



**TOWN OF LOS GATOS  
PLANNING COMMISSION  
REPORT**

MEETING DATE: 04/23/2025

ITEM NO: 5

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DATE: April 18, 2025  
TO: Planning Commission  
FROM: Joel Paulson, Community Development Director  
SUBJECT: Consider a Request for Approval to Demolish an Existing Accessory Structure and Construct a New Accessory Structure Exceeding 1,000 Square Feet in Gross Floor Area and Site Improvements Requiring a Grading Permit on Property Zoned HR-2½. **Located at 16511 Cypress Way.** APN 532-24-004. Architecture and Site Application S-24-045. Exempt Pursuant to the CEQA Section 15303(a): New Construction or Conversion of Small Structures. Property Owners: Jackie and Scott Kolander. Applicant: Michael Harris. Project Planner: Suray Nathan.

**RECOMMENDATION:**

Denial.

**PROJECT DATA:**

General Plan Designation: Hillside Residential (0-1 dwelling unit/acre)  
Zoning Designation: HR-2½ - Hillside Residential  
Applicable Plans & Standards: Town Code, General Plan, Hillside Development Standards and Guidelines  
Parcel Size: 54,624 square feet  
Surrounding Area:

	Existing Land Use	General Plan	Zoning
North	Residential	Hillside Residential	HR-2½
South	Residential	Hillside Residential	HR-2½
East	Residential	Hillside Residential	HR-2½
West	Residential	Hillside Residential	HR-2½

**PREPARED BY:** Suray Nathan  
Assistant Planner

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Reviewed by: Planning Manager and Community Development Director

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CEQA:

The project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15303(a): New Construction or Conversion of Small Structures.

FINDINGS:

- The project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15303(a): New Construction or Conversion of Small Structures;
- As required by Section 29.10.09030 (b)(2) of the Town Code for the demolition of an existing accessory structure;
- The project meets the objective standards of Chapter 29 of the Town Code (Zoning Regulations);
- The project is in compliance with the Hillside Development Standards and Guidelines for single-family residences with the exceptions to grading depths and light reflective value; and
- The project complies with the Hillside Specific Plan.

CONSIDERATIONS:

- As required by Section 29.20.150 of the Town Code, the considerations in review of an Architecture and Site application were all made in reviewing this project.

ACTION:

The decision of the Planning Commission is final unless appealed within ten days.

BACKGROUND:

The subject property is located on the south side of Cypress Way, approximately 1.4 miles southeast of Los Gatos Boulevard (Exhibit 1). All surrounding properties are zoned Hillside Residential and developed with single-family residential uses. The property is zoned HR-2½ and has a gross lot size of 54,624 square feet. The average slope of the property is 32 percent, and the resulting net lot size is 21,849 square feet.

On August 30, 2024, the applicant applied for an Architecture and Site Application for a 1,239-square foot detached accessory structure consisting of a three-car garage with a workshop.

The proposed project meets the technical requirements of the Town Code for floor area, height, setbacks, and on-site parking. As required by the Hillside Development Standards and Guidelines (HDS&G), the project is being considered by the Planning Commission due to the proposed accessory structure exceeding 1,000 square feet in gross floor area. The applicant also requests exceptions to the HDS&G standards for light reflective value (LRV) and the depth



of cut exceeding the maximum allowed for accessory buildings.

PROJECT DESCRIPTION:

A. Location and Surrounding Neighborhood

The subject property is located on the south side of Cypress Way, approximately 1.4 miles southeast of Los Gatos Boulevard (Exhibit 1). All surrounding properties are zoned Hillside Residential and developed with single-family residential uses.

B. Project Summary

The applicant is proposing a new 1,239-square foot detached accessory structure consisting of a three-car garage with a workshop. The proposed accessory structure would be located at the southeast end of the hillside property. The structure would have a maximum height of 15 feet, the maximum allowed for accessory structures. The project requires exceptions to the HDS&G for a LRV exceeding 30 and the depth of cut exceeding the maximum allowed for accessory buildings, hardscape, and landscape.

C. Zoning Compliance

A single-family residence is permitted in the HR-2½ zone. The proposed residence is in compliance with the allowable floor area, height, setbacks, and on-site parking requirements.

DISCUSSION:

A. Architecture and Site Analysis

The applicant proposes demolition of the existing 587-square foot two-car garage and attached 96-square foot shed with a breezeway (Exhibit 9, Sheet T-1). The maximum allowable floor area ratio for the subject lot is 4,900 square feet, and the total existing floor area is 3,777 square feet. The applicant proposes construction of a new 1,239-square foot, three-car garage with an approximately 19-foot breezeway for a total proposed floor area of 4,333 square feet. The site is located in a hillside neighborhood with large lots and many mature trees. The proposed garage is designed to complement the existing house, with three dormer windows that bring natural light into the interior. The applicant provided a Letter of Justification detailing the project and the requested exceptions to the HDS&G (Exhibit 4 and Exhibit 5). A summary of the floor area for the existing structures and the proposed garage is included in the following table.

<b>Floor Area Summary</b>		
	<b>Existing Square Footage</b>	<b>Proposed Square Footage</b>
Main Level (Single Story)	2,377	2,377
Accessory Structure	1,117	1,117
Attached Structure	96	0
Garage	587	1,239
<b>Subtotal</b>	<b>4,177</b>	<b>4,733</b>
Garage Credit (up to 400 sf)	(400)	(400)
<b>Total Countable Floor Area</b>	<b>3,777</b>	<b>4,333</b>

B. Building Design

The Town's Consulting Architect reviewed the proposed three-car garage with a breezeway on September 17, 2024 (Exhibit 6). The Consulting Architect had no issues or concerns and stated in the report that the proposed structure is characteristic of a carriage house style and shielded by landscaping from views of any adjacent neighbors. The Consulting Architect provided no recommendations for changes.

C. Building Height and Visibility

The proposed garage has a maximum height of 15 feet, which is the maximum allowable height per the HDS&G. The proposed structure is not visible per the HDS&G's visibility analysis criteria.

D. Grading

The project includes site improvements outside of the building footprint with grading quantities of 293 cubic yards, exceeding the 50 cubic yard threshold for requiring approval of a Grading Permit. Site grading is summarized in the table below.

<b>Site Grading Summary (cubic yards)</b>		
	Cut	Fill
Landscape	236	0
Hardscape	57	0
<b>Total</b>	<b>293</b>	<b>0</b>

E. Exceptions to the Hillside Development Standards and Guidelines

**Light Reflective Value exceeding 30 (Chapter V, Standard I.2, page 44):**

The HDS&G includes a standard requiring that building colors and materials blend with the predominant colors and values of the surrounding natural environment. It requires that the colors of exterior materials for structures that are not visible do not exceed an average LRV

of 30. The applicant proposes a color that matches the existing primary house, which has an LRV of 69, and the colors for fascia, gutters, and downspouts of the house have an LRV of 93.

The applicant requests an exception to allow the application of the same color and materials with a greater LRV so the proposed structure will match the existing structure.

**Grading depth of cut exceeding the maximum allowed (Chapter III, Standard A.1, page 20):**

The HDS&G limits grading cut depths outside the footprint of a primary residence to four feet. The applicant proposes maximum cut depths of 13 feet, six inches, for the accessory building (garage), 11 feet for the hardscape, and seven feet for the landscape. The following table illustrates the proposed cut depths.

<b>Maximum Graded Cuts and Fills Depth</b>				
<b>Site Element</b>	<b>Proposed Cut Depth (Ft)</b>	<b>Max Allowed Cut Depth (Ft)</b>	<b>Fill</b>	<b>Earthwork Cut (CY)</b>
Accessory building	13.5	4	0	122
Hardscape	11	4	0	57
Landscape	7	4	0	236

Exhibit 9, Sheet A1.1, illustrates the depth of cuts for the accessory building (blue), hardscape (maroon), and landscape (green). The applicant notes in the Letter of Justification that the grading and cut depths are needed to maintain the same pad elevation as the existing garage and that elevating the garage would require significantly more grading and asphalt modifications. The applicant added that the same is true for additional cuts for the hardscape and landscape (Exhibit 5).

**F. Tree Impacts**

The development plans were reviewed by the Town's Consulting Arborist (Exhibit 7). The inventory contains 10 protected trees comprised of seven different species: three coast live oaks; two canary island pines; one holly; one pistache; one black pine; one Monterey pine; and one silk tree.

The project proposes removal of eight protected trees (#615, #617, #618, #619, #620, #623, and #624), including a pine tree. The pine tree was proposed for removal after the Town's Consulting Arborist review, but the Town's Arborist verified the size and species (Exhibit 9, Sheet A1.0). The Consulting Arborist provided recommendations for tree preservation and planting 26 replacement trees to offset the proposed tree removal. In the Letter of Justification for the project (Exhibit 5), the applicant states that they are not proposing any tree replacement as planting new trees will result in a greater fire hazard than the original condition. The applicant proposes in-lieu fees as an alternative to the recommended planting of 26 trees.

G. Parking and Guest Parking

Pursuant to Section 29.10.150 (c)(1) of the Town Code, a single-family residence requires two on-site parking spaces. The applicant has satisfied the requirement by including a detached three-car garage. The Hillside Specific Plan requires four additional guest parking spaces, and four guest spaces are proposed on the north side of the existing driveway (Exhibit 9, Sheet A1.1).

H. Neighbor Outreach

The applicant provided a sample letter and the list of homes where they hand-delivered the letter. They noted that only two neighbors are in the immediate vicinity of the property (Exhibit 8). No public comment was received at the time of this report's preparation.

I. CEQA Determination

The project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15303(a): New Construction or Conversion of Small Structures.

PUBLIC COMMENTS:

Story poles are not required for this project as it is an accessory structure under 18 feet in height. Written notice was sent to property owners and residents within 500 feet of the subject property. No public comment was received at the time of this report's preparation.

CONCLUSION:

A. Summary

The applicant is requesting approval of an Architecture and Site application to demolish an existing accessory structure and construct a new accessory structure exceeding 1,000 square feet in gross floor area and site improvements requiring a Grading Permit on property zoned HR-2 ½. The project is consistent with the property's zoning and General Plan Land Use designation. The project is in compliance with the objectives standards of the Town Code related to allowable floor area, height, setbacks, and on-site parking requirements. Due to the desired architectural program and the site's constraints, the applicant requests exceptions to the HDS&G for a LRV exceeding 30 and the depth of cut exceeding the maximum allowed for an accessory building (garage), hardscape, and landscape. The applicant provided a Letter of Justification discussing these requested exceptions (Exhibit 5). Aside from the requested exceptions, the project complies with the HDS&G.

B. Recommendation

Based on the analysis provided above, staff recommends that the Planning Commission deny the Architecture and Site application as the proposed LRV and the depth of cut are not consistent with the HDS&G standards.

C. Alternatives

Alternatively, the Commission can:

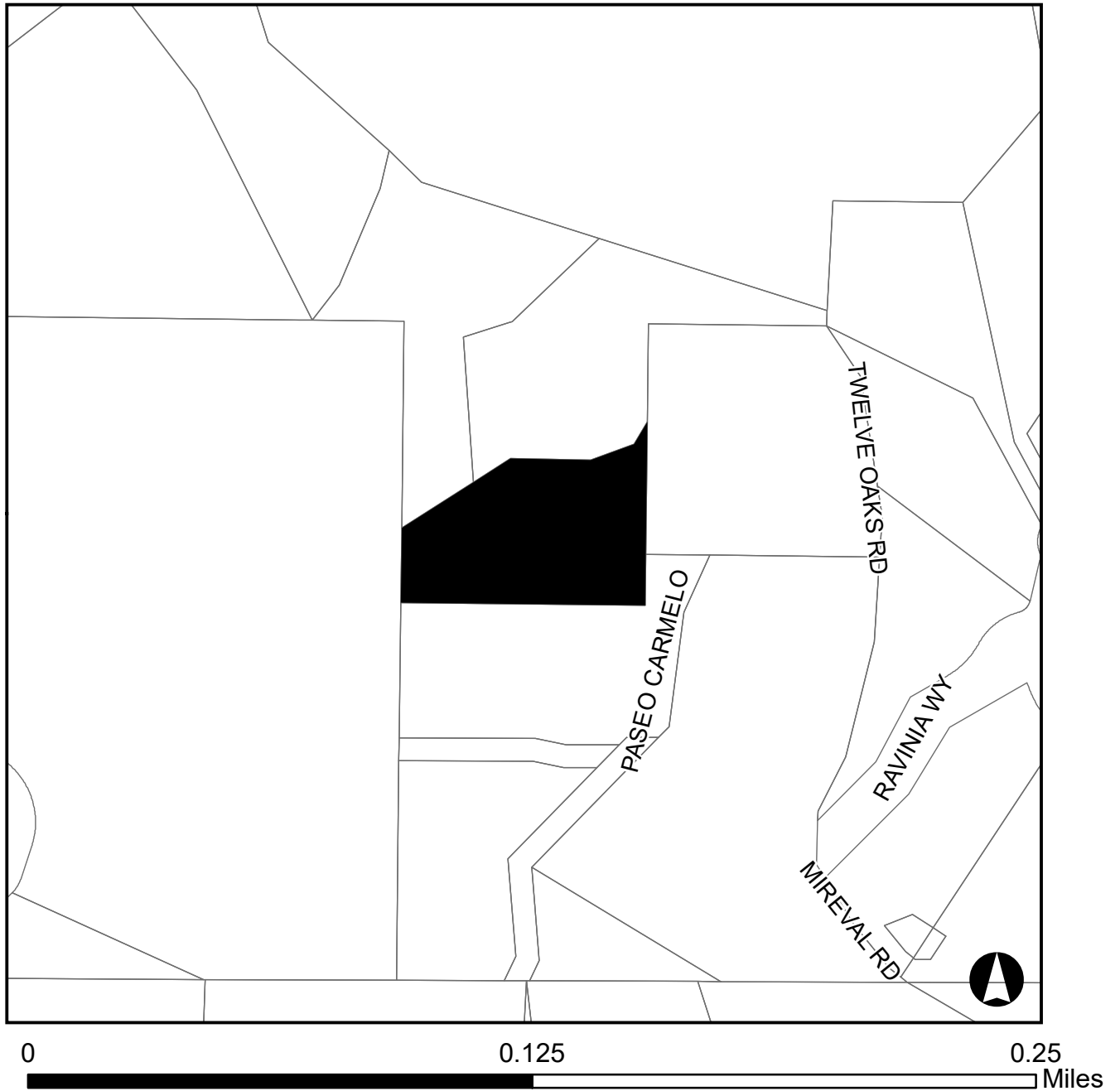
1. Approve the application by taking the following actions:
  - a. Make the finding that the proposed project is Categorically Exempt pursuant to the adopted Guidelines for the implementation of the California Environmental Quality Act, Section 15303(a): New Construction or Conversion of Small Structures (Exhibit 2);
  - b. Make the findings as required by Section 29.10.09030 (b)(2) of the Town Code for the demolition of an existing accessory structure (Exhibit 2);
  - c. Make the finding that the project complies with the objective standards of Chapter 29 of the Town Code (Zoning Regulations) (Exhibit 2);
  - d. Make the finding that the project complies with the Hillside Development Standards and Guidelines, with the exception to grading depths and LRV (Exhibit 2);
  - e. Make the considerations as required by Section 29.20.150 of the Town Code for granting approval of an Architecture and Site application (Exhibit 2); and
  - f. Approve Architecture and Site application S-24-045 with the conditions contained in Exhibit 3 and the development plans in Exhibit 9.
2. Continue the matter to a date certain with specific direction; or
3. Approve the application with additional and/or modified conditions.

EXHIBITS:

1. Location Map
2. Required Findings
3. Recommended Conditions of Approval
4. Project Description
5. Letter of Justification
6. Consulting Architect's Report
7. Consulting Arborist's Report
8. Applicant's neighborhood outreach efforts
9. Development Plans

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# 16511 Cypress Way



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**PLANNING COMMISSION – April 23, 2025**  
**REQUIRED FINDINGS AND CONSIDERATIONS FOR:**

**16511 Cypress Way**  
**Architecture and Site Application S-24-045**

**Consider a Request for Approval to Demolish an Existing Accessory Structure and Construct a New Accessory Structure Exceeding 1,000 square feet in Gross Floor Area and Site Improvements Requiring a Grading Permit on Property Zoned HR-2½. APN 532-24-004. Exempt Pursuant to the CEQA Section 15303(a): New Construction or Conversion of Small Structures.**

**Property Owners: Jackie and Scott Kolander**  
**Applicant: Michael Harris**  
**Project Planner: Suray Nathan**

**FINDINGS**

**Required finding for CEQA:**

- The project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15303(a): New Construction or Conversion of Small Structures.

**Required finding for the demolition of existing structures:**

- As required by Section 29.10.09030 (b)(2) of the Town Code for the demolition of an existing accessory structure:
  1. The Town's housing stock will be maintained as the accessory structure proposed for demolition is not a dwelling unit;
  2. The existing structure has no architectural or historical significance;
  3. The property owner does not desire to maintain the structure as it exists; and
  4. The economic utility of the structures was considered.

**Required compliance with the Zoning Regulations:**

- The project meets the objective standards of Chapter 29 of the Town Code (Zoning Regulations).

**Required compliance with the Hillside Development Standards and Guidelines:**

- As required by the Hillside Development Standards and Guidelines (HDS&G), the project is in compliance with the applicable sections of the HDS&G with the exceptions to grading depths and light reflective value.

### **Compliance with Hillside Specific Plan**

- The proposed development is consistent with the development criteria included in the Specific Plan.

### **CONSIDERATIONS**

#### **Required considerations in review of Architecture and Site applications:**

- As required by Section 29.20.150 of the Town Code, the considerations in review of an Architecture and Site application were all made in reviewing this project.

**PLANNING COMMISSION – April 23, 2025**  
**CONDITIONS OF APPROVAL**

**16511 Cypress Way**

**Architecture and Site Application S-24-045**

**Consider a Request for Approval to Demolish an Existing Accessory Structure and Construct a New Accessory Structure Exceeding 1,000 square feet in Gross Floor Area and Site Improvements Requiring a Grading Permit on Property Zoned HR-2½. APN 532-24-004. Exempt Pursuant to the CEQA Section 15303(a): New Construction or Conversion of Small Structures.**

**Property Owners: Jackie and Scott Kolander**

**Applicant: Michael Harris**

**Project Planner: Suray Nathan**

**TO THE SATISFACTION OF THE COMMUNITY DEVELOPMENT DIRECTOR:**

*Planning Division*

1. **APPROVAL:** This application shall be completed in accordance with all of the conditions of approval and in substantial compliance with the approved plans. Any changes or modifications to the approved plans and/or business operation shall be approved by the Community Development Director, Development Review Committee, or the Planning Commission depending on the scope of the changes.
2. **EXPIRATION:** The approval will expire two years from the approval date pursuant to Section 29.20.320 of the Town Code, unless the approval has been vested.
3. **OUTDOOR LIGHTING:** Exterior lighting shall be kept to a minimum, and shall be down directed fixtures that will not reflect or encroach onto adjacent properties. No flood lights shall be used unless it can be demonstrated that they are needed for safety or security.
4. **TREE REMOVAL PERMIT:** A Tree Removal Permit shall be obtained for any trees to be removed, prior to the issuance of a building or grading permit.
5. **EXISTING TREES:** All existing trees shown on the plan and trees required to remain or to be planted are specific subjects of approval of this plan, and must remain on the site.
6. **ARBORIST REQUIREMENTS:** The developer shall implement, at their cost, all recommendations identified in the Arborist's report for the project, on file in the Community Development Department. These recommendations must be incorporated in the building permit plans and completed prior to issuance of a building permit where applicable.
7. **TREE FENCING:** Protective tree fencing and other protection measures consistent with Section 29.10.1005 of the Town Code shall be placed at the drip line of existing trees prior to issuance of demolition and building permits and shall remain through all phases of construction. Include a tree protection plan with the construction plans.
8. **TREE STAKING:** All newly planted trees shall be double-staked using rubber tree ties.
9. **FRONT YARD LANDSCAPE:** Prior to issuance of a Certificate of Occupancy the front yard

- must be landscaped.
10. **WATER EFFICIENCY LANDSCAPE ORDINANCE:** The final landscape plan shall meet the Town of Los Gatos Water Conservation Ordinance or the State Water Efficient Landscape Ordinance, whichever is more restrictive. A review fee based on the current fee schedule adopted by the Town Council is required when working landscape and irrigation plans are submitted for review.
  11. **PROJECT IDENTIFICATION SIGNAGE:** Project identification signage on the project site shall be removed within 30 days of approval of the Architecture and Site application.
  12. **NESTING BIRDS:** To avoid impacts to nesting birds, the removal of trees and shrubs shall be minimized to the greatest extent feasible. Construction activities that include any tree removal, pruning, grading, grubbing, or demolition shall be conducted outside of the bird nesting season (January 15 through September 15) to the greatest extent feasible. If this type of construction starts, if work is scheduled to start or if work already occurring during the nesting season stops for at least two weeks and is scheduled to resume during the bird nesting season, then a qualified biologist shall conduct a pre-construction surveys for nesting birds to ensure that no nests would be disturbed during project construction. If project-related work is scheduled during the nesting season (February 15 to August 30 for small bird species such as passerines; January 15 to September 15 for owls; and February 15 to September 15 for other raptors), a qualified biologist shall conduct nesting bird surveys. Two surveys for active nests of such birds shall occur within 14 days prior to start of construction, with the second survey conducted with 48 hours prior to start of construction. Appropriate minimum survey radius surrounding each work area is typically 250 feet for passerines, 500 feet for smaller raptors, and 1,000 feet for larger raptors. Surveys shall be conducted at the appropriate times of day to observe nesting activities. If the qualified biologist documents active nests within the project site or in nearby surrounding areas, an appropriate buffer between each nest and active construction shall be established. The buffer shall be clearly marked and maintained until the young have fledged and are foraging independently. Prior to construction, the qualified biologist shall conduct baseline monitoring of each nest to characterize “normal” bird behavior and establish a buffer distance, which allows the birds to exhibit normal behavior. The qualified biologist shall monitor the nesting birds daily during construction activities and increase the buffer if birds show signs of unusual or distressed behavior (e.g. defensive flights and vocalizations, standing up from a brooding position, and/or flying away from the nest). If buffer establishment is not possible, the qualified biologist or construction foreman shall have the authority to cease all construction work in the area until the young have fledged and the nest is no longer active.
  13. **SPECIAL-STATUS BATS:** Approximately 14 days prior to tree removal or structure demolition activities, a qualified biologist shall conduct a habitat assessment for bats and potential roosting sites in trees to be removed, in trees within 50 feet of the development footprint, and within and surrounding any structures that may be disturbed by the project. These surveys will include a visual inspection of potential roosting features (bats need not be present) and a search for presence of guano within the project site, construction access routes, and 50 feet around these areas. Cavities, crevices, exfoliating bark, and bark fissures that could provide suitable potential nest or roost habitat for bats

shall be surveyed. Assumptions can be made on what species is present due to observed visual characteristics along with habitat use, or the bats can be identified to the species level with the use of a bat echolocation detector such as an "Anabat" unit. Potential roosting features found during the survey shall be flagged or marked.

If no roosting sites or bats are found, a letter report confirming absence will be prepared and no further measures are required.

If bats or roosting sites are found, a letter report and supplemental documents will be prepared prior to grading permit issuance and the following monitoring, exclusion, and habitat replacement measures will be implemented:

- a. If bats are found roosting outside of the nursery season (May 1 through October 1), they will be evicted as described under (b) below. If bats are found roosting during the nursery season, they will be monitored to determine if the roost site is a maternal roost. This could occur by either visual inspection of the roost bat pups, if possible, or by monitoring the roost after the adults leave for the night to listen for bat pups. If the roost is determined to not be a maternal roost, then the bats will be evicted as described under (b) below. Because bat pups cannot leave the roost until they are mature enough, eviction of a maternal roost cannot occur during the nursery season. Therefore, if a maternal roost is present, a 50-foot buffer zone (or different size if determined in consultation with the CDFW) will be established around the roosting site within which no construction activities including tree removal or structure disturbance will occur until after the nursery season.
- b. If a non-breeding bat hibernaculum is found in a tree or snag scheduled for removal or on any structures scheduled to be disturbed by project activities, the individuals will be safely evicted, under the direction of a qualified bat biologist. If pre-construction surveys determine that there are bats present in any trees to be removed, exclusion structures (e.g. one-way doors or similar methods) shall be installed by a qualified biologist. The exclusion structures shall not be placed until the time of year in which young are able to fly, outside of the nursery season. Information on placement of exclusion structures shall be provided to the CDFW prior to construction.

If needed, other methods conducted under the direction of a qualified bat biologist could include: carefully opening the roosting area in a tree or snag by hand to expose the cavity and opening doors/windows on structures, or creating openings in walls to allow light into the structures. Removal of any trees or snags and disturbance of any structures will be conducted no earlier than the following day (i.e., at least one night will be provided between initial roost eviction disturbance and tree removal/structure disturbance). This action will allow bats to leave during dark hours, which increases their chance of finding new roosts with a minimum of potential predation.

14. **ARCHAEOLOGICAL RESOURCES AND HUMAN REMAINS:**

- a. In the event that archaeological traces are encountered, all construction within a 50-meter radius of the find will be halted, the Community Development Director will be

- notified, and an archaeologist will be retained to examine the find and make appropriate recommendations.
- b. If human remains are discovered, the Santa Clara County Coroner will be notified. The Coroner will determine whether or not the remains are Native American. If the Coroner determines the remains are not subject to his authority, he will notify the Native American Heritage Commission, who shall attempt to identify descendants of the deceased Native Americans.
  - c. If the Community Development Director finds that the archaeological find is not a significant resource, work will resume only after the submittal of a preliminary archaeological report and after provisions for reburial and ongoing monitoring are accepted. Provisions for identifying descendants of a deceased Native American and for reburial will follow the protocol set forth in CEQA Guidelines Section 15064.5( e). If the site is found to be a significant archaeological site, a mitigation program will be prepared and submitted to the Community Development Director for consideration and approval, in conformance with the protocol set forth in Public Resources Code Section 21083.2.
  - d. A final report shall be prepared when a find is determined to be a significant archaeological site, and/or when Native American remains are found on the site. The final report will include background information on the completed work, a description and list of identified resources, the disposition and curation of these resources, any testing, other recovered information, and conclusions.
15. DUSKY-FOOTED WOODRATS: This project will implement the following standard measures to minimize impacts on woodrats and active woodrat nests on the project site.
- a. PRECONSTRUCTION SURVEY. A qualified biologist will conduct a preconstruction survey for San Francisco dusky-footed woodrat nests within 30 days of the start of work activities. If active woodrat nests are determined to be present in, or within 10 feet of the impact areas, the conditions below (Avoidance and/or Nest Relocation) will be implemented, as appropriate. If no active woodrat nests are present on or within 10 feet of impact areas, no further conditions are warranted.
  - b. AVOIDANCE. Active woodrat nests that are detected within the work area will be avoided to the extent feasible. Ideally, a minimum 10-foot buffer will be maintained between project activities and woodrat nests to avoid disturbance. In some situations, a small buffer may be allowed if, in the opinion of a qualified biologist, nest relocation (below) would represent a greater disturbance to the woodrats than the adjacent work activities.
  - c. NEST RELOCATION. If avoidance of active woodrat nests within and immediately adjacent to (within 10 feet of) the work areas is not feasible, then nest materials will be relocated to suitable habitat as close to the project site as possible (ideally, within or immediately adjacent to the project site).

Relocation efforts will avoid the peak nesting season (February-July) to the maximum extent feasible. Prior to the start of construction activities, a qualified biologist will disturb the woodrat nest to the degree that all woodrats leave the nest and seek refuge outside of the construction area. Disturbance of the woodrat nest will be

initiated no earlier than one hour before dusk to prevent the exposure of woodrats to diurnal predators. Subsequently, the biologist will dismantle and relocate the nest material by hand. During the deconstruction process, the biologist will attempt to assess if there are juveniles in the nest. If immobile juveniles are observed, the deconstruction process will be discontinued until a time when the biologist believes the juveniles will be capable of independent survival (typically after 2 to 3 weeks). A no-disturbance buffer will be established around the nest until the juveniles are mobile. The nest may be dismantled once the biologist has determined that adverse impacts on the juveniles would not occur.

16. **TOWN INDEMNITY:** Applicants are notified that Town Code Section 1.10.115 requires that any applicant who receives a permit or entitlement (“the Project”) from the Town shall defend (with counsel approved by Town), indemnify, and hold harmless the Town, its agents, officers, and employees from and against any claim, action, or proceeding (including without limitation any appeal or petition for review thereof) against the Town or its agents, officers or employees related to an approval of the Project, including without limitation any related application, permit, certification, condition, environmental determination, other approval, compliance or failure to comply with applicable laws and regulations, and/or processing methods (“Challenge”). Town may (but is not obligated to) defend such Challenge as Town, in its sole discretion, determines appropriate, all at applicant’s sole cost and expense.

Applicant shall bear any and all losses, damages, injuries, liabilities, costs and expenses (including, without limitation, staff time and in-house attorney’s fees on a fully-loaded basis, attorney’s fees for outside legal counsel, expert witness fees, court costs, and other litigation expenses) arising out of or related to any Challenge (“Costs”), whether incurred by Applicant, Town, or awarded to any third party, and shall pay to the Town upon demand any Costs incurred by the Town. No modification of the Project, any application, permit certification, condition, environmental determination, other approval, change in applicable laws and regulations, or change in such Challenge as Town, in its sole discretion, determines appropriate, all the applicant’s sole cost and expense. No modification of the Project, any application, permit certification, condition, environmental determination, other approval, change in applicable laws and regulations, or change in processing methods shall alter the applicant’s indemnity obligation.

17. **COMPLIANCE MEMORANDUM:** A memorandum shall be prepared and submitted with the building plans detailing how the Conditions of Approval will be addressed.

#### *Building Division*

18. **PERMITS REQUIRED:**

- a. A demolition permit is required for the complete demolition of the existing detached garage.
- b. A Building Permit is required for the construction of a new detached garage and associated retaining walls.

19. **APPLICABLE CODES:** The current codes, as amended and adopted by the Town of Los

Gatos as of January 1, 2023, are the 2022 California Building Standards Code, California Code of Regulations Title 24, Parts 1-12.

20. **CONDITIONS OF APPROVAL:** The Conditions of Approval must be included on plan sheets within the construction plans. A Compliance Memorandum shall be prepared and submitted with the building permit application detailing how the Conditions of Approval will be addressed.
21. **SIZE OF PLANS:** Minimum size 24" x 36", maximum size 30" x 42".
22. **SOILS REPORT:** A Soils Report, prepared to the satisfaction of the Building Official, containing foundation, and retaining wall design recommendations, shall be submitted with the Building Permit Application. This report shall be prepared by a licensed Civil Engineer specializing in soils mechanics.
23. **FOUNDATION INSPECTIONS:** A pad certificate prepared by a licensed civil engineer or land surveyor shall be submitted to the project Building Inspector at foundation inspection. This certificate shall certify compliance with the recommendations as specified in the Soils Report, and that the building pad elevations and on-site retaining wall locations and elevations have been prepared according to the approved plans. Horizontal and vertical controls shall be set and certified by a licensed surveyor or registered Civil Engineer for the following items:
  - a. Building pad elevation
  - b. Finish floor elevation
  - c. Foundation corner locations
  - d. Retaining wall(s) locations and elevations
24. **HAZARDOUS FIRE ZONE:** All projects in the Town of Los Gatos require Class A roof assemblies.
25. **WILDLAND-URBAN INTERFACE:** This project is located in a Wildland-Urban Interface High Fire Area and must comply with Section R337 of the 2022 California Residential Code, Public Resources Code 4291 and California Government Code Section 51182.
  - a. Provide defensible space/fire break landscaping plan prepared by a California licensed Landscape Architect in conformance with California Public Resources Code 4291 and California Government Code Section 51182.
  - b. Prior to final inspection, provide a letter from a California licensed Landscape Architect certifying the landscaping and vegetation clearance requirements have been completed per the California Public Resources Code 4291 and Government Code Section 51182.
26. **SPECIAL INSPECTIONS:** When a special inspection is required by CBC Section 1704, the Architect or Engineer of Record shall prepare an inspection program that shall be submitted to the Building Official for approval prior to issuance of the Building Permit. The Town Special Inspection form must be completely filled-out and signed by all requested parties prior to permit issuance. Special Inspection forms are available online at [www.losgatosca.gov/building](http://www.losgatosca.gov/building).
27. **BLUEPRINT FOR A CLEAN BAY SHEET:** The Town standard Santa Clara Valley Nonpoint Source Pollution Control Program Sheet (page size same as submitted drawings) shall be



part of the plan submittal. The specification sheet is available online at [www.losgatosca.gov/building](http://www.losgatosca.gov/building).

28. APPROVALS REQUIRED: The project requires the following departments and agencies approval before issuing a building permit:
- Community Development – Planning Division: (408) 354-6874
  - Engineering/Parks & Public Works Department: (408) 399-5771
  - Santa Clara County Fire Department: (408) 378-4010
  - Local School District: The Town will forward the paperwork to the appropriate school district(s) for processing. A copy of the paid receipt is required prior to permit issuance.

TO THE SATISFACTION OF THE DIRECTOR OF PARKS & PUBLIC WORKS:

*Engineering Division*

29. PAYMENT OF PARKS AND PUBLIC WORKS (“PPW”) ENGINEERING PLAN CHECK FEE AND INSPECTION FEE – At the time of the first construction submittal, the Applicant shall submit to the Town Engineer for approval a detailed construction project cost estimate prepared and stamped by the Applicant’s civil engineer. The cost estimate shall break out on-site and off-site improvements separately. This cost estimate will be used to determine the Engineering Plan Check Fee. A final construction cost estimate shall be provided once the project plans are approved. This cost estimate will be used to determine the Engineering Inspection Fee. The Engineering Inspection Fee must be paid prior to the issuance of any construction related permit.
30. CONSTRUCTION ACTIVITIES MITIGATION FEE (ORDINANCE 2189) – Per the Town’s Comprehensive Fee Schedule, the project is subject to the Town’s Construction Activities Mitigation Fee based on the square footage of new buildings. The fee is \$1.43 per square foot of new residential and non-residential building area. The fee shall be calculated based on the square footage total for all units shown on the construction plans to the approval of the Town Engineer. The project plans indicate the new building area of 1,239 SF resulting in a fee of \$1,771.77. Payment of this fee shall be paid prior to issuance of the first building permit.
31. GRADING PERMIT – A grading permit is required for all site grading and drainage work that is outside the perimeter of a building, retaining wall footing, or other structure authorized by a valid building permit. The Applicant must submit a grading permit application after the appeal period of the entitlement approval process has passed. Submittals are accepted through Accela only. The grading permit application shall include detailed grading plans and associated required materials. Plan check fees are based on the scope of onsite work. Prior to approval of the grading permit, the Applicant shall pay all fees due and provide faithful performance and payment securities for the performance of the work described and delineated on the approved grading plan, final erosion and sedimentation control plan, and interim erosion and sedimentation control plan (if required), in an amount to be set by the Town Engineer (but not to exceed one hundred (100) percent) of the approved estimated cost of the grading and erosion and

sedimentation control measures. The form of security shall be one or a combination of the following to be determined by the Town Engineer and subject to the approval of the Town Attorney: (1) Bond or bonds issued by one or more duly authorized corporate sureties on a form approved by the Town; (2) Deposit with the Town, money, or negotiable bonds of the kind approved for securing deposits of public monies; or (3) other instrument of credit from one or more financial institutions subject to regulation by the State or Federal Government wherein such financial institution pledges funds are on deposit and guaranteed for payment. The grading permit shall be issued prior to the issuance of the building permit unless otherwise allowed by the Town Engineer. The permit shall be limited to work shown on the grading plans approved by the Town Engineer. In granting a permit, the Town Engineer may impose any condition deemed necessary to protect the health, safety, and welfare of the public, to prevent the creation of a nuisance or hazard to public or private property, and to assure proper completion of the grading including but not limited to: (1) Mitigation of adverse environmental impacts; (2) Improvement of any existing grading or correction of any existing grading violation to comply with Town Code; (3) Requirements for fencing or other protection of grading which would otherwise be hazardous; (4) Requirements for dust, erosion, sediment, and noise control, hours of operation and season of work, weather conditions, sequence of work, access roads, and haul routes; (5) Requirements for safeguarding watercourses from excessive deposition of sediment or debris in quantities exceeding natural levels; (6) Assurance that the land area in which grading is proposed and for which habitable structures are proposed is not subject to hazards of land slippage or significant settlement or erosion and that the hazards of seismic activity or flooding can be eliminated or adequately reduced; (7) Temporary and permanent landscape plans.

32. TREE REMOVAL PERMIT – The Applicant shall apply and obtain a Tree Removal Permit from the Parks and Public Works Department for the removal of existing trees on-site or in the public right-of-way prior to the issuance of a building permit or demolition building permit, whichever is issued first. Tree removals shall be consistent with the arborist report and approved entitlement plans.
33. CONSTRUCTION PHASE PLAN SUBMITTAL REQUIREMENTS – The Grading Permit Plans (“Grading Plans”) shall be submitted to Parks and Public Works Department along with a title report dated no older than 30 days from the date the Grading Plans are submitted. The Grading Plans shall be submitted at the same time as the Building Plans are submitted to the Building Department. All improvements shall be designed and constructed in accordance with Federal law, State law, Los Gatos Town Code, and the Los Gatos Standard Specifications and Details.
  - a. Construction drawings shall comply with Section 1 (Construction Plan Requirements) of the Town’s Engineering Design Standards, which are available for download from the Town’s website. The Grading Plans shall include:
  - b. A cover sheet with at least the proposed development vicinity map showing nearby and adjacent major streets and landmarks, property address, APN, scope of work, project manager and property owner, a “Table of Responsibilities” summarizing ownership, access rights, and maintenance responsibilities for each facility (streets, utilities, parks, landscaping, etc.), a sheet index including a sequential numeric page

- number for each sheet (i.e. "Sheet 1 of 54"), the lot size, required and proposed lot setbacks by type, proposed floor areas by type for each building, average slope, proposed maximum height, and required and proposed parking count and type.
- c. The Approved Conditions of Approval printed within the plan set starting on the second sheet of the plan set.
  - d. An Existing Site Plan showing existing topography, bearing and distance information for all rights-of-way, easements, and boundaries, any existing easements proposed to be quit-claimed, existing hardscape, existing above ground utility features, and existing structures. The Grading Plans shall identify the vertical elevation datum, date of survey, and surveyor responsible for the data presented.
  - e. A Proposed Site Plan showing proposed topography, boundaries, proposed and existing to remain easements, hardscape, above ground utility features (hydrants, transformers, control cabinets, communication nodes, etc.), and structures. Include top and bottom elevations of every inflection point of each proposed wall. Include utility details. Showing appropriate line types and labels to identify the different types of utilities and pipe sizes. Utility boxes, hydrants, backflow preventers, water meters, sanitary sewer cleanouts, etc. Distinguish proposed linework from existing linework using heavier line type for proposed.
  - f. A Grading and Drainage Plan clearly showing existing onsite and adjacent topography using labeled contour lines, drainage direction arrows with slope value, and break lines. Proposed and existing to remain hardscape elevations must be provided in detail including slope arrows.
  - g. A Landscaping Plan for the project site shall clearly identify public and private utilities and points of demarcation between the two.
  - h. General Notes found in the Town of Los Gatos General Guidelines.
  - i. A statement in the general notes indicating the need to obtain a Caltrans Oversized/Overweight Vehicles Transportation Permit if oversized or overweight vehicles are expected to be used
34. **EXISTING FACILITY PROTECTION AND REPAIR** – All existing public utilities shall be either protected in place, relocated, or repaired. The Applicant shall repair or replace all existing improvements not designated for removal, and all new improvements that are damaged during construction or removed because of the Applicant's operations. This includes sidewalk, curb and gutter, streetlights, valley gutters, curb ramps, and any other existing improvements in the area that are not intended to be removed and replaced. The Applicant shall request a walk-through with the PPW construction Inspector before the start of construction to verify existing conditions. Said repairs shall be completed prior to issuance of the first certificate of occupancy of the project.
35. **UTILITY RESPONSIBILITIES** – The Applicant is responsible for all expenses necessary to connect to the various utility providers. Currently, the public storm sewer system is owned and maintained by the Town of Los Gatos, the water system in Los Gatos is owned and maintained by San José Water Company, and the sanitary sewer system in Los Gatos is owned and maintained by West Valley Sanitation District. Any alterations of the approved utilities listed must be approved by the Town prior to any construction.
36. **DEVELOPER STORM WATER QUALITY RESPONSIBILITY** – The Applicant is responsible for

ensuring that all contractors including subcontractors are aware of all stormwater quality measures and implement such measures. The Applicant shall perform all construction activities in accordance with approved Improvement Plans, Los Gatos Town Code Chapter 12 – Grading, Erosion and Sediment Control, and the National Pollutant Discharge Elimination System (NPDES) General Permit. Failure to comply with these rules and regulations will result in the issuance of correction notices, citations, or a project stop order.

37. SITE DRAINAGE – Rainwater leaders shall be discharged to splash blocks. No through curb drains will be allowed. No improvements shall obstruct or divert runoff to the detriment of an adjacent, downstream or down slope property.
38. OFF-SITE DRAINAGE – The Applicant shall not alter any existing drainage patterns without an approved Grading Permit.
39. GRADING & DRAINAGE WINTER MORATORIUM – All grading activity shall comply with the Municipal Regional Stormwater Permit and Chapter 12 of the Town Code. There shall be no earthwork disturbance or grading activities between October 15th and April 15th of each year unless approved by the Town Engineer. To be considered for approval, the Applicant must submit a Winterization Erosion Control Plan certified by a California certified QSD to the Town Engineer for review and approval. If grading is allowed during the rainy season, a maximum of two (2) weeks is allowed between clearing of an area and stabilizing/building on the exposed area. The submission of a certified plan does not guarantee approval. Any approved and executed plan must be kept on-site while the project is in construction.
40. EROSION CONTROL – The Applicant shall prepare and submit interim and final erosion control plans to the Town Engineer for review and approval. The interim erosion control plan(s) shall include measures carried out during construction before final landscaping is installed. Multiple phases of interim erosion control plans may be necessary depending on the complexity of the project. Interim erosion control best management practices may include silt fences, fiber rolls, erosion control blankets, Town approved seeding mixtures, filter berms, check dams, retention basins, etc. The Applicant shall install, maintain, and modify the erosion control measures as needed to continuously protect downstream water quality. In the event an emergency modification is deemed necessary, the Applicant must implement necessary measures to protect downstream waterways immediately and then submit the changes made within 24-hours to the Town Engineer for review and approval. The erosion control plans shall follow applicable measures contained in the most current Santa Clara County National Pollutant Discharge Elimination System (NPDES) Municipal Regional Permit (MRP). Any fees or penalties assessed against the Town in response to the Applicant's failure to comply with the Permit must be paid by the Applicant. The Applicant must permit Town staff onsite to conduct periodic NPDES inspections throughout the recognized storm season to verify compliance with the Construction General Permit and Stormwater ordinances and regulations.
41. GEOTECHNICAL REVIEW – Prior to building permit issuance, the Applicant's Geotechnical Engineer shall submit a design level geotechnical report. The report will require a peer review by the Town's geological and geotechnical consultant. A deposit and fee for the peer review will be required per the Town's current fee schedule, unless there are any

remaining deposit funds from the entitlement phase. The Town will route the design level geotechnical report to the Town's peer review consultant once the report is submitted and deposit and fee are available. Once approved, the geotechnical engineer shall review the grading and drainage plan and proposed pavement and foundation design to verify that the design is in accordance with their recommendations. The Applicant's Geotechnical Engineer's approval shall be conveyed to the Town either by letter or by signing and stamping the plans. All grading operations and soil compaction activities shall be per the approved project's design level geotechnical report. The Applicant shall add this condition to the general notes on the grading plan.

42. GEOTECHNICAL ENGINEER OBSERVATION – All grading activities shall be conducted under the observation of, and tested by, a licensed geotechnical engineer. A report shall be filed with the Town of Los Gatos for each phase of construction stating that all grading activities were performed in conformance with the requirements of the project's design level geotechnical report. The Applicant shall submit a Final Geotechnical Construction Observation and Testing Summary in an "as-built" letter/report prepared and submitted to the Town prior to issuance of the certificate of occupancy. The Applicant shall add this condition to the general notes on the grading plan.
43. PRECONSTRUCTION MEETING – After the issuance of any Grading or Encroachment permit and before the commencement of any on or off-site work, the Applicant shall request a pre-construction meeting with the PPW Inspector to discuss the project conditions of approval, working hours, site maintenance, and other construction matters. At that meeting, the Applicant shall submit a letter acknowledging each of the following:
  - a. They have read and understand these project Conditions of Approval.
  - b. They will require that all project sub-contractors read and understand these project Conditions of Approval.
  - c. They will post a copy of these project Conditions of Approval on-site and ensure the posting always remains intact during construction.

**THE FOLLOWING CONDITIONS SHALL BE MET PRIOR TO RELEASE OF UTILITIES, FINAL INSPECTION, OR ISSUANCE OF A CERTIFICATE OF OCCUPANCY, WHICHEVER OCCURS FIRST, OR IF ANOTHER DEADLINE IS SPECIFIED IN A CONDITION, AT THAT TIME.**

44. RESTORATION OF PUBLIC IMPROVEMENTS – The Applicant shall repair or replace all existing improvements not designated for removal that are damaged or removed during construction. Improvements such as, but not limited to curbs, gutters, sidewalks, driveways, signs, streetlights, pavements, raised pavement markers, thermoplastic pavement markings, etc., shall be repaired or replaced to a condition equal to or better than the original condition. Any new concrete shall be free of stamps, logos, names, graffiti, etc. Existing improvement to be repaired or replaced shall be at the direction of the PPW Inspector and shall comply with all Title 24 Disabled Access provisions. The restoration of all improvements identified by the PPW Inspector shall be completed before the issuance of a certificate of occupancy. The Applicant shall request a walk-through with the PPW Inspector before the start of construction to verify existing

conditions.

**THE FOLLOWING CONDITIONS SHALL BE COMPLIED WITH AT ALL TIMES DURING THE CONSTRUCTION PHASE OF THE PROJECT, OR IF ANOTHER DEADLINE IS SPECIFIED IN A CONDITION, AT THAT TIME**

45. PROJECT CONSTRUCTION SETUP – All storage and office trailers will be kept off the public right-of-way.
46. PUBLIC WORKS CONSTRUCTION NOTICE – The contractor shall notify the PPW Inspector at least ten (10) working days prior to the start of any construction work. At that time, the Contractor shall provide an initial project construction schedule and a 24-hour emergency telephone number list.
47. PROJECT CONSTRUCTION SCHEDULE – The contractor shall submit the project schedule in a static PDF 11"x17" format and Microsoft Project, or an approved equal. The Contractor shall identify the scheduled critical path for the installation of improvements to the approval of the Town Engineer. The schedule shall be updated monthly and submitted to the PPW Inspector in the same formats as the original.
48. PROJECT CONSTRUCTION HANDOUT – The Contractor shall provide to the Town Engineer for approval a construction information handout for the purpose of responding to questions the Town receives regarding the project construction (one- or two-page document).
49. PROJECT CONSTRUCTION SUPERVISION – The Contractor shall always provide a qualified supervisor on the job site during construction.
50. PUBLIC WORKS CONSTRUCTION INSPECTION – All work shown on the Improvement Plans shall be inspected to the approval of the Town Engineer. Uninspected work shall be removed as deemed appropriate by the Town Engineer.
51. PROJECT CONSTRUCTION HOURS – Construction activities related to the issuance of any PPW permit shall comply with Town Code Section 16.20.035 which restricts construction to the weekday between 8:00 a.m. and 6:00 p.m. and Saturday 9:00 a.m. to 4:00 p.m. No work shall be done on Sundays or on Town Holidays unless otherwise approved by the Town Engineer. Please note that no work shall be allowed to take place within the Town right-of-way after 5:00 p.m. Monday through Friday. In addition, no work being done under Encroachment Permit may be performed on the weekend unless prior approvals have been granted by the Town Engineer. The Town Engineer may apply additional construction period restrictions, as necessary, to accommodate standard commute traffic along arterial roadways and along school commute routes. Onsite project signage must state the project construction hours. The permitted construction hours may be modified if the Town Engineer finds that the following criteria is met:
  - a. Permitting extended hours of construction will decrease the total time needed to complete the project without an unreasonable impact to the neighborhood.
  - b. Permitting extended hours of construction is required to accommodate a construction requirement such as a large concrete pour or major road closure. Such a need would be presented by the project's design engineer and require approval of the Town Engineer.

- c. An emergency exists where the construction work is necessary to correct an unsafe or dangerous condition resulting in obvious and eminent peril to public health and safety. If such a condition exists, the Town may waive any of the remaining requirements outlined below.
  - d. The exemption will not conflict with any other condition of approval required by the Town to mitigate significant environmental impacts.
  - e. The contractor or property owner will notify residential and commercial occupants of adjacent properties of the modified construction work hours. This notification must be provided three days prior to the start of the extended construction activity.
  - f. The approved hours of construction activity will be posted at the construction site in a place and manner that can be easily viewed by any interested member of the public.
  - g. The Town Engineer may revoke the extended work hours at any time if the contractor or owner of the property fails to abide by the conditions of extended work hours or if it is determined that the peace, comfort, and tranquility of the occupants of adjacent residential or commercial properties are impaired because of the location and nature of the construction.
  - h. The waiver application must be submitted to the PPW Inspector ten (10) working days prior to the requested date of waiver.
52. PROJECT CONSTRUCTION BMPs – All construction activities shall conform to the latest requirements of the CASQA Stormwater Best Management Practices Handbooks for Construction Activities and New Development and Redevelopment, the Town's grading and erosion control ordinances, the project specific temporary erosion control plan, and other generally accepted engineering practices for erosion control as required by the Town Engineer when undertaking construction activities.
53. PROJECT CONSTRUCTION EXCAVATION – The following provisions to control traffic congestion, noise, and dust shall be followed during site excavation, grading, and construction:
- a. All construction vehicles should be properly maintained and equipped with exhaust mufflers that meet State standards.
  - b. Travel speeds on unpaved roads shall be limited to fifteen (15) miles per hour.
  - c. Blowing dust shall be reduced by timing construction activities so that paving and building construction begin as soon as possible after completion of grading, and by landscaping disturbed soils as soon as possible.
  - d. Water trucks shall be present and in use at the construction site. All portions of the site subject to blowing dust shall be watered as often as deemed necessary by the Town, or a minimum of three times daily, or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas, and staging areas at construction sites to ensure proper control of blowing dust for the duration of the project.
  - e. Watering on public streets and wash down of dirt and debris into storm drain systems is prohibited. Streets will be cleaned by street sweepers or by hand as often as deemed necessary by the PPW Inspector, or at least once a day. Watering associated with on-site construction activity shall take place between the hours of 8 a.m. and 5 p.m. and shall include at least one late-afternoon watering to minimize

the effects of blowing dust. Recycled water shall be used for construction watering to manage dust control where possible, as determined by the Town Engineer. Where recycled water is not available potable water shall be used. All potable construction water from fire hydrants shall be coordinated with the San José Water Company.

- f. All public streets soiled or littered due to this construction activity shall be cleaned and swept daily during the workweek to the satisfaction of the Construction Inspector.
  - g. Construction grading activity shall be discontinued in wind conditions more than 25 miles per hour, or that in the opinion of the PPW Inspector cause excessive neighborhood dust problems.
  - h. Site dirt shall not be tracked into the public right-of-way and shall be cleaned immediately if tracked into the public right-of-way. Mud, silt, concrete and other construction debris shall not be washed into the Town's storm drains.
  - i. Construction activities shall be scheduled so that paving and foundation placement begin immediately upon completion of grading operation.
  - j. All aggregate materials transported to and from the site shall be covered in accordance with Section 23114 of the California Vehicle Code during transit to and from the site.
  - k. Prior to issuance of any permit, the Applicant shall submit any applicable pedestrian or traffic detour plans to the satisfaction of the Town Engineer for any lane or sidewalk closures. The temporary traffic control plan shall be prepared by a licensed professional engineer with experience in preparing such plans and in accordance with the requirements of the latest edition of the California Manual on Uniform Traffic Control Devices (MUTCD) and standard construction practices. The Traffic Control Plan shall be approved prior to the commencement of any work within the public right-of-way.
  - l. During construction, the Applicant shall make accessible any or all public and private utilities within the area impacted by construction, as directed by the Town Engineer.
  - m. The minimum soils sampling and testing frequency shall conform to Chapter 8 of the Caltrans Construction Manual. The Applicant shall require the soils engineer submit to daily testing and sampling reports to the Town Engineer.
54. **MATERIAL HAULING ROUTE AND PERMIT** – For material delivery vehicles equal to, or larger than two-axle, six-tire single unit truck size as defined by FHWA Standards, the Applicant shall submit a truck hauling route that conforms to Town of Los Gatos Standards for approval. Note that the Town requires a Haul Permit be issued for any hauling activities. The Applicant shall require contractors to prohibit trucks from using "compression release engine brakes" on residential streets. The haul route for this project unless otherwise approved by the Town Engineer, shall be Cypress Way to Loma Alta Avenue to Los Gatos Boulevard to Los Gatos-Saratoga Road to Highway 17. A letter from the Applicant confirming the intention to use the designated haul route shall be submitted to the Town Engineer for review and approval prior to the issuance of any Town permits. All material hauling activities including but not limited to, adherence to the approved route, hours of operation, staging of materials, dust control and street



maintenance shall be the responsibility of the Applicant. Hauling of soil on- or off-site shall not occur during the morning or evening peak periods (between 7:00 a.m. and 9:00 a.m. and between 4:00 p.m. and 6:00 p.m.), and at other times as specified by the Town Engineer. The Applicant must provide an approved method of cleaning tires and trimming loads on site. All material hauling activities shall be done in accordance with applicable Town ordinances and conditions of approval.

55. PROJECT CLOSE-OUT – Prior to requesting a Final Inspection, the Applicant shall submit to the Town Engineer a letter indicating that all project conditions have been met, and all improvements are complete. All work must be completed to the satisfaction of the Planning Director and Town Engineer prior to the first occupancy. All public improvements, including the complete installation of all improvements relative to streets, fencing, storm drainage, underground utilities, etc., shall be completed and attested to by the Town Engineer before approval of occupancy of any unit. Where facilities of other agencies are involved, including those for water and sanitary sewer services, such installation shall be verified as having been completed and accepted by those agencies. In addition, the Applicant shall submit an itemized final quantities list of all public improvements constructed on-site and within the public right-of-way. The final quantities list shall be prepared by the project engineer and be to the approval of the Town Engineer. The final quantities list shall be broken out into on-site and off-site improvements based on the format provided by the Town. Until such time as all required improvements are fully completed and accepted by Town, the Applicant shall be responsible for the care, maintenance, and any damage to such improvements. Town shall not, nor shall any officer or employee thereof, be liable or responsible for any accident, loss or damage, regardless of cause, happening or occurring to the work or improvements required for this project prior to the completion and acceptance of the work or Improvements. All such risks shall be the responsibility of and are hereby assumed by the Applicant.
56. CONSTRUCTION WORKER PARKING – The Applicant shall provide a Construction Parking Plan that minimizes the effect of construction worker parking in the neighborhood and shall include an estimate of the number of workers that will be present on the site during the various phases of construction and indicate where sufficient off-street parking will be utilized and identify any locations for off-site material deliveries. Said plan shall be approved by the Town Engineer prior to issuance of Town permits and shall be complied with at all times during construction. Failure to enforce the parking plan may result in suspension of the Town permits. No vehicle having a manufacturer's rated gross vehicle weight exceeding ten thousand (10,000) pounds shall be allowed to park on the portion of a street which abuts property in a residential zone without prior approval from the Town Engineer (§15.40.070).
57. SITE WATER DISCHARGE – In accordance with the Town Code, Prohibition of Illegal Discharges (Los Gatos Town Code Section 22.30.015), the Town Engineer may approve in coordination West Valley Sanitation District the discharge of uncontaminated pumped ground waters to the sanitary sewer only when such source is deemed unacceptable by State and Federal authorities for discharge to surface waters of the United States, whether pretreated or untreated, and for which no reasonable alternative method of

disposal is available. Following the verification of the applicable local, state and/or federal approvals, a Discharge Plan will be approved and monitored by the Town Engineer.

**THE FOLLOWING CONDITIONS SHALL BE COMPLIED WITH AT ALL TIMES THAT THE USE PERMITTED BY THIS ENTITLEMENT OCCUPIES THE PREMISES**

58. POST CONSTRUCTION BEST MANAGEMENT PRACTICES (BMP) – Post construction storm water pollution prevention requirements shall include:
- a. The Applicant shall be charged the cost of abatement for issues associated with, but not limited to, inspection of the private stormwater facilities, emergency maintenance needed to protect public health or watercourses, and facility replacement or repair if the treatment facility is no longer able to meet performance standards or has deteriorated. Any abatement activity performed on the Applicant's property by Town staff will be charged to the Applicant at the Town's adopted fully loaded hourly rates.
  - b. Maintenance of the storm drain inlets "No Dumping – Drains to Bay" plaques to alert the public to the destination of storm water and to prevent direct discharge of pollutants into the storm drain. Template ordering information is available at [www.flowstobay.org](http://www.flowstobay.org).
  - c. All process equipment, oils, fuels, solvents, coolants, fertilizers, pesticides, and similar chemical products, as well as petroleum-based wastes, tallow, and grease planned for storage outdoors shall be always stored in covered containers.
  - d. All public outdoor spaces and trails shall include installation and upkeep of dog waste stations.
  - e. Garbage and recycling receptacles and bins shall be designed and maintained with permanent covers to prevent exposure of trash to rain. Trash enclosure drains shall be connected to the sanitary sewer system.
  - f. It is the responsibility of the property owner(s)/homeowners association to implement a plan for street sweeping of paved private roads and cleaning of all storm drain inlets.

**TO THE SATISFACTION OF THE SANTA CLARA COUNTY FIRE DEPARTMENT:**

59. GENERAL: Review of this Developmental proposal is limited to acceptability of site access, water supply and may include specific additional requirements as they pertain to fire department operations, and shall not be construed as a substitute for formal plan review to determine compliance with adopted model codes. Prior to performing any work, the applicant shall make application to, and receive from, the Building Department all applicable construction permits.
60. VERY HIGH FIRE HAZARD SEVERITY ZONE (VHFHSZ): The subject property is located within the Very High Fire Hazard Severity Zone (VHFHSZ) of the Local Responsibility Area (LRA). Pursuant to California Public Resources Code (PRC) 4290, the California Board of Forestry and Fire Protection is required to " ... adopt regulations implementing minimum fire safety standards related to defensible space" applicable to "the perimeters and access to all

residential, commercial, and industrial building construction." In 2018, the Legislature passed and the Governor signed SB 901 (Dodd), which expanded the applicability of the regulations promulgated under PRC 4290 to land in the Local Responsibility Area (LRA) Very High Fire Hazard Severity Zone. All comments below that result from PRC 4290 are identified by\*\*. Where a conflict exists between local & 4290 requirements, the more stringent requirement shall apply. California Code of Regulations, Title 14, Division 1.5, Chapter 7, Subchapter 2, Articles 1-5, § 1273.08

61. FIRE SPRINKLERS REQUIRED: Approved automatic sprinkler systems in new and existing buildings and structures shall be provided in the locations described in this Section or in Sections 903.2.1 through 903.2.12 whichever is the more restrictive and Sections 903.2.14 through 903.2.21. For the purposes of this section, firewalls and fire barriers used to separate building areas shall be constructed in accordance with the California Building Code and shall be without openings or penetrations. **Fire sprinklers proposed in new garage as part of the AMMR condition PC 25-0417. Make a note on coversheet that a AMMR is included in this project. A copy of the approved Alternate Means/Methods application form (with approval signature), justification letter, and these comments shall be made part of all subsequent submittals (Building, planning, etc.), to be routed to Santa Clara County Fire Department for final approval.**
62. PRIVATE FIRE PROTECTION SYSTEM: Residential fire protection systems shall comply with Fire Department Standards W-1 and manufacturer's requirements. Fire protection water systems shall be submitted for review and approval by SCCFD prior to installation. The wharf hydrant shall be accessible at all times. Tank systems providing both the domestic supply and supply to the sprinkler system and/or hydrant may require cross contamination protection. Check with the local Building Department for specific requirements related to protection of the domestic supply. **New 5000 gallon water tanks noted on Sheet A1.1. Make a note on coversheet that private fire protection system will be provided as part of the approved AMMR condition. Sign shall be posted on the wharf hydrant indicating it is supplied by a 5,000 gallon tank.**
63. FIRE HYDRANT SYSTEMS REQUIRED: Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 400 feet from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, onsite fire hydrants and mains shall be provided where required by the fire code official. Exception: For Group R-3 and Group U occupancies, equipped throughout with an approved automatic sprinkler system installed in accordance with Section 903.3.1.1, 903.3.1.2 or 903.3.1.3, the distance requirement shall be not more than 600 feet. [CFC, Section 507.5.1] **Show wharf hydrant and vehicle impact protection bollard on plans as part of the approved AMMR condition. Sign shall be posted on the wharf hydrant indicating it is supplied by a 5,000 gallon tank.**
64. CONSTRUCTION SITE FIRE SAFETY: All construction sites must comply with applicable provisions of the CFC Chapter 33 and our Standard Detail and Specification S1-7. Provide appropriate notations on subsequent plan submittals, as appropriate to the project. CFC Chp. 33.

65. NOTE: This review shall not be construed to be an approval of a violation of the provisions of the California Fire Code or of other laws or regulations of the jurisdiction. A permit presuming to give authority to violate or cancel the provisions of the fire code or other such laws or regulations shall not be valid. Any addition to or alteration of approved construction documents shall be approved in advance. [CFC, Ch.1, 105.3.6]

DRAFT

## PROJECT DESCRIPTION

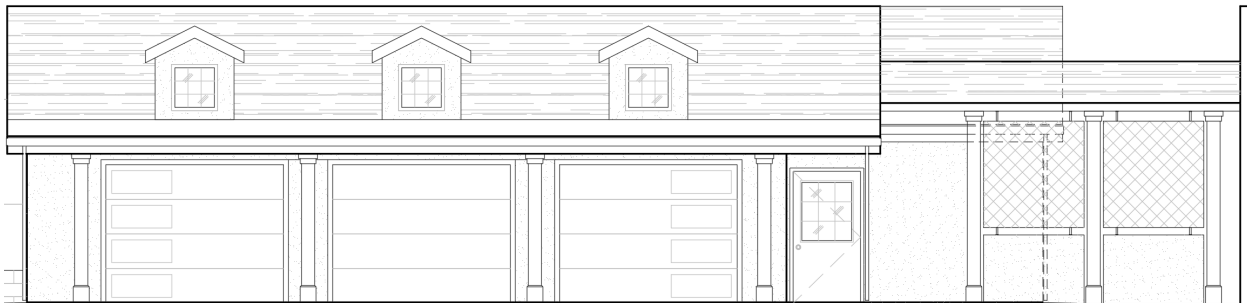


Town of Los Gatos  
Community Development Department  
110 E. Main Street | Los Gatos, CA 95031  
[www.losgatosca.gov](http://www.losgatosca.gov)

Plan Check: **S-24-045**  
**Architecture and Site Development Application**  
Address: 16511 Cypress Way | Los Gatos, CA  
Description: Garage & Breezeway Replacement

### Summary of Project

The proposed project is to replace an existing single-story two-car garage of 587 square feet and shed of 96 square feet with a new single-story three-car garage of 1,239 square feet. The new garage will be in the same location and the maximum height at the ridge line is 15'-0" above the foundation level. In addition, the existing breezeway will be replaced in the same location. There is minimal impact to the surrounding areas and properties. The proposed design falls within the regulations of the hillside development standards and matches the aesthetic of the existing residence.





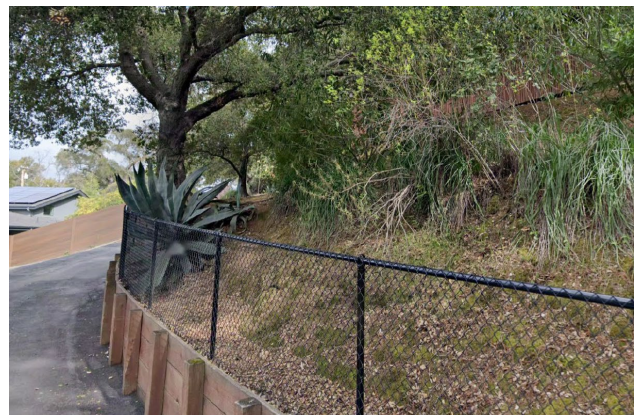
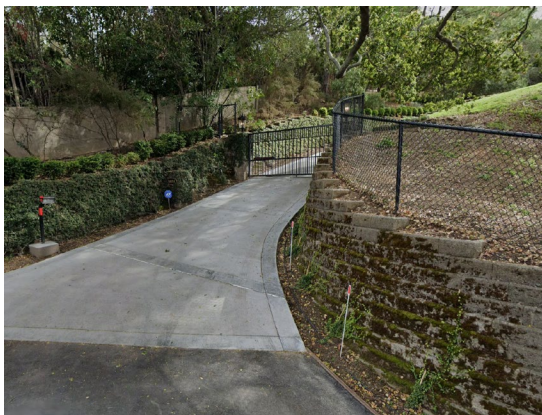
### County of Santa Clara Fire Department

The site is located in a very high fire hazard severity zone (VHFHSZ), the Fire Department requires the following.

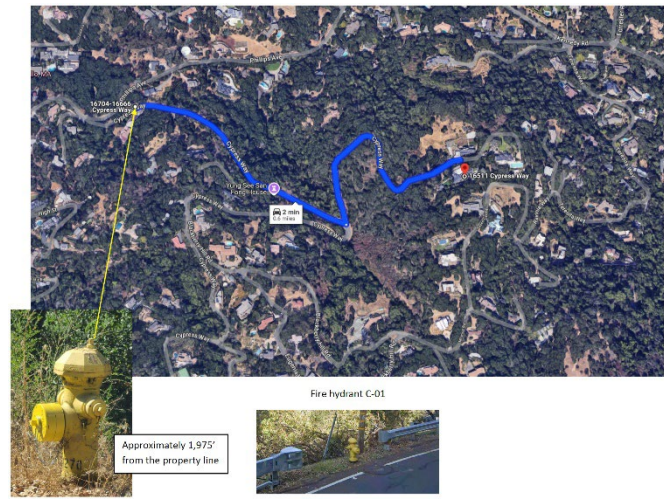
Fire Apparatus Road – minimum width of 20 feet width 13 feet 6 inches vertical clearance. The section of Cypress Way from the main section to the residence is a 12-foot wide country road about 0.325 miles (1,750 feet) with significant barriers to accommodate a 20-foot minimum width such as existing residences along with inclines and declines at the cross sections that would require significant retaining walls, removal of several trees/foliage and possibly eminent domain in order to achieve. This is an extremely expensive compliance item and is significantly disproportionate to the total cost of the project. In turn, an alternate materials and methods of construction application has been filed with the County of Santa Clara Fire Department for mitigations. Please refer to the Wildland Urban Interface Compliance section of this Project Justification for details.



Driveway entrance to accommodate a turning radius of 50 feet outside and 30 feet inside with a maximum slope of 15%. Slopes at the driveway exceed 15% and turning radii currently does not exist on the property without significant demolition, grading, paving and retaining walls in order to achieve. Alternatively, providing a turnout along Cypress Way resulting in significant retaining walls at the front portion of the property. The added cost would be disproportionate to the total cost of the entire project without this element. In turn, an alternate materials and methods of construction application has been filed with the County of Santa Clara Fire Department for mitigations. Please refer to the Wildland Urban Interface Compliance section of this Project Justification for details.



Fire hydrant within 400 feet of the property line located on a fire apparatus road along the front approach to the property or 600 feet if fully sprinklered. The nearest fire hydrant along the front approach of the property is located approximately 1,975' away to the west. This would require routing a 6" water line along a road with minimal clearance. The cost and feasibility of installing such a line along with a fire hydrant will be significantly disproportionate to the cost of the entire project.



An alternate materials and methods of construction application has been filed with and approved by the County of Santa Clara Fire Department to include installation of NFPA 13D fire sprinklers in the garage only (not main residence), 2-hour fire-barrier between the garage and breezeway for a fire break and installation of a 5,000 gallon fire water storage polyethylene tank of approximately 10-foot diameter by 9-feet 4-inches tall on site and connected to a wharf hydrant at the front of the property.

Fire department (engine) driveway turnaround of 40 feet. The existing area at the top of the driveway does not accommodate a 40-foot radius turnaround. The current turnaround space is 16-foot radius. Significant modifications and retaining walls would be required in order to achieve this. The added cost would be disproportionate to the total cost of the entire project without this element. In turn, an alternate materials and methods of construction application has been filed with and approved by the County of Santa Clara Fire Department for mitigations.

### Wildland Urban Interface Compliance

There are several Wildland Urban Interface compliance items being implemented into the project. In the end, the garage will be safer and more ignition resistant than before the project. The following items are being incorporated into the project.

Exterior cladding - ignition resistant materials - stucco  
 Roof materials - Class A asphalt roof tiles  
 Closed eaves

Ember resistant soffit vents  
 Ember resistant ridge vents  
 Ember resistant gable-end vents

Metal-cladded door assemblies with tempered windows  
 Windows double-paned and tempered  
 All doors have perimeter weather stripping and door bottoms to reduce ember intrusion



#### Vegetation management & defensible breaks

Zone 0 (5'-0") will be concrete on the back of the garage, asphalt in the front of the garage, mostly existing pavement on the west side and concrete or rock-line swale on the east. There is a 3' section that a rock-gravel surface may be added to ensure no landscaping. Also removing 2 trees currently next to structure.

Zone 1 (30'-0") - existing trees to remain unless removed due to grading; owner to maintain ground cover to remove dead weeds. Canopies elevated to at least 6'-0" clear from the ground.

Zone 2 (100'-0") - existing trees to remain unless removed due to grading; no proposed further modifications.

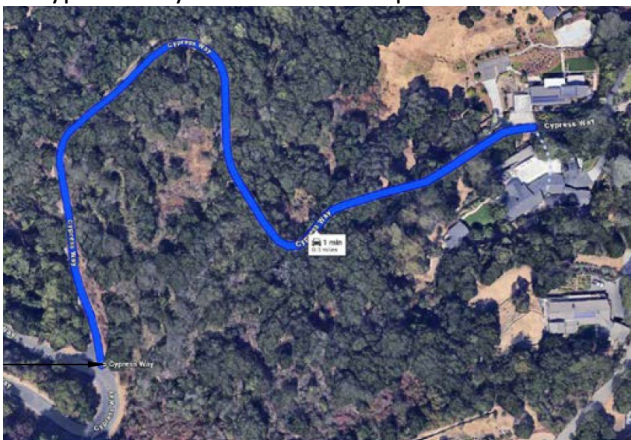
#### Alternate Materials and Methods of Construction (AMMC):

In Lieu of the following items:

- Fire apparatus access roadway clearances – street width of 20'-0" clear by 13'-6" high – actual road is 12'-0" wide and doesn't achieve height requirements
- Fire department driveway turnaround clearance – driveway area does not accommodate 40' minimum outside turning radius.
- Fire hydrant distance within 400' or 600' if fully sprinklered – actual fire hydrant is approx. 1,975' away from the property line.

The following is being proposed due to the scale of the project. Please note that this approach has been discussed with the County Fire Department and is part of the AMMC application process, which has been approved under SCCFD 25-0417.

- NFPA 13D fire sprinkler system in garage structure only. The main residence will remain unsprinklered. Also, include a 2-hour fire-barrier wall assembly at garage between breezeway
- 5,000 gallon fire water storage polyethylene tank (no pump) located at least 10'-0" from garage structure with 4" diameter underground water line and connection to a new wharf fire hydrant located at the northeasterly corner of the property adjacent to the driveway access. Impact protection bollards are set between the hydrant and driveway to prevent accidental damage. Signage is posted on the wharf hydrant indicating it is supplied by a 5,000 gallon tank.
- Address directional and identification signage visible from the approaching corner (east corner) of Cypress Way where the road splits in two directions.





## Compliance with Zoning Code

### Project Data

Occupancy R-3/U  
 Type of Construction: V-B  
 Sprinklered (Main Residence): No  
 Sprinklered (Garage): Yes, NFPA 13D  
 Stories: One

APN: 532-24-004  
 Zoning: HR-2½

Site Area: (1.257 acres) 54,624.24 sqft.  
 (Single-family dwelling unit)  
 Average Lot Slope: ~32%  
 Reduction on net site area on sloping lots (60%) 21,849.60 sqft.

Existing House Area: 2,377 sqft.  
 Removed Accessory Area (Detached Garage): 587 sqft.  
 Removed Accessory Area (Shed): 96 sqft.  
 Added Accessory Area (Detached Garage): 1,239 sqft.

Proposed Building Accessory Height: 15'-0"  
 Allowed Maximum Accessory Height: 15'-0"

Floor Area Ratio: 19.83%  
 Allowed Maximum Floor Area Ratio: Table 2  
 (Hillside Development Standards & Guidelines) 4,900 sqft.

Resident Parking: 3 covered  
 Guest Parking: 4 uncovered

Project Area: 1,239 sqft.

FLOOR AREA SUMMARY			
	EXISTING	PROPOSED	ACTUAL
MAIN FLOOR (RESIDENCE)	2,377 SQFT.	0 SQFT.	2,377 SQFT.
2ND FLOOR/ATTIC OVER 7' HEIGHT	0 SQFT.	0 SQFT.	0 SQFT.
SHEDS	96 SQFT.	-96 SQFT.	0 SQFT.
ACCESSORY STRUCTURES	1,117 SQFT.	0 SQFT.	1,117 SQFT.
BELOW GRADE AREA (EXEMPT)	0 SQFT.	0 SQFT.	0 SQFT.
GARAGE BEYOND EXEMPTION	187 SQFT.	652 SQFT.	839 SQFT.
<b>TOTAL</b>	<b>3,777 SQFT.</b>	<b>556 SQFT.</b>	<b>4,333 SQFT.</b>
GARAGE EXEMPTION	400 SQFT.	400 SQFT.	400 SQFT.
4,900 SQFT. MAXIMUM ALLOWED			OK

HR-2 ½ Zone:  
 2 ½ to 10 acres for each dwelling unit  
 Actual site area: 1.257 acres

Permitted uses  
 Single-family dwelling (no more than 1 principle residential structure per lot)  
 Actual use – one single-family dwelling

Minimum lot area: 40,000 sqft.  
 Actual lot area: 54,624.24 sqft.

BUILDING SETBACKS				
	FRONT (NORTH)	SIDE (EAST)	SIDE (WEST)	REAR (SOUTH)
REQUIRED BUILDING SETBACKS	30'-0"	20'-0"	20'-0"	25'-0"
PROPOSED BUILDING SETBACK	105'-11"	32'-3 1/4"	236'-2"	56'-10 1/4"

Minimum lot width: 100'-0"  
 Actual lot width: 320'-3"

Maximum height for accessory building: 15'-0"  
 Proposed accessory building height: 15'-0"

Landscaping is required in yards abutting scenic roads. Existing vegetation shall be left in a natural state. Existing landscaping in front along Cypress Way is to remain undisturbed and is more of a natural state.



## **Compliance with Hillside Development Standards & Guidelines**

### **Chapter II – Constraints Analysis and Site Selection**

#### Site selection and constraint analysis

- Site is already developed for this project.
- LRDA – there are some areas on site where the topography exceeds 30%. Site plan illustrates the specific locations for LRDA exceeding 30% and the project area is located outside of this boundary
- Vegetation is intended to remain natural. Any grading per the civil plans restore terrain back to its natural state to match existing
- Drainage courses – project accommodates existing drainage into rock swales along the side of the driveway. Reference civil plans for further detail
- Septic systems – the main house already has a septic system and the location is well outside of the project area. There are no plumbing fixtures nor hose bibbs being installed as part of this project so the septic system remains unchanged
- Geologic constraints – identified on the soils report for the foundation and associated grading. Grading is highlighted on the civil plans. The retaining wall design and garage foundation design will be based upon the recommendations of the geotechnical engineer in the soils report and submitted as part of the building plan check process.
- Wildlife habitats and movement corridors – the project is expected to have minimal or no impact on the existing wildlife. As part of the conditions of approval, a biologist will investigate and provide a report. Construction activity to adhere to the established restrictions to support any possible habitat
- Visibility from off the site – low visibility due to structure being under the 18' constraint established in the Hillside Development Standards.
- Areas of severe fire danger – site is located in very high fire hazard severity zone (VHFHSZ); Wildland Urban Interface provisions implemented into the project (see compliance section in this document)
- Solar orientation and prevailing wind patterns – site is already established including garage location. The project maintains the existing solar orientation and prevailing wind patterns.
- Significant Ridgelines – the site is located down from any significant ridgeline and the scale of the accessory building is below the 18' constraint established in the Hillside Development Standards.

#### Consultation with Neighbors

- There are two other residences on the section of Cypress Way near the project area. Property owners have discussed with both residents in detail about the project.

#### Visibility Analysis

- A visibility analysis is not required since the project is involving only a residential accessory structure at 15' high which is less than the 18' constraint referenced in the Town of Los Gatos Hillside Development Standards and Guidelines.

### Chapter III – Site Planning

Grading – reference civil drawings for further information.

Maximum grade cuts are based upon the existing terrain, preserving natural features and drainage and utilizing the existing garage location. Note that the garage foundation level is being maintained in the addition thus the noted maximum cut noted in the garage line item.

#### APPROXIMATE EARTHWORK QUANTITIES

AVERAGE SLOPE: ~32%	EARTHWORK (CY)		MAX CUT/FILL DEPTH (FT)		(CY)	
	CUT	FILL	CUT	FILL	IMPORT	EXPORT
LANDSCAPE	236	0	7	–	0	236
MISC. HARDSCAPE	57	0	11	–	0	57
GARAGE	122	0	13.5	–	0	122
TOTAL	415	0			0	415

\*LANDSCAPE INCLUDES GRADING SOUTH OF GARAGE.

\*MISC. HARDSCAPE INCLUDES CONCRETE PAD AND RETAINING WALL GRADING.

A request for exemption is requested due to existing conditions on site. The garage is maintaining the same pad elevation as the existing removed. Due to the existing site configuration and constraints, cutting an additional 5.5' is necessary to maintain the same pad elevation. Elevating the garage would require significantly more grading and asphalt modifications. The same is true for the additional 7' of cut for the miscellaneous hardscape and additional 3' of cut for the landscaping.

Drainage – Project utilizes existing drainage into rock swales along the side of the driveway. Reference civil plans for further detail

Driveway – no proposed modifications to the existing driveway. Driveways are at least 12' wide, however do not accommodate the 3' shoulder in all areas. The slope exceeds 15% with the average slope at 22%. Driveway is fully paved.

Parking – there are 3 covered parking spaces for the residents and 4 uncovered parking spaces for guests

Geologic hazards – identified on the soils report for the foundation and associated grading. Grading is highlighted on the civil plans. The retaining wall design and garage foundation design will be based upon the recommendations of the geotechnical engineer in the soils report and submitted as part of the building plan check process.

Fire hazards – site is located in very high fire hazard severity zone (VHFHSZ); Wildland Urban Interface provisions implemented into the project (see compliance section in this document)

### Chapter IV – Development Intensity

Maximum allowable development – project is in compliance per Table 2

FLOOR AREA SUMMARY			
	EXISTING	PROPOSED	ACTUAL
MAIN FLOOR (RESIDENCE)	2,377 SQFT.	0 SQFT.	2,377 SQFT.
2ND FLOOR/ATTIC OVER 7' HEIGHT	0 SQFT.	0 SQFT.	0 SQFT.
SHEDS	96 SQFT.	-96 SQFT.	0 SQFT.
ACCESSORY STRUCTURES	1,117 SQFT.	0 SQFT.	1,117 SQFT.
BELOW GRADE AREA (EXEMPT)	0 SQFT.	0 SQFT.	0 SQFT.
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<b>TOTAL</b>	<b>3,777 SQFT.</b>	<b>556 SQFT.</b>	<b>4,333 SQFT.</b>
GARAGE EXEMPTION	400 SQFT.	400 SQFT.	400 SQFT.
4,900 SQFT. MAXIMUM ALLOWED			OK

## Chapter V – Architectural Design

The colors, textures and materials will match the primary structure. The scale of the structure is within zoning height limitations and complies with the Hillside Development Standards.

Exterior cladding – stucco to match the existing house

Roofing – asphalt shingles in the same style and color as the existing house

Introduction of dormers to provide architectural features that are in harmony with the natural environment and breaks up the standard gable blandness. The mass is fairly subtle especially with the limited height to 15'-0".

Scale of the project maintains low to no visual impact to the neighbors. Placement on the site supports compatibility with the immediate neighborhood context

Sustainability – comply with provisions of the California Green Building Code for residential measures.

Implementation of wildland urban interface features

## Chapter VI – Site Elements

The use of new retaining walls are limited to 5-feet high are of split-faced CMU matching existing split-faced CMU retaining walls already established on site. New retaining walls will also blend with the natural topography and follow natural drainage paths. The length of the longest proposed site retaining wall at the rear of the garage is approximately 74-feet. As part of the noted 74-foot length, there is a 4-foot section at the stair assembly then a straight run along the south without a break is 40-feet then a run of 30-feet perpendicular to the east of the garage. This complies with the maximum 50-foot retaining wall straight run limitation.

Outdoor lighting is to be subtle and maintain existing established styles. Outdoor lighting is very minimal on this project (replacement of garage fixtures) and will comply with CALGreen requirements for light cut-off and meet CA Title 24 requirements.

## Chapter VII – Landscape Design

Compliance with Wildland Urban Interface defensible space guidelines. See section for further description for attributes. Any land disturbance will be restored for natural landscaping to match existing. As part of the project trees will be removed in the area of project impact and partially to address defensible space guidelines.

Tree removal is necessary to accommodate the new garage size with the grading and drainage required. The Town's Arborist report identifies 4 trees to be removed, however this was based upon the original submittal before comments were received. The resubmittal has shown a total of 8 trees to be removed in order to comply with the requirements in the Hillside Development Standards for retaining walls limited to 5-foot high and WUI (Wildland Urban Interface) requirements through AMMC (25-0417). The site is located in a very high fire hazard severity zone (VHFHSZ).

Tree replacement is not being proposed due to WUI requirements as planting new trees will result in a greater fire hazard than the original condition, especially when the trees are fully mature. Tree canopies in Zone 1 shall not touch in order to accommodate a reasonable fire break. Planting any new tree would not accommodate this. In-lieu fees are being requested instead of planting any new trees.

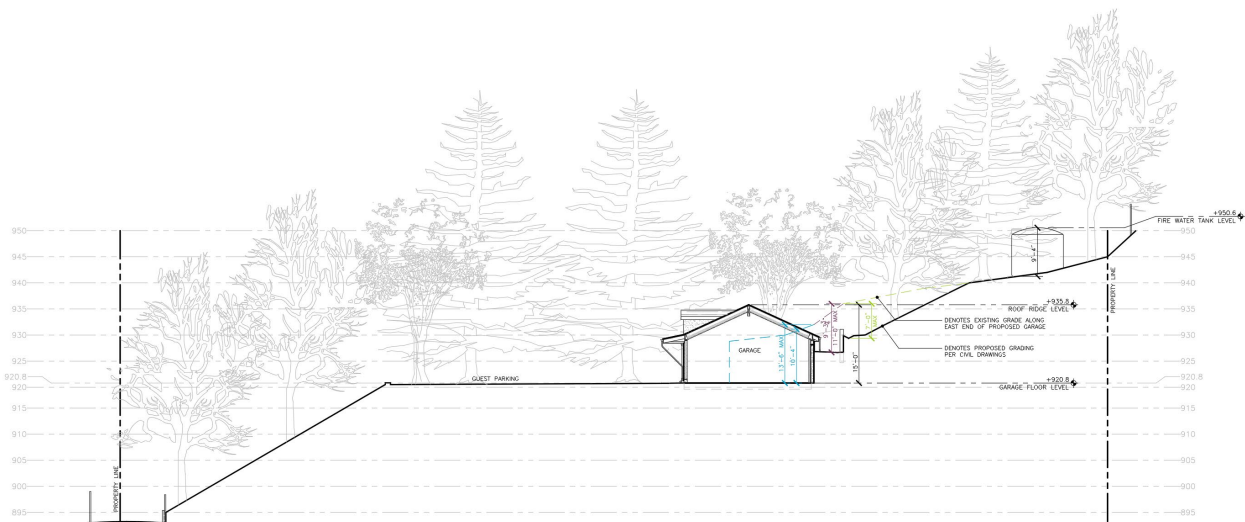
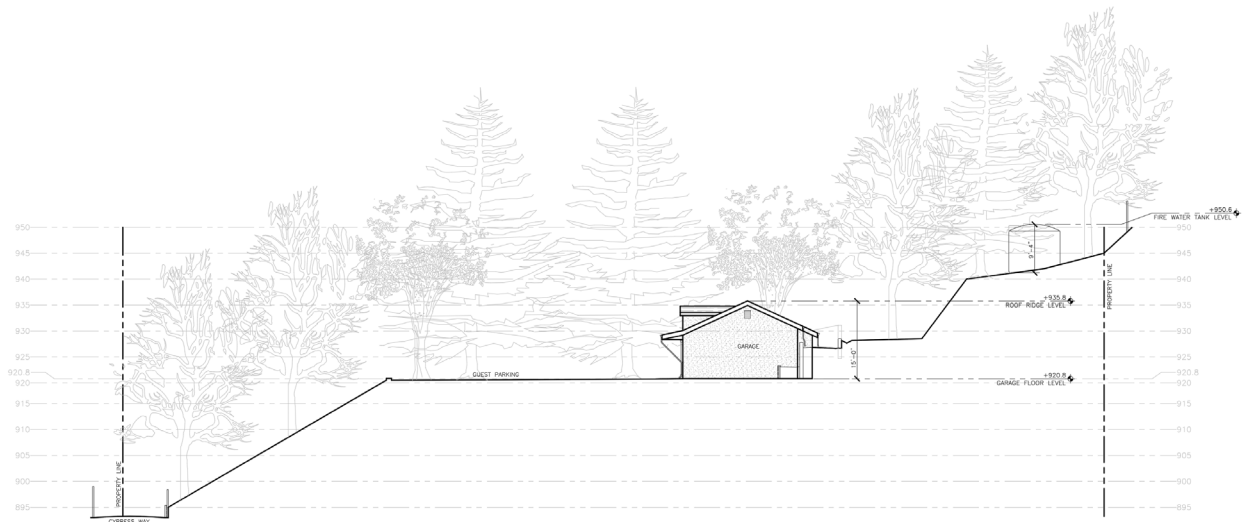


### Compliance with Residential Design Guidelines

The colors, textures and materials will match the primary structure. The scale of the structure is within zoning height limitations and complies with the Hillside Development Standards. Other attributes are discussed further in detail in the section above including architectural style, height, bulk, scale, roofs, windows, materials, architectural features, privacy, sustainable design and fire-life safety. An exemption has been requested for the LRV exceeding 30 since the intent for the proposed garage assembly is to have the same materials, textures and colors to match the existing residence for what is already established on site.

### Compatibility with Immediate Neighborhood Context

The project scale is a single-story accessory structure that is limited to 15'-0" high. The materials, colors and textures match the existing residence and by nature are already compatible with the neighborhood context consisting of single-family residences. Massing has minimal impact as shown in the site section below.



Materials, colors and texture

The colors, textures and materials will match the primary structure.  
Exterior cladding is stucco and will match the main residence  
Roof is asphalt shingle tiles and will match the main residence  
Trim, gutters and fascia will match the main residence  
Doors will match the stucco color  
Lattice and breezeway wall will match the existing nearby bbq terrace

EXTERIOR COLOR SCHEME	
DOOR:	TAN/EARTH (MATCH EXISTING MAIN HOUSE) -LRV 69 FIRE-RATED HOLLOW METAL DOOR & FRAME
GARAGE DOORS:	TAN/EARTH (MATCH STUCCO COLOR) - LRV 69 METAL-CLADDED INSULATED DOOR WITH WOOD TRIM COVERED WITH 20 GA METAL FLASHING & PAINTED TO MATCH FACIA BOARD TRIM
DORMER WINDOWS:	FIRE-RATED & METAL FRAME WITH THERMAL BREAK WHITE TO MATCH MAIN HOUSE - LRV 93
GABLE VENTS:	TEMPERED GLAZING WITH 3/4" WIDE WINDOW GRILLES METAL-PAINTED TO MATCH STUCCO COLOR -LRV 69
FAUX COLUMNS:	STUCCO-CLADDED TO MATCH STUCCO TEXTURE AND COLOR AS THE GARAGE (TAN/EARTH) - LRV 69

EXTERIOR COLOR SCHEME	
STUCCO:	TAN/EARTH (MATCH EXISTING MAIN HOUSE) -LRV 69 MODERN STYLE TEXTURE TO MATCH MAIN HOUSE
ROOF TILES:	ASPHALT SHINGLES (SEE A2.2) - SRI 18 COLOR: CHARCOAL BLACK
TRIM:	TAN/EARTH TO MATCH STUCCO - LRV 69 (STUCCO TRIM TO MATCH STUCCO COLOR)
FASCIA:	WHITE TO MATCH MAIN HOUSE - LRV 93
GUTTERS:	WHITE TO MATCH MAIN HOUSE - LRV 93
DOWNSPOUTS:	WHITE TO MATCH MAIN HOUSE - LRV 93
LATTICE (LRV 14):	BLACK IRON TO MATCH BBQ TERRACE LATTICE
RETAINING WALLS:	CONCRETE AT GARAGE (FULLY CONCEALED) (LRV 30) SPLIT-FACE CMU TO MATCH EXISTING ON SITE



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## REQUEST FOR EXEMPTION



Town of Los Gatos  
Community Development Department  
110 E. Main Street | Los Gatos, CA 95031  
[www.losgatosca.gov](http://www.losgatosca.gov)

Plan Check: **S-24-045**  
**Architecture and Site Development Application**  
Address: 16511 Cypress Way | Los Gatos, CA  
Description: Garage & Breezeway Replacement

### LRV Exceeding 30

The colors, textures and materials will match the primary structure. The scale of the structure is within zoning height limitations and complies with the Hillside Development Standards. Other attributes are discussed further in detail in the section above including architectural style, height, bulk, scale, roofs, windows, materials, architectural features, privacy, sustainable design and fire-life safety. An exemption has been requested for the LRV exceeding 30 since the intent for the proposed garage assembly is to have the same materials, textures and colors to match the existing residence for what is already established on site.

The colors, textures and materials will match the primary structure.  
Exterior cladding is stucco and will match the main residence  
Roof is asphalt shingle tiles and will match the main residence  
Trim, gutters and fascia will match the main residence  
Doors will match the stucco color  
Lattice and breezeway wall will match the existing nearby bbq terrace

#### EXTERIOR COLOR SCHEME

DOOR: TAN/EARTH (MATCH EXISTING MAIN HOUSE) -LRV 69  
FIRE-RATED HOLLOW METAL DOOR & FRAME  
GARAGE DOORS: TAN/EARTH (MATCH STUCCO COLOR) - LRV 69  
METAL-CLADDED INSULATED DOOR WITH WOOD TRIM  
COVERED WITH 20 GA METAL FLASHING & PAINTED  
TO MATCH FACIA BOARD TRIM  
DORMER WINDOWS: FIRE-RATED & METAL FRAME WITH THERMAL BREAK  
WHITE TO MATCH MAIN HOUSE - LRV 93  
TEMPERED GLAZING WITH 3/4" WIDE WINDOW GRILLES  
GABLE VENTS: METAL-PAINTED TO MATCH STUCCO COLOR -LRV 69  
FAUX COLUMNS: STUCCO-CLADDED TO MATCH STUCCO TEXTURE AND  
COLOR AS THE GARAGE (TAN/EARTH) - LRV 69

#### EXTERIOR COLOR SCHEME

STUCCO: TAN/EARTH (MATCH EXISTING MAIN HOUSE) -LRV 69  
MODERN STYLE TEXTURE TO MATCH MAIN HOUSE  
ROOF TILES: ASPHALT SHINGLES (SEE A2.2) - SRI 18  
COLOR: CHARCOAL BLACK  
TRIM: TAN/EARTH TO MATCH STUCCO - LRV 69  
(STUCCO TRIM TO MATCH STUCCO COLOR)  
FASCIA: WHITE TO MATCH MAIN HOUSE - LRV 93  
GUTTERS: WHITE TO MATCH MAIN HOUSE - LRV 93  
DOWNSPOUTS: WHITE TO MATCH MAIN HOUSE - LRV 93  
LATTICE (LRV 14): BLACK IRON TO MATCH BBQ TERRACE LATTICE  
RETAINING WALLS: CONCRETE AT GARAGE (FULLY CONCEALED)  
(LRV 30)  
SPLIT-FACE CMU TO MATCH EXISTING ON SITE



### Cut and Fill Exceeding Maximum Allowed

Maximum grade cuts are based upon the existing terrain, preserving natural features and drainage and utilizing the existing garage location. Note that the garage foundation level is being maintained in the addition thus the noted maximum cut noted in the garage line item.

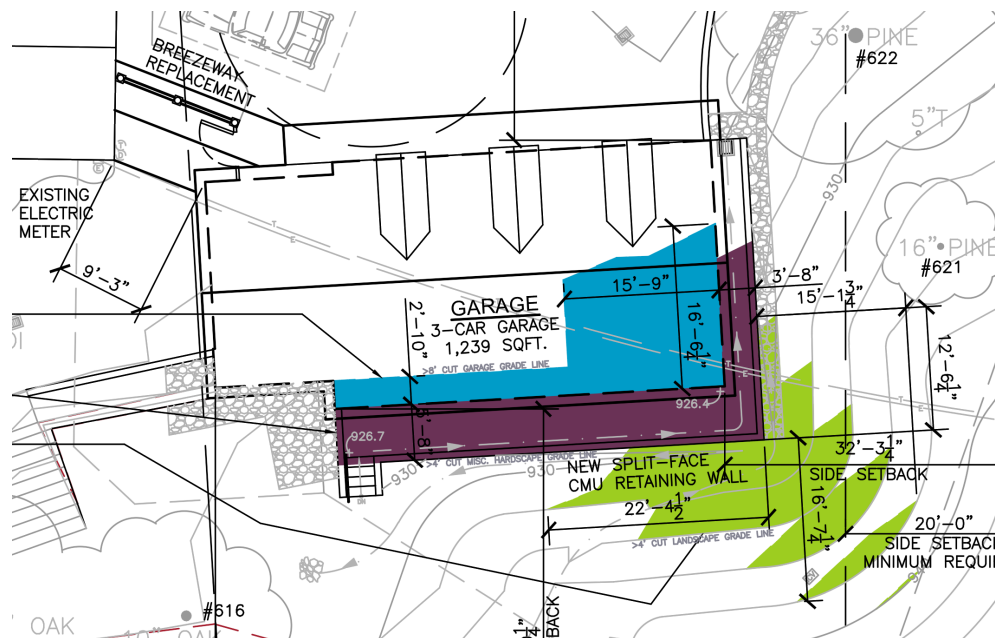
#### APPROXIMATE EARTHWORK QUANTITIES

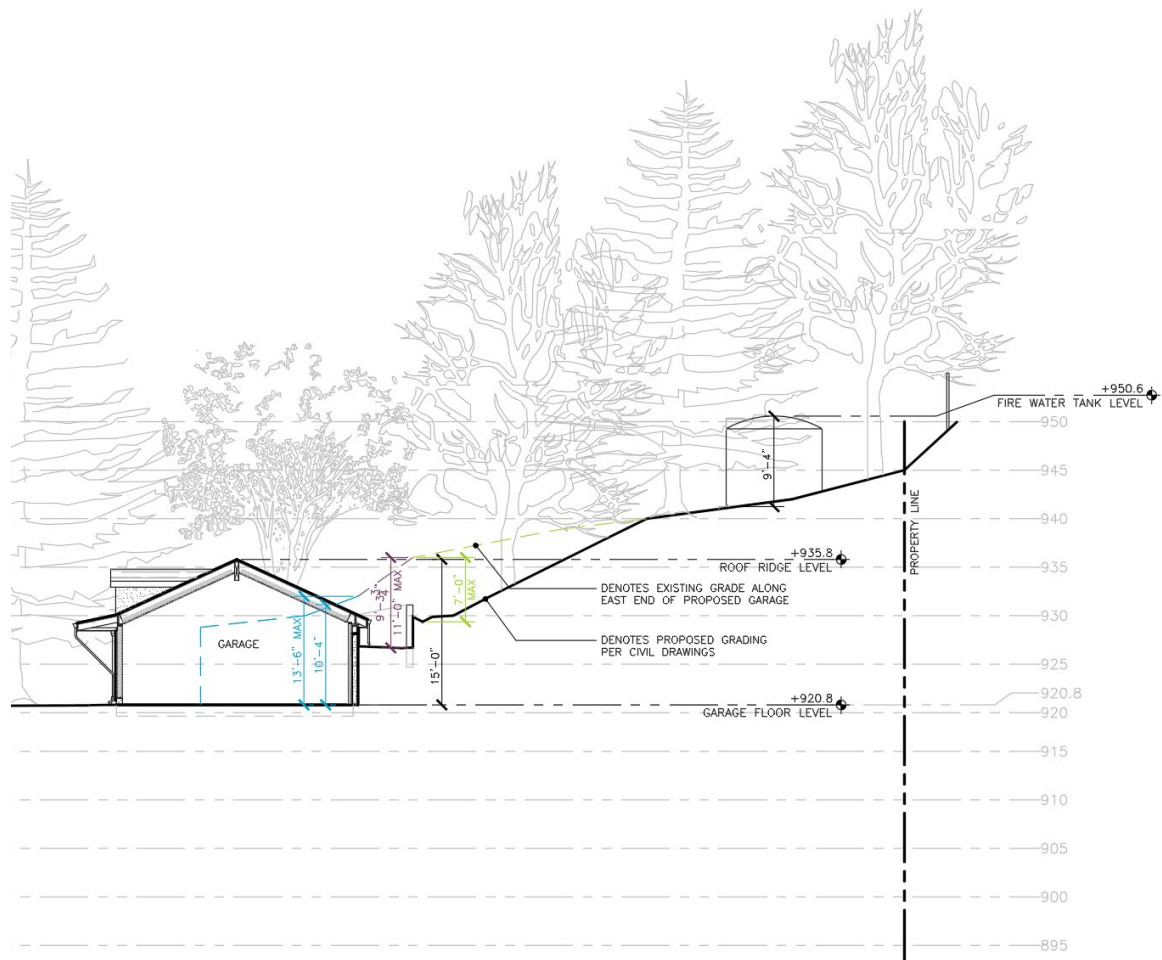
AVERAGE SLOPE: ~32%	EARTHWORK (CY)		MAX CUT/FILL DEPTH (FT)		(CY)	
SITE ELEMENT	CUT	FILL	CUT	FILL	IMPORT	EXPORT
LANDSCAPE	236	0	7	—	0	236
MISC. HARDSCAPE	57	0	11	—	0	57
GARAGE	122	0	13.5	—	0	122
TOTAL	415	0			0	415

\*LANDSCAPE INCLUDES GRADING SOUTH OF GARAGE.

\*MISC. HARDSCAPE INCLUDES CONCRETE PAD AND RETAINING WALL GRADING.

A request for exemption is requested due to existing conditions on site. The garage is maintaining the same pad elevation as the existing removed. Due to the existing site configuration and constraints, cutting an additional 5.5' is necessary to maintain the same pad elevation. Elevating the garage would require significantly more grading and asphalt modifications. The same is true for the additional 7' of cut for the miscellaneous hardscape and additional 3' of cut for the landscaping.





### **Additional Trees Removed & In Lieu Fee Request**

Tree removal is necessary to accommodate the new garage size with the grading and drainage required. The Town's Arborist report identifies 4 trees to be removed, however this was based upon the original submittal before comments were received. The resubmittal has shown a total of 8 trees to be removed in order to comply with the requirements in the Hillside Development Standards for retaining walls limited to 5-foot high and WUI (Wildland Urban Interface) requirements through AMMC (25-0417). The site is located in a very high fire hazard severity zone (VHFHSZ).

Tree replacement is not being proposed due to WUI requirements as planting new trees will result in a greater fire hazard than the original condition, especially when the trees are fully mature. Tree canopies in Zone 1 shall not touch in order to accommodate a reasonable fire break. Planting any new tree would not accommodate this. In-lieu fees are being requested instead of planting any new trees.





ARCHITECTURE PLANNING URBAN DESIGN

September 17, 2024

Mr. Suray Nathan  
Community Development Department  
Town of Los Gatos  
110 E. Main Street  
Los Gatos, CA 95031

**RE: 16511 Cypress Way**

Dear Suray:

I reviewed the drawings and evaluated the neighborhood context. My comments and recommendations on the design are as follows:

#### **NEIGHBORHOOD CONTEXT**

The site is located in a hillside neighborhood with heavy mature landscaping and large lots and homes. Photos of the site and its surrounding neighborhood are shown on the following page.



6729 FAIRFIELD DRIVE  
SANTA ROSA, CA 95409

TEL: (707) 843-5747  
CDGPLAN@PACBELL.NET





*THE SITE CONTEXT*



*THE SITE CONTEXT*



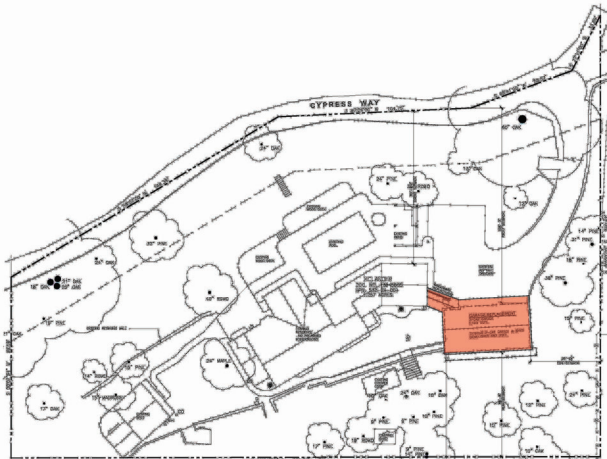
*House below this site*



*View from below up to site*



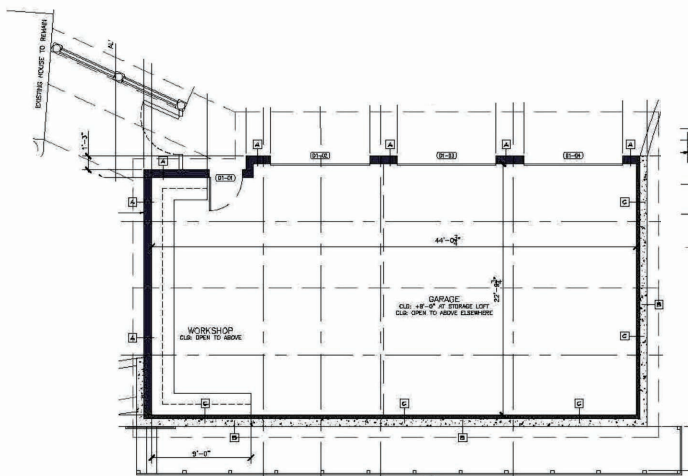
## PROPOSED PROJECT



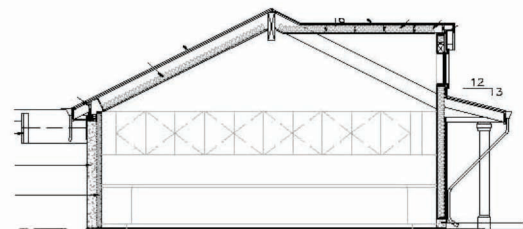
*Proposed site plan*



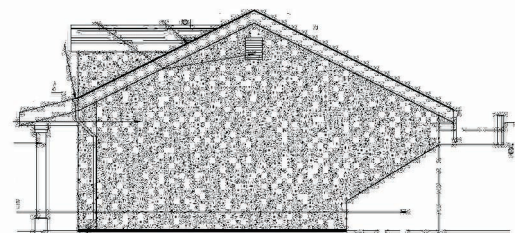
*Existing garage and breezeway*



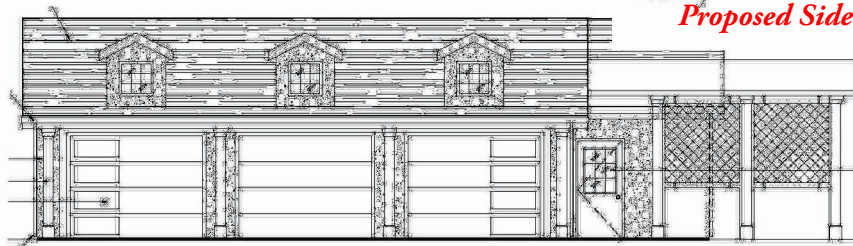
*Proposed Floor Plan*



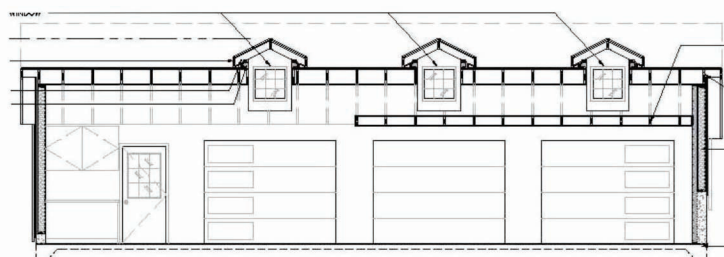
*Proposed Cross Section at dormers*



*Proposed Side Elevation*



*Proposed Front Elevation*



*Proposed Longitudinal Section*

#### ISSUES AND RECOMMENDATIONS

The proposed project is a replacement of an existing garage and breezeway. It is modest in size and design. It proposes roof dormer windows which are characteristics of carriage house but perfectly acceptable as windows bringing natural light into the garage interior. The area is well shielded by landscaping from views of any adjacent neighbors.

I have no recommendations for changes.

Suray, please let me know if you have any questions or if there are any issues that I did not address.

Sincerely,

CANNON DESIGN GROUP

A handwritten signature in black ink, appearing to read "Larry L. Cannon". The signature is fluid and cursive, with the first name "Larry" and last name "Cannon" clearly distinguishable.

Larry L. Cannon



**Tree Inventory, Assessment,  
and  
Protection Report**

**16511 Cypress Way  
Los Gatos, CA 95032**

**Prepared for:**

**Town of Los Gatos**

**November 6, 2024**

**Prepared By:**



**Monarch Consulting Arborists**

Richard Gessner  
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## Summary

The applicant is requesting approval for construction of accessory structures exceeding 1,000 square feet in gross floor area and site improvements on property zoned HR-2 1/2. APN 532-24-004. Exempt pursuant to the CEQA Section 15303(a): new construction or conversion of small structures.

The inventory contains ten (10) trees comprised of seven (7) different species. There are no Large Protected, Exempt, or Street Trees. Seven trees are in good condition and the remaining three are in fair shape. One pine tree #619 has signs of red turpentine beetles (*Dendroctonus valens*).

Four trees are expected to be highly impacted and removed which included holly #615 (*Ilex aquifolium*) Chinese pistache (*Pistacia chinensis*) #617, coast live oak (*Quercus agrifolia*) #618, and silk tree (*Albizia julibrissin*) #624. One tree, coast live oak #623, could be moderately impacted. The remaining five trees are not expected to be affected.

Tree protection will consider of fence around those to remain at their calculated tree protection radius of eight times their trunk diameter in feet.

The applicant will be required to replace four protected trees.

There were ten (10) protected trees appraised for a rounded depreciated value of \$17,690.00.

## Introduction

### Background

The Town of Los Gatos asked me to assess the site, trees, and proposed footprint plan, and to provide a report with my findings and recommendations to help satisfy planning requirements.

### Assignment

- Provide an arborist's report including an assessment of the trees within the project area and on the adjacent sites. The assessment is to include the species, size (trunk diameter), condition (health, structure, and form), and suitability for preservation ratings. Affix number tags on the trees for reference on site and on plans.
- Provide tree protection specifications, guidelines, and impact ratings for those affected by the project.
- Provide appraised values using the Trunk Formula Technique.

### Limits of the assignment

- The information in this report is limited to the condition of the trees during my inspection on October 22, 2024. No tree risk assessments were performed.
- Tree heights and canopy diameters are estimates.



- The plans reviewed for this assignment were as follows (Table 1).

Table 1: Plans Reviewed Checklist

Plan	Date	Sheet	Reviewed	Source
Existing Site Topographic				
Proposed Site Plan	July 2024	A1.1	Yes	Bay Area Builders, Inc.
Erosion Control				
Grading and Drainage	July 2024	C1	Yes	R.I. Engineering Inc.
Utility Plan and Hook-up locations				
Exterior Elevations	July 2024	A3.1 - A3.3	Yes	Bay Area Builders, Inc.
Landscape Plan				
Irrigation Plan				
T-1 Tree Protection Plan				

## Purpose and use of the report

The report is intended to identify all the trees within the plan area that could be affected by a project. The report is to be used by the Town of Los Gatos and the property owners as a reference for existing tree conditions to help satisfy planning requirements.

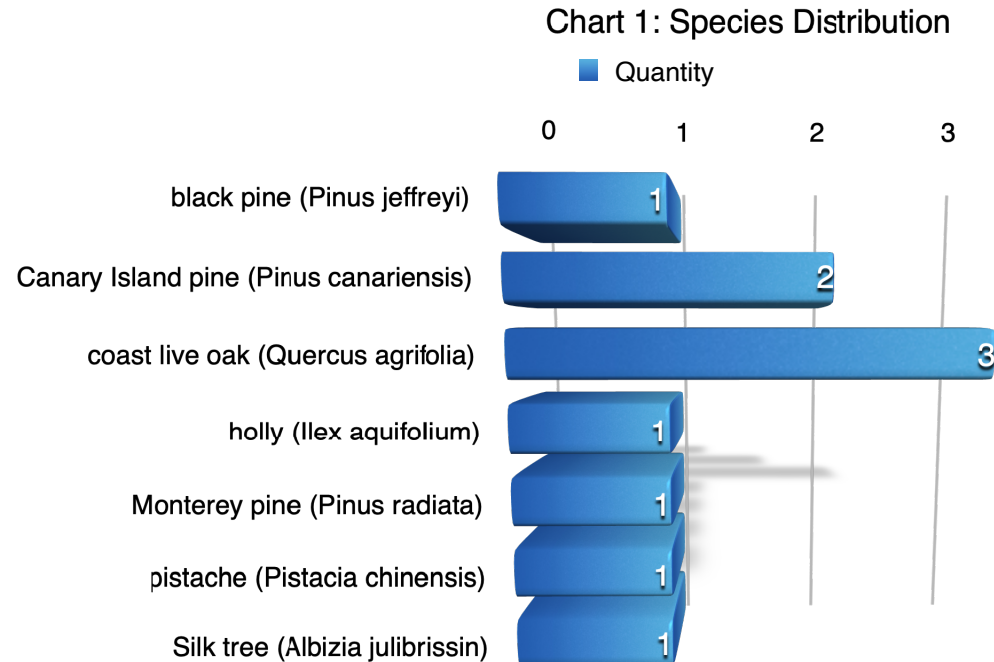
## Observations

### Tree Inventory

The inventory consists of trees protected by the Town of Los Gatos located on site and those in close proximity on neighboring properties. Sec. 29.10.0960. - Scope of protected trees. All trees which have a four-inch or greater diameter (twelve and one half-inch circumference) of any trunk, when removal relates to any review for which zoning approval or subdivision approval is required. (Appendix A and B). Los Gatos Town Ordinance 29.10.0970 Exceptions (1) states the following: "A fruit or nut tree that is less than eighteen (18) inches in diameter (fifty-seven-inch circumference).



The inventory contains ten (10) trees comprised of seven (7) different species. There are no Large Protected<sup>1</sup>, Exempt<sup>2</sup>, or Street Trees<sup>3</sup> (Chart 1).



<sup>1</sup> Large protected tree means any oak (*Quercus spp.*), California buckeye (*Aesculus californica*), or Pacific madrone (*Arbutus menziesii*) which has a 24-inch or greater diameter (75-inch circumference); or any other species of tree with a 48-inch or greater diameter (150-inch circumference).

<sup>2</sup> A fruit or nut tree that is less than eighteen (18) inches in diameter (fifty-seven-inch circumference). Species listed in 29.10.0970 subsection (2).

<sup>3</sup> Street tree means a tree in a public place, or along or within a public street or right-of-way.



## Analysis

Tree appraisal was performed according to the Council of Tree & Landscape Appraisers *Guide for Plant Appraisal 10th Edition, 2019* (CLTA) along with Western Chapter International Society of Arboriculture *Species Classification and Group Assignment, 2004*. The trees were appraised using the “Cost Approach” and more specifically the “Trunk Formula Technique” (Appendix B).

“Trunk Formula Technique” is calculated as follows: Basic Tree Cost = (Unit tree cost x Appraised trunk area), Appraised Value = (Basic tree cost X functional Limitations (percentage) X Condition (percentage) X External Limitations (percentage)).

The trunk formula valuations are based on four tree factors; size (trunk cross sectional area), condition, functional limitations, and external limitations. There are two steps to determine the overall value. The first step is to determine the “Basic Tree Cost” based on size and unit tree cost. Unit tree cost is calculated by dividing the nursery wholesale cost of a 24 inch box specimen and its replacement size (cost per square inch trunk caliper) which is determined by the *Species Classification and Group Assignment, 2004 Western Chapter Regional Supplement*. The cost of the 24 inch box wholesale specimen was determined through personal communications with BrightView and Normans nurseries in Farmington and Central Wholesale in San Jose for an average of \$214.00.

The second part is to depreciate the tree’s Basic Cost through an assessment of condition, functional limitations, and external limitations. The condition assessment guidelines and percentages are defined in the “Condition Rating” section of this report. Functional limitations are based on factors associated with the tree’s interaction to its planting site that would affect condition, limit development, or reduce the utility in the future and include genetics, placement, and site conditions for the individual tree. External limitations are outside the property, out of control of the owner and also affect condition, limit development, or reduce the utility in the future (i.e power lines, municipal restrictions, drought adaptations, or species susceptibility to pests).

There were ten (10) protected trees appraised for a rounded depreciated value of \$17,690.00.

Appraisal worksheets are available upon request.



## Discussion

### Condition Rating

A tree's condition is a determination of its overall health, structure, and form. The assessment considered all three criteria for a combined condition rating.

- 100% - Exceptional = Good health and structure with significant size, location or quality.
- 61-80% - Good = Normal vigor, well-developed structure, function and aesthetics not compromised with good longevity for the site.
- 41-60 % - Fair = Reduced vigor, damage, dieback, or pest problems, at least one significant structural problem or multiple moderate defects requiring treatment. Major asymmetry or deviation from the species normal habit, function and aesthetics compromised.
- 21-40% - Poor = Unhealthy and declining appearance with poor vigor, abnormal foliar color, size or density with potential irreversible decline. One serious structural defect or multiple significant defects that cannot be corrected and failure may occur at any time. Significant asymmetry and compromised aesthetics and intended use.
- 6-20% - Very Poor = Poor vigor and dying with little foliage in irreversible decline. Severe defects with the likelihood of failure being probable or imminent. Aesthetically poor with little or no function in the landscape.
- 0-5% - Dead/Unstable = Dead or imminently ready to fail.

Seven trees are in good condition and the remaining three are in fair shape. One pine tree #619 has signs of red turpentine beetles (*Dendroctonus valens*) (Chart 2).

Chart 2: Condition Ratings





## Mitigation for Removals

The table below indicates the recommended replacement values (Table 2). The applicant will be required to replace four protected trees. Alternatively it may be possible to create an approved landscape plan or provide an in-lieu payment. The landscape plan does not indicate any replacement trees.

Table 2: Town of Los Gatos Tree Canopy - Replacement Standard

Canopy Size of Removed Tree (1)	Replacement Requirement (2)(4)	Single Family Residential Replacement Option (3)(4)
10 feet or less	Two 24 inch box trees	Two 15 gallon trees
More than 10 feet to 25 feet	Three 24 inch box trees	Three 15 gallon trees
More than 25 feet to 40 feet	Four 24 inch box trees or two 36 inch box trees	Four 15 gallon trees
More than 40 feet to 55 feet	Six 24 inch box trees; or three 36 inch box trees	Not available
Greater than 55 feet	Ten 24 inch box trees; or five 36 inch box trees	Not available

<sup>1</sup>To measure an asymmetrical canopy of a tree, the widest measurement shall be used to determine canopy size.

<sup>2</sup>Often, it is not possible to replace a single large, older tree with an equivalent tree(s). In this case, the tree may be replaced with a combination of both the Tree Canopy Replacement Standard and in-lieu payment in an amount set forth by Town Council resolution paid to the Town Tree Replacement Fund.

<sup>3</sup>Single Family Residential Replacement Option is available for developed single family residential lots under 10,000 square feet that are not subject to the Town's Hillside Development Standards and Guidelines. All 15-gallon trees must be planted on-site. Any in-lieu fees for single family residential shall be based on 24" box tree rates as adopted by Town Council.

<sup>4</sup>Replacement Trees shall be approved by the Town Arborist and shall be of a species suited to the available planting location, proximity to structures, overhead clearances, soil type, compatibility with surrounding canopy and other relevant factors. Replacement with native species shall be strongly encouraged. Replacement requirements in the Hillside shall comply with the Hillside Development Standards and Guidelines Appendix A and Section 29.10.0987 Special Provisions—Hillside.

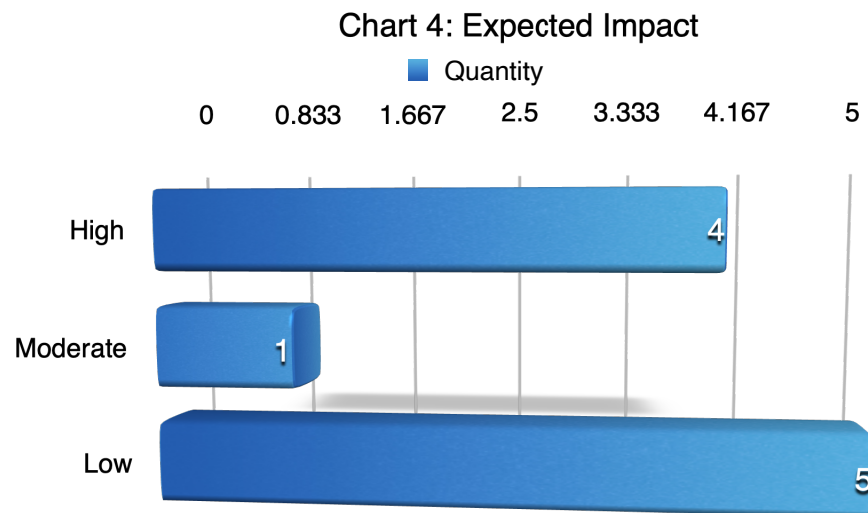


## Expected Impacts

Impact level defines how a tree may be affected by construction activity and proximity to the tree, and is described as low, moderate, or high. The following scale defines the impact rating:

- Low = The construction activity will have little influence on the tree.
- Moderate = The construction may cause future health or structural problems, and steps must be taken to protect the tree to reduce future problems.
- High = Tree structure and health will be compromised and removal is recommended, or other actions must be taken for the tree to remain. The tree is located in the building envelope.

Four trees are expected to be highly impacted and removed which included holly #615, Chinese pistache #617, coast live oak #618, and silk tree #624 (Chart 3). One tree, coast live oak #623, could be moderately impacted and one of its codominant stems will need to be removed to provide clearance (and as a byproduct improve overall structure). The remaining five trees are not expected to be affected.



## Tree Protection

Typically there are three different tree protection schemes which are called Type I (Appendix D1), Type II and Type III (Appendix D2) trunk protection only. The tree protection zone (TPZ) is the defined area in which certain activities are prohibited to minimize potential injury to the tree. There are two tree protection zones determined which include the “calculated” and “specified”. The “calculated” tree protection zone is determined by a multiplication factor based on species tolerance, tree age/vigor/health, and trunk diameter. The “specified” tree protection zone is adjusted in size and shape to accommodate the existing infrastructure, planned construction, and specific site constraints. This “specified” zone includes tree canopy conformation, visible root orientation, size, condition, maturity, and species tolerances (Gilpin, R, Hauer, R, Matheny, N, and Smiley, E.T. 2023).

Tree protection will consider of fence around those to remain at their calculated tree protection radius of eight times their trunk diameter in feet.

## Conclusion

The inventory contains ten (10) trees comprised of seven (7) different species. There are no Large Protected, Exempt, or Street Trees.

Seven trees are in good condition and the remaining three are in fair shape. One pine tree #619 has signs of red turpentine beetles (*Dendroctonus valens*).

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Tree protection will consider of fence around those to remain at their calculated tree protection radius of eight times their trunk diameter in feet.

The applicant will be required to replace four protected trees.

There were ten (10) protected trees appraised for a rounded depreciated value of \$17,690.00.



## Recommendations

1. Provide a plan sheet or existing topographic survey that indicates the trees within the project area. None of the plan sheets show tree locations for #616, #617, #618, #623 or #624 which many are expected to be highly impacted (Appendix A).
2. Place tree protection fence around the trees to be retained as indicated in Appendix B “Calculated TPZ”.
3. All tree maintenance and care shall be performed by a qualified arborist with a C-61/D-49 California Contractors License. Tree maintenance and care shall be specified in writing according to American National Standard for Tree Care Operations: *Tree, Shrub and Other Woody Plant Management: Standard Practices* parts 1 through 10 and adhere to ANSI Z133.1 safety standards and local regulations. All maintenance is to be performed according to ISA Best Management Practices.
4. Refer to Appendix D for general tree protection guidelines including recommendations for arborist assistance while working under trees, trenching, or excavation within a trees drip line or designated TPZ/CRZ.
5. Place all the tree protection fence locations and guidelines on the plans including the grading, drainage, and utility plans. Create a separate plan sheet that includes all three protection measures labeled “T-1 Tree Protection Plan.”
6. Provide a copy of this report to all contractors and project managers, including the architect, civil engineer, and landscape designer or architect. It is the responsibility of the owner to ensure all parties are familiar with this document. Arrange a pre-construction meeting with the project arborist or landscape architect to verify tree protection is in place, with the correct materials, and at the proper distances.



## Bibliography

Gilpin, R, Hauer, R, Matheny, N, and Smiley, E.T. *Managing trees during construction*, Third edition. Champaign, IL: International Society of Arboriculture, 2023.

ISA. *Guide For Plant Appraisal 9th Edition*. Savoy, IL: International Society of Arboriculture, 2000. Print.

ISA. *Guide For Plant Appraisal 10th Edition*. Savoy, IL: International Society of Arboriculture, 2018. Print.

ISA. Species Classification and Group Assignment, 2004 Western Chapter Regional Supplement. Western Chapter ISA

Matheny, Nelda P., Clark, James R. *Trees and development: A technical guide to preservation of trees during land development*. Bedminster, PA: International Society of Arboriculture 1998.

Smiley, E, Matheny, N, Lilly, S, ISA. *Best Management Practices: Tree Risk Assessment*: International Society of Arboriculture, 2017. Print



## Glossary of Terms

**calculated tree protection zone:** A TPZ calculated using the trunk diameter and a multiplication factor based on species tolerance to construction and tree age. It is often plotted on a plan as a circle or other arbitrary shape and can be used as a guide for establishing the specified TPZ.

**critical root zone:** a conceptual soil area containing the minimal amount of all the essential parts of the root zone needed to sustain tree health and structural integrity. There are no universally accepted methods to calculate the CRZ.

**basic Tree Cost:** The cost of replacement for a perfect specimen of a particular species and cross sectional area prior to location and condition depreciation.

**cost Approach:** An indication of value by adding the land value to the depreciated value of improvements.

**defect:** An imperfection, weakness, or lack of something necessary. In trees defects are injuries, growth patterns, decay, or other conditions that reduce the tree's structural strength.

**diameter at breast height (DBH):** Measures at 1.4 meters (4.5 feet) above ground in the United States, Australia (arboriculture), New Zealand, and when using the Guide for Plant Appraisal, 9th edition; at 1.3 meters (4.3 feet) above ground in Australia (forestry), Canada, the European Union, and in UK forestry; and at 1.5 meters (5 feet) above ground in UK arboriculture.

**drip Line:** Imaginary line defined by the branch spread or a single plant or group of plants. The outer extent of the tree crown.

**form:** Describes a plant's habit, shape or silhouette defined by its genetics, environment, or management.

**health:** Assessment is based on the overall appearance of the tree, its leaf and twig growth, and the presence and severity of insects or disease

**mechanical damage:** Physical damage caused by outside forces such as cutting, chopping or any mechanized device that may strike the tree trunk, roots or branches.



**scaffold branches:** Permanent or structural branches that for the scaffold architecture or structure of a tree.

**specified tree protection zone (specified TPZ):** a TPZ that is adjusted in size or shape to accommodate the existing infrastructure, planned construction, and aspects of the site, as well as the tree canopy conformation, visible root orientation, size, condition, maturity, and species response to construction.

**straw wattle:** also known as straw worms, bio-logs, straw noodles, or straw tubes are man made cylinders of compressed, weed free straw (wheat or rice), 8 to 12 inches in diameter and 20 to 25 feet long. They are encased in jute, nylon, or other photo degradable materials, and have an average weight of 35 pounds.

**structure:** Evaluation focused on the crown, trunk, trunk flare, above ground roots and the site conditions contributing to conditions and/or defects that may contribute to failure.

**Tree Protection Zone (TPZ):** Defined area within which certain activities are prohibited or restricted to prevent or minimize potential injury to designated trees, especially during construction or development.

**Tree Risk Assessment:** Process of evaluating what unexpected things could happen, how likely it is, and what the likely outcomes are. In tree management, the systematic process to determine the level of risk posed by a tree, tree part, or group of trees.

**trunk:** Stem of a tree.

**Trunk Formula Technique:** Method to appraise the monetary value of trees considered too large to be replaced with nursery or field grown stock. Based on developing a representative unit cost for replacement with the same or comparable species of the same size and in the same place, subject to depreciation for various factors. Contrast with replacement cost method.

**volunteer:** A tree, not planted by human hands, that begins to grow on residential or commercial property. Unlike trees that are brought in and installed on property, volunteer trees usually spring up on their own from seeds placed onto the ground by natural causes or accidental transport by people. Normally, volunteer trees are considered weeds and removed, but many desirable and attractive specimens have gone on to become permanent residents on many public and private grounds.







## Appendix B: Tree Inventory and Assessment Tables

Table 3: Inventory and Assessment Summary

Tree Species	I.D. #	Trunk Diameter (in.)	~ Canopy Diameter (ft.)	Condition	Expected Impact	Protection Status	Rounded Depreciated Value	Calculated Protection Radii (ft.)
holly ( <i>Ilex aquifolium</i> )	615	10	15	Good	High	Protected	\$1,160.00	7
coast live oak ( <i>Quercus agrifolia</i> )	616	11	15	Good	Low	Protected	\$2,530.00	7
pistache ( <i>Pistacia chinensis</i> )	617	4	10	Good	High	Protected	\$570.00	3
coast live oak ( <i>Quercus agrifolia</i> )	618	4	10	Good	High	Protected	\$330.00	3
Canary Island pine ( <i>Pinus canariensis</i> )	619	14	15	Fair	Low	Protected	\$2,270.00	9
Canary Island pine ( <i>Pinus canariensis</i> )	620	17, 17	25	Fair	Low	Protected	\$6,700.00	16
black pine ( <i>Pinus jeffreyi</i> )	621	8	15	Good	Low	Protected	\$740.00	5
Monterey pine ( <i>Pinus radiata</i> )	622	19	20	Fair	Low	Protected	\$480.00	13
coast live oak ( <i>Quercus agrifolia</i> )	623	9, 7	10	Good	Moderate	Protected	\$2,720.00	8
Silk tree ( <i>Albizia julibrissin</i> )	624	9	10	Good	High	Protected	\$190.00	6



## Appendix C: Photographs

### C1: Trees #616, #623 and #624





## C2: Trees #617, #618, and #619



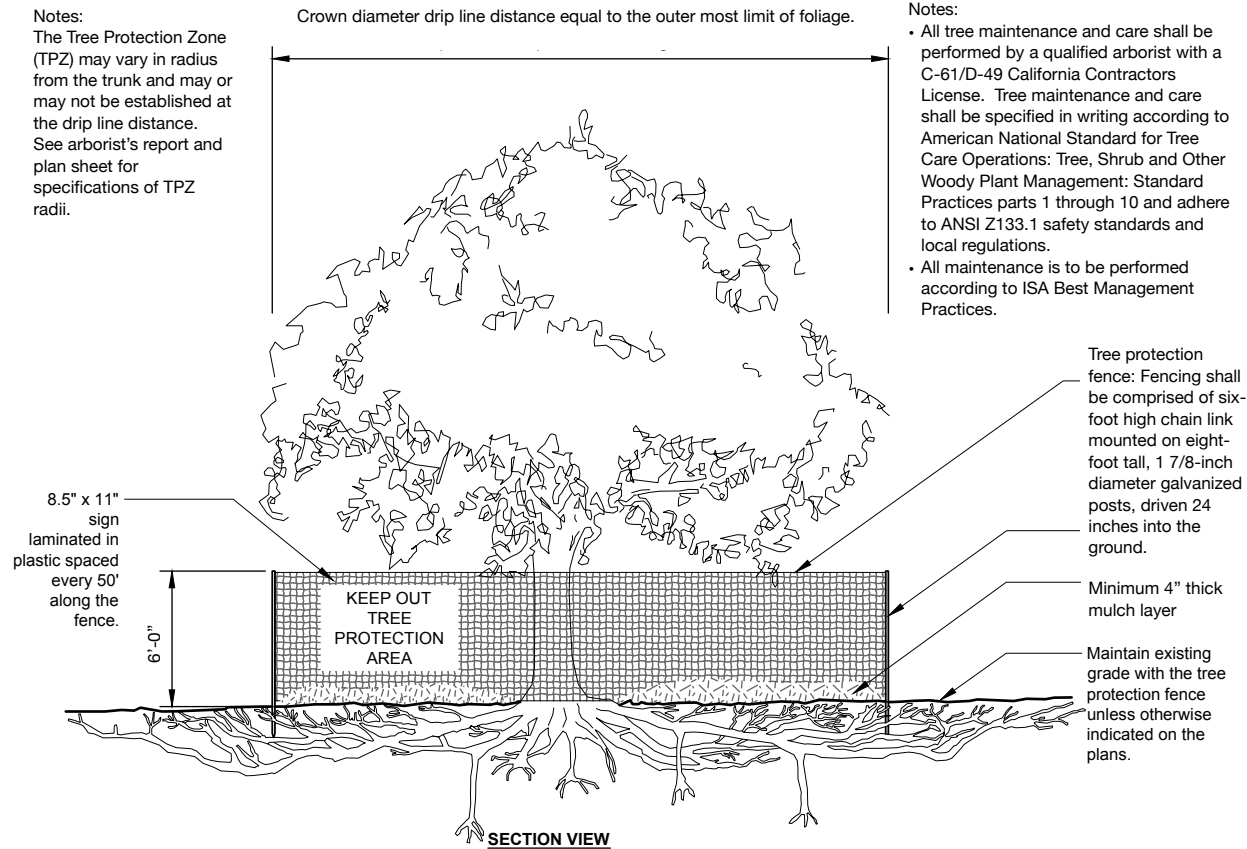


### C3: Holly #615



## Appendix D: Tree Protection Guidelines

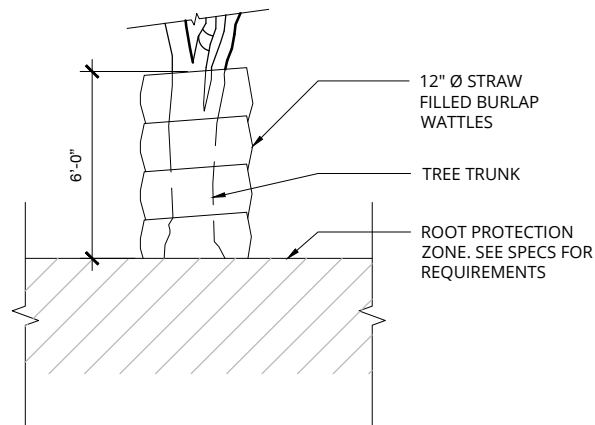
### D1: Plan Sheet Detail S-X (Type I)



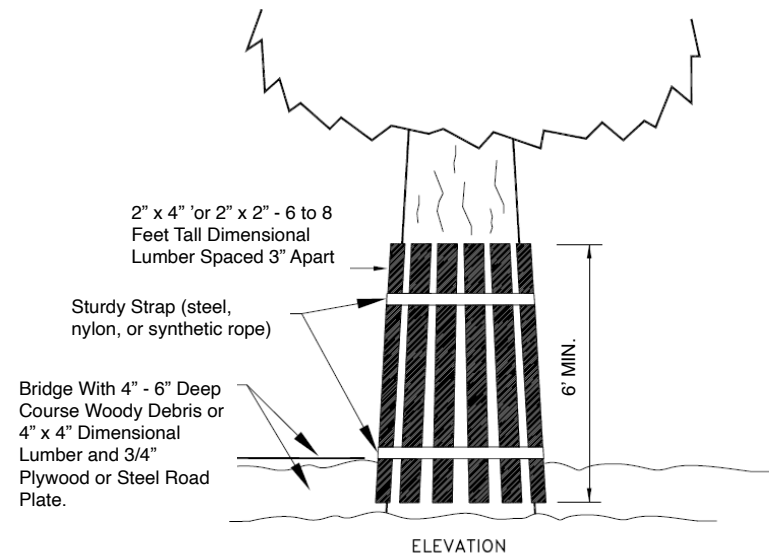
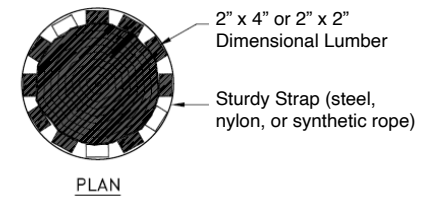
**TREE PROTECTION**

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Modified by Monarch Consulting  
Arborists LLC, 2019



**D2: Plan Sheet Detail S-Y (Type III)****SECTION VIEW****S-Y****TRUNK PROTECTION WITH WATTLE**

Note: See Local Ordinance Requirements and Arborist's Report for Additional Protection Specifications and Guidelines.

**Trunk Protection Vertical Timber  
Detail**

### D3: Section 29.10.1005. - Protection of Trees During Construction

#### Tree Protection Zones and Fence Specifications

1. **Size and materials:** Six (6) foot high chain link fencing, mounted on two-inch diameter galvanized iron posts, shall be driven into the ground to a depth of at least two (2) feet at no more than ten-foot spacing. For paving area that will not be demolished and when stipulated in a tree preservation plan, posts may be supported by a concrete base.
2. **Area type to be fenced:** Type I: Enclosure with chain link fencing of either the entire dripline area or at the tree protection zone (TPZ), when specified by a certified or consulting arborist. Type II: Enclosure for street trees located in a planter strip: chain link fence around the entire planter strip to the outer branches. Type III: Protection for a tree located in a small planter cutout only (such as downtown): orange plastic fencing shall be wrapped around the trunk from the ground to the first branch with two-inch wooden boards bound securely on the outside. Caution shall be used to avoid damaging any bark or branches.
3. **Duration of Type I, II, III fencing:** Fencing shall be erected before demolition, grading or construction permits are issued and remain in place until the work is completed. Contractor shall first obtain the approval of the project arborist on record prior to removing a tree protection fence.
4. **Warning Sign:** Each tree fence shall have prominently displayed an eight and one-half-inch by eleven-inch sign stating: "Warning—Tree Protection Zone—This fence shall not be removed and is subject to penalty according to Town Code 29.10.1025." Text on the signs should be in both English and Spanish (Appendix E).



**All persons, shall comply with the following precautions**

1. Prior to the commencement of construction, install the fence at the dripline, or tree protection zone (TPZ) when specified in an approved arborist report, around any tree and/or vegetation to be retained which could be affected by the construction and prohibit any storage of construction materials or other materials, equipment cleaning, or parking of vehicles within the TPZ. The dripline shall not be altered in any way so as to increase the encroachment of the construction.
2. Prohibit all construction activities within the TPZ, including but not limited to: excavation, grading, drainage and leveling within the dripline of the tree unless approved by the Director.
3. Prohibit disposal or depositing of oil, gasoline, chemicals or other harmful materials within the dripline of or in drainage channels, swales or areas that may lead to the dripline of a protected tree.
4. Prohibit the attachment of wires, signs or ropes to any protected tree.
5. Design utility services and irrigation lines to be located outside of the dripline when feasible.
6. Retain the services of a certified or consulting arborist who shall serve as the project arborist for periodic monitoring of the project site and the health of those trees to be preserved. The project arborist shall be present whenever activities occur which may pose a potential threat to the health of the trees to be preserved and shall document all site visits.
7. The Director and project arborist shall be notified of any damage that occurs to a protected tree during construction so that proper treatment may be administered.

**Prohibited Activities**

The following are prohibited activities within the TPZ:

- Grade changes (e.g. soil cuts, fills);
- Trenches;
- Root cuts;
- Pedestrian and equipment traffic that could compact the soil or physically damage roots;
- Parking vehicles or equipment;
- Burning of brush and woody debris;
- Storing soil, construction materials, petroleum products, water, or building refuse; and,
- Disposing of wash water, fuel or other potentially damaging liquids.





## Monitoring

Any trenching, construction or demolition that is expected to damage or encounter tree roots should be monitored by the project arborist or a qualified ISA Certified Arborist and should be documented.

The site should be evaluated by the project arborist or a qualified ISA Certified Arborist after construction is complete, and any necessary remedial work that needs to be performed should be noted.

## Root Pruning

Roots greater than two inches in diameter shall not be cut. When roots over two inches in diameter are encountered and are authorized to be cut or removed, they should be pruned by hand with loppers, handsaw, reciprocating saw, or chain saw rather than left crushed or torn. Roots should be cut beyond sinker roots or outside root branch junctions and be supervised by the project arborist. When completed, exposed roots should be kept moist with burlap or backfilled within one hour.

## Boring or Tunneling

Boring machines should be set up outside the drip line or established Tree Protection Zone. Boring may also be performed by digging a trench on both sides of the tree until roots one inch in diameter are encountered and then hand dug or excavated with an Air Spade® or similar air or water excavation tool. Bore holes should be adjacent to the trunk and never go directly under the main stem to avoid oblique (heart) roots. Bore holes should be a minimum of three feet deep.

## Tree Pruning and Removal Operations

All tree pruning or removals should be performed by a qualified arborist with a C-61/D-49 California Contractors License. Treatment, including pruning, shall be specified in writing according to the most recent ANSI A-300A Standards and Limitations and performed according to ISA Best Management Practices while adhering to ANSI Z133.1 safety standards. Trees that need to be removed or pruned should be identified in the pre-construction walk through.



**Appendix E: Tree Protection Signs**  
**E1: English**

# **Warning**

# **Tree Protection Zone**

**This Fence Shall Not Be Removed  
And Is Subject To Penalty According To  
Town Code 29.10.1025**



**E2: Spanish**

# **Cuidado Zona De Arbol Pretejido**

Esta valla no podrán ser sacados  
Y está sujeta a sanción en función de  
Código Ciudad del 29.101025



## Qualifications, Assumptions, and Limiting Conditions

Any legal description provided to the consultant is assumed to be correct. Any titles or ownership of properties are assumed to be good and marketable. All property is appraised or evaluated as though free and clear, under responsible ownership and competent management.

All property is presumed to be in conformance with applicable codes, ordinances, statutes, or other regulations.

Care has been taken to obtain information from reliable sources. However, the consultant cannot be responsible for the accuracy of information provided by others.

The consultant shall not be required to give testimony or attend meetings, hearings, conferences, mediations, arbitration, or trials by reason of this report unless subsequent contractual arrangements are made, including payment of an additional fee for such services.

This report and any appraisal value expressed herein represent the opinion of the consultant, and the consultant's fee is not contingent upon the reporting of a specified appraisal value, a stipulated result, or the occurrence of a subsequent event.

Sketches, drawings, and photographs in this report are intended for use as visual aids, are not necessarily to scale, and should not be construed as engineering or architectural reports or surveys. The reproduction of information generated by architects, engineers, or other consultants on any sketches, drawings, or photographs is only for coordination and ease of reference. Inclusion of said information with any drawings or other documents does not constitute a representation as to the sufficiency or accuracy of said information.

Unless otherwise expressed: a) this report covers only examined items and their condition at the time of inspection; and b) the inspection is limited to visual examination of accessible items without dissection, excavation, probing, or coring. There is no warranty or guarantee, expressed or implied, that structural problems or deficiencies of plants or property may not arise in the future.



## Certification of Performance

I Richard Gessner, Certify:

That I have personally inspected the tree(s) and/or the property referred to in this report, and have stated my findings accurately. The extent of the evaluation and/or appraisal is stated in the attached report and Terms of Assignment;

That I have no current or prospective interest in the vegetation or the property that is the subject of this report, and I have no personal interest or bias with respect to the parties involved;

That the analysis, opinions and conclusions stated herein are my own;

That my analysis, opinions, and conclusions were developed and this report has been prepared according to commonly accepted Arboricultural practices;

That no one provided significant professional assistance to the consultant, except as indicated within the report.

That my compensation is not contingent upon the reporting of a predetermined conclusion that favors the cause of the client or any other party, nor upon the results of the assessment, the attainment of stipulated results, or the occurrence of any other subsequent events;

I further certify that I am a Registered Consulting Arborist® with the American Society of Consulting Arborists, and that I acknowledge, accept and adhere to the ASCA Standards of Professional Practice. I am an International Society of Arboriculture Board Certified Master Arborist®. I have been involved with the practice of Arboriculture and the care and study of trees since 1998.

Richard J. Gessner



ASCA Registered Consulting Arborist® #496  
ISA Board Certified Master Arborist® WE-4341B




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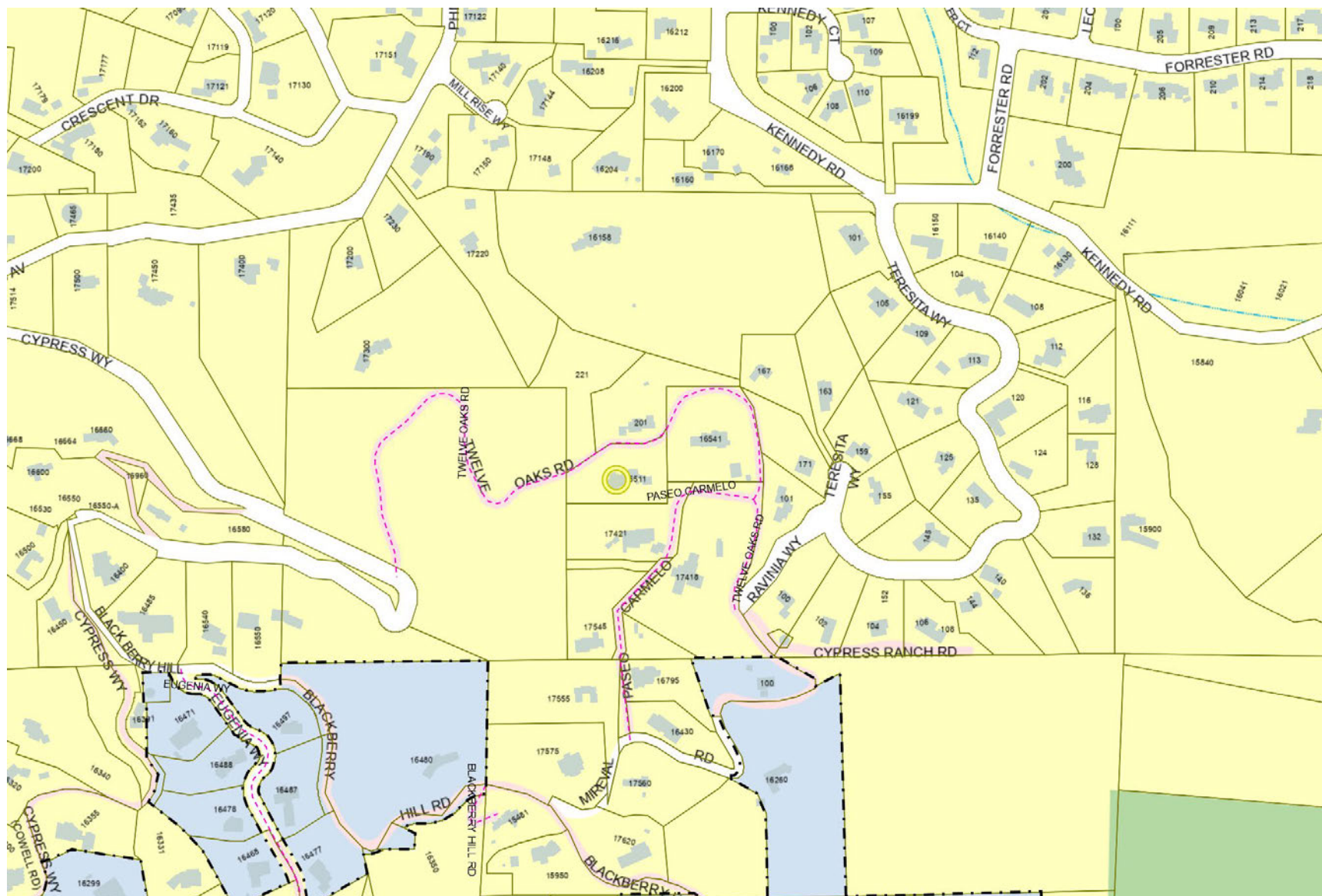


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## Kolander Garage - Public Noticing

	Name	Address	Date	Remarks
	unknown	Twelve Oaks Rd	n/a	Large vacant parcel
	unknown	221 Twelve Oaks Rd	n/a	Vacant parcel
1		201 Twelve Oaks Rd.	10/10/2024	One of only 2 neighbors on street
2		16158 Kennedy Rd.	10/10/2024	One of only 2 neighbors on street
3		100 Ravina Way	-	 <p>Property owners spoke to the only neighbors on the same road that is shared. Other noticing would require the owners to drive 2-3 miles (due to the configuration of the roads) to go door to door to people the owners do not know and find it uncomfortable, unsafe and awkward. The property owners also don't know if the person they would be speaking to actually owns the property or not and asking such information may infringe upon privacy concerns. The property owners request noticing mailers to be sent out to the property owners for the remainder of the addresses due to the above concerns.</p>
4		101 Ravina Way	-	
5		102 Ravina Way	-	
6		104 Teresita Way	-	
7		105 Teresita Way	-	
8		106 Teresita Way	-	
9		109 Teresita Way	-	
10		113 Teresita Way	-	
11		120 Teresita Way	-	
12		121 Teresita Way	-	
13		124 Teresita Way	-	
14		125 Teresita Way	-	
15		128 Teresita Way	-	
16		132 Teresita Way	-	
17		135 Teresita Way	-	
18		136 Teresita Way	-	
19		140 Teresita Way	-	
20		144 Teresita Way	-	
21		145 Teresita Way	-	
22		155 Teresita Way	-	
23		159 Teresita Way	-	
24		163 Teresita Way	-	
25		167 Teresita Way	-	
26		171 Teresita Way	-	
27		16541 Cypress Way	-	
28		17418 Paseo Carmelo	-	
29		17421 Paseo Carmelo	-	
30		17545 Paseo Carmelo	-	

## Public Noticing Map





DRAWING INDEX

ARCHITECTURAL

DWG #	TITLE	REV#
A0	COVER SHEET	R
A0.1	CONDITIONS OF APPROVAL	R
A0.2	SCCFD AMMR	R
A0.3	CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs)	R
A0.4	CALGREEN MANDATORY MEASURES	R
T-1	TREE PROTECTION PLAN	R
A1.0	SITE PLAN - EXISTING CONDITIONS & DEMOLITION	R
A1.1	SITE PLAN	R
A1.2	SITE PLAN	R
A2.1	FLOOR PLANS	R
A2.2	ROOF PLAN & SITE ELEMENTS	R
A3.0	EXISTING EXTERIOR ELEVATIONS	R
A3.1	EXTERIOR ELEVATIONS	R
A3.2	BUILDING SECTIONS	R
A3.3	OVERALL SITE SECTION	R
A3.4	OVERALL SITE SECTION	R
A7.1	DOOR & WINDOW SCHEDULES AND DETAILS	R

CIVIL

DWG #	TITLE	REV#
C-1	GRADING & DRAINAGE PLAN	R
C-2	DETAILS	R
C-3	STORMWATER POLLUTION CONTROL PLAN	R

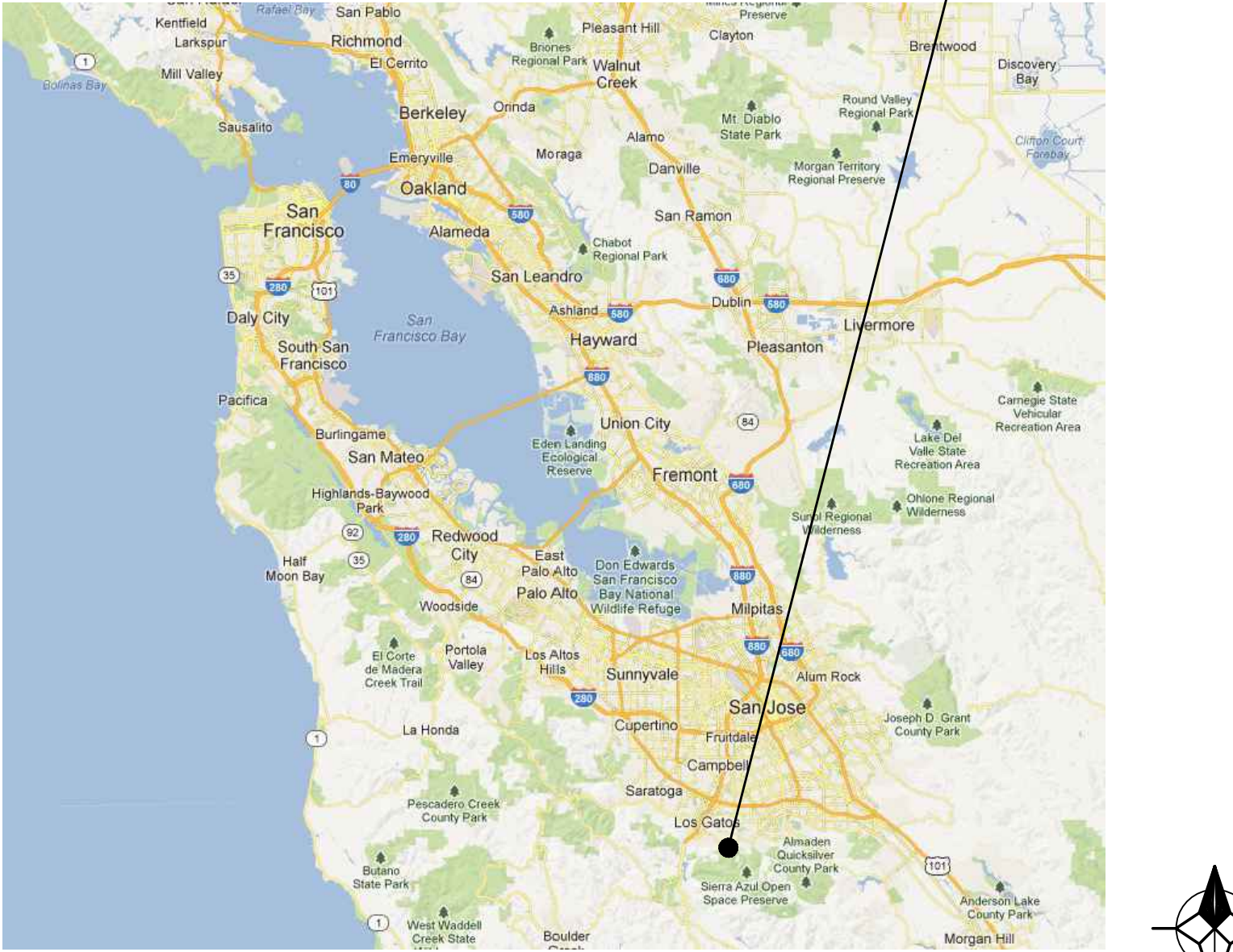
KOLANDER RESIDENCE  
GARAGE & BREEZEWAY  
REPLACEMENT

16511 CYPRESS WAY | LOS GATOS, CALIFORNIA 95030

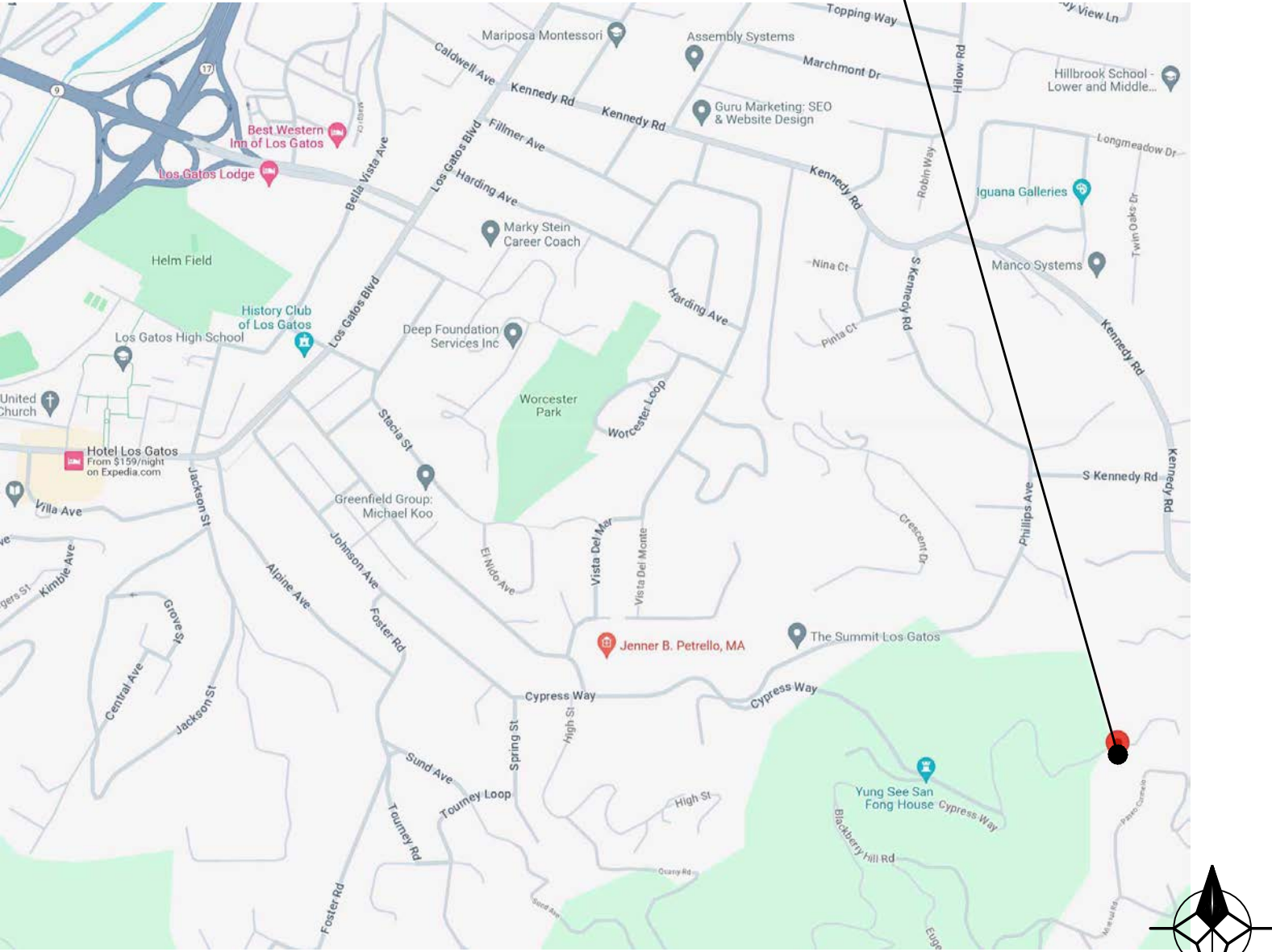
ARCHITECTURE & SITE DEVELOPMENT PERMIT  
S-24-045

MARCH 28, 2025

VICINITY



LOCATION



FLOOR AREA SUMMARY

	EXISTING	PROPOSED	ACTUAL
MAIN FLOOR (RESIDENCE)	2,377 SQFT.	0 SQFT.	2,377 SQFT.
2ND FLOOR/ATTIC OVER 7' HEIGHT	0 SQFT.	0 SQFT.	0 SQFT.
SHEDS	96 SQFT.	-96 SQFT.	0 SQFT.
ACCESSORY STRUCTURES	1,117 SQFT.	0 SQFT.	1,117 SQFT.
BELOW GRADE AREA (EXEMPT)	0 SQFT.	0 SQFT.	0 SQFT.
GARAGE BEYOND EXEMPTION	187 SQFT.	652 SQFT.	839 SQFT.
<b>TOTAL</b>	<b>3,777 SQFT.</b>	<b>556 SQFT.</b>	<b>4,333 SQFT.</b>
GARAGE EXEMPTION	400 SQFT.	400 SQFT.	400 SQFT.
4,900 SQFT. MAXIMUM ALLOWED			OK

BUILDING SETBACKS

	FRONT (NORTH)	SIDE (EAST)	SIDE (WEST)	REAR (SOUTH)
REQUIRED BUILDING SETBACKS	30'-0"	20'-0"	20'-0"	25'-0"
PROPOSED BUILDING SETBACK	105'-11"	32'-3 1/4"	236'-2"	56'-10 1/4"

BUILDING DATA

OCCUPANCY:	R-3/U
TYPE OF CONSTRUCTION:	TYPE V-B
SPRINKLERED (MAIN RESIDENCE):	NO
SPRINKLERED (GARAGE):	YES, NFPA 13D
STORIES:	ONE
APN:	532-24-004
ZONING:	HR-2½
SITE AREA:	(1.257 ACRES) 54,624.24#
(SINGLE DWELLING UNIT)	
AVERAGE LOT SLOPE:	~32%
REDUCTION ON NET SITE AREA ON SLOPING LOTS (60%)	21,849.60#
EXISTING HOUSE AREA:	2,377#
REMOVED ACCESSORY AREA (DETACHED GARAGE):	587#
REMOVED ACCESSORY AREA (SHED):	96#
ADDED ACCESSORY AREA (DETACHED GARAGE):	1,239#
PROPOSED BUILDING ACCESSORY HEIGHT:	15'-0"
ALLOWED MAXIMUM ACCESSORY HEIGHT:	15'-0"
FLOOR AREA RATIO:	19.83%
ALLOWED MAXIMUM FLOOR AREA RATIO:	TABLE 2
(HILLSIDE DEVELOPMENT STANDARDS & GUIDELINES)	4,900#
RESIDENT PARKING	3 COVERED
GUEST PARKING	4 UNCOVERED
PROJECT AREA:	1,239#
DEFERRED SUBMITTAL:	FIRE SPRINKLERS

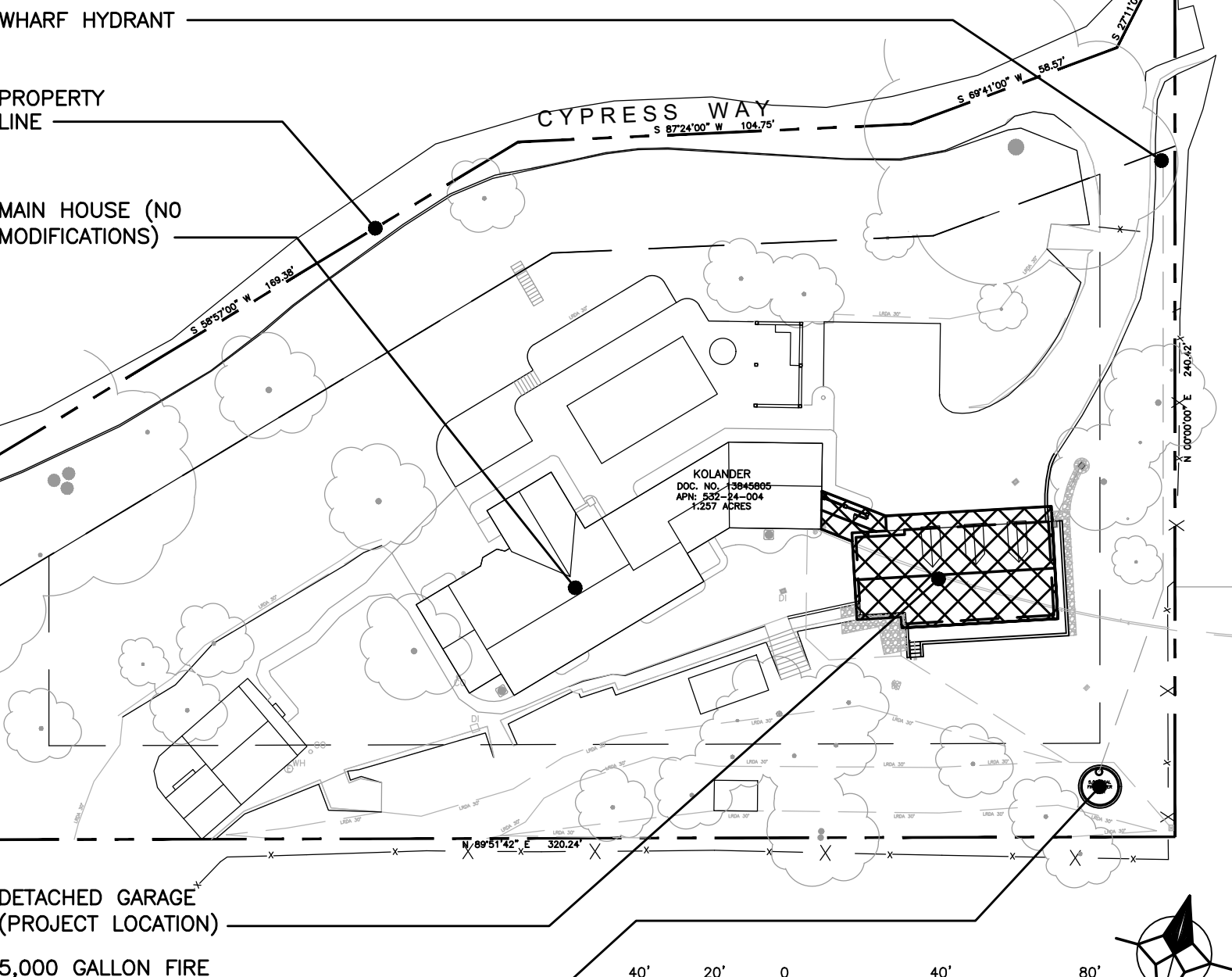
SCOPE OF WORK

REPLACE THE EXISTING DETACHED TWO-CAR GARAGE AND STORAGE AREA WITH A NEW DETACHED THREE-CAR GARAGE IN THE SAME LOCATION. REPLACE BREEZEWAY IN SAME PLACE. IN ADDITION, A 5,000 GALLON FIRE WATER TANK & FIRE DEPARTMENT CONNECTION IS BEING INSTALLED ALONG WITH NEW NFPA 13D SPRINKLERS FOR THE GARAGE.

AERIAL VIEW



SITE MAP



GENERAL NOTES

- EXISTING SITE CONDITIONS:  
PERSON(S) PERFORMING THE WORK MUST BE COGNIZANT OF FIELD CONDITIONS AND VERIFY PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY CONFLICTS SHALL BE RESOLVED PRIOR TO PROCEEDING.
- "AS-BUILT" DRAWINGS:  
PERSON(S) PERFORMING THE WORK SHALL CONTINUALLY UPDATE THE PROJECT DRAWINGS TO ACCURATELY REFLECT ALL CONSTRUCTION FIELD CHANGES AS DIRECTED BY THE OWNER. THE DESIGNER IS NOT RESPONSIBLE FOR UPDATING THE DRAWINGS TO CONFORM TO CONSTRUCTION AT THE COMPLETION OF THE JOB.
- CODE RULES AND REGULATIONS:  
ALL WORK AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH THE LATEST RULES AND REGULATIONS OF THE STATE FIRE MARSHALL, CALIFORNIA ADMINISTRATIVE CODE -- TITLE NO. 24, CALIFORNIA BUILDING CODE, SERVICE UTILITY COMPANIES, OSHA AND OTHER APPLICABLE STATE AND LOCAL LAWS, ORDINANCES AND REGULATIONS. NOTHING IN THESE PLANS OR SPECIFICATIONS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES. WHERE WORK OF A HIGHER DEGREE IS INDICATED ON THESE PLANS OR IN THE SPECIFICATIONS, THIS REQUIREMENT SHALL GOVERN.
- JOBSITE SAFETY:  
THE PERSON(S) PERFORMING THE WORK ALONE IS RESPONSIBLE FOR JOBSITE SAFETY.
- PROJECT SEQUENCE AND COORDINATION:  
PROPERTY WILL BE CONTINUOUSLY OWNER-OCCUPIED. PERSON(S) PERFORMING THE WORK (IF NOT THE OWNER) SHALL COORDINATE WITH OWNER FOR SEQUENCE OF WORK. PERSON(S) PERFORMING THE WORK SHALL PROVIDE 24-HOUR ADVANCE NOTICE TO OWNER FOR SHUTOFF OF ANY UTILITIES TO ACCOMMODATE WORK.
- DIMENSIONS ON DRAWINGS SHALL BE FIELD CHECKED FOR ACCURACY BY THE PERSON(S) PERFORMING THE WORK BEFORE ORDERING MATERIALS OR BEGINNING CONSTRUCTION. THE PERSON(S) PERFORMING THE WORK SHALL DETERMINE EXACT DIMENSIONS FOR PROPER FITTING OF THE WORK. DIMENSIONS INDICATED ARE TO FACE OF EXISTING WALL SURFACE TO FACE OF NEW FINISH WALL UNLESS OTHERWISE NOTED.
- THE PERSON(S) PERFORMING THE WORK SHALL BE RESPONSIBLE FOR FIELD INSPECTING EXISTING CONDITIONS AND MAKING PROVISIONS FOR THE CAULKING AND SEALING OF ALL EXISTING PIPES AND CONDUITS WHERE THEY WILL PENETRATE NEW WALL CONSTRUCTION.
- THE PERSON(S) PERFORMING THE WORK SHALL BE RESPONSIBLE TO REPAIR ALL DAMAGE CAUSED BY HIS/HER WORK AND RESTORE TO ORIGINAL CONDITIONS UNLESS PLANNED OTHERWISE.
- PERSON(S) PERFORMING THE WORK SHALL PROVIDE JOBSITE DUMPSTER AT HIS/HER DISCRETION AT A LOCATION ACCEPTABLE BY THE OWNER, AND SHALL REMOVE DUMPSTER AT COMPLETION OF WORK.
- THE PERSON(S) PERFORMING THE WORK SHALL PROVIDE PROPER FIRE EXTINGUISHERS WHEN ENGAGED IN WELDING OR OTHER HAZARDOUS WORK. ALTERNATIVELY, A FIRE HOSE MAY BE USED WHERE DEEMED NECESSARY.
- THE PERSON(S) PERFORMING THE WORK SHALL CONTAIN TEMPORARY STORAGE WITHIN BACK- OR SIDE-YARD OF OWNER PROPERTY UPON APPROVAL OF THE OWNER. NO MATERIALS SHALL BE STORED IN FRONT WITHOUT CONSENT OF THE PROPER AUTHORITIES IN WRITING. THE PERSON(S) PERFORMING THE WORK SHALL BE RESPONSIBLE FOR MAINTAINING AND PROTECTING THE STORED MATERIALS.
- ALL FASTENING SHALL BE PER CRC TABLE R602.3(1).
- ALL FLOOR LOADS ARE BASED ON CBC TABLE 1607.1 (CRC TABLE R301.5) FOR RESIDENTIAL AND CHAPTER 16 (40 PSF UNIFORM LIVE LOAD, 20 PSF DEAD LOAD, L/360 LIVE LOAD DEFLECTION LIMIT (CBC TABLE 1604.3, CRC TABLE R301.7), DOUGLAS FIR LARCH #2 W/ MODULUS OF ELASTICITY AT E=1.6).
- ALL CEILING LOADS ARE BASED ON CBC CHAPTER 16 AND TABLE 1607.1 (CRC TABLE R301.5) FOR RESIDENTIAL (20 PSF UNIFORM LIVE LOAD, 10 PSF DEAD LOAD, L/240 LIVE LOAD DEFLECTION LIMIT (CBC TABLE 1604.3, CRC TABLE R301.7), DOUGLAS FIR LARCH #2 W/ MODULUS OF ELASTICITY AT E=1.6).
- ALL ROOF LOADS ARE BASED ON CBC TABLE 1607.1 (CRC TABLE R301.6) FOR RESIDENTIAL AND CHAPTER 16 (16 PSF UNIFORM LIVE LOAD, 12 PSF DEAD LOAD, L/240 LIVE LOAD DEFLECTION LIMIT FOR SUPPORTING NONPLASTER CEILINGS AND L/180 LIVE LOAD DEFLECTION LIMIT FOR NOT SUPPORTING CEILINGS (CBC TABLE 1604.3, CRC TABLE R301.7), DOUGLAS FIR LARCH #2 WITH MODULUS OF ELASTICITY AT E=1.6).
- WIND SPEED (CBC 1609, ASCE 7-16)  
V<sub>W</sub> = 92 MPH, EXPOSURE B  
λ = 1; q = 11 PSF; q<sub>e</sub> = 25 PSF
- SEISMIC LOADING (CBC 1613; ASCE 7-16)  
SEISMIC DESIGN CATEGORY E  
SITE CLASS C -- VERY DENSE SOIL AND SOFT ROCK  
RISK CATEGORY II  
IMPORTANCE FACTOR 1.0  
S<sub>w</sub> = 2.051; S<sub>m</sub> = 0.838; R = 6.5; ρ = 1.3; Ω = 3.0
- FLOOD ZONE (FEMA)  
ZONE D -- AREA OF UNDETERMINED FLOOD HAZARD  
REF. PANEL 06085C0380H (5/18/2009)
- CLIMATE ZONE = 4  
WHERE INSULATION IS INSTALLED, PERSON(S) PERFORMING THE WORK SHALL SUBMIT FORM CF2R-ENV-03-E "INSULATION CERTIFICATE" TO TOWN OF LOS GATOS PER REQUIREMENTS PRIOR TO OBTAINING OCCUPANCY. REFERENCE CALIFORNIA TITLE 24 COMPLIANCE FORMS.
- DISPOSAL OF MATERIALS DURING DEMOLITION AND CONSTRUCTION SHALL BE DIVERTED FROM THE LANDFILL AT A RATE OF 100% OR GREATER FOR CONCRETE AND ASPHALT AND 65% OR GREATER FOR ALL OTHER MATERIALS COMPOSITE. THE PERSON(S) PERFORMING THE WORK SHALL COMPLETE A CONSTRUCTION & DEMOLITION DEBRIS RECYCLING SUMMARY REPORT AT THE CONCLUSION OF THE PROJECT INDICATING ACTUAL QUANTITIES RECYCLED, REUSED AND/OR DISPOSED. WEIGHT TAGS ARE REQUIRED TO DOCUMENT TONNAGE DIVERTED AND DISPOSED. REFER TO SHEET A1.0 FOR FURTHER REQUIREMENTS.
- REFERENCE GEOTECHNICAL STUDY (SOILS) FROM C2EARTH, DATED JUNE 13, 2024.
- REFERENCE COUNTY OF SANTA CLARA FIRE DEPARTMENT PLAN REVIEW #25-0682 AND AMMR APPROVAL #25-0417. SEE SHEET A0.1A FOR AMMR.
- A PRIVATE FIRE PROTECTION SYSTEM WILL BE PROVIDED AS PART OF THE APPROVED AMMR CONDITION. THIS INCLUDES A WHARF HYDRANT, 5,000 GALLON WATER TANK AND ASSOCIATED SIGNAGE POSTED ON THE WHARF HYDRANT INDICATING IT IS SUPPLIED BY A 5,000 GALLON TANK.

BUILDING CODES

- CALIFORNIA BUILDING CODE (CBC) 2022 EDITION
- CALIFORNIA RESIDENTIAL CODE (CRC) 2022 EDITION
- CALIFORNIA TITLE 24 ENERGY EFFICIENCY STANDARDS 2022 EDITION
- CALIFORNIA GREEN BUILDING CODE (CGC) 2022 EDITION
- CALIFORNIA FIRE CODE (CFC) 2022 EDITION
- CALIFORNIA MECHANICAL CODE (CMC) 2022 EDITION
- CALIFORNIA PLUMBING CODE (CPC) 2022 EDITION
- CALIFORNIA ELECTRICAL CODE (CEC) 2022 EDITION
- TOWN OF LOS GATOS CODE OF ORDINANCES

ALONG WITH ANY OTHER APPLICABLE LOCAL AND STATE LAWS AND REGULATIONS.

Garage & Breezeway Replacement

KOLANDER  
RESIDENCE

16511 Cypress Way | Los Gatos, California 95030

REVISIONS

F	PLANNING SUBMITTAL	7/30/2024
H	PLANNING COMMENTS	10/23/2024
L	SCCPD AMMC	1/24/2025
M	PLANNING COMMENTS	2/13/2025
N	PLANNING COMMENTS	3/5/2025
P	PLANNING COMMENTS	3/17/2025
Q	PLANNING COMMENTS	3/24/2025
R	PLANNING COMMENTS	3/28/2025

CONDITIONS & RESTRICTIONS

These drawings and all related specifications are instruments of service and shall remain property of the designer. No revisions, reproductions, or use of these documents shall be made without the consent of the architect. All existing conditions represented in these plans are to be field verified and all discrepancies are to be reported to the designer. Do not scale from these plans, follow dimensions indicated or consult the architect.

SHEET TITLE

COVER SHEET



PROJECT NUMBER:  
24111/6285

SCALE:  
NONE

SHEET: OF

DRAWING NO:

A0



DRAFT CONDITIONS OF APPROVAL - COMPLIANCE MATRIX	
Item	Description
19	WATER QUALITY: The project will implement the following conditions to minimize impacts on water quality within the ephemeral drainage (many of these conditions are overlapping conditions with what will be required for compliance with the California Regional Water Quality Board, San Francisco Bay Region, Municipal Regional Stormwater NPDES Permit): a) All construction activities in the ephemeral drainage shall be avoided. Within the Slope Stability Protection Area, grading will be minimized to the extent necessary and existing contours and slopes shall be maintained. b) Existing native vegetation adjacent the drainage shall be retained by removing only as much vegetation as necessary to accommodate the construction of the retaining wall. When possible, a vegetated buffer strip between staging/excavation areas and the drainage shall be maintained. c) Appropriate erosion control measures (e.g., fiber rolls, filter fences, vegetative bugger strips) shall be used on site to reduce siltation and runoff of contaminants into the ephemeral drainage. Fiber rolls used for erosion control will be certified as free of noxious weed seed. Filter fences and mesh will be of material that will not entrap reptiles and amphibians. Erosion control measures will be placed at the top of bank of the drainage or the edge of the Slope Stability Protection Area where possible. The erosions control measures should follow the approaches and details outlined in the Bank Protection/Erosion Repair Design Guide in the Santa Clara Valley Water Resources Protection Collaborative's User Manual: Guidelines & Standards for Land Use Near Streams (Valley Water 2006). d) All disturbed soils shall be revegetated with native plans and/or grasses or sterile nonnative species suitable for the altered soil conditions upon completion of construction. Local watershed native plants will be used if available. If sterile nonnative species are used for temporary erosion control, native seed mixtures must be used in subsequent treatments to provide long-term erosion control and slow colonization by invasive nonnatives. All disturbed areas that have been compacted shall be de-compacted prior to planting or seeding. Cut-and-fill slopes will be planted with local native or non-invasive plants suitable for the altered soil conditions. Again, revegetation of disturbed soils shall follow the recommendations of the Santa Clara Valley Water Resources Protection Collaborative's User Manual: Guidelines & Standards for Land Use Near Streams (Valley Water 2006). e) No stockpiling or placement of erodible materials shall be allowed within 20 feet of the ephemeral drainage or along areas of natural stormwater flow where materials could be washed into waterways. f) No equipment servicing shall be done within 20 feet of the ephemeral drainage, unless equipment stationed in these locations cannot be readily relocated (i.e., pumps, generators.) g) Construction personnel shall prevent the accidental release of chemicals, fuels, lubricants, and non-storm drainage water into channels. Spill prevention kits shall always be in close proximity when using hazardous materials (e.g., crew trucks and other logical locations). Personnel shall implement measures to ensure that hazardous materials are properly handled, and all construction waste will be disposed of in designated areas to prevent stormwater from flowing onto or off these areas. h) Potential contaminating materials must be stored in covered storage areas or secondary containment that is impervious to leaks and spills. Runoff pathways shall be free of trash containers or trash storage areas. Trash storage areas shall be screened or walled. i) Vehicles and equipment shall be parked on pavement, existing roads, and previously disturbed areas. The above notes are included on Sheet A1.2.
	WATER AGENCY PERMITTING: Prior to start of any work along or within a water agency's right-of-way/easement, the Owner and/or Applicant shall obtain necessary encroachment permit(s) and/or plan check review(s) from said Agency(ies) corresponding with the proposed work. A copy of any necessary permit(s) is required to be submitted to the Engineering Division of the Parks and Public Works Department prior to Grading or Building Permit issuance.
	Noted. Since all work is being performed on site, it is not expected that an encroachment permit will be necessary. If for some reason one is required, the owner will comply with the above conditions.
	TOWN INDEMNITY: Applicants are notified that Town Code Section 1.10.115 requires that any applicant who receives a permit or entitlement from the Town shall defend, indemnify, and hold harmless the Town and its officials in Noted.
	COMPLIANCE MEMORANDUM: A memorandum shall be prepared and submitted with the building plans detailing how the Conditions of Approval will be addressed.
20	Noted. Please refer to Sheet A0.1 addressing the final Conditions of Approval for compliance.
21	
22	

DRAFT CONDITIONS OF APPROVAL - COMPLIANCE MATRIX	
Item	Description
1	APPROVAL: This application shall be completed in accordance with all of the conditions of approval and in substantial compliance with the approved plans. Any changes or modifications to the approved plans and/or business operation shall be approved by the Community Development Director, DRC or the Planning Commission depending on the scope of the changes.
2	Noted
3	EXPIRATION: The approval will expire two years from the approval date pursuant to Section 29.20.320 of the Town Code, unless the approval has been vested.
4	Noted.
5	OUTDOOR LIGHTING: Exterior lighting shall be kept to a minimum and shall be down-directed fixtures that will not reflect or encroach onto adjacent properties. No floodlights shall be used unless it can be demonstrated that they are needed for safety or security.
6	Note is included on Sheet A1.1
7	TREE REMOVAL PERMIT: A Tree Removal Permit shall be obtained for any trees to be removed, prior to the issuance of a building or grading permit.
8	A tree removal permit will be applied for under the conditions noted.
9	EXISTING TREES: All existing trees shown on the plan and trees required to remain or to be planted are specific subjects of approval of this plan, and must remain on the site.
10	Noted.
11	TREE FENCING: Protective tree fencing and other protection measures shall be placed at the drip line of existing trees prior to issuance of demolition and building permits and shall remain through all phases of construction. Include a tree protection plan with the construction plans.
12	Noted. Please refer to Sheet A1.0 for tree removal and tree protection. In addition, please refer to Sheet T-1.
13	TREE STAKING: All newly planted trees shall be double-staked using rubber tree ties.
14	Noted.
15	FRONT YARD LANDSCAPE: Prior to issuance of a Certificate of Occupancy the front yard must be landscaped.
16	The existing front yard is already landscaped with no proposed modifications nor disturbances due to the project location. A note has been included on Sheet A1.1.
17	ARBORIST REQUIREMENTS: The developer shall implement, at their cost, all recommendations identified in the Arborist's report for the project, on file in the Community Development Department. These recommendations must be incorporated in the building permit plans, and completed prior to issuance of a building permit where applicable. A Compliance Memorandum shall be prepared by the applicant and submitted with the building permit application detailing how the recommendations have or will be addressed. These recommendations must be incorporated in the building permit plans, and completed prior to issuance of a building permit where applicable.
18	Recommendations have been added to new Sheet T-1 Tree Protection Plan. Tree replacement is not being proposed due to WUI requirements as planting new trees will result in a greater fire hazard than the original condition, especially when the trees are fully mature. Tree canopies in Zone 1 shall not touch in order to accommodate a reasonable fire break. Planting any new tree would not accommodate this. In-lieu fees are being requested instead of planting any new trees.
19	SEPTIC SYSTEM: The proposed septic system, shown conceptually at this stage, will be reviewed in detail for compliance with Town Code and the Hillside Development Guidelines and Standards at time of building permit submittal.
20	Town Arborist review will be required.
21	There is no septic system being proposed as part of this project.
22	WATER EFFICIENCY LANDSCAPE ORDINANCE: The final landscape plan shall meet the Town of Los Gatos Water Conservation Ordinance or the State Water Efficient Landscape Ordinance, whichever is more restrictive. A review fee based on the current fee schedule adopted by the Town Council is required when working landscape and irrigation plans are submitted for review.
23	Noted.
24	EXTERIOR COLORS: The exterior colors of all structures shall comply with the Hillside Development Standards & Guidelines.
25	Noted. Proposed colors of the garage to match the existing residence. See A3.0 and A3.1. An exemption has been requested since the colors are already established on site.
26	LRV DEED RESTRICTION: Prior to the issuance of a building permit, a deed restriction shall be recorded by the applicant with the Santa Clara County Recorder's Office that requires all exterior materials be maintained in conformance with the Town's Hillside Development Standards & Guidelines.
27	A LRV Deed restriction will be filed with the County Recorder's Office as requested. A note has been included on Sheet A1.1 to include the requirement.
28	STORY POLES: The story poles on the project site shall be removed within 30 days of approval of the Architecture & Site application.
29	Story poles (and netting) are not required for this project since it is an accessory building and less than 18-feet in height.
30	NESTING BIRDS: To avoid impacts to nesting birds, the removal of trees and shrubs shall be minimized to the greatest extent feasible. Construction activities that include any tree removal, pruning, grading, grubbing, or demolition shall be conducted outside of the bird nesting season (January 15 through September 15) to the greatest extent feasible. If this type of construction starts, if work is scheduled to start or if work already occurring during the nesting season stops for at least two weeks and is scheduled to resume during the bird nesting season, then a qualified biologist shall conduct a pre-construction surveys for nesting birds to ensure that no nests would be disturbed during project construction. If project-related work is scheduled during the nesting season (February 15 to August 30 for small bird species such as passerines; January 15 to September 15 for other raptors), a qualified biologist shall conduct nesting bird surveys. Two surveys for active nests of such birds shall occur within 14 days prior to start of construction, with the second survey conducted with 48 hours prior to start of construction. Appropriate minimum survey radius surrounding each work area is typically 250 feet for passerines, 500 feet for smaller raptors, and 1,000 feet for larger raptors. Surveys shall be conducted at the appropriate times of day to observe nesting activities. If the qualified biologist documents active nests within the project site or in nearby surrounding areas, an appropriate buffer between each nest and active construction shall be established. The buffer shall be clearly marked and maintained until the young have fledged and are foraging independently. Prior to construction, the qualified biologist shall conduct baseline monitoring of each nest to characterize "normal" bird behavior and establish a buffer distance, which allows the birds to exhibit normal behavior. The qualified biologist shall monitor the nesting birds daily during construction activities and increase the buffer if birds show signs of unusual or distressed behavior (e.g. defensive flights and vocalizations, standing up from a brooding position, and/or flying away from the nest). If buffer establishment is not possible, the qualified biologist or construction foreman shall have the authority to cease all construction work in the area until the young have fledged and the nest is no longer active.
31	A biologist will conduct pre-construction surveys 14 days before and 48 hours before construction starts on the project property site only. Visual observations for adjacent sites that occur within the mentioned ranges of 250', 500' and 1,000' shall occur within project property lines only to the maximum extent feasible. Access to adjacent properties will not occur due to logistics and is considered unreasonable for the scope of the project. Please note that at 250' three (3) adjacent properties are within this range; at 500' eighteen (18) adjacent properties are within this range; and at 1,000' sixty (60) adjacent properties are within this range.
32	SPECIAL-STATUS BATS: Approximately 14 days prior to tree removal or structure demolition activities, a qualified biologist shall conduct a habitat assessment for bats and potential roosting sites in trees to be removed, in trees within 50 feet of the development footprint, and within and surrounding any structures that may be disturbed by the project. These surveys will include a visual inspection of potential roosting features (bats need not be present) and a search for presence of guano within the project site, construction access routes, and 50 feet around these areas. Cavities, crevices, exfoliating bark, and bark fissures that could provide suitable potential nest or roost habitat for bats shall be surveyed. Assumptions can be made on what species is present due to observed visual characteristics along with habitat use, or the bats can be identified to the species level with the use of a bat echolocation detector such as an "Anabat" unit. Potential roosting features found during the survey shall be flagged or marked.
33	If no roosting sites or bats are found, a letter report confirming absence will be prepared and no further measures are required.
34	If bats or roosting sites are found, a letter report and supplemental documents will be prepared prior to grading permit issuance and the following monitoring, exclusion, and habitat replacement measures will be implemented:
35	a) If bats are found roosting outside of the nursery season (May 1 through October 1), they will be evicted as described under (b) below. If bats are found roosting during the nursery season, they will be monitored to determine if the roost site is a maternal roost. This could occur by either visual inspection of the roost bat pups, if possible, or by monitoring the roost after the adults leave for the night to listen for bat pups. If the roost is determined to not be a maternal roost, then the bats will be evicted as described under (b) below. Because bat pups cannot leave the roost until they are mature enough, eviction of a maternal roost cannot occur during the nursery season. Therefore, if a maternal roost is present, a 50-foot buffer zone (or different size if determined in consultation with the CDFW) will be established around the roosting site within which no construction activities including tree removal or structure disturbance will occur until after the nursery season.
36	b) If a non-breeding bat hibernaculum is found in a tree or snag scheduled for removal or on any structures scheduled to be disturbed by project activities, the individuals will be safely evicted, under the direction of a qualified bat biologist. If pre-construction surveys determine that there are bats present in any trees to be removed, exclusion structures (e.g. one-way doors or similar methods) shall be installed by a qualified biologist. The exclusion structures shall not be placed until the time of year in which young are able to fly, outside of the nursery season. Information on placement of exclusion structures shall be provided to the CDFW prior to construction.
37	If needed, other methods conducted under the direction of a qualified bat biologist could include: carefully opening the roosting area in a tree or snag by hand to expose the cavity and opening doors/windows on structures, or creating openings in walls to allow light into the structures. Removal of any trees or snags and disturbance of any structures will be conducted no earlier than the following day (i.e., at least one night will be provided between initial roost eviction disturbance and tree removal/structure disturbance). This action will allow bats to leave during dark hours, which increases their chance of finding new roosts with a minimum of potential predation.
38	A biologist investigation will occur approximately 14 days prior to any tree removal or demolition and within 50 feet of the impacted area only on the project site. Visual observations for adjacent sites that occur within the noted buffer zone shall occur within project property lines only to the maximum extent feasible.
39	ARCHAEOLOGICAL RESOURCES AND HUMAN REMAINS:
40	a) In the event that archaeological traces are encountered, all construction within a 50- meter radius of the find will be halted, the Community Development Director will be notified, and an archaeologist will be retained to examine the find and make appropriate recommendations.
41	b) If human remains are discovered, the Santa Clara County Coroner will be notified. The Coroner will determine whether or not the remains are Native American. If the Coroner determines the remains are not subject to his authority, he will notify the Native American Heritage Commission, who shall attempt to identify descendants of the deceased Native Americans.
42	c) If the Community Development Director finds that the archaeological find is not a significant resource, work will resume only after the submittal of a preliminary archaeological report and after provisions for reburial and ongoing monitoring are accepted. Provisions for identifying descendants of a deceased Native American and for reburial will follow the protocol set forth in CEQA Guidelines Section 15064.5(e). If the site is found to be a significant archaeological site, a mitigation program will be prepared and submitted to the Community Development Director for consideration and approval, in conformance with the protocol set forth in Public Resources Code Section 21083.2.
43	d) A final report shall be prepared when a find is determined to be a significant archaeological site, and/or when Native American remains are found on the site. The final report will include background information on the completed work, a description and list of identified resources, the disposition and curation of these resources, any testing, other recovered information, and conclusions.
44	If encountered, the contractor shall proceed as such.
45	DUSKY-FOOTED WOODRATS: This project will implement the following standard measures to minimize impacts on woodrats and active woodrat nests on the project site.
46	a) PRECONSTRUCTION SURVEY. A qualified biologist will conduct a preconstruction survey for San Francisco dusky-footed woodrat nests within 30 days of the start of work activities. If active woodrat nests are determined to be present in, or within 10 feet of the impact areas, the conditions below (Avoidance and/or Nest Relocation) will be implemented, as appropriate. If no active woodrat nests are present on or within 10 feet of impact areas, no further conditions are warranted.
47	b) AVOIDANCE. Active woodrat nests that are detected within the work area will be avoided to the extend feasible. Ideally, a minimum 10-foot buffer will be maintained between project activities and woodrat nests to avoid disturbance. In some situations, a small buffer may be allowed if, in the opinion of a qualified biologist, nest relocation (below) would represent a greater disturbance to the woodrats than the adjacent work activities.
48	c) NEST RELOCATION. If avoidance of active woodrat nests within and immediately adjacent to (within 10 feet of) the work areas is not feasible, then nest materials will be relocated to suitable habitat as close to the project site as possible (ideally, within or immediately adjacent to the project site).
49	Relocation efforts will avoid the peak nesting season (February-July) to the maximum extent feasible. Prior to the start of construction activities, a qualified biologist will disturb the woodrat nest to the degree that all woodrats leave the nest and seek refuge outside of the construction area. Disturbance of the woodrat nest will be initiated no earlier than one hour before dusk to prevent the exposure of woodrats to diurnal predators. Subsequently, the biologist will dismantle and relocate the nest material by hand. During the deconstruction process, the biologist will attempt to assess if there are juveniles in the nest. If immobile juveniles are observed, the deconstruction process will be discontinued until a time when the biologist believes the juveniles will be capable of independent survival (typically after 2 to 3 weeks). A no-disturbance buffer will be established around the nest until the juveniles are mobile. The nest may be dismantled once the biologist has determined that adverse impacts on the juveniles would not occur.
50	A biologist preconstruction survey will be supplied within 30 days of construction and within 10 feet of the impacted areas.



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16511 Cypress Way | Los Gatos, California 95030

Garage & Breezeway Replacement

# KOLANDER RESIDENCE

REVISIONS		
F	PLANNING SUBMITTAL	7/30/2024
H	PLANNING COMMENTS	10/23/2024
L	SCCFD AMMC	1/24/2025
M	PLANNING COMMENTS	2/13/2025
N	PLANNING COMMENTS	3/5/2025
P	PLANNING COMMENTS	3/17/2025
Q	PLANNING COMMENTS	3/24/2025
R	PLANNING COMMENTS	3/28/2025

CONDITIONS & RESTRICTIONS		
These drawings and all related specifications are instruments of service and shall remain property of the designer. No revisions, reproductions, or use of these documents shall be made without the consent of the architect. All existing conditions represented in these plans are to be field verified and all discrepancies are to be reported to the designer. Do not scale from these plans. Follow dimensions indicated or consult the architect.		

SHEET TITLE		
CONDITIONS OF APPROVAL		

PROJECT NUMBER:  
24111/6285

SCALE:  
NONE

SHEET: OF

DRAWING NO:  
A0.1

3/28/25



Background 1.00

Superintendents, 1.00

See the perspective

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25-0417

Organized as the Santa Clara County Central Fire Protection District  
Serving Santa Clara County and the communities of Campbell, Cupertino, Los Altos,  
Los Altos Hills, Los Gatos, Monte Sereno, and Saratoga

Fire Official: B. Lopez (FOR DE ESTRADA) Date: 2/27/25

Alternative materials / ss / 12.31.14



PLAN  
REVIEW No. **25 0417**

BLDG  
PERMIT No.

1. A copy of the approved Alternate Means/Methods application form (with approval signature), justification letter, and these comments shall be made part of all subsequent submittals (Building, planning, etc.), to be routed to Santa Clara County Fire Department for final approval.
2. Sign shall be posted on the wharf hydrant indicating it is supplied by a 5,000 gallon tank.

City	PLANS	SPECS	NEN	AS	OCCUPANCY	CONST. TYPE	Applicant Name	DATE	PAGE
LGA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	R-3/U	VB	Bay Area Builders	02/27/2025	1 OF 2
SECTION NO.	AREA	LOAD	PROJECT DESCRIPTION				PROJECT TYPE OR SYSTEM		
	4733		Residential Development				Exception Request - PRC-4290		
NAME OF PROJECT			LOCATION						
NEW GARAGE & STORAGE			16511 Cypress Way Los Gatos						
TABULAR FIRE FLOW		REDUCTION FOR FIRE SPRINKLERS			REQUIRED FIRE FLOW @ 30 PSI		BY		
1750		<div></div>			1750		Ip, Kenny		

*A California Fire Protection District serving Santa Clara County and the communities of Campbell, Cupertino, Los Altos, Los Altos Hills, Los Gatos, Monte Sereno, Saratoga and the surrounding unincorporated communities*



PLAN  
REVIEW No. 25 0417

BLDG  
PERMIT No.

This review shall not be construed as an approval of a violation of the provisions of the California Fire Code or other laws or regulations of the jurisdiction. A permit presuming to give authority to violate or cancel the provisions of the fire code or other such laws or regulations shall not be valid. Any addition or alteration of approved construction documents shall be approved in advance. [CFC 105.3.6]

CITY	PLANS	SPECS	NEW	AS	OCCUPANCY	CONST. TYPE	APPLICANT	DATE	PAGE
LGA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	R-3/U	VB	Bay Area Builders	02/27/2025	2 of 2
SEDFLOOR	AREA	LOAD	PROJECT DESCRIPTION				PROJECT TYPE OR SYSTEM		
1	4733		Residential Development				Exception Request - PRC-4290		
NAME OF PROJECT						LOCATION			
NEW GARAGE & STORAGE						16511 Cypress Way	Los Catos		
TABULAR FIRE FLOW		REDUCTION FOR FIRE SPINNAIERS			REQUIRED FIRE FLOW @ 30 PSI		BY		
1750		<input type="text"/>			1750		Ip, Kenny		

*A California Fire Protection District serving Santa Clara County and the communities of Campbell, Cupertino, Los Altos, Los Altos Hills, Los Gatos, Monte Sereno, Saratoga and the surrounding unincorporated communities.*

CONSTRUCTION SITE FIRE SAFETY: ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 33, AND OUR STANDARD DETAIL AND SPECIFICATION S1-7. PROVIDE APPROPRIATE NOTATIONS ON SUBSEQUENT PLAN SUBMITTALS, AS APPROPRIATE TO THE PROJECT. CFC CHP. 33.  
THE APPLICABLE CONSTRUCTION SITE FIRE-SAFETY PROVISIONS ARE INCLUDED ON SHEET A1.2.

1. REVIEW OF THIS DEVELOPMENTAL PROPOSAL IS LIMITED TO ACCEPTABILITY OF SITE ACCESS, WATER SUPPLY AND MAY INCLUDE SPECIFIC ADDITIONAL REQUIREMENTS AS THEY PERTAIN TO FIRE DEPARTMENT OPERATIONS, AND SHALL NOT BE CONSTRUED AS A PRELIMINARY OR PRELIMINARY REVIEW TO DETERMINE COMPLIANCE WITH APPROPRIATE CONSTRUCTION PERMITS. THE APPLICANT SHALL MAKE APPLICATION TO, AND RECEIVE FROM, THE BUILDING DEPARTMENT ALL APPLICABLE CONSTRUCTION PERMITS. NOTED.

2. THE SUBJECT PROPERTY IS LOCATED WITHIN THE VERY HIGH FIRE HAZARD SECTOR (VHHSS) OF THE LOCAL RESPONSIBILITY AREA (LRA) PURSUANT TO CALIFORNIA PUBLIC RESOURCES (CPR) 4290, THE CALIFORNIA BOARD OF FORESTRY AND FIRE PROTECTION (CALFFO) IS REQUIRED TO MONITOR LAND USES AND ACTIVITIES OCCURRING WITHIN THE VHHSS. RELATED DEFENSIVE SPACE APPLICATIONS TO THE PERIMETERS AND ACCESS TO ALL RESIDENTIAL, COMMERCIAL, AND INDUSTRIAL BUILDING ARE REQUIRED TO BE SUBMITTED TO THE CALFFO FOR REVIEW AND APPROVAL. THE CALFFO IS REQUIRED TO ENFORCE THE APPLICABILITY OF THE REGULATIONS PROMULGATED UNDER CPR 4290 TO LAND IN THE LOCAL RESPONSIBILITY AREA (LRA) VERY HIGH FIRE HAZARD SECTOR. ALL COMMENTS BELOW THAT RESULT FROM CPR 4290 ARE IDENTIFIED BY \*\*. WHERE A COMMENT IS IDENTIFIED BY \*\*, THE APPLICANT IS REQUIRED TO SUBMIT A RESPONSE TO THE CALFFO IN ACCORDANCE WITH THE CALFFO'S REGULATIONS, TITLE 14, DIVISION 15, CHAPTER 7, SUBCHAPTER 2, ARTICLES 1-5, § 1273.08. NOTED.

4. ADDITION TO AN EXISTING STRUCTURE IS CURRENTLY EXEMPTED FROM PCR 4290. NOTED.

5. SPRINKLERS REQUIRED: APPROVED AUTOMATIC SPRINKLER SYSTEMS IN NEW AND EXISTING BUILDINGS AND STRUCTURES SHALL BE PROVIDED IN THE LOCATIONS DESCRIBED IN THIS SECTION OR IN SECTIONS 903.2.1 THROUGH 903.2.12 WHICHEVER IS THE MORE RESTRICTIVE, AND SECTIONS 903.2.14 THROUGH 903.2.21, FOR THE PURPOSES OF THIS SECTION, FIREWALLS AND FIRE RESISTIVE WALLS SHALL BE CONSIDERED AS PART OF THE SPRINKLER SYSTEM. COPIES OF THE AUTOMATIC SPRINKLER SYSTEM SHALL BE WITHOUT OPENINGS OR PENETRATIONS. FIRE SPRINKLERS PROPOSED IN NEW GARAGE AS PART OF THE AMMR CONDITION SHALL BE MARKED WITH THE FOLLOWING INFORMATION: (1) THE NAME OF THE MANUFACTURER, (2) THE MODEL NUMBER, (3) THE MEANS/METHODS APPLICATION FORM (WITH APPROVAL SIGNATURE), JUSTIFICATION LETTER, AND THESE COMMENTS SHALL BE MADE FOR EACH GARAGE. (4) THE NAME OF THE APPROVING AGENCY (BUILDING, PLANNING, ETC.). TO BE SOUTED BY SAN CLARA COUNTY FIRE DEPARTMENT FOR FINAL APPROVAL.

PLEASE REFER TO GENERAL NOTE 0022 ON THE COVER SHEET FOR THESE COMMENTS. THE AMMR REQUESTED: SHEET 00.2 HAS BEEN REVISED TO INCLUDE THE APPROVED AMMR JUSTIFICATION AND THESE COMMENTS AS REQUESTED.

5. PRIVATE FIRE PROTECTION SYSTEM: RESIDENTIAL FIRE PROTECTION SYSTEMS SHALL COMPLY WITH FIRE DEPARTMENT STANDARDS W-1 AND MANUFACTURER'S REQUIREMENTS. FIRE PROTECTION WATER SYSTEMS SHALL BE SUBMITTED FOR REVIEW AND APPROVAL BY THE FIRE DEPARTMENT. THE SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF CHICAGO PLUMBING CODE, 2015 EDITION, DOMESTIC SUPPLY AND SUPPLY TO THE SPRINKLER SYSTEM AND/OR HYDRANT MAY REQUIRE CROSS CONTAMINATION PROTECTION. CHECK WITH THE LOCAL BUILDING DEPARTMENT FOR SPECIFIC REQUIREMENTS RELATED TO PROTECTION OF THE DOMESTIC SUPPLY. THE SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF CHICAGO PLUMBING CODE, 2015 EDITION. THE SYSTEM SHALL BE PROVIDED AS PART OF THE APPROVED ARMOR CONDITION. SIGN SHALL BE POSTED ON THE WHARF HYDRANT INDICATING IT WILL SUPPLY A 5,000 GALLON TANK.  
PLEASE REFER TO GENERAL NOTE #23 ON THE COVER SHEET ADDED TO REFLECT THE REQUEST.
6. FIRE HYDRANT SYSTEMS REQUIRED: WHERE A PORTION OF THE FACILITY OR BUILDING HEREAFTER CONSTRUCTED OR MOVED INTO OR WITHIN THE JURISDICTION IS MORE THAN 400 FEET FROM A HYDRANT ON A FIRE APPARATUS ACCESS ROAD, AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE FACILITY OR BUILDING, ONSITE FIRE HYDRANTS AND MAINS SHALL BE PROVIDED. THE HYDRANTS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF CHICAGO PLUMBING CODE, 2015 EDITION, AND SHALL BE PROVIDED WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3.1.1 OR 903.3.1.2 OR 903.3.1.3.

THE DISTANCE REQUIREMENT SHALL BE NOT MORE THAN 600 FEET. [CFC, SECTION 507.5.] SHOW WHARF HYDRANT AND VEHICLE IMPACT PROTECTION BOLLARD ON PLANS AS PART OF THE APPROVED AMEND CONSTRUCTION. SIGN SHALL BE POSTED ON THE WHARF HYDRANT INDICATING IT IS SUPPLIED BY A 5,000 GALLON TANK. PLEASE REFER TO SHEET A1.1 SHOWING THE LOCATION OF THE WHARF HYDRANT ALONG WITH IMPACT PROTECTION AND SIGNAGE.

CONSTRUCTION SITE FIRE SAFETY: ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 33 AND OUR STANDARD DETAIL AND SPECIFICATION S1-7. PROVIDE APPROPRIATE NOTATIONS ON SUBSEQUENT PLAN SUBMITTALS, AS APPROPRIATE TO THE PROJECT. CFC CHP. 33.

THE APPLICABLE CONSTRUCTION SITE FIRE-SAFETY PROVISIONS ARE INCLUDED ON SHEET A1.2.



**BAY AREA  
BUILDERS**  
INCORPORATED

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[www.ba-builders.com](http://www.ba-builders.com)

## Garage & Breezeway Replacement

# KOLANDER

**16511 Cypress Way | Los Gatos, California 95030**

F	PLANNING SUBMITTAL	7/30/2024
H	PLANNING COMMENTS	10/23/2024
L	SCCFD AMMC	1/24/2025
M	PLANNING COMMENTS	2/13/2025
N	PLANNING COMMENTS	3/5/2025
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R	PLANNING COMMENTS	3/28/2025

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## SCCFD AMMR

SCCFD AMMR

PROJECT NUMBER:  
04111 / 6085

SCALE:

SHEET: OF

DRAWING NO:

**A0.2**

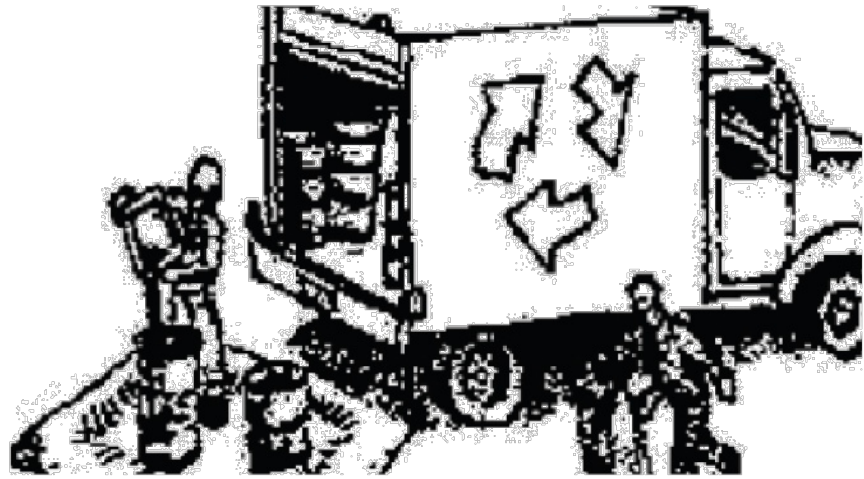
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# Construction Best Management Practices (BMPs)

Construction projects are required to implement year-round stormwater BMPs.

## Materials, Waste, and Sediment Management



### Construction Entrances and Perimeter

- ❑ Establish and maintain effective perimeter controls, and stabilize all construction entrances and exits to sufficiently control erosion, sediment discharges and tracking of sediment offsite.
- ❑ Sweep or vacuum immediately any tracking of sediment offsite and secure sediment source to prevent further tracking. Never hose down streets or sidewalks.

### Non-Hazardous Materials and Dust Control

- ❑ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or when they are not in use. Weigh down and secure tarps for wind protection.
- ❑ Keep materials off the ground (e.g., store bagged materials on wood pallets, store loose materials on tarps not pavement, etc.).
- ❑ Use captured water from other activities (e.g., testing fire lines) for dust control.
- ❑ Ensure dust control water doesn't leave site or discharge to storm drains. Only use enough to control dust. Contain and dispose of excess water properly.

### Hazardous Materials

- ❑ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with City, County, State and Federal regulations.
- ❑ Store hazardous materials and wastes in watertight containers, store in appropriate secondary containment, and cover them at the end of every workday, during wet weather or when rain is forecast.
- ❑ Follow manufacturer's application instructions for hazardous materials and do not use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ❑ Arrange for appropriate disposal of all hazardous wastes. Have all pertinent Safety Data Sheets (i.e., SDS/MSDS/PSDS) onsite.

### Waste Management

- ❑ Inform trash-hauling contractors that you will accept only watertight dumpsters for onsite use. Repair/replace any dumpster that is not watertight or leaking.
- ❑ Cover and maintain dumpsters. Check frequently for leaks. Place dumpsters under roofs or cover with tarps or plastic sheeting secured around the outside of the dumpster. If the dumpster leaks, place a plastic liner underneath the dumpster to collect leaks. Never clean out a dumpster by hosing it down on the construction site – clean with dry methods, clean offsite or replace dumpster.
- ❑ Place portable toilets and hand wash stations away from storm drains. Make sure they are equipped with containment pans (secondary containment) and are in good working order. Check frequently for leaks.
- ❑ Dispose of all wastes and demolition debris properly per SDS and applicable regulations. Recycle or compost materials and wastes as feasible and appropriate, including solvents, water-based paints, vehicle fluids, broken asphalt and concrete, wood, and cleared vegetation.
- ❑ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste per SDS.
- ❑ Keep site free of litter (e.g., lunch items, water bottles, cigarette butts and plastic packaging).
- ❑ Prevent litter from uncovered loads by covering loads that are being transported to and from site.

## Equipment Management & Spill Control



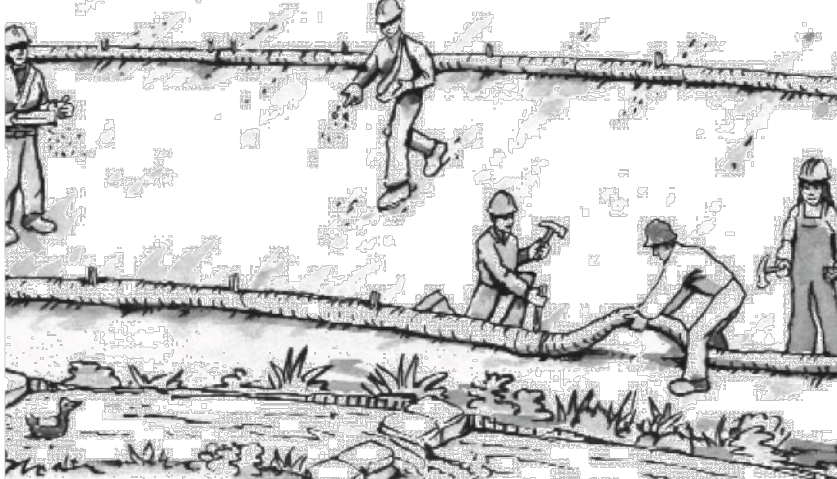
### Vehicle and Equipment Maintenance

- ❑ Designate an area of the construction site equipped with appropriate BMPs, well away from creeks or storm drain inlets, for auto and equipment parking and storage.
- ❑ Perform major maintenance, repair jobs, and vehicle/equipment washing offsite.
- ❑ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ❑ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or creeks.
- ❑ Do not clean vehicles or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment, and do not use diesel oil to lubricate equipment or parts onsite.

### Spill Prevention and Control

- ❑ Always keep spill cleanup materials (e.g., rags, absorbents, and cat litter) available at the construction site.
- ❑ Maintain all vehicles and heavy equipment. Inspect frequently for leaks. Use drip pans to catch leaks until repairs are made.
- ❑ Clean up leaks, drips and other spills immediately using dry cleanup methods whenever possible (absorbent materials, cat litter and/or rags) and dispose of cleanup materials properly.
- ❑ Sweep up spilled dry materials immediately. Never attempt to "wash them away" with water or bury them.
- ❑ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ❑ Report significant spills to the appropriate local spill response agencies immediately. If the spill poses a significant hazard to human health and safety, property or the environment, report it to the State Office of Emergency Services at (800) 852-7550 (24 hours).

## Earthmoving



### Grading and Earthwork

- ❑ Schedule grading and excavation work during dry weather.
- ❑ Prevent sediment from migrating offsite and protect storm drain inlets, drainage courses and creeks by installing and maintaining appropriate BMPs tailored to the site's specific characteristics and conditions. Examples of such BMPs may include silt fences, gravel bags, fiber rolls, temporary swales, compost socks, etc. Ensure that BMPs are installed in accordance with manufacturer's specifications and properly maintained throughout the duration of construction activities.
- ❑ Stabilize all denuded areas and install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ❑ Remove existing vegetation only when necessary. Plant temporary vegetation to prevent erosion on slopes or in areas where construction is not immediately planned.
- ❑ Keep excavated soil and/or transfer it to dump trucks, onsite, not in the streets.  
Ensure all subcontractors working onsite are implementing appropriate BMPs.

### Contaminated Soils

- ❑ If any of the following conditions are observed, test for contamination and contact the [Regional Water Quality Control Board](#) and the local agency:  
1) Unusual soil conditions, discoloration, or odor.  
2) Abandoned underground tanks. 3) Abandoned wells. 4) Buried barrels, debris, or trash.
- ❑ If the above conditions are observed, document any signs of potential contamination, clearly mark areas and fence/tape them off so they are not disturbed by construction activities.

### Landscaping

- ❑ Protect stockpiled landscaping materials from wind and rain by storing them under tarps year-round.
- ❑ Stack bagged material on pallets and under cover.
- ❑ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.
- ❑ Store materials onsite, not in the street.

## Concrete Management & Dewatering



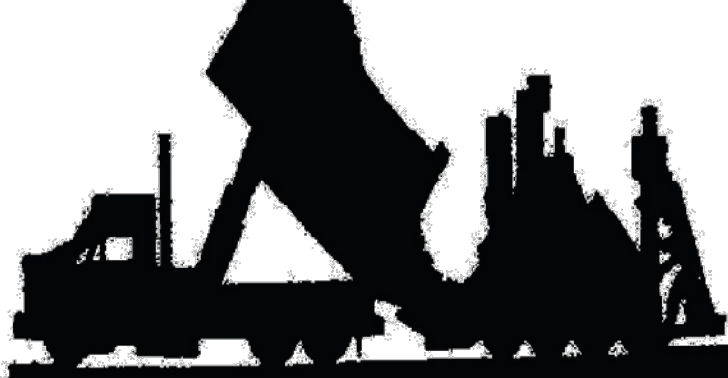
### Concrete Management

- ❑ Store both dry and wet concrete-related materials under cover, protected from rainfall and runoff and away from storm drains or creeks. Store materials off the ground on pallets. Protect dry materials from wind.
- ❑ Avoid pouring concrete in wet weather or when rainfall is imminent to prevent concrete that has not cured from contacting stormwater runoff.
- ❑ Wash out concrete equipment/mixers/trucks offsite, or onsite only in designated washout containers/areas where the water will flow into a temporary lined waste pit and in a manner that will prevent leaching into the underlying soils. (See CASQA Construction Stormwater BMP Handbook for temporary concrete washout facility details).
- ❑ Do not wash sweepings from exposed aggregate concrete into the street or storm drain. Collect and return sweepings to aggregate base stockpile or dispose properly.
- ❑ Make sure that construction waste (e.g., concrete, stucco, cement wastewater, or residual materials) is collected, removed, and disposed of only at authorized disposal areas. Do not dispose of construction waste in storm drains, ditches, streets, creeks, dirt areas, or the sanitary sewer.

### Dewatering

- ❑ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible, send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer, obtain permission from the local wastewater treatment plant.
- ❑ Divert water originating from offsite away from all onsite disturbed areas.
- ❑ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ❑ In areas of known or suspected contamination, call the local agency to determine whether the groundwater must be tested. Pumped groundwater may need to be collected and hauled offsite for treatment and proper disposal.
- ❑ For additional information, refer to the CASQA's Sheet NS-2 "Dewatering Operations."

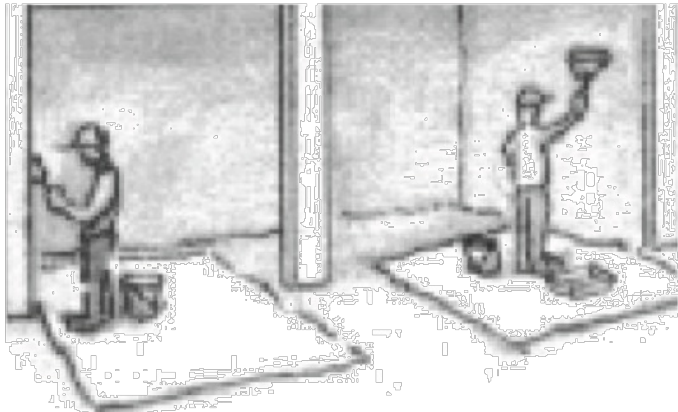
## Paving/Asphalt Work



### Paving

- ❑ Avoid paving and seal coating in wet weather or when rain is forecast to prevent materials that have not cured from contacting with stormwater runoff.
  - ❑ Cover storm drain inlets and manholes when applying seal coat, slurry seal, fog seal, or similar materials.
  - ❑ When construction is complete, remove all covers from storm drain inlets and manholes.
  - ❑ Collect and recycle or properly dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters, storm drains, streets, dirt areas, or the sanitary sewer.
- ### Sawcutting & Asphalt/Concrete Removal
- ❑ Protect storm drain inlets during saw cutting.
  - ❑ When making saw cuts, use as little water as possible.
  - ❑ Residue from saw cutting, coring and grinding operations shall be picked up by means of a vacuum device.
  - ❑ Shovel, absorb, or vacuum saw cut slurry deposits and dispose of all waste properly and as soon as reasonably possible. Sawcutting residue should not be left on pavement surface.
  - ❑ If saw cut slurry enters a storm drain inlet, clean it up immediately and notify the local municipality.

## Painting & Paint Removal



### Painting Cleanup and Removal

- ❑ Never clean brushes or rinse paintcontainers to landscaping, dirt areas or into a street, gutter, storm drain, or creek.
- ❑ For water-based paints, paint out brushes to the extent possible, and then rinse into a drain connected to the sanitary sewer. Never pour paint down a storm drain inlet.
- ❑ For oil-based paints, paint out brushes to the extent possible, and then clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- ❑ Sweep up or collect paint chips and dust generated from non-hazardous dry stripping and sand blasting into plastic drop cloths and dispose of as trash.
- ❑ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead- based paint removal requires a state-certified contractor.



## Copper Architectural Features

Discharges to storm drains generated by installing, cleaning, treating or washing copper architectural features, is a violation of the municipal stormwater ordinance and may be subject to a fine. These BMPs must be implemented to prevent prohibited discharges to storm drains:

### During Installation

- ❑ If possible, purchase copper materials that have been pre-patinated at the factory.
- ❑ If patination done on site, implement one or more of the following BMPs:
  1. Discharge the rinse water to landscaping. Ensure that the rinse water does not flow to the street or storm drain. Block off storm drain inlet if needed.
  2. Collect rinse water in a tank and pump to the sanitary sewer. Contact your local sanitary sewer agency before discharging to the sanitary sewer.
  3. Collect the rinse water in a tank and haul off-site for proper disposal.
- ❑ Consider coating the copper materials with an impervious coating that prevents further corrosion and runoff. This will also maintain the desired color for a longer time, requiring less maintenance.

**During Maintenance** such as, power washing roof, re-patination, or re-application of impervious coating:

- ❑ Block storm drain inlets as needed to prevent runoff from entering storm drains.
- ❑ Discharge the wash water to landscaping or to the sanitary sewer (with permission from the local sanitary sewer agency). If this is not an option, haul the wash water off-site for proper disposal.

### PROJECT TITLE

Garage & Breezeway Replacement

**KOLANDER**

**RESIDENCE**

16511 Cypress Way | Los Gatos, California 95030

### REVISIONS

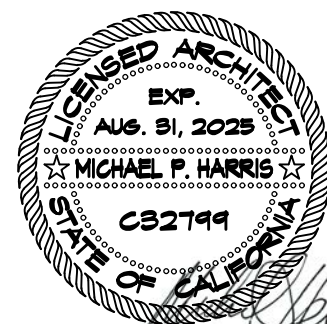
F	PLANNING SUBMITTAL	7/30/2024
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### SHEET TITLE

CONSTRUCTION  
BEST MANAGEMENT  
PRACTICES (BMPs)



PROJECT NUMBER:  
24111/6285  
SCALE:  
NONE  
SHEET: OF  
DRAWING NO:  
**A0.3**



CALGREEN RESIDENTIAL BUILDING CODE MANDATORY MEASURES						
4.5 ENVIRONMENTAL QUALITY						
SECTION	DESCRIPTION	REQUIREMENTS SUMMARY	COMPLIANCE			REMARKS
			YES	NO	N/A	
4.503.1	FIREPLACES	ANY INSTALLED GAS FIREPLACE SHALL BE A DIRECT-VENT SEALED-COMBUSTION TYPE. ANY INSTALLED WOODSTOVE OR PELLET STOVE SHALL COMPLY WITH U.S. EPA PHASE II EMISSION LIMITS WHERE APPLICABLE. WOODSTOVES, PELLET STOVES AND FIREPLACES SHALL ALSO COMPLY WITH APPLICABLE LOCAL ORDINANCES.			X	NO FIREPLACE AT GARGAGE
4.504.1	COVERING OF DUCT OPENINGS AND PROTECTION AND MECHANICAL EQUIPMENT DURING CONSTRUCTION	DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS ARE COVERED DURING CONSTRUCTION UNTIL FINAL STARTUP OF THE HVAC EQUIPMENT.			X	—
4.504.2.1	ADHESIVES, SEALANTS AND CAULKS	ADHESIVES, SEALANTS, AND CAULKS ARE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS.	X			REF. LIMITS THIS SHEET
4.504.2.2	PAINTS AND COATINGS	PAINTS, STAINS, AND COATINGS SHALL COMPLY WITH VOC LIMITS THE ARB ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE, UNLESS MORE STRINGENT LOCAL LIMITS APPLY.	X			REF. LIMITS THIS SHEET
4.504.2.3	AEROSOL PAINTS AND COATINGS	ARCHITECTURAL PAINTS AND COATINGS ARE COMPLIANT WITH VOC LIMITS.			X	—
4.504.2.3	VERIFICATION	DOCUMENTATION ARE PROVIDED TO THE COUNTY OF SANTA CLARA TO VERIFY THAT COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED.	X			—
4.504.3	CARPET SYSTEMS	CARPET AND CARPET SYSTEMS MEET THE APPLICABLE TESTING AND PRODUCT REQUIREMENTS.			X	—
4.504.4	RESILIENT FLOORING SYSTEMS	AT LEAST 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH THE VOC—EMISSION LIMITS THIS SHEET AND PRODUCTS CERTIFIED UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSCORE PROGRAM OR UL GREENGUARD GOLD OR MEET CALIFORNIA DEPARTMENT OF PUBLIC HEALTH STANDARD PRACTICE FOR VOC TESTING.			X	—
4.504.5	COMPOSITE WOOD PRODUCTS	HARDWOOD PLYWOOD, PARTICLEBOARD, AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENTS FOR FORMALDEHYDE AS SPECIFIED IN ARB'S AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD (17 CCR 93120 ET SEQ.). SEE 4.504.5.1 FOR DOCUMENTATION REQUIREMENTS.			X	—
4.505.2	CONCRETE SLAB FOUNDATIONS	CONCRETE SLAB FOUNDATIONS REQUIRED TO HAVE A VAPOR RETARDER BY CALIFORNIA BUILDING CODE SHALL ALSO HAVE A CAPILLARY BREAK.	X			REFER TO STRUCTURAL DWGS
4.505.3	MOISTURE CONTENT OF BUILDING MATERIALS	MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING DO NOT EXCEED 19% PRIOR TO ENCLOSURE AND IS CHECKED BEFORE ENCLOSURE. INSULATION PRODUCTS ARE DRY PRIOR TO ENCLOSURE.	X			ITEM CHECKED BY BUILDING INSPECTOR BEFORE ENCLOSURE; CONTRACTOR SHALL VERIFY MOISTURE CONTENT PRIOR TO FRAMING
4.506.1	BATHROOM EXHAUST FANS	EACH BATHROOM IS MECHANICALLY VENTILATED AND COMPLY WITH APPLICABLE REQUIREMENTS.			X	—
4.507.2	ENVIRONMENTAL COMFORT: HEATING AND AIR CONDITIONING SYSTEM DESIGN	HEATING AND AIR CONDITIONING SYSTEMS SHALL BE SIZED, DESIGNED, AND EQUIPMENT IS SELECTED USING THE FOLLOWING METHODS: 1. THE HEAT LOSS AND HEAT GAIN IS ESTABLISHED ACCORDING TO ANSI/ACCA 2 MANUAL J 2016, ASHRAE HANDBOOKS OR EQUIVALENT. 2. DUCT SYSTEMS ARE SIZED ACCORDING TO ANSI/ACCA 29—D MANUAL D 2016, ASHRAE HANDBOOKS OR EQUIVALENT. 3. SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ANSI/ACCA 3 MANUAL S 2014 OR EQUIVALENT.	X			REFER TO A2.3 AND CA TITLE 24 COMPLIANCE
702	QUALIFICATIONS	HVAC SYSTEMS INSTALLERS ARE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS.  SPECIAL INSPECTORS MUST BE QUALIFIED AND ABLE TO DEMONSTRATE COMPETENCE TO THE ENFORCING AGENCY IN THE DISCIPLINE IN WHICH THEY ARE INSPECTING.	X			REFER TO CA TITLE 24 COMPLIANCE FOR VERIFICATION/QUALIFICATIONS
703.1	DOCUMENTATION	DOCUMENTATION OF COMPLIANCE SHALL INCLUDE, BUT IS NOT LIMITED TO, CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE LOCAL ENFORCING AGENCY. OTHER SPECIFIC DOCUMENTATION OR SPECIAL INSPECTIONS NECESSARY TO VERIFY COMPLIANCE ARE SPECIFIED IN APPROPRIATE SECTIONS OF CALGREEN.	X			OWNER TO PROVIDE DOCUMENTATION AS REQUESTED BY CITY INSPECTOR

## GENERAL NOTES

- A. REFER TO SHEET A0 FOR INDEX OF DRAWINGS & GENERAL NOTES.
- B. CERTAIN PROVISIONS OF THE 2022 CALGREEN BUILDING CODE SHALL APPLY (SECTION 101.3) AND 2022 CALGREEN RESIDENTIAL MANDATORY MEASURES CHECKLIST. HOWEVER, ONLY MANDATORY MEASURES RELEVANT TO BUILDING COMPONENTS/SYSTEMS FOR NEW CONSTRUCTION APPLY (SECTION 303.1). ALL ITEMS NOT ASSOCIATED WITH THE PROJECT ARE NOTED N/A ON THIS SHEET. CALGREEN VOLUNTARY MEASURES ARE EXEMPT FROM THIS PROJECT SINCE THE PROJECT IS NOT A NEW DEVELOPMENT.
- C. FOR ITEMS MARKED "YES" UNDER COMPLIANCE WITH 2022 CALGREEN CODE SHALL APPLY TO THIS PROJECT.
- D. CONTRACTOR SHALL PROVIDE DOCUMENTATION TO BUILDING INSPECTOR THAT COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED. REF. VOC LIMIT TABLES THIS SHEET.

FORMALDEHYDE LIMITS MAXIMUM FORMALDEHYDE EMISSIONS IN PARTS PER MILLION	
PRODUCT	CURRENT LIMIT
HARDWOOD PLYWOOD VENEER CORE	0.05
HARDWOOD PLYWOOD COMPOSITE CORE	0.05
PARTICLE BOARD	0.09
MEDIUM DENSITY FIBERBOARD	0.11
THIN MEDIUM DENSITY FIBERBOARD	0.13

CALGREEN RESIDENTIAL BUILDING CODE MANDATORY MEASURES						
4.1 PLANNING AND DESIGN						
SECTION	DESCRIPTION	REQUIREMENTS SUMMARY	COMPLIANCE			REMARKS
			YES	NO	N/A	
4.106.2	STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION	A PLAN IS DEVELOPED AND IMPLEMENTED TO MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION.	X			BMP AND EROSION CONTROL PROVISIONS SHALL BE IMPLEMENTED; SEE SHEET A0.2
4.106.3	GRADING AND PAVING	CONSTRUCTION PLANS INDICATES HOW SITE GRADING OR DRAINAGE SYSTEM WILL MANAGE ALL SURFACE WATER FLOWS TO KEEP WATER FROM ENTERING BUILDINGS.	X			REFER TO C—1
4.106.4.1	EV CHARGING	FOR NEW DWELLINGS WITH ATTACHED GARAGES AND REBUILD OF EXISTING DWELLINGS THAT INCLUDE A PANEL UPGRADE OR CONSTRUCTION BETWEEN PANEL AND PARKING AREA, A LEVEL 2 EV READY SPACE AND LEVEL 1 EV READY SPACE, IS INSTALLED.			X	SECTION APPLIES TO NEW CONSTRUCTION ONLY (ADDITIONS, ALTERATIONS OR REPAIRS EXEMPT PER SECTION 202)
4.2 ENERGY EFFICIENCY						
SECTION	DESCRIPTION	REQUIREMENTS SUMMARY	COMPLIANCE			REMARKS
			YES	NO	N/A	
4.201	ENERGY EFFICIENCY (MINIMUM STANDARD)	BUILDING MEETS OR EXCEEDS THE REQUIREMENTS OF THE CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS (TITLE 24, PART 6—2022)	X			REFER TO SHEETS A0.4 AND A0.5
4.3 WATER EFFICIENCY AND CONSERVATION						
SECTION	DESCRIPTION	REQUIREMENTS SUMMARY	COMPLIANCE			REMARKS
			YES	NO	N/A	
4.303.1	INDOOR WATER CONSERVING PLUMBING FIXTURES AND FITTINGS	PLUMBING FIXTURES & FITTINGS SHALL NOT EXCEED THE FOLLOWING: WATER CLOSETS — 1.28 GAL/FLUSH URINALS — 0.125 GAL/FLUSH SINGLE SHOWER HEADS — 1.8 GPM @ 80 PSI MULTIPLE SHOWER HEADS (SINGLE VALVE) — TOTAL 1.8 GPM @ 80 PSI LAVATORY FAUCETS — 1.2 GPM @ 60 PSI; MIN FLOW 0.8 GPM @ 20 PSI KITCHEN FAUCETS — 1.8 GPM @ 60 PSI (TEMP. INCREASE TO 2.2 GPM)			X	THERE ARE NO PLUMBING FIXTURES IN THE GARAGE
4.303.3	STANDARDS FOR PLUMBING FIXTURES AND FITTINGS	PLUMBING FIXTURES AND FITTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE CPC AND MEET APPLICABLE STANDARDS IN CPC TABLE 1701.1.			X	—
4.304.1	OUTDOOR POTABLE WATER USE IN LANDSCAPED AREAS	OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS COMPLY WITH A LOCAL WATER EFFICIENT LANDSCAPE OR THE CURRENT CALIFORNIA DWR MWEL0, WHICHEVER IS MORE STRINGENT.			X	—
4.4 MATERIAL CONSERVATION AND RESOURCE EFFICIENCY						
SECTION	DESCRIPTION	REQUIREMENTS SUMMARY	COMPLIANCE			REMARKS
			YES	NO	N/A	
4.406.1	RODENT PROOFING (JOINTS AND OPENINGS)	ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS ARE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE COUNTY OF SANTA CLARA.	X			CLOSE ALL ANNULAR SPACE WITH CEMENT MORTAR AT WALLS AND FLOORS (IF ANY) AND POLYPROPYLENE CARBIMATE (TPE, THERMOPLASTIC ELASTOMER) FLASHING & CEMENT MORTAR AT ROOF
4.408.1	CONSTRUCTION WASTE REDUCTION OF AT LEAST 65% (MODIFIED PER LOCAL ORDINANCE)	RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65% OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION DEBRIS, OR MEET A LOCAL CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE, WHICHEVER IS MORE STRINGENT. (EXCAVATED SOIL AND LAND-CLEARING DEBRIS EXCLUDED).	X			REF. SHEET A1.0
4.408.2	CONSTRUCTION WASTE MANAGEMENT PLAN	WHERE A LOCAL JURISDICTION DOES NOT HAVE A CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE, A CONSTRUCTION WASTE MANAGEMENT PLAN SHALL BE SUBMITTED FOR APPROVAL TO THE ENFORCING AGENCY.	X			REF. SHEET A1.0 COMPLY W/ LOS GATOS WASTE MANAGEMENT PROGRAM
4.410.1	OPERATION AND MAINTENANCE MANUAL	AN OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER, DESCRIBING: 1. KEEPING MANUAL WITH PROPERTY 2. O&M INSTRUCTIONS FOR EQUIPMENT AND APPLIANCES, DRAINAGE, IRRIGATION, ETC. 3. LOCAL UTILITY CONSERVATION RESOURCES 4. PUBLIC TRANSPORTATION / CARPOOL OPTIONS 5. HEALTH BENEFITS OF 30–60% RELATIVE HUMIDITY 6. LANDSCAPE WATER CONSERVATION 7. GUTTER AND DOWNSPOUT MAINTENANCE 8. ROUTINE MAINTENANCE 9. STATE SOLAR ENERGY AND INCENTIVE PROGRAMS 10. SPECIAL INSPECTION RECORDS 11. DEPARTMENT OF FORESTRY AND FIRE PROTECTION MAINTENANCE 12. GRAB BAR REINFORCEMENTS	X			THE FOLLOWING SHALL HAVE O&M'S — OWNER TO SUPPLY: 1. HVAC 2. GUTTERS/DOWNSPOUT (SEE A1.1 FOR NEW)

PAINTS & COATINGS - SCAQMD RULE 1168			
COATINGS	VOC LIMIT (G/L LESS WATER, MINUS EXEMPT COMPOUNDS)	COATINGS	VOC LIMIT (G/L LESS WATER, MINUS EXEMPT COMPOUNDS)
BOND BREAKERS	350	NONFLAT HIGH GLOSS	50
CLEAR WOOD FINISHES - GENERAL	275	PIGMENTED LACQUER	275
CLEAR WOOD FINISHES - VARNISH	275	PRETREATMENT WASH PRIMERS	420
CLEAR WOOD FINISHES - SANDING	275	PRIMERS, SEALERS, UNDERCOATERS	100
SEALERS - LACQUER	275	QUICK-DRY ENAMELS	50
CLEAR BRUSHING LACQUER	275	QUICK-DRY PRIMERS, SEALERS, UNDERCOATERS	100
CONCRETE-CURING COMPOUNDS	100	REACTIVE PENETRATING SEALERS	350
CONCRETE-CURING COMPOUNDS - ROADWAYS	350	RECYCLED COATINGS	250
CONCRETE SURFACE RETARDER	50	ROOF COATINGS	50
DRIVEWAY SEALER	50	ALUMINUM ROOF COATINGS	100
DRY-FOG COATINGS	50	ROOF PRIMERS, BITUMINIOUS	350
FAUX FINISHING COATINGS - CLEAR TOPCOAT	100	RUST-PREVENTITIVE COATINGS	100
FAUX FINISHING COATINGS - DECORATIVE	350	SHELLAC - CLEAR	730
FAUX FINISHING COATINGS - GLAZES	350	SHELLAC - PIGMENTED	550
FAUX FINISHING COATINGS - JAPAN	350	SPECIALTY PRIMERS	100
FAUX FINISHING COATINGS - TROWEL APPLIED	50	STAINS - GENERAL	100
FIRE-PROOFING EXTERIOR COATINGS	150	STAINS - INTERIOR	250
FIRE-RETARDANT COATINGS - CLEAR	150	STONE CONSOLIDANT	450
FIRE-RETARDANT COATINGS - PIGMENTED	150	SWIMMING POOL COATINGS - REPAIR	340
FLATS	50	SWIMMING POOL COATINGS - OTHER	340
FLOOR COATINGS	50	TRAFFIC COATINGS	100
FORM RELEASE COMPOUND	100	WATERPROOFING SEALERS	100
GRAPHIC ARTS (SIGN) COATINGS	150	WATERPROOFING CONCRETE, CMU SEALERS	100
INDUSTRIAL MAINTENANCE (IM) COATINGS	100	WOOD PRESERVATIVES - BELOW GROUND	350
HIGH TEMPERATURE (IM) COATINGS	420	OTHER	350
NON-SACRIFICIAL ANTI-GRAFFITI COATINGS	100	LOW-SOLIDS COATING	120
SACRIFICIAL ANTI-GRAFFITI COATINGS	50	ARCHITECTURAL COLARANT EXCL. IM COATINGS	50
ZINC-RICH (IM) PRIMERS	100	SOLVENT-BASED IM COLORANT	600
MAGNESITE CEMENT COATINGS	450	WATERBORNE IM COLORANT	50
MASTIC COATINGS	100	ANTI-CORROSIVE PAINTS - GLOSS	250
METALLIC PIGMENTED COATINGS	150	ANTI-CORROSIVE PAINTS - SEMI-GLOSS	250
MULTICOLOR COATINGS	250	ANTI-CORROSIVE PAINTS - FLAT	250
NONFLAT COATINGS	50		

VOC LIMITS			
SEALANTS & ADHESIVES - SCAQMD RULE 1168			
ARCHITECTURAL APPLICATIONS	VOC LIMIT (G/L LESS WATER)	ARCHITECTURAL APPLICATIONS	VOC LIMIT (G/L LESS WATER)
INDOOR CARPET ADHESIVES	50	PVC WELDING	510
CARPET PAD ADHESIVES	50	CPVC WELDING	490
OUTDOOR CARPET ADHESIVES	150	ABS WELDING	325
WOOD FLOORING ADHESIVES	100	PLASTIC CEMENT WELDING	250
RUBBER FLOOR ADHESIVES	80	ADHESIVE PRIMER FOR PLASTIC	550
SUBFLOOR ADHESIVES	50	CONTACT ADHESIVE	80
CERAMIC TILE ADHESIVES	85	SPECIAL PURPOSE CONTACT ADHESIVE	250
VCT AND ASPHALT ADHESIVES	50	TIRE RETREAD	100
DRYWALL AND PANEL ADHESIVES	50	ADHESIVE PRIMER FOR TRAFFIC MARKING TAPE	150
COVE BASE ADHESIVES	50	STRUCTURAL WOOD MEMBER ADHESIVE	140
MULTIPURPOSE CONSTRUCTION ADHESIVES	70	SHEET APPLIED RUBBER LINING OPERATIONS	850
STRUCTURAL GLAZING ADHESIVES	100	TOP AND TRIM ADHESIVE	250
SINGLE-PLY ROOF MEMBRANE ADHESIVES	250		
SUBSTRATE SPECIFIC APPLICATIONS	VOC LIMIT (G/L LESS WATER)	SEALANTS	VOC LIMIT (G/L LESS WATER)
METAL TO METAL	30	ARCHITECTURAL	250
PLASTIC FOAMS	50	MARINE DECK	760
POROUS MATERIAL (EXCEPT WOOD)	50	NONMEMBRANE ROOF	300
WOOD	30	ROADWAY	250
FIBER GLASS	80	SINGLE-PLY ROOF MEMBRANE	450
		OTHER	420
SEALANT PRIMERS	VOC LIMIT (G/L LESS WATER)	AEROSOL ADHESIVES	VOC LIMIT (G/L LESS WATER)
ARCHITECTURAL_NON-POROUS	250	GENERAL PURPOSE MIST SPRAY	65% BY WT.
ARCHITECTURAL_POROUS	775	GENERAL PURPOSE WEB SPRAY	55% BY WT.
MODIFIED BITUMINIOUS	500	SPECIAL PURPOSE CONTACT ADHESIVE	70% BY WT.
MARINE DECK	760		
OTHER	750		



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CA license: B-443949

## PROJECT TITLE

Garage & Breezeway Replacement

KOLANDER

RESIDENCE

16511 Cypress Way | Los Gatos, California 95030

## REVISIONS

F	PLANNING SUBMITTAL	7/30/2024
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## SHEET TITLE

CALGREEN  
MANDATORY  
MEASURES



PROJECT NUMBER:  
24111/6285

SCALE:  
NONE

SHEET: OF

DRAWING NO.:

A0.4



A. TREE REMOVAL PERMIT IS REQUIRED PRIOR TO REMOVING ANY TREE ON THE PROPERTY.

B. PRUNING OR ROOT PRUNING MUST BE SUPERVISED BY AN ISA-CERTIFIED ARBORIST OR AN ASCA-REGISTERED ARBORIST. SEE SECTION 29.10.1010 OF THE TOWN CODE FOR SPECIFICATIONS TO DETERMINE IF A PRUNING PERMIT IS REQUIRED.

C. TREE PROTECTION FENCING REQUIREMENTS IN THE TREE PROTECTION ZONE (DRIPLINE):

1. SIX-FOOT HIGH CHAIN LINK FENCING MOUNTED ON TWO-INCH DIAMETER GALVANIZED IRON POSTS SHALL BE DRIVEN INTO THE GROUND AT LEAST TWO FEET DEEP AT MORE THAN TEN-FOOT SPACING, WHEN STIPULATED, FOR EXISTING PAVING AREAS THAT WILL NOT BE DEMOLISHED, POSTS MAY BE SUPPORTED BY CONCRETE BASE.
2. POSTED EIGHT AND ONE-HALF-INCH BY ELEVEN-INCH SIGN ON EACH TREE FENCE STATING: "WARNING - TREE PROTECTION ZONE - THIS FENCE SHALL NOT BE REMOVED AND IS SUBJECT TO PENALTY ACCORDING TO TOWN CODE 29.10.1025 - A SECOND SIGN SHALL BE IN SPANISH (SEE DETAIL BELOW)
3. LABELED PHOTOGRAPHS OF THE INSTALLED FENCING SHALL BE EMAILED TO THE PROJECT PLANNER PRIOR TO ISSUANCE OF PERMITS.
4. TREE PROTECTION FENCING IS REQUIRED TO REMAIN IN PLACE THROUGHOUT CONSTRUCTION.

D. ANY PROTECTED TREE ON-SITE WILL REQUIRE REPLACEMENT ACCORDING TO ITS APPRAISED VALUE IF IT IS DAMAGED BEYOND REPAIR AS A RESULT OF CONSTRUCTION.

E. ALL TREE MAINTENANCE AND CARE SHALL BE PERFORMED BY A QUALIFIED ARBORIST WITH A C-61/D-49 CALIFORNIA CONTRACTORS' LICENSE. TREE MAINTENANCE AND CARE SHALL BE SPECIFIED IN WRITING ACCORDING TO AMERICAN NATIONAL STANDARD FOR TREE CARE OPERATIONS: TREE, SHRUB AND OTHER WOODY PLANT MANAGEMENT: STANDARD PRACTICES PARTS 1 THROUGH 10 AND ADHERE TO ANSI Z133.1 SAFETY STANDARDS AND LOCAL REGULATIONS. ALL MAINTENANCE IS TO BE PERFORMED ACCORDING TO ISA BEST MANAGEMENT PRACTICES.

[illegible]

1. **Size and materials:** Six (6) foot high chain link fencing, mounted on two-inch diameter galvanized iron posts, shall be driven into the ground to a depth of at least two (2) feet at no more than ten-foot spacing. For paving area that will not be demolished and when stipulated in a tree preservation plan, posts may be supported by a concrete base.
2. **Area type to be fenced:** Type I: Enclosure with chain link fencing of either the entire dripline area or at the tree protection zone (TPZ), when specified by a certified or consulting arborist. Type II: Enclosure for street trees located in a planter strip: chain link fence around the entire planter strip to the outer branches. Type III: Protection for a tree located in a small planter cutout only (such as downtown): orange plastic fencing shall be wrapped around the trunk from the ground to the first branch with two-inch wooden boards bound securely on the outside. Caution shall be used to avoid damaging any bark or branches.
3. **Duration of Type I, II, III fencing:** Fencing shall be erected before demolition, grading or construction permits are issued and remain in place until the work is completed. Contractor shall first obtain the approval of the project arborist on record prior to removing a tree protection fence.
4. **Warning Sign:** Each tree fence shall have prominently displayed an eight and one-half-inch by eleven-inch sign stating: "Warning —Tree Protection Zone—This fence shall not be removed and is subject to penalty according to Town Code 29.10.1025." Text on the signs should be in both English and Spanish (Appendix E).

1. Prior to the commencement of construction, install the fence at the dripline, or tree protection zone (TPZ) when specified in an approved arborist report, around any tree and/or vegetation to be retained which could be affected by the construction and prohibit any storage of construction materials or other materials, equipment cleaning, or parking of vehicles within the TPZ. The dripline shall not be altered in any way so as to increase the encroachment of the construction.
2. Prohibit all construction activities within the TPZ, including but not limited to: excavation, grading, drainage and leveling within the dripline of the tree unless approved by the Director.
3. Prohibit disposal or depositing of oil, gasoline, chemicals or other harmful materials within the dripline of or in drainage channels, swales or areas that may lead to the dripline of a protected tree.
4. Prohibit the attachment of wires, signs or ropes to any protected tree.
5. Design utility services and irrigation lines to be located outside of the dripline when feasible.
6. Retain the services of a certified or consulting arborist who shall serve as the project arborist for periodic monitoring of the project site and the health of those trees to be preserved. The project arborist shall be present whenever activities occur which may pose a potential threat to the health of the trees to be preserved and shall document all site visits.
7. The Director and project arborist shall be notified of any damage that occurs to a protected tree during construction so that proper treatment may be administered.

- Grade changes (e.g. soil cuts, fills);
- Trenches;
- Root cuts;
- Pedestrian and equipment traffic that could compact the soil or physically damage roots;
- Parking vehicles or equipment;
- Burning of brush and woody debris;
- Storing soil, construction materials, petroleum products, water, or building refuse; and,
- Disposing of wash water, fuel or other potentially damaging liquids.

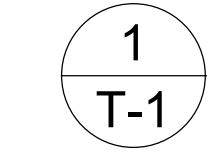
Any trenching, construction or demolition that is expected to damage or encounter tree roots should be monitored by the project arborist or a qualified ISA Certified Arborist and should be documented.

The site should be evaluated by the project arborist or a qualified ISA Certified Arborist after construction is complete, and any necessary remedial work that needs to be performed should be noted.

Roots greater than two inches in diameter shall not be cut. When roots over two inches in diameter are encountered and are authorized to be cut or removed, they should be pruned by hand with loppers, handsaw, reciprocating saw, or chain saw rather than left crushed or torn. Roots should be cut beyond sinker roots or outside root branch junctions and be supervised by the project arborist. When completed, exposed roots should be kept moist with burlap or backfilled within one hour.

Boring machines should be set up outside the drip line or established Tree Protection Zone. Boring may also be performed by digging a trench on both sides of the tree until roots one inch in diameter are encountered and then hand dug or excavated with an Air Spade® or similar air or water excavation tool. Bore holes should be adjacent to the trunk and never go directly under the main stem to avoid oblique (heart) roots. Bore holes should be a minimum of three feet deep.

All tree pruning or removals should be performed by a qualified arborist with a C-61/D-49 California Contractors License. Treatment, including pruning, shall be specified in writing according to the most recent ANSI A-300A Standards and Limitations and performed according to ISA Best Management Practices while adhering to ANSI Z133.1 safety standards. Trees that need to be removed or pruned should be identified in the pre-construction walk through.



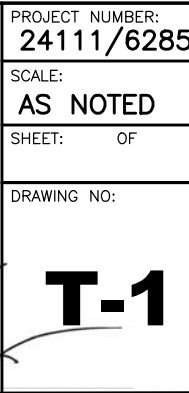
# RESIDENCE

16511 Cypress Way | Los Gatos, California 95030

### CONDITIONS & RESTRICTIONS

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# TREE PROTECTION PLAN



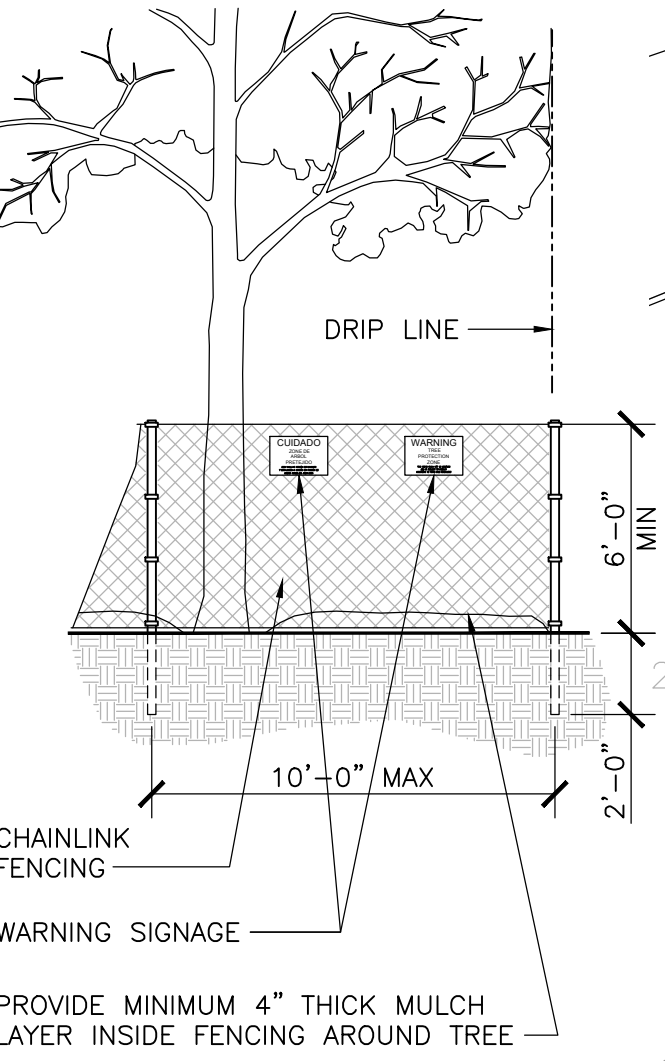


GENERAL NOTES

- A. REFER TO SHEET AD FOR DRAWING INDEX.
- B. REPAIR ALL DAMAGED MATERIALS IMPACTED BY NEW CONSTRUCTION. ALIGN AND FINISH TO MATCH EXISTING ADJACENT SURFACE.
- C. WEATHER PROTECTION IS REQUIRED PRIOR TO ANY DEMOLITION OF EXTERIOR WALLS TO THE MAIN HOUSE. IT SHALL BE REMOVED ONLY WHEN CONSTRUCTION OF THAT AREA IS COMPLETE. FOR THE GARAGE, OWNER SHALL REMOVE ALL MATERIALS PRIOR TO CONSTRUCTION.
- D. PERSON(S) PERFORMING THE WORK MUST BE COGNIZANT OF FIELD CONDITIONS AND VERIFY PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY CONFLICTS SHALL BE RESOLVED PRIOR TO PROCEEDING.
- E. ALL UTILITIES SERVICES IMPACTED BY DEMOLITION AND CONSTRUCTION SHALL BE COORDINATED WITH THE ASSOCIATED UTILITY PROVIDER AND/OR AUTHORITY. CONFORM TO STANDARD EROSION CONTROL CONSTRUCTION MITIGATION MEASURES AS APPLICABLE.
- F. DISPOSAL OF MATERIALS DURING DEMOLITION AND CONSTRUCTION SHALL BE DIVERTED FROM THE LANDFILL AT A RATE OF 100% OR GREATER FOR CONCRETE AND ASPHALT AND 65% OR GREATER FOR ALL OTHER MATERIALS COMPOSITE.
- G. THE GENERAL SITE SLOPE AND DRAINAGE PATTERN IS NOT AFFECTED BY THE NEW WORK. SITE CURRENTLY DRAINS AWAY FROM THE HOUSE AT A RATE OF 5% MINIMUM FOR AT LEAST 10 FEET (CBC 1804.3) AND DOES NOT FLOW ONTO ADJACENT NEIGHBORS. THE EXISTING HOUSE STORM LEADERS HAVE NOT BEEN MODIFIED AND SHALL REMAIN AS IS.
- H. ALL NEW DOWNSPOUTS SHALL HAVE CONCRETE SPLASH BLOCKS AT THE BASE. IN TURN, WATER SHALL DRAIN ONTO THE ADJACENT LANDSCAPING WITHOUT DIRECTLY GOING INTO THE PUBLIC DRAINAGE SYSTEM. NOTE, EXISTING CONDITIONS KEEP DRAINAGE AWAY FROM GARAGE AND STREET.
- I. AT THE TIME OF ROUGH INSTALLATION, OR DURING STORAGE ON THE CONSTRUCTION SITE AND UNTIL FINAL DUCTWORK INSTALLATION FOR THE HEATING AND COOLING SYSTEM, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS EXPOSED TO THE CONSTRUCTION AREA SHALL BE COVERED WITH TAPE, PLASTIC, SHEET METAL OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY TO REDUCE THE AMOUNT OF DUST OR DEBRIS WHICH MAY COLLECT IN THE SYSTEM.
- J. OFFSTREET PARKING CAPACITY: EXISTING DRIVEWAY IS ABLE TO ACCOMMODATE AT LEAST 4 VEHICULAR GUEST SPACES. NO PROPOSED MODIFICATIONS.

TREE REMOVAL AND PROTECTION REQ'TS

- A. TREE REMOVAL PERMIT IS REQUIRED PRIOR TO REMOVING ANY TREE ON THE PROPERTY.
- B. PRUNING OR ROOT PRUNING MUST BE SUPERVISED BY AN ISA-CERTIFIED ARBORIST OR AN ASCA-REGISTERED ARBORIST. SEE SECTION 29.10.1010 OF THE TOWN CODE FOR SPECIFICATIONS TO DETERMINE IF A PRUNING PERMIT IS REQUIRED.
- C. TREE PROTECTION FENCING REQUIREMENTS IN THE TREE PROTECTION ZONE (DRIPLINE):
- SIX-FOOT HIGH CHAIN LINK FENCING MOUNTED ON TWO-INCH DIAMETER GALVANIZED IRON POSTS SHALL BE DRIVEN INTO THE GROUND AT LEAST TWO-FOOT DEEP AT NO MORE THAN TEN-FOOT SPACING. WHEN STIPULATED, FOR EXISTING PAVING AREAS THAT WILL NOT BE DEMOLISHED, POSTS MAY BE SUPPORTED BY CONCRETE BASE.
  - POSTED EIGHT AND ONE-HALF-INCH BY ELEVEN-INCH SIGN ON EACH TREE FENCE STATING: "WARNING - TREE PROTECTION ZONE - THIS FENCE SHALL NOT BE REMOVED AND IS SUBJECT TO PENALTY ACCORDING TO TOWN CODE 29.10.1025" A SECOND SIGN SHALL BE IN SPANISH (SEE DETAIL BELOW)
  - LABELED PHOTOGRAPHS OF THE INSTALLED FENCING SHALL BE EMAILED TO THE PROJECT PLANNER PRIOR TO ISSUANCE OF PERMITS.
  - TREE PROTECTION FENCING IS REQUIRED TO REMAIN IN PLACE THROUGHOUT CONSTRUCTION.
- D. ANY PROTECTED TREE ON-SITE WILL REQUIRE REPLACEMENT ACCORDING TO ITS APPRAISED VALUE IF IT IS DAMAGED BEYOND REPAIR AS A RESULT OF CONSTRUCTION.

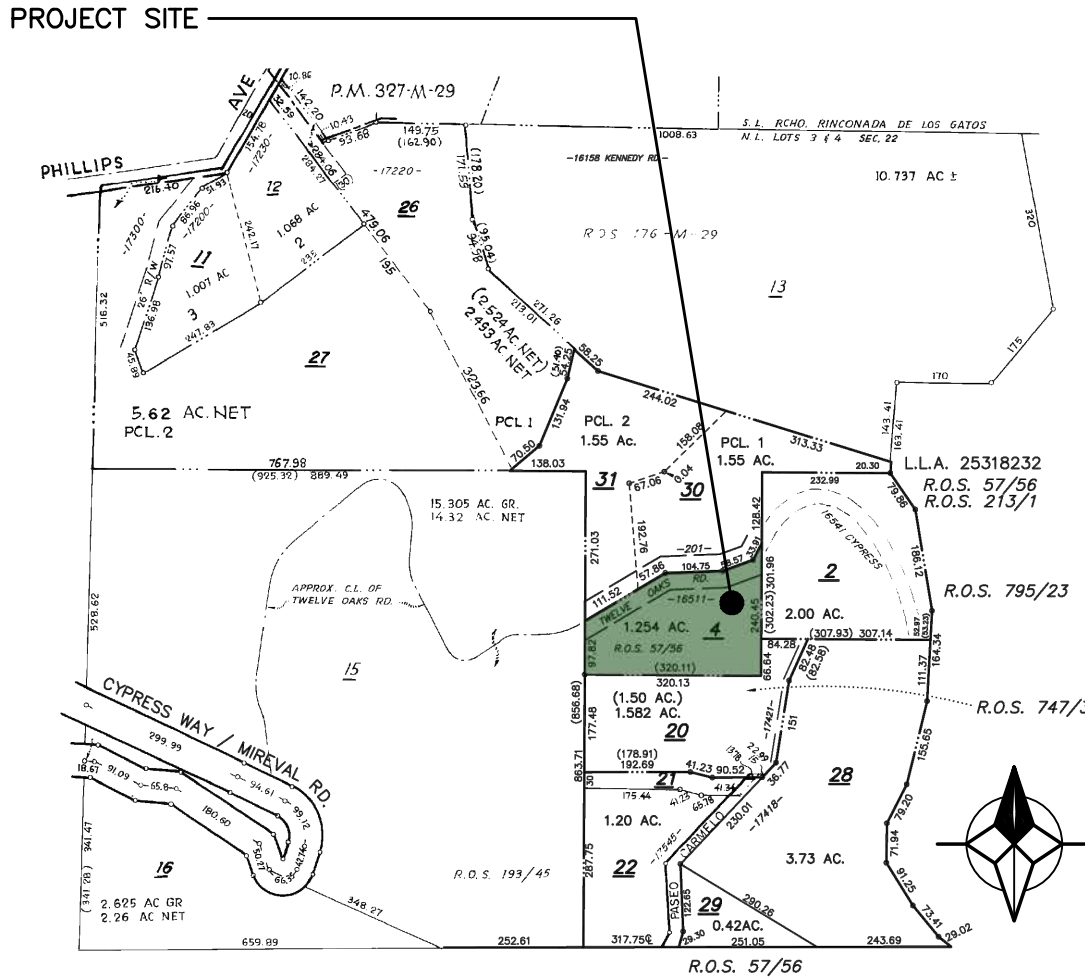


- TREE PROTECTION DETAIL
- THE FOLLOWING ACTIVITIES ARE PROHIBITED WITH THE TREE PROTECTION ZONE:
- GRADE CHANGES (E.G. SOIL CUTS, FILL)
  - TRENCHES
  - ROOT CUTS
  - PEDESTRIAN AND EQUIPMENT TRAFFIC THAT COULD COMPACT THE SOIL OR PHYSICALLY DAMAGE ROOTS
  - PARKING VEHICLES OR EQUIPMENT
  - BURNING OF BRUSH AND WOODY DEBRIS
  - STORING SOIL, CONSTRUCTION MATERIALS, PETROLEUM PRODUCTS, WATER OR BUILDING REFUSE
  - DISPOSING OF WASH WATER, FUEL OR OTHER POTENTIALLY DAMAGING LIQUIDS

REFER TO T-1 TREE PROTECTION PLAN FOR FURTHER INFORMATION AND DETAILS

1 SITE PLAN  
A1.1 SCALE: 1" = 12'-0"

APN: 532-24-004



FIRE HYDRANT LOCATION 1,975' WEST FROM PROPERTY LINE

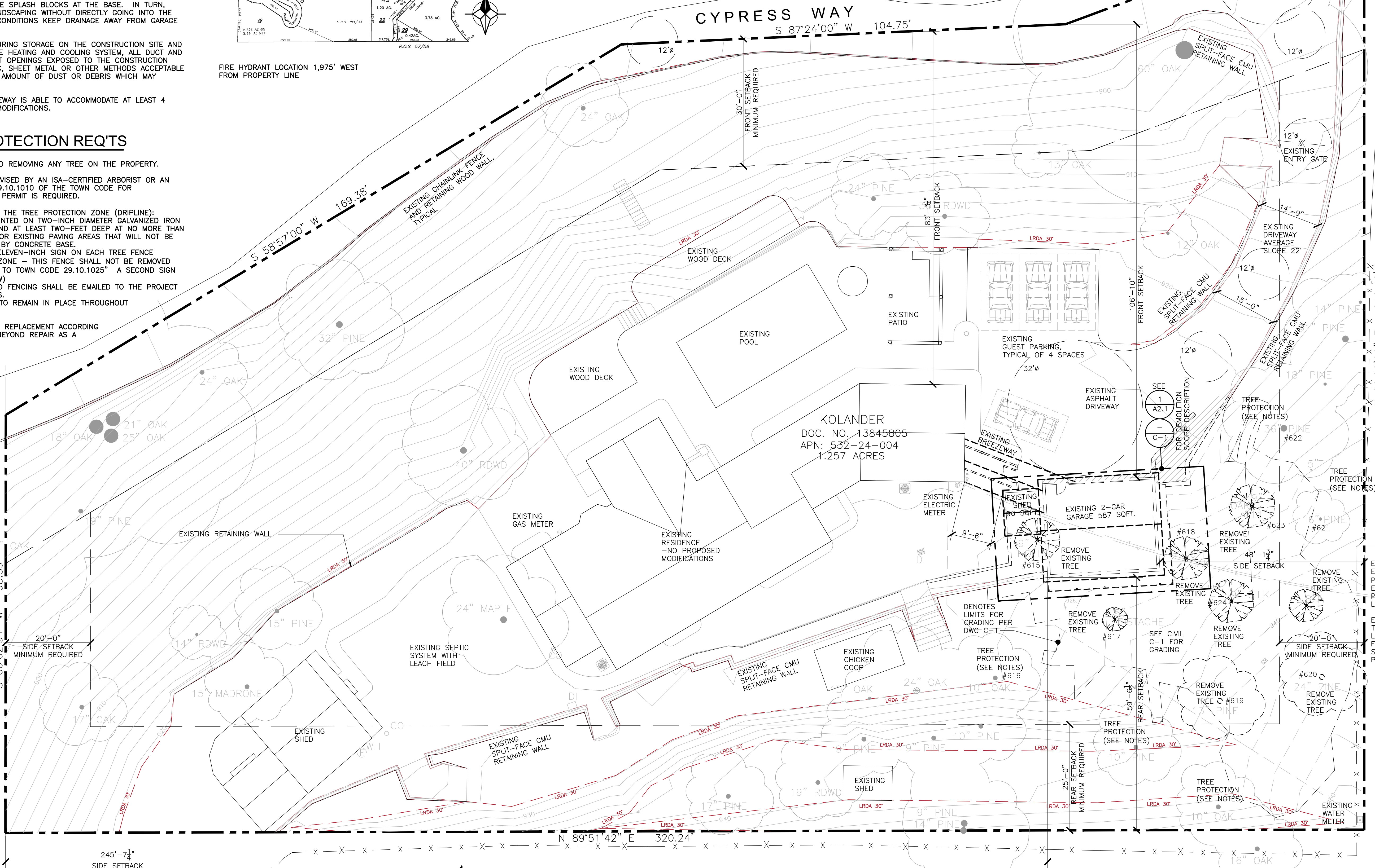
WASTE MANAGEMENT

- A. GENERAL: THE PERSON(S) PERFORMING THE WORK SHALL CONFORM TO THE REQUIREMENTS LISTED BELOW FOR CONSTRUCTION AND DEMOLITION DEBRIS RECYCLING REQUIREMENTS.
- B. REQUIREMENT: DISPOSAL OF MATERIALS DURING DEMOLITION AND CONSTRUCTION SHALL BE DIVERTED FROM THE LANDFILL AT A RATE OF 100% OR GREATER FOR CONCRETE AND ASPHALT AND 65% OR GREATER FOR ALL OTHER MATERIALS COMPOSITE. THE CONTRACTOR SHALL COMPLETE A CONSTRUCTION & DEMOLITION DEBRIS RECYCLING SUMMARY REPORT AT THE CONCLUSION OF THE PROJECT INDICATING ACTUAL QUANTITIES RECYCLED, REUSED AND/OR DISPOSED. WEIGHT TAGS ARE REQUIRED TO DOCUMENT TONNAGE DIVERTED AND DISPOSED.
- C. MIXED LOADS OF C&D DEBRIS: IF THE PERSON(S) PERFORMING THE WORK ELECTS TO RECYCLE CONSTRUCTION & DEMOLITION DEBRIS AS MIXED LOADS, THEN CONTRACTOR MUST ARRANGE FOR SERVICES WITH ONE A FACILITIES THAT WILL PROVIDE A BREAK DOWN PER MATERIAL IN WEIGHT.
- D. REUSING INERTS: IF THE PERSON(S) PERFORMING THE WORK ELECTS TO REUSE INERTS, INCLUDING DIRT, SOIL, OR GRAVEL, BY REUSING THOSE MATERIALS ON SITE OR AT ANOTHER SITE NOT ASSOCIATED WITH THIS PROJECT, THEN SUCH REUSE MAY BE INCLUDED AS A PART OF CONTRACTOR'S OBLIGATION TO DIVERT CONSTRUCTION AND DEMOLITION DEBRIS AND BE DOCUMENTED AS SUCH.
- E. WEIGHT TAGS: WEIGHT TAGS MUST BE SUBMITTED FOR ALL MATERIALS REMOVED FROM THE SITE, WHETHER DISPOSED OF OR RECYCLED, FROM THE START OF THE PROJECT UNTIL ITS COMPLETION. ALL WEIGHT TAGS ISSUED MUST BE LEGIBLE AND EXPLICITLY IDENTIFY THE LOCATION OF THE PROJECT.

TREE INVENTORY						
ID	TREE SPECIES COMMON NAME	TREE SPECIES BOTANICAL NAME	TRUNK DIAMETER"	CANOPY DIAMETER"	CONDITION	EXPECTED IMPACT STATUS
615	HOLLY	ILEX AQUIFOLIUM	10	15	GOOD	HIGH REMOVE
616	COAST LIVE OAK	QUERCUS AGRIFOLIA	11	15	GOOD	LOW SAVE
617	PISTACHE	PISTACIA CHINENSIS	4	10	GOOD	HIGH REMOVE
618	COAST LIVE OAK	QUERCUS AGRIFOLIA	4	10	GOOD	HIGH REMOVE
619	CANARY ISLAND PINE	PINUS CANARIENSIS	14	15	FAIR	HIGH REMOVE
620	CANARY ISLAND PINE	PINUS CANARIENSIS	17, 17	25	FAIR	MODERATE REMOVE
621	BLACK PINE	PINUS JEFFREYI	8	15	GOOD	LOW SAVE
622	MONTEREY PINE	PINUS RADIATA	19	20	FAIR	LOW SAVE
623	COAST LIVE OAK	QUERCUS AGRIFOLIA	9, 7	10	GOOD	MODERATE REMOVE
624	SILK TREE	ALBIZIA JULIBRISSIN	9	10	GOOD	HIGH REMOVE
NO TAG	UNKNOWN	UNKNOWN	8	8	UNKNOWN	HIGH REMOVE

LEGEND

- DEMOLITION, SEE SHEET A2.1 FOR EXTENT
- EXISTING TO REMAIN
- EXISTING TO REMAIN
- LDRA 30" LINE



Garage & Breezeway Replacement

KOLANDER  
RESIDENCE

16511 Cypress Way | Los Gatos, California 95030

REVISIONS		
F	PLANNING SUBMITTAL	7/30/2024
H	PLANNING COMMENTS	10/23/2024
L	SCCFD AMMC	1/24/2025
M	PLANNING COMMENTS	2/13/2025
N	PLANNING COMMENTS	3/5/2025
P	PLANNING COMMENTS	3/17/2025
Q	PLANNING COMMENTS	3/24/2025
R	PLANNING COMMENTS	3/28/2025

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SHEET TITLE

SITE PLAN  
EXISTING CONDITIONS  
& DEMOLITION

PROJECT NUMBER: 24111/6285  
SCALE: AS NOTED  
SHEET: OF  
DRAWING NO: A1.0

EXP. AUG. 31, 2025  
MICHAEL P. HARRIS  
C827441  
3/28/25

BAY AREA BUILDERS INCORPORATED

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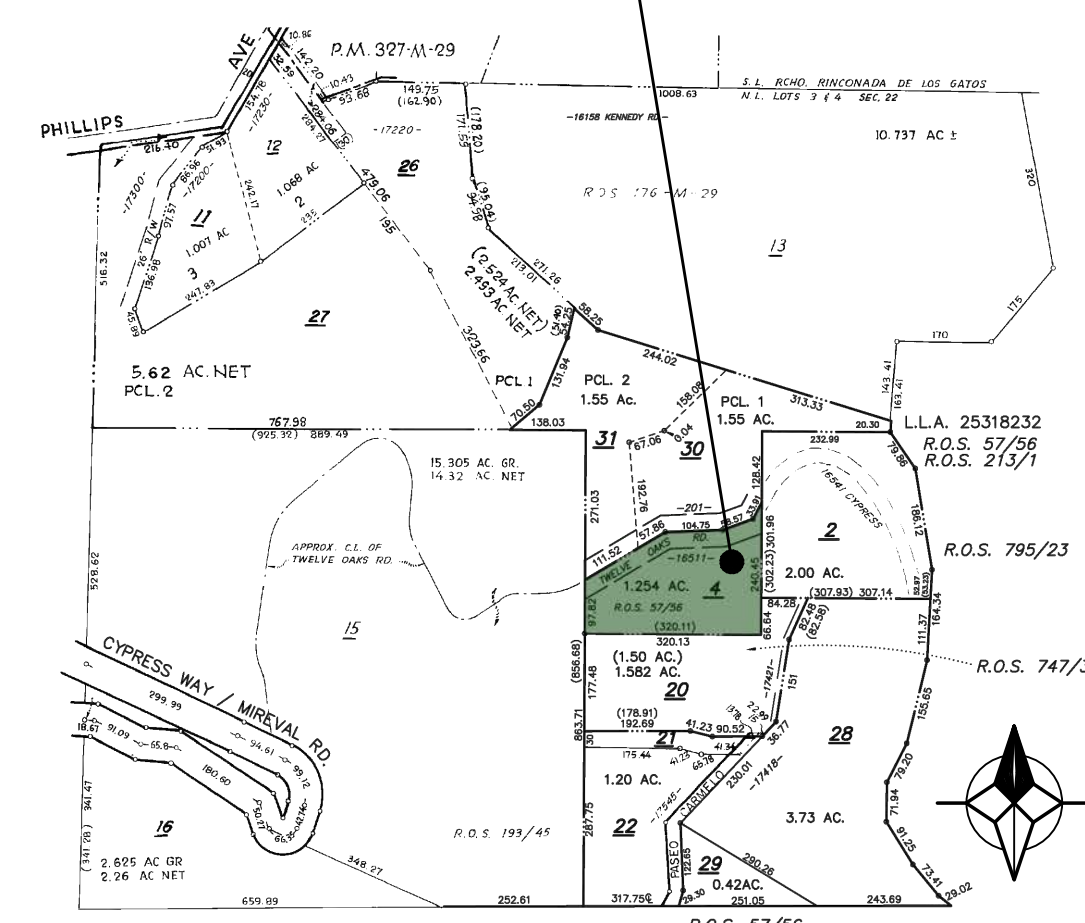


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- J. OFFSTREET PARKING CAPACITY: EXISTING DRIVEWAY IS ABLE TO ACCOMMODATE AT LEAST 4 VEHICULAR GUEST SPACES. NO PROPOSED MODIFICATIONS.
- K. OWNER TO COORDINATE WITH PG&E FOR UNDERGROUNDING OF SERVICE FROM THE POWER POLE TO THE MAIN PANEL. IF TO REMAIN OVERHEAD, OWNER TO COORDINATE WITH PG&E TO ELEVATE POWER LINE MINIMUM OF 4 FT. ABOVE THE GARAGE RIDGE LINE ALONG WITH TELEPHONE/DATA LINE UNDER APPROPRIATE UTILITY.
- L. NO NEW TREES ARE PROPOSED FOR THIS PROJECT DUE TO WILDLAND URBAN INTERFACE REQUIREMENTS TO PROVIDE A FIRE-BREAK BETWEEN TREE CANOPIES. IN-LIEU FEES ARE REQUESTED FOR THE TREES REMOVED.

APN: 532-24-004

PROJECT SITE



FIRE HYDRANT LOCATION 1,975' WEST FROM PROPERTY LINE

MISC. NOTES

- A. REFER TO CONDITIONS OF APPROVAL ON SHEET A0.1.
- B. REFER TO BIOLOGIST SURVEY REQUIREMENTS AND TIMELINES NOTED ON CONDITIONS OF APPROVAL ON SHEET A0.1.
- C. NO NEW FENCING OR GATES ARE PROPOSED WITH THIS PROJECT.
- D. THERE ARE NO PROPOSED MODIFICATIONS NOR DISTURBANCES IN THE EXISTING FRONT YARD LANDSCAPING DUE TO THE PROJECT LOCATION.
- E. EXTERIOR LIGHTING SHALL BE KEPT TO A MINIMUM AND SHALL BE DOWN-DIRECTED FIXTURES THAT WILL NOT REFLECT OR ENCROACH ONTO ADJACENT PROPERTIES. NO FLOODLIGHTS SHALL BE USED UNLESS IT CAN BE DEMONSTRATED THAT THEY ARE NEEDED FOR SAFETY OR SECURITY.
- F. ALL PERMANENT EXTERIOR LIGHT FIXTURES SHOULD UTILIZE SHIELDS SO THAT NO BULB IS VISIBLE AND TO ENSURE THAT LIGHT IS DIRECTED TO THE GROUND SURFACE AND DOES NOT SPILL LIGHT ONTO NEIGHBORING PARCELS OR PRODUCE GLARE WHEN SEEN FROM NEARBY HOMES.
- G. PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, A DEED RESTRICTION SHALL BE RECORDED BY THE APPLICANT WITH THE SANTA CLARA COUNTY RECORDER'S OFFICE THAT REQUIRES ALL EXTERIOR MATERIALS BE MAINTAINED IN CONFORMANCE WITH THE TOWN'S HILLSIDE DEVELOPMENT STANDARDS & GUIDELINES.

SITE/BUILDING DATA

SITE AREA: 54,624.24 SQFT. (1.257 ACRES)

EXISTING RESIDENCE: 2,377 SQFT.

EXISTING OTHER ACCESSORY STRUCTURES TO REMAIN: 1,117 SQFT.

EXISTING GARAGE TO BE DEMOLISHED: 587 SQFT.

EXISTING SHED TO BE DEMOLISHED: 96 SQFT.

TOTAL EXISTING ACCESSORY STRUCTURES: 1,800 SQFT.

NEW GARAGE AREA: 1,239 SQFT.

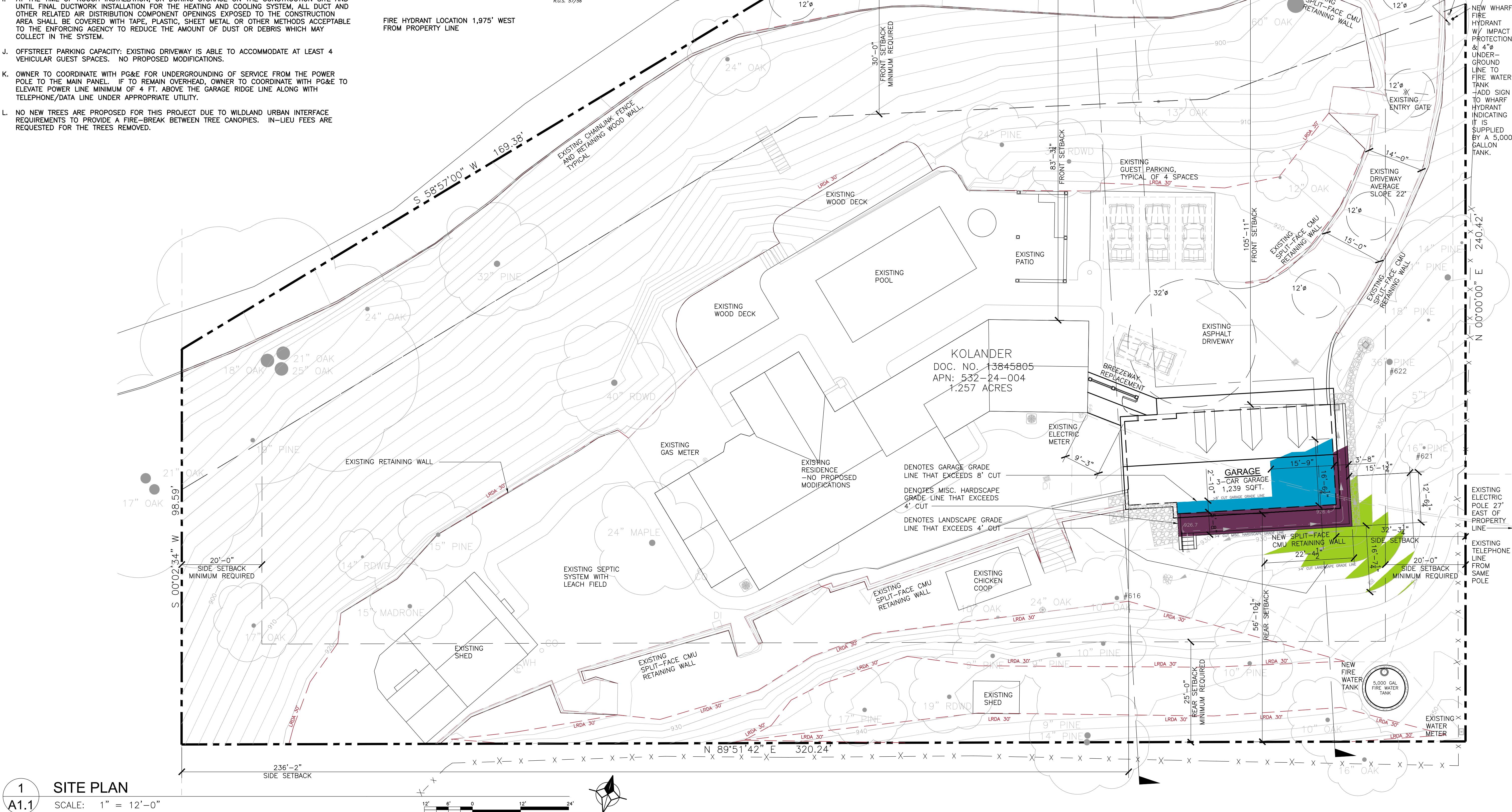
RESULTANT TOTAL ACCESSORY STRUCTURES: 2,356 SQFT.

REDUCTION OF NET SITE AREA ON SLOPING LOTS (60%): 21,849.60 SQFT.

TOTAL ALLOWABLE AREA (TABLE 2 HILLSIDE DEVELOPMENT STANDARDS AND GUIDELINES): 4,900 SQFT.

RESULTANT TOTAL FLOOR AREA (NOT INCLUDING GARAGE ALLOWANCE OF 400 SQFT.): 4,333 SQFT.

4,333 SQFT < 4,900 SQFT. = OK



1 SITE PLAN  
A1.1 SCALE: 1" = 12'-0"



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Santa Clara, CA 95054  
www.ba-builders.com  
CA license: B-443949

PROJECT TITLE

Garage & Breezeway Replacement

KOLANDER  
RESIDENCE

16511 Cypress Way | Los Gatos, California 95030

REVISIONS

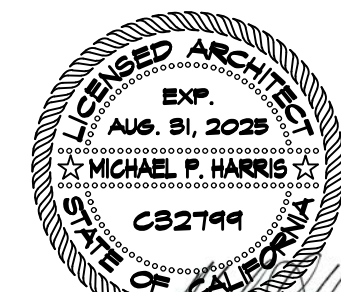
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SHEET TITLE

SITE PLAN



PROJECT NUMBER: 24111/6285

SCALE: AS NOTED

SHEET: OF

DRAWING NO:

A1.1



CONSTRUCTION SITE FIRE SAFETY NOTES

- A. COMBUSTIBLE DEBRIS: WOOD, CARDBOARD, PACKING MATERIAL, FORM LUMBER AND SIMILAR COMBUSTIBLE DEBRIS SHALL NOT BE ACCUMULATED WITHIN BUILDINGS, SUCH DEBRIS, RUBBISH AND WASTE MATERIAL SHALL BE REMOVED FROM BUILDINGS ON A DAILY BASIS.
- B. SMOKING: SMOKING IS PROHIBITED ANYWHERE INSIDE OR ON THE ROOF OF NEW BUILDINGS UNDER CONSTRUCTION OR IN THE PROJECT WORK AREA OF BUILDINGS UNDERGOING ALTERATION. A SUITABLE NUMBER OF 'NO SMOKING' SIGNS SHALL BE POSTED TO ENSURE THAT SMOKING IS CONTROLLED.
- C. VEHICLE PARKING: ALL VEHICLES SHALL BE PARKED A MINIMUM OF 20 FEET FROM NEW BUILDINGS UNDER CONSTRUCTION. EXCEPTION: VEHICLES THAT ARE TEMPORARILY PARKED FOR LOADING/UNLOADING OR OTHER CONSTRUCTION RELATED OPERATIONS. SUCH VEHICLES SHALL NOT BE LEFT UNATTENDED.
- D. COMBUSTIBLE MATERIAL STORAGE: COMBUSTIBLE CONSTRUCTION MATERIALS SHALL BE STORED A MINIMUM OF 20 FEET FROM BUILDINGS UNDER CONSTRUCTION OR UNDERGOING REMODEL. EXCEPTION: MATERIALS THAT ARE STAGED FOR INSTALLATION ON A FLOOR LEVEL.
- E. FIRE EXTINGUISHERS: PORTABLE FIRE EXTINGUISHERS SHALL BE PROVIDED AND SHALL BE MOUNTED ON A WALL OR POST AT EACH USABLE STAIRWAY AND SUCH THAT THE TRAVEL DISTANCE TO ANY EXTINGUISHER DOES NOT EXCEED 75 FT. MOUNTING HEIGHT TO THE TOP OF THE EXTINGUISHER SHALL NOT EXCEED 5 FEET. EXTINGUISHERS SHALL NOT HAVE LESS THAN A 2A:10-BC RATING OR AS OTHERWISE DIRECTED BY THE FIRE DEPARTMENT. THE GENERAL CONTRACTOR SHALL ENSURE THAT AN ADEQUATE NUMBER OF INDIVIDUALS ARE TRAINED IN THE PROPER USE OF PORTABLE FIRE EXTINGUISHERS. FIRE EXTINGUISHERS SHALL ALSO BE LOCATED IN STORAGE SHEDS
- F. MINIMUM NUMBER OF EXITS: ALL NEW BUILDINGS UNDER CONSTRUCTION SHALL HAVE A LEAST ONE UNOBSTRUCTED EXIT.
- G. HOT WORK: HOT WORK INCLUDES ANY WORK INVOLVING OPERATIONS CAPABLE OF INITIATING FIRES OR EXPLOSIONS, INCLUDING CUTTING, WELDING, BRAZING, SOLDERING, GRINDING, THERMAL SPRAYING, THAWING PIPE, TORCH APPLIED ROOFING, OR ANY OTHER SIMILAR ACTIVITY. THE USE OF HOT WORK EQUIPMENT SHALL BE IN ACCORDANCE WITH THE FOLLOWING GUIDELINES, INCLUDING A PRE-SITE INSPECTION, FIRE WATCH AND POST INSPECTION PROCEDURES.
- I. PRE-SITE INSPECTION: AN INSPECTION OF THE HOT WORK SITE SHALL BE CONDUCTED BY THE GENERAL CONTRACTOR OR HIS/HER DESIGNEE PRIOR TO HOT WORK OPERATIONS TO ENSURE:
- 1) THE HOT WORK SITE IS CLEAR OF COMBUSTIBLES OR THAT COMBUSTIBLES ARE PROTECTED;
  - 2) EXPOSED CONSTRUCTION IS OF NONCOMBUSTIBLE MATERIALS OR THAT COMBUSTIBLE MATERIALS ARE PROTECTED;
  - 3) OPENINGS ARE PROTECTED;
  - 4) THERE ARE NO EXPOSED COMBUSTIBLES ON THE OPPOSITE SIDE OF PARTITIONS, WALLS, CEILINGS, FLOORS, ETC.;
  - 5) FIRE EXTINGUISHERS ARE AVAILABLE, FULLY CHARGED AND OPERABLE; AND
  - 6) FIRE WATCH PERSONNEL ARE ASSIGNED, EQUIPPED AND TRAINED.
- J. MOTOR EQUIPMENT: MOTORIZED EQUIPMENT INCLUDING INTERNAL-COMBUSTION POWERED CONSTRUCTION EQUIPMENT SHALL BE USED IN ACCORDANCE WITH THE FOLLOWING:
- 1) EQUIPMENT SHALL BE LOCATED SO THAT EXHAUSTS DO NOT DISCHARGE AGAINST COMBUSTIBLE MATERIALS.
  - 2) WHEN POSSIBLE, EXHAUSTS SHOULD BE PIPED TO THE OUTSIDE OF THE BUILDING.
  - 3) EQUIPMENT SHALL NOT BE REFUELED WHILE IN OPERATION.
  - 4) FUEL FOR EQUIPMENT SHALL BE STORED IN AN APPROVED AREA OUTSIDE OF THE BUILDING.

WATER QUALITY NOTES

- A. ALL CONSTRUCTION ACTIVITIES IN THE EPHEMERAL DRAINAGE SHALL BE AVOIDED. WITHIN THE SLOPE STABILITY PROTECTION AREA, GRADING WILL BE MINIMIZED TO THE EXTENT NECESSARY AND EXISTING CONTOURS AND SLOPES SHALL BE MAINTAINED.
- B. EXISTING NATIVE VEGETATION ADJACENT THE DRAINAGE SHALL BE RETAINED BY REMOVING ONLY AS MUCH VEGETATION AS NECESSARY TO ACCOMMODATE THE CONSTRUCTION OF THE RETAINING WALL. WHEN POSSIBLE, A VEGETATED BUFFER STRIP BETWEEN STAGING/EXCAVATION AREAS AND THE DRAINAGE SHALL BE MAINTAINED.
- C. APPROPRIATE EROSION CONTROL MEASURES (E.G., FIBER ROLLS, FILTER FENCES, VEGETATIVE BUGGER STRIPS) SHALL BE USED ON SITE TO REDUCE SILTATION AND RUNOFF OF CONTAMINANTS INTO THE EPHEMERAL DRAINAGE. FIBER ROLLS USED FOR EROSION CONTROL WILL BE CERTIFIED AS FREE OF NOXIOUS WEED SEED. FILTER FENCES AND MESH WILL BE OF MATERIAL THAT WILL NOT ENTRAP REPTILES AND AMPHIBIANS. EROSION CONTROL MEASURES WILL BE PLACED AT THE TOP OF BANK OF THE DRAINAGE OR THE EDGE OF THE SLOPE STABILITY PROTECTION AREA WHERE POSSIBLE. THE EROSIONS CONTROL MEASURES SHOULD FOLLOW THE APPROACHES AND DETAILS OUTLINED IN THE BANK PROTECTION/EROSION REPAIR DESIGN GUIDE IN THE SANTA CLARA VALLEY WATER RESOURCES PROTECTION COLLABORATIVE'S USER MANUAL: GUIDELINES & STANDARDS FOR LAND USE NEAR STREAMS (VALLEY WATER 2006).
- D. ALL DISTURBED SOILS SHALL BE REVEGETATED WITH NATIVE PLANS AND/OR GRASSES OR STERILE NONNATIVE SPECIES SUITABLE FOR THE ALTERED SOIL CONDITIONS UPON COMPLETION OF CONSTRUCTION. LOCAL WATERSHED NATIVE PLANTS WILL BE USED IF AVAILABLE. IF STERILE NONNATIVE SPECIES ARE USED FOR TEMPORARY EROSION CONTROL, NATIVE SEED MIXTURES MUST BE USED IN SUBSEQUENT TREATMENTS TO PROVIDE LONG-TERM EROSION CONTROL AND SLOW COLONIZATION BY INVASIVE NONNATIVES. ALL DISTURBED AREAS THAT HAVE BEEN COMPACTED SHALL BE DE-COMPACTED PRIOR TO PLANTING OR SEEDING. CUT-AND-FILL SLOPES WILL BE PLANTED WITH LOCAL NATIVE OR NON-INVASIVE PLANTS SUITABLE FOR THE ALTERED SOIL CONDITIONS. AGAIN, REVEGETATION OF DISTURBED SOILS SHALL FOLLOW THE RECOMMENDATIONS OF THE SANTA CLARA VALLEY WATER RESOURCES PROTECTION COLLABORATIVE'S USER MANUAL: GUIDELINES & STANDARDS FOR LAND USE NEAR STREAMS (VALLEY WATER 2006).

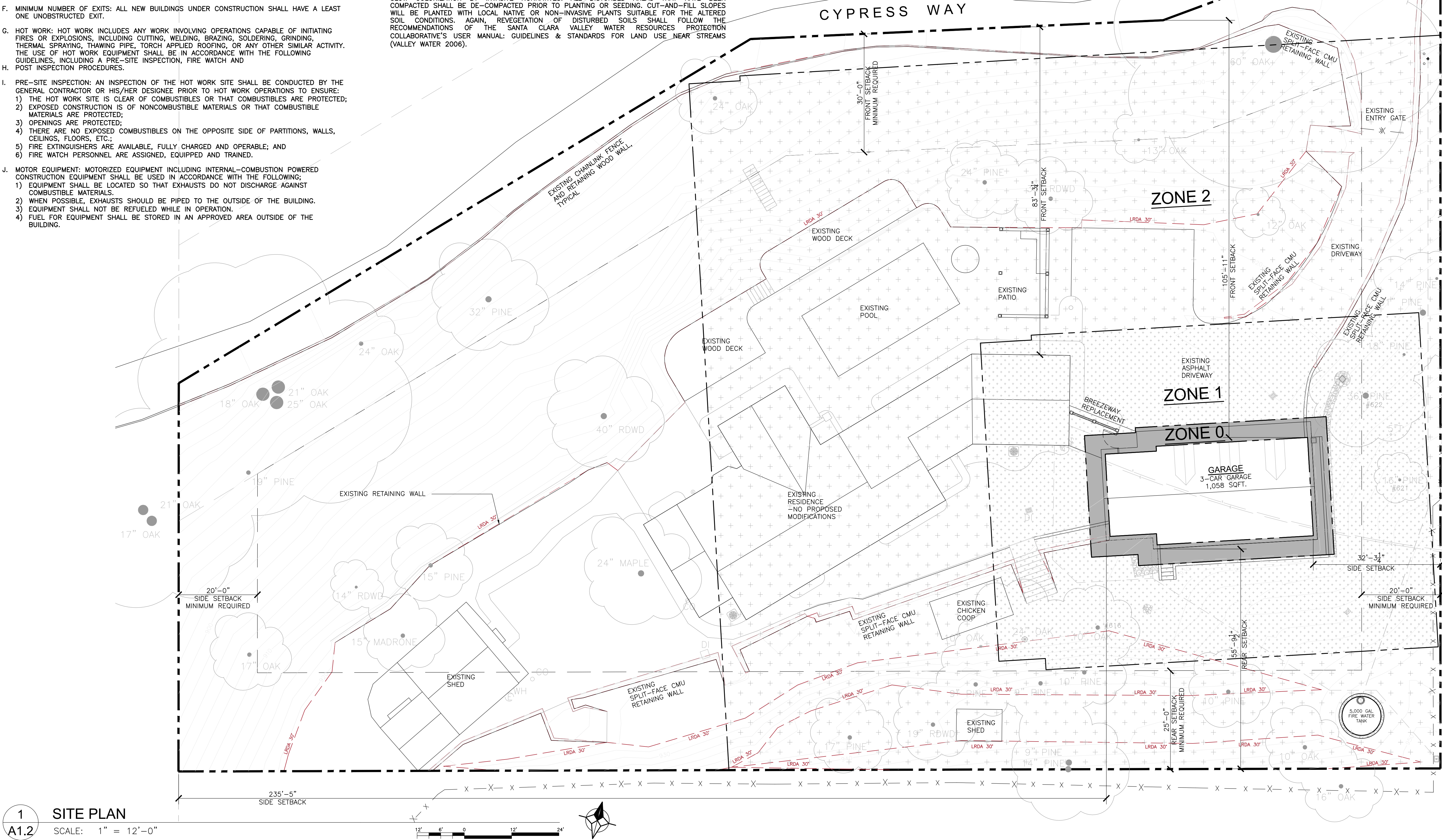
- E. NO STOCKPILING OR PLACEMENT OF ERODIBLE MATERIALS SHALL BE ALLOWED WITHIN 20 FEET OF THE EPHEMERAL DRAINAGE OR ALONG AREAS OF NATURAL STORMWATER FLOW WHERE MATERIALS COULD BE WASHED INTO WATERWAYS.
- F. NO EQUIPMENT SERVICING SHALL BE DONE WITHIN 20 FEET OF THE EPHEMERAL DRAINAGE, UNLESS EQUIPMENT STATIONED IN THESE LOCATIONS CANNOT BE READILY RELOCATED (I.E., PUMPS, GENERATORS.)
- G. CONSTRUCTION PERSONNEL SHALL PREVENT THE ACCIDENTAL RELEASE OF CHEMICALS, FUELS, LUBRICANTS, AND NON-STORM DRAINAGE WATER INTO CHANNELS. SPILL PREVENTION KITS SHALL ALWAYS BE IN CLOSE PROXIMITY WHEN USING HAZARDOUS MATERIALS (E.G., CREW TRUCKS AND OTHER LOGICAL LOCATIONS). PERSONNEL SHALL IMPLEMENT MEASURES TO ENSURE THAT HAZARDOUS MATERIALS ARE PROPERLY HANDLED, AND ALL CONSTRUCTION WASTE WILL BE DISPOSED OF IN DESIGNATED AREAS TO PREVENT STORMWATER FROM FLOWING ONTO OR OFF THESE AREAS.
- H. POTENTIAL CONTAMINATING MATERIALS MUST BE STORED IN COVERED STORAGE AREAS OR SECONDARY CONTAINMENT THAT IS IMPERVIOUS TO LEAKS AND SPILLS. RUNOFF PATHWAYS SHALL BE FREE OF TRASH CONTAINERS OR TRASH STORAGE AREAS. TRASH STORAGE AREAS SHALL BE SCREENED OR WALLED.
- I. VEHICLES AND EQUIPMENT SHALL BE PARKED ON PAVEMENT, EXISTING ROADS, AND PREVIOUSLY DISTURBED AREAS.

DEFENSIBLE SPACE/FIRE BREAK NOTES

ZONE 0 (5'-0") WILL BE CONCRETE ON THE BACK OF THE GARAGE, ASPHALT IN THE FRONT OF THE GARAGE, MOSTLY EXISTING PAVEMENT ON THE WEST SIDE AND CONCRETE OR ROCK-LINE SWALE ON THE EAST. THERE IS A 3' SECTION THAT A ROCK-GRAVEL SURFACE MAY BE ADDED TO ENSURE NO LANDSCAPING. ALSO REMOVING 2 TREES CURRENTLY NEXT TO STRUCTURE.

ZONE 1 (30'-0") - EXISTING TREES TO REMAIN UNLESS REMOVED DUE TO GRADING; OWNER TO MAINTAIN GROUND COVER TO REMOVE DEAD WEEDS. TREE CANOPIES ELEVATED TO AT LEAST 6'-0" CLEAR FROM THE GROUND.

ZONE 2 (100'-0") - EXISTING TREES TO REMAIN UNLESS REMOVED DUE TO GRADING; NO PROPOSED FURTHER MODIFICATIONS.



1 SITE PLAN  
A1.2 SCALE: 1" = 12'-0"

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**Garage & Breezeway Replacement**

**KOLANDER RESIDENCE**

**16511 Cypress Way | Los Gatos, California 95030**

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**SHEET TITLE**

SITE PLAN

**PROJECT NUMBER:** 24111/6285  
**SCALE:** AS NOTED  
**SHEET:** OF  
**DRAWING NO.:**

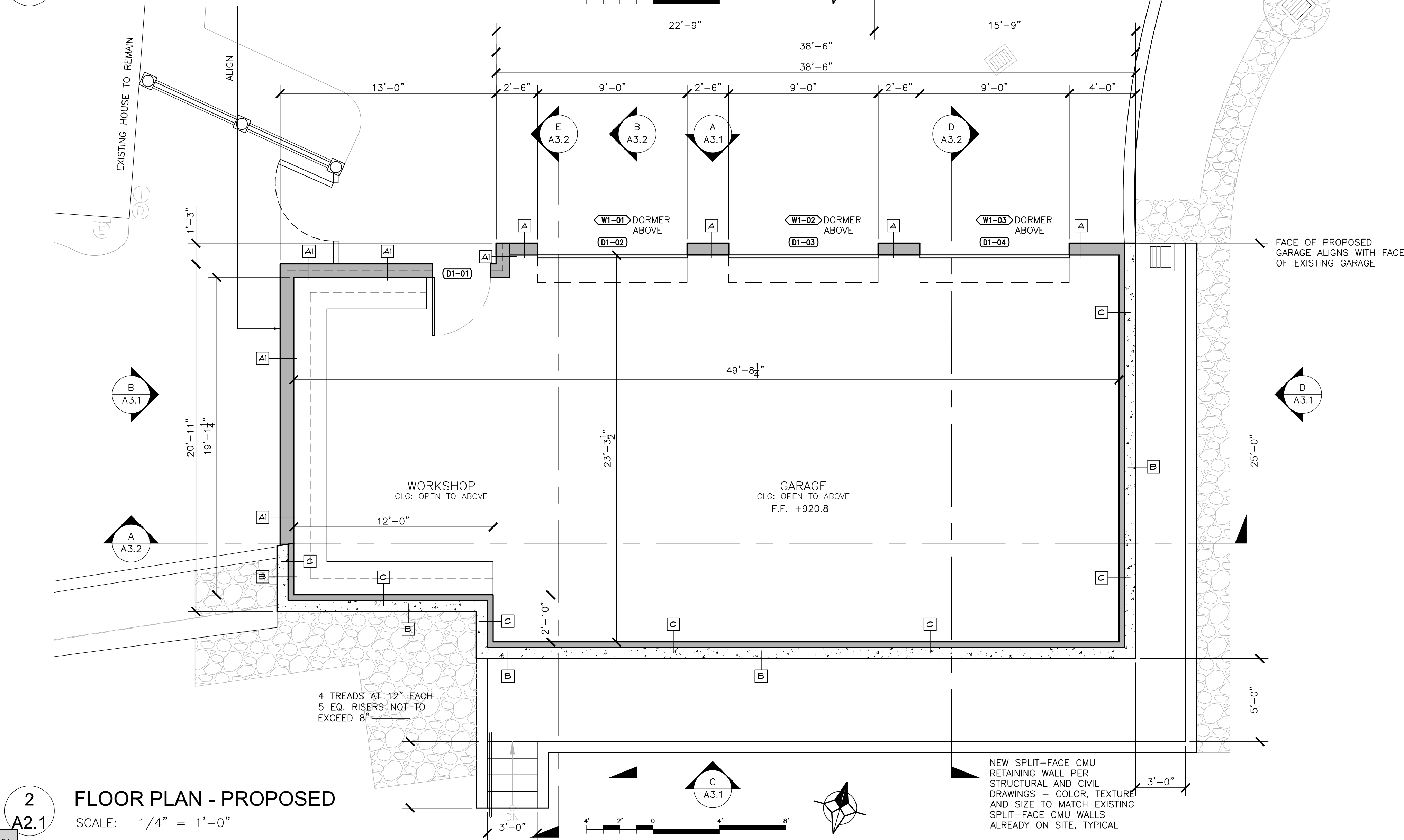
**A1.2**

1/28/25



1 FLOOR PLAN - DEMOLITION

A2.1 SCALE: 1/4" = 1'-0"



2 FLOOR PLAN - PROPOSED

A2.1 SCALE: 1/4" = 1'-0"

GENERAL NOTES

- REFER TO SHEET A0 FOR DRAWING INDEX.
- PERSON(S) PERFORMING THE WORK MUST BE COGNIZANT OF FIELD CONDITIONS AND VERIFY PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY CONFLICTS SHALL BE RESOLVED PRIOR TO PROCEEDING.
- ALL DIMENSIONS ARE TO FACE OF FINISH UNLESS OTHERWISE NOTED.
- UTILITIES SHOWN ON THIS DRAWING IS SCHEMATIC IN NATURE. ALL CODES SHALL BE STRICTLY FOLLOWED FOR ABOVE TRADE WORK.

SHEET NOTES

- REFER TO WALL TYPE DESCRIPTION FOR ALL WALLS.
- INSTALL DOORS AND WINDOWS AS DESIGNATED ON PLAN AND PER SCHEDULES ON A7.1.
- ALL CABINETS, CASEWORK, ACCESSORIES, SHELVING, FIXTURES AND APPLIANCES SHALL BE COORDINATED WITH OWNER AND/OR AS NOTED IN THESE PLANS. COORDINATE WITH OWNER FOR BACKING FOR FUTURE CABINETS (I.E. INSTALL ADDITIONAL BLOCKING IN WALLS FOR ANTICIPATED LOCATIONS).
- ADD R-19 BATT INSULATION IN ROOF RAFTERS OVER CONDITIONED SPACES ALONG WITH R-6 RIGID INSULATION. (U-FACTOR = 0.048) MAINTAIN 2" GAP AT TOP AND BOTTOM TO ALLOW MOISTURE BUILD-UP TO ESCAPE (VENTILATION)
- INSTALL 3/4" PLYWOOD IN STORAGE LOFT.
- INSTALL 1/2" GYPSUM BOARD BELOW ROOF RAFTERS & INSULATION. PREPARE THE SAME FINISH LEVEL AS THE WALLS.
- PROVIDE & INSTALL NEW 4" THICK CONCRETE HOUSEKEEPING PAD FOR NEW CONDENSER. ANCHOR CONDENSER TO PAD PER MANUF. RECOMMENDATIONS. SEE A2.3 FOR LOCATION.

FINISH NOTES

ALL FINISHES SHALL BE COORDINATED WITH OWNER.

FLOORING:

- PREPARE FLOOR IN GARAGE FOR EPOXY FLOORING. FLOAT FLOOR AS REQ'D FOR LEVELING.
- PROVIDE TRANSITION STRIP BETWEEN DIFF. FLOORING MATERIALS.

BASE:

- COVE EPOXY BASE 6" UP WALL MINIMUM.

WALL COVERINGS:

- PROTECT AND COVER ALL FLOORING. IMMEDIATELY CLEAN ANY SPILLS AND EXCESS PAINT.
- INSTALL TEMPORARY "WET PAINT" SIGNS ON ALL AREAS DURING WORK.
- PAINT ALL WALLS AND CEILINGS; PREPARE FOR LEVEL 3 KNOCK-DOWN FINISH.
- SURFACE PREPARATION OF WALLS, PRIMER, AND NUMBER OF COATS OF PAINT AS RECOMMENDED BY PAINT MANUFACTURER.
- COORDINATE COLORS WITH OWNER. ALL PAINT SHALL BE EGGSHELL.
- ALL PAINTS, COATINGS, SEALANTS, ADHESIVES AND PRIMERS SHALL BE WITHIN THE VOC LIMITS PER SCAQMD RULE 1168. (VOC LIMITS: PRIMER = 100 G/L; PAINT = 50 G/L).

WALL LEGEND

- A** BEARING EXTERIOR WALL  
2X6 DF WD STUDS @ 16" O.C. W/ 1/2" GYPBD ON INTERIOR FACE, R-21 BATT INSULATION BETWEEN STUDS, AND 7/8" STUCCO (3-COATS) OVER METAL LATH OVER 2 LAYERS OF GRADE 'D' PAPER WITH RADIANT BARRIER OVER R-5 CONTINUOUS RIGID INSULATION OVER 1/2" PLYWOOD ON EXTERIOR FACE UP TO ROOF/FLOOR FRAMING ABOVE.
- A1** BEARING EXTERIOR WALL - 2-HR FIRE BARRIER (GA FILE NO. WP-8192)  
2X6 DF WD STUDS @ 16" O.C. W/ 2 LAYERS OF 5/8" TYPE 'X' GYPBD ON INTERIOR FACE, R-21 BATT INSULATION BETWEEN STUDS, AND 7/8" STUCCO (3-COATS) OVER METAL LATH OVER 2 LAYERS OF GRADE 'D' PAPER WITH RADIANT BARRIER OVER R-5 CONTINUOUS RIGID INSULATION OVER 1/2" PLYWOOD OVER 5/8" TYPE 'X' GYPSUM SHEATHING ON EXTERIOR FACE UP TO ROOF/FLOOR FRAMING ABOVE. FIRE SEAL ALL PENETRATIONS (SEE DETAILS 3 & 4 ON A7.1).
- B** BEARING EXTERIOR WALL  
CONCRETE RETAINING WALL PER STRUCTURAL DRAWINGS.  
WALL TYPE 'A' ON TOP OF RETAINING WALL
- C** INTERIOR FURRED WALL (NON-BEARING)  
2X4 DF WD STUDS @ 16" O.C. W/ 1/2" GYPBD ON EXPOSED SIDE UP TO CEILING FRAMING ABOVE.

GA FILE NO. WP 8192	GENERIC	2 HOUR FIRE	40 TO 44 STC SOUND
<b>GYPSUM WALLBOARD, WOOD STUDS, STUCCO, WIRE MESH</b> <b>Fire Design:</b> EXTERIOR SIDE: Base layer 5/8" type X gypsum sheathing applied parallel to 2 x 6 fire retardant treated wood studs 16" o.c. with 6d coated nails, 1-7/8" long, 0.0915" shank, 1/4" heads, 12" o.c. and covered with a single layer of building paper stapled along each edge at 16" o.c. Galvanized self-furring wire mesh applied over sheathing with 8d galvanized roofing nails, 2-3/8" long, 0.113" shank, 9/32" heads, 6" o.c. Cement-stucco applied over wire mesh in two 1/2" thick coats with bonding agent applied between coats. INTERIOR SIDE: Base layer 5/8" type X gypsum wallboard or gypsum veneer base applied parallel to studs with 6d coated nails, 1-7/8" long, 0.0915" shank, 1/4" heads, 12" o.c. Face layer 5/8" type X gypsum wallboard or gypsum veneer base applied at right angles to studs with 8d coated nails, 2-3/8" long, 0.113" shank, 9/32" heads, 8" o.c. at edges and 12" o.c. at intermediate studs. (LOAD-BEARING) <b>Sound Design:</b> Sound tested with 6-1/2" glass fiber insulation friction fit in stud cavity.			
		Thickness:	8-5/8" (Fire and Sound)
		Approx. Weight:	18 psf (Fire) 18.4 psf (Sound)
		Fire Test:	UC ES-6898, 12-21-67
		Sound Test:	NOAL 19-0828, 08-19-19
		OITC:	33

LEGEND

- A** WALL TYPE DESIGNATION  
SEE WALL TYPE DESCRIPTION THIS SHEET
- D1-XX** DOOR MARK - REFER TO DOOR SCHEDULE ON A7.1  
DOOR NUMBER DESIGNATION  
FLOOR NUMBER REFERENCE
- W1-XX** WINDOW MARK - REFER TO WINDOW SCHEDULE ON A7.1  
WINDOW NUMBER DESIGNATION  
FLOOR NUMBER REFERENCE



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SHEET TITLE

FLOOR PLANS



PROJECT NUMBER:  
24111/6285

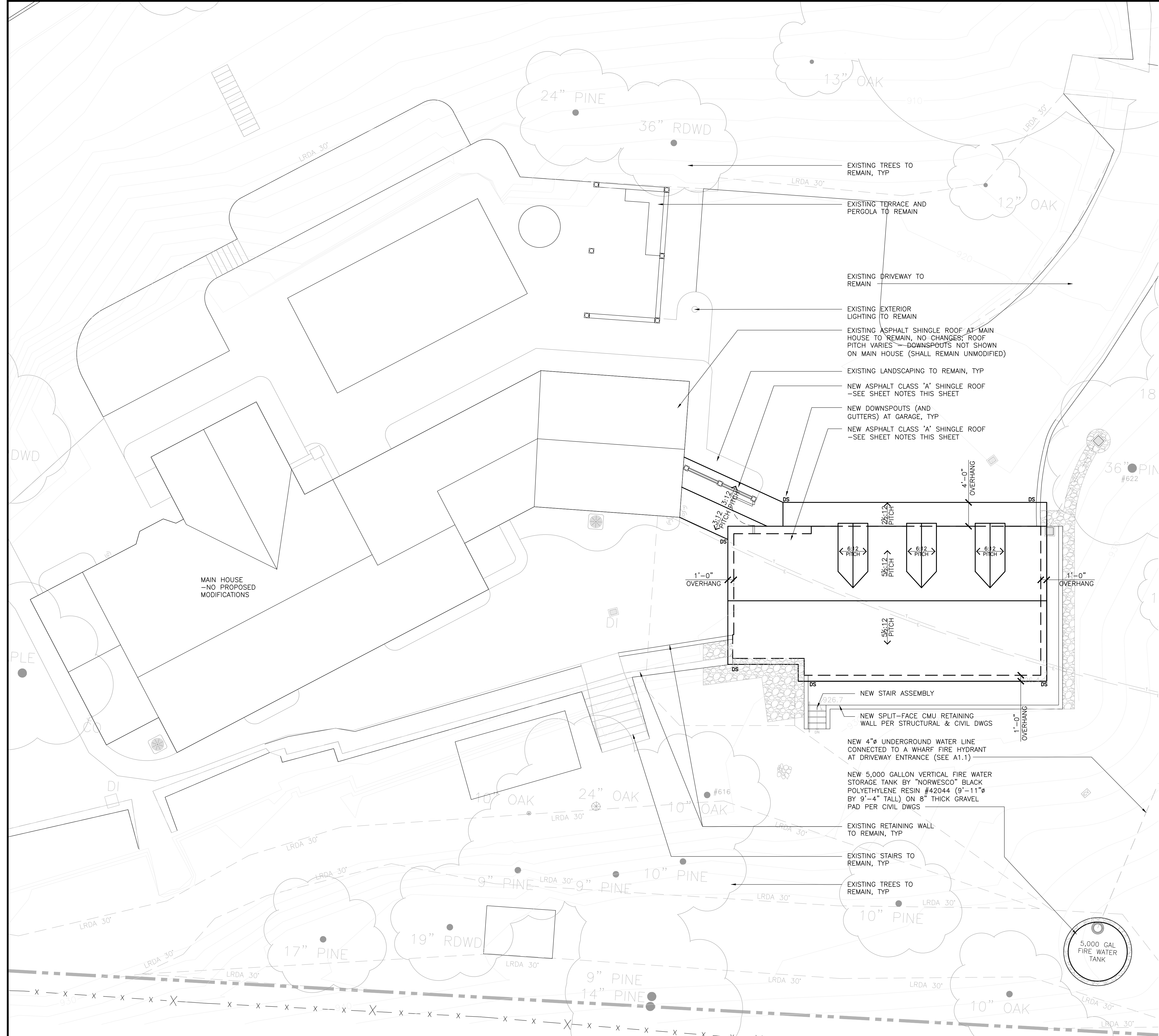
SCALE:  
AS NOTED

SHEET:  
OF

DRAWING NO.:

A2.1





GENERAL NOTES

- A. REFER TO SHEET AO FOR DRAWING INDEX.
- B. REPAIR ALL DAMAGED MATERIALS IMPACTED BY NEW CONSTRUCTION. ALIGN AND FINISH TO MATCH EXISTING ADJACENT SURFACE.
- C. WEATHER PROTECTION IS REQUIRED PRIOR TO ANY DEMOLITION OF EXTERIOR WALLS. IT SHALL BE REMOVED ONLY WHEN CONSTRUCTION OF THAT AREA IS COMPLETE.
- D. PERSON(S) PERFORMING THE WORK MUST BE COGNIZANT OF FIELD CONDITIONS AND VERIFY PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY CONFLICTS SHALL BE RESOLVED PRIOR TO PROCEEDING.
- E. ALL UTILITIES SERVICES IMPACTED BY DEMOLITION AND CONSTRUCTION SHALL BE COORDINATED WITH THE ASSOCIATED UTILITY PROVIDER AND/OR AUTHORITY. CONFORM TO STANDARD EROSION CONTROL CONSTRUCTION MITIGATION MEASURES AS APPLICABLE. REFER TO CIVIL DRAWINGS.
- F. ALL NEW DOWNSPOUTS SHALL HAVE CONCRETE SPLASH BLOCKS AT THE BASE. IN TURN, WATER SHALL DRAIN ONTO THE ADJACENT LANDSCAPING WHERE POSSIBLE.

SHEET NOTES

1. ROOF TILES AND ASSEMBLY AT GARAGE SHALL MEET THE FOLLOWING CRITERIA. NOTE, EXISTING ROOF ON MAIN HOUSE IS ASPHALT SHINGLES AND VERY SIMILAR IN NATURE, HOWEVER SELECTIONS HAVE BEEN MADE FOR THE NEW STRUCTURE TO MEET CALIFORNIA TITLE 24 REQUIREMENTS.
  - A. ROOF ASPHALT TILES BY "CERTANTEED" PRESIDENTIAL SOLARIS SHINGLES.
  - B. COLOR CHARCOAL BLACK.
  - C. CRRC #0668-0132
  - D. ICC-ES-ESR-3537
  - E. COOL ROOF SPECIFICATIONS
    - SOLAR REFLECTANCE (INITIAL) = 0.18
    - SOLAR REFLECTANCE (3-YR) = 0.19
    - THERMAL EMITTANCE (INITIAL) = 0.93
    - THERMAL EMITTANCE (3-YR) = 0.94
    - INITIAL SRI VALUE = 18
    - AGED SRI VALUE = 20
  - F. SLOPE OF ROOF PER PLAN (SEE ELEVATIONS/SECTIONS ON A3.1 AND A3.2)
  - G. INSTALL ROOF TILES PER MANUF. INSTALLATION INSTRUCTIONS TO MAINTAIN WARRANTY.
  - H. UNDERLAYMENT: 2 LAYERS OF #15 FELT PAPER OVER PLYWD SHEATHING W/ INTEGRAL RADIENT BARRIER.
  - I. ROOF SHEATHING WITH TECHSHIELD RADIANT BARRIER BONDED TO UNDERSIDE OF CDX PLYWOOD OR APPROVED EQUAL (SEE ROOF FRAMING ON STRUCTURAL DRAWINGS FOR THICKNESS).
  - J. ALL ROOF FASTENERS SHALL BE CORROSION RESISTANT (CRC R905.2.5).
  - K. FLASH ALL PENETRATIONS, IF ANY, PER MANUF. INSTRUCTIONS TO MAINTAIN WARRANTY.
  - L. PROVIDE & INSTALL ROOF FLASHING WHERE WALLS AND ROOF MEET PER MANUF. INSTRUCTIONS.
  - M. PROVIDE & INSTALL NEW CONTINUOUS/SEAMLESS 0.032" THICK ALUMINUM BREAKSHAPE METAL GUTTER SYSTEM ATTACHED TO THE FASCIA NEW ROOF ASSEMBLIES. LOCATE APPROXIMATELY 1/2" BELOW SLOPE LINE OF BOTTOM OF BARREL, TYPICAL. DRIP EDGE FLASHING SHALL EXTEND OVER GUTTER SYSTEM AT FASCIA. STRICTLY COORDINATE WITH ROOF TILE MANUFACTURER'S INSTRUCTIONS TO MAINTAIN WARRANTY. COLOR OF GUTTER SYSTEM TO MATCH FASCIA BOARD.
  - N. PROVIDE DOWNSPOUTS AND SPLASH BLOCKS AT LOCATIONS SHOWN. ALL DOWNSPOUTS SHALL HAVE CONCRETE SPLASH BLOCKS AT THE BASE. IN TURN, WATER SHALL DRAIN ONTO NEARBY LANDSCAPING WHERE POSSIBLE. COLOR OF DOWNSPOUTS SHALL BE WHITE TO MATCH THE EXISTING HOUSE.
  - O. THE UNDERSIDE OF NEW EAVES SHALL MATCH THE UNDERSIDE OF THE EXISTING EAVES OF THE MAIN HOUSE (WITH THE EXCEPTION OF CLOSED EAVES TO MATCH EAVE TRIM COLOR). CLOSED EAVES COMPLY WITH THE WILDLAND URBAN INTERFACE REQUIREMENTS.
  - P. ALL SOFFIT VENTS UNDER EAVES, GABLE-END VENTS ON THE SIDE OF THE STRUCTURE AND RIDGE VENTS SHALL HAVE 1/16" NON-COMBUSTIBLE, CORROSION-RESISTANT MESH WITH OVERLAPPING BAFFLES AND HEAT ACTIVATED INTUMESCENT STRIPS TO PREVENT EMBER INTRUSION AND RESIST RADIANT HEAT. RECOMMENDED PRODUCTS BY "BRANDGUARD VENTS" OR APPROVED EQUAL; MUST HAVE CALFIRE BML APPROVAL CERTIFICATION NUMBER ASSOCIATED WITH THE PRODUCT.
  - Q. INSTALL GUTTER GUARDS WITH 1/16" NON-COMBUSTIBLE, CORROSION-RESISTANT MESH THAT COMPLY TO PREVENT EMBER INTRUSION SUCH AS "BRANDGUARD VENTS"

WILDLAND URBAN INTERFACE COMPLIANCE

EXTERIOR CLADDING - IGNITION RESISTANT MATERIALS - STUCCO

ROOF MATERIALS - CLASS A ASPHALT ROOF TILES (SEE THIS SHEET)

CLOSED EAVES - SEE SECTIONS ON A3.2

EMBER RESISTANT SOFFIT VENTS (SEE THIS SHEET)  
EMBER RESISTANT RIDGE VENTS (SEE THIS SHEET)  
EMBER RESISTANT GABLE-END VENTS (SEE THIS SHEET)

METAL-CLADDED DOOR ASSEMBLIES WITH TEMPERED WINDOWS (SEE A7.1)  
WINDOWS DOUBLE-PANED AND TEMPERED (SEE A7.1)  
ALL DOORS HAVE PERIMETER WEATHER STRIPPING AND DOOR BOTTOMS TO REDUCE EMBER INTRUSION (SEE A7.1)

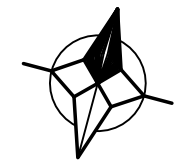
VEGETATION MANAGEMENT & DEFENSIBLE BREAKS (SEE A1.2)

ALTERNATE MATERIALS, METHODS OF CONSTRUCTION OR MODIFICATION OF CODE (25-0417).  
IN LIEU OF THE FOLLOWING ITEMS:  
1. FIRE APPARATUS ACCESS ROADWAY CLEARANCES (CFC SECTION 503) - STREET WIDTH OF 20'-0" CLEAR BY 13'-6" HIGH - ACTUAL ROAD IS 12'-0" WIDE AND DOESN'T ACHIEVE HEIGHT REQUIREMENTS.  
2. FIRE DEPARTMENT DRIVEWAY TURNAROUND CLEARANCE (CFC SECTION 503) - DRIVEWAY AREA DOES NOT ACCOMMODATE 40' MINIMUM OUTSIDE TURNING RADIUS.  
3. FIRE HYDRANT DISTANCE WITHIN 400' OR 600' IF FULLY SPRINKLERED (CFC SECTION 507.5.1) - ACTUAL FIRE HYDRANT IS LOCATED APPROXIMATELY 1,975' AWAY FROM THE PROPERTY LINE.

THE FOLLOWING IS BEING PROPOSED DUE TO THE SCALE OF THE PROJECT:  
1. NFPA 13D FIRE SPRINKLER SYSTEM IN GARAGE STRUCTURE ONLY. MAIN RESIDENCE WILL REMAIN UNSPRINKLERED.  
2. 2-HOUR FIRE-BARRIER WALL ASSEMBLY AT GARAGE BETWEEN BREEZEWAY (SEE A2.1)  
3. 5,000 GALLON FIRE WATER STORAGE POLYETHYLENE TANK (NO PUMP) LOCATED AT LEAST 10'-0" FROM GARAGE STRUCTURE WITH 4" UNDERGROUND WATER LINE AND CONNECTION TO A NEW WHARF FIRE HYDRANT LOCATED AT THE NORTHEASTERLY CORNER OF THE PROPERTY ADJACENT TO THE DRIVEWAY ACCESS. IMPACT PROTECTION BOLLARDS ARE SET BETWEEN THE HYDRANT AND DRIVEWAY TO PREVENT ACCIDENTAL DAMAGE. SIGNAGE IS POSTED ON THE WHARF HYDRANT INDICATING IT IS SUPPLIED BY A 5,000 GALLON TANK  
4. ADDRESS DIRECTIONAL & IDENTIFICATION SIGNAGE VISABLE FROM THE APPROACHING CORNER (EAST CORNER) OF CYPRESS WAY WHERE THE ROAD SPLITS IN TWO DIRECTIONS (SEE BELOW). LETTERING SHALL BE 12" HIGH BLACK ON WHITE INDICATING "16511 CYPRESS WAY" WITH DIRECTIONAL ARROW.



1 ROOF PLAN - PROPOSED  
A2.2 SCALE: 1/8" = 1'-0"



ADDRESS IDENTIFICATION AND DIRECTIONAL SIGNAGE LOCATION



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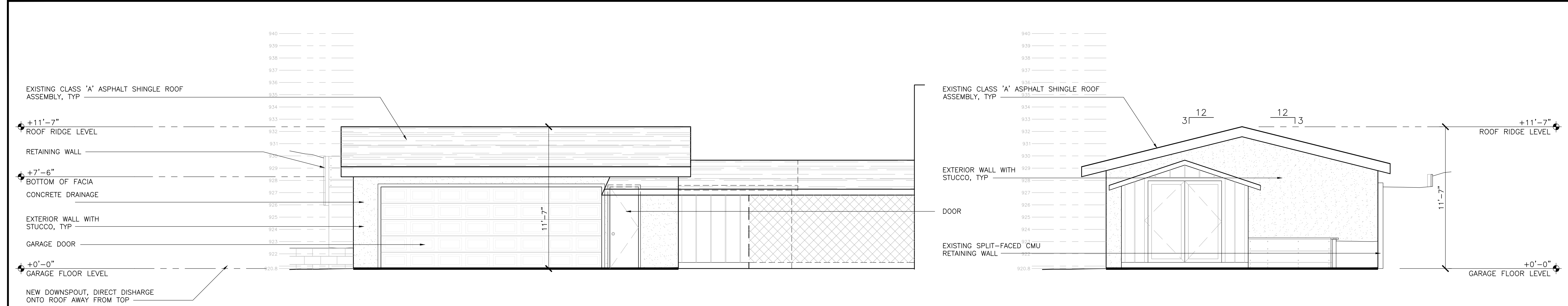
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ROOF PLAN & SITE ELEMENTS



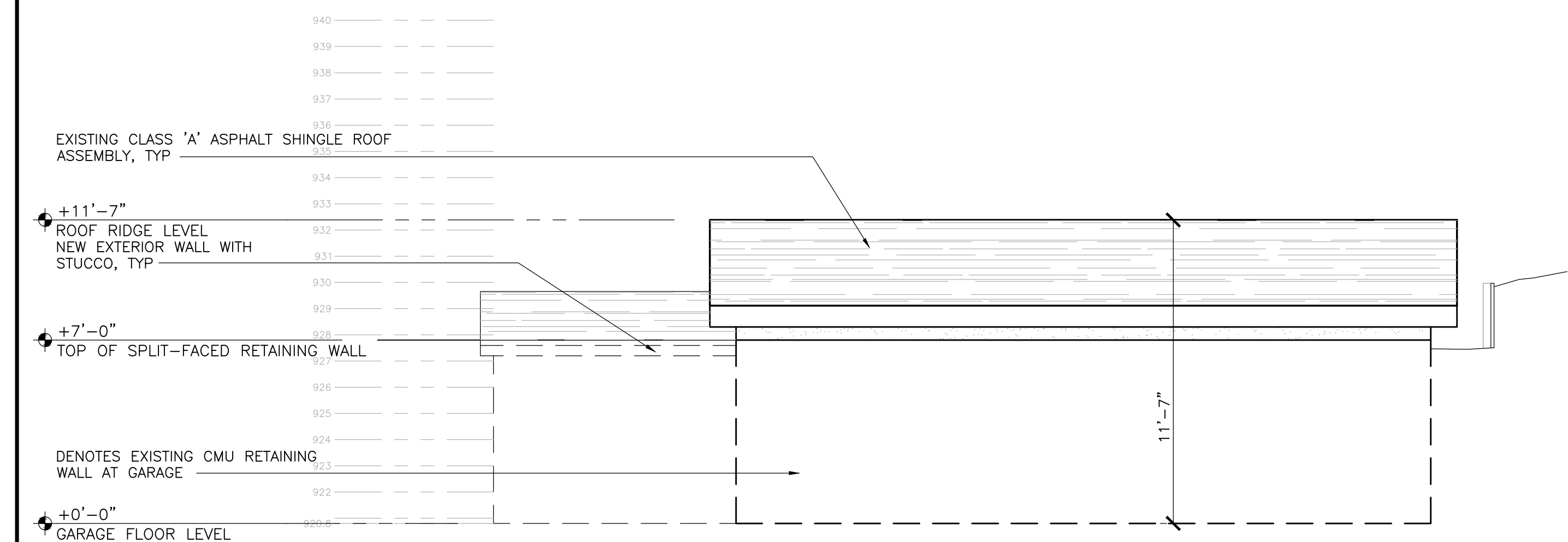
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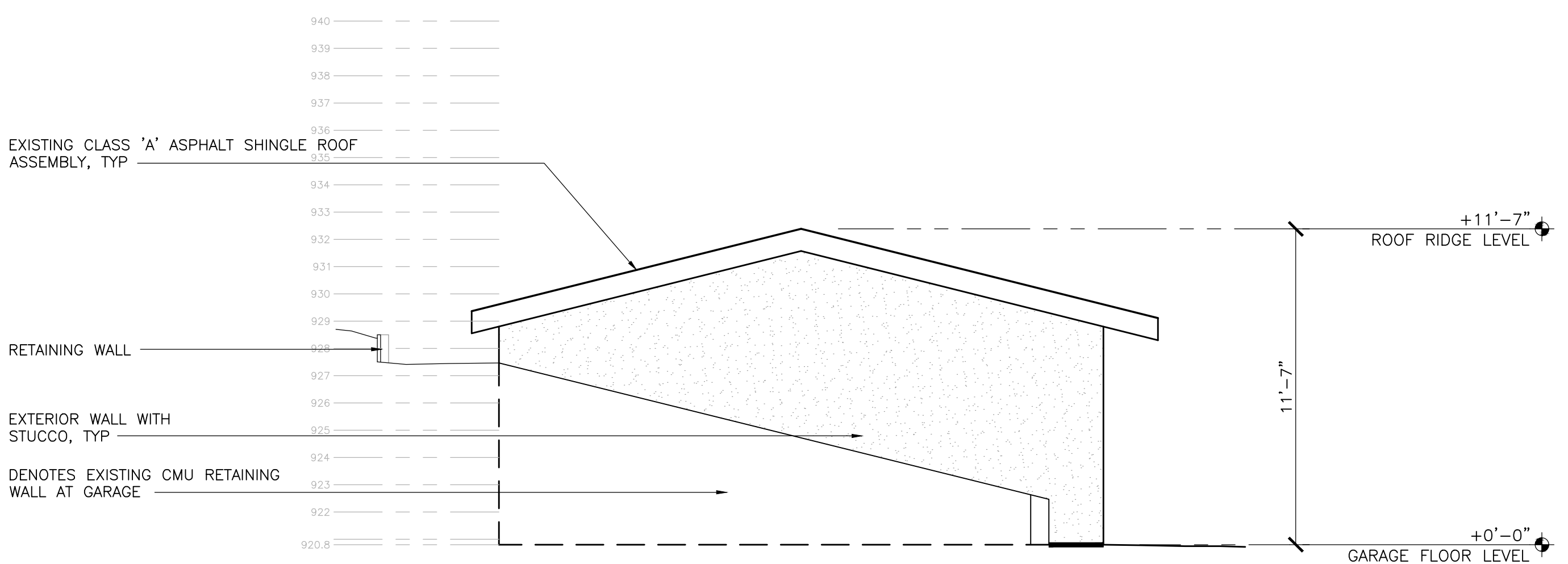


**A** FRONT EXTERIOR ELEVATION (NORTH)  
A3.0 SCALE: 1/4" = 1'-0"

**B** SIDE EXTERIOR ELEVATION (EAST)  
A3.0 SCALE: 1/4" = 1'-0"



**C** REAR EXTERIOR ELEVATION (SOUTH)  
A3.0 SCALE: 1/4" = 1'-0"



**D** SIDE EXTERIOR ELEVATION (WEST)  
A3.0 SCALE: 1/4" = 1'-0"

EXTERIOR COLOR SCHEME	
STUCCO:	TAN/EARTH - LRV 69
ROOF TILES:	MODERN STYLE TEXTURE THAT MATCHES MAIN HOUSE
	ASPHALT SHINGLES (SEE A2.2) - SRI 18
TRIM:	COLOR: CHARCOAL BLACK
	TAN/EARTH THAT MATCHES STUCCO - LRV 69
FASCIA:	(STUCCO TRIM TO MATCH STUCCO COLOR)
GUTTERS:	WHITE THAT MATCHES MAIN HOUSE - LRV 93
DOWNSPOUTS:	WHITE THAT MATCHES MAIN HOUSE - LRV 93
LATTICE:	WOOD LATTICE PAINTED WHITE



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PROJECT TITLE

Garage & Breezeway Replacement

KOLANDER

RESIDENCE

16511 Cypress Way | Los Gatos, California 95030

REVISIONS

F	PLANNING SUBMITTAL	7/30/2024
H	PLANNING COMMENTS	10/23/2024
L	SCCFD AMMC	1/24/2025
M	PLANNING COMMENTS	2/13/2025
N	PLANNING COMMENTS	3/5/2025
P	PLANNING COMMENTS	3/17/2025
Q	PLANNING COMMENTS	3/24/2025
R	PLANNING COMMENTS	3/28/2025

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SHEET TITLE

EXISTING  
EXTERIOR  
ELEVATIONS

PROJECT NUMBER:  
24111/6285

SCALE:  
AS NOTED

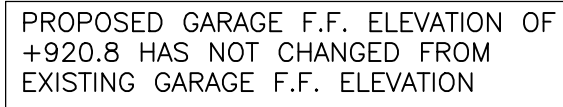
SHEET: OF

DRAWING NO:

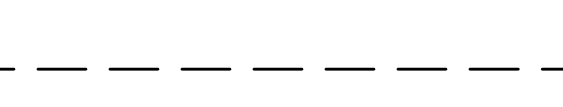
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Page 136

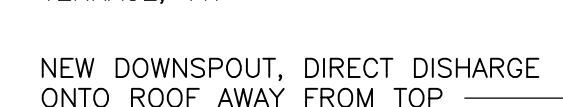




**A3.1** SCALE: 1/4" = 1'-0"



**A3.1** SCALE: 1/4" = 1'-0"



**A3.1** SCALE:  $1/4" = 1'-0"$



**A3.1** SCALE:  $1/4" = 1'-0"$

ALL PERMANENT EXTERIOR LIGHT FIXTURES SHOULD UTILIZE SHIELDS SO THAT NO BULB IS VISIBLE AND TO ENSURE THAT LIGHT IS DIRECTED TO THE GROUND SURFACE AND DOES NOT SPILL LIGHT ONTO NEIGHBORING PARCELS OR PRODUCE GLARE WHEN SEEN FROM NEARBY HOMES.

**PROJECT TITLE**

## Garage & Breezeway Replacement

# KOLANDER RESIDENCE

**16511 Cypress Way | Los Gatos, California 95030**

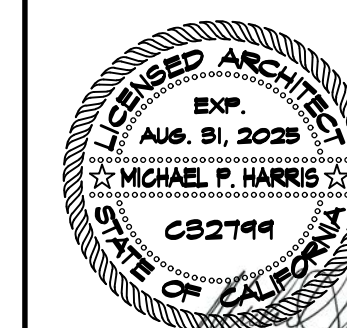
REVISIONS		
F	PLANNING SUBMITTAL	7/30/2024
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L	SCCFD AMMC	1/24/2025
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**SHEET TITLE**

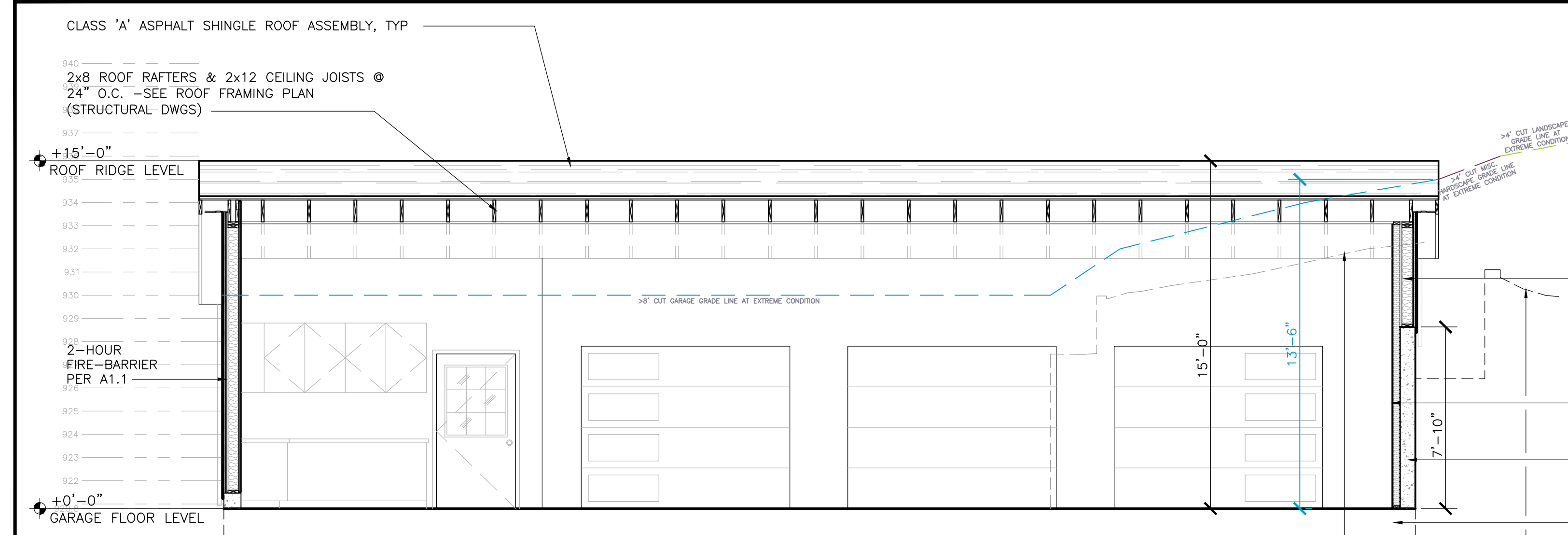
EXTERIOR  
ELEVATIONS



PROJECT NUMBER:	24111/6285
SCALE:	AS NOTED
SHEET:	OF

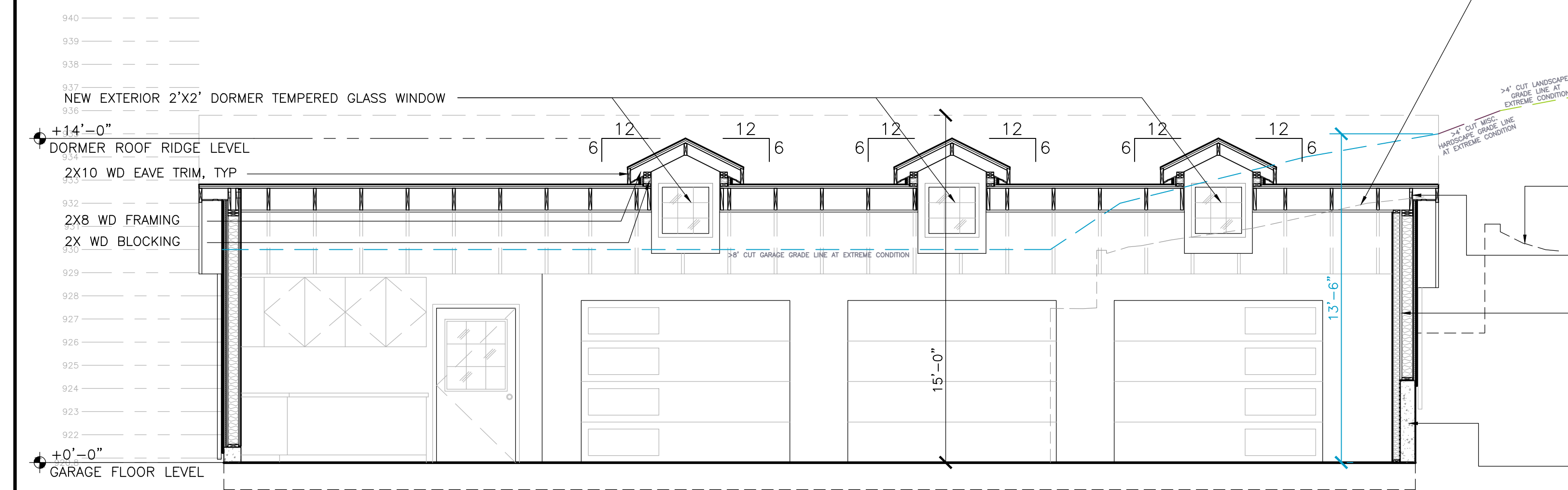
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**A3.1**





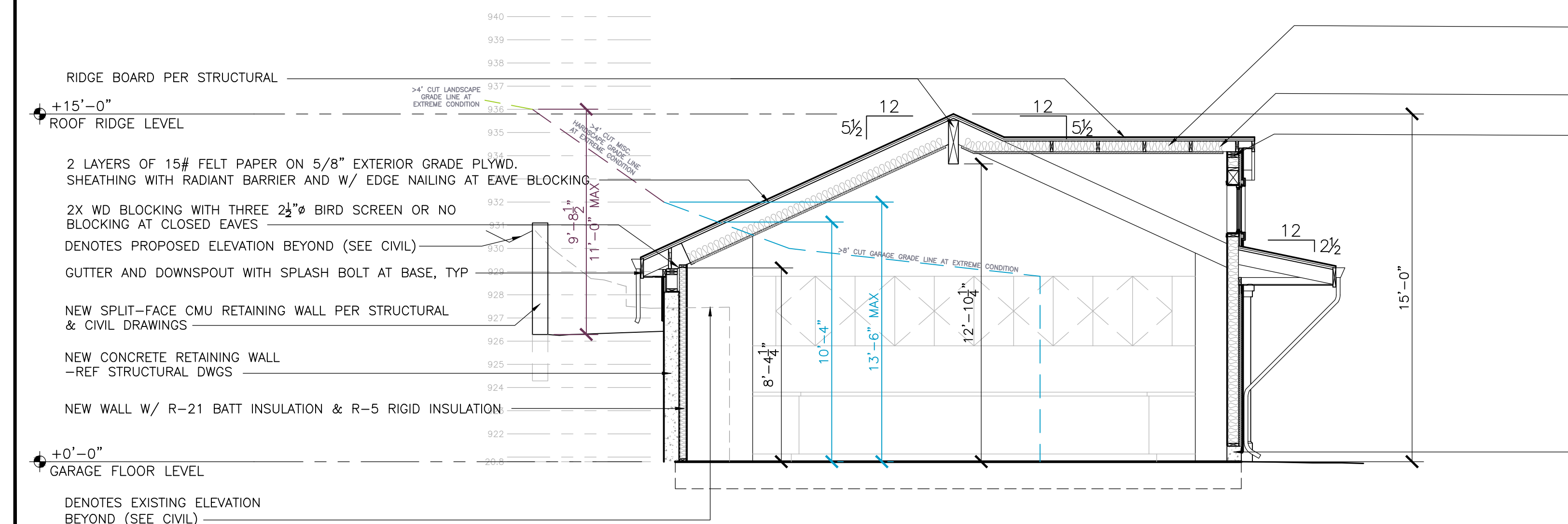
**A BUILDING SECTION**

**A3.2** SCALE: 1/4" = 1'-0"



**C BUILDING SECTION WITH DORMERS**

**A3.2** SCALE: 1/4" = 1'-0"



**E BUILDING SECTION**

**A3.2** SCALE: 1/4" = 1'-0"

NOTE APPLYING TO ALL SECTIONS:  
ALL PERMANENT EXTERIOR LIGHT FIXTURES SHOULD UTILIZE SHIELDS SO THAT NO BULB IS VISIBLE AND TO ENSURE THAT LIGHT IS DIRECTED TO THE GROUND SURFACE AND DOES NOT SPILL LIGHT ONTO NEIGHBORING PARCELS OR PRODUCE GLARE WHEN SEEN FROM NEARBY HOMES.

R-19 BATT INSULATION AND R-6 RIGID INSULATION AT ROOF FRAMING - MAINTAIN MINIMUM 2" AIR GAP BETWEEN INSULATION AND VENTS, TYP

CLOSED EAVE WITH PREFINISHED STUCCO-FACED CLADDING O/ 5/8" CEMENT BOARD AND PAINTED TO MATCH STUCCO AT WALL AND WITH CONTINUOUS VENT, TYP

EXTERIOR WALL W/ STUCCO AND R-21 BATT INSULATION & R-5 RIGID INSULATION

NEW WALL W/ R-21 BATT INSULATION & R-5 RIGID INSULATION

1/2" GYPSUM BOARD (WALLS AND CEILING)

NEW CONCRETE RETAINING WALL - REF STRUCTURAL DWGS

NEW CONCRETE FOUNDATION - REF STRUCTURAL DWGS

DENOTES PROPOSED ELEVATION (SEE CIVIL)

DENOTES EXISTING ELEVATION BEYOND (SEE CIVIL)

**B BUILDING SECTION**

**A3.2** SCALE: 1/4" = 1'-0"

R-19 BATT INSULATION AND R-6 RIGID INSULATION AT ROOF FRAMING - MAINTAIN MINIMUM 2" AIR GAP BETWEEN INSULATION AND VENTS, TYP

CLASS 'A' ASPHALT SHINGLE ROOF ASSEMBLY, TYP

2X WD BLOCKING WITH THREE 2 1/2" BIRD SCREEN OR NO BLOCKING AT CLOSED EAVES

NEW EXTERIOR WALL W/ STUCCO AND R-21 BATT INSULATION & R-5 RIGID INSULATION

CLOSED EAVE WITH PREFINISHED STUCCO-FACED CLADDING O/ 5/8" CEMENT BOARD AND PAINTED TO MATCH STUCCO AT WALL AND WITH CONTINUOUS VENT, TYP

NEW CONCRETE RETAINING WALL - REF STRUCTURAL DWGS

**D BUILDING SECTION**

**A3.2** SCALE: 1/4" = 1'-0"

R-19 BATT INSULATION AND R-6 RIGID INSULATION AT ROOF FRAMING - MAINTAIN MINIMUM 2" AIR GAP BETWEEN INSULATION AND VENTS, TYP

2x6 ROOF RAFTERS @ 24" O.C. - SEE ROOF FRAMING PLAN (STRUCTURAL DWGS)

2X WD BLOCKING

NEW 8" CONCRETE CURB

BAY AREA BUILDERS INCORPORATED

3360 De La Cruz Boulevard  
Santa Clara, CA 95054  
www.ba-builders.com

main office: (408) 648-4500  
fax: (408) 588-0095  
CA license: B-443949

PROJECT TITLE

Garage & Breezeway Replacement

KOLANDER

RESIDENCE

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SHEET TITLE

BUILDING SECTIONS

PROJECT NUMBER:  
24111/6285

SCALE:  
AS NOTED

SHEET: OF

DRAWING NO:

EXP. AUG. 31, 2025

MICHAEL P. HARRIS

082744

3/28/25

SEAL

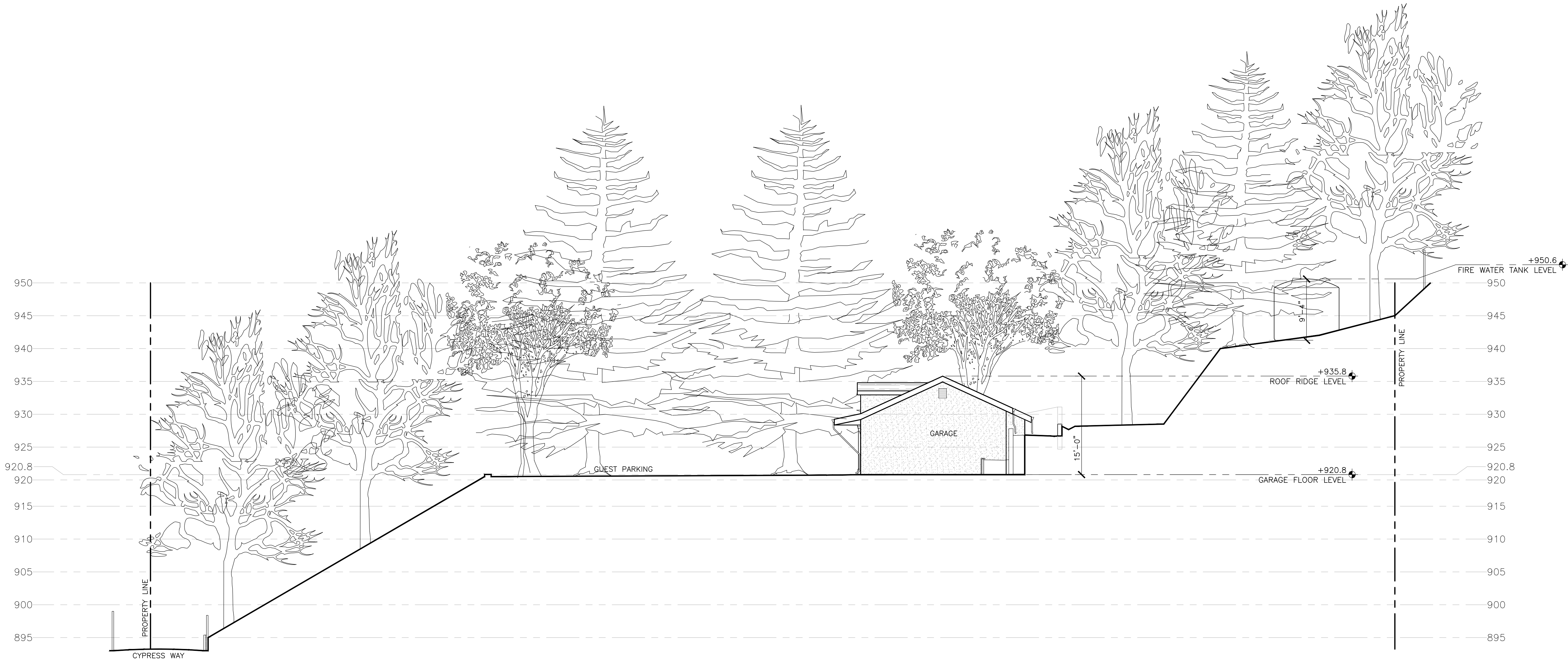
REGISTERED ARCHITECT

STATE OF CALIFORNIA

**A3.2**

Page 138

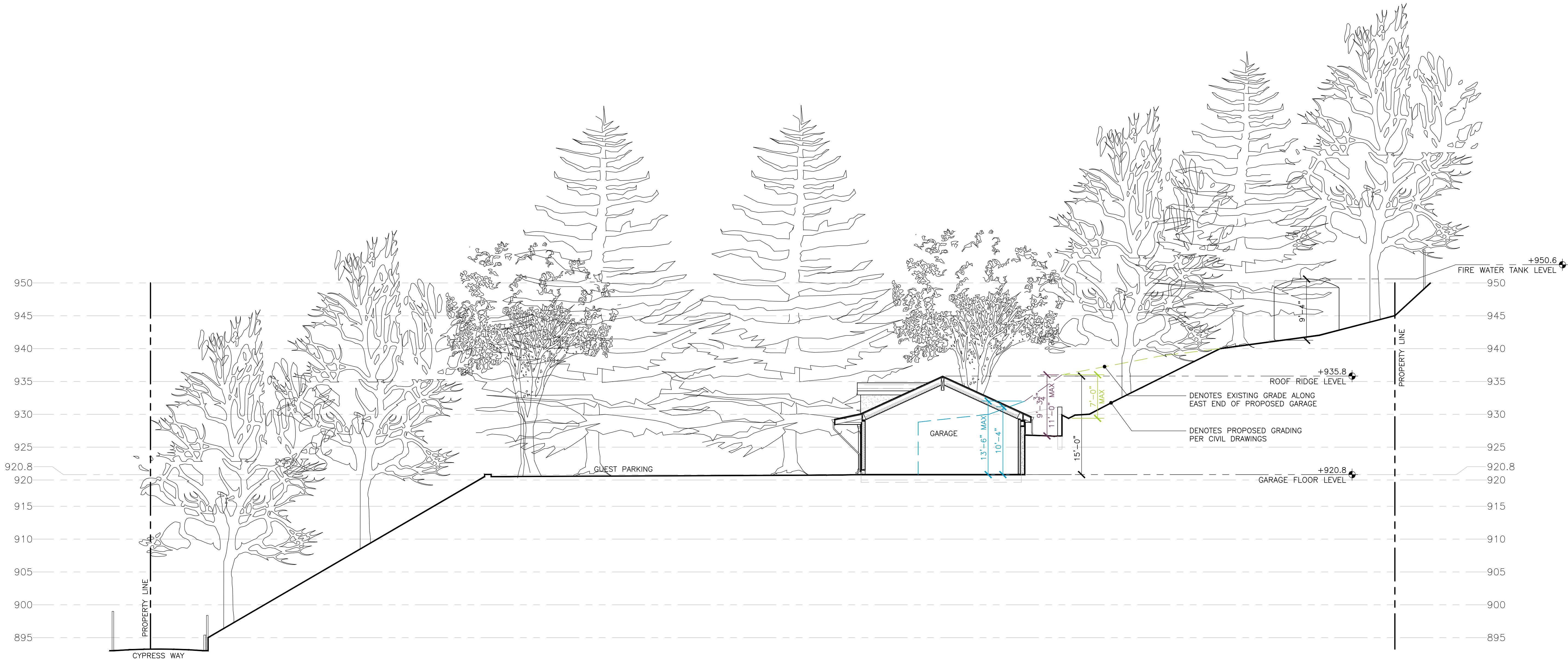




A  
A3.3

OVERALL SITE SECTION  
SCALE: 1/8" = 1'-0"





B  
A3.4

OVERALL SITE SECTION

SCALE: 1/8" = 1'-0"



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SHEET TITLE

OVERALL  
SITE SECTION



PROJECT NUMBER:  
24111/6285

SCALE:  
AS NOTED

SHEET: OF

DRAWING NO:

3/28/25

A3.4







GENERAL NOTES

1. THE CONTRACTOR SHALL MAKE A DETAILED AND THOROUGH STUDY OF THESE PLANS IN THEIR ENTIRETY PRIOR TO ANY WORK ON THE JOBSITE. THE CONTRACTOR IS TO VERIFY ALL EXISTING CONSTRUCTION CONDITIONS AND IS TO COORDINATE THESE DRAWINGS WITH ALL OTHER TRADE DISCIPLINES FOR THE COMPLETED WORK. THE CONTRACTOR IS ALSO TO UNDERSTAND THAT ANY FEATURE OF CONSTRUCTION NOT FULLY SHOWN OR DETAILED SHALL BE OF THE SAME TYPE AS SHOWN FOR SIMILAR CONDITIONS.
2. THE CONTRACTOR SHALL IMMEDIATELY REPORT TO THE ENGINEER ANY DISCREPANCY OCCURRING ON THE DRAWINGS OR FOUND IN HIS COORDINATION WORK. NO CHANGES IN APPROVED PLANS SHALL BE MADE WITHOUT PRIOR WRITTEN APPROVAL OF THE PROJECT ENGINEER AND THE TOWN OF LOS GATOS.
3. ANY REQUEST FOR ALTERATIONS OR SUBSTITUTIONS MUST BE PRESENTED DIRECTLY TO THE PROJECT ENGINEER, ACCOMPANIED BY A DETAILED SKETCH, FOR REVIEW. BEFORE ANY APPROVAL WILL BE GIVEN AND BEFORE PROCEEDING WITH THE WORK. ABSOLUTELY NO ALTERATIONS OF THESE DOCUMENTS OF ANY KIND WILL BE APPROVED ON ANY SHOP DRAWINGS.
4. ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE PROVISIONS OF THE STATE OF CALIFORNIA STANDARD SPECIFICATIONS (CALTRANS), LATEST EDITION, THE TOWN OF LOS GATOS DESIGN CRITERIA AND ALL APPLICABLE CODES AND ORDINANCES.
5. THE LOCATIONS OF EXISTING UTILITIES AS SHOWN ON THE PLANS WERE OBTAINED FROM RECORD DRAWINGS AND MAY NOT REPRESENT TRUE LOCATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION AND DEPTH OF THESE UTILITIES PRIOR TO CONSTRUCTION, AND TO NOTIFY THE PROJECT ENGINEER IN CASE OF CONFLICT.
6. THE CONTRACTOR SHALL SECURE ALL REQUIRED CONSTRUCTION PERMITS FROM THE TOWN OF LOS GATOS PRIOR TO THE START OF WORK.
7. CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD PROJECT ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY RISING FROM THE SOLE NEGLIGENCE OF THE PROJECT ENGINEER.
8. GRADING SHALL BE DONE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL INVESTIGATIONS AND THE REQUIREMENTS OF THE TOWN OF LOS GATOS.
9. THE CONTRACTOR SHALL NOTIFY THE TOWN'S GRADING INSPECTOR, GEOTECHNICAL ENGINEER, THE CIVIL ENGINEER, & THE TOWN'S CONSTRUCTION ENGINEER AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
10. WORK SHALL BE LIMITED TO 8:00 A.M. TO 5:00 PM WEEKDAYS. NON-NOISE PRODUCING ACTIVITIES, SUCH AS INTERIOR PAINTING, SHALL NOT BE SUBJECT TO THIS RESTRICTION.
11. NO LAND CLEARING, GRADING OR EXCAVATING SHALL TAKE PLACE BETWEEN OCTOBER 15 AND APRIL 15 UNLESS THE PLANNING DIRECTOR APPROVES A SEPARATE WINTER EROSION CONTROL PLAN.
12. BETWEEN OCTOBER 15 AND APRIL 15, EXPOSED SOIL SHALL BE PROTECTED FROM EROSION AT ALL TIMES. DURING CONSTRUCTION SUCH PROTECTION MAY CONSIST OF MULCHING AND/OR PLANTING OF NATIVE VEGETATION OF ADEQUATE DENSITY. BEFORE COMPLETION OF THE PROJECT, ANY EXPOSED SOIL ON DISTURBED SLOPES SHALL BE PERMANENTLY PROTECTED FROM EROSION.
13. THE CONTRACTOR SHALL APPLY WATER TO ALL EXPOSED EARTH SURFACES AT INTERVALS SUFFICIENT TO PREVENT AIRBORNE DUST FROM LEAVING THE PROJECT SITE. ALL EXPOSED EARTH SHALL BE WATERED DOWN AT THE END OF THE WORK DAY.
14. WHILE IN TRANSIT TO AND FROM THE PROJECT SITE, ALL TRUCKS TRANSPORTING FILL SHALL BE EQUIPPED WITH TARPS.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF CONSTRUCTION QUANTITIES PRIOR TO BIDDING ON ANY ITEM. QUANTITY REFERENCES SHOWN ON THESE PLANS, OR ENGINEER'S ESTIMATES ARE FOR ESTIMATING PURPOSES ONLY AND SHALL NOT BE CONSIDERED AS A BASIS FOR CONTRACTOR PAYMENT. CONSULTANT SHALL NOT BE RESPONSIBLE FOR ANY FLUCTUATIONS IN SUCH QUANTITIES AND ESTIMATES.
16. THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO, OR USES OF THESE PLANS. CHANGES MUST BE IN WRITING AND MUST BE APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION.
17. UNDERGROUND UTILITY LOCATIONS SHOWN ARE COMPILED FROM INFORMATION SUPPLIED BY UTILITY AGENCIES, AND ARE APPROXIMATE ONLY. CONTRACTOR SHALL VERIFY LOCATIONS OF AFFECTED UTILITY LINES PRIOR TO ANY TRENCHING OR EXCAVATING AND POTHOLE. THOSE AREAS WHERE POTENTIAL CONFLICTS EXIST OR WHERE DATA IS OTHERWISE INCOMPLETE, FOR LOCATION, CALL USA 1-800-424-1444.
18. ANY EXISTING UTILITIES THAT ARE REQUIRED TO BE RELOCATED AS A PART OF THIS CONSTRUCTION SHALL BE RELOCATED AT THE OWNER'S EXPENSE.

EARTHWORK AND GRADING

1. WORK SHALL CONSIST OF ALL CLEARING, GRUBBING, STRIPPING, PREPARATION OF LAND TO BE FILLED, SPREADING, COMPACTION AND CONTROL OF FILL, AND ALL SUBSIDIARY WORK NECESSARY TO COMPLETE THE GRADING TO CONFORM TO THE LINES, GRADES, AND SLOPES, AS SHOWN ON THE APPROVED PLANS.
2. ALL GRADING OPERATIONS SHALL CONFORM TO SECTION 19 OF THE CALTRANS STANDARD SPECIFICATIONS, AND SHALL ALSO BE DONE IN CONFORMANCE WITH THE REQUIREMENTS OF THE TOWN OF LOS GATOS. THE MOST STRINGENT GUIDELINE SHALL PREVAIL.
3. REFERENCE IS MADE TO THE GEOTECHNICAL INVESTIGATIONS BY C2EARTH, INC., ENTITLED "GEOTECHNICAL STUDY FOR THE PROPOSED GARAGE REPLACEMENT FOR THE KOLANDER PROPERTY AT 16511 CYPRESS WAY IN LOS GATOS," DATED JUNE 2024. THE CONTRACTOR SHALL MAKE A THOROUGH REVIEW OF THIS REPORT AND SHALL FOLLOW ALL RECOMMENDATIONS THEREIN. THE CONTRACTOR SHALL CONTACT C2EARTH, INC. FOR ANY CLARIFICATIONS NECESSARY PRIOR TO PROCEEDING WITH THE WORK.
4. THE CONTRACTOR SHALL GRADE TO THE LINE AND ELEVATIONS SHOWN ON THE PLAN AND SHALL SECURE THE SERVICES OF A LICENSED LAND SURVEYOR OR REGISTERED CIVIL ENGINEER TO PROVIDE STAKES FOR LINE AND GRADE.
5. THE GEOTECHNICAL ENGINEER SHOULD BE NOTIFIED AT LEAST FOUR (4) DAYS PRIOR TO ANY SITE CLEARING AND GRADING OPERATIONS.
6. STRIPPED AREAS SHOULD BE SCARIFIED TO A DEPTH OF ABOUT 6". WATER-CONDITIONED TO BRING THE SOILS WATER CONTENT TO ABOUT 2% ABOVE THE OPTIMUM, AND COMPACTED TO A DENSITY EQUIVALENT TO AT LEAST 90% OF THE MAXIMUM DRY DENSITY OF THE SOIL ACCORDING TO ASTM D1557 (LATEST EDITION). SUBGRADES AND AGGREGATE BASE ROCK FOR PAVEMENTS SHOULD BE COMPACTED TO A MINIMUM OF 95%.
7. ENGINEERED FILL SHOULD BE PLACED IN THIN LIFTS NOT EXCEEDING 8" IN LOOSE THICKNESS, MOISTURE CONDITIONED, AND COMPACTED TO AT LEAST 90% RELATIVE COMPACTION.
8. MATERIAL USED FOR ENGINEERED FILL SHALL MEET THE REQUIREMENTS OF THE AFOREMENTIONED REPORTS BY C2EARTH, INC..
9. IMPORTED FILL MATERIAL USED AS ENGINEERED FILL FOR THE PROJECT SHALL MEET THE REQUIREMENTS OF THE AFOREMENTIONED GEOTECHNICAL INVESTIGATION.
10. ALL FILL MATERIAL SHALL BE APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER PRIOR TO JOBSITE DELIVERY AND PLACEMENT. NO EARTHWORK OPERATIONS SHALL BE PERFORMED WITHOUT THE DIRECT OBSERVATION AND APPROVAL OF THE GEOTECHNICAL ENGINEER.
11. BARE GROUND WITHIN 10' OF FOUNDATIONS SHALL BE SLOPED AWAY @ 5% MINIMUM OR 2% MINIMUM FOR PAVED SURFACES.

IMPERVIOUS AREA CALCULATIONS

EXISTING TO BE REMOVED:	
GARAGE:	587 SF
SHED:	96 SF
CONCRETE:	190 SF
TOTAL:	873 SF
PROPOSED IMPROVEMENTS:	
GARAGE:	1,239 SF
CONCRETE:	255 SF
AC PAVING:	134 SF
TOTAL:	1,638 SF
TOTAL CREATED AND/OR REPLACED IMPERVIOUS AREA:	
873 SF + 1,638 SF = 2,511 SF	
TOTAL INCREASE IN IMPERVIOUS AREA:	
1,638 SF - 873 SF = 765 SF	

POST CONSTRUCTION STORM DRAIN SYSTEM MAINTENANCE SCHEDULE

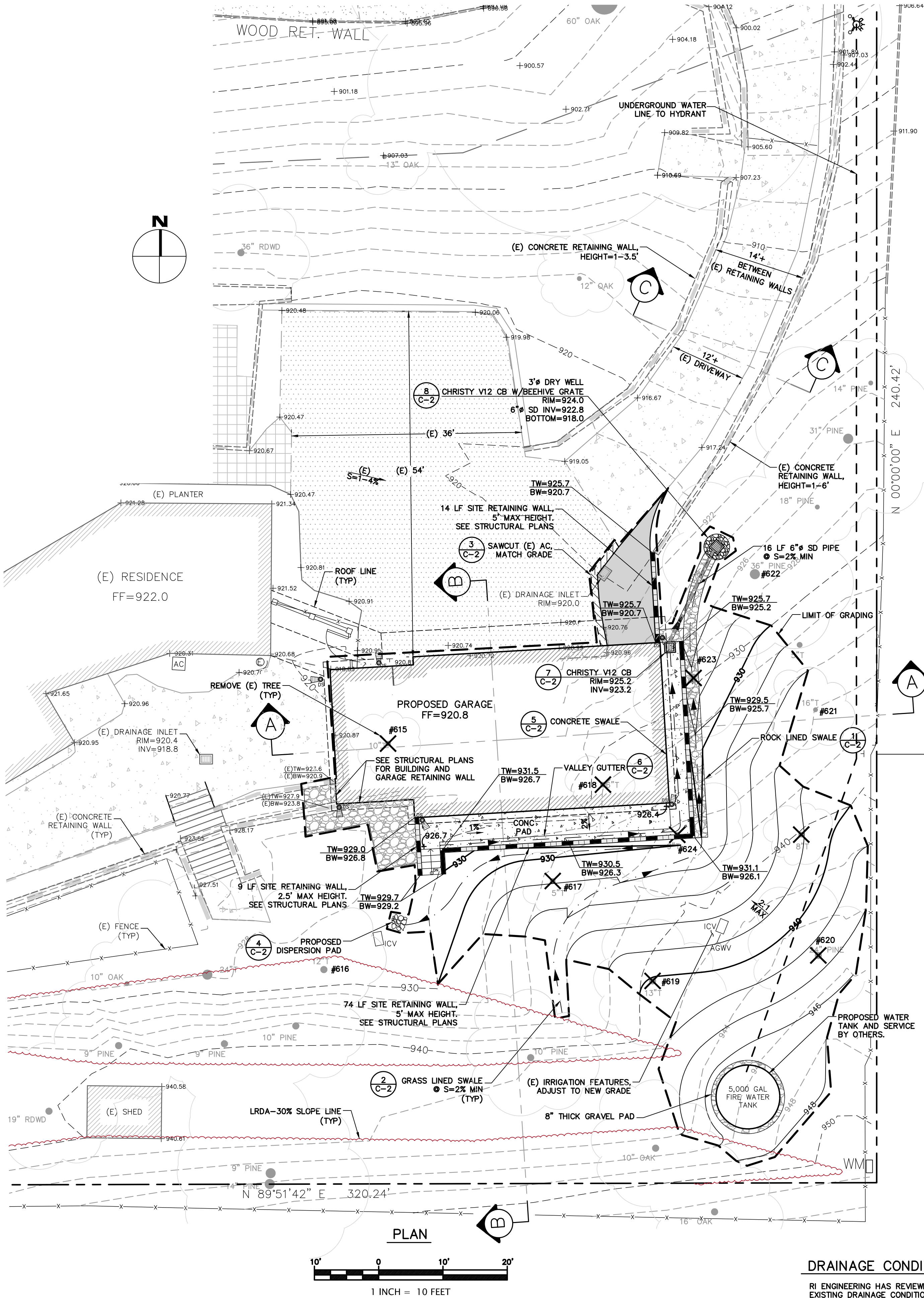
ITEM	INTERVAL	INSPECTION	REPAIR
SWALES	ANNUAL	1. WASHOUTS 2. MISPLACED ROCK 3. ACCUMULATION OF TRASH & DEBRIS	1. REPLACE TRANSPORTED ROCK 2. REMOVE TRASH & DEBRIS

STORM DRAIN SYSTEM MAINTENANCE

THE HOME OWNER IS RESPONSIBLE FOR MAINTAINING THE STORM DRAINAGE SYSTEM AND ALL COMPONENTS. EVERY YEAR, PRIOR TO THE WET WEATHER SEASON (OCTOBER 15TH) ALL THE CATCH BASINS AND STORM DRAIN CLEANOUTS SHALL BE INSPECTED AND CLEANED OF ANY DEBRIS, SILT, TRASH AND SEDIMENT.

STORM DRAINAGE NOTES

1. DISCHARGE ALL DOWNSPOUTS ONTO SPLASH BLOCKS.



DRAINAGE CONDITIONS AND NOTES

RI ENGINEERING HAS REVIEWED THE EXISTING AND PROPOSED DRAINAGE PATTERS. EXISTING DRAINAGE CONDITIONS WILL REMAIN UNCHANGED. THE PROPERTY IS LOCATED WITHIN THE TOWN OF LOS GATOS HILLSIDE AREA AND SUBJECT TO HILLSIDE DEVELOPMENT STANDARDS AND GUIDELINES.

THE EXISTING STORMWATER RUNOFF LEAVING THE PROPERTY TRAVELS NORTH & NORTHWEST, OVERLAND THROUGH HEAVILY VEGETATED LANDS WHILE MAINTAINING HARMONY WITH THE NATURAL SETTINGS AS REQUIRED BY THE HILLSIDE STANDARDS. RUNOFF FROM THE PROPERTY FLOWS TOWARDS ROSS CREEK WHICH RUNS APPROXIMATELY 1,500 NORTH EAST OF THE PROPERTY. NO FORESEEN ADVERSE IMPACT TO THE PUBLIC RIGHT OF WAY OR NEIGHBORING PROPERTIES IS ANTICIPATED.

THE PROJECT WILL RESULT IN 2,232 SF OF NEW AND/OR REPLACED IMPERVIOUS AREA. THE INCREASE IN STORMWATER RUNOFF WILL BE MITIGATED BY DISCHARGING DOWNSPOUTS ONTO SPLASH BLOCKS AND INFILTRATED IN EXISTING VEGETATED AREAS.

TOPOGRAPHIC SURVEY

THE TOPOGRAPHIC SURVEY AND BOUNDARY INFORMATION PROVIDED HEREON WAS COMPLETED BY CARNES & ASSOCIATES. RI ENGINEERING INC. MAKES NO GUARANTEE AS TO THE ACCURACY OF BOTH. THE CONTRACTOR SHALL VERIFY THE BOUNDARY LOCATION AND TOPOGRAPHIC INFORMATION PRIOR TO COMMENCING WORK.

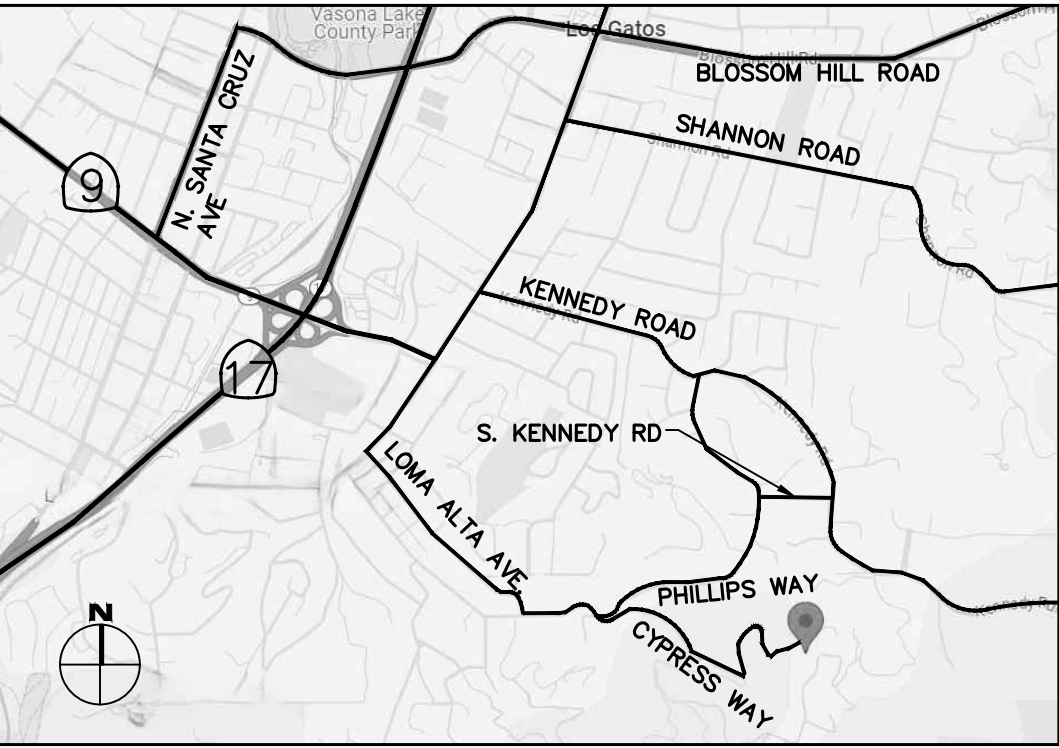
**BASIS OF BEARINGS**

THE BEARINGS ON THIS MAP ARE BASED ON THE 1.457' & AND THE 1.254 ACRE PARCELS AS FOUND MONUMENTED AND RECORDED AS NORTH IN BOOK 57 OF MAPS AT PAGE 56, RECORDS OF SANTA CLARA COUNTY, CALIFORNIA.

**BASIS OF ELEVATION**

THE ON-SITE BENCHMARK FOR THIS PROJECT IS A 600 NAIL. ELEVATION 938.00 FEET (ASSUMED)

PLANNING SUBMITTAL



VICINITY MAP  
NTS

ABBREVIATIONS

BW	BOTTOM OF WALL
CONC	CONCRETE
DI	DRAINAGE INLET
DIA.	DIAMETER
DS	DOWNSPOUT
(E)	EXISTING
EL	ELEVATION
FF	FINISH FLOOR
FS	FINISH GRADE
HP	HIGH POINT
INV	INVERT
LF	LINEAR FEET
MAX	MAXIMUM
N.T.S.	NOT TO SCALE
RW	RETAINING WALL
RIM	RIM ELEVATION
S	SLOPE
SSCO	SANITARY SEWER CLEANOUT
TYP	TYPICAL
TW	TOP OF WALL
WS	WATER SERVICE

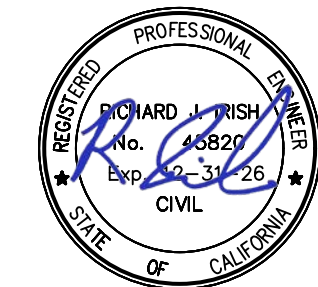
LEGEND

	(E) AC
	(E) CONCRETE
	(E) TILE PAVING
	PROPOSED AC
	PROPOSED CONCRETE
	PROPOSED GRAVEL
	MAJOR (E) GRADE CONTOUR LINES
	(E) RETAINING WALL
	(E) BUILDING TO REMAIN
	LEAST RESTRICTIVE DEVELOPMENT AREA (LRDA)
	TREE TO REMAIN
	TREE TO BE REMOVED
	TREE NUMBER ASSIGNED BY ARBORIST
	PROPERTY LINE
	PROPOSED LIMIT OF GRADING
	PROPOSED RETAINING WALL
	PROPOSED SAWCUT
	PROPOSED GRASS SWALE
	PROPOSED ROCK SWALE
	MAJOR (E) GRADE CONTOUR LINES
	PROPOSED SD

APPROXIMATE EARTHWORK QUANTITIES

SITE ELEMENT	EARTHWORK (CY)		MAX CUT/FILL DEPTH (FT)		(CY)	
	CUT	FILL	CUT	FILL	IMPORT	EXPORT
LANDSCAPE	236	0	7	-	0	236
MISC. HARDSCAPE	57	0	11	-	0	57
GARAGE	122	0	13.5	-	0	122
TOTAL	415	0			0	415

\*LANDSCAPE INCLUDES GRADING SOUTH OF GARAGE.  
\*MISC. HARDSCAPE INCLUDES CONCRETE PAD AND RETAINING WALL GRADING.



02/13/2025



RI Engineering, Inc.

303 Potrero St., Suite 42-202, Santa Cruz, CA 95060  
831-425-3901 www.riengineering.com

GARAGE ADDITION & BREEZEWAY REPLACEMENT

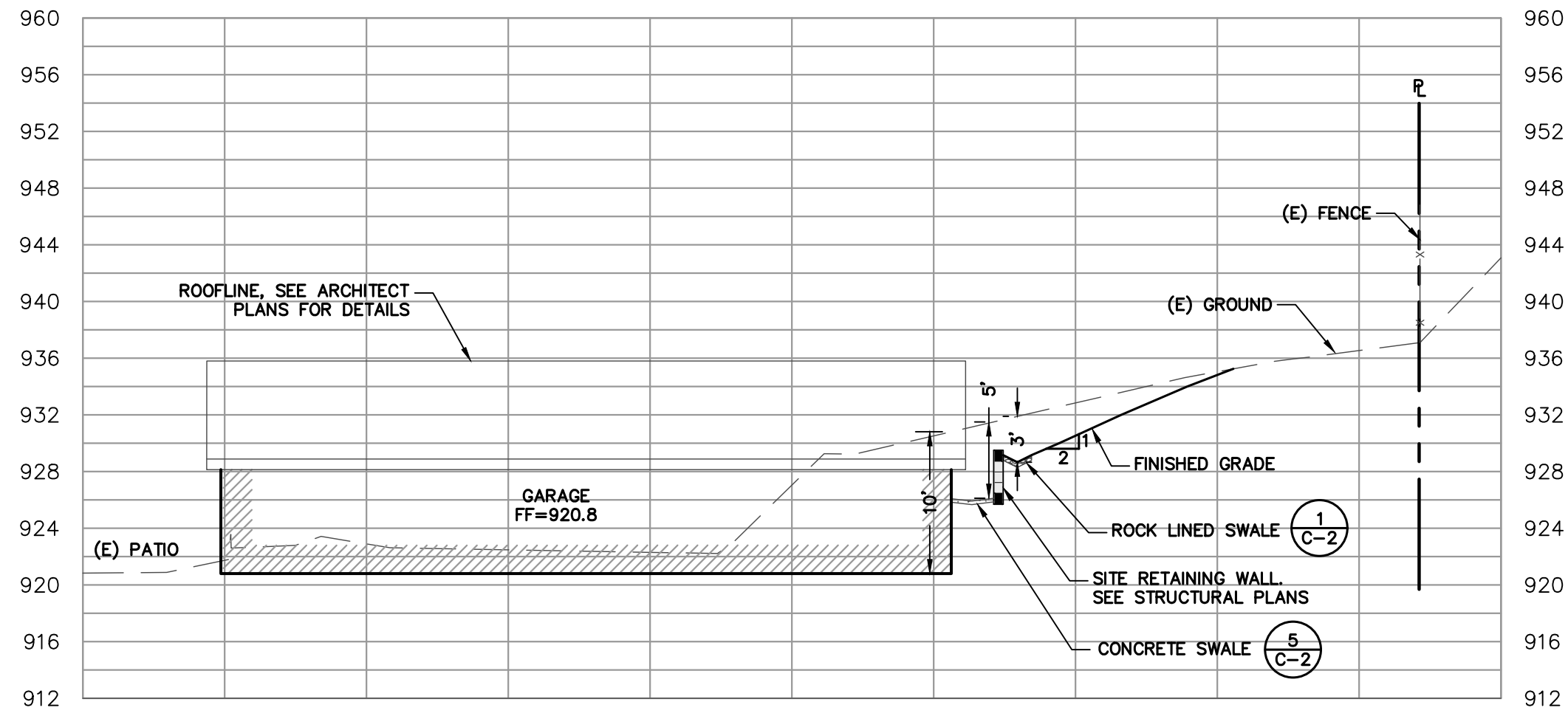
FOR  
SCOTT & JACKIE KOLANDER  
16511 CYPRESS WAY  
TOWN OF LOS GATOS  
APN: 532-24-004

GRADING & DRAINAGE PLAN

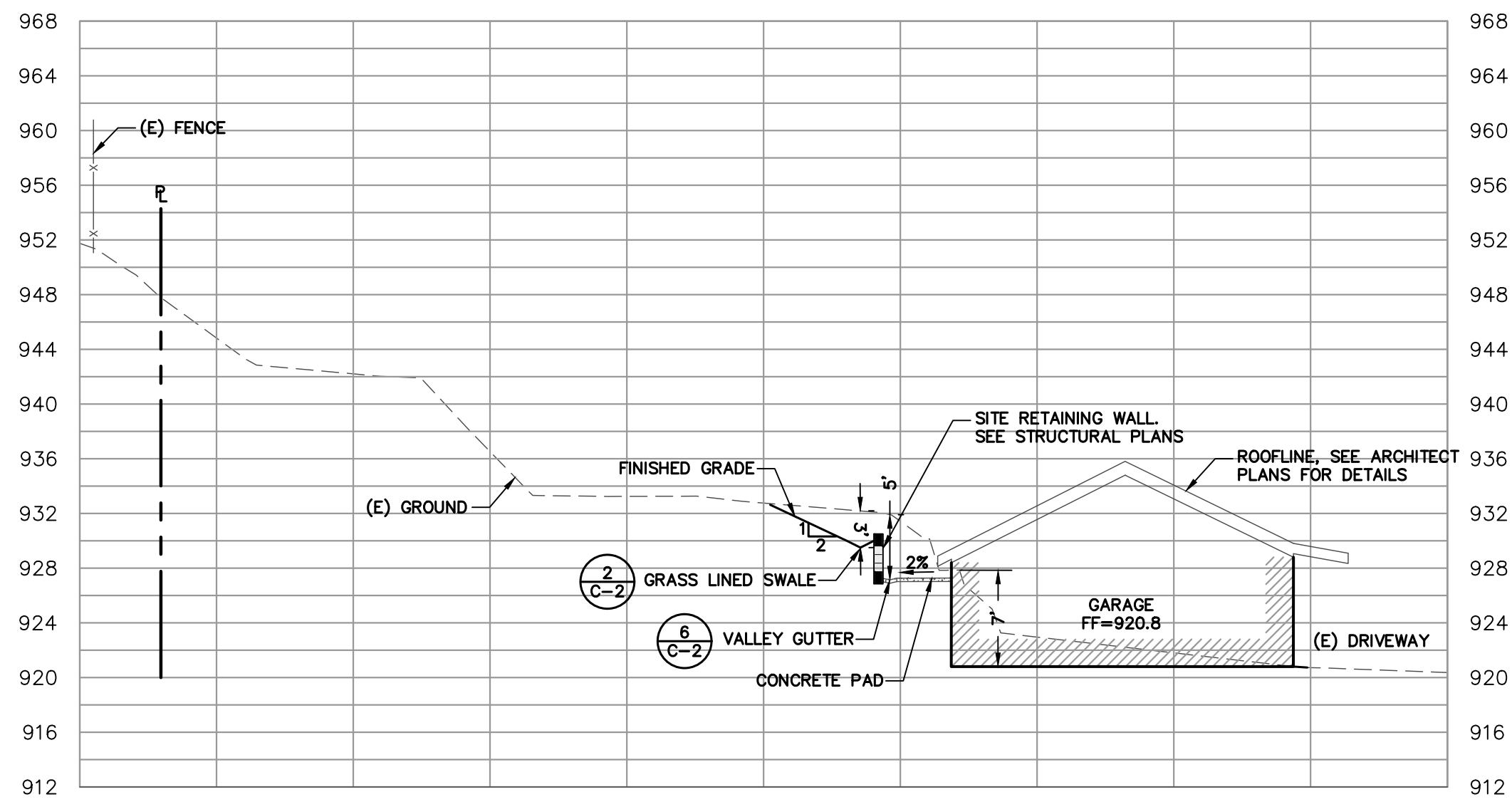
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FEBRUARY 2025  
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C-1

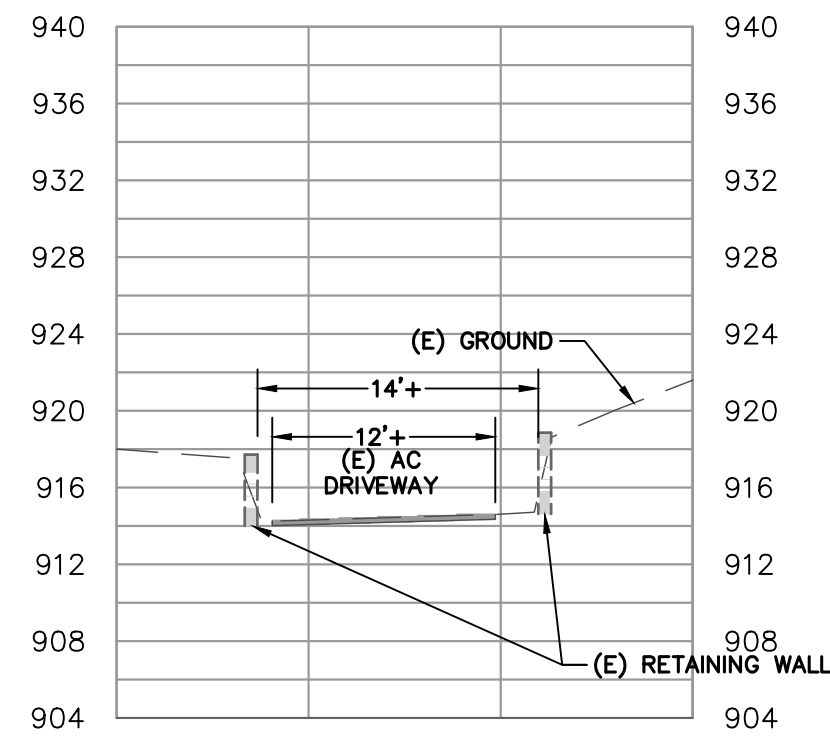




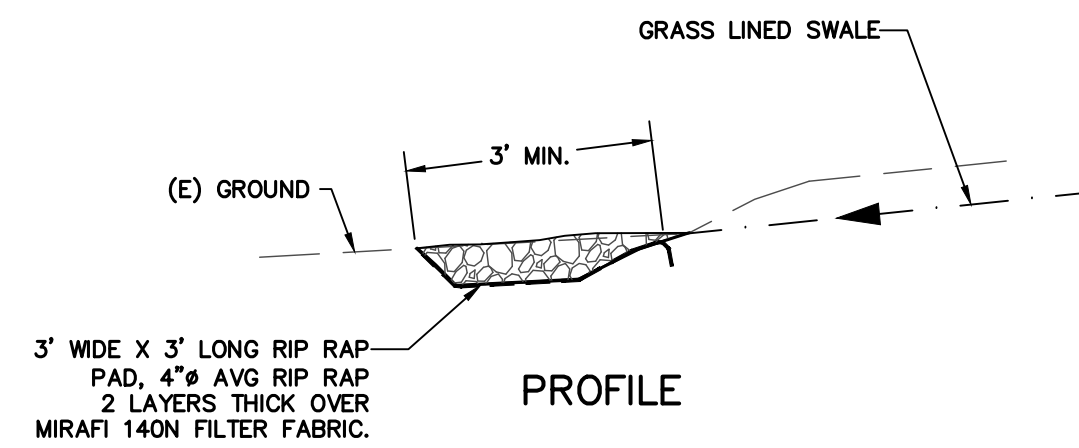
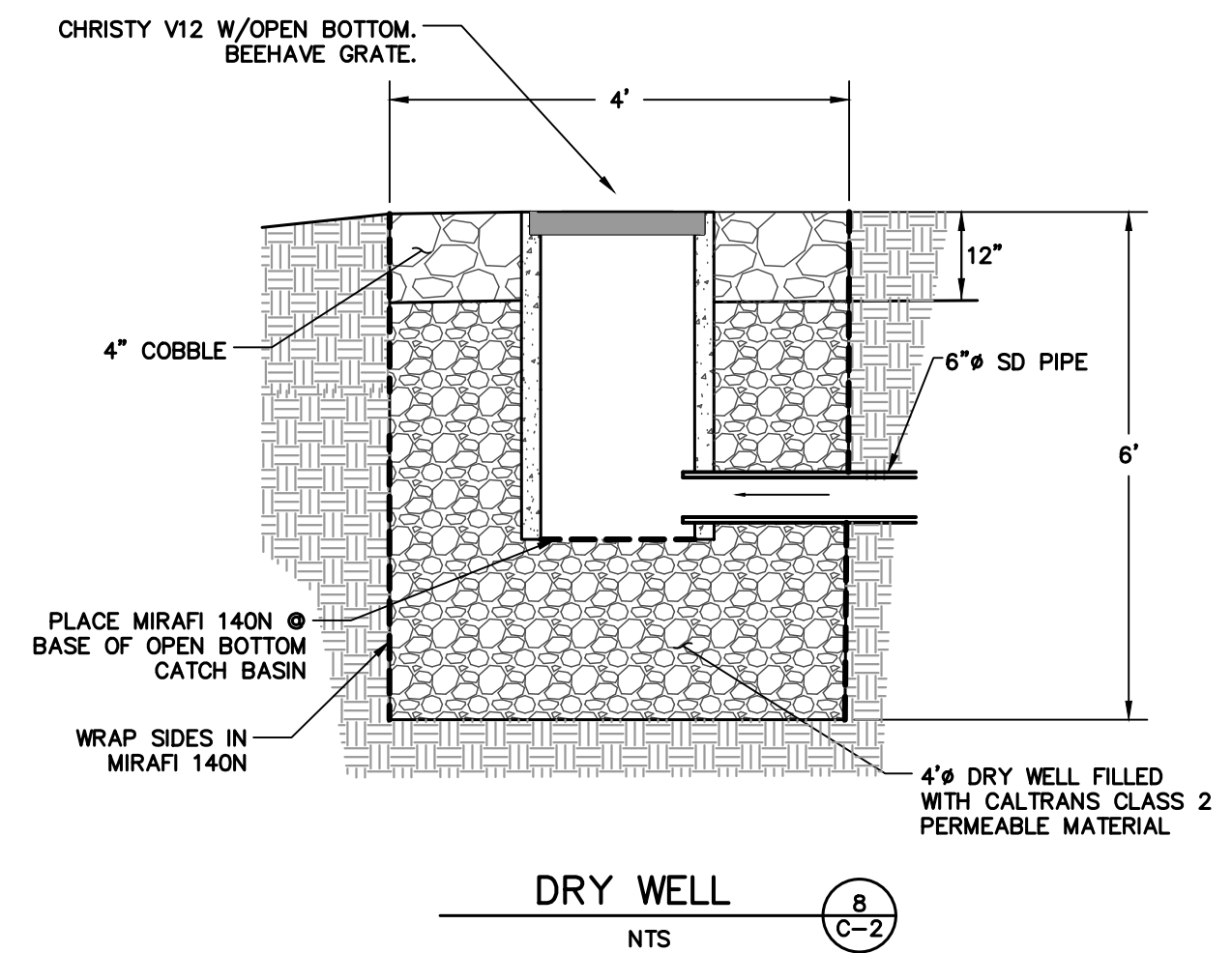
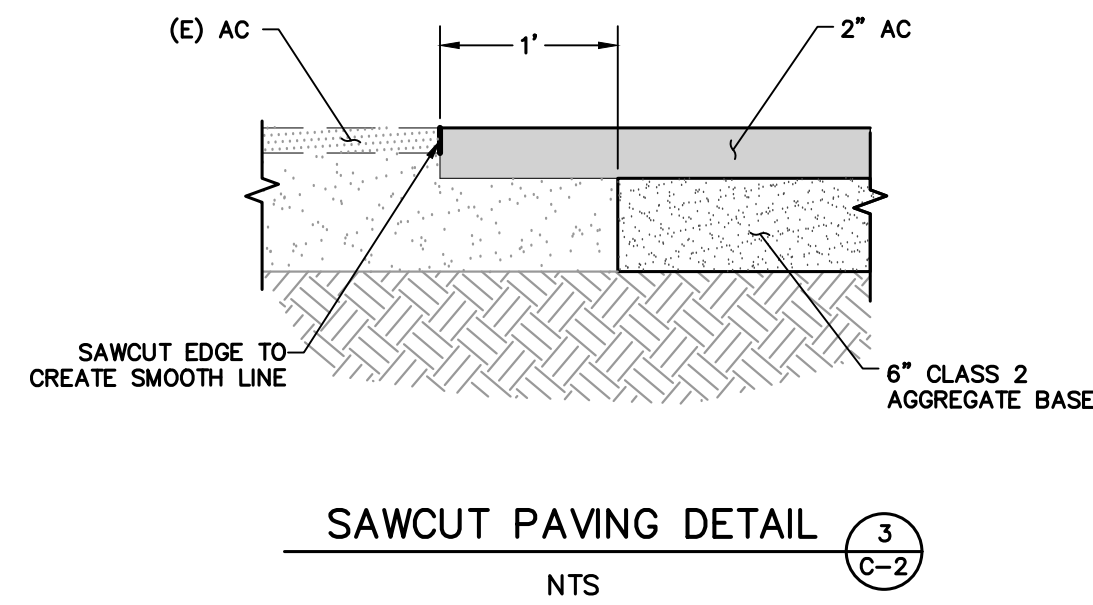
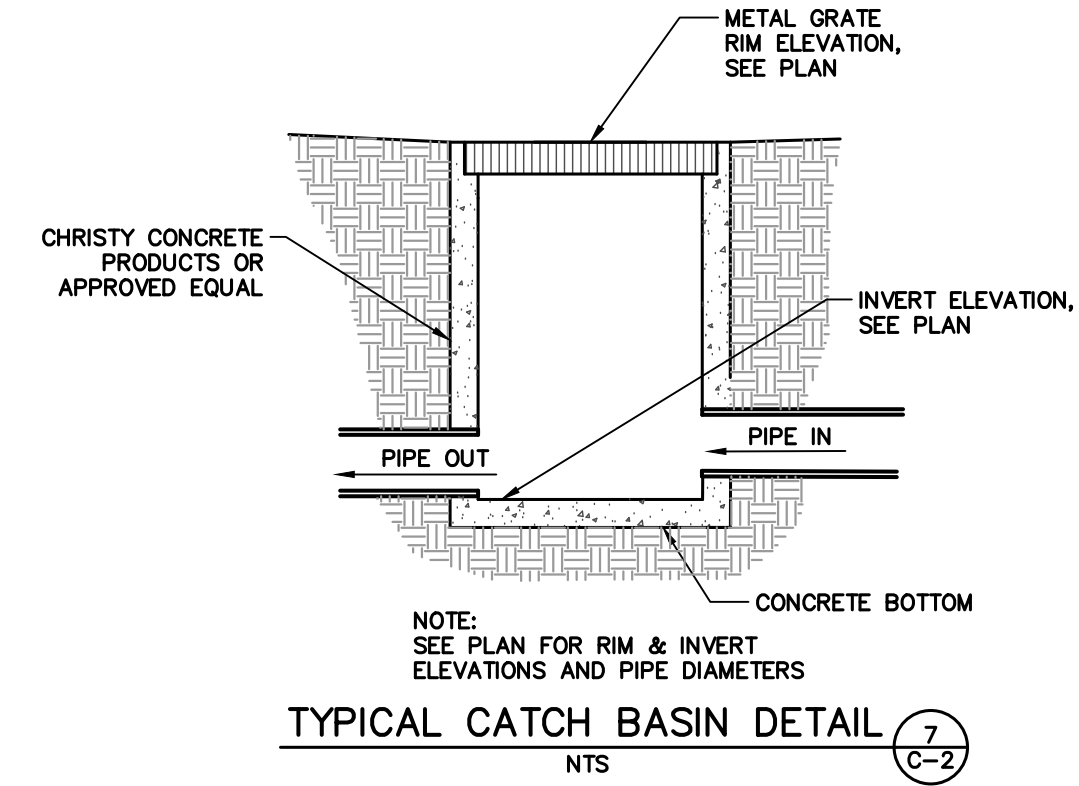
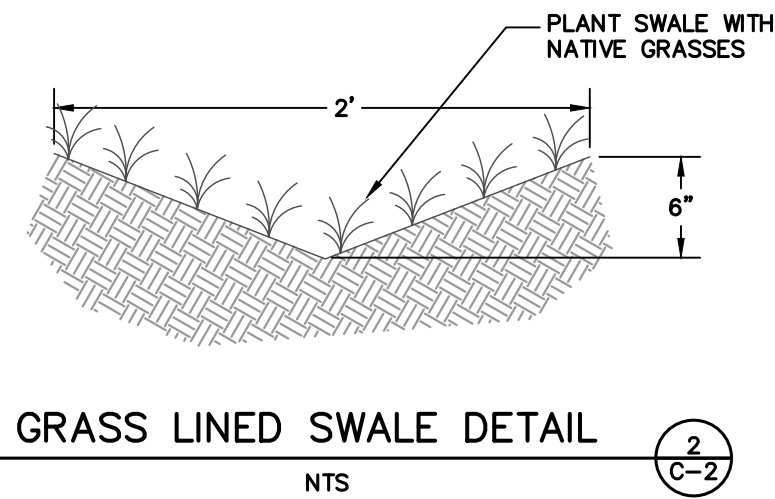
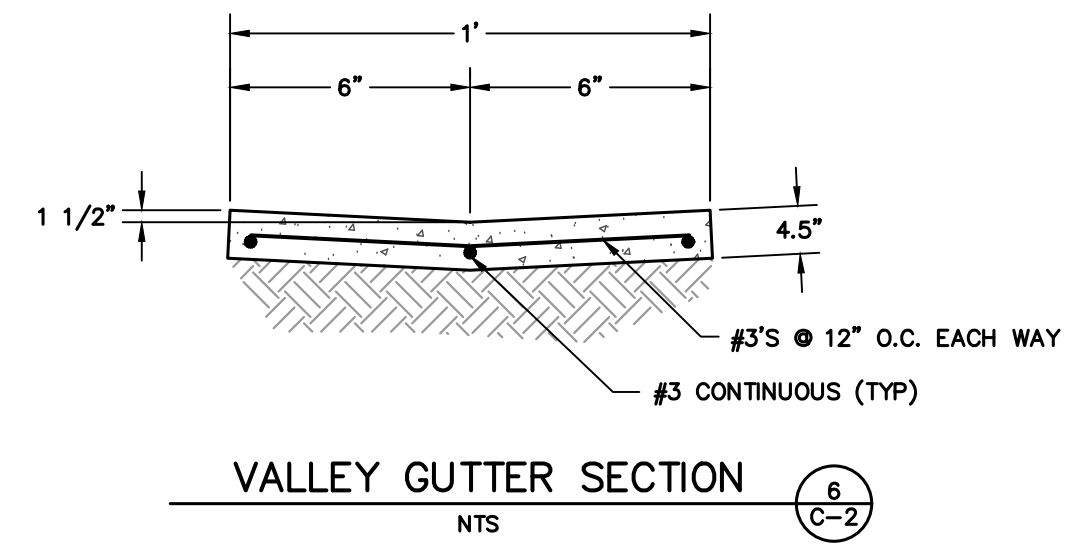
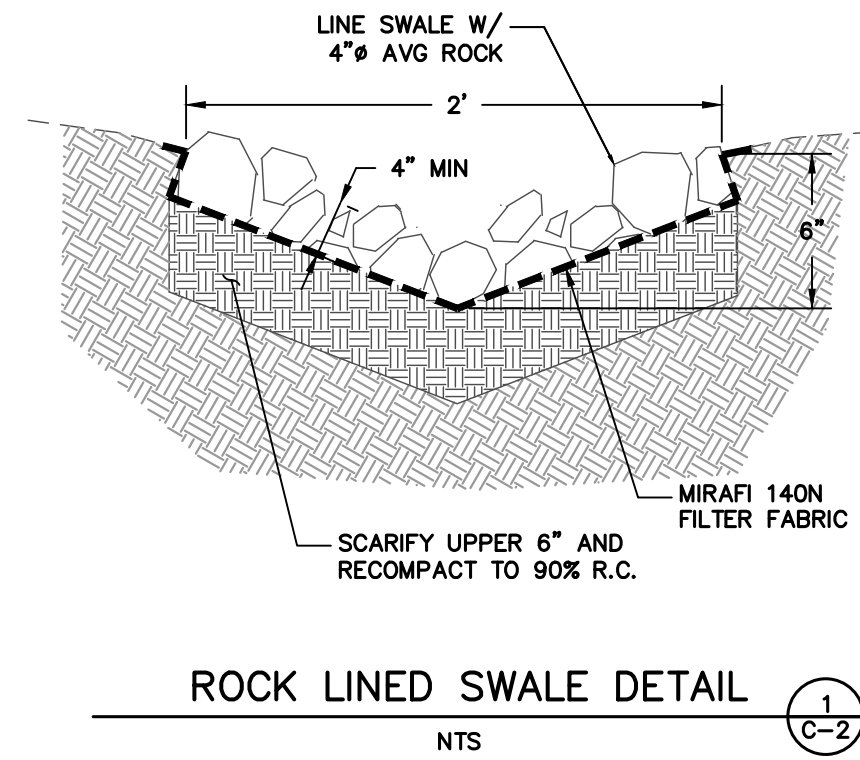
SECTION A-A  
SCALE: 1"=10' HORIZONTAL, VERTICAL



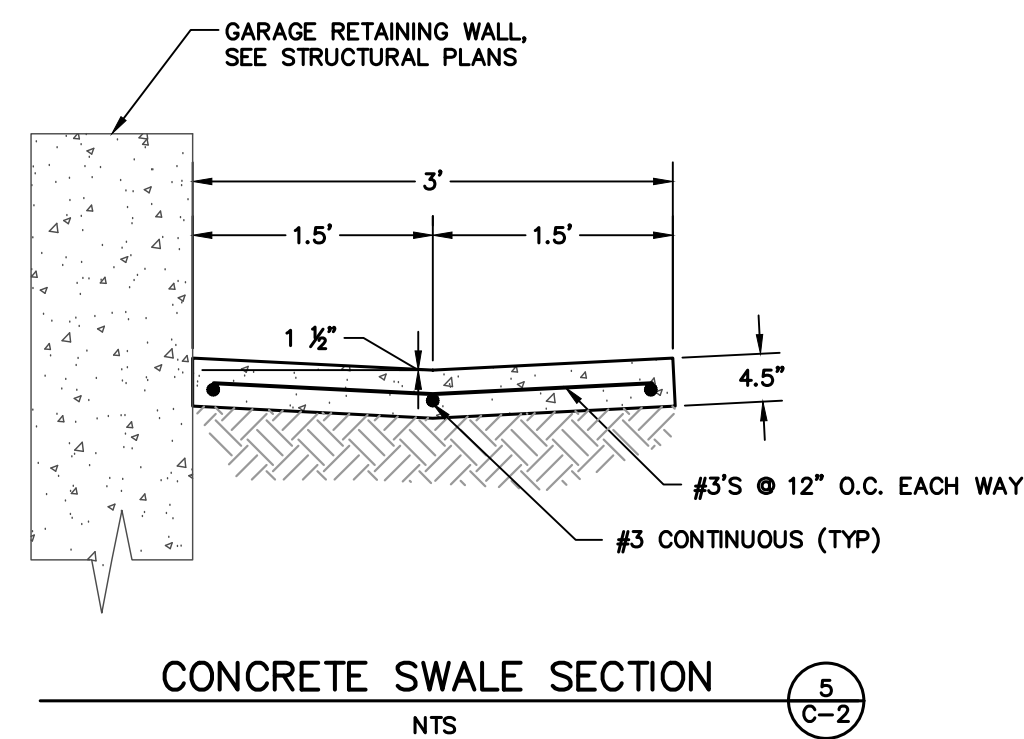
SECTION B-B  
SCALE: 1"=10' HORIZONTAL, VERTICAL



SECTION C-C  
SCALE: 1"=10' HORIZONTAL, VERTICAL

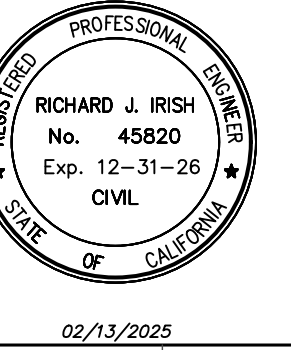


DISPERSION PAD DETAIL (4 C-2)  
NTS



TOWN OF LOS GATOS REVIEW COMMENTS, 9/25/2024

TOWN OF LOS GATOS REVIEW COMMENTS, 11/13/2024



RI Engineering, Inc.

303 Potrero St., Suite 42-202, Santa Cruz, CA 95060  
831-425-3901 www.riengineering.com

GARAGE ADDITION & BREEZEWAY REPLACEMENT

FOR SCOTT & JACKIE KOLANDER  
16511 CYPRESS WAY  
TOWN OF LOS GATOS  
APN: 532-24-004

DETAILS

project no.  
24-033-1

date  
FEBRUARY 2025

scale  
AS SHOWN

dwg name  
CIVIL3.dwg

C-2



TOTAL AREA OF DISTURBANCE = 0.11 ACRES  
= 4,680 SF

SITE HOUSEKEEPING REQUIREMENTS

CONSTRUCTION MATERIALS

1. ALL LOOSE STOCKPILED CONSTRUCTION MATERIALS THAT ARE NOT ACTIVELY BEING USED (I.E. SOIL, SPILLS, AGGREGATE, FLY-ASH, STUCCO, HYDRATED LIME, ETC.) SHALL BE COVERED AND BERMED.
2. ALL CHEMICALS SHALL BE STORED IN WATERTIGHT CONTAINERS (WITH APPROPRIATE SECONDARY CONTAINMENT TO PREVENT ANY SPILLAGE OR LEAKAGE) OR IN A STORAGE SHED (COMPLETELY ENCLOSED).
3. EXPOSURE OF CONSTRUCTION MATERIALS TO PRECIPITATION SHALL BE MINIMIZED. THIS DOES NOT INCLUDE MATERIALS AND EQUIPMENT THAT ARE DESIGNED TO BE OUTDOORS AND EXPOSED TO ENVIRONMENTAL CONDITIONS (I.E. POLES, EQUIPMENT PADS, CABINETS, CONDUCTORS, INSULATORS, BRICKS, ETC.).
4. BEST MANAGEMENT PRACTICES TO PREVENT THE OFF-SITE TRACKING OF LOOSE CONSTRUCTION AND LANDSCAPE MATERIALS SHALL BE IMPLEMENTED.

LANDSCAPE MATERIALS

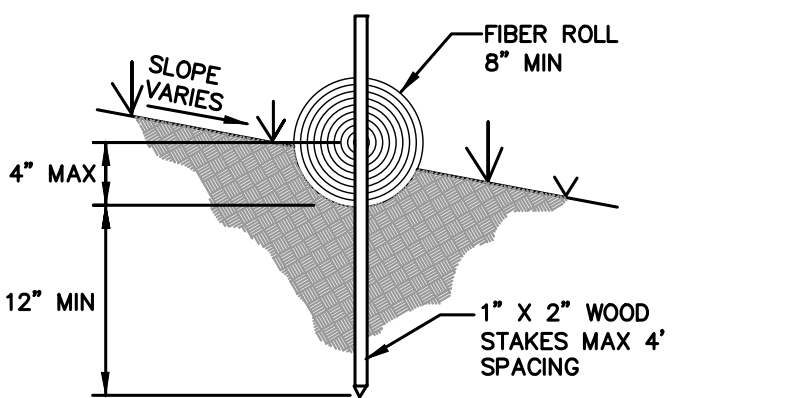
1. CONTAIN STOCKPILED MATERIALS SUCH AS MULCHES AND TOPSOIL WHEN THEY ARE NOT ACTIVELY BEING USED.
2. CONTAIN FERTILIZERS AND OTHER LANDSCAPE MATERIALS WHEN THEY ARE NOT ACTIVELY BEING USED.
3. DISCONTINUE THE APPLICATION OF ANY ERODABLE LANDSCAPE MATERIAL WITHIN 2 DAYS BEFORE A FORECASTED RAIN EVENT OR DURING PERIOD OF PRECIPITATION.
4. APPLY ERODABLE LANDSCAPE MATERIAL AT QUANTITIES AND APPLICATION RATES ACCORDING TO MANUFACTURE RECOMMENDATIONS OR BASED ON WRITTEN SPECIFICATIONS BY KNOWLEDGEABLE AND EXPERIENCED FIELD PERSONNEL.
5. STACK ERODABLE LANDSCAPE MATERIAL ON PALLETS AND COVERING OR STORING SUCH MATERIALS WHEN NOT BEING USED OR APPLIED.

VEHICLE STORAGE AND MAINTENANCE

1. MEASURES SHALL BE TAKEN TO PREVENT OIL, GREASE, OR FUEL TO LEAK IN TO THE GROUND, STORM DRAINS OR SURFACES WATERS.
2. ALL EQUIPMENT OR VEHICLES, WHICH ARE TO BE FUELED, MAINTAINED AND STORED ON-SITE SHALL BE IN A DESIGNATED AREA FITTED WITH APPROPRIATE BMP'S.
3. LEAKS SHALL BE IMMEDIATELY CLEANED AND LEAKED MATERIALS SHALL BE DISPOSED OF PROPERLY.

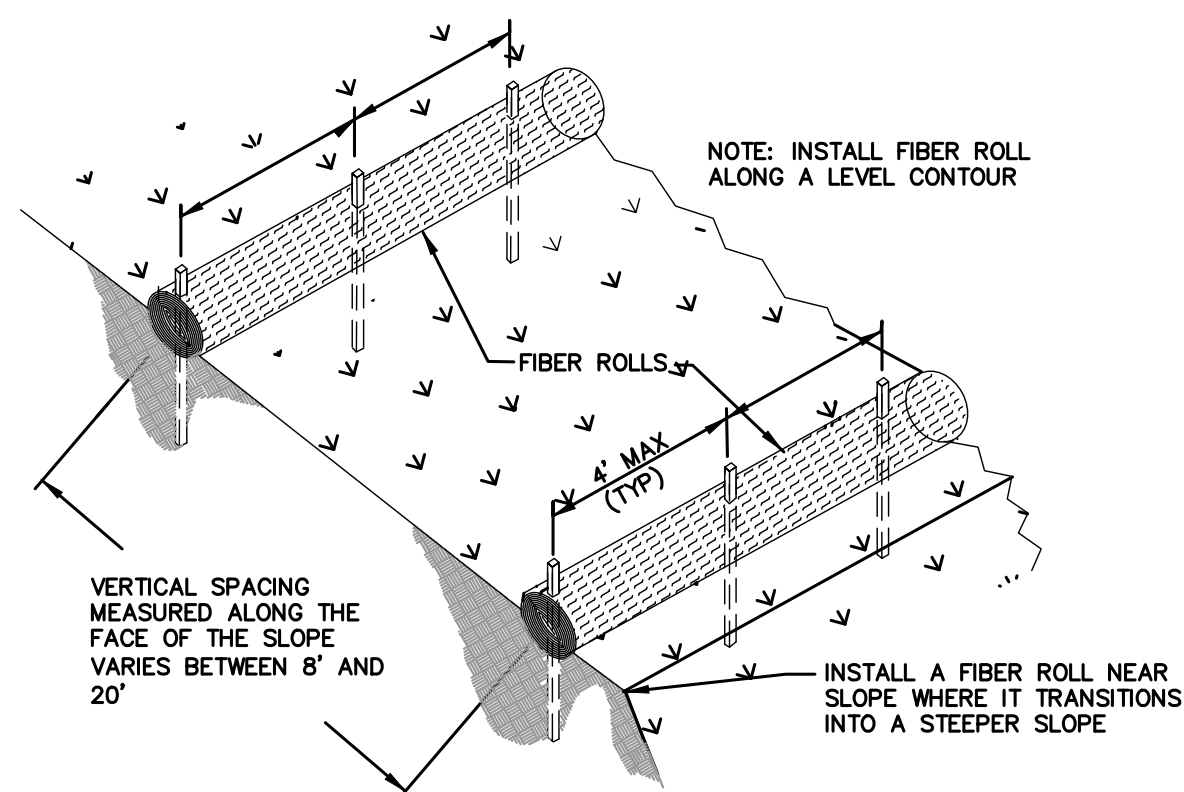
WASTE MANAGEMENT

1. DISPOSAL OF ANY RINSE OR WASH WATERS OR MATERIALS ON IMPERVIOUS OR PERVIOUS SITE SURFACES OR INTO THE STORM DRAIN SYSTEM SHALL BE PREVENTED.
2. SANITATION FACILITIES SHALL BE CONTAINED (E.G., PORTABLE TOILETS) TO PREVENT DISCHARGES OF POLLUTANTS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER, AND SHALL BE LOCATED A MINIMUM OF 20 FEET AWAY FROM ANY INLET, STREET OR DRIVEWAY, STREAM, RIPARIAN AREA OR OTHER DRAINAGE FACILITY.
3. SANITATION FACILITIES SHALL BE INSPECTED REGULARLY FOR LEAKS AND SPILLS AND CLEANED OR REPLACED AS NECESSARY.
4. COVER WASTE DISPOSAL CONTAINERS AT THE END OF EVERY BUSINESS DAY AND DURING A RAIN EVENT.
5. DISCHARGES FROM WASTE DISPOSAL CONTAINERS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER SHALL BE PREVENTED.
6. STOCKPILED WASTE MATERIAL SHALL BE CONTAINED AND SECURELY PROTECTED FROM WIND AND RAIN AT ALL TIMES UNLESS ACTIVELY BEING USED.
7. PROCEDURES THAT EFFECTIVELY ADDRESS HAZARDOUS AND NON-HAZARDOUS SPILLS SHALL BE IMPLEMENTED.
8. EQUIPMENT AND MATERIALS FOR CLEANUP OF SPILLS SHALL BE AVAILABLE ON-SITE AND THAT SPILLS AND LEAKS SHALL BE CLEANED UP IMMEDIATELY AND DISPOSED OF PROPERLY; AND
9. CONCRETE WASHOUT AREAS AND OTHER WASHOUT AREAS THAT MAY CONTAIN ADDITIONAL POLLUTANTS SHALL BE CONTAINED SO THERE IS NO DISCHARGE INTO THE UNDERLYING SOIL AND ONTO THE SURROUNDING AREAS.



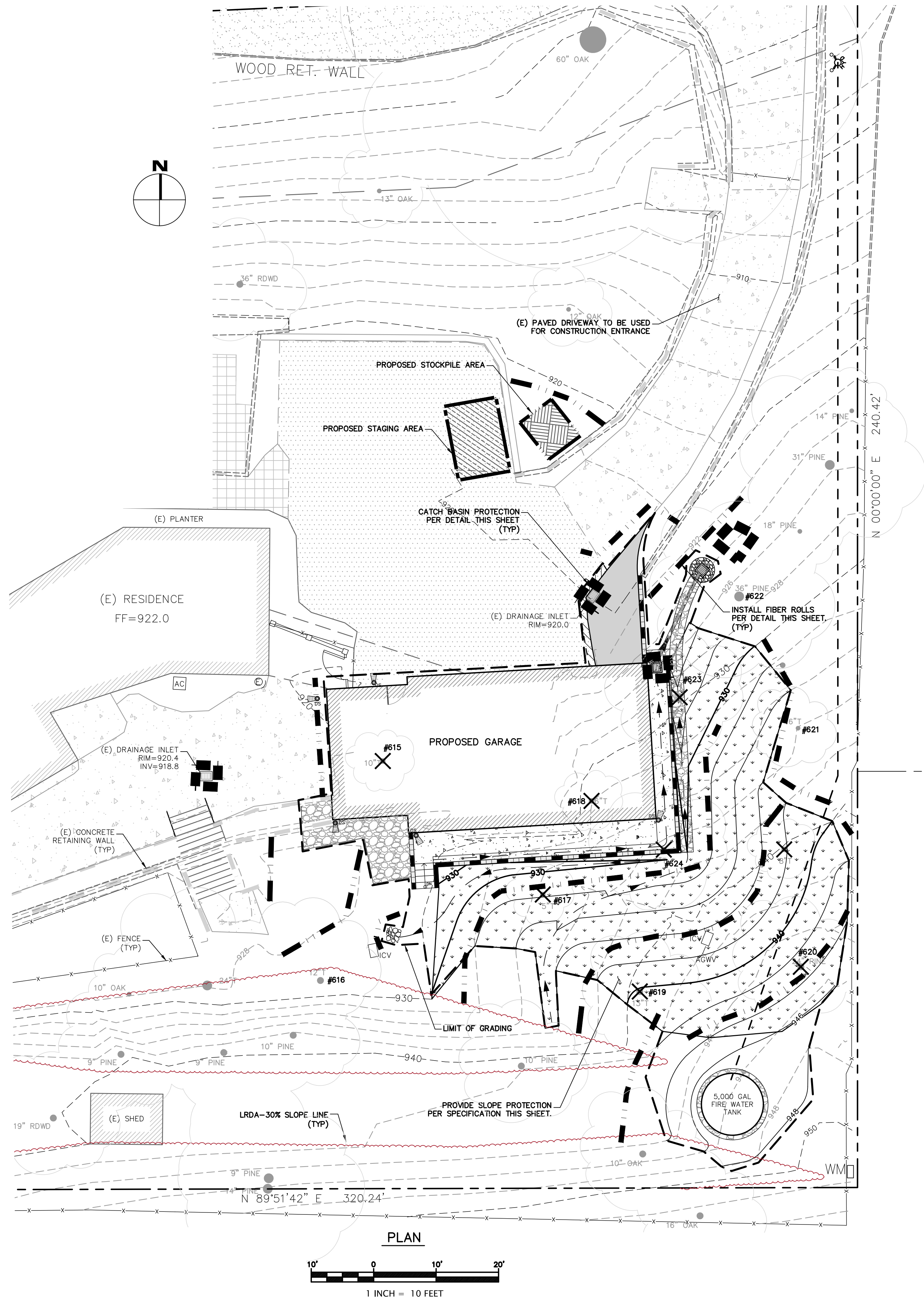
FIBER ROLL DETAIL IN SLOPE AREA

NTS

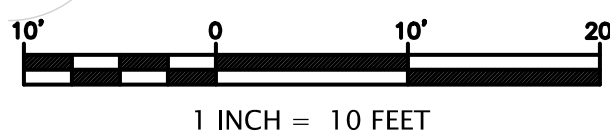


TYPICAL FIBER ROLL INSTALLATION

NTS



PLAN



EROSION CONTROL MEASURES

1. EROSION IS TO BE CONTROLLED AT ALL TIMES ALTHOUGH SPECIFIC MEASURES SHOWN ARE TO BE IMPLEMENTED AT A MINIMUM BY OCTOBER 15.
2. UNLESS SPECIFIC MEASURES ARE SHOWN OR NOTED ON THIS PLAN, ALL COLLECTED RUNOFF SHALL BE CARRIED TO DRAINAGE COURSES IN LINED CONDUITS. DISCHARGE SHALL BE IN THE LOCATIONS SHOWN ON THE PLANS.
3. THE DESIRED END RESULT OF THESE MEASURES IS TO CONTROL SITE EROSION AND PREVENT SEDIMENT TRANSPORT OFF THE SITE. IT SHALL BE THE DEVELOPER'S RESPONSIBILITY TO SEE THAT ANY ADDITIONAL MEASURES NECESSARY TO MEET THIS GOAL ARE IMPLEMENTED. IF FAILED INSPECTIONS BY COUNTY STAFF SHOW THIS GOAL IS NOT BEING MET, ADDITIONAL MEASURES MAY BE REQUIRED.
4. ALL DISTURBED AREAS NOT CURRENTLY BEING USED FOR CONSTRUCTION SHALL BE SEED WITH THE FOLLOWING SEED MIXTURE:  
WINTER BARLEY 25#/ACRE
5. AFTER SEEDING, STRAW MULCH WILL BE APPLIED IN 4" (AVG.) LAYERS.
6. AMMONIUM PHOSPHATE FERTILIZER, 6-3-3, SHALL BE APPLIED AT A RATE OF 30 LBS PER ACRE ON SLOPES GREATER THAN 20%. EROSION CONTROL BLANKET (NORTH AMERICAN GREEN) SHALL BE APPLIED.
7. SILT BARRIERS SHALL BE PLACED END TO END AND STAKED DOWN ALONG THE BOTTOM OF ALL GRADED SLOPES.

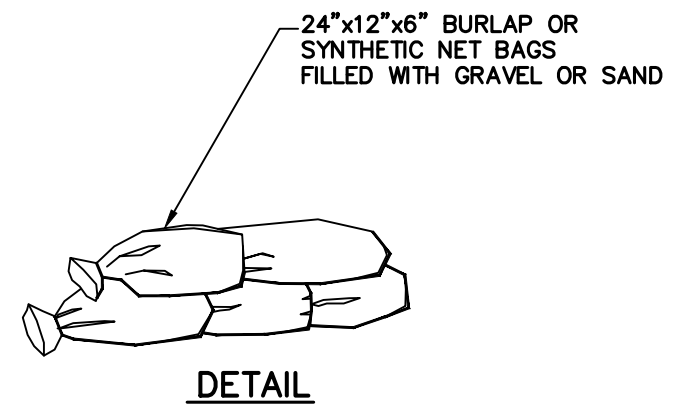
ALL EROSION CONTROL MEASURES INCLUDING BUT NOT LIMITED TO SILT FENCES, FIBER ROLLS AND SLOPE PROTECTION SHALL BE IN PLACE BY OCTOBER 15TH. THE ENGINEER OF RECORD SHALL INSPECT ONCE EROSION CONTROL MEASURES HAVE BEEN INSTALLED.

EXPOSED SLOPE MEASURES

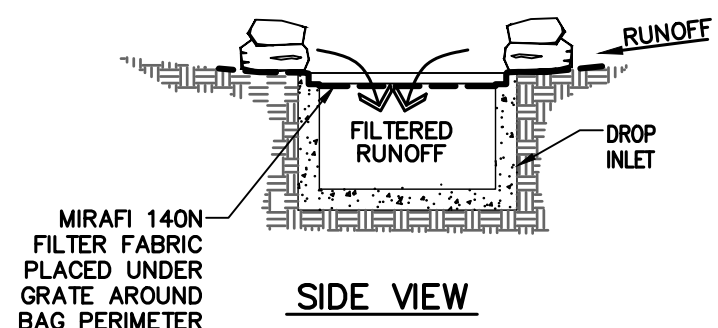
1. COVER ALL EXPOSED SLOPES
2. STRAW 2 TONS/ACRE ON SLOPES  $\leq$  20% WITH SOIL BINDER
3. USE NORTH AMERICAN GREEN C125 OR EQUAL ON SLOPES  $>$ 20%.

EROSION CONTROL LEGEND

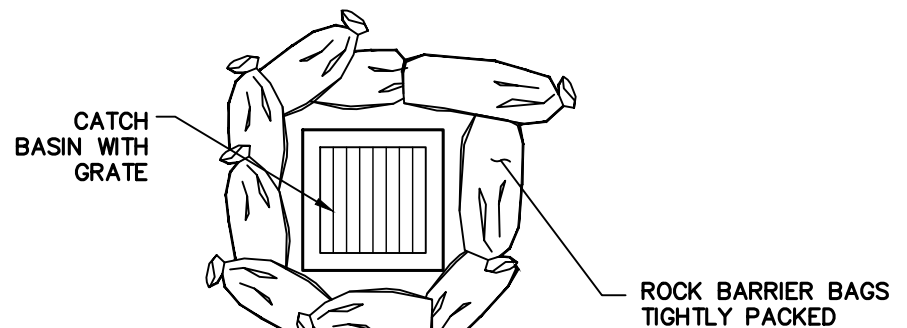
- INSTALL FIBER ROLL PER DETAILS THIS SHEET
- INSTALL CATCH BASIN PROTECTION PER DETAIL THIS SHEET
- PROPOSED SLOPE PROTECTION
- PROPOSED STOCKPILE AREA
- PROPOSED STAGING AREA



DETAIL



SIDE VIEW



PLAN VIEW

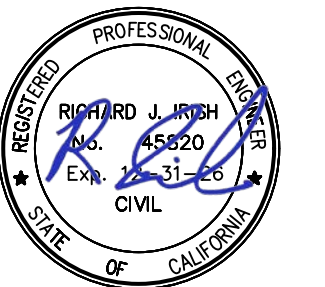
GRAVEL BAG CATCH BASIN PROTECTION

NTS

PLANNING SUBMITTAL

TOWN OF LOS GATOS REVIEW COMMENTS, 9/25/2024

TOWN OF LOS GATOS REVIEW COMMENTS, 11/13/2024



02/13/2025



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GARAGE ADDITION & BREEZEWAY REPLACEMENT

FOR  
SCOTT & JACKIE KOLANDER  
16511 CYPRESS WAY  
TOWN OF LOS GATOS  
APN: 532-24-004

STORMWATER POLLUTION  
CONTROL PLAN

project no.  
24-033-1  
date  
FEBRUARY 2025  
scale  
AS SHOWN  
dwg name  
CIVIL3.dwg

C-3