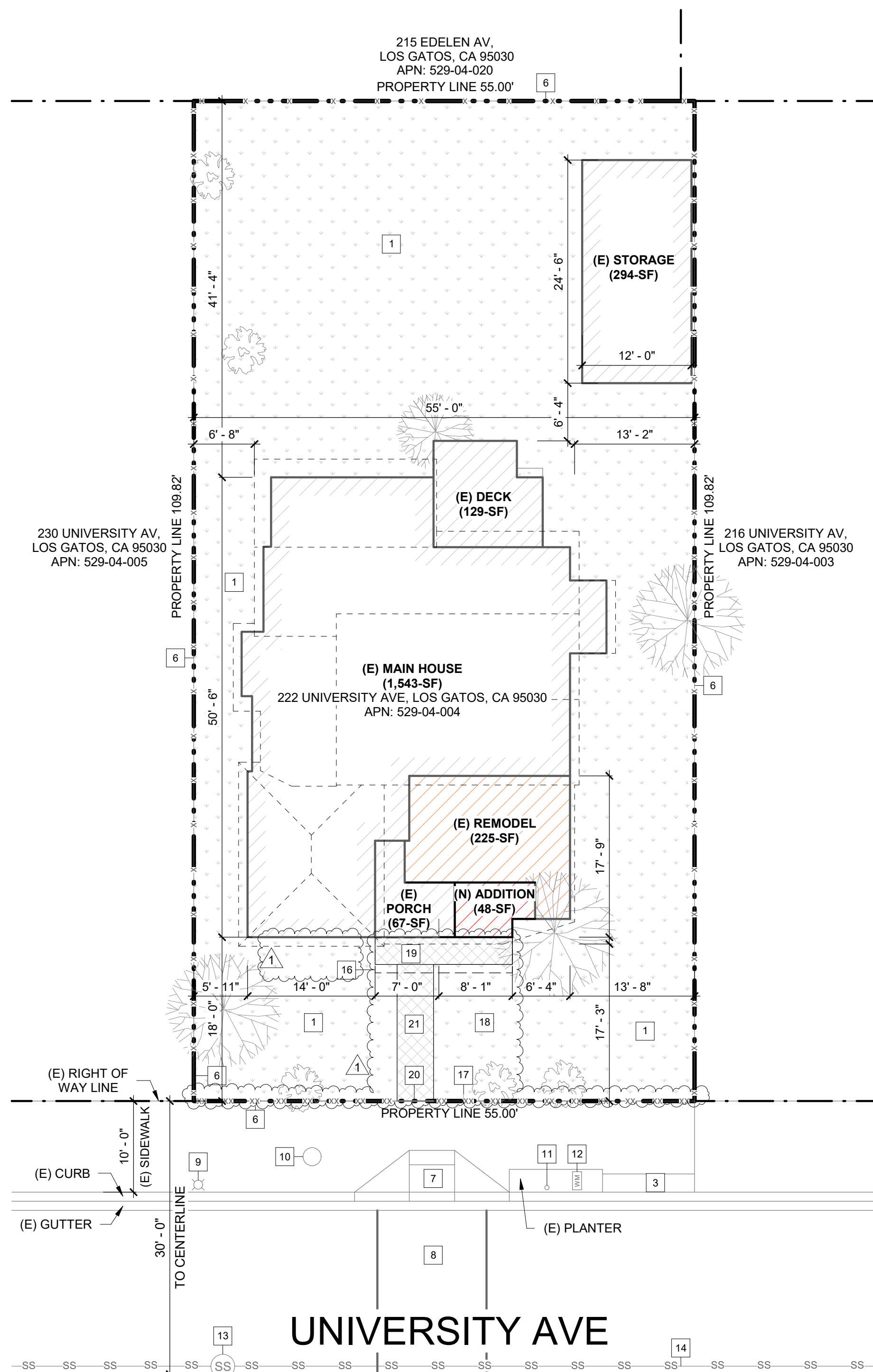


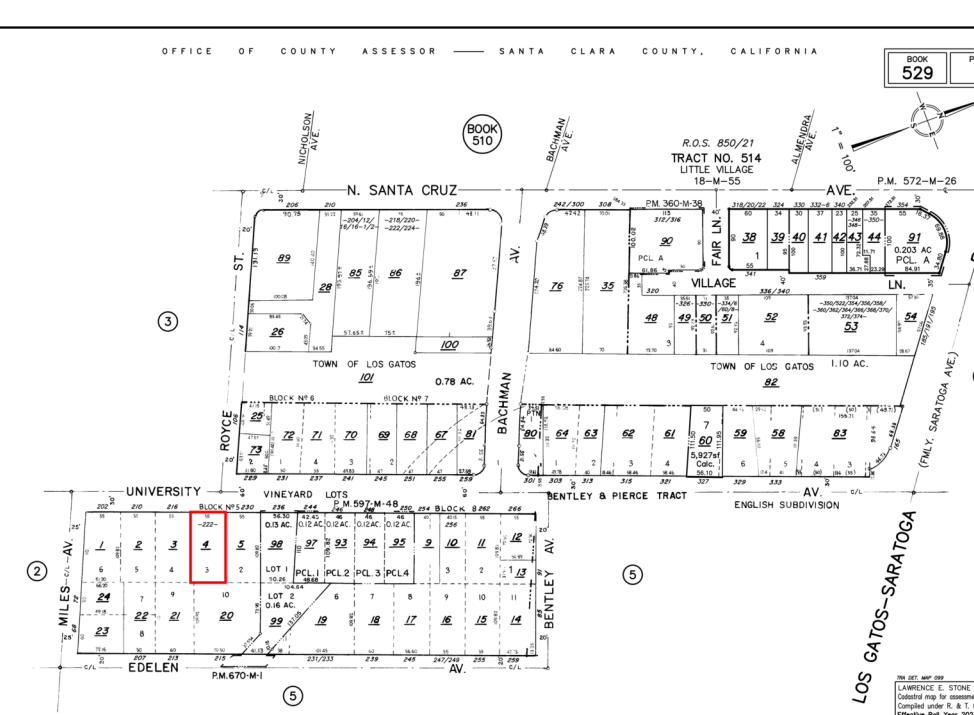
1 EXISTING SITE PLAN
1" = 10'-0"



2 PROPOSED SITE PLAN
1" = 10'-0"

PLAN NOTE: CONTRACTOR TO VERIFY IN FIELD THE EXISTING LOCATIONS OF UTILITY LINES.

PARCEL MAP



PROJECT DATA

JURISDICTION AUTHORITY: CITY OF LOS GATOS
ASSESSORS PARCEL NO. APN: 529-04-004
IN FLOOD ZONE FEMA SHFA'S: FLOOD ZONE **
CONSTRUCTION TYPE: V-B
ZONING: R-1D
OCCUPANCY GROUP: R3/U
SPRINKLERS: NO
NUMBER OF STORIES: 1 STORY
BUILDING MAX HEIGHT: 30-FT (2 STORIES)

REQUIRED SETBACKS:
 FRONT: 15 FT
 REAR: 20 FT
 SIDE: 5 FT
 SETBACKS INDICATE REQUIRED MINIMUM DISTANCE FROM PROPERTY LINES. CONTRACTOR TO VERIFY ON SITE.

LOT SIZE: 6,040-SF (0.1 ACRES)

EXISTING:
 (E) MAIN HOUSE LIVING AREA: 1,543-SF
 (E) PORCH: 104-SF
 (E) DECK: 129-SF
 (E) STORAGE: 294-SF
 (E) REMODEL: 225-SF

EXISTING TOTAL: 2,070-SF

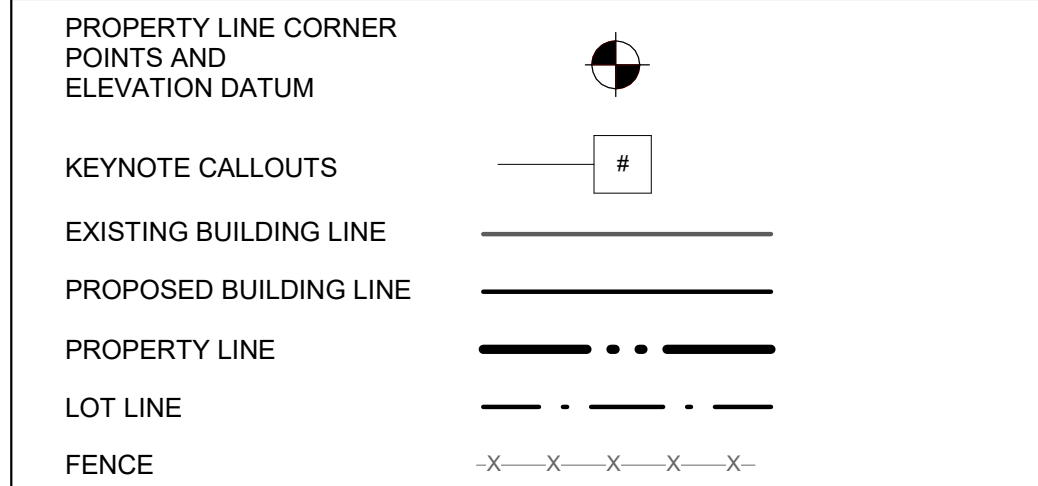
NEW CONSTRUCTION:
 ADDITION: 48-SF
 PORCH: 67-SF

PROPOSED BUILDING TOTAL: 1,591-SF

MAXIMUM LOT COVERAGE: %
OVERALL LOT COVERAGE: 1,591 + 67 + 129 + 294 = 2,081-SF
 2,081 / 6,040 = 34.5%

MAXIMUM FAR: %
OVERALL FAR: 1,591 + 67 = 1,658-SF
 1,658 / 6,040 = 27.5%

SYMBOL LEGEND



SITE PLAN KEYNOTES

- | | | |
|-----------------------|----------------------|----------------|
| 1 (E) LANDSCAPE | 8 (E) CROSSWALK | 16 (N) TRELLIS |
| 2 (E) WALKWAY | 9 (E) LIGHTING POLE | 17 (N) FENCE |
| 3 (E) DRIVEWAY | 10 (E) GARBAGE CAN | 18 (N) WALKWAY |
| 4 (E) PAVERS | 11 (E) SIGN | 19 (N) LANDING |
| 5 ROOF LINE ABOVE | 12 (E) WATER METER | 20 (N) GATE |
| 6 (E) FENCE | 13 (E) SEWER MANHOLE | 21 (N) WALKWAY |
| 7 (E) ACCESS SIDEWALK | 14 (E) SEWER LINE | |
| | 15 (E) TRELLIS | |

SITE PLAN NOTES

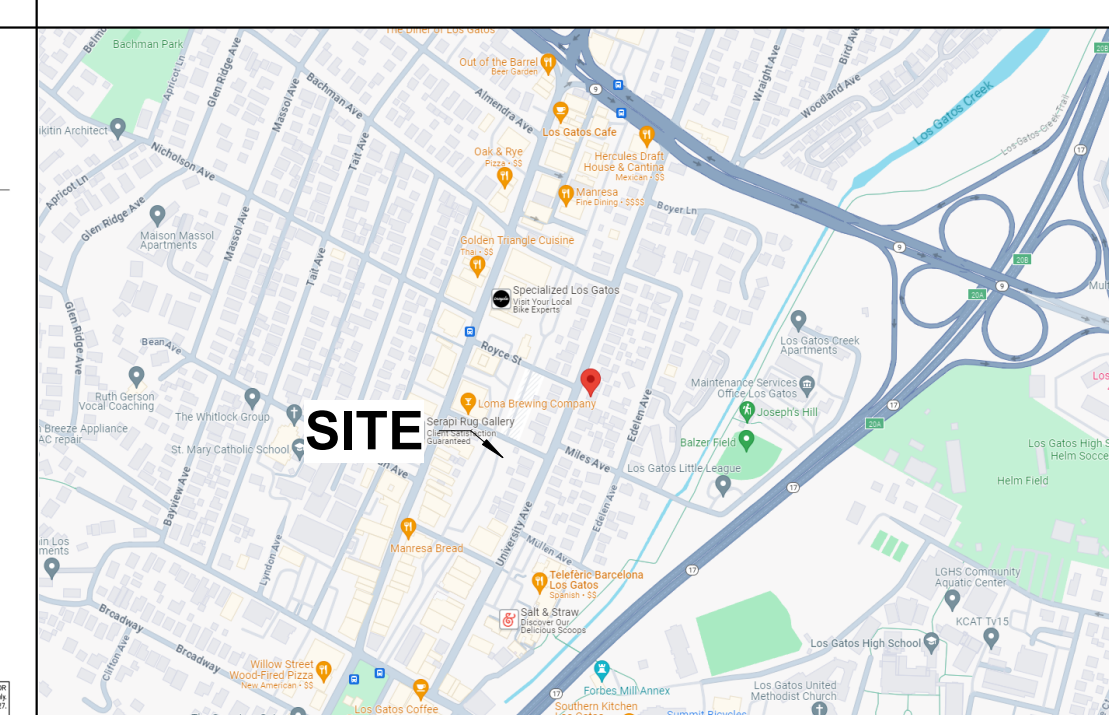
1. DEMOLITION CONTRACTOR SHALL RELOCATE REUSABLE MATERIALS TO DESIGNATED SALVAGE AREA. NON-USABLE MATERIALS SHALL BE PLACED APPROPRIATELY IN REFUSE BIN AND SHALL BE COVERED AT NIGHT AND DURING RELATIVE HIGH WINDS, RAIN, ETC.. REFUSE BIN SHALL BE COVERED DURING TRANSFER TO AND FROM DUMP SITE. CONTRACTOR TO BE LIABLE FOR REFUSE SPILLING. ALL DEBRIS TO BE HAULED AWAY AND CLEAN-UP SHALL BE COMPLETED TO BROOM FINISH. EXISTING MATERIALS AND/OR STRUCTURE TO REMAIN SHALL BE PROTECTED FROM DUST, PAINT CHIPPING, ETC... BY USE OF PLASTIC OR WHATEVER IS REQUIRED FOR PROPER PROTECTION. EXISTING STRUCTURES SHALL HAVE BRACING AND SHORING AS REQUIRED TO PROTECT THE EXISTING STRUCTURE. PROVIDE DE-WATERING FACILITIES FOR CONSTRUCTION AS REQUIRED. COORDINATE AS-BUILT INFORMATION, STRUCTURAL, ETC. TO DESIGNER/ENGINEER AS REQUIRED.

2. THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOID WASTE, PETROLEUM BYPRODUCTS, SOIL PARTICULATE, CONSTRUCTION WASTE MATERIALS, OR WASTEWATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET, GUTTER OR STORM DRAIN SYSTEM.

3. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULLBOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, PURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.

4. WHEN UTILITIES METER ALTERATION / RELOCATION OCCUR, INSTALLATION PROCEDURES SHALL BE VERIFIED AND APPROVED BY THE BUILDING INSPECTOR PRIOR TO INSTALLATION.

VICINITY MAP



PROJECT INFORMATION

OWNER: 222 UNIVERSITY AVE, LOS GATOS, CA 95030
ADDRESS:
PHONE:
EMAIL:

DESIGNER: BAY AREA PROJECT PRO
CONTACT: MY TRUONG
ADDRESS: 99 S ALMADEN BLVD #600, SAN JOSE, CA 95113
PHONE: 669-667-9189

CIVIL ENGINEER: TIMOTHY NGUYEN
ADDRESS: 4 VISTA IRVINE, CA 92612
PHONE: 714-883-6001

APPLICABLE CODE

LEGAL JURISDICTION : CITY OF LOS GATOS, CA 95030

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING CODES:
 2022 CALIFORNIA RESIDENTIAL CODE
 2022 CALIFORNIA PLUMBING CODE
 2022 CALIFORNIA MECHANICAL CODE
 2022 CALIFORNIA ENERGY CODE
 2022 CALIFORNIA ELECTRICAL CODE
 2022 CALIFORNIA GREEN BUILDING STANDARDS
 REGULATION OF THE STATE AND LOCAL FIRE MARSHALS & CITY ORDINANCE CITY OF LOS GATOS MUNICIPAL CODE.

SCOPE OF WORK

ROOF, SIDING, WINDOWS AND DOORS REPLACEMENT, ADDITION AND KITCHEN REMODEL OF APPROX. 48-SF

SHEET INDEX

A.00	COVER SHEET
A.01	CAL GREEN CODE
A.02	CAL GREEN CODE
A.03	GENERAL NOTES
A.10	EXISTING FLOOR PLANS
A.11	EXISTING ROOF PLAN & ELEVATIONS
A.12	PROPOSED FLOOR PLAN
A.13	PROPOSED ELEVATIONS/ SECTIONS
A.14	ROOM FINISH & ARCHITECTURAL DETAILS
S.01	STRUCTURAL NOTES
S.21	STRUCTURAL PLAN
SD1	STRUCTURAL DETAILS
SD2	STRUCTURAL DETAILS



REVISION		
ID	DATE	BY
01	12/18/24	PLAN CHECK

COVER SHEET

ADDITION AND REMODEL

DATE: **12/18/24**
 SCALE: AS SHOWN
 DRAW BY: **T.B**



JOB NO: **#335**
 DRAWING NO:

A.00

GENERAL NOTES :

1. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS, LICENSES, CONSTRUCTION TAXES AND FEES REQUIRED BY CITY, COUNTY AND STATE LAWS EXCEPT THE GENERAL BUILDING PLAN CHECK FEE AND REQUIRED REFUNDABLE DEPOSITS WHICH WILL BE PAID BY THE OWNER. CONTRACTOR SHALL ARRANGE FOR ALL METER INSTALLATIONS AND PAY ALL FEES FOR SAID METERS. CONTRACTOR SHALL PROVIDE TEMPORARY TOILET FACILITIES AND EROSION CONTROL MEASURES AS REQUIRED BY STATE AND LOCAL BUILDING CODE.

2. CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING COMPLETE KNOWLEDGE OF EXISTING CONDITIONS. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS WITH THOSE SHOWN ON THE DRAWINGS AND SHALL VERIFY GRADES, CONDITIONS AND DIMENSIONS PRIOR TO COMMENCING DEMOLITION AND CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY VERBALLY AND IN WRITING OF DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND THOSE DEPICTED IN THE CONTRACT DOCUMENTS. CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY VERBALLY AND IN WRITING OF ANY DISCREPANCIES FOUND WITHIN THE DRAWINGS AND SPECIFICATIONS.

3. CONTRACTOR IS SOLELY RESPONSIBLE FOR THE ACCURACY OF DETAILS; FOR CONFIRMING AND COORDINATING ALL QUANTITIES AND DIMENSIONS; FOR SELECTING FABRICATION PROCESSES; FOR TECHNIQUES OF ASSEMBLY AND PERFORMANCE OF ALL WORK IN A SAFE AND SATISFACTORY MANNER. CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL WORK INCLUDING THAT OF THE SUB-CONTRACTORS. CONTRACTOR SHALL PROVIDE SUPERVISION OF THE JOB DURING ALL PHASES OF CONSTRUCTION ACTIVITIES. A COMPETENT SUPERINTENDENT SHALL BE SELECTED BY THE CONTRACTOR AND SHALL BE IN CHARGE OF THE JOB UNTIL ITS COMPLETION. CONTRACTOR AGREES TO BIND EVERY SUB-CONTRACTOR BY THE TERMS OF THE CONTRACT AS FAR AS SUCH TERMS ARE APPLICABLE TO THE SUB-CONTRACTOR'S WORK.

4. CONTRACTORS SHALL BE RESPONSIBLE FOR THE DAILY REMOVAL OF ALL DEBRIS ACCUMULATED AS A RESULT OF THEIR OPERATIONS. ALL SCRAP DEBRIS AND OTHER EXCESS MATERIAL SHALL BE LAWFULLY REMOVED FROM THE SITE, UNLESS OTHERWISE DIRECTED BY THE CONTRACTOR.

5. CONTRACTOR SHALL GUARANTEE ALL WORK, MATERIALS AND PRODUCTS FOR ONE YEAR AFTER THE DATE OF ACCEPTANCE OF THE WORK AND CONTRACTOR SHALL REPAIR OR REPLACE, OR CAUSE TO BE REPAIRED OR REPLACED ANY OR ALL SUCH WORK TOGETHER WITH ANY OTHER WORK WHICH BE DISPLACED OR DAMAGED SO THAT IT MAY PROVE DEFECTIVE WITHIN ONE YEAR, WITHOUT ADDITIONAL EXPENSE; ORDINARY WEAR AND TEAR, UNUSUAL ABUSE OR NEGLIGENCE IS EXCEPTED. EXCEPTIONS TO ONE YEAR GUARANTEE ARE SPECIFIED IN OTHER SECTIONS OF THE PROJECT MANUAL OR DRAWINGS. STATE LAW, OR MANUFACTURER'S GUARANTEE SHALL GOVERN IF LENGTH AND TYPES OF GUARANTEES ARE MORE STRICT OR FOR LONGER PERIODS.

6. THAT IS RESPONSIBILITY OF CONTRACTOR TO PROVIDE MATERIALS AND CONSTRUCTION WHICH WILL YIELD A REASONABLE VALUE OVER A PERIOD OF TIME WHICH MAY EXCEED THE SPECIFIED GUARANTEE AND WARRANTY PERIODS.

7. CONTRACTOR SHALL BE RESPONSIBLE FOR A WEATHER TIGHT BUILDING, FREE FROM DEFECTS OF MATERIALS AND WORKMANSHIP. EACH SUB-CONTRACTOR SHALL PROVIDE A WRITTEN GUARANTEE STATING THAT WORK EXECUTED BY HIM IS FREE AND WILL REMAIN FREE FROM DEFECTS OF MATERIALS AND WORKMANSHIP FOR ONE YEAR FROM DATE OF ACCEPTANCE OF HIS WORK BY OWNER, AND THAT REPAIR AND REPLACEMENT OF SUCH DEFECTIVE WORK AND ALL OTHER WORK DAMAGED AS A RESULT THEREBY WILL BE EXECUTED IN A TIMELY MANNER AT THE CONVENIENCE OF THE OWNER AND WITHOUT COST TO OWNER.

8. THE ARCHITECT WILL NOT ACT AS THE OWNER'S REPRESENTATIVE DURING CONSTRUCTION. ARCHITECT WILL ADVISE AND CONSULT WITH OWNER. ARCHITECT WILL OBSERVE CONSTRUCTION PER HIS AGREEMENT WITH OWNER AND RENDER INTERPRETATIONS NECESSARY FOR THE PROPER EXECUTION OR PROGRESS OF THE WORK IN ACCORDANCE WITH THE INTENT OF THE PLANS AND SPECIFICATIONS. ARCHITECT WILL NOT BE RESPONSIBLE OR HAVE CONTROL OR CHARGE OVER THE ACTS OR OMISSIONS, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS, OF THE CONTRACTOR, SUB-CONTRACTORS, OR ANY OF THEIR AGENTS OR EMPLOYEES, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK.

ANY VERBAL INSTRUCTION OR AUTHORIZATION THAT IS CONFIRMED BY LETTER, MEETING NOTE, MEMORANDUM, OR THE LIKE, (WITH A COPY SENT TO THE OWNER, OR THE OWNER'S REPRESENTATIVE) & THERE IS NO EXCEPTION TAKEN WITHIN (10) CALENDAR DAYS, SHALL BE DEEMED EQUIVALENT TO RECEIPT OF WRITTEN INSTRUCTION, APPROVAL AND AUTHORIZATION FROM THE OWNER.

9. OWNER MAY ORDER EXTRA WORK OR MAKE CHANGES BY ALTERING, ADDING TO OR DEDUCTING FROM THE WORK, THE CONTRACT SUM BEING ADJUSTED TO REFLECT THE MUTUAL AGREEMENT OF THE OWNER, ARCHITECT AND CONTRACTOR. BEFORE ANY CHANGES ARE BEGUN, THE ADDED OR DEDUCTED SUM SHALL BE PRESENTED TO OWNER IN WRITING FOR APPROVAL.

10. SUBSTITUTIONS OF MATERIALS OR METHODS PROPOSED BY THE CONTRACTOR OR HIS SUB-CONTRACTORS CONTRARY TO DRAWINGS AND SPECIFICATIONS SHALL BE SUBMITTED TO ARCHITECT IN WRITING FOR APPROVAL OR DENIAL. IF MORE THAN ONE MANUFACTURER IS SPECIFIED IN THE PLANS OR SPECIFICATIONS, IT SHALL BE THE CONTRACTOR'S OPTION TO SELECT THE ONE WHICH HE MAY DESIRE. IF MORE THAN ONE FINISH OR STYLE IS AVAILABLE IN THE ITEM SPECIFIED, CONTRACTOR SHALL BE OBLIGATED TO NOTIFY ARCHITECT VERBALLY AND IN WRITING OF THIS FACT FOR ARCHITECT'S AND OWNER'S DECISION.

11. THESE DRAWINGS AND SPECIFICATIONS SHALL BE INTENDED TO SHOW AND DESCRIBE DETAILS FOR A CONSTRUCTIBLE BUILDING. PARTS AND DETAILS NOT FULLY SHOWN OR DESCRIBED SHALL BE DETAILED AND EXECUTED TO STANDARD FIRST CLASS PRACTICE AND IN SIMILAR MANNER AND SPIRIT OF THE DETAILS WHICH ARE SHOWN ON THE DRAWINGS AND/OR DESCRIBED IN THE PROJECT MANUAL. IF CONTRACTOR OR SUB-CONTRACTOR FINDS ANY DETAILS WHICH, IN HIS OPINION, ARE UNSOUND, UNSAFE, OR NOT WATERPROOF, IT IS HIS DUTY TO NOTIFY ARCHITECT IN WRITING OF THIS FACT. IF WORK IS PERFORMED AS DETAILED, IT WILL BE ASSUMED THAT THERE ARE NO OBJECTIONS TO THE DETAIL. ACCURACY OF ALL DIMENSIONS SHALL BE CHECKED. NO EXTRA COMPENSATION WILL BE ALLOWED FOR DIFFERENCE BETWEEN ACTUAL DIMENSIONS AND THOSE INDICATED ON THE DRAWINGS.

12. IN USING THESE PLANS FOR BIDDING OR CONSTRUCTION PURPOSES, ALL CONTRACTORS ARE REQUIRED TO REVIEW AND TREAT THEM AS A WHOLE IN ORDER TO IDENTIFY ALL REQUIREMENTS THAT DIRECTLY OR INDIRECTLY AFFECT THEIR PORTION OF THE WORK, EVEN REQUIREMENTS LOCATED IN SECTIONS DESIGNATED AS APPLICABLE TO OTHER TRADES. IN CASE OF CONFLICTS, THE AFFECTED CONTRACTOR IS REQUIRED TO EITHER OBTAIN DIRECTION FROM AN APPROPRIATE REPRESENTATIVE OF THE OWNER, OR OTHERWISE TO APPLY THE MORE STRINGENT STANDARD.

13. THESE PLANS ARE INTENDED TO SET FORTH THE REQUIREMENTS FOR CONSTRUCTION IN ONLY AN INDUSTRY-STANDARD LEVEL OF QUALITY AND DETAIL, AND THE ARE INTENDED TO BE SUPPLEMENTED BY APPROPRIATE REQUESTS FOR CLARIFICATION AND INFORMATION. ERRORS AND OMISSIONS ARE TO BE EXPECTED AND ANTICIPATED, AND ALL CONTRACTORS ARE REQUIRED TO CAREFULLY REVIEW THESE PLANS FOR ERRORS AND OMISSIONS AND TO BRING THESE ERRORS AND OMISSIONS TO THE ATTENTION OF AN APPROPRIATE OWNER & ARCHITECT IN WRITING IN A TIMELY MANNER; AND ANY CONTRACTOR WHO FAILS TO DO SO BEFORE BIDDING OR OTHERWISE PROCEEDING ASSUMES THE RISK OF ANY CONSEQUENCES. SCALED DIMENSIONS SHOULD BE CONSIDERED ONLY APPROXIMATE, AND IN ANY DIMENSIONS BEFORE PROCEEDING WITH ANY AFFECTED PROCUREMENT, FABRICATION OR CONSTRUCTION.

14. FIGURED DIMENSIONS SHALL BE FOLLOWED IN PREFERENCE TO SCALE, AND DETAIL DRAWINGS IN PREFERENCE TO SMALL SCALE DRAWINGS. SUB-CONTRACTOR AND CONTRACTOR SHALL CHECK ACCURACY OF ALL DIMENSIONS IN THE FIELD PRIOR TO ANY WORK BEING CONSTRUCTED OR MATERIALS OR PRODUCTS FABRICATED OR ORDERED. SPECIFICATIONS AND WRITTEN NOTES AND SCHEDULES ON DRAWINGS SHALL BE FOLLOWED IN PREFERENCE TO INFORMATION FURNISHED IN THE FORM OF LINE DRAWINGS. DETAILED DRAWINGS FURNISHED DURING CONSTRUCTION OR APPROVED BY CONTRACTOR OR ARCHITECT ARE TO BE CONSIDERED EXPLANATORY AND NOT AS CHANGES TO DRAWINGS AND SPECIFICATIONS. NOTES, FIGURES AND DETAILS ON SAID DRAWINGS SHALL BE FOLLOWED AND EXECUTED AS IF PART OF THESE DOCUMENTS.

15. ERRORS OR OMISSIONS WHICH APPEAR ON THE DRAWINGS, IN SPECIFICATIONS OR OTHER CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT BY THE CONTRACTOR AND TO THE CONTRACTOR BY THE SUB-CONTRACTOR IN WRITING. IN EVENT OF FAILURE OF SUB-CONTRACTOR TO GIVE SUCH WRITTEN NOTICE BEFORE CONSTRUCTION OR FABRICATIONS OF THE WORK, HE WILL BE HELD RESPONSIBLE FOR THE RESULTS OF ANY SUCH ERRORS OR OMISSIONS AND THE COSTS OF RECTIFYING SAME. HOWEVER, DRAWINGS AND SPECIFICATIONS ARE COMPLEMENTARY AND WORK CALLED FOR ON ONE AND NOT THE OTHER SHALL BE PROVIDED AS THOUGH FULLY SET FORTH IN BOTH.

16. AT ALL TIMES DURING CONSTRUCTION ACTIVITIES OR ERECTION OF PROJECT OR ITS COMPONENT PARTS, PRIOR TO COMPLETION OF THE STRUCTURAL FRAME OR REPLACEMENT AND PERMANENT CONNECTION OF COMPONENT MEMBERS TO THE STRUCTURAL FRAME, SUB-CONTRACTORS SHALL PROVIDE, INSTALL AND MAINTAIN PROPERLY DESIGNED AND CONSTRUCTED TEMPORARY BRACING OF ADEQUATE STRENGTH TO PREVENT DISLOCATION, DISTORTION, CRACKING, FALLING OFF, OR ANY OTHER DAMAGE TO WORK OR ANY OF ITS COMPONENT PARTS DUE TO FORESEEABLE NORMAL AS WELL AS NOT FORESEEABLE EXCESSIVE WIND AND EARTHQUAKE FORCES WITHOUT ADDITIONAL COST TO OWNER. CONTRACTOR AND HIS SUB-CONTRACTORS SHALL, AT THEIR EXPENSE, REPLACE OR REPAIR, AS DIRECTED, DAMAGED PORTIONS OF THEIR WORK OR COMPONENT PARTS.

17. NO CHANGES ARE TO BE MADE ON THESE PLANS WITHOUT THE KNOWLEDGE OR CONSENT OF THE ARCHITECT/ ENGINEER WHOSE SIGNATURE APPEARS HEREON.

18. NO FRAMING OF ANY TYPE TO BE CONCEALED PRIOR TO INSPECTION BY GOVERNING AGENCIES.

19. REFERENCES TO ANY DETAIL OR DRAWINGS IS FOR CONVENIENCE ONLY AND DOES NOT LIMIT THE APPLICATION OF SUCH DETAIL OR DRAWINGS.

20. THE BUILDER SHALL PROVIDE TO THE BUILDING OWNER AT OCCUPANCY MAINTENANCE INFORMATION FOR ALL FEATURES, MATERIALS, COMPONENTS, AND MANUFACTURED INFORMATION FOR ALL FEATURES, MATERIALS, COMPONENTS AND MANUFACTURED DEVICES THAT REQUIRE ROUTINE MAINTENANCE FOR EFFICIENT OPERATION. REQUIRED ROUTINE MAINTENANCE ACTIONS SHALL BE CLEARLY STATED AND INCORPORATED ON A READILY ACCESSIBLE LABEL. THE LABEL MAY BE LIMITED TO IDENTIFYING, BY TITLE AND/OR PUBLICATION NUMBER, THE OPERATION AND MAINTENANCE MANUAL FOR THAT PARTICULAR MODEL AND TYPE OF FEATURE, MATERIAL, COMPONENT, OR MANUFACTURED DEVICE.

21. AFTER INSTALLING WALL, CEILING, OR FLOOR INSULATION, THE INSTALLER SHALL MAKE AVAILABLE TO THE ENFORCEMENT AGENCY OR POST IN A CONSPICUOUS LOCATION IN THE BUILDING A CERTIFICATE SIGNED BY THE INSTALLER STATING THAT THE INSTALLATION IS CONSISTENT WITH THE PLANS AND SPECIFICATIONS FOR WHICH THE BUILDING PERMIT WAS ISSUED. THE CERTIFICATE SHALL ALSO STATE THE MANUFACTURER'S NAME AND MATERIAL IDENTIFICATION, THE INSTALLED R-VALUE, AND (IN APPLICATIONS OF LOOSE FILL INSULATION) THE MINIMUM INSTALLED WEIGHT PER SQUARE FOOT CONSISTENT WITH THE MANUFACTURER'S LABELED INSTALLED DESIGN DENSITY FOR THE DESIRED R-VALUE.

22. INSPECTOR TO REVIEW AND APPROVE UNDERGROUND ELEC. SERVICE PRIOR TO CONCRETE PLACEMENT.

23. ISSUANCE OF A BUILDING PERMIT DOES NOT RELIEVE APPLICANTS OF THE LEGAL REQUIREMENTS TO OBSERVE COVENANTS, CONDITIONS AND RESTRICTIONS WHICH MAY BE RECORDED AGAINST THE PROPERTY OR TO OBTAIN PLANS. YOU SHOULD CONTACT YOUR COMMUNITY ASSOCIATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION AUTHORIZED BY THIS PERMIT.

24. GENERAL CONTRACTOR, CONTRACTORS, SUB-CONTRACTORS AND BUILDERS TO COORDINATE ALL ENGINEERING AND MECHANICAL DRAWINGS WITH ARCHITECTURAL DRAWINGS BEFORE PROCEEDING WITH WORK. IF DISCREPANCIES ARE APPARENTLY OBSERVED OR INFORMATION APPARENTLY IS THOUGHT TO BE MISSING, NOTIFY ARCHITECT WITHIN 24 HOURS WITH SKETCH, DRAWING, PDF, PHOTOCOPIES WITH LEGIBLE HAND WRITTEN NOTES AND/OR WRITING (FAX, EMAIL OR CORRESPONDENCE). IF CONFLICT WITH EXISTING CONDITIONS, PROVIDE DOCUMENTATION (PHOTOS, SKETCHES, DWGS) OF EXISTING CONDITIONS AND SUGGEST PROPOSAL(S) FOR SOLUTION (SKETCH, DRAWING, AND/OR WRITING).

ABBREVIATION :

&	AND	(E.)	EXISTING/ EAST/	I.D.	INSIDE DIAMETER/	R.A.	RETURN AIR
<	ANGLE		ENTRY/ EACH		INTERIOR DESIGNER	RAD.	RADIUS
@	AT	E.J.	EXPANSION JOINT	IN.	INCH	R.D.	ROOF DRAIN
C	CENTERLINE	EL.	ELEVATION	INSUL.	INSULATION	R.D.L.	ROOF DRAIN LEADER
Ø	DIAMETER OR ROUND	ELEC.	ELECTRIC	INT.	INTERIOR	RECT.	RECTANGULAR
PL	PROPERTY LINE, PLATE	ELEV.	ELEVATOR	INV.	INVERT/	REF.	REFERENCE
		EMER.	EMERGENCY		INVERTED	REFR/ R/F	REFRIGERATOR
A.B.	ANCHOR BOLT	ENCL.	ENCLOSURE			REG.	REGISTER
ABV.	ABOVE	E.P.	ELECTRIC PANEL	JAN.	JANITOR	REIN.F.	REINFORCEMENT
A/C	AIR CONDITIONING	E.Q.	EQUAL/	JT.	JOINT	REQ.D.	REQUIRED
A.C.	ASPHALT CONCRETE		EQUIVALENT	JST.	JOIST	RESIL.	RESILIENT
ACOUS.	ACOUSTICAL	EQPT/	EQUIPMENT	KIT.	KITCHEN	RET.	RETAIN(ING), RETURN
A.D.	AREA DRAIN	EQPM	EACH WAY			RM.	ROOM
ADH.	ADHESIVE	E.W.	EXISTING			R.O.	ROUGH OPENING
ADJ.	ADJUSTABLE	EXST.	EXISTING			R.R.	ROOF RAFTER
AL.	ALUMINUM	EXH.	EXHAUST	L.	LOW/LINEN	R.W.D.	REDWOOD
ALT.	ALTERNATE	EXPO.	EXPOSED	L.A.	LANDSCAPED AREA		
ANOD.	ANODIZED	EXT.	EXTERIOR	LAB.	LABORATORY	S.	SOUTH
A.P.	ACCESS PANEL	E.G.	EXISTING GRADE	LAM.	LAMINATE	S.A.	SUPPLY AIR
APPX.	APPROXIMATELY			LAV.	LAVATORY	S.C.	SOLID CORE
APPV'D	APPROVED	F.	FIXED	LBS.	POUNDS	S.C.D.	SEAT COVER DISPENSER
ARCH.	ARCHITECTURAL	F.A.	FIRE ALARM	LFA.	LOAD FROM ABOVE	SCHED.	SCHEDULE
ASB.	ASBESTOS	FAC.	FACTORY	L.H.	LEFT HAND	S.D.	SUB DRAIN/
ASSY.	ASSEMBLY	F.C.O.	FLOOR CLEAN OUT	L.K.R.	LOCKER		SOAP DISPENSER
AUTO.	AUTOMATIC	F.D.	FLOOR DRAIN	LT.	LIGHT		SECTION
		FDN.	FOUNDATION	LUM.	LUMINOUS	SEC.	SELECTED
B.	BATH	F.E.	FIRE EXTINGUISHER	MAINT.	MAINTENANCE	SEL.	SHelf
BD.	BOARD	F.E.C.	FIRE EXTINGUISHER CABINET	MAS.	MASONRY	SHT.	SHEET
BEL.	BELOW	F.G.	FINISH GRADE	MAT.	MATERIAL	SHT'G.	SHEATHING
BET.	BETWEEN	F.H.	FLAT HEAD	MAX.	MAXIMUM	SIM.	SIMILAR
BITUM.	BITUMINOUS	FIN.	FINISH	M.B.	METAL BOLT	SIMP.	SIMPSON
BLDG.	BUILDING	FIX/FIXT	FIXTURE	M.C.	MEDICINE CABINET	S.J.	SOFFIT JOIST
BLK.	BLOCK	F.J.	FLOOR JOIST	MECH.	MECHANICAL	S.S.	STAINLESS STEEL
BL'K'G	BLOCKING	F.L.	FLOW LINE	MEMB.	MEMBRANE	S.SK.	SERVICE SINK
BM.	BEAM	FLASH.	FLASHING	MET/MTL.	METAL	STA.	STATION
B.O.	BY OWNER/BY OTHERS	FLR.	FLOOR		MFR/MFGR MANUFACTURER	STD.	STANDARD
BOT.	BOTTOM	FLUOR.	FLUORESCENT	M.H.	MAN HOLE	STL.	STEEL
BR.	BEDROOM	F.O.C.	FACE OF CONCRETE/	MIN.	MINIMUM	STOR.	STORAGE
B.W.	BACK OF WALK/		FACE OF CURB	MIR.	MIRROR	STRUC.	STRUCTURAL
	BOT. OF WALL	F.O.F.	FACE OF FINISH	MISC.	MISCELLANEOUS	SUSP.	SUSPENDED
		F.O.S.	FACE OF STUD/	M.O.	MASONRY OPENING	SYM.	SYMMETRICAL
CAB.	CABINET		FACE OF STRUCUTRE	MOS.	MOSAIC	T.	TREAD
C.B.	CATCH BASIN	F.O.M.	FACE OF MASONRY	MTD.	MOUNTED	T.C.	TOP OF CURB
CEM.	CEMENT	FP.	FIREPLACE	MUL.	MULLION	T.CL.	TIME CLOCK
C.G.	CORNER GUARD	F.S.	FLOOR SINK			TEL.	TELEPHONE
CHAN.	CHANNEL	FT.	FOOT OR FEET	(N.)	NEW	TEMP.	TEMPERED
CHG.	CHANGE	FTG.	FOOTING	N.	NORTH	TER.	TERRAZZO
C.I.	CAST IRON	FURR.	FURRING	NAT.	NATURAL	T.D.	TOP OF FENCE
C.J.	CONTROL JOINT/	FUT.	FUTURE	N.I.C.	NOT IN CONTRACT	T.&G.	TONGUE AND GROOVE
	CONST. JOINT	F.V.	FIELD VERIFY	N.S.	NATURAL GRADE	THK.	THICK
				NO.	NUMBER	T.P.	TOP OF PAVING
CLG.	CEILING/ CEILING JOIST			NOM.	NOMINAL	T.O.S.	TOP OF STRUCTURE/SLAB
CL.KG.	CAULKING			N.T.S.	NOT TO SCALE	TRANS.	TRANSFORMER
CLR.	CLEAR	GA.	GAUGE			T.S.	TOP OF STEP
CNTR.	COUNTER	GAL.V.	GALVANIZED	O/.	OVER	T.W.	TOP OF WALL
CONC.	CONCRETE	G.B.	GRAB BAR/GRADE BEAM	OBS.	OBSCURE	TYP.	TYPICAL
COND.	CONDITION	G.C.	GENERAL CONTRACTOR	O.C.	ON CENTER	U	UNDER
CONST.	CONSTRUCTION	GEN.	GENERAL	O.D.	OUTSIDE DIAMETER/	U.B.C.	UNIFORM BUILDING CODE
CONT.	CONTRACTOR/ CONTINUOUS	G.F.I.	GROUND FAULT INTERRUPT		DIMENSION	U.G.	UNDERGROUND
CORR.	CORRIDOR, CORROSIIVE	G.I.	GALVANIZED IRON	O.F.D.	OVERFLOW DRAIN	U.L.	UNDERWRITER'S LABORATORY
CTSK.	COUNTERSUNK	G.L.	GLASS	OFF.	OFFICE	UNF.	UNFINISHED
CTR.	CENTER	G.L.B.	GLULAM BEAM	OPNC.	OPENING	U.N.O.	UNLESS NOTED OTHERWISE
		GND.	GROUND	OPP.	OPPOSITE	UR.	URINAL
DBL.	DOUBLE	GR.	GRADE			V.	VERTICAL
DECO.	DECORATIVE	GYP.	GYPSUM	PERIM.	PERIMETER	VENT.	VENTILATING
DEPT.	DEPARTMENT	G.P.	GRADE PLANE	PL.	PLATE/PROPERTY LINE	VERT.	VERTICAL
DET.	DETAIL			PLAM.	PLASTIC LAMINTE	VER.	VERIFY
D.F.	DRINKING FOUNTAIN/	H.	HIGH	PLUMB.	PLUMBING	V.T.R.	VENT THROUGH ROOF
	DOUGLASS FIR	H.B.	HOSE BIB	PLYWD	PLYWOOD	V.I.F	VERIFY IN FIELD
DIA.	DIAMETER	H.C.	HOLLOW CORE	PNT.	PAINT		
DIAG.	DIAGONAL	HD.	HEADER	P.O.C.	POINT OF CONNECTION	W.	WEST, WIDE, WIDTH
DIM.	DIMENSION	HDWR.	HARDWARE	PR.	PAIR	W	WASHING MACHINE
DN.	DOWN	HDWD.	HARDWOOD	PROJ.	PROJECTION	WD.	WOOD
DR.	DOOR	HR.	HORIZONTAL	PSL.	PARALLEL STRAND	W.H.	WATER HEATER
DR.	DOWN SPOUT	HORIZ.	HOLLOW METAL		LAMINATE	W.C.	WATER CLOSET
D.S.	DRY STAND PIPE	HT./HGT.	HEIGHT	PT.	POINT	W.I.	WROUGHT IRON
D.S.P.	DRY STAND PIPE	HVAC	HEATING VENTILATING/			WP.	WATERPROOF
DWG.	DRYER		AIR COND.			W.W.M.	WELDED WIRE MESH
D.	DISHWASHER						

EMERGENCY EGRESS

1. MIN. SET CLEAR OPENING OF 5.7 SQUARE FEET.

2. MIN. SET CLEAR HEIGHT OF 24 INCHES.

3. WINDOW SILL CLEAR OPENING EMERGENCY EGRESS NO MORE THAN 44 INCHES ABOVE THE FLOOR.

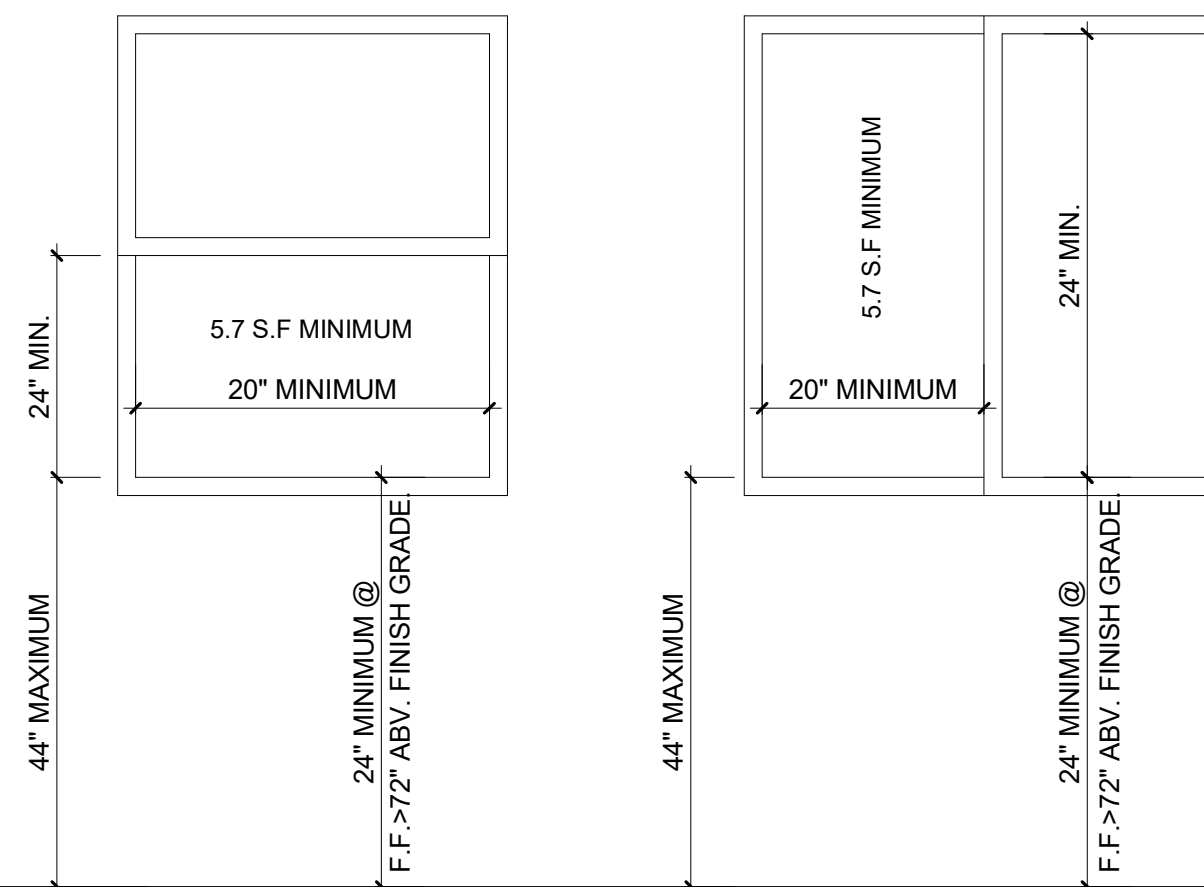
WINDOW AND DOOR NOTE

1. WINDOW MANUFACTURER AND INSTALLER SHALL INSURE THAT ALL WINDOWS MEET OR EXCEED ALL EGRESS REQUIREMENTS OF CRC R310 & R312

2. ALL WINDOWS AND SLIDING GLASS DOORS SHALL BE INSTALLED PER AMERICAN ARCHITECTURAL MANUFACTURERS ASSOCIATION AAMA 2400-02 RECOMMENDATIONS *STANDARD PRACTICE FOR INSTALLATION OF WINDOWS WITH INTEGRAL MOUNTING FLANGES IN STUD FRAME CONSTRUCTION*.

3. INSTALL AN ISOLATION MEMBRANE BELOW THE THRESHOLD OF ALL SLIDING GLASS DOORS THAT REST ON A CONCRETE SLAB.

4. ALL SEALANT SHALL BE OF HIGH QUALITY AND REVIEWED OFR COMPATIBILITY WITH ASPHALTIC MEMBRANES AND FLASHING MATERIAL.



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GENERAL NOTES

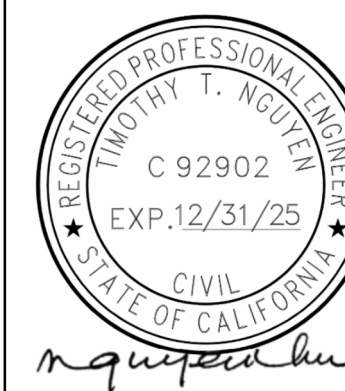
ADDITION AND REMODEL

DATE: **12/18/24**

SCALE: AS SHOWN

DRAW BY: **T.B**

STAMP:




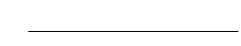
JOB NO: **#335**

DRAWING NO:

A.03

SYMBOLS LEGEND :

<p>LETTER LEFT TO RIGHT</p>	GRID SYMBOL	<p>WALL TYPE</p>	WALL TYPE
<p>SECTION NUMBER SHEET NUMBER</p>	BUILDING SECTION	<p>KEYNOTE NUMBER</p>	KEY NOTE REFERENCE
<p>ELEVATION NUMBER SHEET NUMBER</p>	BUILDING ELEVATION	<p>STEP AS SLAB</p>	
<p>DETAIL NUMBER SHEET NUMBER</p>	DETAIL REFERENCE	<p>REVISION NUMBER</p>	REVISION REFERENCE
<p>DOOR ID</p>	DOOR TYPE	<p>WINDOW ID</p>	WINDOW TYPE, GLASS
<p>ROOM NUMBER WALL NUMBER INTERIOR ELEV. SHEET NUMBER</p>	ROOM NUMBER AND INTERIOR ELEVATION REFERENCE		
<p>ROOM NAME ROOM NUMBER</p>	ROOM REFERENCE		

LEGEND	
	EXISTING COSTRUCTION TO BE COVERED
	EXISTING COSTRUCTION TO BE REMAINED

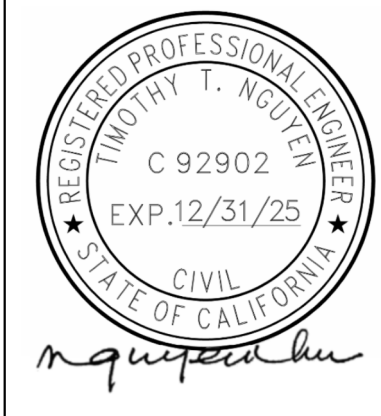
REVISION		
ID	DATE	BY
01	12/18/24	PLAN CHECK

EXISTING FLOOR PLANS

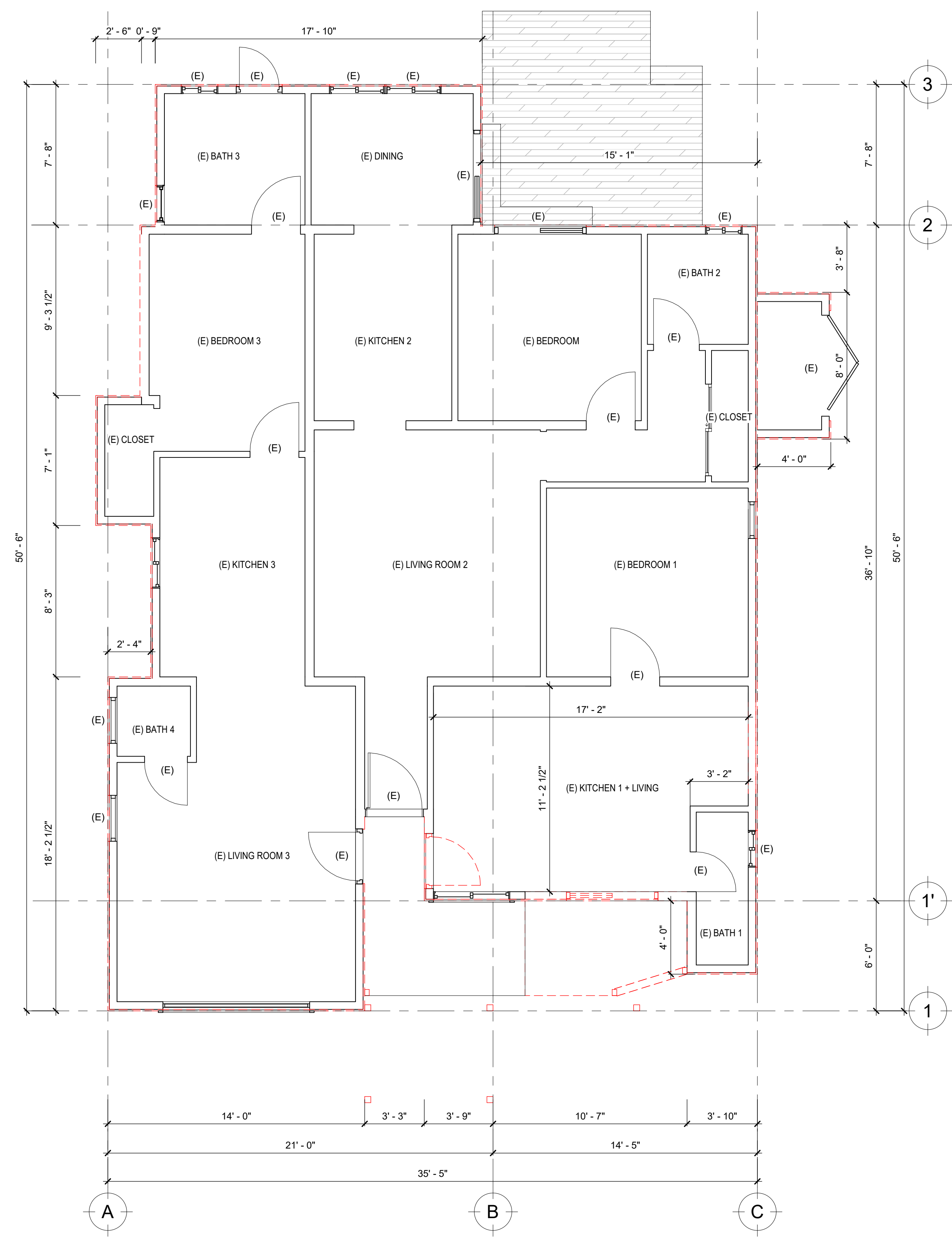
ADDITION AND REMODEL

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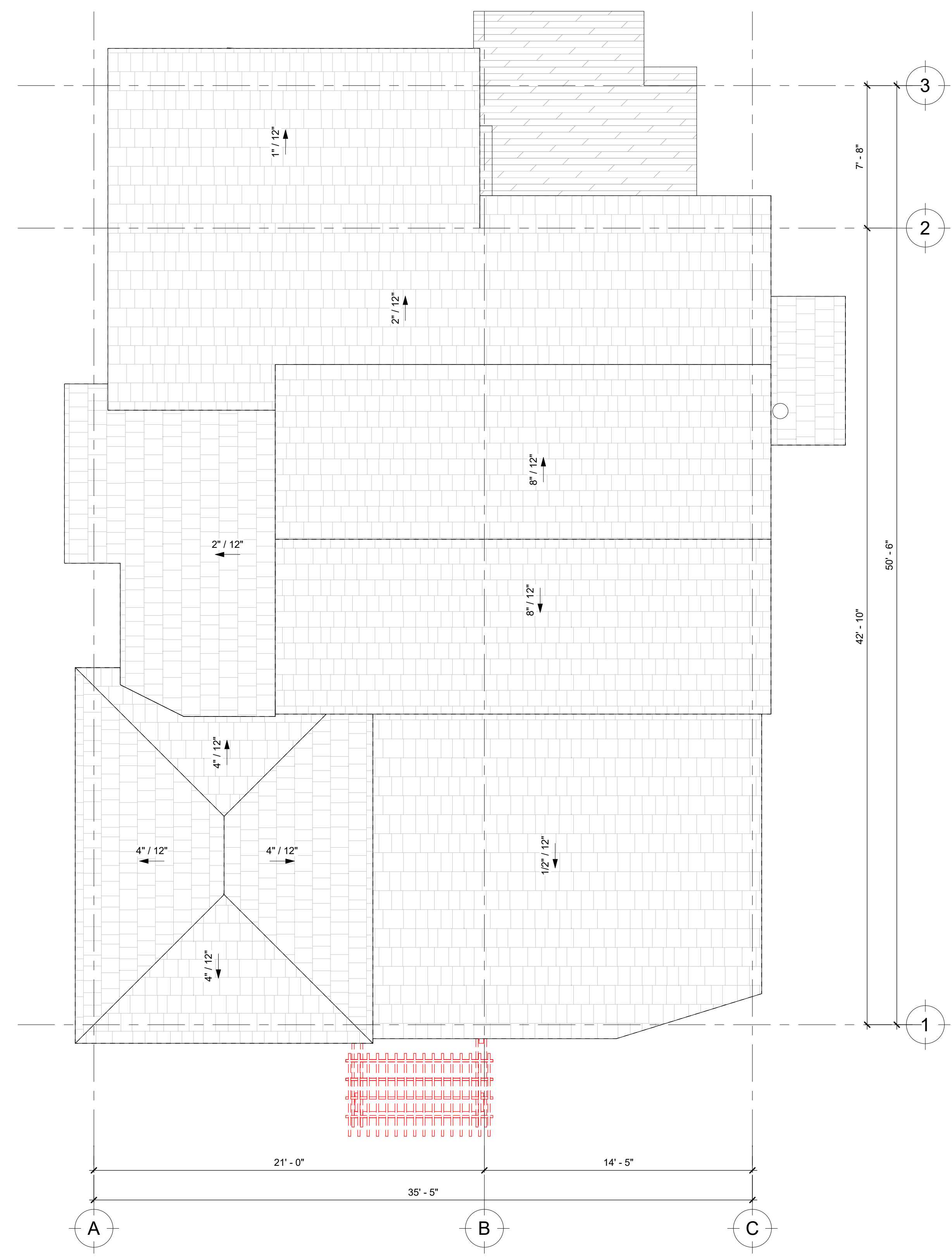
DATE:	12/18/24
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DRAW BY:	T.B



JOB NO:	#335
DRAWING NO:	



1 EXISTING FLOOR PLAN
1/4" = 1'-0"



2 EXISTING ROOF PLAN
1/4" = 1'-0"

REVISION

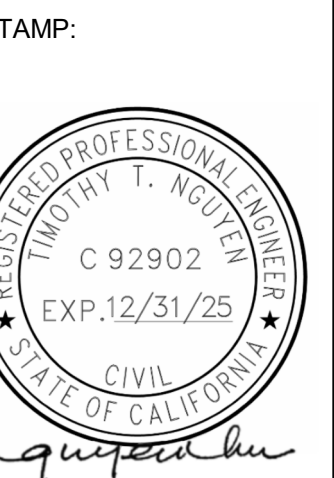
ID	DATE	BY
01	12/18/24	PLAN CHECK

**EXISTING ROOF PLAN &
ELEVATIONS**

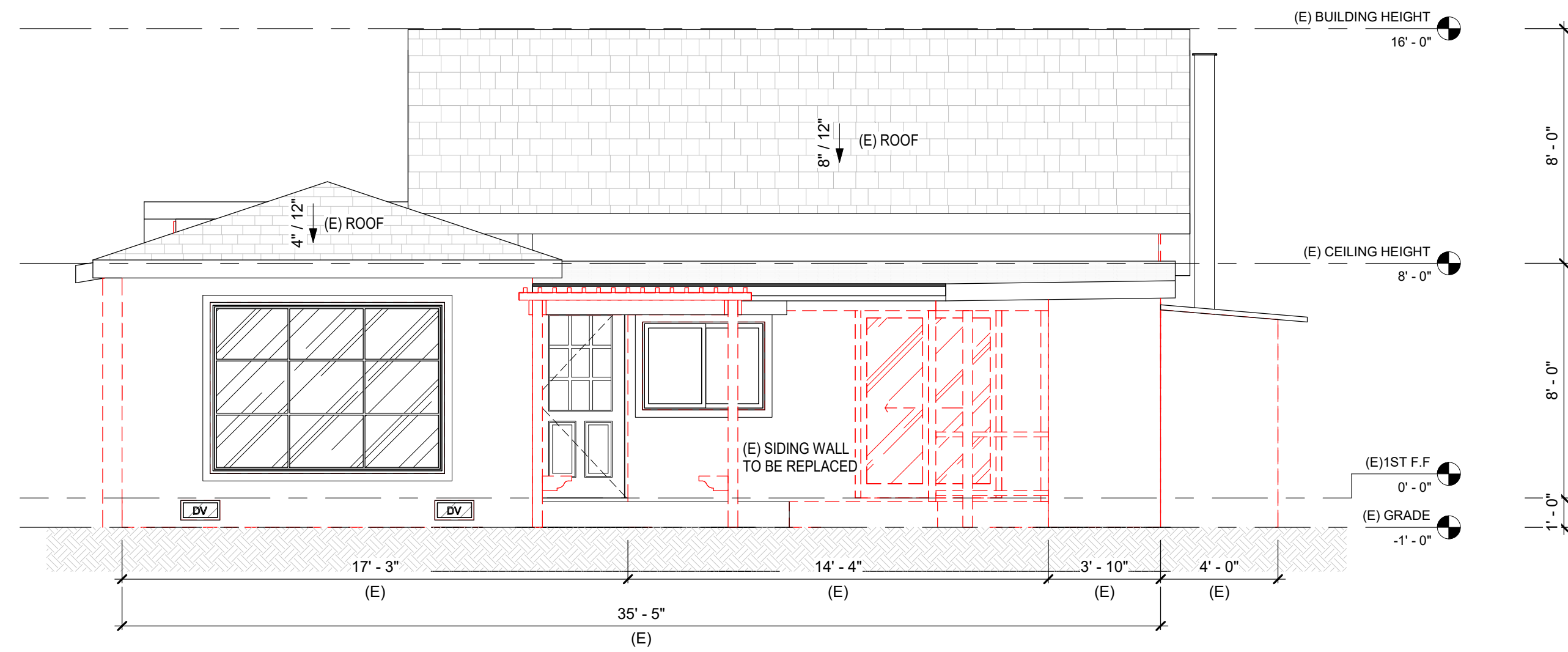
ADDITION AND REMODEL

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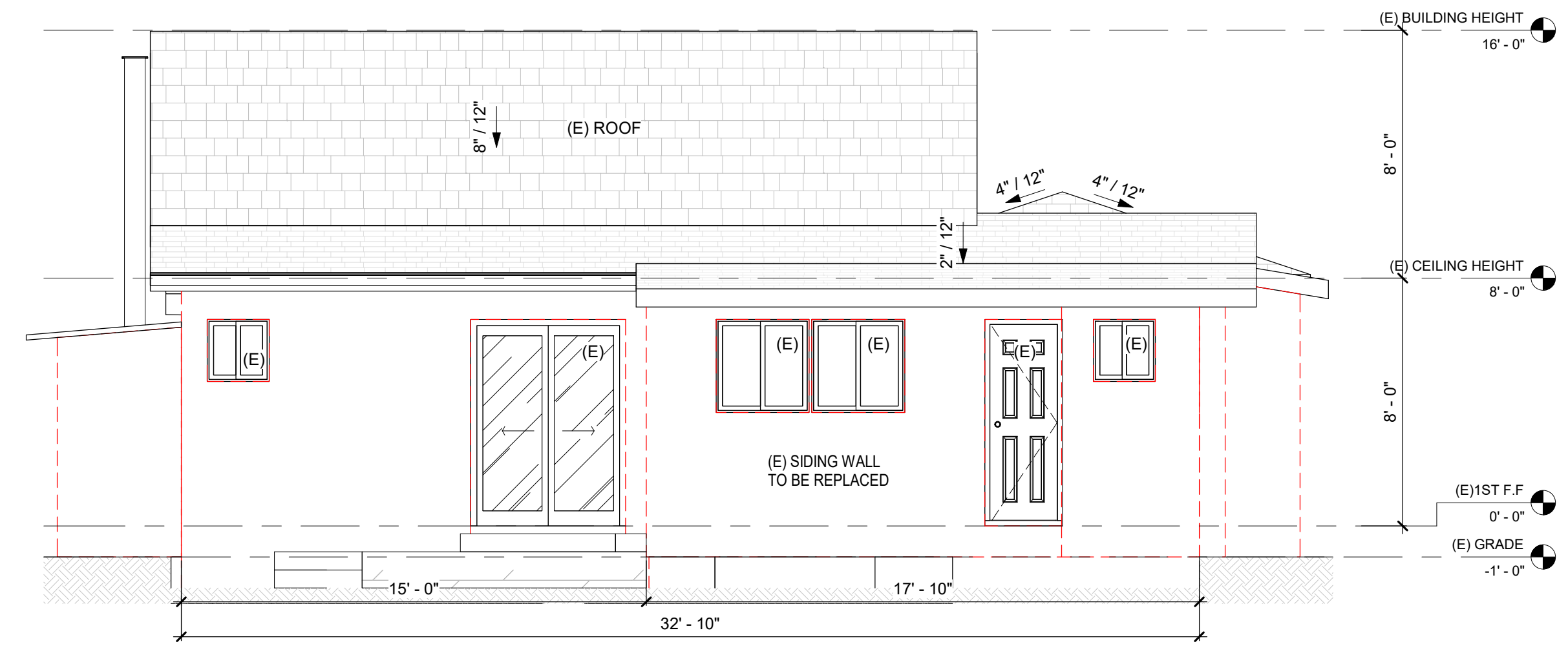
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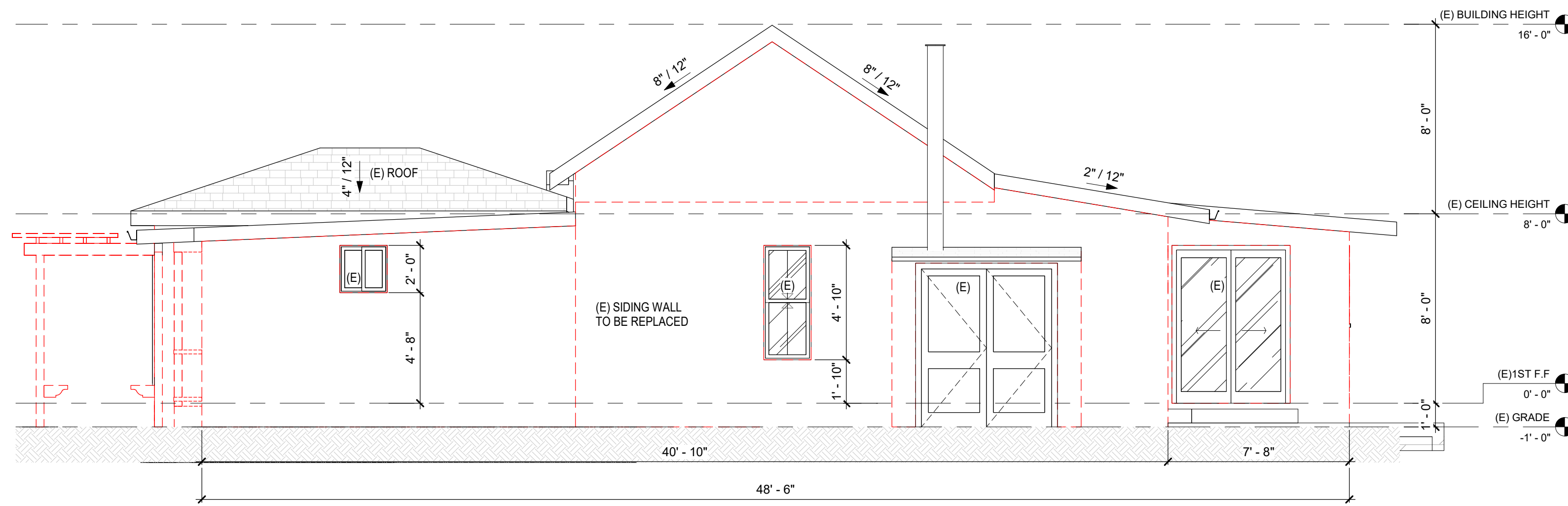
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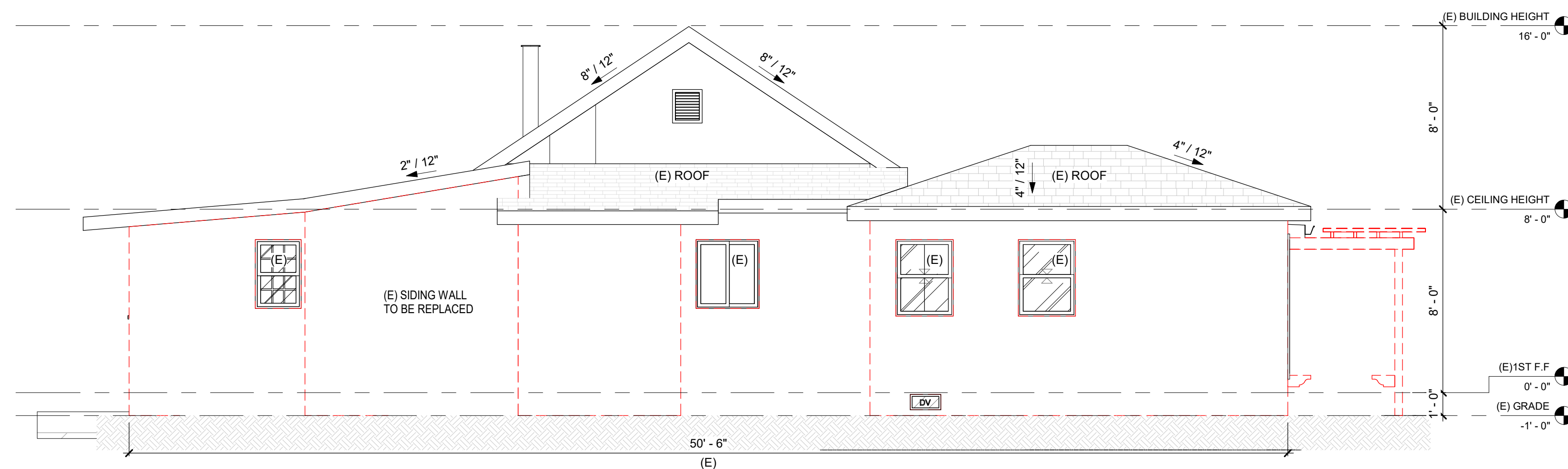
1 (E) FRONT ELEVATION
1/4" = 1'-0"



2 (E) REAR ELEVATION
1/4" = 1'-0"



3 (E) RIGHT ELEVATION
1/4" = 1'-0"



4 (E) LEFT ELEVATION
1/4" = 1'-0"

REVISION		
ID	DATE	BY
01	12/18/24	PLAN CHECK

PROPOSED FLOOR PLAN

ADDITION AND REMODEL

222 University Ave, Los Gatos, CA 95030

DATE: 12/18/24
SCALE: AS SHOWN
DRAW BY: T.B



JOB NO: #335
DRAWING NO:

A.12

FLOOR NOTES

1. VERIFY ALL APPLIANCE EQUIPMENT AND FIXTURE DIMENSIONS AND INSTALLATION REQUIREMENTS PRIOR TO CASEWORK FABRICATION INSTALLATION.
 2. FINISH END WALLS OF CABINETS FLANKING OPENING TO MATCH CABINET FACE. PRIME & PAINT EXPOSED GYP. BD. WALL TO MATCH WALLS. INSTALL MATCHING BASE BD.
 3. EXTEND FLOORING UNDER APPLIANCES RESTING ON FLOOR.
 4. SHOWER COMPARTMENTS AND WALLS ABOVE BATH TUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH, NON-ABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 70 INCHES ABOVE THE DRAIN INLET.
 5. OFFSET ALL IMMEDIATELY ADJACENT DOOR OPENINGS 4" FROM PERPENDICULAR WALL, UNO.
 6. CEILING HEIGHTS INDICATED ARE MEASURED FROM FINISH FLOOR TO BOTTOM OF CEILING FINISH
 7. SMOKE DETECTORS WILL BE PROVIDED PER CHAPTER 3 CRC. THE SMOKE DETECTOR WILL BE HARD WIRED WITH BATTERY BACK-UP AND LOCATED (1) IN EACH BEDROOM, HALLWAYS OUTSIDE BEDROOMS, AND ON EACH STORY. SMOKE DETECTOR ALARM SOUND MUST BE AUDIBLE IN SLEEPING AREAS WHICH MAY REQUIRE INTERCONNECTED SMOKE DETECTORS WITHIN THE UNIT. SEE UTILITY PLANS FOR LOCATIONS. INSTALL AND LOCATE PER MFRG. LISTED REQUIREMENTS.
 8. PROVIDE CARBON MONOXIDE DETECTOR ALARMS ON CEILING OR WALLS OUTSIDE SLEEPING ROOMS PER CHAPTER 3 CRC.
 9. ALL NEW WINDOWS TO BE DUAL PANES TO MEET CURRENT ENERGY STANDARD REQUIREMENTS.
 10. USE 2x8 STUDS FOR PLUMBING WALL IF NECESSARY.
 11. PROVIDE BACKING FOR ALL ACCESSORIES, FIXTURES AND WINDOW COVERINGS.
 12. PROVIDE TWO LAYERS OF GRADE D OR 60-MINUTE GRADE D PAPER OVER ALL WOOD BASE SHEATHING AT EXTERIOR WALLS.
 13. A MINIMUM 26 GAUGE, CORROSION RESISTANT OR PLASTIC WEEP SCREED WITH A MINIMUM VERTICAL FLANGE OF 3/4 INCHES SHALL BE PROVIDED AT OR BELOW FOUNDATION PLATE LINE ON EXTERIOR STUD WALLS. SCREED SHALL BE A MINIMUM OF 4 INCHES ABOVE EARTH OR 2 INCHES ABOVE PAVED AREAS. (CRC R703.7.2.1)
 14. PROVIDE GFI PROTECTION TO ALL 120 VOLT, 15 AND 20 AMP RECEPTACLES INSTALLED AT OUTDOORS, IN BATHROOM, AT COUNTER TOP SURFACES AND GARAGES. (CEC2108(a)).
 15. PROVIDE GFCI RECEPTACLES AT BATHROOMS, KITCHEN COUNTERTOP SURFACES, LAUNDRY /WET BAR AREA WITHIN 6FT FROM EDGE OF THE SINKS (CEC 210-8)
- NOTE: FACTORY - BUILT FIREPLACES CHIMNEYS AND ALL OTHER COMPONENTS SHALL BE LISTED AND INSTALLED IN ACCORDANCE WITH THEIR LISTING AND MANUFACTURER INSTRUCTIONS

WALL LEGEND

- (E) EXISTING CONSTRUCTION TO BE REMAINED
- (N) EXTERIOR WALL
- (N) INTERIOR WALL
- DV EXISTING FOUNDATION VENT
- DV NEW FOUNDATION VENT

CRAWSPACE VENTILATION (UPGRADE IF NEED)

FLOOR AREA 1575 SF
1575/150 = 10.5 SQ.FT. OPEN VENTILATION AREA (10.5 X 144 = 1512 SQ.IN)
USE 16X6 VENT (NFA 95 SQ.IN) , NEED 16 UNITS

VENTS SHALL BE WITHIN 3FT OF BLDG. CORNER & 1/8" WIRED MESH WEEP SCREED 4" ABOVE GRADE OR 2" ABOVE PAVED AREA (TYP.)

LEGEND

- XX DOOR TYPE
- XX WINDOW TYPE
- XX WALL TYPE
- XX KEY NOTE
- FLOOR DEPRESSION

FLOOR PLAN KEYNOTE

- 1 TEMPERED GLASS
- 2 (N) LANDING 1 1/2" BELOW THRESHOLD. MINIMUM 36" IN DEPTH. MIN. 2% SLOPE AWAY FROM BUILDING.

DOOR SCHEDULE

NUMBER	WIDTH x HEIGHT	WALL STUD	INT / EXT	COUNT	DESCRIPTION
D1	5'-0" x 6'-8"		EXT.	1	2-PANEL DOOR, ENTRANCE, WOOD FRAME/PANEL, TEMPERED GLASS. THE GLAZING SHALL BE SAFETY GLAZING PER R308.4 CRC.

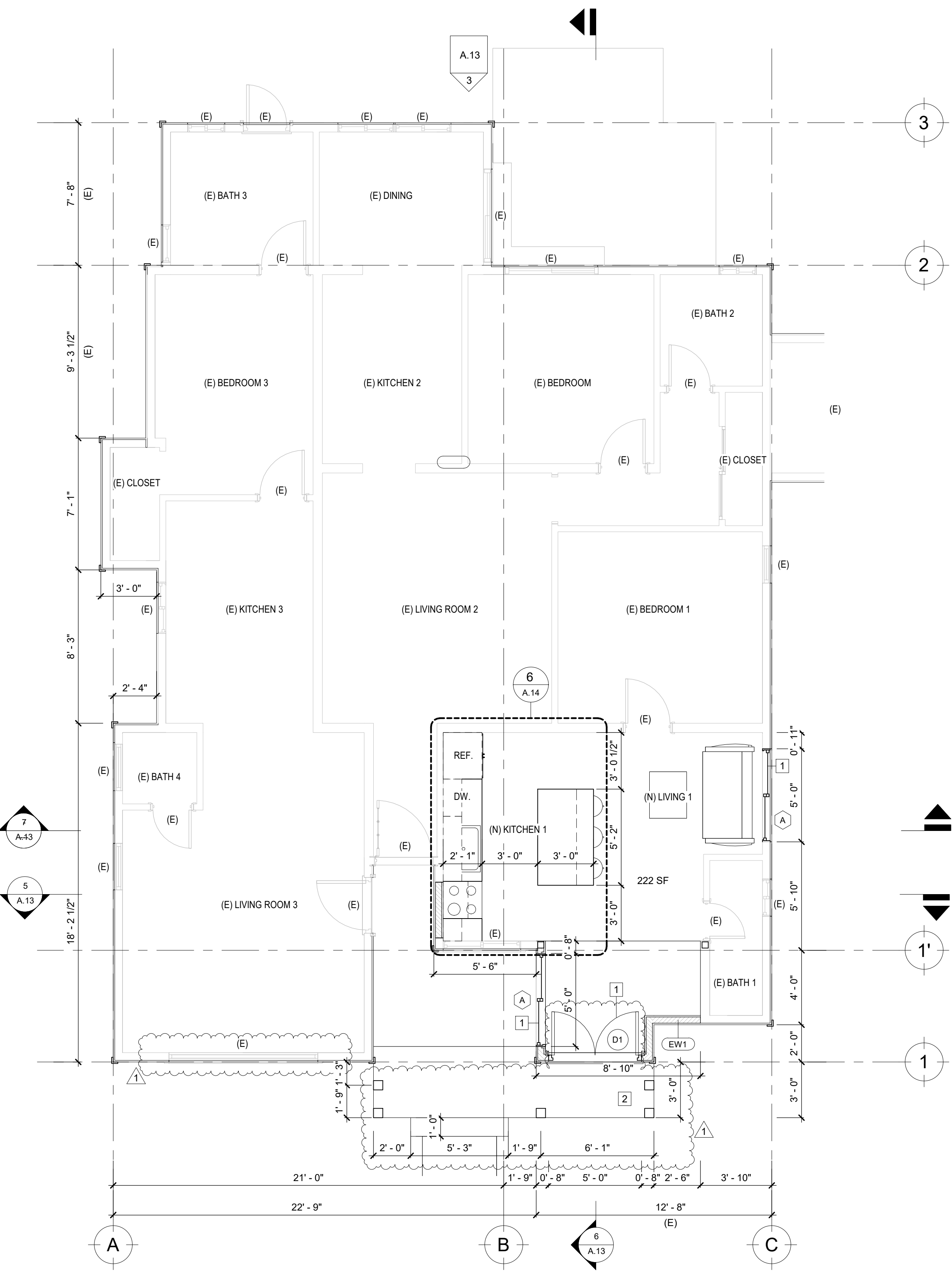
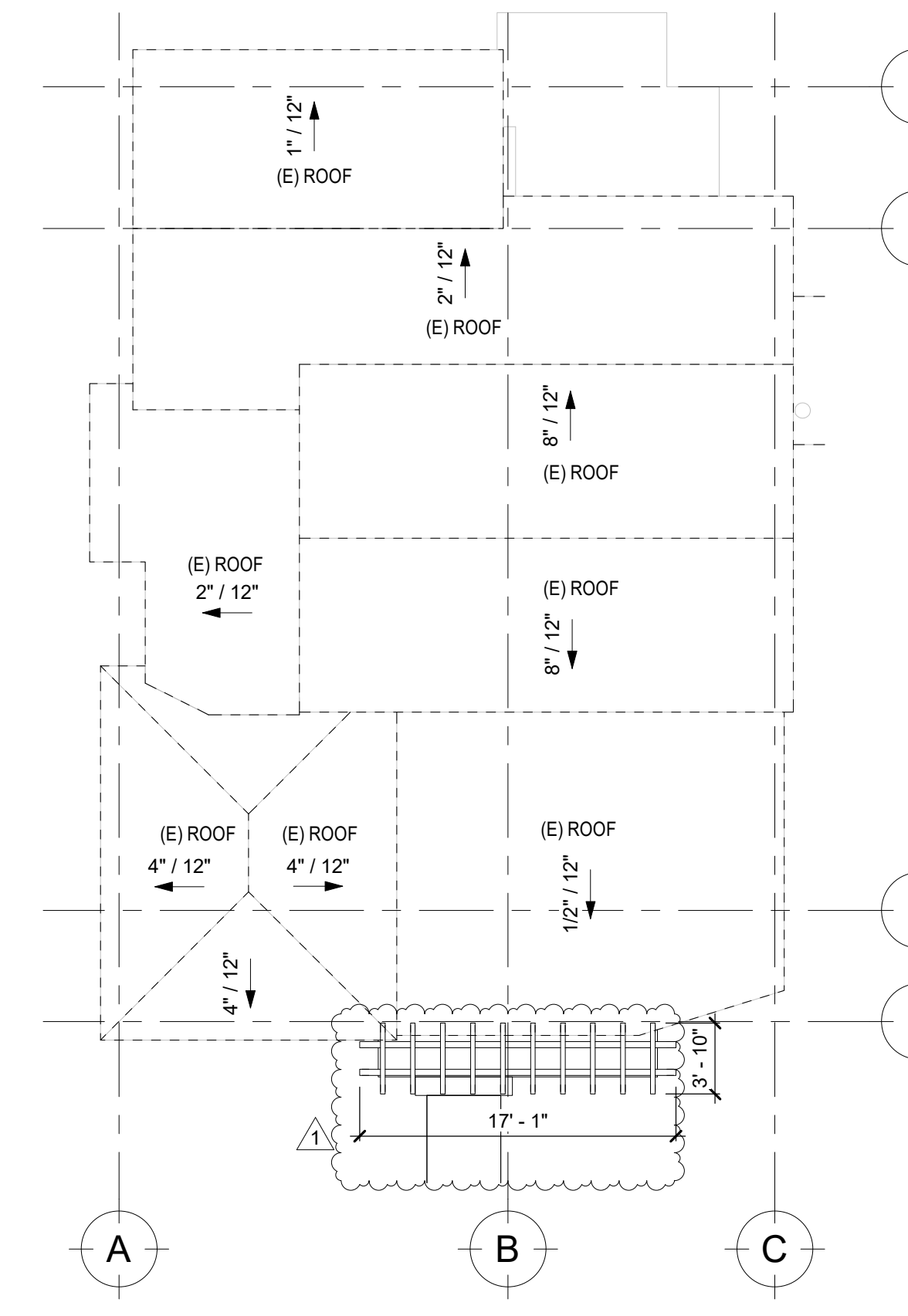
ADDITIONAL NOTES:
1. CONTRACTOR TO VERIFY ALL ROUGH OPENING SIZES WITH DOOR MANUFACTURER PRIOR TO PLACING ORDER.
2. CONTRACTOR TO VERIFY SWING DIRECTIONS WITH FLOOR PLANS PRIOR TO PLACING ORDER.
3. NFRC LABELS MUST REMAIN ATTACHED TO THE GLAZING UNTIL AFTER FINAL INSPECTION IS COMPLETED.

WINDOW SCHEDULE

NUMBER	WIDTH x HEIGHT	HEAD HEIGHT	COUNT	DESCRIPTION
A	5'-0" x 4'-0"	6'-8"	2	SLIDING WINDOW, LOW - E GLASS PANEL

ADDITIONAL NOTES:
1. WINDOW AND DOOR SIZES ARE NOMINAL. VERIFY ROUGH OPENING SIZE WITH MANUFACTURER.
2. EGRESS MINIMUM NET CLEAR HEIGHT SHALL BE 24 INCHES. MINIMUM NET CLEAR WIDTH SHALL BE 20 INCHES, AND HAVE THE BOTTOM OF THE CLEAR OPENING NOT MORE THAN 44 INCHES ABOVE THE FLOOR.
3. PROVIDE TEMPERED GLASS AT AREAS OF GLASS WITHIN 18" OF FINISH FLOOR AND ALL SKYLIGHTS.
4. NFRC LABELS MUST REMAIN ATTACHED TO THE GLAZING UNTIL AFTER INSULATION INSPECTION IS COMPLETED.
5. CONTRACTOR TO VERIFY ALL ROUGH OPENING SIZES WITH WINDOW MANUFACTURER PRIOR TO PLACING ORDER.
6. RESIDENTIAL WINDOWS AND DOORS MUST MEET THE FOLLOWING CODE REQUIREMENTS
A. TESTED AND LABELED TO COMPLY WITH THE AAMA STANDARDS PER CRC, SEC. 609.3
B. SAFETY GLAZING TESTING AND LABELING PER CRC, SECTIONS 308.1 & 308.4
C. ENERGY TESTING AND CERTIFICATION PER CENC, SEC. 110.6
7. MAXIMUM GLAZING U-FACTOR:
MAXIMUM GLAZING SHGC:

PROPOSED ROOF PLAN
1/8" = 1'-0"



PROPOSED FLOOR PLAN
1/4" = 1'-0"

SHINGLE SIDING

Craftsman 8-1/4 in. x 96 in. Cedar Even Butt Shingle Siding Panel (8-Pack)
★★★★ (4) Questions & Answers (13)

About This Product
The ShakerTown Craftsman 8-1/4 in x 96 in Cedar Even Butt Shingle Siding 8-pack is the best cedar shingle panel in the industry. Manufactured using only the finest vertical grain Western Red Cedar heartwood, the panels are easy to install and will project a lasting beauty on any home. The panels are available with an even-butt or staggered-butt line to match any home style. One bundle of 8 panels covers 37 square feet.

Highlights

- Traditional shingle butt thickness and 100% vertical grain for stability and durability
- Features a full plywood back, a thick 3/8 in. shingle butt and overlapping end-joints for a seamless appearance
- Shingle panels go up 6 times faster than individual shingles and can be installed with a pneumatic nailer
- Helps save money every year on energy due to superior R-value
- Nailing line makes it easy to blind nail the panels
- Panels are available in either even butt or staggered butt designs
- Smooth sawn surface promotes adhesion and even distribution of finishes
- One bundle of 8 panels covers 37 square feet
- Keyway style, or vertical spacing between shingles, lends visual interest and traditional appeal
- Return Policy
- California residents see Prop. 65 WARNINGS

Product Information
Internet # 313814741
Model # CSS1C7EKXX
Store SKU # 100557275

Dimensions

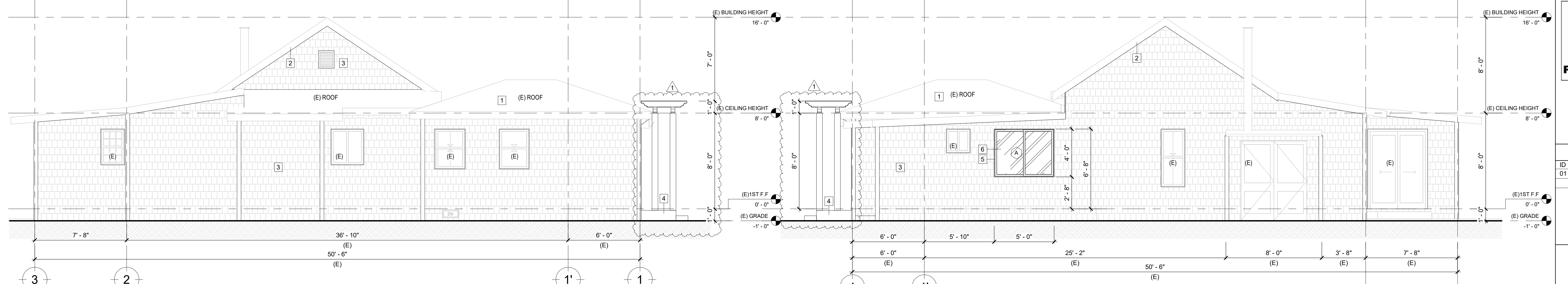
Actual Product Length (in.)	96.000 in
Actual Product Thickness (in.)	.688 in
Actual Product Width (in.)	8.25
Coverage Area (sq. ft.)	37 sq ft
Nominal Product Length (in.)	96
Nominal Product Thickness (in.)	.75
Nominal Product Width (in.)	7 in

REVISION		
ID	DATE	BY
01	12/18/24	PLAN CHECK

PROPOSED ELEVATIONS/ SECTIONS

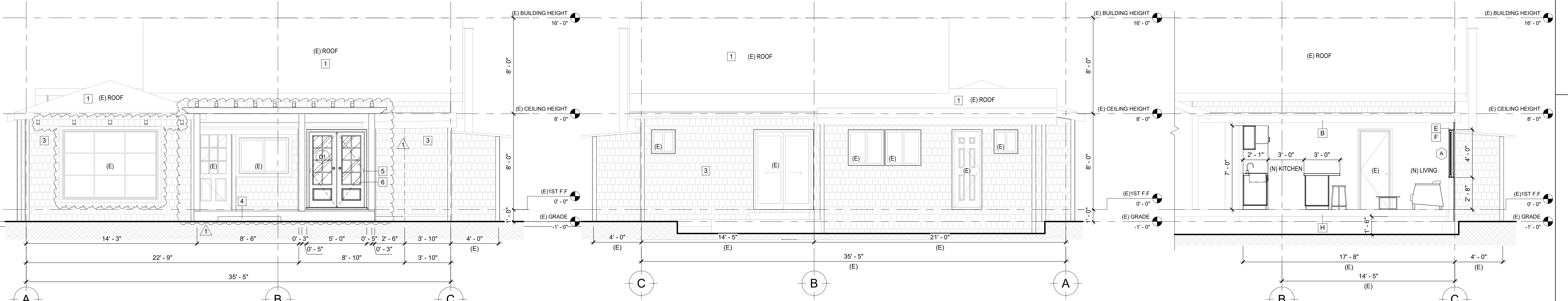
ADDITION AND REMODEL

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2 (N) LEFT ELEVATION
1/4" = 1'-0"

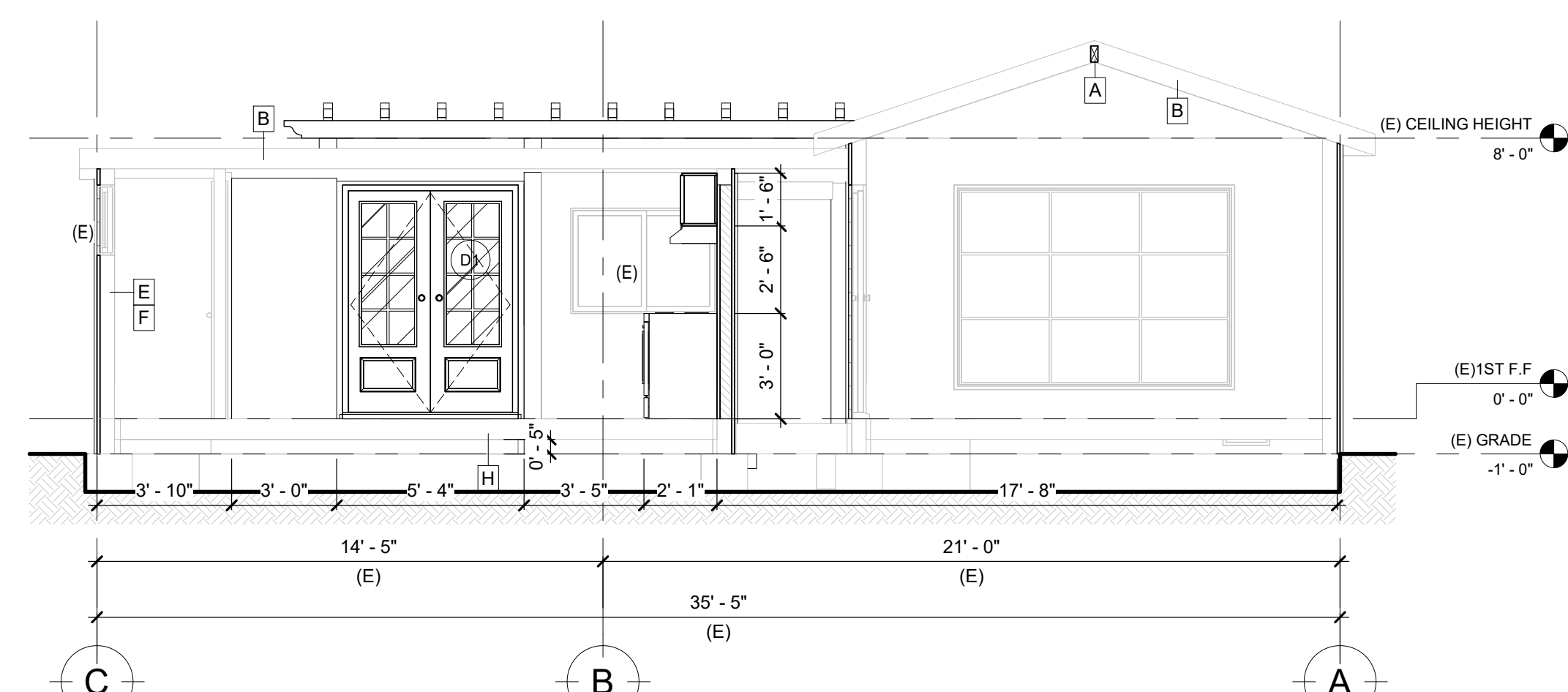
4 (N) RIGHT ELEVATION
1/4" = 1'-0"



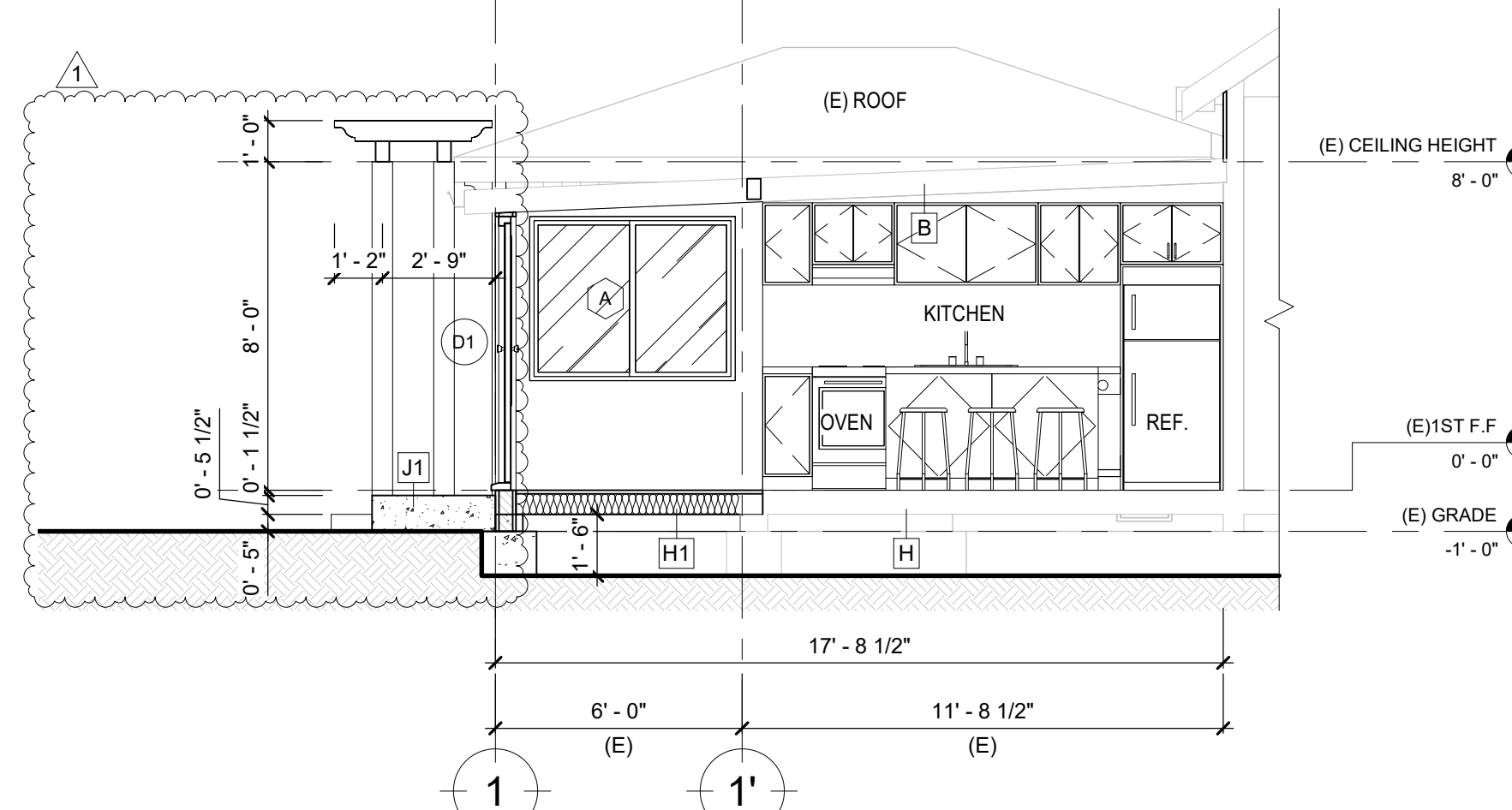
1 (N) FRONT ELEVATION
1/4" = 1'-0"

3 (N) REAR ELEVATION
1/4" = 1'-0"

7 SECTION 3
1/4" = 1'-0"



5 SECTION 1
1/4" = 1'-0"



6 SECTION 2
1/4" = 1'-0"

SECTION KEYNOTE LEGEND

- A (E) 2x RIDGE BOARD PER STRUCT
- B (E) 2x ROOF RAFTER PER STRUCT
- C (E) 2x CEILING JOISTS PER STRUCT, INSULATION PER T-24
- D (E) RAISED FLOOR SYSTEM & INSULATION, SEE STRUCT
- E (E) 2x STUD WALL PER STRUCT
- F (E) WALL INSULATION PER T-24
- G (E) ATTIC INSULATION PER T-24
- H (E) FLOOR INSULATION PER T-24
- I (E) FOUNDATION VENT
- J (E) FOOTING PER STRUCT.
- E1 (N) 2x STUD WALL PER STRUCT
- F1 (N) WALL INSULATION PER T-24
- H1 (N) FLOOR INSULATION PER T-24
- I1 (N) FOUNDATION, SEE STRUCT.
- J1 (N) CONCRETE LANDING

ELEVATION KEYNOTE LEGEND

- 1 (E) ROOF
- 2 (E) FASCIA & TRIMMING PAINT
- 3 (N) WOOD SIDING WALL
- 4 (N) LANDING, 1 1/2" BELOW THRESHOLD, MINIMUM 36" IN DEPTH, MIN. 2% SLOPE AWAY FROM BUILDING.
- 5 (N) 2 1/2" WOOD MOLDING TRIM FOR ALL WINDOWS
- 6 (N) TEMPERED GLASS

ELEVATION & SECTION NOTES

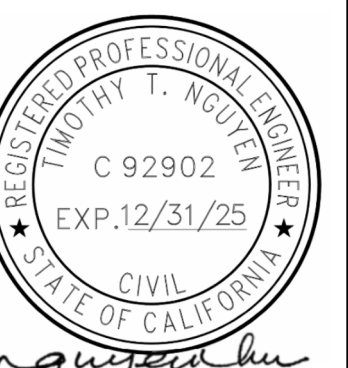
1. PROVIDE FIRE BLOCKING IN CONCEALED SPACES 10' O.C. HORIZONTAL VERTICALLY AT THE CEILING AND FLOOR LEVELS. CONNECTIONS BETWEEN HORIZONTAL AND VERTICAL SPACES, CONCEALED SPACES BETWEEN STAIR AND LANDING, OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES, WIRES, CHIMNEYS AND FIREPLACES, CRC R302.11.
2. ALL WOOD FRAMING MEMBERS THAT REST ON CONCRETE OR MASONRY EXTERIOR FOUNDATION WALLS AND ARE LESS THAN 8" TO THE EXPOSED GROUND SHALL BE PRESSURE TREATED OR NATURALLY DURABLE TO DECAY, CRC R317.2(2).
3. ALL WALLS TO BE SMOOTH FINISH U.N.O.
4. CONTRACTOR TO INCLUDE ALL FINISH AND COLOR SPECIFIED BY OWNER AND INTERIOR DESIGNER.
5. CONTRACTOR TO VERIFY W/ OWNER'S INTERIOR DESIGNER FOR MATERIAL SELECTION AND COLOR PRIOR TO FINAL PRICING AND CONSTRUCTION.
6. MIN. 3/8" CDX PLYWOOD THROUGH-OUT @ OUTSIDE FACE OF WALL
7. CONTRACTOR TO INCLUDE INSULATION OF CLOSET ORGANIZER. (SELECTED BY OWNER)
8. CONTRACTOR TO VERIFY ALL OWNER'S APPLIANCE MANUAL SPEC. PRIOR TO CONSTRUCTION.
9. DESIGN BUILT CABINET TO FIT
10. ALL INTERIOR, DOOR, WINDOW SIDE, HEAD AND SILL TO BE MOLDING
11. EXTERIOR CONCRETE LANDING TO COMPLY 2022 CRC R311.3
 - A. THERE SHALL BE A LANDING OR FLOOR ON EACH SIDE OF EACH EXTERIOR DOOR. THE WIDTH OF EACH LANDING SHALL BE NOT LESS THAN THE DOOR SERVED. EVERY LANDING SHALL HAVE A DIMENSION OF NOT LESS THAN 36 INCHES MEASURED IN THE DIRECTION OF TRAVEL. THE SLOPE AT EXTERIOR LANDINGS SHALL NOT EXCEED 1/4 UNIT VERTICAL IN 12 UNITS HORIZONTAL (2 PERCENT).
 - B. LANDINGS AT THE REQUIRED DOOR SHALL NOT MORE THAN 1 1/2 INCHES LOWER THAN THE TOP OF THE THRESHOLD. EXCEPTION: THE LANDING SHALL BE NOT MORE THAN 7/4 INCHES BELOW THE TOP OF THE THRESHOLD PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING
12. GROUND ADJACENT TO THE FOUNDATION SHALL FALL A MINIMUM OF 8 INCHES WITHIN THE FIRST 10 FEET MEASURE PERPENDICULAR TO THE FACE OF THE FOUNDATION WALL. (CRC R401.3)

DATE: 12/18/24

SCALE: AS SHOWN

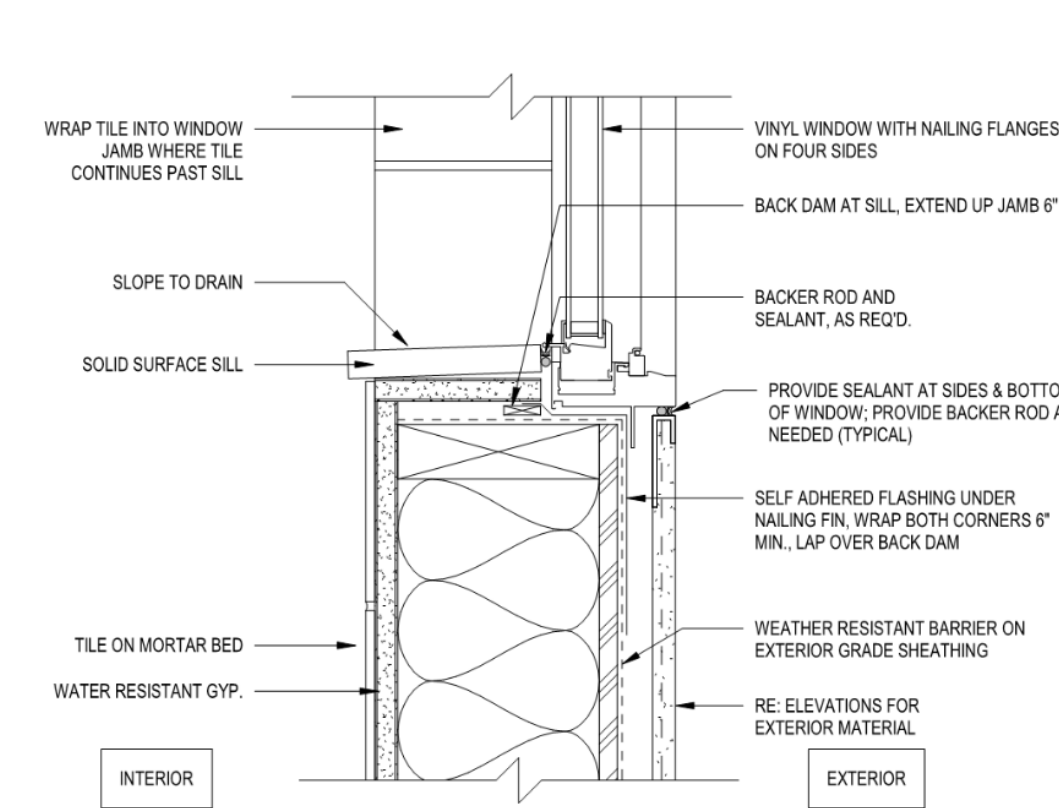
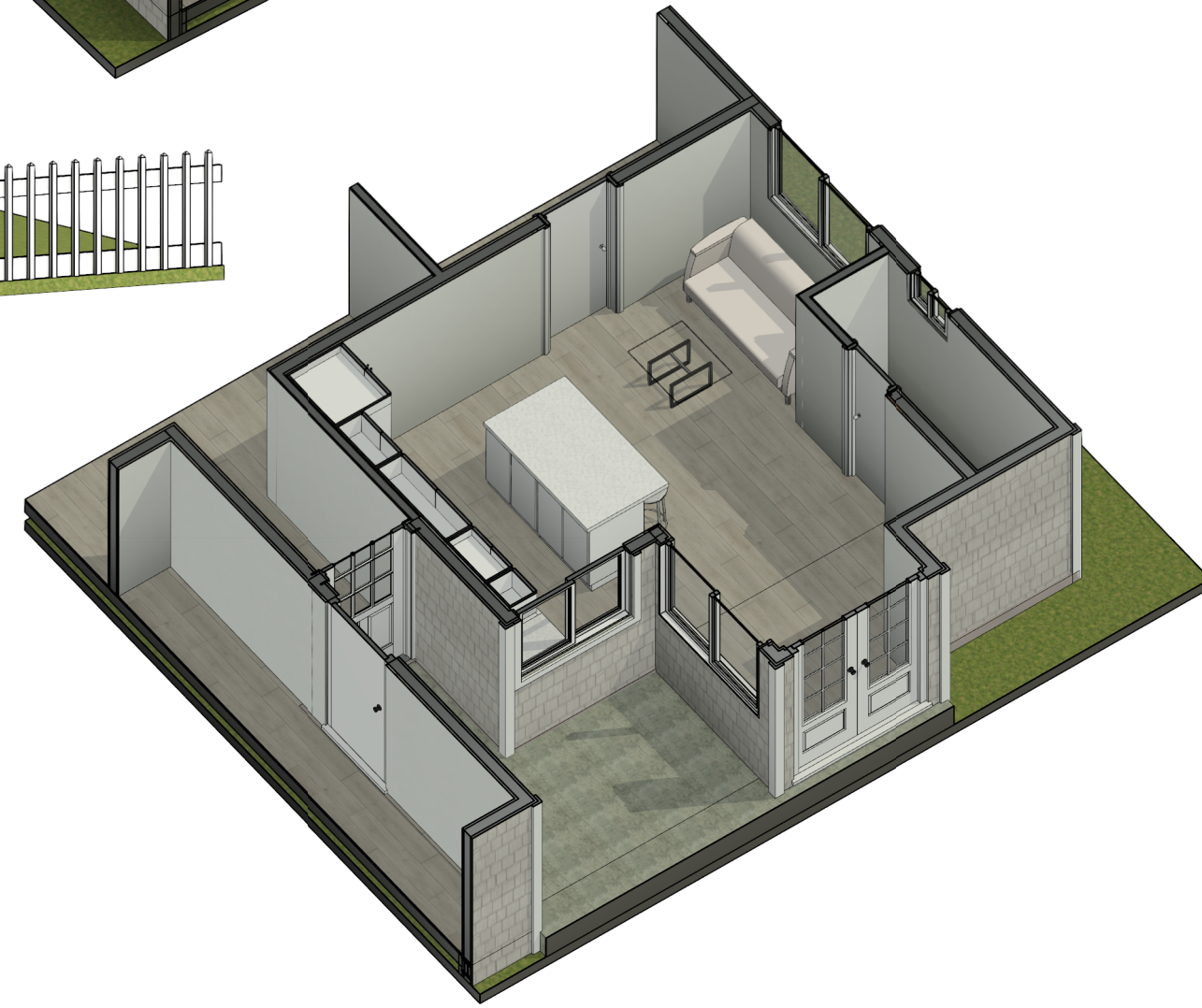
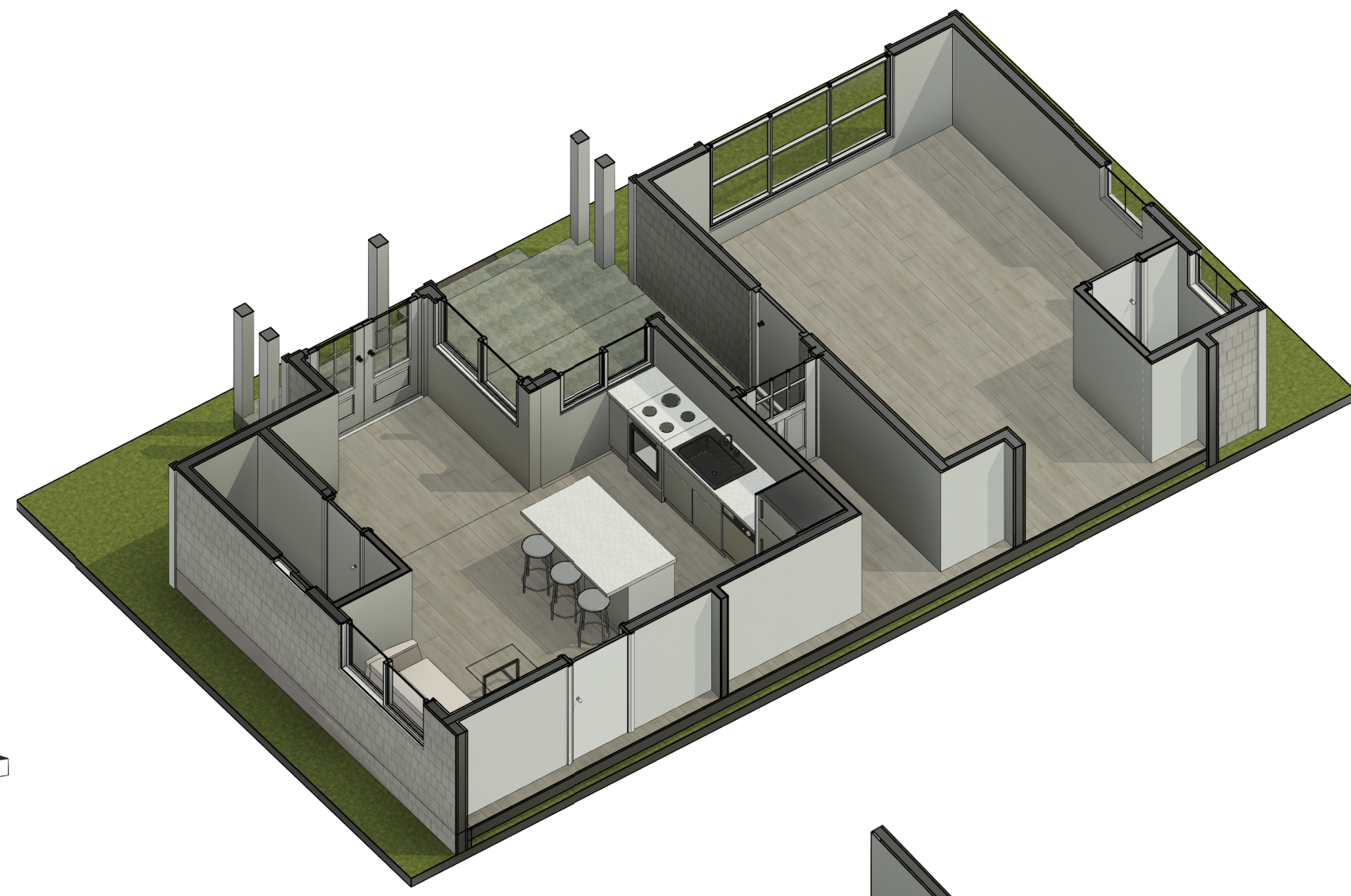
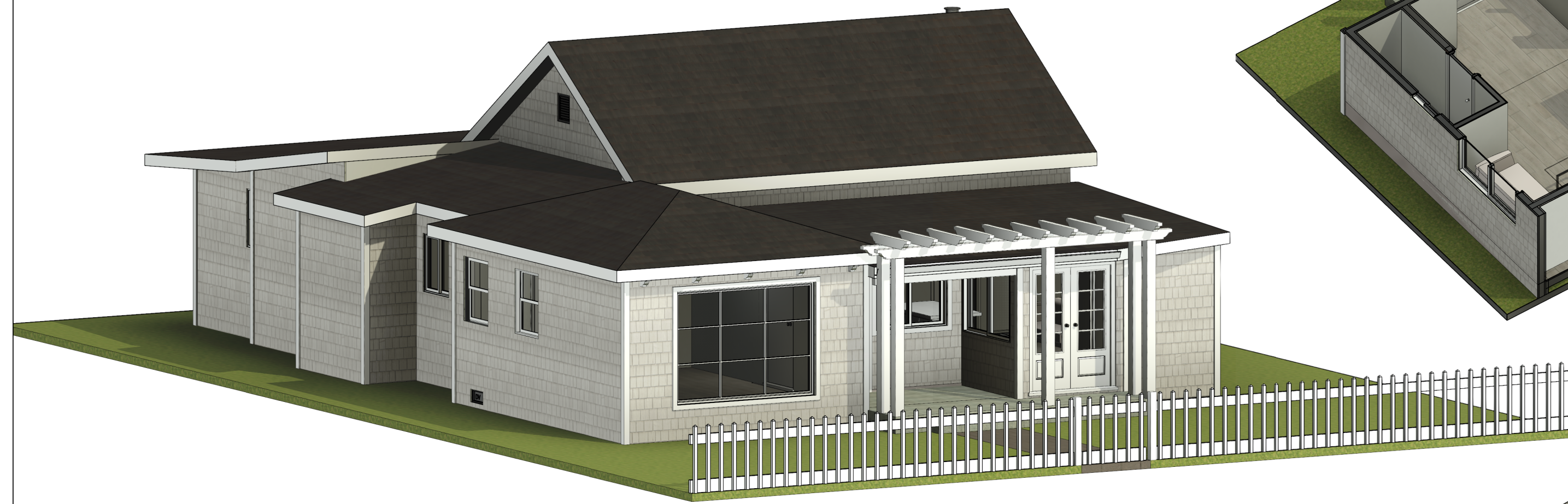
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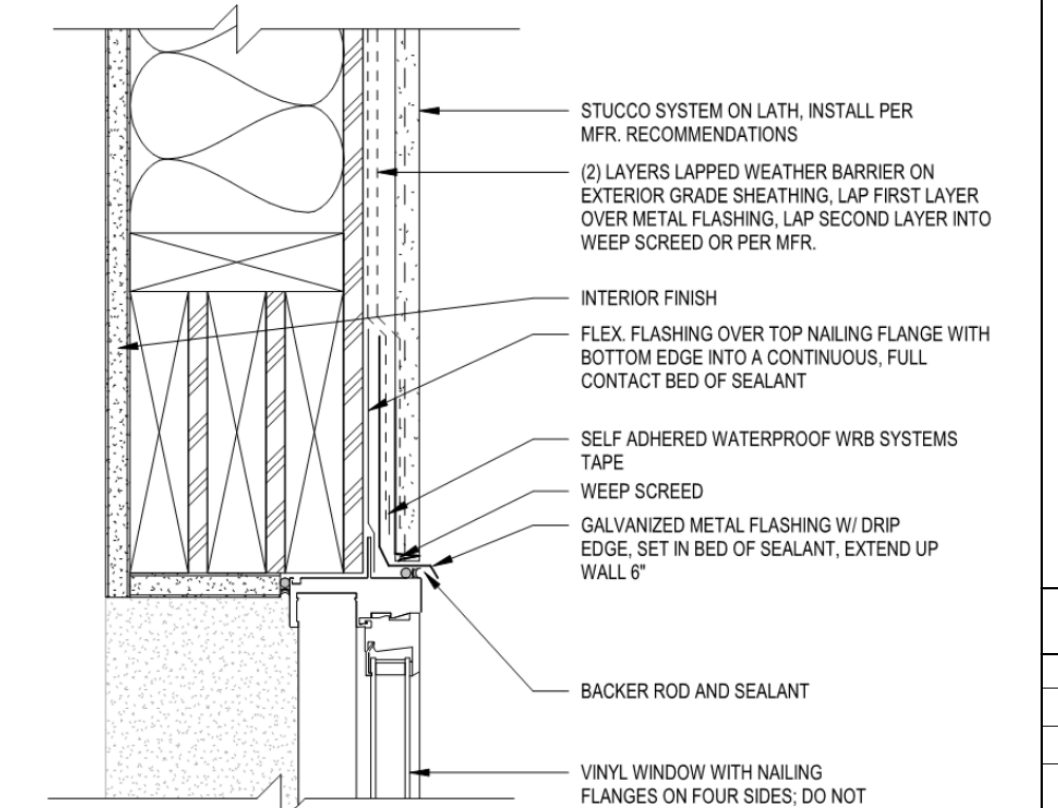


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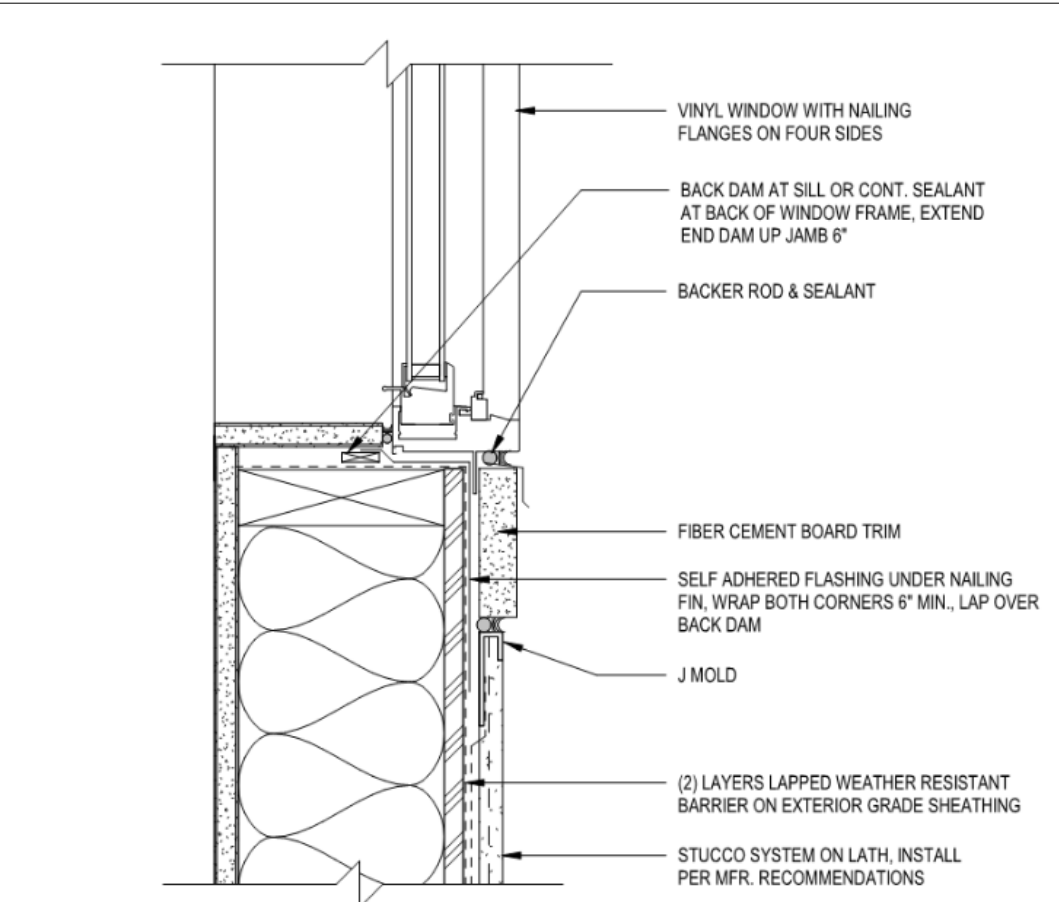
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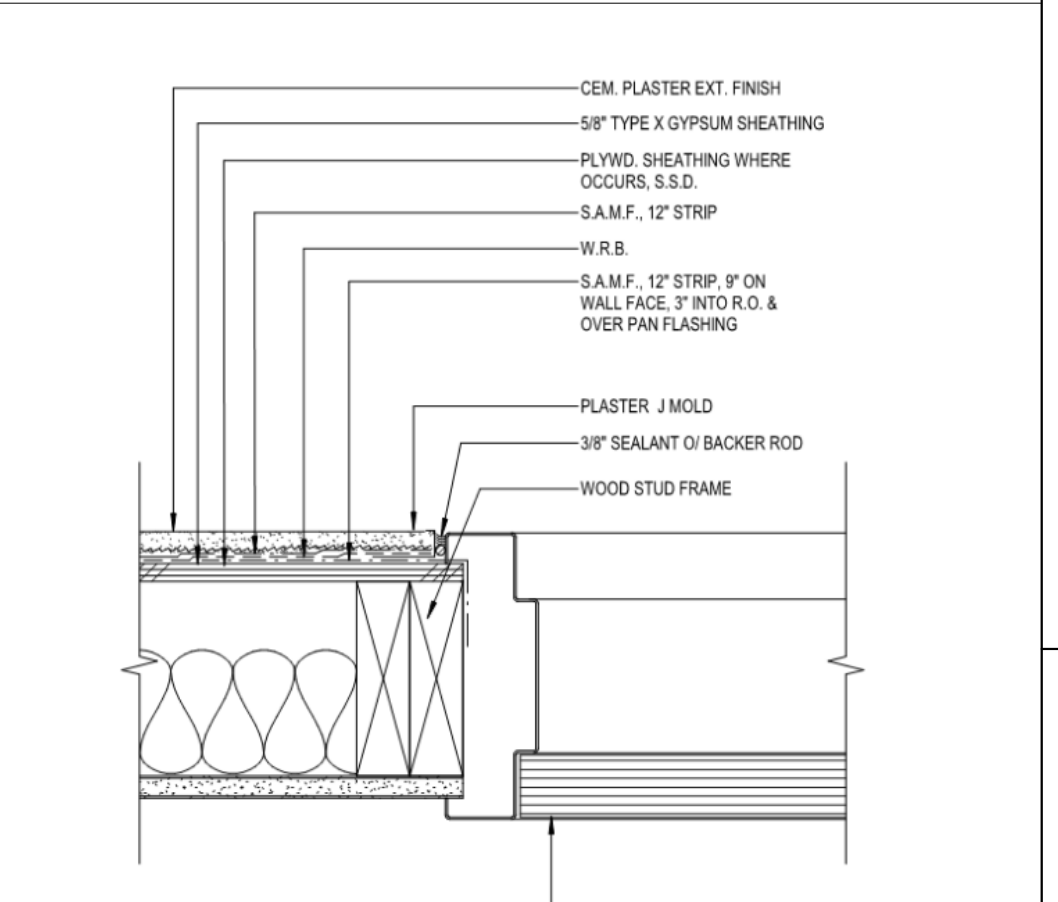
WINDOW SILL - SHOWER N/A 4



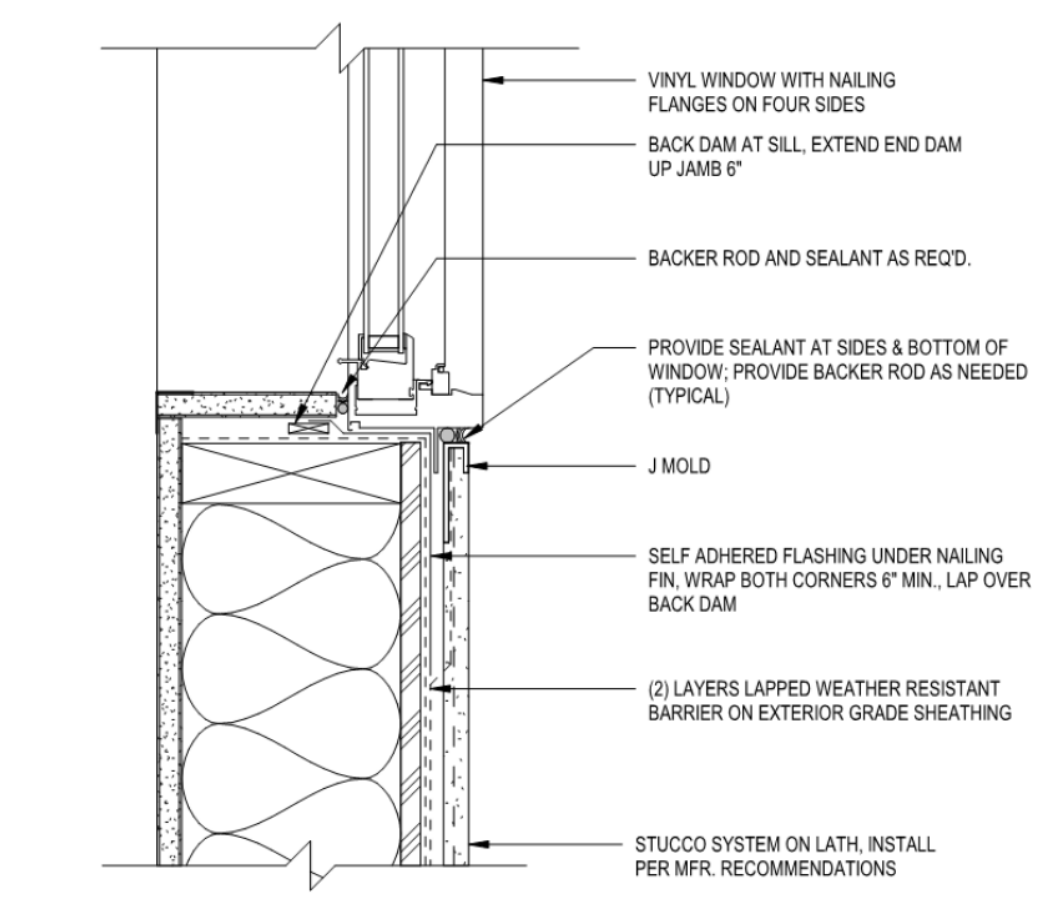
WINDOW HEAD - STUCCO N/A 5



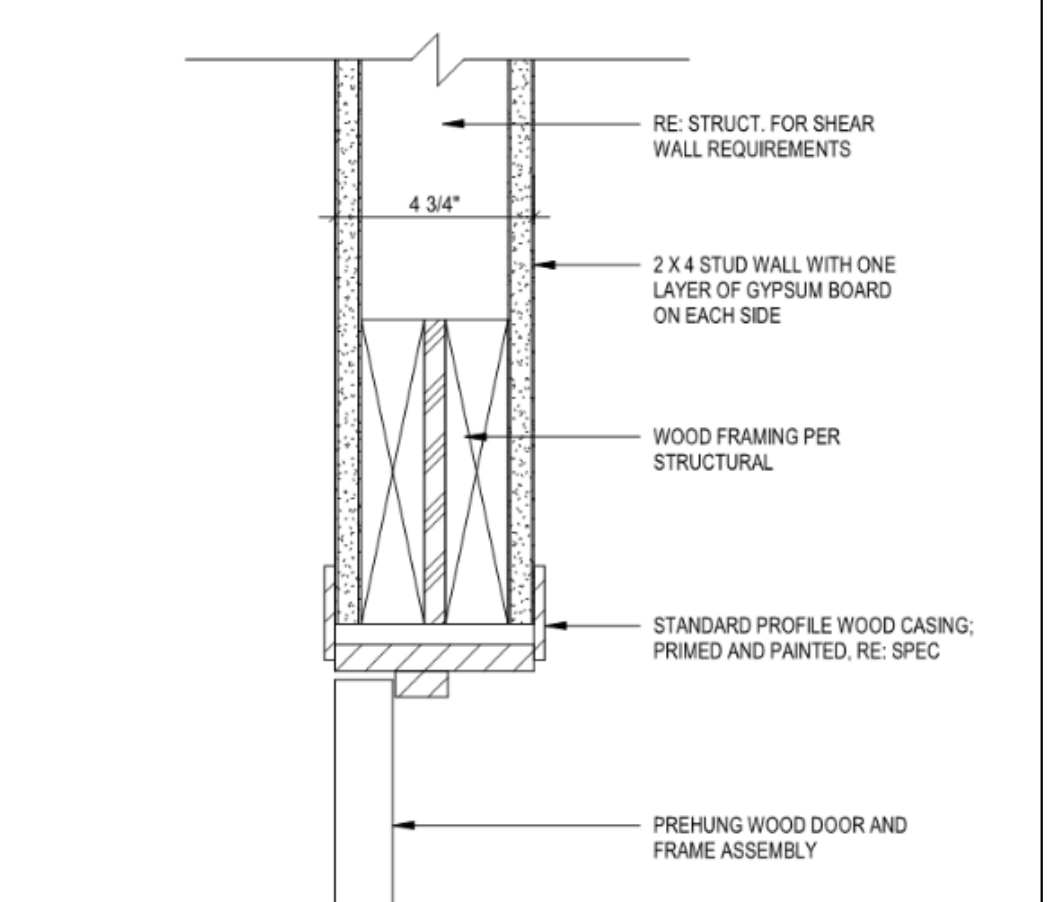
WINDOW SILL - STUCCO - TRIM N/A 3



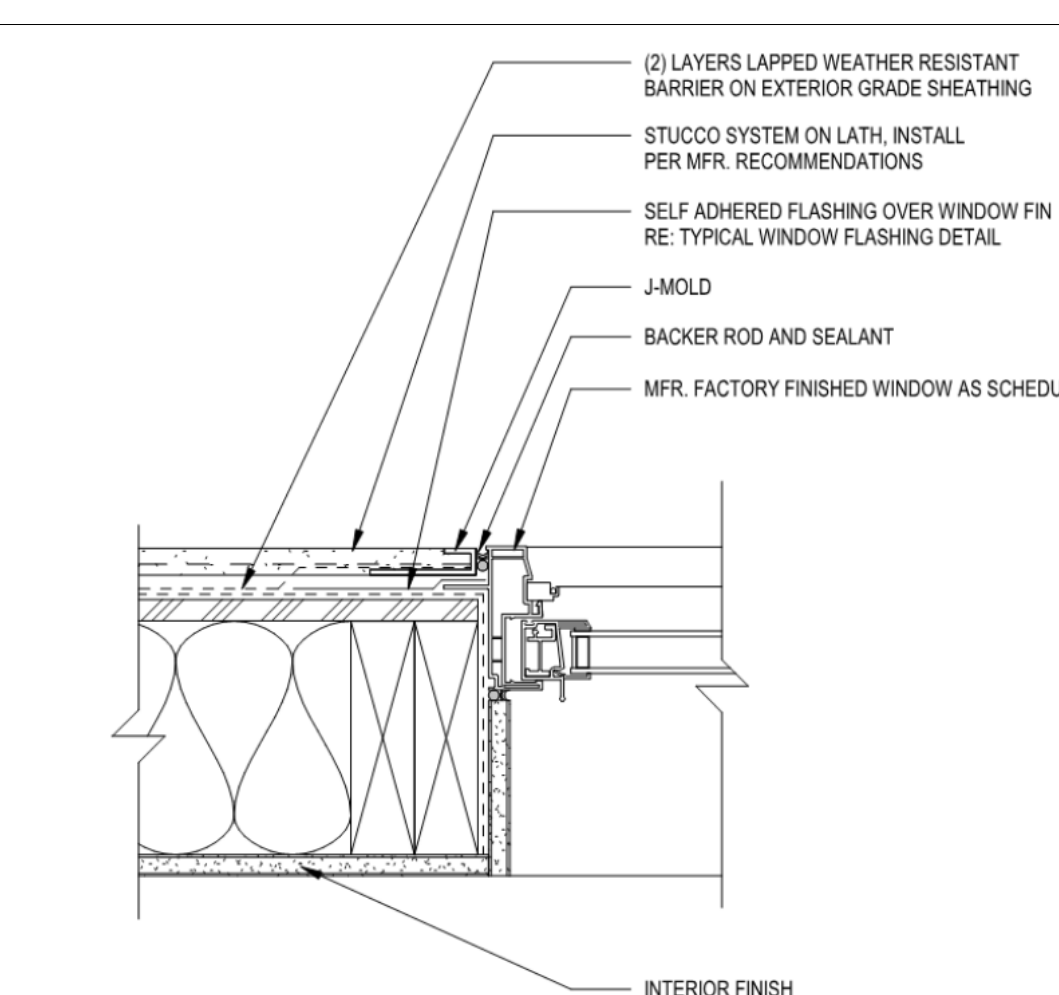
DOOR JAM AT EXT. WALL N/A 6



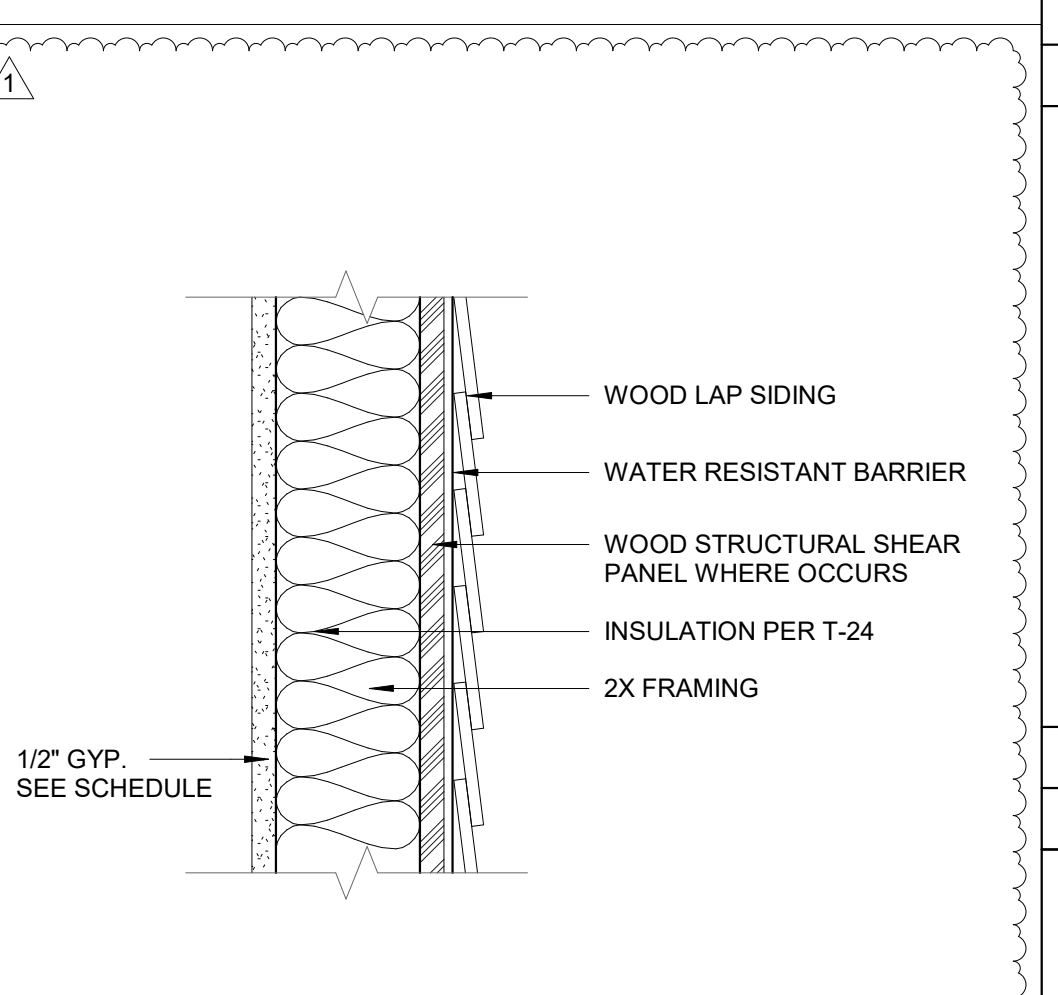
WINDOW SILL N/A 2



DOOR HEAD/JAM N/A 7



WINDOW JAM - STUCCO N/A 1



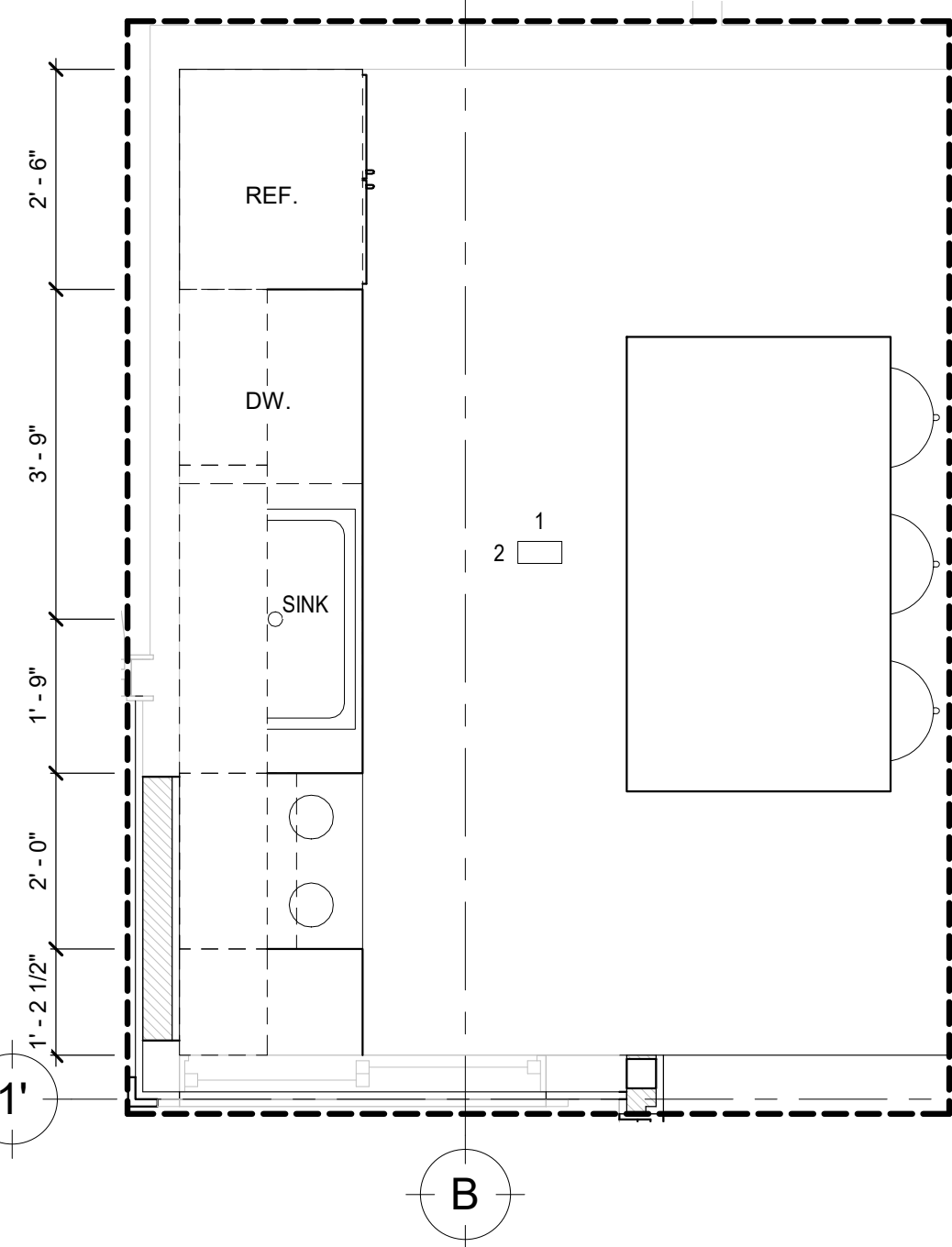
EW1 - EXTERIOR WALL N/A 8

BUILDING DEPT. NOTES:

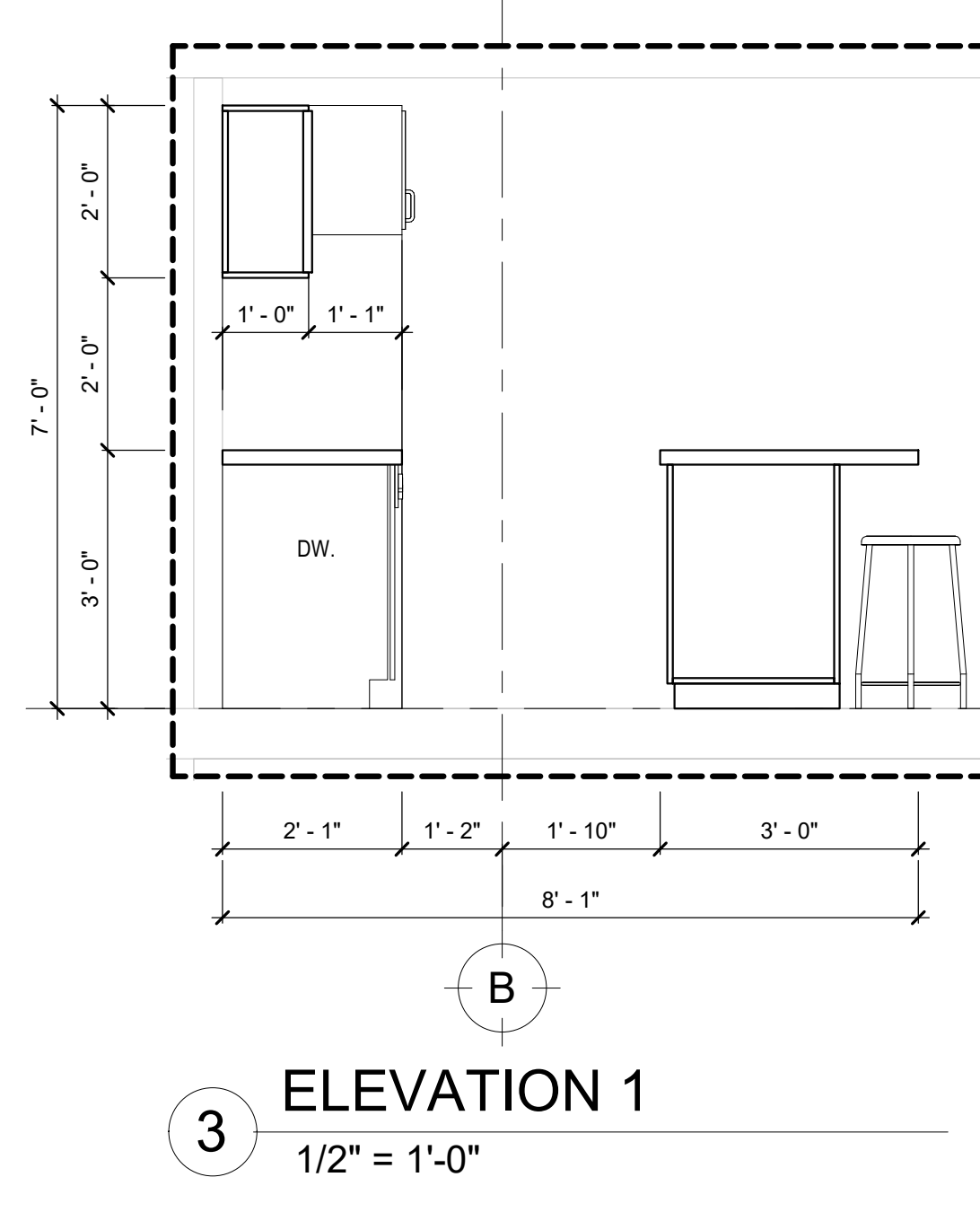
- GYPSUM BOARD SHALL NOT BE USED WHERE THERE WILL BE DIRECT EXPOSURE TO WATER, OR IN AREAS SUBJECT TO CONTINUOUS HIGH HUMIDITY. CRC R702.3.7.1.
- ALL DOORS & WINDOWS SHALL MEET CITY'S SECURITY ORDINANCE.
- CONCRETE SLAB AND UNDER FLOOR INSPECTIONS SHALL BE MADE AFTER IN-SLAB OR UNDER-FLOOR REINFORCING STEEL AND BUILDING SERVICE EQUIPMENT, CONDUITS, PIPING OR OTHER ANCILLARY BUILDING TRADE PRODUCTS OR EQUIPMENT ARE INSTALLED, BUT BEFORE ANY CONCRETE IS PLACED OR FLOOR SHEATHING IS INSTALLED, INCLUDING THE SUBFLOOR R109.1.1.1.
- ROUGH INSPECTION OF PLUMBING, MECHANICAL, GAS AND ELECTRICAL SYSTEMS SHALL BE MADE PRIOR TO COVERING OR CONCEALMENT, BEFORE FIXTURES OR APPLIANCES ARE SET OR INSTALLED, AND PRIOR TO FRAMING INSPECTION R109.1.2.
- FIRE SPRINKLER PLANS STAMPED APPROVED BY THE CITY'S FIRE DEPARTMENT SHALL BE PROVIDED AT THE SITE AT TIME OF FRAMING INSPECTION.
- WATER PIPING MATERIAL WITHIN A BUILDING SHALL BE IN ACCORDANCE WITH SEC 604.1 OF THE ALIFORNIA PLUMBING CODE. PEX, CPVC AND OTHER PLASTIC WATER PIPING SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF SEC 604 OF THE CPC, INSTALLATION STANDARDS OF APPENDIX 1 OF THE CPC AND MANUFACTURERS RECOMMENDED INSTALLATION STANDARDS. CPVC WATER PIPING REQUIRES A CERTIFICATION OF COMPLIANCE AS SPECIFIED IN SEC 604.4.1.1 OF THE CPC PRIOR TO PERMIT ISSUANCE.

ROOM FINISH SCHEDULE

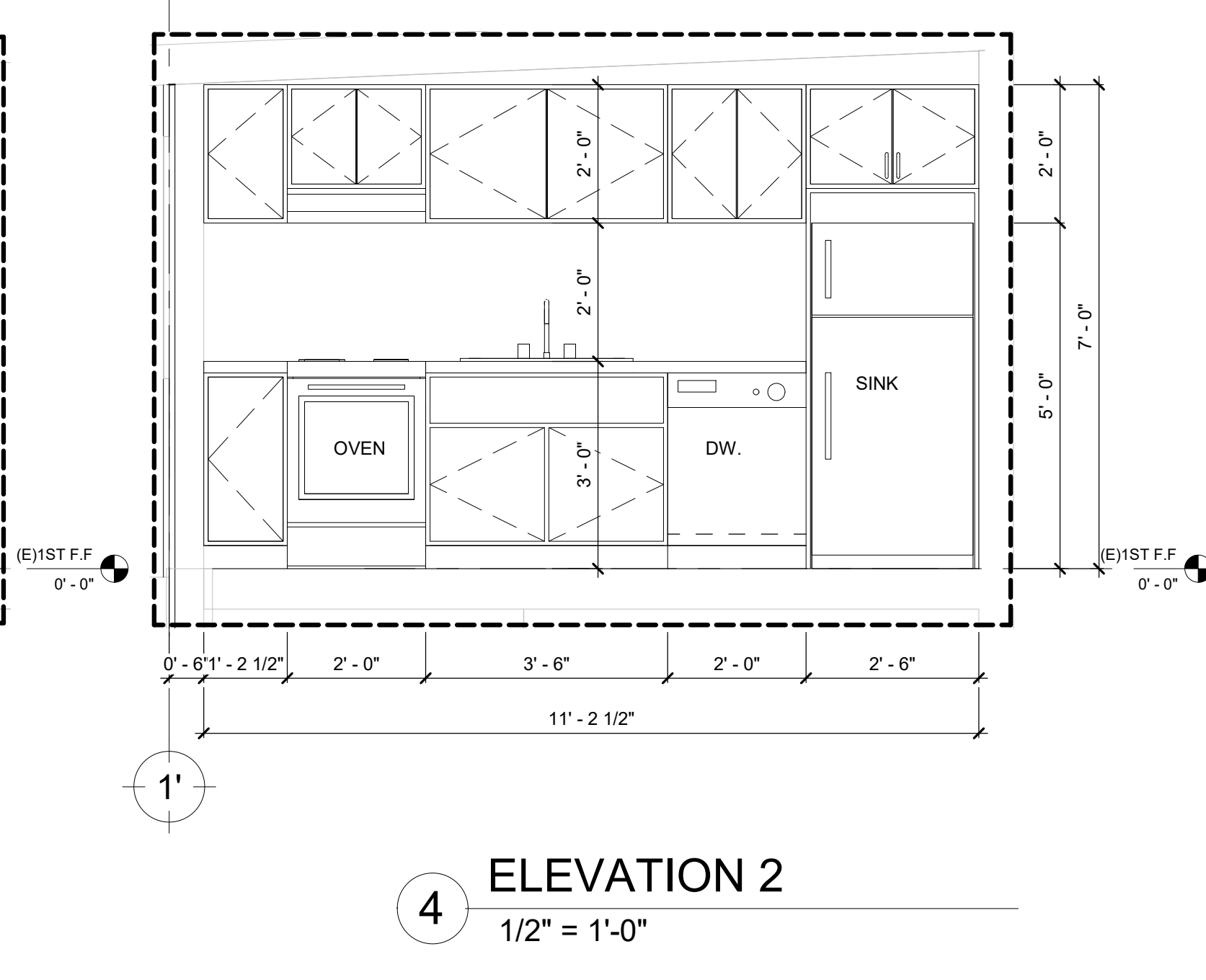
ROOM	FLOOR	BASE	WALL MATERIAL	WALL FIN.
LIVING ROOM	WOOD	WOOD	1/2" GYP. BD.	1,3
KITCHEN	WOOD	WOOD	1/2" GYP. BD.	1,3



6 PROPOSED KITCHEN PLAN
1/2" = 1'-0"



3 ELEVATION 1
1/2" = 1'-0"



4 ELEVATION 2
1/2" = 1'-0"

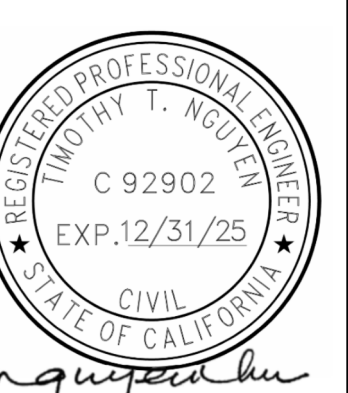
REVISION		
ID	DATE	BY
01	12/18/24	PLAN CHECK

DATE: 12/18/24

SCALE: AS SHOWN

DRAW BY: T.B

STAMP:



JOB NO: #335

DRAWING NO:

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