



**TOWN OF LOS GATOS
PLANNING COMMISSION
REPORT**

MEETING DATE: 08/27/2025

ITEM NO: 2

DATE: August 22, 2025
TO: Planning Commission
FROM: Joel Paulson, Community Development Director
SUBJECT: Consider a Request for Approval to Modify Planned Development Ordinance 2025 to Allow Modifications to Building E; an Architecture and Site Application for Exterior Modifications to an Existing Commercial Building in the University/Edelen Historic District; and a Conditional Use Permit for Formula Retail Over 10,000 Square Feet and for a Restaurant with Alcohol Service on Property Zoned C-2:LHP:PD. **Located at 31 University Avenue.** APN 529-02-044. Planned Development Modification Application PD-25-001, Architecture and Site Application S-25-004 and Conditional Use Permit Application U-25-001. Categorically Exempt Pursuant to CEQA Guidelines Sections 15301: Existing Facilities. Property Owner: SRI Old Town, LLC. Applicant: Rick Nelson MBH Architects. Project Planner: Erin Walters.

RECOMMENDATION:

Forward a recommendation of denial to the Town Council for a request to modify Planned Development Ordinance 2025 to allow modifications to Building E; an Architecture and Site application for exterior modifications to an existing commercial building in the University/Edelen Historic District; and a Conditional Use Permit for formula retail over 10,000 square feet and for a restaurant with alcohol service on property zoned C-2:LHP:PD, located at 31 University Avenue.

PROJECT DATA:

General Plan Designation: Central Business District
Current Zoning Designation: Central Business District with a Landmark and Historic Preservation Overlay, C-2:LHP:PD
Applicable Plans and Standards: General Plan; Commercial Design Guidelines; and Planned Development Ordinance 2025
Parcel Size: 4.18 acres (182,080 square feet)
Surrounding Area:

PREPARED BY: Erin M. Walters
Senior Planner

Reviewed by: Planning Manager, Community Development Director, and Town Attorney

	Existing Land Use	General Plan	Zoning
North	Commercial	Central Business District	C-2:LHP
South	Commercial	Central Business District	C-2:LHP:PD
East	Commercial	Central Business District	C-2:LHP:PD
West	Parking Lot	Central Business District	C-2:LHP

CEQA:

The project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15301: Existing Facilities. No significant effect on the environment will occur since the project uses an existing structure with no increase in floor area.

FINDINGS:

- The project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15301: Existing Facilities.
- As required by Section 29.80.095 of the Town Code for granting approval of a Planned Development Overlay Zone.
- That the amendment to the Planned Development Overlay Zone is consistent with the General Plan.
- As required by Section 29.20.190 (a) of the Town Code for granting a Conditional Use Permit.
- As required by Section 29.20.190 (b) of the Town Code for approving a Conditional Use Permit for a formal retail business greater than ten thousand (10,000) square feet.
- The project meets the objective standards of Chapter 29 of the Town Code (Zoning Regulations).
- As required by Section 29.80.290 (2) of the Town Code for approving applications in historic districts.
- As required for compliance with the Commercial Design Guidelines.

CONSIDERATIONS:

- As required by Section 29.20.150 of the Town Code for granting approval of an Architecture and Site application.

ACTION:

Forward a recommendation to the Town Council.

BACKGROUND:

The subject property is located on the west side of University Avenue at the intersection of Elm Street and University Avenue (Exhibit 1). The subject of this application is one of the Old Town commercial center buildings, referred to as Building E in the adopted Planned Development (PD) Ordinance 2025 (Exhibit 3). Building E consists of a 15,957-square foot vacant tenant space, which was previously demised into two separate units:

- A 7,233 square foot restaurant space formerly occupied by Steamer's restaurant.
- An 8,724 square foot retail space formerly occupied by The Gap, a clothing retail store.

In December 1996, the Town Council adopted PD Ordinance 2025, amending the zoning ordinance effecting a zone change from C-2:LHP to C-2:LHP:PD at 50 University Avenue, Old Town commercial center (Exhibit 3). PD Ordinance 2025 authorized the redevelopment of Old Town, including the construction of several new buildings, among them Building E. The construction of Building E was completed in 1999.

In January 2023, the clothing retail store, The Gap, ceased operations, and the restaurant, Steamer's, closed in December 2024. Both tenant spaces in Building E have remained vacant since their respective closures.

In January 2025, the applicant, RH (Restoration Hardware), applied for a modification to the existing PD Ordinance to allow modifications to Building E, an Architecture and Site application for exterior modifications to the existing commercial building, and a Conditional Use Permit (CUP) for a formula retail use over 10,000 square feet with a restaurant use with alcohol service.

The Old Town Commercial Center is located within the University-Edelen Historic District, and any exterior modifications to buildings with the district are subject to review by the Historic Preservation Committee (HPC).

On February 26, 2025, the HPC reviewed the proposed exterior modifications to Building E, continued the item for further consideration, and provided feedback to the applicant's team (Exhibits 7, 8, 9, and 10).

On March 26, 2025, the HPC reconsidered the item, and made a recommendation of denial to the Planning Commission (Exhibits 11, 12, 13, and 14).

The proposed project includes a request for a PD Amendment and therefore requires a recommendation from the Planning Commission, with the final decision to be made by the Town Council. The application also requires Planning Commission consideration and recommendation, with the Town Council serving as the final decision-making body for the Architecture and Site, CUP, and PD Amendment applications. The applicant has provided a

Project Description and Letter of Justification (Exhibit 15), and proposed Development Plans (Exhibit 20).

PROJECT DESCRIPTION:

A. Location and Surrounding Neighborhood

The subject property is located on the west side of University Avenue (Exhibit 1) and is developed as one of the Old Town commercial center buildings. The subject vacant 15,957-square foot tenant space was formerly two tenant spaces, a restaurant space formerly occupied by Steamer's, and a retail store space formerly occupied by The Gap, located on the ground floor in the northern building (Building E) adjacent to the corner of University Avenue and Elm Street. The property abuts commercial properties to the north, east, and south and a parking lot to the west.

B. Project Summary

The applicant is requesting approval for a modification to the existing PD Ordinance to allow modifications to Building E, an Architecture and Site application for exterior modifications to the existing commercial building, and a CUP for a formula retail use over 10,000 square feet with a restaurant with alcohol service in an existing tenant space. The proposed project occupies existing tenant spaces. No additional square footage is proposed.

When reviewing a CUP, the deciding body should consider the information in the applicant's business plan; however, the key consideration should be the proposed use since the business plan can change from owner to owner. The CUP runs with the land, and the deciding body should review the application based on the use described in the recommended Conditions of Approval (Exhibit 6) as opposed to the applicant's business plan.

C. Zoning Compliance

The C-2 zone permits formula retail businesses exceeding 10,000 square feet and restaurant uses with alcohol service, subject to approval of a CUP. The proposed project includes a request to modify the existing PD Ordinance to allow exterior modifications to Building E. The project meets the parking and height requirements outlined in the Town Code.

DISCUSSION:

A. Planned Development Amendment

The applicant is requesting approval to modify PD Ordinance 2025. In December 1996, the Town Council adopted PD Ordinance 2025 Performance Measures and Standards #15 b, c, and d, which governs the subject building, Building E, as part of the Old Town commercial center (Exhibit 3). The applicant requests an amendment to PD Ordinance 2025, removing the requirements that Building E be modified as follows (Exhibit 4):

- Design structure so that it appears to be a collective of individual structures that abut each other.
- The roof design shall be reflective of the individual structures (break-up rooflines).
- Corner tower shall be redesigned into a clipped corner design.

The applicants requests these change to allow for a more cohesive and contextually appropriate façade. The subject building's façade currently appears as three distinct structures. The applicant states, "the styles represented by the existing façade largely do not correspond to the architectural character of the University-Edelen Historic District, which includes the contributing styles of Mission Revival, Mediterranean, Craftsman, and Victorian."

The applicants proposes a unified Mediterranean-style design of the façade that reflects the proportions, window styles, and architectural details seen in the Old Town commercial center. The applicant believes the proposed design will create a more balanced and harmonious look that better fits Old Town and the University-Edelen Historic District (Exhibit 12 and 20).

B. Architecture and Site Analysis

The project proposes exterior modifications to Building E to establish a cohesive Mediterranean-style architectural character for a new single-tenant occupancy (Exhibit 20). The scope of work includes updates to all four building elevations for overall design consistency and visual appeal. Proposed exterior modifications include:

- Roof alterations to create symmetrical and consistent massing;
- Integration of arched and rectangular window and door openings;
- Installation of new fabric awnings and metal/glass canopy awnings;
- Addition of a new central pyramidal skylight; and
- Application of new stucco siding.

The existing one-story, 15,957-square foot commercial building will maintain its current footprint, with no increase in floor area. The overall building height would be slightly

reduced from 27 feet, four inches to 26 feet, eight inches, within the 45-foot height limit permitted in the C-2 zoning district.

The project retains the building's existing structural system and introduces a new multi-coat cement plaster exterior finish, accented with decorative steel and aluminum architectural elements. Architectural aluminum windows are proposed along all elevations.

The design incorporates step-backs at the ground level along the street-facing facades, alternating rectangular and semicircular fenestration, and introduces a varied parapet line at the roof. The proposed windows have deep recesses creating shadow lines and the design includes louvered and fabric awnings which add texture and depth to the new façade. The project proposes a centrally located restaurant, which will be illuminated by the new pyramidal skylight, bringing natural light into the interior space.

The proposed project is within the C-2A subdistrict of the Commercial Design Guidelines, which specifies site development and building design guidelines for projects within its boundaries. The proposed building remodel is consistent with the applicable provisions of the Commercial Design Guidelines as the project emphasizes display windows and storefront entries, maintains transparent storefronts and public right-of-way walls, utilizes high-quality store front materials, and uses awnings.

The applicant has provided a Project Description and Letter of Justification (Exhibit 15) discussing the proposed project in the context of the historic district, the Commercial Design Guidelines, and proposed Development Plans providing details of the proposed exterior work (Exhibit 20).

C. Historic Preservation Committee

The Old Town commercial center is located in the University-Edelen Historic District. Although the subject building was constructed in 1999, any exterior modifications to buildings within the district are subject to review by the HPC. Newer buildings support the district, although are not included as Contributors to the district.

Pursuant to Town Code Section 29.80.290 (2), in evaluating applications, the HPC considered the architectural style, design, arrangement, texture, materials and color, and any other pertinent factors. Applications shall not be granted unless:

In historic districts, the proposed work will neither adversely affect the exterior architectural characteristics or other features of the property which is the subject of the application, nor adversely affect its relationship, in terms of harmony and appropriateness, with its surroundings, including neighboring structures, nor adversely affect the character, or the historical, architectural or aesthetic interest or value of the district and its site.

On February 26, 2025, the HPC reviewed the proposed exterior modifications to Building E, continued the item for further consideration, and provided the following feedback to the applicant's team (Exhibits 7, 8, 9 and 10):

- Although the proposed design is a Mediterranean style, it is not as compatible with the existing Old Town buildings; it is not consistent with the Planned Development; or the character of the University/Edelen Historic District;
- The design should convey a collective of individual structures rather than one consistent and symmetrical massing;
- Consider the addition of tile roofing material; and
- Consider the impact of the skylight from all elevations.

On March 26, 2025, the HPC reconsidered the continued item. The applicant considered the Committee's direction from the February 26, 2025, meeting and decided not to modify the proposed exterior modifications and provided a response letter (Attachment 6 of Exhibit 12).

In the response letter the applicant thanked the HPC and stated "after careful consideration, we have chosen to maintain our current design. When developing our Proposal, we closely studied the existing Mediterranean components of the building and the Old Town Shopping Center, its proportions, window types and architectural details. We also considered the buildings immediately adjacent and incorporated their unified design into our building, both in color and articulation, with the goal of creating a harmonious façade design that assimilates into, rather than competes with the larger Historic District. At RH, we strive to obtain balance, symmetry and perfect proportions with our architectural approach and believe our design does exactly that. With respect, we would like to maintain our Proposal."

The Committee made a motion to recommend denial and has forwarded this recommendation to the Planning Commission for consideration. In support of its decision, the Committee cited the same feedback provided at the February 26, 2025 meeting, along with the subtle design changes discussed at the March 26, 2025 meeting, such as revisions to paint, lighting, materials, trees, landscaping, roof color, and other elements, to better achieve the appearance of a collection of individual structures (Exhibits 11, 12, 13 and 14).

Audio recordings of the HPC meetings held on February 26, 2025, and March 26, 2025, are available on the Town of Los Gatos website: <https://losgatos-ca.municodemeetings.com/>

D. Conditional Use Permit

The proposed project requires a Conditional Use Permit (CUP) application for a formula retail establishment exceeding 10,000 square feet, which will include the sale of home furnishings, interior design services, and an integrated restaurant. The restaurant

component will offer on-site alcohol service and is designed to complement the retail experience within the same space.

Town Code Section 29.10.020 defines formula retail business as a retail business which, along with 11 or more other business locations, is required by contractual or other arrangement to maintain any of the following: standardized merchandise, services, decor, uniforms, architecture, colors, signs, or other similar features.

The proposed business operates 60 retail locations in the United States, including 15 in California. Additionally, RH has five retail locations in Europe and four in Canada. The applicant has provided a Project Description and Letter of Justification (Exhibit 15), and Development Plans (Exhibit 21). Hours of operation are included in the recommended Conditions of Approval (Exhibit 6)

E. Conditional Use Findings

Pursuant to Town Code Section 20.20.109(a), the deciding body, on the basis of evidence submitted at the hearing, may grant a conditional Use permit when specifically authorized by the provisions of this chapter if it finds that:

1. The proposed uses of the property are essential to the public convenience or welfare;
2. The proposed uses will not impair the existing uses of the zone;
3. The proposed uses would not be detrimental to the public health, safety or general welfare; and
4. The proposed uses of the property are in harmony with the various elements or objectives of the General Plan and the purposes of this chapter.

The applicant has provided the following justifications as found in the Project Description and Letter of Justification, Exhibit 15.

In regard to the first finding, the proposed use would be considered desirable to the public convenience or welfare in that the “proposed uses provide for a bespoke dining and shopping experience which will be desirable to both residents and visitors as a destination within Los Gatos. Further, the proposed project will be an addition to an existing RH gallery at 26 N Santa Cruz Ave, which has been an integral part of the Los Gatos community for over 10 years.”

As required by finding two, the proposed application would not impair the integrity and character of the zone “it is a commercial use located in a commercial zone. Further, the Proposed Project is consistent with the Commercial Design Guidelines for C-2A zones and as a non-contributing structure within a historic preservation district. The Proposed Project maintains the existing building’s massing and density, reimagines the existing façade variation, and maintains the pedestrian pass-through along the southern wall”.

In regard to the third finding, the proposed use would not be detrimental to public health, safety, or general welfare as “the proposed uses, formula retail use and restaurant use with the selling of alcoholic beverages for consumption on-premises, represent no change from the current uses of the most recent tenants at the existing building (Gap and Steamer’s), and would not be detrimental to public health, safety, and general welfare.

In regard to the final finding, the proposed use meets the objectives of the General Plan and Town Code as “they contribute to the variety of commercial uses in the Central Business District and meet the goals and policies of the 2040 General Plan (2020 Land Use and Community Development Elements).”

Pursuant to Town Code Section 29.20.190 (b), the deciding body, on the basis of the evidence submitted at the hearing, may deny a conditional use permit for a formula retail business greater than ten thousand (10,000) square feet if any of the following findings are made:

1. The proposed use of the property is not in harmony with specific provisions or objectives of the General Plan and the purposes of this chapter;
2. The proposed use will detract from the existing balance and diversity of business in the commercial district in which the use is proposed to be located;
3. The proposed use would create an over-concentration of similar types of businesses, or
4. The proposed use will detract from the existing land use mix and high urban design standards including uses that promote continuous pedestrian circulation and economic vitality.

In regard to the first finding, the proposed use of the property is in harmony with specific provisions or objectives of the General Plan and the purposes of Chapter 29 of the Town Code. As required by finding two, the proposed use will not detract from the existing balance and diversity of business in the commercial district in which the use is proposed to be located. In regard to the third finding, the proposed use would not create an over-concentration of similar types of businesses. In regard to the final finding, the proposed use will not detract from the existing land use mix and high urban design standards including uses that promote continuous pedestrian circulation and economic vitality.

F. Parking

The tenant spaces were previously a restaurant use (7,233 sf) and a retail use (8,724 sf) with a parking requirement of one space for every 300 square feet of floor area, or 54 spaces. The proposed use requires the same number of parking spaces as the existing tenant spaces will be merged. The site is part of the Old Town commercial center, which provides parking through 215 spaces onsite and 464 spaces in the Parking Assessment

District (PAD). Based on an analysis of the existing uses in the Old Town commercial center, the proposed use would not require any additional parking and would be accommodated through the spaces located onsite and in the PAD.

G. Traffic and Sidewalk Improvements

In 2018, the Town's Traffic Impact Fee Policy was modified to address changes in use within existing shopping centers. Changes in use are considered a continuation of the previously applied shopping center rate. No additional fees will be charged as the use from an ITE perspective will remain the same. Since no additional square footage is proposed for the project, no traffic study or traffic mitigation fee is required for the CUP.

The proposed project reconfigures a portion of the sidewalk to align with the proposed building façade entrances, the draft Conditions of Approval require the applicant to replace the sidewalk, curb, gutter and curb ramp on the east and north side of the project site and provide dedication of a new sidewalk easement (Exhibit 5).

H. Trees

The Town's Consulting Arborist provided a peer review report of the applicant's arborist report (Exhibits 16 and 17). There are 12 protected trees on this site. Two of the protected trees are recommended for removal as they conflict with the sidewalk reconfiguration. The sidewalk along University Avenue will be removed and replaced and the location of the two tree wells and Tree #11 (three-inch diameter, Crape myrtle) and #12 (seven-inch diameter, Coast live oak) will be removed. A 24-inch box Coast live oak will be planted in a new tree well for symmetry. Tree protection recommendations and replacement requirements are contained in the Conditions of Approval (Exhibit 5).

I. General Plan

The 2020 General Plan Land Use designation for the site is Central Business District. The proposed formula retail/restaurant use is consistent and meets the Central Business District requirements for the property with the approval of a CUP. A formula retail/restaurant space would support the mixture of community-oriented commercial goods, services, and lodging unique to the Central Business District and would maintain the small-town character of the downtown area.

In addition to maintaining neighborhood quality, the 2020 General Plan Land Use Element focuses on maintaining a "full-service" Town that provides a range of goods and services that support economic vitality, while limiting adverse impacts on the quality of life of all the residents.

The applicable goals and policies of the 2040 General Plan (2020 Land Use Element and 2020 Community Design Element) include, but are not limited to:

- Policy LU-1.4: Infill projects shall be designed in context with the neighborhood and surrounding zoning with respect to the existing scale and character of surrounding structures, and should blend rather than compete with the established character of the area;
- Policy LU-1.8: Commercial development of any type (office, retail, research and development, etc.) shall be designed in keeping with the small-town character of Los Gatos;
- Goal LU-9: To provide residents with adequate commercial and industrial services;
- Policy LU-9.2: Maintain a variety of commercial uses, including a strong Downtown commercial area combined with Los Gatos Boulevard and strong neighborhood commercial centers to meet the shopping needs of residents and to preserve the smalltown atmosphere;
- Goal CD-1: Preserve and enhance Los Gatos's character through exceptional community design;
- Goal CD-9: To preserve the character of Downtown Los Gatos and the quality of life for its citizens through high quality building design;
- Policy CD-9.1: Exterior building materials in the Central Business District should be consistent with those used in existing, tastefully executed surrounding buildings;
- Goal CD-10: To maintain the historic character of the Downtown; and
- Policy CD-10.1: Encourage the preservation, restoration, rehabilitation, reuse, and maintenance of existing buildings Downtown.

PUBLIC COMMENTS:

Story poles and signage were installed on the site and written notice was sent to property owners and tenants within 300 feet of the subject property.

The applicant provided a summary of their neighborhood outreach efforts in Exhibit 20. Staff has included all public comments received by 11:00 a.m., Friday, August 22, 2025, as Exhibit 21.

ENVIRONMENTAL REVIEW:

The project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15301: Existing Facilities. No significant effect on the environment will occur since the project uses an existing structure with no increase in floor area.

CONCLUSION:

A. Summary

The applicant is requesting approval of a modification to the existing PD Ordinance (2025) to allow modifications to Building E, and an Architecture and Site application for exterior modifications to the existing one-story commercial building located in the Old Town commercial center within the University-Edelen Historic District. In addition, the applicant is requesting approval of a Conditional Use Permit application to allow for formula retail use over 10,000 square feet (home furnishings store) with a restaurant use with alcohol service in the C-2:LHP zone. On March 26, 2025, the Historic Preservation Committee reviewed the proposed exterior modifications and forwarded a recommendation of denial to the Planning Commission as they were not able to make the findings for approving applications in historic districts.

B. Recommendation

Based on the analysis above, staff recommends that the Planning Commission forward a recommendation of denial of the proposed project application to the Town.

C. Alternatives

Alternatively, the Commission can:

1. Forward a recommendation of approval of the applications to the Town Council with the following findings:
 - a. Find the proposed project is Categorically Exempt pursuant to the adopted Guidelines for the implementation of the California Environmental Quality Act, Section 15301 (Exhibit 2);
 - b. Make the findings required by Section 29.80.095 of the Town Code for granting approval of the Planned Development Ordinance (Exhibit 2);
 - c. Make the required findings that the Planned Development Overlay Zone is consistent with the General Plan (Exhibit 2);
 - d. Make the findings required by Section 29.20.190(a) for granting a Conditional Use Permit (Exhibit 2);
 - e. Make the findings required by Section 29.20.190(b) for granting a Conditional Use Permit for a formal retail business greater than ten thousand (10,000) square feet (Exhibit 2);
 - f. Make the required findings that the project complies with the objective standards of Chapter 29 of the Town Code (Zoning Regulations) (Exhibit 2);
 - g. Make the findings required by Section 29.80.290(2) for approving applications in historic districts;

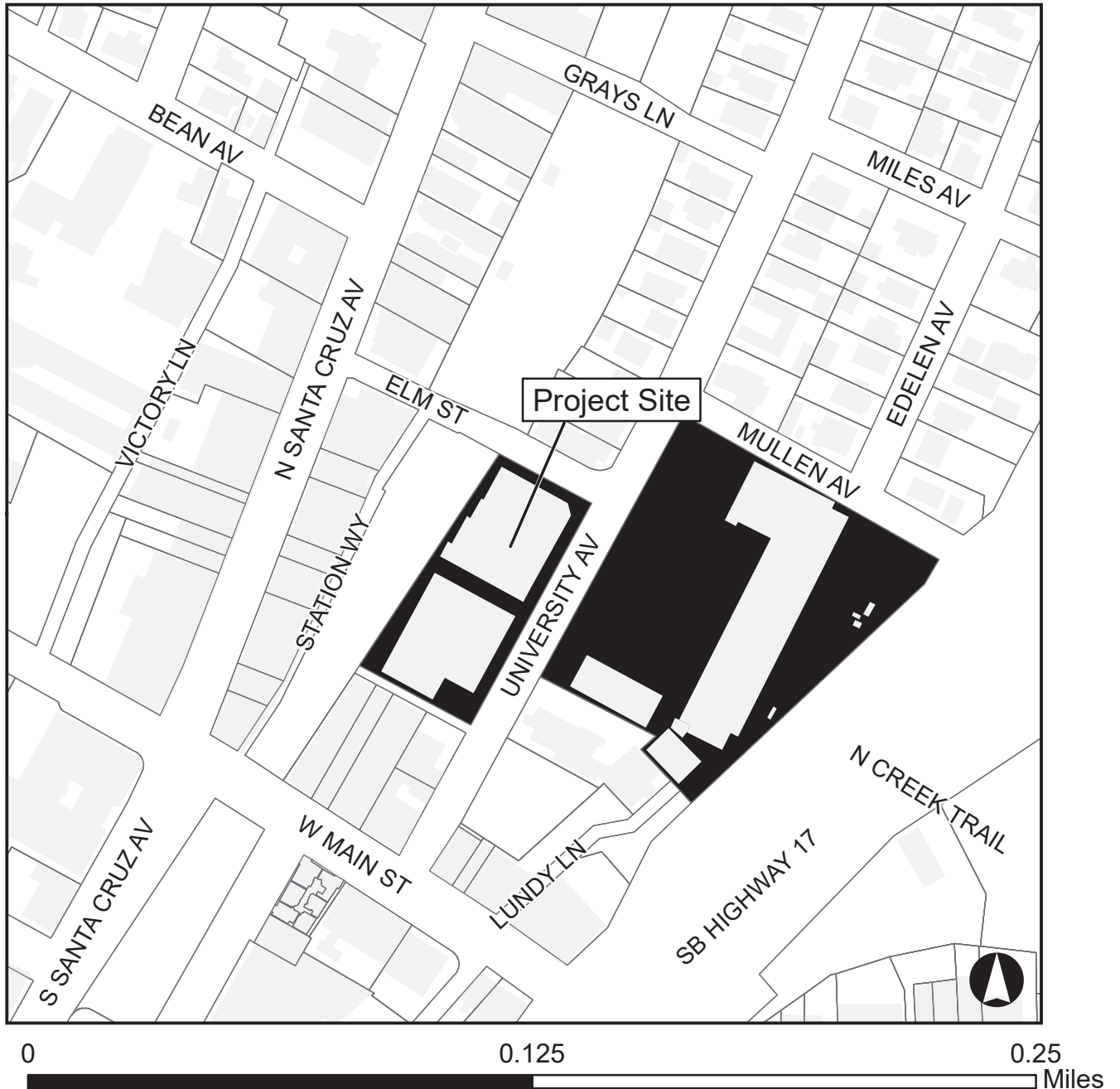
- h. Make the required finding that the project complies with the Commercial Design Guidelines (Exhibit 2);
 - i. Make the required considerations as required by Section 29.20.150 of the Town Code for granting approval of an Architecture and Site application (Exhibit 2);
 - j. Adopt the amended Planned Development (Exhibit 4); and
 - k. Approve Architecture and Site application S-25-004 and Conditional Use Permit U-25-001 with conditions contained in Exhibit 5 and Exhibit 6 and the development plans in Exhibit 20.
2. Forward a recommendation to the Town Council for approval of the Planned Development Amendment application, Architecture and Site Application, and Conditional Use Permit with modified performance standards, additional and/or modified conditions; or
3. Continue the matter to a date certain with specific direction.

EXHIBITS:

1. Location Map
2. Required Findings and Considerations
3. Planned Development Ordinance 2025
4. Draft Planned Development Ordinance
5. Recommended Conditions of Approval A&S
6. Recommended Conditional of Approval CUP
7. HPC Action Letter, February 26, 2025
8. HPC Staff Report, February 26, 2025
9. HPC Desk Item, February 26, 2025
10. HPC Desk Minutes, February 26, 2025
11. HPC Action Letter, March 26, 2025
12. HPC Staff Report, March 26, 2025
13. HPC Desk Item, March 26, 2025
14. HPC Minutes, March 26, 2025
15. Project Description and Letter of Justification
16. Applicant Arborist Report
17. Consulting Arborist Peer Review
18. Applicant Response to Consulting Arborist Peer Review
19. Neighborhood Outreach Summary
20. Development Plans
21. Public comments received by 11:00 a.m., Friday, August 22, 2025

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31 University Avenue



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PLANNING COMMISSION – August 27, 2025

REQUIRED FINDINGS FOR:

31 University Avenue

Planned Development Modification Application PD-25-001

Architecture Site Application S-25-004

Conditional Use Permit Application U-25-001

Consider a Request for Approval for Modification of Planned Development Ordinance 2025 to Allow Modifications to Building E, an Architecture and Site Application for Exterior Modifications to an Existing Commercial Building in the University/Edelen Historic District, and a Conditional Permit for Formula Retail over 10,000 square feet and for a Restaurant with Alcohol Service on a Property Zoned C-2:LHP:PD. APN 529-02-044. Categorically Exempt Pursuant to CEQA Guidelines Section 15301: Existing Facilities.

Property Owner: SRI Old Town, LLC

Applicant: Rick Nelson, MBH Architects

Project Planner: Erin Walters

FINDINGS

Required finding for CEQA:

- The project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15301: Existing Facilities. No significant effect on the environment will occur since the project uses an existing structure with no increase in floor area.

Required Findings for Amending a Planned Development:

- As required by Section 29.80.095 of the Town Code for granting a Planned Development Overlay Zone, the proposed amendment:
 1. The proposed PD amendment is consistent with Chapter 29, Article VIII, Division 2 of the Town Code in that it meets the purpose and intent of a Planned Development Overlay Zone;
 2. The proposed PD amendment is in conformance with the goals, policies, and applicable land use designations and standards of the Town's General Plan, including but not limited to Policy LU-1.4;
 3. The proposed PD amendment is in conformance with all other applicable provisions of the Town Code, including Town Council adopted guidelines, except as otherwise modified through the Planned Development process; and
 4. The proposed amendment includes development standards or uses that deviate from the underlying zoning in a way that results in innovative site planning and provides public benefit to the citizens of the Town by providing additional dining opportunities, availability of goods and services, and tax revenue.

- That the amendment to the Planned Development Overlay is consistent with the General Plan and its Elements, including but not limited to Policy LU-1.4; and that the amendment to the Planned Development Overlay zoning is consistent with the existing General Plan designation.

Required Findings for a Conditional Use Permit:

- As required by Section 29.20.190(a) of the Town Code for granting a Conditional Use Permit:
 1. The proposed uses of the property are essential or desirable to the public convenience or welfare in that it provides a bespoke dining and shopping experience which will be desirable to both residents and visitors as a destination within Los Gatos;
 2. The proposed uses will not impair the integrity and character of the zone since it is a commercial use located in a commercial zone. Further, the Proposed Project is consistent with the Commercial Design Guidelines for C-2A zones and as a non-contributing structure within a historic preservation district. The proposed project maintains the existing building's massing and density, reimagines the existing façade variation, and maintains the pedestrian pass-through along the southern wall;
 3. The proposed uses would not be detrimental to public health, safety or general welfare the proposed uses, formula retail use and restaurant use with the selling of alcoholic beverages for consumption on-premises, represent no change from the current uses of the most recent tenants at the existing building (Gap and Steamer's), and would not be detrimental to public health, safety, and general welfare; and
 4. The proposed uses of the property are in harmony with the various elements or objectives of the general plan and the purposes of this chapter as they contribute to the variety of commercial uses in the Central Business District and meet the goals and policies of the 2040 General Plan (2020 Land Use and Community Development Elements).

Required Findings for a Conditional Use Permit for a Formal Retail Business Greater than Ten Thousand (10,000) Square Feet:

- As required by Section 29.20.190 (b) of the Town Code the deciding body on the basis of evidence submitted at the hearing, may deny a Conditional Use Permit formal retail business greater than ten thousand (10,000) square feet of any of the following findings are made: **None of the findings can be made to deny the application.** Instead, the Planning Commission makes the following affirmative findings:
 1. The proposed use of the property is in harmony with specific provisions or objectives of the general plan and the purposes of this chapter;
 2. The proposed use will not detract from the existing balance and diversity of business in the commercial district in which the use is proposed to be located;
 3. The proposed use would not create an over-concentration of similar types of businesses, or
 4. The proposed use will not detract from the existing land use mix and high urban design standards including uses that promote continuous pedestrian circulation and economic vitality.

Required compliance with the Zoning Regulations:

- The project meets the objective standards of Chapter 29 of the Town Code (Zoning Regulations).

Required Findings for Approving Applications in Historic Districts:

- As required by Section 29.80.290(2) of the Town Code in evaluating applications in historic districts, the deciding body shall consider the architectural style, design, arrangement, textures, materials and color, and any other pertinent factors. Applications shall not be granted unless the following findings can be made:

In historic districts, the proposed work will neither adversely affect the exterior architectural characteristics of other features of the property, which is the subject of the application, nor adversely affect its relationship, in terms of harmony and appropriateness, with its surroundings, including neighboring structures, nor adversely affect the character, or the historical, architectural or aesthetic interest or value of the district.

Commercial Design Guidelines:

- The proposed building modifications are consistent with applicable provisions of the Commercial Design Guidelines.

CONSIDERATIONS

Considerations in review of Architecture and Site applications:

- As required by Section 29.20.150 of the Town Code, the considerations in review of an Architecture and Site application were all made in reviewing this project.

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ORDINANCE 2025

ORDINANCE OF THE TOWN OF LOS GATOS AMENDING THE ZONING ORDINANCE EFFECTING A ZONE CHANGE FROM C-2 LHP TO C-2 PD LHP AT 50 UNIVERSITY AVENUE

THE TOWN COUNCIL OF THE TOWN OF LOS GATOS DOES ORDAIN AS
FOLLOWS:

SECTION I

The Town Code of the Town of Los Gatos is hereby amended to change the zoning at 50 University Avenue shown on the map which is attached hereto marked Exhibit A and is part of this Ordinance from C-2 LHP (Central Business District - Landmark Historic Preservation) to C-2 PD LHP (Central Business District - Planned Development - Landmark Historic Preservation).

SECTION II

The PD (Planned Development Overlay) zone established by this Ordinance authorizes the following construction and use of improvements:

1. Demolition of the Steamer's building and numerous accessory structures (shown on the Official Development Plan, sheet 3) and the partial demolition and reconstruction of the Old Town Center. The Old Town Center will be considered demolished by Town Code (definition of demolition of an historic structure) since more than 25 percent of the front exterior walls will be removed, and more than 50 percent of all exterior walls will be removed. The building however, will not be demolished and interior walls will remain;
2. Construction of an underground parking garage with retail above, new commercial building adjacent to St. Luke's Church (20 University Avenue), and reconfiguration of the parking lot as shown on the Official Development Plan;

3. Changing the use of the auditorium to a retail use. A theater use is a permitted use within the existing auditorium, the amphitheater or elsewhere on the site;
4. Landscaping, streets and other improvements shown and required on the Official Development Plan;
5.
 - a. Relocation of the Steamer's restaurant to another space within the project site, subject to the conditions of Steamer's most current Conditional Use Permit [216 seats].
 - b. The existing restaurants (Wine Cellar - Suite 12 [49 seats]; California Cafe - Suite 8 [208 seats]; and the Waves (or new tenant) - Suite 1 [91 seats]), are permitted to remain in the existing Old Town Center building subject to their conditions of their Conditional Use Permit; any changes to their use or relocation within the Center on either side of University Avenue or increase in seating, will require a modification to the applicable Conditional Use Permit.
6. Uses permitted are those specified in the C-2 (Central Business District) zone by Sections 29.60.320 (Permitted Uses) and 29.20.185 (Conditional Uses) of the Town Code, as those sections exist at the time of the adoption of this Ordinance, or as they may be amended in the future. However, no use listed in Section 29.20.185 is allowed unless specifically authorized by this Ordinance, or by Conditional Use Permit.

SECTION III

COMPLIANCE WITH OTHER DEVELOPMENT STANDARDS

All provisions of the Town Code apply, except when the Official Development Plan specifically shows otherwise.

SECTION IV

Architecture and Site Approval is required before there are exterior changes to the Old Town Center, demolition of the Steamer's building and construction work of the parking lot, new buildings and reconstruction of the Old Town Center is performed, whether or not a permit is required for the work and before any permit for construction is issued. Construction permits shall only be in a manner complying with Section 29.80.130 of the Town Code. Interior work of the Old Town Center is permitted to bring the building up to current Building Code and does not need Architecture and Site approval. A Building Permit and other applicable permits may be required for the interior work.

SECTION V

The attached Exhibit A (Map) and Exhibit B (Tentative Map and Development Plans, 20 sheets), are part of the Official Development Plan. The following must be complied with before issuance of any grading, demolition or construction permits:

TO THE SATISFACTION OF THE PLANNING DIRECTOR:

(Planning Section)

1. **PARCEL.** The parcel shall remain as one parcel.
2. **HOLD HARMLESS.** The developer has requested the Town's approval and has had the opportunity to review, comment and accept the process and approval. The developer shall hold the Town harmless from any claim or litigation alleging that this ordinance or subsequent approvals obtained by the developer for this project was processed, adopted, or approved in violation of any Federal, State, Town or other local law or regulation of any kind, and shall pay all costs involved in defending any such claim or litigation, including attorney fees.
3. **PHASING.** All buildings may be worked on simultaneously. Twenty Five percent of the occupancy of Building E shall be held until final occupancy has been given for the existing

Old Town Center and its two parking lots. A map shall be provided prior to the issuance of a building permit, indicating the tenant spaces of Building E and which units are proposed to have their occupancy held. During the final occupancy stage, these held units may be changed with Town approval.

4. **TRASH ENCLOSURE/MECHANICAL EQUIPMENT.** Trash enclosures and mechanical equipment shall be located as far from residential receptors as possible. The enclosures shall be constructed to provide full screening from residential receptor locations. The location of the trash enclosures will be reviewed during the Architecture and Site approval process. The quietest and smallest capacity heating, ventilation, and air conditions equipment that meets design specifications and Town Noise Ordinance standards shall be used. The roof equipment for Building D shall be restricted to the east end of the building and the vent exhausts shall be directed toward the Old Town parking lot.
5. **ACCESS EASEMENT.** If the trash pickup is proposed at Parking Lot 6, an access easement shall be required to be obtained from the Town, prior to Architecture and Site approval. If the easement is not granted, the revised trash pickup area shall be considered during the Architecture and Site approval process which may require redesign and/or reduction of building square footage.
6. **RECYCLING.** All wood, metal, glass, and aluminum materials generated from the demolished structure shall be deposited to a company which will recycle the materials. Receipts from the company(s) accepting these materials, noting type and weight of material, shall be submitted to the Town prior to the Town's demolition inspection.
7. **STEAMER'S.** The outside seating area for the relocated Steamer's restaurant, will be reviewed during the Architecture and Site approval process to ensure it meets all Town Code and Town policy requirements.
8. **CLOSED AREAS.** All areas to be closed off within the existing Old Town Center shall be explicitly documented to ensure that these areas will not and cannot be used in the future during the Architecture and Site approval process. This documentation of the

closed areas shall be shown on the Architecture and Site plans and building permit plans. These areas shall visually be shown to be closed off during final inspection.

9. PLAQUES. The two plaques which currently exist on the building, (the history of Los Gatos plaque and the dedication to teachers and students plaque), shall be saved and replaced on the building prior to final occupancy.
10. PARKING SPACES. All parking spaces shall conform to current parking requirement dimensions. Parking spaces in the underground garage next to columns, walls or similar obstructions, shall have a minimum width of 9.5 feet. Parking plans will be reviewed during the Architecture and Site approval process.
11. RESTROOMS. The restrooms located within the buildings, which are not exclusively for an individual office use, shall be available to the general public.
12. BUILDING D. The back wall (south side next to church) shall be painted to match or harmonize with the existing St. Luke's wall.
13. BUILDING D ACCESS. Access to the space between Building D and the St. Luke's wall may be securely closed to the public and accessible only to the appropriate and permitted maintenance/landscaping personnel.
14. WALL. The proposed 10 foot high wall along the south property line adjacent to St. Luke's Church shall not be constructed. The existing eight foot high wall shall remain. If the church later decides that the wall is needed, and the applicant wishes to install the wall, it shall be permitted with the appropriate approvals and permits from the Town.
15. BUILDING E. During the Architecture and Site approval process, Building E shall be modified as follows:
 - a. Open up the center pathway. Building could be moved closer to the south property line to increase width of pathway.
 - b. Design structure so that it appears to be a collective of individual structures that abut each other.

- c. The roof design shall be reflective of the individual structures (break-up rooflines).
 - d. Corner tower shall be redesigned into a clipped corner design.
 - e. Provide more variety in the buildings.
16. STORE DELIVERIES. The area behind Building E, adjacent to Parking Lot 6, shall not be used for deliveries.
17. SIGNS. A sign program shall be submitted as part of the Architecture and Site approval process. Arched wrought iron signs advertising Old Town are permitted as shown on the attached Development Plans (Exhibit B). The margin of measurement for tenant signs may be reduced to a minimum of one inch around all of the words and symbols. The actual dimensions shall be finalized during the Architecture and Site approval process with the sign program. Signs identifying business and the Center shall not be either lighted from the interior or made of translucent materials.

(Engineering Section)

18. PUBLIC IMPROVEMENTS. The following improvements shall be installed by the developer. Plans for those improvements shall be prepared by a California registered civil engineer, reviewed and approved by the Town, and guaranteed by contract, Faithful Performance Security and Labor & Materials Security before the issuance of a building permit or recordation of a map. The improvements must be completed and accepted by the Town before a Certificate of Occupancy for any new building can be issued. At the time of Architecture and Site Approval for the project, conformance with the Streetscape Plan for Central Business District Improvements (which includes benches and trash receptacles) will be determined and incorporated with the improvements identified below.

- a. University Avenue. Curb, gutter, "Villa Hermosa" sidewalk, curb ramp, driveway approach, street lights, tie-in paving, removal of mid-block crosswalks, signing, striping, storm and sanitary sewers, as required.
 - b. Elm Street. Curb, gutter, "Villa Hermosa" sidewalk, curb ramp, street lights, tie-in paving, signing, striping, storm and sanitary sewers, as required.
 - c. Mullen Avenue. Curb, gutter, "Villa Hermosa" sidewalk, curb ramp, driveway approach, street lights, tie-in paving, signing, striping, storm and sanitary sewers, as required.
19. **HYDRAULIC CALCULATIONS.** At the time of the final design of the project, existing and post-project hydraulic calculation for the project area and associated drainage conveyance facilities between the project and Los Gatos Creek. The hydraulic calculation should include calculations to confirm the preliminary findings of the EIR.
20. **MID-BLOCK CROSSWALK.** The existing mid-block cross walks shall be removed. No new mid-block crosswalk shall be installed. The only marked crosswalk to the site shall be at the Elm Street/University Avenue intersection and across Mullen Avenue at University Avenue.
21. **INSURANCE.** One million dollars (\$1,000,000) of liability insurance holding the Town harmless shall be provided in a format acceptable to the Town Attorney before issuance of the building permit.
22. **TRAFFIC IMPACT MITIGATION FEE (COMMERCIAL).** The developer shall pay a proportional to the project's share of transportation improvements needed to serve cumulative development within the Town of Los Gatos. The fee amount will be based upon the Town Council resolution in effect at the time the building permit application is made. The number of trips used in the calculations will be the net additional trips as shown in Table 5-8 of the E.I.R. by Geier & Geier, dated September 1996. The fee shall be paid before issuance of the building permit. The traffic impact mitigation fee for this project using the current fee schedule is \$89,280. The final fee shall be calculated from

the final plans using the rate schedule in effect at the time of the building permit application.

23. CHRISTMAS SHOPPING CONSIDERATIONS. Construction shall be scheduled or other measures implemented, to minimize construction impacts during the Christmas shopping season.
24. DEWATERING PLAN. Prior to issuance of a building permit, the project applicant shall prepare a dewatering plan specifying how groundwater would be handled when encountered during excavation, how temporary excavations would be protected from groundwater saturation and how permanent foundations would be kept dry from groundwater as well as from surface water runoff.
25. EROSION CONTROL PLAN. The project applicant shall prepare and implement an erosion control plan in conformance with the Town and California Regional Water Quality Control Board requirements prior to issuance of a building permit. The plan shall account for existing drainage conditions since most runoff generated on the sunken parking lot site during the excavation phase would be too low to drain to adjacent storm drains and would require pumping.
26. STREET LIGHTING. The project applicant shall prepare and submit to the Town during the Architecture and Site approval process, a street lighting program and plan for all streets surrounding the proposed project site.
27. TRAFFIC DIVERTER. At the time of Architecture and Site Application, various methods of preventing Old Town related traffic from using Edelen Avenue from Mullen Avenue shall be explored. The method of traffic diversion chosen shall also be approved by Central Fire Protection District.

TO THE SATISFACTION OF THE DIRECTOR OF PARKS, FORESTRY & MAINTENANCE SERVICES:

28. TREE CARE. All tree care activities shall be accomplished by a licensed, competent tree care firm as approved by and under the supervision of the Director of Parks, Forestry & Maintenance Services.
29. PROTECTIVE FENCING. Prior to any construction or Building Permits being issued, the applicant shall meet with the Director of Parks, Forestry and Maintenance Services concerning the need for protective fencing around the existing trees. Such fencing is to be installed prior to, and be maintained during construction.
30. NEW TREES. Newly planted trees shall be double-staked, using rubber tree ties and shall be planted prior to acceptance of the subdivision.
31. IRRIGATION. No irrigation or planting shall be permitted under the dripline of existing native trees. All newly planted material shall be irrigated by an in-ground irrigation system.
32. CONSTRUCTION. No construction or grading shall take place within the dripline of existing trees.
33. AERATION TUBES. Any impervious area (excluding roadways) encroaching under the dripline of existing trees shall have aeration tubes installed.
34. LANDSCAPE PLAN. A precise landscaping plan shall be submitted at the Architecture and Site Approval stage of development. Planting on the south back of Building D shall be done in cooperation with St. Luke's Church.
35. WATER EFFICIENCY. This project is subject to the Town's Water Efficient Landscape Ordinance as per Chapter 26 Article IV of the Town Code. A review fee based on current resolution shall be paid when the landscape, irrigation plans and water calculations are submitted for review. Plans and fees must be submitted prior to issuance of a building permit.

36. ARBORIST REQUIREMENTS. The following measures from the Coate study (1996) shall be enforced to minimize damage to the three Oak trees:

- a. The foundation which is installed ten feet from the fence, beginning 50 feet east of the curb, must be of pier and beam foundation design, not standard L-footing.
- b. If an additional wall is installed adjacent to the existing property line wall, it shall also be of a pier and grade beam foundation design with the beam laid on top of the existing grade.
- c. When pavement is removed from any area beneath the canopy of one of these trees, the pavement must be removed by breaking the pavement up with a jackhammer or by manual labor, and the broken pieces shall be loaded into a skip loader which is standing on undisturbed pavement. Roots which are exposed in the top three inches of soil, with removal of that pavement, shall be protected from compaction or other damage.
- d. Under no circumstances shall equipment be allowed to drive on the exposed soil once the pavement has been removed until protection has been installed over the newly exposed roots.
- e. The protective surfaces shall include a four inch layer of tree chips over any surface beneath the tree canopy which is newly exposed.
- f. If it becomes necessary to drive construction equipment over any of those newly exposed areas, 1.5 inch plywood sheets shall be laid over a five inch layer of tree chips to prevent compaction of the soil by equipment wheels.
- g. As part of the contract specifications for the general contractor and all subcontractors, construction personnel shall not be allowed to prune any of the Oak tree limbs or branches located direly above construction. An arborist certified by the International Society of Arboriculture shall be called to prune the canopy of the trees over the parking lot before

construction begin begins, if any conflicts arise between actual construction and the tree at later stages of construction, only the arborist shall be allowed to do additional pruning to solve the problem. All pruning must follow Western Chapter, International Society of Arboriculture Pruning Standards.

- h. The two Oak trees located closest to University Avenue shall be fertilized by injecting a liquid fertilizer mix into all areas beneath the canopies of these trees, including that on the south side of the existing wall. The fertilizer shall be composed of Greenbelt 22-14-14 soluble fertilizer mixed at four pounds of fertilizer per 100 gallons of water, and injected at 10 gallons of this mix per one inch of trunk diameter into all areas beneath the canopy in exposed soil or through bricks where that becomes the only method by which fertilizer can be supplied to the root zone.

TO THE SATISFACTION OF THE DIRECTOR OF BUILDING AND ENGINEERING SERVICES:

- 37. GENERAL. All public improvements shall be made according to the latest adopted Town Standard Drawings and the Standard Specifications for Public Works Construction. All work shall conform to the applicable Town ordinances. Adjacent public right-of-way shall be kept clear of all job related dirt and debris at the end of day. Dirt and debris shall not be washed into storm sewers. The storing of goods and materials on the sidewalk and/or street will not be allowed unless a special permit is issued. The developer's representative in charge shall be at the job site during all working hours. Failure to maintain the public right-of-way according to this condition may result in the Town performing the required maintenance at the developer's expense.
- 38. PUBLIC WORKS INSPECTIONS. The developer or his representative shall notify the Engineering Construction Inspector at least twenty-four (24) hours before starting any

work pertaining to on-site drainage facilities, grading, or paving; and all work in the Town's right-of-way. Failure to do so will result in rejection of work that went on without inspection.

39. **EROSION CONTROL (COMMERCIAL).** Interim and final erosion control plans shall be prepared and submitted to the Engineering Development Section of the Planning Department. On sites over 5 acres, at Notice of Intent (NOI) and Storm Water Pollution Prevention Plan (SWPPP) shall be submitted to the Region Water Quality Control Board. Grading activities shall be limited to the period of least rainfall (April 15 to October 1). A maximum of two weeks is allowed between clearing of an area and stabilizing/building on this area if grading that is allowed to go on during the rainy season. In addition, straw bales and plastic sheeting shall be stored on-site for emergency control, if needed. Install filter berms, check dams, retention basins, silt fences, and straw bale dikes as needed on the project site, to protect downstream water quality during winter months.
40. **UTILITIES.** The developer shall install all utility service, including telephone, electric power, and other communications lines underground, as required by Town Code §27.50.015(b).
41. **RESTORATION OF PUBLIC IMPROVEMENTS.** The developer shall repair or replace all existing improvements not designated for removal that are damaged or removed because of developer's operations. Improvements such as, but not limited to, curbs, gutters, sidewalks, driveways, signs, pavements, raised pavement markers, thermoplastic pavement markings, or signs shall be repaired and replaced to a condition equal to or better than the original condition. Existing improvements to be repaired or replaced shall be at the direction of the Engineering Construction Inspector, and shall comply with all Title 24 Disabled Access provisions. Developer shall request a walk-through with the Engineering Construction Inspector before the start of construction to verify existing conditions.

42. CURB RAMPS. The developer shall construct three or four (3 or 4) curb ramps according to State Standard Drawings at the crosswalks at University Avenue/Elm Street, University Avenue/Mullen Avenue and the University Avenue entrance. The exact number will be determined at the time of Architecture and Site Approval. The actual "Case" as shown on the standard to be used will be decided by the Engineering Construction Inspector during the construction phase.
43. AS-BUILT PLANS. After completion of the construction of all work in the public right-of-way or public easements, the original plans shall have all changes (change orders and field changes) clearly marked. The "As-built" plans shall again be signed and "wet-stamped" by the engineer who prepared the plans, attesting to the changes. The original "As-built" plans shall be reviewed and approved the Engineering Inspector. A photo Mylar of the approved "As-built" plans shall be provided to the TOWN before the release of the Faithful Performance Security.
44. DRIVEWAY APPROACH. The developer shall install four (4) Town Standard Commercial driveway approaches in the locations shown on the Official Development Plan. The new driveway approaches shall be constructed per Town Standard Detail S-5.
45. ENCROACHMENT PERMIT. All work in the public right-of-way will require a Construction Encroachment Permit and will require construction security.
46. GARAGE ACCESS RAMP. The garage access ramp shall be widened to 30 feet. This will facilitate ingress and egress from the garage and allow the placement of a parking control station in the future. The ramp shall be clearly signed to prohibit pedestrian use.
47. BUILDING "E" PARKING. The underground garage can be used for construction worker parking once the Town Building Official has finalized the private use of the garage. In addition, the entrance to the parking garage shall be monitored at all time that it is open (e.g., guard, gate, etc.) to ensure it is not used by the public prior to the issuance of a Certificate of Occupancy for Building "E".

48. **PARKING CONTINGENCY PLAN.** The applicant shall prepare a construction worker parking contingency plan, to be implemented if directed to do so by the Town, to have construction workers park off-site. The plan shall include designation of a specific off-site location for all construction worker parking. This location shall not be within the Central Business District (C-2 zone) unless Town Council gives the authorization to a specific site, and workers shall be shuttled from the off-site location. The parking contingency plan shall be approved by the Director of Building and Engineering Services prior to the issuance of a building permit.
49. **CONSTRUCTION DELIVERIES.** All construction deliveries shall be restricted to the hours between 9:00 a.m. and 3:00 p.m. to minimize school and downtown impacts. The applicant should monitor construction activities to ensure that traffic flow along University are not adversely affected by materials/equipment deliveries. At no time shall street blockages be permitted that would impact the mobility of emergency service vehicles.
50. **PEDESTRIAN ACCESS.** Construction activities shall be planned and implemented so as to minimize disruption to pedestrian and vehicular traffic. The sidewalk shall be kept open on at least one side of each street at all times.
51. **SANITARY SEWER LATERAL.** Sanitary sewer laterals shall be televised by West Valley Sanitation District at the developer's expense and approved by the Town of Los Gatos before they are used or reused. Install sanitary sewer lateral clean-outs at the property line.
52. **GREASE TRAPS.** Meet all requirements of the County Health Department and West Valley Sanitation District for the interception, separation, or pretreatment of effluent for all existing and new uses.
53. **NOISE REDUCTION.** Equipment used for project construction shall utilize control techniques (improved mufflers, equipment redesign, use of silencers ducts and mufflers) in order to minimize construction noise impacts. Construction noise shall be minimized by requiring the project contractors to agree with the following measures:

- a. If the Noise Ordinance noise standard cannot be met at the Mullen Avenue property boundary or along the church boundary, temporary wooden fencing shall be erected during construction along that boundary.
 - b. A member of the project applicant's team shall be appointed to enforce construction hours allowed by Town Ordinance. The project applicant shall introduce this person to the Town staff and have this person accessible to the Town during all site preparation and construction activities.
 - c. Elimination of unnecessary idling of equipment.
 - d. Good maintenance and lubrication procedures shall be used on all construction equipment to reduce operating noise.
54. **HAZARDOUS MATERIALS PLAN.** A management plan for hazardous materials shall be prepared by the developer. This management plan shall identify all suspected hazardous materials (including contaminated soils, groundwater, PCBs, lead-based paints, asbestos) and specify applicable regulations that would determine appropriate handling and disposal of hazardous materials. The management plan shall provide detailed quantification of the types and quantities of asbestos. The plan shall also provide guidelines for the handling and disposal of lead-based paints. When handling and disposing of lead-based paints, appropriate measures shall be required to ensure compliance with applicable state hazardous waste and OSHA regulations (worker safety). The plan shall include plans for site safety/worker protection, sampling and investigation, and disposal/remediation for materials which exceed regulatory action levels and are determined to be hazardous. For suspected hazardous materials (contaminated soil and groundwater) which may be encountered during construction, contingency plans for site safety/worker protection, sampling and investigation, and disposal/remediation shall be included; these shall be based on soil and groundwater sampling and testing that have been completed to date. The plan shall be filed with the Town and all other appropriated agencies. Appropriate contract specifications shall be imposed on construction contractors

for proper handling and disposal of hazardous materials consistent with the required management plan. The developer shall complete an asbestos survey of the Steamer's building prior to demolition. The developer shall ensure that all existing asbestos containing materials are removed, closed off or encapsulated by a licensed abatement contractor prior to site preparation for renovation, rehabilitation and removal of any materials or fixtures. This will include undertaking a physical examination of the project site to determine the amount of each type of material to be closed off, encapsulated or removed, and mapping areas where asbestos containing materials are to be closed off, encapsulated and/or removed. An inspection and maintenance program shall be developed for any areas closed off or encapsulated to prevent any fiber release.

55. HAZARDOUS MATERIAL PREPARATION. During demolition and excavation activities, the developer shall be prepared for the potential of encountering hazardous materials in areas not already characterized. The developer shall be alerted for visible evidence of hazardous materials, such as soil discoloration, suspicious odors, or presence of underground tanks, piping or other buried building materials and shall provide for the collection of grab samples in the area of suspected contamination.
56. GROUNDWATER. If groundwater is encountered during project construction and dewatering is required, the developer shall undertake sampling and testing of the encountered groundwater in accordance with the contingency sampling and investigation plan. If groundwater is found to contain contaminants which exceed regulatory action levels, it may not be discharged into the existing storm drain system. Removal and handling of the contaminated groundwater shall be done in a manner acceptable to the Regional Water Quality Control Board, the Town and other jurisdictional agencies. Once more detailed project plans become available, the Town may choose to require the developer to submit a Notice of Intent (NOI) to the California Regional Water Quality Control Board prior to construction. If required, the NOI letter shall include mapping,

potential pollutant lists, and a detailed description of drainage factors regarding the project site during construction.

57. ELEVATOR CONTAMINANTS. The existence of contaminants in soil beneath the existing elevator room shall be determined and appropriate remediation shall be completed as required by applicable federal, state and local regulations. Appropriate contract specifications shall be imposed on construction contractors for proper handling and disposal of hazardous materials consistent with the required management plan.
58. PCB'S. The developer shall request PG&E to test the two transformers for PCBs and if present, PCBs shall be removed and disposed of properly.
59. NOTIFICATION REQUIREMENTS. The developer shall comply with notification requirements under applicable Federal regulations regarding hazardous air pollutants, including asbestos, in accordance with Section 19827.5 of the California Health and Safety Code (adopted January 1, 1991).
60. EXISTING BASEMENT. While the existing hazard posed in the crawl hole basement area of Building B is not an impact of the proposed project, this area shall be immediately be closed off or abated and the soil decontaminated by a licensed abatement contractor (prior to initiation of any work on the proposed project). In the event the crawl hole basement of this area is permanently closed off, an inspection and maintenance program shall be developed to prevent any fiber release.
61. ASBESTOS EXPOSURE. All necessary measures shall be implemented to protect operating merchants, employees and customers from exposure to asbestos.
62. BAAQMD. To comply with BAAQMD nuisance abatement rules, the following dust (PM10) control measures shall be included as conditions of the grading permit:
 - a. Water all active construction areas at least twice daily.
 - b. Cover all trucks hauling soil, sand, and other loose debris or require all trucks to maintain at least two feet of freeboard.

- c. Apply water three times daily, or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas, and staging areas at construction sites.
 - d. Sweep (preferably with water sweepers) all paved access roads, parking areas and staging areas at construction sites.
 - e. Sweep streets daily (preferably with water sweepers) if visible soil material is carried onto adjacent public streets.
63. **GEOLOGIC HAZARDS CHECKLIST.** The developer shall submit to the Town a Geologic Hazards Checklist, as outlined by the California Department of Conservation Division of Mines and Geology, and appropriate geotechnical design studies demonstrating that the probable lateral forces experienced at the project site from a seismic event have been taken into consideration in the design and construction plans for the proposed project. These studies shall address building foundation design for the parking garage and Buildings D and E as well as for any seismic retrofit found to require new or upgraded foundations in Buildings A and B. Project plans for seismic retrofitting of Buildings A and B shall demonstrate conformance with 1994 Uniform Building Code requirements (including 1995 California amendments) and/or recommendations made by Boley Consulting Engineers, whichever requirements are determined to be appropriate by the Town.
64. **SEISMIC RETROFIT.** The developer shall provide plans or designs for structural repairs in order to seismically retrofit the existing buildings. Such plans or designs shall include any and all foundations needed to support each location of seismic retrofitting. Proposed plans shall conform to the current Uniform Building Code, with California amendments in effect in Town.
65. **BUILDING CODE.** Project plans shall demonstrate conformance with current Uniform Building Code requirements (including California amendments in effect in Town) and/or recommendations made by Boley Consulting Engineers (whichever requirements are determined to be appropriate by the Town) to repair and upgrade the structures in order

to integrate the structural system and to make Buildings A and B capable of providing resistance to gravity and seismic loads.

66. The westerly wall of the underground garage under Building E shall contain a structurally designed section or sections that would structurally accommodate being knocked out for access to and from a possible future below-grade parking level on Town Parking Lot No. 6.

TO THE SATISFACTION OF CENTRAL FIRE PROTECTION DISTRICT

67. **SPRINKLERS.** Fire sprinkler system shall be modified as necessary for Buildings A, B and C. An automatic fire sprinkler system shall be installed in Buildings D and E and the parking garage.
68. **HYDRANTS.** Additional fire hydrants may be required. This will be determined during the Architecture and Site approval process.

TO THE SATISFACTION OF THE CHIEF OF POLICE

69. **LIGHTING.** The stairwells and building recesses shall have proper lighting with illumination no less than five foot candles at five feet off the ground. If telephones are provided, they shall be located in the open courtyard, not hidden away behind walls.

TO THE SATISFACTION OF SANTA CLARA COUNTY WATER DISTRICT

70. **DRAINAGE.** There shall be no overbank drainage into the Los Gatos Creek from grading the site. Storm runoff shall be collected via an onsite storm drain system and distributed to an existing city storm drain system or an outfall into the creek. If an outfall is desired, it shall be designed in accordance with District guide sheets.

71. PERMIT. A District permit is required for any construction adjacent to or within the Los Gatos Creek.

SECTION VI

This Ordinance was introduced at a regular meeting of the Town Council of the Town of Los Gatos on December 2, 1996, and adopted by the following vote as an ordinance of the Town of Los Gatos at a meeting of the Town Council of the Town of Los Gatos on December 16, 1996. This ordinance takes effect 30 days after it is adopted.

COUNCIL MEMBERS:

AYES: Steven Blanton, Jan Hutchins, Randy Attaway
Vice Mayor Linda Lubeck

NAYS: None

ABSENT: Mayor Joanne Benjamin

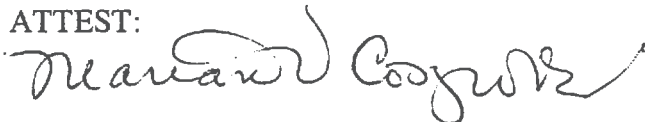
ABSTAIN

SIGNED:



VICE MAYOR OF THE TOWN OF LOS GATOS
LOS GATOS, CALIFORNIA

ATTEST:



CLERK OF THE TOWN OF LOS GATOS
LOS GATOS, CALIFORNIA



50 UNIVERSITY AVE

EXHIBIT A

TOWN OF LOS GATOS

Application No. Z-96-1. Change of zoning map
amending the Town Zoning Ordinance.

☒ Zone Change from C-2 LHP to C-2 PD LHP
☐ Rezoning to _____

RECOMMENDED by Planning Commission date 11/13/96

Approved by Town Council date December 16, 1996 Ord. 2025

Clerk Marian V. Cosgrove Mayor VICE-MAYOR

ORDINANCE NO.

**AN ORDINANCE OF THE TOWN COUNCIL OF THE TOWN OF LOS GATOS AMENDING
PLANNED DEVELOPMENT ORDINANCE 2025
TO ALLOW MODIFICATIONS TO BUILDING E
AT 50 UNIVERSITY AVENUE (OLD TOWN CENTER)**

THE TOWN COUNCIL OF THE TOWN OF LOS GATOS DOES ORDAIN AS FOLLOWS:

WHEREAS, on December 16, 1996, the Town Council adopted Planned Development (PD) Ordinance 2025, amending the zoning ordinance effecting a zone change from C-2:LHP (Commercial Business District, Landmark and Historic Preservation Overlay Zone: Planned Development) to C-2:LHP:PD at 50 University Avenue, Old Town commercial center; and

WHEREAS, The PD Ordinance 2025 authorized the redevelopment of Old Town commercial center, including the construction of several new buildings, among them Building E; and

WHEREAS, the construction of Building E, located in the Old Town commercial center, was completed in 1999; and

WHEREAS, in January 2025, the applicant, RH (Restoration Hardware), applied for a modification to the existing PD Ordinance to allow modifications to Building E; and

WHEREAS, the Planning Commission held a duly noticed public hearing on August 27, 2025, at which time the Commission considered the public testimony, the Staff Report prepared for that meeting, and all other documentation related to the PD Amendment, made findings and forwarded a recommendation of _____ to the Town Council; and

WHEREAS, the amendments are consistent with the General Plan and its Elements; and

WHEREAS, the amendments are consistent with Chapter 29, "Zoning Regulations" of the Town Code.

NOW, THEREFORE, BE IT ORDAINED by the Town Council of the Town of Los Gatos as follows:

SECTION I. Planned Development Overlay Zone.

The Town Code of the Town of Los Gatos is hereby amended to change zoning on property located at 50 University Avenue (APN 529-02-044) as shown on the map attached hereto as

Exhibit A, as and is part of this Ordinance, from C-2:LHP:PD to C-2:LHP:PD. Ordinance 2025, passed and adopted by the Town Council of Los Gatos on December 16, 1996, remains in effect with the following amendments to Performance Standard 15 of Section V of Ordinance 2025:

15. BUILDING E. During the architecture and site approval process building E shall be modified as follows:
 - a. Open up the center pathway. Building could be moved closer to the South property line to increase width of pathway.
 - ~~b. Design structure so that it appears to be a collective of individual structures that abut each other.~~
 - ~~c. The roof design shall be reflective of the individual structures (break up rooflines).~~
 - ~~d. Corner tower shall be redesigned into a clipped corner design.~~
 - e. Provide more variety in the buildings.

SECTION II. Severability.

In the event that a court of competent jurisdiction holds any Section, subsection, paragraph, sentence, clause, or phrase in this Ordinance unconstitutional, preempted, or otherwise invalid, the invalid portion shall be severed from this Ordinance and shall not affect the validity of the remaining portions of this Ordinance. The Town hereby declares that it would have adopted each Section, subsection, paragraph, sentence, clause, or phrase in this Ordinance irrespective of the fact that any one or more Sections, subsections, paragraphs, sentences, clauses or phrases in this Ordinance might be declared unconstitutional, preempted, or otherwise invalid.

SECTION III. Publication.

In accordance with Section 63937 of the Government Code of the State of California, this Ordinance takes effect 30 days from the date of its passage. The Town Council hereby directs the City Clerk to cause this Ordinance or a summary thereof to be published or posted in accordance with Section 36933 of the Government Code of the State of California.

SECTION IV. Effective Date.

This Ordinance was introduced at a regular meeting of the Town Council of the Town of Los Gatos on the ____ day of _____ 2025, and adopted by the Town Council of the Town of Los Gatos at its regular meeting on the ____ day of _____ 2025, by the following vote:

COUNCIL MEMBERS:

AYES:

NAYS:

ABSENT:

ABSTAIN:

SIGNED:

MAYOR OF THE TOWN OF LOS GATOS
LOS GATOS, CALIFORNIA

ATTEST:

TOWN CLERK OF THE TOWN OF LOS GATOS
LOS GATOS, CALIFORNIA

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**PLANNING COMMISSION – August 27, 2025 - Draft
CONDITIONS OF APPROVAL**

31 University Avenue

Architecture Site Application S-25-004

Consider a Request for Approval for Modification of Planned Development Ordinance 2025 to Allow Modifications to Building E, an Architecture and Site Application for Exterior Modifications to an Existing Commercial Building in the University/Edelen Historic District, and a Conditional Permit for Formula Retail over 10,000 square feet and for a Restaurant with Alcohol Service on a Property Zoned C-2:LHP:PD. APN 529-02-044. Categorically Exempt Pursuant to CEQA Guidelines Section 15301: Existing Facilities.

Property Owner: SRI Old Town, LLC

Applicant: Rick Nelson, MBH Architects

TO THE SATISFACTION OF THE DIRECTOR OF COMMUNITY DEVELOPMENT:

Planning Division

1. **APPROVAL:** This application shall be completed in accordance with all of the conditions of approval and in substantial compliance with the approved plans. Any changes or modifications to the approved plans and/or business operation shall be approved by the Community Development Director, DRC, or the Planning Commission depending on the scope of the changes.
2. **EXPIRATION:** The approval will expire two years from the approval date pursuant to Section 29.20.320 of the Town Code, unless the approval has been vested per Section 29.20.335 of the Town Code. Reasonable extensions of time not exceeding one year may be granted upon application, and can be granted if approved by the deciding body prior to the expiration date. Therefore, it is recommended that applications for a time extension be filed with the Community Development Department at least 60 days prior to the expiration date of the approval.
3. **OUTDOOR LIGHTING:** Exterior lighting shall be kept to a minimum, and shall be down directed fixtures that will not reflect or encroach onto adjacent properties. No flood lights shall be used unless it can be demonstrated that they are needed for safety or security.
4. **TREE REMOVAL PERMIT:** A Tree Removal Permit shall be obtained for any trees to be removed, prior to the issuance of a building or grading permit.
5. **EXISTING TREES:** All existing trees shown on the plan and trees required to remain or to be planted are specific subjects of approval of this plan, and must remain on the site.
6. **ARBORIST REQUIREMENTS:** The developer shall implement, at their cost, all recommendations identified in the Arborist's report for the project, on file in the Community Development Department. These recommendations must be incorporated in the building permit plans and completed prior to issuance of a building permit where applicable.
7. **TREE FENCING:** Protective tree fencing and other protection measures shall be placed at the drip line of existing trees prior to issuance of demolition and building permits and shall remain through all phases of construction. Include a tree protection plan with the

construction plans.

8. TREE STAKING: All newly planted trees shall be double-staked using rubber tree ties.
9. FRONT YARD LANDSCAPE: Prior to issuance of a Certificate of Occupancy the front yard must be landscaped.
10. WATER EFFICIENCY LANDSCAPE ORDINANCE: The final landscape plan shall meet the Town of Los Gatos Water Conservation Ordinance or the State Water Efficient Landscape Ordinance, whichever is more restrictive. A review fee based on the current fee schedule adopted by the Town Council is required when working landscape and irrigation plans are submitted for review.
11. DEMOLITION AFFIDAVIT: Prior to issuance of a building permit, a demolition affidavit must be submitted and signed by the property owner, project architect, project engineer and contractor.
12. PROJECT IDENTIFICATION SIGNAGE: Story poles and/or project identification signage on the project site shall be removed within 30 days of approval of the Architecture and Site application.
13. TOWN INDEMNITY: Applicants are notified that Town Code Section 1.10.115 requires that any applicant who receives a permit or entitlement ("the Project") from the Town shall defend (with counsel approved by Town), indemnify, and hold harmless the Town, its agents, officers, and employees from and against any claim, action, or proceeding (including without limitation any appeal or petition for review thereof) against the Town or its agents, officers or employees related to an approval of the Project, including without limitation any related application, permit, certification, condition, environmental determination, other approval, compliance or failure to comply with applicable laws and regulations, and/or processing methods ("Challenge"). Town may (but is not obligated to) defend such Challenge as Town, in its sole discretion, determines appropriate, all at applicant's sole cost and expense.

Applicant shall bear any and all losses, damages, injuries, liabilities, costs and expenses (including, without limitation, staff time and in-house attorney's fees on a fully-loaded basis, attorney's fees for outside legal counsel, expert witness fees, court costs, and other litigation expenses) arising out of or related to any Challenge ("Costs"), whether incurred by Applicant, Town, or awarded to any third party, and shall pay to the Town upon demand any Costs incurred by the Town. No modification of the Project, any application, permit certification, condition, environmental determination, other approval, change in applicable laws and regulations, or change in such Challenge as Town, in its sole discretion, determines appropriate, all the applicant's sole cost and expense. No modification of the Project, any application, permit certification, condition, environmental determination, other approval, change in applicable laws and regulations, or change in processing methods shall alter the applicant's indemnity obligation.

14. COMPLIANCE MEMORANDUM: A memorandum, in compliance with standard Town practice, shall be prepared and submitted with the building permit detailing how the conditions of approval will be addressed.

Building Division

15. PERMITS REQUIRED: A Building Permit is required for the renovation of two existing

commercial tenant spaces.

16. **APPLICABLE CODES:** The current codes, as amended and adopted by the Town of Los Gatos as of January 1, 2023, are the 2022 California Building Standards Code, California Code of Regulations Title 24, Parts 1-12, including locally adopted Energy Reach Codes.
17. **CONDITIONS OF APPROVAL:** The Conditions of Approval must be included on plan sheets within the construction plans. A Compliance Memorandum shall be prepared and submitted with the building permit application detailing how the Conditions of Approval will be addressed.
18. **BUILDING & SUITE NUMBERS:** Submit requests for new building addresses to the Building Division before submitting the building permit application.
19. **SIZE OF PLANS:** Minimum size 24" x 36", maximum size 30" x 42".
20. **TITLE 24 ENERGY COMPLIANCE:** All required California Title 24 Energy Compliance Forms must be directly printed onto a plan sheet.
21. **SITE ACCESSIBILITY:** At least one accessible route within the site boundary shall be provided from public transportation stops, accessible parking, accessible passenger loading zones, and public streets or sidewalks to the accessible building entrance that they serve. The accessible route shall, to the maximum extent feasible, coincide with the route for the general public. At least one accessible route shall connect all accessible buildings, facilities, elements, and spaces that are on the same site.
22. **ACCESSIBLE PARKING:** The parking lots and parking structure, where parking is provided for the public as clients, guests, or employees, shall provide accessible parking. Accessible parking spaces serving a particular building shall be located on the shortest accessible route of travel from adjacent parking to an accessible entrance. In buildings with multiple accessible entrances and adjacent parking, accessible parking spaces shall be dispersed and located as close as possible to the accessible entrances.
23. **BACKWATER VALVE:** As required by Town Ordinance 6.40.020, provide details for any required sanitary sewer backwater valve on the plans, including its location. The Town of Los Gatos Ordinance and West Valley Sanitation District (WVSD) require backwater valves on drainage piping serving fixtures that have flood level rims less than 12 inches above the elevation of the next upstream manhole.
24. **HAZARDOUS FIRE ZONE:** All projects in the Town of Los Gatos require Class A roof assemblies.
25. **SPECIAL INSPECTIONS:** When a special inspection is required by CBC Section 1704, the Architect or Engineer of Record shall prepare an inspection program that shall be submitted to the Building Official for approval prior to issuance of the Building Permit. The Town Special Inspection form must be completely filled out and signed by all requested parties prior to permit issuance. Special Inspection forms are available online at www.losgatosca.gov/building.
26. **CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs):** The Town standard West Valley Clean Water Authority Nonpoint Source Pollution Control Program Sheet (page size same as submitted drawings) shall be part of the plan submittal. The specification sheet is available online at www.losgatosca.gov/building.
27. **APPROVALS REQUIRED:** The project requires the following departments and agencies' approval before issuing a building permit:
 - a. Community Development – Planning Division: (408) 354-6874

- b. Engineering/Parks & Public Works Department: (408) 399-5771
- c. Santa Clara County Fire Department: (408) 378-4010
- d. West Valley Sanitation District: (408) 378-2407
- e. Santa Clara County Environmental Health Department: (408) 918-3479
- f. Local School District: The Town will forward the paperwork to the appropriate school district(s) for processing. A copy of the paid receipt is required prior to permit issuance.

TO THE SATISFACTION OF THE DIRECTOR OF PARKS AND PUBLIC WORKS:

Engineering Division

THE FOLLOWING CONDITIONS SHALL BE ADDRESSED OR NOTED ON THE CONSTRUCTION PLANS SUBMITTED FOR ANY BUILDING OR GRADING PERMIT, OR IF ANOTHER DEADLINE IS SPECIFIED IN A CONDITION, AT THAT TIME.

- 28. PAYMENT OF PARKS AND PUBLIC WORKS ("PPW") ENGINEERING PLAN CHECK FEE AND INSPECTION FEE – At the time of the first construction submittal, the Applicant shall submit for approval an off-site construction plan and a detailed construction project cost estimate prepared and stamped by the Applicant's civil engineer for improvements outside of the building. The cost estimate shall break out off-site improvements separately. This cost estimate will be used to determine the Encroachment Permit Fee per the Town's adopted fee schedule in effect at the time application is made. A final construction cost estimate shall be provided once the project plans are approved. This cost estimate will be used to determine if any additional encroachment permit fee is due. This adjustment fee, if any must be paid prior to the issuance of any construction related permit. The applicant shall not be eligible for any refund, even if the engineer's estimate is reduced in subsequent submittals. The Town Engineer, at his or her sole discretion, may require different unit prices be used in the engineering cost estimate.
- 29. PUBLIC IMPROVEMENTS – Prior to the issuance of any building permit and prior to any work being done in the Town's right of way, the Applicant must submit Public Improvement Plans for review and approval through an Encroachment Permit application with the Town. All public improvements shall be made according to the Town's latest adopted Standard Plans, Standard Specifications, Engineering Design Standards, and the Entitled Plan Set. The Applicant is required to confirm the location of existing utility lines along the project frontage by potholing, as necessary. Prior to any potholing, Applicant shall submit a separate encroachment permit application with a pothole plan for Town review and approval. The Applicant shall provide the pothole results to the Town Engineer prior to final design. All existing public utilities shall be protected in place and, if necessary, relocated as approved by the Town Engineer. No private facilities are permitted within the Town right of way or within any easement unless otherwise approved by the Town Engineer. The Applicant shall have Public Improvement Plans prepared, stamped, and signed by a California licensed civil engineer.
 - a. Once the Public Improvement Plans have been approved and all fee have been paid, the Town will issue an Encroachment Permit. The Encroachment Permit requires the Applicant to post the required bonds and insurance and provide a one (1) year warranty for all work to be done in the Town's right of way or Town easement. New

concrete shall be free of stamps, logos, names, graffiti, etc. Any new concrete installed that is damaged shall be removed and replaced at the Contractor's sole expense. The Applicant shall include with their encroachment permit application a temporary traffic control plan ("TTCP") inclusive of all modes of travel for any lane or sidewalk closures. Special provisions such as limitations on works hours, protective enclosures, or other means to facilitate public access in a safe manner may be required. The TTCP shall comply with the State of California Manual of Uniform Traffic Control Devices ("MUTCD") and standard construction practices.

- b. The project engineer shall notify the Town Engineer in writing of any proposed changes. Any proposed changes to the approved plans shall be subject to the approval of the Town. The Applicant shall not commence any work deviating from the approved plans until such deviations are approved. Any approved and constructed changes shall be incorporated into the final "as-built" plans.
- c. Right-of-way improvements shall include, at a minimum, the following items:
 - i. STREET TREES - The Applicant shall plant at least one (1) street tree along the project frontage as shown on the entitled plan set. The street tree plans shall be per Town Standard Drawings and must include Town Standard tree grates as shown on Sheet T-1C of the approved plans.
 - ii. TREE GRATES – The Applicant shall install at least one (1) Town Standard Tree Grates as shown on Sheet T-1C of the approved plans. Tree grates shall be 4'x6', black power coated model OT-T24 by Urban Accessories, or approved equal. The tree grates shall be shown on the improvement plans to be located at the back of curb to the approval of the Town Engineer and shall be installed with the street trees prior to the first occupancy. STREET MARKINGS - The Applicant shall install necessary street markings of a material and design approved by the Town Engineer and replace any that are damaged during construction. These include but are not limited to all pavement markings, parking stall markings, painted curbs, and handicap markings. All permanent pavement markings shall be thermoplastic and comply with Caltrans Standards. Color and location of painted curbs shall be shown on the plans and are subject to approval by the Town Engineer. Any existing painted curb or pavement markings no longer required shall be removed by grinding if thermoplastic, or sand blasting if in paint.
 - iii. SIDEWALK - The Applicant shall replace to existing Town standards all sidewalk on the east and north side of the project site. The actual amount of sidewalk to be replaced shall be determined by the Public Works Construction Inspector in the field prior to construction. Sidewalk replacement shall be constructed per the Town Standard Drawings. Sidewalk work in the Villa Hermosa area shall comply with the Villa Hermosa Style per Standard Plan Nos. ST-224 and ST-225 and as modified in the approved entitlement plans.
 - iv. CURB RAMP(S) - The Applicant shall re-construct one (1) curb ramp in accordance with the latest Caltrans State Standard Drawing at the corner of University Avenue and Elm Street. The actual ramp "Case" shall be identified on the plans and shall be to the approval of the Town Engineer.
 - v. CURB AND GUTTER - The Applicant shall replace to existing Town standards all new curb and gutter shown replaced on Sheet C4.0 of the entitled plan set as

determined by the Public Works Construction Inspector in the field prior to construction. New curb and gutter shall be constructed per the Town Standard Drawing ST-210 (Vertical).

- vi. BICYCLE PARKING – The Applicant shall provide at least two (2) short-term inverted “U” type bicycle racks on-site to the approval of the Town Engineer.
- vii. STORM WATER CATCH BASIN(S) - The Applicant shall repair the curb at the storm water catch basin located on University Avenue near the intersection of University Avenue and Elm Street in accordance with the Town Standard Drawing.
- viii. STREET LIGHT(S)
 - 1. The Applicant shall relocate two (2) post top street light(s) per sheet A004 of the entitled plan set per Town Standard Drawing EL-6 to EL-7. The Applicant is responsible for all PG&E service fees and hook-up charges. Any new service point connection required to power the new lights shall be shown on the construction drawings along with the conduit, pull boxes and other items necessary to install the street lights. An Isometric lighting level needs to be provided by the designer/contractor. A separate light study may be required by the Town Engineer. The light fixtures shall be Holophane Granville GVP2 series, with 100 Watt power, Black finish, Modern Style housing, 4K color temperature, standard finial, black terminal color, or approved equal. The light shall have IES Classification Type III or V. The pole shall be Holophane North Yorkshire NYS series, with cast iron and steel construction, 13’8” height, Fluted tapered shaft style (FTB), 20” round base, P08 tenon, LAB mounting bolts, black finish (BK) and with receptacle (RXXXY). The base shall fit the Town Standard 12” bolt circle pattern per detail EL-7 and shall be constructed on a street light base per Town Standards. The final location and style of street lights and poles are to be reviewed and approved by the Town Engineer during review of the submitted construction lighting plan. As these lights are a long lead-time item, it is recommended that the Applicant contact the manufacturer early in the construction phase of the project.
 - 2. A letter shall be provided by PG&E stating that public street light billing will be per Rule LS2A. Private lights shall be metered with billing addressed to the homeowners’ association. Pole numbers, assigned by PG&E, shall be clearly delineated on the plans.
- 30. TREE REMOVAL PERMIT – The Applicant shall apply and obtain a Tree Removal Permit from the Parks and Public Works Department for the removal or relocation of existing trees on-site or in the public right-of-way prior to the issuance of a building permit or demolition building permit, whichever is issued first. Tree removals shall be consistent with the arborist report and approved entitlement plans.
- 31. CONSTRUCTION PHASE PLAN SUBMITTAL REQUIREMENTS – The Public Improvement Plans (referred to as “Improvement Plans”) shall be submitted to the Parks and Public Works Department. The Improvement Plans shall be submitted at the same time as the Building Plans are submitted to the Building Department. All improvements shall be designed and constructed in accordance with Federal law, State law, Los Gatos Town Code, and the Los Gatos Standard Specifications and Details.

- a. Construction drawings shall comply with Section 1 (Construction Plan Requirements) of the Town's Engineering Design Standards, which are available for download from the Town's website. The Improvement Plans shall include:
 - b. A cover sheet with at least the proposed development vicinity map showing nearby and adjacent major streets and landmarks, property address, APN, scope of work, project manager and property owner, a sheet index including a sequential numeric page number for each sheet (i.e. "Sheet 1 of 54"), the lot size, required and proposed lot setbacks by type, proposed floor areas by type for each building, average slope, proposed maximum height, and required and proposed parking count and type.
 - c. The Approved Conditions of Approval printed within the plan set starting on the second sheet of the plan set.
 - d. An Existing Site Plan showing existing topography, bearing and distance information for all rights-of-way, easements, and boundaries, any existing easements proposed to be quit-claimed, existing hardscape, existing above ground utility features, and existing structures. The Improvement Plans shall identify the vertical elevation datum, date of survey, and surveyor responsible for the data presented.
 - e. A Proposed Site Plan showing proposed topography, boundaries, proposed and existing to remain easements, hardscape, above ground utility features (hydrants, transformers, control cabinets, communication nodes, etc.), and structures. Include top and bottom elevations of every inflection point of each wall. Show proposed public right-of-way improvements. Distinguish proposed linework from existing linework using heavier line type for proposed.
 - f. A Grading and Drainage Plan clearly showing existing onsite and adjacent topography using labeled contour lines, drainage direction arrows with slope value, and break lines. Proposed and existing to remain hardscape elevations must be provided in detail including slope arrows.
 - g. A Utility Plan showing appropriate line types and labels to identify the different types of utilities and pipe sizes. Utility boxes, hydrants, backflow preventers, water meters, sanitary sewer cleanouts, etc. shall be located on private property unless otherwise approved by the Town Engineer.
 - h. A Photometric Lighting Plan analyzing the full-width of the adjacent right-of-way. The plan shall show the average maintained horizontal illumination in foot-candles and the average to minimum uniformity ratio. Lighting shall be in compliance with the Town's Standard Specification section 2.38.
 - i. A Landscaping Plan for the project site and the full width of the public right-of-ways adjacent to the project. The plans shall clearly identify public and private utilities and points of demarcation between the two.
 - j. General Notes found in the Town of Los Gatos General Guidelines.
 - k. A statement in the general notes indicating the need to obtain a Caltrans Oversized/Overweight Vehicles Transportation Permit if oversized or overweight vehicles are expected to be used
32. **STANDARD PLAN COMPLIANCE** – The project shall comply with the Town's Standard Plans to the approval of the Town Engineer. Street improvements, all street sections, and the design of all off-site storm drainage facilities shall be in accordance with most

current Town Standard Specifications and Standard Plans approved by the Town Engineer. Improvements deemed necessary by the Town Engineer shall be shown on the Improvement Plans.

33. UTILITY RESPONSIBILITIES – The Applicant is responsible for the maintenance of existing stormwater drainage facilities, including piped and open channel stormwater conveyances in private areas. The Applicant is responsible for all expenses necessary to connect to the various utility providers. The public storm sewer system is owned and maintained by the Town of Los Gatos, the water system in Los Gatos is owned and maintained by San José Water Company, and the sanitary sewer system in Los Gatos is owned and maintained by West Valley Sanitation District. Any alterations of the approved utilities listed must be approved by the Town prior to any construction.
34. UTILITY COMPANY COORDINATION – The Applicant shall negotiate any necessary right-of-way or easements with the various utility companies in the area, subject to the review and approval by the Town Engineer and the utility companies. Prior to the approval of the site plan for construction, the Applicant shall submit “Will Serve” letters from PG&E, San José Water, West Valley Sanitation District, West Valley Collections and Recycling, and AT&T (or the current “Carrier of Last Resort”) with a statement indicating either a list of improvements necessary to serve the project or a statement that the existing network is sufficient to accommodate the project. Coordination of the stormwater conveyance system will be addressed during the Improvement Plan review.
35. PREPARATION OF ELECTRICAL PLANS – All street lighting plans shall be prepared by a California registered professional engineer experienced in preparing these types of plans. The Applicant shall submit necessary stamped and signed Traffic Signal Plan with the Improvement Plans.
36. EXTERIOR SITE LIGHTING STANDARDS – The Applicant shall submit a photometric plan for off-site lighting showing lighting levels in compliance with the Town Standard Specifications section 2.38 as part of the Improvement Plans. The plan shall show the minimum maintained horizontal illumination in foot-candles and the uniformity ratio for all areas. This lighting standard is applicable to all parking lots, driveways, circulation areas, aisles, passageways, recesses, and accessible grounds contiguous to all buildings. The lighting system shall be so designed as to limit light spill beyond property lines and to shield the light source from view from off site. The photometric plan shall be approved by the Town Engineer.
37. DEVELOPER STORM WATER QUALITY RESPONSIBILITY – The Applicant is responsible for ensuring that all contractors including subcontractors are aware of all stormwater quality measures and implement such measures. The Applicant shall perform all construction activities in accordance with approved Improvement Plans, Los Gatos Town Code Chapter 12 – Grading, Erosion and Sediment Control, and the National Pollutant Discharge Elimination System (NPDES) General Permit. Failure to comply with these rules and regulations will result in the issuance of correction notices, citations, or a project stop order.
38. CLEAN, INSPECT, AND REPAIR STORM LINE – If the project will connect to the public storm drainage system, the Applicant is required to evaluate the conditions of the existing storm lines along the project frontage by videotaping and providing the result to the Town Engineer. The Applicant shall clean and inspect (via remote TV camera) the

- storm line from the manhole upstream to the manhole downstream of the project area. The video inspection shall be done by a professional video inspection company and be completed prior to building permit issuance. The video of the inspection shall be reviewed with PPW and any cracked, broken, or otherwise compromised integrity is found, the areas of the line along the project frontage shall be repaired by the Applicant at the applicant's expense. The Applicant shall include the required repairs on the Improvement Plans submitted. All necessary repairs to the storm line shall be completed and approved prior to the project connecting to the storm drainage system
39. GRADING & DRAINAGE WINTER MORATORIUM – All grading activity shall comply with the Municipal Regional Stormwater Permit and Chapter 12 of the Town Code. There shall be no earthwork disturbance or grading activities between October 15th and April 15th of each year unless approved by the Town Engineer. In order to be considered for approval, the Applicant must submit a Winterization Erosion Control Plan certified by a California certified QSD to the Town Engineer for review and approval. If grading is allowed during the rainy season, a maximum of two (2) weeks is allowed between clearing of an area and stabilizing/building on the exposed area. The submission of a certified plan does not guarantee approval. Any approved and executed plan must be kept on-site while the project is in construction.
40. EROSION CONTROL – The Applicant shall include in the Improvement Plans interim (if needed) and final erosion control plans to the Town Engineer for review and approval. The interim erosion control plan(s) shall include measures carried out during construction before final landscaping is installed. Multiple phases of interim erosion control plans may be necessary depending on the complexity of the project. Interim erosion control best management practices may include silt fences, fiber rolls, erosion control blankets, Town approved seeding mixtures, filter berms, check dams, retention basins, etc. The Applicant shall install, maintain, and modify the erosion control measures as needed to continuously protect downstream water quality. In the event an emergency modification is deemed necessary, the Applicant must implement necessary measures to protect downstream waterways immediately and then submit the changes made within 24-hours to the Town Engineer for review and approval. The erosion control plans shall be in compliance with applicable measures contained in the most current Santa Clara County National Pollutant Discharge Elimination System (NPDES) Municipal Regional Permit (MRP). Any fees or penalties assessed against the Town in response to the Applicant's failure to comply with the Permit must be paid by the Applicant. The Applicant must permit Town staff onsite to conduct periodic NPDES inspections throughout the recognized storm season to verify compliance with the Construction General Permit and Stormwater ordinances and regulations.
41. SITE TRIANGLE AND TRAFFIC VIEW AREA – Fencing, landscaping, and permanent structures shall not visually obstruct line of sight between three-feet and 7.5-feet in height if located within the driveway view area, traffic view area, or corner sight triangle. The driveway and intersection site triangles are represented on Town Standard Drawing ST-231. The traffic view area and corner sight triangle are shown on Town Standard Drawing ST-232. This includes all above ground obstructions including utility structures, for example electric transformers. The various clearance lines shall be shown on the site plan to demonstrate compliance.

42. PRECONSTRUCTION MEETING – After the issuance of any Encroachment permit and before the commencement of any on or off-site work, the Applicant shall request a pre-construction meeting with the PPW Inspector to discuss the project conditions of approval, working hours, site maintenance, and other construction matters. At that meeting, the Applicant shall submit a letter acknowledging that:
 - a. They have read and understand these project Conditions of Approval;
 - b. They will require that all project sub-contractors read and understand these project Conditions of Approval; and,
 - c. They ensure a copy of these project Conditions of Approval will be posted on-site at all times during construction.
43. FLOOR DRAINS – All floor drains shall be plumbed to connect to the sanitary sewer system only. Site design must facilitate drainage away from building floor drains.
44. OFF-HOURS MATERIAL DELIVERY – The Applicant shall coordinate with the future site operators so that all site delivery of materials and goods are delivered off-hours and on-site. This will allow the on-site customer parking for the development site to be utilized during business hours, and not be impacted by the staging of delivery vehicles. The Applicant shall provide a written plan, to ensure that this condition is satisfied, prior to occupancy of the first site building. The plan shall be to the approval of the Town Engineer.

THE FOLLOWING CONDITIONS SHALL BE MET PRIOR TO THE APPROVAL OF THE FINAL MAP OR PARCEL MAP, OR IF ANOTHER DEADLINE IS SPECIFIED IN A CONDITION, AT THAT TIME

45. DEDICATIONS – The Applicant or owner shall dedicate a new sidewalk easement and quitclaim the existing sidewalk easement around the site so that the new easement follows the proposed building contours. These actions shall be recorded with the County, and an electronic copy (PDF) of the recorded quitclaimed existing easement and newly recorded sidewalk easement shall be submitted to the Engineering Division of the Parks and Public Works Department prior to issuance of a building permit.
46. TEMPORARY CONSTRUCTION EASEMENT – Prior to the issuance of a building permit, it shall be the sole responsibility of the project to obtain any and all proposed or required easements and/or permissions necessary to perform any work on neighboring private property herein proposed. Proof of agreement/approval is required prior to the issuance of any Permit.

THE FOLLOWING CONDITIONS SHALL BE MET PRIOR TO RELEASE OF UTILITIES, FINAL INSPECTION, OR ISSUANCE OF A CERTIFICATE OF OCCUPANCY, WHICHEVER OCCURS FIRST, OR IF ANOTHER DEADLINE IS SPECIFIED IN A CONDITION, AT THAT TIME.

47. RECORD DRAWINGS – The Applicant shall submit a scanned PDF set of stamped record drawings and construction specifications for all off-site improvements to the Department of Parks and Public Works. All underground facilities shall be shown on the record drawings as constructed in the field. The Applicant shall also provide the Town with an electronic copy of the record drawings in the AutoCAD Version being used by the Town at the time of completion of the work. The Applicant shall also submit an

AutoCAD drawing file of all consultants composite basemap linework showing all public improvements and utility layouts. This condition shall be met prior to the release of utilities, final inspection, or issuance of a certificate of occupancy, whichever occurs first.

48. **RESTORATION OF PUBLIC IMPROVEMENTS** – The Applicant shall repair or replace all existing improvements not designated for removal that are damaged or removed during construction. Improvements such as, but not limited to curbs, gutters, sidewalks, driveways, signs, streetlights, pavements, raised pavement markers, thermoplastic pavement markings, etc., shall be repaired or replaced to a condition equal to or better than the original condition. Any new concrete shall be free of stamps, logos, names, graffiti, etc. Existing improvement to be repaired or replaced shall be at the direction of the PPW Inspector and shall comply with all Title 24 Disabled Access provisions. The restoration of all improvements identified by the PPW Inspector shall be completed before the issuance of a certificate of occupancy. The Applicant shall request a walk-through with the PPW Inspector before the start of construction to verify existing conditions.
49. **LANDSCAPE MAINTENANCE AGREEMENT** – The Applicant shall enter into a Landscape Maintenance Agreement with the Town of Los Gatos in which the property owner agrees to maintain the vegetated areas along the project's University Avenue and Elm Street frontages located within the public right-of-way. The agreement must be executed and accepted by the Town Attorney prior to the issuance of any occupancy permit.

THE FOLLOWING CONDITIONS SHALL BE COMPLIED WITH AT ALL TIMES DURING THE CONSTRUCTION PHASE OF THE PROJECT, OR IF ANOTHER DEADLINE IS SPECIFIED IN A CONDITION, AT THAT TIME

50. **PROJECT CONSTRUCTION SETUP** – All storage and office trailers will be kept off the public right-of-way.
51. **PUBLIC WORKS CONSTRUCTION NOTICE** – The contractor shall notify the PPW Inspector at least ten (10) working days prior to the start of any construction work. At that time, the Contractor shall provide an initial project construction schedule and a 24-hour emergency telephone number list.
52. **PROJECT CONSTRUCTION SCHEDULE** – The contractor shall submit the project schedule in a static PDF 11"x17" format and Microsoft Project, or an approved equal. The Contractor shall identify the scheduled critical path for the installation of improvements to the approval of the Town Engineer. The schedule shall be updated monthly and submitted to the PPW Inspector in the same formats as the original.
53. **PROJECT CONSTRUCTION HANDOUT** – The Contractor shall provide to the Town Engineer an approved construction information handout for the purpose of responding to questions the Town receives regarding the project construction.
54. **PROJECT CONSTRUCTION SUPERVISION** – The Contractor shall always provide a qualified supervisor on the job site during construction.
55. **PUBLIC WORKS CONSTRUCTION INSPECTION** – All work shown on the Improvement Plans shall be inspected to the approval of the Town Engineer. Uninspected work shall

- be removed as deemed appropriate by the Town Engineer.
56. PROJECT CONSTRUCTION HOURS – Construction activities related to the issuance of any PPW permit shall comply with Town Code Section 16.20.035 which restricts construction to the weekday between 8:00 a.m. and 6:00 p.m. and Saturday 9:00 a.m. to 4:00 p.m. No work shall be done on Sundays or on Town Holidays unless otherwise approved by the Town Engineer. Please note that no work shall be allowed to take place within the Town right-of-way after 5:00 p.m. Monday through Friday. In addition, no work being done under Encroachment Permit may be performed on the weekend unless prior approvals have been granted by the Town Engineer. The Town Engineer may apply additional construction period restrictions, as necessary, to accommodate standard commute traffic along arterial roadways and along school commute routes. Onsite project signage must state the project construction hours. The permitted construction hours may be modified if the Town Engineer finds that the following criteria is met:
- a. Permitting extended hours of construction will decrease the total time needed to complete the project without an unreasonable impact to the neighborhood.
 - b. Permitting extended hours of construction is required to accommodate a construction requirement such as a large concrete pour or major road closure. Such a need would be presented by the project's design engineer and require approval of the Town Engineer.
 - c. An emergency situation exists where the construction work is necessary to correct an unsafe or dangerous condition resulting in obvious and eminent peril to public health and safety. If such a condition exists, the Town may waive any of the remaining requirements outlined below.
 - d. The exemption will not conflict with any other condition of approval required by the Town to mitigate significant environmental impacts.
 - e. The contractor or property owner will notify residential and commercial occupants of adjacent properties of the modified construction work hours. This notification must be provided three days prior to the start of the extended construction activity.
 - f. The approved hours of construction activity will be posted at the construction site in a place and manner that can be easily viewed by any interested member of the public.
 - g. The Town Engineer may revoke the extended work hours at any time if the contractor or owner of the property fails to abide by the conditions of extended work hours or if it is determined that the peace, comfort, and tranquility of the occupants of adjacent residential or commercial properties are impaired because of the location and nature of the construction.
 - h. The waiver application must be submitted to the PPW Inspector ten (10) working days prior to the requested date of waiver.
57. PROJECT CONSTRUCTION BMPs – All construction activities shall conform to the latest requirements of the CASQA Stormwater Best Management Practices Handbooks for Construction Activities and New Development and Redevelopment, the Town's grading and erosion control ordinances, the project specific temporary erosion control plan, and other generally accepted engineering practices for erosion control as required by the Town Engineer when undertaking construction activities.
58. PROJECT CONSTRUCTION EXCAVATION – The following provisions to control traffic

- congestion, noise, and dust shall be followed during site excavation and construction:
- a. All construction vehicles should be properly maintained and equipped with exhaust mufflers that meet State standards.
 - b. All public streets soiled or littered due to this construction activity shall be cleaned and swept on a daily basis during the workweek to the satisfaction of the Construction Inspector.
 - c. Site dirt shall not be tracked into the public right-of-way and shall be cleaned immediately if tracked into the public right-of-way. Mud, silt, concrete and other construction debris shall not be washed into the Town's storm drains.
 - d. All aggregate materials transported to and from the site shall be covered in accordance with Section 23114 of the California Vehicle Code during transit to and from the site.
 - e. Prior to issuance of any permit, the Applicant shall submit any applicable pedestrian or traffic detour plans to the satisfaction of the Town Engineer for any lane or sidewalk closures. The temporary traffic control plan shall be prepared by a licensed professional engineer with experience in preparing such plans and in accordance with the requirements of the latest edition of the California Manual on Uniform Traffic Control Devices (MUTCD) and standard construction practices.
 - f. The Traffic Control Plan shall be approved prior to the commencement of any work within the public right-of-way.
 - g. During construction, the Applicant shall make accessible any or all public and private utilities within the area impacted by construction, as directed by the Town Engineer.
 - h. The minimum soils sampling and testing frequency shall conform to Chapter 8 of the Caltrans Construction Manual. The Applicant shall require the soils engineer submit to daily testing and sampling reports to the Town Engineer.
59. **MATERIAL HAULING ROUTE AND PERMIT** – For material delivery vehicles equal to, or larger than two-axle, six-tire single unit truck size as defined by FHWA Standards, the Applicant shall submit a truck hauling route that conforms to Town of Los Gatos Standards for approval. Note that the Town requires a Haul Permit be issued for any hauling activities. The Applicant shall require contractors to prohibit trucks from using “compression release engine brakes” on residential streets. The haul route for this project shall be determined by the Town's Land Development Inspector. A letter from the Applicant confirming the intention to use the designated haul route shall be submitted to the Town Engineer for review and approval prior to the issuance of any Town permits. All material hauling activities including but not limited to, adherence to the approved route, hours of operation, staging of materials, dust control and street maintenance shall be the responsibility of the Applicant. Hauling of soil on- or off-site shall not occur during the morning or evening peak periods (between 7:00 a.m. and 9:00 a.m. and between 4:00 p.m. and 6:00 p.m.), and at other times as specified by the Town Engineer. The Applicant must provide an approved method of cleaning tires and trimming loads on site. All material hauling activities shall be done in accordance with applicable Town ordinances and conditions of approval.
60. **PROJECT CLOSE-OUT** – Prior to requesting a Final Inspection, the Applicant shall submit to the Town Engineer a letter indicating that all project conditions have been met, and all improvements are complete. All work must be completed to the satisfaction of the

Planning Director and Town Engineer prior to the first occupancy. All public improvements, including the complete installation of all improvements relative to streets, fencing, storm drainage, underground utilities, etc., shall be completed and attested to by the Town Engineer before approval of occupancy of any unit. Where facilities of other agencies are involved, including those for water and sanitary sewer services, such installation shall be verified as having been completed and accepted by those agencies. In addition, the Applicant shall submit an itemized final quantities list of all public improvements constructed on-site and within the public right-of-way. The final quantities list shall be prepared by the project engineer and be to the approval of the Town Engineer. The final quantities list shall be broken out into on-site and off-site improvements based on the format provided by the Town. Until such time as all required improvements are fully completed and accepted by Town, the Applicant shall be responsible for the care, maintenance, and any damage to such improvements. Town shall not, nor shall any officer or employee thereof, be liable or responsible for any accident, loss or damage, regardless of cause, happening or occurring to the work or improvements required for this project prior to the completion and acceptance of the work or Improvements. All such risks shall be the responsibility of and are hereby assumed by the Applicant.

61. DOWNTOWN HOLIDAY CONSTRUCTION MORATORIUM – Due to concerns for business impacts during the holiday season (defined as starting the Monday of Thanksgiving week through January 1), there shall be no construction activities in the Downtown area within the right-of-way which would create lane closures, eliminate parking, create pedestrian detours, or other activities that may create a major disturbance as determined by the Town Engineer.
62. CONSTRUCTION WORKER PARKING – The Applicant shall provide a Construction Parking Plan that minimizes the effect of construction worker parking in the neighborhood and shall include an estimate of the number of workers that will be present on the site during the various phases of construction and indicate where sufficient off-street parking will be utilized and identify any locations for off-site material deliveries. Said plan shall be approved by the Town Engineer prior to issuance of Town permits and shall be complied with at all times during construction. Failure to enforce the parking plan may result in suspension of the Town permits. No vehicle having a manufacturer's rated gross vehicle weight exceeding ten thousand (10,000) pounds shall be allowed to park on the portion of a street which abuts property in a residential zone without prior approval from the Town Engineer (§15.40.070).
63. SITE WATER DISCHARGE – In accordance with the Town Code, Prohibition of Illegal Discharges (Los Gatos Town Code Section 22.30.015), the Town Engineer may approve in coordination West Valley Sanitation District the discharge of uncontaminated pumped ground waters to the sanitary sewer only when such source is deemed unacceptable by State and Federal authorities for discharge to surface waters of the United States, whether pretreated or untreated, and for which no reasonable alternative method of disposal is available. Following the verification of the applicable local, state and/or federal approvals, a Discharge Plan will be approved and monitored by the Town Engineer.

THE FOLLOWING CONDITIONS SHALL BE COMPLIED WITH AT ALL TIMES THAT THE USE PERMITTED BY THIS ENTITLEMENT OCCUPIES THE PREMISES

64. POST CONSTRUCTION BEST MANAGEMENT PRACTICES (BMP) – Post construction storm water pollution prevention requirements shall include:
- a. The Applicant shall be charged the cost of abatement for issues associated with, but not limited to, inspection of the private stormwater facilities, emergency maintenance needed to protect public health or watercourses, and facility replacement or repair if the treatment facility is no longer able to meet performance standards or has deteriorated. Any abatement activity performed on the Applicant's property by Town staff will be charged to the Applicant at the Town's adopted fully-loaded hourly rates.
 - b. Maintenance of the storm drain inlets "No Dumping – Drains to Bay" plaques to alert the public to the destination of storm water and to prevent direct discharge of pollutants into the storm drain. Template ordering information is available at www.flowstobay.org.
 - c. All process equipment, oils, fuels, solvents, coolants, fertilizers, pesticides, and similar chemical products, as well as petroleum based wastes, tallow, and grease planned for storage outdoors shall be stored in covered containers at all times.
 - d. All public outdoor spaces and trails shall include installation and upkeep of dog waste stations.
 - e. Garbage and recycling receptacles and bins shall be designed and maintained with permanent covers to prevent exposure of trash to rain. Trash enclosure drains shall be connected to the sanitary sewer system.
 - f. It is the responsibility of the property owner(s)/homeowners association to implement a plan for street sweeping of paved private roads and cleaning of all storm drain inlets.

TO THE SATISFACTION OF THE DIRECTOR OF THE SANTA CLARA COUNTY FIRE DEPARTMENT:

65. Review of this Developmental proposal is limited to acceptability of site access, water supply and may include specific additional requirements as they pertain to fire department operations, and shall not be construed as a substitute for formal plan review to determine compliance with adopted model codes. Prior to performing any work, the applicant shall make application to, and receive from, the Building Department all applicable construction permits.
66. FIRE SPRINKLERS REQUIRED: (As Noted on Sheet 0011) Approved automatic sprinkler systems in new and existing buildings and structures shall be provided in the locations described in this Section or in Sections 903.2.1 through 903.2.12 whichever is more restrictive and Sections 903.2.14 through 903.2.21. For the purposes of this section, firewalls, and fire barriers used to separate building areas shall be constructed in accordance with the California Building Code and shall be without openings or penetrations. *Sprinklers shall be installed for the entire structure.*
67. FIRE ALARM: Fire alarm requirement will be a deferral submittal item.

68. REQUIRED FIRE FLOW: (Letter received) The fire flow for this project is 2968 GPM at 20 psi residual pressure. If an automatic fire sprinkler system will be installed, the fire flow will be reduced by 25%, establishing a required adjusted fire flow of 2226 GPM at 20 psi residual pressure. Note: The minimum required number of spacing of the hydrants shall be in accordance with CFC Table C102.1.
69. FIRE DEPARTMENT CONNECTION: (As noted on Sheet 001) The fire department connection (FDC) for the structure in support of the sprinkler system shall be installed at the street on the street address side of the building. IT shall be located within 100 feet of a public fire hydrant and within ten (10) feet of the main PIV (unless otherwise approved by the Chief due to practical difficulties). FDC's shall be equipped with a minimum of two (2), two -and-one-half (2-1/2") inch national standard threaded inlet couplings. Orientation of the FDC shall be such that hose lines may be readily and conveniently attached to the inlets without interference. FDC's shall be painted safety yellow [SCCFD, SP-2 Standard].
70. KNOX KEY BOXES/LOCKS WHERE REQUIRED FOR ACCESS: (As noted on Sheet A004) Where access to or within a structure or an area is restricted because of secured openings or where immediate access is necessary for lifesaving or firefighting purposes, the fire code official is authorized to require a key box to be installed in an approved location. The Knox Key Box shall be of an approved type and shall contain keys to gain necessary access as required by the fire code official. LOCKS. An approved Knox Lock shall be installed on gates or similar barriers when required by the fire code official. Key box maintenance. The operator of the building shall immediately notify the fire code official and provide the new key when a lock is changed or re-keyed. The key to such lock shall be secured in the key box. [CFC Sec. 506].
71. Note that a plan review is required prior to any proposed tenant improvement.
72. This review shall not be construed to be an approval of a violation of the provisions of the California Fire Code or of other laws or regulations of the jurisdiction. A permit presuming to give authority to violate or cancel the provisions of the fire code or other such laws or regulations shall not be valid. Any addition to or alteration of approved construction documents shall be approved in advance. [CFC, Ch.1, 105.3.6].

**PLANNING COMMISSION – August 27, 2025 - Draft
CONDITIONS OF APPROVAL**

31 University Avenue

Conditional Use Permit U-25-001

Consider a Request for Approval for Modification of Planned Development Ordinance 2025 to Allow Modifications to Building E, an Architecture and Site Application for Exterior Modifications to an Existing Commercial Building in the University/Edelen Historic District, and a Conditional Permit for Formula Retail over 10,000 square feet and for a Restaurant with Alcohol Service on a Property Zoned C-2:LHP:PD. APN 529-02-044. Categorically Exempt Pursuant to CEQA Guidelines Section 15301: Existing Facilities.

Property Owner: SRI Old Town, LLC

Applicant: Rick Nelson, MBH Architects

TO THE SATISFACTION OF THE DIRECTOR OF COMMUNITY DEVELOPMENT:

Planning Division

1. APPROVAL: This application shall be completed in accordance with all of the conditions of approval and in substantial compliance with the approved plans. Any intensification beyond this authorized use requires a Conditional Use Permit amendment.
2. EXPIRATION: The approval will expire two years from the approval date pursuant to Section 29.20.320 of the Town Code, unless the approval has been vested per Section 29.20.335 of the Town Code. Reasonable extensions of time not exceeding one year may be granted upon application, and can be granted if approved by the deciding body prior to the expiration date. Therefore, it is recommended that applications for a time extension be filed with the Community Development Department at least 60 days prior to the expiration date of the approval.
3. LAPSE FOR DISCONTINUANCE. If the activity for which the Conditional Use Permit has been granted is discontinued for a period of one (1) year, the approval lapses pursuant to Section 29.20.340 of the Zoning Ordinance.
4. USE: A formula retail business greater than 10,000 square feet with a restaurant with alcohol service and outdoor seating is permitted.
5. HOURS: The hours of operation shall be limited to 10:00 a.m. to 10:00 p.m., Monday through Saturday, and 10:00 a.m. to 9:00 p.m., Sunday.
6. BUSINESS LICENSE: A business license from the Town of Los Gatos Finance Department including a Certificate of Use and Occupancy approval from Planning must be obtained prior to the commencement of any new or change of use.
7. LIVE ENTERTAINMENT: Live entertainment until 10:00 p.m. is permitted in conformance with the Town Policy regulating Late Night Entertainment.
8. GENERAL: Uniformed privately provided security guards may be required in or around the premises by the Chief of Police if alcohol related problems occur that are not resolved by the licensed owner.
9. CONFORMANCE WITH CODE. No part of this approval shall be construed to permit a violation of any part of the Code of the Town of Los Gatos.

10. COMPLIANCE WITH LOCAL, STATE, and FEDERAL LAWS. The subject use shall be conducted in full compliance with all local, state, and federal laws.
11. TOWN INDEMNITY: Applicants are notified that Town Code Section 1.10.115 requires that any applicant who receives a permit or entitlement ("the Project") from the Town shall defend (with counsel approved by Town), indemnify, and hold harmless the Town, its agents, officers, and employees from and against any claim, action, or proceeding (including without limitation any appeal or petition for review thereof) against the Town or its agents, officers or employees related to an approval of the Project, including without limitation any related application, permit, certification, condition, environmental determination, other approval, compliance or failure to comply with applicable laws and regulations, and/or processing methods ("Challenge"). Town may (but is not obligated to) defend such Challenge as Town, in its sole discretion, determines appropriate, all at applicant's sole cost and expense.

Applicant shall bear any and all losses, damages, injuries, liabilities, costs and expenses (including, without limitation, staff time and in-house attorney's fees on a fully-loaded basis, attorney's fees for outside legal counsel, expert witness fees, court costs, and other litigation expenses) arising out of or related to any Challenge ("Costs"), whether incurred by Applicant, Town, or awarded to any third party, and shall pay to the Town upon demand any Costs incurred by the Town. No modification of the Project, any application, permit certification, condition, environmental determination, other approval, change in applicable laws and regulations, or change in such Challenge as Town, in its sole discretion, determines appropriate, all the applicant's sole cost and expense. No modification of the Project, any application, permit certification, condition, environmental determination, other approval, change in applicable laws and regulations, or change in processing methods shall alter the applicant's indemnity obligation.

12. COMPLIANCE MEMORANDUM: A memorandum, in compliance with standard Town practice, shall be prepared and submitted with the building permit detailing how the conditions of approval will be addressed.

Additional Agency Review

13. ADDITIONAL REQUIREMENTS. Additional agencies may require conformance review or permits for additional requirements, including but not limited to, Santa Clara County Environmental Health Department, West Valley Sanitation, and West Valley Collection and Recycling.



TOWN OF LOS GATOS
COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION
(408) 354-6872 Fax (408) 354-7593

CIVIC CENTER
110 E. MAIN STREET
LOS GATOS, CA 95030

February 26, 2025

Rick Nelson, MBH Architects
Via email

RE: 31 University Avenue
Planned Development Modification PD-25-001
Architecture and Site Application S-25-004
Conditional Use Permit U-25-001

Requesting Approval for Modification of Planned Development Ordinance to Allow Modifications to Building E, an Architecture and Site Application for Exterior Modifications to an Existing Commercial Building in the University/Edelen Historic District, and a Conditional Permit for Formula Retail over 10,000 square feet and for a Restaurant with Alcohol Service on a Property Zoned C-2:LHP:PD. APN 529-02-044. Categorically Exempt Pursuant to CEQA Guidelines Section 15301: Existing Facilities.

Property Owner: SRI Old Town, LLC.

Applicant: Rick Nelson, MBH Architects.

Project Planner: Erin Walters.

On February 26, 2025, the Los Gatos Historic Preservation Committee considered the request, discussed the item, and continued the application to a meeting date certain of March 26, 2025, with the following feedback:

- Although the proposed design is a Mediterranean style, it is not as compatible with the existing Old Town buildings; it is not consistent with the Planned Development; or the character of the University/Edelen Historic District;
- The design should convey a collective of individual structures rather than one consistent and symmetrical massing;
- Consider the addition of tile roofing material; and
- Consider the impact of the skylight from all elevations.

If you have any questions, I can be contacted by phone at (408) 354-6867 or by email at ewalters@losgatosca.gov.

Sincerely,

Erin M. Walters, Senior Planner

cc: Lindsey Laird, RH, via email

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**TOWN OF LOS GATOS
HISTORIC PRESERVATION
COMMITTEE REPORT**

MEETING DATE: 02/26/2025

ITEM NO: 5

DATE: February 21, 2025
TO: Historic Preservation Committee
FROM: Joel Paulson, Community Development Director
SUBJECT: Requesting Approval for Modification of Planned Development Ordinance to Allow Modifications to Building E, an Architecture and Site Application for Exterior Modifications to an Existing Commercial Building in the University/Edelen Historic District, and a Conditional Permit for Formula Retail over 10,000 square feet and for a Restaurant with Alcohol Service on a Property Zoned C-2:LHP:PD. **Located at 31 University Avenue.** APN 529-02-044. Planned Development Modification PD-25-001, Architecture and Site Application S-25-004 and Conditional Use Permit U-25-001. Categorically Exempt Pursuant to CEQA Guidelines Section 15301: Existing Facilities. Property Owner: SRI Old Town, LLC. Applicant: Rick Nelson, MBH Architects. Project Planner: Erin Walters.

RECOMMENDATION:

Requesting approval for exterior modifications to an existing commercial building, Building E in the Old Town Los Gatos Shopping Center in the University/Edelen Historic District on property zoned C-2:LHP:PD, located at 31 University Avenue.

PROPERTY DETAILS:

1. Date primary structure was built: 1999
2. Town of Los Gatos Historic Status Code: R
3. Does property have an LHP Overlay? Yes
4. Is structure in a historic district? Yes, University Edelen District
5. If yes, is it a contributor? No
6. Findings required? No
7. Considerations required? Yes

BACKGROUND:

The subject building is located in the Old Town commercial center on the southwest corner of University Avenue and Elm Street. Planned Development Ordinance 2025 was approved in 1996

PREPARED BY: Erin M. Walters
Senior Planner

and provided for redevelopment of Old Town, including construction of several new buildings (Attachment 1). Amongst the new construction completed in 1999 was the subject building, referred to as Building E in the PD Ordinance. The Old Town commercial center remains in the University-Edelen Historic District and the newer buildings support the district, although are not included as Contributors to the district.

Included in PD Ordinance 2025 is a condition that required Building E to be designed so that it appears to be a collective of individual structures that abut each other with a roof design reflective of individual structures (Attachment 1, Condition 15). Once completed, Building E became the longtime home of a restaurant and several retail uses.

In January 2025, the applicant applied for modification of PD Ordinance 2025, an Architecture and Site application for exterior modifications to Building E, and a Conditional Use Permit for formula retail use exceeding 10,000 square feet and for a restaurant. The proposed exterior modifications are the subject of this report and the aspect of the project on which the Committee should focus.

DISCUSSION:

The applicant is proposing to modify the exterior of Building E to establish more cohesive architecture for the future single tenant of the building. The applicant provided a Letter of Justification discussing the proposed project in the context of the historic district (Attachment 2) and Development Plans providing details of the proposed exterior work (Attachment 3). Exterior modifications would be made to all four elevations and include:

- Roof alterations creating consistent and symmetrical massing;
- Changes to window and door shapes, integrating arched and rectangular fenestration;
- New fabric awnings and metal and glass canopy awnings;
- A new skylight; and
- New stucco siding.

A color and materials sheet showing the proposed finishes of the new exterior materials is included on A406 in the Development Plans included as Attachment 3.

CONCLUSION:

The applicant is seeking a recommendation from the Committee for exterior modifications to Building E. Should the Committee find merit in the request, the Committee should forward a recommendation of approval for the request to the Planning Commission. The application package would continue through the discretionary review process and would not return to the Committee.

CONSIDERATIONS:

A. Considerations Required with Recommendation

In evaluating applications, the deciding body shall consider the architectural style, design, arrangement, texture, materials and color, and any other pertinent factors. Applications shall not be granted unless:

_____ In historic districts, the proposed work will neither adversely affect the exterior architectural characteristics or other features of the property which is the subject of the application, nor adversely affect its relationship, in terms of harmony and appropriateness, with its surroundings, including neighboring structures, nor adversely affect the character, or the historical, architectural or aesthetic interest or value of the district.

ATTACHMENTS:

1. Planned Development Ordinance 2025
2. Applicant's Request and Letter of Justification
3. Development Plans

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ORDINANCE 2025

ORDINANCE OF THE TOWN OF LOS GATOS AMENDING THE ZONING ORDINANCE EFFECTING A ZONE CHANGE FROM C-2 LHP TO C-2 PD LHP AT 50 UNIVERSITY AVENUE

THE TOWN COUNCIL OF THE TOWN OF LOS GATOS DOES ORDAIN AS
FOLLOWS:

SECTION I

The Town Code of the Town of Los Gatos is hereby amended to change the zoning at 50 University Avenue shown on the map which is attached hereto marked Exhibit A and is part of this Ordinance from C-2 LHP (Central Business District - Landmark Historic Preservation) to C-2 PD LHP (Central Business District - Planned Development - Landmark Historic Preservation).

SECTION II

The PD (Planned Development Overlay) zone established by this Ordinance authorizes the following construction and use of improvements:

1. Demolition of the Steamer's building and numerous accessory structures (shown on the Official Development Plan, sheet 3) and the partial demolition and reconstruction of the Old Town Center. The Old Town Center will be considered demolished by Town Code (definition of demolition of an historic structure) since more than 25 percent of the front exterior walls will be removed, and more than 50 percent of all exterior walls will be removed. The building however, will not be demolished and interior walls will remain;
2. Construction of an underground parking garage with retail above, new commercial building adjacent to St. Luke's Church (20 University Avenue), and reconfiguration of the parking lot as shown on the Official Development Plan;

3. Changing the use of the auditorium to a retail use. A theater use is a permitted use within the existing auditorium, the amphitheater or elsewhere on the site;
4. Landscaping, streets and other improvements shown and required on the Official Development Plan;
5.
 - a. Relocation of the Steamer's restaurant to another space within the project site, subject to the conditions of Steamer's most current Conditional Use Permit [216 seats].
 - b. The existing restaurants (Wine Cellar - Suite 12 [49 seats]; California Cafe - Suite 8 [208 seats]; and the Waves (or new tenant) - Suite 1 [91 seats]), are permitted to remain in the existing Old Town Center building subject to their conditions of their Conditional Use Permit; any changes to their use or relocation within the Center on either side of University Avenue or increase in seating, will require a modification to the applicable Conditional Use Permit.
6. Uses permitted are those specified in the C-2 (Central Business District) zone by Sections 29.60.320 (Permitted Uses) and 29.20.185 (Conditional Uses) of the Town Code, as those sections exist at the time of the adoption of this Ordinance, or as they may be amended in the future. However, no use listed in Section 29.20.185 is allowed unless specifically authorized by this Ordinance, or by Conditional Use Permit.

SECTION III

COMPLIANCE WITH OTHER DEVELOPMENT STANDARDS

All provisions of the Town Code apply, except when the Official Development Plan specifically shows otherwise.

SECTION IV

Architecture and Site Approval is required before there are exterior changes to the Old Town Center, demolition of the Steamer's building and construction work of the parking lot, new buildings and reconstruction of the Old Town Center is performed, whether or not a permit is required for the work and before any permit for construction is issued. Construction permits shall only be in a manner complying with Section 29.80.130 of the Town Code. Interior work of the Old Town Center is permitted to bring the building up to current Building Code and does not need Architecture and Site approval. A Building Permit and other applicable permits may be required for the interior work.

SECTION V

The attached Exhibit A (Map) and Exhibit B (Tentative Map and Development Plans, 20 sheets), are part of the Official Development Plan. The following must be complied with before issuance of any grading, demolition or construction permits:

TO THE SATISFACTION OF THE PLANNING DIRECTOR:

(Planning Section)

1. **PARCEL.** The parcel shall remain as one parcel.
2. **HOLD HARMLESS.** The developer has requested the Town's approval and has had the opportunity to review, comment and accept the process and approval. The developer shall hold the Town harmless from any claim or litigation alleging that this ordinance or subsequent approvals obtained by the developer for this project was processed, adopted, or approved in violation of any Federal, State, Town or other local law or regulation of any kind, and shall pay all costs involved in defending any such claim or litigation, including attorney fees.
3. **PHASING.** All buildings may be worked on simultaneously. Twenty Five percent of the occupancy of Building E shall be held until final occupancy has been given for the existing

Old Town Center and its two parking lots. A map shall be provided prior to the issuance of a building permit, indicating the tenant spaces of Building E and which units are proposed to have their occupancy held. During the final occupancy stage, these held units may be changed with Town approval.

4. **TRASH ENCLOSURE/MECHANICAL EQUIPMENT.** Trash enclosures and mechanical equipment shall be located as far from residential receptors as possible. The enclosures shall be constructed to provide full screening from residential receptor locations. The location of the trash enclosures will be reviewed during the Architecture and Site approval process. The quietest and smallest capacity heating, ventilation, and air conditions equipment that meets design specifications and Town Noise Ordinance standards shall be used. The roof equipment for Building D shall be restricted to the east end of the building and the vent exhausts shall be directed toward the Old Town parking lot.
5. **ACCESS EASEMENT.** If the trash pickup is proposed at Parking Lot 6, an access easement shall be required to be obtained from the Town, prior to Architecture and Site approval. If the easement is not granted, the revised trash pickup area shall be considered during the Architecture and Site approval process which may require redesign and/or reduction of building square footage.
6. **RECYCLING.** All wood, metal, glass, and aluminum materials generated from the demolished structure shall be deposited to a company which will recycle the materials. Receipts from the company(s) accepting these materials, noting type and weight of material, shall be submitted to the Town prior to the Town's demolition inspection.
7. **STEAMER'S.** The outside seating area for the relocated Steamer's restaurant, will be reviewed during the Architecture and Site approval process to ensure it meets all Town Code and Town policy requirements.
8. **CLOSED AREAS.** All areas to be closed off within the existing Old Town Center shall be explicitly documented to ensure that these areas will not and cannot be used in the future during the Architecture and Site approval process. This documentation of the

closed areas shall be shown on the Architecture and Site plans and building permit plans. These areas shall visually be shown to be closed off during final inspection.

9. PLAQUES. The two plaques which currently exist on the building, (the history of Los Gatos plaque and the dedication to teachers and students plaque), shall be saved and replaced on the building prior to final occupancy.
10. PARKING SPACES. All parking spaces shall conform to current parking requirement dimensions. Parking spaces in the underground garage next to columns, walls or similar obstructions, shall have a minimum width of 9.5 feet. Parking plans will be reviewed during the Architecture and Site approval process.
11. RESTROOMS. The restrooms located within the buildings, which are not exclusively for an individual office use, shall be available to the general public.
12. BUILDING D. The back wall (south side next to church) shall be painted to match or harmonize with the existing St. Luke's wall.
13. BUILDING D ACCESS. Access to the space between Building D and the St. Luke's wall may be securely closed to the public and accessible only to the appropriate and permitted maintenance/landscaping personnel.
14. WALL. The proposed 10 foot high wall along the south property line adjacent to St. Luke's Church shall not be constructed. The existing eight foot high wall shall remain. If the church later decides that the wall is needed, and the applicant wishes to install the wall, it shall be permitted with the appropriate approvals and permits from the Town.
15. BUILDING E. During the Architecture and Site approval process, Building E shall be modified as follows:
 - a. Open up the center pathway. Building could be moved closer to the south property line to increase width of pathway.
 - b. Design structure so that it appears to be a collective of individual structures that abut each other.

- c. The roof design shall be reflective of the individual structures (break-up rooflines).
 - d. Corner tower shall be redesigned into a clipped corner design.
 - e. Provide more variety in the buildings.
16. **STORE DELIVERIES.** The area behind Building E, adjacent to Parking Lot 6, shall not be used for deliveries.
17. **SIGNS.** A sign program shall be submitted as part of the Architecture and Site approval process. Arched wrought iron signs advertising Old Town are permitted as shown on the attached Development Plans (Exhibit B). The margin of measurement for tenant signs may be reduced to a minimum of one inch around all of the words and symbols. The actual dimensions shall be finalized during the Architecture and Site approval process with the sign program. Signs identifying business and the Center shall not be either lighted from the interior or made of translucent materials.

(Engineering Section)

18. **PUBLIC IMPROVEMENTS.** The following improvements shall be installed by the developer. Plans for those improvements shall be prepared by a California registered civil engineer, reviewed and approved by the Town, and guaranteed by contract, Faithful Performance Security and Labor & Materials Security before the issuance of a building permit or recordation of a map. The improvements must be completed and accepted by the Town before a Certificate of Occupancy for any new building can be issued. At the time of Architecture and Site Approval for the project, conformance with the Streetscape Plan for Central Business District Improvements (which includes benches and trash receptacles) will be determined and incorporated with the improvements identified below.

- a. University Avenue. Curb, gutter, "Villa Hermosa" sidewalk, curb ramp, driveway approach, street lights, tie-in paving, removal of mid-block crosswalks, signing, striping, storm and sanitary sewers, as required.
 - b. Elm Street. Curb, gutter, "Villa Hermosa" sidewalk, curb ramp, street lights, tie-in paving, signing, striping, storm and sanitary sewers, as required.
 - c. Mullen Avenue. Curb, gutter, "Villa Hermosa" sidewalk, curb ramp, driveway approach, street lights, tie-in paving, signing, striping, storm and sanitary sewers, as required.
19. **HYDRAULIC CALCULATIONS.** At the time of the final design of the project, existing and post-project hydraulic calculation for the project area and associated drainage conveyance facilities between the project and Los Gatos Creek. The hydraulic calculation should include calculations to confirm the preliminary findings of the EIR.
20. **MID-BLOCK CROSSWALK.** The existing mid-block cross walks shall be removed. No new mid-block crosswalk shall be installed. The only marked crosswalk to the site shall be at the Elm Street/University Avenue intersection and across Mullen Avenue at University Avenue.
21. **INSURANCE.** One million dollars (\$1,000,000) of liability insurance holding the Town harmless shall be provided in a format acceptable to the Town Attorney before issuance of the building permit.
22. **TRAFFIC IMPACT MITIGATION FEE (COMMERCIAL).** The developer shall pay a proportional to the project's share of transportation improvements needed to serve cumulative development within the Town of Los Gatos. The fee amount will be based upon the Town Council resolution in effect at the time the building permit application is made. The number of trips used in the calculations will be the net additional trips as shown in Table 5-8 of the E.I.R. by Geier & Geier, dated September 1996. The fee shall be paid before issuance of the building permit. The traffic impact mitigation fee for this project using the current fee schedule is \$89,280. The final fee shall be calculated from

the final plans using the rate schedule in effect at the time of the building permit application.

23. CHRISTMAS SHOPPING CONSIDERATIONS. Construction shall be scheduled or other measures implemented, to minimize construction impacts during the Christmas shopping season.
24. DEWATERING PLAN. Prior to issuance of a building permit, the project applicant shall prepare a dewatering plan specifying how groundwater would be handled when encountered during excavation, how temporary excavations would be protected from groundwater saturation and how permanent foundations would be kept dry from groundwater as well as from surface water runoff.
25. EROSION CONTROL PLAN. The project applicant shall prepare and implement an erosion control plan in conformance with the Town and California Regional Water Quality Control Board requirements prior to issuance of a building permit. The plan shall account for existing drainage conditions since most runoff generated on the sunken parking lot site during the excavation phase would be too low to drain to adjacent storm drains and would require pumping.
26. STREET LIGHTING. The project applicant shall prepare and submit to the Town during the Architecture and Site approval process, a street lighting program and plan for all streets surrounding the proposed project site.
27. TRAFFIC DIVERTER. At the time of Architecture and Site Application, various methods of preventing Old Town related traffic from using Edelen Avenue from Mullen Avenue shall be explored. The method of traffic diversion chosen shall also be approved by Central Fire Protection District.

TO THE SATISFACTION OF THE DIRECTOR OF PARKS, FORESTRY & MAINTENANCE SERVICES:

28. TREE CARE. All tree care activities shall be accomplished by a licensed, competent tree care firm as approved by and under the supervision of the Director of Parks, Forestry & Maintenance Services.
29. PROTECTIVE FENCING. Prior to any construction or Building Permits being issued, the applicant shall meet with the Director of Parks, Forestry and Maintenance Services concerning the need for protective fencing around the existing trees. Such fencing is to be installed prior to, and be maintained during construction.
30. NEW TREES. Newly planted trees shall be double-staked, using rubber tree ties and shall be planted prior to acceptance of the subdivision.
31. IRRIGATION. No irrigation or planting shall be permitted under the dripline of existing native trees. All newly planted material shall be irrigated by an in-ground irrigation system.
32. CONSTRUCTION. No construction or grading shall take place within the dripline of existing trees.
33. AERATION TUBES. Any impervious area (excluding roadways) encroaching under the dripline of existing trees shall have aeration tubes installed.
34. LANDSCAPE PLAN. A precise landscaping plan shall be submitted at the Architecture and Site Approval stage of development. Planting on the south back of Building D shall be done in cooperation with St. Luke's Church.
35. WATER EFFICIENCY. This project is subject to the Town's Water Efficient Landscape Ordinance as per Chapter 26 Article IV of the Town Code. A review fee based on current resolution shall be paid when the landscape, irrigation plans and water calculations are submitted for review. Plans and fees must be submitted prior to issuance of a building permit.

36. ARBORIST REQUIREMENTS. The following measures from the Coate study (1996) shall be enforced to minimize damage to the three Oak trees:

- a. The foundation which is installed ten feet from the fence, beginning 50 feet east of the curb, must be of pier and beam foundation design, not standard L-footing.
- b. If an additional wall is installed adjacent to the existing property line wall, it shall also be of a pier and grade beam foundation design with the beam laid on top of the existing grade.
- c. When pavement is removed from any area beneath the canopy of one of these trees, the pavement must be removed by breaking the pavement up with a jackhammer or by manual labor, and the broken pieces shall be loaded into a skip loader which is standing on undisturbed pavement. Roots which are exposed in the top three inches of soil, with removal of that pavement, shall be protected from compaction or other damage.
- d. Under no circumstances shall equipment be allowed to drive on the exposed soil once the pavement has been removed until protection has been installed over the newly exposed roots.
- e. The protective surfaces shall include a four inch layer of tree chips over any surface beneath the tree canopy which is newly exposed.
- f. If it becomes necessary to drive construction equipment over any of those newly exposed areas, 1.5 inch plywood sheets shall be laid over a five inch layer of tree chips to prevent compaction of the soil by equipment wheels.
- g. As part of the contract specifications for the general contractor and all subcontractors, construction personnel shall not be allowed to prune any of the Oak tree limbs or branches located directly above construction. An arborist certified by the International Society of Arboriculture shall be called to prune the canopy of the trees over the parking lot before

construction begin begins, if any conflicts arise between actual construction and the tree at later stages of construction, only the arborist shall be allowed to do additional pruning to solve the problem. All pruning must follow Western Chapter, International Society of Arboriculture Pruning Standards.

- h. The two Oak trees located closest to University Avenue shall be fertilized by injecting a liquid fertilizer mix into all areas beneath the canopies of these trees, including that on the south side of the existing wall. The fertilizer shall be composed of Greenbelt 22-14-14 soluble fertilizer mixed at four pounds of fertilizer per 100 gallons of water, and injected at 10 gallons of this mix per one inch of trunk diameter into all areas beneath the canopy in exposed soil or through bricks where that becomes the only method by which fertilizer can be supplied to the root zone.

TO THE SATISFACTION OF THE DIRECTOR OF BUILDING AND ENGINEERING SERVICES:

- 37. GENERAL. All public improvements shall be made according to the latest adopted Town Standard Drawings and the Standard Specifications for Public Works Construction. All work shall conform to the applicable Town ordinances. Adjacent public right-of-way shall be kept clear of all job related dirt and debris at the end of day. Dirt and debris shall not be washed into storm sewers. The storing of goods and materials on the sidewalk and/or street will not be allowed unless a special permit is issued. The developer's representative in charge shall be at the job site during all working hours. Failure to maintain the public right-of-way according to this condition may result in the Town performing the required maintenance at the developer's expense.
- 38. PUBLIC WORKS INSPECTIONS. The developer or his representative shall notify the Engineering Construction Inspector at least twenty-four (24) hours before starting any

work pertaining to on-site drainage facilities, grading, or paving; and all work in the Town's right-of-way. Failure to do so will result in rejection of work that went on without inspection.

39. **EROSION CONTROL (COMMERCIAL).** Interim and final erosion control plans shall be prepared and submitted to the Engineering Development Section of the Planning Department. On sites over 5 acres, at Notice of Intent (NOI) and Storm Water Pollution Prevention Plan (SWPPP) shall be submitted to the Region Water Quality Control Board. Grading activities shall be limited to the period of least rainfall (April 15 to October 1). A maximum of two weeks is allowed between clearing of an area and stabilizing/building on this area if grading that is allowed to go on during the rainy season. In addition, straw bales and plastic sheeting shall be stored on-site for emergency control, if needed. Install filter berms, check dams, retention basins, silt fences, and straw bale dikes as needed on the project site, to protect downstream water quality during winter months.
40. **UTILITIES.** The developer shall install all utility service, including telephone, electric power, and other communications lines underground, as required by Town Code §27.50.015(b).
41. **RESTORATION OF PUBLIC IMPROVEMENTS.** The developer shall repair or replace all existing improvements not designated for removal that are damaged or removed because of developer's operations. Improvements such as, but not limited to, curbs, gutters, sidewalks, driveways, signs, pavements, raised pavement markers, thermoplastic pavement markings, or signs shall be repaired and replaced to a condition equal to or better than the original condition. Existing improvements to be repaired or replaced shall be at the direction of the Engineering Construction Inspector, and shall comply with all Title 24 Disabled Access provisions. Developer shall request a walk-through with the Engineering Construction Inspector before the start of construction to verify existing conditions.

42. CURB RAMPS. The developer shall construct three or four (3 or 4) curb ramps according to State Standard Drawings at the crosswalks at University Avenue/Elm Street, University Avenue/Mullen Avenue and the University Avenue entrance. The exact number will be determined at the time of Architecture and Site Approval. The actual "Case" as shown on the standard to be used will be decided by the Engineering Construction Inspector during the construction phase.
43. AS-BUILT PLANS. After completion of the construction of all work in the public right-of-way or public easements, the original plans shall have all changes (change orders and field changes) clearly marked. The "As-built" plans shall again be signed and "wet-stamped" by the engineer who prepared the plans, attesting to the changes. The original "As-built" plans shall be reviewed and approved the Engineering Inspector. A photo Mylar of the approved "As-built" plans shall be provided to the TOWN before the release of the Faithful Performance Security.
44. DRIVEWAY APPROACH. The developer shall install four (4) Town Standard Commercial driveway approaches in the locations shown on the Official Development Plan. The new driveway approaches shall be constructed per Town Standard Detail S-5.
45. ENCROACHMENT PERMIT. All work in the public right-of-way will require a Construction Encroachment Permit and will require construction security.
46. GARAGE ACCESS RAMP. The garage access ramp shall be widened to 30 feet. This will facilitate ingress and egress from the garage and allow the placement of a parking control station in the future. The ramp shall be clearly signed to prohibit pedestrian use.
47. BUILDING "E" PARKING. The underground garage can be used for construction worker parking once the Town Building Official has finalized the private use of the garage. In addition, the entrance to the parking garage shall be monitored at all time that it is open (e.g., guard, gate, etc.) to ensure it is not used by the public prior to the issuance of a Certificate of Occupancy for Building "E".

48. **PARKING CONTINGENCY PLAN.** The applicant shall prepare a construction worker parking contingency plan, to be implemented if directed to do so by the Town, to have construction workers park off-site. The plan shall include designation of a specific off-site location for all construction worker parking. This location shall not be within the Central Business District (C-2 zone) unless Town Council gives the authorization to a specific site, and workers shall be shuttled from the off-site location. The parking contingency plan shall be approved by the Director of Building and Engineering Services prior to the issuance of a building permit.
49. **CONSTRUCTION DELIVERIES.** All construction deliveries shall be restricted to the hours between 9:00 a.m. and 3:00 p.m. to minimize school and downtown impacts. The applicant should monitor construction activities to ensure that traffic flow along University are not adversely affected by materials/equipment deliveries. At no time shall street blockages be permitted that would impact the mobility of emergency service vehicles.
50. **PEDESTRIAN ACCESS.** Construction activities shall be planned and implemented so as to minimize disruption to pedestrian and vehicular traffic. The sidewalk shall be kept open on at least one side of each street at all times.
51. **SANITARY SEWER LATERAL.** Sanitary sewer laterals shall be televised by West Valley Sanitation District at the developer's expense and approved by the Town of Los Gatos before they are used or reused. Install sanitary sewer lateral clean-outs at the property line.
52. **GREASE TRAPS.** Meet all requirements of the County Health Department and West Valley Sanitation District for the interception, separation, or pretreatment of effluent for all existing and new uses.
53. **NOISE REDUCTION.** Equipment used for project construction shall utilize control techniques (improved mufflers, equipment redesign, use of silencers, ducts and mufflers) in order to minimize construction noise impacts. Construction noise shall be minimized by requiring the project contractors to agree with the following measures:

- a. If the Noise Ordinance noise standard cannot be met at the Mullen Avenue property boundary or along the church boundary, temporary wooden fencing shall be erected during construction along that boundary.
 - b. A member of the project applicant's team shall be appointed to enforce construction hours allowed by Town Ordinance. The project applicant shall introduce this person to the Town staff and have this person accessible to the Town during all site preparation and construction activities.
 - c. Elimination of unnecessary idling of equipment.
 - d. Good maintenance and lubrication procedures shall be used on all construction equipment to reduce operating noise.
54. **HAZARDOUS MATERIALS PLAN.** A management plan for hazardous materials shall be prepared by the developer. This management plan shall identify all suspected hazardous materials (including contaminated soils, groundwater, PCBs, lead-based paints, asbestos) and specify applicable regulations that would determine appropriate handling and disposal of hazardous materials. The management plan shall provide detailed quantification of the types and quantities of asbestos. The plan shall also provide guidelines for the handling and disposal of lead-based paints. When handling and disposing of lead-based paints, appropriate measures shall be required to ensure compliance with applicable state hazardous waste and OSHA regulations (worker safety). The plan shall include plans for site safety/worker protection, sampling and investigation, and disposal/remediation for materials which exceed regulatory action levels and are determined to be hazardous. For suspected hazardous materials (contaminated soil and groundwater) which may be encountered during construction, contingency plans for site safety/worker protection, sampling and investigation, and disposal/remediation shall be included; these shall be based on soil and groundwater sampling and testing that have been completed to date. The plan shall be filed with the Town and all other appropriated agencies. Appropriate contract specifications shall be imposed on construction contractors

for proper handling and disposal of hazardous materials consistent with the required management plan. The developer shall complete an asbestos survey of the Steamer's building prior to demolition. The developer shall ensure that all existing asbestos containing materials are removed, closed off or encapsulated by a licensed abatement contractor prior to site preparation for renovation, rehabilitation and removal of any materials or fixtures. This will include undertaking a physical examination of the project site to determine the amount of each type of material to be closed off, encapsulated or removed, and mapping areas where asbestos containing materials are to be closed off, encapsulated and/or removed. An inspection and maintenance program shall be developed for any areas closed off or encapsulated to prevent any fiber release.

55. **HAZARDOUS MATERIAL PREPARATION.** During demolition and excavation activities, the developer shall be prepared for the potential of encountering hazardous materials in areas not already characterized. The developer shall be alerted for visible evidence of hazardous materials, such as soil discoloration, suspicious odors, or presence of underground tanks, piping or other buried building materials and shall provide for the collection of grab samples in the area of suspected contamination.
56. **GROUNDWATER.** If groundwater is encountered during project construction and dewatering is required, the developer shall undertake sampling and testing of the encountered groundwater in accordance with the contingency sampling and investigation plan. If groundwater is found to contain contaminants which exceed regulatory action levels, it may not be discharged into the existing storm drain system. Removal and handling of the contaminated groundwater shall be done in a manner acceptable to the Regional Water Quality Control Board, the Town and other jurisdictional agencies. Once more detailed project plans become available, the Town may choose to require the developer to submit a Notice of Intent (NOI) to the California Regional Water Quality Control Board prior to construction. If required, the NOI letter shall include mapping,

potential pollutant lists, and a detailed description of drainage factors regarding the project site during construction.

57. **ELEVATOR CONTAMINANTS.** The existence of contaminants in soil beneath the existing elevator room shall be determined and appropriate remediation shall be completed as required by applicable federal, state and local regulations. Appropriate contract specifications shall be imposed on construction contractors for proper handling and disposal of hazardous materials consistent with the required management plan.
58. **PCB'S.** The developer shall request PG&E to test the two transformers for PCBs and if present, PCBs shall be removed and disposed of properly.
59. **NOTIFICATION REQUIREMENTS.** The developer shall comply with notification requirements under applicable Federal regulations regarding hazardous air pollutants, including asbestos, in accordance with Section 19827.5 of the California Health and Safety Code (adopted January 1, 1991).
60. **EXISTING BASEMENT.** While the existing hazard posed in the crawl hole basement area of Building B is not an impact of the proposed project, this area shall be immediately be closed off or abated and the soil decontaminated by a licensed abatement contractor (prior to initiation of any work on the proposed project). In the event the crawl hole basement of this area is permanently closed off, an inspection and maintenance program shall be developed to prevent any fiber release.
61. **ASBESTOS EXPOSURE.** All necessary measures shall be implemented to protect operating merchants, employees and customers from exposure to asbestos.
62. **BAAQMD.** To comply with BAAQMD nuisance abatement rules, the following dust (PM10) control measures shall be included as conditions of the grading permit:
 - a. Water all active construction areas at least twice daily.
 - b. Cover all trucks hauling soil, sand, and other loose debris or require all trucks to maintain at least two feet of freeboard.

- c. Apply water three times daily, or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas, and staging areas at construction sites.
 - d. Sweep (preferably with water sweepers) all paved access roads, parking areas and staging areas at construction sites.
 - e. Sweep streets daily (preferably with water sweepers) if visible soil material is carried onto adjacent public streets.
63. **GEOLOGIC HAZARDS CHECKLIST.** The developer shall submit to the Town a Geologic Hazards Checklist, as outlined by the California Department of Conservation Division of Mines and Geology, and appropriate geotechnical design studies demonstrating that the probable lateral forces experienced at the project site from a seismic event have been taken into consideration in the design and construction plans for the proposed project. These studies shall address building foundation design for the parking garage and Buildings D and E as well as for any seismic retrofit found to require new or upgraded foundations in Buildings A and B. Project plans for seismic retrofitting of Buildings A and B shall demonstrate conformance with 1994 Uniform Building Code requirements (including 1995 California amendments) and/or recommendations made by Boley Consulting Engineers, whichever requirements are determined to be appropriate by the Town.
64. **SEISMIC RETROFIT.** The developer shall provide plans or designs for structural repairs in order to seismically retrofit the existing buildings. Such plans or designs shall include any and all foundations needed to support each location of seismic retrofitting. Proposed plans shall conform to the current Uniform Building Code, with California amendments in effect in Town.
65. **BUILDING CODE.** Project plans shall demonstrate conformance with current Uniform Building Code requirements (including California amendments in effect in Town) and/or recommendations made by Boley Consulting Engineers (whichever requirements are determined to be appropriate by the Town) to repair and upgrade the structures in order

to integrate the structural system and to make Buildings A and B capable of providing resistance to gravity and seismic loads.

66. The westerly wall of the underground garage under Building E shall contain a structurally designed section or sections that would structurally accommodate being knocked out for access to and from a possible future below-grade parking level on Town Parking Lot No. 6.

TO THE SATISFACTION OF CENTRAL FIRE PROTECTION DISTRICT

67. **SPRINKLERS.** Fire sprinkler system shall be modified as necessary for Buildings A, B and C. An automatic fire sprinkler system shall be installed in Buildings D and E and the parking garage.
68. **HYDRANTS.** Additional fire hydrants may be required. This will be determined during the Architecture and Site approval process.

TO THE SATISFACTION OF THE CHIEF OF POLICE

69. **LIGHTING.** The stairwells and building recesses shall have proper lighting with illumination no less than five foot candles at five feet off the ground. If telephones are provided, they shall be located in the open courtyard, not hidden away behind walls.

TO THE SATISFACTION OF SANTA CLARA COUNTY WATER DISTRICT

70. **DRAINAGE.** There shall be no overbank drainage into the Los Gatos Creek from grading the site. Storm runoff shall be collected via an onsite storm drain system and distributed to an existing city storm drain system or an outfall into the creek. If an outfall is desired, it shall be designed in accordance with District guide sheets.

71. PERMIT. A District permit is required for any construction adjacent to or within the Los Gatos Creek.

SECTION VI

This Ordinance was introduced at a regular meeting of the Town Council of the Town of Los Gatos on December 2, 1996, and adopted by the following vote as an ordinance of the Town of Los Gatos at a meeting of the Town Council of the Town of Los Gatos on December 16, 1996. This ordinance takes effect 30 days after it is adopted.

COUNCIL MEMBERS:

AYES: Steven Blanton, Jan Hutchins, Randy Attaway
Vice Mayor Linda Lubeck

NAYS: None

ABSENT: Mayor Joanne Benjamin

ABSTAIN:

SIGNED:



VICE MAYOR OF THE TOWN OF LOS GATOS
LOS GATOS, CALIFORNIA

ATTEST:



CLERK OF THE TOWN OF LOS GATOS
LOS GATOS, CALIFORNIA



50 UNIVERSITY AVE

EXHIBIT A

TOWN OF LOS GATOS

Application No. Z-96-1. Change of zoning map
amending the Town Zoning Ordinance.

☒ Zone Change from C-2 LHP to C-2 PD LHP
☐ Rezoning to _____

RECOMMENDED by Planning Commission date 11/13/96

Approved by Town Council date December 16, 1996 Ord. 2025

Clerk Marian V. Cosgrove Mayor VICE-MAYOR

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January 29, 2025

Historic Preservation Committee
110 E. Main Street
Los Gatos, CA 95030

Project: **RH – Los Gatos**
Location: 31 University Ave

Subject: **Supplemental Letter of Justification for Architecture and Site Approval; Planned Development Ordinance Amendment**

PROJECT DESCRIPTION & REQUEST

RH is proposing a remodel to a 15,330 sq. ft. building located at 31 University Avenue, which will feature an innovative retail experience seamlessly integrating luxury home furnishings collections within a curated hospitality program (the “Proposed Project”). The existing building at 31 University Avenue is governed by a Planned Development Ordinance and is also located within the University/Edelen Historic District (“Historic District”) of Los Gatos as a non-contributing structure.

Due to these overlays, **RH is requesting architecture and site approval from the Historic Preservation Committee, as well as an amendment to Planned Development Ordinance 2025, adopted on December 16, 1996.** Specifically, RH is seeking to remove the requirements set forth in the Ordinance that states the building be designed “so that it appears to be a collective of individual structures that abut each other,” to allow a more harmonious façade that better relates to its surroundings.

Please refer to the Letter of Justification dated January 8, 2025 for further information on RH, site details and our proposed uses.

LANDMARK AND HISTORICAL PRESERVATION OVERLAY - STANDARDS FOR REVIEW AND FINDINGS

The Proposed Project is located within a landmark and historic preservation overlay as a non-contributing structure, specifically the University/Edelen Historic District (“Historic District”). As such it is subject to Division 3 – Historic Preservation and LHP or Landmark and Historic Preservation Overlay Zone of the Town’s Code of Ordinances, specifically Section 29.80.290 (2), shown below in **bold**.

Sec. 29.80.290. Standards for review.

In evaluating applications, the deciding body shall consider the architectural style, design, arrangement, texture, materials and color, and any other pertinent factors. Applications shall

not be granted unless:

(1) On landmark sites, the proposed work will neither adversely affect the exterior architectural characteristics or other features of the landmark (and, where specified in the designating ordinance for a publicly owned landmark, its major interior architectural features) nor adversely affect the character of historical, architectural or aesthetic interest or value of the landmark and its site.

(2) In historic districts, the proposed work will neither adversely affect the exterior architectural characteristics or other features of the property which is the subject of the application, nor adversely affect its relationship, in terms of harmony and appropriateness, with its surroundings, including neighboring structures, nor adversely affect the character, or the historical, architectural or aesthetic interest or value of the district.

(3) For pre-1941 structures, the proposed work will neither adversely affect the exterior architectural characteristics or other features of the property which is the subject of the application.

In designing a remodel of the existing non-contributing building at 31 University Ave, RH prioritized harmony and compatibility in the facade design as well as with its surrounding context. The Proposed Project is sensitive to and supportive of the larger Historic District as it expands the Mediterranean components of the existing building's style while maintaining the existing building's footprint, setbacks, massing, and density. This expansion of the Mediterranean style is represented by the Proposed Project's building material, stucco, as well as in the doors and window rhythm, type and proportions, which are consistent with both the existing building's Mediterranean style, as well as that of the larger Old Town Shopping Center across University Ave.

The plaster material, rectangular and arched windows, and rhythm of roof/window line individually and together relate to the existing structure at 31 University and the larger Old Town Shopping Center. In particular, the stucco and proposed openings evoke the style of 50 University Ave, a significant commercial structure within the University/Edelen Historic District. The Proposed Project limits decorative details and scale however, in sensitivity and support of the Historic District's contributing structures.

As a result of these limited stylistic choices, the Proposed Project successfully creates a harmonious façade design that assimilates into, rather than competes with, its surroundings and the larger Historic District. Consequently, the Proposed Project does not adversely change the exterior of the existing building or adversely impact its relationship with its neighboring structures and the larger Historic District.

Thank you for your consideration of this application.



January 8, 2025

Sean Mullin, Planning Manager
Community Development Department
110 E. Main Street
Los Gatos, CA 95030

Project: **RH – Los Gatos**

Location: 31 University Ave

Subject: **Letter of Justification for Architecture and Site Approval; Conditional Use Permit; Planned Development Ordinance Amendment**

PROJECT DESCRIPTION & REQUEST

RH is requesting architecture and site approval, as well as a conditional use permit (“CUP”) for 1) formula retail use exceeding 10,000 sf, and 2) for restaurant use with the selling of alcoholic beverages for consumption on-premises. Additionally, RH is requesting an amendment to Planned Development Ordinance 2025, adopted on December 16, 1996. RH is seeking these approvals to allow for the remodel of a 15,330 sq. ft. building located at 31 University Avenue, which will feature an innovative retail experience seamlessly integrating luxury home furnishings collections within a curated hospitality program (the “Proposed Project”).

BACKGROUND

A curator of design, taste and style in the luxury lifestyle market, RH offers collections through its retail galleries, sourcebooks and online at RH.com, RHContemporary.com, RHModern.com, RHBabyandChild.com, RHTEEN.com, and Waterworks.com.

Committed to creating architecturally inspiring and immersive retail spaces that blur the lines between residential and retail, indoors and outdoors, home and hospitality, RH Design Galleries are bespoke design destinations presenting the largest curated and fully integrated assortment of luxury home furnishings in the world. From restored landmark buildings to grand-scale contemporary structures, these architecturally inspiring spaces reimagine and redefine the shopping experience.

Designed with sensory-inspiring spaces that cannot be replicated online, these innovative and architecturally significant retail environments include lush gardens, professional design services, one-of-a-kind culinary experiences, and artistic installations of curated RH Collections by internationally acclaimed designers and artisans across the globe.

In addition to RH Madrid, the Gallery at Plaza del Marqués de Salamanca, RH Aynho Park, a magnificent 17th-century estate in the English countryside, and RH Brussels, a grand 18th century French baroque mansion prominently situated on the premier Boulevard de Waterloo, RH chairman & CEO Gary Friedman has revitalized several landmark properties across North America, including the former Museum of Natural History in Boston, the historic Three Arts Club in Chicago, the Historic Post Office in Greenwich, Connecticut; the Bethlehem Steel Building in San Francisco, and the brand's impressive Gallery in New York's Meatpacking District.

The plan for a RH Design Gallery, together with a food and beverage program, allows for the reimagination of an exceptional building that is appropriately scaled and sited on a key intersection of Old Town Los Gatos.

SITE DETAILS

The existing 15,330 sf building for the Proposed Project is sited at the corner of University Ave and Elm St, and sits on a 4.18 acre parcel that spans both sides of University Ave which houses an outdoor retail center known as the Old Town Shopping Center.

The Proposed Project will combine two previously separate tenant spaces within the existing building, which were previously home to a 6,400 sf Steamers of Los Gatos and a 8,641 sf Gap.

The zoning for the site is C-2:LHP:PD: Central Business District with a Landmark & Historic Preservation and Planned Development overlay. The Proposed Project's uses are allowed per zoning with a Conditional Use Permit. The Proposed Project will maintain the existing square footage of the existing building and would comply with the zoning ordinance standards for setbacks and building height.

ARCHITECTURE

The primary proposed building material is a multi-coat cement plaster system with steel and aluminum decorative building elements. The existing structural system is maintained in place. Architectural aluminum windows line the exterior elevations and provide transparency across the facades facing Elm St, University Ave, and along the pedestrian pass-through on the building's southern side.

The length of the facades across University Ave and Elm St are scaled down through sections that alternatively step back in ground plane from each other. These wall panels also alternatively feature rectangular- or semicircular- topped windows, as well as a parapet line that steps up and down in height in line with the panels. These features ultimately provide a sense of rhythm, symmetry, visual relief, and interest to the length of the existing building. Further, the fenestration sits materially inside the edge of the exterior wall, providing for deep shadows, which along with projected louvered awnings add additional textural detail across the facades.

Finally, the full-service restaurant sits centrally inside the Proposed Project and is covered by a pyramidal skylight that brings in light and highlights the cafe as a central gathering space. Barrel-vaulted hallways bookend both sides of the cafe, which add an uncommon architectural expression, facilitates a unique play of light, and creates a sense of place as customers enter the Gallery or exit the cafe.

USES

A majority of the Proposed Project will display furniture and décor in a series of complete living, bath, and bed rooms. There will also be a restaurant on the ground floor beyond the entryway, along with a kitchen and other back of house. An Interior Design Studio room will also be sited toward the back of the store, where interior designers can provide customers further assistance. The vision within the building is to reimagine the retail experience by blurring the lines between residential and retail, hospitality and home, indoors and outdoors – creating an immersive retail environment that is more home than store. All amenities will be made available to the public during the hours of store operation.

CONDITIONAL USE PERMIT FINDINGS

In the C-2 zone, Town code requires a CUP for a formula retail business exceeding 10,000 sf and for restaurant use with the selling of alcoholic beverages for consumption on-premises (Section 29.20.185). Los Gatos stipulates terms for the approval or denial of conditional use permits under Section 29.20.190. The Proposed Project and its uses will comply with the objectives in the following manner:

- (1) The proposed uses of the property are essential or desirable to the public convenience or welfare;

The proposed uses provide for a bespoke dining and shopping experience which will be desirable to both residents and visitors as a destination within Los Gatos. Further, the Proposed Project will be an addition to an existing RH gallery at 26 N Santa Cruz Ave, which has been an integral part of the Los Gatos community for over 10 years.

- (2) The proposed uses will not impair the integrity and character of the zone;

The proposed use will not impair the integrity and character of the zone as it is a commercial use located in a commercial zone.

Further, the Proposed Project is consistent with the Commercial Design Guidelines for C-2A zones and as a non-contributing structure within a historic preservation district. The Proposed Project maintains the existing building's massing and density, reimagines the existing facade variation, and maintains the pedestrian pass-through along the southern wall.

- (3) The proposed uses would not be detrimental to public health, safety or general welfare;

The proposed uses, formula retail use and restaurant use with the selling of alcoholic beverages for consumption on-premises, represent no change from the current uses of the most recent tenants at the existing building (Gap and Steamer's), and would not be detrimental to public health, safety, and general welfare.

- (4) The proposed uses of the property are in harmony with the various elements or objectives of the general plan and the purposes of this chapter.

The proposed uses are in harmony with the General Plan and the Town Code because they contribute to the variety of commercial uses in the Central Business District.

The goals and policies of the 2040 General Plan (2020 Land Use and Community Development Elements) applicable to this project include, but are not limited to:

Policy LU-1.4: Infill projects shall be designed in context with the neighborhood and surrounding zoning with respect to the existing scale and character of surrounding structures, and should blend rather than compete with the established character of the area.

Policy LU-9.3: Encourage a mix of retail and office uses in commercial areas, except in the Central Business District designation, where retail should be emphasized and office should be limited to upper floors and other areas as defined by the Town Code.

Policy LU-9.6: Encourage development that maintains and expands resident-oriented services and/or creates employment opportunities for local residents consistent with overall land use policies of the Town.

Policy CD-1.4: Development on all elevations shall be of high quality design and construction, a positive addition to and compatible with the Town's ambiance. Development shall enhance the character and unique identity of existing commercial and/or residential neighborhoods.

- (5) A hazardous waste facility proposal is subject to the California Health and Safety Code, Article 8.7, Section 25199—25199.14 and shall be consistent with the Santa Clara County Hazardous Waste Management Plan.

Not Applicable

PD ORDINANCE AMENDMENT FINDINGS

The Proposed Project is located within a landmark and historic preservation overlay ("LHP") as a non-contributing structure. The Proposed Project is also governed by a planned development overlay ("PD"), specifically PD Ordinance 2025, adopted on December 16, 1996. RH seeks to amend the PD Ordinance as proposed. Town code Section 29.80.120 allows for amendments to PD's, provided the proposed amendment meets the requirements and findings of Town code Section 29.80.095. The proposed PD Amendment and the Proposed Project comply with the required findings in the following manner:

- (1) The proposed PD is in compliance with all sections of this division.

The proposed PD amendment is within the limitations of use of a planned development as it pertains to property within an LHP overlay zone, and serves to enhance the Town's historic resources that provide a public benefit to the citizens of the Town.

- (2) The proposed PD is in conformance with the goals, policies, and applicable land use designation(s) and standards of the Town's general plan.

The proposed PD amendment maintains a baseline set of requirements consistent with the Town's general plan. The policies consistent with the PD amendment include, but are not limited to:

Policy LU-6.5: The type, density, and intensity of new land use shall be consistent with that of the immediate neighborhood.

Policy LU-9.3: Maintain a variety of commercial uses, including a strong Downtown commercial area combined with Los Gatos Boulevard and strong neighborhood commercial centers to meet the shopping needs of residents and to preserve the small-town atmosphere.

Policy CD-9.1: Exterior building materials in the Central Business District should be consistent with those used in existing, tastefully executed surrounding buildings.

Policy CD-12.2: Encourage the preservation, maintenance, and adaptive reuse of existing residential, commercial or public buildings.

- (3) The proposed PD is in conformance with all other applicable land use regulations, including but not limited to Town Council adopted guidelines, except as otherwise provided in section 29.80.095(4).

The PD amendment seeks a modification to specifically to requirements in PD Ordinance 2025 but otherwise maintains a baseline set of requirements consistent with the Town's land use regulations and design guidelines, including Ordinance 1920 and 2168, which governs over the University/Edelen Historic District, and which includes the Proposed Project's site.

The Proposed Project is consistent with the design guidelines for the remodel of a non-contributing structures within the University/Edelen Historic District. The Proposed Project is sensitive to and supportive of the larger District as it expands the Mediterranean components of the existing building's style while maintaining the existing building's footprint, setbacks, massing, and density. The Proposed Project's stucco building material, as well as doors and window rhythm, type and proportions, are consistent to the existing building's Mediterranean style, as well as that of the larger Old Town Shopping Center across University Ave. In particular, the stucco and proposed openings evoke the style of 50 University Ave, a significant commercial structure within the LHP. The Proposed Project limits decorative details and scale however, to in sensitivity and support of the District's contributing structures.

The proposed PD amendment and Proposed Project also conform with required findings for LHP applications per Town Code Section 29.80.290, as the proposed work does not adversely affect the exterior architecture or its relationship with its surroundings:

Sec. 29.80.290. Standards for review. In evaluating applications, the deciding body shall consider the architectural style, design, arrangement, texture, materials and color, and any other pertinent factors. Applications shall not be granted unless:

- (2) In historic districts, the proposed work will neither adversely affect the exterior architectural characteristics or other features of the property which is the subject of the

application, nor adversely affect its relationship, in terms of harmony and appropriateness, with its surroundings, including neighboring structures, nor adversely affect the character, or the historical, architectural or aesthetic interest or value of the district.

(4) Any proposed use or development standards that deviate from the underlying zoning district(s) result in innovative and creative site planning to develop:

- b. Mixed commercial, or mixed residential, or mixed commercial and residential development; or
- e. The proposed PD provides a public benefit to the citizens of the Town.

The proposed PD amendment facilitates the revitalization of a vacant storefront into a mixed commercial amenity of innovative and creative use programming for the benefit of both residents and visitors, which satisfies conditions (b) and (e) above.

CONCLUSION

We believe the Proposed Project will enhance the corner of University Ave and Elm St in Old Town Los Gatos by at once seamlessly fitting into the character and scale of the neighborhood surrounding, while also providing visual interest through harmonious, textured, and elevated design. While the Proposed Project's programming does not represent a change of use from the existing use at the building, the reimagined dining and shopping space will help improve customer experience, thereby helping to activate pedestrian activity in this area.

The Proposed Project:

- Respects the existing scale and character of surrounding structures, and blends rather than competes with the established character of the area.
- Presents elevations that are of high-quality design and construction, and a positive addition to and compatible with the Town's ambiance. The Proposed Project enhances the character and unique identity of the existing commercial neighborhood.
- Represents no change in use from the former tenants at the existing building; rather the Proposed Project will improve and reimagine a blend of both uses under one roof.

DEVELOPER and DESIGN FIRM INFORMATION

RH

RH is a curator of design, taste and style in the luxury lifestyle market. The company offers collections through its retail galleries, sourcebooks and online at RH.com, RHContemporary.com, RHModern.com, RHBabyandChild.com, RHTEEN.com, and Waterworks.com.

RH operates Galleries and outlets throughout the U.S., Canada, UK and Europe.

There are places you visit and those you remember™

Awards and Recognition

Award of Merit - Interior/Tenant Improvement – ENR Mountain States - RH Denver - 2016

Connecticut Preservation Award - Connecticut Trust for Historic Preservation – Former Greenwich Post Office - 2015

Preservation Excellence Award (Adaptive Reuse) – Chicago Landmarks – Three Arts Club - 2016

MBH Architects

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MBH Architects is a Minority-Owned Business Enterprise (MBE) with staff from around the world. Their wide array of experience includes over 10,000 projects of nearly every project type, and their global reach spans more than 96 countries worldwide. MBH Architects take incredible pride in our work and clients' satisfaction.

Awards and Recognition

Gold - Shop! Design Awards - Bucherer Time Machine Flagship Store - 2023

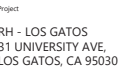
Commercial Construction & Renovation Project Profile Award - 300 Grant - 2021

AIA East Bay Design Awards - 930 Brittan - 2021

Urban Confluence Design Competition - Breeze of Innovation - 2021

Honorable Mention - MNSD's Retail Renovation Competition - Peet's Coffee Georgetown - 2017

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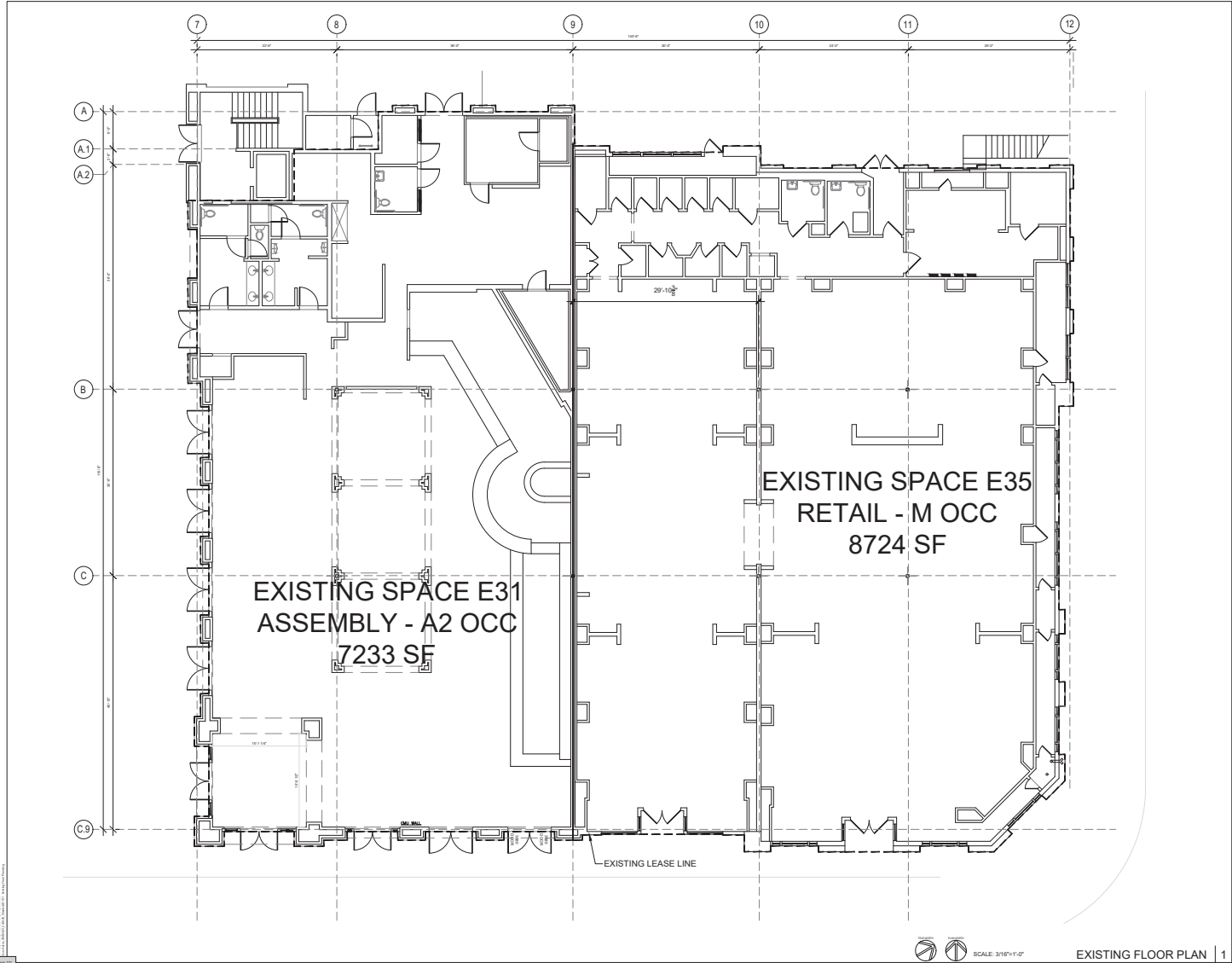
 NEW ARCHITECTS-JOHN

Project No.	59485
Drawn By:	Brenda B
Reviewed By:	Rick N
Scale	As noted
Drawing Title	

SITE PLAN

Drawing No.

AS101



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Project No. 18485
Drawn By: Sandra B.
Reviewed By: Rick N.
Scale: As noted
Drawing Title

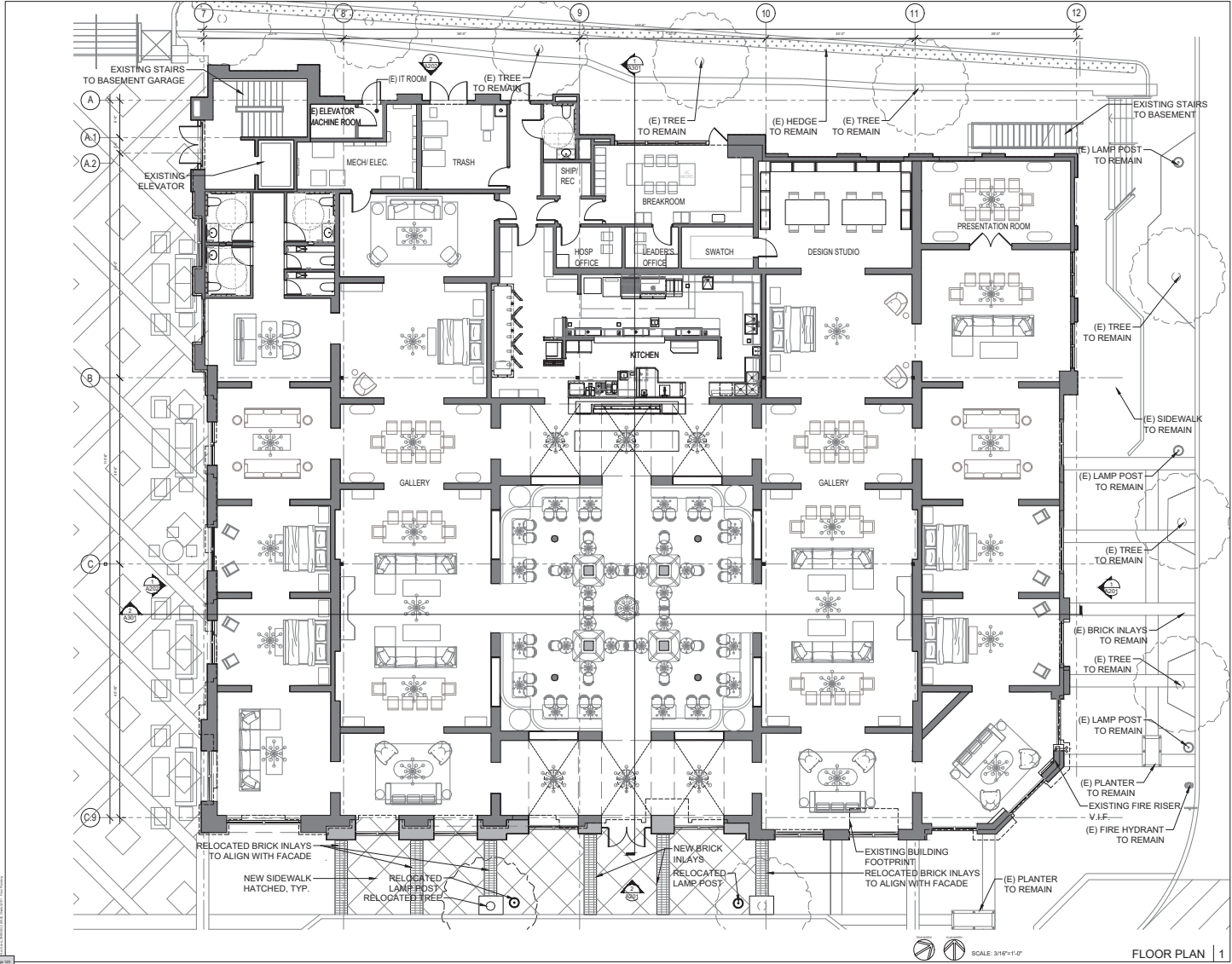
EXISTING FLOOR
PLAN

Drawing No.

AD101

SCALE: 3/16"=1'-0"

EXISTING FLOOR PLAN | 1



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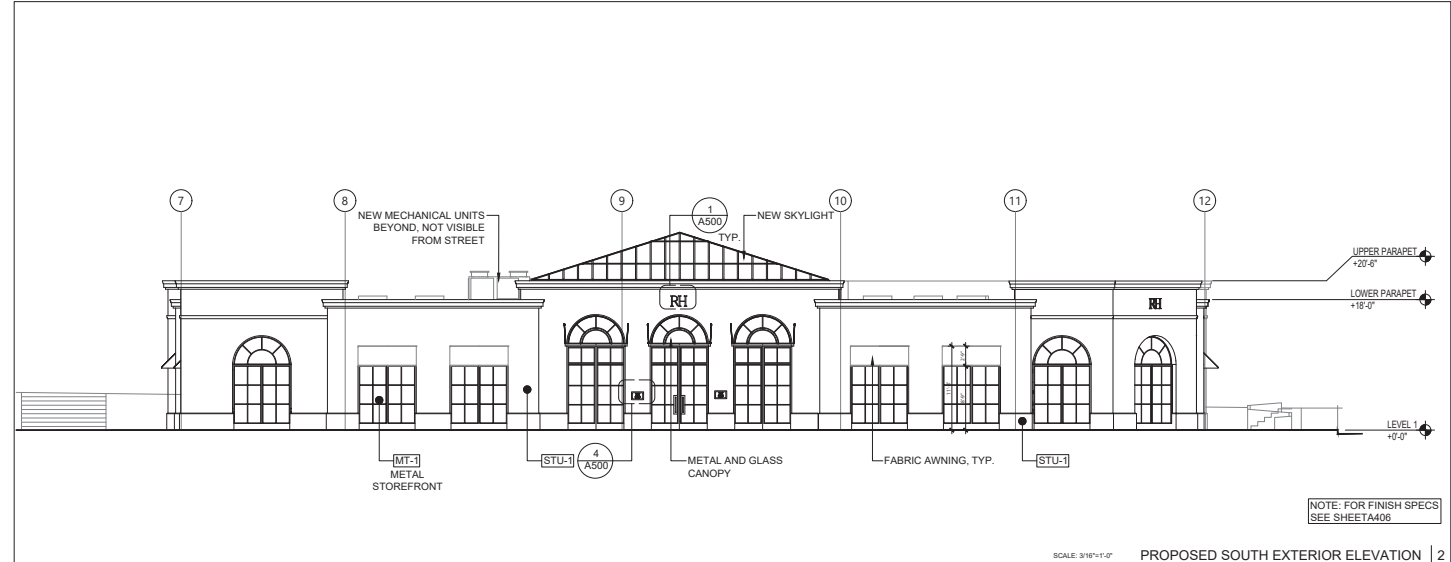
Project No. 24005
Drawn By: Sandra B.
Reviewed By: Rick N.
Scale: As noted
Drawing Title

FLOOR PLAN

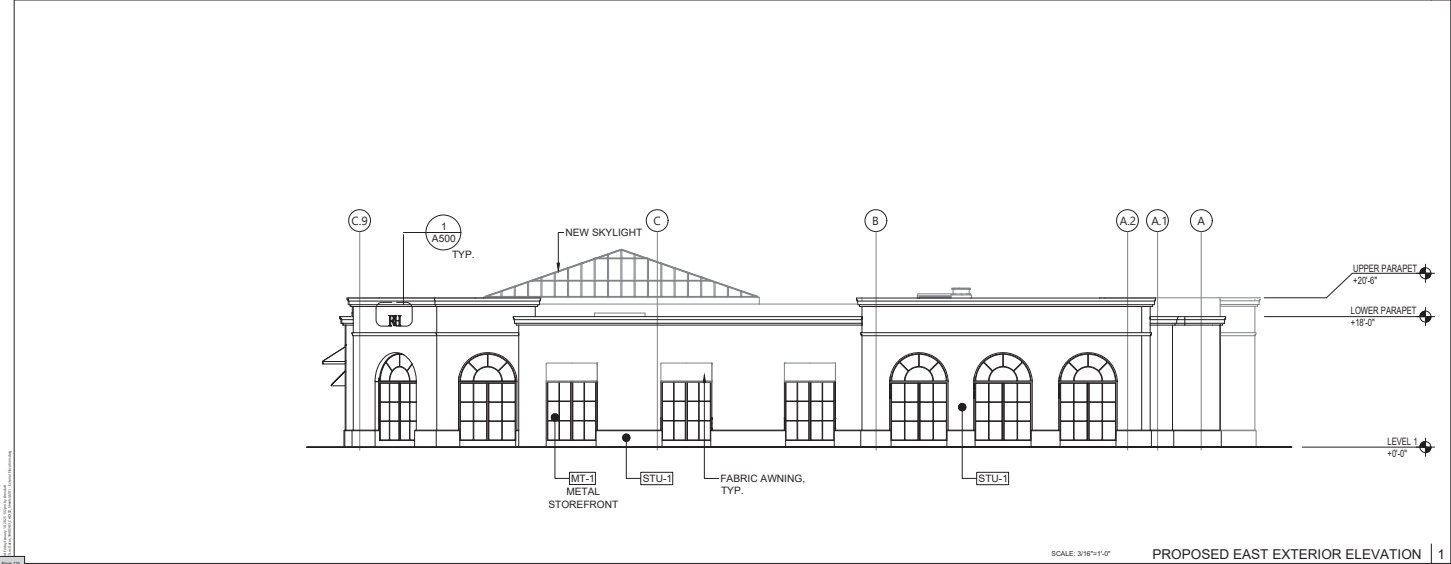
Drawing No.
A101

FLOOR PLAN | 1





SCALE: 3/16"=1'-0" PROPOSED SOUTH EXTERIOR ELEVATION | 2



SCALE: 3/16"=1'-0" PROPOSED EAST EXTERIOR ELEVATION | 1

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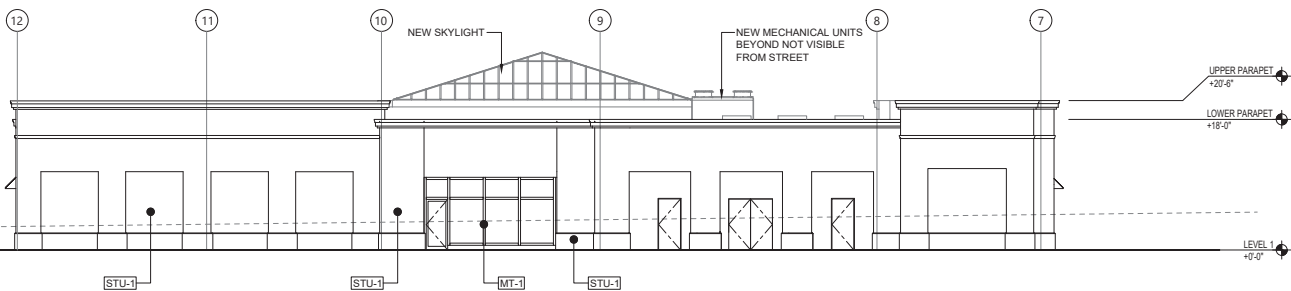
04 01/09/2025 PLANNING SUBMITTAL 2

Project No. 20485
Drawn By: Amanda B.
Reviewed By: Rick N.
Scale: As noted
Drawing Title

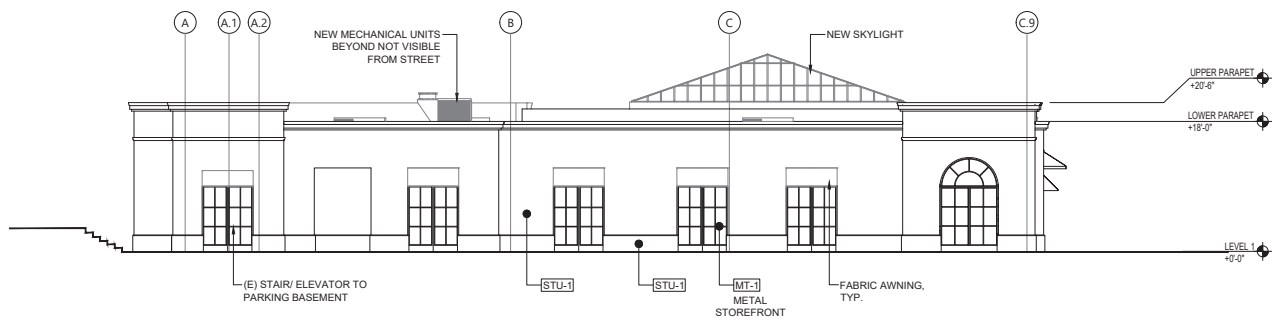
EXTERIOR
ELEVATIONS

Drawing No.

A201



SCALE: 3/16"=1'-0" PROPOSED NORTH EXTERIOR ELEVATION | 2



SCALE: 3/16"=1'-0" PROPOSED WEST EXTERIOR ELEVATION | 1

RH

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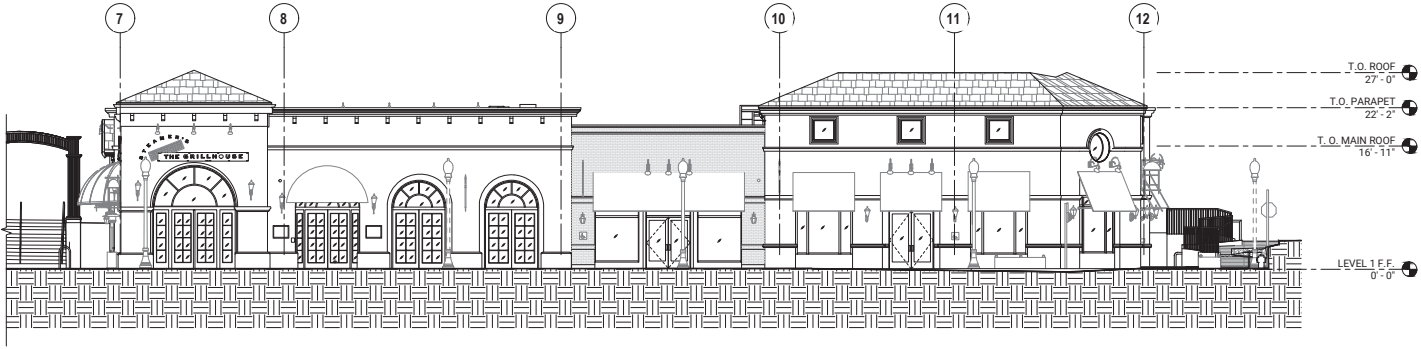
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03 11/22/2024 100% SCHEMATIC DESIGN
04 01/09/2025 PLANNING SUBMITTAL 2

Project No. 18485
Drawn By: Brenda B.
Reviewed By: Rick N.
Scale: As noted
Drawing Title

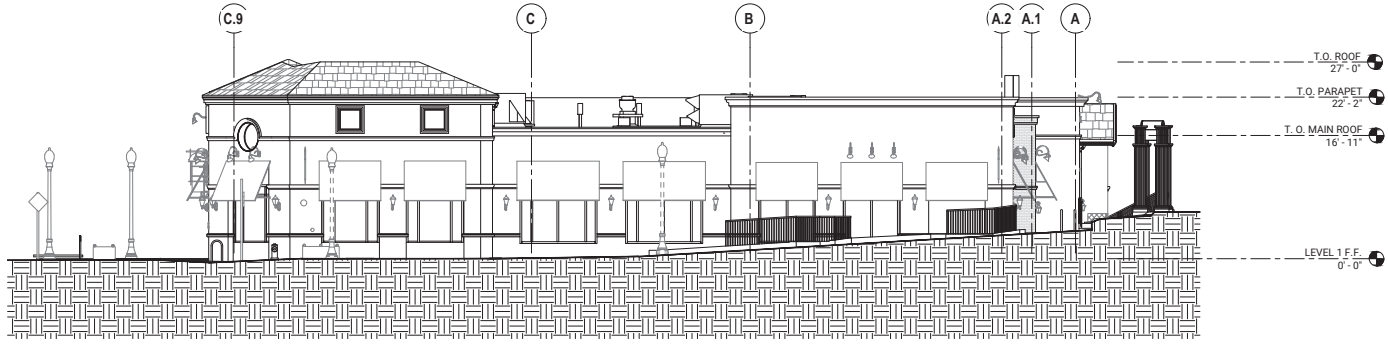
EXTERIOR
ELEVATIONS

Drawing No.

A202



SCALE: 3/16"=1'-0" EXISTING SOUTH EXTERIOR ELEVATION | 2



SCALE: 3/16"=1'-0" EXISTING EAST EXTERIOR ELEVATION | 1



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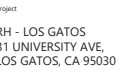
Working with a client to develop a design for a building that is both functional and aesthetically pleasing. The design process involves a series of steps, including conceptual design, schematic design, and final design. The final design is then used to create construction documents and to oversee the construction process.

Project No.	04855
Drawn By	Bianca B
Reviewed By	Rick N
Scale	As noted
Drawing Title	

EXISTING
EXTERIOR
ELEVATIONS

Drawing No.

A203



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7

insultant



EXISTING NORTH EXTERIOR ELEVATION | 2



EXISTING WEST EXTERIOR ELEVATION | 1

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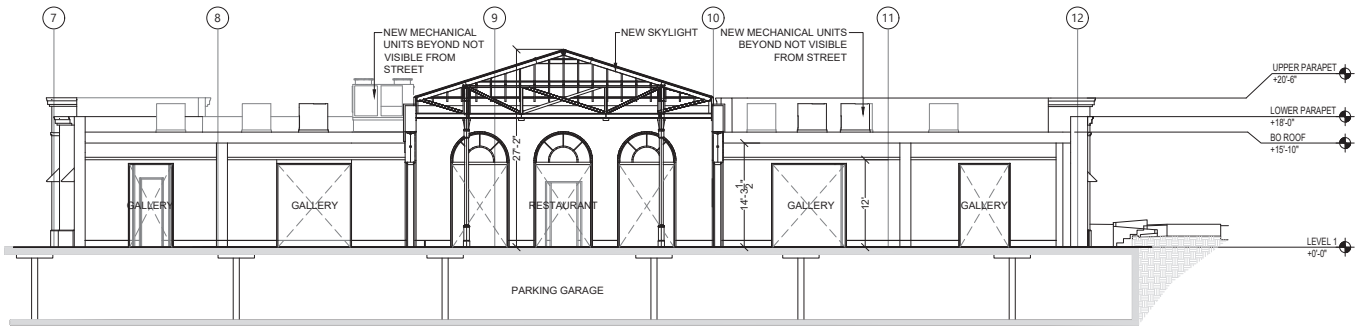
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Project No.	59485
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Reviewed By:	Rick N
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Drawing Title	

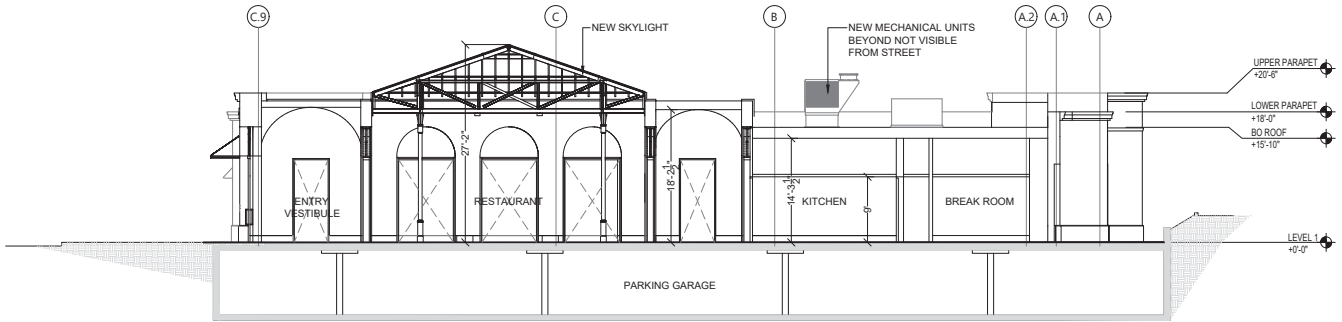
EXISTING
EXTERIOR
ELEVATIONS

A204



SCALE: 3/16"=1'-0"

PROPOSED BUILDING SECTION | 2



SCALE: 3/16"=1'-0"

PROPOSED BUILDING SECTION | 1

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Project No. 18485
Drawn By: Sandra B.
Reviewed By: Rick N.
Scale: As noted
Drawing Title

BUILDING
SECTIONS

Drawing No.

A301



RH

Project
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Working with a client to develop a design for a new building
and/or renovation of an existing building. The design team
will be responsible for all aspects of the project, including
architectural, structural, mechanical, electrical, and plumbing
design.

Project No.: 0400
Drawn By: Brenda B.
Reviewed By: Rick N.
Scale: As noted
Drawing Title

EXISTING
BUILDING
PHOTOS

Drawing No.

A400

SCALE: N.T.S.

EXISTING BUILDING PHOTOS | 1



RH

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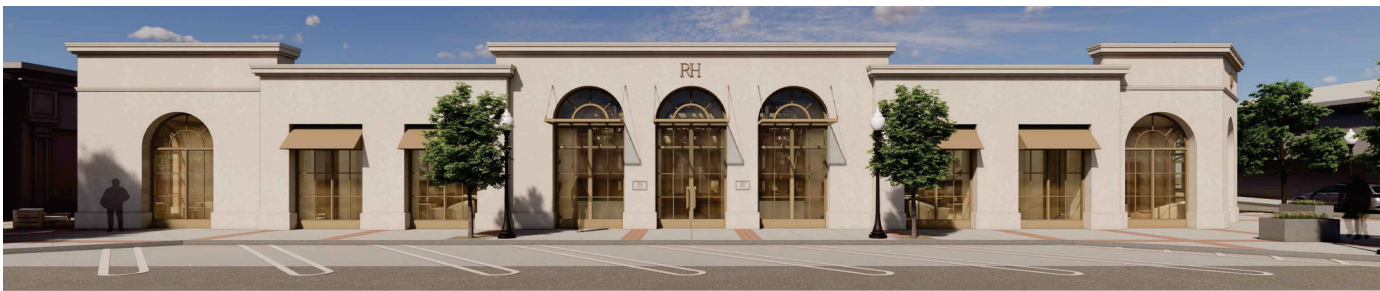
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03	11/02/2024	100% SCHEMATIC DESIGN
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Project No.: 24005
Drawing No.: 04-01
Drawing Title: EXISTING BUILDING PHOTOS

Drawing No.:
A401



SCALE: N.T.S. PROPOSED EXTERIOR RENDERS | 1

RH

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02	11/06/2024	PLANNING SUBMITTAL
03	11/02/2024	100% SCHEMATIC DESIGN
04	01/09/2025	PLANNING SUBMITTAL 2

Working with a client to develop a design for a new building
in the heart of the city of Los Gatos. The building will be
a mix of residential and commercial space. The design
will be a mix of modern and traditional styles.

Project No.	0405
Drawn By	Bianca B
Reviewed By	Rick N
Scale	As noted

Drawing Title

EXTERIOR
BUILDING
RENDERS

Drawing No.

A402



SCALE: N.T.S.

PROPOSED EXTERIOR RENDERS

1

RH

Project
RH - LOS GATOS
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02 11/06/2024 PLANNING SUBMITTAL

03 11/02/2024 TOTAL SCHEMATIC DESIGN

04 01/09/2025 PLANNING SUBMITTAL 2

Working with a client to develop a design for a new building
and site plan. The design is based on the client's needs and
the architect's vision. The design is based on the client's
needs and the architect's vision. The design is based on
the client's needs and the architect's vision.

Project No. 00000
Drawn By: Brenda B.
Reviewed By: Rick N.
Scale: As noted
Drawing Title

EXTERIOR
BUILDING
RENDERS

Drawing No.

A403



RH

Project
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Seal

Consultant

No. Date Issued/Revised

01 10/18/2024 PRE-APPLICATION PACKAGE

02 11/06/2024 PLANNING SUBMITTAL

03 11/22/2024 TOTAL SCHEMATIC DESIGN

04 01/09/2025 PLANNING SUBMITTAL 2

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Project No. 0845

Drawn By: Brenda B.

Reviewed By: Rick N.

Scale: As noted

Drawing Title

INTERIOR
BUILDING
RENDERS

Drawing No.

A404

SCALE: N.T.S.

PROPOSED INTERIOR RENDERS

1



RH

Project
RH - LOS GATOS
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Seal

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03	11/02/2024	100% SCHEMATIC DESIGN
04	01/09/2025	PLANNING SUBMITTAL 2

Working with a client to develop a design for a new building. The design is based on the client's needs and the architect's vision. The design is a conceptual sketch and is not intended to be a final design. The design is subject to change and is not intended to be a final design. The design is subject to change and is not intended to be a final design.

Project No.	16045
Drawn By	Bianca B
Reviewed By	Rick N
Scale	As noted
Drawing Title	

INTERIOR
BUILDING
RENDERS

Drawing No.

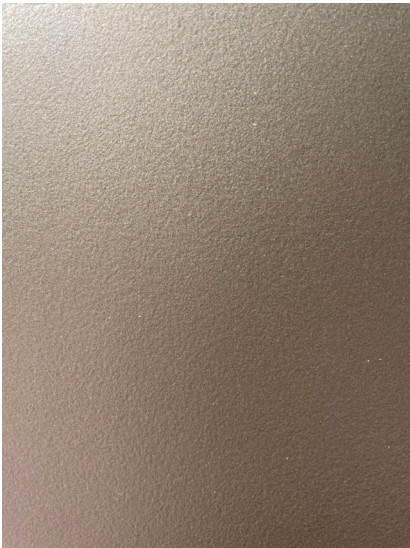
A405

SCALE: N.T.S.

PROPOSED INTERIOR RENDERS

1

MATERIAL FINISHES



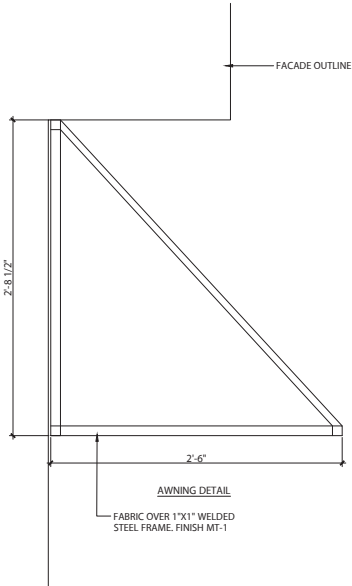
MT-1
METAL FINISH
MFR: CREATIVE PAINTS SAN FRANCISCO
PAINTED METAL CUSTOM METALLIC PLAIN



STU-1
STUCCO SYSTEM
MFR: RICK MARS
EXTERIOR CLADDING
LIGHT CREAM PROPRIETARY 5 COAT VENETIAN PLASTER
CUSTOM FINISH PER OWNER REQUIREMENTS



FABRIC AWNING



RH

Project
RH - LOS GATOS
31 UNIVERSITY AVE,
LOS GATOS, CA 95030

Architect
MEH
160 Atlantic Avenue
Berkeley, CA 94701
510.863.8643
meharch.com

Seal

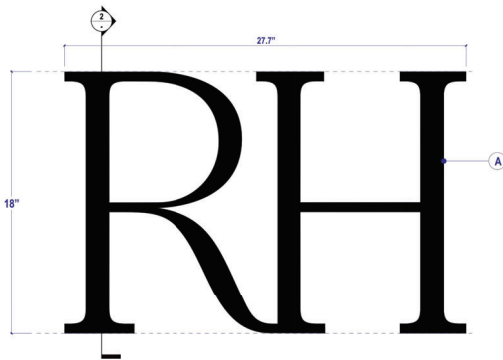
Consultant

No.	Date	Issued/Revised
01	10/18/2024	PRE-APPLICATION PACKAGE
02	11/06/2024	PLANNING SUBMITTAL
03	11/22/2024	100% SCHEMATIC DESIGN
04	01/09/2025	PLANNING SUBMITTAL 2

Project No. 18485
Drawn By: Brenda B.
Reviewed By: Rick N.
Scale: As noted
Drawing Title

MATERIAL
FINISHES

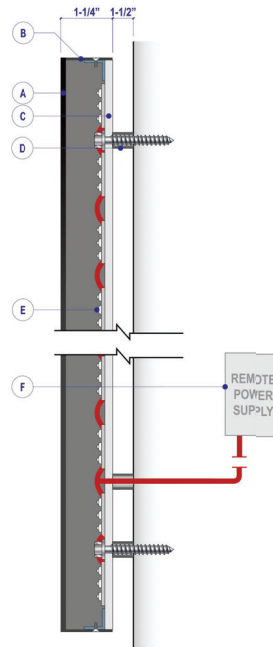
Drawing No.
A406



1 17-IN RH LOGO HALO-LIT - DETAIL
Scale 1/8\"/>



3 ILLUMINATION SAMPLE
NTS



2 SECTION
Scale 1/4\"/>

SPECIFICATIONS:

A. 1/8" THICK ALUMINUM FACE PAINT TO MATCH AWNINGS/WINDOW FRAMES

NOTE: SOME STROKE ADJUSTED TO ACCOMMODATE LED LIGHT LAYOUT REQUIREMENTS

B. .050" THICK ALUMINUM RETURNS PAINTED RAL 9005 JET BLACK SATIN (MP923) MOUNTED TO "C" VIA ANGLE BRACKETS AND SCREWS

C. 3/16" POLYCARBONATE BACK WITH SINGLE LAYER OF WHITE FROSTED CRYSTAL 7725E-324 DIFFUSER RIVETED TO ALUMINUM ANGLE BRACKETS MOUNTED TO FINISH WALL VIA 1/4"-20 SCREWS AND ANCHOR IN 7 PLACES

D. 1/2" DIA. ALUMINUM SPACERS

E. AGI LIGHT 3000K

F. MAGNITUDE M150L12DC-AR LED DRIVER



NOT 100% SCALE
20" X 30" FRAME
MATCHES RENDERING

4 ENTRY PLAQUE SIGN DETAIL



ALL ELECTRICAL COMPONENTS ARE
UL APPROVED AND FOLLOW 600 GROUNDING
AND BONDED GUIDELINES

 THOMAS-SWAN SIGN COMPANY, INC. 2717 GODDRICK AVENUE, RICHMOND, CA 94801 510-252-9610 • CALIFORNIA LICENSE #369069	© 2021 THOMAS SWAN SIGN COMPANY, INC. All rights reserved. This drawing and the concepts, ideas and design developed hereon are intended for use on this project only, and remain the sole property of Thomas Swan Sign Company, Inc. Original design concepts developed as part of this work remain the property and copyright of their respective owners. All dimensions and measurements are to be approved by the Client prior to any manufacturing or installation of these designs. Items are at scale unless noted. This page is printed at 11" x 17".	PROJECT NAME & ADDRESS RESTORATION HARDWARE	SIGN TYPE RH HALO-LIT BUILDING LOGO	DATE / REVISIONS	CLIENT Restoration Hardware SALES Ryan Gos: DRAWN BY	JOB NUMBER 8258 SHEET NUMBER 1.00	QUANTITY 2
			FILENAME 18IN_LOS GATOS				
			APPROVED FOR CONSTRUCTION - INCLUDE NAME & DATE <input type="checkbox"/>				

FOR REFERENCE ONLY

SCALE: N.T.S.

EXTERIOR SIGNAGE | 1

RH

Project
RH - LOS GATOS
31 UNIVERSITY AVE,
LOS GATOS, CA 95030

Architect
MEH
160 Atlantic Avenue
Berkeley, CA 94701
510.865.8663
meharch.com

Seal

Consultant

No. Date Issued/Revised

01 10/18/2024 PRE-APPLICATION PACKAGE

02 11/06/2024 PLANNING SUBMITTAL

03 11/22/2024 100% SCHEMATIC DESIGN

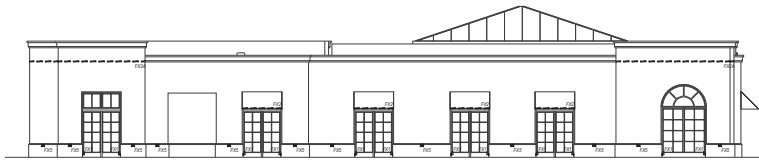
04 01/09/2025 PLANNING SUBMITTAL 2

Project No.: 08455
Drawn By: Amanda B.
Reviewed By: Rick N.
Scale: As noted
Drawing Title

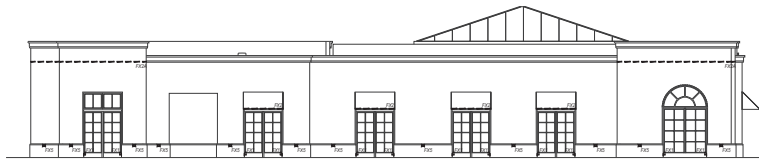
EXTERIOR
SIGNAGE

Drawing No.

A500



1 WEST ELEVATION
1/8" = 1'-0"



2 EAST ELEVATION
1/8" = 1'-0"



3 SOUTH ELEVATION
1/8" = 1'-0"

LIGHTING CONTROL SYSTEM SEQUENCE OF OPERATION:

ALL BUILDING LIGHTING AT RH LOS GATOS IS CONTROLLED BY PRESET SCENES ON A TIME CLOCK SCHEDULE.

BUILDING WIDE SCENE DESCRIPTION:

SCENE 1: TOTAL LIGHT ACTIVATES AT 6:00AM DAILY. IT DEACTIVATES TIME. INTERIOR LIGHTING TURNS ON AT PRESET, DIMMED LEVELS OF 10%.

SCENE 2: BUILDING ACTIVATES AT 1:00PM. INTERIOR LIGHTING TURNS ON AT PRESET, DIMMED LEVELS OF 10%.

SCENE 3: BUILDING ACTIVATES AT 1:00PM. INTERIOR LIGHTING TURNS ON AT PRESET, DIMMED LEVELS OF 10%.

SCENE 4: BUILDING ACTIVATES ON 1:00PM. INTERIOR LIGHTING TURNS ON AT PRESET, DIMMED LEVELS OF 10%.

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SCENE 6: BUILDING ACTIVATES ON 1:00PM. INTERIOR LIGHTING TURNS ON AT PRESET, DIMMED LEVELS OF 10%.

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SCENE 8: BUILDING ACTIVATES ON 1:00PM. INTERIOR LIGHTING TURNS ON AT PRESET, DIMMED LEVELS OF 10%.

SCENE 9: BUILDING ACTIVATES ON 1:00PM. INTERIOR LIGHTING TURNS ON AT PRESET, DIMMED LEVELS OF 10%.

SCENE 10: BUILDING ACTIVATES ON 1:00PM. INTERIOR LIGHTING TURNS ON AT PRESET, DIMMED LEVELS OF 10%.

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SCENE 55: BUILDING ACTIVATES ON 1:00PM. INTERIOR LIGHTING TURNS ON AT PRESET, DIMMED LEVELS OF 10%.

rkv
DESIGN

23823 MALIBU ROAD
SUITE 50, 212
MALIBU, CA 90265
www.rkv-design.com
+1 310 924 2185

NOTES FOR GENERAL CONTRACTOR:

- General Contractor (GC) and Electrical Contractor (EC) will be responsible for verification of all dimensions, specifications and coordination with related trades and subcontractors.
- GC to permit daylight time to match ceiling per architect's design. Daylight time can be removed after painting and the new slab.
- GC to locate and install adequate drainage around all doors and windows and around in-grade light fixtures.
- GC to verify design of any conflict with mechanical, electrical, plumbing, HVAC or structural provisions or any conflicting dimensions or site conditions prior to commencement of work.
- GC is responsible for notifying designer of any inconsistencies between design drawings and other documents.
- Do not scale drawings.

GENERAL NOTES:

- Lighting Design drawings and dimensions are for design intent only. Coordination with Architectural Drawings required.
- Future types and specifications available in accompanying Specification packet.
- Calculations for code compliance to be provided by Electrical Engineer.
- Emergency lighting requirements to be completed by Electrical Engineer.

REV.	DATE	DESCRIPTION
1	10.23.2024	FOR REVIEW
2	11.23.2024	100% SCHEMATIC DESIGN
3	11.23.2025	PLANNING REVIEW

PROJECT:
RH LOS GATOS
35 UNIVERSITY BLVD,
LOS GATOS, CA 95030

DRAWING TITLE:
EXTERIOR LIGHTING ELEVATIONS

SHEET:
LT-2.0

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**TOWN OF LOS GATOS
HISTORIC PRESERVATION
COMMITTEE REPORT**

MEETING DATE: 02/26/2025

ITEM NO: 5

DESK ITEM

DATE: February 26, 2025
TO: Historic Preservation Committee
FROM: Joel Paulson, Community Development Director
SUBJECT: Requesting Approval for Modification of Planned Development Ordinance to Allow Modifications to Building E, an Architecture and Site Application for Exterior Modifications to an Existing Commercial Building in the University/Edelen Historic District, and a Conditional Permit for Formula Retail over 10,000 square feet and for a Restaurant with Alcohol Service on a Property Zoned C-2:LHP:PD. **Located at 31 University Avenue.** APN 529-02-044. Planned Development Modification PD-25-001, Architecture and Site Application S-25-004 and Conditional Use Permit U-25-001. Categorically Exempt Pursuant to CEQA Guidelines Section 15301: Existing Facilities. Property Owner: SRI Old Town, LLC. Applicant: Rick Nelson, MBH Architects. Project Planner: Erin Walters.

REMARKS:

Attachment 4 includes existing and proposed building and streetscape elevations.

ATTACHMENTS:

Previously Received with the February 26, 2025, Staff Report:

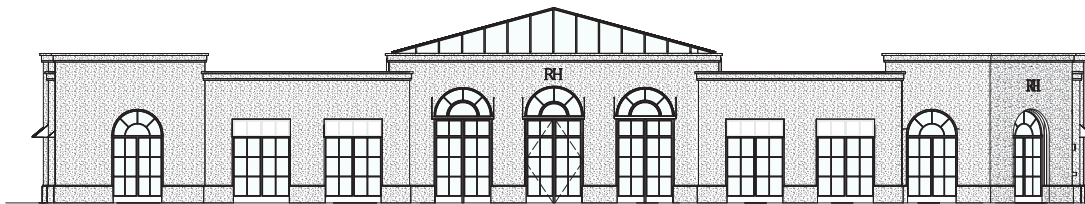
1. Planned Development Ordinance 2025
2. Applicant's Request and Letter of Justification
3. Development Plans

Received with this Desk Item Report:

4. Existing and Proposed Building Elevations

PREPARED BY: Erin M. Walters
Senior Planner

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1 PROPOSED SOUTH ELEVATION - VIEW FROM UNIVERSITY AVE
SCALE: 3/8" = 1'-0"



2 EXISTING SOUTH ELEVATION - VIEW FROM UNIVERSITY AVE
SCALE: 3/8" = 1'-0"

RH

RH - LOS GATOS

Project Address
31 UNIVERSITY AVE.
LOS GATOS, CA 95030

Architect
MBH
940 Atlantic Ave.
Alameda, CA 94601
Tel 510 885 8861
Fax 510 885 1611

Owner

Consultant

Architect and/or architect-representative hereby certifies that this drawing was prepared by the Architect and was not prepared by an unlicensed person acting under the supervision of the Architect.

No. Date Description
10/26/2025 HISTORICAL REVIEW

Project: 59485

Drawn By: BD

Checked By: RN

Scale: 3/8" = 1'-0"

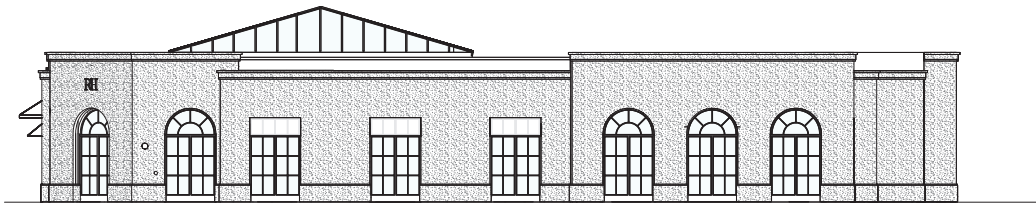
Drawing Title

EXTERIOR
ELEVATIONS
COMPARISON

Drawing No.

A003

ATTACHMENT 4



1 PROPOSED EAST ELEVATION - VIEW FROM ELM ST
SCALE: 3/8" = 1'-0"



2 EXISTING EAST ELEVATION - VIEW FROM ELM ST
SCALE: 3/8" = 1'-0"

RH

RH - LOS GATOS

Project Address
31 UNIVERSITY AVE.
LOS GATOS, CA 95030

Architect
MBH
940 Atlantic Ave.
Alameda, CA 94601
Tel 510 885 8861
Fax 510 885 1611

Date

Consultant

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No. Date Description
02/26/2025 HISTORICAL REVIEW

Project: 59485

Drawn By: BD

Checked By: RN

Scale: 3/8" = 1'-0"

Drawing Title

EXTERIOR
ELEVATIONS
COMPARISON

Drawing No.

A004

RH

RH - LOS GATOS

Project Address

31 UNIVERSITY AVE.
LOS GATOS, CA 95030

Architect



940 Atlantic Ave.
Alameda, CA 94601
Tel 510 885 8861
Fax 510 885 1611

Sheet

Consultant

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No. Date Issue Description
02/26/2025 HISTORICAL REVIEW

Project 59485

Drawn By: BD

Reviewed By: RN

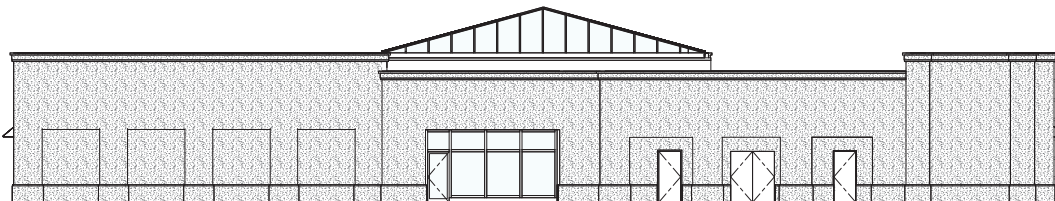
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Drawing Title

EXTERIOR
ELEVATIONS
COMPARISON

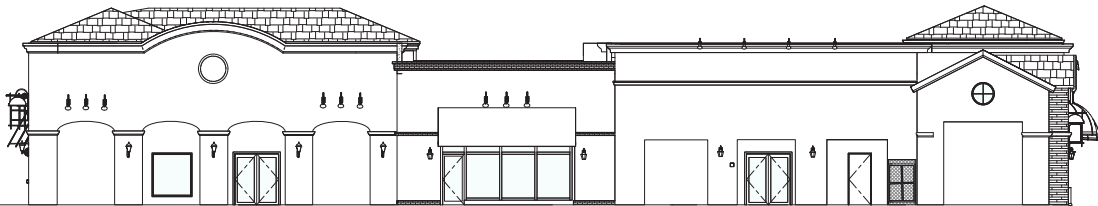
Drawing No.

A005



1 | PROPOSED NORTH ELEVATION - VIEW FROM REAR PARKING LOT

SCALE: 3/16" = 1'-0"



2 | EXISTING NORTH ELEVATION - VIEW FROM REAR PARKING LOT

SCALE: 3/16" = 1'-0"

RH

RH - LOS GATOS

Project Address
31 UNIVERSITY AVE.
LOS GATOS, CA 95030

Architect
MBH
940 Atlantic Ave.
Berkeley, CA 94601
Tel 510 865 8661
Fax 510 865 1611

Owner

Consultant

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MBH 06/20/2025 (1/1)

No. Date Description
06/20/2025 HISTORICAL REVIEW

Project 59485

Drawn By BD

Checked By RN

Scale 1/16" = 1'-0"

Drawing Title

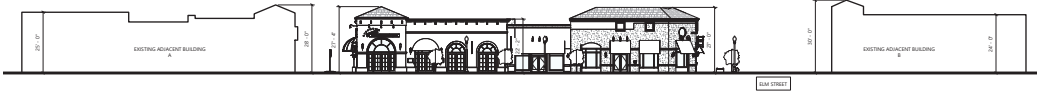
MASSING
ELEVATIONS

Drawing No.

A002



1 | PROPOSED BUILDING VIEW FROM UNIVERSITY AVE
SCALE: 1/16" = 1'-0"



2 | EXISTING BUILDING VIEW FROM UNIVERSITY AVE
SCALE: 1/16" = 1'-0"



**TOWN OF LOS GATOS
HISTORIC PRESERVATION
COMMITTEE REPORT**

**MINUTES OF THE HISTORIC PRESERVATION COMMITTEE MEETING
FEBRUARY 26, 2025**

The Historic Preservation Committee of the Town of Los Gatos conducted a regular meeting on February 26, 2025, at 4:00 p.m.

MEETING CALLED TO ORDER AT 4:00 PM

ROLL CALL

Present: Chair Lee Quintana, Planning Commissioner Susan Burnett, and Committee Member Alan Feinberg.

Absent: Planning Commissioner Emily Thomas and Vice Chair Martha Queiroz.

VERBAL COMMUNICATIONS

None.

CONSENT ITEMS

1. Approval of Minutes – January 22, 2025

MOTION: **Motion by Commissioner Burnett** to approve the consent calendar.
 Seconded by Committee Member Feinberg.

VOTE: **Motion passed unanimously, 3-0.** Commissioner Thomas and Vice Chair Queiroz absent.

PUBLIC HEARINGS

2. 17121 Wild Way
Request for Review PHST-24-022

Consider a Request to Construct Exterior Alterations (Window and Door Replacement) to a Pre-1941 Single-Family Residence on Property Zoned R-1:20. APN 424-30-080.
Exempt Pursuant to CEQA Guidelines, Section 15301: Existing Facilities. Property Owner: ALG Homes, LLC
Applicant: Erik Zang
Project Planner: Maria Chavarin

The project planner presented the staff report.
Opened Public Comment.

Mark Hulbert, Preservation Architect,

Mark has decades of experience with historic resources which includes windows. Window manufacturers now offer more historic style windows. Of the array of window choices, he recommends for residential buildings, either the Marvin's ultimate series or the Anderson's E series. Both offer high quality and offer customization. The existing windows are steel. But at 100 years old, they are leaky and rusty on the interior. A new steel replacement is four times the cost if other options. Steel is also bulky and heavy. There is nothing wrong with fiberglass. There are solid and aluminum clad choices. They offer casing choices. The Marvin's Ridgeland profile matches the windows on the house. The windows' interior would be wood and painted.

Committee members asked questions of the applicant.

Mark Hulbert, Preservation Architect,

The Marvin clad has simulated divided lites. The old windows have a 1-¼ inch sash of steel. The new windows have a 2-inch sash necessary to meet environmental needs. The dark sample is the Anderson profile. The Marvin example is a better profile match. The casing is a better match. There is a better profile on the muntin. It is a custom narrow muntin. The divided lites are simulated and not individual glass panes. The windows will be double-paned, environmental, and fire glass. All forty windows will be changed. Marvin can customize each one. The color of the window will be a dark charcoal. The metal edge will not show. It'll be a full window. The frame, sash, casings are all one piece. The Fire Department asks that all the windows be changed for fire protection. The steel doors will remain.

Closed Public Comment.

Committee members discussed the matter.

Surprised to find a Tudor style home of this quality and age is in this Town. It is truly unique. Thank you for taking the extra effort to preserve what is there. Thank you to the owners for doing what we asked and presenting it to us.

MOTION: **Motion by Committee Member Fienberg** to Approve the Request to Construct Exterior Alterations (Window and Door Replacement) to a Pre-1941 Single-Family Residence on Property Zoned R-1:20. APN 424-30-080. Recommending the Marvin window described as a half metal clad and wood interior window. **Seconded by Commissioner Burnett.**

VOTE: **Motion passed unanimously, 3-0.** Commissioner Thomas and Vice Chair Queiroz absent.

3. 354 Bachman Court
Request for Review Application HS-25-008

Consider a Request for Approval to Construct Exterior Alterations (Window Replacement) to a Non-Contributing Single-Family Residence in the Almond Grove

Historic District on Property Zoned R-1D:LHP:PD. APN 510-58-004. Exempt Pursuant to CEQA Guidelines, Section 15301: Existing Facilities.

Property Owner: John Haas

Applicant: Renewal by Andersen/Hilda Ramirez

Project Planner: Sean Mullin

The project planner presented the staff report.

Opened Public Comment.

Hilda Ramirez, Applicant

Mr. Haas, the owner, attempted to purchase twelve retrofit Fibrex windows and one patio door. The original windows are vinyl. The owner's main concern is about energy efficiency.

Closed Public Comment.

Committee members asked questions of Staff.

Sean Mullin, Project Planner

When the Design Guidelines were written, these materials were not available. "Fibrex" is the brand name for wood composite. The applicant is proposing like-for-like double-hung windows.

Committee members discussed the matter.

MOTION: **Motion by Commissioner Burnett** to Approve a Request for Approval to Construct Exterior Alterations (Window Replacement) to a Non-Contributing Single-Family Residence in the Almond Grove Historic District on Property Zoned R-1D:LHP:PD. APN 510-58-004. **Seconded by Allen Feinberg.**

VOTE: **Motion passed unanimously, 3-0.** Commissioner Thomas and Vice Chair Queiroz absent.

4. 123 Wilder Avenue
Architecture and Site Application S-23-039

Consider a Request to Construct Exterior Alterations (Siding Replacement) to an Existing Accessory Structure (Garage) Located in the Almond Grove Historic District on Property Zoned R-1D:LHP. APN 510-18-008. Categorically Exempt Pursuant to CEQA Guidelines Section 15301: Existing Facilities.

Property Owner: Bogusla Marcinkowski and Brygida Sas-Marcinkowski
Applicant: Jose De La O
Project Planner: Sean Mullin

The project planner presented the staff report.

Applicant is not present.

Opened and Closed Public Comment.

Committee members discussed the matter.

Concerned that the applicant has not shown up or sent a representative. Would like to hear from them before deciding. In support since the proposed siding would complement the house which has the same style siding. The owner wants to change the siding but that requires an entirely different application. The setbacks are not standard either. If the siding changes, it loses the setback variance. Could not support the application if it does not follow the rules.

Committee members asked questions of Staff.

Sean Mullin, Project Planner

A potential remedy is to apply for a Variance to the shingle siding and a Variance for the non-conforming setback. If the exterior is so rotten, it can be demolished with in-kind replacement. If deemed reparable by the Building Official, they can replace in kind using the same footprint. Communication with the applicant is challenging. It is best to have them appear to a hearing to get their feedback.

MOTION: **Motion by Chair Quintana** to Continue to a Date Uncertain the Request to Construct Exterior Alterations (Siding Replacement) to an Existing Accessory Structure (Garage), for Staff to Communicate with the Applicant as to Difficulties of a Non-in-Kind Replacement and for Next Steps. **Seconded by Commissioner Burnett.**

VOTE: **Motion passed unanimously, 3-0.** Commissioner Thomas and Vice Chair Queiroz absent.

5. 31 University Avenue
Architecture and Site Application S-25-004 and Conditional Use Permit U-25-001

Requesting Approval for Modification of the Planned Development Ordinance to Allow Modifications to Building E, an Architecture and Site Application for Exterior Modifications to an Existing Commercial Building in the University/Edelen Historic District, and a Conditional Permit for Formula Retail over 10,000 square feet and for a Restaurant with Alcohol Service on a Property Zoned C-2:LHP:PD. APN 529-02-044.

Planned Development Modification PD-25-001, Categorically Exempt Pursuant to CEQA Guidelines Section 15301: Existing Facilities.

Property Owner: SRI Old Town, LLC

Applicant: Rick Nelson, MBH Architects

Project Planner: Erin Walters

The project planner presented the staff report.

Opened Public Comment.

Jordan Brown, Architect and Design Lead, and Stu Waggoner, Pre-development Lead

RH is a retail and restaurant company founded in 1979 in Northern California. It is based in Corte Madera with several prominent locations around the Bay Area including a Gallery on Santa Cruz Avenue. Where they have been a tenant for the last 15 years. We are invested in the design of our brand and physical gallery experiences. We're obsessed with great architecture. We either find to readapt existing buildings or build. With Los Gatos it a little bit of both. The proposal at 31 University Avenue is sensitive to and supportive of the larger historic district. The design will expand the aesthetic and details of the existing Mediterranean style while maintaining the existing footprint, setback, and overall massing.

Upgraded building finish of hand-troweled colored venetian plaster, installation of new metal windows and doors whose size, rhythm and topology consistent with the existing building style and of the caliber of the old town shopping center across University Avenue. The current building is a non-contributing commercial building, built in 1999. Currently an assemblage of small store fronts of miscellaneous, unrelated materials. Previously housed two separate retail and restaurant tenants. The retail portion has been vacant for last two years. Proposal as a single tenant, they unified the unrelated units to create a visually harmonious and stately façade commensurate with the caliber of the surrounding Old Town commercial center. As shown in the elevation comparison, our proposal reorganizes the buildings for our needs by creating a central entry and restaurant space with surrounded retail that seamlessly blends interior and exterior home and hospitality. Created a formal central entry and adjusted the misaligned cornices and rooflines as well as the window sizing and spacing for a more cohesive façade.

Committee members asked questions of the applicant.

Jordan Brown, Architect and Design Lead

We took our design cues from the existing architecture. The existing façade details are carried through to the new design. This proposal is one of the more unique Restoration Hardware buildings in the area. It was designed at a smaller scale to fit a smaller town. The footprint, cornice details, façade openings, and window details all match what is there. Most of the surrounding buildings are all the same material. The skylight would be barely visible from the human eye level, down the street and from across the street. The skylight is seven inches lower than the surrounding buildings. We have brought renderings of different perspectives, time of day, an interior view to show how it relates to the exterior, a photo of the corner now

and a drawing of the proposed for comparison. However, there is not a drawing of the rear view from the parking lot.

Closed Public Comment.

Committee members discussed the matter.

The building seems out of character with the rest of Old Town. It does not follow Policy LU 6.5: consistent with the neighborhood, or Policy LU 1.4: designed in context of the neighborhood. The skylight can be seen from the back. The roofline does not have enough character. The proposed design modifies the original intent of that side of the street which is to appear as a collective of individual structures. The three structures should not be unified into one consistent and symmetrical mass. Prefer the optical illusion of different rooflines, finishes, windows, and awnings. Even though it has the Mediterranean style it is not as compatible with the rest of downtown. The design doesn't relate well with the existing Old Town section of downtown.

MOTION: **Motion by Commissioner Burnett** to Deny the Modification of the Planned Development Ordinance to Allow Modifications to Building E, an Architecture and Site Application for Exterior Modifications to an Existing Commercial Building in the University/Edelen Historic District, and a Conditional Permit for Formula Retail over 10,000 square feet and for a Restaurant with Alcohol Service on a Property Zoned C-2:LHP:PD. APN 529-02-044. They could come back. **Seconded by Committee Member Fienberg.**

ALTERNATE
MOTION: **Motion by Chair Quintana** to Continue the Item to a Date Uncertain. Ask the Applicant to Consider the Issues Raised about Being Broken up into Different Sections and More Compatible with the Surrounding Structures. **Seconded by Commissioner Burnett**

VOTE: **Motion passed unanimously, 3-0.** Commissioner Thomas and Vice Chair Queiroz absent.

OTHER BUSINESS

6. 14344 La Rinconada Drive
Request for Review Application PHST-24-013

Preliminary Review for Construction of an Addition and Exterior Alterations to an Existing Pre-1941 Single-Family Residence on Property Zoned R-1:8. Located at 14344 La Rinconada Drive. APN 409-19-019. Exempt Pursuant to CEQA Guidelines, Section 15301: Existing Facilities.

Property Owner/Applicant: William Maynard
Project Planner: Erin Walters

The project planner presented the staff report.

Opened Public Comment.

Michelle Minor, Architect Designer

The street is diverse in styles and sizes. The houses are predominately cottage style with a few Craftsmen, stucco ranch, and others. Their proposal has a garage on the street. There are eleven homes on that street. Three have no garages. Three have detached garages in the rear. One has a detached 3-car garage. One has a garage that takes up the whole front. One lot has two homes with a flag lot behind. This two-home lot has an attached garage that is 3 ½ feet in front of any other front elevation. The proposed design will be slightly back from the front and not as predominant. The garage roof pitch has been lowered from 12 by 12 to 10 by 12. The roof form has been reduced and the garage roof height has been reduced by over two feet. The structure now classified as an attic. On Wedgewood Avenue and Mulberry Drive, the garages are mainly located in front. As instructed, the design is set back, has reduced bulk, and all the materials, trim, windows, siding, and roofing will match what is there. The design is consistent with the street. It does not overwhelm the street. A fence and landscaping will be added in front.

Committee members asked questions of the applicant

Michelle Minor, Architect Designer

If they make the roof double gabled it would be very prominent. Added a hip roof instead to reduce the prominence.

Closed Public Comment.

Committee members discussed the matter.

The request to be removed from the inventory has to be made by the Applicant. On this street there were other small bungalows that have asked to be removed from the inventory. But once a house is removed it can be replaced by a much larger structure. This design is a big improvement over what was presented before. It is a major upgrade to the street and the house. The Committee is supportive of the design.

This is a preliminary review and does not require a motion.

Staff will work with applicant on next steps.

REPORT FROM THE DIRECTOR

None.

COMMITTEE MATTERS

- Agenda item suggestion to have an informal discussion with committee and staff, on what constitutes a pre-1941 building, not in a Historic District, vs. a Landmark designation. A Landmark must be consistent with the State or Los Gatos criteria. If it is exceptionally significant it is a Landmark. Historic Districts that don't necessarily have Landmark building but can have Pre-1941 buildings that are contributors to the District. There are Pre-1941 Presumptive buildings that are not in a District. How do we decide what is not Presumptive but a Historic Resource? What is the criteria? Need clarity for consistency. It would be an educational discussion under Other Business.

ADJOURNMENT

The meeting adjourned 5:28 p.m.

This is to certify that the foregoing is a true and correct copy of the minutes of the February 26, 2025 meeting as approved by the Historic Preservation Committee.

Prepared by:

/s/Sean Mullin, AICP, Planning Manager



TOWN OF LOS GATOS
COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION
(408) 354-6872 Fax (408) 354-7593

CIVIC CENTER
110 E. MAIN STREET
LOS GATOS, CA 95030

March 27, 2025

Rick Nelson, MBH Architects
Via email

RE: 31 University Avenue
Planned Development Modification PD-25-001
Architecture and Site Application S-25-004
Conditional Use Permit U-25-001

Requesting Approval for Modification of Planned Development Ordinance to Allow Modifications to Building E, an Architecture and Site Application for Exterior Modifications to an Existing Commercial Building in the University/Edelen Historic District, and a Conditional Permit for Formula Retail over 10,000 square feet and for a Restaurant with Alcohol Service on a Property Zoned C-2:LHP:PD. APN 529-02-044. Categorically Exempt Pursuant to CEQA Guidelines Section 15301: Existing Facilities.

Property Owner: SRI Old Town, LLC.

Applicant: Rick Nelson, MBH Architects.

Project Planner: Erin Walters.

On February 26, 2025, the Los Gatos Historic Preservation Committee considered and continued the item with feedback.

On March 26, 2025, the Committee reconsidered and discussed the item. The Committee made a recommendation of denial and has forwarded the recommendation to the Planning Commission for consideration. In support of its recommendation of denial, the Committee provided the following reasoning:

- Although the proposed design is a Mediterranean style, it is not as compatible with the existing Old Town buildings; it is not consistent with the Planned Development; or the character of the University/Edelen Historic District;
- The design should convey a collective of individual structures rather than one consistent and symmetrical massing;
- Consider the addition of tile roofing material;
- Consider the impact of the skylight from all elevations; and

- The motion also included the subtle changes outlined at the March 26, 2025, meeting regarding paint, lighting, materials, trees, landscaping, roof painting, etc. to achieve the appearance of a collective of individual structures.

If you have any questions, I can be contacted by phone at (408) 354-6867 or by email at ewalters@losgatosca.gov.

Sincerely,

A handwritten signature in black ink, appearing to read 'Erin Walters', with a stylized flourish at the end.

Erin M. Walters
Senior Planner

cc: Lindsey Laird, RH, via email

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TOWN OF LOS GATOS
HISTORIC PRESERVATION COMMITTEE
REPORT

MEETING DATE: 03/26/2024

ITEM NO: 3

DATE: March 21, 2025

TO: Historic Preservation Committee

FROM: Joel Paulson, Community Development Director

SUBJECT: Consider a Request for Approval to Modify Planned Development Ordinance 2025 to Allow Modifications to Building E, an Architecture and Site Application for Exterior Modifications to an Existing Commercial Building in the University/Edelen Historic District, and a Conditional Use Permit for Formula Retail over 10,000 square feet and for a Restaurant with Alcohol Service on a Property Zoned C-2:LHP:PD. **Located at 31 University Avenue.** APN 529-02-044. Planned Development Modification PD-25-001, Architecture and Site Application S-25-004, and Conditional Use Permit U-25-001. Categorically Exempt Pursuant to CEQA Guidelines Section 15301: Existing Facilities. Property Owner: SRI Old Town, LLC. Applicant: Rick Nelson, MBH Architects. Project Planner: Erin Walters.

RECOMMENDATION:

Consider a request for approval for exterior modifications to an existing commercial building, Building E in the Old Town Los Gatos Shopping Center in the University/Edelen Historic District on property zoned C-2:LHP:PD, located at 31 University Avenue.

BACKGROUND:

On February 26, 2025, the Committee considered the request, discussed the item, and continued the item to a meeting date certain with the following feedback (Attachment 5):

- Although the proposed design is a Mediterranean style, it is not as compatible with the existing Old Town buildings; and not consistent with the Planned Development or the character of the University/Edelen Historic District;
- The design should convey a collective of individual structures rather than one consistent and symmetrical mass;
- Consider the addition of tile roofing material; and
- Consider the visual impact of the skylight from all elevations.

PREPARED BY: Erin M. Walters
Senior Planner

DISCUSSION:

The applicant considered the Committee's direction and has decided to not modify the proposed exterior modifications and has provided a response letter (Attachment 6).

The applicant proposes to modify the exterior of Building E to establish more cohesive architecture for the future single tenant of the building (Attachment 7). Exterior modifications would be made to all four elevations and include:

- Roof alterations creating consistent and symmetrical massing;
- Changes to window and door shapes, integrating arched, and rectangular fenestration;
- New fabric awnings and metal and glass canopy awnings;
- A new skylight; and
- New stucco siding.

A color and materials sheet showing the proposed finishes of the new exterior materials is included on A406 in the Development Plans included as Attachment 7.

CONCLUSION:

The applicant is seeking a recommendation from the Committee for exterior modifications to Building E. (Attachment 7). Should the Committee find merit in the request, the Committee should forward a recommendation of approval for the request to the Planning Commission. The application package would continue through the discretionary review process and would not return to the Committee.

CONSIDERATIONS:

A. Considerations Required with Recommendation

In evaluating applications, the deciding body shall consider the architectural style, design, arrangement, texture, materials and color, and any other pertinent factors. Applications shall not be granted unless:

_____ In historic districts, the proposed work will neither adversely affect the exterior architectural characteristics or other features of the property which is the subject of the application, nor adversely affect its relationship, in terms of harmony and appropriateness, with its surroundings, including neighboring structures, nor adversely affect the character, or the historical, architectural or aesthetic interest or value of the district.

PAGE 3 OF 4

SUBJECT: 31 University Avenue/PD-25-001, S-25-004 and U-25-001

DATE: March 21, 2025

ATTACHMENTS:

Previously distributed with the February 26, 2025, Staff Report:

1. Planned Development Ordinance 2025
2. Applicant's Request and Letter of Justification
3. Development Plans

Previously received with the February 26, 2025, Desk Item Report:

4. Existing and Proposed Building Elevations

Received with this Staff Report:

5. HPC Action Letter, February 26, 2025
6. Response Letter
7. Development Plans

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TOWN OF LOS GATOS
COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION
(408) 354-6872 Fax (408) 354-7593

CIVIC CENTER
110 E. MAIN STREET
LOS GATOS, CA 95030

February 26, 2025

Rick Nelson, MBH Architects
Via email

RE: 31 University Avenue
Planned Development Modification PD-25-001
Architecture and Site Application S-25-004
Conditional Use Permit U-25-001

Requesting Approval for Modification of Planned Development Ordinance to Allow Modifications to Building E, an Architecture and Site Application for Exterior Modifications to an Existing Commercial Building in the University/Edelen Historic District, and a Conditional Permit for Formula Retail over 10,000 square feet and for a Restaurant with Alcohol Service on a Property Zoned C-2:LHP:PD. APN 529-02-044. Categorically Exempt Pursuant to CEQA Guidelines Section 15301: Existing Facilities.

Property Owner: SRI Old Town, LLC.

Applicant: Rick Nelson, MBH Architects.

Project Planner: Erin Walters.

On February 26, 2025, the Los Gatos Historic Preservation Committee considered the request, discussed the item, and continued the application to a meeting date certain of March 26, 2025, with the following feedback:

- Although the proposed design is a Mediterranean style, it is not as compatible with the existing Old Town buildings; it is not consistent with the Planned Development; or the character of the University/Edelen Historic District;
- The design should convey a collective of individual structures rather than one consistent and symmetrical massing;
- Consider the addition of tile roofing material; and
- Consider the impact of the skylight from all elevations.

If you have any questions, I can be contacted by phone at (408) 354-6867 or by email at ewalters@losgatosca.gov.

Sincerely,

Erin M. Walters, Senior Planner

cc: Lindsey Laird, RH, via email

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March 14, 2025

Historic Preservation Committee
110 E. Main Street
Los Gatos, CA 95030

Project: **RH Los Gatos - PD-25-001, S-25-004 and U-25-001**
Location: **31 University Ave**

Dear Members of the Historic Preservation Committee:

I would like to first thank you for your time on February 26, 2025. We appreciated your feedback but after careful consideration, we have chosen to maintain our current design.

When developing our Proposal, we closely studied the existing Mediterranean components of the building and the Old Town Shopping Center, its proportions, window types and architectural details. We also considered the buildings immediately adjacent and incorporated their unified design into our building, both in color and articulation, with the goal of creating a harmonious façade design that assimilates into, rather than competes with the larger Historic District.

At RH, we strive to obtain balance, symmetry and perfect proportions with our architectural approach and believe our design does exactly that. With respect, we would like to maintain our Proposal. I hope the explanation above provides you with an understanding of our position.

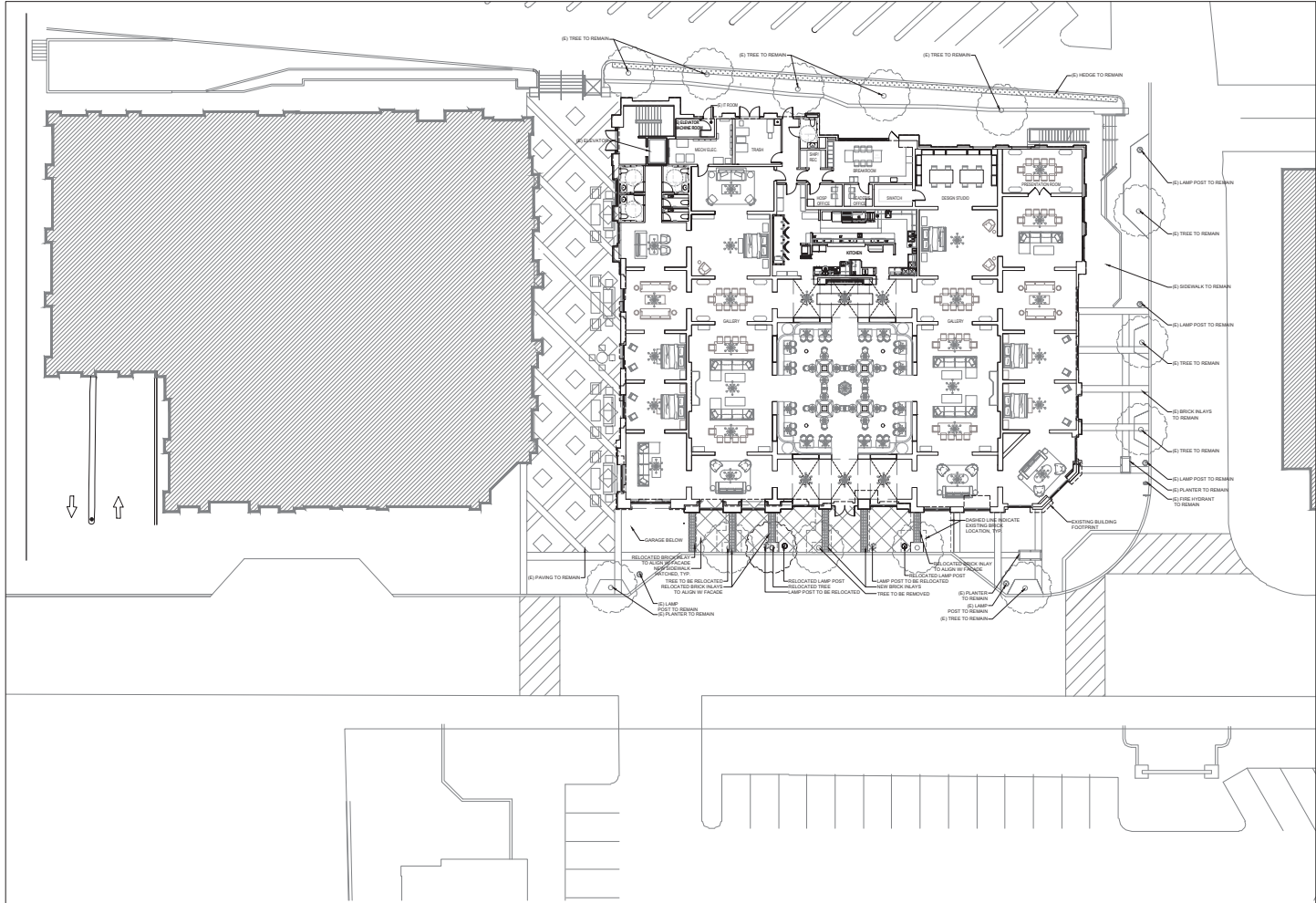
Thank you,

Stuart Wagner

A handwritten signature in black ink, appearing to read 'Stuart Wagner', with a long horizontal flourish extending to the right.

STUART WAGNER
SENIOR DIRECTOR, PRE-DEVELOPMENT
RH | GALLERY DEVELOPMENT
C: 919.621.0741

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RH

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Consultant

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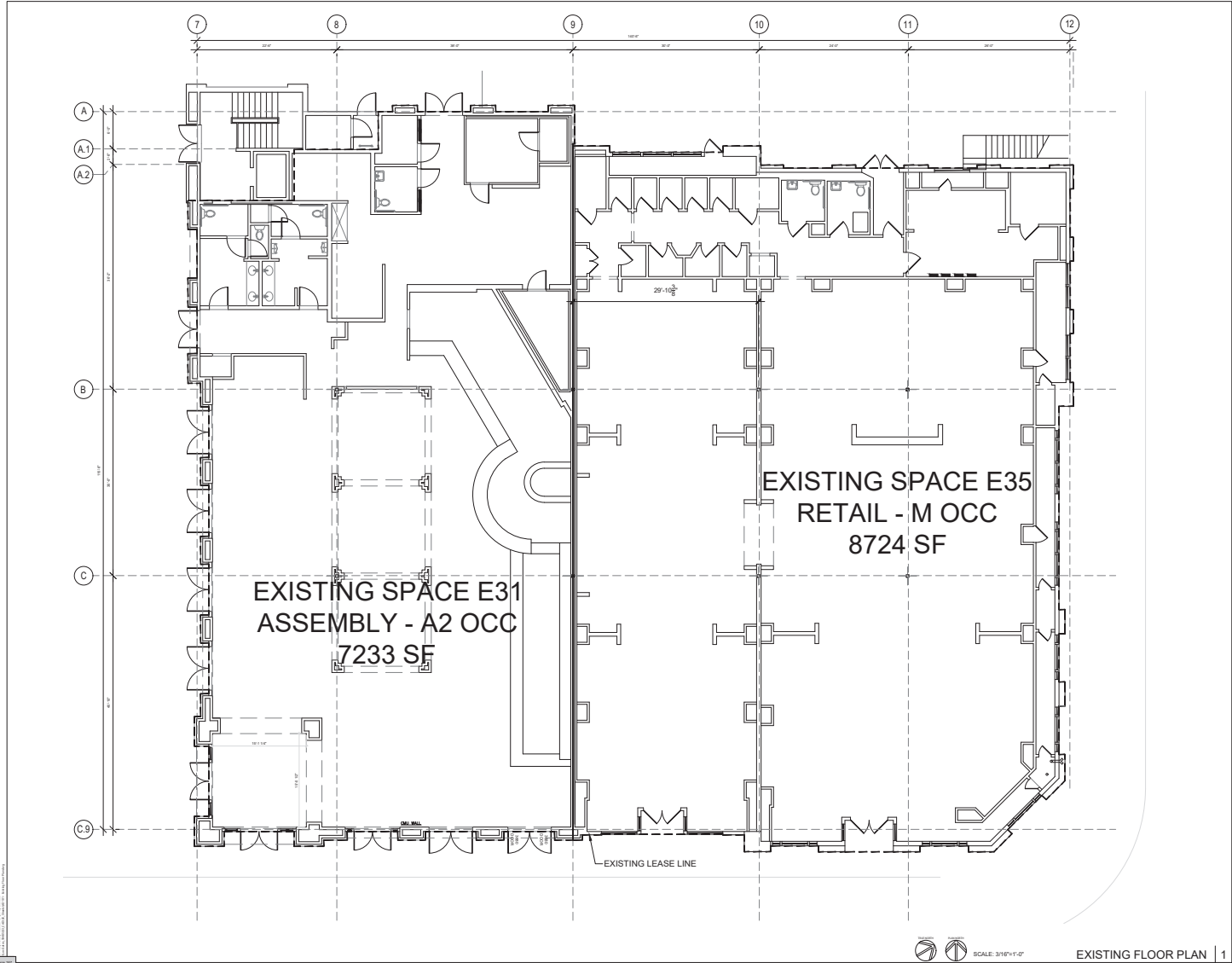
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Reviewed By: Rick N.
Scale: As noted
Drawing Title

SITE PLAN

Drawing No.
AS101

SCALE: 1/16"=1'-0"

SITE PLAN | 1



RH

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Project No. 18485
Drawn By: Sandra B.
Reviewed By: Rick N.
Scale: As noted
Drawing Title

EXISTING FLOOR
PLAN

Drawing No.

AD101

SCALE: 3/16"=1'-0"

EXISTING FLOOR PLAN | 1

RH

Project

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Working with a client to develop a project that meets the needs of the community and the environment. We are committed to providing a high level of service and ensuring that all projects are completed on time and within budget.

Project No. 18485

Drawn By: Sandra B.

Reviewed By: Rick N.

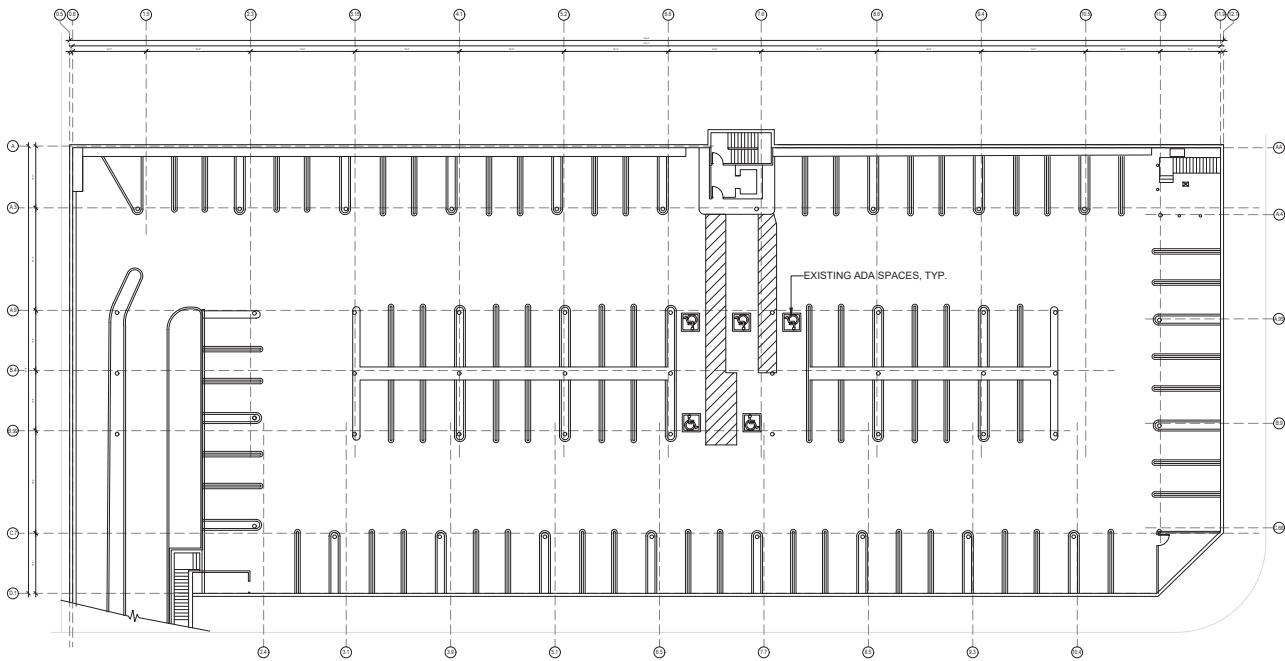
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A100

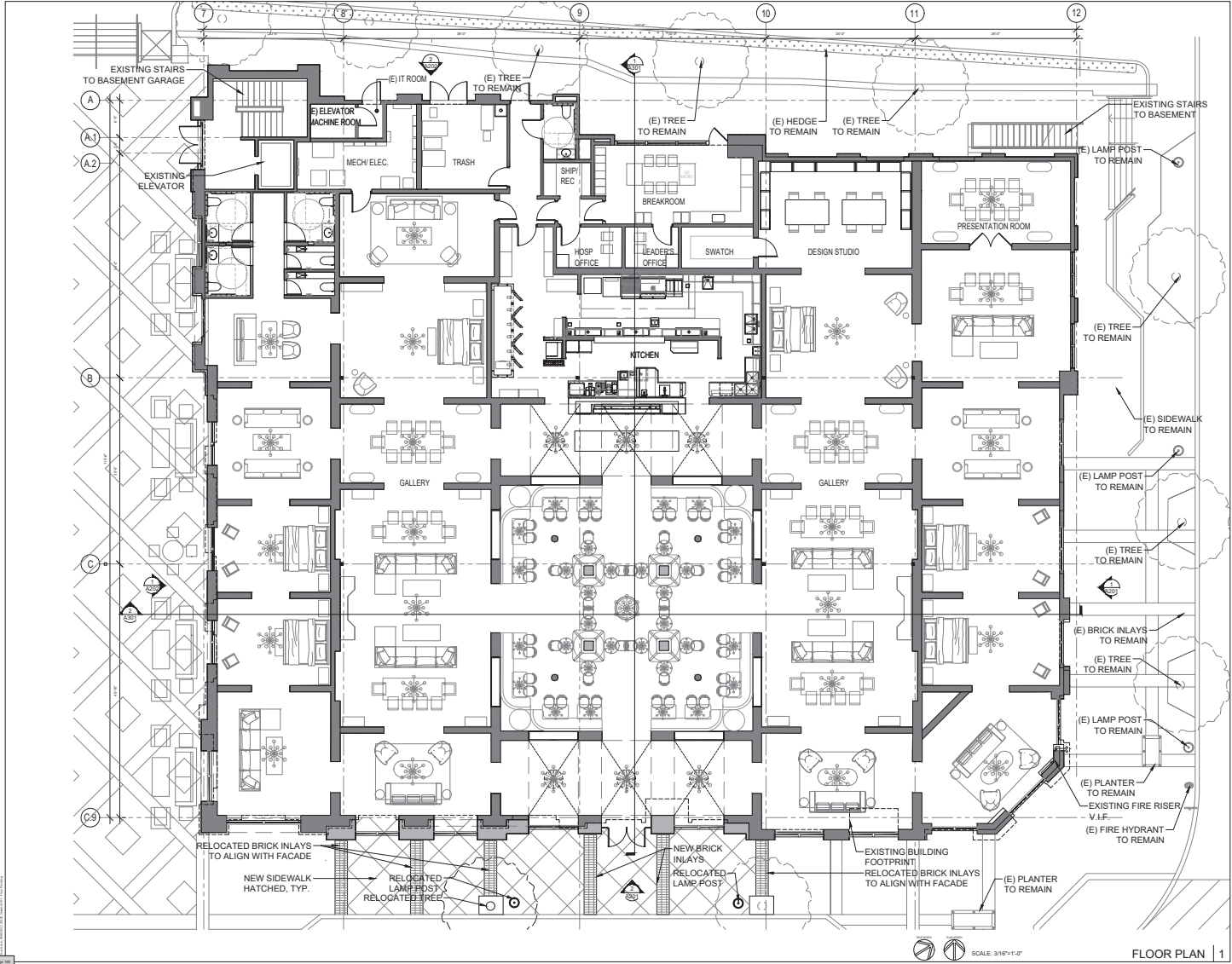


FOR REFERENCE ONLY



SCALE: 3/32"=1'-0" EXISTING BASEMENT PARKING PLAN

1



RH

Project
RH - LOS GATOS
31 UNIVERSITY AVE.
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Seal

Consultant

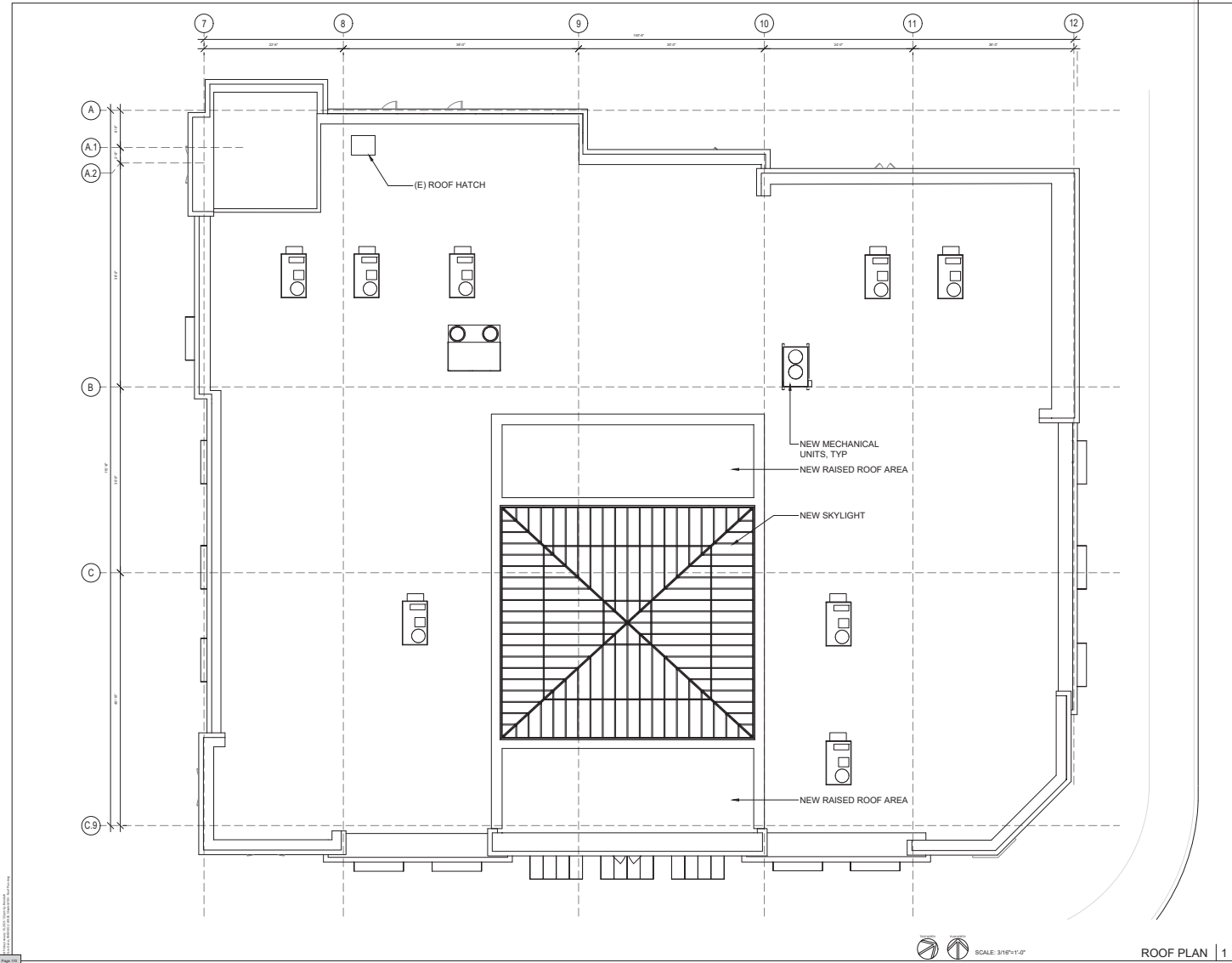
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03	11/02/2024	100% SCHEMATIC DESIGN
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Working with a client to develop a design that meets the needs of the project and the community. The design team will work closely with the client and the community to ensure that the project is successful and meets the needs of all stakeholders.

Project No.	0485
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Reviewed By	Rick N.
Scale	As noted
Drawing Title	

FLOOR PLAN

Drawing No.
A101



RH

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Seal

Consultant

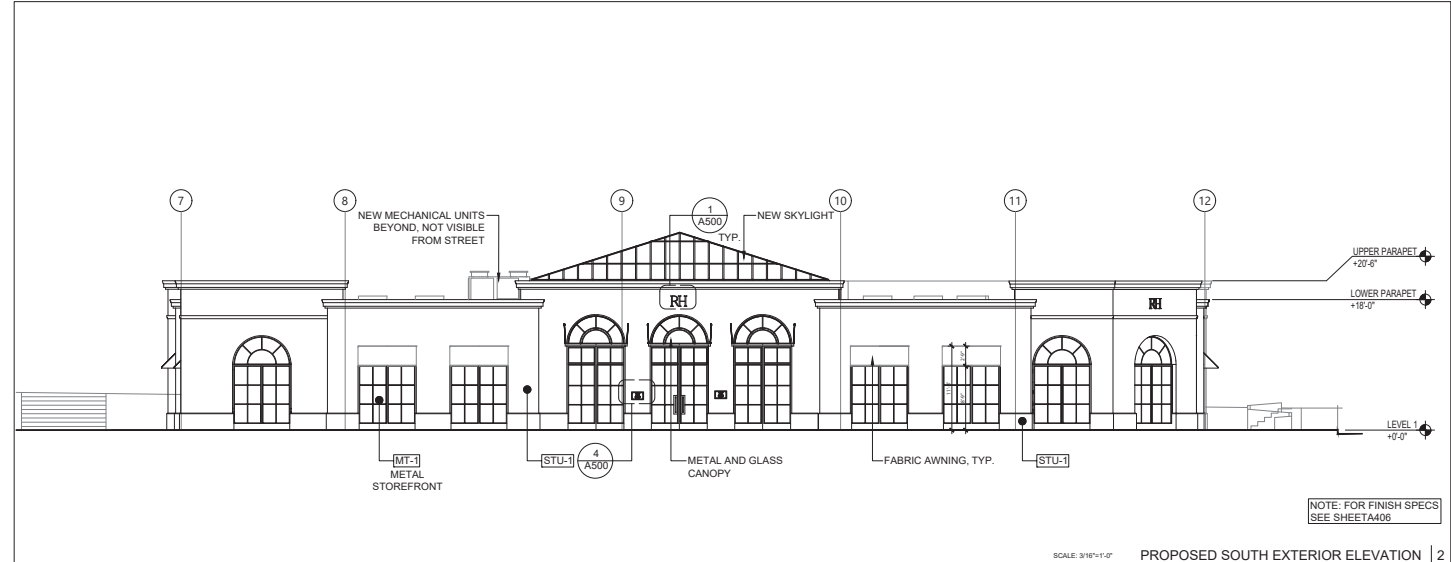
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03	11/22/2024	100% SCHEMATIC DESIGN
04	01/09/2025	PLANNING SUBMITTAL 2

Working with a client to develop a project is a collaborative process. The client is responsible for providing accurate information and for obtaining all necessary permits. The architect is responsible for providing accurate information and for obtaining all necessary permits. The architect is not responsible for the client's actions or omissions.

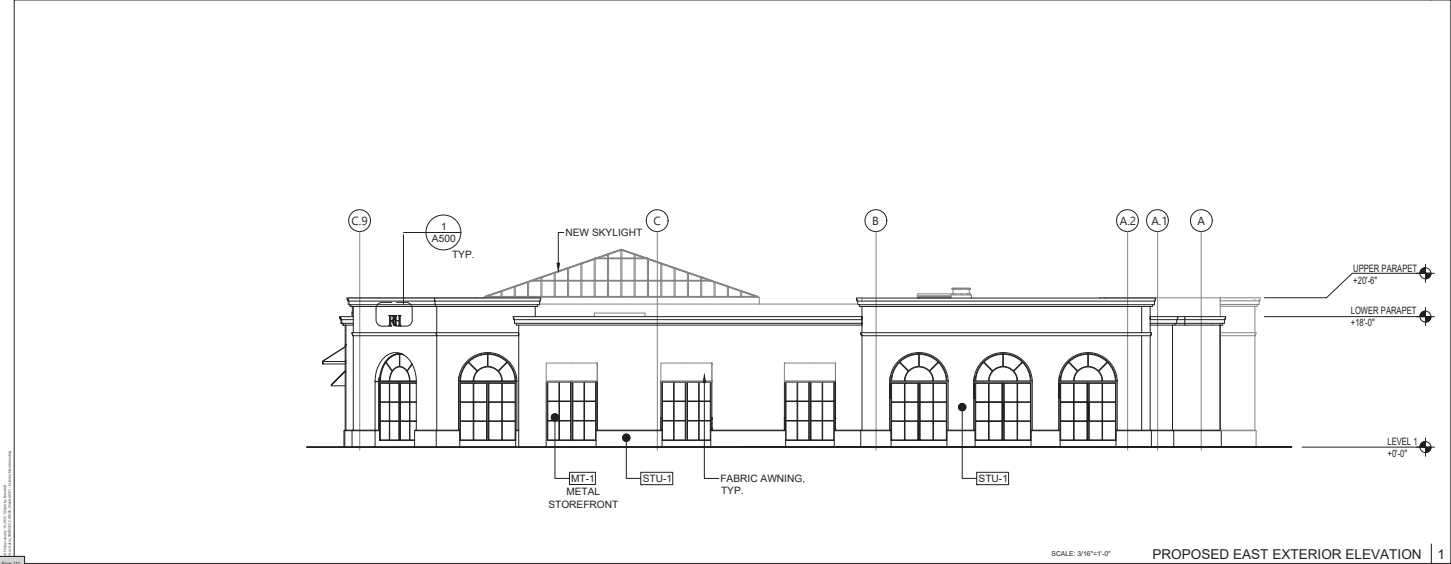
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ROOF PLAN

Drawing No.
A104



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SCALE: 3/16"=1'-0" PROPOSED EAST EXTERIOR ELEVATION | 1

RH

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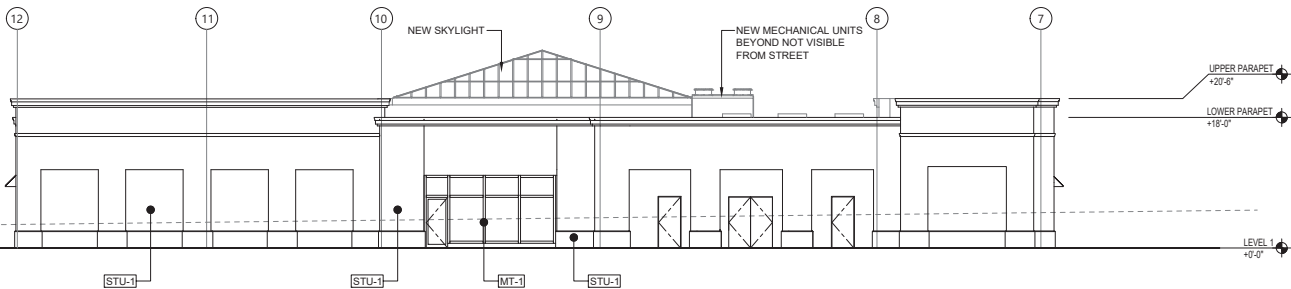
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Reviewed By: Rick N.
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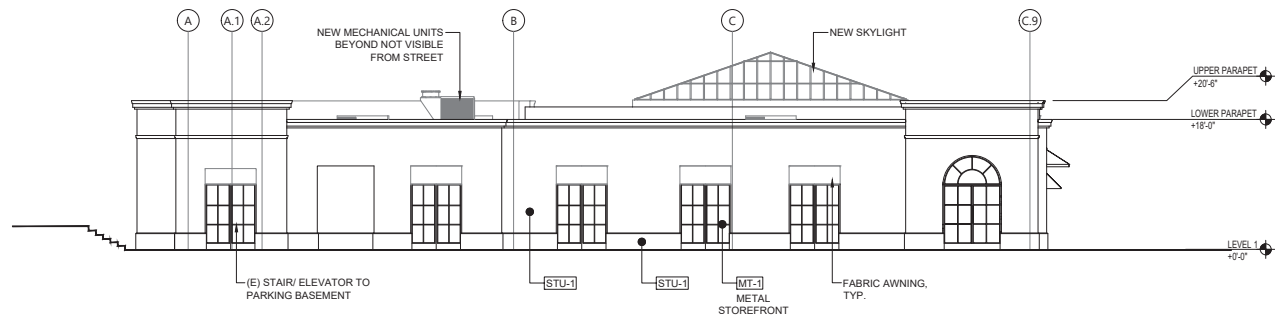
EXTERIOR
ELEVATIONS

Drawing No.

A201



SCALE: 3/16"=1'-0" PROPOSED NORTH EXTERIOR ELEVATION | 2



SCALE: 3/16"=1'-0" PROPOSED WEST EXTERIOR ELEVATION | 1

RH

Project
RH - LOS GATOS
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LOS GATOS, CA 95030

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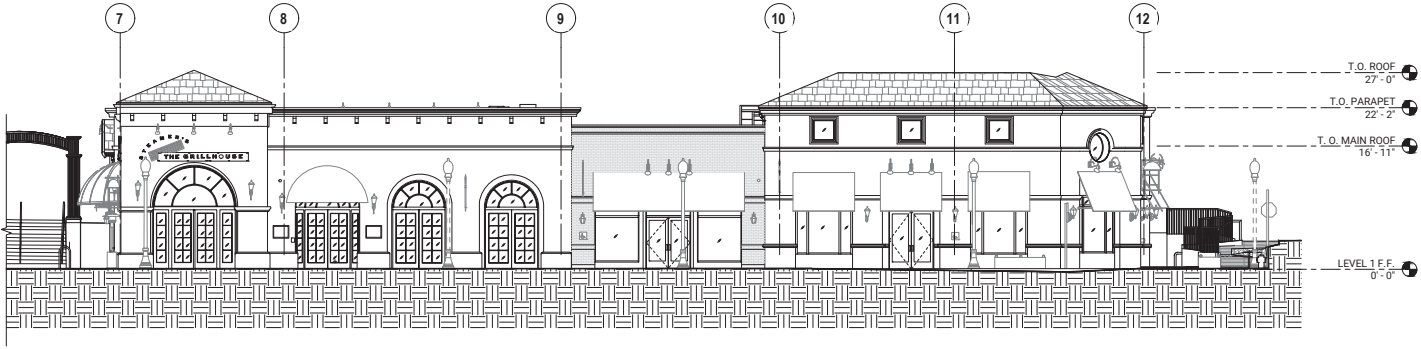
Consultant

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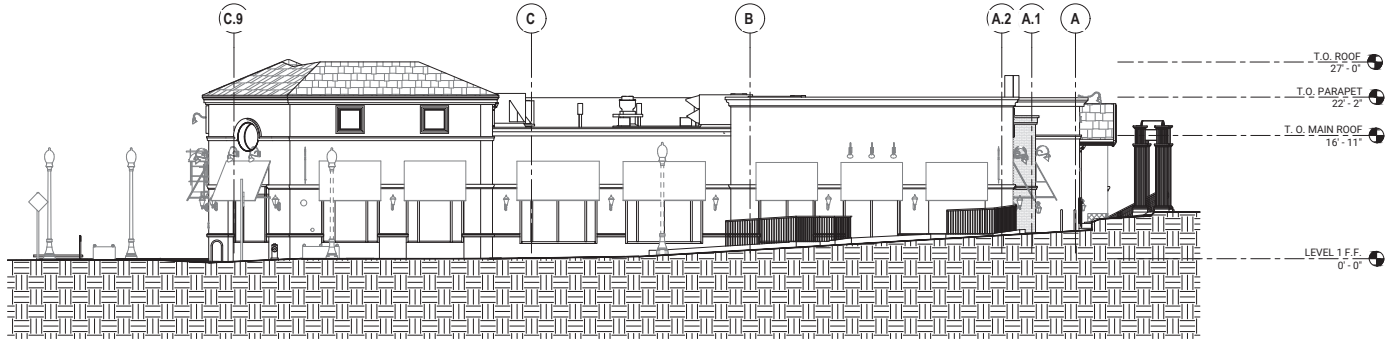
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Drawing Title

EXTERIOR
ELEVATIONS

Drawing No.
A202



SCALE: 3/16"=1'-0" EXISTING SOUTH EXTERIOR ELEVATION | 2



SCALE: 3/16"=1'-0" EXISTING EAST EXTERIOR ELEVATION | 1

RH

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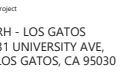
Working with a client to develop a design for a building that is both functional and aesthetically pleasing. The design is based on the client's needs and the architect's expertise. The design is subject to change without notice.

Project No.	0405
Drawn By	Barbara B.
Reviewed By	Rick N.
Scale	As noted
Drawing Title	

EXISTING
EXTERIOR
ELEVATIONS

Drawing No.

A203



architect

MBB

960 atlantic avenue
Alameda, CA 94501
510 865 8663
mbbarch.com

7

consultant



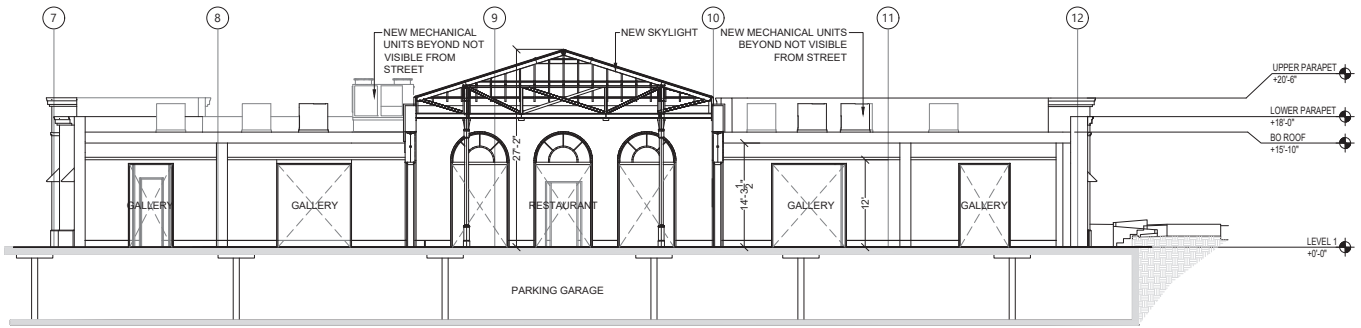
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01/09/2025	PLANNING SUBMITTAL 2

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Reviewed By:	Rick N
Scale	As noted
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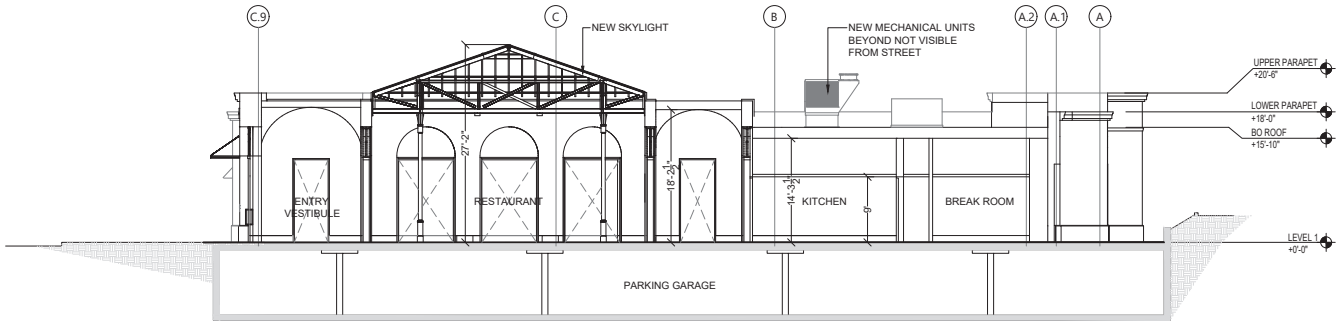
EXISTING
EXTERIOR
ELEVATIONS

A204



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PROPOSED BUILDING SECTION | 2



SCALE: 3/16"=1'-0"

PROPOSED BUILDING SECTION | 1

RH

Project
RH - LOS GATOS
31 UNIVERSITY AVE.
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Seal

Consultant

No. Date Issued/Revised
01 10/18/2024 PRE-APPLICATION PACKAGE
02 11/06/2024 PLANNING SUBMITTAL
03 11/22/2024 100% SCHEMATIC DESIGN
04 01/09/2025 PLANNING SUBMITTAL 2

Project No. 18485
Drawn By: Sandra B.
Reviewed By: Rick N.
Scale: As noted
Drawing Title

BUILDING
SECTIONS

Drawing No.

A301



SCALE: N.T.S.

EXISTING BUILDING PHOTOS | 1

RH

Project
RH - LOS GATOS
31 UNIVERSITY AVE,
LOS GATOS, CA 95030

Architect
MEH
160 Atlantic Avenue
Berkeley, CA 94701
(415) 863-8668
meharch.com

Seal

Consultant

No.	Date	Issued/Revised
01	10/18/2024	PRE-APPLICATION PACKAGE
02	11/06/2024	PLANNING SUBMITTAL
03	11/07/2024	100% SCHEMATIC DESIGN
04	01/09/2025	PLANNING SUBMITTAL 2

Working with a client to develop a plan for a new building. The plan includes a site plan, a floor plan, and a section. The plan is a preliminary design and is subject to change. The plan is a preliminary design and is subject to change. The plan is a preliminary design and is subject to change.

Project No.: 0845
Drawn By: Brenda B.
Reviewed By: Rick N.
Scale: As noted

Drawing Title

EXISTING
BUILDING
PHOTOS

Drawing No.

A400



RH

Project
RH - LOS GATOS
31 UNIVERSITY AVE,
LOS GATOS, CA 95030

Architect
MEH
160 Atlantic Avenue
Berkeley, CA 94701
(415) 863-8844
meharch.com

Seal

Consultant

No.	Date	Issued/Revised
01	10/18/2024	PRE-APPLICATION PACKAGE
02	11/06/2024	PLANNING SUBMITTAL
03	11/02/2024	100% SCHEMATIC DESIGN
04	01/09/2025	PLANNING SUBMITTAL 2

Working with a client means not accepting the responsibility of providing a professional opinion or design without the client's consent. All drawings are the property of the architect.

Project No.: 18455
Drawn By: Brenda B.
Reviewed By: Rick N.
Scale: As noted
Drawing Title

EXISTING
BUILDING
PHOTOS

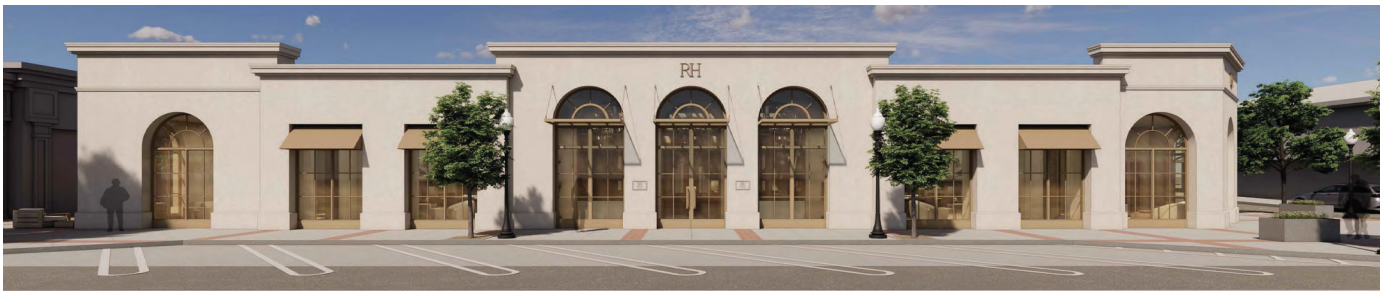
Drawing No.

A401

SCALE: N.T.S.

EXISTING BUILDING PHOTOS

1



SCALE: N.T.S.

PROPOSED EXTERIOR RENDERS

1

RH

Project
RH - LOS GATOS
31 UNIVERSITY AVE,
LOS GATOS, CA 95030

Architect
MEH
160 Atlantic Avenue
Berkeley, CA 94701
510.863.8644
meharch.com

Seal

Consultant

No.	Date	Issued/Revised
01	10/18/2024	PRE-APPLICATION PACKAGE
02	11/06/2024	PLANNING SUBMITTAL
03	11/02/2024	100% SCHEMATIC DESIGN
04	01/09/2025	PLANNING SUBMITTAL 2

Working with a client means not just supporting their vision but also helping them understand the practicalities of their project. We are committed to providing a high level of service and ensuring that our clients are satisfied with the results of our work.

Project No.	0405
Drawn By	Bianca B
Reviewed By	Rick N
Scale	As noted

Drawing Title

Drawing No.

EXTERIOR
BUILDING
RENDERS

A402



SCALE: N.T.S.

PROPOSED EXTERIOR RENDERS

1

RH

Project

RH - LOS GATOS
31 UNIVERSITY AVE,
LOS GATOS, CA 95030

Architect

MEH
180 Atlantic Avenue
Berkeley, CA 94701
510.865.8844
meharch.com

Seal

Consultant

No. Date Issued/Revised

01 10/18/2024 PRE-APPLICATION PACKAGE

02 11/06/2024 PLANNING SUBMITTAL

03 11/02/2024 TOTAL SCHEMATIC DESIGN

04 01/09/2025 PLANNING SUBMITTAL 2

Working with a client to develop a design for a new building. The design is based on the client's needs and the architect's vision. The design is a conceptual sketch and is not intended to be a final design. The design is a conceptual sketch and is not intended to be a final design. The design is a conceptual sketch and is not intended to be a final design.

Project No. 00001

Drawn By: Brenda B.

Reviewed By: Rick N.

Scale: As noted

Drawing Title

EXTERIOR BUILDING RENDERS

Drawing No.

A403



RH

Project
RH - LOS GATOS
31 UNIVERSITY AVE,
LOS GATOS, CA 95030

Architect
MEH
160 Atlantic Avenue
Berkeley, CA 94701
510.863.8663
meharch.com

Seal

Consultant

No.	Date	Issued/Revised
01	10/18/2024	PRE-APPLICATION PACKAGE
02	11/06/2024	PLANNING SUBMITTAL
03	11/02/2024	100% SCHEMATIC DESIGN
04	01/09/2025	PLANNING SUBMITTAL 2

Working with a client means not accepting the responsibility of the client's decisions and not being held responsible for the client's decisions. All decisions are the client's responsibility.

Project No.: 0845
Drawn By: Brenda B.
Reviewed By: Rick N.
Scale: As noted
Drawing Title

INTERIOR
BUILDING
RENDERS

Drawing No.

A404



RH

Project
RH - LOS GATOS
31 UNIVERSITY AVE,
LOS GATOS, CA 95030

Architect
MEH
160 Atlantic Avenue
Berkeley, CA 94701
510.865.8644
meharch.com

Seal

Consultant

No.	Date	Issued/Revised
01	10/18/2024	PRE-APPLICATION PACKAGE
02	11/06/2024	PLANNING SUBMITTAL
03	11/07/2024	100% SCHEMATIC DESIGN
04	01/09/2025	PLANNING SUBMITTAL 2

Working with a client means not accepting the responsibility of providing a design that is not a final product. All designs are subject to change without notice and may not be reproduced or distributed without written consent of the architect.

Project No.	0845
Drawn By	Bianca B
Reviewed By	Rick N
Scale	As noted
Drawing Title	

INTERIOR
BUILDING
RENDERS

Drawing No.

A405

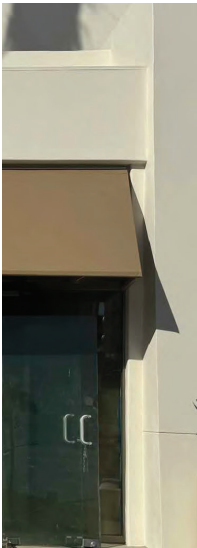
MATERIAL FINISHES



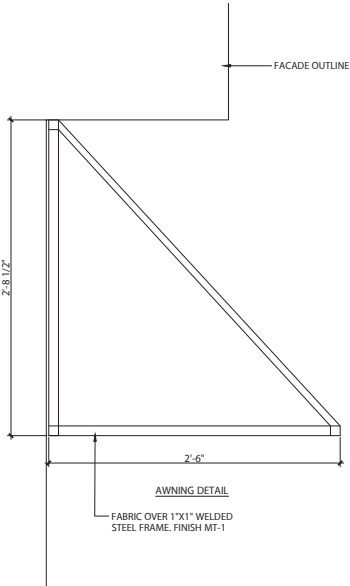
MT-1
METAL FINISH
MFR: CREATIVE PAINTS SAN FRANCISCO
PAINTED METAL CUSTOM METALLIC PLAIN



STU-1
STUCCO SYSTEM
MFR: RICK MARS
EXTERIOR CLADDING
LIGHT CREAM PROPRIETARY 5 COAT VENETIAN PLASTER
CUSTOM FINISH PER OWNER REQUIREMENTS



FABRIC AWNING



RH

Project
RH - LOS GATOS
31 UNIVERSITY AVE,
LOS GATOS, CA 95030

Architect
MEH
160 Atlantic Avenue
Berkeley, CA 94701
510.863.8643
meharch.com

Seal

Consultant

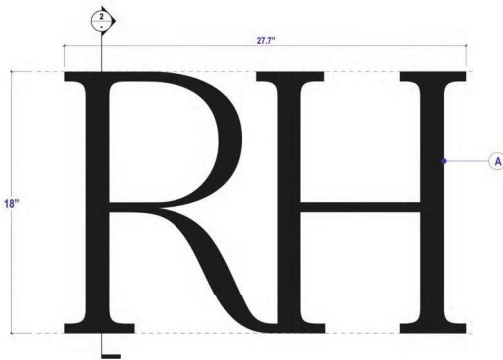
No.	Date	Issued/Revised
01	10/18/2024	PRE-APPLICATION PACKAGE
02	11/06/2024	PLANNING SUBMITTAL
03	11/22/2024	100% SCHEMATIC DESIGN
04	01/09/2025	PLANNING SUBMITTAL 2

Working with a client is a privilege. We are committed to providing the highest quality of service and ensuring that all project goals are met. We will be happy to assist you in any way we can.

Project No.: 18455
Drawn By: Brenda B.
Reviewed By: Rick N.
Scale: As noted
Drawing Title

MATERIAL
FINISHES

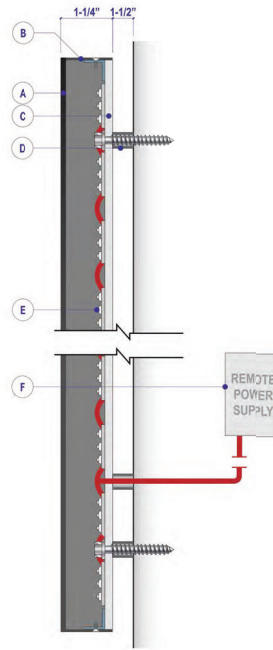
Drawing No.
A406



1 17-IN RH LOGO HALO-LIT - DETAIL
Scale 1/8: 1"



3 ILLUMINATION SAMPLE
NTS



2 SECTION
Scale 1/4: 1"

SPECIFICATIONS:

A. 1/8" THICK ALUMINUM FACE PAINT TO MATCH AWNINGS/WINDOW FRAMES

NOTE: SOME STROKE ADJUSTED TO ACCOMMODATE LED LIGHT LAYOUT REQUIREMENTS

B. .050" THICK ALUMINUM RETURNS PAINTED RAL 9005 JET BLACK SATIN (MP923) MOUNTED TO "C" VIA ANGLE BRACKETS AND SCREWS

C. 3/16" POLYCARBONATE BACK WITH SINGLE LAYER OF WHITE FROSTED CRYSTAL 7725E-324 DIFFUSER RIVETED TO ALUMINUM ANGLE BRACKETS MOUNTED TO FINISH WALL VIA 1/4"-20 SCREWS AND ANCHOR IN 7 PLACES

D. 1/2" DIA. ALUMINUM SPACERS

E. AGI LIGHT 3000K

F. MAGNITUDE M150L12DC-AR LED DRIVER



4 ENTRY PLAQUE SIGN DETAIL
NOT 100% SCALE
20" X 30" FRAME
MATCHES RENDERING



 THOMAS-SWAN SIGN COMPANY, INC. 2717 GODDRICK AVENUE, RICHMOND, CA 94801 510-332-9610 • CA JFORNIA LICENSE #3269069	© 2021 THOMAS SWAN SIGN COMPANY, INC. All rights reserved. This drawing and the concepts, ideas and design developed hereon are intended for use on this project only, and remain the sole property of Thomas Swan Sign Company, Inc. Original design concepts developed as part of this work remain the property and copyright of their respective owners. All dimensions and measurements are to be approved by the Client prior to any manufacturing or installation of these designs. Items are at scale unless noted. This page is printed at 1" x 10".	PROJECT NAME & ADDRESS RESTORATION HARDWARE	SIGN TYPE RH HALO-LIT BUILDING LOGO	DATE / REVISIONS	CLIENT Restoration Hardware SALES Ryan Gos DRAWN BY	JOB NUMBER 8258 SHEET NUMBER 1.00	QUANTITY 2
			FILENAME 18IN_LOS GATOS				
			APPROVED FOR CONSTRUCTION - INCLUDE NAME & DATE <input type="checkbox"/>				

FOR REFERENCE ONLY

SCALE: N.T.S.

EXTERIOR SIGNAGE | 1

RH

Project
RH - LOS GATOS
31 UNIVERSITY AVE,
LOS GATOS, CA 95030

Architect
MEH
160 Atlantic Avenue
Berkeley, CA 94701
510.863.8663
meharch.com

Seal

Consultant

No. Date Issued/Revised
01 10/18/2024 PRE-APPLICATION PACKAGE
02 11/06/2024 PLANNING SUBMITTAL
03 11/22/2024 100% SCHEMATIC DESIGN
04 01/09/2025 PLANNING SUBMITTAL 2

Project No. 0845
Drawn By: Brenda B.
Reviewed By: Rick N.
Scale: As noted
Drawing Title

EXTERIOR
SIGNAGE

Drawing No.

A500

NOTES FOR GENERAL CONTRACTOR

- General Contractor (GC) and Electrical Contractor (EC) will be responsible for verification of all dimensions, specifications and coordination with related trades and subcontractors.
- GC to permit daylight time to match calling per architect's design. Fixture time can be removed after parking and the rest of the day.
- GC to handle and install adequate drainage around all structural foundations and mounted in-grade light fixtures.
- GC to verify design of any conflict with mechanical, electrical, plumbing, HVAC or structural provisions or any conflicting dimensions or site conditions prior to commencement of work.
- GC is responsible for notifying designer of any discrepancies between design drawings and other documents.
- Do not scale drawings.

GENERAL NOTES

- Lighting Design drawings and dimensions are for design intent only. Coordination with Architectural Design required.
- Fixture types and specifications available in accompanying Specification packet.
- Calculations for code compliance to be provided by Electrical Engineer.
- Emergency lighting requirements to be completed by Electrical Engineer.

REV.	DATE	DESCRIPTION
1	10.23.2024	FOR REVIEW
2	11.22.2024	100% SCHEMATIC DESIGN
3	01.10.2025	PLANNING REVIEW

PROJECT:
RH LOS GATOS
35 UNIVERSITY BLVD,
LOS GATOS, CA 95030

DRAWING TITLE:

LIGHTING LAYOUT

SHEET:

LT-1.0

LIGHTING SYSTEM SEQUENCE OF OPERATION:

ALL BUILDING LIGHTING AT RH LOS GATOS IS CONTROLLED BY PRESET SCHEDULING ONLY TIME CLOCK SCHEDULE.

SCHEMATIC SEQUENCE OF OPERATION:

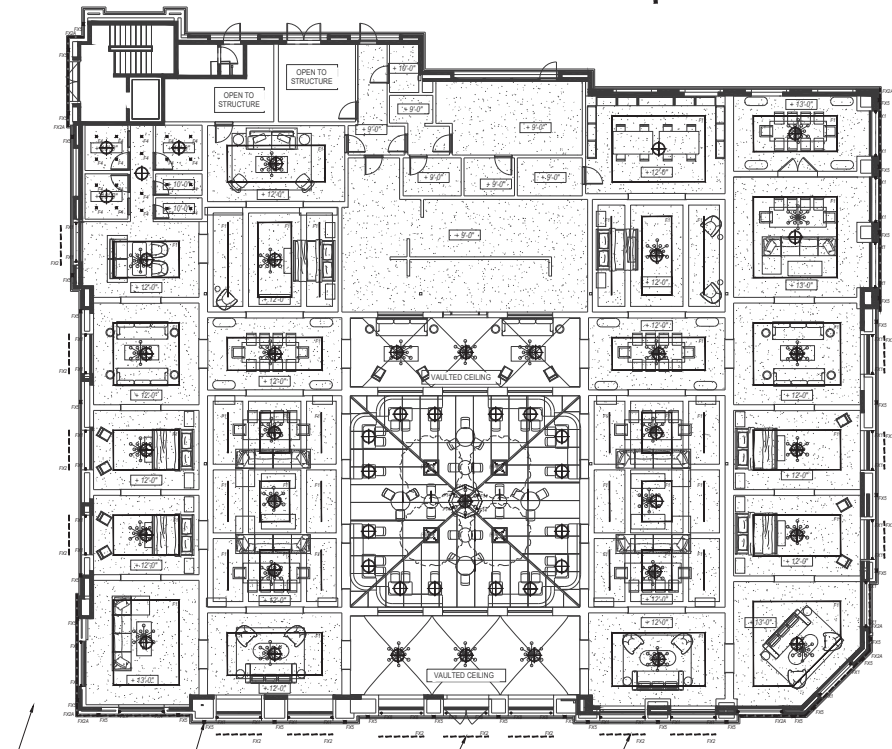
- SCENE 1: REAL TIME ACTIVATES AT 1:00 PM DAILY. TO SECOND FLOOR TIME. INTERIOR LIGHTING TURNS ON AT PRESET. DRAMATIC LIGHTING (PENTAGON) LIGHTING DESIGNER HAS APPROVED BY THE EXTERIOR LIGHTING TURNS OFF.
- SCENE 2: REAL TIME ACTIVATES AT 1:00 PM DAILY. TO SECOND FLOOR TIME. INTERIOR LIGHTING TURNS ON AT PRESET. DRAMATIC LIGHTING (PENTAGON) LIGHTING DESIGNER HAS APPROVED BY THE EXTERIOR LIGHTING TURNS OFF.
- SCENE 3: OVERSIGHT ACTIVATES AT 1:00 PM. REAL TIME INTERIOR LIGHTING TURNS OFF. LIGHTING DESIGNER TO DETERMINE OVERSIGHT ACTIVATION REQUIREMENTS FOR EXTERIOR LIGHTING.
- SCENE 4: REAL TIME ACTIVATES ON EXTERIOR LIGHTING. LIGHTING DESIGNER WILL DETERMINE CUSTOM SETTINGS APPROVED BY THE.

NOTES FOR ZONING AND LIGHTING CONTROLS:

- ALL BUILDING LIGHTING TO BE DIMMABLE, INCLUDING ARCHITECTURAL AND DECORATIVE MECHANICAL LIGHTING.
- ONE ZONE PER 1" TYPE, PER REGULATION, LOCATION OR CONDITION (BASED ON GENERAL NOTES ON DRAWINGS).

LIGHTING LEGEND

TYPE	SYMBOL	DESCRIPTION	LOCATION
F1	—	LINEAR MOUNTED DIMMABLE CREEP TRIM	PERIMETER, THROUGHOUT
F2	—	ADJUSTABLE TRIM RAKE	PERIMETER, THROUGHOUT
F3	—	7" SQUARE RECESSED DOWNLIGHT	RECEPTIONAL, PASSAGES
F4	—	RECESSED BASK UNDERCABINET RECESSED LIGHT	CASEY CENTRAL, RECEPTION
F5	—	ARM MOUNTED RECESSED LIGHT	RECEPTION, RECEPTION, RECEPTION
F6	—	RECESSED MOUNTED LINEAR LED LIGHT	RECEPTION, RECEPTION
F7	—	RECESSED MOUNTED LINEAR LED LIGHT	RECEPTION, CORNER
F8	—	RECESSED MOUNTED RECESSED LIGHT	RECEPTION
F9	—	RECESSED MOUNTED RECESSED LIGHT	CASEY TRAIL
F10	—	RECESSED MOUNTED RECESSED LIGHT	RECEPTION, RECESSED LIGHT



ALL BUILDING LIGHTING TO BE DIMMABLE, INCLUDING ARCHITECTURAL AND DECORATIVE MECHANICAL LIGHTING.

ALL BUILDING LIGHTING TO BE DIMMABLE, INCLUDING ARCHITECTURAL AND DECORATIVE MECHANICAL LIGHTING.

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ALL BUILDING LIGHTING TO BE DIMMABLE, INCLUDING ARCHITECTURAL AND DECORATIVE MECHANICAL LIGHTING.

ALL BUILDING LIGHTING TO BE DIMMABLE, INCLUDING ARCHITECTURAL AND DECORATIVE MECHANICAL LIGHTING.

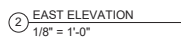
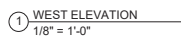
ALL BUILDING LIGHTING TO BE DIMMABLE, INCLUDING ARCHITECTURAL AND DECORATIVE MECHANICAL LIGHTING.

ALL BUILDING LIGHTING TO BE DIMMABLE, INCLUDING ARCHITECTURAL AND DECORATIVE MECHANICAL LIGHTING.

ALL BUILDING LIGHTING TO BE DIMMABLE, INCLUDING ARCHITECTURAL AND DECORATIVE MECHANICAL LIGHTING.

ALL BUILDING LIGHTING TO BE DIMMABLE, INCLUDING ARCHITECTURAL AND DECORATIVE MECHANICAL LIGHTING.

1 EXTERIOR LIGHTING LAYOUT
1/8" = 1'-0"



LIGHTING CONTROL SYSTEM SEQUENCE OF OPERATION

ALL BUILDING LIGHTING AT ENLOS GATOS IS CONTROLLED BY PRESET SCENES ON A TIME CLOCK SCHEDULE.

BUILDING WIDE SCENE DESCRIPTIONS

SCENE 1: RETAIL DAY ACTIVATES AT 7:00AM DAILY, 15 SECOND FADE TIME. INTERIOR LIGHTING TURNS ON AT PRESET, DIMMED LEVELS DETERMINED BY LIGHTING DESIGNER AND APPROVED BY RH. EXTERIOR LIGHTING TURNS OFF

SCENE 2: RETAIL NIGHT ACTIVATES 15 MINUTES BEFORE SUNSET, 15 SECOND FADE TIME. EXTERIOR LIGHTING TURNS ON AT PRESET DIMMED LEVELS DETERMINED BY LIGHTING DESIGNER AND APPROVED BY RH.

SCENE 4: EVENT ACTIVATES ON-DEMAND DURING OPENING EVENT. LIGHTING DESIGNER WILL DETERMINE CUSTOM SETTING APPROVED BY RL.

NOTES FOR ZONING AND LIGHTING CONTROLS:

1. ALL BUILDING LIGHTING TO BE DIMMABLE, INCLUDING ARCHITECTURAL AND DECORATIVE (MISCELLANEOUS) LIGHTING.
2. ONE ZONE PER "T" TYPE, PER INSTALLATION LOCATION OR CONDITION (UNLESS OTHERWISE NOTED ON DRAWINGS).

LIGHTING LEGEND			
TYPE	SYMBOL	DESCRIPTION	LOCATION
F1		SURFACE MOUNTED SINGLE CIRCUIT TRACK	RETAIL, THROUGHOUT
F2		ADJUSTABLE TRACK HEAD	RETAIL, THROUGHOUT
F4		2' SQUARE RECESSED DOWNLIGHT	RESTROOMS, PASSAGES
F16		HEIGHT ADJUSTABLE UNDERMOUNT ACCENT LIGHT	CAFE (CENTRAL, FOURTH)
F01		WALL MOUNTED ACCENT LIGHT	PACKAGE, DOOR AND WINDOW JAMBES
F02		SURFACE MOUNTED LINEAR LED UPLIGHT	PACKAGE, RAMPINGS
F02A		SURFACE MOUNTED LINEAR LED UPLIGHT	PACKAGE, COSMIC
F05		BALL MOUNTED PACKAGE WASHLIGHT	PACKAGE
F07		TRACK MOUNTED TREE UPLIGHT	CAFE TREES
F08		CANOE RECESSED UPLIGHT	MAIN ENTRY DOOR JAMBES

23823 MALIBU ROAD
SUITE 50 - 212
MALIBU, CA 90265
www.rkv-design.com
+1 310 924 2185

NOTES FOR GENERAL CONTRACTOR:

1. General Contractor (GC) and Electrical Contractor (EC) will be responsible for verification of all dimensions, specifications and coordination with related trades and subcontractors.
2. GC to paint downlight trims to match ceiling per architect's direction. Ensure trims can be removed after painting and do not stick.
3. GC to furnish and install adequate drainage around all direct burial transformers and recessed in-grade light fixtures.
4. GC to notify designer of any conflict with mechanical, electrical, plumbing, HVAC or structural provisions or any conflicting dimensions or site conditions prior to commencement of work.
5. GC is responsible for notifying designer of any inconsistencies between design drawings and other documents.
6. Do not scale drawings.

GENERAL NOTES:

1. Lighting Design drawings and dimensions are for design intent only. Coordination with Architectural Drawings required.
2. Fixture types and specifications available in accompanying Specification packet.
3. Calculations for code compliance to be provided by Electrical Engineer.
4. Emergency lighting requirements to be completed by Electrical Engineer.

REV. DATE.	DESCRIPTION
10.23.2024	FOR REVIEW
11.22.2024	100% SCHEMATIC DESIGN
01.10.2025	PLANNING REVIEW

PROJECT:

RH LOS GATOS

35 UNIVERSITY BLVD,
LOS GATOS, CA 95030

DRAWING TITLE:
EXTERIOR
LIGHTING
ELEVATIONS

SHEET:
LT-2.0

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TOWN OF LOS GATOS
HISTORIC PRESERVATION COMMITTEE
REPORT

MEETING DATE: 03/26/2024

ITEM NO: 3

DESK ITEM

DATE: March 26, 2025

TO: Historic Preservation Committee

FROM: Joel Paulson, Community Development Director

SUBJECT: Consider a Request for Approval to Modify Planned Development Ordinance 2025 to Allow Modifications to Building E, an Architecture and Site Application for Exterior Modifications to an Existing Commercial Building in the University/Edelen Historic District, and a Conditional Use Permit for Formula Retail over 10,000 square feet and for a Restaurant with Alcohol Service on a Property Zoned C-2:LHP:PD. **Located at 31 University Avenue.** APN 529-02-044. Planned Development Modification PD-25-001, Architecture and Site Application S-25-004, and Conditional Use Permit U-25-001. Categorically Exempt Pursuant to CEQA Guidelines Section 15301: Existing Facilities. Property Owner: SRI Old Town, LLC. Applicant: Rick Nelson, MBH Architects. Project Planner: Erin Walters.

REMARKS:

Attachment 8 includes public comments received between 11:01 am, Friday, March 21, 2025, and 11:00 am, Wednesday, March 26, 2025.

ATTACHMENTS:

Previously distributed with the February 26, 2025, Staff Report:

1. Planned Development Ordinance 2025
2. Applicant's Request and Letter of Justification
3. Development Plans

Previously received with the February 26, 2025, Desk Item Report:

4. Existing and Proposed Building Elevations

Previously received with the March 26, 2025, Staff Report:

5. HPC Action Letter, February 26, 2025
6. Response Letter
7. Development Plans

PREPARED BY: Erin M. Walters
Senior Planner

PAGE 2 OF 2

SUBJECT: 31 University Avenue/PD-25-001, S-25-004 and U-25-001

DATE: March 26, 2025

Received with this Desk Item Report:

8. Public comments received between 11:01 am, Friday, March 21, 2025, and 11:00 am, Wednesday, March 26, 2025

From: Demetra Jennings [REDACTED]
Sent: Tuesday, March 25, 2025 2:01 PM
To: Sean Mullin <SMullin@losgatosca.gov>
Subject: Support for Restoration Hardware Proposal on University Avenue

[EXTERNAL SENDER]

To the Members of the Los Gatos Historic Preservation Committee,

My name is Demetra Jennings, and I'm the owner of Nimbus Salon on Main & University. I've been a proud business owner in Los Gatos for over 32 years.

I'm excited to hear that Restoration Hardware is considering an investment in our town with a proposed multi-use store and restaurant on University Avenue. I believe this project has the potential to bring new life to the Old Town area and be a catalyst for revitalization. The proposed design is both elegant and respectful of the area's charm—an attractive addition to our community.

Restoration Hardware would be a great fit for Los Gatos. Many of my clients are already fans of RH and shop at their location in Palo Alto. The idea of having one here has generated a lot of enthusiasm.

Given the economic uncertainty we've all faced in recent years, it's encouraging to see a well-regarded brand like RH wanting to invest in our town. I urge the Historic Preservation Committee, the Planning Commission, and the Town Council to support this proposal.

Thank you for your time and consideration.

Warm regards,

Demetra Jennings

Owner, Nimbus Salon

65 W Main Street, Los Gatos CA

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**TOWN OF LOS GATOS
HISTORIC PRESERVATION
COMMITTEE REPORT**

**MINUTES OF THE HISTORIC PRESERVATION COMMITTEE MEETING
MARCH 26, 2025**

The Historic Preservation Committee of the Town of Los Gatos conducted a regular meeting on March 26, 2025, at 4:00 p.m.

MEETING CALLED TO ORDER AT 4:00 PM

ROLL CALL

Present: Chair Lee Quintana, Planning Commissioner Susan Burnett, Planning Commissioner Emily Thomas, and Committee Member Alan Feinberg.

Absent: Vice Chair Martha Queiroz stuck in traffic.

VERBAL COMMUNICATIONS

None.

CONSENT ITEMS

1. Approval of Minutes – February 26, 2025

MOTION: **Motion by Commissioner Burnett** to approve the consent calendar.
 Seconded by Committee Member Feinberg.

VOTE: **Motion passed unanimously 3-0-1.** Commissioner Thomas abstained and Vice Chair Queiroz was absent.

PUBLIC HEARINGS

2. 222 University Avenue
Minor Development in a Historic District Application HS-24-055

Consider a Request for Approval for Construction of an Addition and Exterior Alterations to an Existing Non-Contributing Single-Family Residence Located in the University-Edelen Historic District on Property Zoned R-1D:LHP. APN 529-04-004. Exempt Pursuant to CEQA Guidelines Section 15301: Existing Facilities.
Property Owner/Applicant: Tuyet Pham
Project Planner: Sean Mullin

The project planner presented the staff report.

Opened Public Comment.

The applicant was not present.

Committee members asked questions of Staff.

Sean Mullin, Project Planner

Clear directions were given to the applicant. In response they submitted revised plans. Advise the Committee to conduct the review without the applicant present and make a recommendation. The original siding has been enclosed by additions. The current visible siding was installed post-1941 and is not original.

Closed Public Comment.

Committee members discussed the matter.

The structure was originally described in the Historic Inventory as a barn. The barn siding from that period was board and batten and not shingles. The proposed project blends in much better with the district. The changes followed all the Committee's recommendations. The proposal is a huge improvement and reads as a single-family residence.

MOTION: **Motion by Commissioner Thomas** to Forward a Recommendation of Approval to Construct an Addition and Exterior Alterations to an Existing Non-Contributing Single-Family Residence Located in the University-Edelen Historic District on Property Zoned R-1D:LHP. Located at 222 University Avenue. APN 529-04-004. Exempt Pursuant to CEQA Guidelines Section 15301: Existing Facilities. With the Plans and Findings as Presented. **Seconded by Commissioner Burnett.**

Committee members provided comments.

Disappointed that the applicant was not present. Board and batten would be a better choice.

VOTE: **Motion passed unanimously, (4-0).** Vice Chair Queiroz was absent.

3. 31 University Avenue
Planned Development Modification PD-25-001, Architecture and Site Application S-25-004, and Conditional Use Permit U-25-001

Consider a Request for Approval to Modify Planned Development Ordinance 2025 to Allow Modifications to Building E, an Architecture and Site Application for Exterior Modifications to an Existing Commercial Building in the University/Edelen Historic District, and a Conditional Use Permit for Formula Retail over 10,000 square feet and for a Restaurant with Alcohol Service on a Property Zoned C-2:LHP:PD. Categorically Exempt Pursuant to CEQA Guidelines Section 15301: Existing Facilities.

Property Owner: SRI Old Town, LLC

Applicant: Rick Nelson, MBH Architects

Project Planner: Erin Walters

The project planner presented the staff report.

Opened Public Comment.

Stuart Waggoner, HR Architects, Applicant

They presented the Committee's comments to their senior management. They decided not to make any changes. They looked at Google Earth to see the styles of nearby buildings and felt it fit in. Symmetry, balance and proportion are important to RH.

The Committee asked questions of the Applicant.

Stuart Waggoner, HR Architects, Applicant

The Committee's comments were relayed to their CEO, but the CEO has a vision and decided not to make any changes.

Carol Pluster, Resident

Carol lives in Town and loves Los Gatos. They have seen the renderings and think it will be a beautiful addition to the Town. The building is in character of the Town. They are in support of the project.

Chair Lee Quintana

The Committee also received a Desk Item letter from Demetra Jennings who is in support of the project.

The applicant had nothing to add.

Closed Public Comment.

Committee members discussed the matter.

What are the Commercial Design guidelines regarding corporate architecture? There are two choices: either send to the Planning Commission with a recommendation for denial or continue the item with further direction. There are two policies: LU 6.5 and LU 1.4. 3.7.1 Village scale and character. The proposed design is not consistent with the neighborhood. It should be denied. There should be an Individual feeling and different from each other. It should reflect the Old Town across the street. It is a disappointment that the applicant decided not to work with the Committee. The development mimics the streetscape of a village. The role of the HPC is to maintain the small-town character. Not in favor of the project. I appreciate some of the architectural features such as the arched windows and natural lighting. It is pedestrian oriented. There was no attempt to consider the Committee's concerns. The proposed design is a very nice building that would fit on Los Gatos Boulevard, where it would be an individual building amongst other buildings with a more modern design. It is not read as part of Old Town. Not in support. The design reads as a large individual building. In the Old Town, the style is consistent while each store is different. Even if use is all one.

Note: Vice Chair Martha Queiroz has arrived.

Is the issue that the current building doesn't have a historic look that contributes to the historic district or that it doesn't fit the individual style of Old Town? The present building. did a better job in the rear than at the front of the building. The idea that there are three parts and not just one building. It should carry out the idea of breaking it up, it will stand out more of it doesn't fit with the scale of the district. Since the next step is to go to Planning Commission. Be very explicit that it is less the style but that it is one giant building. It looks like one continuous building while the intent was to have it feel like a collection of individual structures. The design by the Arhous furniture store was approved. Their design kept the asymmetry, but they painted it all white which is a reasonable compromise. The Town would benefit economically by having a major tenant like RH to come to Los Gatos. But the Committee's job is historic preservation. The building looks good, and the fixes could be simple. They can use different subtle colors, light sconces, and materials like tiles, to distinguish the facades. They add landscaping like a fountain on the corner or more trees in front. The building style is between Italian Renaissance and Spanish revival. Decorative dentil to add along the roof line. It looks like the sleek Restoration brand. They could paint the roof red to resemble red clay tiles. They could make small changes that could keep their brand and blend in with the historic neighborhood. The skylight is still visible. Not bothered by the skylight. I would like to see the skylight tie in with the other roof tops next door and across the street.

The Committee asked questions of Staff.

Sean Mullin, Project Planner

There was no preliminary review. The applicant worked with staff. They decided to submit a formal application to start the process. An Architecture and Site (A&S) application was triggered because it was in a historic district. An A&S application would go before the Planning Commission. Because it's a planned development it would then go before the Town Council.

MOTION: **Motion by Committee Member Burnett** to Forward a Recommendation to Deny the Request to Modify Planned Development Ordinance 2025 to Allow Modifications to Building E, an Architecture and Site Application for Exterior Modifications to an Existing Commercial Building in the University/Edelen Historic District, and a Conditional Use Permit for Formula Retail over 10,000 square feet and for a Restaurant with Alcohol Service on a Property Zoned C-2:LHP:PD. Categorically Exempt Pursuant to CEQA Guidelines Section 15301: Existing Facilities. **Seconded by Vice Chair Queiroz.**

The Maker of the Motion amended the motion to include redesigning the skylight so that it is not visible.

The Seconder of the Motion did not accept the amendment to the motion.

The Maker of the Motion amended the motion to include the directions provided at the March 26, 2025 meeting and as summarized in the action letter. In addition, it includes the subtle changes outlined by Vice Chair Queiroz regarding paint, lighting, materials, trees, landscaping, roof painting, etc. to achieve the appearance of a collective of individual structures.

The Seconder of the Motion accepted the amendment to the motion.

VOTE: Motion passed unanimously, 4-1. Commissioner Thomas voting no.

4. 16488 Bonnie Lane

Minor Residential Development Application MR-24-007

Consider a Request for Approval to Construct a Second-Story Addition Exceeding 100 Square Feet and Exterior Alterations to an Existing Pre-1941 Single-Family Residence on Property Zoned R-1:8. Located at 16488 Bonnie Lane. APN 532-02-014. Minor Residential Development Application MR-24-007. Categorically Exempt Pursuant to the California Environmental Quality Act (CEQA) Guidelines, Section 15301: Existing Facilities.

Property Owner: Mai of Tran 2020 Trust

Applicant: Vu-Ngan Tran

Project Planner: Maria Chavarin

The project planner presented the staff report.

Opened Public Comment.

Mai Tran, Owner

The second-story project was approved as of May 2024. They have returned with a small change. The architect has made the dormer more even. The biggest change is to make the house more presentable.

The Committee asked questions of the Applicant.

Mai Tran, Owner

The second-bedroom design was changed. Instead of a bump out to make room for the bathtub there is now a straight wall. The roofline has not changed. They were asked to use fiberglass clad wood windows. Their architect provided names of manufacturers, but those vendors only offer full fiberglass windows. They are asking for vendor recommendations. They are hoping to be approved. The proposed master bedroom was intended to make room for their in-laws who are in their late 80's.

Closed Public Comment.

The Committee asked questions of Staff

Maria Chavarin, Project Planner

This is the second-floor proposal that was approved at the last meeting. The applicant has returned to modify the footprint of the second floor. They added three more windows because they expanded the footprint of the second floor.

Sean Mullin, Planning Manager

They widened the dormer and separated one window into 3 smaller windows. There is no change in the roof ridge. Staff can connect the applicant with resources for the windows.

Committee members discussed the matter.

In support of the new proposal. It is a good proposal. The changes are acceptable. Concerned about the window situation for sources. Concerned about the changes to the front of the house because: 1) the direct connection to the street is lost. 2) It adds to the bulk of the house. Want the steps to come off the porch onto the Bonnie Lane, which is the main face of the street. Familiar with the previous owners. We never entered through the front door, only through the side door. It is not a corner lot. What is the owner's reason for changing the entry? Is it because of landscaping? The side of the house is on Bonnie Lane. It's a wedge corner lot and faces a private road. In support of approving the new plans.

MOTION:

Motion by Commissioner Thomas to Recommend Approval for Construction of a Second-Story Addition Exceeding 100 Square Feet and Exterior Alterations to an Existing Pre-1941 Single-Family Residence on Property Zoned R-1:8. APN 532-02-014. Categorically Exempt Pursuant to the California Environmental Quality Act (CEQA) Guidelines, Section 15301: Existing Facilities. Minor Residential Development Application MR-24-007. Located at 16448 Bonnie Lane. With the requested changes, and the new consistency with the Architecture and Site proposed plans and the recommendation that staff help the applicant find a good source for appropriate windows to fit the historic nature of the structure.
Seconded by Committee Member Feinberg.

VOTE:

Motion passed unanimously, 5-0.

5. 16401 Englewood Avenue

Architecture and Site Application S-25-004 and Conditional Use Permit U-25-001

Consider a Request to Remove a Pre-1941 Property from the Historic Resources Inventory for Property Zoned R-1:20. APN 532-05-010. Exempt Pursuant to CEQA Section 15061(b)(3). Request for Review PHST-25-002.

Property Owner/Applicant: Christine Garwood

Project Planner: Ryan Safty

The project planner presented the staff report.

The Committee asked questions of Staff

Opened Public Comment.

Christine Garwood, Owner

They found no historic significance or information from their research at the library. No historic significance for the property, events or people. Record of a remodel in 1973 remodel. They did an extensive remodel in 2012. The footprint is the same. But they added a second story, front porch, and a brick façade. They changed the roof, all the windows, and the siding. There was no historic review process through the County. In 2019 it was part of a larger neighborhood annexation.

The Committee asked questions of the Applicant.

Christine Garwood, Owner

They may add an ADU but haven't decided on what they want to do. Removal from the Historic Inventory is their first step.

Closed Public Comment.

The Committee asked questions of Staff

Committee members discussed the matter.

Because of the detailed information and recent extensive remodel, we can approve removal. This remodel was done very well and looks historic. Given the records, it can be removed. It fits well with the neighborhood. It meets all the criteria to be removed. The existing house has nothing left of the true historic characteristic.

MOTION: **Motion by Commissioner Burnett** to Approve the Request to Remove a Pre-1941 Property from the Historic Resources Inventory for Property Zoned R-1:20. Located at 16401 Englewood Avenue. APN 532-05-010. Exempt Pursuant to CEQA Section 15061(b)(3). Request for Review PHST-25-002. With the Required Findings. **Seconded by Commissioner Thomas.**

VOTE: **Motion passed unanimously, 5-0.**

OTHER BUSINESS

6. 333 Los Gatos Boulevard

Request for Review Application PHST-25-004

Consider a Request for Preliminary Review to Construct an Addition to an Existing Pre1941 Single-Family Residence on Property Zoned R-1D. Exempt Pursuant to CEQA Section 15301: Existing Facilities.

Property Owner/Applicant: Nicholas Palmer

Project Planner: Sean Mullin

The project planner presented the staff report.

Opened Public Comment.

Nicholas Palmer, Owner

They moved in February 2021. They would like to add a bathroom. There is only one shower. They explored master addition in the back, but the cost was too high. They would like to put in in the front since the master bedroom is already there. It would help lessen the street noise. The goal is to make the front look the same. They have extra siding in the garage and found a vendor who can replicate the siding. They would reuse the existing window. They would reuse the glass but modify the frame. They want to see if their plan is even feasible before spending money on plans.

Committee members asked questions of the applicant

Nicholas Palmer, Owner

The width of the window would remain but shortened to fit above a vanity. They are flexible about the footprint of the bathroom footprint. They would like to retain the pillars of the existing porch instead of it being all one wall. There are two existing windows that would be removed because of a closet.

Committee members provided comments:

The removal of the two windows makes it look better and less cluttered. This is a good remodel. See if you can swap the vanity and tub to keep the window size. Okay with shortening the one window above the vanity. If you cannot reuse the 1912 window, you can save the windows on the porch as a back-up.

Closed Public Comment.

7. Committee Conduct and Procedures

The Chair would like the meeting to be more systematic and orderly by raising hands during discussion. Next month, the Chair would like to discuss what are the Residential Design Guidelines, zoning codes, etc. that deal with historic pre-1941 structures. How do we consider a structure as a historic landmark?

8. Annual Certified Local Government Report 2023-24

Asking for acceptance of the Report. Accepted by the Committee. The California Preservation Foundation (CPF) is offering training and a 2025 Conference in Sacramento.

Committee members discussed the matter.

What is the role of the Committee in recommending program items under Committee matters. Is there a formal way to update the records or programs? The Town Council needs to give directions before staff can take on the task. It could be put on the HPC agenda, and one Committee member could speak at the Town Council during verbal communications. The Mayor is considering putting pre-1971 structures on the Historic Inventory. Need direction from the Mayor. Look around Town for properties that should be considered for the inventory. An individual property owner can apply for historic designation.

REPORT FROM THE DIRECTOR

All the Director's decisions aligned with the recommendations from the HPC.

COMMITTEE MATTERS

ADJOURNMENT

The meeting adjourned 6:08 p.m.

This is to certify that the foregoing is a true and correct copy of the minutes of the March 26, 2025, meeting as approved by the Historic Preservation Committee.

Prepared by:

/s/ Sean Mullin, AICP, Planning Manager

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November 6, 2024

Revised: March 5, 2025

Revised: May 21, 2025

Revised: August 18, 2025

Sean Mullin, Planning Manager
Community Development Department
110 E. Main Street
Los Gatos, CA 95030

Project: **RH – Los Gatos**
Location: 31 University Ave

Subject: **Letter of Justification for Architecture and Site Approval; Conditional Use Permit**

PROJECT DESCRIPTION & REQUEST

RH is requesting architecture and site approval, as well as a conditional use permit (“CUP”) for 1) formula retail use exceeding 10,000 sf, and 2) for restaurant use with the selling of alcoholic beverages for consumption on-premises. RH is seeking these approvals to allow for the remodel of a 15,330 sq. ft. building located at 31 University Avenue, which will feature an innovative retail experience seamlessly integrating luxury home furnishings collections within a curated hospitality program (the “Proposed Project”).

BACKGROUND

A curator of design, taste and style in the luxury lifestyle market, RH offers collections through its retail galleries, sourcebooks and online at [RH.com](https://rh.com), [RHContemporary.com](https://rhcontemporary.com), [RHModern.com](https://rhmodern.com), [RHBabyandChild.com](https://rhhbabyandchild.com), [RHTEEN.com](https://rhteen.com), and [Waterworks.com](https://waterworks.com).

Committed to creating architecturally inspiring and immersive retail spaces that blur the lines between residential and retail, indoors and outdoors, home and hospitality, RH Design Galleries are bespoke design destinations presenting the largest curated and fully integrated assortment of luxury home furnishings in the world. From restored landmark buildings to grand-scale contemporary structures, these architecturally inspiring spaces reimagine and redefine the shopping experience.

Designed with sensory-inspiring spaces that cannot be replicated online, these innovative and architecturally significant retail environments include lush gardens, professional design services, one-

of-a-kind culinary experiences, and artistic installations of curated RH Collections by internationally acclaimed designers and artisans across the globe.

In addition to RH Madrid, the Gallery at Plaza del Marqués de Salamanca, RH Aynho Park, a magnificent 17th-century estate in the English countryside, and RH Brussels, a grand 18th century French baroque mansion prominently situated on the premier Boulevard de Waterloo, RH chairman & CEO Gary Friedman has revitalized several landmark properties across North America, including the former Museum of Natural History in Boston, the historic Three Arts Club in Chicago, the Historic Post Office in Greenwich, Connecticut; the Bethlehem Steel Building in San Francisco, and the brand's impressive Gallery in New York's Meatpacking District.

The plan for a RH Design Gallery, together with a food and beverage program, allows for the reimagination of an exceptional building that is appropriately scaled and sited on a key intersection of Old Town Los Gatos.

SITE DETAILS

The existing 15,330 sf building for the Proposed Project is sited at the corner of University Ave and Elm St, and sits on a 4.18 acre parcel that spans both sides of University Ave which houses an outdoor retail center known as the Old Town Shopping Center.

The Proposed Project will combine two previously separate tenant spaces within the existing building, which were previously home to a 6,400 sf Steamers of Los Gatos and a 8,641 sf Gap.

The zoning for the site is C-2:LHP:PD: Central Business District with a Landmark & Historic Preservation and Planning Development overlay. The Proposed Project's uses are allowed per zoning with a Conditional Use Permit. The Proposed Project will maintain the existing square footage of the existing building and would comply with the zoning ordinance standards for setbacks and building height.

ARCHITECTURE

The primary proposed building material is a multi-coat cement plaster system with steel and aluminum decorative building elements. The existing structural system is maintained in place. Architectural aluminum windows line the exterior elevations and provide transparency across the facades facing Elm St, University Ave, and along the pedestrian pass-through on the building's southern side.

The length of the facades across University Ave and Elm St are scaled down through sections that alternatively step back in ground plane from each other. These wall panels also alternatively feature rectangular- or semicircular- topped windows, as well as a parapet line that steps up and down in height in line with the panels. These features ultimately provide a sense of rhythm, symmetry, visual relief, and interest to the length of the existing building. Further, the fenestration sits materially inside the edge of the exterior wall, providing for deep shadows, which along with projected louvered awnings add additional textural detail across the facades.

Finally, the full-service restaurant sits centrally inside the Proposed Project and is covered by a pyramidal skylight that brings in light and highlights the cafe as a central gathering space. Barrel-

vaulted hallways bookend both sides of the cafe, which add an uncommon architectural expression, facilitates a unique play of light, and creates a sense of place as customers enter the Gallery or exit the cafe.

COMPLIANCE WITH COMMERCIAL DESIGN GUIDELINES

31 University Ave sits within the C-2A subdistrict, which specifies site development and building design guidelines for projects within its boundaries. Applicable guidelines to the site are noted below along with the Proposed Project's conformance:

3.2 Site Development:

3.2.1: Facades should be setback from the public street property lines no more than five feet: The Proposed Project is a renovation of an existing building, so the existing building's existing footprint and setback are proposed to remain. Currently, the building's façade is set back farther than five feet, but this was part of and consistent with the overall design included Planned Development Ordinance 2025. Landscaping elements including planters, benches, and trees are included within this setback area.

3.2.3. Pass-through pedestrian walkways from rear parking lots may be required: The Proposed Project will maintain and enhance the existing pedestrian walkway along its southern side.

3.3 Building Design:

3.3.1 Maintain a building front module that is consistent with the remaining block front streetscape: As the Proposed Project is a renovation of an existing building with less than 50% of the façade being demolished, the massing, setbacks, and cadence remain consistent with the larger Old Town Shopping Center it is a part of. The proposed changes harmonize and rationalize the façade to further integrate, rather than separately distinguish itself, from the surrounding streetscape.

3.3.3 Emphasize display windows and storefront entries: The Proposed Project includes abundant display windows and several entries. Architectural aluminum windows line the exterior elevations and provide transparency across the facades facing Elm St, University Ave, and along the pedestrian pass-through on the building's southern side.

3.3.4 Maintain transparent storefronts and public right-of-way walls: The Proposed Project's amount of openings are consistent with the existing buildings, although they have been expanded in several areas.

3.3.5 Provide vestibules at building entries: There is no vestibule at the main entrance to the Proposed Project; however, the entry opens into a barrel-vaulted passage which acts as a transition point within the gallery.

3.3.6 Utilize high quality storefront materials: The primary proposed building material is a multi-coat cement plaster system with steel and aluminum decorative building elements. Architectural aluminum windows line the exterior elevations. These materials will serve to elevate the building from its existing material palette.

3.3.7 Operable windows and French doors are encouraged for restaurants and coffee cafes: The restaurant is in the middle of the Proposed Project, however; full-height windows/doors line the perimeter, several being operable.

3.3.8 Install awnings: The Proposed Project includes awnings along all facades.

The Commercial Design Guidelines further note conformance guidelines for the University/Edelen Historic District which 31 University Ave sits within – these guidelines and the Proposed Project’s conformance are noted in detail in the Supplemental Letter of Justification submitted for the February 26, 2025 Historic Preservation Committee.

USES

A majority of the Proposed Project will display furniture and décor in a series of complete living, bath, and bedrooms. There will also be a restaurant on the ground floor beyond the entryway, along with a kitchen and other back of house. An Interior Design Studio room will also be sited toward the back of the store, where interior designers can provide customers further assistance. Further information on how the gallery and restaurant will operate is as follows:

Hours of Operation: Proposed operating hours for the design gallery and restaurant will be from 10:00am to 10:00pm (last seating at 9:00p) Monday to Saturday, and 10:00am to 9:00pm (last seating at 8:00pm) on Sunday. Note: these hours are subject to change.

Maximum hours of operation, including maximum staff shifts, start no earlier than 6AM and end no later than midnight.

Staffing: The design gallery would employ 20 full-time staff. Shifts will start no earlier than 6AM and the latest shift will end no later than two hours after closing. Shifts will likely be overlapped and max out mid-day at around 15 employees. Gallery shifts are typically 8-hours long.

The restaurant would employ approximately 50 staff – 40 of these are expected to be full-time staff. Restaurant shifts would start no earlier than 7AM and the latest would end by 12AM. Restaurant shifts are typically 8-hours long. A maximum of 35 staff would be working at the highest point of crossover (Saturday 2-4PM), while the average amount of staff on-site will total 15-20.

ABC License: RH intends to apply for an On-Sale General – Eating Place License (Type 47) from the ABC. RH may apply for a Type 41 beer and wine license in lieu of a Type 47.

Other: RH will consider all group dining and buyout requests within normal business hours.

The vision within the building is to reimagine the retail experience by blurring the lines between residential and retail, hospitality and home, indoors and outdoors – creating an immersive retail environment that is more home than store. All amenities will be made available to the public during the hours of store operation.

PLANNED DEVELOPMENT ORDINANCE AMENDMENT FINDINGS

The existing building at 31 University Avenue is governed by Planned Development Ordinance 2025, adopted on December 16, 1996. **RH is requesting an amendment to Planned Development Ordinance 2025** – specifically, to remove the requirement that the building be designed to “appear to be a collective of individual structures that abut each other.” This change would allow for a more cohesive and contextually appropriate façade.

Currently, the building’s façade is articulated to resemble three separate structures. The styles represented by the existing façade largely do not correspond to the architectural character of the University-Edelen Historic District, which includes the contributing styles of Mission Revival, Mediterranean, Craftsman, and Victorian. In contrast, the proposed redesign adopts a unified Mediterranean-style façade that thoughtfully reflects the proportions, window types, and architectural articulation seen throughout Old Town. As such, the revised design offers a more harmonious and respectful relationship to its surroundings.

Town code Section 29.80.120 allows for amendments to PD’s, provided the proposed amendment meets the requirements and findings of Town code Section 29.80.095. The proposed PD Amendment and the Proposed Project comply with the required findings in the following manner:

- 1) The proposed PD is in compliance with all sections of this division.

The proposed PD amendment is within the limitations of use of a planned development as it pertains to property within a landmark and historic preservation overlay zone, and serves to enhance the Town’s historic resources that provide a public benefit to the citizens of the Town.

- 2) The proposed PD is in conformance with the goals, policies, and applicable land use designation(s) and standards of the Town's general plan.

The proposed PD amendment maintains a baseline set of requirements consistent with the Town's general plan. The policies consistent with the PD amendment include, but are not limited to:

Policy LU-6.5: The type, density, and intensity of new land use shall be consistent with that of the immediate neighborhood.

Policy LU-9.3: Maintain a variety of commercial uses, including a strong Downtown commercial area combined with Los Gatos Boulevard and strong neighborhood commercial centers to meet the shopping needs of residents and to preserve the small-town atmosphere.

Policy CD-9.1: Exterior building materials in the Central Business District should be consistent with those used in existing, tastefully executed surrounding buildings.

Policy CD-12.2: Encourage the preservation, maintenance, and adaptive reuse of existing residential, commercial or public buildings.

- 3) The proposed PD is in conformance with all other applicable land use regulations, including but not limited to Town Council adopted guidelines, except as otherwise provided in section 29.80.095(4).

The PD amendment seeks a modification specifically to requirements in PD Ordinance 2025 but otherwise maintains a baseline set of requirements consistent with the Town's land use regulations and design guidelines, including Ordinance 1920 and 2168, which governs over the University/Edelen Historic District, and which includes the Proposed Project's site.

The Proposed Project is consistent with the design guidelines for the remodel of a non-contributing structures within the University/Edelen Historic District. The Proposed Project is sensitive to and supportive of the larger District as it expands the Mediterranean components of the existing building's and Old Town Shopping Center's style while maintaining the existing building's footprint, setbacks, massing, and density. The Proposed Project's stucco building material, as well as doors and window rhythm, type and proportions, are consistent to the existing building's Mediterranean style, as well as that of the larger Old Town Shopping Center across University Ave. In particular, the stucco and proposed openings evoke the style of 50 University Ave, a significant commercial structure within the University/Edelen Historic District. The Proposed Project limits decorative details and scale however, in sensitivity and support of the Historic District's contributing structures.

The proposed PD amendment and Proposed Project also conform with required findings for landmark and historic preservation applications per Town Code Section 29.80.290, as the proposed work does not adversely affect the exterior architecture or its relationship with its surroundings. The Proposed Project is more harmonious and consistent with the larger Old Town Shopping Center's style and aesthetic:

"Sec. 29.80.290. Standards for review. In evaluating applications, the deciding body shall consider the architectural style, design, arrangement, texture, materials and color, and any other pertinent factors. Applications shall not be granted unless:

(2) In historic districts, the proposed work will neither adversely affect the exterior architectural characteristics or other features of the property which is the subject of the application, nor adversely affect its relationship, in terms of harmony and appropriateness, with its surroundings, including neighboring structures, nor adversely affect the character, or the historical, architectural or aesthetic interest or value of the district."

- 4) Any proposed use or development standards that deviate from the underlying zoning district(s) result in innovative and creative site planning to develop:
 - b. Mixed commercial, or mixed residential, or mixed commercial and residential development; or
 - e. The proposed PD provides a public benefit to the citizens of the Town.

The proposed PD amendment facilitates the revitalization of two vacant storefronts into a mixed commercial amenity of innovative and creative use programming for the benefit of both residents and visitors, which satisfies conditions (b) and (e) above.

CONDITIONAL USE PERMIT FINDINGS

In the C-2 zone, Town code requires a CUP for a formula retail business exceeding 10,000 sf and for restaurant use with the selling of alcoholic beverages for consumption on-premises (Section 29.20.185). Los Gatos stipulates terms for the approval or denial of conditional use permits under Section 29.20.190. The Proposed Project and its uses will comply with the objectives in the following manner:

- (1) The proposed uses of the property are essential or desirable to the public convenience or welfare;

The proposed uses provide for a bespoke dining and shopping experience which will be desirable to both residents and visitors as a destination within Los Gatos. Further, the Proposed Project will be an addition to an existing RH gallery at 26 N Santa Cruz Ave, which has been an integral part of the Los Gatos community for over 10 years.

- (2) The proposed uses will not impair the integrity and character of the zone;

The proposed use will not impair the integrity and character of the zone as it is a commercial use located in a commercial zone.

Further, the Proposed Project is consistent with the Commercial Design Guidelines for C-2A zones and as a non-contributing structure within a historic preservation district. The Proposed Project maintains the existing building's massing and density, reimagines the existing facade variation, and maintains the pedestrian pass-through along the southern wall.

- (3) The proposed uses would not be detrimental to public health, safety or general welfare;

The proposed uses, formula retail use and restaurant use with the selling of alcoholic beverages for consumption on-premises, represent no change from the current uses of the most recent tenants at the existing building (Gap and Steamer's), and would not be detrimental to public health, safety, and general welfare.

- (4) The proposed uses of the property are in harmony with the various elements or objectives of the general plan and the purposes of this chapter.

The proposed uses are in harmony with the General Plan and the Town Code because they contribute to the variety of commercial uses in the Central Business District.

The goals and policies of the 2040 General Plan (2020 Land Use and Community Development Elements) applicable to this project include, but are not limited to:

Policy LU-1.4: Infill projects shall be designed in context with the neighborhood and surrounding zoning with respect to the existing scale and character of surrounding structures, and should blend rather than compete with the established character of the area.

Policy LU-9.3: Encourage a mix of retail and office uses in commercial areas, except in the Central Business District designation, where retail should be emphasized and office should be limited to upper floors and other areas as defined by the Town Code.

Policy LU-9.6: Encourage development that maintains and expands resident-oriented services and/or creates employment opportunities for local residents consistent with overall land use policies of the Town.

Policy CD-1.4: Development on all elevations shall be of high quality design and construction, a positive addition to and compatible with the Town's ambiance. Development shall enhance the character and unique identity of existing commercial and/or residential neighborhoods.

- (5) A hazardous waste facility proposal is subject to the California Health and Safety Code, Article 8.7, Section 25199—25199.14 and shall be consistent with the Santa Clara County Hazardous Waste Management Plan.

Not Applicable

FORMULA RETAIL CONDITIONAL USE PERMIT FINDINGS

Further, the Formula Retail CUP requires that none of the additional findings below are made for a proposed formula retail business exceeding 10,000 sf, pursuant to Town Code Section 29.20.190(b). None of the below findings can be made to deny the Proposed Project, as further elaborated below:

- (1) The proposed use of the property is not in harmony with specific provisions or objectives of the general plan and the purposes of this chapter;

The proposed use is in harmony with the specific provisions and objectives of the general plan and the purposes of Chapter 29 of the Town Code. Please review finding #2 under Planned Development Ordinance Amendment (above) and finding #4 under Conditional Use Permit (above) on how specific objectives of the general plan are met.

- (2) The proposed use will detract from the existing balance and diversity of business in the commercial district in which the use is proposed to be located;

The Proposed use will not detract from the existing balance and diversity of business in the commercial district it is located within. The proposed uses, formula retail use and restaurant use with the selling of alcoholic beverages for consumption on-premises, represent no change from the current uses of the most recent tenants at the existing building (Gap and Steamer's).

- (3) The proposed use would create an over-concentration of similar types of businesses, or

The proposed use would not create an over-concentration of similar types of businesses as the former RH store will transform into a different concept, and the Proposed Project also includes a hospitality component, which is unseen in other merchandise uses in the neighborhood.

- (4) The proposed use will detract from the existing land use mix and high urban design standards including uses that promote continuous pedestrian circulation and economic vitality.

The proposed use does not detract from the existing land use mix and high urban design

standards. As noted previously, the Proposed Project complies with commercial design guidelines including those which encourage pedestrian circulation. Further, the Proposed Project replaces two vacant storefronts which currently deter pedestrian circulation and additionally hinders economic vitality.

CONCLUSION

We believe the Proposed Project will enhance the corner of University Ave and Elm St in Old Town Los Gatos by at once seamlessly fitting into the character and scale of the neighborhood surrounding, while also providing visual interest through harmonious, textured, and elevated design. While the Proposed Project's programming does not represent a change of use from the existing use at the building, the reimagined dining and shopping space will help improve customer experience, thereby helping to activate pedestrian activity in this area.

The Proposed Project:

- Respects the existing scale and character of surrounding structures, and blends rather than competes with the established character of the area.
- Presents elevations that are of high-quality design and construction, and a positive addition to and compatible with the Town's ambiance. The Proposed Project enhances the character and unique identity of the existing commercial neighborhood.
- Represents no change in use from the former tenants at the existing building; rather the Proposed Project will improve and reimagine a blend of both uses under one roof.

DEVELOPER and DESIGN FIRM INFORMATION

RH

RH is a curator of design, taste and style in the luxury lifestyle market. The company offers collections through its retail galleries, sourcebooks and online at RH.com, RHContemporary.com, RHModern.com, RHBabyandChild.com, RHTEEN.com, and Waterworks.com.

RH operates Galleries and outlets throughout the U.S., Canada, UK and Europe.

There are places you visit and those you remember™

Awards and Recognition

Award of Merit - Interior/Tenant Improvement – ENR Mountain States - RH Denver - 2016

Connecticut Preservation Award - Connecticut Trust for Historic Preservation – Former Greenwich Post Office - 2015

Preservation Excellence Award (Adaptive Reuse) – Chicago Landmarks – Three Arts Club - 2016

MBH Architects

MBH Architects is a full service architecture and integrated services firm building innovative solutions from offices in the San Francisco Bay Area, New York City, Denver, Mumbai and Bengaluru since 1989.

MBH Architects is a Minority-Owned Business Enterprise (MBE) with staff from around the world. Their wide array of experience includes over 10,000 projects of nearly every project type, and their global reach spans more than 96 countries worldwide. MBH Architects take incredible pride in our work and clients' satisfaction.

Awards and Recognition

Gold - Shop! Design Awards - Bucherer Time Machine Flagship Store - 2023

Commercial Construction & Renovation Project Profile Award - 300 Grant - 2021

AIA East Bay Design Awards - 930 Brittan - 2021

Urban Confluence Design Competition - Breeze of Innovation - 2021

Honorable Mention - MNSD's Retail Renovation Competition - Peet's Coffee Georgetown - 2017



3/7/2025

Matthew Morgan
Kimley-Horn
10 S Almaden Blvd, Ste 1250
San Jose, CA 95113
408.785.3518
matthew.morgan@kimley-horn.com

Re: Tree protection for proposed renovation at 31 University Ave, Los Gatos, CA 95030

Dear Matthew,

At your request, we have visited the property referenced above to evaluate the trees present with respect to the proposed project. This report contains our analysis.

Summary

Thirteen trees are present on and adjacent to this property, twelve of which are protected. Two protected trees, both on this property, are recommended for removal, as they conflict with project features.

All other protected trees are in reasonably good condition and should be preserved as detailed in the Recommendations, below. With proper protection, all are expected to survive and thrive during and after construction, according to each tree's existing condition.

Assignment and Limits of Report

We have been asked to write a report detailing impacts to trees from the proposed renovation on this property. This report may be used by our client and others involved in the project as needed to inform all stages of the project.

All observations were made from the ground with basic hand tools. No root collar excavations or aerial inspections were performed. No project features had been staked at the time of our site visit.

Tree Regulations

In the Town of Los Gatos, all trees over 4" in diameter must be included in the tree protection report, regardless of project size. Tree reporting shall be guided by the Town of Los Gatos Tree Protection Requirements for Planning Applications, available online at

<https://www.losgatosca.gov/DocumentCenter/View/18923/Arborist-report-checklist?bidId=>

Observations

Trees

Thirteen trees are on this property (Images 1-13). These consist of coast live oaks (*Quercus agrifolia*, seven trees), callery pears (*Pyrus calleryana*, five trees), and crape myrtle (*Lagerstroemia x indica*, one tree).

Protected statuses - trees #1, 2, 4-10, 12, and 13 are Protected ▾ Trees. Trees #6-13 are street trees. Tree #3 is not protected.

Health - most trees present are in moderate to good health. Only trees #2, 3, 5, and 10 are in poor health.

Structure - most trees present exhibit good to moderate branching structure. Only trees #2 and 3 exhibit poor structure.

Form - Form refers to the tree's shape in relation to aesthetics, maintenance issues, conflicts with nearby objects, and similar items besides the tree's structure. Most trees present exhibit good to moderate form. Only trees #2, 3, and 10 exhibit poor form.

Current Site Conditions

The location is a retail facility adjacent to a parking lot, a walkway, and two Town streets in Los Gatos, California. The grade is flat. The parcel holds one building with multiple businesses inside. Most of the building is bounded by hardscape, with the landscaping in designated planters. The landscaping is maintained and irrigated, and mostly consists of hedged shrubs and trees.

Project Features

BUILDINGS - the building footprint will remain largely unchanged. Along University Ave and along the paseo walkway, the building face is changing shape, with some sections moving outward slightly and others moving inward slightly, bringing the building wall more flush than it is now. However, the general location of the building is not changing.

HARDSCAPE - the sidewalk along University Ave will be removed and replaced, and the location of the two tree wells #11 and 12 will be willed in and replaced with a tree well in between the two.

Potential Conflicts

The sidewalk replacement along university has the potential to impact the TPZ¹ and CRZ² of tree #10, which has a 40% suitability for preservation due to its poor health and structure. Also, trees #11 and 12 will be removed due to the elimination of their tree wells and a new tree planted in the new well that is created between the two.

Trees #3 - Since this tree is not protected, it has not been evaluated for potential conflicts.

Trees # 1,2, 4-9, 13 - all proposed project features and logical access routes thereto are outside these trees' TPZs.³

¹ Tree protection zones. See Discussion, Tree Map, and Tree Table for more detail.

² Critical root zone. See Discussion, Tree Map, and Tree Table for definition and significance

³ Tree protection zones. See Discussion, Tree Map, and Tree Table for more detail.

Testing and Analysis

Tree DBHs⁴ were taken using a diameter tape measure if trunks were accessible. Multistemmed trees were measured below the point where the leaders diverge, if possible. The DBHs of trees with non-accessible trunks were estimated visually. All trees over four inches in DBH were inventoried, as well as street trees of all sizes. Vigor ratings are based on tree appearance and our experiential knowledge of each species' healthy appearance.

Tree location data were collected using a GPS smartphone application and processed in Quantum GIS (QGIS) to create the maps included in this report. Due to the error inherent in GPS data collection, and due also to differences between GPS data and CAD drawings, tree locations and all dimensions shown on the Tree Map are approximate. The percentages of TPZs impacted by project features were calculated in QGIS but should be considered approximate due to potential error in tree locations or feature locations.

Data were collected by Katherine Naegele, ISA Certified Arborist #WE-9658A, with basic hand tools (such as, but not limited to: hand hoe; hatchet; rubber mallet; measuring tape; etc.) at a site visit on March 3, 2025. All observations and photographs in this report were taken at that site visit.

The tree protection analysis in this report is based on the following document(s), provided to us electronically by the project team:

- Proposed site plan: Site Plan 1/9/2025 [LINK](#)
- Civil plan: 100% DD Progress Set 2/28/2025 [LINK](#)

Discussion

Tree Protection Zones (TPZs)

Tree roots grow where conditions are favorable, and their spatial arrangement is, therefore, unpredictable. Favorable conditions vary among species, but generally include the presence of moisture, and soft soil texture with low compaction.

Contrary to popular belief, roots of all tree species grow primarily in the top two to three feet or less of soil in the clay soils typical for this geographic region, with roots occasionally

⁴ diameter at breast height (4.5 feet above grade), a standard arboricultural measurement

occurring at greater depths when soil conditions allow. Some species have taproots when young, but these almost universally disappear with age. At maturity, a tree's root system may extend out from the trunk farther than the tree is tall, and the tree maintains its upright position in much the same manner as a wine glass.

The optimal area around a tree that should be protected from disturbance depends on the tree's trunk diameter, species, and vigor, as shown in the following table (adapted from *Trees & Construction*, Matheny and Clark, 1998):

Species tolerance	Tree vitality⁵	Distance from trunk (feet per inch trunk diameter)
Good	High	0.5
	Moderate	0.75
	Low	1
Moderate	High	0.75
	Moderate	1
	Low	1.25
Poor	High	1
	Moderate	1.25
	Low	1.5

It is important to note that some roots will almost certainly be present outside the TPZ; however, root loss outside the TPZ is unlikely to cause tree decline.

Some of the protected tree species present here are not evaluated in *Trees & Construction*. Our own evaluation of them based on our experience with the species is as follows:

Species	Estimated tolerance	Reason for tolerance rating
Crape myrtle (<i>Lagerstroemia x indica</i>)	2	Performs well in most landscapes but grows relatively slowly

⁵ Matheny & Clark uses tree age, but we feel a tree's vitality more accurately reflects its ability to handle stress.

Critical Root Zones (CRZs)

Although root loss inside the tree protection zone (TPZ) may cause a short-term decline in tree condition, trees can often recover adequately from limited disturbance in this area.

Tree stability is impacted at a shorter distance from the tree trunk. For linear cuts on one side of the tree, the minimum distance typically recommended is three times the DBH, measured from the edge of the trunk (*Best Management Practices: Root Management*, Costello, Watson, and Smiley, 2017). This is called the critical root zone, as substantial root loss closer than this increases a tree's likelihood of failure.

Note that trees sometimes have asymmetrical root systems, and if no substantial roots are present in a given area, impacts on the tree will be minimal to minor regardless of distance from the trunk.

Tree Conflicts with Above-Ground Structures

While most tree protection measures are concerned with the protection of tree roots and trunks, it is important to plan mindfully for tree canopies as well. Whenever possible, consideration should be given to the mature canopy size of trees, and above-ground structures, such as rooflines, streetlights, regulatory signs, and other structures that might damage the canopy, or lead to the canopy to require topping, heading, or considerable pruning to prevent damage to or allow visibility of the structure.

If the tree or the planting space is already present and the structure can be relocated, this should take place to allow for the tree canopy to thrive. If the structure is already present, the tree should be removed or the planting location adjusted to allow the future tree to thrive.

Conclusions⁶

Trees #1,2, 4-9, 13 - **minimal** impacts to these trees are likely from the project as proposed.

Trees #3 - since these trees are not protected, they have not been evaluated for construction impacts.

⁶ All conclusions assume the tree protection measures recommended in this report. Without proper tree protection measures, any tree could be damaged.

Trees #11 and 12 - these trees will be removed for construction to be replaced with a new tree

Tree #10 - the removal of the sidewalk may impact the health of this tree. This tree should be monitored, and removal and replacement should be considered.

Recommendations⁷⁸

Design Phase

1. Consider the relocation of two streetlights at least 10 ft from trees #10 and from the newly planted tree, to prevent damage to the streetlights, and prevent the need for improper pruning of the trees.
2. Consider the removal of tree #10, since so much concrete work will take place underneath it, and the damage may lead to the decline of the tree that had a 40% suitability for preservation.

Preconstruction Phase

1. Remove trees #11 and 12, upon receipt of a permit from the Town of Los Gatos. The reason for removal is as follows:

Sec. 29.10.0992. Required findings.

- (4) The retention of the tree restricts the economic enjoyment of the property or creates an unusual hardship for the property owner by severely limiting the use of the property in a manner not typically experienced by owners of similarly situated properties, and the applicant has demonstrated to the satisfaction of the Director or deciding body that there are no reasonable alternatives to preserve the tree.
2. Consult with the Project Arborist regarding designated locations for the following activities, and any others that may affect tree protection zones (including, but not limited to, seepage and exhaust):
 - a. Equipment storage
 - b. Materials storage

⁷ All recommendations are driven by the requirements of the jurisdiction in which the property is located, and by industry best practices.

⁸ Bolded items are emphasized only because in my experience they are tend to be overlooked.

- c. Portable toilets
 - d. Cleanout areas for paint, concrete, etc.
 - e. Sump pump outlet
3. Tree protection fencing - install as shown in the Tree Map.
- a. Minimum fencing distances are shown on the Tree Map, plus some small areas outside TPZs if needed for practicality. Fencing must be installed at or beyond these distances. **Note that the TPZs of some offsite trees may extend onto this property and require fencing.**
 - i. Please be aware that tree protection fencing may differ from ideal tree protection zones, and from canopy sizes.
 - b. Where existing barriers which will be retained impede access comparably to tree protection fencing, these barriers are an acceptable substitute for tree protection fencing.
 - c. Any existing paved areas that will remain as-is may be left unfenced. Ensure that the unpaved area designated for tree protection fencing is fully enclosed.
 - d. Tree protection fencing shall comprise 6' chain link fabric mounted on 8' tall 1.5" diameter metal posts driven into the ground and spaced no more than 10 feet apart.
 - e. Tree protection fencing shall be posted with signs saying "TREE PROTECTION FENCE - DO NOT MOVE OR REMOVE WITHOUT APPROVAL FROM CITY ARBORIST."
 - f. Place a 6" layer of wood chips inside tree protection fencing.
 - g. Tree protection fencing shall adhere to the requirements in the document titled "ARBORIST REPORT CHECKLIST," available at <https://www.losgatosca.gov/DocumentCenter/View/18923/Arborist-report-checklist?bidId=>
4. **Tree Protection Verification Letter** - notify the Project Arborist when tree protection measures are in place. The Project Arborist will inspect the tree protection measures to verify their presence and condition, and will issue a letter to the city with their findings.

Demolition Phase

1. Maintain tree protection measures as detailed above.

2. When demolishing existing features within TPZs, start work close to trees and move backwards, limiting equipment to still-paved areas. This applies features within TPZs.

Construction Phase

1. Maintain tree protection measures as detailed above.
2. **Monthly Monitoring Reports** - inform the Project Arborist when construction is set to begin. The Project Arborist shall visit the site once per month thereafter to verify that all tree protection measures are maintained in working condition, and shall issue a letter to the city with their findings.
3. Alert the project arborist if utility or other work becomes necessary within any tree TPZs.
4. If live roots over 1" in diameter are encountered when excavating in any location:
 - a. Hand-excavate edge nearest trunk to the full depth of the feature being installed.
 - b. Retain as many roots as practical. Route conduit and other features around and between roots insofar as practical.
 - c. If roots 1-2" in diameter must be cut, sever them cleanly with a sharp saw or bypass pruners.
 - d. If roots over 2" must be cut, stop work in that area and contact the project arborist for guidance.
 - e. If excavation will be left open for more than 3 days:
 - i. Cover excavation wall nearest trunk with several layers of burlap or other absorbent fabric.
 - ii. Install a timer and soaker hoses to irrigate with potable water twice per day, enough to wet fabric thoroughly.
5. Notify Project Arborist when excavation is complete. Project arborist shall inspect work to make sure all roots have been cut cleanly.
 - a. The Project Arborist shall provide a follow-up letter documenting that the excavation was performed to specification.
6. **Final Monitoring Report** - inform the Project Arborist when construction is set to end. The Project Arborist will make one final site visit to document the trees' condition, and will issue any final mitigation recommendations if needed.
 - a. The Final Report may be completed by city staff instead at staff's discretion, pending staff availability.

Post-Construction Phase

1. Any heritage tree to be retained protected by the City's Municipal Code will require replacement according to its appraised value if it is damaged beyond repair because of construction.
2. Install new trees and/or pay in-lieu fees to offset the removal of trees #11 and 12, per Town of Los Gatos requirements.
 - a. Tree replacement requirements are determined by canopy size, per the following table:

Canopy Size of Removed Tree ¹	Replacement Requirement ^{2, 4}	Single Family Residential Replacement Option ^{3, 4}
10 feet or less	Two 24-inch box trees	Two 15-gallon trees
More than 10 feet to 25 feet	Three 24-inch box trees	Three 15-gallon trees
More than 25 feet to 40 feet	Four 24-inch box trees; or Two 36-inch box trees	Four 15-gallon trees
More than 40 feet to 55 feet	Six 24-inch box trees; or Three 36-inch box trees	Not Available
Greater than 55 feet	Ten 24-inch box trees; or Five 36-inch box trees	Not Available

3. Replacement with native species is strongly encouraged. Most fruit and nut trees, palm trees, or "nuisance" species (see section 29.10.0970(2) of the Town Code) are generally not considered suitable replacement trees. If a tree or trees cannot be reasonably replanted on the subject property, the Town Arborist may approve a full or partial in-lieu fee payment. Where the payment of in-lieu fees are approved, permits will not be issued until all in-lieu fees are paid in full. If approved by the Town Arborist, in-lieu fees are as follows:
 - a. 24 inch box tree = \$250
 - b. 36 inch box tree = \$500
4. **Final Arborist Inspection** - inform both the Project Arborist and the City Arborist when exterior construction is set to end. The City Arborist shall visit the site, after

replacement trees have been planted (if applicable), but before tree protection fencing has been removed.

5. Remove tree protection measures, upon approval from the Project Arborist and City Arborist.
6. If retained, provide supplemental irrigation for tree #10 to aid in root regrowth for at least three years.
 - a. Irrigate at a very slow trickle for several hours to ensure infiltration. Once per month is usually sufficient.
 - b. COAST LIVE OAKS/DEODAR CEDARS Irrigation should only take place in the normal rainy season for this area (October - April), and only if rainfall is below average.
 - c. All other species should be irrigated year-round.
 - d. Irrigation should be paused during the rainy season if rainfall is average or above.

Additional Materials Submitted as Separate Documents

1. 31 University Ave Tree Map
2. 31 University Ave Tree Photographs
3. 31 University Ave Tree Table

Respectfully submitted,



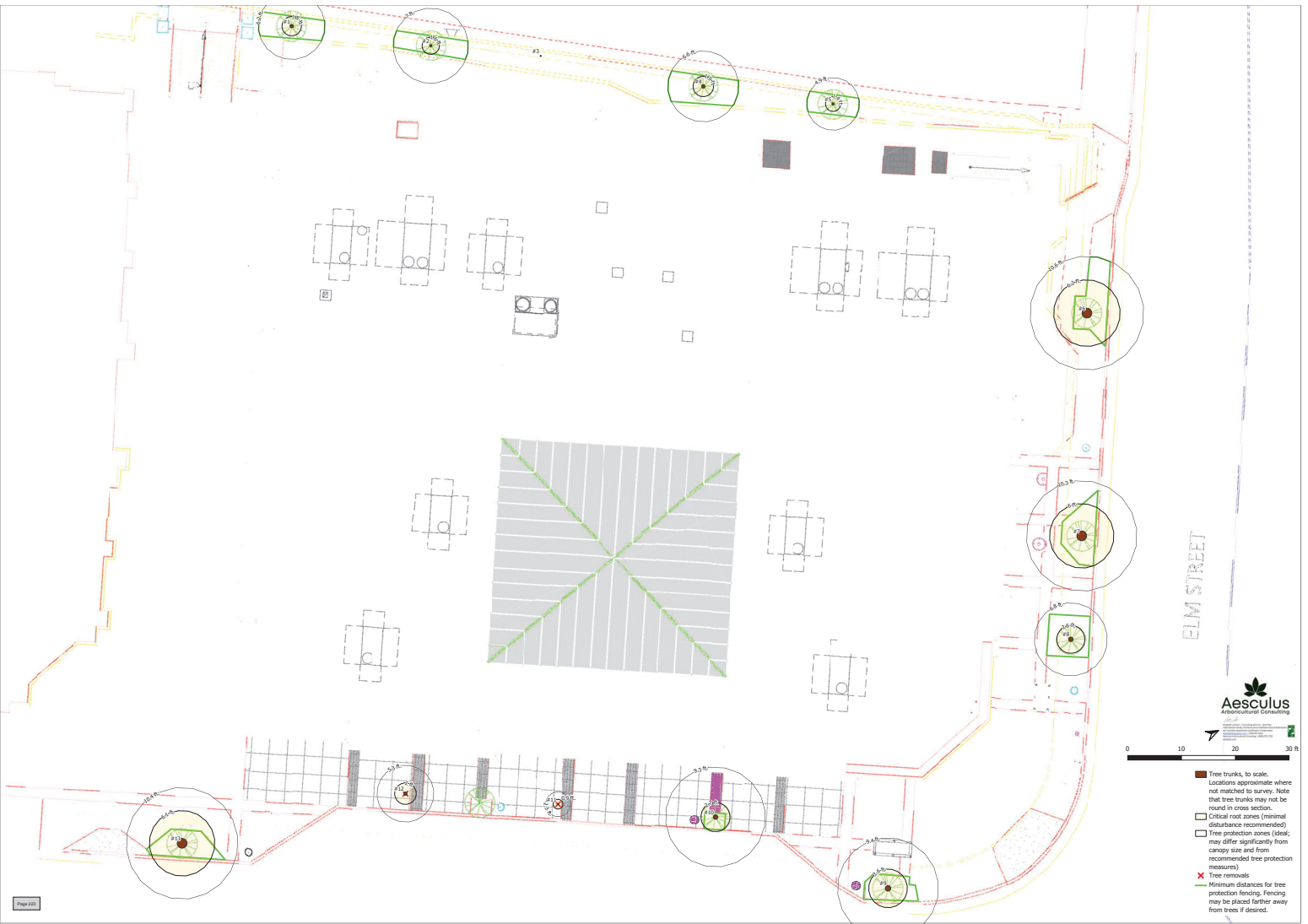
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International Society of Arboriculture Certified Arborist #WE-9234A
ISA Tree Risk Assessment Qualification Credentialed
elizabeth@aacarbor.com | (408) 581-0843
Aesculus Arboricultural Consulting | (408) 675-1729
aacarbor.com



Terms of Assignment

The following terms and conditions apply to all oral and written reports and correspondence pertaining to the consultations, inspections, and activities of Aesculus Arboricultural Consulting:

1. All property lines and ownership of property, trees, and landscape plants and fixtures are assumed to be accurate and reliable as presented and described to the consultant, either orally or in writing. The consultant assumes no responsibility for verification of ownership or locations of property lines, or for results of any actions or recommendations based on inaccurate information.
2. It is assumed that any property referred to in any report or in conjunction with any services performed by Aesculus Arboricultural Consulting is in accordance with any applicable codes, ordinances, statutes, or other governmental regulations, and that any titles and ownership to any property are assumed to be good and marketable. The existence of liens or encumbrances has not been determined, and any and all property is appraised and/or assessed as though free and clear, under responsible ownership and competent management.
3. All reports and other correspondence are confidential and are the property of Aesculus Arboricultural Consulting and its named clients and their assigns or agents. Possession of this report or a copy thereof does not imply any right of publication or use for any purpose, without the express permission of the consultant and the client to whom the report was issued. Loss, removal, or alteration of any part of a report invalidates the entire appraisal/evaluation.
4. The scope of any report or other correspondence is limited to the trees and conditions specifically mentioned in those reports and correspondence. Aesculus Arboricultural Consulting assumes no liability for the failure of trees or parts of trees, inspected or otherwise. The consultant assumes no responsibility to report on the condition of any tree or landscape feature not specifically requested by the named client.
5. All inspections are limited to visual examination of accessible parts, without dissection, excavation, probing, boring or other invasive procedures, unless otherwise noted in the report, and reflect the condition of those items and features at the time of inspection. No warranty or guarantee is made, expressed or implied, that problems or deficiencies of the plants or the property will not occur in the future, from any cause. The consultant shall not be responsible for damages caused by any tree defects, and assumes no responsibility for the correction of defects or tree related problems.
6. The consultant shall not be required to provide further documentation, give testimony, be deposed, or to attend court by reason of this appraisal/report unless subsequent contractual arrangements are made, including payment of additional fees for such services as set forth by the consultant or in the fee schedule or contract.
7. Aesculus Arboricultural Consulting makes no warranty, either expressed or implied, as to the suitability of the information contained in any reports or correspondence, either oral or written, for any purpose. It remains the responsibility of the client to determine applicability to his/her particular case.
8. Any report and the values, observations, and recommendations expressed therein represent the professional opinion of the consultant, and the fee for services is in no manner contingent upon the reporting of a specified value nor upon any particular finding.
9. Any photographs, diagrams, charts, sketches, or other graphic material included in any report are intended solely as visual aids, are not necessarily to scale, and should not be construed as engineering reports or surveys unless otherwise noted in the report. Any reproduction of graphic material or the work product of any other persons is intended solely for clarification and ease of reference. Inclusion of said information does not constitute a representation by Aesculus Arboricultural Consulting as to the sufficiency or accuracy of that information.



Tree # (13 total)	Common Name	Species	DBH (in.)	Canopy Spread (ft.)	Vitality Rating (%)	Structure Rating (%)	Form Rating (%)	Suitability for Preservation (%)	Protected Tree - 11	Street Tree - 8	Off-Site Tree - 0	Protected Removals - 2	CRZ radius (ft. from center of trunk)	TPZ radius (ideal; ft. from center of trunk)	Expected Impacts (with recommended protection)	Notes
1	Callery pear	<i>Pyrus calleryana</i>	6.2	10	50	50	60	50	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	1.8	6.2	-	-
2	Callery pear	<i>Pyrus calleryana</i>	5.6	8	30	40	30	35	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	1.6	7.0	-	-
3	Callery pear	<i>Pyrus calleryana</i>	2.4	4	10	10	10	10	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	-	-	-	-
4	Callery pear	<i>Pyrus calleryana</i>	6.6	10	50	50	60	50	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	1.9	6.6	-	-
5	Callery pear	<i>Pyrus calleryana</i>	4.9	10	40	50	50	45	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	1.4	4.9	-	-
6	Coast live oak	<i>Quercus agrifolia</i>	21.1	40	80	50	80	65	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6.2	10.6	-	Tag #3281; girdling root
7	Coast live oak	<i>Quercus agrifolia</i>	20.7	30	80	50	80	65	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6.0	10.3	-	Tag #3282
8	Coast live oak	<i>Quercus agrifolia</i>	9.0	18	60	50	60	55	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	2.6	6.8	-	Tag #3283
9	Coast live oak	<i>Quercus agrifolia</i>	12.5	16	50	50	50	50	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	3.6	9.4	-	Canopy spread is average due to uneven canopy dist. One foot-deep cavity in base.
10	Coast live oak	<i>Quercus agrifolia</i>	9.3	20	30	50	30	40	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	2.7	9.3	-	-
11	Crape myrtle	<i>Lagerstroemia indica</i>	3.0	7	70	50	60	60	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	0.9	2.3	-	-
12	Coast live oak	<i>Quercus agrifolia</i>	7.0	18	60	50	60	55	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	2.0	5.3	-	-
13	Coast live oak	<i>Quercus agrifolia</i>	20.8	30	80	50		65	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6.1	10.4	-	-

Image 1: Callery pear #1



Image 2: Callery pear #2



Image 3: Callery pear #3



Image 4: Callery pear #4



Image 5: Callery pear #5



Image 6: Coast live oak #6



Image 6b: girdling root on coast live oak #6



Image 7: Coast live oak #7



Image 8: Coast live oak #8



Image 9: Coast live oak #9



Image 9b: decay cavity at base of coast live oak #9



Image 10: Coast live oak #10



Image 11: Crape myrtle #11



Image 12: Coast live oak #12



Image 13: Coast live oak #13



Tree # (13 total)	Common Name	Species	DBH (in.)	Canopy Spread (ft.)	Vitality Rating (%)	Structure Rating (%)	Form Rating (%)	Suitability for Preservation (%)	Protected Tree - 11	Street Tree - 8	Off-Site Tree - 0	Protected Removals - 2	Appraised Value (worksheet available upon request)	CRZ radius (ft. from center of trunk)	TPZ radius (ideal; ft. from center of trunk)	Expected Impacts (with recommended protection)
1	Callery pear	<i>Pyrus calleryana</i>	6.2	10	50	50	60	50	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	\$16,800.00	1.8	6.2	Minimal from project as proposed
2	Callery pear	<i>Pyrus calleryana</i>	5.6	8	30	40	30	35	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	\$900.00	1.6	7.0	Minimal from project as proposed
3	Callery pear	<i>Pyrus calleryana</i>	2.4	4	10	10	10	10	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	-	-	-	-
4	Callery pear	<i>Pyrus calleryana</i>	6.6	10	50	50	60	50	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	\$1,400.00	1.9	6.6	Minimal from project as proposed
5	Callery pear	<i>Pyrus calleryana</i>	4.9	10	40	50	50	45	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	\$790.00	1.4	4.9	Minimal from project as proposed
6	Coast live oak	<i>Quercus agrifolia</i>	21.1	40	80	50	80	65	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	\$13,200.00	6.2	10.6	Minimal from project as proposed
7	Coast live oak	<i>Quercus agrifolia</i>	20.7	30	80	50	80	65	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	\$12,600.00	6.0	10.3	Minimal from project as proposed
8	Coast live oak	<i>Quercus agrifolia</i>	9.0	18	60	50	60	55	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	\$2,280.00	2.6	6.8	Minimal from project as proposed
9	Coast live oak	<i>Quercus agrifolia</i>	12.5	16	50	50	50	50	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	\$4,270.00	3.6	9.4	Minimal from project as proposed
10	Coast live oak	<i>Quercus agrifolia</i>	9.3	20	30	50	30	40	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	\$2,250.00	2.7	9.3	Moderate to major from proposed sidewalk work

Tree # (13 total)	Common Name	Species	DBH (in.)	Canopy Spread (ft.)	Vitality Rating (%)	Structure Rating (%)	Form Rating (%)	Suitability for Preservation (%)	Protected Tree - 11	Street Tree - 8	Off-Site Tree - 0	Protected Removals - 2	Appraised Value (worksheet available upon request)	CRZ radius (ft. from center of trunk)	TPZ radius (ideal; ft. from center of trunk)	Expected Impacts (with recommended protection)
11	Crape myrtle	<i>Lagerstroemia indica</i>	3.0	7	70	50	60	60	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	\$260.00	0.9	2.3	Incompatible with proposed sidewalk work
12	Coast live oak	<i>Quercus agrifolia</i>	7.0	18	60	50	60	55	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	\$1,380.00	2.0	5.3	Incompatible with proposed sidewalk work
13	Coast live oak	<i>Quercus agrifolia</i>	20.8	30	80	50	60	65	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	\$12,500.00	6.1	10.4	Minimal from project as proposed

Notes
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Tag #3281; girdling root
Tag #3282
Tag #3283
Canopy spread is average due to uneven canopy dist. One foot-deep cavity in base.
-

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May 7, 2025

Erin Walters
Community Development Department
110 E. Main Street
Los Gatos, CA 95030



Monarch Consulting Arborists

Richard Gessner
P.O. Box 1010 - Felton, CA 95018
1 831 331 8982
www.monarcharborists.com

Observations

I was asked to review the plans and the applicant's arborist report and provide findings and recommendations. The arborist's report was provided by Aesculus on March 7, 2025.

- There are no specific tree protection measures regarding those proposed for retention - Sec. 29.10.1000. New property development. (c). The trees to be retained need to be indicated as Type III protection at a minimum both in the report and on the T-1 plan sheet.
- Tree appraisals were not performed and related values provided - 29.10.1000. New property development. (c)(3). Trees to be retained need to be appraised using the Trunk Formula Technique as outlined in the Guide for Plant Appraisal 10th Edition.
- The plan set does not contain the required Tree Preservation Instructions (Sheet T-1) sheet Sec. 29.10.1000. New property development.

Recommendations

1. Provide specific tree protection recommendations and indicate where those protection schemes are to be used on a plan sheet labeled T-1.
2. Provide tree appraisals by either using the 10th Edition to the Guide for Plant Appraisal. Only trees to be retained need to be appraised.

Richard J. Gessner

ASCA Registered Consulting Arborist® #496
ISA Board Certified Master Arborist® WE-4341B
Tree Risk Assessment Qualified - Valid to 2029



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5/8/2025

Matthew Morgan
Kimley-Horn
10 S Almaden Blvd, Ste 1250
San Jose, CA 95113
408.785.3518
matthew.morgan@kimley-horn.com

Re: response letter detailing changes made to report in accordance with City Arborist comment letter dated 5/7/2025 for proposed renovation at 31 University Ave, Los Gatos, CA 95030

Dear Matthew,

Here is a list of the changes made to my report based on the City Arborist comment letter referenced above. The comment letter was prepared by Erin Walters and contains three points requiring attention.

- Point 1:

- There are no specific tree protection measures regarding those proposed for retention - Sec. 29.10.1000. New property development. (c). The trees to be retained need to be indicated as Type III protection at a minimum both in the report and on the T-1 plan sheet.

- This information is included in the map accompanying my arborist report, titled "31 University Ave Tree Map V1 2025-03-05," available at:
https://drive.google.com/file/d/1ACHFD0XSl0LUUmBjgu24aLrjXGNf00E/view?usp=drive_link

- Point 2:

- Tree appraisals were not performed and related values provided - 29.10.1000. New property development. (c)(3). Trees to be retained need to be appraised using the Trunk Formula Technique as outlined in the Guide for Plant Appraisal 10th Edition.

- Appraisals have been performed, and a new column with appraised values has been added to the tree table, available here:

https://drive.google.com/file/d/11bNTsHKxEEWvZs3-UxinKoGs1GjI4Ndr/view?usp=drive_link

- Point 3:

- The plan set does not contain the required Tree Preservation Instructions (Sheet T-1) sheet Sec. 29.10.1000. New property development.

- This item is outside my purview and will need to be addressed by others on the project team.

Respectfully submitted,



Katherine Naegele | Consulting Arborist | She/Her
Master of Forestry, UC Berkeley
International Society of Arboriculture Certified Arborist #WE-9658A
ISA Tree Risk Assessment Qualification Credentialed
katherine@aacarbor.com | (408) 201-9607
Aesculus Arboricultural Consulting | (408) 675-1729
aacarbor.com



Terms of Assignment

The following terms and conditions apply to all oral and written reports and correspondence pertaining to the consultations, inspections, and activities of Aesculus Arboricultural Consulting:

1. All property lines and ownership of property, trees, and landscape plants and fixtures are assumed to be accurate and reliable as presented and described to the consultant, either orally or in writing. The consultant assumes no responsibility for verification of ownership or locations of property lines, or for results of any actions or recommendations based on inaccurate information.
2. It is assumed that any property referred to in any report or in conjunction with any services performed by Aesculus Arboricultural Consulting is in accordance with any applicable codes, ordinances, statutes, or other governmental regulations, and that any titles and ownership to any property are assumed to be good and marketable. The existence of liens or encumbrances has not been determined, and any and all property is appraised and/or assessed as though free and clear, under responsible ownership and competent management.
3. All reports and other correspondence are confidential and are the property of Aesculus Arboricultural Consulting and its named clients and their assigns or agents. Possession of this report or a copy thereof does not imply any right of publication or use for any purpose, without the express permission of the consultant and the client to whom the report was issued. Loss, removal, or alteration of any part of a report invalidates the entire appraisal/evaluation.
4. The scope of any report or other correspondence is limited to the trees and conditions specifically mentioned in those reports and correspondence. Aesculus Arboricultural Consulting assumes no liability for the failure of trees or parts of trees, inspected or otherwise. The consultant assumes no responsibility to report on the condition of any tree or landscape feature not specifically requested by the named client.
5. All inspections are limited to visual examination of accessible parts, without dissection, excavation, probing, boring or other invasive procedures, unless otherwise noted in the report, and reflect the condition of those items and features at the time of inspection. No warranty or guarantee is made, expressed or implied, that problems or deficiencies of the plants or the property will not occur in the future, from any cause. The consultant shall not be responsible for damages caused by any tree defects, and assumes no responsibility for the correction of defects or tree related problems.
6. The consultant shall not be required to provide further documentation, give testimony, be deposed, or to attend court by reason of this appraisal/report unless subsequent contractual arrangements are made, including payment of additional fees for such services as set forth by the consultant or in the fee schedule or contract.
7. Aesculus Arboricultural Consulting makes no warranty, either expressed or implied, as to the suitability of the information contained in any reports or correspondence, either oral or written, for any purpose. It remains the responsibility of the client to determine applicability to his/her particular case.
8. Any report and the values, observations, and recommendations expressed therein represent the professional opinion of the consultant, and the fee for services is in no manner contingent upon the reporting of a specified value nor upon any particular finding.
9. Any photographs, diagrams, charts, sketches, or other graphic material included in any report are intended solely as visual aids, are not necessarily to scale, and should not be construed as engineering reports or surveys unless otherwise noted in the report. Any reproduction of graphic material or the work product of any other persons is intended solely for clarification and ease of reference. Inclusion of said information does not constitute a representation by Aesculus Arboricultural Consulting as to the sufficiency or accuracy of that information.

31 University Avenue

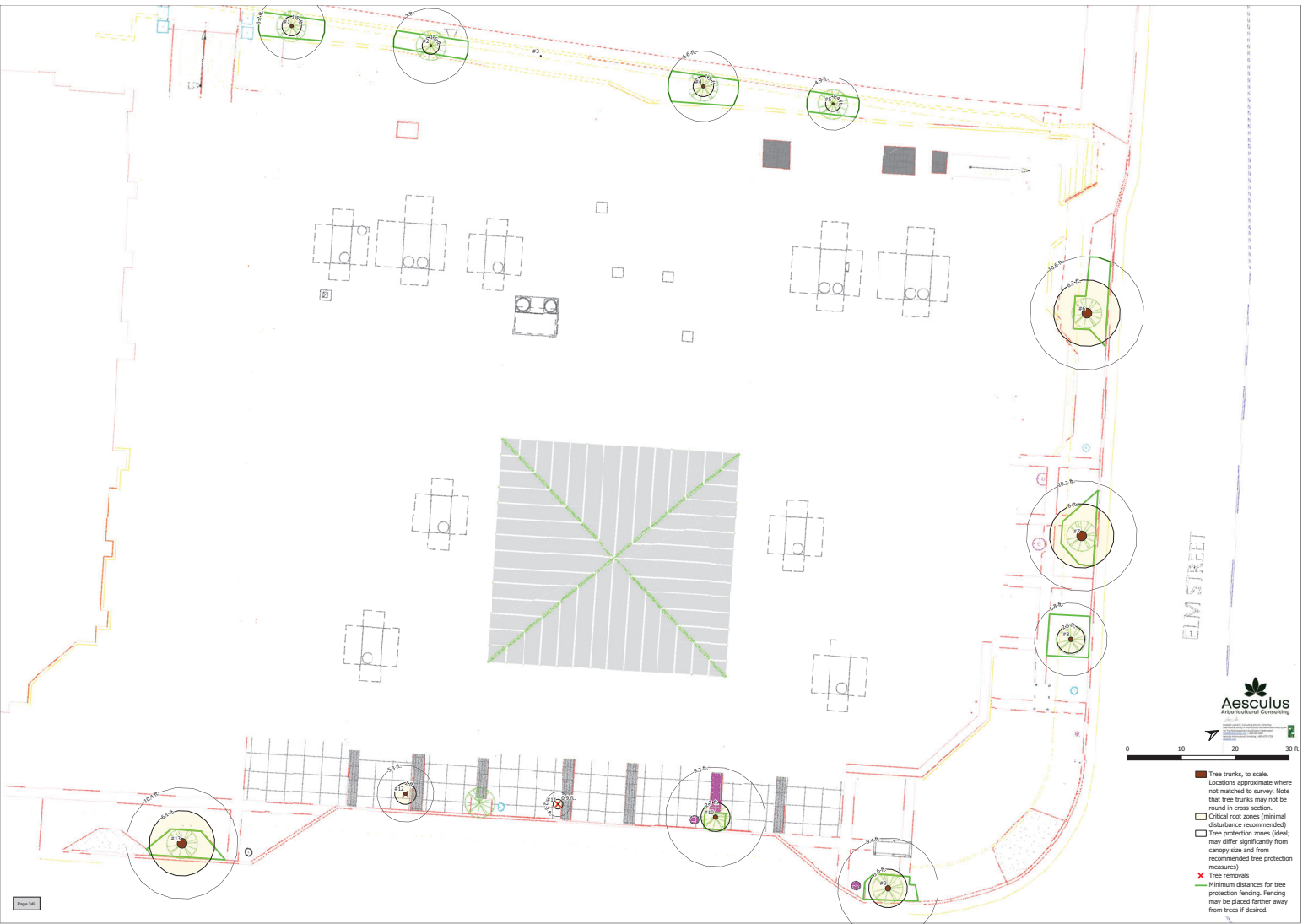
May 8, 2025

Arborist Peer Review Recommendation #3-

- The plan set does not contain the required Tree Preservation Instructions (T-1) sheet Section 29.10.1000. New Property Development.

Applicant's Response-

T-1 Sheet (T-1A, T-1B and T-1C) have been added to the plan set, providing Tree Protection Report, Tree Map, and Tree Table with Applicable Data. Tree protection measures are provided on Sheet T-1C and depicted on the Tree Map. Tree Appraisals are provided on Sheet T-1C, depicted in the tree table.



Tree # (13 total)	Common Name	Species	DBH (in.)	Canopy Spread (ft.)	Vitality Rating (%)	Structure Rating (%)	Form Rating (%)	Suitability for Preservation (%)	Protected Tree - 11	Street Tree - 8	Off-Site Tree - 0	Protected Removals - 2	Appraised Value (worksheet available upon request)	CRZ radius (ft. from center of trunk)	TPZ radius (ideal; ft. from center of trunk)	Expected Impacts (with recommended protection)
1	Callery pear	<i>Pyrus calleryana</i>	6.2	10	50	50	60	50	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	\$16,800.00	1.8	6.2	Minimal from project as proposed
2	Callery pear	<i>Pyrus calleryana</i>	5.6	8	30	40	30	35	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	\$900.00	1.6	7.0	Minimal from project as proposed
3	Callery pear	<i>Pyrus calleryana</i>	2.4	4	10	10	10	10	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	-	-	-	-
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6	Coast live oak	<i>Quercus agrifolia</i>	21.1	40	80	50	80	65	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	\$13,200.00	6.2	10.6	Minimal from project as proposed
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10	Coast live oak	<i>Quercus agrifolia</i>	9.3	20	30	50	30	40	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	\$2,250.00	2.7	9.3	Moderate to major from proposed sidewalk work

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12	Coast live oak	<i>Quercus agrifolia</i>	7.0	18	60	50	60	55	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	\$1,380.00	2.0	5.3	Incompatible with proposed sidewalk work
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Notes
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Tag #3281; girdling root
Tag #3282
Tag #3283
Canopy spread is average due to uneven canopy dist. One foot-deep cavity in base.
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Construction Best Management Practices (BMPs)

Construction projects are required to implement year-round stormwater BMPs.

Materials, Waste, and Sediment Management



Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls, and stabilize all construction entrances and exits to sufficiently control erosion, sediment discharges and tracking of sediment offsite.
- Sweep or vacuum immediately any tracking of sediment offsite and secure sediment source to prevent further tracking. Never hose down streets or sidewalks.

Non-Hazardous Materials and Dust Control

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or when they are not in use. Weigh down and secure tarps for wind protection.
- Keep materials off the ground (e.g., store bagged materials on wood pallets, store loose materials on tarps not pavement, etc.).
- Use captured water from other activities (e.g., testing fire lines) for dust control.
- Ensure dust control water doesn't leave site or discharge to storm drains. Only use enough to control dust. Contain and dispose of excess water properly.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with City, County, State and Federal regulations.
- Store hazardous materials and wastes in watertight containers, store in appropriate secondary containment, and cover them at the end of every workday, during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and do not use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes. Have all pertinent Safety Data Sheets (i.e., SDS/MSDS/PSDS) onsite.

Waste Management

- Inform trash-hauling contractors that you will accept only watertight dumpsters for onsite use. Repair/replace any dumpster that is not watertight or leaking.
- Cover and maintain dumpsters. Check frequently for leaks. Place dumpsters under roof or cover with tarps or plastic sheeting secured around the outside of the dumpster. If the dumpster leaks, place a plastic liner underneath the dumpster to collect leaks. Never clean out a dumpster by hosing it down on the construction site - clean with dry methods, clean offsite or replace dumpster.
- Place portable toilets and hand wash stations away from storm drains. Make sure they are equipped with containment pans (secondary containment) and are in good working order. Check frequently for leaks.
- Dispose of all wastes and demolition debris properly per SDS and applicable regulations. Recycle or compost materials and wastes as feasible and appropriate, including solvents, water-based paints, vehicle fluids, broken asphalt and concrete, wood, and cleared vegetation.
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste per SDS.
- Keep site free of litter (e.g., lunch items, water bottles, cigarette butts and plastic packaging).
- Prevent litter from uncovered loads by covering loads that are being transported to and from site.

Equipment Management & Spill Control



Vehicle and Equipment Maintenance

- Designate an area of the construction site equipped with appropriate BMPs, well away from creeks or storm drain inlets, for auto and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle/equipment washing offsite.
- If refueling or vehicle maintenance must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or creeks.
- Do not clean vehicles or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment, and do not use diesel oil to lubricate equipment or parts onsite.

Spill Prevention and Control

- Always keep spill cleanup materials (e.g., rags, absorbents, and cat litter) available at the construction site.
- Maintain all vehicles and heavy equipment. Inspect frequently for leaks. Use drip pans to catch leaks until repairs are made.
- Clean up leaks, drips and other spills immediately using dry cleanup methods whenever possible (absorbent materials, cat litter and/or rags) and dispose of cleanup materials properly.
- Sweep up spilled dry materials immediately. Never attempt to "wash them away" with water or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills to the appropriate local spill response agencies immediately. If the spill poses a significant hazard to human health and safety, property or the environment, report it to the State Office of Emergency Services at (800) 852-7550 (24 hours).

Earthmoving



Grading and Earthwork

- Schedule grading and excavation work during dry weather.
- Prevent sediment from migrating offsite and protect storm drain inlets, drainage courses and creeks by installing and maintaining appropriate BMPs tailored to the site's specific characteristics and conditions. Examples of such BMPs may include silt fences, gravel bags, filter rolls, temporary swales, compost socks, etc. Ensure that BMPs are installed in accordance with manufacturer's specifications and properly maintained throughout the duration of construction activities.
- Stabilize all denuded areas and install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when necessary. Plant temporary vegetation to prevent erosion on slopes or in areas where construction is not immediately planned.
- Keep excavated soil and/or transfer it to dump trucks, onsite, not in the streets.
- Ensure all subcontractors working onsite are implementing appropriate BMPs.

Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board and the local agency: 1) Unusual soil conditions, discoloration, or odor. 2) Abandoned underground tanks. 3) Abandoned wells. 4) Buried barrels, debris, or trash.
- If the above conditions are observed, document any signs of potential contamination, clearly mark areas and fence/cover them off so they are not disturbed by construction activities.

Landscaping

- Protect stockpiled landscaping materials from wind and rain by storing them under tarps year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.
- Store materials onsite, not in the street.

Concrete Management & Dewatering



Concrete Management

- Store both dry and wet concrete-related materials under cover, protected from rainfall and runoff and away from storm drains or creeks. Store materials off the ground on pallets. Protect dry materials from wind.
- Avoid pouring concrete in wet weather or when rainfall is imminent to prevent concrete that has not cured from contacting stormwater runoff.
- Wash out concrete equipment/mixers/trucks offsite, or onsite only in designated washout containers/areas where the water will flow into a temporary lined waste pit and in a manner that will prevent leaching into the underlying soils. (See CASQA Construction Stormwater BMP Handbook for temporary concrete washout facility details).
- Do not wash sweepings from exposed aggregate concrete into the street or storm drain. Collect and return sweepings to aggregate base stockpile or dispose properly.
- Make sure that construction waste (e.g., concrete, stucco, cement wastewater, or residual materials) is collected, removed, and disposed of only at authorized disposal areas. Do not dispose of construction waste in storm drains, ditches, streets, creeks, dirt areas, or the sanitary sewer.

Dewatering

- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible, send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer, obtain permission from the local wastewater treatment plant.
- Divert water originating from offsite away from all onsite disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call the local agency to determine whether the groundwater must be tested. Pumped groundwater may need to be collected and hauled offsite for treatment and proper disposal.
- For additional information, refer to the CASQA's Sheet NS-2 "Dewatering Operations."

Paving/Asphalt Work



Paving

- Avoid paving and seal coating in wet weather or when rain is forecast to prevent materials that have not cured from contacting with stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, slurry seal, fog seal, or similar materials.
- When construction is complete, remove all covers from storm drain inlets and manholes.
- Collect and recycle or properly dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters, storm drains, streets, dirt areas, or the sanitary sewer.
- Collect and recycle or properly dispose of sweep residue from saw cutting, coring and grinding operations shall be picked up by means of a vacuum device.
- Shovel, absorb, or vacuum saw cut slurry deposits and dispose of all waste properly and as soon as reasonably possible. Sawcutting residue should not be left on pavement surface.
- If saw cut slurry enters a storm drain inlet, clean it up immediately and notify the local municipality.

Copper Architectural Features



Discharges to storm drains generated by installing, cleaning, treating or washing copper architectural features, is a violation of the municipal stormwater ordinance and may be subject to a fine. These BMPs must be implemented to prevent prohibited discharges to storm drains:

During Installation

- If possible, purchase copper materials that have been pre-patinated at the factory.
- If patination done on site, implement one or more of the following BMPs:
 - Discharge the rinse water to landscaping. Ensure that the rinse water does not flow to the street or storm drain. Block off storm drain inlet if needed.
 - Collect rinse water in a tank and pump to the sanitary sewer. Contact your local sanitary sewer agency before discharging to the sanitary sewer.
 - Collect the rinse water in a tank and haul off-site for proper disposal.
- Consider coating the copper materials with an impervious coating that prevents further corrosion and runoff. This will also maintain the desired color for a longer time, requiring less maintenance.

During Maintenance

- Block storm drain inlets as needed to prevent runoff from entering storm drains.
- Discharge the wash water to landscaping or to the sanitary sewer (with permission from the local sanitary sewer agency). If this is not an option, haul the wash water off-site for proper disposal.

February 2024, WVCWA 4/24

RH

RH - LOS GATOS

Project Address

31 UNIVERSITY AVE.
LOS GATOS, CA 95030

Architect

MBH

950 Atlantic Ave
Alhambra, CA 94501
Tel 510 865 8661
Fax 510 865 1611

Scale



Consultant

02/02/2025 TECH REVIEW COMMENTS
06/24/2025 TECH REVIEW COMMENTS 2

Project: 59485

Drawn By: BJD

Checked By: RIN

Scale:

CONSTRUCTION
BEST
MANAGEMENT
PRACTICES

Drawing No.

G004

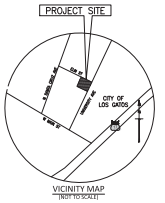


TOPOGRAPHIC SURVEY

ELM STREET
(PUBLIC STREET)

ONE STORY
COMMERCIAL BUILDING
31-50 UNIVERSITY AVE., LOS GATOS,
CA 95030
F.F. 401.21

UNIVERSITY AVE
(PUBLIC STREET)



ABBREVIATIONS

- BL BOTTOM OF TRANSITION
- CB CATCH BASIN
- CONW CONCRETE BLOCK WALL
- CONC CONCRETE
- CRW CROWN
- EG EDGE OF GUTTER
- ELEC ELECTRICAL
- ESC EDGE OF CONCRETE
- FDC FIRE DEPARTMENT CONNECTION
- FF FINISHED FLOOR
- FL FLOW LINE
- FG FINISHED GROUND
- FS FINISHED SURFACE
- PSA FINISHED SURFACE ASPHALT
- FGC FINISHED SURFACE CONCRETE
- GV GAS VALVE
- INV INVERT OF PIPE
- MH MANHOLE
- NTS NOT TO SCALE
- RET WALL RETAINING WALL (CONCRETE)
- SCD SEWER CLEANOUT
- SDMH STORM DRAIN MANHOLE
- SDMH SANITARY SEWER MANHOLE
- TC TOP OF CURB
- TS TOP OF GRADE
- TR TRAILER RECEPTACLE
- TX TOP OF TRANSITION
- TVT TYPICAL
- UNT UNFINISHED VAULT
- WL WALL
- WLV WATER VALVE
- WV WATER VALVE
- WLY WESTERLY
- WLYV NORTHWESTERLY

LEGEND

- AREA DRAIN (SLOPED)
- ELECTRIC TEST STATION
- ◆ FIRE DEPARTMENT CONNECTION
- ▽ FIRE HYDRANT
- GAS VALVE
- GAS METER
- IRRIGATION CONTROL BOX
- IRRIGATION CONTROL VALVE
- ELECTRIC CHIMNEY
- ELECTRIC MANHOLE
- ELECTRIC PULLBOX
- ▽ SEWER CLEAN OUT
- SEWER MANHOLE
- STORM DRAIN MANHOLE
- STREET LIGHT
- TELEPHONE MANHOLE
- TREE
- WATER MANHOLE
- WATER METER
- WATER VALVE

LINETYPES

- BUILDING LINE/NOTCH
- BROOK LINE/NOTCH
- CONC LINE/NOTCH
- CURB FACE WITH BACK OF CURB (0.0' 0.0')
- FLOWLINE
- WALL

BENCHMARK

BENCHMARK: BM1003
DESCRIPTION: BENCH MARK ON TOP OF CONCRETE ELEVATOR AT THE
SOUTH CORNER OF INTERSECTION FOR S SANTA CRUZ AVENUE AND S
MAIN STREET, ABOUT 100 FEET NORTHWEST FROM SUBMITTING FOR
B MAIN STREET, NEAR A PUBLIC BUS STOP, RESET IN 2007, CITY
OF LOS GATOS

ZONING

C-2 - CENTRAL BUSINESS COMMERCIAL ZONE FOR TOWN OF LOS
GATOS ZONING MAP, ACCESSIBLE FROM CITY OF LOS GATOS WEBSITE
DATE: MARCH 22, 2024. ACCESSIBLE ON NOVEMBER 16, 2024.
LUP - LAND USE PLANNING - PREDEVELOPMENT
PD - PLANNED DEVELOPMENT

COMMENTS

31-50 UNIVERSITY AVE., LOS GATOS, CA 95030
APR: 520-002-44
BOUNDARY LINES: THIS IS NOT A BOUNDARY SURVEY
FEMA: THE SUBJECT SITE IS IN FEMA FLOOD HAZARD ZONE "X1" AREAS
DETERMINED TO BE WITHIN THE 1% ANNUAL CHANCE FLOODPLAIN.
FED FLOOD INSURANCE RATE MAP (FIRM) MAP PANEL MAP NO.
08030301N EFFECTIVE DATE MAY 18, 2008

PUBLIC ACCESS

PUBLIC ACCESS TO SITE FROM ELM STREET AND UNIVERSITY AVENUE

DATE(S)

10/30/2024

NOTE

THIS IS NOT A BOUNDARY SURVEY. THIS SURVEY WAS PREPARED
WITHOUT THE INTENT OF A TITLE. BEFORE THE PURPOSE OF THIS
SURVEY IS TO LOCATE EXISTING IMPROVEMENTS FOR DESIGN.

PREPARED UNDER THE DIRECTION OF:

CS-1

130402024

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DATE	BY	REVISION
12-20-2023	AK	REVISION 1
07-07-2021	AK	REVISION 2
07-07-2021	AK	REVISION 3
07-07-2021	AK	REVISION 4
07-07-2021	AK	REVISION 5
07-07-2021	AK	REVISION 6
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07-07-2021	AK	REVISION 8
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07-07-2021	AK	REVISION 99
07-07-2021	AK	REVISION 100

CS-2

BASIS OF BEARINGS

THE BEARINGS SHOWN ON THIS SURVEY IS BASED ON THE NORTH AMERICAN DATUM OF 1983 (NAD83), CALIFORNIA COORDINATE SYSTEM OF 1983 (CCS83), ZONE 3, SP90N 2010.00.

MAP NOTES

1. ALL DISTANCES, DIMENSIONS AND ELEVATIONS ARE IN FEET AND DECIMALS THEREOF.
2. INFORMATION RECORDING BOUNDARY AND EASEMENTS, BKF ENGINEERS RELIED ON THE INFORMATION PROVIDED IN THE PRELIMINARY TITLE REPORT ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY, ORDER NO. NC3-107765-DC72, AND DATED JULY 07, 2021.
3. BOUNDARY INFORMATION SHOWN ON THIS SURVEY IS BASED ON THE PAPER BOUNDARY OF THE SITE AND ITS PLACED APPROXIMATELY ON THE AERIAL BASED TOPOGRAPHIC MAP, BUT ENGINEERS TAKE NO RESPONSIBILITY FOR CHANGES IN BOUNDARY LINES THAT MAY AFFECT THE SUBJECT SITE.
4. AERIAL BASED TOPOGRAPHIC MAP SHOWN ON THIS SURVEY IS BASED ON JULY 2021 AERIAL PHOTOGRAPHY.

LEGEND

() RECORD DATA PER PARCEL MAP, 465 W 14-15



RAVE STREET

LANDS OF
TOWN OF LOS GATOS

PARCEL 1B
465 W 14-15

UNIVERSITY AVENUE
(W 14-15)

LANDS OF
TOWN OF LOS GATOS

UNIVERSITY AVENUE
(W 14-15)

UNIVERSITY AVENUE
(W 14-15)

STATE OF CALIFORNIA ROUTE 87 FREEWAY

UNIVERSITY AVENUE
(W 14-15)

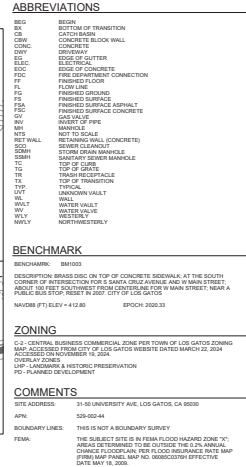
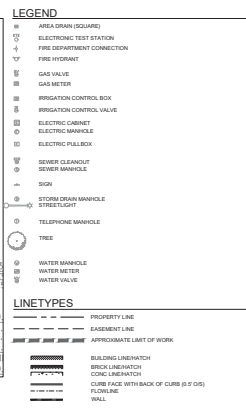
UNIVERSITY AVENUE
(W 14-15)

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UNIVERSITY AVENUE
(W 14-15)

UNIVERSITY AVENUE
(W 14-15)



COMMENTS	
SITE ADDRESS:	31-50 UNIVERSITY AVE, LOS GATOS, CA 95030
APN:	029-002-44
BOUNDARY LINES:	THIS IS NOT A BOUNDARY SURVEY
FEMA:	THE SUBJECT SITE IS IN FEMA FLOOD HAZARD ZONE "X". AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FLOOD INSURANCE RATE MAP (FIRM) MAP PANEL MAP NO. 06030C0378H EFFECTIVE DATE MAY 18, 2009.

PUBLIC ACCESS: PUBLIC ACCESS TO THE SITE FROM ELM STREET AND UNIVERSITY AVENUE

DATE(S) OF FIELDWORK: 10/30/2024

NOTE: THIS IS NOT A BOUNDARY SURVEY. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. THE PURPOSE OF THIS SURVEY IS TO LOCATE EXISTING IMPROVEMENTS FOR DESIGN.

GRAPHIC SCALE IN FEET



RH

Project
RH - LOS GATOS
31 UNIVERSITY AVE.
LOS GATOS, CA 95030

Architect
MEH
101 W. BARTLE AVENUE
HAYWARD, CA 94501
(510) 885-8843
meharch.com

Seal
**PRELIMINARY SET NOT
FOR CONSTRUCTION**

Consultant
Kimley-Horn
KIMLEY-HORN & ASSOCIATES
1015 ALAMOGADO BLVD., Suite 1250
SAN JOSE, CA 95113
T: 408.920.4130

No. Date Issued/Revised
A 05/21/2025 TECH REVIEW COMMENTS 2
A 07/14/2025 TECH REVIEW COMMENTS 3

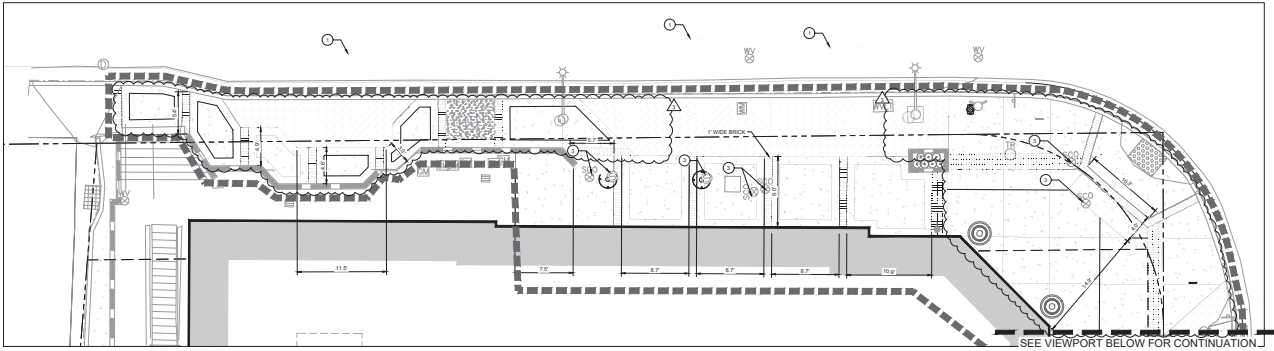
Overlaid on existing plans. All proposed changes are shown in red. All existing features are shown in black. All proposed changes are shown in red. All existing features are shown in black. All proposed changes are shown in red. All existing features are shown in black.

Project No.: 197425005
Drawn By: TL
Reviewed By: CS
Scale: As noted
Drawing Title

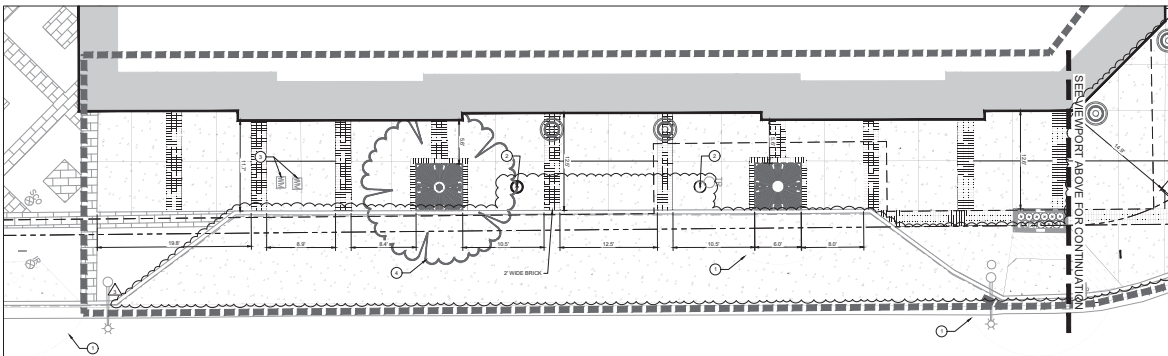
SITE LAYOUT
PLAN

Drawing No.

C4.0



ELM STREET FRONTAGE
SCALE 1"=10'



UNIVERSITY AVE FRONTAGE
SCALE 1"=10'

- LEGEND**
- APPROXIMATE CIVIL LIMIT OF WORK
 - PROPERTY LINE
 - EASEMENT
 - EXISTING RETAINING WALL
 - PROPOSED CONCRETE AND BRICK PER TOWN OF LOS GATOS STANDARD DETAILS 20-010, 20-011, AND 20-012
- KEYNOTES**
- SEE SHEETS 1-A, 1-B, AND 1-C FOR TREE PRESERVATION INSTRUCTIONS
 - RELOCATED LAMP POST
 - ADJUST EXISTING UTILITY STRUCTURE TO GRADE
 - REFER TO LANDSCAPE PLANS FOR PROPOSED TREE

GRAPHIC SCALE IN FEET
0 2.5 5 10

RH

Project
RH - LOS GATOS
31 UNIVERSITY AVE.
LOS GATOS, CA 95030

Architect
MEH
1014 Pacific Avenue
Berkeley, CA 94701
(415) 863-8841
meharch.com

Seal

PRELIMINARY SET NOT
FOR CONSTRUCTION

Consultant
Kimley-Horn
KIMLEY-HORN & ASSOCIATES
1000 Almaden Blvd, Suite 1250
San Jose, CA 95113
T 408.262.4130

No. Date Issued/Revised

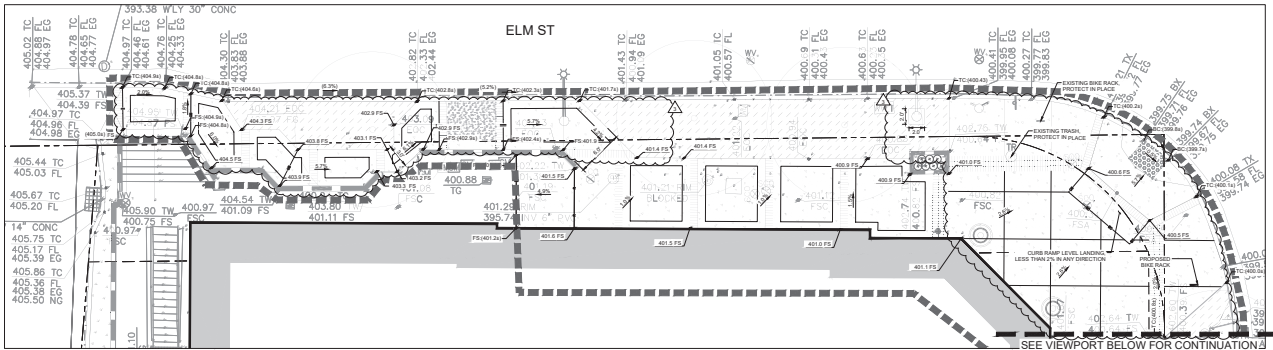
1 05/21/2025 TECH REVIEW COMMENTS 2

2 07/14/2025 TECH REVIEW COMMENTS 3

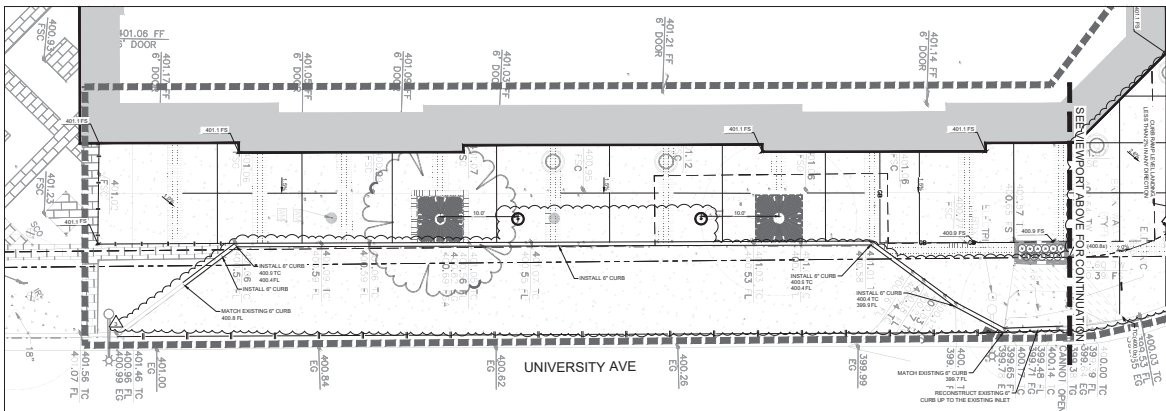
Drawing No. 197425009
Project No. 197425009
Drawn By: TL
Reviewed By: CS
Scale: As noted
Drawing Title: GRADING AND DRAINAGE PLAN

Drawing No.

C4.1



ELM STREET FRONTAGE
SCALE: 1"=4'



UNIVERSITY AVE FRONTAGE
SCALE: 1"=4'

LEGEND

- GRADE BREAK
- PROPOSED LINE
- DAYLIGHT LINE MATCH EXISTING GRADES
- CIVIL LIST OF WORK LINE
- PROPOSED GRADE
- EXISTING GRADE
- PROPOSED CONCRETE

SANTA CLARA VALLEY CG DATA FORM TABLE			
TOTAL SITE AREA = 5215 FT ²		TOTAL LAND AREA DISTURBED = 5215 FT ²	
PROJECT TOTALS	TOTAL EXISTING (PVE) PROJECT AREA (FT ²)	EXISTING AREA RETAINED	NEW AREA CREATED
IMPERVIOUS AREA (IA)	4789	4789	0
TOTAL ON-SITE IA	0	0	0
TOTAL OFF-SITE IA	4789	4789	0
TOTAL PROJECT IA	4789	4789	0
TOTAL NEW AND REPLACED IA			4789
PERVIOUS AREA (PA)			
2.5% PERVIOUS AREA			
TOTAL ON-SITE PA	478		478
TOTAL OFF-SITE PA	0		0
TOTAL PA	478		478
2.5% TOTAL AREA (PA/PA)	5215		5215

GRAPHIC SCALE IN FEET
0 25 50 100

protection measures to verify their presence and condition, and will issue a letter to the town with their findings.

Demolition Phase

1. Maintain tree protection measures as detailed above.
2. When demolishing existing features within TPD, start work close to trees and move backwards, limiting equipment to still-paved areas. This applies features within TPDs.

Construction Phase

1. Maintain tree protection measures as detailed above.
 2. **Monthly Monitoring Reports** - Inform the Project Arborist when construction is set to begin. The Project Arborist shall visit the site once per month thereafter to verify that all tree protection measures are maintained in working condition, and shall issue a letter to the town with their findings.
 3. Alert the project arborist if utility or other work becomes necessary within any tree TPD.
 4. If live roots over 1" in diameter are encountered when excavating in any location:
 - a. Hand excavate edge nearest trunk to the full depth of the feature being installed.
 - b. Retain as many roots as practical. Route conduit and other features around and between roots inside as practical.
 - c. If roots 1.2" in diameter must be cut, sever them cleanly with a sharp saw or chainsaw cutter.
 - d. If roots over 2" may be cut, stop work in that area and contact the project arborist for guidance.
 - e. If excavation will be left open for more than 3 days:
 - i. Cover excavation with nearest trunk with several layers of burlap or other absorbent fabric.
 - ii. Install a timer and soaker hoses to irrigate with potable water twice per day, enough to wet fabric thoroughly.
5. Notify Project Arborist when excavation is complete. Project arborist shall inspect work to make sure all roots have been cut cleanly.
- a. The Project Arborist shall provide a follow-up letter documenting that the excavation was performed to specification.

Prepared for Kinley Horn by Arculus Arboricultural Consulting on 5/15/2025 9 of 13

Terms of Assignment

The following terms and conditions apply to all oral and written reports and correspondence pertaining to the consultation, inspection, and arboriculture of Arculus Arboricultural Consulting.

1. All property lines and ownership of property, trees, and landscape plants and features are assumed to be accurate and reliable as presented and described to the consultant, either written or verbal. The consultant assumes no responsibility for verification of ownership or location of property lines, or for liability for any actions or consequences based on incorrect information.
2. It is assumed that any property referred to in any report or in conjunction with any services performed by Arculus Arboricultural Consulting is in accordance with any applicable codes, ordinances, statutes, or other government-related regulations and that any work which involves the use of any property is an assumed to be approved and authorized by the appropriate authorities. The existence of laws or ordinances has not been determined, and any and all property is assumed to be in accordance with applicable laws and codes under responsible ownership and competent management.
3. All reports and other correspondence are confidential and are the property of Arculus Arboricultural Consulting and its named clients and their assigns or agents. Possession of this report or a copy thereof does not imply any right of publication or use for any purposes without the express permission of the consultant and the client to whom the report was issued. Loss, removal, or alteration of any part of a report invalidates the entire report distribution.
4. The scope of any report or other correspondence is limited to the trees and conditions specifically mentioned in these reports and correspondence. Arculus Arboricultural Consulting assumes no liability for the actions or inactions of any third party or for any consequences of the consultant's actions or inactions in relation to the condition of any tree or landscape feature not specifically requested by the named client.
5. All inspections are limited to visual inspection of accessible parts, without excavation, probing, boring or other invasive procedures, unless otherwise noted in the report, and reflect the condition of those items and features at the time of inspection. No warranty or guarantee is made, expressed or implied, that problems or deficiencies of the plants or the property will not occur in the future, from any cause. The consultant shall not be responsible for damages caused by any tree effects, and assumes no responsibility for the condition of plants or the results thereof.
6. The consultant shall not be required to provide further documentation, give testimony, be deposed, or to attend court by reason of the appearance of other relevant contractual arrangements or made, including payment of additional fees for such services as set forth by the consultant or in the fee schedule or contract.
7. Arculus Arboricultural Consulting makes no warranty, either expressed or implied, as to the liability of the information contained in any reports or correspondence, either oral or written, for any purposes. It warrants the responsibility of the work to be performed according to the best professional practice.
8. Any report and the values, observations, and recommendations expressed therein represent the professional opinion of the consultant, and the fee for services to be rendered is contingent upon the reporting of a specified value that upon any particular finding.
9. Any photographs, diagrams, charts, sketches, or other graphic material included in any report is intended solely as visual aids, are not necessarily to scale, and should not be considered engineering reports or drawings unless otherwise noted in the report. Any reproduction of graphic material or the work product of any other person is intended solely for illustration and is not intended to be a representation of the work product of any other person. It is not intended to be a representation of the work product of any other person or to constitute a representation by Arculus Arboricultural Consulting as to the sufficiency or accuracy of that information.

Prepared for Kinley Horn by Arculus Arboricultural Consulting on 5/15/2025 13 of 13

6. **Final Monitoring Report** - Inform the Project Arborist when construction is set to end. The Project Arborist will make one final site visit to document the tree condition, and will issue any final mitigation recommendations if needed.
 - a. The Final Report may be completed by town staff instead at staff's discretion, pending staff availability.

Post-Construction Phase

1. Any heritage tree to be retained protected by the Town's Municipal Code will require replacement according to the appraised value if it is damaged beyond repair because of construction.
 2. Install new trees and/or pay in-lieu fees to offset the removal of trees #11 and 12, and any others found to be incompatible with the project via ground penetrating radar or exploratory excavation, per Town of Los Gatos requirements.
 - a. Tree replacement requirements are determined by canopy size, per the following table:
- | Canopy Size of Removed Tree ¹ | Replacement Requirement ² * | Single Family Residential Replacement Option ³ * |
|--|--|---|
| 10 feet or less | Two 24-inch box trees | Two 15 gallon trees |
| More than 10 feet to 25 feet | Three 24-inch box trees | Three 15 gallon trees |
| More than 25 feet to 35 feet | Four 24-inch box trees or Two 36-inch box trees | Four 15 gallon trees |
| More than 35 feet to 45 feet | Six 24-inch box trees or Three 36-inch box trees | Not Available |
| Greater than 45 feet | Two 24-inch box trees or Two 36-inch box trees | Not Available |
3. Replacement with native species is strongly encouraged. Moistfruit and nut trees, palm trees, or "mature" species (see section 29.10.0702) of the Town Code are generally not considered suitable replacement trees. If a tree or trees cannot be reasonably replanted on the subject property, the Town Arborist may approve a full or partial in-lieu fee payment. Where the payment of in-lieu fees are approved,

Prepared for Kinley Horn by Arculus Arboricultural Consulting on 5/15/2025 10 of 13

permits will not be issued until all in-lieu fees are paid in full. If approved by the Town Arborist, in-lieu fees are as follows:

- a. Tree #6 - six 24" boxes or three 36" boxes = \$1500
- b. Tree #7 - four 24" boxes or two 36" boxes = \$1500
- c. Tree #8 - three 24" boxes = \$1500
- d. Tree #9 - three 24" boxes = \$1500
- e. Tree #10 - three 24" boxes = \$1500

4. **Final Arborist Inspector** - Inform both the Project Arborist and the Town Arborist when construction is set to end. The Town Arborist shall visit the site after replacement trees have been planted (if applicable), but before tree protection fencing has been removed.
5. Remove tree protection measures, upon approval from the Project Arborist and Town Arborist.
6. If retained, provide supplemental irrigation for tree #10 to aid in root regrowth for at least three years.
 - a. Irrigate at a very slow trickle for several hours to ensure infiltration. Once per month is usually sufficient.
 - b. COAST LIVE OAKS/RED OAKS/CEDEARS irrigation should only take place in the normal rainy season for this area (October - April), and only if rainfall is below average.
 - c. All other species should be irrigated year-round.
 - d. Irrigation should be paused during the rainy season if rainfall is average or above.

Additional Materials Submitted as Separate Documents

1. 31 University Ave Tree Map
2. 31 University Ave Tree Photographs
3. 31 University Ave Tree Table

Prepared for Kinley Horn by Arculus Arboricultural Consulting on 5/15/2025 11 of 13

Respectfully submitted,

Katherine Nangle

Katherine Nangle | Consulting Arborist | Shelter
Master of Forestry, UC Berkeley
International Society of Arboriculture Certified Arborist #4619658
ISA Tree Risk Assessment Qualification Credentialed
jangle@arculus.com | (408) 209-4607
Arculus Arboricultural Consulting | (408) 675-1729
arculus.com



RH

Project

RH - LOS GATOS
31 UNIVERSITY AVE,
LOS GATOS, CA 95030

Architect



Seal

PRELIMINARY SET NOT
FOR CONSTRUCTION

Consultant



No. Date Issued/Revised

1 05/21/2025 TECH REVIEW COMMENTS 2

2 07/14/2025 TECH REVIEW COMMENTS 3

Project No. 19142009
Drawn By TL
Reviewed By CG
Scale As noted
Drawing Title

TREE
PRESERVATION
INSTRUCTIONS

Drawing No.

T-1B

RH

Project
RH - LOS GATOS
31 UNIVERSITY AVE.
LOS GATOS, CA 95030

Architect
MEH
101 #Batic Street
Berkeley, CA 94701
(510) 841-1811
mecharch.com

Seal
PRELIMINARY SET NOT
FOR CONSTRUCTION

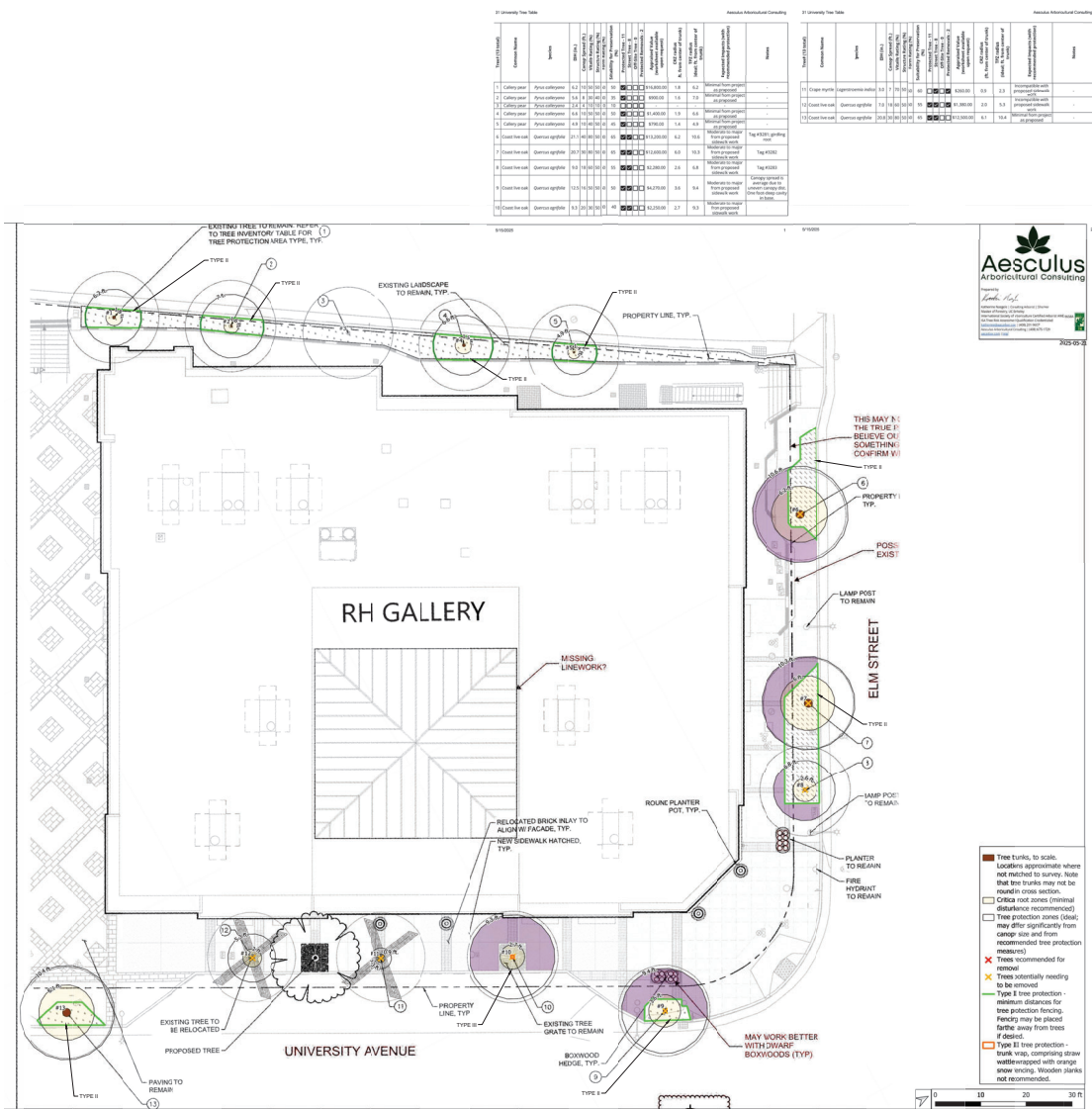
Consultant
Kinley-Horn
KINLEY-HORN & ASSOCIATES
10 S. Alhambra Blvd., Suite 1250
San Jose, CA 95113
T: 650.302.4130

No. Date Issued/Revised
A/05/21/2025 TECH REVIEW COMMENTS 2
A/07/14/2025 TECH REVIEW COMMENTS 3

Overlaid on existing site plan. All proposed tree locations
are subject to field verification and may be
subject to change without notice. Please
contact the architect for more information.

Project No.: 191942009
Drawn By: TL
Reviewed By: CG
Scale: As noted
Drawing Title: TREE
PRESERVATION
INSTRUCTIONS

Drawing No.
T-1C



[illegible][illegible]

PROTECTIVE TREE CANOPY SHALL SPECIFY THE FOLLOWING:

- (1) **SIZES AND MATERIALS** SHALL BE **6" O.D** HIGH CHAIN LINK FENCE, MOUNTED ON TWO-CHAMBER GALVANIZED HORN POSTS. SHALL BE DEVERED TO A DEPTH OF AT LEAST 36" INTO THE GROUND. **POSTS SHALL BE 10' SPACING, FOR PAVING AREAS THAT WILL NOT BE DEMOLISHED AND THEN SPACED AT 12' IN THESE PREPARATION PLOTS MAY BE SPACED UP TO A CONCRETE BASE.**
- (2) **AREA TYPE** SHALL BE **TYPICAL 1** ENCLOSE WITH CHAIN LINK FENCING OF EITHER THE ENTIRE DEPLINE AREA OR A OF THE PROTECTION ZONE (72") WHEN SPECIFIED IN AN APPROVED ARBORIST REPORT. **IF THE PROTECTION ZONE (72") IS NOT SPECIFIED, THE FENCE SHALL BE INSTALLED TO THE ENTIRE DEPLINE AREA.** **BRANCHES TYPE 1 IS PROTECTION FOR A TREE LOCATED IN A SMALL PLANTER CUTOFF ONLY (such as CONCRETS); ORNATE PLANTS FENCE SHALL BE WARRIARD AROUND THE WORK AREA.**
- (3) **DURATION OF TYPE 1 IS 6 MONTHS.** FENCE SHALL BE ERECTED BEFORE EXCAVATION, GRADING OR CONSTRUCTION. TREES OR PLANTS ARE REMOVED AND REMAIN IN PLACE UNTIL THE WORK IS COMPLETED. **IF THE PROTECTION ZONE (72") IS NOT SPECIFIED, THE FENCE SHALL BE INSTALLED TO THE ENTIRE DEPLINE AREA.**
- (4) **WARNING SIGN:** EACH TREE SHALL HAVE PROMINENTLY DISPLAYED AN 8.5 X 11-POD SIGN STATING: "WARNING--THE PROTECTION ZONE--THIS FENCE SHALL NOT BE REMOVED AND IS SUBJECT TO PENALTY ACCORDING TO TOWN CODE 10.12.02." **IF THE PROTECTION ZONE (72") IS NOT SPECIFIED, THE FENCE SHALL BE INSTALLED TO THE ENTIRE DEPLINE AREA.**
- (5) **ALL PERSONS SHALL COMPLY WITH THE FOLLOWING PRECAUTIONS:**
 - (A) **PROTECT THE DISBURSEMENT OF CONSTRUCTION, MATERIALS OR FENCE AT THE DEPLINE OR PROTECTION ZONE (72") WHEN SPECIFIED IN AN APPROVED ARBORIST REPORT.** **ALSO, ALL ON-SITE ORIGIN VEGETATION TO BE REMAINED MUST NOT BE AFFECTED BY THE CONSTRUCTION AND/OR ANY STORAGE OF CONSTRUCTION MATERIALS OR OTHER EQUIPMENT.** **PROTECT THE DISBURSEMENT OF CONSTRUCTION, MATERIALS OR FENCE AT THE DEPLINE OR PROTECTION ZONE (72") WHEN SPECIFIED IN AN APPROVED ARBORIST REPORT.**
 - (B) **PROTECT THE DISBURSEMENT OF CONSTRUCTION, MATERIALS OR FENCE AT THE DEPLINE OR PROTECTION ZONE (72") WHEN SPECIFIED IN AN APPROVED ARBORIST REPORT.**
 - (C) **PROTECT THE DISBURSEMENT OF CONSTRUCTION, MATERIALS OR FENCE AT THE DEPLINE OR PROTECTION ZONE (72") WHEN SPECIFIED IN AN APPROVED ARBORIST REPORT.**
 - (D) **PROTECT THE DISBURSEMENT OF CONSTRUCTION, MATERIALS OR FENCE AT THE DEPLINE OR PROTECTION ZONE (72") WHEN SPECIFIED IN AN APPROVED ARBORIST REPORT.**
 - (E) **PROTECT THE DISBURSEMENT OF CONSTRUCTION, MATERIALS OR FENCE AT THE DEPLINE OR PROTECTION ZONE (72") WHEN SPECIFIED IN AN APPROVED ARBORIST REPORT.**
 - (F) **PROTECT THE DISBURSEMENT OF CONSTRUCTION, MATERIALS OR FENCE AT THE DEPLINE OR PROTECTION ZONE (72") WHEN SPECIFIED IN AN APPROVED ARBORIST REPORT.**
 - (G) **PROTECT THE DISBURSEMENT OF CONSTRUCTION, MATERIALS OR FENCE AT THE DEPLINE OR PROTECTION ZONE (72") WHEN SPECIFIED IN AN APPROVED ARBORIST REPORT.**
 - (H) **PROTECT THE DISBURSEMENT OF CONSTRUCTION, MATERIALS OR FENCE AT THE DEPLINE OR PROTECTION ZONE (72") WHEN SPECIFIED IN AN APPROVED ARBORIST REPORT.**
 - (I) **PROTECT THE DISBURSEMENT OF CONSTRUCTION, MATERIALS OR FENCE AT THE DEPLINE OR PROTECTION ZONE (72") WHEN SPECIFIED IN AN APPROVED ARBORIST REPORT.**
 - (J) **PROTECT THE DISBURSEMENT OF CONSTRUCTION, MATERIALS OR FENCE AT THE DEPLINE OR PROTECTION ZONE (72") WHEN SPECIFIED IN AN APPROVED ARBORIST REPORT.**
 - (K) **PROTECT THE DISBURSEMENT OF CONSTRUCTION, MATERIALS OR FENCE AT THE DEPLINE OR PROTECTION ZONE (72") WHEN SPECIFIED IN AN APPROVED ARBORIST REPORT.**
 - (L) **PROTECT THE DISBURSEMENT OF CONSTRUCTION, MATERIALS OR FENCE AT THE DEPLINE OR PROTECTION ZONE (72") WHEN SPECIFIED IN AN APPROVED ARBORIST REPORT.**
 - (M) **PROTECT THE DISBURSEMENT OF CONSTRUCTION, MATERIALS OR FENCE AT THE DEPLINE OR PROTECTION ZONE (72") WHEN SPECIFIED IN AN APPROVED ARBORIST REPORT.**
 - (N) **PROTECT THE DISBURSEMENT OF CONSTRUCTION, MATERIALS OR FENCE AT THE DEPLINE OR PROTECTION ZONE (72") WHEN SPECIFIED IN AN APPROVED ARBORIST REPORT.**
 - (O) **PROTECT THE DISBURSEMENT OF CONSTRUCTION, MATERIALS OR FENCE AT THE DEPLINE OR PROTECTION ZONE (72") WHEN SPECIFIED IN AN APPROVED ARBORIST REPORT.**
 - (P) **PROTECT THE DISBURSEMENT OF CONSTRUCTION, MATERIALS OR FENCE AT THE DEPLINE OR PROTECTION ZONE (72") WHEN SPECIFIED IN AN APPROVED ARBORIST REPORT.**
 - (Q) **PROTECT THE DISBURSEMENT OF CONSTRUCTION, MATERIALS OR FENCE AT THE DEPLINE OR PROTECTION ZONE (72") WHEN SPECIFIED IN AN APPROVED ARBORIST REPORT.**
 - (R) **PROTECT THE DISBURSEMENT OF CONSTRUCTION, MATERIALS OR FENCE AT THE DEPLINE OR PROTECTION ZONE (72") WHEN SPECIFIED IN AN APPROVED ARBORIST REPORT.**
 - (S) **PROTECT THE DISBURSEMENT OF CONSTRUCTION, MATERIALS OR FENCE AT THE DEPLINE OR PROTECTION ZONE (72") WHEN SPECIFIED IN AN APPROVED ARBORIST REPORT.**
 - (T) **PROTECT THE DISBURSEMENT OF CONSTRUCTION, MATERIALS OR FENCE AT THE DEPLINE OR PROTECTION ZONE (72") WHEN SPECIFIED IN AN APPROVED ARBORIST REPORT.**
 - (U) **PROTECT THE DISBURSEMENT OF CONSTRUCTION, MATERIALS OR FENCE AT THE DEPLINE OR PROTECTION ZONE (72") WHEN SPECIFIED IN AN APPROVED ARBORIST REPORT.**
 - (V) **PROTECT THE DISBURSEMENT OF CONSTRUCTION, MATERIALS OR FENCE AT THE DEPLINE OR PROTECTION ZONE (72") WHEN SPECIFIED IN AN APPROVED ARBORIST REPORT.**
 - (W) **PROTECT THE DISBURSEMENT OF CONSTRUCTION, MATERIALS OR FENCE AT THE DEPLINE OR PROTECTION ZONE (72") WHEN SPECIFIED IN AN APPROVED ARBORIST REPORT.**
 - (X) **PROTECT THE DISBURSEMENT OF CONSTRUCTION, MATERIALS OR FENCE AT THE DEPLINE OR PROTECTION ZONE (72") WHEN SPECIFIED IN AN APPROVED ARBORIST REPORT.**
 - (Y) **PROTECT THE DISBURSEMENT OF CONSTRUCTION, MATERIALS OR FENCE AT THE DEPLINE OR PROTECTION ZONE (72") WHEN SPECIFIED IN AN APPROVED ARBORIST REPORT.**
 - (Z) **PROTECT THE DISBURSEMENT OF CONSTRUCTION, MATERIALS OR FENCE AT THE DEPLINE OR PROTECTION ZONE (72") WHEN SPECIFIED IN AN APPROVED ARBORIST REPORT.**

SYMBOL	QTY	BOTANICAL / COMMON NAME	CONT	HEIGHT/SPREAD	CAL.	WUCOLS	SIZE AT MATURITY
	2	EXISTING TREE TO BE REMOVED	N/A	N/A	N/A	N/A	N/A
	11	EXISTING TREE TO REMAIN / PROTECT IN PLACE	N/A	N/A	N/A	N/A	N/A
	1	QUERCUS AGROFOLIA / COAST LINE OAK	24" BOX	8-10' HT. X 3'-4" SPM.	2" CAL.	VERY LOW	20-70' HT. X 25-40' SPM.

SHRUBS						
4	BUXUS SEMPERVIRENS / AMERICAN BOXWOOD	888	24" O.C.	MODERATE	-	
TO BE SHAPED FOR A UNIFORM, GLOBE FORM, 24" DIAMETER						
18	BUXUS SEMPERVIRENS 'SUFFRUTICOSA' / DWARF ENGLISH BOXWOOD	1 GAL.	12" O.C.	MODERATE	1-2' HT. X 1-2' SPR.	

GROUND COVERS

647 SF	EXISTING LANDSCAPE TO REMAIN / PROTECT I N PLACE
633 SF	MULCH

SYMBOL	QTY	NAME
MATERIALS		
-----	25 LF	ROOT BARRIER

1 TREE GRATE
MANUFACTURER: NEENAH FOUNDRY
SIZE: 72" L X 72" W

All 15 gal. trees must meet the following minimum specifications:

1. HEIGHT: 7 - 8 feet high planted in the ground.
2. CALIPER: 1-1/2 inches, measured 6 inches from the base.
3. BRANCHING NEED: Minimum spread of 2 - 3 feet.

Any exception to the above must be approved by the Town Arborist.

1. Dip the Age before the large diameter and ± 102 mm is allowed as the tolerance in which the plant was delivered. Provide a 6 inch diameter hole in the center of the plant.
2. The existing soil on site is to be removed at a depth of 12" and replaced with U.C. Ag mix or approved equivalent. U.C. Ag mix will be backfilled with existing soil. 10% to 25% refuse soil.
3. Fill hole with the backfill mix to 18" below the subsoil.
4. Place 3 Plastic Paving Tablets per table per equivalent spacing. Tablets shall be 21" long with a pavement seal analysis of 20-30%.
5. Remove the subsoil directly from the container by spreading it from beneath the container with a 20" or greater shovel with sharp edges or pick. If the rootball is dense or compressed, cut through the roots in the center of the rootball. Do not pull the rootball apart. The sawing of large roots will encourage new roots infusing at the cut.
6. Fill around the rootball with backfill and pack the soil with the shovel handle or pole. Do not tread or beat the rootball loose.
7. Use the remaining native soil to create a basin appropriate to the size of the container.

APPROVED BY	DATE		TREE PLANTING SPECIFICATIONS	STD. PLAN NO.
	NOVEMBER 2010			ST-235
TOWN ENGINEER				

PLAN VIEW

RADIUS: 18" X
10"

ELEVATION

6" MIN.
1' MAX.
1' MAX.
1' MAX.

PLANTING MIX
SHOVEL OUT ALL SIDES OF PIT
→ RECOMPACTED NATIVE SOIL

NOTES

- 1. PLANT TREE #7 HIGHER THAN DEPTH AT WHICH CROWN BEGINS TO SPREAD
- 2. DAMAGE TO ROOTS. AVOID FOOTFALL WHEN PLACING STAKES
- 3. TREE TYPE SHALL BE DETERMINED BY TREND SUPERINTENDENT
- 4. 12 GA. WIRE, TWIST TO TIGHTEN
- 5. 10" Ø SHAMTER PRESSURE TREATED POLES 1 FT
- 6. 10" DIA BLACK RUBBER HOSE 1 FT
- 7. CENTER TREE IN FIT
- 8. PUT SURFACE OFF TOP 13" OF ROOT
- 9. 2" DEPTH MULCH AS SPECIFIED
- 10. 2" WATER BARRI

APPROVED BY _____ DATE _____
TREND ENGINEER _____ NOVEMBER 2011

TREE PLANTING DETAIL

SEE PLAN NO. STD-234

LS100



chitect

MBH

950 atlantic avenue
Alameda, CA 94501
510 865 8663
mbharch.com

PRELIMINARY SET NOT
FOR CONSTRUCTION

Kimley»Horn™
KIMLEY-HORN & ASSOCIATES
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05/21/2025 TECH REVIEW COMMENTS

Project No. 197432006

Submitted by:	TC
Reviewed by:	CC

Case	As noted
------	----------

PRELIMINARY

LANDSCAPE

LS101



SYMBOL	QTY	BOTANICAL / COMMON NAME	CONT	HEIGHT/SPREAD	CAL	WUCOLS	SIZE AT MATURITY
TREES							
	2	EXISTING TREE TO BE REMOVED	N/A	N/A	N/A	N/A	N/A



11	EXISTING TREE TO REMAIN / PROTECT IN PLACE	NA	NA	NA	NA	NA
----	--	----	----	----	----	----

	1	QUERCUS AGRIFOLIA / COAST LIVE OAK	24" BOX	8-12' HT. X 3'-4" SFR.	2" CAL.	VERY LOW	20-70' HT. X 25-60' SFR.
	SYMBOL	QTY	BOTANICAL / COMMON NAME	CONT.	SPACING	WUCOLS	

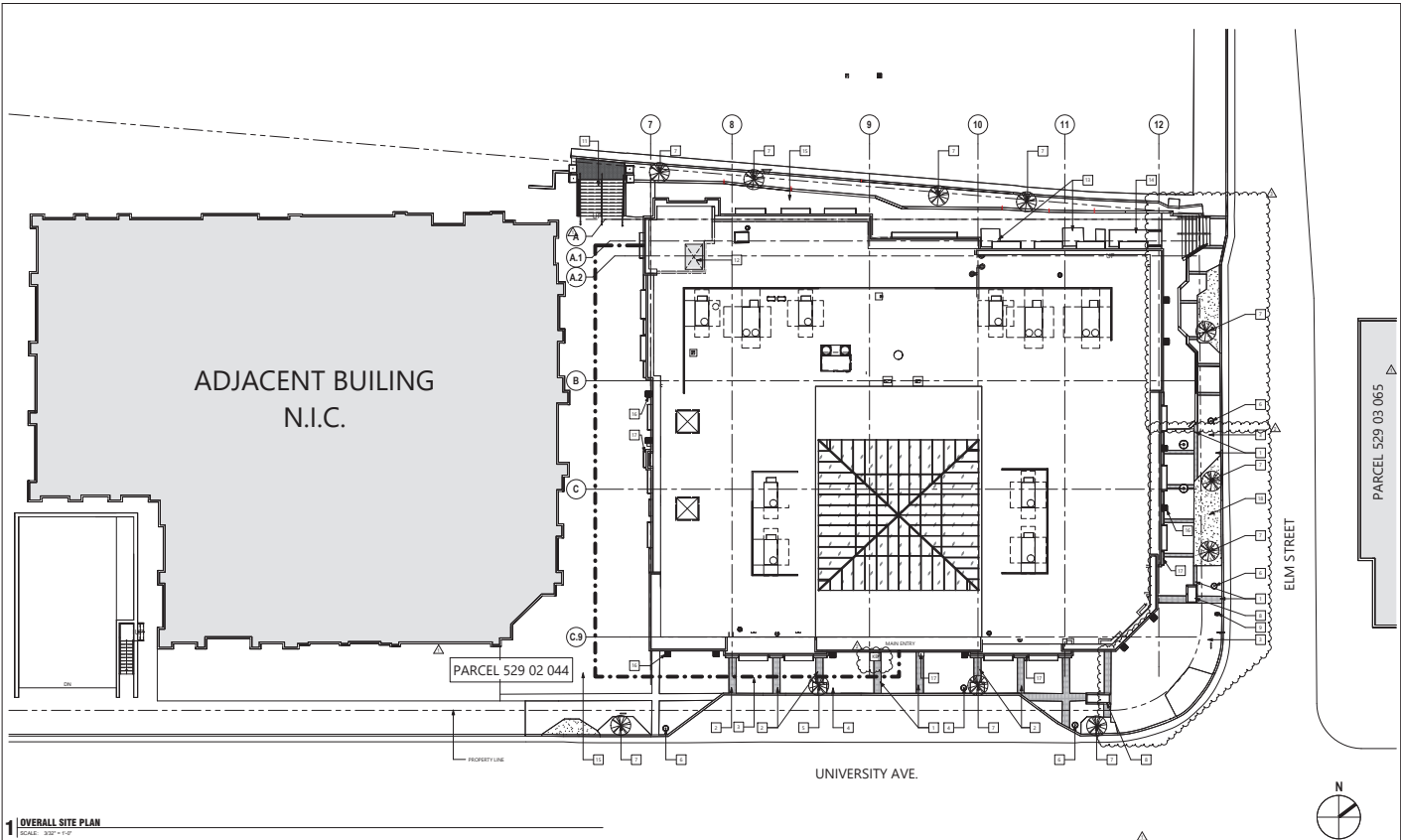
SHRUBS						
	4	BUSUS SEMPERVIRENS / AMERICAN BOXWOOD	848	24" O.C.	MODERATE	
	18	TO BE SHAPED FOR A UNIFORM, GLOBE FORM, 24" DIAMETER BUSUS SEMPERVIRENS 'SUFFRUTICOSA' / DWARF ENGLISH BOXWOOD	1 GAL.	12" O.C.	MODERATE	
SYMBOL		QTY	BOTANICAL / COMMON NAME			
GROUND COVERS						

	647 SF	EXISTING LANDSCAPE TO REMAIN / PROTECT IN PLACE
	430 SF	MULCH 2" DEPTH TOWN STANDARD MULCH MATERIAL
SYMBOL	QTY	NAME
MATERIALS		
	25 LF	ROOT BARRIER

	<p>4 ROUND PLANTER POT (CLIENT FURNISHED)</p>	
	<p>1 TREE GRATE MANUFACTURER: NEEDHAM FOUNDRY SIZE: 72" L X 72" W COLLECTION: BOULEVARD</p>	

TREE INVENTORY TABLE

TREE #	COMMON NAME	BOTANICAL NAME	DBH (IN)	CANOPY SPREAD (FT)	VITALITY RATING (%)	STRUCTURE RATING (N)	FORM RATING (N)	PROTECTED TREE	SAVED/REMOVED/PRUNED	REASON FOR REMOVAL	TREE PROTECTION AREA TYPE
①	GALLERY PEAR	PIRUS CALLERYANA	6.2	10	50	50	50	X	SAVED	N/A	8
②	GALLERY PEAR	PIRUS CALLERYANA	5.6	8	30	40	35	X	SAVED	N/A	8
③	GALLERY PEAR	PIRUS CALLERYANA	2.4	4	10	10	10	N	SAVED	N/A	8
④	GALLERY PEAR	PIRUS CALLERYANA	6.6	10	50	50	50	X	SAVED	N/A	8
⑤	GALLERY PEAR	PIRUS CALLERYANA	4.9	10	40	50	45	X	SAVED	N/A	8
⑥	COAST LINE OAK	QUERCUS AGRIFOLIA	21.1	40	80	50	65	X	SAVED	N/A	8
⑦	COAST LINE OAK	QUERCUS AGRIFOLIA	20.7	30	80	50	65	X	SAVED	N/A	8
⑧	COAST LINE OAK	QUERCUS AGRIFOLIA	9.0	18	60	50	55	X	SAVED	N/A	8
⑨	COAST LINE OAK	QUERCUS AGRIFOLIA	12.5	16	50	50	50	X	SAVED	N/A	8
⑩	COAST LINE OAK	QUERCUS AGRIFOLIA	9.3	20	30	50	40	X	SAVED	N/A	8
⑪	GRAPE MYRTLE	LAGERSTROEMIA INDICA	3.0	7	70	50	60	X	REMOVED	CIVIL AND ARCHITECTURAL HARM/DAMAGE	N/A
⑫	COAST LINE OAK	QUERCUS AGRIFOLIA	7.0	18	60	50	65	X	REMOVED	CIVIL AND ARCHITECTURAL HARM/DAMAGE	N/A
⑬	COAST LINE OAK	QUERCUS AGRIFOLIA	20.8	30	80	50	65	X	SAVED	N/A	8



1 OVERALL SITE PLAN

Scale: 1/8" = 1'-0"

SITE PLAN GENERAL NOTES

1. REFER TO CIVIL DRAWINGS FOR OFF-SITE GRADING & DRAINAGE, SITE UTILITY & CITY STANDARD SITE IMPROVEMENTS DETAILS.
2. REFER TO LANDSCAPE DRAWINGS FOR SITE SPACE PLANNING, SITE DRAINAGE, STREET TREE & IRRIGATION IMPROVEMENTS & DETAILS.
3. REFER TO STRUCTURE DRAWINGS FOR ROOFING WALL & CLADDING IMPROVEMENTS.
4. CONFINING LOCATION SHALL COMPLY WITH CITY OF LOS ANGELES FIRE DEPARTMENT REQUIREMENTS.
5. ACCESSIBLE ROUTE IS NOT REQUIRED IN ALL AREAS.
6. GENERAL CONTRACTOR TO SUBMIT CONSTRUCTION PHASE FIRE ACCESS PLAN TO THE CITY OF LOS ANGELES FIRE DEPARTMENT FOR APPROVAL PRIOR TO THE BEGINS PHASE OF CONSTRUCTION.
7. ROAD HEIGHT CLEARANCE SHALL MEET CEC SECTION 11.16A FOR MANUAL, ROADSIDE WALLS AND CIRCULATION MEAS. MINIMUM CLEARANCE OF 8' SHALL BE MAINTAINED THROUGHOUT.
8. PROVIDE TRAFFIC REFLECTORS AT ALL PEDESTRIAN CIRCULATION THAT CROSSES OVER VEHICLE TRAFFIC LANES. REFLECTORS TO BE LOCATED ALONG PARK LANE AT BOTH ENDS OF CROSS WALK. SPACE REFLECTORS AT 2' IF U.C. OR PER CITY STANDARDS.

SITE PLAN LEGEND

- PROPERTY LINE
- ACCESSIBLE PATH OF TRAVEL
- EXISTING ADJACENT BUILDINGS
- FIRE DEPARTMENT KNOX BOX LOCATION AT MAIN ENTRY DOOR

SITE PLAN KEYNOTES

KEYNOTES - SITE PLAN	NOTE
1	REFER TO CIVIL DRAWINGS FOR OFF-SITE GRADING & DRAINAGE, SITE UTILITY & CITY STANDARD SITE IMPROVEMENTS DETAILS.
2	REFER TO LANDSCAPE DRAWINGS FOR SITE SPACE PLANNING, SITE DRAINAGE, STREET TREE & IRRIGATION IMPROVEMENTS & DETAILS.
3	REFER TO STRUCTURE DRAWINGS FOR ROOFING WALL & CLADDING IMPROVEMENTS.
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7	ROAD HEIGHT CLEARANCE SHALL MEET CEC SECTION 11.16A FOR MANUAL, ROADSIDE WALLS AND CIRCULATION MEAS. MINIMUM CLEARANCE OF 8' SHALL BE MAINTAINED THROUGHOUT.
8	PROVIDE TRAFFIC REFLECTORS AT ALL PEDESTRIAN CIRCULATION THAT CROSSES OVER VEHICLE TRAFFIC LANES. REFLECTORS TO BE LOCATED ALONG PARK LANE AT BOTH ENDS OF CROSS WALK. SPACE REFLECTORS AT 2' IF U.C. OR PER CITY STANDARDS.

RH

RH - LOS GATOS

Project Address

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Architect

MBH

1800 Atlantic Ave.
Berkeley, CA 94601
Tel 510 865 8861
Fax 510 865 1611

Scale



Consultant

PARCEL 529 03 065

Revisions and other technical information should be indicated on this sheet and not on individual sheets of the drawing set. All revisions shall be indicated on this sheet, including the date and name of the person making the revision.

No.	Date	Revised By	Revised For
1	10/18/2024	MBH	PRELIMINARY PACKAGE
2	11/06/2024	MBH	PLANNING SUBMITTAL
3	11/22/2024	MBH	SCHEMATIC DESIGN
4	01/09/2025	MBH	PLANNING SUBMITTAL 2
5	04/02/2025	MBH	TECHNICAL COMMENTS
6	07/01/2025	MBH	TECHNICAL COMMENTS 2
7	08/14/2025	MBH	TECHNICAL COMMENTS 3

Project

58485

Owner By

BD

Designed By

RN

Date

As Indicated

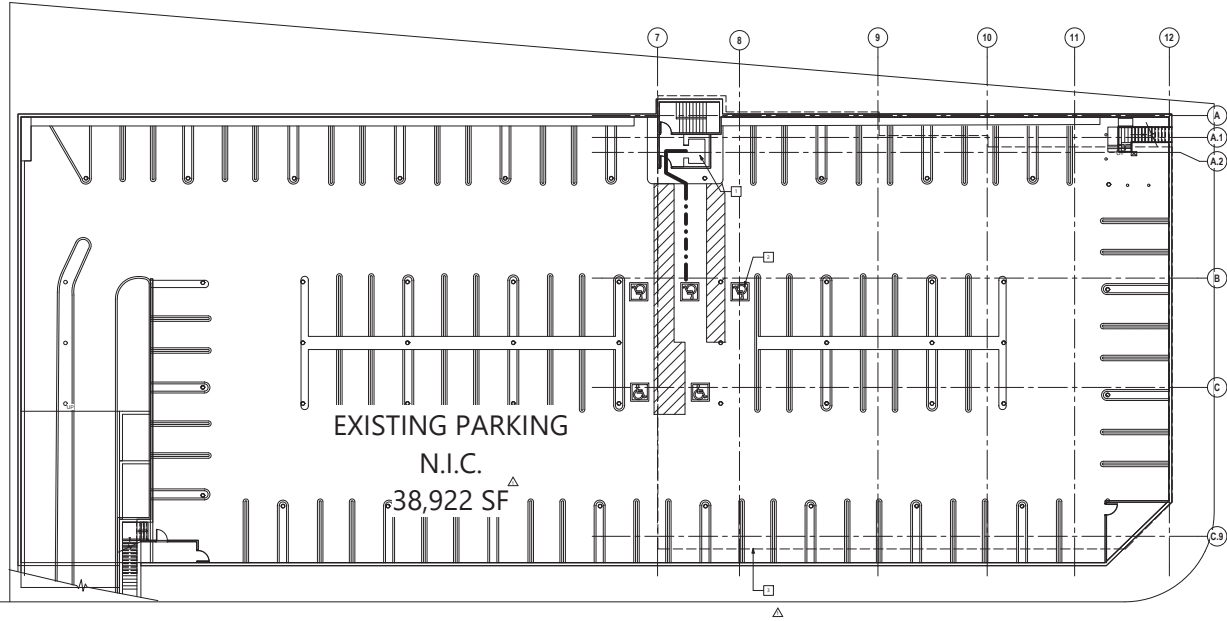
Drawing No.

ARCHITECTURAL

SITE PLAN PATH

OF TRAVEL

A004



1 BASEMENT PLAN
SCALE: 3/32" = 1'-0"

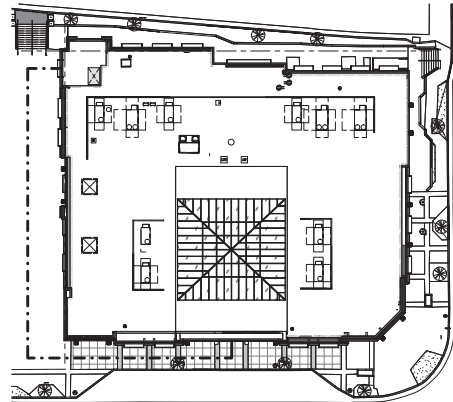
BASEMENT PLAN GENERAL NOTES

BASEMENT PLAN LEGEND

- PROPERTY LINE
- ACCESSIBLE PATH OF TRAVEL
- EXISTING ADJACENT BUILDINGS

BASEMENT PLAN KEYNOTES

KEYNOTES - BASEMENT PLAN	
MARK	NOTE
1	TO ELEVATOR TO ACCESSIBLE PARKING BELOW
2	TO REAR SERVICE YARD
3	TO OUTLINE OF BUILDING ABOVE



2 GROUND LEVEL ACCESSIBLE ROUTE PLAN
SCALE: 3/32" = 1'-0"

RH

RH - LOS GATOS

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Architect

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Alameda, CA 94601
Tel 510 885 8861
Fax 510 885 1611

Scale



Consultant

Revisions and other technical information should be indicated here and incorporated into the drawing set and not be incorporated into the drawing set. All revisions should be indicated here and incorporated into the drawing set and not be incorporated into the drawing set.

No.	Date	Revised
10/18/2024	10/18/2024	PRE-APPLICATION PACKAGE
11/06/2024	11/06/2024	PLANNING SUBMITTAL
11/22/2024	11/22/2024	10% SCHEMATIC DESIGN
01/09/2025	01/09/2025	PLANNING SUBMITTAL 2
03/06/2025	03/06/2025	TECHNICAL REVIEW COMMENTS
05/07/2025	05/07/2025	TECHNICAL REVIEW COMMENTS 2

Project: 59485

Drawn By: BJD

Reviewed By: RN

Scale: As Indicated

Drawing Title

EXISTING
BASEMENT
PARKING
PLAN

Drawing No.

A005

RH

RH - LOS GATOS

Project Address
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MBH
960 Atlantic Ave.
Alameda, CA 94601
Tel 510 885 8863
Fax 510 885 1611

Scale



Consultant

Revisions and other notations regarding design changes and other information shall be recorded in this section of the drawing. All changes shall be made in accordance with the following table:

No.	Date	Description
1	10/18/2024	PRE-APPLICATION PACKAGE
2	11/06/2024	PLANNING SUBMITTAL
3	11/22/2024	80% SCHEMATIC DESIGN
4	01/09/2025	PLANNING SUBMITTAL 2
5	03/06/2025	TECHNICAL COMMENTS
6	05/07/2025	TECHNICAL COMMENTS 2

Project

SR485

Drawn By

BD

Checked By

RN

Scale

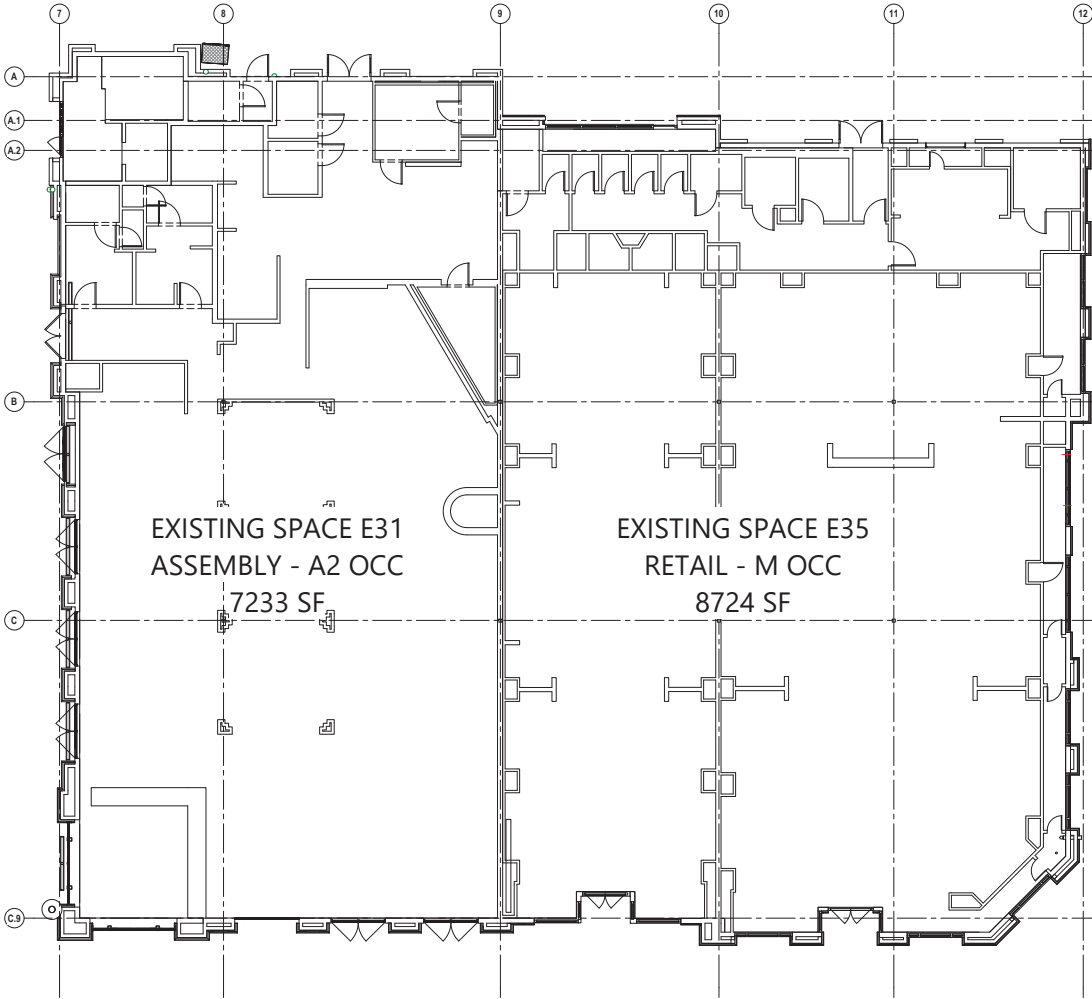
3/16" = 1'-0"

Drawing Title

EXISTING
FLOOR PLAN

Drawing No.

A005.1



1 EXISTING FLOOR PLAN
SCALE: 3/16" = 1'-0"





RH - LOS GATOS

Project Address
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LOS GATOS, CA 95030

Architect
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950 Atlantic Ave
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Contractor

Rev	Revised
01/01/2018	TECH REVIEW COMMENTS 1
06/11/2018	TECH REVIEW COMMENTS 2
07/14/2018	TECH REVIEW COMMENTS 3

Project: 094485

Drawn By: BCD

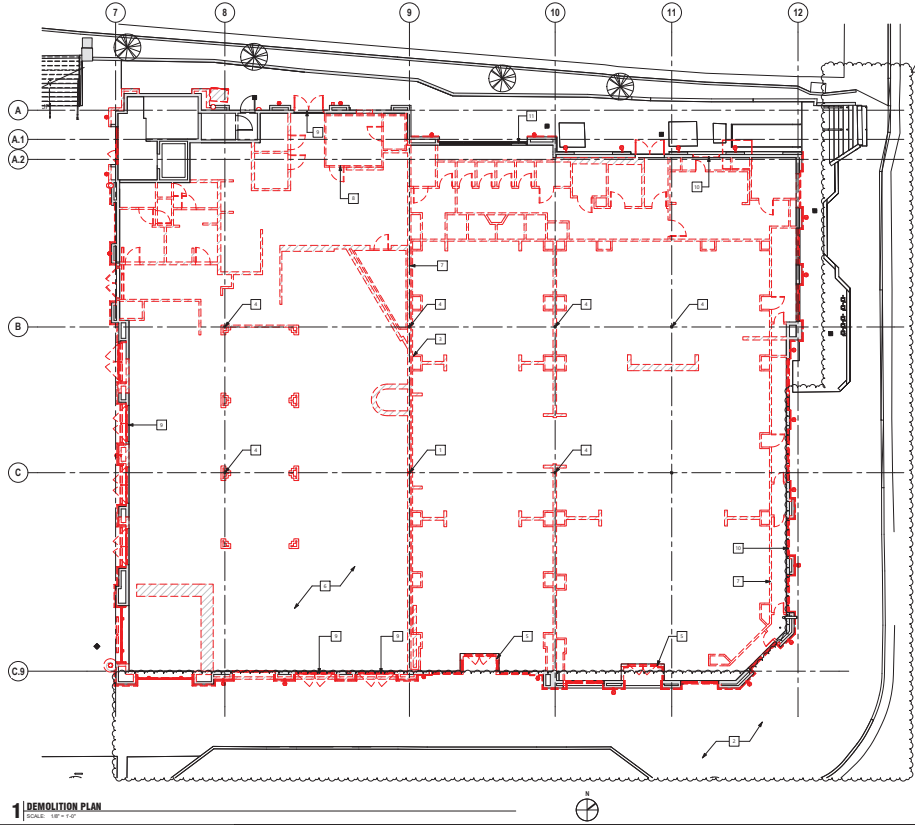
Reviewed By: RBN

Scale: As Indicated

Drawing Title:

DEMOLITION PLAN

Drawing No:
A006



1 DEMOLITION PLAN
SCALE: 1/8" = 1'-0"

DEMOLITION PLAN GENERAL NOTES

1. THE GC SHALL VERIFY ALL DIMENSIONS SHOWN PRIOR TO COMMENCEMENT OF WORK. SEND DOCUMENT WITH VERIFICATION OR DEVIATION FROM THESE PLANS TO ARCHITECT VIA EMAIL.
2. IF EXISTING DEMOLITION CONDITIONS ARE REVEALED THAT MAY AFFECT THE RESULTS OF STRUCTURE OR FINISHES, THE GENERAL CONTRACTOR SHALL NOTIFY ARCHITECT BEFORE PROCEEDING WITH WORK.
3. AT EXISTING WALLS TO REMAIN, PATCH AND REPAIR AS REQUIRED TO PROVIDE A SMOOTH, UNPAINT READY FINISH.
4. DEMOLISH EXISTING WALLS AND DOORS AS NECESSARY.
5. DEMOLISH EXISTING FLOOR FINISHES AS NECESSARY. REPAIR OR REPLACE SUB FLOOR AS REQUIRED TO PROVIDE AN EVEN FINISHING SURFACE FOR NEW FLOOR CONSTRUCTION.
6. DEMOLISH EXISTING CEILING WALL FINISHES, CEILING, HALL GRAB, PROVIDE OTHER CEILING FINISH AS NECESSARY TO PROVIDE FOR NEW CEILING READY CONDITION.
7. REMOVE EXISTING EQUIPMENT AS NECESSARY.
8. ALL DIMENSIONS ON PARTITION PLANS AND DEMOLITION PLANS ARE TO FINISH. ALL DIMENSIONS ON OTHER SHEETS ARE TO FACE OF FRAME. DO NOT ASSUM ANY DIMENSIONS WITHOUT WRITING INSTRUCTION FROM THE ARCHITECT. IF UNABLE TO LOCATE DIMENSIONS, FOR ANY ITEM OF WORK, CONSULT WITH THE ARCHITECT TO OBTAIN CLARIFICATION BEFORE PROCEEDING WITH CONSTRUCTION.
9. COLUMN CENTER LINES (CL) LINES ARE SHOWN FOR REFERENCE DIMENSIONING, VERIFY EXACT LOCATIONS IN FIELD.
10. G.C. TO COORDINATE CONSTRUCTION BARBER FINAL CONFIGURATION AND REQUIREMENTS WITH ALL AGENCIES INVOLVED.

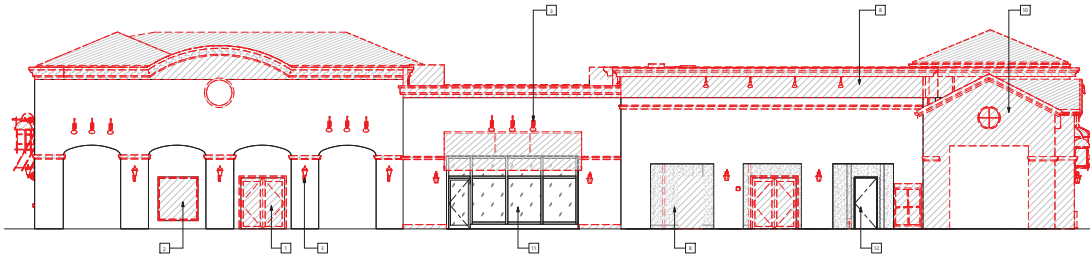
NOTE: UPON COMPLETION OF DEMOLITION WORK, GENERAL CONTRACTOR TO VERIFY ALL INDICATED DIMENSIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES.

DEMOLITION PLAN LEGEND

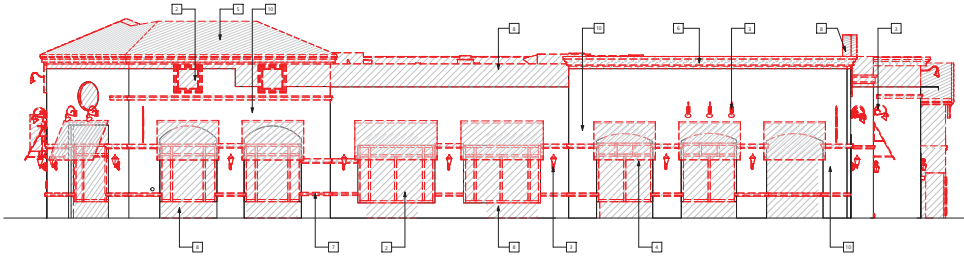
- Room Name: ROOM NAME
Room Number: ROOM NUMBER
- (E) DOOR TO REMAIN
- (E) DOOR TO BE REMOVED
- (E) WALL/PARTITION TO BE DEMOLISHED. SEE STRUCTURAL DWGS.
- (E) WALL/PARTITION TO REMAIN
- (E) TO BE REMOVED
- LEVEL CHANGE

DEMOLITION PLAN KEYNOTES

KEYNOTES - DEMO PLAN
1. DEMOLISH EXISTING WALLS AND DOORS AS NECESSARY.
2. DEMOLISH EXISTING FLOOR FINISHES AS NECESSARY.
3. DEMOLISH EXISTING CEILING WALL FINISHES, CEILING, HALL GRAB, PROVIDE OTHER CEILING FINISH AS NECESSARY.
4. REMOVE EXISTING EQUIPMENT AS NECESSARY.
5. DEMOLISH EXISTING WALLS AND DOORS AS NECESSARY.
6. DEMOLISH EXISTING FLOOR FINISHES AS NECESSARY.
7. DEMOLISH EXISTING CEILING WALL FINISHES, CEILING, HALL GRAB, PROVIDE OTHER CEILING FINISH AS NECESSARY.
8. REMOVE EXISTING EQUIPMENT AS NECESSARY.
9. DEMOLISH EXISTING WALLS AND DOORS AS NECESSARY.
10. DEMOLISH EXISTING FLOOR FINISHES AS NECESSARY.
11. DEMOLISH EXISTING CEILING WALL FINISHES, CEILING, HALL GRAB, PROVIDE OTHER CEILING FINISH AS NECESSARY.
12. REMOVE EXISTING EQUIPMENT AS NECESSARY.



1 DEMOLITION EXTERIOR ELEVATION - NORTH



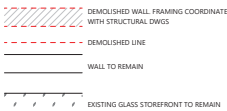
2 DEMOLITION EXTERIOR ELEVATION - EAST

DEMOLITION GENERAL NOTES

1. THE GC SHALL VERIFY ALL DIMENSIONS SHOWN PRIOR TO COMMENCEMENT OF WORK. SEND DOCUMENT WITH VERIFICATION OR DEVIATIONS FROM THESE PLANS TO ARCHITECT VIA EMAIL.
2. IF DURING DEMOLITION CONDITIONS ARE OBSERVED THAT MAY COMPROMISE INTEGRITY OF STRUCTURE OR INCLUDE COLLAPSING DANGER ZONE, GENERAL CONTRACTOR TO NOTIFY ARCHITECT BEFORE PROCEEDING WITH WORK.
3. AT EXISTING WALLS TO REMAIN, PATCH AND REPAIR AS REQUIRED TO PROVIDE A SMOOTH, FINISH READY FINISH.
4. DEMOLISH EXISTING WALLS AND DOORS AS NECESSARY. REPAIR OR REPLACE SUB-FLOOR AS REQUIRED TO PROVIDE AN EVEN FINISHING SUB-FLOORING FLOOR CONDITION.
5. DEMOLISH EXISTING CEILING WALL BOARDS, CEILING TILE, GIRD AND/OR OTHER CEILING FINISH AS NECESSARY TO PROVIDE FOR NEW CEILING READY CONDITION.
6. REMOVE EXISTING EQUIPMENT AS NECESSARY.
7. ALL DIMENSIONS ON PARTITION PLAN AND DEMOLITION PLAN ARE TO REMAIN. ALL DIMENSIONS ON OTHER SHEETS ARE FINISH TO FACE. FINISH TO FACE IS NOT AVOID ANY DIMENSIONS BETWEEN PARTITION INSTRUCTIONS FROM THE ARCHITECT. IF UNABLE TO LOCATE DIMENSIONS FOR ANY ITEM OF WORK, CONSULT WITH THE ARCHITECT TO OBTAIN CLARIFICATION BEFORE PROCEEDING WITH CONSTRUCTION.
8. COLUMN CENTER LINES / GRID LINES ARE SHOWN FOR REFERENCE DIMENSIONING. VERIFY EXACT LOCATION OF WALL.
9. TO COORDINATE CONSTRUCTION BARBERS FINAL CONFIGURATION AND REQUIREMENTS WITH US AND CLIENT CONSTRUCTION MANAGER.

NOTE: UPON COMPLETION OF DEMOLITION WORK, GENERAL CONTRACTOR TO VERIFY ALL INDICATED DIMENSIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES.

DEMOLITION ELEVATION LEGEND



DEMOLITION ELEVATION KEYNOTES

KEYNOTES - DEMO EXTERIOR ELEVATIONS	
NAME	NOTES
1	ALL EXISTING DOORS TO BE REMOVED TOP
2	ALL EXISTING WINDOWS TO BE REMOVED
3	ALL EXISTING LIGHT FIXTURES TO BE REMOVED
4	ALL EXISTING CEMENTS TO BE REMOVED
5	EXISTING TIE ROD AND STRUCTURE TO BE REMOVED TOP
6	EXISTING DECORATIVE WALL CAP AND PARTS TO BE REMOVED
7	EXISTING WALL BASE TO BE REMOVED
8	PART OF EXISTING WALL TO BE REMOVED MATCHED GRAY COORDINATE WITH STRUCTURAL
9	ALL EXISTING ROOFING TO BE REMOVED
10	ALL WALL, EXISTING AND DECORATIVE ELEMENTS TO BE REMOVED DOWN TO FACE OF EXISTING SHEATHING TOP
11	EXISTING EXTERIOR WALL DOOR TO REMAIN
12	EXISTING DOOR TO REMAIN

RH

RH - LOS GATOS

Project Address

31 UNIVERSITY AVE.
LOS GATOS, CA 95030

Architect

MBH

1800 Atlantic Ave.
Alhambra, CA 94501
Tel 510 885 8863
Fax 510 885 1611

Scale



Consultant

Issued and other technical specifications, drawings, and other information shall be the responsibility of the Architect and shall not be construed as a contract document or a part of the contract.

01/05/2025 TECH REVIEW COMMENTS
06/21/2025 TECH REVIEW COMMENTS 2

Project: 59485

Drawn By: BJD

Checked By: RN

Scale: As Indicated

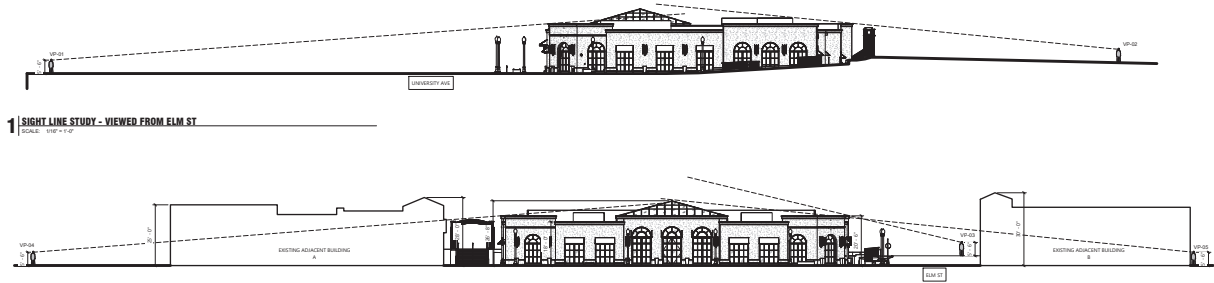
Drawing No.

DEMOLITION
EXTERIOR
ELEVATIONS

Drawing No.

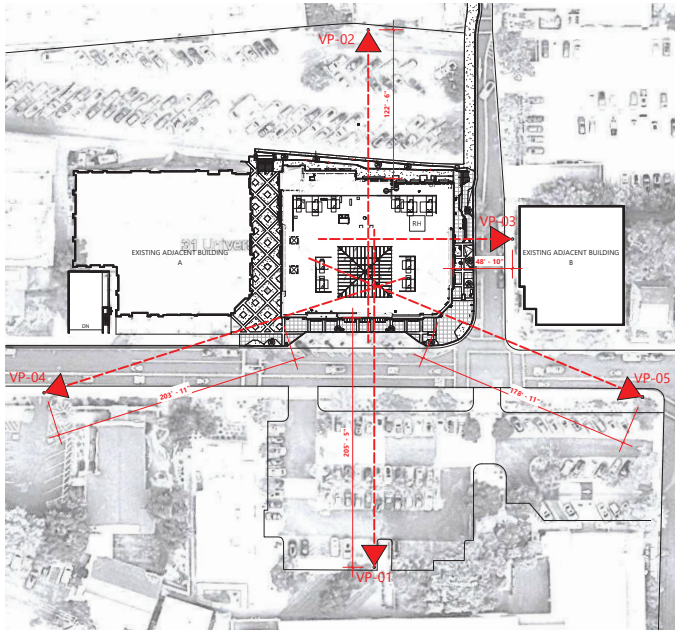
A006.3





1 SIGHT LINE STUDY - VIEWED FROM ELM ST

2 SIGHT LINE STUDY - VIEWED FROM UNIVERSITY AVE



3 SIGHT LINE STUDY - KEY PLAN

SIGHT LINE LEGEND



RH

RH - LOS GATOS

Project Address
31 UNIVERSITY AVE.
LOS GATOS, CA 95030

Architect

MBH
940 Atlantic Ave
Alameda, CA 94601
Tel 510 865 8661
Fax 510 865 1611

Scale



Consultant

Notwithstanding to whomsoever these conditions and obligations may be assigned, the Architect shall remain responsible for the design and construction of the project and shall not be relieved of its obligations by any assignment of the project.

01/05/2025 TECH REVIEW COMMENTS
02/13/2025 TECH REVIEW COMMENTS 2

Project 59485

Drawn By BJD

Checked By RIN

Scale As indicated

Drawing Title

SIGHT LINE STUDY

Drawing No.

A007^Δ

RH

RH - LOS GATOS

Project Address

31 UNIVERSITY AVE.
LOS GATOS, CA 95030

Architect

MBH 960 Atlantic Ave.
Alameda, CA 94601
Tel 510 865 8661
Fax 510 865 1611

Scale



Consultant

Architect and/or architect-representative hereby certifies that the undersigned is the author of the architectural work or substantial portion thereof, and that the work was prepared by the architect or under the direct supervision and control of the architect.

01/01/2015 TECH REVIEW COMMENTS
02/01/2015 TECH REVIEW COMMENTS 2

Project 59485

Drawn By: BD

Reviewed By: RN

Scale As indicated

Drawing Title

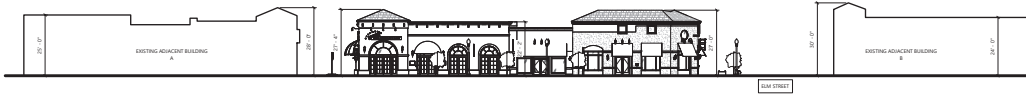
MASSING
ELEVATIONS

Drawing No.

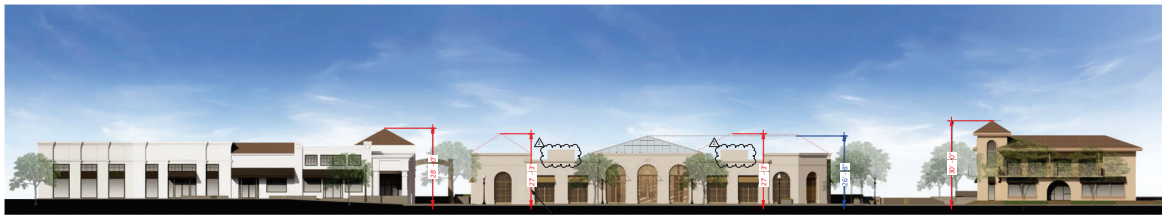
A008



1 PROPOSED BUILDING VIEW FROM UNIVERSITY AVE



2 EXISTING BUILDING VIEW FROM UNIVERSITY AVE



3 COLORED MASSING ELEVATION



4 MASSING SOUTH ELEVATION - VIEW FROM UNIVERSITY AVE

RH

RH - LOS GATOS

Project Address
31 UNIVERSITY AVE.
LOS GATOS, CA 95030

Architect
MBH
960 Atlantic Ave.
Alameda, CA 94601
Tel 510 865 8663
Fax 510 865 1611

Scale



Consultant

Architect and/or architect-representative shall be responsible for obtaining all necessary permits and shall be responsible for obtaining all necessary approvals and permits from the appropriate authorities. The architect shall not be responsible for obtaining any other permits or approvals from the appropriate authorities.

05/05/2025 TECH REVIEW COMMENTS
06/21/2025 TECH REVIEW COMMENTS 2

Project: 59485

Drawn By: BD

Checked By: RN

Scale: 3/16" = 1'-0"

Drawing Title:

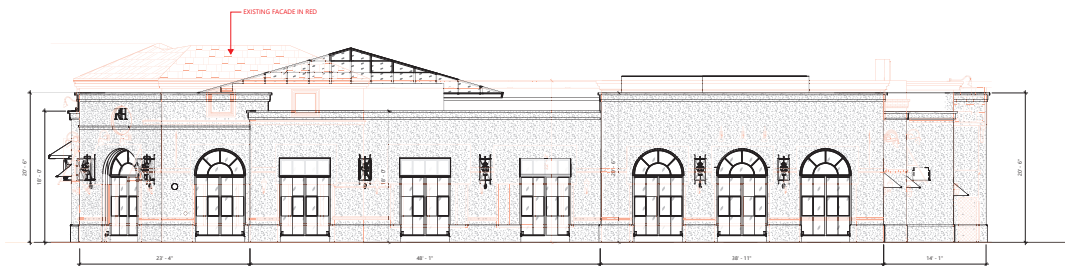
EXTERIOR
ELEVATIONS
COMPARISON

Drawing No.

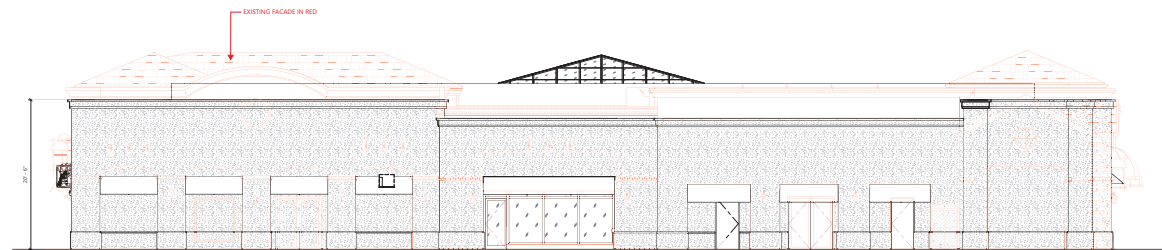
A009 ^Δ



3 | PROPOSED WEST ELEVATION - VIEW FROM COURTYARD
SCALE: 3/16" = 1'-0"



2 | PROPOSED EAST ELEVATION - VIEW FROM ELM ST
SCALE: 3/16" = 1'-0"



1 | PROPOSED NORTH ELEVATION - VIEW FROM REAR PARKING LOT
SCALE: 3/16" = 1'-0"



RH - LOS GATOS

Project Address
31 UNIVERSITY AVE.
LOS GATOS, CA 95030

Architect
MBH
950 Atlantic Ave
Alameda, CA 94601
Tel 510 865 8663
Fax 510 865 1611



Consultant

Design and/or construction documents are prepared by the Architect and may not be modified without the written consent of the Architect.

No.	Date	Revised
1	10/26/2024	PRE-APPLICATION PACKAGE
2	11/06/2024	PLANNING SUBMITTAL
3	11/06/2024	10% SCHEMATIC DESIGN
4	01/06/2025	PLANNING SUBMITTAL 2
5	03/06/2025	TECH REVIEW COMMENTS
6	05/06/2025	TECH REVIEW COMMENTS 2

Project: 254455

Drawn By: BCD

Reviewed By: RBN

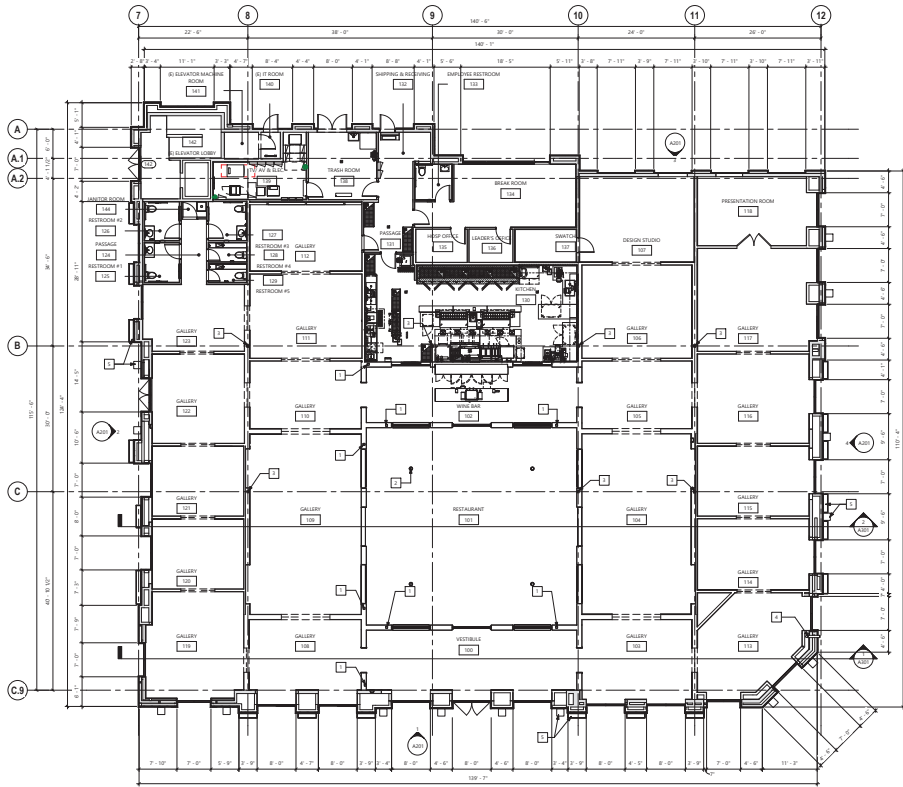
Scale: 1/8" = 1'-0"

Drawing Title:

FLOOR PLAN

Drawing No.

A101



1 FLOOR PLAN

SCALE: 1/8" = 1'-0"



FLOOR PLAN GENERAL NOTES

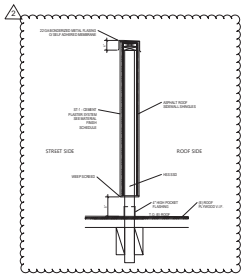
1. CONTRACTOR SHALL REVIEW ALL DOCUMENTS, VERIFY ALL DIMENSIONS AND FIELD CONDITIONS, AND SHALL CORRECT THAT WORK IS SUBSTANTIAL AS SHOWN. ANY DISCREPANCY OR OMISSION SHALL BE REPORTED TO THE ARCHITECT FOR CLARIFICATION PRIOR TO STARTING WORK IN QUESTION.
2. ALL DIMENSIONS ARE TO FACE UNLESS NOTED.
3. ALL DOOR DRAWINGS OFFSET FROM PERPENDICULAR WALL 1/2" UNLESS NOTED.
4. CONTRACTOR SHALL VERIFY LOCATIONS OF EXISTING AND PROPOSED DOORS FOR REVIEW BY THE ARCHITECT PRIOR TO INSTALLATION. REVIEW WILL BE FOR DESIGN INTENT. CONTRACTOR SHALL COORDINATE AND VERIFY ALL CONDITIONS TO RESOLVE PROBLEMS.
5. THE CONTRACTOR SHALL PROVIDE BACKING FOR ALL CASWORK, COUNTERTOPS, FIXTURES AND SPECIAL EQUIPMENT. LOCAL, VERIFY EXISTING HEIGHT OF BACKING PLATES AND INTERIOR WALL BRACING WITH SURFACES, MANUFACTURERS, AND FIELD NOTES.
6. "TOP" SIGNIFIES MEAN THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT. BRACES/STIFFENERS/NOTES DETAILS ARE USUALLY KATO AND NOTED "TOP". ONLY ONCE WHEN THEY FIRST OCCUR.
7. "NOT" SHALL MEAN CONTRASTING CHARACTERISTICS FOR THE CONDITIONS NOTED. VERIFY DIMENSIONS AND ORIENTATION ON PLANS AND ELEVATIONS.
8. "READY" MEANS ACCURATELY LOCATED FINISHED FACES IN SAME PLANE.
9. REFER TO LANDSCAPE DRAWINGS FOR PLANTING, STREET TREES, SIDE WALK SCENE PATTERNING & IRRIGATION IMPROVEMENTS & DETAILS.
10. REFER TO CIVIL DRAWINGS FOR CIVIL IMPROVEMENTS INCLUDING GRADING, SITE UTILITY, SITE DRAINAGE & CITY EXCHANGING SITE IMPROVEMENTS.

FLOOR PLAN LEGEND

- NEW WALL
- EXISTING WALL
- PROPERTY LINE
- WALL/PARTITION SYMBOL - SEE PARTITION SCHEDULE
- DOOR TYPE
- WINDOW TYPE
- FLOOR ELEVATION
- ALIGN FACE OF FINISH, TYPICAL
- PLUMBING FIXTURE/ACCESSORY TYPE
- FINISH TYPE

FLOOR PLAN KEYNOTES

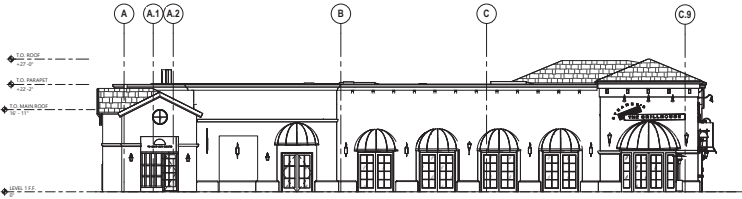
KEYNOTES - FLOOR PLAN	
MARK	NOTE
1	NOISE PROTECTION COLUMN
2	NOISE PROTECTION FOR SHOUTING - SEE STRUCTURAL DRAFTS FOR MORE INFORMATION
3	NOISE PROTECTION COLUMN
4	SHOUTING NOISE RISE
5	NOISE PROTECTION TOP



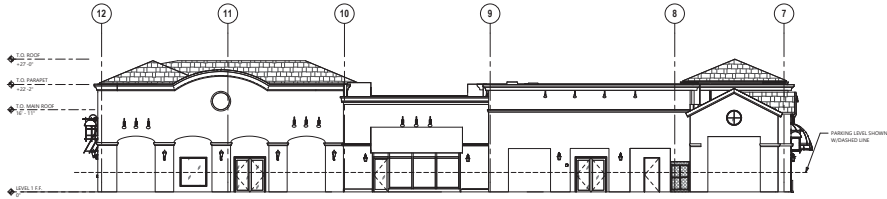
Page 289



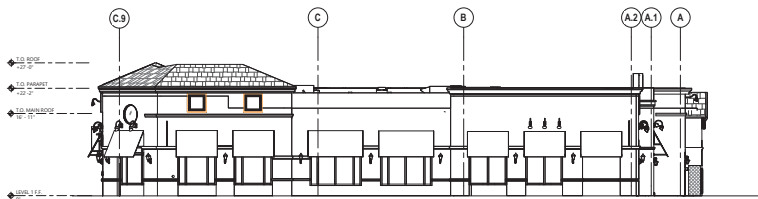
1 EXISTING - SOUTH ELEVATION



2 EXISTING - WEST ELEVATION



3 EXISTING - NORTH ELEVATION



4 EXISTING - EAST ELEVATION

RH

RH - LOS GATOS

Project Address
31 UNIVERSITY AVE.
LOS GATOS, CA 95030

Architect
MBH 940 Atlantic Ave.
Alameda, CA 94601
Tel 510 865 8661
Fax 510 865 1611

Scale



Consultant

Revisions and other technical information from construction and other related work of the Architect shall not be considered part of the contract documents unless approved by the Architect.

No.	Date	Description
10/18/2024	10/18/2024	PRE-APPLICATION PACKAGE
11/06/2024	11/06/2024	PLANNING SUBMITTAL
11/22/2024	11/22/2024	10% SCHEMATIC DESIGN
01/09/2025	01/09/2025	PLANNING SUBMITTAL 2
03/04/2025	03/04/2025	TECHNICAL COMMENTS
05/01/2025	05/01/2025	TECHNICAL COMMENTS 2

Project: 59485

Drawn By: BD

Reviewed By: RN

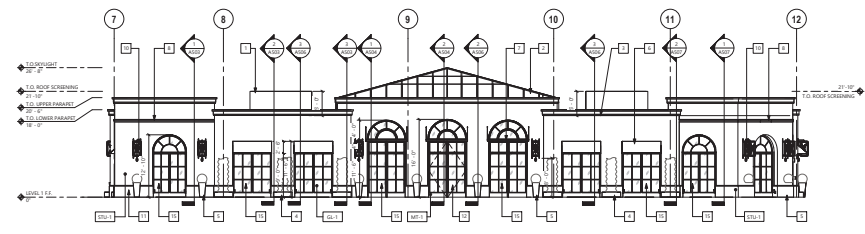
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Drawing Title

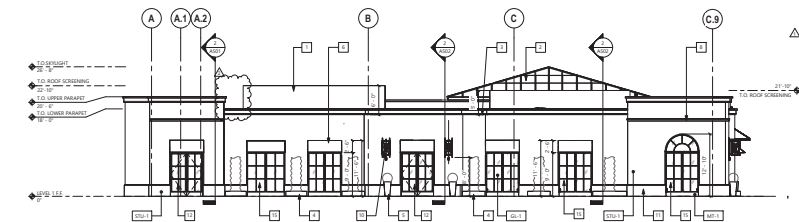
EXISTING
EXTERIOR
ELEVATIONS

Drawing No.

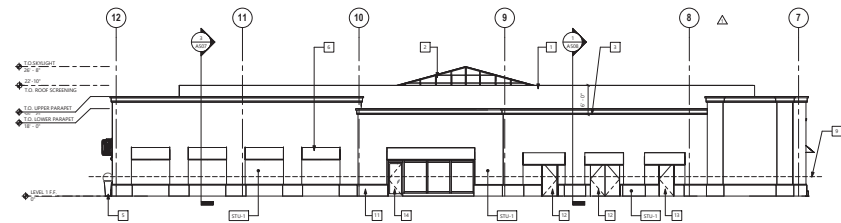
A200



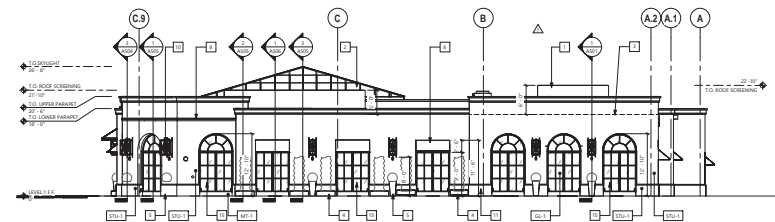
1 SOUTH ELEVATION - VIEW FROM UNIVERSITY AVE
SCALE: 1/8" = 1'-0"



2 WEST ELEVATION - VIEW FROM COURTYARD
SCALE: 1/8" = 1'-0"



3 NORTH ELEVATION - VIEW FROM PARKING LOT
SCALE: 1/8" = 1'-0"



4 EAST ELEVATION - VIEW FROM ELM ST
SCALE: 1/8" = 1'-0"

ELEVATION GENERAL NOTES

- 1. FOR FINISH SPECS SEE SHEET A201

ELEVATION LEGEND

ELEVATION KEYNOTES

KEYNOTES - EXTERIOR ELEVATION
1. ROOF SCREENER
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96. ROOF SCREENER
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99. ROOF SCREENER
100. ROOF SCREENER

RH

RH - LOS GATOS

Project Address
31 UNIVERSITY AVE,
LOS GATOS, CA 95030

Architect
MBH 360 Atlantic Ave
Alameda, CA 94601
Tel 510 885 8861
Fax 510 885 1611



Client
Project 59485
Order By BO
Reviewed By RBN
Scale 1/8" = 1'-0"
Drawing Title
EXTERIOR ELEVATIONS
Drawing No.
A201

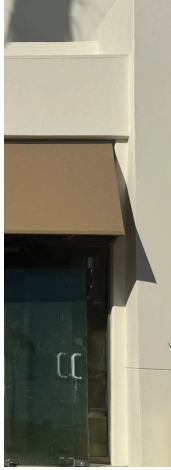


MT-1
-WINDOW FRAMES
-DOORS
-AWNING FRAMES

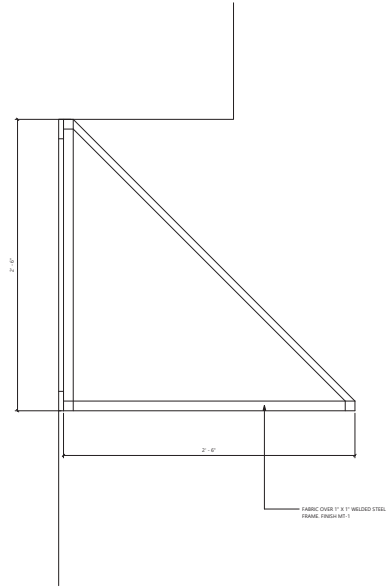
BRONZE COLOR FOR DESIGN INTENT.
COLOR WILL BE WINDOW MANUFACTURER SPEC.



STU-1
PLASTER SYSTEM
OFF-WHITE EXTERIOR GRADE FACADE PLASTER
FINISH



FABRIC AWNING

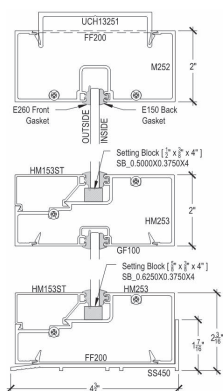


2 | AWNING DETAIL

1 | EXTERIOR MATERIAL FINISHES



3 | STOREFRONT SAMPLE



4 | ALUMINUM STOREFRONT PROFILES

RH

RH - LOS GATOS

Project Address
31 UNIVERSITY AVE,
LOS GATOS, CA 95030

Architect
MBH
960 Atlantic Ave
Berkeley, CA 94607
Tel 510 865 8663
Fax 510 865 1611

Owner
Contractor

Revisions and other notes regarding design, construction, and installation of the storefront shall only be made in accordance with the approved design and construction of the storefront.

Rev. Date Description
10/18/2024 PRE-APPLICATION PACKAGE
11/09/2024 PLANNING SUBMITTAL
11/22/2024 30% SCHEMATIC DESIGN
01/09/2025 PLANNING SUBMITTAL 2
06/05/2025 TECH REVIEW COMMENTS
06/10/2025 TECH REVIEW COMMENTS 2

Project 09485

Drawn By: BD

Reviewed By: RN

Scale As Indicated

Drawing Title

MATERIAL
FINISHES

Drawing No.
A601



1 | EXISTING BUILDING PHOTOS

RH

RH - LOS GATOS

Project Address
31 UNIVERSITY AVE.
LOS GATOS, CA 95030

MBH
940 Atlantic Ave
Alameda, CA 94601
Tel 510 865 8663
Fax 510 865 1611

Date



Consultant

Revisions and other notes regarding these conditions shall not constitute part of the original set of drawings and shall be maintained as such in accordance with the provisions of the contract documents.

Rev.	Date	Description
10/18/2024		PRE-APPLICATION PACKAGE
11/06/2024		PLANNING SUBMITTAL
11/22/2024		80% SCHEMATIC DESIGN
01/09/2025		PLANNING SUBMITTAL 2
03/06/2025		TECHNICAL COMMENTS
05/10/2025		TECHNICAL COMMENTS 2

Project: 59485

Owner: BDO

Designed By: RH

Scale: 1/2" = 1'-0"

Drawing Title

EXISTING
BUILDING
PHOTOS

Sheet No.
A800.1



1 | EXISTING BUILDING PHOTOS

RH

RH - LOS GATOS

Project Address
31 UNIVERSITY AVE.
LOS GATOS, CA 95030

MBH
360 Atlantic Ave.
Alameda, CA 94601
Tel 510 865 8663
Fax 510 865 1611



Consultant

Revisions and other notes regarding these drawings shall be indicated on the drawings and not on the sheets. The sheets shall not be altered or modified without the written approval of the Architect.

No.	Date	Revised
10/18/2024	PRE-APPLICATION PACKAGE	
11/06/2024	PLANNING SUBMITTAL	
11/22/2024	80% SCHEMATIC DESIGN	
01/09/2025	PLANNING SUBMITTAL 2	
03/06/2025	TECHNICAL COMMENTS	
09/01/2025	TECHNICAL COMMENTS 2	

Project

59485

Drawn By

BD

Checked By

RN

Scale

1/2" = 1'-0"

Drawing Title

EXISTING
BUILDING
PHOTOS

Drawing No.

A800.2



2 | EXTERIOR RENDER - VIEW FROM UNIVERSITY AVE - UPDATED TO SHOW ROOF EQUIPMENT SCREENS



1 | EXTERIOR RENDER - VIEW FROM UNIVERSITY AVE & ELM ST CORNER - NO ROOF EQUIPMENT SCREENS VISIBLE FROM THIS VANTAGE POINT

RH

RH - LOS GATOS

Project Address
31 UNIVERSITY AVE.
LOS GATOS, CA 95030

Architect
MBH 940 Atlantic Ave.
Alhambra, CA 94501
Tel 510 865 8963
Fax 510 865 1611

Date



Consultant

Revisions and other notes regarding these conditions shall be indicated on the drawings and shall be the responsibility of the Architect and shall not be the responsibility of the Client. The Client shall be responsible for the accuracy of the information provided to the Architect.

No.	Date	Revised
10/18/2024	PRE-APPLICATION PACKAGE	
11/06/2024	PLANNING SUBMITTAL	
11/22/2024	80% SCHEMATIC DESIGN	
01/09/2025	PLANNING SUBMITTAL 2	
04/06/2025	TECH REVIEW COMMENTS	
06/10/2025	TECH REVIEW COMMENTS 2	

Project: SR485

Owner: BDO

Designed By: RH

Scale: 1/2" = 1'-0"

Drawing Title:

EXTERIOR
BUILDING
RENDERS

Drawing No.

A801



2 | EXTERIOR RENDER - VIEW FROM ELM ST - NO ROOF EQUIPMENT SCREENS VISIBLE FROM THIS VANTAGE POINT



1 | EXTERIOR RENDER - VIEW FROM COURTYARD - UPDATED TO SHOW ROOF EQUIPMENT SCREENS - THIS VIEW OF THE SCREEN WOULD BE MUCH LESS VISIBLE FROM A VANTAGE POINT IN THE PASEO

RH

RH - LOS GATOS

Project Address
31 UNIVERSITY AVE.
LOS GATOS, CA 95030

Architect
MBH
940 Atlantic Ave.
Alameda, CA 94601
Tel 510 865 8661
Fax 510 865 1611

Date



Consultant

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Revised: 01/05/2025
01/05/2025 TECH REVIEW COMMENTS
02/10/2025 TECH REVIEW COMMENTS 2

Project: 59485
Client: BDO
Designed By: RN
Scale: 1/2" = 1'-0"
Drawing Title: EXTERIOR BUILDING RENDERS

Project: 59485
Client: BDO
Designed By: RN
Scale: 1/2" = 1'-0"

Drawing Title: EXTERIOR BUILDING RENDERS

Drawing No.: A802

RH

RH - LOS GATOS

Project Address
31 UNIVERSITY AVE.
LOS GATOS, CA 95030

Architect
MBH
940 Atlantic Ave
Alameda, CA 94601
Tel 510 865 8663
Fax 510 865 1611



Consultant



1 | EXTERIOR RENDER - VIEW FROM PARKING LOT - UPDATED TO SHOW ROOF EQUIPMENT SCREENS

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Rev.	Date	Revised
10/18/2024		PSE APPLICATION PACKAGE
11/06/2024		PLANNING SUBMITTAL
11/22/2024		80% SCHEMATIC DESIGN
01/09/2025		PLANNING SUBMITTAL 2
04/09/2025		TECH REVIEW COMMENTS
06/01/2025		TECH REVIEW COMMENTS 2

Project: SR485

Drawn By: BD

Reviewed By: RN

Scale: 1/2" = 1'-0"

Drawing Title
EXTERIOR
BUILDING
RENDERS

Drawing No.
A803



2 | EXTERIOR NIGHT RENDER - VIEW FROM UNIVERSITY AVE - UPDATED TO SHOW ROOF EQUIPMENT SCREENS



1 | EXTERIOR NIGHT RENDER - VIEW FROM UNIVERSITY AVE & ELM ST CORNER - NO ROOF EQUIPMENT SCREENS VISIBLE FROM THIS VANTAGE POINT

RH

RH - LOS GATOS

Project Address
31 UNIVERSITY AVE.
LOS GATOS, CA 95030

MBH
940 Atlantic Ave
Alhambra, CA 94501
Tel 510 865 8961
Fax 510 865 1611



Consultant

Revisions and other notes regarding these drawings shall be indicated on the right side of the drawing and shall be the property of the Architect. No part of these drawings shall be reproduced without the written consent of the Architect.

No.	Date	Revised
10/18/2024	10/18/2024	PSE APPLICATION PACKAGE
11/06/2024	11/06/2024	PLANNING SUBMITTAL
11/22/2024	11/22/2024	80% SCHEMATIC DESIGN
01/09/2025	01/09/2025	PLANNING SUBMITTAL 2
04/09/2025	04/09/2025	TECH REVIEW COMMENTS
06/01/2025	06/01/2025	TECH REVIEW COMMENTS 2

Project: SR485

Owner: BDO

Designed By: RH

Scale: 1/2" = 1'-0"

Drawing Title:

EXTERIOR
BUILDING
RENDERS - NIGHT

Drawing No.

A804

RH

RH - LOS GATOS

Project Address
31 UNIVERSITY AVE.
LOS GATOS, CA 95030

Architect
MBH
940 Atlantic Ave
Alameda, CA 94601
Tel 510 865 8943
Fax 510 865 1611



Consultant

Exterior and interior lighting rendering is an artistic representation and not a technical drawing. It is not to be used for construction purposes. It is not to be used for any other purpose without the written consent of the Architect.

No.	Date	Revised
10/18/2024	PSE APPLICATION PACKAGE	
11/06/2024	PLANNING SUBMITTAL	
11/22/2024	80% SCHEMATIC DESIGN	
01/09/2025	PLANNING SUBMITTAL 2	
04/09/2025	TECH REVIEW COMMENTS	
06/10/2025	TECH REVIEW COMMENTS 2	

Project: SR485

Client: BDO

Designed By: RN

Scale: 1/2" = 1'-0"

Drawing Title:

EXTERIOR
BUILDING
RENDERS - NIGHT

Drawing No.

A805



1 EXTERIOR NIGHT RENDER - VIEW FROM COURTYARD - UPDATED TO SHOW ROOF EQUIPMENT SCREENS - THIS VIEW OF THE SCREEN WOULD BE MUCH LESS VISIBLE FROM A VANTAGE POINT IN THE PASEO



RH

RH - LOS GATOS

Project Address
31 UNIVERSITY AVE.
LOS GATOS, CA 95030

Architect
MBH
940 Atlantic Ave.
Alameda, CA 94601
Tel 510 865 8663
Fax 510 865 1611



Contractor

Architect and other related engineering, design, construction and related services of the Architect and any other related services shall be provided by the Architect.

Project No. 00000000
Revision No. 00100000

00000000 TECH REVIEW COMMENTS
00100000 TECH REVIEW COMMENTS

Project 000000

Drawn By: RD

Reviewed By: RN

Scale 1/2" = 1'-0"

Drawing Title

INTERIOR
BUILDING
RENDERS

Drawing No.

A806



1 | INTERIOR RENDERS

RH

RH - LOS GATOS

Project Address
31 UNIVERSITY AVE.
LOS GATOS, CA 95030

Architect
MBH
940 Atlantic Ave.
Alameda, CA 94601
Tel 510 865 8663
Fax 510 865 1611

Scale

Consultant

Architect and interior rendering are not to be used for any other project without the written consent of the Architect.

Project No. 00000000
00000000 TECH REVIEW COMMENTS
00000000 TECH REVIEW COMMENTS

Project 000000

Drawn By: RD

Reviewed By: RN

Scale 1/2" = 1'-0"

Drawing Title

INTERIOR
BUILDING
RENDERS

Drawing No.

A807

NOTES FOR GENERAL CONTRACTOR

- General Contractor (GC) and Electrical Contractor (EC) will be responsible for verification of all dimensions, specifications and coordination with related trades and subcontractors.
- GC to permit daylight time to match calling per architect's drawing. Fixture time can be removed after painting and the new date.
- GC to handle and install adequate drainage around all down-blast transformers and associated in-grade light fixtures.
- GC to verify design of any conflict with mechanical, electrical, plumbing, HVAC, or structural provisions or any conflicting dimensions or site conditions prior to commencement of work.
- GC is responsible for notifying designer of any inconsistencies between design drawings and other documents.
- Do not scale drawings.

GENERAL NOTES

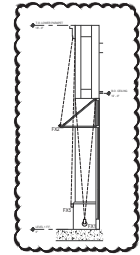
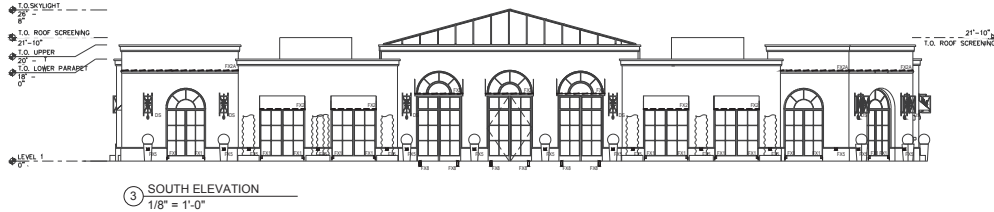
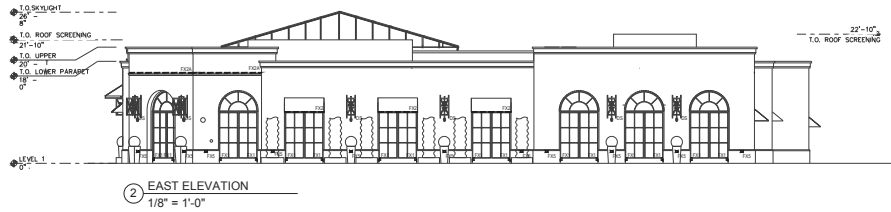
- Lighting Design drawings and dimensions are for design intent only. Coordination with Architectural Designing required.
- Fixture types and specifications available in accompanying Specification packet.
- Calculations for code compliance to be provided by Electrical Engineer.
- Emergency lighting requirements to be completed by Electrical Engineer.

PROJECT:

RH LOS GATOS
35 UNIVERSITY BLVD,
LOS GATOS, CA 95030

DRAWING TITLE:
EXTERIOR
LTG ELEVATIONS +
SECTION

SHEET:
LT-2.0



NOTES FOR ZONING AND LIGHTING CONTROLS:

- All BUILDING LIGHTING TO BE DIMMABLE, INCLUDING ARCHITECTURAL AND DECORATIVE/MECHANICAL LIGHTING.
- ONE DIMMABLE TYPE, FOR REGULATED LIGHTING, TO BE DIMMABLE, INCLUDING ARCHITECTURAL AND DECORATIVE/MECHANICAL LIGHTING.

ITEM	SYMBOL	DESCRIPTION	LOCATION
F1	—	SURFACE MOUNTED SINGLE CIRCUIT TRAIL	DETAIL, THROUGHT
F2	—	SURFACE MOUNTED TRAIL	DETAIL, THROUGHT
F3	—	POURER RECESSED DOWNLIGHT	RECREATIONAL PASSAGE
F4	—	RECESSED RECESSED DOWNLIGHT	WINE AND BIRCH ROOM
F5	—	RECESSED RECESSED DOWNLIGHT	WINE AND BIRCH ROOM
F6	—	RECESSED RECESSED DOWNLIGHT	WINE AND BIRCH ROOM
F7	—	RECESSED RECESSED DOWNLIGHT	WINE AND BIRCH ROOM
F8	—	RECESSED RECESSED DOWNLIGHT	WINE AND BIRCH ROOM
F9	—	RECESSED RECESSED DOWNLIGHT	WINE AND BIRCH ROOM
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F99	—	RECESSED RECESSED DOWNLIGHT	WINE AND BIRCH ROOM
F100	—	RECESSED RECESSED DOWNLIGHT	WINE AND BIRCH ROOM

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From: Demetra Jennings [REDACTED]
Sent: Tuesday, March 25, 2025 2:01 PM
To: Sean Mullin <SMullin@losgatosca.gov>
Subject: Support for Restoration Hardware Proposal on University Avenue

[EXTERNAL SENDER]

To the Members of the Los Gatos Historic Preservation Committee,

My name is Demetra Jennings, and I'm the owner of Nimbus Salon on Main & University. I've been a proud business owner in Los Gatos for over 32 years.

I'm excited to hear that Restoration Hardware is considering an investment in our town with a proposed multi-use store and restaurant on University Avenue. I believe this project has the potential to bring new life to the Old Town area and be a catalyst for revitalization. The proposed design is both elegant and respectful of the area's charm—an attractive addition to our community.

Restoration Hardware would be a great fit for Los Gatos. Many of my clients are already fans of RH and shop at their location in Palo Alto. The idea of having one here has generated a lot of enthusiasm.

Given the economic uncertainty we've all faced in recent years, it's encouraging to see a well-regarded brand like RH wanting to invest in our town. I urge the Historic Preservation Committee, the Planning Commission, and the Town Council to support this proposal.

Thank you for your time and consideration.

Warm regards,

Demetra Jennings

Owner, Nimbus Salon

65 W Main Street, Los Gatos CA



May 16, 2025

Los Gatos Town Council
110 East Main Street
Los Gatos, CA 95030

Dear Mayor and Los Gatos Town Council Members:

On behalf of the Board of Directors of the Los Gatos Chamber of Commerce, I respectfully submit our robust support for the Restoration Hardware Gallery & Restaurant Project as currently proposed. We believe this project will bring lasting economic, branding, and placemaking benefits to Los Gatos—aligning with the Chamber’s commitment to responsible growth and a vibrant, prosperous business community.

First and foremost, this project is expected to deliver meaningful economic impact. Restoration Hardware Restaurants, on average, generate over \$10 million in annual revenue, translating to a significant and sustained source of sales tax revenue for the Town of Los Gatos. The Gallery & Restaurant will also draw increased foot traffic downtown, directly benefiting surrounding shops, restaurants, and service providers. In addition, the project will create new retail and hospitality jobs, expanding employment opportunities within our community.

Beyond these direct financial benefits, the presence of a high-profile, flagship Restoration Hardware will elevate the Los Gatos brand as a premier retail and lifestyle destination in Silicon Valley and the Bay Area. It will attract a design-conscious and food-oriented customer base—visitors who are likely to explore all that Los Gatos has to offer. The project’s synergy with nearby design and lifestyle businesses reinforces our growing reputation as a hub for home, décor, and luxury experiences.

Equally important, this highly visible site revitalizes a long-underutilized corner of Old Town that has remained dormant since The Gap’s departure. We also believe the provisions of the Planned Development approval from 25 years ago—particularly those requiring the building to appear as three separate facades—are now outdated. We support the proposed modification to unify the exterior design, as it better reflects the



needs of a single, high-quality tenant and enhances architectural cohesion while remaining consistent with our town's historic charm. The project will transform the site into an engaging retail and dining anchor. We believe the architectural design is elegant, welcoming, and well-aligned with the distinctive aesthetic and high standards of downtown Los Gatos.

In summary, the Restoration Hardware Gallery & Restaurant Project is a rare opportunity to bring lasting value to Los Gatos. It activates underused space, supports surrounding businesses, strengthens our identity as a design-forward town, and contributes to the long-term health of our downtown economy. For these reasons, we urge the Town Council to approve this project.

Sincerely,
Jennifer Lin
Chief Executive Officer

On behalf of the Board of Directors
Los Gatos Chamber of Commerce

From: CC 2013 [REDACTED]
Sent: Tuesday, August 19, 2025 4:44 PM
To: Planning <Planning@losgatosca.gov>; Erin Walters <EWalters@losgatosca.gov>
Subject: Restoration Hardware Project in Los Gatos

[EXTERNAL SENDER]

Dear Members of the Planning Commission,

I'm writing to express my strong support of Restoration Hardware (RH) locating a store and restaurant at 31 University Avenue, Los Gatos.

This project is an exciting opportunity to bring new life and energy to the Old Town area. I've seen the proposed RH design, and I think it is an elegant interpretation of Los Gatos' historic charm. The RH project would definitely be a classy and elevating addition to our downtown!

I'm convinced that the RH space would draw people to downtown to shop and dine – not only at RH, but also at Los Gatos small businesses and restaurants. The RH location in Palo Alto is very popular, and the prospect of having a similar location in Los Gatos is very exciting to me and to my neighbors.

With the large number of new housing units being added in Los Gatos, a large gathering space like the RH project is much-needed. The city of Los Gatos is growing. This is the time to add a sophisticated space like the proposed RH project to attract residents and visitors to the downtown area and bolster the local economy.

For these reasons, I strongly encourage you to support the RH proposal at 31 University Avenue. This is a great opportunity to strengthen the heart of our community and ensure that our downtown remains a vibrant, welcoming place for years to come.

Sincerely,

Carol Custer

From: Christian Arrieta <[REDACTED]>
Sent: Tuesday, August 19, 2025 4:50 PM
To: Erin Walters <EWalters@losgatosca.gov>
Cc: Monica Renn <mrenn@losgatosca.gov>; Sean Mullin <SMullin@losgatosca.gov>;
Annette Badger <[REDACTED]>
Subject: Support for Restoration Hardware at Los Gatos

[EXTERNAL SENDER]

Dear Los Gatos Planning Commission,

I am in support of Restoration Hardware coming to Los Gatos.

Restoration Hardware will undoubtedly contribute positively to Los Gatos by:

- increasing the economy because of providing jobs and sales tax revenue
- great foot traffic and higher profile as a retail, design, and dining destination
- provide unique amenities for residents and add to the charm of Los Gatos

Thank you,



Christian Arrieta
FINANCIAL ANALYST
Federal Realty
[REDACTED]
356 Santana Row, Suite 1005
San Jose CA 95128
[REDACTED]

From: David J. Thomas <[REDACTED]>
Sent: Tuesday, August 19, 2025 5:02 PM
To: Erin Walters <EWalters@losgatosca.gov>
Cc: Monica Renn <mrenn@losgatosca.gov>; Sean Mullin <SMullin@losgatosca.gov>; Annette Badger <[REDACTED]>
Subject: Restoration Hardware- Old Town Los Gatos

[EXTERNAL SENDER]

Dear Los Gatos Planning Commission,

I am in support of Restoration Hardware coming to Los Gatos.

Restoration Hardware will undoubtedly contribute positively to Los Gatos by:

- 1) increasing the economy by providing jobs and sales tax revenue
- 2) great foot traffic and higher profile as a retail, design, and dining destination
- 3) provide unique amenities for residents and add to the charm of Los Gatos

Thank you for your consideration.



David J. Thomas
DIRECTOR, LEASING
Federal Realty
[REDACTED]
830 S. Pacific Coast Highway
Suite 204
El Segundo CA 90245
[REDACTED]

From: Shiella Kitagawa <[REDACTED]>

Sent: Tuesday, August 19, 2025 5:04 PM

To: Erin Walters <EWalters@losgatosca.gov>; Monica Renn <mrenn@losgatosca.gov>; Sean Mullin <SMullin@losgatosca.gov>

Cc: Annette Badger <[REDACTED]>; CAD Design Studio <[REDACTED]>

Subject: Support for Restoration Hardware at Los Gatos

[EXTERNAL SENDER]

Dear Los Gatos Planning Commission,

I am in support of Restoration Hardware coming to Los Gatos.

Restoration Hardware will undoubtedly contribute positively to Los Gatos by:

- 1) increasing the economy because of providing jobs and sales tax revenue
- 2) great foot traffic and higher profile as a retail, design, and dining destination
- 3) provide unique amenities for residents and add to the charm of Los Gatos

Thank you!



Shiella Kitagawa
SENIOR DIRECTOR, DESIGN
Federal Realty
[REDACTED]
356 Santana Row Suite 1005
San Jose CA 95128
[REDACTED]

From: Soo Yi <[REDACTED]>
Sent: Tuesday, August 19, 2025 5:08 PM
To: Erin Walters <EWalters@losgatosca.gov>
Cc: Monica Renn <mrenn@losgatosca.gov>; Sean Mullin <SMullin@losgatosca.gov>; Annette Badger <[REDACTED]>
Subject: Support for Restoration Hardware at Los Gatos

[EXTERNAL SENDER]

Dear Los Gatos Planning Commission,

I am in support of Restoration Hardware coming to Los Gatos.

Restoration Hardware will undoubtedly contribute positively to Los Gatos by:

- 1) increasing the economy because of providing jobs and sales tax revenue
- 2) great foot traffic and higher profile as a retail, design, and dining destination
- 3) provide unique amenities for residents and add to the charm of Los Gatos

Thank you,



Soo Yi
DIRECTOR, DESIGN
Federal Realty
[REDACTED]
356 Santana Row Suite 1005
San Jose CA 95128
[REDACTED]

From: Bob Franz <[REDACTED]>

Sent: Tuesday, August 19, 2025 5:36 PM

To: Erin Walters <EWalters@losgatosca.gov>; Monica Renn <mrenn@losgatosca.gov>; Sean Mullin <SMullin@losgatosca.gov>

Cc: Annette Badger [REDACTED]

Subject: RH

[EXTERNAL SENDER]

Dear Los Gatos Planning Commission,

I am in support of Restoration Hardware coming to Los Gatos.

Restoration Hardware will undoubtedly contribute positively to Los Gatos by:

- 1) increasing the economy because of providing jobs and sales tax revenue
- 2) great foot traffic and higher profile as a retail, design, and dining destination
- 3) provide unique amenities for residents and add to the charm of Los Gatos



Bob Franz

VICE PRESIDENT, WEST COAST ACQUISITIONS

Federal Realty

[REDACTED]
6263 N Scottsdale Rd Suite 167

Scottsdale AZ 85250
[REDACTED]

From: Kerry Bruce [REDACTED]
Sent: Tuesday, August 19, 2025 6:42 PM
To: Erin Walters <EWalters@losgatosca.gov>
Cc: Monica Renn <mrenn@losgatosca.gov>
Subject: Town of Los Gatos - Restoration Hardware

[EXTERNAL SENDER]

Dear Los Gatos Planning Commission,

I am in support of Restoration Hardware coming to Los Gatos.

Restoration Hardware will undoubtedly contribute positively to the Town of Los Gatos in the following ways:

- Increasing the economy by providing jobs and sales tax revenue
- Creating higher foot traffic for the Town of Los Gatos and adding to the destination retail and dining
- Providing a unique amenity for residents and adding to the charm of Los Gatos

Thank you,

Kerry



Kerry Bruce
REGIONAL PROPERTY MANAGER
Federal Realty
[REDACTED]
356 Santana Row Suite 1005
San Jose CA 95128
[REDACTED]

From: Robert Aguirre [REDACTED]
Sent: Tuesday, August 19, 2025 7:46 PM
To: Erin Walters <EWalters@losgatosca.gov>
Cc: Monica Renn <mrenn@losgatosca.gov>; Sean Mullin <SMullin@losgatosca.gov>; [REDACTED]
Subject: Restoration Hardware Los Gatos Support

[EXTERNAL SENDER]

Dear Los Gatos Planning Commission-

I support RH relocating to University Avenue in Los Gatos and genuinely believe the new gallery and restaurant would be a great addition to the town.

RH would bring new jobs and boost the local economy, in addition to drawing more people into Los Gatos, helping other businesses, shops, and restaurants, and increasing overall visibility as a destination for retail and dining.

The amenities RH offers would add a unique experience for residents and visitors, aligned with, yet enhancing the character we all love about Los Gatos.

Sincerely,
Robert Aguirre

From: Loan Vo [REDACTED]
Sent: Wednesday, August 20, 2025 7:37 AM
To: Erin Walters <EWalters@losgatosca.gov>
Cc: Monica Renn <mrenn@losgatosca.gov>; Sean Mullin <SMullin@losgatosca.gov>; Annette Badger [REDACTED]
Subject: Restoration Hardware

[EXTERNAL SENDER]

Dear Los Gatos Planning Commission,

I am in support of Restoration Hardware coming to Los Gatos.

Restoration Hardware will undoubtedly contribute positively to Los Gatos by:

- 1) increasing the economy because of providing jobs and sales tax revenue
- 2) great foot traffic and higher profile as a retail, design, and dining destination
- 3) provide unique amenities for residents and add to the charm of Los Gatos

Thank you for your consideration.

Sincerely,

Loan Vo



Loan Vo
ASSOCIATE ACCOUNTING MANAGER
Federal Realty
[REDACTED]
356 Santana Row Suite 1005
San Jose CA 95128
[REDACTED]

From: Brent Gardner [REDACTED]
Sent: Wednesday, August 20, 2025 8:23 AM
To: Erin Walters <EWalters@losgatosca.gov>
Cc: Monica Renn <mrenn@losgatosca.gov>; Sean Mullin <SMullin@losgatosca.gov>; Annette Badger <[REDACTED]>
Subject: Support for Restoration Hardware

[EXTERNAL SENDER]

I am writing to express my support for Restoration Hardware coming to Los Gatos. While I work for the landlord on this project, I am also a local resident who regularly spends time in Los Gatos and at Restoration Hardware (when afforded the ability to do so), and I believe this would be a tremendous addition to one of the cores of Los Gatos. The presence of Restoration Hardware will bring meaningful benefits to the community by creating new jobs, generating increased sales tax revenue, and strengthening the local economy. It will also help drive greater foot traffic to downtown supporting all businesses, further establishing Los Gatos as a premier retail, design, and dining destination. Beyond the economic and business impact, Restoration Hardware will provide unique amenities and experiences that enhance the quality of life for residents while adding to the character and charm that make Los Gatos so special. I truly believe Restoration Hardware will be an asset to the community and will contribute positively to the vitality of Los Gatos for years to come.

Sincerely,

Brent



Brent Gardner
VICE PRESIDENT-GENERAL MANAGER, SANTANA ROW
Federal Realty
[REDACTED]
356 Santana Row Suite 1005
San Jose CA 95128
[REDACTED]

From: Annette Badger [REDACTED]
Sent: Wednesday, August 20, 2025 9:21 AM
To: Erin Walters <EWalters@losgatosca.gov>; Monica Renn <mrenn@losgatosca.gov>; Sean Mullin <SMullin@losgatosca.gov>
Subject: FW: SUPPORT FOR RESTORATION HARDWARE

[EXTERNAL SENDER]

Dear Los Gatos Planning Commission,

I am in support of Restoration Hardware coming to Los Gatos.

Restoration Hardware will undoubtedly contribute positively to Los Gatos by:

- 1) increasing the economy because of providing jobs and sales tax revenue
- 2) great foot traffic and higher profile as a retail, design, and dining destination
- 3) provide unique amenities for residents and add to the charm of Los Gatos



Annette Badger
DIRECTOR, CONSTRUCTION AND TENANT SERVICES
Federal Realty
[REDACTED]
5500 Grossmont Center Dr Suite 213
La Mesa CA 91942
[REDACTED]

From: Kim Davis [REDACTED]
Sent: Wednesday, August 20, 2025 9:36 AM
To: Erin Walters <EWalters@losgatosca.gov>
Cc: Sean Mullin <SMullin@losgatosca.gov>; Sean Mullin <SMullin@losgatosca.gov>; Annette Badger <[REDACTED]>; Amy Bischel [REDACTED]>; Robert Aguirre [REDACTED]
Subject: I Support Restoration Hardware to The Town of Los Gatos, CA

[EXTERNAL SENDER]

Dear Los Gatos Planning Commission,

As a local surrounding resident:

I am in support of the anticipation of the arrival of Restoration Hardware coming to The Town of Los Gatos.

Restoration Hardware will add value and contribute to the over-all unique charm, with retail shopping and dining experiences, in which The Town of Los Gatos is known for offering to the Local community, Monterey County, Silicon Valley, San Francisco Bay Area and outside visitors, for the reasons outlined below:

- 1) Increase the local economy with jobs, which will increase sales tax and revenue for The Town of Los Gatos.
- 2) Contribute to the high-profile foot traffic for the retail design, due to each Restoration Hardware location providing a unique, aesthetic and ambiance amenities with high standards to add high value to any community.
- 3) Each Restoration Hardware will contribute to the local shopping and dining experience by offering each location with a custom distinctive one-of-a-kind showroom and dining experience, to add value to the local community, Silicon Valley, San Francisco Bay Area residents, and outside visitors, by offering high-standard ambiance amenities, and charm in which The Town of Los Gatos has earned its reputation as a desirable town for business owners, residents, and visitors.

In closing, I welcome and believe Restoration Hardware will be a wonderful asset to add continued value to The Town of Los Gatos and the surrounding communities.

Kind Regards,

Kim Davis

Administrative Assistant, Tenant Coordination

Federal Realty

[REDACTED]
356 Santana Row Suite 1005
San Jose CA 95128
[REDACTED]



Kim Davis
ADMINISTRATIVE ASSISTANT
Federal Realty
[REDACTED]
356 Santana Row Suite 1005
San Jose CA 95128
[REDACTED]

From: Jackson Chacon <[REDACTED]>
Sent: Wednesday, August 20, 2025 9:43 AM
To: Erin Walters <EWalters@losgatosca.gov>
Cc: Monica Renn <mrenn@losgatosca.gov>; Sean Mullin <SMullin@losgatosca.gov>
Subject: Support for Restoration Hardware

[EXTERNAL SENDER]

Dear Los Gatos Planning Commission,

I am in support of Restoration Hardware coming to Los Gatos.

Restoration Hardware will undoubtedly contribute positively to Los Gatos by:

- 1) increasing the economy because of providing jobs and sales tax revenue
- 2) great foot traffic and higher profile as a retail, design, and dining destination
- 3) provide unique amenities for residents and add to the charm of Los Gatos



Jackson Chacon
OPERATIONS COORDINATOR
Federal Realty
[REDACTED]
5500 Grossmont Center Dr Suite 213
La Mesa CA 91942
[REDACTED]

From: Jesus Alvarez [REDACTED]
Sent: Wednesday, August 20, 2025 10:15 AM
To: Erin Walters <EWalters@losgatosca.gov>
Cc: Monica Renn <mrenn@losgatosca.gov>; Sean Mullin <SMullin@losgatosca.gov>; Annette Badger [REDACTED]
Subject: Support for RH

[EXTERNAL SENDER]

Dear Los Gatos Planning Commission,

I am in support of Restoration Hardware coming to Los Gatos.

Restoration Hardware will undoubtedly contribute positively to Los Gatos by:

- 1) increasing the economy because of providing jobs and sales tax revenue
- 2) great foot traffic and higher profile as a retail, design, and dining destination
- 3) provide unique amenities for residents and add to the charm of Los Gatos



Jesus Alvarez
OPERATIONS COORDINATOR
Federal Realty
[REDACTED]
830 S. Pacific Coast Hwy.
Suite 204
El Segundo CA 90245
[REDACTED]

From: Nakeysa Cole [REDACTED] >
Sent: Wednesday, August 20, 2025 12:19 PM
To: Erin Walters <EWalters@losgatosca.gov>
Cc: Annette Badger [REDACTED] m>; Sean Mullin <SMullin@losgatosca.gov>; Monica Renn <mrenn@losgatosca.gov>
Subject: SUPPORT FOR RESTORATION HARDWARE!!!

[EXTERNAL SENDER]

Dear Los Gatos Planning Commission,

I am in support of Restoration Hardware coming to Los Gatos.

Restoration Hardware will undoubtedly contribute positively to Los Gatos by:

- 1) increasing the economy because of providing jobs and sales tax revenue
- 2) great foot traffic and higher profile as a retail, design, and dining destination
- 3) provide unique amenities for residents and add to the charm of Los Gatos

Respectfully,



Nakeysa Cole
Concierge Manager
Federal Realty Investment Trust
[REDACTED]
356 Santana Row Suite 1005
San Jose CA 95128
[REDACTED]

From: Smithjulianne [REDACTED]
Sent: Wednesday, August 20, 2025 12:56 PM
To: Planning <Planning@losgatosca.gov>; Erin Walters <EWalters@losgatosca.gov>
Subject: Support for Restoration Hardware project

[EXTERNAL SENDER]

Dear Members of the Planning Commission and Town Council,

I am writing to share my strong support for the Restoration Hardware (RH) proposal at 31 University Avenue. This project represents a unique opportunity to bring new life, energy, and investment into Old Town Los Gatos.

RH's elegant design respects the area's historic character while adding vitality and a sense of destination. Their presence will not only draw residents and visitors downtown, but also create meaningful spillover for surrounding small businesses. Many locals already shop at RH in Palo Alto, and having one here would give our community a vibrant, high-quality gathering place.

After years of economic challenges, it is encouraging to see a respected brand choose to invest in Los Gatos. Approving this project will help ensure our downtown remains welcoming, dynamic, and a source of pride for residents and visitors alike.

For these reasons, I urge you to approve the RH proposal at 31 University Avenue.

Regards,

Julie Smith
[REDACTED]

From: Lee Ann Wade [REDACTED]
Sent: Wednesday, August 20, 2025 3:26 PM
To: Planning <Planning@losgatosca.gov>; Erin Walters <EWalters@losgatosca.gov>
Subject: Restoration Hardware Proposal

[EXTERNAL SENDER]

I'm writing to voice my strong support for the proposed Restoration Hardware store and restaurant at 31 University Ave. RH's sophisticated design will inject new life and energy into our downtown. This project will draw more visitors to Old Town and create a synergy that will also benefit the many small businesses in the area. Given the current economic climate, this is a much-needed investment in our community's future. I urge you to approve this project and help create a more vibrant and welcoming downtown for Los Gatos.

Thank you,
Lee Ann Wade

Resident Los Gatos 27 years

From: Kyle Buck [REDACTED]
Sent: Wednesday, August 20, 2025 3:31 PM
To: Erin Walters <EWalters@losgatosca.gov>
Cc: [REDACTED]; Sean Mullin <SMullin@losgatosca.gov>; Monica Renn <mrenn@losgatosca.gov>
Subject: RH Los Gatos

[EXTERNAL SENDER]

To Whom it May Concern -

I am writing to express my support for the proposed addition of a new RH in the town of Los Gatos. As a resident in the neighboring community and employee at a large tech company in town I am invested in the growth and character of our community. I believe this project represents a unique opportunity to enhance the economic vitality, cultural appeal, and architectural charm of our town.

Bringing RH to Los Gatos would elevate our local profile, offering a high-end yet approachable gathering place for both residents and visitors. I regularly host international visitors from my team at the Palo Alto RH restaurant, and would appreciate the opportunity to do so in our town.

From an economic standpoint, the project would generate new jobs, increase tax revenue, and drive more foot traffic to the small businesses in town. The restaurant component would add to Los Gatos' vibrant culinary scene, providing a sophisticated dining experience that complements our town's upscale and creative spirit.

Thank you for considering this exciting opportunity. I strongly encourage the Town Council to support the development of the RH store and restaurant in Los Gatos and to view it as a positive step forward in our town's continued evolution.

Sincerely,

Kyle Buck

From: Lora Vrastil [REDACTED]
Sent: Wednesday, August 20, 2025 3:58 PM
To: Erin Walters <EWalters@losgatosca.gov>; Monica Renn <mrenn@losgatosca.gov>;
Sean Mullin <SMullin@losgatosca.gov>
Subject: Restoration Hardware

[EXTERNAL SENDER]

Dear Los Gatos Planning Commission

I'm very excited about Restoration Hardware coming to Los Gatos and hope you will support them. It's a fantastic retail and dining destination for the residents of Los Gatos!

Lora

From: Aaron Nelson [REDACTED]
Sent: Wednesday, August 20, 2025 4:39 PM
To: Erin Walters <EWalters@losgatosca.gov>
Cc: Monica Renn <mrenn@losgatosca.gov>; Sean Mullin <SMullin@losgatosca.gov>
Subject: Support for Restoration Hardware

[EXTERNAL SENDER]

Dear Los Gatos Planning Commission,

I am in support of Restoration Hardware coming to Los Gatos.

It's a great store and will help boost the economy and fill the now empty space on University Ave. , will bring jobs and better atmosphere to that corner of the town. Thank you

Sent from my iPhone



Aaron Nelson
MAINTENANCE TECHNICIAN
Federal Realty

356 Santana Row Suite 1005
San Jose CA 95128
[REDACTED]

From: Anthony Perez [REDACTED]
Sent: Wednesday, August 20, 2025 4:47 PM
To: Erin Walters <EWalters@losgatosca.gov>
Cc: Monica Renn <mrenn@losgatosca.gov>; Sean Mullin <SMullin@losgatosca.gov>;
Annette Badger [REDACTED]
Subject: Restoration Hardware

[EXTERNAL SENDER]

Dear Los Gatos Planning Commission,

I am in support of Restoration Hardware coming to Los Gatos.

Restoration Hardware will undoubtedly contribute positively to Los Gatos by:

- 1) increasing the economy because of providing jobs and sales tax revenue
- 2) great foot traffic and higher profile as a retail, design, and dining destination
- 3) provide unique amenities for residents and add to the charm of Los Gatos



Anthony Perez
SENIOR MANAGER OF OPERATIONS
Federal Realty
[REDACTED]
356 Santana Row Suite 1005
San Jose CA 95128
[REDACTED]

From: Jeff Kreshek [REDACTED]
Sent: Wednesday, August 20, 2025 4:51 PM
To: Erin Walters <EWalters@losgatosca.gov>
Cc: Monica Renn <mrenn@losgatosca.gov>; Sean Mullin <SMullin@losgatosca.gov>; Annette Badger [REDACTED]
Subject: Restoration Hardware - Los Gatos

[EXTERNAL SENDER]

Dear Commissioner Walters,

I am writing this email in enthusiastic support of the new RH store at Old Town Center in Los Gatos. As the Western Region President for Federal Realty, I have been intimately involved in this asset for the past fifteen years. I have worked closely with various stakeholders throughout the Los Gatos to deliver a high quality project that we can all be proud of. In RH you have an existing tenant that sees the value of a community such as Los Gatos, but also realizes that the customer they serve deserves their very best presentation. RH (and Federal Realty) wants to put their best foot forward and wants to offer their guests the best experience possible. Frankly, this is something that the residents of Los Gatos deserve.

As for Federal Realty's position in this matter, as the Landlord, we have expended tremendous effort to try to elevate Los Gatos to a project we could say represents a quality offering, without compromising the integrity of the community or the project. From Teleferic, a new local favorite, to Blue Bottle or RH, we have been surgical and strategic in the type of tenancy we have pursued, and who we have transacted with. The decision to pursue the new RH concept for Los Gatos is consistent with all of our prior efforts, and a benchmark for our future efforts to keep Old Town Center, and Downtown Los Gatos vibrant.

I would be happy to answer any questions, but strongly encourage you to approve the RH Planning Commission Application.



Jeff Kreshek
SVP, WESTERN REGION PRESIDENT & CHIEF OPERATING OFFICER
Federal Realty
[REDACTED]
830 S Pacific Coast Hwy Suite 204
El Segundo CA 90245
[REDACTED]

From: Hashem Karoum [REDACTED]
Sent: Thursday, August 21, 2025 9:25 AM
To: Erin Walters <EWalters@losgatosca.gov>
Cc: Monica Renn <mrenn@losgatosca.gov>; Sean Mullin <SMullin@losgatosca.gov>; Annette Badger [REDACTED]
Subject: SUPPORT FOR RESTORATION HARDWARE!!!

[EXTERNAL SENDER]

Dear Los Gatos Planning Commission,

I am in support of Restoration Hardware coming to Los Gatos.

Restoration Hardware will undoubtedly contribute positively to Los Gatos by:

- 1) increasing the economy because of providing jobs and sales tax revenue
- 2) great foot traffic and higher profile as a retail, design, and dining destination
- 3) provide unique amenities for residents and add to the charm of Los Gatos



Hashem Karoum
DIRECTOR, DIVISIONAL COUNSEL
Federal Realty
[REDACTED]
830 S. Pacific Coast Highway
Suite 204
El Segundo CA 90245
[REDACTED]

From: Melanie Novack Piziali [REDACTED]
Sent: Thursday, August 21, 2025 9:36 AM
To: Erin Walters <EWalters@losgatosca.gov>
Subject: RH Restaurant Support

[EXTERNAL SENDER]

Dear Erin,

I am an engaged member of our Los Gatos community and I am writing to express my enthusiastic support for Restoration Hardware developing a store and restaurant at 31 University Ave. RH's elegant design would bring fresh energy and vitality to Old Town attracting visitors downtown and also supporting nearby small businesses. In our current economic uncertainty, this is exactly the kind of investment our community needs. Please approve this project so Los Gatos can have an even more vibrant & welcoming downtown.

Thank you for your time,

Melanie Piziali

[REDACTED]

Los Gatos 95030

From: Jennifer Appleton [REDACTED]
Sent: Thursday, August 21, 2025 9:46 AM
To: Planning <Planning@losgatosca.gov>; Erin Walters <EWalters@losgatosca.gov>
Subject: Support for Restoration Hardware Development at 31 University Ave

[EXTERNAL SENDER]

Dear Commissioner Walters,

I am writing to voice my strong support for the proposed Restoration Hardware store and restaurant at 31 University Avenue. RH's elegant design and elevated concept would bring new life and energy to Old Town, creating a destination that attracts both residents and visitors to our downtown.

This project will not only enhance the character of Los Gatos but also provide a meaningful boost to nearby small businesses through increased foot traffic and economic activity. Especially during times of economic uncertainty, thoughtful investment like this helps strengthen our community and ensures our downtown remains vibrant and welcoming.

I encourage you to approve this project so Los Gatos can continue to thrive with a downtown that reflects both our history and our future.

Sincerely,

Jennifer Appleton
[REDACTED]

From: Christian Irwin [REDACTED]
Sent: Thursday, August 21, 2025 10:11 AM
To: Erin Walters <EWalters@losgatosca.gov>
Cc: Monica Renn <mrenn@losgatosca.gov>; smullins@losgatosca.gov; Annette Badger [REDACTED]
Subject: Support of RH project in Town of Los Gatos

[EXTERNAL SENDER]

Hi Erin,

I'm reaching out to voice my support for the proposed RH project in the Town of Los Gatos. I head up leasing for the Western Region at Federal Realty and have been intimately involved in our efforts to attract high quality retailers and enhance the vibrancy of our property, Old Town Los Gatos. We have been working to improve Old Town for years by bringing several impactful retailers and food & beverage operators including Teleferic Barcelona, Sephora, Salt & Straw, Blue Bottle, and Warby Parker to name a few. Each of these decisions were made with a keen eye on adding retailers that would not only resonate with the local customer, but also be a valuable addition to the Los Gatos community.

I strongly feel that adding RH Galleria with a food and beverage component aligns with our efforts to date and will be additive to the Los Gatos commercial landscape. It should increase retail foot traffic and sales in the commercial district while generating jobs and meaningful sales tax revenue for the town. Their elevated design aesthetic will enhance the charm of Los Gatos and we expect the gallery to be a regional attraction, drawing new customers to Los Gatos from outside the community.

I plan on attending the Planning Commission hearing on August 27th but wanted to reach out in advance to voice my support and share my perspective.

Thank you



Christian Irwin
VICE PRESIDENT, WEST COAST LEASING
Federal Realty
[REDACTED]
830 S. Pacific Coast Highway
Suite 204
El Segundo CA 90245
[REDACTED]

From: Collette Navarrette [REDACTED]
Sent: Thursday, August 21, 2025 10:30 AM
To: Erin Walters <EWalters@losgatosca.gov>
Cc: Monica Renn <mrenn@losgatosca.gov>; Sean Mullin <SMullin@losgatosca.gov>; Annette Badger [REDACTED]
Subject: SUPPORT FOR RESTORATION HARDWARE!!!

[EXTERNAL SENDER]

Dear Los Gatos Planning Commission,

I am in support of Restoration Hardware coming to Old Town, Los Gatos. I am a shopper and diner that loves to visit Los Gatos. I live in Campbell, just a few miles away and I frequently visit the town of Los Gatos to shop, stroll and eat. RH will add to the charm of Los Gatos as a whole and provide a unique shopping experience for residents and shoppers in the area. RH also has beautiful stores that engage with their customers through food and wine, adding to the vibrancy of the Los Gatos community. I believe RH will be a valuable asset to the town of Los Gatos, improving the vibrancy of Los Gatos as a whole and contributing positively to the local economy.

Collette Navarrette



Collette Navarrette
SENIOR DIRECTOR, MARKETING
Federal Realty
[REDACTED]
356 Santana Row Suite 1005
San Jose CA 95128
[REDACTED]

From: Zach Gaon [REDACTED]
Sent: Thursday, August 21, 2025 11:27 AM
To: Erin Walters <EWalters@losgatosca.gov>
Cc: Monica Renn <mrenn@losgatosca.gov>; Sean Mullin <SMullin@losgatosca.gov>;
[REDACTED]
Subject: Restoration Hardware - Los Gatos

[EXTERNAL SENDER]

Los Gatos Planning Commission,

I wanted to reach out to voice my support for Restoration Hardware coming to Los Gatos. Aside from the substantial sales tax revenue they will generate for the city, their brand embodies the charm of Los Gatos and they would be a huge benefit to the retail environment on University Ave.

Their first-class buildout and store design would be a great addition to this pocket and I strongly believe they will serve as an anchor to draw more traffic into Los Gatos. I appreciate the consideration.

Best,

Zach Gaon

From: Jennifer Lin [REDACTED]
Sent: Thursday, August 21, 2025 6:39 PM
To: Erin Walters <EWalters@losgatosca.gov>
Cc: Monica Renn <mrenn@losgatosca.gov>
Subject: Letters of Support for RH Gallery & Restaurant Project from LG Chamber and Businesses

[EXTERNAL SENDER]

Dear Town of Los Gatos,

For inclusion in the staff report for the 8/27 Planning Commission meeting, please find attached two letters: 1) the Chamber's official letter of support and 2) a sampling of Los Gatos businesses who have also expressed their support.

Best regards,
Jennifer Lin

--



Save the Date!

Saturday, September 6, 2025, 12-5pm



May 16, 2025

Town of Los Gatos
110 East Main Street
Los Gatos, CA 95030

Dear Mayor and Los Gatos Town Council Members:

On behalf of the Board of Directors of the Los Gatos Chamber of Commerce, I respectfully submit our robust support for the Restoration Hardware Gallery & Restaurant Project as currently proposed. We believe this project will bring lasting economic, branding, and placemaking benefits to Los Gatos—aligning with the Chamber’s commitment to responsible growth and a vibrant, prosperous business community.

First and foremost, this project is expected to deliver meaningful economic impact. Restoration Hardware Restaurants, on average, generate over \$10 million in annual revenue, translating to a significant and sustained source of sales tax revenue for the Town of Los Gatos. The Gallery & Restaurant will also draw increased foot traffic downtown, directly benefiting surrounding shops, restaurants, and service providers. In addition, the project will create new retail and hospitality jobs, expanding employment opportunities within our community.

Beyond these direct financial benefits, the presence of a high-profile, flagship Restoration Hardware will elevate the Los Gatos brand as a premier retail and lifestyle destination in Silicon Valley and the Bay Area. It will attract a design-conscious and food-oriented customer base—visitors who are likely to explore all that Los Gatos has to offer. The project’s synergy with nearby design and lifestyle businesses reinforces our growing reputation as a hub for home, décor, and luxury experiences.

Equally important, this highly visible site revitalizes a long-underutilized corner of Old Town that has remained dormant since The Gap’s departure. We also believe the provisions of the Planned Development approval from 25 years ago—particularly those requiring the building to appear as three separate facades—are now outdated. We support the proposed modification to unify the exterior design, as it better reflects the needs of a single, high-quality tenant and enhances architectural cohesion while



remaining consistent with our town's historic charm. The project will transform the site into an engaging retail and dining anchor. We believe the architectural design is elegant, welcoming, and well-aligned with the distinctive aesthetic and high standards of downtown Los Gatos.

In summary, the Restoration Hardware Gallery & Restaurant Project is a rare opportunity to bring lasting value to Los Gatos. It activates underused space, supports surrounding businesses, strengthens our identity as a design-forward town, and contributes to the long-term health of our downtown economy. For these reasons, we urge the Town Council to approve this project.

Sincerely,

Jennifer Lin
Chief Executive Officer

On behalf of the Board of Directors
Los Gatos Chamber of Commerce



August 21, 2025

Town of Los Gatos
110 East Main Street
Los Gatos, CA 95030

RE: Support – Restoration Hardware Gallery & Restaurant at Old Town

Dear Town of Los Gatos:

The Los Gatos Chamber of Commerce is pleased to share that the following Los Gatos businesses support the proposed Restoration Hardware Gallery & Restaurant at 31 University Avenue. We believe this project will: strengthen the Town's tax base; increase downtown foot traffic and cross-shopping for nearby businesses; and enhance Los Gatos' appeal for residents and visitors.

We respectfully urge approval of the project and associated Planned Development (PD) amendment. Thank you for your consideration and for your service to our community.

Sincerely,

The Los Gatos Chamber of Commerce

US Bank Los Gatos

Franco Masoma Bespoke Clothing

Loma Brewing Company

Lavish, an Experience Company

Time Out Clothing

Darling Fischer/ Los Gatos Memorial Park

Automobuild

Kismet Boutique

Pennant Properties

Ethos Low Waste Living



Roxy Realty | Christie's Sereno

Black Cat Hats

Talbots Los Gatos

French Lessons

Rootstock

Breaking Dawn/First Born Restaurant

Von Kaenel Group Real Estate Group

Farwell Properties

Anthropologie Los Gatos

Los Gatos Parkside Restaurant

From: Deborah Weinstein [REDACTED]
Sent: Thursday, August 21, 2025 9:40 PM
To: Planning <Planning@losgatosca.gov>
Cc: Erin Walters <EWalters@losgatosca.gov>
Subject: Please approve Restoration Hardware's application

[EXTERNAL SENDER]

Dear Members of the Planning Commission,

I am writing to share my enthusiastic support for Restoration Hardware (RH) locating a store and restaurant at 31 University Avenue.

I have lived in Downtown Los Gatos for 19 years now and seen many businesses come and go. Unfortunately, Old Town has had its issues in those 19 years. When we first moved here the bookstore and the California Cafe were very large spaces that took up most of Old Town. After the bookstore left, it was divided into smaller spaces, and it's had a lot of transition. It is finally getting some traction with Teleferic, but the Gap space has been vacant for many years now.

The RH project is a great opportunity for that block facing Old Town. That vacancy at that corner, starting with GAP and then Steamers, I believe, has led other long term 20 year businesses to move (Romantiques - thankfully staying in Los Gatos, just a new location on Santa Cruz). Downtown is at its best when it feels vibrant and welcoming, and I believe RH's presence would help create that environment. Their proposed design is an elegant take on the area's historic charm, making it a natural and attractive addition to our Town.

What excites me most is the sense of vitality this project could bring. RH will draw people downtown—not just to shop and dine at their location, but also to explore and support nearby small businesses. Many Los Gatos residents already shop at RH in Palo Alto, and the idea of having one here has sparked real enthusiasm among residents who want to see our downtown thrive.

After several years of economic uncertainty, it is encouraging to see a respected brand choosing to invest in our Town. It speaks to the strength of our community and the potential of our downtown. I believe this project would be a source of pride and a gathering place for residents, families, and visitors alike.

For these reasons, I urge you to support the RH proposal at 31 University Avenue. This is a wonderful opportunity to strengthen the heart of our community and ensure our downtown remains a lively, welcoming place for years to come. Being a downtown resident, I welcome RH and believe it is a natural fit for our town.

Sincerely,
Deborah Weinstein
19 year Resident, [REDACTED]
Prior Commissioner on General Plan Update Committee
Prior Executive Director, Los Gatos Education Foundation
Prior Board Member, Wildcat Foundation
Prior Steering Committee Member, Los Gatos Library

From: Maria Gerst [REDACTED]

Sent: Friday, August 22, 2025 8:58 AM

To: Planning <Planning@losgatosca.gov>; Erin Walters <EWalters@losgatosca.gov>

Subject: Support for Restoration Hardware store and restaurant

[EXTERNAL SENDER]

Dear Members of the Planning Commission,

I am writing to share my support for Restoration Hardware (RH) locating a store and restaurant at 31 University Avenue.

I believe this project will bring new life and energy to the Old Town area. Their proposed design is an elegant and charming take on our historic design, making their presence a beautiful addition.

As a person who frequents Old Town, I feel RH is poised to attract visitors to the area, not only for shopping and dining at their establishment but also to encourage exploration and patronage of nearby small businesses. Many residents of Los Gatos, myself included, already frequent RH in Palo Alto, and the prospect of having a location here has generated significant excitement among people I know.

I urge you to support the RH proposal at 31 University Avenue. This is a wonderful opportunity further beautify our downtown and ensure it remains a lively and welcoming place for years to come.

Sincerely,

Maria Gerst

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