

RH

RH - LOS GATOS

31 UNIVERSITY AVE,
LOS GATOS, CA 95030



Project

RH - LOS GATOS
31 UNIVERSITY AVE,
LOS GATOS, CA 95030

Architect



Seal

Consultant

ABBREVIATIONS

| | | | |
|-----------|-----------------------------------|---------|-------------------------|
| & | AND | L | LONG (LENGTH) |
| @ | AT | LAV | LAVATORY |
| A/C | AIR CONDITIONING | LAM | LAMINATE |
| ACT | ACOUSTICAL CEILING TILE | LW | LIGHTWEIGHT |
| ADA | AMERICAN'S W/ DISABILITIES ACT | LBS | POUNDS |
| AFB | ABOVE FINISH FLOOR | LF | LINEAR FOOT |
| ADJ | ADJUSTABLE | LH | LEFT HANDED |
| AHU | AIR HANDLING UNIT | LL | LANDLORD |
| ALUM/AL | ALUMINUM | MAT | MATERIAL |
| APPROX. | APPROXIMATE | MAX | MAXIMUM |
| ARCH | ARCHITECTURAL | MCH | MECHANICAL |
| BD | BOARD | MFR | MANUFACTURER |
| BLDG | BUILDING | MIN | MINIMUM |
| BLKG | BLOCKING | MISC | MISCELLANEOUS |
| BM | BEAM | MTD | MOUNTED |
| BO | BOTTOM OF | MTL | METAL |
| BTM | BOTTOM | NAT | NATURAL |
| BSMT | BASEMENT | NIC | NOT IN CONTRACT |
| CJ | CONTROL JOINT | NOM | NOMINAL |
| CL | CENTER LINE | NTS | NOT TO SCALE |
| CLG | CEILING | O/ | OVER |
| CLG HGT | CEILING HEIGHT | OC | ON CENTER |
| CLR | CLEAR | OD | OUTSIDE DIAMETER |
| CMU | CONCRETE MASONRY UNIT | OPP | OPPOSITE |
| CNT | COUNTER | OPNG | OPENING |
| CO | CASED OPENING | PLAM | PLASTIC LAMINATE |
| CONC | CONCRETE | PLYWD | PLYWOOD |
| CONSTR | CONSTRUCTION | PR | PAIR |
| CONT | CONTINUOUS | P | PAINT |
| CPT | CARPET | PT | PORCELAIN TILE |
| CSK | COUNTERSINK | PTD | PAINTED |
| CT | CERAMIC TILE | PT | PRESSURE TREATED |
| CTR | CENTER | PTN | PARTITION |
| DBL | DOUBLE | R | RISER |
| DET | DETAIL | RAD | RADIUS |
| DIA | DIAMETER | RCP | REFLECTED CEILING PLAN |
| DIM | DIMENSION | REC | RECESSED |
| DN | DOWN | REQD | REQUIRED |
| DR | DOOR | REF | REFERENCE |
| DR OPNG | DOOR OPENING | RESIL | RESILIENT |
| DWG | DRAWING | REV | REVISION |
| EA | EACH | RH | RIGHT HAND |
| ELEC | ELECTRICAL | RM | ROOM |
| ELEV | ELEVATION | RO | ROUGH OPENING |
| EMER | EMERGENCY | RWL | RAIN WATER LEADER |
| EQ | EQUAL | SC | SOLID CORE |
| EQUIP | EQUIPMENT | SD | SMOKE DETECTOR |
| ETR | EXISTING TO REMAIN | SECT | SECTION |
| EW | ELECTRIC WATER COOLER | SF | SQUARE FOOT (FEET) |
| EXIST (E) | EXISTING | SH | SHEET |
| EXH | EXHAUST | SIM | SIMILAR |
| EXP | EXPOSED | SIPS | STRUCT. INSULATED PANEL |
| EXT | EXTERIOR | SND INS | SOUND INSULATION |
| FA | FIRE ALARM | SPEC | SPECIFICATION |
| FD | FLOOR DRAIN | SQ | SQUARE |
| FE | FIRE EXTINGUISHER | SST | STAINLESS STEEL |
| FEC | FIRE EXTINGUISHER CABINET | STD | STANDARD |
| FF | FINISH FACE | STL | STEEL |
| FIN | FINISH | STN | STAIN |
| FKT | FIXTURE | SYS | SYSTEM |
| FLR | FLOOR | T | TREAD |
| FLUOR | FLUORESCENT LIGHTING | T&G | TONGUE & GROOVE |
| FOC | FACE OF CONCRETE | THK | THICKNESS |
| FOF | FACE OF FINISH | THR | THRESHOLD |
| FOS | FACE OF STUD | TOB | TOP OF BEAM |
| FRT | FIRE RETARDANT TREATED | TOC | TOP OF CONCRETE |
| FT | FOOT (FEET) | TOJ | TOP OF JOIST |
| FTG | FOOTING | TOM | TOP OF MASONRY |
| G | GAGE | TOS | TOP OF SLAB |
| GALV | GALVANIZED | TOS | TOP OF STEEL |
| GC | GENERAL CONTRACTOR | TOW | TOP OF WALL |
| GL | GLASS or GLAZING | TPD | TOILET PAPER DISPENSER |
| GR | GRADE | TYP | TYPICAL |
| GWB | GYPSPUM WALLBOARD | UC | UNDERCUT |
| GYP | GYPSPUM | UNO | UNLESS NOTED OTHERWISE |
| HC | HOLLOW CORE | VAR | VARIABLE |
| HCWD | HOLLOW CORE WOOD DOOR | VCT | VINYL COMPOSITION TILE |
| HDWD | HARDWOOD | VERT | VERTICAL |
| HDWR | HARDWARE | VIF | VERIFY IN FIELD |
| HM | HOLLOW METAL | VP | VENEER PLASTER |
| HMF | HEATING, VENTILATION & COOLING | W/ | WITH |
| HORIZ | HORIZONTAL | W/O | WITHOUT |
| HT | HEIGHT | WA | WALL ANCHOR |
| HVAC | HEATING VENTILATION AIR CONDITION | WC | WATER CLOSET |
| HW | HOT WATER | WD | WOOD |
| I | INCH | WF | WIDE FLANGE |
| INCL | INCLUDED | WH | WATER HEATER |
| INSL | INSULATION | WP | WORKING POINT |
| INT | INTERIOR | WR | WATER RESISTANT |
| JAN | JANITOR | WSC | WAINSCOT |
| JT | JOINT | WT | WEIGHT |
| JST | JOIST | | |

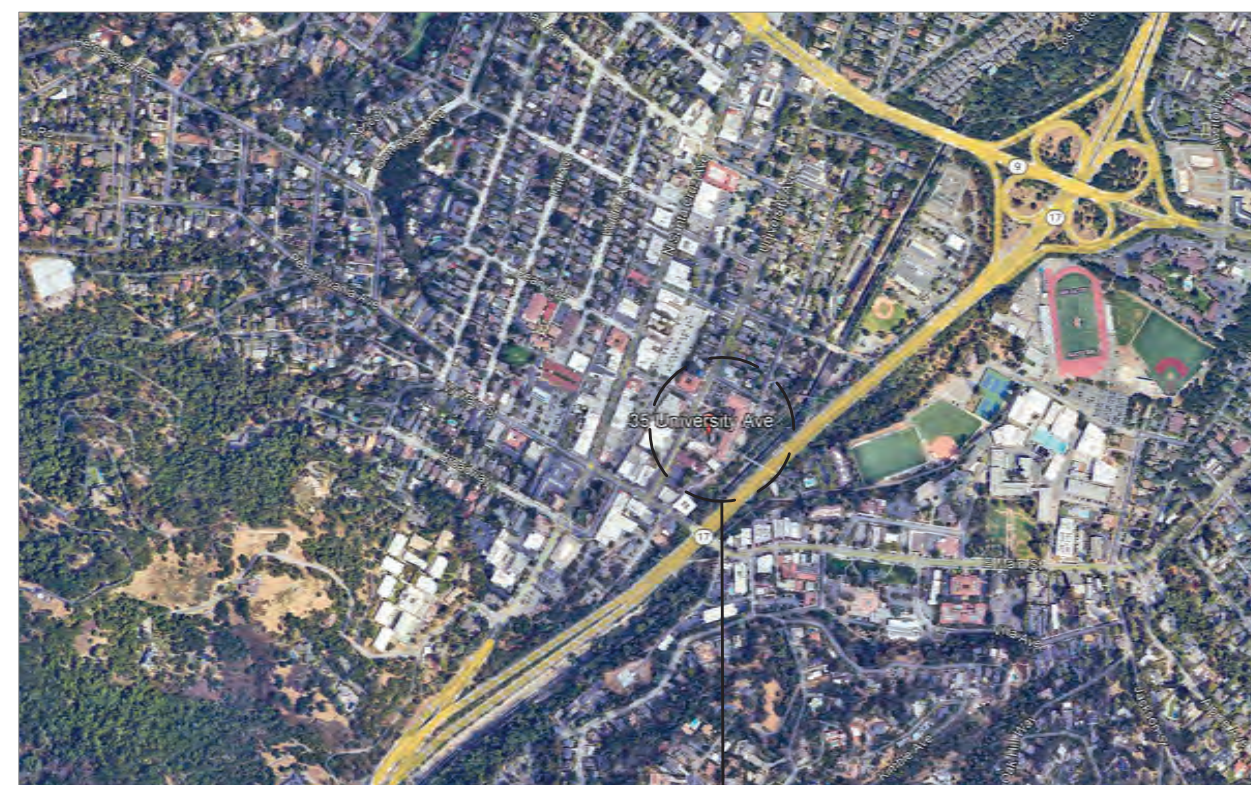
PROJECT TEAM

| | |
|---|--|
| PROPERTY OWNER: FEDERAL REALTY 356 SANTANA ROW SUITE 1005 SAN JOSE, CA 95128 PHONE: (408) 551-2254 CONTACT: ROBERT AGUIRRE, SR. PROJECT MANAGER EMAIL: RAGUIRRE@FEDERALREALTY.COM | TENANT: RH 15 KOCH RD. CORTE MADERA, CA 94025 PHONE: 415-924-1005 CONTACT: STU WAGNER EMAIL: SWAGNER@RH.COM |
| ARCHITECT: MBH ARCHITECTS 960 ATLANTIC AVENUE ALAMEDA, CA, 94501 PHONE: 510-865-8663 CONTACT: RICK NELSON PROJECT MANAGER EMAIL: RIX@MBHARCH.COM | CONSTRUCTION PROJECT MANAGER: GARDINER & THEOBALD 535 5TH AVENUE, FLOOR 3 NEW YORK, NY 10017 PHONE: 212-661-6624 CONTACT: LAUREN WEINGARTNER PROJECT MANAGER EMAIL: LWEINGARTNER@GARDINERUSA.COM |
| MECH/ELEC/PLUMB: MECHANICAL ELECTRICAL ENGINEERING CONSULTANTS, MEEC 14400 N. SHELTON RD., SUITE 260, PLYMOUTH, MI 48170 PHONE: 734-454-5516 EXT. 751 CONTACT: WILLIAM E. VERNER III DIRECTOR OF MECHANICAL ENGINEERING EMAIL: WVERNER@MEEC.COM | STRUCTURAL: MURPHY BURR CURRY, INC. CONSULTING STRUCTURAL ENGINEERS 85 2ND STREET, SUITE 501 SAN FRANCISCO, CA 94105 PHONE: 415-669-5382 CONTACT: ZACK C. KARDON DIRECTOR OF MECHANICAL ENGINEERING EMAIL: ZKARDON@MBCSE.COM |
| LIGHTING DESIGN RVK DESIGN MALIBU, CA PHONE: 310-924-2185 CONTACT: REBECCA HIDALGO EMAIL: REBECCA@RVK-DESIGN.COM | FOOD SERVICE DESIGN: NEXT STEP DESIGN 913 WEST STREET, ANNAPOLIS, MD 21401 PHONE: 410-263-1200 CONTACT: ERIC MCCONNELL EMAIL: EMCCONNELL@NEXTSTEPDESIGN.COM |
| PLANNING DEPARTMENT: TOWN OF LOS GATOS COMMUNITY DEVELOPMENT DEPARTMENT ADDRESS: 110 E. MAIN STREET, LOS GATOS, CA 95030 PHONE: 408-354-6823 CONTACT: SEAN MULLIN PLANNING MANAGER EMAIL: SMULLIN@LOSSTATOSCA.GOV | CIVIL ENGINEER: KPF 700 S. FLOWER STREET, SUITE 2100 LOS ANGELES, CA 90017 PHONE: 213-266-5260 CONTACT: CHRIS JONES PRINCIPAL EMAIL: CHRIS.JONES@KPF.COM |
| BUILDING DEPARTMENT: TOWN OF LOS GATOS BUILDING DIVISION ADDRESS: 110 E. MAIN STREET, LOS GATOS, CA 95030 PHONE: 408-354-6815 CONTACT: ROBERT GRAY CHIEF BUILDING OFFICIAL/ ADA COORDINATOR EMAIL: RGRAY@LOSSTATOSCA.GOV | |

PROJECT DATA

| | |
|-------------------------------------|------------------------------|
| APN: | 529 02 044 |
| EXISTING E31 BUILDING AREA (GROSS): | 7,233 SF |
| EXISTING E35 BUILDING AREA (GROSS): | 8,724 SF |
| (NO CHANGE TO EXISTING GROSS AREA) | |
| OCCUPANCY GROUP: | M & A-2 S-2 (GARAGE) |
| STORIES: | 2-STORY |
| CONSTRUCTION TYPE: | IIB, VB |
| OCCUPANT LOAD: | M - 185 OCC A-2 - 100 OCC |
| SPRINKLERED (YES/NO): | YES (EXISTING) |

VICINITY MAP



PROJECT SITE
RH - LOS GATOS
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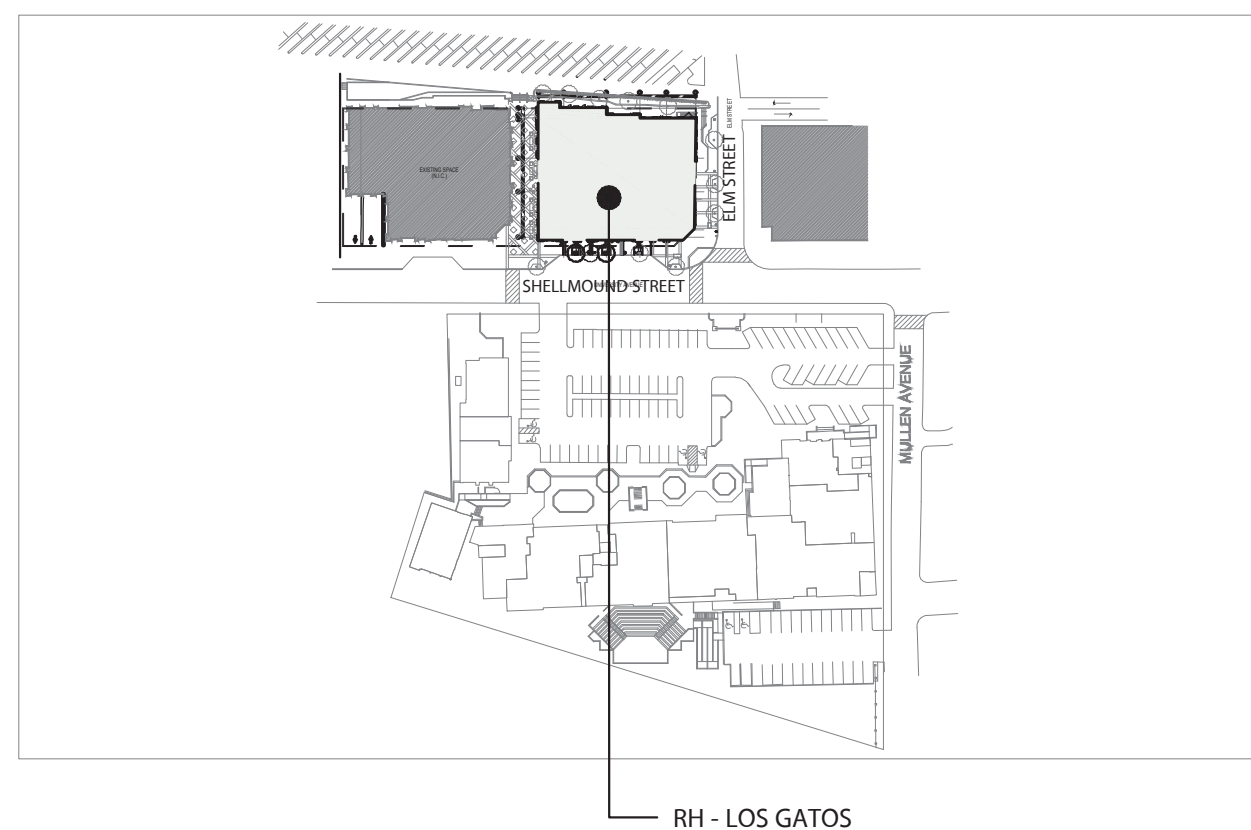
SCOPE DESCRIPTION

TENANT IMPROVEMENT OF TWO GROUND FLOOR TENANT SPACES. THE TWO SPACES WILL HAVE THE INTERIOR DEMOLISHED AND RE-CONFIGURED INTO ONE SPACE. THE NEW USE WILL BE A RETAIL SHOWROOM INCLUDING A RESTAURANT.

THERE IS NO CHANGE IN GROSS BUILDING AREA OR PROPOSED USE.

SCOPE TO INCLUDE COMPLETE BUILD-OUT WITH ASSOCIATED PLUMBING, MECHANICAL, ELECTRICAL, KITCHEN EQUIPMENT AND FINISHES THROUGHOUT.

KEY PLAN



CODE INFORMATION

| | |
|--------------------------------|---|
| AUTHORITY HAVING JURISDICTION: | TOWN OF LOS GATOS |
| BUILDING CODE: | CALIFORNIA BUILDING CODE 2022 |
| GREEN BUILDING CODE: | CALIFORNIA GREEN BUILDING STANDARDS CODE 2022 |
| ACCESSIBILITY CODE: | CALIFORNIA BUILDING CODE 2022 |
| ENERGY CODE: | CALIFORNIA ENERGY CODE 2022 |
| MECHANICAL CODE: | CALIFORNIA MECHANICAL CODE 2022 |
| PLUMBING CODE: | CALIFORNIA PLUMBING CODE 2022 |
| ELECTRICAL CODE: | CALIFORNIA ELECTRICAL CODE 2022 |
| FIRE CODE: | CALIFORNIA FIRE CODE 2022 |
| HEALTH CODE: | CALIFORNIA RETAIL FOOD CODE 2022 |

SYMBOLS LEGEND

| | | | |
|--|---|--|-------------------|
| | EXISTING WALL | | STRUCT GRID |
| | NEW WALL | | LEASE LINE |
| | NEW PARTIAL HT WALL | | CENTERLINE |
| | COOLER/FREEZER WALL | | WALL TYPE |
| | ENLARGED DETAIL INDICATOR | | SECTION INDICATOR |
| | POINT OF BEGINNING | | KEYNOTE |
| | DRAWING REVISION INDICATOR | | FINISH INDICATOR |
| | STRUCTURAL/EXISTING COLUMN GRIDLINE INDICATOR | | DOOR NO. |
| | INTERIOR ELEVATION INDICATOR | | DETAIL INDICATOR |

DRAWING INDEX

| SHEET NO | SHEET NAME | 10/18/2024 PRE-APPLICATION PACKAGE | 11/06/2024 PLANNING SUBMITTAL | 11/22/2024 100% SCHEMATIC DESIGN | 01/09/2025 PLANNING SUBMITTAL 2 |
|---------------|---------------------------------------|------------------------------------|-------------------------------|----------------------------------|---------------------------------|
| ARCHITECTURAL | | | | | |
| A001 | COVER SHEET | ● | ● | ● | ● |
| A0101 | SITE PLAN | ● | ● | ● | ● |
| A0101 | EXISTING FLOOR PLAN | ● | ● | ● | ● |
| A100 | EXISTING BASEMENT PLAN | ● | ● | ● | ● |
| A101 | FLOOR PLAN | ● | ● | ● | ● |
| A104 | ROOF PLAN | ● | ● | ● | ● |
| A201 | EXTERIOR ELEVATIONS | ● | ● | ● | ● |
| A202 | EXTERIOR ELEVATIONS | ● | ● | ● | ● |
| A203 | EXISTING EXTERIOR ELEVATIONS | ● | ● | ● | ● |
| A204 | EXISTING EXTERIOR ELEVATIONS | ● | ● | ● | ● |
| A301 | BUILDING SECTIONS | ● | ● | ● | ● |
| A400 | EXISTING BUILDING PHOTOS | ● | ● | ● | ● |
| A401 | EXISTING BUILDING PHOTOS | ● | ● | ● | ● |
| A402 | EXTERIOR BUILDING RENDERINGS | ● | ● | ● | ● |
| A403 | EXTERIOR BUILDING RENDERINGS | ● | ● | ● | ● |
| A404 | INTERIOR BUILDING RENDERINGS | ● | ● | ● | ● |
| A405 | INTERIOR BUILDING RENDERINGS | ● | ● | ● | ● |
| A406 | MATERIAL FINISHES | ● | ● | ● | ● |
| A500 | EXTERIOR STORAGE (FOR REFERENCE ONLY) | ● | ● | ● | ● |

| LIGHTING | | | | | | | | | |
|----------|------------------------------|---|---|---|--|--|--|--|--|
| L1-10 | LIGHTING LAYOUT | ● | ● | ● | | | | | |
| L1-20 | EXTERIOR LIGHTING ELEVATIONS | ● | ● | ● | | | | | |



PLUMBING CALCULATIONS

| FUNCTION OF SPACE | OCCUPANCY LOAD FACTOR (SQUARE FEET) | SQUARE FOOTAGE | TOTAL OCCUPANTS |
|--------------------------------|-------------------------------------|----------------|-----------------|
| MERCANTILE | 1 PER 60 | 11073 SF | 185 OCC |
| ASSEMBLY (WITHOUT FIXED SEATS) | 1 PER 15 | 900 SF | 60 OCC |
| FIXED BOOTH SEATING | 1 PER 24* | | 36 OCC |
| KITCHEN | 1 PER 200 | 800 SF | 4 OCC |
| TOTAL: | | 12,776 SF | 286 OCC |

*PER TABLE CPC 4-1 FOOTNOTE - ACCESSORY AREAS SUCH AS, BUT NOT LIMITED TO HALLWAYS, CORRIDORS, STAIRWAYS, RAMPS, TOILET ROOMS, MECHANICAL ROOMS, CLOSETS AND FIXED EQUIPMENT MAY BE EXCLUDED.
*PER TABLE CPC 422.1 - RESULT IN FRACTIONAL NUMBERS, SUCH NUMBER SHALL BE ROUNDED TO THE NEXT WHOLE NUMBER. FOR MULTIPLE OCCUPANCIES, FRACTIONAL NUMBER SHALL BE FIRST SUMMED AND THEN ROUNDED TO THE NEXT WHOLE NUMBER.

| M OCCUPANCY (PER OCC. LOAD) @ GROUND FLR | A-2 OCCUPANCY (PER OCC. LOAD) @ GROUND FLR |
|---|---|
| 185 OCCUPANTS 93 MALE & 93 FEMALE | 100 OCCUPANTS 50 MALE & 50 FEMALE |
| i. WATER CLOSET (M): 93 OCCUPANTS X 1/100 = 93 | i. WATER CLOSET (M): 50 OCCUPANTS X 1/50 = 1 |
| ii. WATER CLOSET (F): 93 OCCUPANTS X 1/100 = 93 | ii. WATER CLOSET (F): 50 OCCUPANTS X 1/25 = 2 |
| iii. URINAL (M): 93 OCCUPANTS X 1/200 = 47 | iii. URINAL (M): 50 OCCUPANTS X 1/200 = 25 |
| iv. LAVATORY (M): 93 OCCUPANTS X 1/200 = 47 | iv. LAVATORY (M): 50 OCCUPANTS X 1/150 = 34 |
| v. LAVATORY (F): 93 OCCUPANTS X 1/200 = 47 | v. LAVATORY (F): 50 OCCUPANTS X 1/150 = 34 |

SUM UP ALL REQUIRED FIXTURES
i. WATER CLOSET (M): 93 + 1 = 1.93 -> 2
ii. WATER CLOSET (F): 93 + 2 = 2.93 -> 3
iii. URINAL (M): 47 + 25 = 72 -> 1
iv. LAVATORY (M): 47 + 34 = 81 -> 1
v. LAVATORY (F): 47 + 34 = 81 -> 1

| FRACTIONAL METHOD | WATER CLOSETS | | URINALS | LAVATORIES | |
|-------------------|---------------|----|---------|------------|---|
| | M | F | | M | F |
| TOTAL | 2 | 3* | 1 | 1 | 1 |
| REQUIRED | 5 | | 1 | 2 | |
| PROVIDED | 6 | | 1 WC | 6 | |

*POTTY PARITY - PER CPC 422.1 NOTE 3 - THE TOTAL NUMBER OF REQUIRED WATER CLOSETS FOR FEMALES SHALL BE NOT LESS THAN THE TOTAL NUMBER OF REQUIRED WATER CLOSETS AND URINALS FOR MALES.

GENERAL NOTES

- DO NOT SCALE THE DRAWINGS.
- VERIFY FIELD CONDITIONS PRIOR TO COMMENCEMENT OF EACH PORTION OF THE WORK.
- THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY PORTION OF THE WORK WHICH IS PERFORMED WITHOUT A PERMIT ISSUED BY A REGULATORY AUTHORITY OF THE MUNICIPALITY IN WHICH THE PROJECT IS LOCATED.
- THROUGHOUT THIS SET OF DRAWINGS, THE TERM "SDB" REFERS TO THE CLIENT/TENANT. THE TERM "LANDLORD" REFERS TO THE PROPERTY OWNER.
- THE CONTRACTOR SHALL MAKE NO REVISIONS, ALTERATIONS OR CHANGES TO THE WORK AS SHOWN IN THE CONTRACT DOCUMENTS WITHOUT THE PRIOR WRITTEN APPROVAL OF THE ARCHITECT AND/OR SDB REPRESENTATIVE. NO ADDITIONAL COSTS FROM THE GENERAL CONTRACTOR SHALL BE CONSIDERED AND THE WORK MAY BE REQUIRED TO BE REMOVED WITHOUT SUCH APPROVAL BY ARCHITECT.
- SEE SPECIFICATIONS FOR ADDITIONAL CRITERIA AND CONSTRUCTION REQUIREMENTS.
- DIMENSIONS SHOWN AS "VIF" SHALL BE VERIFIED BY THE CONTRACTOR IN THE FIELD BY LAYING OUT THE PARTITIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES IN DIMENSIONS PRIOR TO PROCEEDING WITH WORK.
- DIMENSIONS SHOWN AS "CLEAR" OR "HOLD" SHALL BE MAINTAINED AND ALLOW FOR THICKNESS OF FINISHES, INCLUDING FLOOR FINISHES. NOTIFY ARCHITECT OF ANY DISCREPANCIES IN DIMENSIONS PRIOR TO PROCEEDING WITH WORK.
- DIMENSIONS ARE TO THE STRUCTURAL GRID OR TO FINISH SURFACES, UNLESS OTHERWISE INDICATED.
- ELEVATIONS REFERENCED ARE ABOVE SDB FINISH FLOOR FOR EACH ROOM THROUGHOUT TENANT SPACE, UNLESS OTHERWISE NOTED. FINISH FLOOR ELEVATIONS MAY VARY FROM ROOM TO ROOM DEPENDING UPON FLOOR FINISHES.
- GENERAL CONTRACTOR SHALL PROVIDE THE BUILDING OFFICIAL WITH A CERTIFICATE OF CONSTRUCTION COMPLIANCE WITH ENERGY CONSERVATION STANDARDS UPON FINAL BUILDING DEPARTMENT INSPECTIONS (WHERE REQUIRED).
- GENERAL CONTRACTOR SHALL PREPARE THE FLOOR LEVEL AND SMOOTH AND PROVIDE FOR THE FILLING OF ALL FLOOR DRAINS, FLOOR SINKS OR OTHER SUCH DEPRESSIONS, CRACKS OR IRREGULARITIES IN FLOOR SLAB.
- PROVIDE BLOCKING AT WALLS TO MEET CODE MINIMUM WHERE REQUIRED FOR SUPPORT OF FIXTURES/ACCESSORIES.
- GENERAL CONTRACTOR SHALL PROVIDE ACCESS PANELS FOR ALL TRADES AS REQUIRED BY CODE. LOCATIONS TO BE APPROVED BY ARCHITECT AND/OR SDB REPRESENTATIVE PRIOR TO EXECUTION OF WORK.
- FIRE EXTINGUISHERS AND CABINETS AS REQUIRED BY LOCAL GOVERNMENT AGENCY SHALL BE PROVIDED BY GENERAL CONTRACTOR AND INCLUDED IN CONTRACT.
- STORAGE IN STOCK/STORAGE ROOMS SHALL BE MAINTAINED 18 INCHES OR MORE BELOW SPRINKLER HEAD DEFLECTORS. A 3-INCH RED STRIKE SHALL BE MARKED ALONG ALL WALLS WITHIN STOCK STORAGE AT THE MAXIMUM STORAGE HEIGHT, AND STRIKE SHALL BE LABELED "NO STORAGE ABOVE THIS LINE" IN WHITE LETTERS A MINIMUM OF ONCE ON EACH WALL.

| No. | Date | Issued/Revised |
|-----|------------|-------------------------|
| 01 | 10/18/2024 | PRE-APPLICATION PACKAGE |
| 02 | 11/06/2024 | PLANNING SUBMITTAL |
| 03 | 11/22/2024 | 100% SCHEMATIC DESIGN |
| 04 | 01/09/2025 | PLANNING SUBMITTAL 2 |

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| | |
|---------------|----------|
| Project No. | 59485 |
| Drawn By: | Brenda B |
| Reviewed By: | Rick N |
| Scale | As noted |
| Drawing Title | |

COVER SHEET

Drawing No.

A001

Project

RH - LOS GATOS
31 UNIVERSITY AVE,
LOS GATOS, CA 95030

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Drawn By: Brenda B

Reviewed By: Rick N

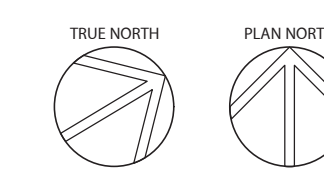
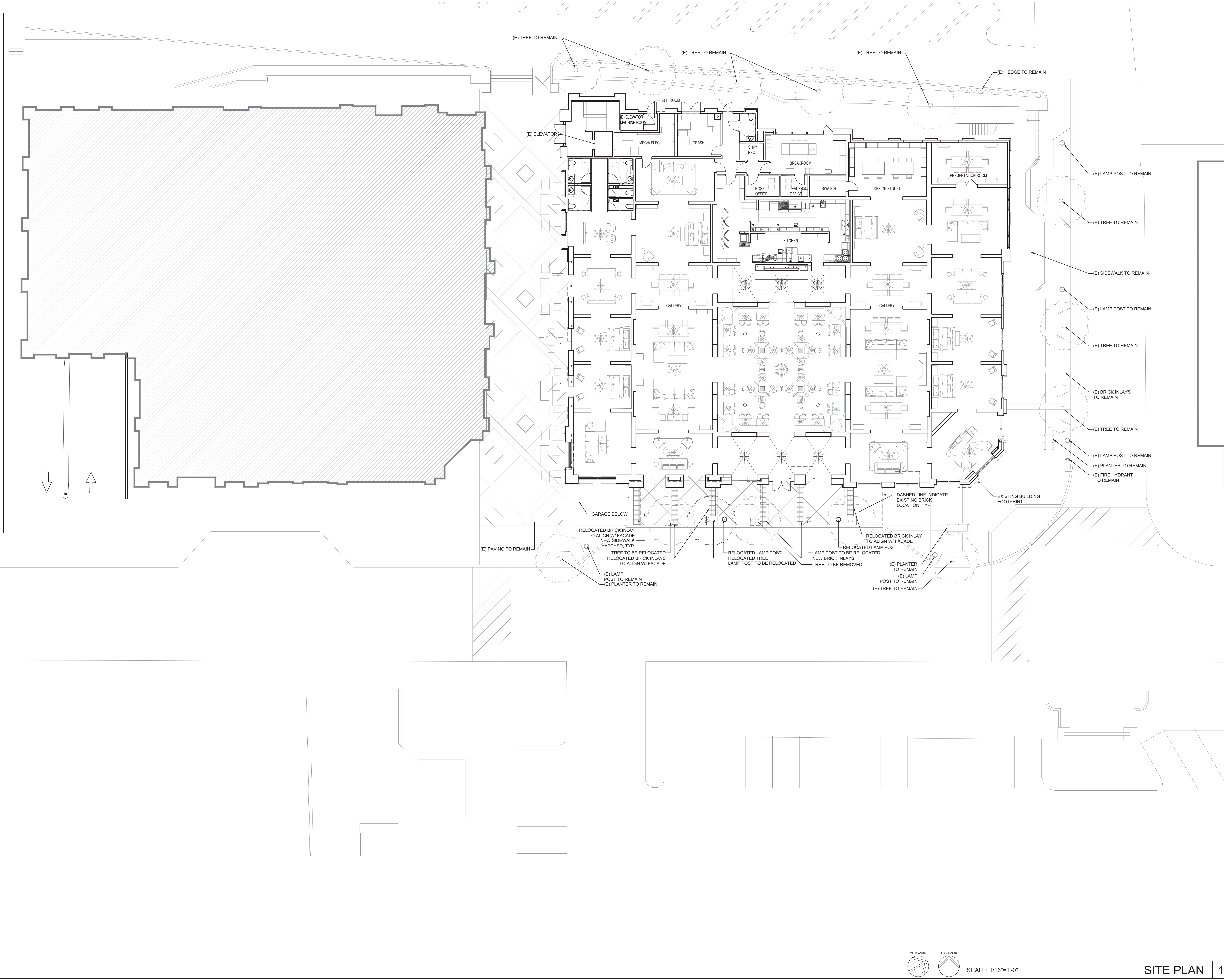
Scale As noted

Drawing Title

SITE PLAN

Drawing No.

AS101



SCALE: 1/16"=1'-0"

SITE PLAN | 1

Project

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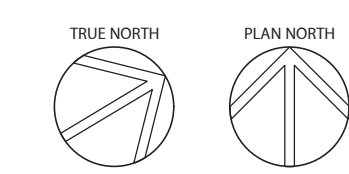
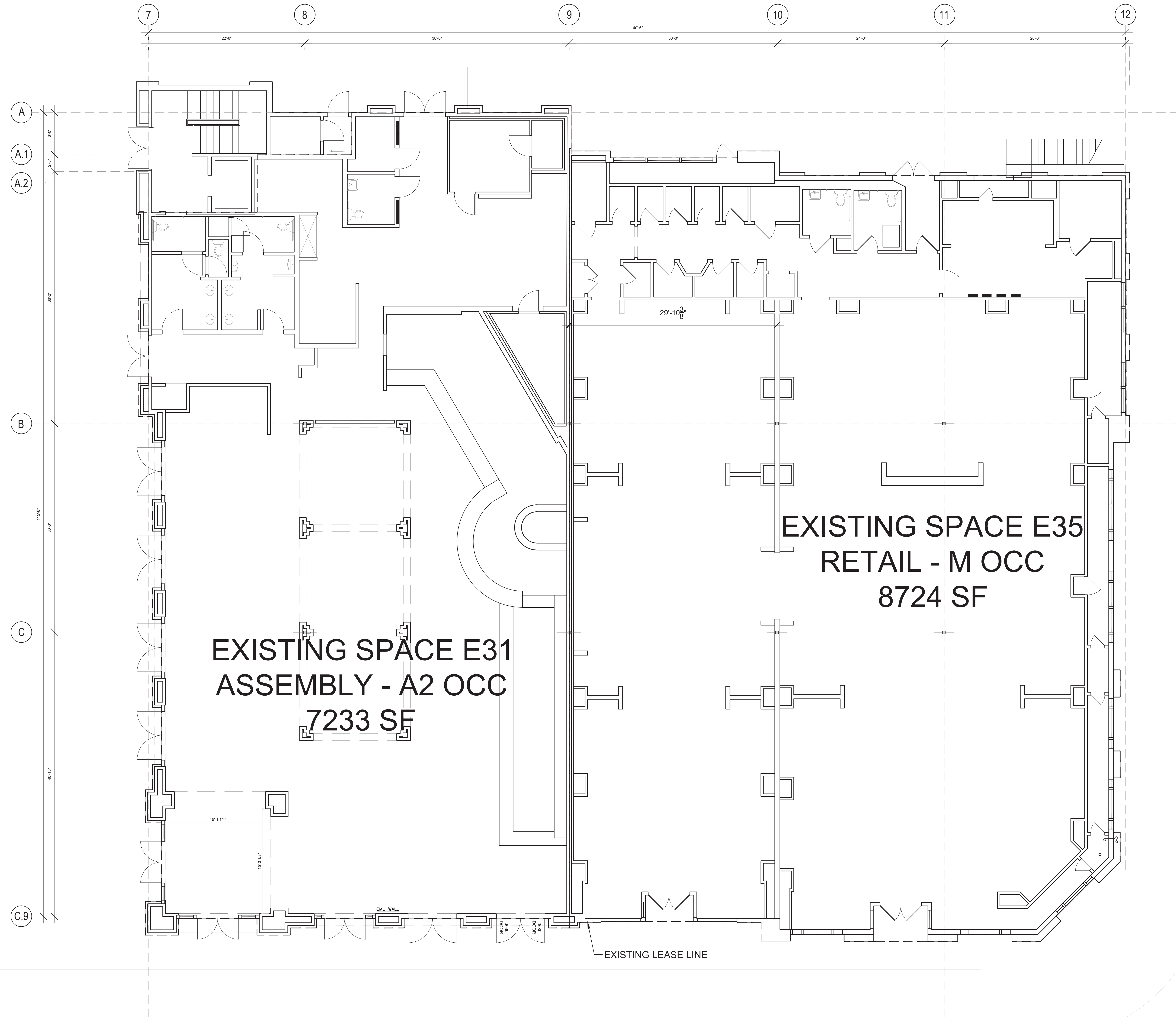
Scale As noted

Drawing Title

EXISTING FLOOR PLAN

Drawing No.

AD101



SCALE: 3/16"=1'-0"

Project: 59485 - RH - LOS GATOS
 Drawing: AD101 - EXISTING FLOOR PLAN
 Date: 01/09/2025
 Scale: As noted
 Author: Brenda B
 Reviewer: Rick N
 Title: Architect
 Firm: MBH ARCHITECTS

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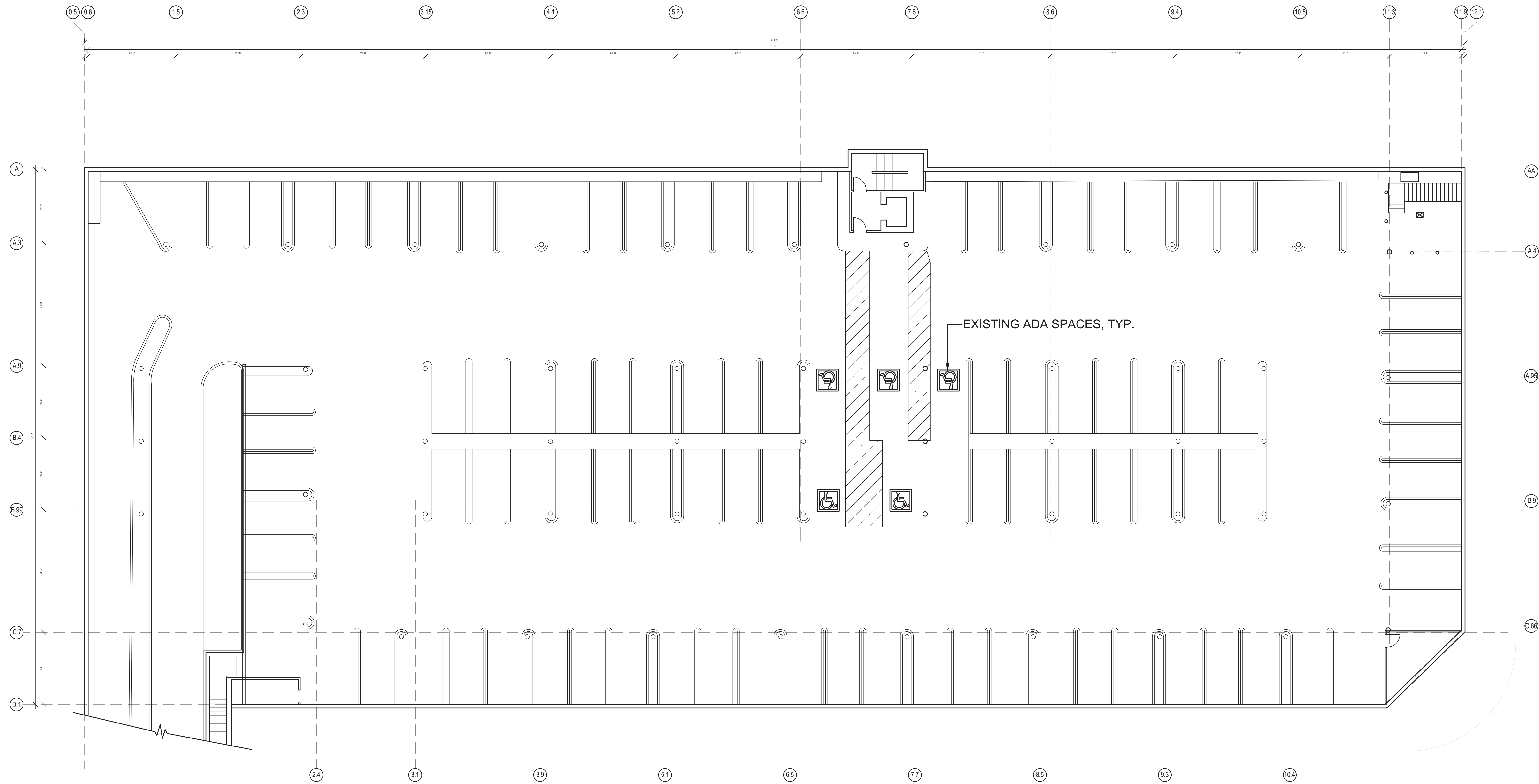
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Drawn By: Brenda B
Reviewed By: Rick N
Scale: As noted

Drawing Title

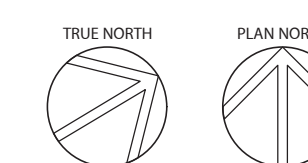
EXISTING
BASEMENT PLAN

Drawing No.

A100



FOR REFERENCE ONLY



SCALE: 3/32"=1'-0" EXISTING BASEMENT PARKING PLAN | 1

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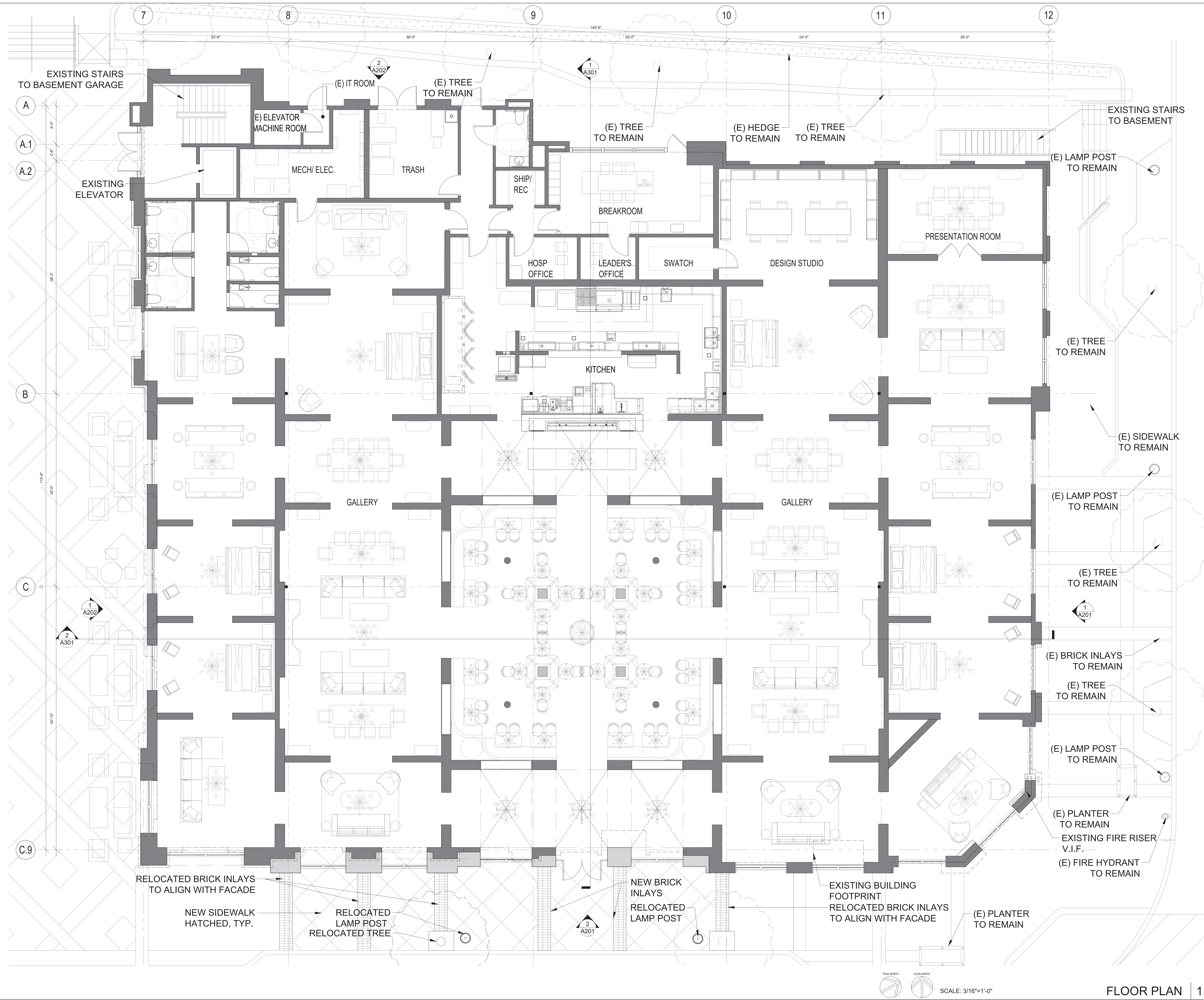
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Project No. 59485
Drawn By: Brenda B
Reviewed By: Rick N
Scale: As noted
Drawing Title

FLOOR PLAN

Drawing No.

A101



TRUE NORTH
PLAN NORTH
SCALE: 3/16"=1'-0"

FLOOR PLAN | 1

Project

RH - LOS GATOS
31 UNIVERSITY AVE,
LOS GATOS, CA 95030

Architect



960 atlantic avenue
Alameda, CA 94501
510 865 8663
mbharch.com

Seal

Consultant

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| 03 | 11/22/2024 | 100% SCHEMATIC DESIGN |
| 04 | 01/09/2025 | PLANNING SUBMITTAL 2 |

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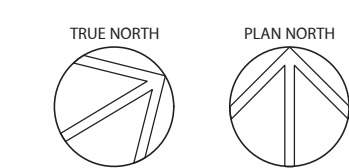
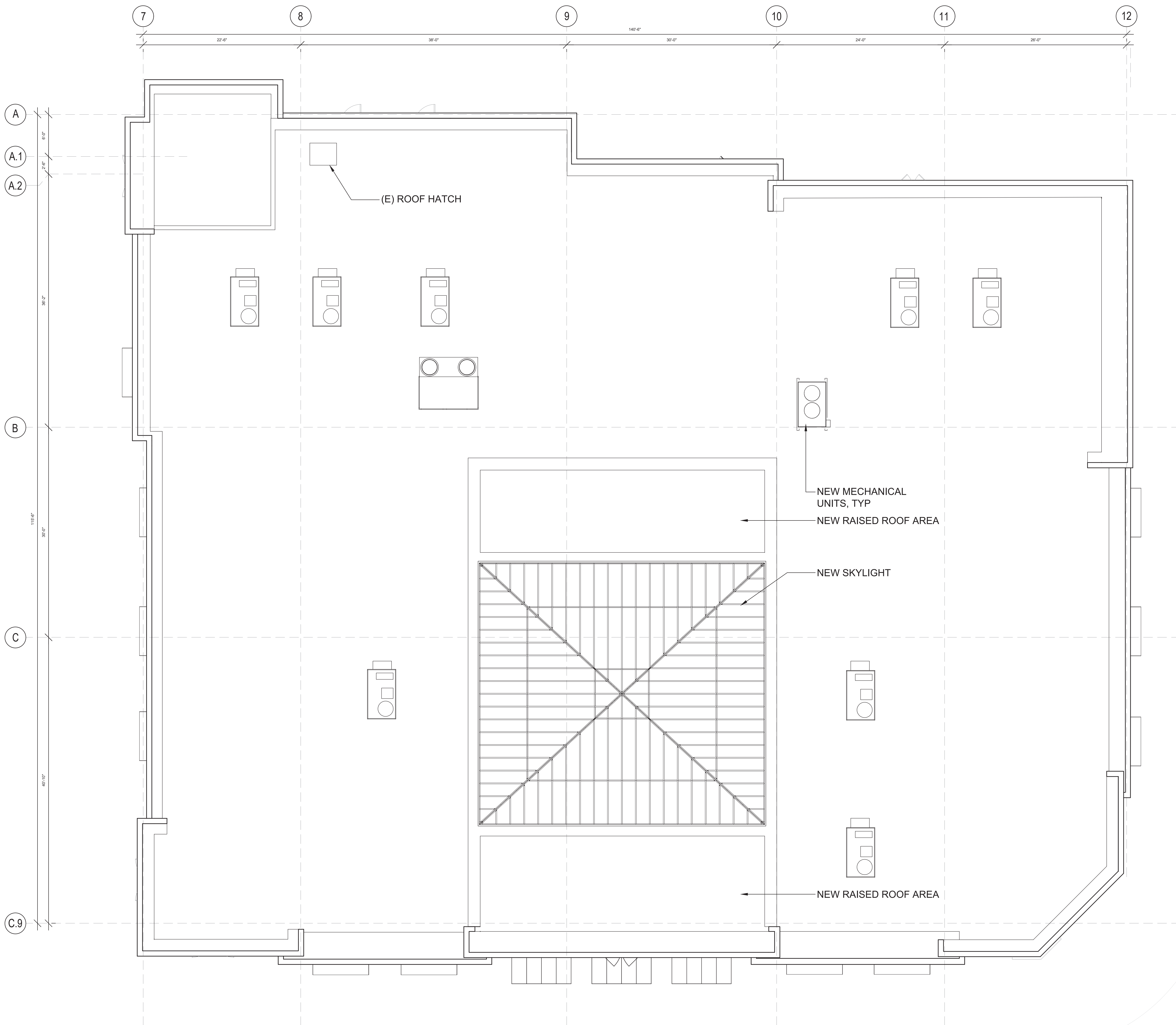
Scale As noted

Drawing Title

ROOF PLAN

Drawing No.

A104



SCALE: 3/16"=1'-0"

Project

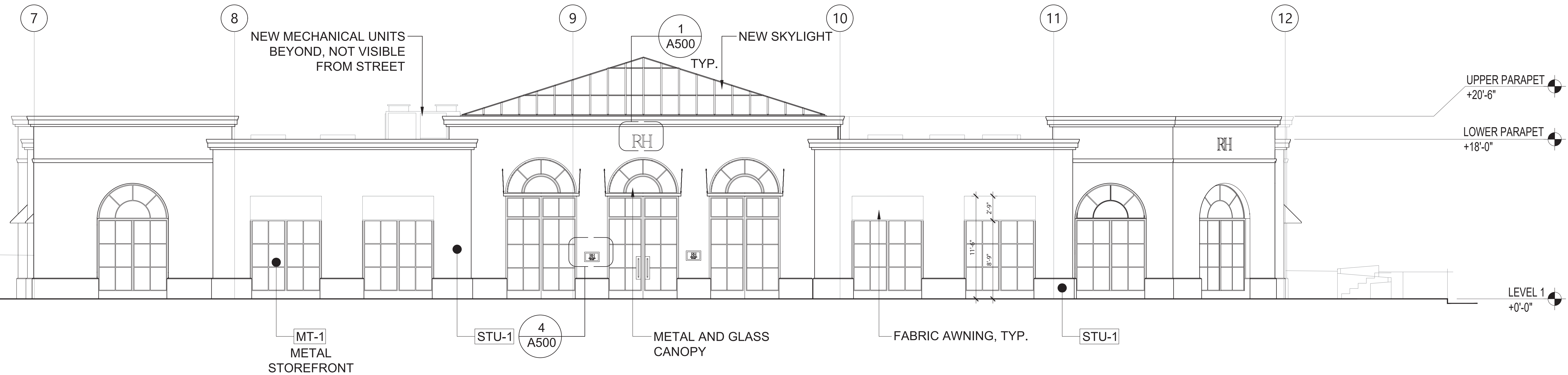
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LOS GATOS, CA 95030

Architect



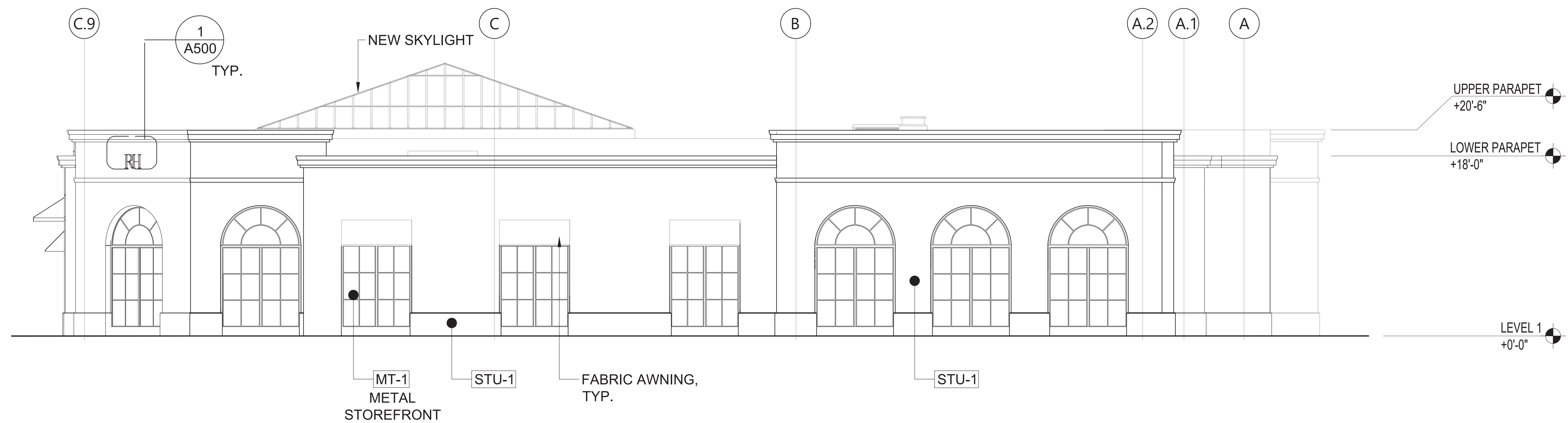
Seal

Consultant



SCALE: 3/16"=1'-0"

PROPOSED SOUTH EXTERIOR ELEVATION | 2



SCALE: 3/16"=1'-0"

PROPOSED EAST EXTERIOR ELEVATION | 1

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Project No. 59485

Drawn By: Brenda B

Reviewed By: Rick N

Scale As noted

Drawing Title

**EXTERIOR
ELEVATIONS**

Drawing No.

A201

Project

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31 UNIVERSITY AVE,
LOS GATOS, CA 95030

Architect



Seal

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| 03 | 11/22/2024 | 100% SCHEMATIC DESIGN |
| 04 | 01/09/2025 | PLANNING SUBMITTAL 2 |

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Project No. 59485

Drawn By: Brenda B

Reviewed By: Rick N

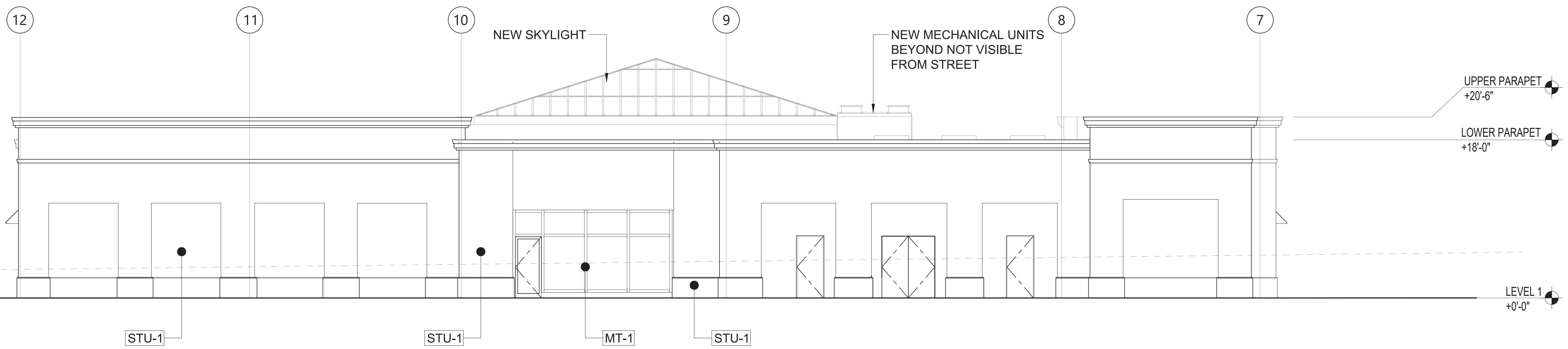
Scale As noted

Drawing Title

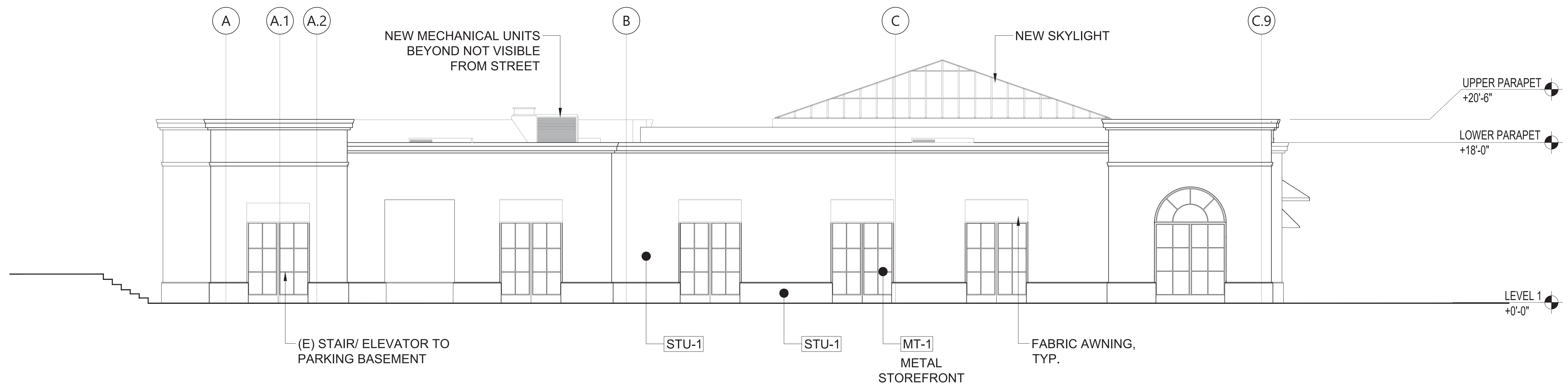
EXTERIOR
ELEVATIONS

Drawing No.

A202



SCALE: 3/16"=1'-0" PROPOSED NORTH EXTERIOR ELEVATION | 2



SCALE: 3/16"=1'-0" PROPOSED WEST EXTERIOR ELEVATION | 1

Project

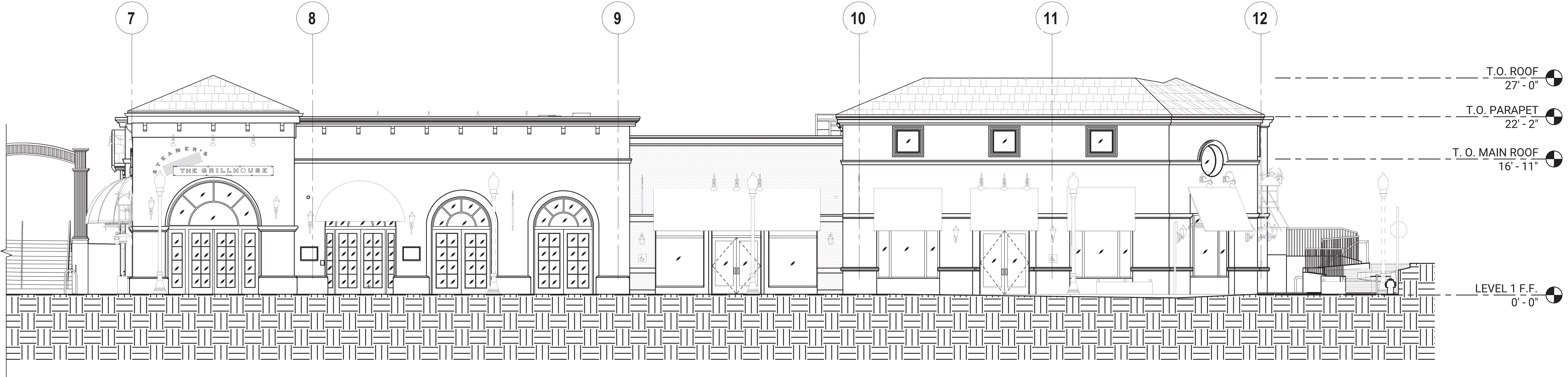
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31 UNIVERSITY AVE,
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Architect



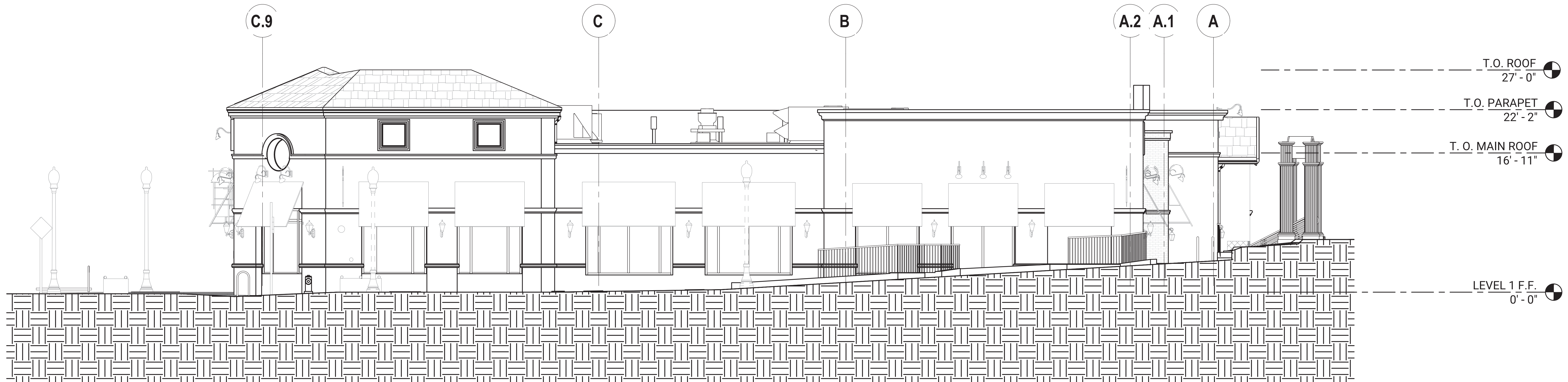
Seal

Consultant



SCALE: 3/16"=1'-0"

EXISTING SOUTH EXTERIOR ELEVATION | 2



SCALE: 3/16"=1'-0"

EXISTING EAST EXTERIOR ELEVATION | 1

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| 02 | 11/06/2024 | PLANNING SUBMITTAL |
| 03 | 11/22/2024 | 100% SCHEMATIC DESIGN |
| 04 | 01/09/2025 | PLANNING SUBMITTAL 2 |

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Project No. 59485
Drawn By: Brenda B
Reviewed By: Rick N
Scale As noted
Drawing Title

EXISTING
EXTERIOR
ELEVATIONS

Drawing No.

A203

| No. | Date | Issued/Revised |
|-----|------------|-------------------------|
| 01 | 10/18/2024 | PRE-APPLICATION PACKAGE |
| 02 | 11/06/2024 | PLANNING SUBMITTAL |
| 03 | 11/22/2024 | 100% SCHEMATIC DESIGN |
| 04 | 01/09/2025 | PLANNING SUBMITTAL 2 |

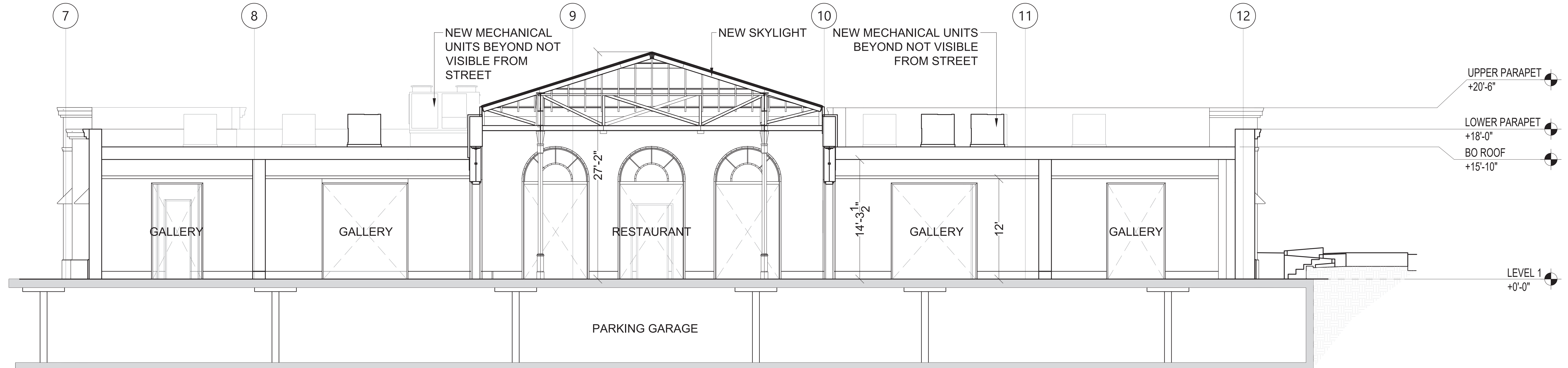
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 Drawn By: Brenda B
 Reviewed By: Rick N
 Scale: As noted
 Drawing Title

BUILDING SECTIONS

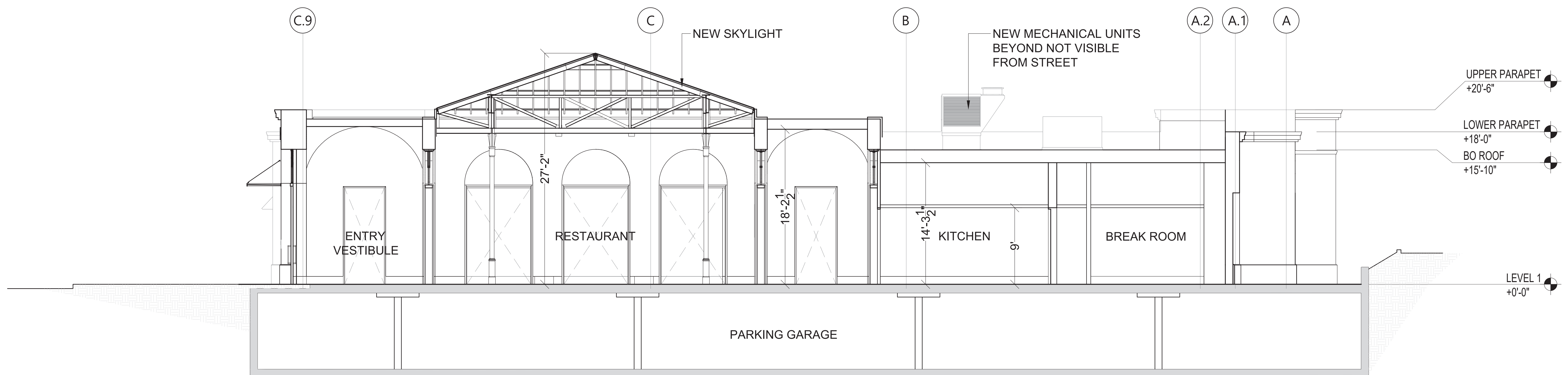
Drawing No.

A301



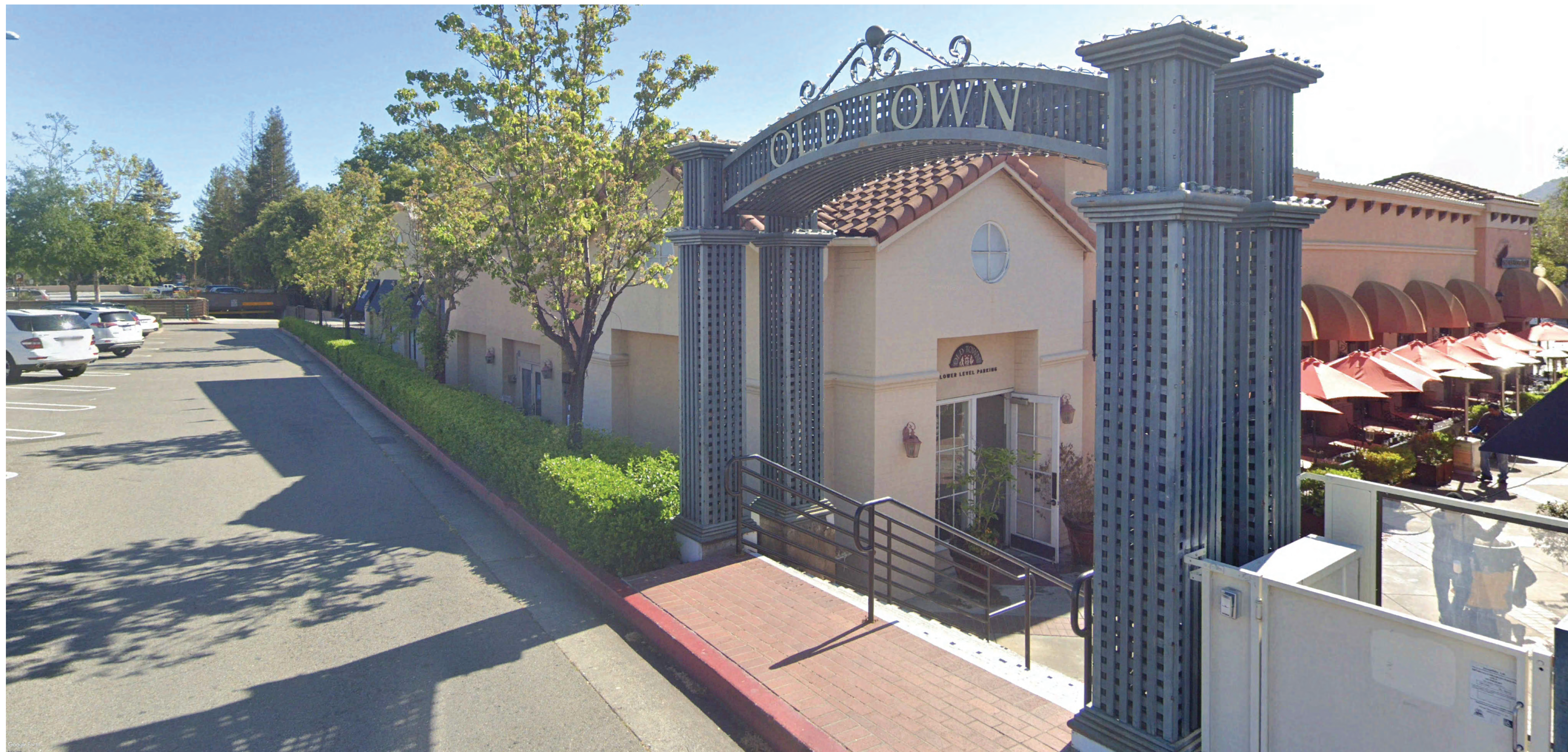
SCALE: 3/16"=1'-0"

PROPOSED BUILDING SECTION | 2



SCALE: 3/16"=1'-0"

PROPOSED BUILDING SECTION | 1



Project
 RH - LOS GATOS
 31 UNIVERSITY AVE,
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| 03 | 11/22/2024 | 100% SCHEMATIC DESIGN |
| 04 | 01/09/2025 | PLANNING SUBMITTAL 2 |

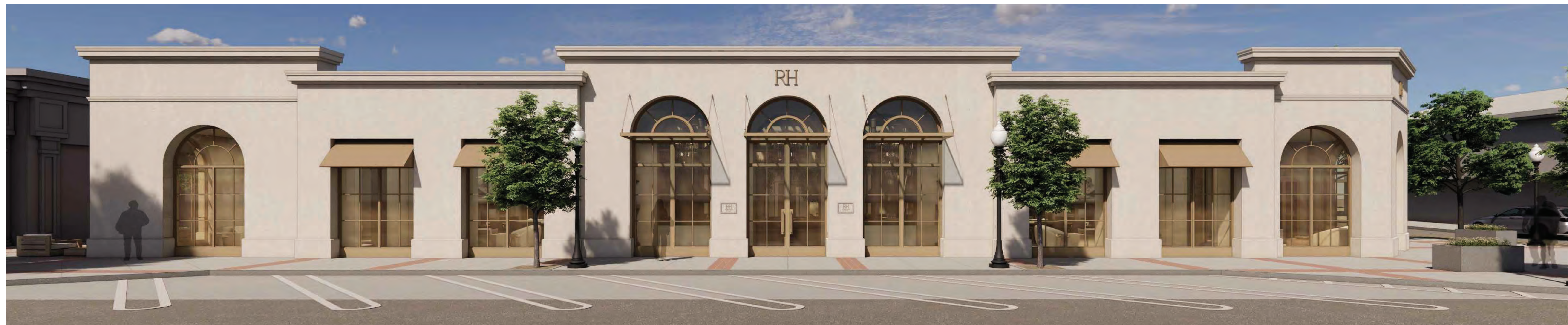
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 Reviewed By: Rick N
 Scale: As noted
 Drawing Title

EXISTING BUILDING PHOTOS

Drawing No.

A401



RH

Project

RH - LOS GATOS
31 UNIVERSITY AVE,
LOS GATOS, CA 95030

Architect



Seal

Consultant

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| 01 | 10/18/2024 | PRE-APPLICATION PACKAGE |
| 02 | 11/06/2024 | PLANNING SUBMITTAL |
| 03 | 11/22/2024 | 100% SCHEMATIC DESIGN |
| 04 | 01/09/2025 | PLANNING SUBMITTAL 2 |

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Project No. 59485

Drawn By: Brenda B

Reviewed By: Rick N

Scale As noted

Drawing Title

**EXTERIOR
BUILDING
RENDERS**

Drawing No.

A402

Project

RH - LOS GATOS
31 UNIVERSITY AVE,
LOS GATOS, CA 95030

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Project No. 59485
Drawn By: Brenda B
Reviewed By: Rick N
Scale As noted

Drawing Title

**EXTERIOR
BUILDING
RENDERS**

Drawing No.

A403



SCALE: N.T.S.

Project

RH - LOS GATOS
31 UNIVERSITY AVE,
LOS GATOS, CA 95030

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Project No. 59485
Drawn By: Brenda B
Reviewed By: Rick N
Scale: As noted

Drawing Title

INTERIOR
BUILDING
RENDERS

Drawing No.

A405

MATERIAL FINISHES



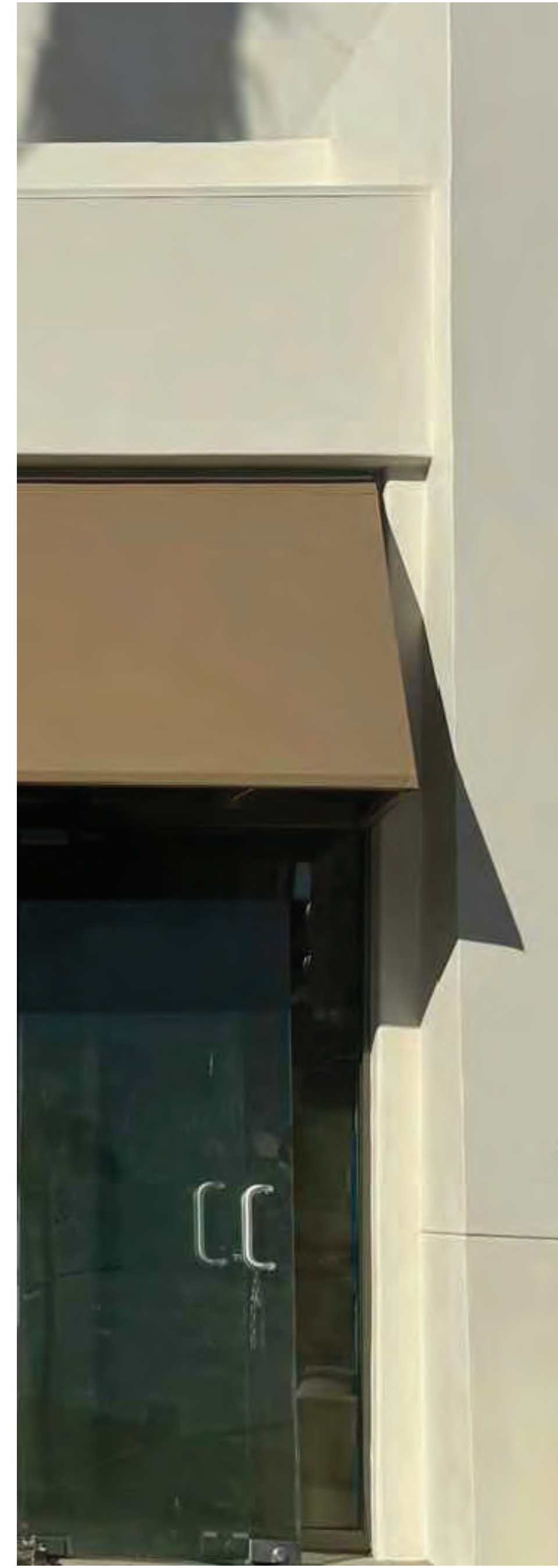
MT-1

METAL FINISH
MFR: CREATIVE PAINTS SAN FRANCISCO
PAINTED METAL CUSTOM METALLIC PLAINT

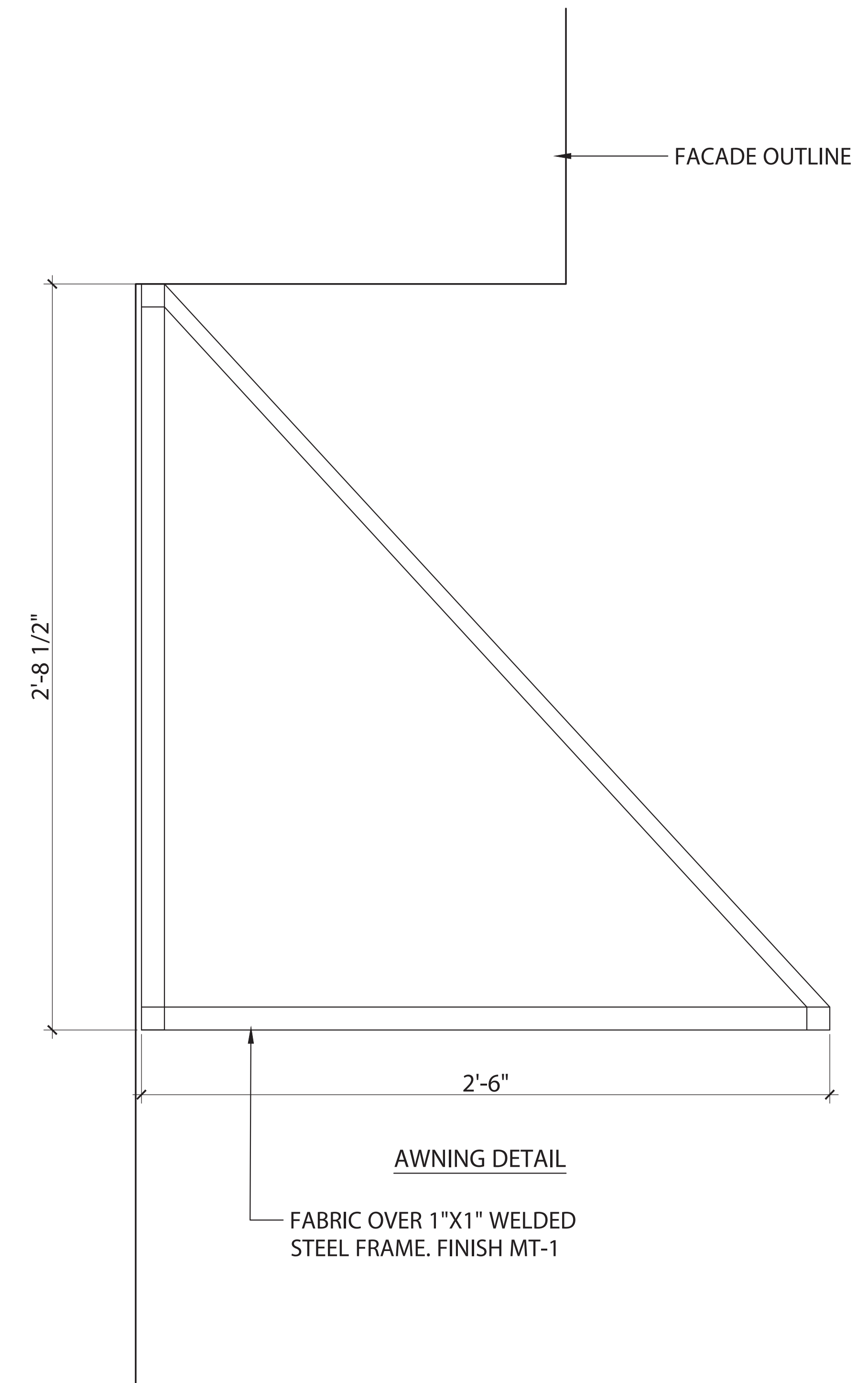


STU-1

STUCCO SYSTEM
MFR: RICK MARS
EXTERIOR CLADDING
LIGHT CREAM PROPRIETARY 5 COAT VENETIAN PLASTER
CUSTOM FINISH PER OWNER REQUIREMENTS



FABRIC AWNING



Project
RH - LOS GATOS
31 UNIVERSITY AVE,
LOS GATOS, CA 95030

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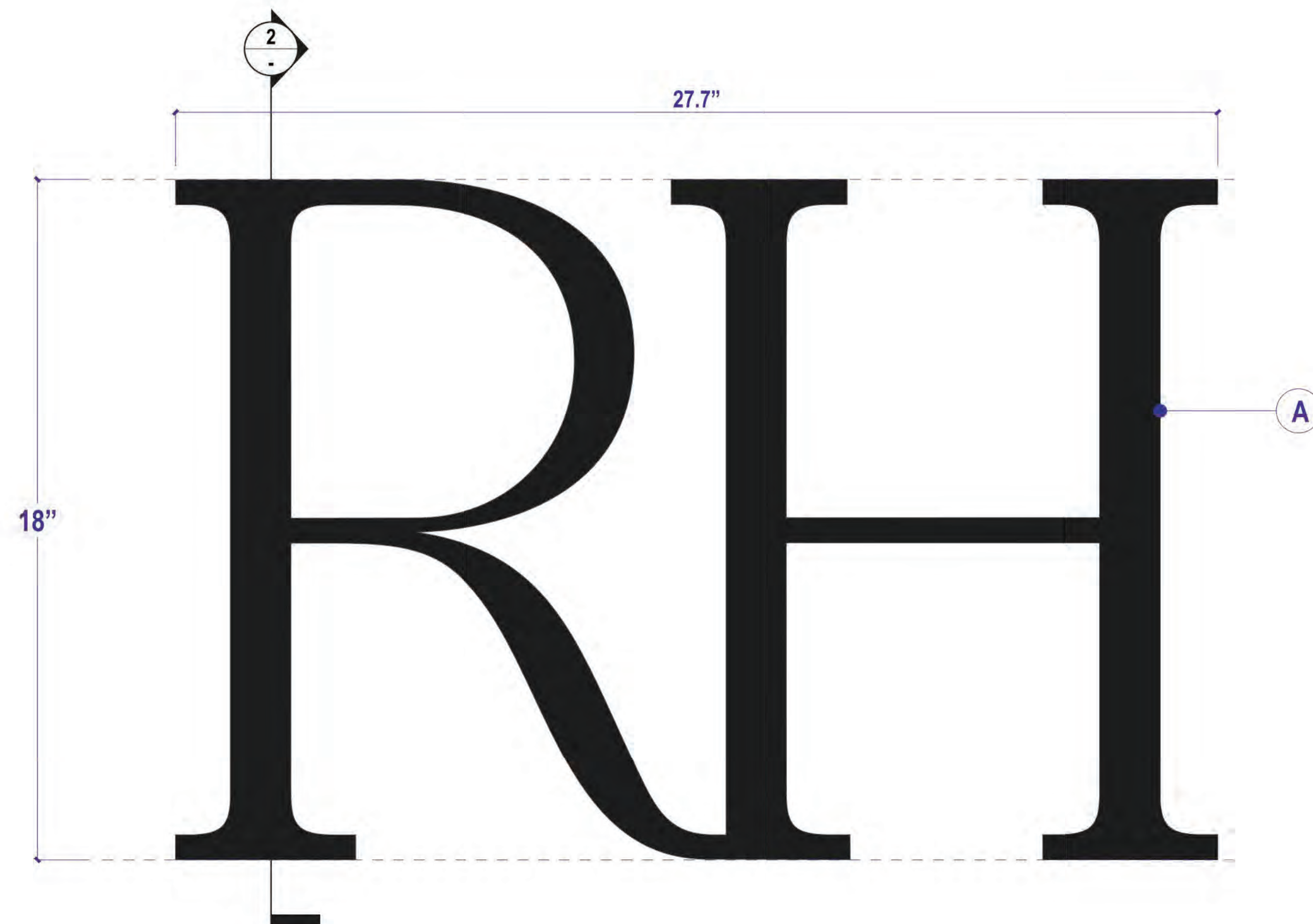
Project No. 59485
Drawn By: Brenda B
Reviewed By: Rick N
Scale As noted

Drawing Title

MATERIAL FINISHES

Drawing No.

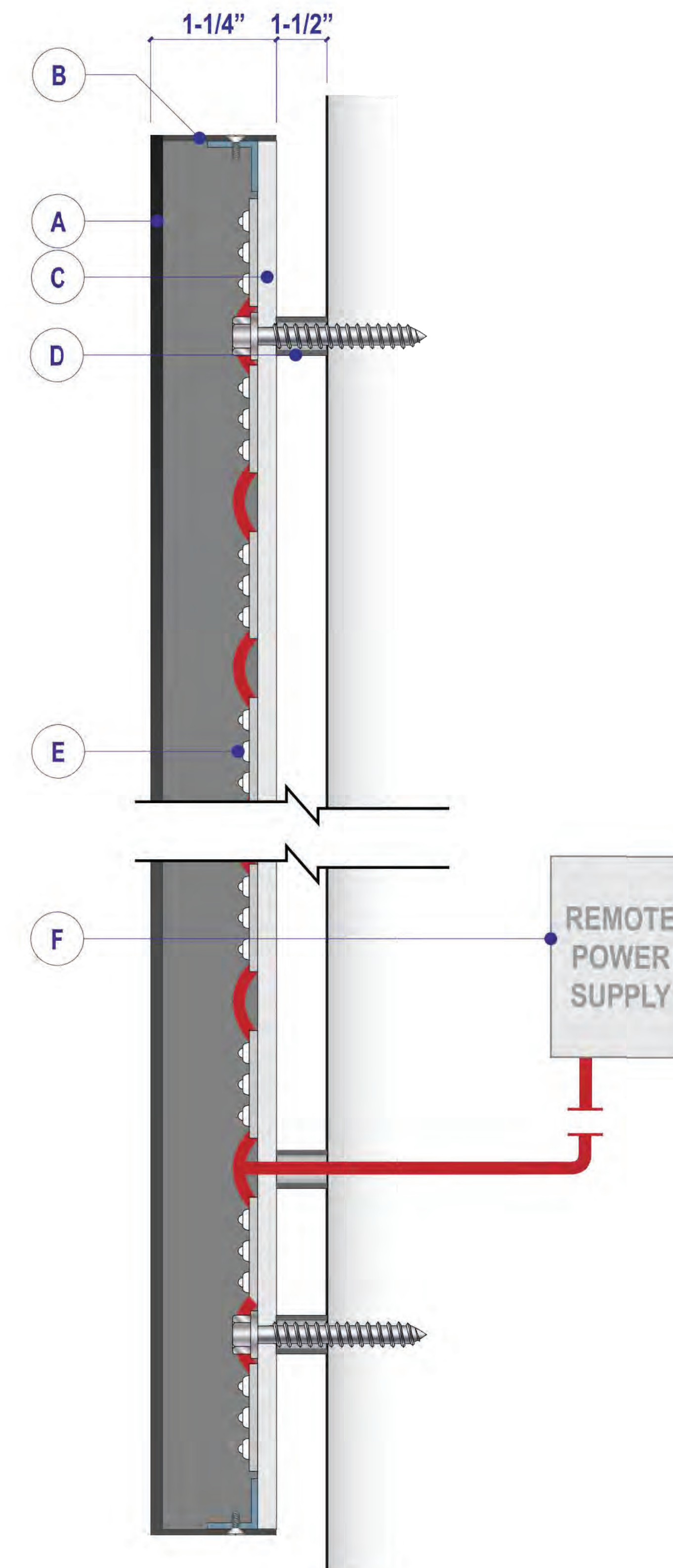
A406



1 17-IN RH LOGO HALO-LIT - DETAIL
Scale 1/8: 1"



3 ILLUMINATION SAMPLE
NTS



2 SECTION
Scale 1/4: 1"

SPECIFICATIONS:

A. 1/8" THICK ALUMINUM FACE PAINT TO MATCH AWNINGS/WINDOW FRAMES

NOTE: SOME STROKE ADJUSTED TO ACCOMODATE LED LIGHT LAYOUT REQUIREMENTS

B. .050" THICK ALUMINUM RETURNS PAINTED RAL 9005 JET BLACK SATIN (MP923) MOUNTED TO "C" VIA ANGLE BRACKETS AND SCREWS

C. 3/16" POLYCARBONATE BACK WITH SINGLE LAYER OF WHITE FROSTED CRYSTAL 7725E-324 DIFFUSER RIVETED TO ALUMINUM ANGLE BRACKETS MOUNTED TO FINISH WALL VIA 1/4"-20 SCREWS AND ANCHOR IN 7 PLACES

D. 1/2" DIA. ALUMINUM SPACERS

E. AGI LIGHT 3000K

F. MAGNITUDE M150L12DC-AR LED DRIVER



NOT 100% SCALE
20" X 30" FRAME
MATCHES RENDERING

4 ENTRY PLAQUE SIGN DETAIL

UL ALL ELECTRICAL COMPONENTS ARE UL APPROVED AND FOLLOW 600 GROUNDING AND BONDED GUIDELINES

| | | | | | | | | |
|---|---|---|-----------|---------------------------|------------------|----------------------|--------------|----------|
| <p>THOMAS-SWAN SIGN COMPANY, INC. 2717 GOODRICK AVENUE, RICHMOND, CA 94801 510-232-9610 • CALIFORNIA LICENSE #269069</p> | <p>© 2021 THOMAS SWAN SIGN COMPANY, INC. All rights reserved. This drawing and the concepts, ideas and design development expressed herein are intended for use on this project only, and remain the sole property of Thomas Swan Sign Company, Inc. Original design concepts developed as part of this work remain the property and copyright of their respective owners. All dimensions and measurements are to be approved by the Client prior to any manufacturing or installation of these designs. Items are at scale noted when this page is printed at 11" x 17".</p> | PROJECT NAME & ADDRESS | | SIGN TYPE | DATE / REVISIONS | CLIENT | JOB NUMBER | QUANTITY |
| | | RESTORATION HARDWARE | | RH HALO-LIT BUILDING LOGO | | Restoration Hardware | 8258 | 2 |
| | | | | FILE NAME | | SALES | SHEET NUMBER | |
| | | 18IN_LOS GATOS | Ryan Goss | 1.00 | | | | |
| | | APPROVED FOR CONSTRUCTION - INCLUDE NAME & DATE | | | | | | |
| | | <input type="checkbox"/> | | | | | | |

Project
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31 UNIVERSITY AVE,
LOS GATOS, CA 95030

Architect



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| 03 | 11/22/2024 | 100% SCHEMATIC DESIGN |
| 04 | 01/09/2025 | PLANNING SUBMITTAL 2 |

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Drawn By: Brenda B
Reviewed By: Rick N
Scale: As noted

Drawing Title

EXTERIOR SIGNAGE

Drawing No.

A500

FOR REFERENCE ONLY

NOTES FOR GENERAL CONTRACTOR:

1. General Contractor (GC) and Electrical Contractor (EC) will be responsible for verification of all dimensions, specifications and coordination with related trades and subcontractors.
2. GC to paint downlight trims to match ceiling per architect's direction. Ensure trims can be removed after painting and do not stick.
3. GC to furnish and install adequate drainage around all direct burial transformers and recessed in-grade light fixtures.
4. GC to notify designer of any conflict with mechanical, electrical, plumbing, HVAC or structural presence or any conflicting dimensions or site conditions prior to commencement of work.
5. GC is responsible for notifying designer of any inconsistencies between design drawings and other documents.
6. Do not scale drawings.

GENERAL NOTES:

1. Lighting Design drawings and dimensions are for design intent only. Coordination with Architectural Drawings required.
2. Fixture types and specifications available in accompanying Specification packet.
3. Calculations for code compliance to be provided by Electrical Engineer.
4. Emergency lighting requirements to be completed by Electrical Engineer.

| REV. DATE | DESCRIPTION |
|------------|-----------------------|
| 10.23.2024 | FOR REVIEW |
| 11.22.2024 | 100% SCHEMATIC DESIGN |
| 01.10.2025 | PLANNING REVIEW |

PROJECT:

RH LOS GATOS
35 UNIVERSITY BLVD,
LOS GATOS, CA 95030

DRAWING TITLE:

LIGHTING LAYOUT

SHEET:

LT-1.0

LIGHTING CONTROL SYSTEM SEQUENCE OF OPERATION:

ALL BUILDING LIGHTING AT RH LOS GATOS IS CONTROLLED BY PRESET SCENES ON A TIME CLOCK SCHEDULE.

BUILDING WIDE SCENE DESCRIPTIONS

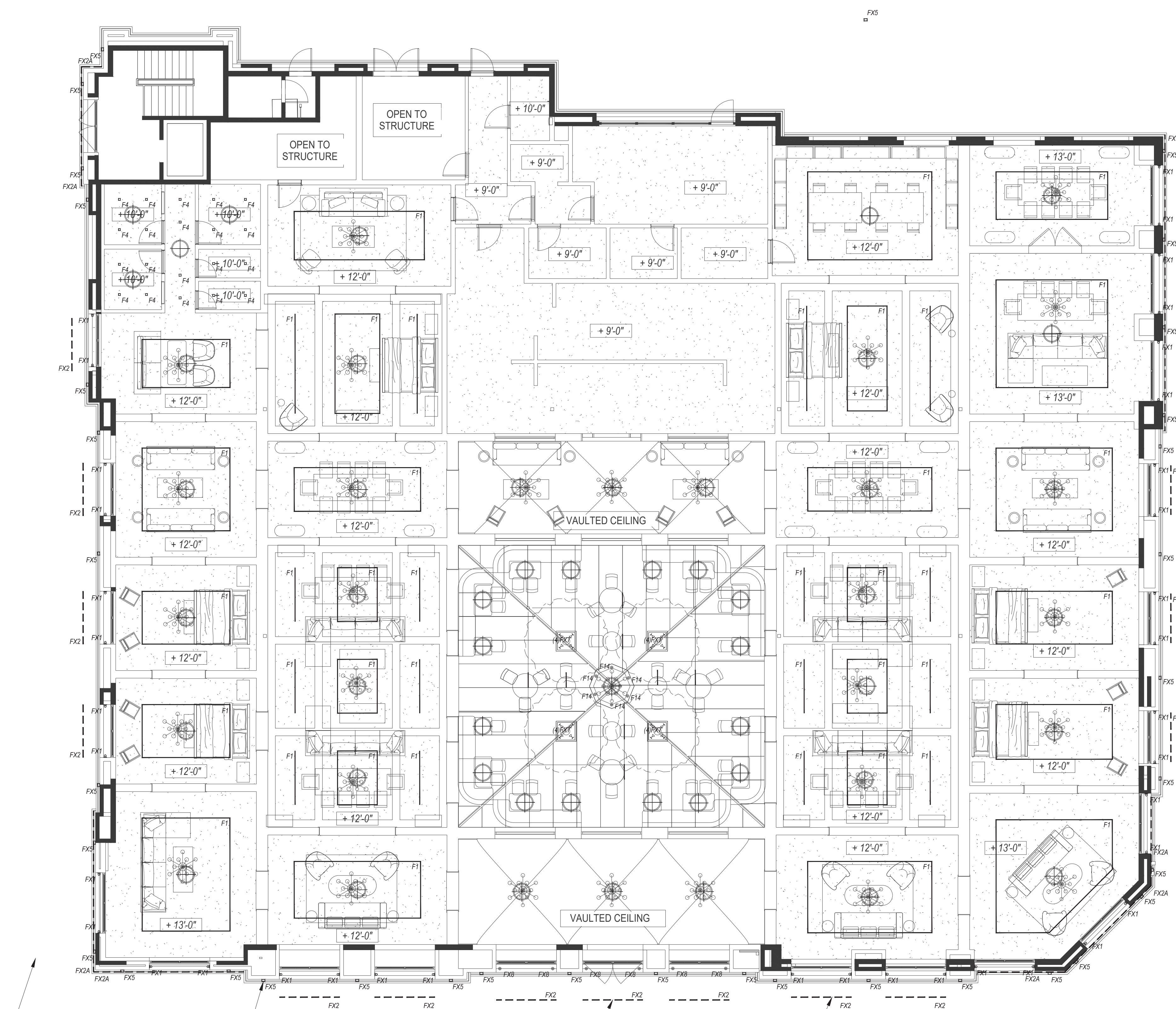
- SCENE 1: RETAIL DAY ACTIVATES AT 7:00AM DAILY, 15 SECOND FADE TIME. INTERIOR LIGHTING TURNS ON AT PRESET, DIMMED LEVELS DETERMINED BY LIGHTING DESIGNER AND APPROVED BY RH. EXTERIOR LIGHTING TURNS OFF.
- SCENE 2: RETAIL NIGHT ACTIVATES 15 MINUTES BEFORE SUNSET, 15 SECOND FADE TIME. EXTERIOR LIGHTING TURNS ON AT PRESET, DIMMED LEVELS DETERMINED BY LIGHTING DESIGNER AND APPROVED BY RH.
- SCENE 3: OVERNIGHT ACTIVATES AT 11PM. MOST INTERIOR LIGHTING TURNS OFF. LIGHTING DESIGNER TO DETERMINE OVERNIGHT SETTING ON SITE AHEAD OF GALLERY OPENING.
- SCENE 4: EVENT ACTIVATES ON-DEMAND DURING OPENING EVENT. LIGHTING DESIGNER WILL DETERMINE CUSTOM SETTING APPROVED BY RH.

NOTES FOR ZONING AND LIGHTING CONTROLS:

1. ALL BUILDING LIGHTING TO BE DIMMABLE, INCLUDING ARCHITECTURAL AND DECORATIVE (MERCHANDISE) LIGHTING.
2. ONE ZONE PER "F" TYPE, PER INSTALLATION LOCATION OR CONDITION (UNLESS OTHERWISE NOTED ON DRAWINGS).

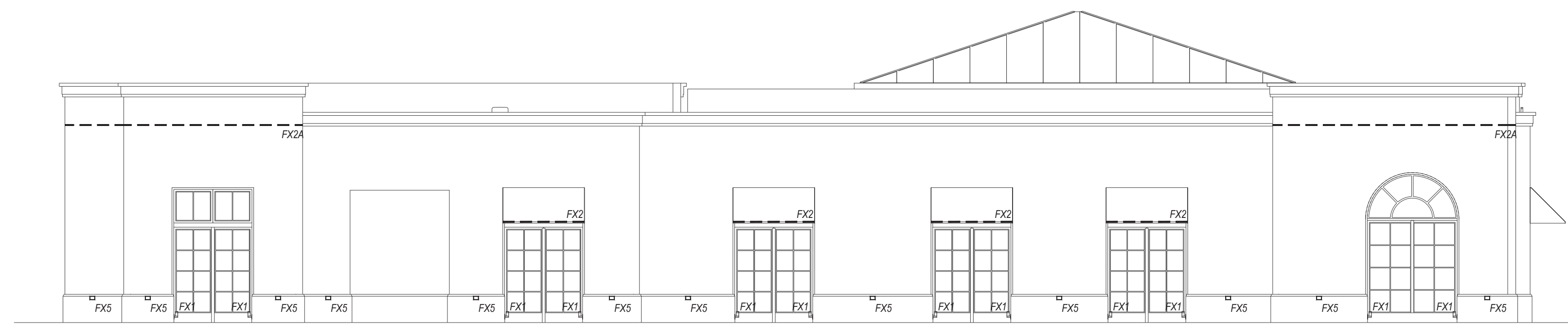
LIGHTING LEGEND

| TYPE | SYMBOL | DESCRIPTION | LOCATION |
|------|--------|---------------------------------------|-------------------------------|
| F1 | — | SURFACE MOUNTED SINGLE CIRCUIT TRACK | RETAIL, THROUGHOUT |
| F2 | ▷ | ADJUSTABLE TRACK HEAD | RETAIL, THROUGHOUT |
| F4 | ◻ | 3" SQUARE RECESSED DOWNLIGHT | RESTROOMS, PASSAGES |
| F14 | • | WEIGHTED BASE UNDERWATER ACCENT LIGHT | CAFE CENTRAL FOUNTAIN |
| FX1 | ▷ | JAMB MOUNTED ACCENT LIGHT | FACADE, DOOR AND WINDOW JAMBS |
| FX2 | — | SURFACE MOUNTED LINEAR LED UPLIGHT | FACADE AWNINGS |
| FX2A | — | SURFACE MOUNTED LINEAR LED UPLIGHT | FACADE, CORNICE |
| FX5 | ◻ | WALL MOUNTED FACADE WASH LIGHT | FACADE |
| FX7 | ◁ | STAKE MOUNTED TREE UPLIGHT | CAFE TREES |
| FX8 | • | GRADE RECESSED UPLIGHT | MAIN ENTRY DOOR JAMBS |

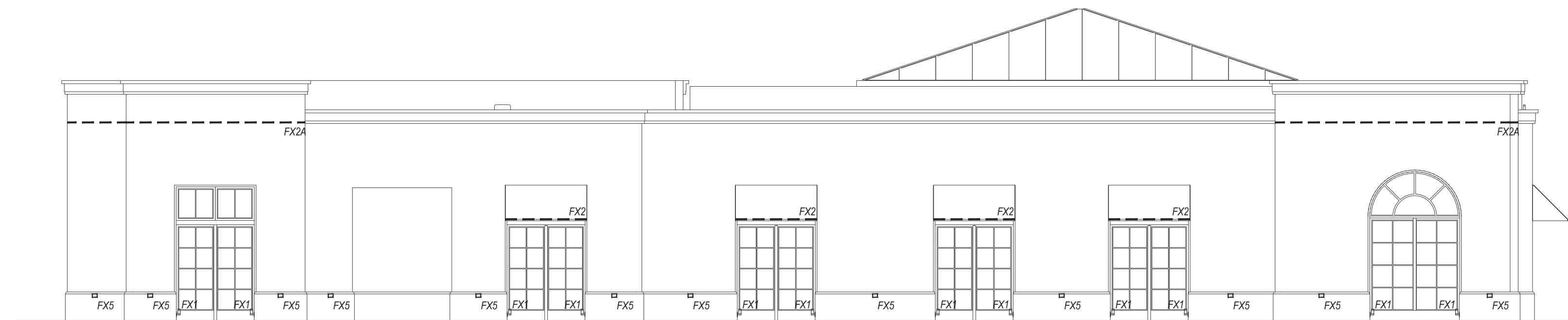


- ALLOW FOR EXTERIOR LANDSCAPE LIGHTING. COORDINATION WITH LANDSCAPE DRAWINGS REQUIRED
- FX5 WALL MOUNTED FACADE WASH LIGHT CONCEALED BEHIND PLANTER. COORDINATION WITH LANDSCAPING AND MFR (48" x 18" x 6" - RFP BY RH)
- FX2 ADJ. LINEAR LED MOUNTED TO TOP OF GLASS AWNING TO BE AIMED AT FACADE TO PROVIDE SOFT GLOW ABOVE
- FX2 ADJ. LINEAR LED CONCEALED WITHIN ARCHITECTURAL CHANNEL AND AIMED AT FACADE TO PROVIDE SOFT GLOW ABOVE

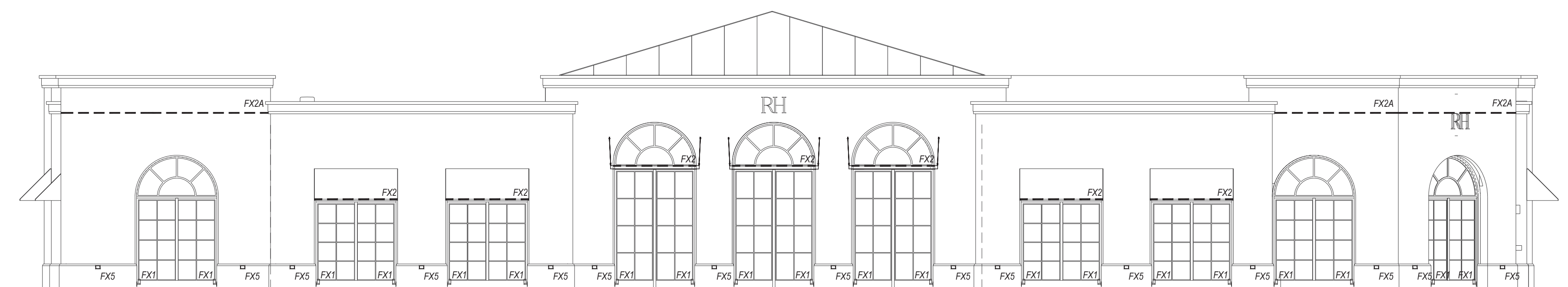
1 EXTERIOR LIGHTING LAYOUT
1/8" = 1'-0"



1 WEST ELEVATION
1/8" = 1'-0"



2 EAST ELEVATION
1/8" = 1'-0"



3 SOUTH ELEVATION
1/8" = 1'-0"

NOTES FOR GENERAL CONTRACTOR:

- General Contractor (GC) and Electrical Contractor (EC) will be responsible for verification of all dimensions, specifications and coordination with related trades and subcontractors.
- GC to paint downlight trims to match ceiling per architect's direction. Ensure trims can be removed after painting and do not stick.
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GENERAL NOTES:

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- Emergency lighting requirements to be completed by Electrical Engineer.

| REV. DATE | DESCRIPTION |
|------------|-----------------------|
| 10.23.2024 | FOR REVIEW |
| 11.22.2024 | 100% SCHEMATIC DESIGN |
| 01.10.2025 | PLANNING REVIEW |

LIGHTING CONTROL SYSTEM SEQUENCE OF OPERATION:

ALL BUILDING LIGHTING AT RH LOS GATOS IS CONTROLLED BY PRESET SCENES ON A TIME CLOCK SCHEDULE.

BUILDING WIDE SCENE DESCRIPTIONS

SCENE 1: RETAIL DAY ACTIVATES AT 7:00AM DAILY. 15 SECOND FADE TIME. INTERIOR LIGHTING TURNS ON AT PRESET, DIMMED LEVELS DETERMINED BY LIGHTING DESIGNER AND APPROVED BY RH. EXTERIOR LIGHTING TURNS OFF.

SCENE 2: RETAIL NIGHT ACTIVATES 15 MINUTES BEFORE SUNSET. 15 SECOND FADE TIME. EXTERIOR LIGHTING TURNS ON AT PRESET, DIMMED LEVELS DETERMINED BY LIGHTING DESIGNER AND APPROVED BY RH.

SCENE 3: OVERNIGHT ACTIVATES AT 11PM. MOST INTERIOR LIGHTING TURNS OFF. LIGHTING DESIGNER TO DETERMINE OVERNIGHT SETTING ON SITE AHEAD OF GALLERY OPENING.

SCENE 4: EVENT ACTIVATES ON-DEMAND DURING OPENING EVENT. LIGHTING DESIGNER WILL DETERMINE CUSTOM SETTING APPROVED BY RH.

NOTES FOR ZONING AND LIGHTING CONTROLS:

- ALL BUILDING LIGHTING TO BE DIMMABLE, INCLUDING ARCHITECTURAL AND DECORATIVE (MERCHANDISE) LIGHTING.
- ONE ZONE PER "F" TYPE, PER INSTALLATION LOCATION OR CONDITION (UNLESS OTHERWISE NOTED ON DRAWINGS).

| LIGHTING LEGEND | | | |
|-----------------|--------|---------------------------------------|-------------------------------|
| TYPE | SYMBOL | DESCRIPTION | LOCATION |
| F1 | — | SURFACE MOUNTED SINGLE CIRCUIT TRACK | RETAIL, THROUGHOUT |
| F2 | ▷ | ADJUSTABLE TRACK HEAD | RETAIL, THROUGHOUT |
| F4 | ■ | 3" SQUARE RECESSED DOWNLIGHT | RESTROOMS, PASSAGES |
| F14 | ○ | WEIGHTED BASE UNDERWATER ACCENT LIGHT | CAFE CENTRAL FOUNTAIN |
| FX1 | ▷ | JAMB MOUNTED ACCENT LIGHT | FACADE, DOOR AND WINDOW JAMBS |
| FX2 | — | SURFACE MOUNTED LINEAR LED UPLIGHT | FACADE AWNINGS |
| FX2A | — | SURFACE MOUNTED LINEAR LED UPLIGHT | FACADE, CORNICE |
| FX5 | ■ | WALL MOUNTED FACADE WASH LIGHT | FACADE |
| FX7 | ◊ | STAKE MOUNTED TREE UPLIGHT | CAFE TREES |
| FX8 | ○ | GRADE RECESSED UPLIGHT | MAIN ENTRY DOOR JAMBS |

PROJECT:

RH LOS GATOS

35 UNIVERSITY BLVD,
LOS GATOS, CA 95030

DRAWING TITLE:

EXTERIOR
LIGHTING
ELEVATIONS

SHEET:

LT-2.0

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