT REPORT BY HORTISOURCE DATED ON OCTOBER 12, 2020



1 **AERIAL VIEW DIAGRAM**
1" = 160'-0"

NO.	DATE	ISSUE

NOT FOR CONSTRUCTION



KEY PLAN
PERKINS EASTMAN
100 Montgomery St., Suite 2100
San Francisco, CA 94104
T: +1 415 924 7600

Applicant:
ROCKWOOD PACIFIC
36 SOUTHWOOD DRIVE
OAKLAND, CA 94602
(415) 816-7344

Owner:
FRONT PORCH
800 N. BRAND BLVD., 19TH
FLOOR GLENDALE, CA 91203
(626) 946-7400

Civil / Site:
KIMLEY-HORN
4627 CHARLOT DRIVE, SUITE 300
PLEASANTON, CA 94588
(925) 766-4440

Landscape:
D. LAWRENCE DATES

Structure:
RUFFY CONSULTING ENGINEERS
45 FRIEMONT ST., 20TH FLOOR
SAN FRANCISCO, CA 94105
(415) 398-3034

Mechanical, Electrical & Plumbing:
4ELFRAC
150 CALIFORNIA ST., 5ND FLOOR
SAN FRANCISCO, CA 94111
(415) 398-7862

General Contractor:
W.S. OWEN CONSTRUCTION
4309 MARCENIA DE ELITE 530,
PLEASANTON, CA 94509
(925) 496-2990

PROJECT TITLE:
LOS GATOS MEADOWS
110 WOOD ROAD
LOS GATOS, CA 95030

PROJECT No: 70581.00
DRAWING TITLE:
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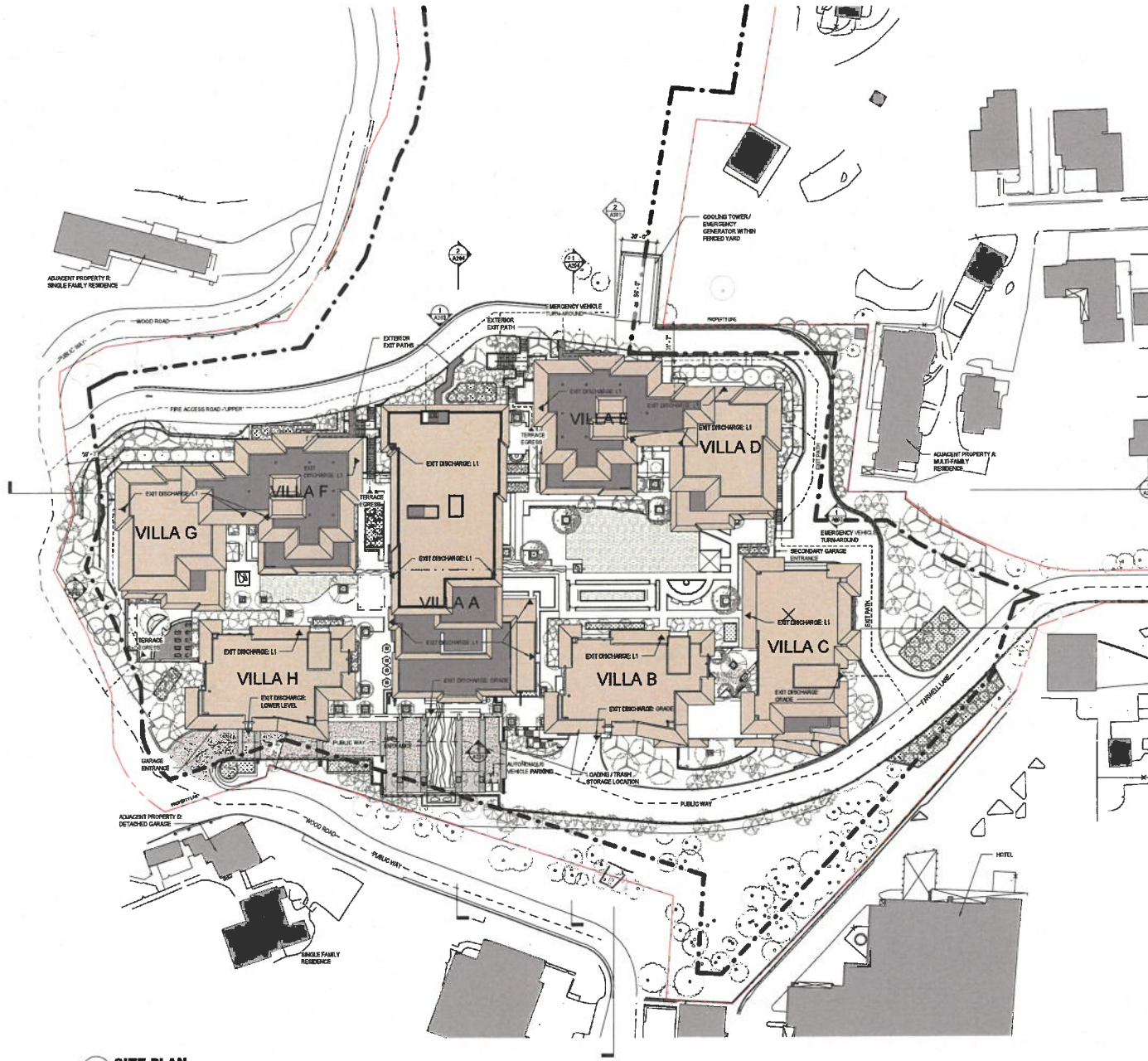
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PLANNING SUBMITTAL

MAY 31, 2024

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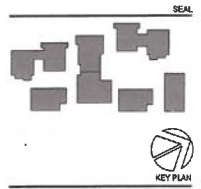
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1 SITE PLAN
1" = 40'-0"

NO.	DATE	ISSUE

NOT FOR CONSTRUCTION



**PERKINS
EASTMAN**
100 Montgomery St., Suite 2100
San Francisco, CA 94104
T: +1 415 774 7600

Approver:
KIMBERLY PACIFIC
26 SOUTHWOOD DRIVE
COSTA MESA, CA 92626
(415) 816-7144
Designer:
FRANCIS P. GARDNER
800 N. BRAND BLVD., 19TH
FLOOR CLEVELAND, CA 94703
(510) 964-7400
Civil / Site:
KIMBERLY PACIFIC
457 CHASLOT DRIVE, SUITE 300
PLEASANTON, CA 94588
(925) 836-4840
Landscape:
D. LAWRENCE GATES

Structure:
KIPPY CONSULTING ENGINEERS
45 TREATMENT ST., 20TH FLOOR
SAN FRANCISCO, CA 94105
(415) 988-1201
Mechanical Electrical & Plumbing:
GILMAN, C.
150 CALIFORNIA ST., 3RD FLOOR
SAN FRANCISCO, CA 94111
(415) 398-7547
General Contractor:
W.E. O'NEIL CONSTRUCTION
4226 HILLCREST DR. SUITE 150,
PLEASANTON, CA 94588
(925) 466-2990

PROJECT TITLE:
**LOS GATOS
MEADOWS**
110 WOOD ROAD
LOS GATOS, CA 95030
PROJECT No: 70581.00
DRAWING TITLE:
OVERALL SITE PLAN

SCALE: 1" = 40'-0"

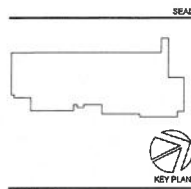
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PLANNING SUBMITTAL

MAY 31, 2024

NO.	DATE	ISSUE

NOT FOR CONSTRUCTION



PERKINS EASTMAN
 133 Montgomery St., Suite 2100
 San Francisco, CA 94104
 T: +1 415 435 7900

Applic:
 REDWOOD PACIFIC
 28 COLTRAYWOOD DRIVE
 ORENDA, CA 94553
 (415) 916-7344

Owner:
 FRONT PORCH
 800 W. BRAND BLVD., 19TH
 FLOOR OAKLAND, CA 94612
 (415) 955-7400

Chief of Site:
 KIMBLEY-HORN
 4557 CHABOT DRIVE, SUITE 300
 PLEASANTON, CA 94588
 (925) 398-9843

Landscape:
 D. LAWRENCE GATES

Structural:
 KIPP CONSULTING ENGINEERS
 45 FREMONT ST., 28TH FLOOR
 SAN FRANCISCO, CA 94105
 (415) 395-1501

Mechanical, Electrical & Plumbing:
 GILMEAC
 150 CALIFORNIA ST., 3RD FLOOR
 SAN FRANCISCO, CA 94111
 (415) 398-7857

General Contractor:
 W.L. O'NEAL CONSTRUCTION
 4209 HACIENDA DE ELITE 530,
 PLEASANTON, CA 94588
 (925) 465-2590

PROJECT TITLE:
 LOS GATOS
 MEADOWS

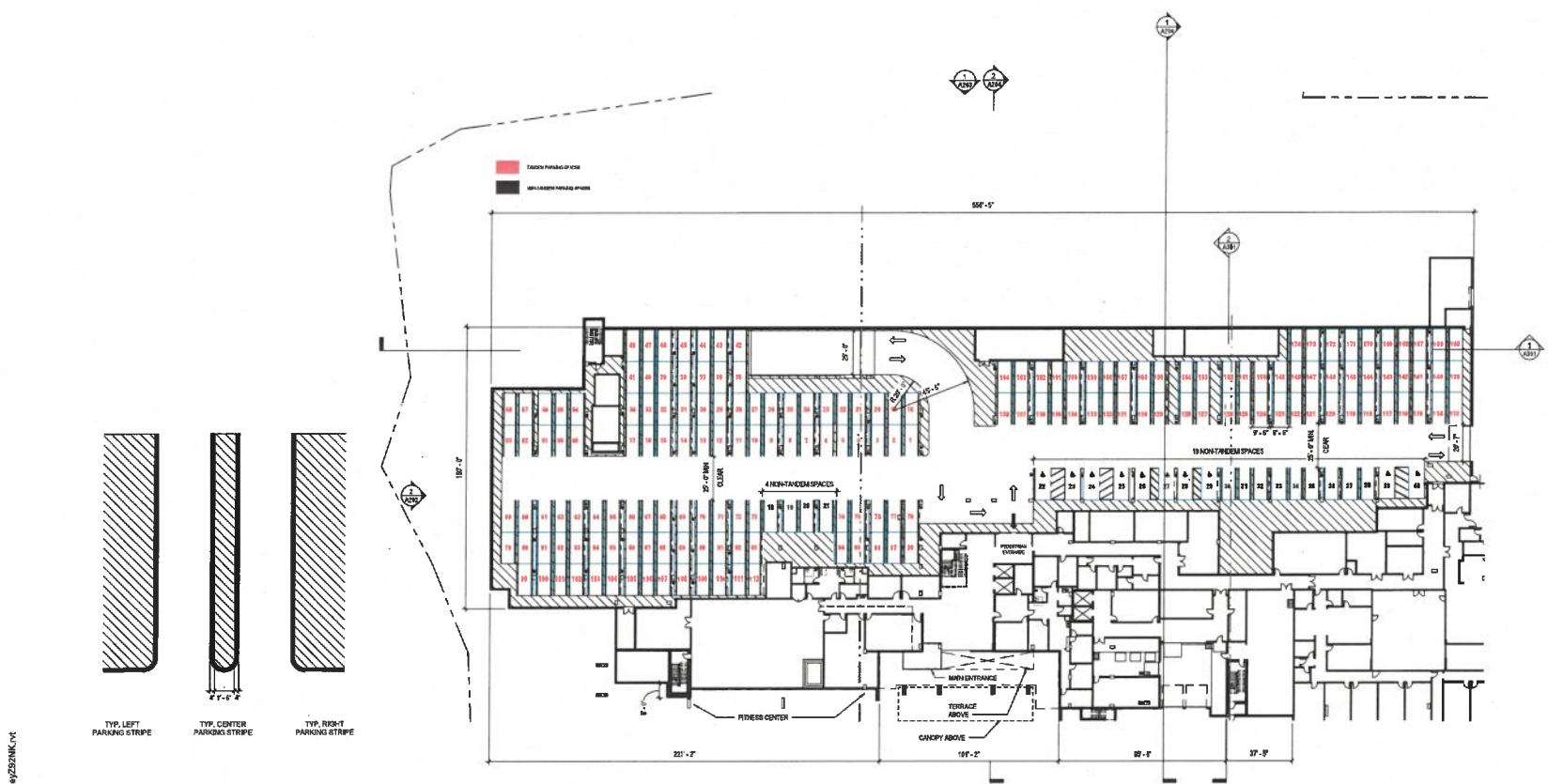
110 WOOD ROAD
 LOS GATOS, CA 95030

PROJECT No: 70581.00
DRAWING TITLE:
 GROUND FLOOR
 PLAN - OVERALL

SCALE: As Indicated

A101

PLANNING SUBMITTAL
 MAY 31, 2024

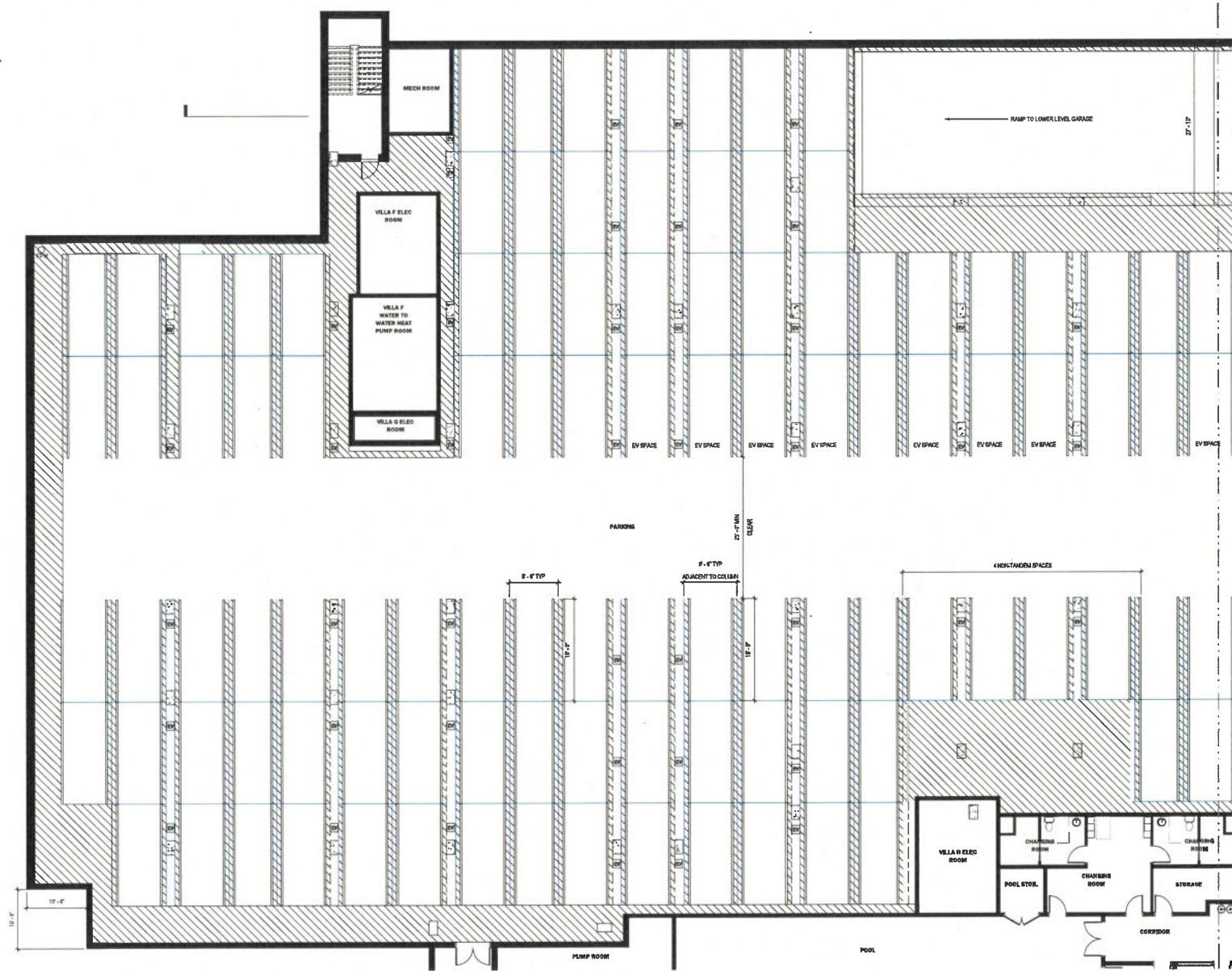


1 GROUND FLOOR PLAN - OVERALL
 1" = 32'4"

2 TYP PARKING STRIPE DETAIL
 1/4" = 1'-0"

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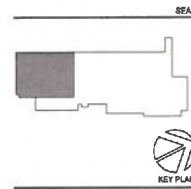
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1 GROUND FLOOR - SOUTH GARAGE PLAN
 1/8" = 1'-0"

NO.	DATE	ISSUE

NOT FOR CONSTRUCTION



PERKINS EASTMAN
 177 Montgomery St., Suite 200
 San Francisco, CA 94104
 Tel: 415 439 7200

Applicant:
REDWOOD PACIFIC
 28 SOUTHWOOD DRIVE
 OROVILLE, CA 95966
 (415) 876-7344

Owner:
FRESH FISH
 800 N. BRAND BLVD., 19TH
 FLOOR, OROVILLE, CA 95963
 (925) 956-7400

Architect:
PERKINS EASTMAN
 4837 CHABOT DRIVE, SUITE 300
 PLEASANTON, CA 94588
 (925) 398-4840

Landscape:
 Dr. LAWRENCE GATES

Structural:
RSFP ENGINEERING
 45 FREEMONT ST., 28TH FLOOR
 SAN FRANCISCO, CA 94105
 (415) 563-1024

Mechanical, Electrical & Plumbing:
RELIASIS
 150 CALIFORNIA ST., 3RD FLOOR
 SAN FRANCISCO, CA 94111
 (415) 395-7627

General Contractor:
WUE, DWYER, CONSTRUCTION
 820 HAZENBACH DR. SUITE 500
 PLEASANTON, CA 94588
 (925) 465-2800

PROJECT TITLE:
LOS GATOS MEADOWS
 110 WOOD ROAD
 LOS GATOS, CA 95030

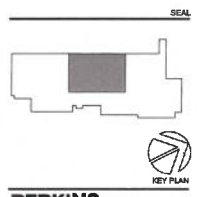
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GROUND FLOOR PLAN - S GARAGE

SCALE: 1/8" = 1'-0"
A101A
 PLANNING SUBMITTAL

MAY 31, 2024

NO.	DATE	ISSUE

NOT FOR CONSTRUCTION



PERKINS EASTMAN
 100 Montgomery St., Suite 2200
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 T. 415 228 7900

Applicant:
 REDWOOD PACIFIC
 36 SOUTHWOOD DRIVE
 ORINDA, CA 94553
 (415) 910-7544

Owner:
 FRONT PORCH
 800 W. BRAND BLVD., 10TH FLOOR
 OLEDALE, CA 91203
 (951) 354-7800

Arch / Eng:
 HOWLEY-HORN
 4837 CHABOT DRIVE, SUITE 300
 PLEASANTON, CA 94588
 (925) 399-4840

Landscape:
 DR. LAWRENCE GATES

Structural:
 RFFY CONSULTING ENGINEERS
 45 FREIGHT ST., 20TH FLOOR
 SAN FRANCISCO, CA 94102
 (415) 399-1004

Mechanical, Electrical & Plumbing:
 GILMARC
 100 CALIFORNIA ST., 3RD FLOOR
 SAN FRANCISCO, CA 94111
 (415) 399-7897

General Contractor:
 WILB O'NEIL CONSTRUCTION
 4399 HACIENDA DR SUITE 530,
 PLEASANTON, CA 94506
 (925) 466-2900

PROJECT TITLE:
 LOS GATOS MEADOWS

110 WOOD ROAD
 LOS GATOS, CA 95030

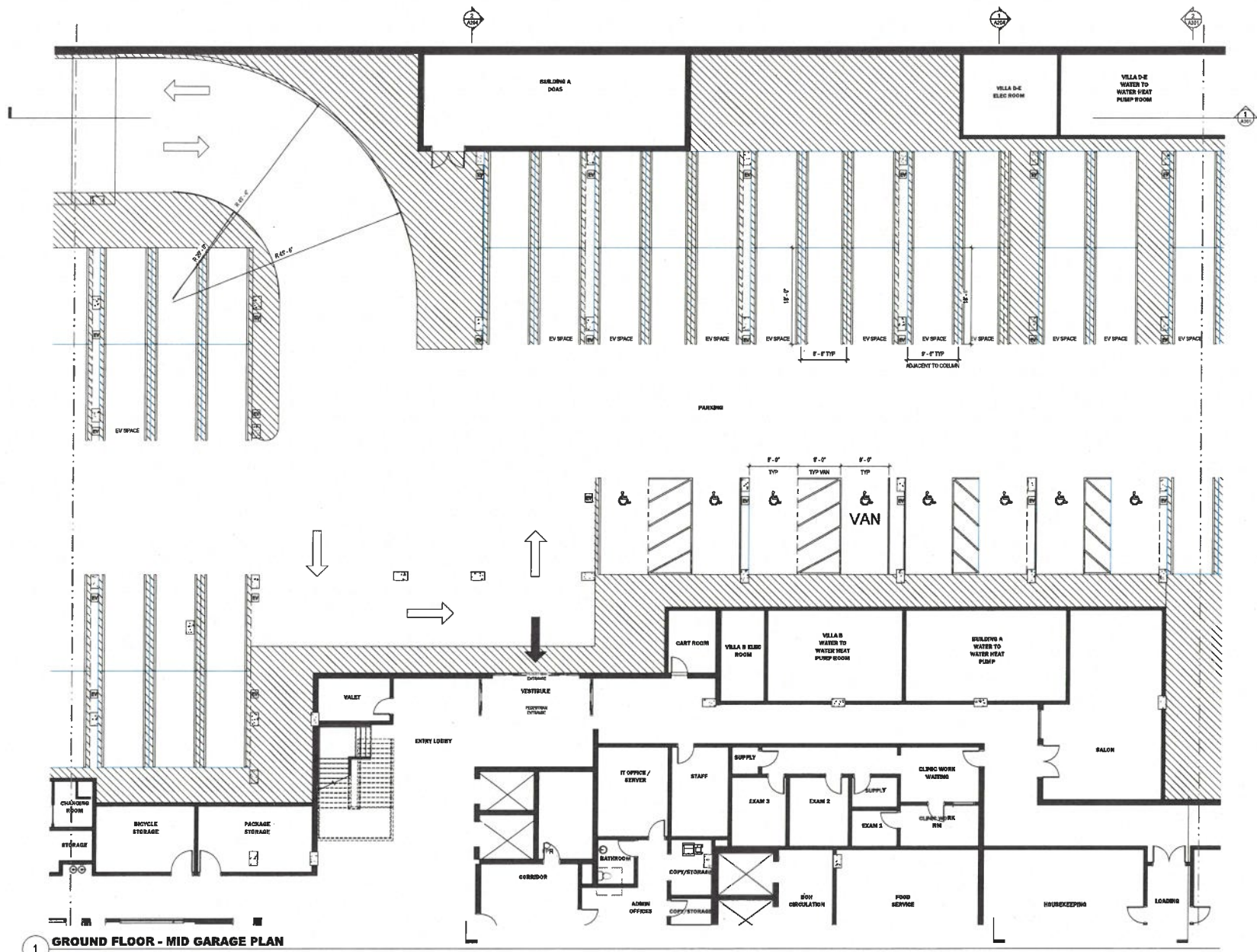
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DRAWING TITLE:
 GROUND FLOOR PLAN - MID GARAGE

SCALE: 1/8" = 1'-0"

A101B

PLANNING SUBMITTAL

MAY 31, 2024

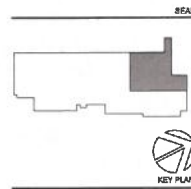


1 GROUND FLOOR - MID GARAGE PLAN
 1/8" = 1'-0"

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 25/05/2024 11:16:15 AM

NO.	DATE	ISSUE

NOT FOR CONSTRUCTION



PERKINS EASTMAN
 10 Montgomery St., Suite 200
 San Francisco, CA 94104
 T: +1 415 866 7900

Architect:
 ROCKWOOD PACIFIC
 36 SOUTHWOOD DRIVE
 OROVIA, CA 94955
 (415) 816-7944

Owner:
 FRONT PORCH
 600 N. BRAND BLVD., 19TH
 FLOOR, OAKLAND, CA 94612
 (925) 852-7000

CM / EPC:
 ROWLEY-HOBBS
 4837 CHARLOT DRIVE, SUITE 300
 PLEASANTON, CA 94588
 (925) 388-4840

Landscape:
 D. LAWRENCE GATES

Structural:
 HOFF CONSULTING ENGINEERS
 43 FREMONT ST., 28TH FLOOR
 SAN FRANCISCO, CA 94105
 (415) 969-1004

Mechanical, Electrical & Plumbing:
 BLUMBERG
 150 CALIFORNIA ST., 3RD FLOOR
 SAN FRANCISCO, CA 94111
 (415) 398-7657

General Contractor:
 VUL, OTWIBEL, CONSTRUCTION
 4320 MACCENNA DR. SUITE 300,
 PLEASANTON, CA 94588
 (925) 466-2090

PROJECT TITLE:
 LOS GATOS MEADOWS

110 WOOD ROAD
 LOS GATOS, CA 95030

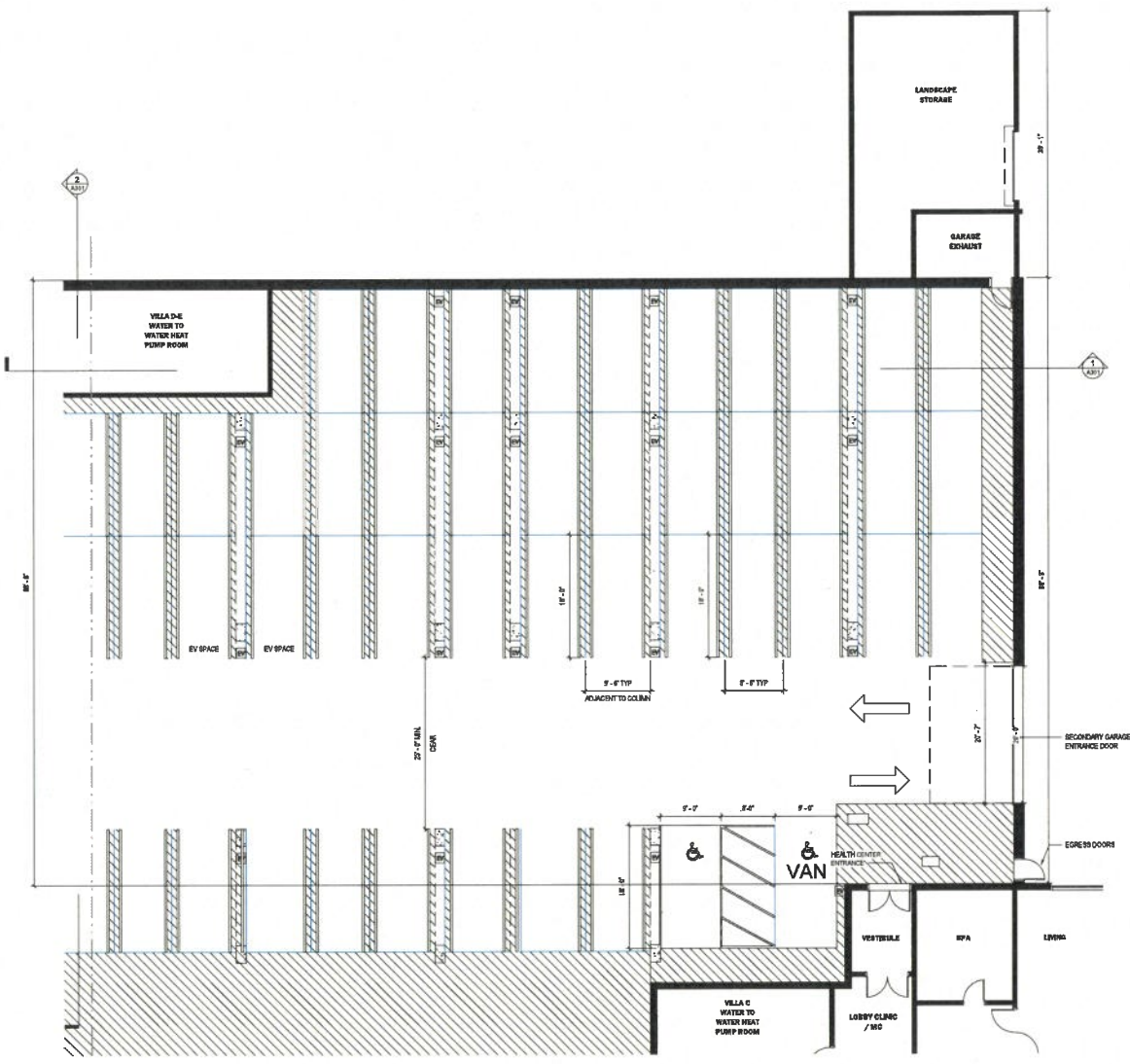
PROJECT No: 70581.00
DRAWING TITLE:
 GROUND FLOOR PLAN - N GARAGE

SCALE: 1/8" = 1'-0"

A101C

PLANNING SUBMITTAL

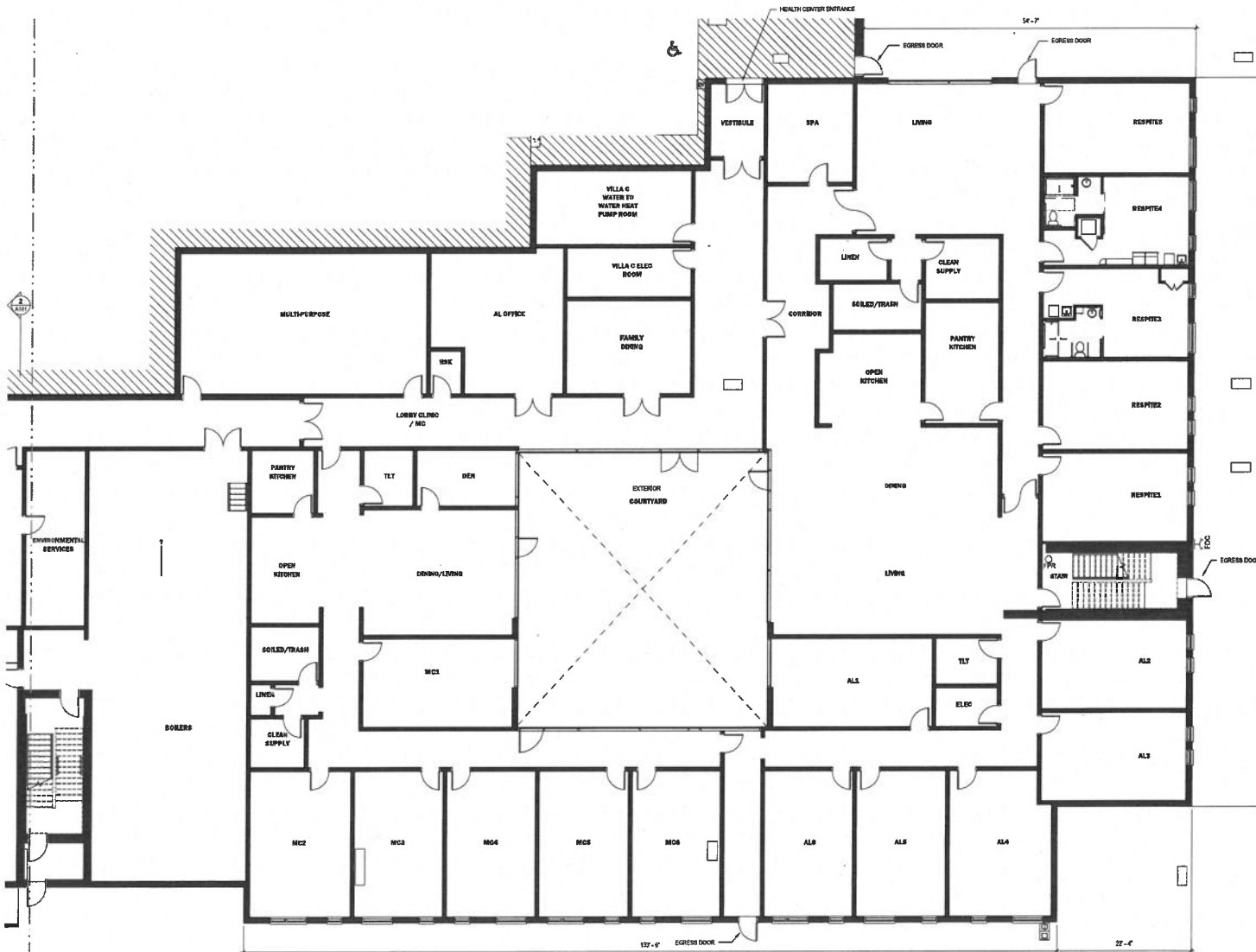
MAY 31, 2024



1 GROUND FLOOR PLAN - NORTH GARAGE
 1/8" = 1'-0"

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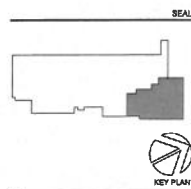
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1 GROUND FLOOR - HEALTH CENTER PLAN
1/8" = 1'-0"

NO.	DATE	ISSUE

NOT FOR CONSTRUCTION



PERKINS EASTMAN
100 Montgomery St., Suite 2200
San Francisco, CA 94104
T: 415 224 7900

Applicant:
ROCKWOOD PACIFIC
38 SOUTHWOOD DRIVE
ORINDA, CA 94553
(415) 910-7341

Owner:
PROFIT PORCH
800 AL BARNARD BLVD., 10TH
FLOOR GLENDALE, CA 91203
(925) 956-7400

Civil/MEP:
KIMLEY-HORN
4037 CHAMOT DRIVE, SUITE 300
PLEASANTON, CA 94566
(925) 398-4840

Landscaping:
D. LAWRENCE GATES

Structural:
KPFY CONSULTING ENGINEERS
48 FREMONT ST., 20TH FLOOR
SAN FRANCISCO, CA 94102
(415) 395-1004

Mechanical, Electrical & Plumbing:
BLUMBERG
150 CALIFORNIA ST., 3RD FLOOR
SAN FRANCISCO, CA 94111
(415) 398-7667

General Contracting:
WALSH STEEL CONSTRUCTION
4309 MACCORMICK DR SUITE 530
PLEASANTON, CA 94566
(925) 466-2990

PROJECT TITLE:
LOS GATOS MEADOWS
110 WOOD ROAD
LOS GATOS, CA 95030

PROJECT No: 70561.00
DRAWING TITLE:
GROUND FLOOR PLAN - HEALTH CENTER

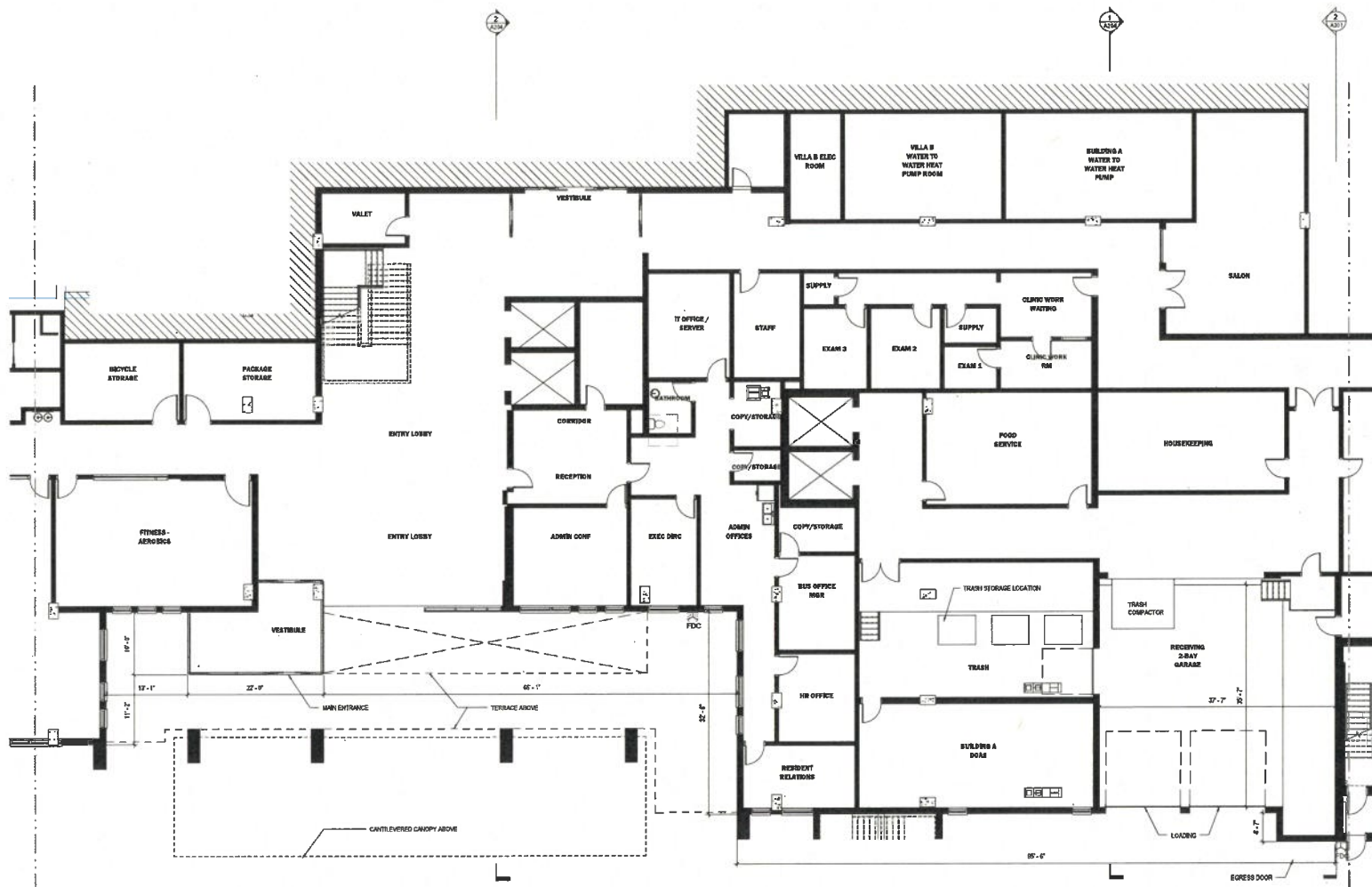
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A101D

PLANNING SUBMITTAL

MAY 31, 2024

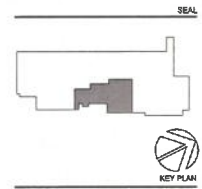
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1 GROUND FLOOR PLAN - CORE
 1/8" = 1'-0"

NO.	DATE	ISSUE

NOT FOR CONSTRUCTION



PERKINS EASTMAN
 100 Montgomery St., Suite 1200
 San Francisco, CA 94104
 T: 415 774 2900

Applicant:
 ROCKWOOD PACIFIC
 26 SOUTHWOOD DRIVE
 ORINDA, CA 94553
 (415) 816-7944

Owner:
 FREIGHT PORCH
 800 N. BRAND BLVD., 19TH
 FLOOR CLIFTONDALE, CA 91703
 (925) 952-7400

Chief Site:
 ROWLEY-HORN
 4837 CHABOT DRIVE, SUITE 300
 PLEASANTON, CA 94588
 (925) 358-4840

Landscape:
 D. LAWRENCE GATES

Structural:
 RFPF CONSULTING ENGINEERS
 45 FREEMONT ST., 28TH FLOOR
 SAN FRANCISCO, CA 94105
 (415) 388-1004

Mechanical, Electrical & Plumbing:
 BILSBERG
 150 CALIFORNIA ST., 3RD FLOOR
 SAN FRANCISCO, CA 94111
 (415) 388-7867

General Contractor:
 TRUL OWENS CONSTRUCTION
 4309 HACIENDA DR SUITE 530,
 PLEASANTON, CA 94588
 (925) 866-0290

PROJECT TITLE:
 LOS GATOS
 MEADOWS

110 WOOD ROAD
 LOS GATOS, CA 95030

PROJECT No: 70581.00

DRAWING TITLE:
 GROUND FLOOR
 PLAN - CORE

SCALE: 1/8" = 1'-0"

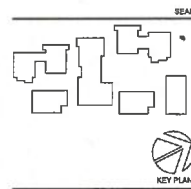
A101E

PLANNING SUBMITTAL

MAY 31, 2024

NO.	DATE	ISSUE

NOT FOR CONSTRUCTION



PERKINS EASTMAN
 100 MARKET ST., SUITE 200
 SAN FRANCISCO, CA 94104
 T: +1 415 774 2900

Architect:
 ROCKWOOD PACIFIC
 26 SOUTHWOOD DRIVE
 OROVILLE, CA 95955
 (415) 818-7344

Owner:
 PRINCEY FOREM
 800 N. GRAND BLVD., 19TH
 FLOOR, OAKLAND, CA 94612
 (510) 952-7400

Chief of Site:
 KIMBLEY-HOERN
 4327 CHARLOT DRIVE, SUITE 300
 PLEASANTON, CA 94588
 (925) 368-4840

Landscape:
 DL LAWRENCE GATES

Structural:
 RUFFY CONSULTING ENGINEERS
 48 FREEMONT ST., 28TH FLOOR
 SAN FRANCISCO, CA 94105
 (415) 985-1001

Mechanical, Electrical & Plumbing:
 SILLBERG
 155 CALIFORNIA ST., 3RD FLOOR
 SAN FRANCISCO, CA 94111
 (415) 363-7967

General Contractor:
 WILSON CONSTRUCTION
 4205 HANCOCK DR, SUITE 200
 PLEASANTON, CA 94588
 (925) 466-2900

PROJECT TITLE:

LOS GATOS MEADOWS

110 WOOD ROAD
 LOS GATOS, CA 95030

PROJECT No: 70581.00

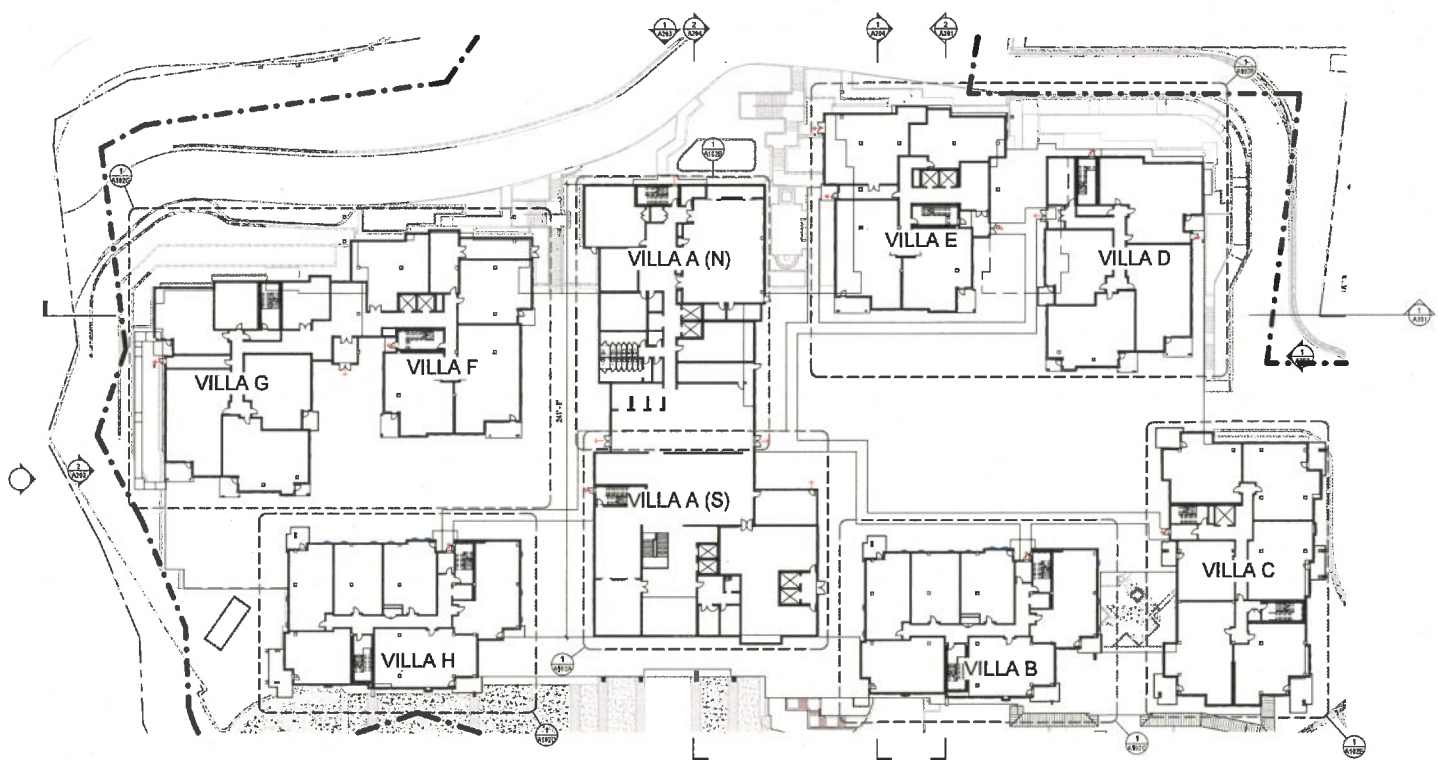
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1ST FLOOR PLAN - OVERALL

SCALE: 1" = 35'-0"

A102

PLANNING SUBMITTAL

MAY 31, 2024

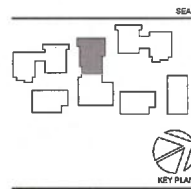


1 1ST FLOOR PLAN - OVERALL

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NO.	DATE	ISSUE

NOT FOR CONSTRUCTION



PERKINS EASTMAN
 35 Montgomery St., Suite 200
 San Francisco, CA 94104
 T: +1 415 856 7900

Applicant:
 ROCKWOOD PACIFIC
 36 SOUTHWOOD DRIVE
 COTUIDA, CA 94505
 (415) 816-7944

Owner:
 PROPERTY FORUM
 800 F. BRAND BLVD., 18TH
 FLOOR CALIFORNIA, CA 91203
 (323) 956-7400

CM / S/E:
 KIMBLEY-HOERN
 4537 CHABOT DRIVE, SUITE 300
 PLEASANTON, CA 94588
 (925) 368-4840

Landscape:
 D. LAWRENCE GAYLES

Structural:
 RUFFY CONSULTING ENGINEERS
 45 FREMONT ST., 20TH FLOOR
 SAN FRANCISCO, CA 94105
 (415) 885-1004

Mechanical, Electrical & Plumbing:
 HELMERS
 150 CALIFORNIA ST., 3RD FLOOR
 SAN FRANCISCO, CA 94111
 (415) 388-7887

General Contractor:
 W.L. OWENS CONSTRUCTION
 4200 HANCOCK DR. SUITE 300
 PLEASANTON, CA 94588
 (925) 466-2290

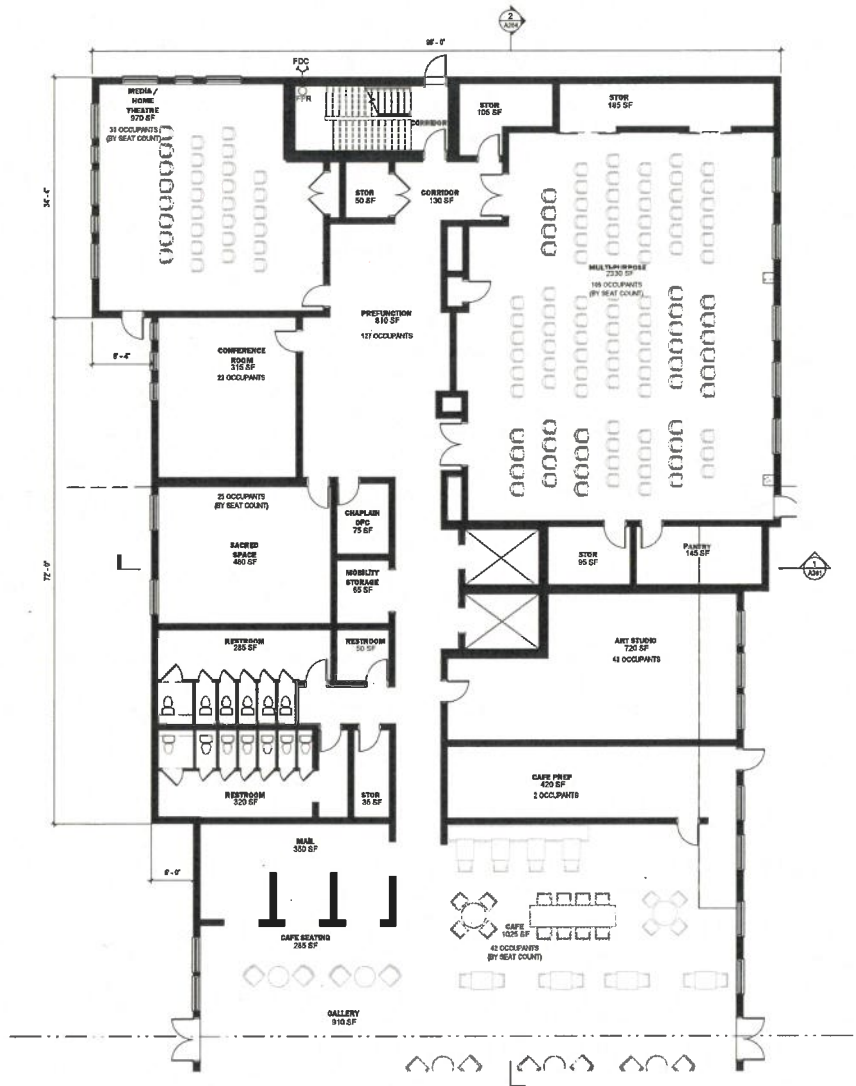
PROJECT TITLE:
 LOS GATOS
 MEADOWS

110 WOOD ROAD
 LOS GATOS, CA 95030

PROJECT No: 70581.00
DRAWING TITLE:
 1ST FLOOR PLAN -
 VILLA A N

SCALE: 1/8" = 1'-0"
A102B
 PLANNING SUBMITTAL

MAY 31, 2024

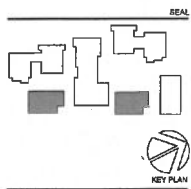


1 1ST FLOOR PLAN - VILLA A NORTH
 1/8" = 1'-0"

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NO.	DATE	ISSUE

NOT FOR CONSTRUCTION



PERKINS EASTMAN
 101 Montgomery St., Suite 2200
 San Francisco, CA 94104
 T: +1 415 929 7900

Applicant:
 ROCKWOOD PACIFIC
 26 SOUTHAVOOD DRIVE
 ORINDA, CA 94553
 (415) 915-7341

Owner:
 FRONT PORCH
 800 N. BRAND BLVD., 10TH FLOOR
 GLENDALE, CA 91203
 (626) 955-7600

Chief Eng.:
 KIMBLEY-HORN
 4557 CHASLOT DRIVE, SUITE 300
 PLEASANTON, CA 94558
 (925) 396-4840

Landscape:
 D. LAWRENCE GATES

Structural:
 KOFFY CONSULTING ENGINEERS
 48 FREIGHT ST., 20TH FLOOR
 SAN FRANCISCO, CA 94105
 (415) 899-1004

Mechanical, Electrical & Plumbing:
 SILMARAC
 150 CALIFORNIA ST., 3RD FLOOR
 SAN FRANCISCO, CA 94111
 (415) 398-7957

General Contractor:
 W.E. DWIER CONSTRUCTION
 4208 HACRENDIA DR SUITE 830,
 PLEASANTON, CA 94558
 (925) 466-2990

PROJECT TITLE:
 LOS GATOS MEADOWS

110 WOOD ROAD
 LOS GATOS, CA 95030

PROJECT No: 70581.00

DRAWING TITLE:
 1ST FLOOR PLAN - VILLA B

SCALE: 1/8" = 1'-0"

A102C

PLANNING SUBMITTAL

MAY 31, 2024



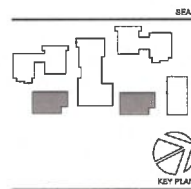
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NO.	DATE	ISSUE

NOT FOR CONSTRUCTION



PERKINS EASTMAN
 100 Montgomery St., Suite 2100
 San Francisco, CA 94104
 T: +1 415 774 7900

Architect:
 ROCKWOOD PACIFIC
 20 SOUTHWOOD DRIVE
 CIBOLA, CA 94505
 (415) 815-7344

Owner:
 PROJECT BORCH
 500 N. BRAND BLVD., 19TH
 FLOOR, OAKLAND, CA 94612
 (503) 856-7400

CM / Site:
 KIMBLEY-ALBEM
 4837 CHASOT DRIVE, SUITE 300
 PLEASANTON, CA 94588
 (925) 398-4840

Landscape:
 G. LAWRENCE GAYTS

Structure:
 ROPFF CONSULTING ENGINEERS
 45 FREMONT ST., 28TH FLOOR
 SAN FRANCISCO, CA 94102
 (415) 860-1200

Mechanical, Electrical & Plumbing:
 WUDNAC
 150 CALIFORNIA ST., 3RD FLOOR
 SAN FRANCISCO, CA 94111
 (415) 398-7657

General Contractor:
 W.J. OWENS CONSTRUCTION
 2009 MACCORMICK DR. SUITE 500,
 PLEASANTON, CA 94588
 (925) 466-0200

PROJECT TITLE:
 LOS GATOS
 MEADOWS

110 WOOD ROAD
 LOS GATOS, CA 95030

PROJECT No: 70581.00

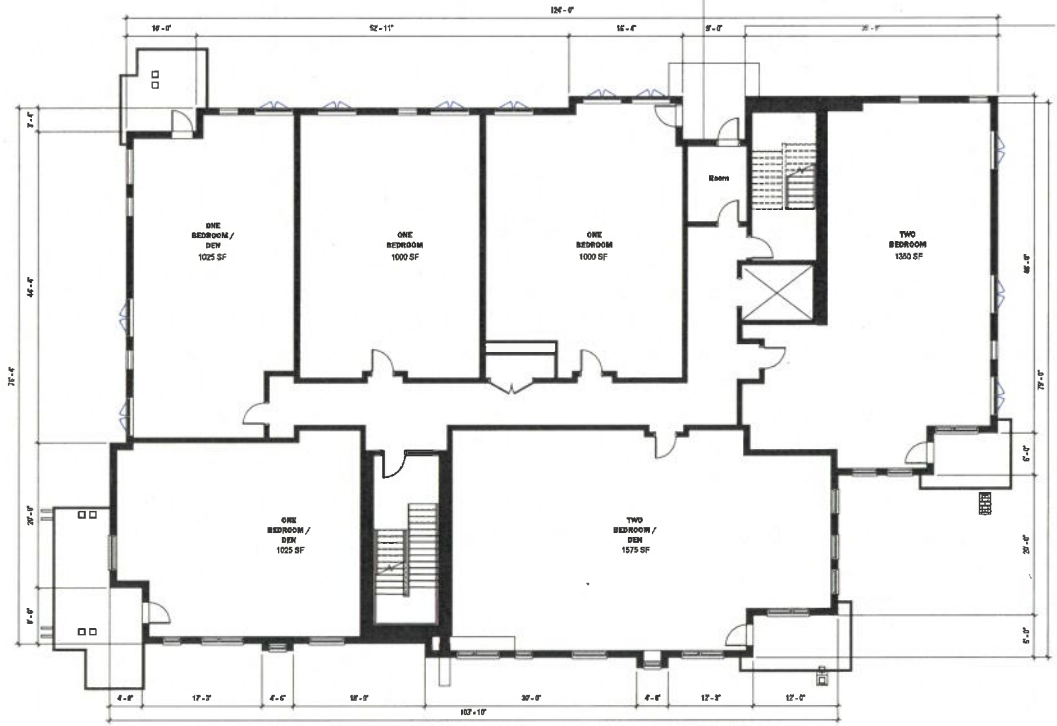
WORKBOOK TITLE:
 1ST FLOOR PLAN -
 VILLA H

SCALE: 1/8" = 1'-0"

A102D

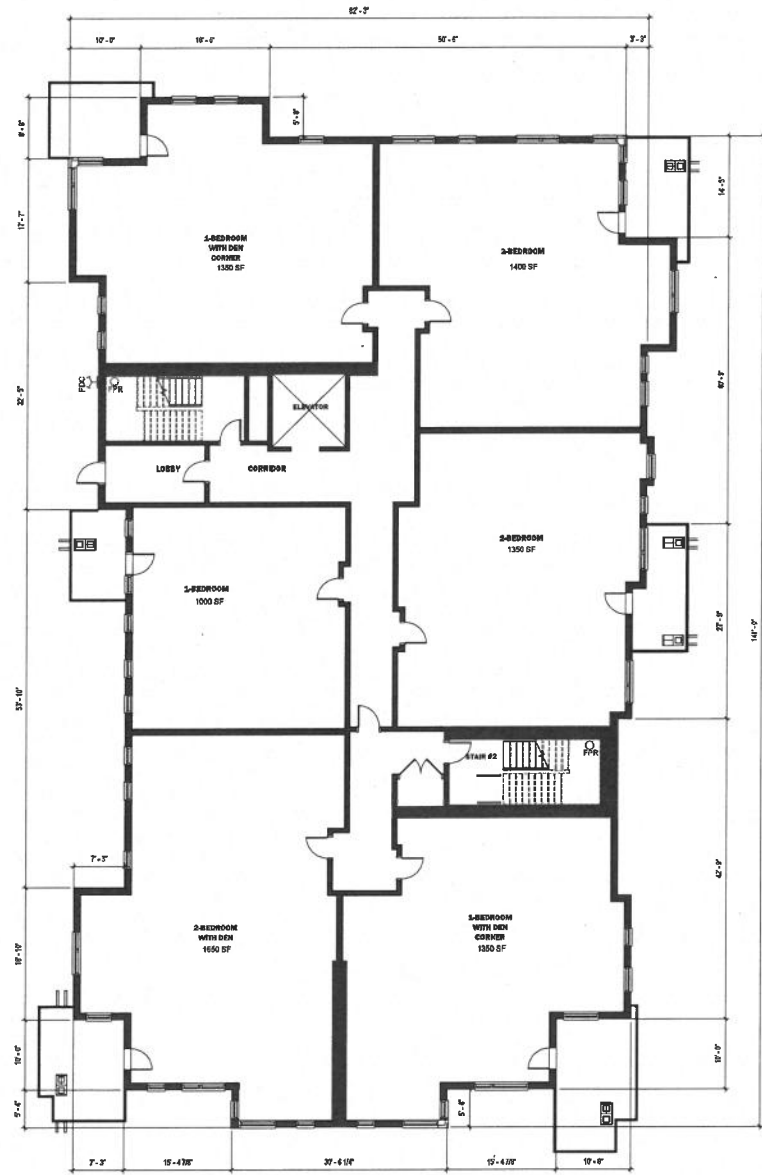
PLANNING SUBMITTAL

MAY 31, 2024



1 1ST FLOOR PLAN - VILLA H
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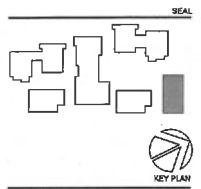
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1 1ST FLOOR PLAN - VILLA C
1/8" = 1'-0"

NO.	DATE	ISSUE

NOT FOR CONSTRUCTION



PERKINS EASTMAN
100 Montgomery St., Suite 2500
San Francisco, CA 94104
T: +1 415 778 7900

Applicant:
REDWOOD PACIFIC
28 SOUTHWOOD DRIVE
ORLANDO, CA 94563
(415) 816-7344

Owner:
FRONTIER FOREM
800 N. BRAND BLVD., 19TH
FLOOR, OAKDALE, CA 91203
(925) 955-7300

Chief Site:
KIMBLEY-NORM
4857 CHASOT DRIVE, SUITE 300
PLEASANTON, CA 94588
(925) 358-4540

Landscape:
D. LAWRENCE GAYES

Structural:
MPPF CONSULTING ENGINEERS
45 FREIGHT ST., 28TH FLOOR
SAN FRANCISCO, CA 94105
(415) 399-1000

Mechanical, Electrical & Plumbing:
OLIMAC
180 CALIFORNIA ST., 3RD FLOOR
SAN FRANCISCO, CA 94111
(415) 398-7657

General Contractor:
WILL OWENS CONSTRUCTION
4300 HACIENDA DR. SUITE 500,
PLEASANTON, CA 94508
(925) 466-2950

PROJECT TITLE:
LOS GATOS
MEADOWS

110 WOOD ROAD
LOS GATOS, CA 95030

PROJECT No.: 70561.00

DRAWING TITLE:
1ST FLOOR PLAN -
VILLA C

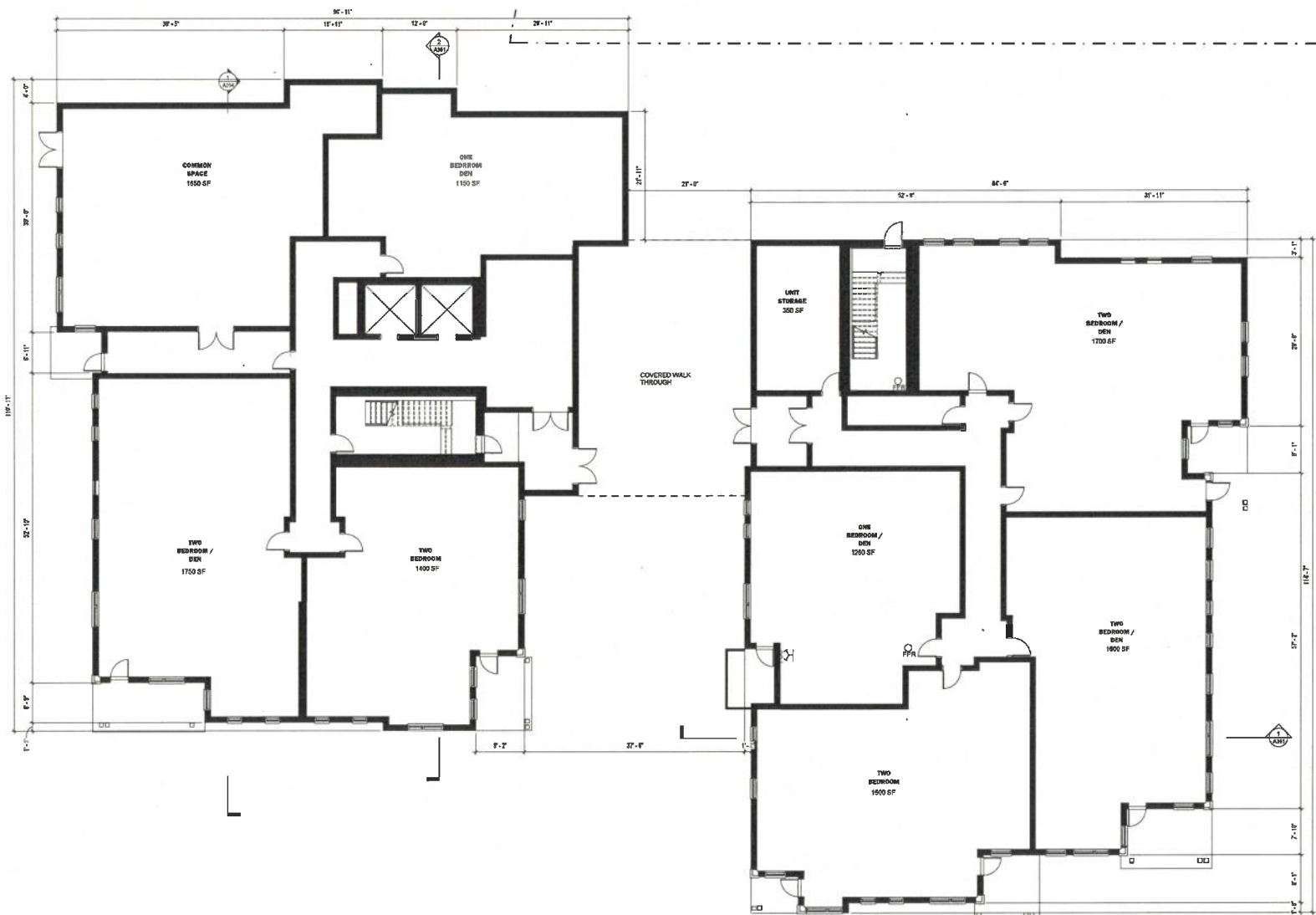
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PLANNING SUBMITTAL

MAY 31, 2024

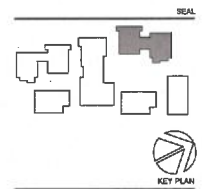
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1 1ST FLOOR PLAN - VILLA D & E
 1/8" = 1'-0"

NO.	DATE	ISSUE

NOT FOR CONSTRUCTION



PERKINS EASTMAN
 110 Montgomery St., Suite 200
 San Francisco, CA 94104
 Tel: 415 774 7900

Applicant:
ROCKWOOD PACIFIC
 26 SOUTHWOOD DRIVE
 ORINDA, CA 94553
 (415) 916-7944

Owner:
FRENEY FORCH
 800 N. ERAND BLVD, 18TH FLOOR
 GLENDALE, CA 91203
 (952) 956-7400

CM / SDR:
NOBLETT-JOBIM
 4827 CHARLOT DRIVE, SUITE 300
 PLEASANTON, CA 94588
 (925) 398-6640

Landscape:
D. LAWRENCE GATES

Structural:
KIPP ENGINEERING ENGINEERS
 45 FREMONT ST, 28TH FLOOR
 SAN FRANCISCO, CA 94105
 (415) 863-1024

Mechanical, Electrical & Plumbing:
RELIANCE
 150 CALIFORNIA ST, 3RD FLOOR
 SAN FRANCISCO, CA 94111
 (415) 398-7887

General Contractor:
WAL O'NEILL CONSTRUCTION
 6205 HAZENBORN DR, SUITE 500
 PLEASANTON, CA 94588
 (925) 466-2090

PROJECT TITLE:
LOS GATOS MEADOWS

110 WOOD ROAD
 LOS GATOS, CA 95030

PROJECT No: 70581.00
 DRAWING TITLE:
1ST FLOOR PLAN - VILLA D & E

SCALE: 1/8" = 1'-0"

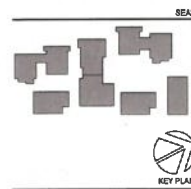
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PLANNING SUBMITTAL

MAY 31, 2024

NO.	DATE	ISSUE

NOT FOR CONSTRUCTION



PERKINS EASTMAN
100 Montgomery St., Suite 300
San Francisco, CA 94104
T: 415 435 7900

Architect:
ROCKWOOD PACIFIC
20 SOUTHWOOD DRIVE
ORINDA, CA 94503
(415) 819-7344

Owner:
BREKKE FORBEN
800 N. BRAND BLVD., 19TH
FLOOR GLENDALE, CA 91203
(925) 855-7400

Chief of Site:
KIMBLEY HOBEM
4837 CHABOT DRIVE, SUITE 300
PLEASANTON, CA 94588
(925) 398-4840

Landscape:
D. LAWRENCE GATES

Structural:
RPFV CONSULTING ENGINEERS
45 FREMONT ST., 20TH FLOOR
SAN FRANCISCO, CA 94105
(415) 398-1004

Mechanical, Electrical & Plumbing:
SILTBORG
150 CALIFORNIA ST., 3RD FLOOR
SAN FRANCISCO, CA 94111
(415) 398-7867

General Contractor:
WAL. O'NEILL CONSTRUCTION
4200 MACCORMA DR. SUITE 500
PLEASANTON, CA 94588
(925) 468-2000

PROJECT TITLE:

LOS GATOS MEADOWS

110 WOOD ROAD
LOS GATOS, CA 95030

PROJECT No: 70581.00

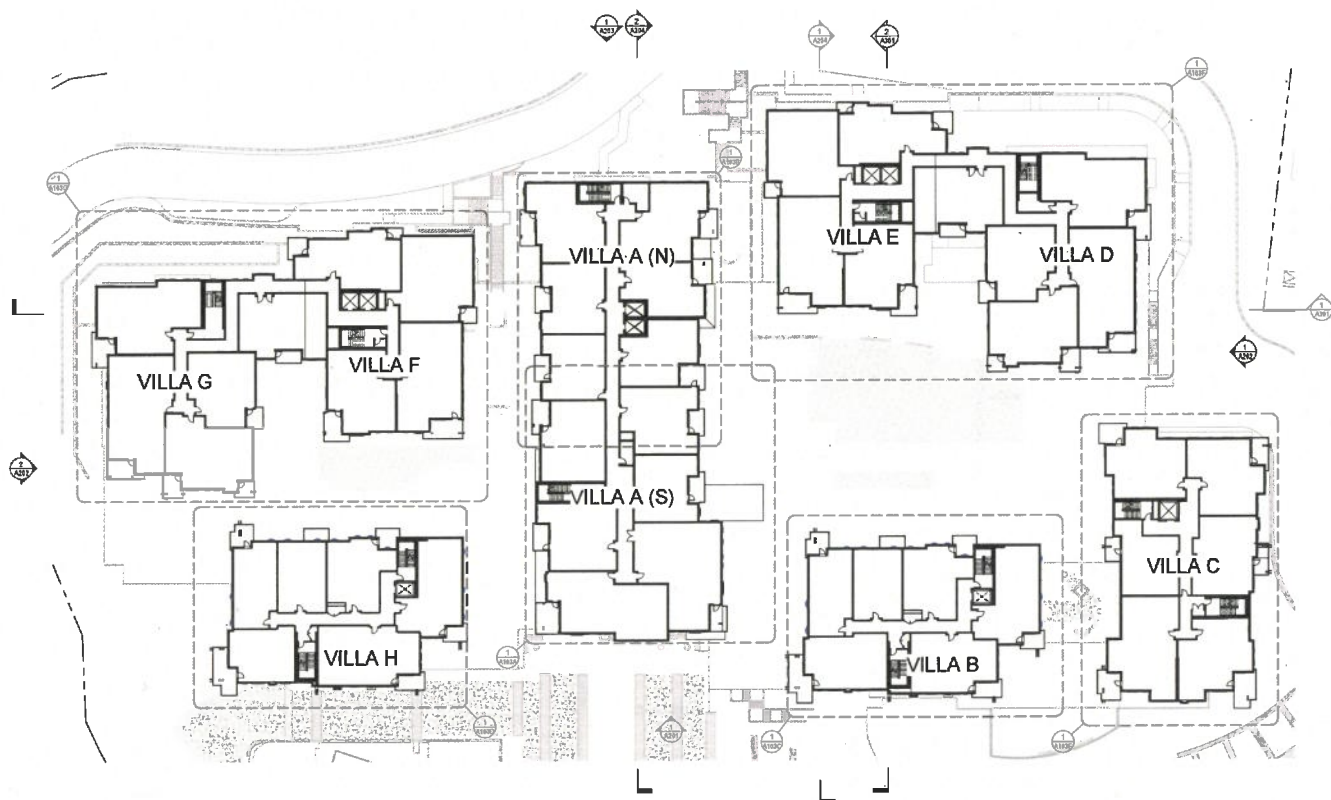
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2ND & 3RD FLOOR
PLAN - OVERALL

SCALE: 1" = 30'-0"

A103

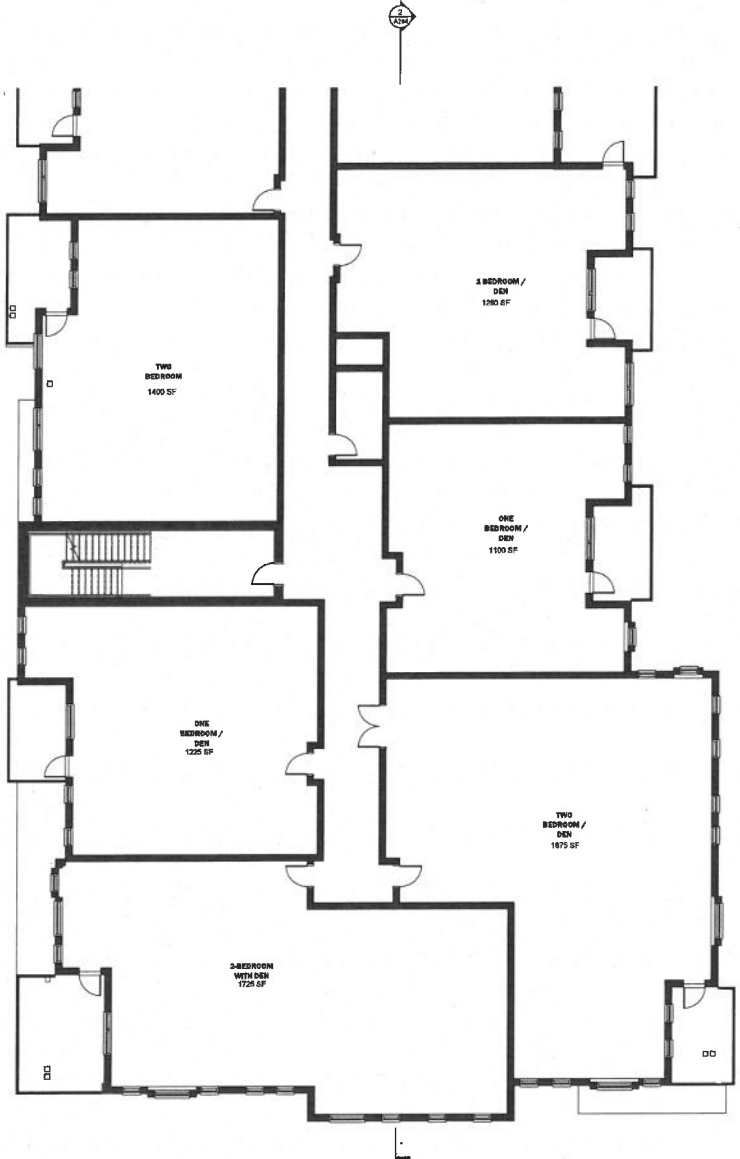
PLANNING SUBMITTAL

MAY 31, 2024



1 2ND & 3RD FLOOR PLAN - OVERALL
1" = 30'-0"

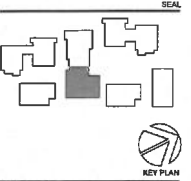
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1 TYPICAL FLOOR PLAN - VILLA A SOUTH
 TYPICAL FLOORS 2-4

NO.	DATE	ISSUE

NOT FOR CONSTRUCTION



PERKINS EASTMAN
 100 Montgomery St., Suite 2200
 San Francisco, CA 94104
 T: +1 415 828 7900

Applicant:
ROCKWOOD PACIFIC
 38 SCOUTWOOD DRIVE
 ORINDA, CA 94553
 (415) 916-7941

Owner:
FRIMBY PORCH
 800 W. GRAND BLVD., 18TH
 FLOOR GLENDALE, CA 91203
 (626) 895-7400

Civil Site:
HEWLEY-HOBBS
 4557 CHABOT DRIVE, SUITE 300
 PLEASANTON, CA 94588
 (925) 388-4840

Landscape:
W. LAWRENCE GATES

Structural:
KPFY CONSULTING ENGINEERS
 45 FLEMMING ST., 20TH FLOOR
 SAN FRANCISCO, CA 94102
 (415) 398-0504

Mechanical, Electrical & Plumbing:
SLURMAE
 150 CALIFORNIA ST., 3RD FLOOR
 SAN FRANCISCO, CA 94111
 (415) 385-7667

General Contractor:
WALSH STEEL CONSTRUCTION
 4309 HACIENDA DR SUITE 530,
 PLEASANTON, CA 94508
 (925) 466-2900

PROJECT TITLE:
LOS GATOS MEADOWS

110 WOOD ROAD
 LOS GATOS, CA 95030

PROJECT No: 70581.00

DRAWING TITLE:
TYPICAL FLOOR PLAN - VILLA A S

SCALE: 1/8" = 1'-0"

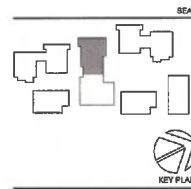
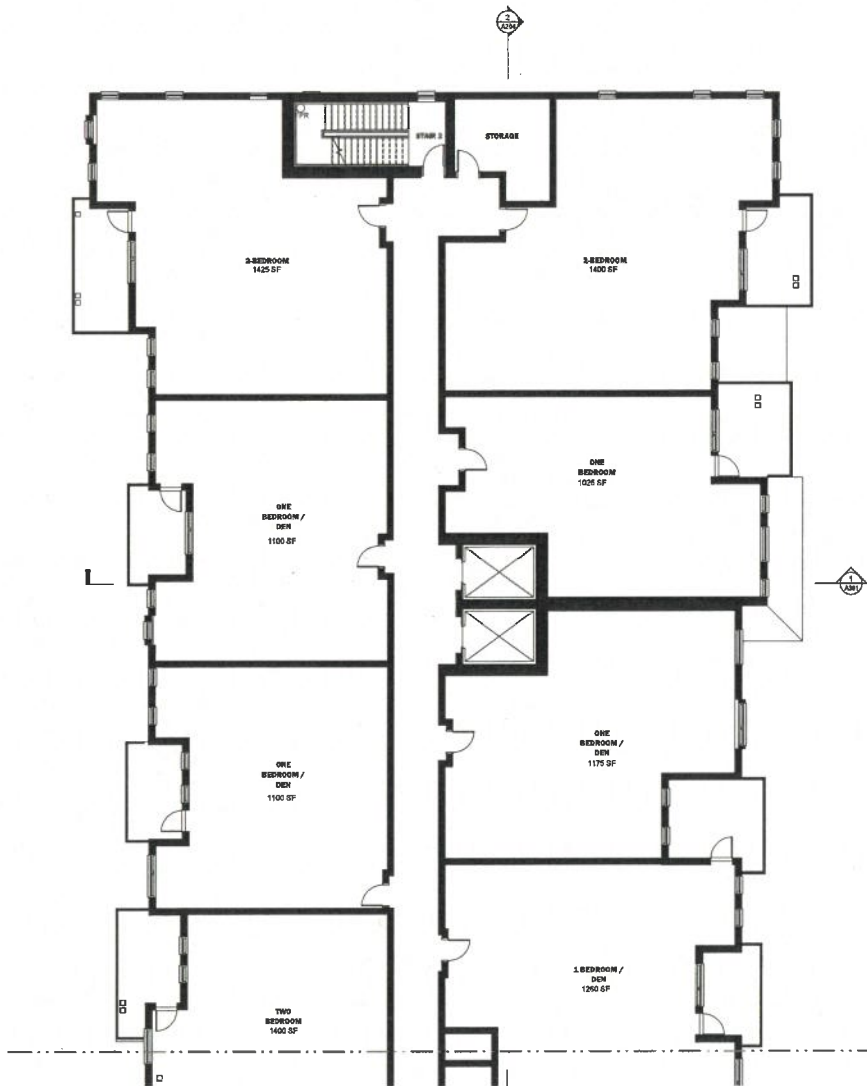
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PLANNING SUBMITTAL

MAY 31, 2024

NO.	DATE	ISSUE

NOT FOR CONSTRUCTION



PERKINS EASTMAN
 150 BROADWAY ST., SUITE 200
 SAN FRANCISCO, CA 94104
 T: 415 774 2900

Applicant:
ROCKWOOD PACIFIC
 28 SOUTHWOOD DRIVE
 OROVIA, CA 94953
 (415) 818-7941

Owner:
FRONT PORCH
 800 N. BRAND BLVD., 19TH
 FLOOR GLENDALE, CA 91203
 (925) 952-7400

Architect:
PERKINS EASTMAN
 4837 CHABOT DRIVE, SUITE 300
 PLEASANTON, CA 94589
 (925) 398-4840

Landscape:
D. LAWRENCE GATNER

Structural:
SEIFF CONSULTING ENGINEERS
 45 FREMONT ST., 28TH FLOOR
 SAN FRANCISCO, CA 94105
 (415) 993-1004

Mechanical, Electrical & Plumbing:
BERNARD
 150 CALIFORNIA ST., 3RD FLOOR
 SAN FRANCISCO, CA 94111
 (415) 398-7657

General Contractor:
WILL O'NEILL CONSTRUCTION
 4370 HAYCENNA DR. SUITE 530
 PLEASANTON, CA 94588
 (925) 466-2200

PROJECT TITLE:
LOS GATOS MEADOWS

110 WOOD ROAD
 LOS GATOS, CA 95030

PROJECT No: 70591.00

DRAWING TITLE:
TYPICAL FLOOR PLAN - VILLA A N

SCALE: 1/8" = 1'-0"

A103B

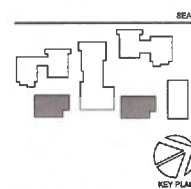
PLANNING SUBMITTAL

MAY 31, 2024

1 TYPICAL FLOOR PLAN - VILLA A NORTH
 1/8" = 1'-0" TYPICAL FLOORS 2-5

NO.	DATE	ISSUE

NOT FOR CONSTRUCTION



PERKINS EASTMAN
 110 Montgomery St., Suite 2000
 San Francisco, CA 94104
 T: +1 415 774 7900

Applicant:
 ROCKWOOD PACIFIC
 38 SOUTHWOOD DRIVE
 ORBIDIA, CA 94953
 (415) 876-7344

Owner:
 FREDRY FORBES
 800 N. BEARD BLVD., 18TH
 FLOOR GLENDALE, CA 91203
 (925) 955-7100

CM / Site:
 KIMBLEY-HARRIS
 457 CHERRY DRIVE, SUITE 300
 PLEASANTON, CA 94588
 (925) 298-8440

Landscape:
 D. LAWRENCE GATES

Structural:
 RPPF CONSULTING ENGINEERS
 45 FREDMONT ST., 20TH FLOOR
 SAN FRANCISCO, CA 94105
 (415) 263-1001

Mechanical, Electrical & Plumbing:
 GILPASC
 150 CALIFORNIA ST., 3RD FLOOR
 SAN FRANCISCO, CA 94111
 (415) 394-7857

General Contractor:
 W.E. O'NEIL CONSTRUCTION
 408 MAGNEDA DR SUITE 600,
 PLEASANTON, CA 94588
 (925) 465-2990

PROJECT TITLE:
 LOS GATOS
 MEADOWS

110 WOOD ROAD
 LOS GATOS, CA 95030

PROJECT No: 70581.00

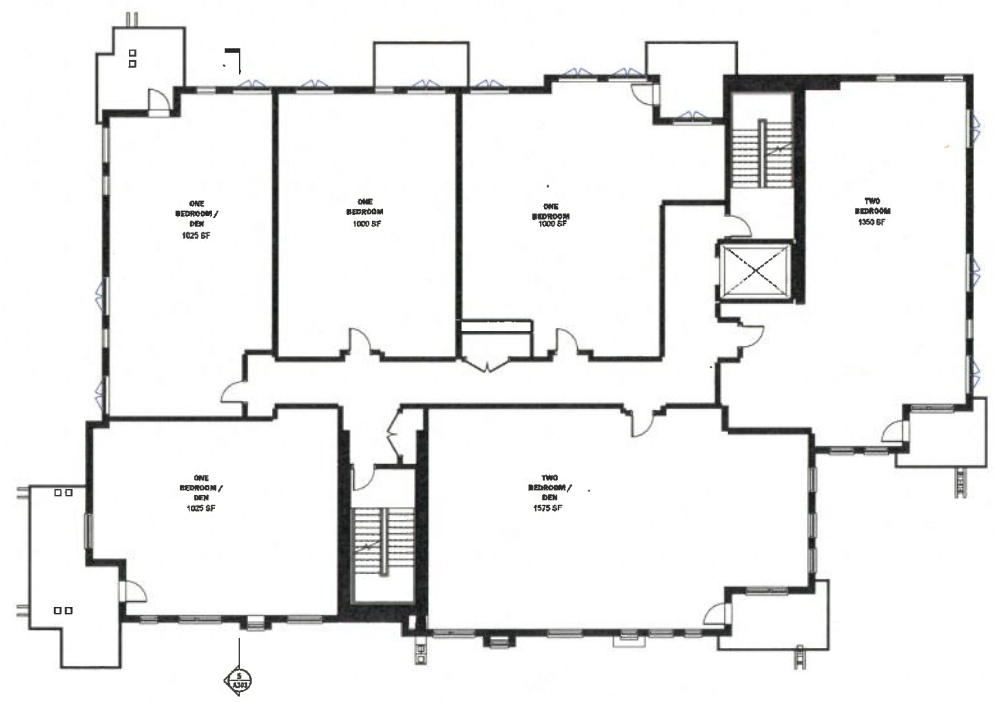
DRAWING TITLE:
 TYPICAL FLOOR
 PLAN - VILLA H

SCALE: 1/8" = 1'-0"

A103D

PLANNING SUBMITTAL

MAY 31, 2024

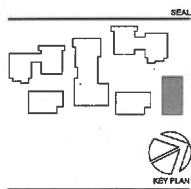


1 TYPICAL FLOOR PLAN - VILLA B (VILLA H SIM)
 W*+*W

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NO.	DATE	ISSUE

NOT FOR CONSTRUCTION



PERKINS EASTMAN
 151 Montgomery St., Suite 1200
 San Francisco, CA 94104
 T. 415 774 2600

Applicant:
 ROCKWOOD PACIFIC
 28 SOUTHWOOD DRIVE
 OROVILLE, CA 95953
 (530) 570-7944

Owner:
 FRONT PORCH
 300 N. GRAND BLVD., 15TH FLOOR
 GLENDALE, CA 91201
 (626) 355-7400

CM/CA:
 KOBLEY-HEWITT
 4537 CHABOT DRIVE, SUITE 300
 PLEASANTON, CA 94588
 (925) 399-4840

Landscaper:
 D. LAWRENCE GATES

Structure:
 KOPPY CONSULTING ENGINEERS
 24 FREEMONT ST., 20TH FLOOR
 SAN FRANCISCO, CA 94102
 (415) 395-1004

Mechanical, Electrical & Plumbing:
 BLUMAC
 150 CALIFORNIA ST., 3RD FLOOR
 SAN FRANCISCO, CA 94111
 (415) 398-7967

General Contractor:
 W.B. SPYER CONSTRUCTION
 4309 HACIENDA DR SUITE 500
 PLEASANTON, CA 94588
 (925) 468-2990

PROJECT TITLE:
 LOS GATOS MEADOWS

110 WOOD ROAD
 LOS GATOS, CA 95030

PROJECT No: 70581.00

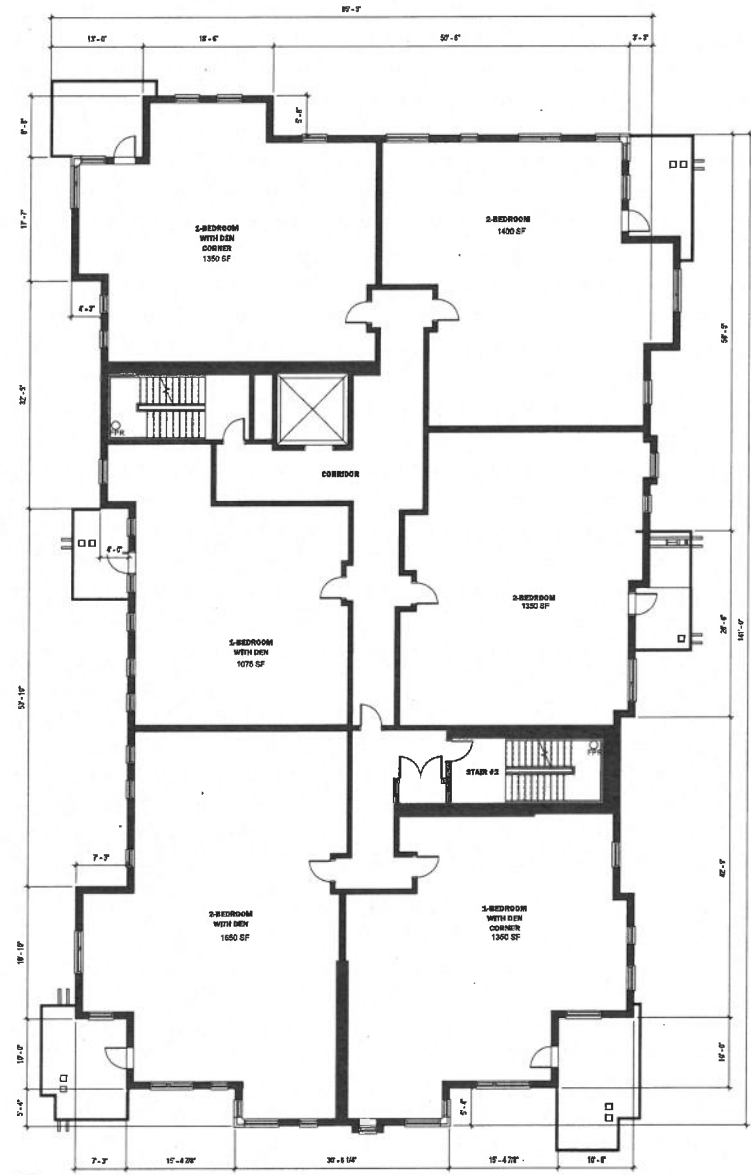
DRAWING TITLE:
 TYPICAL FLOOR PLAN - VILLA C

SCALE: 1/8" = 1'-0"

A103E

PLANNING SUBMITTAL

MAY 31, 2024

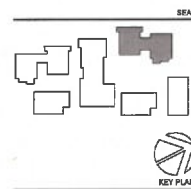


1 TYPICAL FLOOR PLAN - VILLA C
 VP #119 TYPICAL FLOORS 2-4

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NO.	DATE	ISSUE

NOT FOR CONSTRUCTION



PERKINS EASTMAN
 100 Montgomery St., Suite 2000
 San Francisco, CA 94104
 T: +1 415 774 7900

Architect:
 ROCKWOOD PACIFIC
 24 SOUTH WOOD DRIVE
 OROVILLE, CA 95965
 (415) 816-7544

Owner:
 FREIGHT PORCH
 400 H. BRAND BLVD. 18TH
 FLOOR, OAKDALE, CA 94223
 (925) 952-7400

Client / Site:
 KIMBLEY-HOBBS
 4837 CHABOT DRIVE, SUITE 300
 PLEASANTON, CA 94588
 (925) 296-4840

Landscape:
 D. LAWRENCE GATES

Structural:
 BEFFI CONSULTING ENGINEERS
 45 FREEMONT ST. 28TH FLOOR
 SAN FRANCISCO, CA 94105
 (415) 396-1008

Mechanical, Electrical & Plumbing:
 BELTRAND
 150 CALIFORNIA ST. 3RD FLOOR
 SAN FRANCISCO, CA 94111
 (415) 398-7467

General Contractor:
 PUL. OTNIEL CONSTRUCTION
 4300 HACIENDA DR. SUITE 500
 PLEASANTON, CA 94508
 (925) 455-2090

PROJECT TITLE:
 LOS GATOS
 MEADOWS

110 WOOD ROAD
 LOS GATOS, CA 95030

PROJECT No: 70581.00

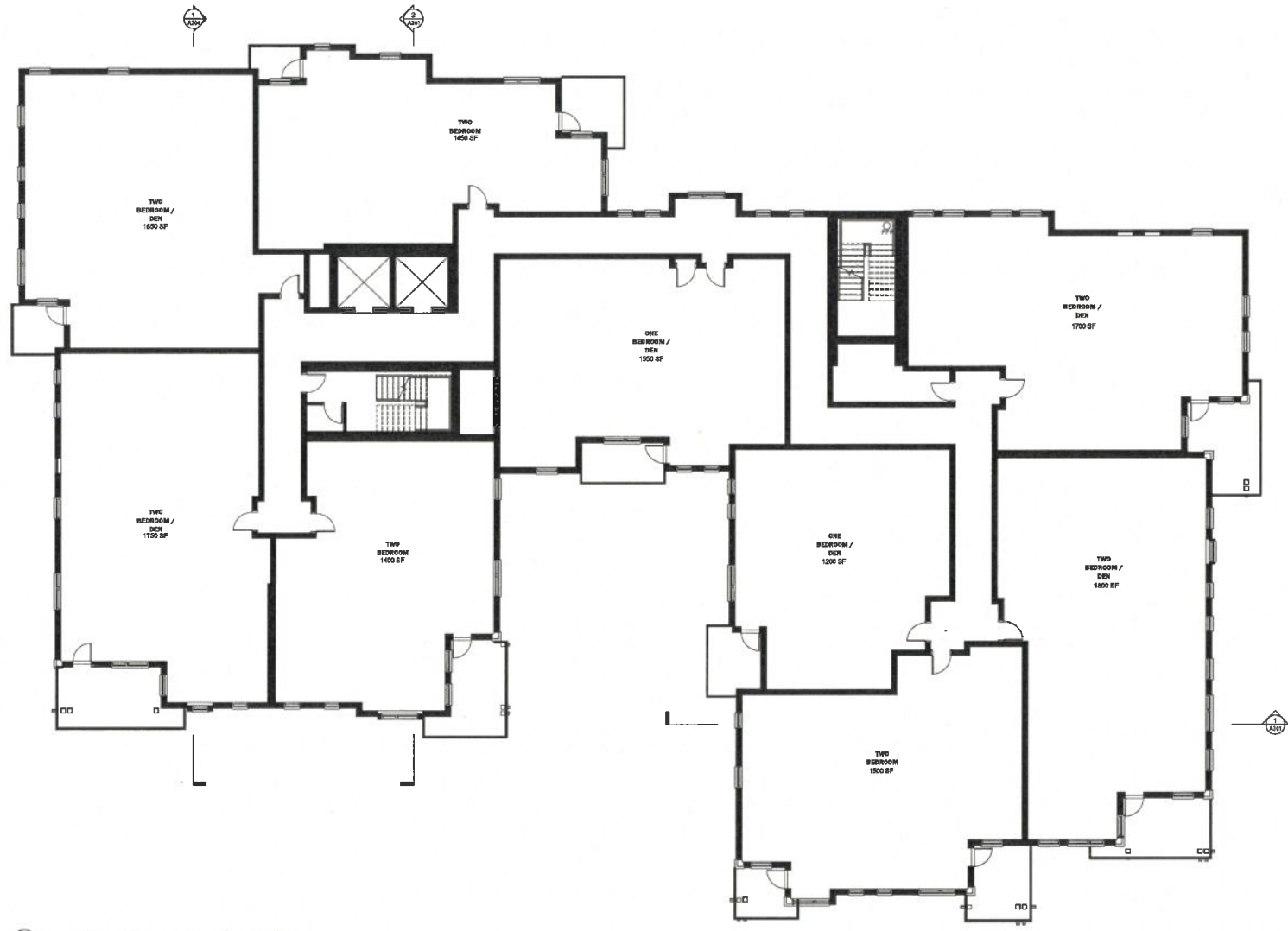
DRAWING TITLE:
 TYPICAL FLOOR
 PLAN - VILLA D & E

SCALE: 1/8" = 1'-0"

A103F

PLANNING SUBMITTAL

MAY 31, 2024



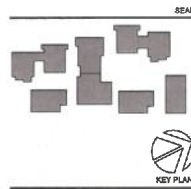
1 TYPICAL FLOOR PLAN - VILLA D & E
 1/8" = 1'-0"

TYPICAL FLOORS 2-3

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NO.	DATE	ISSUE

NOT FOR CONSTRUCTION



PERKINS EASTMAN
 150 Montgomery St., Suite 250
 San Francisco, CA 94104
 T: +1 415 774 2900

Appoint: **ROCKWOOD PACIFIC**
 38 SOUTHWOOD DRIVE
 CRYDIA, CA 94508
 (415) 916-7944
 Owner: **FRONT PORCH**
 500 N. BRAND BLVD, 19TH
 FLOOR OAKLAND, CA 94612
 (510) 856-7000
 Call / Site: **ROBLEY-HORN**
 487 CHABOT DRIVE, SUITE 300
 PLEASANTON, CA 94508
 (925) 398-4840
 Landscape: **D. LAWRENCE GATES**

Structural: **KOPPE ENGINEERING ENGINEERS**
 45 FREMONT ST., 28TH FLOOR
 SAN FRANCISCO, CA 94105
 (415) 898-1004
 Mechanical, Electrical & Plumbing:
BLEMSAC
 150 CALIFORNIA ST., 3RD FLOOR
 SAN FRANCISCO, CA 94111
 (415) 398-7677
 General Contractor:
W.E. OWENS CONSTRUCTION
 4300 SACRAMENTO DR. SUITE 810,
 PLEASANTON, CA 94566
 (925) 465-2200

PROJECT TITLE:
LOS GATOS MEADOWS
 110 WOOD ROAD
 LOS GATOS, CA 95030

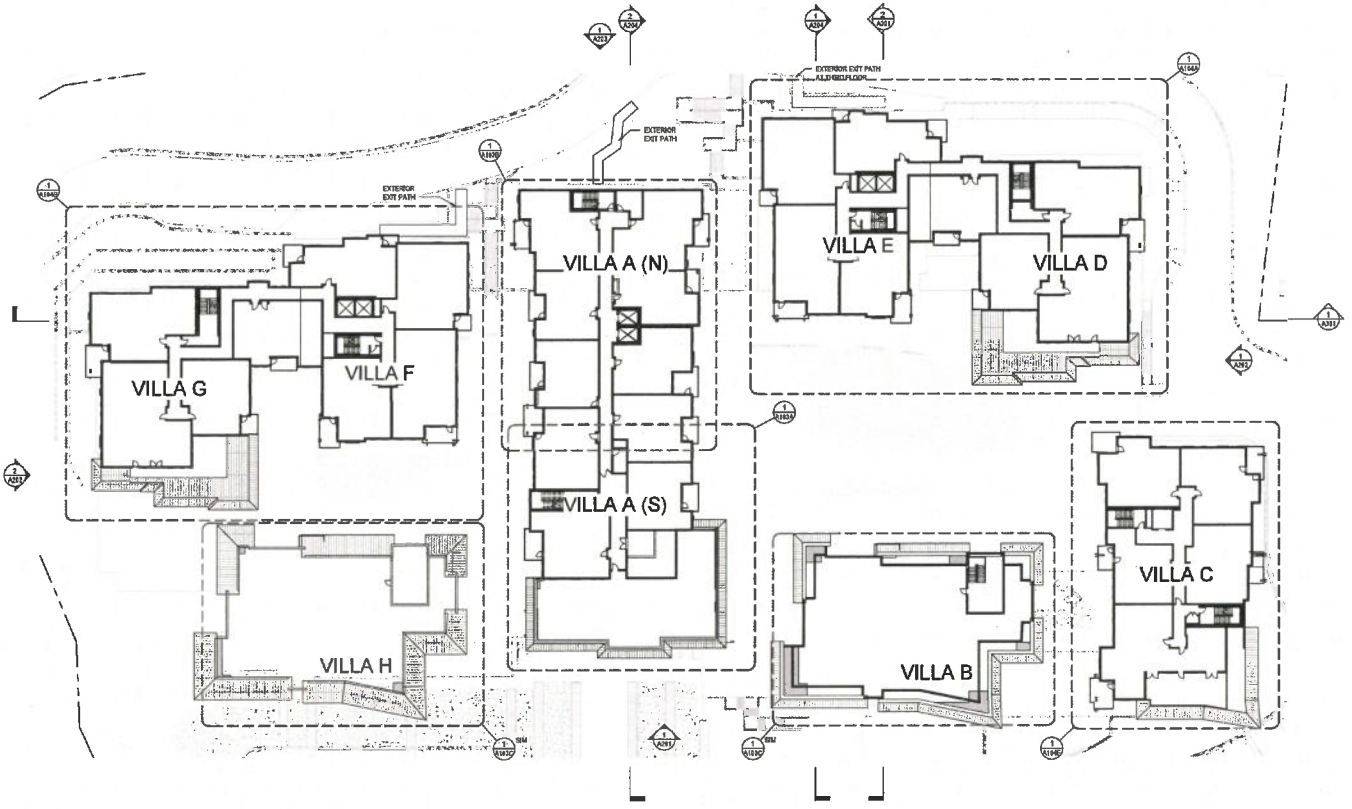
PROJECT No: 70581.00
 DRAWING TITLE:
4TH FLOOR PLAN - OVERALL

SCALE: 1" = 30'-0"

A104

PLANNING SUBMITTAL

MAY 31, 2024



1 4TH FLOOR PLAN - OVERALL
 1" = 30'-0"

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NO.	DATE	ISSUE

NOT FOR CONSTRUCTION



PERKINS EASTMAN
 130 Montgomery St., Suite 2500
 San Francisco, CA 94104
 T: +1 415 224 7900

Applicant:
 ROCKWOOD PACIFIC
 38 SOUTHWOOD DRIVE
 ORENDA, CA 94553
 (415) 816-7344

Owner:
 FRONT PORCH
 800 N. BRAND BLVD., 16TH
 FLOOR GLENDALE, CA 91203
 (925) 856-7400

CM/DCM:
 HINLEY-HO-BRM
 4637 CHERRY DRIVE, SUITE 300
 PLEASANTON, CA 94568
 (925) 398-6640

Architect:
 D. LAWRENCE GATES

Structural:
 RFFV CONSULTING ENGINEERS
 45 FREMONT ST., 26TH FLOOR
 SAN FRANCISCO, CA 94105
 (415) 953-1004

Mechanical, Electrical & Plumbing:
 BELMARC
 150 CALIFORNIA ST., 3RD FLOOR
 SAN FRANCISCO, CA 94111
 (415) 398-7667

General Contractor:
 W&L CIVIL CONSTRUCTION
 4329 HACIENDA DR SUITE 550,
 PLEASANTON, CA 94566
 (925) 466-2990

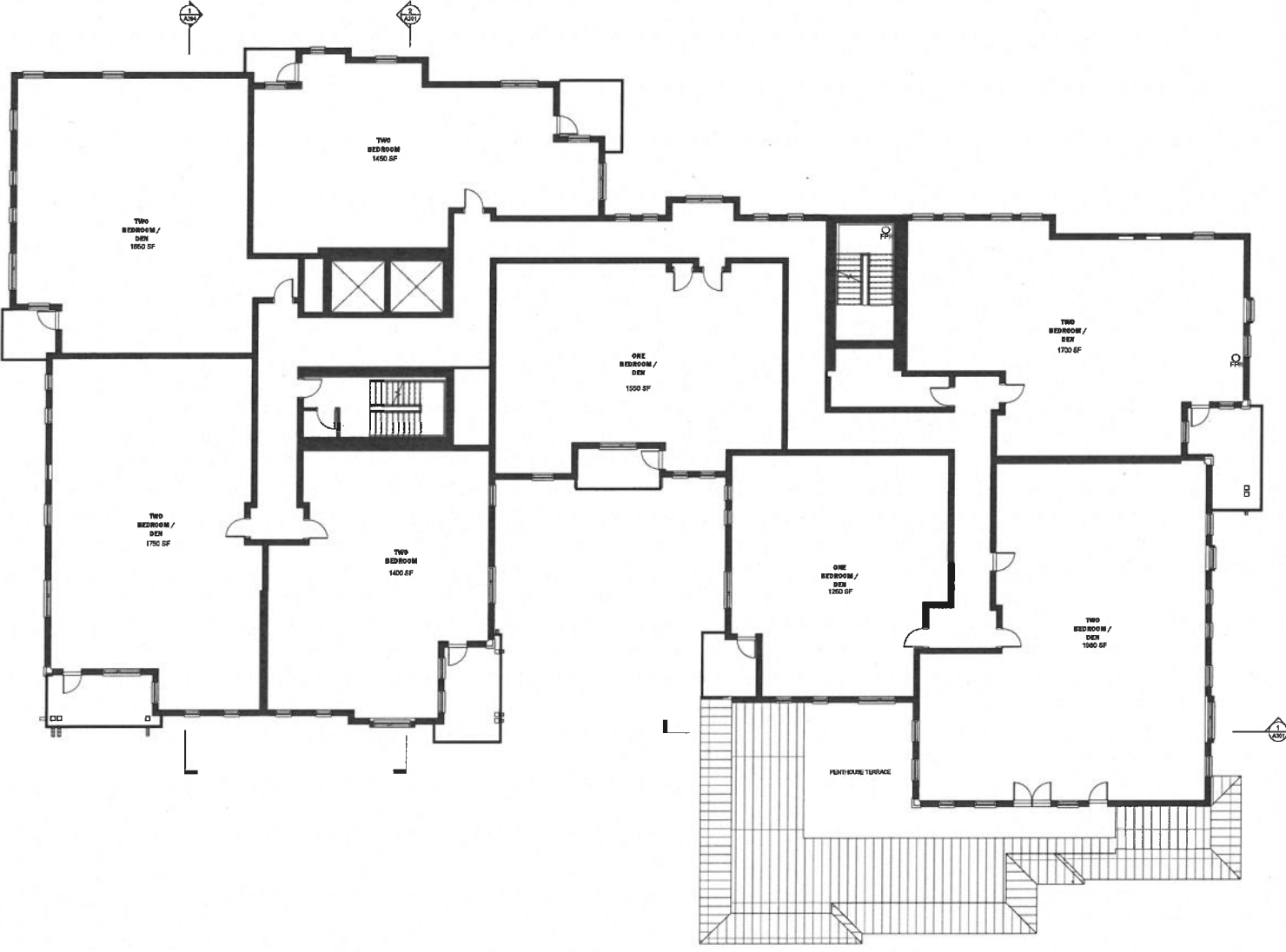
PROJECT TITLE:
LOS GATOS MEADOWS

110 WOOD ROAD
 LOS GATOS, CA 95030

PROJECT No: 70581.00
 DRAWING TITLE:
4TH FLOOR PLAN - VILLA D & E

SCALE: 1/8" = 1'-0"
A104A

PLANNING SUBMITTAL
 MAY 31, 2024

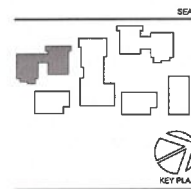
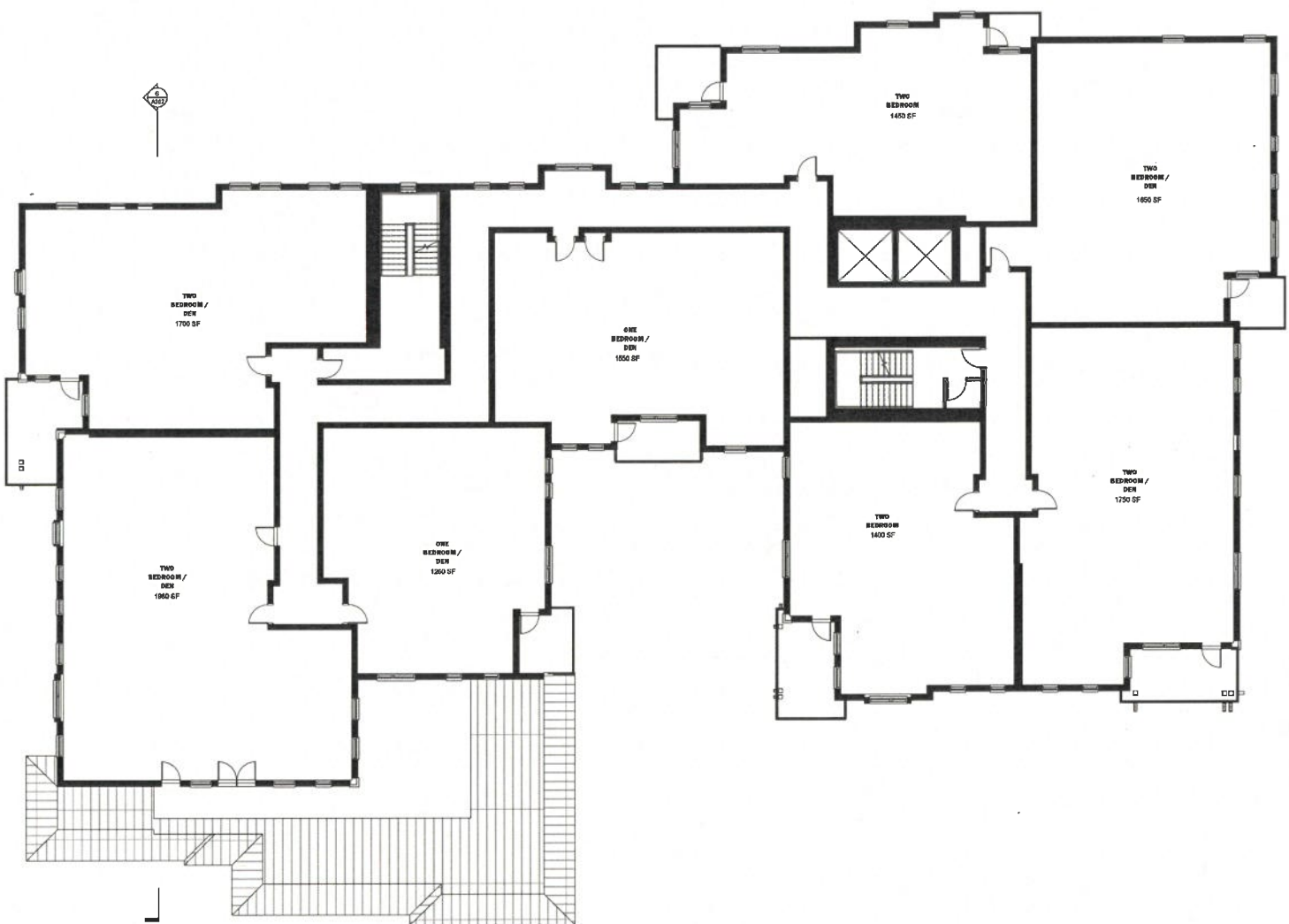


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1 4TH FLOOR PLAN - VILLA D & E
 1/8" = 1'-0"

NO.	DATE	ISSUE

NOT FOR CONSTRUCTION



PERKINS EASTMAN
 100 Montgomery St., Suite 2000
 San Francisco, CA 94104
 T: +1 415 638 7200

Architect:
 ROCKWOOD PAPER
 28 SOUTHWOOD DRIVE
 OROVILLE, CA 95963
 (415) 916-7344

Owner:
 FRONTIER PAPER
 800 H. BRAND BLVD., 18TH
 FLOOR, OROVILLE, CA 95963
 (925) 956-7400

Client:
 KIMBLEY-GORMAN
 4837 CHABOT DRIVE, SUITE 300
 PLEASANTON, CA 94588
 (925) 396-4840

Landscape:
 D. LAWRENCE GATES

Structural:
 RPTF CONSULTING ENGINEERS
 45 FREMONT ST., 28TH FLOOR
 SAN FRANCISCO, CA 94105
 (415) 363-1024

Mechanical, Electrical & Plumbing:
 MILLERAGE
 150 CALIFORNIA ST., 3RD FLOOR
 SAN FRANCISCO, CA 94111
 (415) 388-7867

General Contractor:
 WALK, DYWIDAG, CONSTRUCTION
 4200 MACEDONIA DR., SUITE 1300
 PLEASANTON, CA 94588
 (925) 466-2800

PROJECT TITLE:
 LOS GATOS
 MEADOWS

110 WOOD ROAD
 LOS GATOS, CA 95030

PROJECT No: 70581.00

DRAWING TITLE:
 4TH FLOOR PLAN -
 VILLA F & G

SCALE: 1/8" = 1'-0"

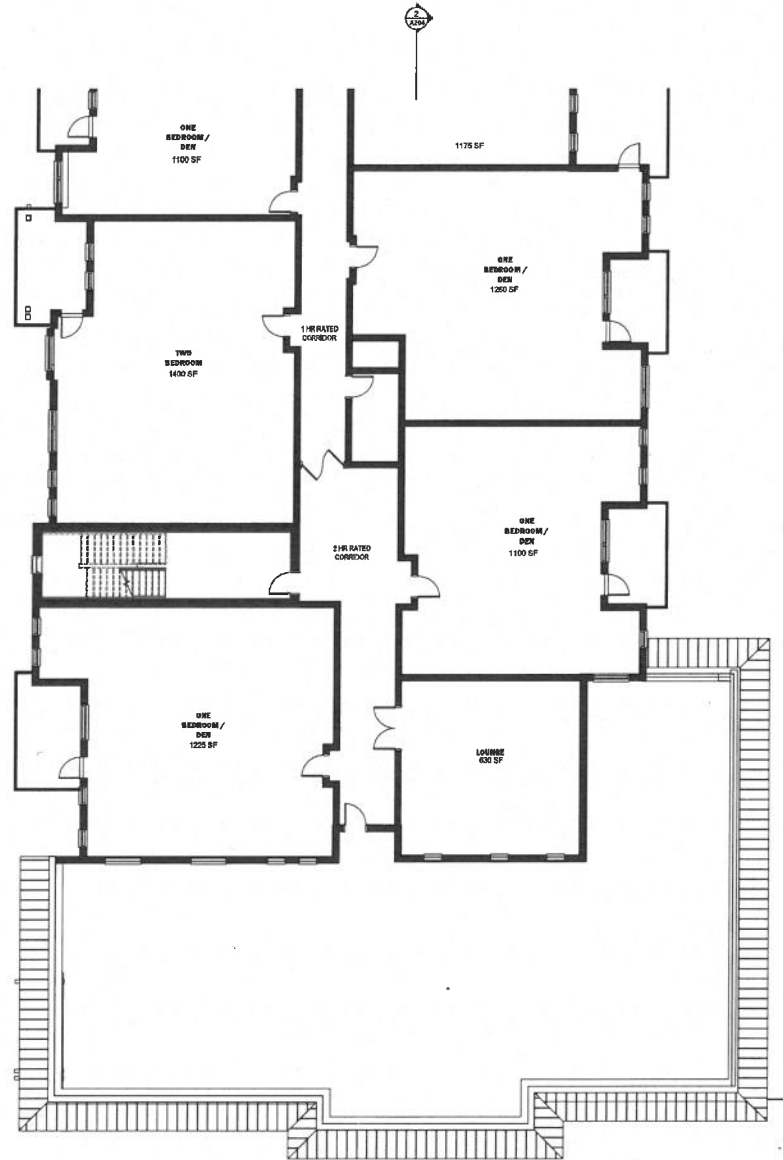
A104B

PLANNING SUBMITTAL
 MAY 31, 2024

1 4TH FLOOR PLAN - VILLA F & G
 1/8" = 1'-0"

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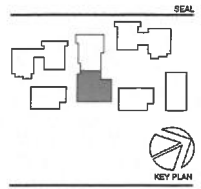
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1 4TH FLOOR PLAN - VILLA A SOUTH
 1/8" = 1'-0"

NO.	DATE	ISSUE

NOT FOR CONSTRUCTION



PERKINS EASTMAN
 100 Montgomery St., Suite 2500
 San Francisco, CA 94104
 Tel: 415 774 7000

Architect:
ROCKWOOD PACIFIC
 38 SOUTHWOOD DRIVE
 ORINDA, CA 94550
 (415) 916-7944

Owner:
FRONT PORCH
 800 N. BRAND BLVD., 15TH
 FLOOR, GLENDALE, CA 91203
 (626) 994-7600

City Engineer:
KINLEY-HORN
 4837 CHALCOT DRIVE, SUITE 300
 PLEASANTON, CA 94566
 (925) 398-8840

Landscape:
 G. LAWRENCE GATES

Structural:
REFF CONSULTING ENGINEERS
 45 FREMONT ST., 28TH FLOOR
 SAN FRANCISCO, CA 94105
 (415) 398-1004

Mechanical, Electrical & Plumbing:
ELERICK
 150 CALIFORNIA ST., 3RD FLOOR
 SAN FRANCISCO, CA 94111
 (415) 393-7867

General Contractor:
WELBY CONSTRUCTION
 4302 HAZENBACH DR. SUITE 530
 PLEASANTON, CA 94566
 (925) 466-2900

PROJECT TITLE:
LOS GATOS MEADOWS

110 WOOD ROAD
 LOS GATOS, CA 95030

PROJECT No: 70581.00

DRAWING TITLE:
4TH FLOOR PLAN - VILLA A S

SCALE: 1/8" = 1'-0"

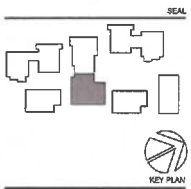
A104C

PLANNING SUBMITTAL

MAY 31, 2004

NO.	DATE	ISSUE

NOT FOR CONSTRUCTION



PERKINS EASTMAN
 101 Montgomery St., Suite 200
 San Francisco, CA 94104
 T: 415 774 2900

Applicant:
ROCKWOOD PACIFIC
 38 SOUTHWOOD DRIVE
 OROVILA, CA 94953
 (415) 819-7544

Owner:
FRENCH PORCH
 800 N. BRAND BLVD., 19TH
 FLOOR, SHERMANS, CA 91003
 (855) 858-7400

Club / Site:
NOBLETY-HOBBS
 4837 CHASOT DRIVE, SUITE 500
 PLEASANTON, CA 94553
 (852) 338-4840

Landscape:
 Dr. LAWRENCE GATYER

Structural:
RPFP CONSULTING ENGINEERS
 45 FREMONT ST., 28TH FLOOR
 SAN FRANCISCO, CA 94105
 (415) 398-1004

Mechanical, Electrical & Plumbing:
SILVERADO
 150 CALIFORNIA ST., 3RD FLOOR
 SAN FRANCISCO, CA 94111
 (415) 398-7557

General Contractor:
MIL O'NEIL CONSTRUCTION
 4308 HACIENDA DR SUITE 530
 PLEASANTON, CA 94588
 (925) 465-2000

PROJECT TITLE:
LOS GATOS MEADOWS

110 WOOD ROAD
 LOS GATOS, CA 95030

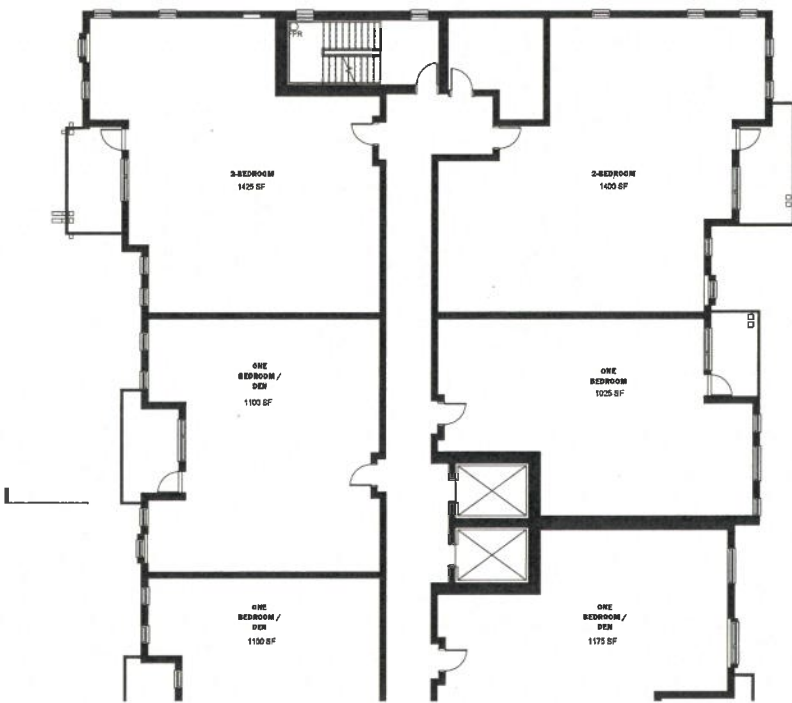
PROJECT No: 70581.00
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4TH FLOOR PLAN - VILLA A N

SCALE: 1/8" = 1'-0"

A104D

PLANNING SUBMITTAL

MAY 31, 2024

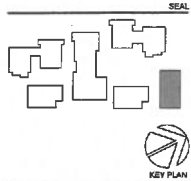


4TH FLOOR PLAN - VILLA A SOUTH
 WF-112

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NO.	DATE	ISSUE

NOT FOR CONSTRUCTION



**PERKINS
EASTMAN**
100 Montgomery St., Suite 1200
San Francisco, CA 94104
T: +1 415 774 7900

Applicant:
ROCKWOOD PACIFIC
38 SOUTHWOOD DRIVE
CORTONA, CA 94553
(415) 919-7344

Owner:
FRONT PORCH
800 H. BRAND BLVD, 10TH
FLOOR, OAKLAND, CA 94612
(510) 866-7400

Chief Site:
ROBERTLY HORN
487 CHASOT DRIVE, SUITE 300
PLEASANTON, CA 94588
(925) 398-4840

Landscape:
D. LAWRENCE GATES

Structural:
KOPFF CONSULTING ENGINEERS
45 FREEMONT ST., 28TH FLOOR
SAN FRANCISCO, CA 94108
(415) 695-1304

Mechanical, Electrical & Plumbing:
SILBERG
150 CALIFORNIA ST., 3RD FLOOR
SAN FRANCISCO, CA 94111
(415) 398-7887

General Contractor:
WAL. CYRUS. CONSTRUCTION
1309 MACCENIA DR. SUITE 530
PLEASANTON, CA 94588
(925) 466-2990

PROJECT TITLE:
**LOS GATOS
MEADOWS**

110 WOOD ROAD
LOS GATOS, CA 95030

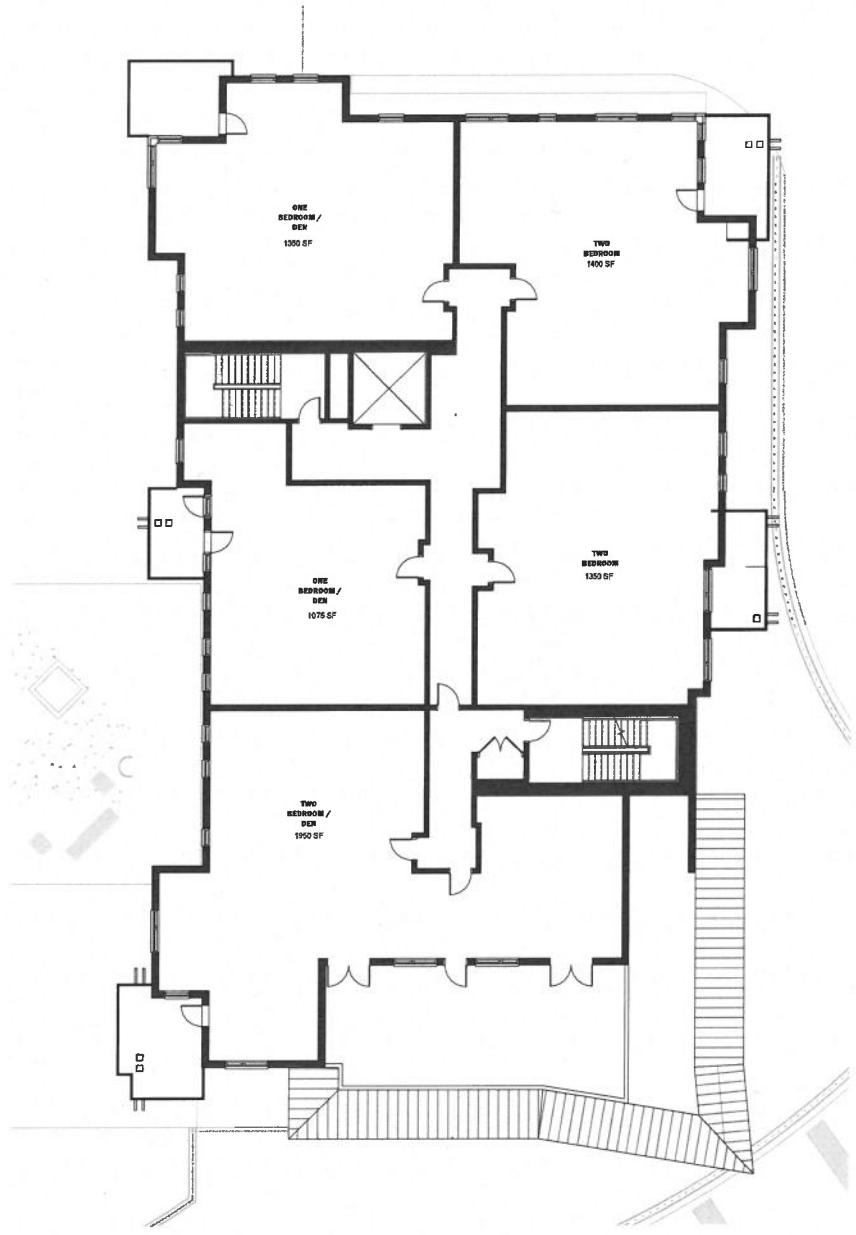
PROJECT No: 70581.00

DRAWING TITLE:
**4TH FLOOR PLAN -
VILLA C**

SCALE: 1/8" = 1'-0"

A104E
PLANNING SUBMITTAL

MAY 31, 2024

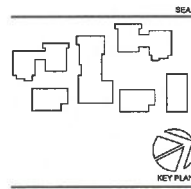


1 4TH FLOOR PLAN - OVERALL
1/8" = 1'-0"

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NO.	DATE	ISSUE

NOT FOR CONSTRUCTION



PERKINS EASTMAN
 120 Montgomery St., Suite 1100
 San Francisco, CA 94111
 T: +1 415 224 7000

Applicant:
ROCKWOOD PACIFIC
 31 BOUTWOOD DRIVE
 OROVIA, CA 94552
 (415) 819-7344

Owner:
FRONT PORCH
 800 N. BRAND BLVD., 19TH
 FLOOR GLENDALE, CA 91203
 (562) 855-7400

Architect:
PERKINS EASTMAN
 4637 CHABOT DRIVE, SUITE 300
 PLEASANTON, CA 94588
 (525) 338-4840

Landscape:
 Dr. LAWRENCE GATES

Structural:
SEIFF CONSULTING ENGINEERS
 45 FREMONT ST., 28TH FLOOR
 SAN FRANCISCO, CA 94105
 (415) 863-1004

Mechanical, Electrical & Plumbing:
ELCOMS&S
 150 CALIFORNIA ST., 3RD FLOOR
 SAN FRANCISCO, CA 94111
 (415) 398-7857

General Contractor:
W.H. O'NEIL CONSTRUCTION
 4333 MACLEOD DR. SUITE 530,
 PLEASANTON, CA 94588
 (525) 466-2900

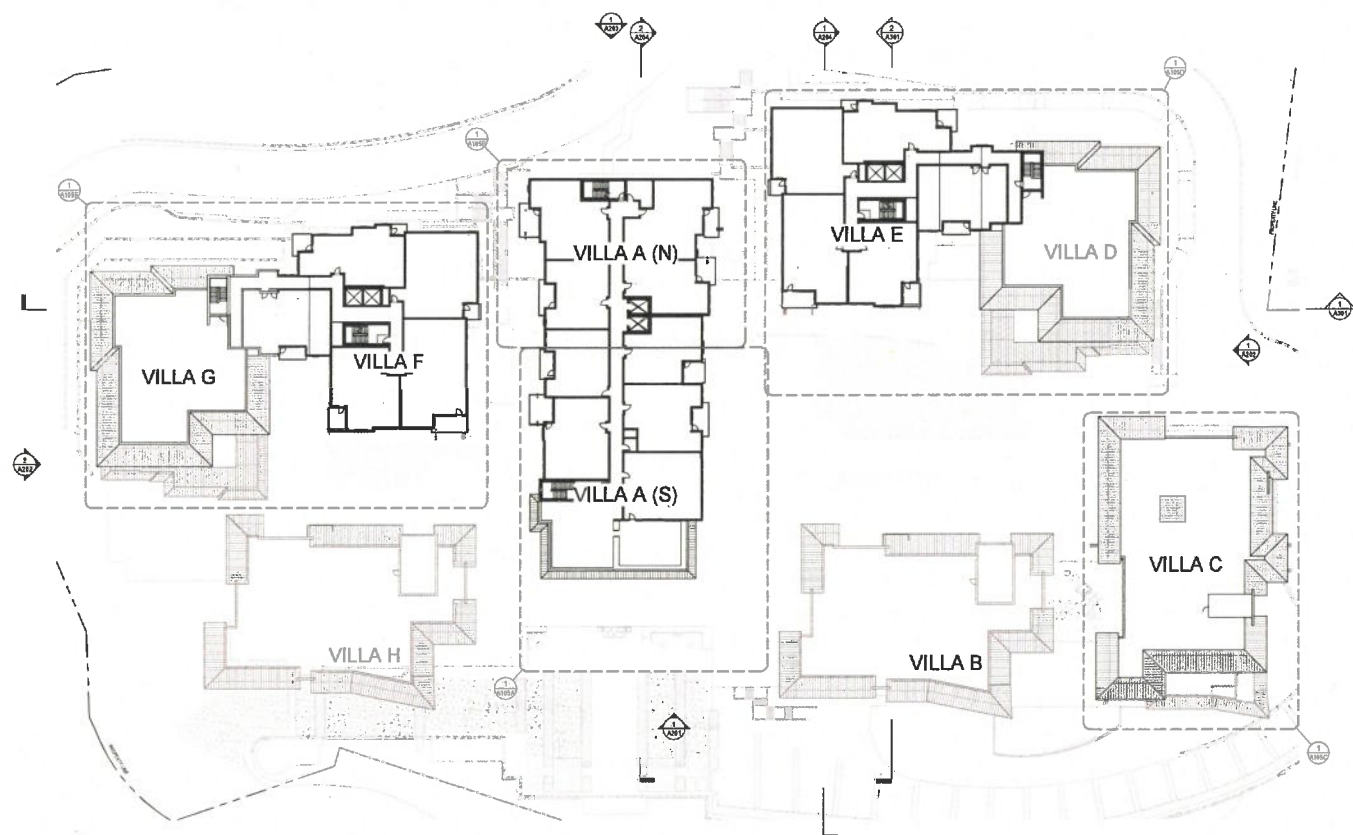
PROJECT TITLE:
LOS GATOS MEADOWS

110 WOOD ROAD
 LOS GATOS, CA 95030

PROJECT No: 70581.00
 DRAWING TITLE:
5TH FLOOR PLAN - OVERALL

SCALE: 1" = 30'-0"
A105
 PLANNING SUBMITTAL

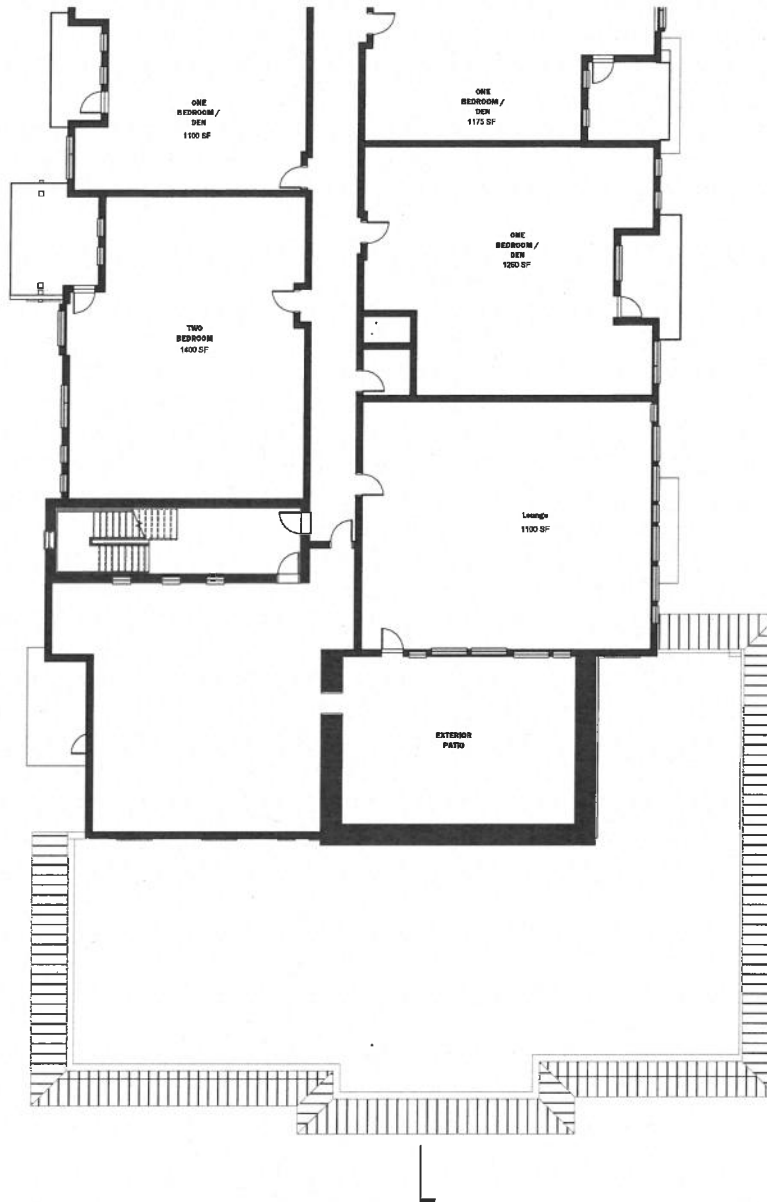
MAY 31, 2024



1 5TH FLOOR PLAN - OVERALL
 1" = 30'-0"

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1 5TH FLOOR PLAN - VILLA A SOUTH
 1/8" = 1'-0"

NO.	DATE	ISSUE

NOT FOR CONSTRUCTION



PERKINS EASTMAN
 100 Montgomery St., Suite 2100
 San Francisco, CA 94104
 T: +1 415 926 7000

Applicant:
 ROCKWOOD PACIFIC
 38 SOUTHWOOD DRIVE
 OREM, UT 84057
 (435) 816-7344

Owner:
 FRONT PORCH
 800 N. BROAD BLVD., 10TH FLOOR
 OAKLAND, CA 94612
 (510) 556-7400

City/State:
 ROSELLY-HORN
 407 CHABOT DRIVE, SUITE 300
 PLEASANTON, CA 94588
 (925) 393-4840

Landscape:
 D. LAWRENCE GATES

Structural:
 KPFF CONSULTING ENGINEERS
 45 FREMONT ST., 28TH FLOOR
 SAN FRANCISCO, CA 94105
 (415) 988-1004

Mechanical, Electrical & Plumbing:
 SILBERG
 150 CALIFORNIA ST., 3RD FLOOR
 SAN FRANCISCO, CA 94111
 (415) 398-7887

General Contractor:
 S.W. CYBER CONSTRUCTION
 4309 MACCENNA DR, SUITE 430
 PLEASANTON, CA 94588
 (925) 465-2800

PROJECT TITLE:
 LOS GATOS MEADOWS

110 WOOD ROAD
 LOS GATOS, CA 95030

PROJECT No: 70581.00

DRAWING TITLE:
 5TH FLOOR PLAN - VILLA A S

SCALE: 1/8" = 1'-0"

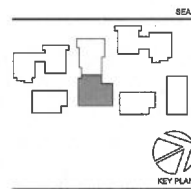
A105A

PLANNING SUBMITTAL

MAY 31, 2024

NO.	DATE	ISSUE

NOT FOR CONSTRUCTION



PERKINS EASTMAN
 135 Montgomery St., Suite 200
 San Francisco, CA 94104
 T: 415 774 7900

Applicant:
ROCKWOOD PACIFIC
 26 SOUTH AVOOD DRIVE
 CERRITA, CA 94508
 (415) 876-7944

Owner:
FRANCIS FORCH
 800 N. BRAND BLVD., 19TH
 FLOOR CA ENDALE, CA 91203
 (825) 956-7400

CM / SDR:
SEWLEY-BROWN
 4877 CHARLOT DRIVE, SUITE 300
 PLEASANTON, CA 94508
 (925) 398-4840

Landscape:
D. LAWRENCE GATES

Structure:
SPFF CONSULTING ENGINEERS
 45 FREDMONT ST., 28TH FLOOR
 SAN FRANCISCO, CA 94103
 (415) 585-1051

Mechanical, Electrical & Plumbing
ELDRIDGE
 155 CALIFORNIA ST., 3RD FLOOR
 SAN FRANCISCO, CA 94111
 (415) 398-7607

General Contractor:
WALSH O'NEILL CONSTRUCTION
 4200 HACIENDA DR, SUITE 200,
 PLEASANTON, CA 94588
 (925) 466-0299

PROJECT TITLE:
LOS GATOS MEADOWS

110 WOOD ROAD
 LOS GATOS, CA 95030

PROJECT No: 70581.00

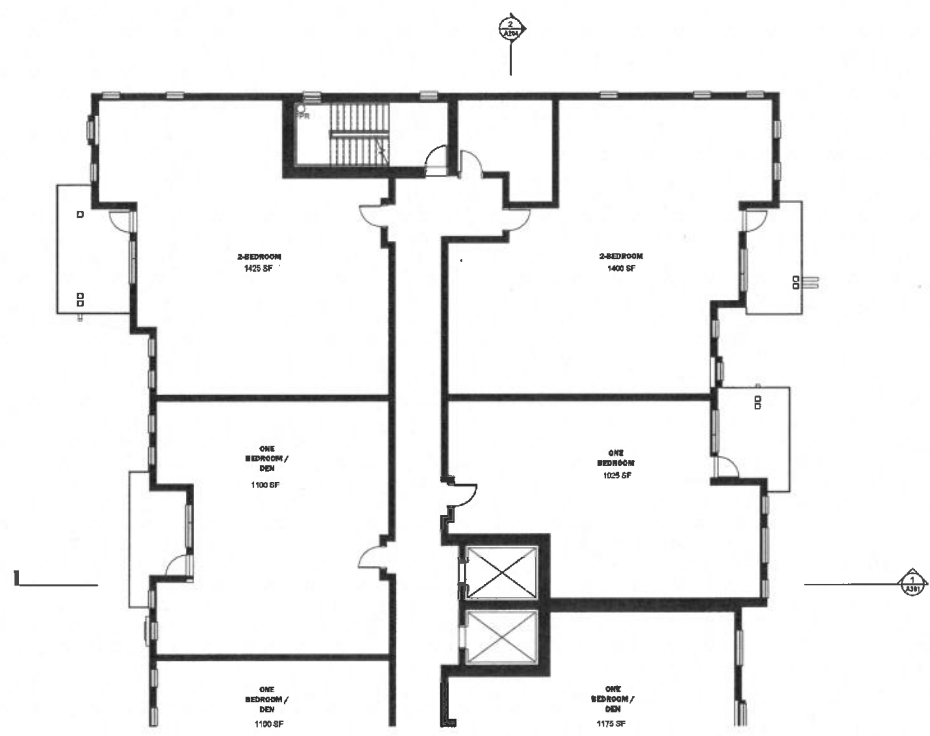
DRAWING TITLE:
5TH FLOOR PLAN - VILLA A N

SCALE: 1/8" = 1'-0"

A105B

PLANNING SUBMITTAL

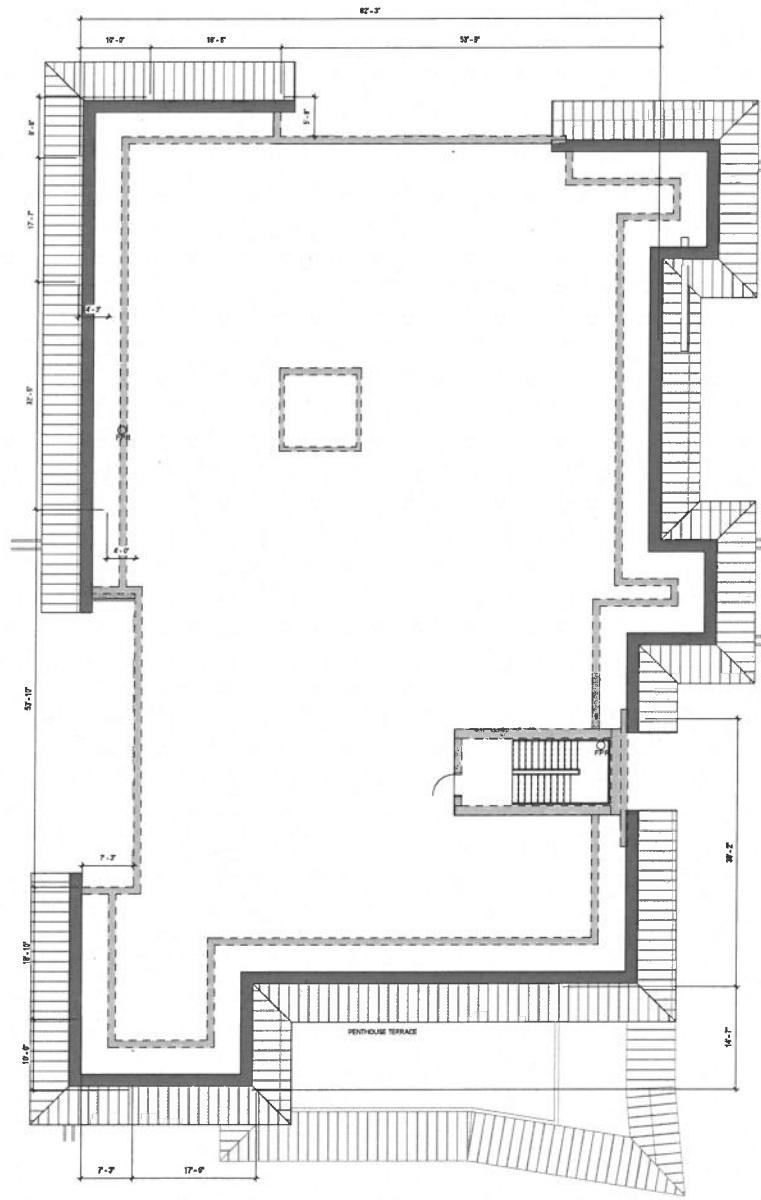
MAY 31, 2024



1 5TH FLOOR PLAN - VILLA A SOUTH
 1/8" = 1'-0"

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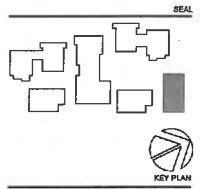
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1 5TH FLOOR PLAN - VILLA C
10'-1/4" = 1"

NO.	DATE	ISSUE

NOT FOR CONSTRUCTION



PERKINS EASTMAN
100 Montgomery St., Suite 2200
San Francisco, CA 94104
T: +1 415 638 7900

Applicant:
ROCKWOOD PACIFIC
38 SOUTHWOOD DRIVE
ORINDA, CA 94553
(415) 915-7344

Owner:
FRONT PORCH
300 N. BEAVER BLVD., 19TH
FLOOR OAKDALE, CA 91203
(925) 954-7425

Chief / Site:
KIMBLEY-HORN
4517 CHASLOT DRIVE, SUITE 300
PLEASANTON, CA 94588
(925) 398-4242

Landscape:
DR. LAWRENCE GATES

Structure:
KPF CONSULTING ENGINEERS
45 FREDRICK ST., 28TH FLOOR
SAN FRANCISCO, CA 94105
(415) 398-1001

Mechanical, Electrical & Plumbing:
GELBERG
150 CALIFORNIA CT., 3RD FLOOR
SAN FRANCISCO, CA 94111
(415) 398-7157

General Contractor:
W.E. O'NEIL CONSTRUCTION
4009 HACIENDA DR. SUITE 300,
PLEASANTON, CA 94588
(925) 466-2990

PROJECT TITLE:
LOS GATOS
MEADOWS

110 WOOD ROAD
LOS GATOS, CA 95030

PROJECT No: 70581.00

DRAWING TITLE:
5TH FLOOR PLAN -
VILLA C

SCALE: 1/8" = 1'-0"

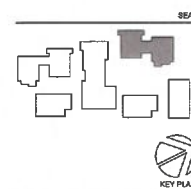
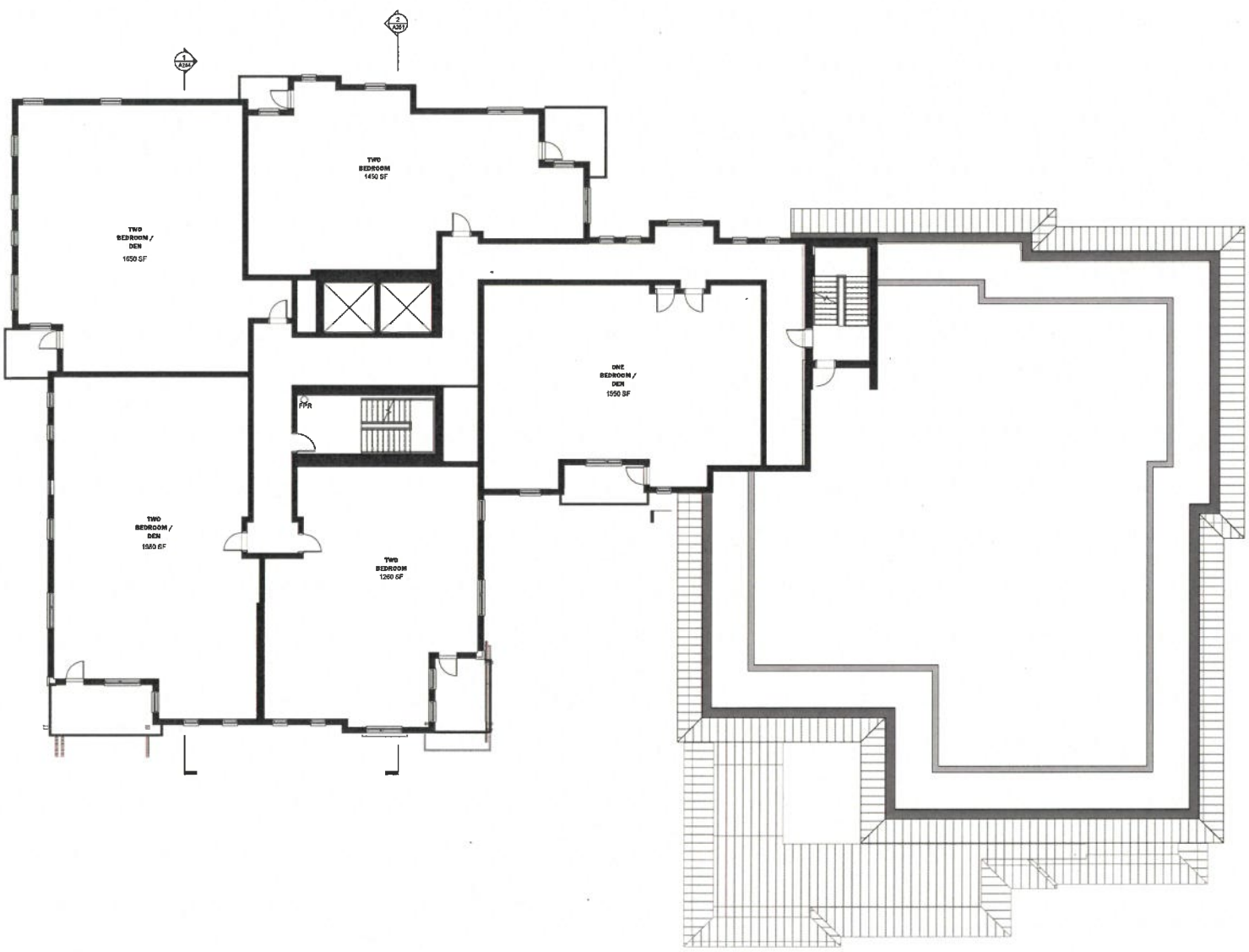
A105C

PLANNING SUBMITTAL

MAY 31, 2024

NO.	DATE	ISSUE

NOT FOR CONSTRUCTION



PERKINS EASTMAN
 100 Montgomery St., Suite 2000
 San Francisco, CA 94104
 T. +1 415 438 7800

Architect:
 ROCKWOOD PACIFIC
 38 SOUTHWOOD DRIVE
 OROVIA, CA 94953
 (415) 915-7341

Owner:
 PRINCEY FORESH
 800 N. BRAND BLVD., 19TH
 FLOOR GLENDALE, CA 91203
 (818) 955-7100

CM / GC:
 KIMBLEY-HOBBS
 4837 CHASLOT DRIVE, SUITE 300
 PLEASANTON, CA 94588
 (925) 308-4400

Landscape:
 D. LAWRENCE GATES

Structural:
 RUFFY CONSULTING ENGINEERS
 45 FREEMONT ST., 31TH FLOOR
 SAN FRANCISCO, CA 94105
 (415) 988-1004

Mechanical, Electrical & Plumbing:
 GILMOR & CO.
 150 CALIFORNIA ST., 3RD FLOOR
 SAN FRANCISCO, CA 94111
 (415) 398-7857

General Contractor:
 W.J. O'NEIL CONSTRUCTION
 4208 HACIENDA DR. SUITE 520
 PLEASANTON, CA 94588
 (925) 466-2990

PROJECT TITLE:
LOS GATOS MEADOWS

110 WOOD ROAD
 LOS GATOS, CA 95030

PROJECT No: 70581.00

DRAWING TITLE:
5TH FLOOR PLAN - VILLA D & E

SCALE: 1/8" = 1'-0"

A105D

PLANNING SUBMITTAL

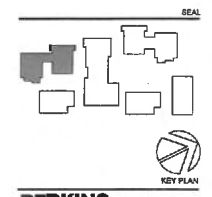
MAY 31, 2024

1 **5TH FLOOR PLAN - VILLA D & E**
 1/8" = 1'-0"

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NO.	DATE	ISSUE

NOT FOR CONSTRUCTION



PERKINS EASTMAN
 100 Montgomery St., Suite 2100
 San Francisco, CA 94104
 T. 415 924 7000

Applicant:
 ROCKWOOD PACIFIC
 22 SOUTHWOOD DRIVE
 ORINDA, CA 94655
 (415) 9167344

Owner:
 FRONTIER CORP
 300 W. BRAND BLVD., 15TH FLOOR
 OAKLAND, CA 94612
 (510) 555-1600

CM / GC:
 KIMBLEY-HOORN
 4021 CHARLOT DRIVE, SUITE 300
 PLEASANTON, CA 94588
 (925) 398-4840

Landscape:
 D. LAWRENCE GATES

Structural:
 RUFF CONSULTING ENGINEERS
 45 FREIGHT ST., 28TH FLOOR
 SAN FRANCISCO, CA 94109
 (415) 398-1004

Mechanical, Electrical & Plumbing:
 GLOMAC
 150 CALIFORNIA ST., 3RD FLOOR
 SAN FRANCISCO, CA 94111
 (415) 398-7867

General Contractor:
 W.J. OYERL CONSTRUCTION
 4209 HACIENDA DR SUITE 530,
 PLEASANTON, CA 94588
 (925) 465-2890

PROJECT TITLE:
 LOS GATOS MEADOWS

110 WOOD ROAD
 LOS GATOS, CA 95030

PROJECT No: 70581.00

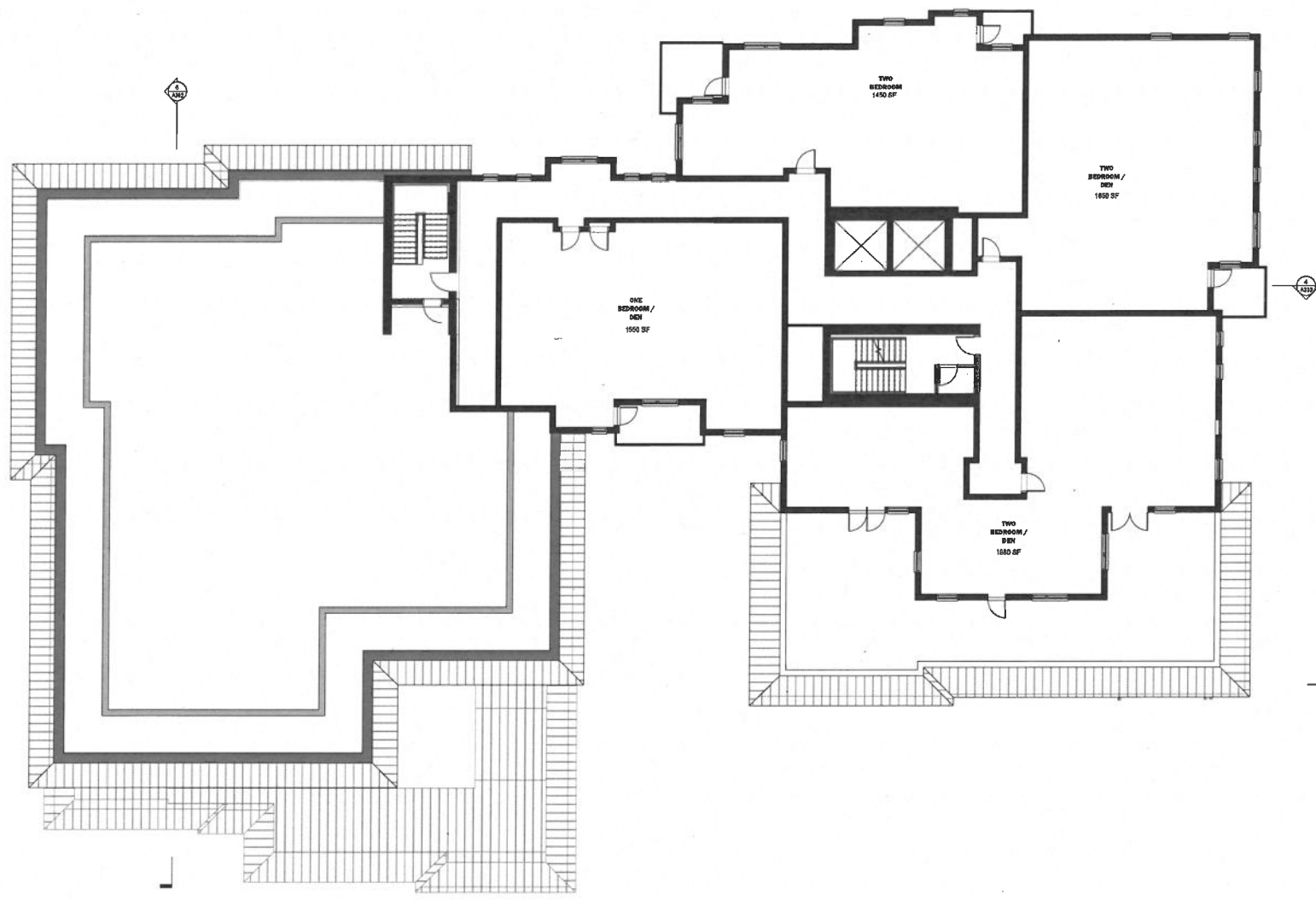
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 5TH FLOOR PLAN - VILLA F & G

SCALE: 1/8" = 1'-0"

A105E

PLANNING SUBMITTAL

MAY 31, 2024

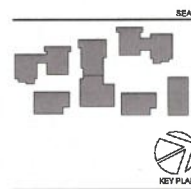


1 5TH FLOOR PLAN - VILLA F & G
 1/8" = 1'-0"

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NO.	DATE	ISSUE

NOT FOR CONSTRUCTION



PERKINS EASTMAN
100 Montgomery St., Suite 3000
San Francisco, CA 94104
T: 415 224-7900

Architect:
ROCKWOOD PACIFIC
28 SOUTHWOOD DRIVE
OXBOW, CA 94553
(415) 978-7944

Owner:
FRISBY PORCH
800 N. BRAND BLVD., 18TH
FLOOR, MENLO PARK, CA 94025
(925) 855-7900

Civil / Site:
ROBBLEY-GARDNER
4837 CHARLOT DRIVE, SUITE 300
PLEASANTON, CA 94588
(925) 388-4840

Landscape:
D. LAWRENCE GATES

Structural:
REPP CONSULTING ENGINEERS
45 FREMONT ST., 28TH FLOOR
SAN FRANCISCO, CA 94105
(415) 398-1004

Mechanical, Electrical & Plumbing:
BILTMAC
100 CALIFORNIA ST., 2ND FLOOR
SAN FRANCISCO, CA 94111
(415) 398-7507

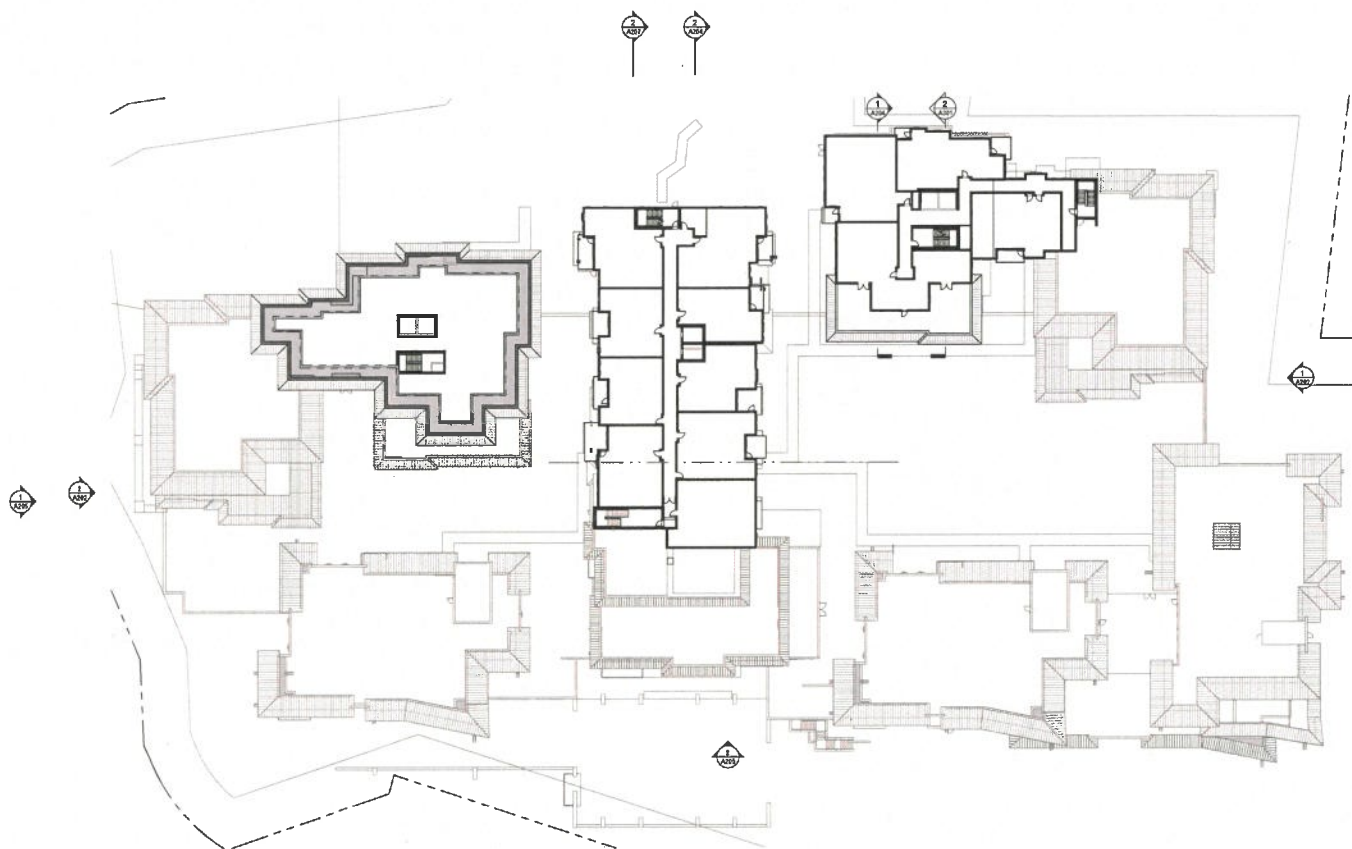
General Contractor:
W.E. O'NEIL CONSTRUCTION
4300 SACRAMENTO DR, SUITE 300,
PLEASANTON, CA 94588
(925) 464-2060

PROJECT TITLE:
LOS GATOS MEADOWS

110 WOOD ROAD
LOS GATOS, CA 95030

PROJECT No: 70581.00
DRAWING TITLE:
6TH FLOOR PLAN - OVERALL

SCALE: 1" = 30'-0"
A106
PLANNING SUBMITTAL
MAY 31, 2024

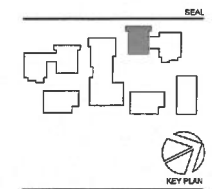


1 FLOOR 6 - VILLA E & D Copy 1
1" = 30'-0"

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NO.	DATE	ISSUE

NOT FOR CONSTRUCTION



PERKINS EASTMAN
 135 Montgomery St., Suite 2500
 San Francisco, CA 94104
 T. 415 435 7000

Applicant:
 RIDGEMOOD PACIFIC
 28 SOUTHWOOD DRIVE
 ORLANDO, CA 94553
 (415) 815-7044

Owner:
 FRONTIER FORENSIC
 800 N. BRAND BLVD., 10TH FLOOR
 GLENDALE, CA 91203
 (626) 555-7100

Architect:
 PERKINS EASTMAN

Interior Design:
 KIMBLEY-HORN
 4027 CHABOT DRIVE, SUITE 300
 PLEASANTON, CA 94588
 (925) 395-4540

Landscaper:
 D. LAWRENCE GATES

Structural:
 KOFFY CONSULTING ENGINEERS
 46 FREEMONT ST., 20TH FLOOR
 SAN FRANCISCO, CA 94102
 (415) 393-1004

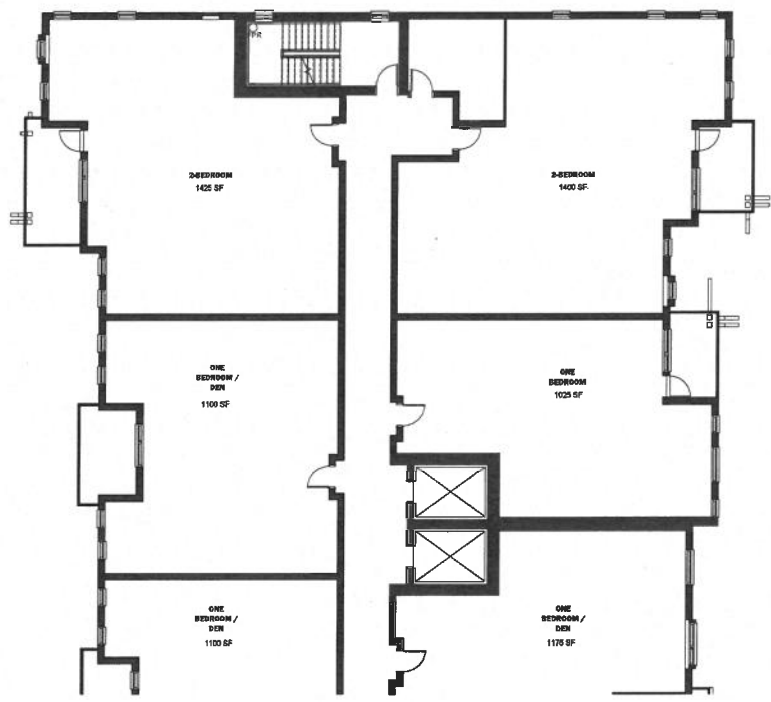
Mechanical, Electrical & Plumbing:
 GLENNAC
 150 CALIFORNIA ST., 19TH FLOOR
 SAN FRANCISCO, CA 94111
 (415) 393-7567

General Contractor:
 W&L PHASE II CONSTRUCTION
 4309 HACIENDA DR SUITE 530,
 PLEASANTON, CA 94588
 (925) 466-2990

PROJECT TITLE:
 LOS GATOS MEADOWS
 110 WOOD ROAD
 LOS GATOS, CA 95030

PROJECT No.: 70581.00
DRAWING TITLE:
 6TH FLOOR PLAN - VILLA A N

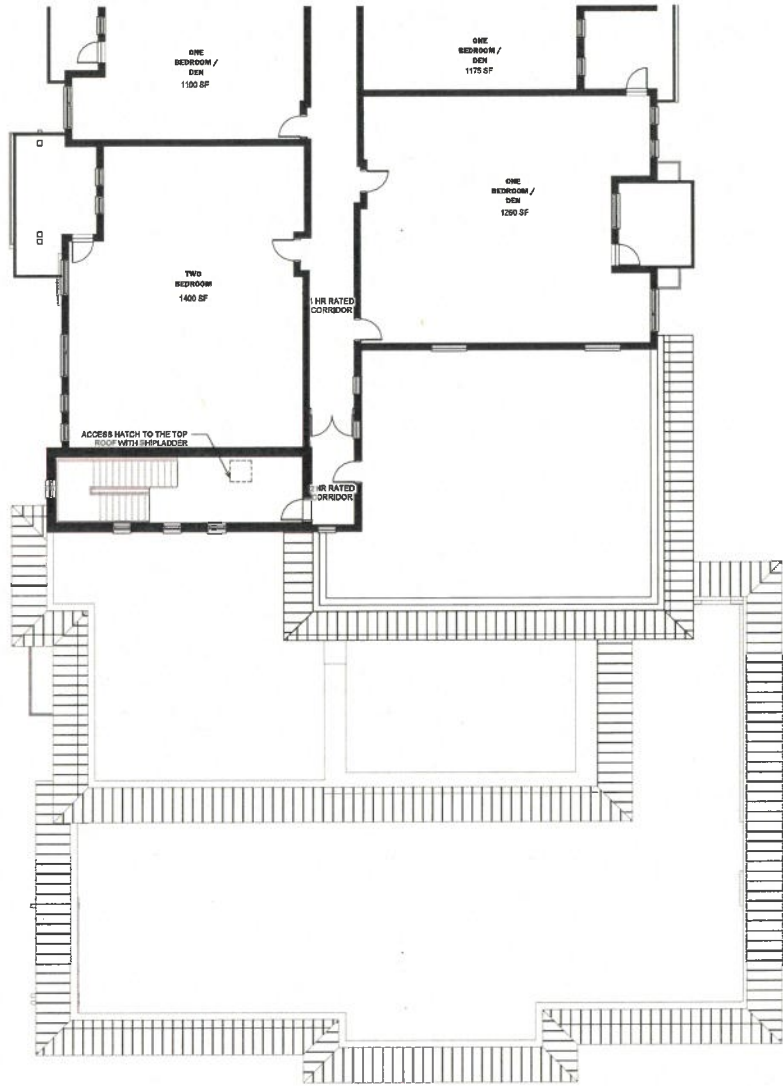
SCALE: 1/8" = 1'-0"
A106A
 PLANNING SUBMITTAL
 MAY 31, 2024



1 6TH FLOOR PLAN - VILLA A NORTH
 1/8" = 1'-0"

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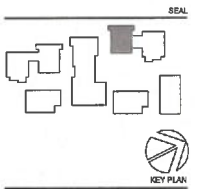
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1 6TH FLOOR PLAN - VILLA A SOUTH
10' = 1"

NO.	DATE	ISSUE

NOT FOR CONSTRUCTION



PERKINS EASTMAN
 100 Montgomery St., Suite 2000
 San Francisco, CA 94104
 T: 415 435 7000

Applicant:
ROCKWOOD PACIFIC
 38 SOUTHWOOD DRIVE
 ORINDA, CA 94553
 (415) 918-7944

Owner:
FRONT PORCH
 800 N. BRAND BLVD., 10TH
 FLOOR, GLENDALE, CA 91201
 (626) 956-7400

CM / GC:
SMILEY GROUP
 4537 GARBOY DRIVE, SUITE 300
 PLEASANTON, CA 94588
 (925) 358-4540

Landscape:
D. LAWRENCE GATES

Structure:
KPFF CONSULTING ENGINEERS
 45 FREMONT ST., 28TH FLOOR
 SAN FRANCISCO, CA 94105
 (415) 988-1004

Mechanical, Electrical & Plumbing:
GLUMBEG
 150 CALIFORNIA ST., 3RD FLOOR
 SAN FRANCISCO, CA 94111
 (415) 398-7617

General Contractor:
W.J. OPWELL CONSTRUCTION
 4200 MARCELA DR, SUITE 630,
 PLEASANTON, CA 94508
 (925) 464-2000

PROJECT TITLE:
LOS GATOS MEADOWS

110 WOOD ROAD
 LOS GATOS, CA 95030

PROJECT No: 70581.00

DRAWING TITLE:
6TH FLOOR PLAN - VILLA A S

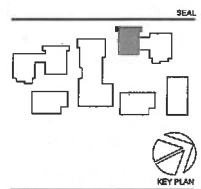
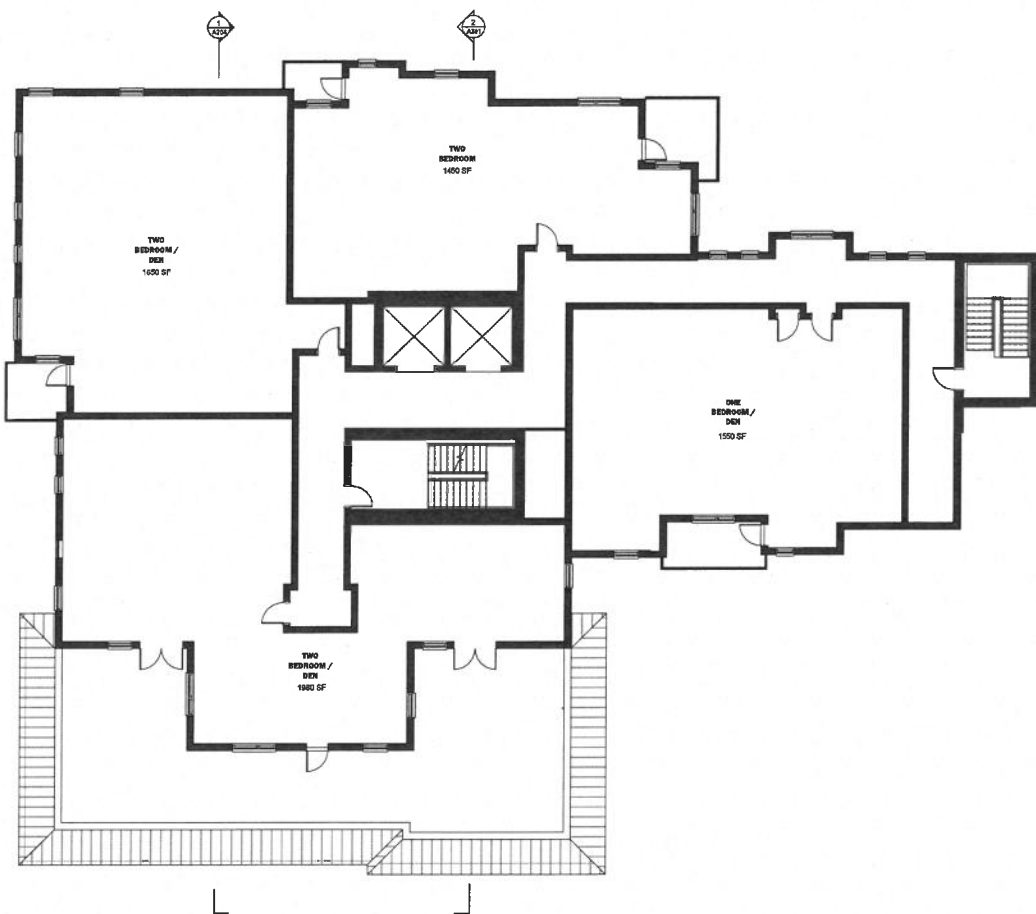
SCALE: 1/8" = 1'-0"

A106B
 PLANNING SUBMITTAL

MAY 31, 2024

NO.	DATE	ISSUE

NOT FOR CONSTRUCTION



PERKINS EASTMAN
 100 Montgomery St., Suite 2500
 San Francisco, CA 94104
 T. +1 415 924 7000

Applicant:
ROCKWOOD PACIFIC
 18 SOUTHWOOD DRIVE
 OAKLAND, CA 94613
 (415) 818-7944

Owner:
PRENT FORTCH
 5017E BRAND BLVD, 18TH
 FLOOR GLENDALE, CA 91203
 (925) 954-7400

CM/Arch:
HEBLEY-ROBBINS
 4557 CHARLOT DRIVE, SUITE 300
 PLEASANTON, CA 94588
 (925) 398-4540

Landscape:
D. LAWRENCE BATES

Structural:
KIPP CONSULTING ENGINEERS
 45 FREMONT ST., 20TH FLOOR
 SAN FRANCISCO, CA 94105
 (415) 988-7004

Mechanical, Electrical & Plumbing:
ELM&C
 150 CALIFORNIA ST., 3RD FLOOR
 SAN FRANCISCO, CA 94111
 (415) 398-7867

General Contractor:
WAL O'NEIL CONSTRUCTION
 4329 HACIENDA DR SUITE 500
 PLEASANTON, CA 94558
 (925) 468-2990

PROJECT TITLE:
LOS GATOS MEADOWS

110 WOOD ROAD
 LOS GATOS, CA 95030

PROJECT No: 70581.00

DRAWING TITLE:
6TH FLOOR PLAN - VILLA E

SCALE: 1/8" = 1'-0"

A106C

PLANNING SUBMITTAL

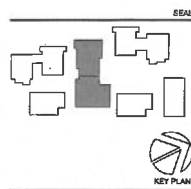
MAY 31, 2024

1 FLOOR 6 - VILLA E & D
 1/8" = 1'-0"

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NO.	DATE	ISSUE

NOT FOR CONSTRUCTION



PERKINS EASTMAN
 130 Montgomery St., Suite 2300
 San Francisco, CA 94104
 T: +1 415 888 7800

Applicant:
 ROCKWOOD PACIFIC
 38 SOUTHWOOD DRIVE
 ORINDA, CA 94553
 (415) 970-7344

Owner:
 FRONT PORCH
 800 N. BRAND BLVD., 18TH
 FLOOR GLENDALE, CA 91203
 (952) 896-7490

CM/EA Firm:
 HEBLEY-ANDRUS
 4837 GARIBOLDI DRIVE, SUITE 300
 PLEASANTON, CA 94588
 (925) 398-4840

Landscape:
 D. LAWRENCE GATES

Structural:
 KPFF CONSULTING ENGINEERS
 45 FREMONT ST., 28TH FLOOR
 SAN FRANCISCO, CA 94105
 (415) 899-1004

Mechanical, Electrical & Plumbing:
 BLDWAG
 150 CALIFORNIA ST., 3RD FLOOR
 SAN FRANCISCO, CA 94111
 (415) 396-7667

General Contractor:
 W&J SPYER CONSTRUCTION
 4309 MACRENOVA DR. SUITE 530,
 PLEASANTON, CA 94588
 (925) 465-2890

PROJECT TITLE:
 LOS GATOS
 MEADOWS

110 WOOD ROAD
 LOS GATOS, CA 95030

PROJECT No: 70581.00

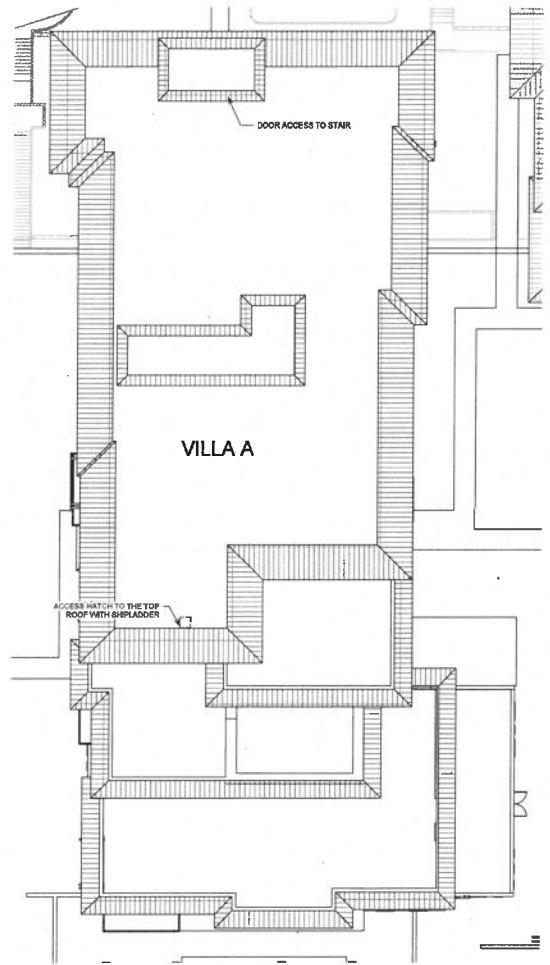
DRAWING TITLE:
 ROOF PLAN -
 BUILDING A

SCALE: 1/8" = 1'-0"

A107A

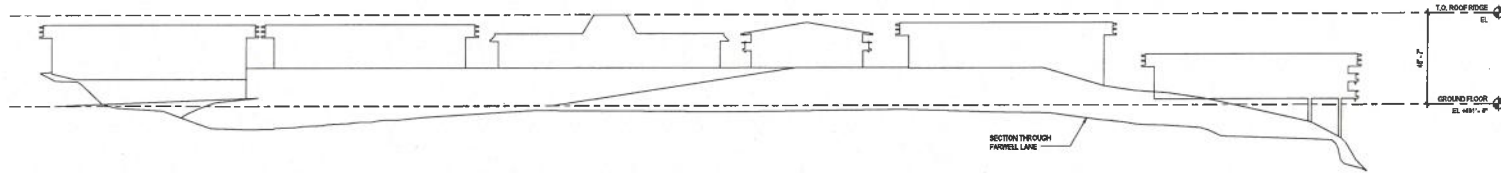
PLANNING SUBMITTAL

MAY 31, 2024



1 ROOF PLAN - OVERALL
 1/8" = 1'-0"

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1 EXISTING ELEVATION_SOUTH-EAST
T = 1/8" = 1'-0"



3 VIEW LEGEND - EXISTING ELEVATION - SE
1/2" = 114'

NO.	DATE	ISSUE

NOT FOR CONSTRUCTION

SEAL



PERKINS EASTMAN
135 Montgomery St., Suite 1500
San Francisco, CA 94104
T: 415 638 7600

Applicant:
ROCKWOOD PACIFIC
26 SOUTHWOOD DRIVE
ORLANDO, CA 94563
(415) 815-7844

Owner:
FRONT PORCH
800 N. BRAND BLVD. 10TH
FLOOR GLENDALE, CA 91203
(626) 945-0200

Civil / Site:
ISABELLY-HORN
857 CHARCOT DRIVE, SUITE 300
PLEASANTON, CA 94588
(925) 335-4840

Landscape:
D. LAWRENCE GATES

Structure:
KPF CONSULTING ENGINEERS
45 FREMONT ST. 26TH FLOOR
SAN FRANCISCO, CA 94105
(415) 963-1054

Mechanical, Electrical & Plumbing:
ELUMAC
150 CALIFORNIA ST. 3RD FLOOR
SAN FRANCISCO, CA 94111
(415) 398-7967

General Contractor:
W.E. O'NEIL CONSTRUCTION
408 HAZENDA DR. SUITE 530
PLEASANTON, CA 94588
(925) 464-2590

PROJECT TITLE:
LOS GATOS MEADOWS
110 WOOD ROAD
LOS GATOS, CA 95030

PROJECT No: 70581.00

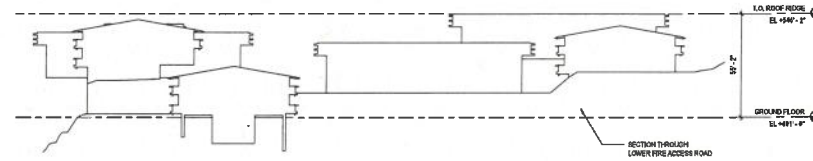
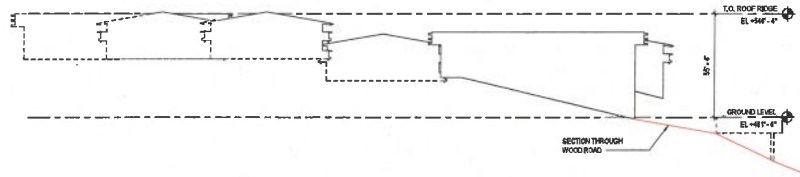
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EXISTING EXTERIOR ELEVATIONS

SCALE: As Indicated

A201-E

PLANNING SUBMITTAL

MAY 31, 2024



2 EXISTING ELEVATION SOUTH-WEST
1" = 30'-0"

1 EXISTING ELEVATION NORTH-EAST
1" = 30'-0"



4 VIEW LEGEND - EXISTING ELEVATION - SW-NE
1/2" = 1'-0"

NO.	DATE	ISSUE

NOT FOR CONSTRUCTION



PERKINS EASTMAN
100 Montgomery St., Suite 2700
San Francisco, CA 94104
T. 415 436 7900

Applicant:
ROCKWOOD PACIFIC
36 SOUTHWOOD DRIVE
ORINDA, CA 94553
(415) 915-7344

Owner:
FRONTIER PORCH
800 W. BRAND BLVD., 19TH
FLOOR OLENDALE, CA 91233
(323) 854-7100

CHIEF / CIVIL:
HUBBLEY-ARMON
4637 CHASITY DRIVE, SUITE 300
PLEASANTON, CA 94588
(925) 398-8480

Landscape:
D. LAWRENCE GATSBY

Structure:
RUFFY CONSULTING ENGINEERS
46 FIDELITY ST., 20TH FLOOR
SAN FRANCISCO, CA 94105
(415) 985-1004

Mechanical, Electrical & Plumbing:
GILMACK
150 CALIFORNIA ST., 3RD FLOOR
SAN FRANCISCO, CA 94111
(415) 398-7557

General Contractor:
W.S. O'NEIL CONSTRUCTION
4329 HACIENDA DR SUITE 200
PLEASANTON, CA 94588
(925) 466-2990

PROJECT TITLE:
LOS GATOS
MEADOWS
110 WOOD ROAD
LOS GATOS, CA 95030

PROJECT No: 70581.00
DRAWING TITLE:
EXISTING EXTERIOR
ELEVATIONS

SCALE: AS SHOWN

A202-E

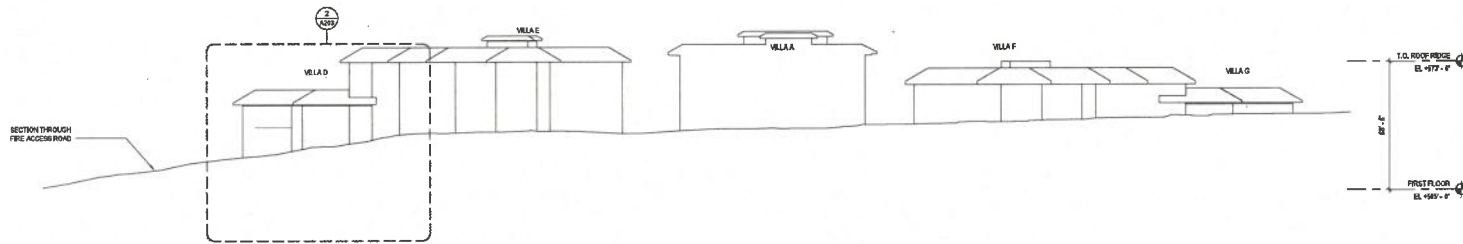
PLANNING SUBMITTAL

MAY 31, 2024

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2 VILLA D NORTH-WEST ELEVATION
 1/8" = 1'-0" NOTE: SEE SHEET A201 FOR MATERIAL BOARD



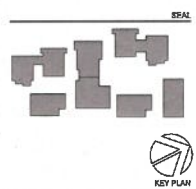
1 NORTH-WEST ELEVATION
 1" = 30'-0"

MATERIAL LEGEND

RF-1		ROOF - STANDING SEAM
ST-1		STONE TILE
MC-1		PAINTED METAL
EX-1		DELCONY FINISH
GL-2		GALVALUME GLASS
MP-1		METAL PANEL BOND
MC-2		VERTICAL STANDING SEAM
EX-2		CONCRETE PANEL BOND

NO.	DATE	REVISION

NOT FOR CONSTRUCTION



PERKINS EASTMAN
 100 Montgomery St., Suite 2300
 San Francisco, CA 94104
 T. 415 774 7000

Applicant:
 ROCKWOOD PACIFIC
 38 SOUTHWOOD DRIVE
 OAKDALE, CA 94553
 (415) 918-7844

Owner:
 PRASANT POKHAR
 800 N. BRAND BLVD., 19TH
 FLOOR GLENDALE, CA 91203
 (626) 956-7100

CM / S/C:
 KOBLEBY-ANDERSON
 4837 CHABOT DRIVE, SUITE 200
 PLEASANTON, CA 94588
 (925) 398-4400

Landscape:
 D. LAWRENCE GATNER

Structural:
 JOSEPH C. DIMARZANO ENGINEERS
 45 TREMONT ST., 20TH FLOOR
 SAN FRANCISCO, CA 94105
 (415) 398-1004

Mechanical, Electrical & Plumbing:
 GLOWACKI
 150 CALIFORNIA ST., 3RD FLOOR
 SAN FRANCISCO, CA 94111
 (415) 398-7007

General Contractor:
 W&L O'NEILL CONSTRUCTION
 4205 HARRISON DR. SUITE 500
 PLEASANTON, CA 94588
 (925) 466-2990

PROJECT TITLE:
LOS GATOS MEADOWS

110 WOOD ROAD
 LOS GATOS, CA 95030

PROJECT No: 70581.00
 DRAWING TITLE:
EXTERIOR ELEVATIONS NW

SCALE: As Indicated

A203

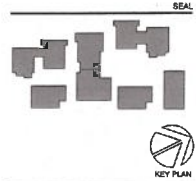
PLANNING SUBMITTAL

MAY 31, 2024



NO.	DATE	ISSUE

NOT FOR CONSTRUCTION



PERKINS EASTMAN
100 Montgomery St., 16th-22nd
San Francisco, CA 94104
T: +1 415 776 7900

Applicant:
BROOKWOOD PACIFIC
36 SOUTHWOOD DRIVE
ORINDA, CA 94553
(415) 816-7344

Owner:
PROPERTY FORMER
500 H BRAND BLVD, 19TH
FLOOR GLENDALE, CA 91203
(323) 956-1100

CM / Site:
MOBILITY WORKS
4537 CHASOT DRIVE, SUITE 300
PLEASANTON, CA 94566
(925) 396-6840

Landscape:
D. LAWRENCE GATES

Structural:
KOPPE CONSULTING ENGINEERS
41 FREEMONT ST, 28TH FLOOR
SAN FRANCISCO, CA 94105
(415) 395-1004

Mechanical, Electrical & Plumbing:
GLUMAC
200 CALIFORNIA ST, 3RD FLOOR
SAN FRANCISCO, CA 94111
(415) 398-7507

General Contractor:
W.M. O'NEIL CONSTRUCTION
6200 WASHINGTON DR SUITE 600
PLEASANTON, CA 94566
(925) 466-2199

PROJECT TITLE:
LOS GATOS MEADOWS

110 WOOD ROAD
LOS GATOS, CA 95030

PROJECT No: 70581.00

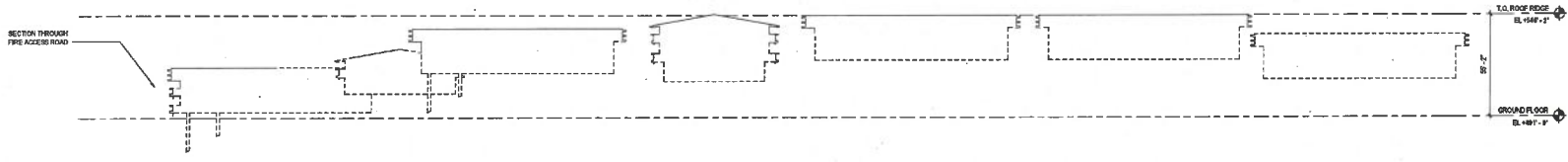
DRAWING TITLE:
EXISTING EXTERIOR ELEVATIONS

SCALE: As Indicated

A203-E

PLANNING SUBMITTAL

MAY 31, 2024



1 **EXISTING ELEVATION NORTH-WEST**
1" = 20'-0"



3 **VIEW LEGEND - EXISTING ELEVATION - NW**
1/2" = 10'-0"

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25/05/2024 11:16:27 AM

NO.	DATE	ISSUE

NOT FOR CONSTRUCTION



PERKINS EASTMAN
 100 Montgomery St., Suite 2500
 San Francisco, CA 94104
 T: +1 415 225 7700

Applicant:
 ROCKWOOD PACIFIC
 30 SOUTHWOOD DRIVE
 ORINDA, CA 94550
 (925) 816-7294

Owner:
 FRONT PORCH
 800 N. BRAND BLVD., 10TH
 FLOOR GLENDALE, CA 91203
 (825) 355-7400

Chief / Site:
 KIMBLEY-HORN
 4577 CHERRY DRIVE, SUITE 300
 PLEASANTON, CA 94588
 (925) 308-4340

Landscape:
 D. LAWRENCE GATES

Structural:
 KOPF CONSULTING ENGINEERS
 45 FREMONT ST., 28TH FLOOR
 SAN FRANCISCO, CA 94105
 (415) 398-3000

Mechanical, Electrical & Plumbing:
 4LDRMAG
 550 CALIFORNIA ST., 3RD FLOOR
 SAN FRANCISCO, CA 94111
 (415) 398-7267

General Contractor:
 W.J. O'NEIL CONSTRUCTION
 4005 HACIENDA DR. SUITE 300
 PLEASANTON, CA 94509
 (925) 466-2990

PROJECT TITLE:
 LOS GATOS MEADOWS

110 WOOD ROAD
 LOS GATOS, CA 95030

PROJECT No: 70581.00

DRAWING TITLE:
 Section B E

SCALE: 1" = 20'-0"

A204

PLANNING SUBMITTAL

MAY 31, 2024



2 **Section 11**
 1" = 20'-0"



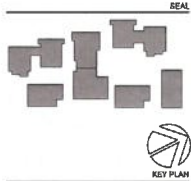
1 **Section 10**
 1" = 20'-0"

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NO.	DATE	ISSUE

NOT FOR CONSTRUCTION



PERKINS EASTMAN
100 Montgomery St., Suite 2100
San Francisco, CA 94104
T: +1 415 435 7600

Applicant:
WOODBRIDGE PACIFIC
36 SOUTHWOOD DRIVE
OAKLAND, CA 94602
(415) 816-7044

Owner:
FRONT PORCH
800 N. SHAW BLVD., 10TH
FLOOR OAKLAND, CA 94608
(510) 950-0400

CM / Snc:
KIMLEY-HORN
4057 CHEVROTT DRIVE, SUITE 300
PLEASANTON, CA 94588
(925) 306-4500

Landscape:
DR. LAWRENCE GATES

Structural:
TUFFY CONSULTING ENGINEERS
45 FREDMONT ST., 28TH FLOOR
SAN FRANCISCO, CA 94105
(415) 269-3001

Mechanical, Electrical & Plumbing:
ELMHEAD
150 CALIFORNIA ST., 2ND FLOOR
SAN FRANCISCO, CA 94111
(415) 269-7557

General Contractor:
W.E. OWENS CONSTRUCTION
4000 MARICOPA DR. SUITE 500
PLEASANTON, CA 94509
(925) 466-2990

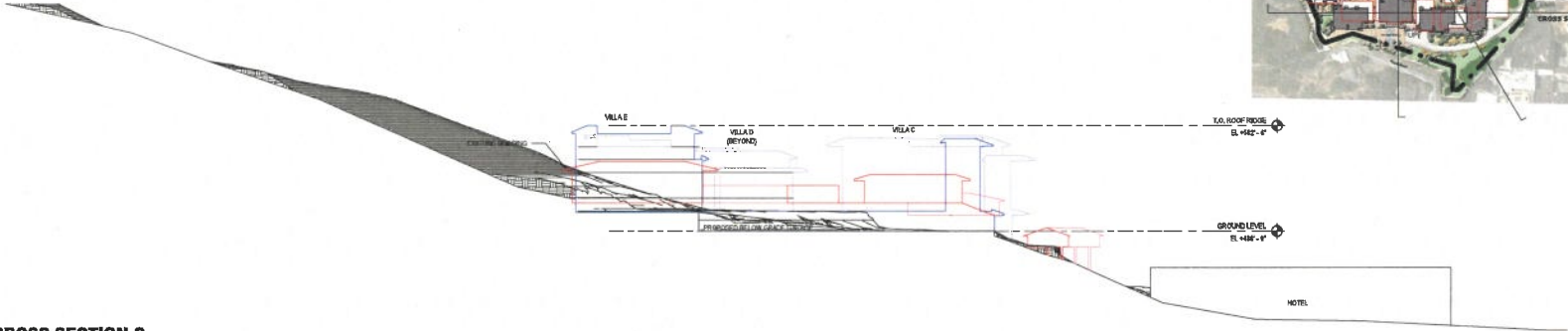
PROJECT TITLE:
LOS GATOS MEADOWS
110 WOOD ROAD
LOS GATOS, CA 95030

PROJECT No: 70561.00
DRAWING TITLE:
SITE CROSS-SECTIONS

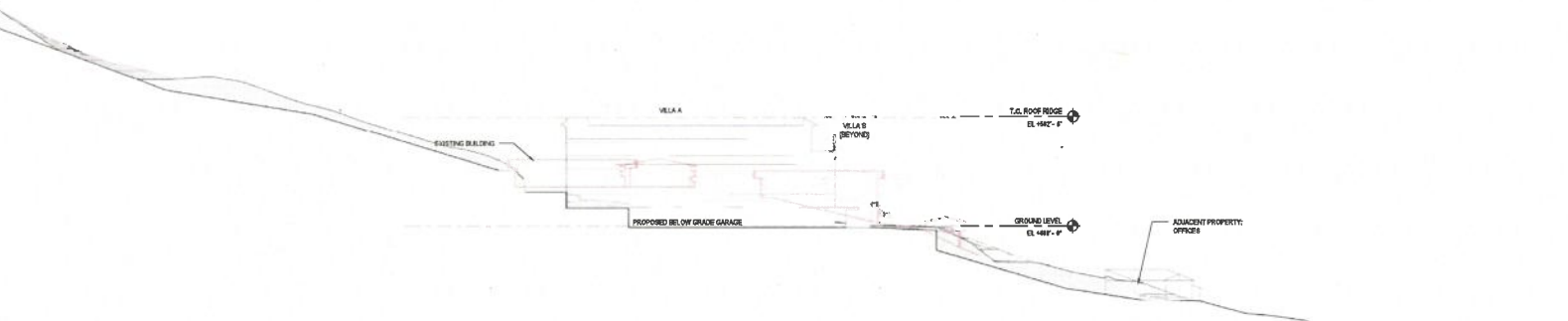
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A207
PLANNING SUBMITTAL

MAY 31, 2024

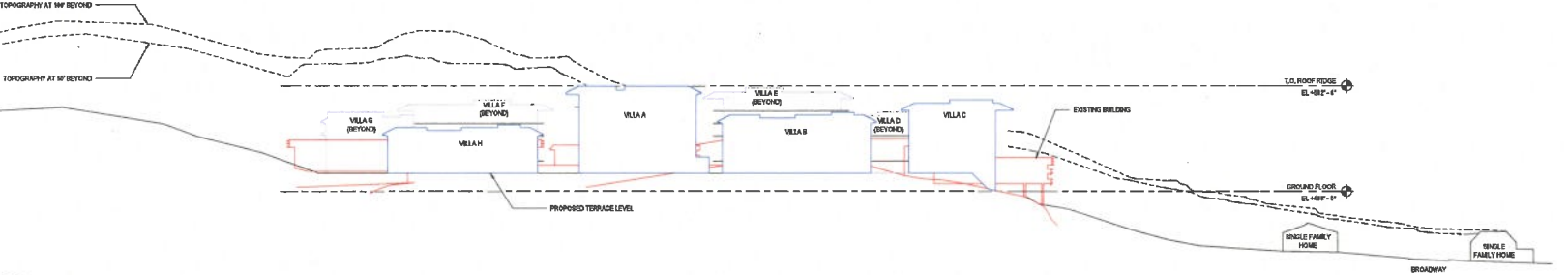
3 CROSS SECTION C
1" = 50'-0"



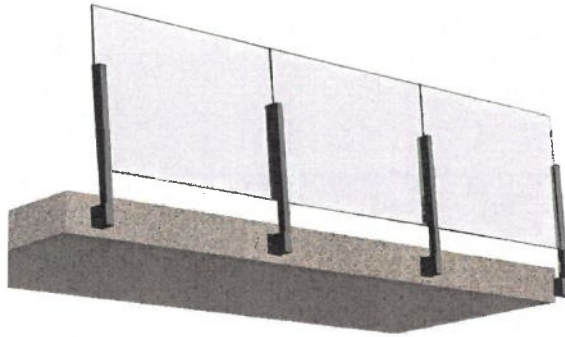
2 CROSS SECTION B
1" = 10'-0"



1 CROSS SECTION A
1" = 50'-0"



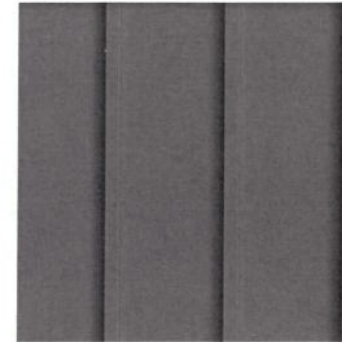
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BALCONY GUARDRAIL ASSEMBLY STYLE
(GL-2) GUARDRAIL GLASS
(EX-2) BALCONY FINISH



WOOD-LOOK ALUMINUM SOFFIT



(RF-1) STANDING SEAM ROOF

NO.	DATE	ISSUE

NOT FOR CONSTRUCTION



SEAL



PERKINS EASTMAN
 135 Montgomery St., Suite 2000
 San Francisco, CA 94104
 T: 415.850.7900

Architect:
ROCKWOOD PACIFIC
 38 SOUTH AVENUE DRIVE
 OROVIA, CA 94953
 (415) 815-7344

Owner:
FRONT PORCH
 500 N. BRAND BLVD., 19TH FLOOR
 GLENDALE, CA 91203
 (925) 856-7000

CM/Architect:
WIMBLET-NORRIS
 4537 CHABOT DRIVE, SUITE 300
 PLEASANTON, CA 94588
 (925) 396-4440

Landscape:
D. LAWRENCE GATES

Structural:
ROFF CONSULTING ENGINEERS
 40 FREDRICK ST., 20TH FLOOR
 SAN FRANCISCO, CA 94102
 (415) 398-1000

Mechanical, Electrical & Plumbing:
GLUMBERG
 150 CALIFORNIA ST., 3RD FLOOR
 SAN FRANCISCO, CA 94111
 (415) 398-7000

General Contractor:
W.J. O'NEIL CONSTRUCTION
 4200 HAYDEN DR. SUITE 500
 PLEASANTON, CA 94588
 (925) 666-0290

PROJECT TITLE:
LOS GATOS MEADOWS

110 WOOD ROAD
 LOS GATOS, CA 95030

PROJECT No: 70581.00

DRAWING TITLE:
MATERIAL BOARD

SCALE:

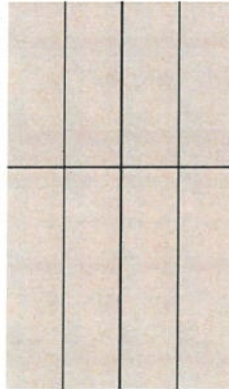
A208

PLANNING SUBMITTAL

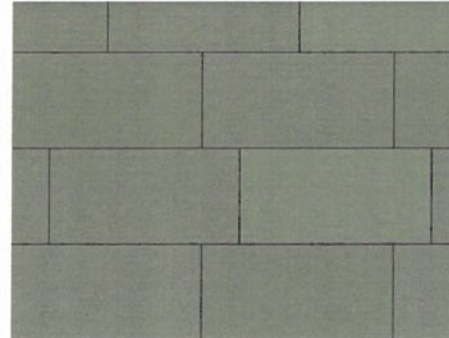
MAY 31, 2024



(ST-1) STONE TILE



(MP-2) VERTICAL STANDING SEAM



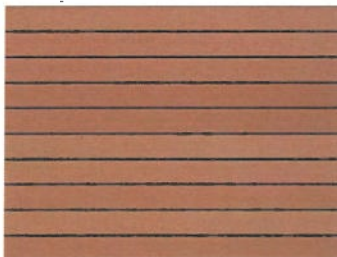
(MP-1) METAL PANEL SIDING



(MC-1) PAINTED METAL



LIGHT FIXTURE EXTERIOR (WALL-MOUNTED SCONCE) AT ENTRY CANOPY



(MP-3) HORIZONTAL METAL PANEL W/ WOOD-LOOK



(EX-1) CONCRETE PANEL SIDING



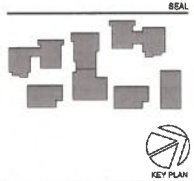
LIGHT FIXTURE EXTERIOR (WALL-MOUNTED SCONCE) AT BALCONIES



4 ADJACENT PROPERTIES MAP - PROPOSED
1" = 500'

NO.	DATE	ISSUE

NOT FOR CONSTRUCTION



PERKINS EASTMAN
100 Montgomery St., Suite 2000
San Francisco, CA 94104
T: +1 415 774 7900

Applicant:
SOUTHWOOD PACIFIC
36 SOUTHWOOD DRIVE
OAKLAND, CA 94603
(415) 816-7344

Owner:
PRIORITY FORESTS
800 N. BRAND BLVD, 19TH
FLOOR GLENDALE, CA 91201
(626) 955-7400

City / State:
KIDILEY-HOBBS
4627 CHERRY DRIVE, SUITE 300
PLEASANTON, CA 94568
(925) 758-4440

Landscape:
D. LAWRENCE GATES

Structural:
KFF CONSULTING ENGINEERS
45 FREEMONT ST., 20TH FLOOR
SAN FRANCISCO, CA 94105
(415) 765-1004

Mechanical, Electrical & Plumbing:
BLUMBERG
150 CALIFORNIA ST., 26TH FLOOR
SAN FRANCISCO, CA 94111
(415) 398-7557

General Contractor:
W.J. O'NEIL CONSTRUCTION
4209 MARCIDA DR SUITE 500,
PLEASANTON, CA 94568
(925) 466-2290

PROJECT TITLE:
LOS GATOS MEADOWS

110 WOOD ROAD
LOS GATOS, CA 95030

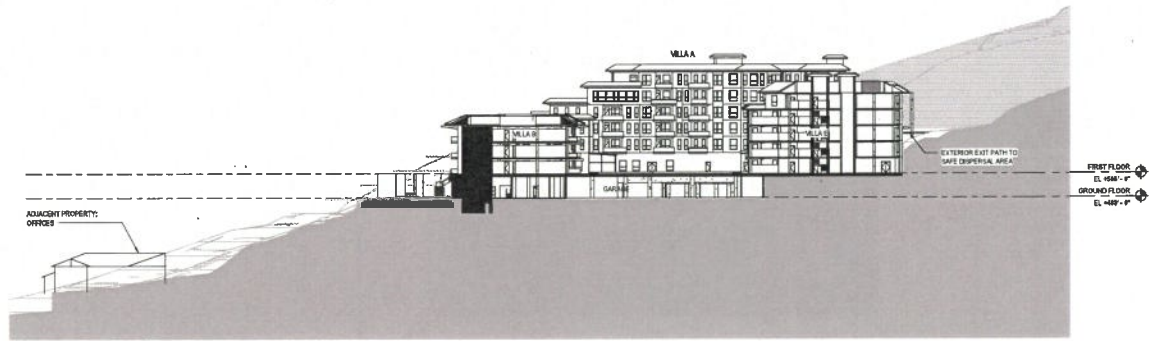
PROJECT No: 70581.00
DRAWING TITLE:
OVERALL SITE SECTION

SCALE: As Indicated

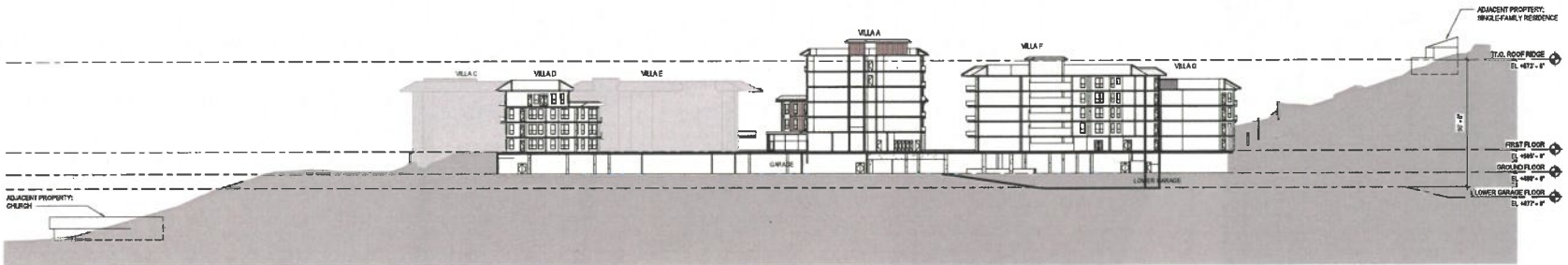
A301

PLANNING SUBMITTAL

MAY 31, 2024



2 SITE - Overall NS Section
1" = 40'-0"

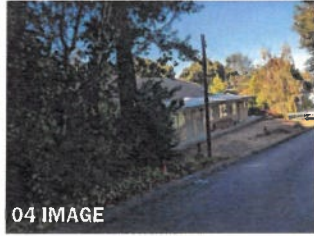


1 SITE - Overall WE Section
1" = 40'-0"

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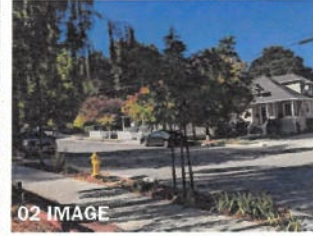
05 IMAGE



04 IMAGE



03 IMAGE



02 IMAGE



01 IMAGE



10 IMAGE



09 IMAGE



08 IMAGE



07 IMAGE



06 IMAGE

2 SITE PHOTOS 01-10
1"=10'



1 AERIAL VIEW DIAGRAM_SITE PHOTOS 01-10
1"=100'

NO.	DATE	ISSUE

NOT FOR CONSTRUCTION



SEAL



KEY PLAN

PERKINS EASTMAN
150 CALIFORNIA ST., SUITE 300
SAN FRANCISCO, CA 94111
T. 415 435 7000

Applicant:
ROCKWOOD PACIFIC
36 SOUTHWOOD DRIVE
DUBLIN, CA 94568
(415) 818-7944

Owner:
FREMONT FORDS
800 N. BRAND BLVD., 19TH
FLOOR CLEVELAND, CA 94709
(925) 854-7400

CM / SBC:
KIMBLE-HOOPER
4637 CHASCOY DRIVE, SUITE 300
PLEASANTON, CA 94588
(925) 395-4400

Landscape:
D. LAWRENCE GATES

Structure:
JERRY SCHNEIDER ENGINEERS
41 FREMONT ST., 28TH FLOOR
SAN FRANCISCO, CA 94105
(415) 398-1004

Mechanical, Electrical & Plumbing:
WILLIAMS
150 CALIFORNIA ST., 3RD FLOOR
SAN FRANCISCO, CA 94111
(415) 398-7887

General Contractor:
W.E. O'RIEN CONSTRUCTION
4205 HACIENDA DR., SUITE 500
PLEASANTON, CA 94588
(925) 455-2990

PROJECT TITLE:
LOS GATOS MEADOWS
110 WOOD ROAD
LOS GATOS, CA 95030

PROJECT No: 70561.00
DRAWING TITLE:
SITE PHOTOS

SCALE: As Indicated
A402

PLANNING SUBMITTAL
MAY 31, 2024



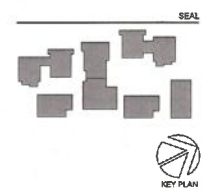
2 SITE PHOTOS 11-20



1 AERIAL VIEW DIAGRAM SITE PHOTOS 11-20

NO.	DATE	ISSUE

NOT FOR CONSTRUCTION



PERKINS EASTMAN
100 Montgomery St., Suite 2200
San Francisco, CA 94104
T: 415 929 7600

Applicant:
REDWOOD PACIFIC
35 SOUTHWOOD DRIVE
ORLAND, CA 94053
(415) 918-7344

Owner:
FRONTIER PACIFIC
800 N. GRAND BLVD., 19TH
FLOOR CLIFTON, CA 94505
(925) 956-7100

City / State:
MOUNTAIN VIEW
4537 CHAMBERLAIN DRIVE, SUITE 300
PLEASANTON, CA 94588
(925) 338-6440

Landscape:
S. LAWRENCE GATSBY

Structure:
KPF CONSULTANTS ENGINEERS
46 FREDMONT ST., 30TH FLOOR
SAN FRANCISCO, CA 94105
(415) 862-1004

Mechanical, Electrical & Plumbing:
GLUSAC
150 CALIFORNIA ST., 3RD FLOOR
SAN FRANCISCO, CA 94111
(415) 398-7057

General Contractor:
W.J. O'NEAL CONSTRUCTION
4205 HACIENDA DR. SUITE 300
PLEASANTON, CA 94588
(925) 666-2990

PROJECT TITLE:
LOS GATOS MEADOWS

110 WOOD ROAD
LOS GATOS, CA 95030

PROJECT No: 70581.00

DRAWING TITLE:
SITE PHOTOS

SCALE: As Indicated

A403

PLANNING SUBMITTAL

MAY 31, 2024

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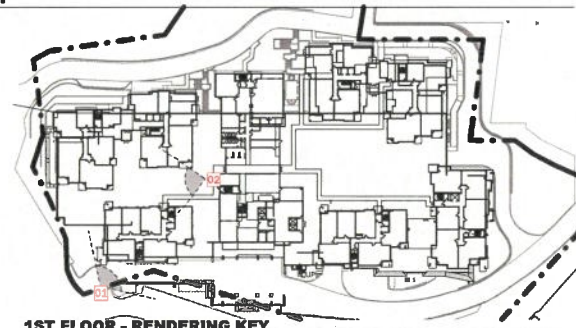
ch:\hwy\170581_Los Gatos_Bldg_R01_1\overmy2231K.rvt
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02 RENDERING IMAGE - COURTYARD
1/2" = 1/4"



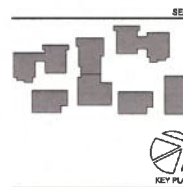
01 RENDERING IMAGE - APPROACH
1/2" = 1/4"



1ST FLOOR - RENDERING KEY
1" = 32'

NO.	DATE	ISSUE

NOT FOR CONSTRUCTION



**PERKINS
EASTMAN**
100 Montgomery St., Suite 2200
San Francisco, CA 94104
T: 415 774 7900

Applicant:
ROCKWOOD PACIFIC
36 BOUTHWOOD DRIVE
OSUNDA, CA 94053
(415) 616-7544

Owner:
FRONT PORCH
800 N. BRAND BLVD, 19TH
FLOOR CLEVELAND, CA 94103
(925) 956-7400
Site ID:
KOBLEY-HORN
4627 CHARLOT DRIVE, SUITE 200
PLEASANTON, CA 94608
(925) 396-6840

Landscape:
R. LAWRENCE BATES

Structural:
RPFF CONSULTING ENGINEERS
45 FREEMONT ST., 28TH FLOOR
SAN FRANCISCO, CA 94105
(415) 365-1004

Mechanical, Electrical & Plumbing:
BLINERLCO
150 CALIFORNIA ST., 3RD FLOOR
SAN FRANCISCO, CA 94111
(415) 398-7987

General Contractor:
W.E. OWENS CONSTRUCTION
4209 MACIENDA DR SUITE 830,
PLEASANTON, CA 94608
(925) 464-2990

PROJECT TITLE:

**LOS GATOS
MEADOWS**

110 WOOD ROAD
LOS GATOS, CA 95030

PROJECT No: 70581.00

DRAWING TITLE:
RENDERING IMAGES

SCALE: As Indicated

A405

PLANNING SUBMITTAL

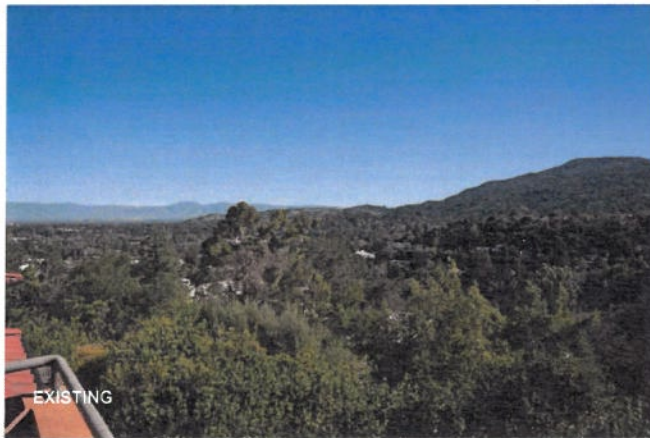
MAY 31, 2024

NO.	DATE	ISSUE

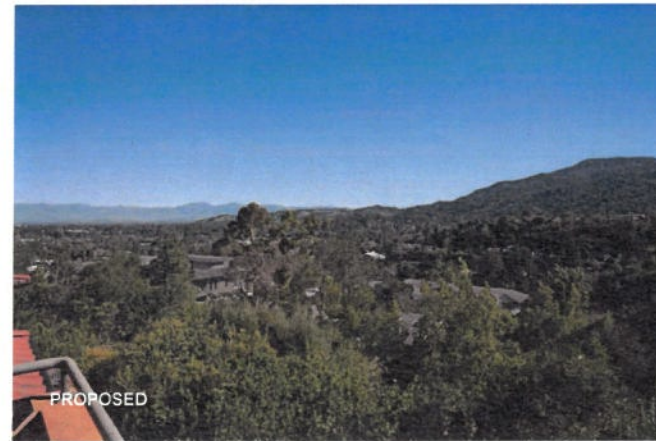
NOT FOR CONSTRUCTION

VIEW CORRIDORS

135 WOOD ROAD



EXISTING



PROPOSED



**PERKINS
EASTMAN**
100 Montgomery St., Suite 2500
San Francisco, CA 94104
T: +1 415 928 7800

Applicant:
REDWOOD PACIFIC
38 SOUTHWOOD DRIVE
ORLANDA, CA 94553
(415) 950-7964

Owner:
CQVA
2185 N CALIFORNIA BLVD, SUITE 215
WALNUT CREEK, CA 94598
(925) 856-7400

Civil / Site:
KOBILTY-HOERN
8571 CROW CANYON RD, SUITE 300
PLEASANTON, CA 94566
(925) 789-4540

Landscape:
BATES + ASSOCIATES
2671 CROW CANYON RD
SAN RAMON, CA 94583
(925) 734-8178

Structural:
KPF CONSULTING ENGINEERS
45 FLEMING ST., 28TH FLOOR
SAN FRANCISCO, CA 94103
(415) 969-1054

Mechanical, Electrical & Plumbing:
BLUMAC
100 CALIFORNIA ST., 3RD FLOOR
SAN FRANCISCO, CA 94111
(415) 398-7967

General Contractor:
W.E. OWEN CONSTRUCTION
4399 HACIENDA DR SUITE 500,
PLEASANTON, CA 94566
(925) 864-2980

PROJECT TITLE:
LOS GATOS
MEADOWS

118 WOOD ROAD
LOS GATOS, CA 95030

PROJECT No: 70581.00

DRAWING TITLE:
PERSPECTIVE -
BEFORE AND AFTER

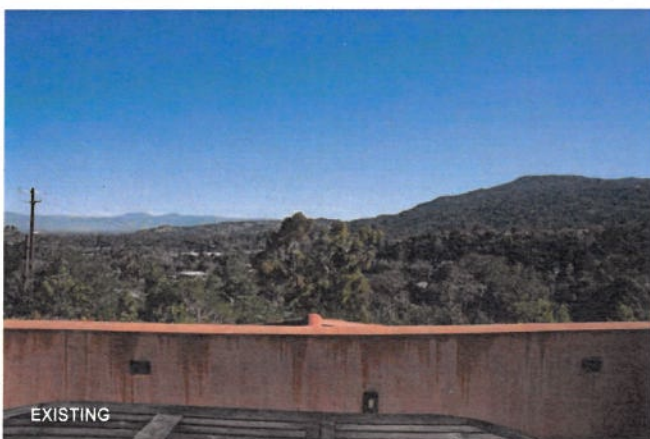
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A406

PLANNING SUBMITTAL

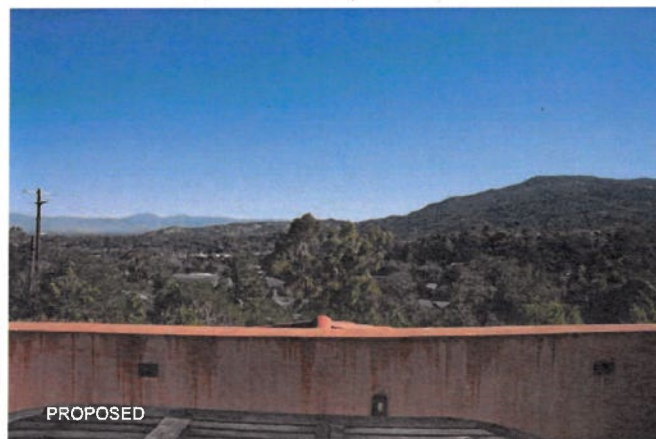
MAY 31, 2024

VIEW CORRIDORS

135 WOOD ROAD



EXISTING



PROPOSED

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VIEW CORRIDORS

BROADWAY

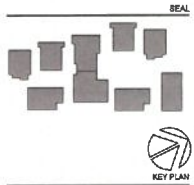


VIEW CORRIDORS



NO.	DATE	ISSUE

NOT FOR CONSTRUCTION



PERKINS EASTMAN
100 Montgomery St., Suite 2000
San Francisco, CA 94104
T: 415 774 3900

Applicant:
ROCKWOOD PACIFIC
38 SOUTHWOOD DRIVE
OSSISIA, CA 94020
(415) 819-7944

Owner:
2188 N CALIFORNIA BLVD, SUITE 215
WALLAUT CREEK, CA 94096
(925) 858-7000

Civil / Site:
NOBLETY-HOBBS
4857 CHASLOT DRIVE, SUITE 300
PLEASANTON, CA 94558
(925) 398-4840

Landscape:
GATES & ASSOCIATES
2874 CROW CANYON RD
SAN RAFAEL, CA 94983
(925) 758-8178

Structural:
HEFFER CONSULTING ENGINEERS
45 FREEMONT ST., 28TH FLOOR
SAN FRANCISCO, CA 94105
(415) 965-1004

Mechanical, Electrical & Plumbing:
BEHRING
150 CALIFORNIA ST., 3RD FLOOR
SAN FRANCISCO, CA 94111
(415) 398-7477

General Contractor:
M.A. DYNER CONSTRUCTION
4309 HACIENDA DR, SUITE 300
PLEASANTON, CA 94688
(925) 866-2090

PROJECT TITLE:
LOS GATOS MEADOWS

110 WOOD ROAD
LOS GATOS, CA 95030

PROJECT No: 70581.00

DRAWING TITLE:
RENDERED IMAGE PROGRESSION

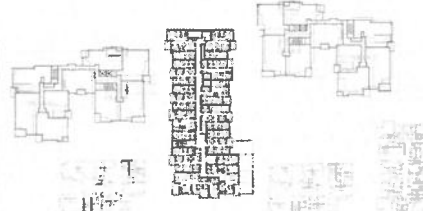
SCALE:
A407

PLANNING SUBMITTAL

MAY 31, 2024

VILLA A
BUILDING LAYOUT: Second Floor

UNIT TYPE	No
One Bdrm	1
One Bdrm/ Den	6
Two Bdrm	3
Two Bdrm/ Den	2
TOTAL UNITS	12

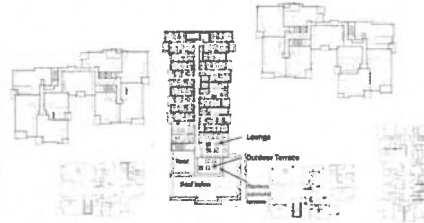


PERKINS EASTMAN LOS GATOS MEADOWS

21

VILLA A
BUILDING LAYOUT: Fifth Floor

UNIT TYPE	No
One Bdrm	1
One Bdrm/ Den	4
Two Bdrm	3
Two Bdrm/ Den	0
TOTAL UNITS	8



PERKINS EASTMAN LOS GATOS MEADOWS

24

VILLA A
BUILDING LAYOUT: Third Floor

UNIT TYPE	No
One Bdrm	1
One Bdrm/ Den	6
Two Bdrm	3
Two Bdrm/ Den	2
TOTAL UNITS	12



PERKINS EASTMAN LOS GATOS MEADOWS

22

VILLA A
BUILDING LAYOUT: Sixth Floor

UNIT TYPE	No
One Bdrm	1
One Bdrm/ Den	4
Two Bdrm	3
Two Bdrm/ Den	0
TOTAL UNITS	8

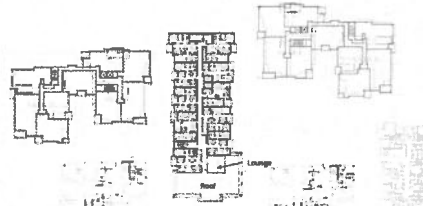


PERKINS EASTMAN LOS GATOS MEADOWS

23

VILLA A
BUILDING LAYOUT: Fourth Floor

UNIT TYPE	No
One Bdrm	1
One Bdrm/ Den	6
Two Bdrm	3
Two Bdrm/ Den	0
TOTAL UNITS	10

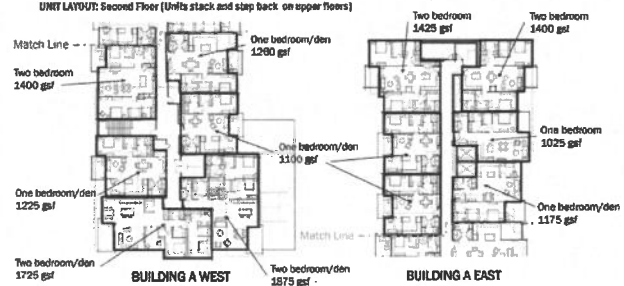


PERKINS EASTMAN LOS GATOS MEADOWS

25

VILLA A

UNIT LAYOUT: Second Floor (Units stack and step back on upper floors)



PERKINS EASTMAN LOS GATOS MEADOWS

26

DATE	ISSUE

SEAL



PERKINS EASTMAN

177 Washington St.
Suite 100
Salem, CT 06061
T: +1 203 261 7900
F: +1 203 261 7644

Owner:
CDVIA
2185 N CALIFORNIA BLVD, SUITE 215
VALLEJO CREEK, CA 94590
(925) 956-7400
Construction Manager:
CJM REALTY
CJM Address

Chief Site:
KIMBLEY-HORN
4827 CHERRY DRIVE, SUITE 300
PLEASANTON, CA 94588
(925) 708-4440

Landscape:
MAYHEW + ASSOCIATES
3071 GRESHAM RD
SAN RAMON, CA 94583
(925) 738-4176

Structure:
KOPPE CONSTRUCTION ENGINEERS
45 FREDERICK ST, 20TH FLOOR
SAN FRANCISCO, CA 94105
(415) 398-8000

Mechanical & Plumbing:
GELBERG
150 CALIFORNIA ST, 3RD FLOOR
SAN FRANCISCO, CA 94111
(415) 398-7667

PROJECT TITLE:
LOS GATOS MEADOWS

110 WOOD ROAD
LOS GATOS, CA 95030

PROJECT No: 70581.00
DRAWING TITLE:
BUILDING A UNIT MATRIX

SCALE:

A501

PLANNING SUBMITTAL

MAY 31, 2024

VILLA B & H
BUILDING LAYOUT: First Floor

UNIT TYPE	No
One Bdrm	4
One Bdrm/ Den	4
Two Bdrm	2
Two Bdrm/ Den	2
TOTAL UNITS	12



PERKINS EASTMAN LOS GATOS MEADOWS

27

VILLA B & H
BUILDING LAYOUT: Second Floor

UNIT TYPE	No
One Bdrm	2
One Bdrm/ Den	6
Two Bdrm	2
Two Bdrm/ Den	2
TOTAL UNITS	12

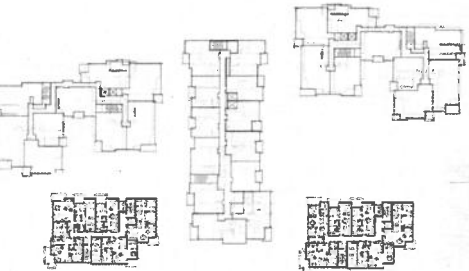


PERKINS EASTMAN LOS GATOS MEADOWS

28

VILLA B & H
BUILDING LAYOUT: Third Floor

UNIT TYPE	No
One Bdrm	1
One Bdrm/ Den	3
Two Bdrm	5
Two Bdrm/ Den	2
TOTAL UNITS	11



PERKINS EASTMAN LOS GATOS MEADOWS

29

VILLA H (VILLA B SIMILAR)
UNIT LAYOUT: First Floor



PERKINS EASTMAN LOS GATOS MEADOWS

30

VILLA H (VILLA B SAME ON FLOORS 2 & 3)
UNIT LAYOUT: Second Floor



PERKINS EASTMAN LOS GATOS MEADOWS

31

VILLA H
UNIT LAYOUT: Third Floor

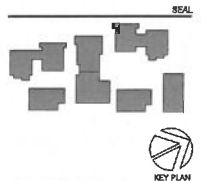


PERKINS EASTMAN LOS GATOS MEADOWS

32

NO.	DATE	ISSUE

NOT FOR CONSTRUCTION



PERKINS EASTMAN
100 Montgomery St., Suite 2200
San Francisco, CA 94104
T: +1 415 625 7200

Applicant:
ROCKWOOD PACIFIC
38 SOUTHWOOD DRIVE
OAKLAND, CA 94627
(415) 835-7644

Owner:
FRONT PORCH
800 N. SHAW BLVD., 19TH
FLOOR GLENDALE, CA 91203
(626) 955-7400

City / State:
KIMBLEY-HORN
4837 CHESTNUT DRIVE, SUITE 300
PLEASANTON, CA 94588
(925) 308-4840

Landscape:
DR. LAWRENCE GATES

Structure:
KIPP CONSULTING ENGINEERS
48 WHEATCOT ST., 28TH FLOOR
SAN FRANCISCO, CA 94103
(415) 399-1200

Mechanical, Electrical & Plumbing:
OLMSTEAD
150 CALIFORNIA ST., 3RD FLOOR
SAN FRANCISCO, CA 94111
(415) 399-7467

General Contractor:
W.E. O'NEIL CONSTRUCTION
4309 MACENA DR. SUITE 500,
PLEASANTON, CA 94588
(925) 466-2990

PROJECT TITLE:
LOS GATOS MEADOWS

110 WOOD ROAD
LOS GATOS, CA 95030

PROJECT No: 70581.00

DRAWING TITLE:
BUILDING B-H UNIT MATRIX

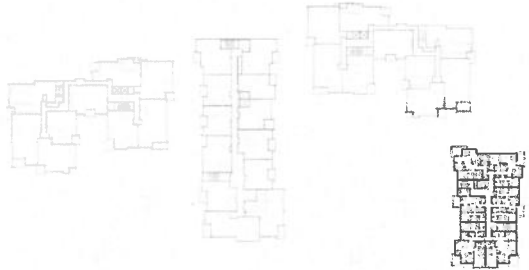
SCALE:
A502

PLANNING SUBMITTAL

MAY 31, 2024

VILLA C
BUILDING LAYOUT: First Floor

UNIT TYPE	No
One Bdrm	1
One Bdrm/ Den	2
Two Bdrm	2
Two Bdrm/ Den	1
TOTAL UNITS	6



PERKINS EASTMAN LOS GATOS HEADQUARTERS

23

VILLA C
BUILDING LAYOUT: Second Floor

UNIT TYPE	No
One Bdrm	0
One Bdrm/ Den	3
Two Bdrm	2
Two Bdrm/ Den	1
TOTAL UNITS	6

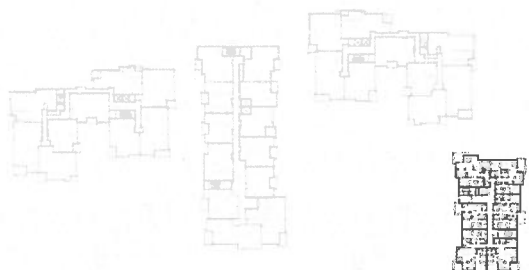


PERKINS EASTMAN LOS GATOS HEADQUARTERS

24

VILLA C
BUILDING LAYOUT: Third Floor

UNIT TYPE	No
One Bdrm	0
One Bdrm/ Den	3
Two Bdrm	2
Two Bdrm/ Den	1
TOTAL UNITS	6

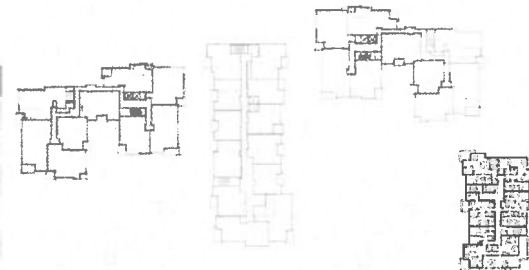


PERKINS EASTMAN LOS GATOS HEADQUARTERS

25

VILLA C
BUILDING LAYOUT: Fourth Floor

UNIT TYPE	No
One Bdrm	0
One Bdrm/ Den	2
Two Bdrm	2
Two Bdrm/ Den	1
TOTAL UNITS	5

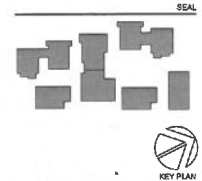


PERKINS EASTMAN LOS GATOS HEADQUARTERS

26

NO.	DATE	ISSUE

NOT FOR CONSTRUCTION



PERKINS EASTMAN
120 Montgomery St., Suite 2000
San Francisco, CA 94104
T: +1 415 778 7900

Architect:
ROCKWOOD PACIFIC
38 SOUTHWOOD DRIVE
ORLANDO, CA 94053
(415) 818-7944

Owner:
FRONTIER POWER
800 N. BRAND BLVD, 19TH
FLOOR GLENDALE, CA 91203
(626) 958-7400

CM / EPC:
KIMLEY-HORN
4437 CHASOT DRIVE, SUITE 200
PLEASANTON, CA 94588
(925) 398-4440

Landscape:
D. LAWRENCE GATES

Structure:
KPMF CONSULTING ENGINEERS
45 FRESHWATER ST., 20TH FLOOR
SAN FRANCISCO, CA 94133
(415) 988-7204

Mechanical, Electrical & Plumbing:
OLSHANSKY
155 CALIFORNIA ST., 3RD FLOOR
SAN FRANCISCO, CA 94111
(415) 264-7057

General Contractor:
W.E. OWENS CONSTRUCTION
4000 HAYDEN DR. SUITE 510
PLEASANTON, CA 94588
(925) 465-2990

PROJECT TITLE:
LOS GATOS MEADOWS

110 WOOD ROAD
LOS GATOS, CA 95030

PROJECT No: 70561.00

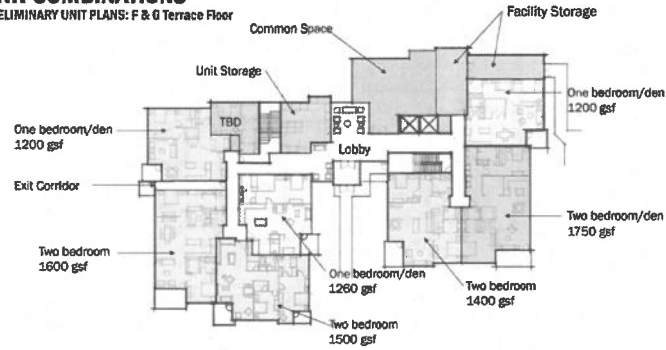
DRAWING TITLE:
BUILDING C UNIT MATRIX

SCALE:
A503

PLANNING SUBMITTAL
MAY 31, 2024

UNIT COMBINATIONS

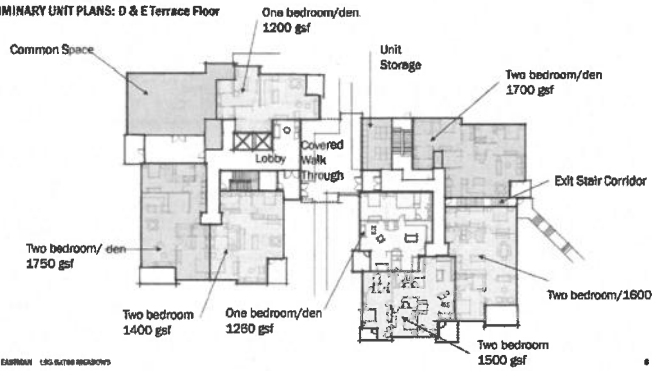
PRELIMINARY UNIT PLANS: F & G Terrace Floor



PERKINS EASTMAN 100 WOOD ROAD

UNIT COMBINATIONS

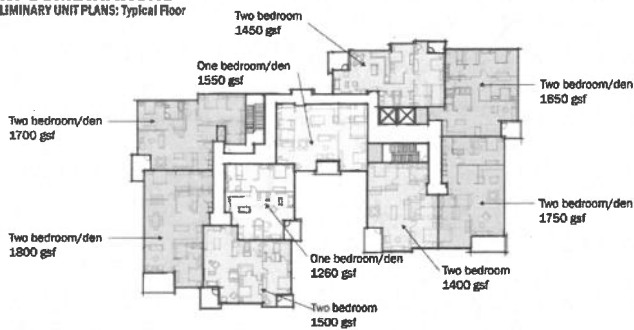
PRELIMINARY UNIT PLANS: D & E Terrace Floor



PERKINS EASTMAN 100 WOOD ROAD

UNIT COMBINATIONS

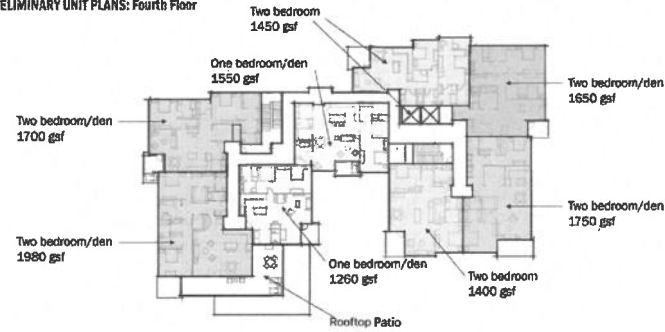
PRELIMINARY UNIT PLANS: Typical Floor



PERKINS EASTMAN 100 WOOD ROAD

UNIT COMBINATIONS

PRELIMINARY UNIT PLANS: Fourth Floor



PERKINS EASTMAN 100 WOOD ROAD

UNIT COMBINATIONS

BUILDING E&D, 5TH FLOOR
Opposite Hand



PERKINS EASTMAN 100 WOOD ROAD

UNIT COMBINATIONS

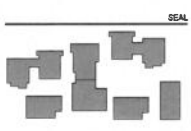
PRELIMINARY UNIT PLANS: Floors 5 & 6



PERKINS EASTMAN 100 WOOD ROAD

NO.	DATE	ISSUE

NOT FOR CONSTRUCTION



PERKINS EASTMAN
100 WOOD ROAD
SAN FRANCISCO, CA 94105
T: 415 778 7800

Applicant:
WOODGAT MEADOWS PACIFIC
38 SOUTHWOOD DRIVE
CERRITOS, CA 94533
(415) 816-2944
Owner:
FRONTIER FUND
800 N. BRAND BLVD., 19TH
FLOOR GLENDALE, CA 91203
(951) 952-7100
Civil / Site:
TIMOTHY HARRIS
4537 CHARBY DRIVE, SUITE 300
PLEASANTON, CA 94588
(925) 798-4500
Landscape:
D. LAWRENCE GATES

Structural:
KOPPEL CONSULTING ENGINEERS
45 FREMONT ST., 31ST FLOOR
SAN FRANCISCO, CA 94105
(415) 398-1004
Mechanical, Electrical & Plumbing:
GLUMAC
550 CALIFORNIA ST., 3RD FLOOR
SAN FRANCISCO, CA 94111
(415) 398-7857
General Contractor:
W&L OFFICE ENGINEERING
4200 LAURENCE DR. SUITE 530,
PLEASANTON, CA 94588
(925) 465-2900

PROJECT TITLE:
LOS GATOS MEADOWS
110 WOOD ROAD
LOS GATOS, CA 95030

PROJECT No: 70581.00
DRAWING TITLE:
**BUILDING D-E & F-G
UNIT PLANS**

SCALE:
A505

PLANNING SUBMITTAL
MAY 31, 2024

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UNIT COMBINATIONS
BUILDING LAYOUTS: Floor 2



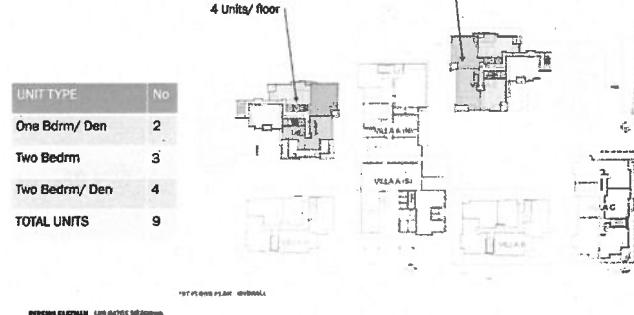
UNIT COMBINATIONS
BUILDING LAYOUTS: Floor 3



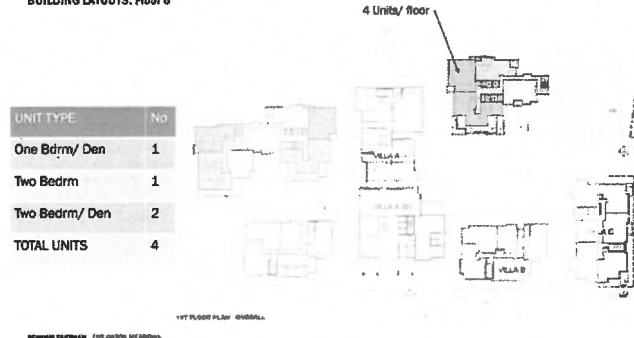
UNIT COMBINATIONS
BUILDING LAYOUTS: Floor 4



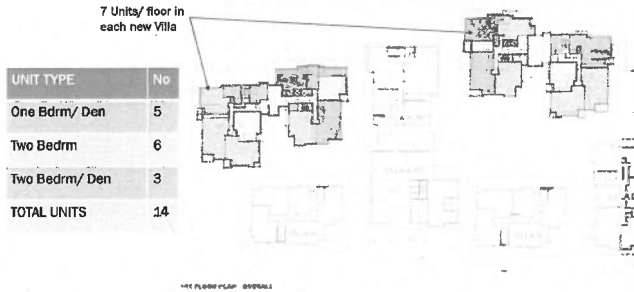
UNIT COMBINATIONS
BUILDING LAYOUTS: Floor 5



UNIT COMBINATIONS
BUILDING LAYOUTS: Floor 6

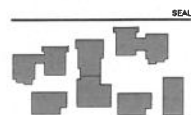


UNIT COMBINATIONS
BUILDING LAYOUTS: Ground Floor



NO.	DATE	ISSUE

NOT FOR CONSTRUCTION



PERKINS EASTMAN
180 Montgomery St., Suite 200
San Francisco, CA 94104
T: 415 435 7000

Appoint: **BLACKWOOD PACIFIC**
36 SOUTHWOOD DRIVE
ORINDA, CA 94503
(415) 916-7944
Owner: **PERKINS EASTMAN**
800 N. BRAND BLVD., 19TH
FLOOR, OAKLAND, CA 94612
(510) 862-7400
Arch / Site: **ROBERT ANDERSON**
4637 CHABOT DRIVE, SUITE 200
PLEASANTON, CA 94588
(925) 396-4400
Landscape: **G. LAWRENCE GATES**

Structure: **SPRY ENGINEERING**
45 FREMONT ST., 28TH FLOOR
SAN FRANCISCO, CA 94105
(415) 956-1004
Mechanical, Electrical & Plumbing: **ELWOOD**
150 CALIFORNIA ST., 3RD FLOOR
SAN FRANCISCO, CA 94111
(415) 398-7897
General Contractor: **WAL O'NEIL CONSTRUCTION**
4300 HAZENBACH DR., SUITE 500
PLEASANTON, CA 94588
(925) 460-2800

PROJECT TITLE:
LOS GATOS MEADOWS
110 WOOD ROAD
LOS GATOS, CA 95030

PROJECT No: 70581.00

DRAWING TITLE:
BUILDING D-E & F-G UNIT MATRIX

SCALE:
A506

PLANNING SUBMITTAL
MAY 31, 2024

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2 LGM Unit Statistics
12" = 14'

Floor		Bldg A	Bldg B	Bldg C	Bldg D/E	Bldg F/G	Bldg H	Totals
Terrace	1 Bed	0	2	1	0	0	2	5
	1 Bed W/ Den	0	2	2	2	3	2	11
	2 Bed	0	1	2	3	3	1	10
	2 Bed w/ Den	0	1	1	2	1	1	6
Second	1 Bed	1	1	0	0	0	1	3
	1 Bed W/ Den	6	3	3	2	2	3	19
	2 Bed	3	1	2	3	3	1	13
	2 Bed w/ Den	2	1	1	4	4	1	13
Third	1 Bed	1	1	0	0	0	0	2
	1 Bed W/ Den	6	2	3	2	2	1	16
	2 Bed	3	3	2	3	3	2	16
	2 Bed w/ Den	2	0	1	4	4	2	13
Fourth	1 Bed	1		0	0	0		1
	1 Bed W/ Den	6		2	2	2		12
	2 Bed	3		2	2	2		9
	2 Bed w/ Den	0		1	4	4		9
Fifth	1 Bed	1			0	0		1
	1 Bed W/ Den	4			1	1		6
	2 Bed	3			2	1		6
	2 Bed w/ Den	0			2	2		4
Sixth	1 Bed	1			0			1
	1 Bed W/ Den	4			1			5
	2 Bed	3			1			4
	2 Bed w/ Den	0			2			2
Totals		50	18	23	42	37	17	187

Total units by type

1 Bed	13
1 Bed W/ Den	69
2 Bed	58
2 Bed w/ Den	47
Totals	187

1 LGM Programing Statistics
12" = 14'

	Current				
	Units	RSF	GSF	Height	Stories
Villa A	50	65,479	124,517 SF	93.75	3-6
Villa B	18	20,590	36,510 SF	59.0	3
Villa C	23	32,733	51,150 SF	70.0	4
Villa D/E	42	65,610	105,550 SF	70.5	4-6
Villa F/G	37	57,300	93,585 SF	93.5	4-5
Villa H	17	22,016	37,573 SF	59.0	3
				82.0	
Podium Level			49,045 SF		
Total	187	263,728	453,200 SF		
Structured Parking			83,330		
Total w/ Parking			536,530 SF		
Parking Spaces	214				
Balconies (SF)			33,660		
Off-Haul (CY)			SEE SHEET C104		
Open Space					
Resident Count					
Staff Count					

**** STORIES ARE MEASURED FROM FIRST FLOOR LEVEL (505'-0")**

**** HEIGHTS ARE MEASURED FROM GROUND LEVEL (488'-0")**

NO.	DATE	ISSUE

NOT FOR CONSTRUCTION

SEAL



PERKINS EASTMAN
100 Montgomery Ct., Suite 2100
San Francisco, CA 94104
T: +1 415 924 7600

Applicant:
ROCKWOOD PACIFIC
35 SOUTHWOOD DRIVE
COSTA, CA 94023
(415) 816-7544

Owner:
PRIMET PAPER
500 N. BRAND BLVD., 19TH
FLOOR GLENDALE, CA 91203
(626) 958-1100

Architect:
PERKINS EASTMAN
4627 CASABT DRIVE, SUITE 300
PLEASANTON, CA 94566
(925) 398-6400

Landscape:
D. LAWRENCE GATES

Structure:
KPFY CONSULTING ENGINEERS
45 TREMONT ST., 20TH FLOOR
SAN FRANCISCO, CA 94103
(415) 963-1004

Mechanical, Electrical & Plumbing:
BLUMBERG
100 CALIFORNIA ST., 3RD FLOOR
SAN FRANCISCO, CA 94111
(415) 398-7057

General Contractor:
W.J. O'NEIL CONSTRUCTION
4309 HACIENDA DR. SUITE 500,
PLEASANTON, CA 94566
(925) 466-2990

PROJECT TITLE:

LOS GATOS MEADOWS

110 WOOD ROAD
LOS GATOS, CA 95030

PROJECT No: 70561.00

DRAWING TITLE:
PROJECT STATISTICS

SCALE: 12" = 14"

A507

PLANNING SUBMITTAL

JUNE 26, 2024

**TOWN COUNCIL – February 18, 2025
PERFORMANCE STANDARDS FOR:**

**110 Wood Road
Planned Development Application PD-20-001
Environmental Impact Report EIR-21-002**

Consider a Recommendation by the Planning Commission to Approve a Planned Development for Construction of a Senior Living Community, Removal of Large Protected Trees, and Site Improvements Requiring a Grading Permit on Property Zoned R:PD. APN 510-47-038. An Environmental Impact Report has been Prepared for the Project.

**Applicant: Rockwood Pacific
Property Owner: Front Porch Communities**

PERFORMANCE STANDARDS

The following performance standards must be complied with before issuance of any grading, or construction permits (mitigation measures are so noted and are flagged with an asterisk):

TO THE SATISFACTION OF THE DIRECTOR OF COMMUNITY DEVELOPMENT:

Planning Division

1. OFFICIAL DEVELOPMENT PLANS: The Official Development Plans provided are conceptual in nature. Final building footprints, building designs, colors, and materials shall be determined during the Architecture and Site approval process.
2. ARCHITECTURE AND SITE APPROVAL REQUIRED: A separate Architecture and Site application and approval is required for the project. The Architecture and Site application may be reviewed by the Development Review Committee.
3. OFFSITE BELOW MARKET PRICE COMMITMENT: Prior to issuance of the first Building Permit, the applicant shall begin enrolling 11 below market price units at the El Sombroso Oaks Senior Housing Community, located at 15860 Poppy Lane in Los Gatos, in either the community-based or housing choice voucher program as described in the applicant's letter dated February 4, 2025 and included as a desk item to the February 4, 2025 Town Council Staff Report.
4. WATER EFFICIENCY LANDSCAPE ORDINANCE: The final landscape plan shall meet the Town of Los Gatos Water Conservation Ordinance or the State Water Efficient Landscape Ordinance, whichever is more restrictive. A review fee based on the current fee schedule adopted by the Town Council is required when working landscape and irrigation plans are submitted for review.

5. ARBORIST REQUIREMENTS: All recommendations of the 2018 project arborist report and 2020 arborist report update (HortScience Bartlett Consulting) shall be followed
6. TREE REMOVAL PERMIT: A Tree Removal Permit shall be obtained for trees approved for removal prior to the issuance of demolition or grading permits.
7. REPLACEMENT TREES: New trees shall be planted to mitigate the loss of trees being removed. The number of trees shall be determined using the canopy replacement table in the Tree Protection Ordinance.
8. TREE STAKING: All newly planted trees shall be double-staked using rubber tree ties prior to final inspection and issuance of occupancy permits.
9. TREE FENCING: Protective tree fencing shall be placed at the drip line of existing trees and shall remain through all phases of construction. Refer to the 2018 project arborist report and 2020 arborist report update (HortScience Bartlett Consulting) requirements. Fencing shall be six-foot high cyclone attached to two-inch diameter steel posts drive 18 inches into the ground and spaced no further than 10 feet apart. Include a tree protection fencing plan with the construction plans.
10. OUTDOOR LIGHTING: Exterior lighting shall be kept to a minimum, and shall be down directed fixtures that will not reflect or encroach onto adjacent properties. No flood lights shall be used unless it can be demonstrated that they are needed for safety or security.
11. FINAL UTILITY LOCATIONS: The applicant shall submit plans showing the final locations and screening of all exterior utilities, including but not limited to, backflow preventers, Fire Department connections, transformers, utility boxes and utility meters. Utility devices shall be screened to the satisfaction of the Director of Community Development. The plans shall be submitted for review and approval prior to issuance of building permits for new construction.
12. PLAN INCONSISTENCY: Any inconsistencies between sheets shall be limited to whichever is more restrictive.
13. *AIR QUALITY MITIGATION MEASURE AQ-6-5a: During construction, the project contractor shall implement the following measures to reduce emissions of fugitive dust and engine exhaust DPM, subject to review and approval by the Community Development Director. These measures shall be included in the project plans, prior to issuance of a demolition permit:
 - a. All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered three (3) times per day and at a frequency adequate to maintain minimum soil moisture of 12 percent. Moisture content can be verified by lab samples or moisture probe;
 - b. All haul trucks transporting soil, sand, or other loose material off-site shall be covered;
 - c. Avoid tracking visible soil material on to public roadways by employing the following measures if necessary: (1) Site accesses to a distance of 100 feet from public paved roads shall be treated with a 6 to 12-inch compacted layer of wood chips, mulch, or gravel and (2) washing truck tires and construction equipment prior to leaving the site;

- d. All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited;
 - e. All vehicle speeds on unpaved roads shall be limited to five (5) mph;
 - f. All roadways, driveways, and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used;
 - g. Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to five (5) minutes (as required by the California airborne toxics control measure Title 13, Section 2485 of California Code of Regulations [CCR]). Clear signage shall be provided for construction workers at all access points;
 - h. All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications. All equipment shall be checked by a certified mechanic and determined to be running in proper condition prior to operation;
 - i. All excavation, grading, and/or demolition activities shall be suspended when average wind speeds exceed 20 mph and visible dust extends beyond site boundaries;
 - j. Wind breaks (e.g., trees, fences) shall be installed on the windward side(s) of actively disturbed areas of construction adjacent to sensitive receptors. Wind breaks should have no greater than 50 percent air porosity;
 - k. Vegetative ground cover (e.g., fast-germinating native grass seed) shall be planted in disturbed areas as soon as possible and watered appropriately until vegetation is established;
 - l. The simultaneous occurrence of excavation, grading, and ground-disturbing construction activities on the same area at any one time shall be limited. Activities shall be phased to reduce the amount of disturbed surfaces at any one time; and
 - m. Post a publicly visible sign with the telephone number and person to contact at the Town of Los Gatos regarding dust complaints. This person shall respond and take corrective action within 48 hours. The air district's phone number shall also be visible to ensure compliance with applicable regulations.
14. *AIR QUALITY MITIGATION MEASURE AQ-6-5b: Prior to the issuance of the demolition permit, the project developer shall prepare, and the project contractor shall implement, a demolition and construction emissions avoidance and reduction plan demonstrating a 25 percent reduction of infant/child cancer risk and a 60 percent reduction of PM2.5 exposures at the MEI to meet the air district's risk thresholds. The plan shall be prepared prior to the issuance of a demolition permit and shall be reviewed and approved by the Community Development Director. The plan shall be accompanied by a letter signed by a qualified air quality specialist, verifying the equipment included in the plan meets the standards set forth in this mitigation measure. The plan shall include the following measures:

- a. All mobile diesel-powered off-road equipment operating on-site for more than two days and larger than 50 horsepower shall, at a minimum, meet U.S. Environmental Protection Agency (EPA) particulate matter emissions standards for Tier III engines or better. Prior to the issuance of any demolition permits, the project applicant shall submit specifications of the equipment to be used during construction and confirmation this requirement is met;
 - b. Use alternatively fueled equipment or equipment with zero emissions (i.e., aerial lifts, forklifts, and air compressors, etc., shall be either electrified or fueled by liquefied natural gas/propane);
 - c. Provide line power to the site during the early phases of construction to minimize the use of diesel-powered stationary equipment, such as generators; and
 - d. Other demonstrable measures identified by the developer that reduce emissions and avoid or minimize exposures to the affected sensitive receptors.
15. *BIOLOGICAL RESOURCES MITIGATION MEASURE BIO-7-2: Prior to issuance of a grading permit, a qualified biologist shall conduct pre-construction surveys for woodrat middens within the development footprint and fire defensible space. These surveys shall be conducted no more than 15 days prior to the start of construction. In the event that construction activities are suspended for 15 consecutive days or longer, these surveys shall be repeated. All woodrat middens shall be flagged for avoidance of direct construction impacts and fire defensible space where feasible. If impacts cannot be avoided, woodrat middens shall be dismantled no more than three days prior to construction activities starting at each midden location. All vegetation and duff materials shall be removed from three feet around the midden prior to dismantling so that the occupants do not attempt to rebuild. Middens are to be slowly dismantled by hand in order to allow any occupants to disperse.

Developers shall be responsible for implementation of this mitigation measure with oversight by the Town of Los Gatos. Compliance with this measure shall be documented by a qualified biologist and submitted to the Town, prior to issuance of a demolition and grading permit.

16. *BIOLOGICAL RESOURCES MITIGATION MEASURE BIO-7-3: Within 14 days prior to tree removal or other construction activities such as a demolition, the project developer shall retain a qualified biologist to conduct a habitat assessment for bats and potential roosting sites in trees to be removed, within structures proposed for demolition, and in trees and structures within 50 feet of the development footprint. In the event that construction activities are suspended for 15 consecutive days or longer, these surveys shall be repeated. These surveys shall include a visual inspection of potential roosting features (bats need not be present) and a search for presence of guano within and 50 feet around the project site. Cavities, crevices, exfoliating bark, and bark fissures that could provide suitable potential nest or roost habitat for bats shall be surveyed. Assumptions can be made on what species is present due to observed visual characteristics along with habitat use, or the bats can be identified to the species level with the use of a bat echolocation detector such as an "Anabat" unit. Potential roosting

features found during the survey shall be flagged or marked. Locations off the site to which access is not available may be surveyed from within the site or from public areas.

If no roosting sites or bats are found, a letter report confirming absence shall be submitted by the biologist to the Town of Los Gatos prior to issuance of tree removal and demolition permits and no further mitigation is required.

If bats or roosting sites are found, a letter report and supplemental documents shall be provided by the biologist to the Town of Los Gatos prior to issuance of tree removal and demolition permits and the following monitoring, exclusion, and habitat replacement measures shall be implemented:

- a. If bats are found roosting outside of the nursery season (May 1 through October 1), they shall be evicted as described under (b) below. If bats are found roosting during the nursery season, they shall be monitored to determine if the roost site is a maternal roost. This could occur by either visual inspection of the roost bat pups, if possible, or by monitoring the roost after the adults leave for the night to listen for bat pups. If the roost is determined to not be a maternal roost, then the bats shall be evicted as described under (b) below. Because bat pups cannot leave the roost until they are mature enough, eviction of a maternal roost cannot occur during the nursery season. Therefore, if a maternal roost is present, a 50-foot buffer zone (or different size if determined in consultation with the California Department of Fish and Wildlife) shall be established around the roosting site within the nursery season.
- b. If a non-breeding bat hibernaculum is found in a tree or snag scheduled for removal or on any structures within 50 feet of project disturbance activities, the individuals shall be safely evicted, under the direction of a qualified bat biologist. If pre-construction surveys determine that there are bats present in any trees or structures to be removed, exclusion structures (e.g. one-way doors or similar methods) shall be installed by a qualified biologist. The exclusion structures shall not be placed until the time of year in which young are able to fly, outside of the nursery season. Information on placement of exclusion structures shall be provided to the CDFW prior to construction. If needed, other removal methods could include: carefully opening the roosting area in a tree or snag by hand to expose the cavity and opening doors/windows on structures, or creating openings in walls to allow light into the structures. Removal of any trees or snags and disturbance within 50 feet of any structures shall be conducted no earlier than the following day (i.e., at least one night shall be provided between initial roost eviction disturbance and tree removal/disturbance activities). This action will allow bats to leave during dark hours, which increases their chance of finding new roosts with a minimum of potential predation.
- c. Bat Mitigation and Monitoring Plan. If roosting habitat is identified, a Bat Mitigation and Monitoring plan will be prepared and implemented to mitigate for the loss of roosting habitat. The plan will include information pertaining to the species of bat and location of the roost, compensatory mitigation for

permanent impacts, including specific mitigation ratios and a location of the proposed mitigation area, and monitoring to assess bat use of mitigation areas. The plan will be submitted to CDFW for review and approval prior to the bat eviction activities or the removal of roosting habitat.

Developers shall be responsible for implementation of this mitigation measure with oversight by the Town of Los Gatos. Compliance with this measure shall be documented and submitted to the Town, prior to issuance of grading and demolition permits.

17. *BIOLOGICAL RESOURCES MITIGATION MEASURE BIO-7-4: Prior to issuance of tree removal, demolition, and grading permits, to avoid impacts to nesting birds during the nesting season (January 15 through September 15), construction activities within or adjacent to the project site boundary that include any tree or vegetation removal, demolition, or ground disturbance (such as grading or grubbing) shall be conducted between September 16 and January 14, which is outside of the bird nesting season. If this type of construction occurs during the bird nesting season, then a qualified biologist shall conduct pre-construction surveys for nesting birds to ensure that no nests would be disturbed during project activities.

If project-related work is scheduled during the nesting season (February 15 to August 30 for small bird species such as passerines; January 15 to September 15 for owls; and February 15 to September 15 for other raptors), or if construction activities are suspended for at least 14 days and recommence during the nesting season, a qualified biologist shall conduct nesting bird surveys.

- a. Two surveys for active bird nests shall occur within 14 days prior to start of construction, with the final survey conducted within 48 hours prior to construction. Appropriate minimum survey radii surrounding each work area are typically 250 feet for passerines, 500 feet for smaller raptors, and 1,000 feet for larger raptors. Surveys shall be conducted at the appropriate times of day to observe nesting activities. Locations off the site to which access is not available may be surveyed from within the site or from public areas. A report documenting survey results and plan for active bird nest avoidance (if needed) shall be completed by the qualified biologist prior to initiation of construction activities.
- b. If the qualified biologist documents active nests within the project site or in nearby surrounding areas, an appropriate buffer between each nest and active construction shall be established. The buffer shall be clearly marked and maintained until the young have fledged and are foraging independently. Prior to construction, the qualified biologist shall conduct baseline monitoring of each nest to characterize "normal" bird behavior and establish a buffer distance, which allows the birds to exhibit normal behavior. The qualified biologist shall monitor the nesting birds daily during construction activities and increase the buffer if birds show signs of unusual or distressed behavior (e.g. defensive flights and vocalizations, standing up from a brooding position, and/or flying away from the nest). If buffer establishment is not possible, the qualified biologist or

construction foreman shall have the authority to cease all construction work in the area until the young have fledged and the nest is no longer active.

Developers shall be responsible for implementation of this mitigation measure with oversight by the Town of Los Gatos. Compliance with this measure shall be documented and submitted to the Town, prior to issuance of tree removal, demolition, and grading permits.

18. *BIOLOGICAL RESOURCES MITIGATION MEASURE BIO-7-5a: To avoid impacts to a the potentially jurisdictional drainage feature, a minimum 10-foot setback from the drainage shall be maintained during tree removal, demolition, and construction activities. The drainage and setback area shall be shown on all demolition and construction plans.
19. *BIOLOGICAL RESOURCES MITIGATION MEASURE BIO-7-5b: If disturbance will occur within ten feet of the drainage, prior to issuance of a grading permit within the project boundary, the applicant shall retain a qualified biologist to determine the extent of potential wetlands and waterways regulated by the USACE, RWQCB, and CDFW. If the USACE claims jurisdiction, the applicant shall retain a qualified biologist to obtain a Clean Water Act Section 404 Nationwide Permit. If the impacts to the drainage features do not qualify for a Nationwide Permit, the applicant shall proceed with the qualified biologist in obtaining an Individual Permit from the USACE. The applicant shall then retain a qualified biologist to coordinate with the RWQCB to obtain a Clean Water Act Section 401 Water Quality Certification. If necessary, the applicant shall also retain a qualified biologist to coordinate with the CDFW to obtain a Streambed Alteration Agreement.

To compensate for temporary and/or permanent impacts to Waters of the U.S. that would be impacted as a result of the proposed project, mitigation shall be provided as required by the regulatory permits. Mitigation would be provided through one of the following mechanisms:

- a. A Wetland Mitigation and Monitoring Plan shall be developed that will outline mitigation and monitoring obligations for temporary impacts to wetlands and other waters as a result of construction activities. The Wetland Mitigation and Monitoring Plan would include thresholds of success, monitoring and reporting requirements, and site-specific plans to compensate for wetland losses resulting from the project. The Wetland Mitigation and Monitoring Plan shall be submitted to the appropriate regulatory agencies for review and approval during the permit application process.
 - b. To compensate for permanent impacts, the purchase and/or dedication of land to provide suitable wetland restoration or creation shall ensure a no net loss of wetland values or functions. If restoration is available and feasible, a minimum 1:1 mitigation to impact ratio would apply to projects for which mitigation is provided in advance.
20. *BIOLOGICAL RESOURCES MITIGATION MEASURE BIO-7-6: Prior to issuance of a tree removal permit and/or a grading permit, developers shall retain a certified arborist to develop a site-specific tree protection plan for retained trees and supervise the

implementation of all proposed tree preservation and protection measures during construction activities, including those measures specified in the 2018 project arborist report and 2020 arborist report update (HortScience Bartlett Consulting). Also, in accordance with the Town's Tree Protection Ordinance, the developer shall obtain a tree removal permit for proposed tree removals on each development lot prior to tree removals and shall install replacement trees in accordance with all mitigation, maintenance, and monitoring requirements specified in the tree removal permit(s) or otherwise required by the Town for project approvals.

21. *BIOLOGICAL RESOURCES MITIGATION MEASURE BIO-7-8: On-site landscaping shall be limited to drought-tolerant species, fire-resistant species, and species capable of increasing soil stability; with preference to plant species endemic to Santa Clara County. Species from the California Invasive Plant Council's (Cal-IPC) Invasive Plant Inventory (Cal-IPC 2020) shall be removed if present and not included in any new landscaping.

The plant palette used for on-site landscaping shall be reviewed and approved by the Town of Los Gatos to confirm no invasive species shall be planted. Evidence of compliance shall be submitted to the Town of Los Gatos prior to occupancy of the residential buildings.

22. *CULTURAL RESOURCES MITIGATION MEASURE CUL-8-2: The following measure shall be included in project plans, prior to issuance of a demolition permit:

If paleontological resources are uncovered during demolition, grading or other on-site excavation activities, construction shall stop until appropriate mitigation is implemented, to be approved by the Community Development Director.

23. *WILDFIRE HAZARDS MITIGATION MEASURE FIRE-12-1: In order to adequately address any potential conflicts with emergency access or evacuation routes during construction, the applicant shall prepare and implement a site-specific construction traffic management plan for any construction effort that would require work within existing roadways. The traffic management plan shall be prepared and submitted to the Town prior to issuance of demolition permit(s) and shall be prepared to the satisfaction of Town Public Works and County Fire Department staff.

24. *GEOLOGY AND SOILS RESOURCES MITIGATION MEASURE GEO-13-1: The applicant's geotechnical consultant shall review and approve all geotechnical aspects of the development plans, ground improvement plans, shoring design criteria from a geotechnical perspective, and supporting structural details and calculations (i.e., site preparation and grading, site drainage improvements and design parameters for foundations, etc.) to ensure that their recommendations have been properly incorporated. The project geotechnical consultant should review and approve appropriate performance testing for proposed ground improvement measures.

The results of the geotechnical plan review should be summarized by the project geotechnical consultant in a letter and submitted to the Town Engineer prior to issuance of building permits.

25. *GEOLOGY AND SOILS RESOURCES MITIGATION MEASURE GEO-13-2: The geotechnical

consultant shall inspect, test and approve all geotechnical aspects of the project construction. The inspections should include, but not necessarily be limited to:

- Site preparation and grading;
- Ground improvement;
- Shoring measures and design;
- Site surface and subsurface drainage improvements; and
- Excavations for foundations prior to placement of steel and concrete.

In addition, the project engineering geologist shall inspect opened excavations to confirm bedrock conditions are consistent with those anticipated.

The results of these inspections and the as-built conditions of the project, including ground improvement measures and placement of engineered fill, should be described by the geotechnical consultant in a letter and submitted to the Town Engineer for review and approval prior to final (as-built) project approval.

Specialty/design-build consultants and contractors (shoring, ground improvement, etc.) shall also submit construction reports confirming satisfactory construction of the specific aspects of the project that they are responsible for.

26. *GEOLOGY AND SOILS RESOURCES MITIGATION MEASURE GEO-13-3: The applicant shall consult with Bay Area Air Quality Management District to determine permit requirements. Removal of asbestos-containing building materials is subject to Bay Area Air Quality Management District's Regulation 11, Rule 2: Asbestos Demolition, Renovation and Manufacturing. Release of lead into the atmosphere is subject to Bay Area Air Quality Management District's Regulation 11, Rule 1: Lead.

Prior to the commencement of demolition activities on the site, the applicant shall provide evidence of meeting the permitting requirements of the Bay Area Air Quality Management District, to the satisfaction of the Town of Los Gatos Community Development Department.

27. TOWN INDEMNITY: Applicants are notified that Town Code Section 1.10.115 requires that any applicant who receives a permit or entitlement ("the Project") from the Town shall defend (with counsel approved by Town), indemnify, and hold harmless the Town, its agents, officers, and employees from and against any claim, action, or proceeding (including without limitation any appeal or petition for review thereof) against the Town or its agents, officers or employees related to an approval of the Project, including without limitation any related application, permit, certification, condition, environmental determination, other approval, compliance or failure to comply with applicable laws and regulations, and/or processing methods ("Challenge"). Town may (but is not obligated to) defend such Challenge as Town, in its sole discretion, determines appropriate, all at applicant's sole cost and expense.

Applicant shall bear any and all losses, damages, injuries, liabilities, costs and expenses (including, without limitation, staff time and in-house attorney's fees on a fully-loaded

basis, attorney's fees for outside legal counsel, expert witness fees, court costs, and other litigation expenses) arising out of or related to any Challenge ("Costs"), whether incurred by Applicant, Town, or awarded to any third party, and shall pay to the Town upon demand any Costs incurred by the Town. No modification of the Project, any application, permit certification, condition, environmental determination, other approval, change in applicable laws and regulations, or change in such Challenge as Town, in its sole discretion, determines appropriate, all the applicant's sole cost and expense. No modification of the Project, any application, permit certification, condition, environmental determination, other approval, change in applicable laws and regulations, or change in processing methods shall alter the applicant's indemnity obligation.

28. COMPLIANCE MEMORANDUM: A memorandum shall be prepared and submitted with the building plans detailing how the Conditions of Approval will be addressed.

Building Division

29. PERMITS REQUIRED: A Demolition Permit is required for the demolition of each individual building of the existing senior living community. A separate Building Permit is required for the construction of each new building located within the site. An additional Building Permit will be required for the PV system of each building if required by the California Energy Code.
30. APPLICABLE CODES: The current codes, as amended and adopted by the Town of Los Gatos as of January 1, 2023, are the 2022 California Building Standards Code, California Code of Regulations Title 24, Parts 1-12, including locally adopted Energy Reach Codes.
31. CONDITIONS OF APPROVAL: The Conditions of Approval must be blue lined in full on the cover sheet of the construction plans. A Compliance Memorandum shall be prepared and submitted with the building permit application detailing how the Conditions of Approval will be addressed.
32. BUILDING & SUITE NUMBERS: Submit requests for new building addresses to the Building Division prior to submitting for the building permit application process.
33. SIZE OF PLANS: Minimum size 24" x 36", maximum size 30" x 42".
34. REQUIREMENTS FOR COMPLETE DEMOLITION OF STRUCTURE: Obtain a Building Department Demolition Application and a Bay Area Air Quality Management District Application from the Building Department Service Counter. Once the demolition form has been completed, all signatures obtained, and written verification from PG&E that all utilities have been disconnected, return the completed form to the Building Department Service Counter with the Air District's J# Certificate, PG&E verification, and three (3) sets of site plans showing all existing structures, existing utility service lines such as water, sewer, and PG&E. No demolition work shall be done without first obtaining a permit from the Town.
35. AIR QUALITY: To limit the project's construction-related dust and criteria pollutant emissions, the following the Bay Area Air Quality Management District (BAAQMD)-recommended basic construction measures shall be included in the project's grading plan, building plans, and contract specifications:

- a. Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 2 minutes. Clear signage shall be provided for construction workers at all access points.
 - b. All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications. All equipment shall be checked by a certified visible emissions evaluator. All non-road diesel construction equipment shall at a minimum meet Tier 3 emission standards listed in the Code of Federal Regulations Title 40, Part 89, Subpart B, §89.112.
 - c. Developer shall designate an on-site field supervisor to provide written notification of construction schedule to adjacent residential property owners and tenants at least one week prior to commencement of demolition and one week prior to commencement of grading with a request that all windows remain closed during demolition, site grading, excavation, and building construction activities in order to minimize exposure to NOx and PM10. The on-site field supervisor shall monitor construction emission levels within five feet of the property line of the adjacent residences for NOx and PM10 using the appropriate air quality and/or particulate monitor.
36. SOILS REPORT: A Soils Report, prepared to the satisfaction of the Building Official, containing foundation and retaining wall design recommendations, shall be submitted with the Building Permit Application. This report shall be prepared by a licensed Civil Engineer specializing in soils mechanics.
37. SHORING: Shoring plans and calculations will be required for all excavations which exceed five (5) feet in depth, or which remove lateral support from any existing building, adjacent property, or the public right-of-way. Shoring plans and calculations shall be prepared by a California licensed engineer and shall conform to the Cal/OSHA regulations.
38. FOUNDATION INSPECTIONS: A pad certificate prepared by a licensed civil engineer or land surveyor shall be submitted to the project Building Inspector at foundation inspection. This certificate shall certify compliance with the recommendations as specified in the Soils Report, and that the building pad elevations and on-site retaining wall locations and elevations have been prepared according to the approved plans. Horizontal and vertical controls shall be set and certified by a licensed surveyor or registered Civil Engineer for the following items:
- a. Building pad elevation
 - b. Finish floor elevation
 - c. Foundation corner locations
 - d. Retaining wall(s) locations and elevations
39. TITLE 24 ENERGY COMPLIANCE: All required California Title 24 Energy Compliance Forms must be blue-lined (sticky-backed), i.e. directly printed, onto a plan sheet.
40. SITE ACCESSIBILITY: At least one accessible route within the boundary of the site shall be provided from public transportation stops, accessible parking and accessible passenger loading zones and public streets or sidewalks to the accessible building entrance that they serve. The accessible route shall, to the maximum extent feasible, coincide with the route for the general public. At least one accessible route shall

connect all accessible buildings, facilities, elements and spaces that are on the same site.

41. ACCESSIBLE PARKING: The parking lots, as well as the parking structure, where parking is provided for the public as clients, guests or employees, shall provide handicap accessible parking. Accessible parking spaces serving a particular building shall be located on the shortest accessible route of travel from adjacent parking to an accessible entrance. In buildings with multiple accessible entrances with adjacent parking, accessible parking spaces shall be dispersed and located closest to the accessible entrances.
42. BACKWATER VALVE: The scope of this project may require the installation of a sanitary sewer backwater valve per Town Ordinance 6.50.025. Please provide information on the plans if a backwater valve is required and the location of the installation. The Town of Los Gatos Ordinance and West Valley Sanitation District (WVSD) requires backwater valves on drainage piping serving fixtures that have flood level rims less than 12 inches above the elevation of the next upstream manhole.
43. HAZARDOUS FIRE ZONE: All projects in the Town of Los Gatos require Class A roof assemblies.
44. SPECIAL INSPECTIONS: When a special inspection is required by CBC Section 1704, the Architect or Engineer of Record shall prepare an inspection program that shall be submitted to the Building Official for approval prior to issuance of the Building Permit. The Town Special Inspection form must be completely filled-out and signed by all requested parties prior to permit issuance. Special Inspection forms are available from the Building Division Service Counter or online at www.losgatosca.gov/building.
45. BLUEPRINT FOR A CLEAN BAY SHEET: The Town standard Santa Clara Valley Nonpoint Source Pollution Control Program Sheet (page size same as submitted drawings) shall be part of the plan submittal as the second page. The specification sheet is available at the Building Division Service Counter for a fee of \$2 or at ARC Blueprint for a fee or online at www.losgatosca.gov/building.
46. APPROVALS REQUIRED: The project requires the following departments and agencies approval before issuing a building permit:
 - a. Community Development – Planning Division: (408) 354-6874
 - b. Engineering/Parks & Public Works Department: (408) 399-5771
 - c. Santa Clara County Fire Department: (408) 378-4010
 - d. West Valley Sanitation District: (408) 378-2407
 - e. Santa Clara County Environmental Health Department: (408) 918-3479
 - f. Local School District: The Town will forward the paperwork to the appropriate school district(s) for processing. A copy of the paid receipt is required prior to permit issuance.

TO THE SATISFACTION OF THE DIRECTOR OF PARKS & PUBLIC WORKS:

Engineering Division

47. GENERAL: All public improvements shall be made according to the latest adopted Town Standard Plans, Standard Specifications and Engineering Design Standards. All work

shall conform to the applicable Town ordinances. The adjacent public right-of-way shall be kept clear of all job-related mud, silt, concrete, dirt and other construction debris at the end of the day. Dirt and debris shall not be washed into storm drainage facilities. The storing of goods and materials on the sidewalk and/or the street will not be allowed unless an encroachment permit is issued by the Engineering Division of the Parks and Public Works Department. The Owner and/or Applicant and/or Developer's representative in charge shall be at the job site during all working hours. Failure to maintain the public right-of-way according to this condition may result in the issuance of correction notices, citations, or stop work orders and the Town performing the required maintenance at the Owner and/or Applicant's expense.

48. APPROVAL: This application shall be completed in accordance with all the conditions of approval listed below and in substantial compliance with the latest reviewed and approved development plans. Any changes or modifications to the approved plans or conditions of approvals shall be approved by the Town Engineer.
49. CONSTRUCTION PLAN REQUIREMENTS: Construction drawings shall comply with Section 1 (Construction Plan Requirements) of the Town's Engineering Design Standards, which are available for download from the Town's website:
<https://www.losgatosca.gov/1088/Town-Engineering-Standards>.
50. ENCROACHMENT PERMIT: All work in the public right-of-way will require a Construction Encroachment Permit. All work over \$5,000 will require construction security. It is the responsibility of the Owner/Applicant to obtain any necessary encroachment permits from affected agencies and private parties, including but not limited to, Pacific Gas and Electric (PG&E), AT&T, Comcast, Santa Clara Valley Water District, California Department of Transportation (Caltrans). Copies of any approvals or permits must be submitted to the Town Engineering Division of the Parks and Public Works Department prior to releasing any permit.
51. FOR PLANTERS: The Owner and/or Applicant shall apply for an encroachment permit for the any proposed planters within the public sidewalk and/or Town's right-of-way. The Owner and/or Applicant shall work with Parks and Public Works Department staff to arrive at a mutually agreeable solution that addresses safety and aesthetic issues. If no solution is reached, the vegetative screening requirement shall be waived. A Private Improvements in the Public Right-of-Way (formerly Indemnity) Agreement will be required if planters are proposed to be located within the Town's right-of-way. A copy of the recorded agreement shall be submitted to the Engineering Division of the Parks and Public Works Department prior to the issuance of any grading or building permits.
52. PRIVATE IMPROVEMENTS IN THE PUBLIC RIGHT-OF-WAY (INDEMNITY AGREEMENT): The property owner shall enter into an agreement with the Town for all existing and proposed private improvements within the Town's right-of-way. The Owner shall be solely responsible for maintaining the improvements in a good and safe condition at all times and shall indemnify the Town of Los Gatos. The agreement must be completed and accepted by the Director of Parks and Public Works, and subsequently recorded by the Town Clerk at the Santa Clara County Office of the Clerk-Recorder, prior to the issuance of any grading or building permits. Please note that this process may take approximately six to eight (6-8) weeks.

53. GENERAL LIABILITY INSURANCE: The property owner shall provide proof of insurance to the Town on a yearly basis. In addition to general coverage, the policy must cover all elements encroaching into the Town's right-of-way.
54. PUBLIC WORKS INSPECTIONS: The Owner and/or Applicant or their representative shall notify the Engineering Inspector at least twenty-four (24) hours before starting any work pertaining to on-site drainage facilities, grading or paving, and all work in the Town's right-of-way. Failure to do so will result in penalties and rejection of any work that occurred without inspection.
55. RESTORATION OF PUBLIC IMPROVEMENTS: The Owner and/or Applicant or their representative shall repair or replace all existing improvements not designated for removal that are damaged or removed because of the Owner and/or Applicant or their representative's operations. Improvements such as, but not limited to: curbs, gutters, sidewalks, driveways, signs, pavements, raised pavement markers, thermoplastic pavement markings, etc., shall be repaired and replaced to a condition equal to or better than the original condition. Any new concrete shall be free of stamps, logos, names, graffiti, etc. Any concrete identified that is displaying a stamp or equal shall be removed and replaced at the Contractor's sole expense and no additional compensation shall be allowed therefore. Existing improvement to be repaired or replaced shall be at the direction of the Engineering Construction Inspector and shall comply with all Title 24 Disabled Access provisions. The restoration of all improvements identified by the Engineering Construction Inspector shall be completed before the issuance of a certificate of occupancy. The Owner and/or Applicant or their representative shall request a walk-through with the Engineering Construction Inspector before the start of construction to verify existing conditions.
56. SITE SUPERVISION: The General Contractor shall provide qualified supervision on the job site at all times during construction.
57. STREET/SIDEWALK CLOSURE: Any proposed blockage or partial closure of the street and/or sidewalk requires an encroachment permit. Special provisions such as limitations on works hours, protective enclosures, or other means to facilitate public access in a safe manner may be required.
58. PLAN CHECK FEES: Plan check fees associated with the Grading Permit shall be deposited with the Engineering Division of the Parks and Public Works Department prior to the commencement of plan check review.
59. INSPECTION FEES: Inspection fees shall be deposited with the Town prior to the issuance of any grading or building permits.
60. PUBLIC WORKS INSPECTOR: The Owner and/or Applicant shall fund a full-time public works inspector, selected by the Town of Los Gatos, for the duration of the demolition and grading operations. The Owner and/or Applicant will be charged on a time and materials basis. A deposit for the full amount, to be estimated by the Town based on the Contractor's approved schedule, shall be paid prior to issuance of the demolition permit.
61. DESIGN CHANGES: Any proposed changes to the approved plans shall be subject to the approval of the Town prior to the commencement of any and all altered work. The Owner and/or Applicant's project engineer shall notify, in writing, the Town Engineer at

- least seventy-two (72) hours in advance of all the proposed changes. Any approved changes shall be incorporated into the final “as-built” plans.
62. **PLANS AND STUDIES:** All required plans and studies shall be prepared by a Registered Professional Engineer in the State of California and submitted to the Town Engineer for review and approval. Additionally, any post-project traffic or parking counts, or other studies imposed by the Planning Commission or Town Council shall be funded by the Owner and/or Applicant.
 63. **GRADING PERMIT REQUIRED:** A grading permit is required for all site grading and drainage work except for exemptions listed in Section 12.20.015 of The Code of the Town of Los Gatos (Grading Ordinance). After the preceding Architecture and Site Application has been approved by the respective deciding body, the grading permit application (with grading plans and associated required materials and plan check fees) shall be made to the Engineering Division of the Parks and Public Works Department located at 41 Miles Avenue. The grading plans shall include final grading, drainage, retaining wall location(s), driveway, utilities and interim erosion control. Grading plans shall list earthwork quantities and a table of existing and proposed impervious areas. Unless specifically allowed by the Director of Parks and Public Works, the grading permit will be issued concurrently with the building permit. The grading permit is for work outside the building footprint(s). Prior to Engineering signing off and closing out on the issued grading permit, the Owner/Applicant’s soils engineer shall verify, with a stamped and signed letter, that the grading activities were completed per plans and per the requirements as noted in the soils report. A separate building permit, issued by the Building Department, located at 110 E. Main Street, is needed for grading within the building footprint.
 64. **GRADING ACTIVITY RESTRICTIONS:** Upon receipt of a grading permit, any and all grading activities and operations shall not commence until after/occur during the rainy season, as defined by Town Code of the Town of Los Gatos, Sec. 12.10.020, (October 15-April 15), has ended.
 65. **DRIVEWAY:** The driveway conform to existing pavement on Wood Road shall be constructed in a manner such that the existing drainage patterns will not be obstructed.
 66. **CONSTRUCTION EASEMENT:** Prior to the issuance of a grading or building permit, it shall be the sole responsibility of the Owner and/or Applicant to obtain any and all proposed or required easements and/or permissions necessary to perform the grading herein proposed. Proof of agreement/approval is required prior to the issuance of any Permit.
 67. **DRAINAGE STUDY:** Prior to the issuance of any grading or building permits, the following drainage studies shall be submitted to and approved by the Town Engineer: a drainage study of the project including diversions, off-site areas that drain onto and/or through the project, and justification of any diversions; a drainage study evidencing that the proposed drainage patterns will not overload the existing storm drain facilities; and detailed drainage studies indicating how the project grading, in conjunction with the drainage conveyance systems (including applicable swales, channels, street flows, catch basins, storm drains, and flood water retarding) will allow building pads to be safe from inundation from rainfall runoff which may be expected from all storms up to and including the theoretical 100-year flood.

68. DRAINAGE IMPROVEMENT: Prior to the issuance of any grading/improvement permits, whichever comes first, the Owner and/or Applicant shall: a) design provisions for surface drainage; and b) design all necessary storm drain facilities extending to a satisfactory point of disposal for the proper control and disposal of storm runoff; and c) provide a recorded copy of any required easements to the Town.
69. TREE REMOVAL: Copies of all necessary tree removal permits shall be provided prior to the issuance of a grading permit/building permit.
70. SURVEYING CONTROLS: Horizontal and vertical controls shall be set and certified by a licensed surveyor or registered civil engineer qualified to practice land surveying, for the following items:
 - a. Retaining wall: top of wall elevations and locations.
 - b. Toe and top of cut and fill slopes.
71. PRECONSTRUCTION MEETING: Prior to issuance of any grading or building permits, the general contractor shall:
 - a. Along with the Owner and/or Applicant, attend a pre-construction meeting with the Town Engineer to discuss the project conditions of approval, working hours, site maintenance and other construction matters;
 - b. Acknowledge in writing that they have read and understand the project conditions of approval and will make certain that all project sub-contractors have read and understand them as well prior to commencing any work, and that a copy of the project conditions of approval will be posted on-site at all times during construction.
72. RETAINING WALLS: A building permit, issued by the Building Department, located at 110 E. Main Street, may be required for site retaining walls. Walls are not reviewed or approved by the Engineering Division of Parks and Public Works during the grading permit plan review process.
73. CERTIFICATE OF LOT MERGER: A Certificate of Lot Merger shall be recorded. Two (2) copies of the legal description for exterior boundary of the merged parcel and a plat map (8-½ in. X 11 in.) shall be submitted to the Engineering Division of the Parks and Public Works Department for review and approval. The submittal shall include closure calculations, title reports less than ninety (90) days old and the appropriate fee. The certificate shall be recorded prior to the issuance of any grading or building permits.
74. DEDICATIONS: The following shall be dedicated by separate instrument. The dedication shall be recorded before any grading or building permits are issued:
 - a. Emergency Access Easement: Twenty (20) feet wide, located between Wood Road and Broadway.
75. SOILS REPORT: One electronic copy (PDF) of the soils and geologic report shall be submitted with the application. The soils report shall include specific criteria and standards governing site grading, drainage, pavement design, retaining wall design, and erosion control. The reports shall be signed and "wet stamped" by the engineer or geologist, in conformance with Section 6735 of the California Business and Professions Code.
76. GEOLOGY AND SOILS MITIGATION MEASURE: A geotechnical investigation shall be conducted for the project to determine the surface and sub-surface conditions at the

site and to determine the potential for surface fault rupture on the site. The geotechnical study shall provide recommendations for site grading as well as the design of foundations, retaining walls, concrete slab-on-grade construction, excavation, drainage, on-site utility trenching and pavement sections. All recommendations of the investigation shall be incorporated into project plans.

77. SOILS REVIEW: Prior to Town approval of a development application, the Owner and/or Applicant's engineers shall prepare and submit a design-level geotechnical and geological investigation for review by the Town's consultant, with costs borne by the Owner and/or Applicant, and subsequent approval by the Town. The Owner and/or Applicant's soils engineer shall review the final grading and drainage plans to ensure that designs for foundations, retaining walls, site grading, and site drainage are in accordance with their recommendations and the peer review comments. Approval of the Owner and/or Applicant's soils engineer shall then be conveyed to the Town either by submitting a Plan Review Letter prior to issuance of grading or building permit(s).
78. SOILS ENGINEER CONSTRUCTION OBSERVATION: During construction, all excavations and grading shall be inspected by the Owner and/or Applicant's soils engineer prior to placement of concrete and/or backfill so they can verify that the actual conditions are as anticipated in the design-level geotechnical report and recommend appropriate changes in the recommendations contained in the report, if necessary. The results of the construction observation and testing shall be documented in an "as-built" letter/report prepared by the Owner and/or Applicant's soils engineer and submitted to the Town before a certificate of occupancy is granted.
79. SOIL RECOMMENDATIONS: The project shall incorporate the geotechnical/geological recommendations contained in the Geotechnical Investigation and Geologic Hazards Evaluation by Cornerstone Earth Group, dated January 17, 2020, and any subsequently required report or addendum. Subsequent reports or addendum are subject to peer review by the Town's consultant and costs shall be borne by the Owner and/or Applicant.
80. SUPPLEMENTAL GEOLOGIC AND GEOTECHNICAL STUDIES: Supplemental geologic and geotechnical engineering studies shall be performed in support of the design of the infrastructure and the podium/building, and the reports and plans shall be submitted to the Town for review.
81. IMPROVEMENT AGREEMENT: The Owner and/or Applicant shall enter into an agreement to construct public improvements in accordance with Town Code Section 24.40.020. The Owner and/or Applicant shall supply suitable securities for all public improvements that are part of the development in a form acceptable to the Town in the amount of 100% performance and 100% labor and materials prior to the issuance of any encroachment, grading or building permit. The Owner and/or Applicant shall provide two (2) copies of documents verifying the cost of the public improvements to the satisfaction of the Engineering Division of the Parks and Public Works Department. An electronic copy (PDF) of the executed agreement shall be submitted to the Engineering Division of the Parks and Public Works Department prior to the issuance of any encroachment, grading or building permit.

82. SANITARY SEWER CLEANOUT: A sanitary sewer cleanout shall be located within the property in question, within one (1) foot of the property line per West Valley Sanitation District Standard Drawing 3, or at a location specified by the Town. The Owner and/or Applicant shall repair and replace to existing Town standards any portion of concrete flatwork within said right-of-way that is damaged during this activity prior to issuance of a certificate of occupancy.
83. PUBLIC IMPROVEMENTS: The following improvements shall be installed by the Developer. Plans for those improvements shall be prepared by a California registered civil engineer, reviewed and approved by the Town, and guaranteed by contract, Faithful Performance Security and Labor & Materials Security before the issuance of any grading or building permits or the recordation of a map. Plans for the improvements must be approved by the Town prior to the issuance of any grading or building permits. The improvements must be completed and accepted by the Town before a Certificate of Occupancy for any new building can be issued unless otherwise allowed by the Town Engineer.
- a. Wood Road: street lights, tie-in paving, signing, striping, storm drainage and sanitary sewers, as required.
 - b. Remove and replace the existing pavement section along the project frontage with a traffic-appropriate engineered structural pavement section from lip of gutter to lip of gutter from the intersection of South Santa Cruz Avenue and Wood Road extending westerly to the existing fire hydrant, water tank and water pump facilities located within the latter, or alternative pavement rehabilitation measures as approved by the Town Engineer.
 - c. Installation of a sidewalk connecting the podium to the intersection of Wood Road and South Santa Cruz Avenue, as well as construction of the necessary retaining wall(s) and potential pedestrian crosswalk and associated ADA ramps for connectivity to the existing sidewalk on the south side of Wood Road.
 - d. Curb and gutter along the northerly side of Wood Road along the property's frontage.
84. CERTIFICATE OF OCCUPANCY: The Engineering Division of the Parks and Public Works Department will not sign off on a Temporary Certificate of Occupancy or a Final Certificate of Occupancy until all required improvements within the Town's right-of-way have been completed and approved by the Town.
85. FRONTAGE IMPROVEMENTS: The Developer shall be required to improve the project's public frontage (right-of-way line to centerline and/or to limits per the direction of the Town Engineer) to current Town Standards. These improvements may include but not limited to curb, gutter, sidewalk, driveway approach(es), curb ramp(s), signs, pavement, raised pavement markers, thermoplastic pavement markings, storm drain facilities, traffic signal(s), street lighting (upgrade and/or repaint) etc. Plans for the improvements must be approved by the Town prior to the issuance of any grading or building permits. The improvements must be completed and accepted by the Town before the issuance of any grading or building permits unless otherwise allowed by the Town Engineer.
86. ADA COMPLIANCE: The Owner and/or Applicant shall be required to meet all ADA standards, which must be completed and accepted by the Town before a Certificate of

- Occupancy for any new building can be issued. This may require additional construction measures as directed by the Town.
87. UNDERGROUND PARKING GARAGE DRAINAGE: Water from the underground parking garage shall not be discharged onto the public street. The Owner and/or Applicant or their representative shall design a floor drainage system for the garage that collects all drainage and conveys runoff to the sanitary sewer system. Connecting said drainage system to the storm drain system is not permitted.
 88. PARKING LOTS: Parking lots and other impervious areas shall be designed to drain stormwater runoff to vegetated drainage swales, filter strips, and/or other Low Impact Development (LID) treatment devices that can be integrated into required landscaping areas and traffic islands prior to discharge into the storm drain system and/or public right-of-way. The amount of impervious area associated with parking lots shall be minimized by utilizing design features such as providing compact car spaces, reducing stall dimensions, incorporating efficient parking lanes, using permeable pavement where feasible, and adhering to the Town's Parking Development Standards: <https://www.losgatosca.gov/DocumentCenter/View/144/Parking-Development-Standards?bidId=>. The use of permeable paving for parking surfaces is encouraged to reduce runoff from the site. Such paving shall meet Santa Clara County Fire Department requirements and be structurally appropriate for the location.
 89. UTILITIES: The Owner and/or Applicant shall install all new, relocated, or temporarily removed utility services, including telephone, electric power and all other communications lines underground, as required by Town Code Section 27.50.015(b). All new utility services shall be placed underground. Underground conduit shall be provided for cable television service. The Owner and/or Applicant is required to obtain approval of all proposed utility alignments from any and all utility service providers before a Certificate of Occupancy for any new building can be issued. The Town of Los Gatos does not approve or imply approval for final alignment or design of these facilities.
 90. UTILITY SETBACKS: House foundations shall be set back from utility lines a sufficient distance to allow excavation of the utility without undermining the house foundation. The Town Engineer shall determine the appropriate setback based on the depth of the utility, input from the project soils engineer, and the type of foundation.
 91. PRIVATE EASEMENTS: Agreements detailing rights, limitations and responsibilities of involved parties shall accompany any proposed private easement. Access driveway shall be within the recorded access easement. A new private access easement shall be recorded, and an electronic copy (PDF) of the recorded agreement shall be submitted to the Engineering Division of the Parks and Public Works Department, prior to issuance of a grading or building permit. A realigned access driveway shall be completed prior to the issuance of grading or building permit.
 92. SIDEWALK REPAIR: The Owner and/or Applicant shall repair and replace to existing Town standards any sidewalk damaged now or during construction of this project. All new and existing adjacent infrastructure must meet current ADA standards. Sidewalk repair shall match existing color, texture and design, and shall be constructed per Town Standard Details. New concrete shall be free of stamps, logos, names, graffiti, etc. Any

concrete identified that is displaying a stamp or equal shall be removed and replaced at the Contractor's sole expense and no additional compensation shall be allowed therefore. The limits of sidewalk repair will be determined by the Engineering Construction Inspector during the construction phase of the project. The improvements must be completed and accepted by the Town before a Certificate of Occupancy for any new building can be issued.

93. CURB AND GUTTER REPAIR: The Owner and/or Applicant shall repair and replace to existing Town standards any curb and gutter damaged now or during construction of this project. All new and existing adjacent infrastructure must meet Town standards. New curb and gutter shall be constructed per Town Standard Details. New concrete shall be free of stamps, logos, names, graffiti, etc. Any concrete identified that is displaying a stamp or equal shall be removed and replaced at the Contractor's sole expense and no additional compensation shall be allowed therefore. The limits of curb and gutter repair will be determined by the Engineering Construction Inspector during the construction phase of the project. The improvements must be completed and accepted by the Town before a Certificate of Occupancy for any new building can be issued.
94. CURB RAMPS: The Owner and/or Applicant shall construct all necessary curb ramps to allow for the required pedestrian connectivity in compliance with ADA Standards which must be completed and accepted by the Town before a Certificate of Occupancy for any new building can be issued. New concrete shall be free of stamps, logos, names, graffiti, etc. Any concrete identified that is displaying a stamp or equal shall be removed and replaced at the Contractor's sole expense and no additional compensation shall be allowed therefore.
95. CALTRANS APPROVAL: The Owner and/or Applicant shall be responsible for obtaining design approval(s) and construction encroachment permit(s) from Caltrans for any improvements within the Caltrans right-of-way. A copy of approved encroachment permit is required to be submitted to the Engineering Division of the Parks and Public Works Department prior to grading or building permit issuance. The improvements must be completed and accepted by the Town before the issuance of any grading or building permits unless otherwise allowed by the Town Engineer.
96. FRONTAGE IMPROVEMENTS (TRAFFIC): The Developer shall construct improvements including and may not be limited to signage, striping, curb/gutter/sidewalk, ADA ramps and street lights at project frontage as directed by the Town Engineer. Plans for the improvements must be approved by the Town prior to the issuance of any grading or building permits. The improvements must be completed and accepted by the Town before the issuance of any grading or building permits unless otherwise allowed by the Town Engineer.
97. FRONTAGE IMPROVEMENTS (STREET LIGHTS): The Developer shall replace existing street light fixture with Town-standard street light pole and fixture. Plans for the improvements must be approved by the Town prior to the issuance of any grading or building permits unless otherwise allowed by the Town Engineer.
98. TRAFFIC IMPROVEMENTS (OFF-SITE IMPROVEMENT): Traffic improvements may be required as determined by traffic study. Construct off-site improvements as required.

Plans shall be prepared by the Developer's design consultants and submitted to the Town Engineer for approval prior to construction. The Developer is required to designate necessary right-of-way for any required widening. Plans for the improvements must be approved by the Town prior to the issuance of any grading or building permits. The improvements must be completed and accepted by the Town before the issuance of any grading or building permits unless otherwise allowed by the Town Engineer.

99. Street LIGHTS INSPECTION FEES: The Owner and/or Applicant shall pay \$3,000.00 for the Town's inspection of street lights. The fees shall be due at time of building permit application.
100. TRANSPORTATION DEMAND MANAGEMENT PLAN (TDM): The Owner and/or Applicant shall prepare a Transportation Demand Management Plan for the Town of Los Gatos approval prior to the issuance of any building permit. The TDM shall include, but is not limited to, measures such as bicycle facility provisions, shower facilities, local shuttle service, transit passes and subsidies, carpool incentive, designated car share parking, and other measures that may be required by the Town Engineer to obtain a goal of a 15% vehicle trip reduction. The TDM shall also include a TDM Coordinator and identify the requirement for an annual TDM effectiveness report to the Town of Los Gatos.
101. BICYCLE FACILITIES: Bicycle facilities including, but may not be limited to, bike lanes and bike boxes will be provided in all directions and approaches of improved streets and intersections as directed by Town Engineer.
102. TRAFFIC STUDY: Any development of land use that generates greater traffic impacts than those assumed in the traffic study report may require an updated traffic study in accordance with the Town's traffic impact policy.
103. TRAFFIC IMPACT MITIGATION FEE: Prior to the issuance of any building/grading permit(s), the Owner and/or Applicant shall pay the project's proportional share of transportation improvements needed to serve cumulative development within the Town of Los Gatos. The fee amount will be based upon the Town Council resolution in effect at the time the building permit is issued. The fee shall be paid before issuance of any grading or building permit. In the event that a subdivision map, parcel map or certificate is required to be recorded the fee shall be paid prior to recordation. The final traffic impact mitigation fee for this project shall be calculated from the final plans using the current fee schedule and rate schedule in effect at the time, using a comparison between the existing and proposed uses.
104. CONSTRUCTION VEHICLE PARKING: No construction vehicles, trucks, equipment and worker vehicles shall be allowed to park on the portion of any public (Town) streets without written approval from the Town Engineer.
105. TRAFFIC CONTROL PLAN: A traffic control plan is required and must be submitted and approved by the Town Engineer prior to the issuance of an encroachment, grading or building permit. This plan shall include, but not be limited to, the following measures:
 - a. Construction activities shall be strategically timed and coordinated to minimize traffic disruption for schools, residents, businesses, special events, and other projects in the area. The schools located on the haul route shall be contacted to

help with the coordination of the trucking operation to minimize traffic disruption.

- b. Flag persons shall be placed at locations necessary to control one-way traffic flow. All flag persons shall have the capability of communicating with each other to coordinate the operation.
 - c. Prior to construction, advance notification of all affected residents and emergency services shall be made regarding one-way operation, specifying dates and hours of operation.
106. CALTRANS APPROVAL OF TRAFFIC CONTROL PLANS: The Owner and/or Applicant shall be responsible for submitting the proposed traffic control plans to Caltrans for approval for any work within the Caltrans right-of-way or that may affect traffic on South Santa Cruz Avenue.
107. CONSTRUCTION TRAFFIC CONTROL: All construction traffic and related vehicular routes, traffic control plan, and applicable pedestrian or traffic detour plans shall be submitted for review and approval by the Town Engineer prior to the issuance of an encroachment, grading or building permit.
108. ADVANCE NOTIFICATION: Advance notification of all affected residents and emergency services shall be made regarding parking restriction, lane closure or road closure, with specification of dates and hours of operation.
109. HAULING OF SOIL: Hauling of soil on- or off-site shall not occur during the morning or evening peak periods (between 7:00 a.m. and 9:00 a.m. and between 4:00 p.m. and 6:00 p.m.), and at other times as specified by the Director of Parks and Public Works. Prior to the issuance of an encroachment, grading or building permit, the Developer or their representative shall work with the Town Building Department and Engineering Division Inspectors to devise a traffic control plan to ensure safe and efficient traffic flow under periods when soil is hauled on or off the project site. This may include, but is not limited to provisions for the Developer to place construction notification signs noting the dates and time of construction and hauling activities, or providing additional traffic control. Coordination with other significant projects in the area may also be required. Cover all trucks hauling soil, sand and other loose debris.
110. CONSTRUCTION HOURS: All site improvement construction activities, including the delivery of construction materials, labors, heavy equipment, supplies, etc., shall be limited to the hours of 8:00 a.m. to 6:00 p.m., weekdays and 9:00 a.m. to 4:00 p.m. Saturdays. The Town may authorize, on a case-by-case basis, alternate construction hours. The Owner shall provide written notice twenty-four (24) hours in advance of modified construction hours. Approval of this request is at discretion of the Town.
111. CONSTRUCTION NOISE: Between the hours of 8:00 a.m. to 6:00 p.m., weekdays and 9:00 a.m. to 4:00 p.m. Saturdays, construction, alteration or repair activities shall be allowed. No individual piece of equipment shall produce a noise level exceeding eighty-five (85) dBA at twenty-five (25) feet from the source. If the device is located within a structure on the property, the measurement shall be made at distances as close to twenty-five (25) feet from the device as possible. The noise level at any point outside of the property plane shall not exceed eighty-five (85) dBA.

112. CONSTRUCTION MANAGEMENT PLAN SHEET: Prior to the issuance of any encroachment, grading or building permits, the Developer's design consultant shall submit a construction management plan sheet (full-size) within the plan set that shall incorporate at a minimum the Earth Movement Plan, Traffic Control Plan, Project Schedule, site security fencing, employee parking, construction staging area, materials storage area(s), construction trailer(s), concrete washout(s) and proposed outhouse locations. Please refer to the Town's Construction Management Plan Guidelines (<https://www.losgatosca.gov/DocumentCenter/View/17600/Construction-Management-Plan-Guidelines?bidId=>) document for additional information.
113. EMERGENCY VEHICLE ACCESS EASEMENT: Prior to the issuance of any grading or building permits, the Owner and/or Applicant shall coordinate with the Santa Clara County Fire Department to ensure that any proposed modifications to the Emergency Vehicle Access Easement that traverses the Project Site are curvilinear, allows for the Department's equipment to travel across said easement, and meets all Department specifications. Plans shall be submitted to the Santa Clara County Fire Department for approval prior to construction.
114. CALTRANS: Prior to the start of any work along or within Caltrans rights-of-way and/or easement, the Developer shall obtain necessary encroachment permits for the proposed work. A copy of approved encroachment permit is required to be submitted to the Engineering Division of the Parks and Public Works Department. Plans for the improvements must be approved by the Town prior to the issuance of any grading or building permits. Improvements approved by Caltrans shall be constructed and installed prior to grading or building permit issuance unless otherwise allowed by the Town Engineer.
115. STORMWATER MANAGEMENT: Construction activities including but not limited to clearing, stockpiling, grading or excavation of land, which disturbs one (1) acre or more which are part of a larger common plan of development which disturbs less than one (1) acre are required to obtain coverage under the construction general permit with the State Water Resources Control Board. The Owner and/or Applicant is required to provide proof of WDID# and keep a current copy of the storm water pollution prevention plan (SWPPP) on the construction site and shall be made available to the Town of Los Gatos Engineering Division of the Parks and Public Works Department and/or Building Department upon request.
116. BEST MANAGEMENT PRACTICES (BMPs): The Owner and/or Applicant is responsible for ensuring that all contractors are aware of all storm water quality measures and that such measures are implemented. Best Management Practices (BMPs) shall be maintained and be placed for all areas that have been graded or disturbed and for all material, equipment and/or operations that need protection. Removal of BMPs (temporary removal during construction activities) shall be replaced at the end of each working day. Failure to comply with the construction BMP will result in the issuance of correction notices, citations, or stop work orders.
117. STORMWATER DEVELOPMENT RUNOFF: All new development and redevelopment projects are subject to the stormwater development runoff requirements. Every Owner and/or Applicant or their design consultant shall submit a stormwater control plan and

- implement conditions of approval that reduce stormwater pollutant discharges through the construction, operation and maintenance of treatment measures and other appropriate source control and site design measures. Increases in runoff volume and flows shall be managed in accordance with the development runoff requirements.
118. REGULATED PROJECT: The project is classified as a Regulated Project per Provision C.3.b.ii. and is required to implement LID source control, site design, and stormwater treatment on-site in accordance with Provisions C.3.c. and C.3.d..
119. STATE CONSTRUCTION GENERAL PERMIT: In the event that, during the production of construction drawings for the plans approved with this application by the Planning Commission, it is determined that the project will disturb one (1) acre or more of site area, the filing of a Notice of Intent (NOI) and submittal of a Storm Water Pollution Prevention Plan (SWPPP) to the San Francisco Bay Regional Water Quality Control Board as part of a State Construction General Permit will be required. These items shall all be completed and accepted by the Engineering Division before issuance of a grading/building permit.
120. NPDES STORMWATER COMPLIANCE: In the event that, during the production of construction drawings for the plans approved with this application by the Planning Commission, it is determined that the project will create and/or replace more than 2,500 square feet of impervious area, completion of the NPDES Stormwater Compliance Small Projects Worksheet and implementation of at least one of the six low impact development site design measures it specifies shall be completed and submitted to the Engineering Division before issuance of a grading/building permit.
121. SITE DESIGN MEASURES: All projects shall incorporate at least one of the following measures:
- a. Protect sensitive areas and minimize changes to the natural topography.
 - b. Minimize impervious surface areas.
 - c. Direct roof downspouts to vegetated areas.
 - d. Use porous or pervious pavement surfaces on the driveway, at a minimum.
 - e. Use landscaping to treat stormwater.
122. BIORETENTION SYSTEM: The bioretention system(s) shall be designed to have a surface area no smaller than what is required to accommodate a 5 inches/hour stormwater runoff surface loading rate, infiltrate runoff through bioretention soil media at a minimum of 5 inches per hour, and maximize infiltration to the native soil during the life of the project. The soil media for bioretention system(s) shall be designed to sustain healthy, vigorous plant growth and maximize stormwater runoff retention and pollutant removal. Bioretention soil media that meets the minimum specifications set forth in Attachment L of Order No. R2-2009-0074, dated November 28, 2011, shall be used.
123. IMPAIRED WATER BODIES: Projects that discharge directly to CWA section 303(d) listed water bodies shall implement appropriate source control, site design and treatment measures for the listed pollutants of concern.
124. UNLAWFUL DISCHARGES: It is unlawful to discharge any wastewater, or cause hazardous domestic waste materials to be deposited in such a manner or location as to constitute a threatened discharge, into storm drains, gutters, creeks or the San Francisco Bay. Unlawful discharges to storm drains include, but are not limited to:

discharges from toilets, sinks, industrial processes, cooling systems, boilers, fabric cleaning, equipment cleaning or vehicle cleaning.

125. LANDSCAPING: In finalizing the landscape plan for the biotreatment area(s), it is recommended that the landscape architect ensure that the characteristics of the selected plants are similar to those of the plants listed for use in bioretention areas in Appendix D of the Santa Clara Valley Urban Runoff Pollution Prevention Program (SCVURPPP) C.3 Stormwater Handbook.
126. LANDSCAPE MAINTENANCE AGREEMENT: The Developer shall enter into a Landscape Maintenance Agreement with the Town of Los Gatos in which the Developer agrees to maintain the vegetated areas along the project's Wood Road frontage located within the public right-of-way, including the proposed retaining walls as well as street light facilities and fixtures. The agreement must be completed and accepted by the Town Attorney prior to the issuance of any encroachment, grading or building permits.
127. EROSION CONTROL: Interim and final erosion control plans shall be prepared and submitted to the Engineering Division of the Parks and Public Works Department. A Notice of Intent (NOI) and Storm Water Pollution Prevention Plan (SWPPP) shall be submitted to the San Francisco Bay Regional Water Quality Control Board for projects disturbing more than one (1) acre. A maximum of two (2) weeks is allowed between clearing of an area and stabilizing/building on an area if grading is allowed during the rainy season. Interim erosion control measures, to be carried out during construction and before installation of the final landscaping, shall be included. Interim erosion control method shall include, but are not limited to: silt fences, fiber rolls (with locations and details), erosion control blankets, Town standard seeding specification, filter berms, check dams, retention basins, etc. Provide erosion control measures as needed to protect downstream water quality during winter months. The grading, drainage, erosion control plans and SWPPP shall be in compliance with applicable measures contained in the amended provisions C.3 and C.14 of most current Santa Clara County National Pollutant Discharge Elimination System (NPDES) Municipal Regional Permit (MRP). Monitoring for erosion and sediment control is required and shall be performed by the Qualified SWPPP Developer (QSD) or Qualified SWPPP Practitioner (QSP) as required by the Construction General Permit. Stormwater samples are required for all discharge locations and projects may not exceed limits set forth by the Construction General Permit Numeric Action Levels and/or Numeric Effluent Levels. A Rain Event Action Plan (REAP) must be developed forty-eight (48) hours prior to any likely precipitation even, defined by a fifty (50) percent or greater probability as determined by the National Oceanic and Atmospheric Administration (NOAA), and/or whenever rain is imminent. The QSD or QSP must print and save records of the precipitation forecast for the project location area from (<http://www.srh.noaa.gov/forecast>) which must accompany monitoring reports and sampling test data. A rain gauge is required on-site. The Town of Los Gatos Engineering Division of the Parks and Public Works Department and the Building Department will conduct periodic NPDES inspections of the site throughout the recognized storm season to verify compliance with the Construction General Permit and Stormwater ordinances and regulations.

128. DUST CONTROL: Blowing dust shall be reduced by timing construction activities so that paving and building construction begin as soon as possible after completion of grading, and by landscaping disturbed soils as soon as possible. Further, water trucks shall be present and in use at the construction site. All portions of the site subject to blowing dust shall be watered as often as deemed necessary by the Town, or a minimum of three (3) times daily, or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas, and staging areas at construction sites in order to insure proper control of blowing dust for the duration of the project. Watering on public streets shall not occur. Streets shall be cleaned by street sweepers or by hand as often as deemed necessary by the Town Engineer, or at least once a day. Watering associated with on-site construction activity shall take place between the hours of 8 a.m. and 5 p.m. and shall include at least one (1) late-afternoon watering to minimize the effects of blowing dust. All public streets soiled or littered due to this construction activity shall be cleaned and swept on a daily basis during the workweek to the satisfaction of the Town. Demolition or earthwork activities shall be halted when wind speeds (instantaneous gusts) exceed twenty (20) miles per hour (MPH). All trucks hauling soil, sand, or other loose debris shall be covered.
129. DUST CONTROL: The following measures shall be implemented at construction sites greater than four (4) acres in area:
- a. Hydroseed or apply (non-toxic) soil stabilizers to inactive construction areas (previously graded areas inactive for ten days or more).
 - b. Enclose, cover, water twice daily or apply (non-toxic) soil binders to exposed stockpiles (dirt, sand, etc.).
 - c. Limit traffic speeds on unpaved roads to fifteen (15) miles per hour.
 - d. Install sandbags or other erosion control measures to prevent silt runoff to public roadways.
 - e. Replant vegetation in disturbed areas as quickly as possible.
130. AIR QUALITY: To limit the project's construction-related dust and criteria pollutant emissions, the following the Bay Area Air Quality Management District (BAAQMD)-recommended basic construction measures shall be included in the project's grading plan, building plans, and contract specifications:
- a. All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered two times per day, or otherwise kept dust-free.
 - b. All haul trucks designated for removal of excavated soil and demolition debris from site shall be staged off-site until materials are ready for immediate loading and removal from site.
 - c. All haul trucks transporting soil, sand, debris, or other loose material off-site shall be covered.
 - d. As practicable, all haul trucks and other large construction equipment shall be staged in areas away from the adjacent residential homes.
 - e. All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day, or as deemed appropriate by Town Engineer. The use of dry power sweeping is prohibited. An

on-site track-out control device is also recommended to minimize mud and dirt-track-out onto adjacent public roads.

- f. All vehicle speeds on unpaved surfaces shall be limited to fifteen (15) miles per hour.
 - g. All driveways and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.
 - h. Post a publicly visible sign with the telephone number and person to contact at the lead agency regarding dust complaints. This person shall respond and take corrective action within forty-eight (48) hours. The Air District's phone number shall also be visible to ensure compliance with applicable regulations. Please provide the BAAQMD's complaint number on the sign: 24-hour toll-free hotline at 1-800-334-ODOR (6367).
 - i. All excavation, grading, and/or demolition activities shall be suspended when average wind speeds exceed twenty (20) miles per hour.
 - j. Vegetative ground cover (e.g., fast-germinating native grass seed) shall be planted in disturbed areas as soon as possible and watered appropriately until vegetation is established.
131. **DETAILING OF STORMWATER MANAGEMENT FACILITIES:** Prior to the issuance of any grading or building permits, all pertinent details of any and all proposed stormwater management facilities, including, but not limited to, ditches, swales, pipes, bubble-ups, dry wells, outfalls, infiltration trenches, detention basins and energy dissipaters, shall be provided on submitted plans, reviewed by the Engineering Division of the Parks and Public Works Department, and approved for implementation.
132. **CONSTRUCTION ACTIVITIES:** All construction shall conform to the latest requirements of the CASQA Stormwater Best Management Practices Handbooks for Construction Activities and New Development and Redevelopment, the Town's grading and erosion control ordinance, and other generally accepted engineering practices for erosion control as required by the Town Engineer when undertaking construction activities.
133. **STORMWATER DISCHARGE:** New buildings, such as food service facilities and/or multi-family residential complexes or subdivisions, shall provide a covered or enclosed area for dumpsters and recycling containers. The area shall be designed to prevent water run-on to the area and runoff from the area. Areas around trash enclosures, recycling areas, and/or food compactor enclosures shall not discharge directly to the storm drain system. Any drains installed in or beneath dumpsters, compactors, and tallow bin areas serving food service facilities shall be connected to the sanitary sewer. The Owner and/or Applicant shall contact the local permitting authority and/or sanitary district with jurisdiction for specific connection and discharge requirements.
134. **WATER FEATURES:** New fountains shall have a connection to the sanitary sewer system, subject to West Valley Sanitation District's authority and standards, to facilitate draining events. Discharges from these features shall be directed to the sanitary sewer and are not allowed into the storm drain system.
135. **SITE DRAINAGE:** Rainwater leaders shall be discharged to splash blocks. No through curb drains will be allowed. Any storm drain inlets (public or private) directly connected

to public storm system shall be stenciled/signed with appropriate “NO DUMPING - Flows to Bay” NPDES required language. On-site drainage systems for all projects shall include one of the alternatives included in section C.3.i of the Municipal Regional NPDES Permit. These include storm water reuse via cisterns or rain barrels, directing runoff from impervious surfaces to vegetated areas and use of permeable surfaces. If stormwater treatment facilities are to be used they shall be placed a minimum of ten (10) feet from the adjacent property line and/or right-of-way. Alternatively, the facility(ies) may be located with an offset between 5 and 10 feet from the adjacent property and/or right-of-way line(s) if the responsible engineer in charge provides a stamped and signed letter that addresses infiltration and states how facilities, improvements and infrastructure within the Town’s right-of-way (driveway approach, curb and gutter, etc.) and/or the adjacent property will not be adversely affected. No improvements shall obstruct or divert runoff to the detriment of an adjacent, downstream or down slope property.

136. STORM WATER MANAGEMENT PLAN: A storm water management shall be included with the grading permit application for all Group 1 and Group 2 projects as defined in the amended provisions C.3 of the Municipal Regional Stormwater NPDES Permit, Order R2-2015-0049, NPDES Permit No. CAS612008. The plan shall delineate source control measures and BMPs together with the sizing calculations. The plan shall be certified by a professional pre-qualified by the Town. In the event that the storm water measures proposed on the Planning approval differ significantly from those certified on the Building/Grading Permit, the Town may require a modification of the Planning approval prior to release of the Building Permit. The Owner and/or Applicant may elect to have the Planning submittal certified to avoid this possibility.
137. STORM WATER MANAGEMENT PLAN NOTES: The following note shall be added to the storm water management plan: “The biotreatment soil mix used in all stormwater treatment landscapes shall comply with the specifications in Attachment L of the MRP. Proof of compliance shall be submitted by the Contractor to the Town of Los Gatos a minimum of thirty (30) days prior to delivery of the material to the job site using the Biotreatment Soil Mix Supplier Certification Statement.”
138. STORM WATER MANAGEMENT PLAN CERTIFICATION: Certification from the biotreatment soils provider is required and shall be given to Engineering Division Inspection staff a minimum of thirty (30) days prior to delivery of the material to the job site. Additionally deliver tags from the soil mix shall also be provided to Engineering Division Inspection staff. Sample Certification can be found here:
139. http://www.scvurppp-w2k.com/nd_wp.shtml?zoom_highlight=BIOTREATMENT+SOIL.
140. AGREEMENT FOR STORMWATER BEST MANAGEMENT PRACTICES INSPECTION AND MAINTENANCE OBLIGATIONS: The property owner shall enter into an agreement with the Town for maintenance of the stormwater filtration devices required to be installed on this project by the Town’s Stormwater Discharge Permit and all current amendments or modifications. The agreement shall specify that certain routine maintenance shall be performed by the property owner and shall specify device maintenance reporting requirements. The agreement shall also specify routine inspection requirements, permits and payment of fees. The agreement shall be recorded, and an electronic copy

- (PDF) of the recorded agreement shall be submitted to the Engineering Division of the Parks and Public Works Department, prior to the release of any occupancy permits.
141. SILT AND MUD IN PUBLIC RIGHT-OF-WAY: It is the responsibility of Contractor and property owner to make sure that all dirt tracked into the public right-of-way is cleaned up on a daily basis. Mud, silt, concrete and other construction debris SHALL NOT be washed into the Town's storm drains.
 142. GOOD HOUSEKEEPING: Good housekeeping practices shall be observed at all times during the course of construction. All construction shall be diligently supervised by a person or persons authorized to do so at all times during working hours. The Owner and/or Applicant's representative in charge shall be at the job site during all working hours. Failure to maintain the public right-of-way according to this condition may result in penalties and/or the Town performing the required maintenance at the Owner and/or Applicant's expense.
 143. NEIGHBORHOOD CONSTRUCTION COMMUNICATION PLAN: Prior to the issuance of an encroachment, or grading or building permit, the Developer shall initiate a weekly neighborhood email notification program to provide project status updates. The email notices shall also be posted on a bulletin board placed in a prominent location along the project perimeter.
 144. PERMIT ISSUANCE: Permits for each phase; reclamation, landscape, and grading, shall be issued simultaneously.
 145. COVERED TRUCKS: All trucks transporting materials to and from the site shall be covered.
 146. PRIVATE EASEMENTS: Agreements detailing rights, limitations, and responsibilities of involved parties shall accompany each private easement. The easements and associated agreements shall be recorded simultaneously with the map. An electronic copy (PDF) of the recorded agreement(s) shall be submitted to the Engineering Division of the Parks and Public Works Department prior to the issuance of any permit.

TO THE SATISFACTION OF THE SANTA CLARA COUNTY FIRE DEPARTMENT:

147. GENERAL: Review of this Developmental proposal is limited to acceptability of site access, water supply and may include specific additional requirements as they pertain to fire department operations, and shall not be construed as a substitute for formal plan review to determine compliance with adopted model codes. Prior to performing any work, the applicant shall make application to, and receive from, the Building Department all applicable construction permits.
148. NOTE: The subject property is located within the Very High Fire Hazard Severity Zone (VHFHSZ) of the Local Responsibility Area (LRA). Pursuant to California Public Resources Code (PRC) 4290, the California Board of Forestry and Fire Protection is required to "...adopt regulations implementing minimum fire safety standards related to defensible space" applicable to "the perimeters and access to all residential, commercial, and industrial building construction." In 2018, the Legislature passed and the Governor signed SB 901 (Dodd), which expanded the applicability of the regulations promulgated under PRC 4290 to land in the Local Responsibility Area (LRA) Very High Fire Hazard

Severity Zone. All comments below that result from PRC 4290 are identified by **. Where a conflict exists between local & 4290 requirements, the more stringent requirement shall apply. California Code of Regulations, Title 14, Division 1.5, Chapter 7, Subchapter 2, Articles 1-5, § 1273.08.

149. PRC 4290: This project deems compliance with the PRC 4290 requirements.
150. FIRE SPRINKLERS REQUIRED: (As noted on Cover Sheet) In other than residential buildings which require the installation of fire sprinklers for all new buildings according to the California Residential Code, an automatic sprinkler system shall be provided throughout all new buildings and structures. Note: Sprinklers are required for all structures and covered areas such as walkways and gazebos.
151. EMERGENCY RADIO RESPONDER COVERAGE: (As noted on Sheet C108). All new buildings shall have approved radio coverage for emergency responders within the building based upon the existing coverage levels of the public safety communication systems of the jurisdiction at the exterior of the building. This section shall not require improvement of the existing public safety communication systems. Refer to CFC Sec. 510 for further requirements. Emergency Radio Responder Coverage requirements applies to all buildings. [SCCFD Standard Details & Specifications, C-2].
152. STANDPIPES REQUIRED: (AMMR-See note below) Standpipe systems shall be provided in new buildings and structures in accordance with this section. Fire hose threads used in connection with standpipe systems shall be approved and shall be compatible with fire department hose threads. The location of fire department hose connections shall be approved. Standpipes shall be manual wet type. In buildings used for high-piled combustible storage, fire hose protection shall be in accordance with Chapter 32. Installation standard. Standpipe systems shall be installed in accordance with this section and NFPA 14 as amended in Chapter 80. CFC Sec. 905. Locations of proposed interior standpipes and exterior terrace standpipes to comply with hose pull distances, are noted on Sheet C109.1 of the plans. Terrace hose valves are not allowed to be combined with automatic fire sprinkler systems for SCCFD. This review verified proposed locations. Further determination and validation of these locations will be reviewed upon submittal of the system plans.

An AMMR request and associated drawings demonstrating terrace level exterior standpipe hose valves within 150-feet of all exterior portions of each structure, in lieu of apparatus access per CFC Sec. 503.1.1 and an associated fire flow letter, provided by San Jose Water (SJW) indicating that they will construct a new looped public 8" water main installation with four new 6" public hydrants to supply the site has been reviewed and approved by Chief Estrada on 09/14/21. SJW has indicated in their analysis that they will be able to provide 1,500 GPM at a minimum 20 psi. throughout the site, including from the most demanding location, approximately 405' N/N Wood Rd. at an elevation of 525'.

153. WATER SUPPLY REQUIREMENTS: (As noted on Sheet C108) Potable water supplies shall be protected from contamination caused by fire protection water supplies. It is the responsibility of the applicant and any contractors and subcontractors to contact the water purveyor supplying the site of such project, and to comply with the requirements

of that purveyor. Such requirements shall be incorporated into the design of any water-based fire protection systems, and/or fire suppression water supply systems or storage containers that may be physically connected in any manner to an appliance capable of causing contamination of the potable water supply of the purveyor of record. Final approval of the system(s) under consideration will not be granted by this office until compliance with the requirements of the water purveyor of record are documented by that purveyor as having been met by the applicant(s). 2019 CFC Sec. 903.3.5 and Health and Safety Code 13114.7.

154. PUBLIC FIRE HYDRANT(S) REQUIRED: (As noted on Sheet C106 and in SJW fire flow letter) Provide public fire hydrant(s) at location(s) to be determined jointly by the Fire Department and San Jose Water Company. Maximum hydrant spacing shall be 500 feet, with a minimum single hydrant flow of 1500 GPM at 20 psi, residual. Fire hydrants shall be provided along required fire apparatus access roads and adjacent public streets. CFC Sec. 507, and Appendix B and associated Tables, and Appendix C. Hydrants are located on the complex side of the roadway and are immediately accessible (at road elevation) from the fire department access road. A fire flow letter, provided by San Jose Water (SJW) indicates that they will construct a new looped public 8" water main installation with four new 6" public hydrants to supply the site. SJW has indicated in their attached analysis that they will be able to provide 1,500 GPM at a minimum 20 psi. throughout the site, including from the most demanding location, approximately 405' N/N Wood Rd. at an elevation of 525'.
155. FIRE DEPARTMENT CONNECTION REQUIRED: (As noted on Sheet C109.1) An FDC is required for each building to support its sprinkler system. They shall not be attached to the buildings. The fire department connection (FDC) shall be installed at the street, on the street address side of the building. It shall not be on the opposite side of a roadway from the structure that it supplies. It shall be located within 100 feet of a public fire hydrant and within ten (10) feet of the main PIV (unless otherwise approved by the Chief due to practical difficulties). FDC's shall be equipped with a minimum of two (2), two-and-one-half (2- 1/2") inch national standard threaded inlet couplings. FDC's supplying private onsite fire hydrants shall have a minimum four (4) way inlet coupling. Orientation of the FDC shall be such that hose lines may be readily and conveniently attached to the inlets without interference. FDC's shall be painted safety yellow. [SCCFD, SP-2 Standard]. Locations of all FDCs are noted on Sheet C109.1, as reference only. Construction details of the FDC supply to fire protection systems will be subject to review of design details at time of installation permit submittal. One FDC is required for support of each individual building, as currently noted on the plans. Fire Department Connections are located within 100' from an approved fire hydrant.
156. REQUIRED SECONDARY FIRE DEPARTMENT ACCESS: (As noted on Sheet C108)
Commercial and Industrial Developments 1. Buildings exceeding three stories or 30 feet in height. Buildings or facilities exceeding 30 feet (9144 mm) or three stories in height shall have a least two means of fire apparatus access for each structure. 2. Buildings exceeding 62,000 square feet in area. Buildings or facilities having a gross building area of more than 62,000 square feet (5760 mm) shall be provided with two separate and approved fire apparatus access roads. Exception: Projects having a gross building area of

up to 124,000 square feet (11520 mm) that have a single approved fire apparatus access road when all buildings are equipped throughout with approved automatic sprinkler systems. Multi-Family Residential Developments (R-1 & R-2 occupancies) 1. Multi-family residential projects having more than 100 dwelling units shall be equipped throughout with two separate and approved fire apparatus access roads. CFC Sec. Chp. 5. Two separate and approved fire apparatus access roads are required. Aerial access is required for 7 of the 8 buildings. A 26' wide fire lane is shown in the immediate vicinity of any building or portion of a building more than 30 feet in height above the lowest level of fire department access.

157. **REQUIRED AERIAL ACCESS:** Where required: 1. Buildings or portions of buildings or facilities exceeding 30 feet (9144 mm) in height above the lowest level of fire department vehicle access shall be provided with approved fire apparatus access roads capable of accommodating fire department aerial apparatus. Overhead utility and power lines shall not be located within the aerial fire apparatus access roadway. Roadways shall have a paved all weather surface, vertical clearance of 13 feet 6 inches, minimum circulating turning radius of 60 feet outside, a maximum slope of 15% and be able to withstand an imposed load of 75K pounds. 2. Width: Fire apparatus access roads shall have a minimum unobstructed width of 26 feet (7925) in the immediate vicinity of any building or portion of building more than 30 feet (9144 mm) in height. 3. Proximity to building: At least one of the required access routes meeting this condition shall be located within a minimum of 15 feet (4572mm) and a maximum of 30 feet (9144mm) from the building, and shall be positioned parallel to one entire side of the building, as approved by the fire code official. CFC Ch. 5 and SCCFD SD&S A-1.

Aerial access is required for 7 of the 8 buildings. A 26' wide circulating fire lane is shown on the plans. Special consideration shall be taken to support aerial operations.

Aerial access demonstrated to the Villa parapets, and in turn to the roof decks via a structural ledge with permanently attached ladders is acknowledged and accepted. All aerial setup sections are noted to have a cross slope of no more than 2%. Approved AMMR application PC 24-2776 included in this project for Villa A aerial access.

158. **TURN RADIUS (CIRCULATING):** (AMMR-See note below) The minimum outside turning radius is 42 feet for required access roadways. Greater radius up to 60 feet may be required where the Fire Department determines that Ladder Truck access is required. Circulating refers to travel along a roadway without dead ends.

The turn at the entrance to the south of the arrival court has been revised and submitted with a Request for Variance. While this revision does improve the existing condition, and may now be accessible for a shorter wheel-based vehicle such as an ambulance, the cross slope at this location is still impassible for larger fire apparatus. Conforming turnaround noted in front of Villa B. Appropriate radii and angles of approach and departure are required throughout the fire access roadway. [CFC 503.2.8]. As aerial access is required throughout the site, all turns shall provide a 60' outside radius and all slope transitions and points of approach and departure shall be no greater

than 5%. An application for Alternate Materials, Design or Methods of Construction for this turnaround has been submitted per CFC 104.9 for consideration. The alternate has been approved by SCCFD however, the request form requires Building Official signature, architect/engineers signed stamp/seal and subsequent inclusion on the project documents.

159. FIRE APPARATUS ACCESS ROADS REQUIRED FOR BUILDINGS AND FACILITIES: (As noted on Sheets C102 and C108) Approved fire apparatus access roads shall be provided for every facility, building or portion of a building hereafter constructed or moved into or with the jurisdiction. The fire apparatus access road shall comply with the requirements of this section and shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility. [CFC, Section 503.1.1]. Compliant hose pull access routes leading to all portions of the exterior walls of the first story are shown on Sheet C109. Stair access from the Terrace level to the lowest level within each structure shown on Sheet C108. Proposed accessible paths for patient transfers between each villa and anticipated ambulance staging areas are noted on Sheet C108.

Several locations along the proposed fire department access roadway are within an existing tributary area, draining toward Broadway. Sheet C102 Pavement Design Note indicates that the roadway design shall support: 75K pound loading capacity, 2) Point loads for aerial apparatus outriggers, and 3) Drainage design sufficient to prevent roadway erosion.

160. TWO-WAY COMMUNICATION SYSTEM: (As noted on Sheet C108) Two-way communication systems shall be designed and installed in accordance with all current editions of NFPA 72, the California Electrical Code, the California Fire Code, the California Building Code, and the city or town ordinances, policies, and standards where a two-way system is being installed. [SCCFD Standard Details & Specifications, C-1]. Other standards also contain design/installation criteria for specific life safety related equipment. These other standards are referred to in NFPA 72.
161. ADDRESS IDENTIFICATION: (As noted on Sheet C108) New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Where required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.5 inch (12.7 mm). Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address numbers shall be maintained. CFC Sec. 505.1.
162. CLOSURE OF FIRE APPARATUS ACCESS ROADWAYS: (As noted on Sheet C108) The installation of gates, or other barricades across required fire department access roads or driveways shall comply with Standard Details & Specifications, G-1. Detailed plans

showing the location and method of the closure are required. Due to site access constraints, Broadway will be considered the primary emergency vehicle access route. Signage shall be provided indicating it is for emergency access only as indicated on Sheet C108 and no obstruction to this access shall be installed or constructed without additional fire department review and approval.

163. FIRE LANE MARKING REQUIRED: (As noted on Sheet C108) Provide marking for all roadways within the project. Markings shall be per fire department specifications. Installations shall also conform to Local Government Standards and Fire Department Standard Details and Specifications A-6. CFC Sec. 503.3.
164. PARKING: (As noted on Sheet C108) When parking is permitted on streets, in both residential/commercial applications, it shall conform to the following: Parking is permitted both sides of the street with street widths of 36 feet or more; Parking is permitted on one side of the street with street widths of 28 – 35 feet; No parking is permitted when street widths are less than 28 feet. NOTE: Rolled curbs can be part of the curb/sidewalk and used to increase the roadway width with approval from the fire code official. Additional requirements may apply for buildings 30 feet in height or greater. No parking shall be allowed along the access road. Fire Lane markings applied throughout.
165. REQUIRED FIRE FLOW: Previous approved AMMR PC 21-3638 requires minimum fireflow for this project as 1500 Gallons Per Minute (GPM) at 20 psi residual pressure. This fireflow assumes installation of automatic fire sprinklers per CFC [903.3.1.1]
166. GENERAL: This review shall not be construed to be an approval of a violation of the provisions of the California Fire Code or of other laws or regulations of the jurisdiction. A permit presuming to give authority to violate or cancel the provisions of the Fire Code or other such laws or regulations shall not be valid. Any addition to or alteration of approved construction documents shall be approved in advance. [CFC, Ch.1, 105.3.6]