

GENERAL PROJECT NOTES/REQUIREMENTS

1. **GOVERNING CODES:** ALL WORK SHALL CONFORM TO THE FOLLOWING CODES AND STANDARDS:

A) 2019 CALIFORNIA BUILDING CODE (CBC) TITLE 24, PART 2 (BASED ON 2018 IBC)
B) 2019 CALIFORNIA RESIDENTIAL CODE (CRC) TITLE 24, PART 2.5 (BASED ON 2018 IRC)
C) 2019 CALIFORNIA ELECTRIC CODE (CEC) TITLE 24, PART 3 (BASED ON 2011 NEC)
D) 2019 CALIFORNIA MECHANICAL CODE (CMC) TITLE 24, PART 4 (BASED ON 2018 UMC)
E) 2019 CALIFORNIA PLUMBING CODE (CPC) TITLE 24, PART 5 (BASED ON 2018 UPC)
F) 2019 CALIFORNIA ENERGY CODE TITLE 24, PART 6
G) 2019 CALIFORNIA FIRE CODE (CFC) TITLE 24, PART 9 (BASED ON 2018 IFC)
H) 2019 CALGREEN BUILDING CODE TITLE 24, PART 11

IN ADDITION TO THE CODES REFERENCED ABOVE, ALL WORK SHALL CONFORM TO ALL LOCAL ORDINANCES AND REGULATIONS WHICH APPLY TO THE WORK AND SHALL IN ANY CASE CONFORM TO THE LATEST EDITION(S) OF THE CRC/IRC/CBC/EC (CA RESIDENTIAL CODE/ INTERNATIONAL RESIDENTIAL CODE & CALIFORNIA BUILDING CODE/INTERNATIONAL BUILDING CODE) CURRENTLY ENFORCED AND ALL CITY, COUNTY AND/OR STATE CODES AS APPLICABLE.

3. BRITT ROWE SHALL NOT BE HELD RESPONSIBLE FOR THE DESIGN, COORDINATION AND/OR IMPLEMENTATION OF ANY AND ALL "DESIGN-BUILD" WORK, INCLUDING BUT NOT LIMITED TO THE FOLLOWING SEE THE APPROPRIATE CODE REFERENCES BELOW FOR DESIGN AND INSTALLATION REQUIREMENTS.

A) ELECTRICAL: PER CEC (CALIFORNIA ELECTRIC CODE) CURRENT EDITION.
B) MECHANICAL: PER CMC (CALIFORNIA MECHANICAL CODE) CURRENT EDITION.
C) PLUMBING: PER CPC (CALIFORNIA PLUMBING CODE) CURRENT EDITION.
D) FIRE SPRINKLERS: CFC (CALIFORNIA FIRE CODE)

VERIFY AND ADDRESS ALL ADDITIONAL LOCAL ORDINANCES AND CODES WHICH MAY APPLY TO THE SPECIFIC "DESIGN-BUILD" APPLICATION AS REQUIRED.

4. BRITT ROWE IS NOT RESPONSIBLE FOR THE DESIGN, COORDINATION, OR IMPLEMENTATION OF ANY WORK PERFORMED BY CONSULTANTS, INCLUDING BUT NOT LIMITED TO, STRUCTURAL ENGINEERING, SOIL ENGINEERING, CIVIL ENGINEERING, LAND SURVEYING, ELECTRICAL ENGINEERING, LANDSCAPE ARCHITECTURE AND/OR TITLE 24 ENERGY COMPLIANCE.

5. IN ADDITION TO INSPECTIONS REQUIRED BY CBC 110, THE OWNER, CONTRACTOR AND/OR STRUCTURAL ENGINEER OF RECORD, ACTING AS THE OWNER'S AGENT, SHALL EMPLOY ONE OR MORE SPECIAL INSPECTORS OR JURISDICTION APPROVED TESTING AGENCIES, WHO SHALL PROVIDE "SPECIAL INSPECTIONS" DURING THE COURSE OF CONSTRUCTION FOR THE FOLLOWING TYPES OF WORK PER CBC 110.4, 110.1 OR 110.8 INCLUDING BUT NOT LIMITED TO:

A) CONCRETE: WHERE THE STRUCTURAL DESIGN EXCEEDS A (F'C) OF 2500 PSI
B) ON SITE STRUCTURAL WELDING, INCLUDING WELDING OF REINFORCING STEEL
C) DRILLED PIERS, CAISSONS AND STRUCTURAL MASONRY
D) RETROFIT EPOXY SET HOLD DOUGS AND/OR ANCHOR BOLTS.

SPECIAL INSPECTOR'S APPROVALS/CREDENTIALS SHALL BE PROVIDED TO THE LOCAL JURISDICTION UPON REQUEST.

6. ALL GENERAL CONTRACTORS AND/OR SUBCONTRACTORS SHALL BE LICENSED WITH POSSESSION OF THE APPROPRIATE INSURANCE POLICIES IE: WORKMAN'S COMPENSATION, LIABILITY, ETC., AND A VALID BUSINESS LICENSE WITHIN THE JURISDICTION OF THE SUBJECT PROPERTY PROJECT SITE.

7. BRITT ROWE IS NOT RESPONSIBLE FOR THE ERECTION, FABRICATION AND/OR RELATIVE JOB SAFETY. THE GENERAL CONTRACTOR AND/OR SUBCONTRACTORS SHALL COMPLY WITH ALL REQUIRED SAFETY ORDERS PER CAL-OSHA REQUIREMENTS AND REGULATIONS.

8. THE GENERAL CONTRACTOR AND/OR SUBCONTRACTORS ARE TO VERIFY, ALL EXISTING CONDITIONS AND/OR DISCREPANCIES BEFORE COMMENCING WITH WORK IN ORDER TO ENSURE CONFORMANCE WITH THE "CONSTRUCTION DOCUMENTS". ALL DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF BRITT ROWE AND/OR THE STRUCTURAL ENGINEER OF RECORD PRIOR TO COMMENCEMENT OF CONSTRUCTION. ALL REQUESTS FOR "CHANGE ORDERS" SHALL BE SUBMITTED IN WRITING TO BRITT ROWE FOR APPROVAL.

9. REGARDLESS OF DIMENSIONS SHOWN, ALL NEW WORK SHALL ALIGN EXACTLY WITH EXISTING WORK WITH RESPECT TO FLOOR ELEVATIONS, COLUMN CENTERLINES, WALL FACES, ETC., (UNO)

10. LAYOUT FOR NEW WORK IS LARGELY BASED UPON RELATIONSHIPS TO EXISTING CONDITIONS OF THE SITE AND/OR EXISTING STRUCTURES. ANY QUESTIONS REGARDING THE INTENT RELATED TO THE LAYOUT OF THE NEW WORK SHALL BE BROUGHT TO THE ATTENTION OF BRITT ROWE, PRIOR TO THE COMMENCEMENT OF ANY WORK. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY BRITT ROWE OF ALL DISCREPANCIES PRIOR TO THE COMMENCEMENT OF ANY WORK.

11. PREFERENCE SHALL BE GIVEN TO WRITTEN/FIGURED DIMENSIONS ON THE DRAWINGS OVER SCALED MEASUREMENTS. THE "PLANS, SPECIFICATIONS AND GENERAL NOTES" ARE INTENDED TO AGREE AND SUPPLEMENT ONE ANOTHER. ANYTHING INDICATED IN ONE AND NOT THE OTHER, SHALL BE EXECUTED AS IF IN ALL IN CASES OF DIRECT CONFLICT, THE MOST RESTRICTIVE SHALL GOVERN.

12. ALL WORK SHALL BE PLUMB, SQUARE AND TRUE AND SHALL BE OF GOOD "WORKMANLIKE" QUALITY AS ACCEPTABLE TO THE APPROPRIATE TRADE'S STANDARD PRACTICES AND THOSE OF THE TRADE'S COUNCILS AND/OR ORGANIZATIONS.

13. ANY WORK AND/OR ITEM NOT SPECIFICALLY CALLED FOR IN THE DRAWINGS, BUT REQUIRED FOR A COMPLETE AND FULLY FUNCTIONING INSTALLATION CONSISTENT WITH THE INTENT OF THE "CONSTRUCTION DOCUMENTS" SHALL BE SUPPLIED BY THE GENERAL CONTRACTOR AND/OR SUBCONTRACTORS AS REQUIRED.

14. THE INTENT OF THE "CONSTRUCTION DOCUMENTS" IS TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT AND TRANSPORTATION NECESSARY FOR THE COMPLETE AND PROPER EXECUTION OF THE WORK.

15. THE PROJECT "SPECIFICATION BOOK" SHALL TAKE PRECEDENCE OVER NOTED SPECIFICATIONS WHEN APPLICABLE.

16. CIVIL, SOIL AND STRUCTURAL ENGINEERING SPECIFICATIONS SHALL TAKE PRECEDENCE OVER ANY OTHER SPECIFICATIONS.

17. BRITT ROWE RETAINS ALL RIGHTS AND OWNERSHIP TO ALL DRAWINGS AND SPECIFICATIONS. THESE DOCUMENTS MAY NOT BE USED IN WHOLE, OR IN PART, WITHOUT THE EXPRESSED WRITTEN CONSENT FROM BRITT ROWE.

18. THE OWNER/DEVELOPER/CLIENT RESERVES THE RIGHT TO MAKE ALTERATIONS TO THE DESIGN DURING THE COURSE OF CONSTRUCTION. ALL CHANGES SHALL BE APPROVED BY THE LOCAL BUILDING OFFICIAL AND SHALL, IN ANY CASE, COMPLY WITH THE CURRENT EDITIONS OF THE CRC, CBC, CMC, CPC, CFC, CEC AND/OR CES AS REQUIRED.

19. NEW CONSTRUCTION OR REMODELING IS LARGELY DEPENDENT UPON EXISTING SITE CONDITIONS AND THEREFORE A "SITE SURVEY" IS RECOMMENDED AND IF PROVIDED, SHALL BE GENERATED BY A LICENSED LAND SURVEYOR OR REGISTERED CIVIL ENGINEER AND SHALL CONTAIN THE FOLLOWING INFORMATION: PROPERTY CORNERS, PROPERTY LINES, EXISTING BUILDING(S), EASEMENTS, TOPOGRAPHY LINES, UTILITIES AND/OR SIGNIFICANT TREES. IF A SITE SURVEY IS NOT PROVIDED, BRITT ROWE WILL NOT BE HELD RESPONSIBLE FOR ANY AND ALL DISCREPANCIES RELATING TO THE SITE AND EXISTING CONDITIONS. IN ANY EVENT, BRITT ROWE SHALL NOT BE RESPONSIBLE FOR WORK PERFORMED BY OTHERS AND PROVIDED FOR THE PURPOSE OF COMPLETING THE PROJECT.

20. ALL "DEFERRED SUBMITTALS" SHALL FIRST BE SUBMITTED TO THE REGISTERED DESIGN PROFESSIONAL WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH NOTATION INDICATING THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND HAVE BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE APPLICABLE BUILDING OFFICIAL.

GENERAL PROJECT INFORMATION

OWNER:

RISHI AND ASHI KULKARNI
124 GARDEN HILL DRIVE
LOS GATOS, CA 95032
81.RISHI@GMAIL.COM

PROJECT ADDRESS:

124 GARDEN HILL DRIVE
LOS GATOS, CA 95032

APN:
424-23-084
LOT SIZE:
8,916 SF (21 ACRES)
LOT SLOPE:
FLAT
ZONING:
R-1B
TRACT:
1520 (LOT X)
OCCUPANCY GROUP:
R3/U
TYPE OF CONSTRUCTION:
V-B

FLOOR AREAS		
(E) LIVING AREA	1,214 SF	
(E) GARAGE	451 SF (2-CAR COV.)	ALLOWABLE = 798 SF FAR: (0.0889)
(N) LIVING AREA ADDITION	969 SF	
(N) COVERED PORCH	16 SF	@ FRONT ENTRY
(N) TOTAL LIVING AREA	2,183 SF	ALLOWABLE = 2,056 SF FAR: (0.318)

SETBACKS	PROVIDED	REQUIRED
FRONT (PER PLANNING)	(E) 20'-3"	25'-0"
REAR (PER PLANNING)	20'-6" @ ADDITION	20'-0"
LEFT SIDE (PER PLANNING)	(E) 1'-4"	8'-0"
RIGHT SIDE (PER PLANNING)	(E) 1'-11"	8'-0"

NOTE: CORNER LOT: LOT ORIENTATION IS DETERMINED BY LOT GEOMETRY AND NOT BY ADDRESS.

COVERAGES	PROPOSED	
BUILDING @ GRADE	3464 SF	DWELLING, GARAGE, PORCHES, PATIOS

BUILDING HEIGHT	PROPOSED	ALLOWED
MAX. RIDGE	(N) 18'-11"	30'-0"

SCOPE OF WORK:

NEW MASTER BEDROOM AND BATH ADDITION TO THE REAR OF AN EXISTING SINGLE STORY, SINGLE FAMILY RESIDENCE. SEE PLANS. ATTIC HEIGHT IS LESS THAN 1'-0"H. REMODELED AREA = 1214 SF.

SPECIAL NOTES

SCHEDULE FINAL INSPECTIONS PLEASE CONTACT THE FOLLOWING DEPARTMENTS SEVEN (7) DAYS IN ADVANCE OF FINAL BUILDING INSPECTION:

- ☒ PLANNING DIVISION: (408) 354-6874
☒ ENGINEERING/PUBLIC WORKS: (408) 399-5771
☐ SANTA CLARA COUNTY FIRE DISTRICT: (408) 378-4010
☒ WEST VALLEY SANITATION DISTRICT: (408) 378-2407
☐ SANTA CLARA CO. ENVIR. HEALTH: (408) 918-3400

DEMOLITION WORK
Prior to the removal of any Interior OR exterior wall coverings please read and review the Town's demolition policy attached!

PLAN REVIEW ACCEPTANCE

FOR COMPLIANCE WITH THE APPLICABLE 2019 CALIFORNIA BUILDING, RESIDENTIAL, PLUMBING, MECHANICAL, ELECTRICAL, ENERGY AND GREEN BUILDING CODES AS AMENDED BY THE JURISDICTION:

DOES NOT AUTHORIZE CONSTRUCTION TO PROCEED IN VIOLATION OF ANY FEDERAL, STATE OR LOCAL REGULATION.

BY: Chris DATE: 12-16-20

Chris Strand

REVISIONS:	#
10/29/20	R1
12/13/20	R2

BRITT • ROWE

108 N. Santa Cruz Ave.
Los Gatos, CA 95030

408.354.6224 (office)
408.354.6514 (fax)
www.britt-rowe.com

Britt Rowe shall retain all rights and ownership to all drawings and specifications. The contents of the drawings may not be used in whole, or in part, without expressed written consent given by Britt Rowe. All construction shall comply with all local & national building codes. All contractors shall verify all conditions to assure conformance to these codes.

KULKARNI
RESIDENCE
124 GARDEN HILL DRIVE
LOS GATOS, CA 95032

SHEET INDEXX - NOTES

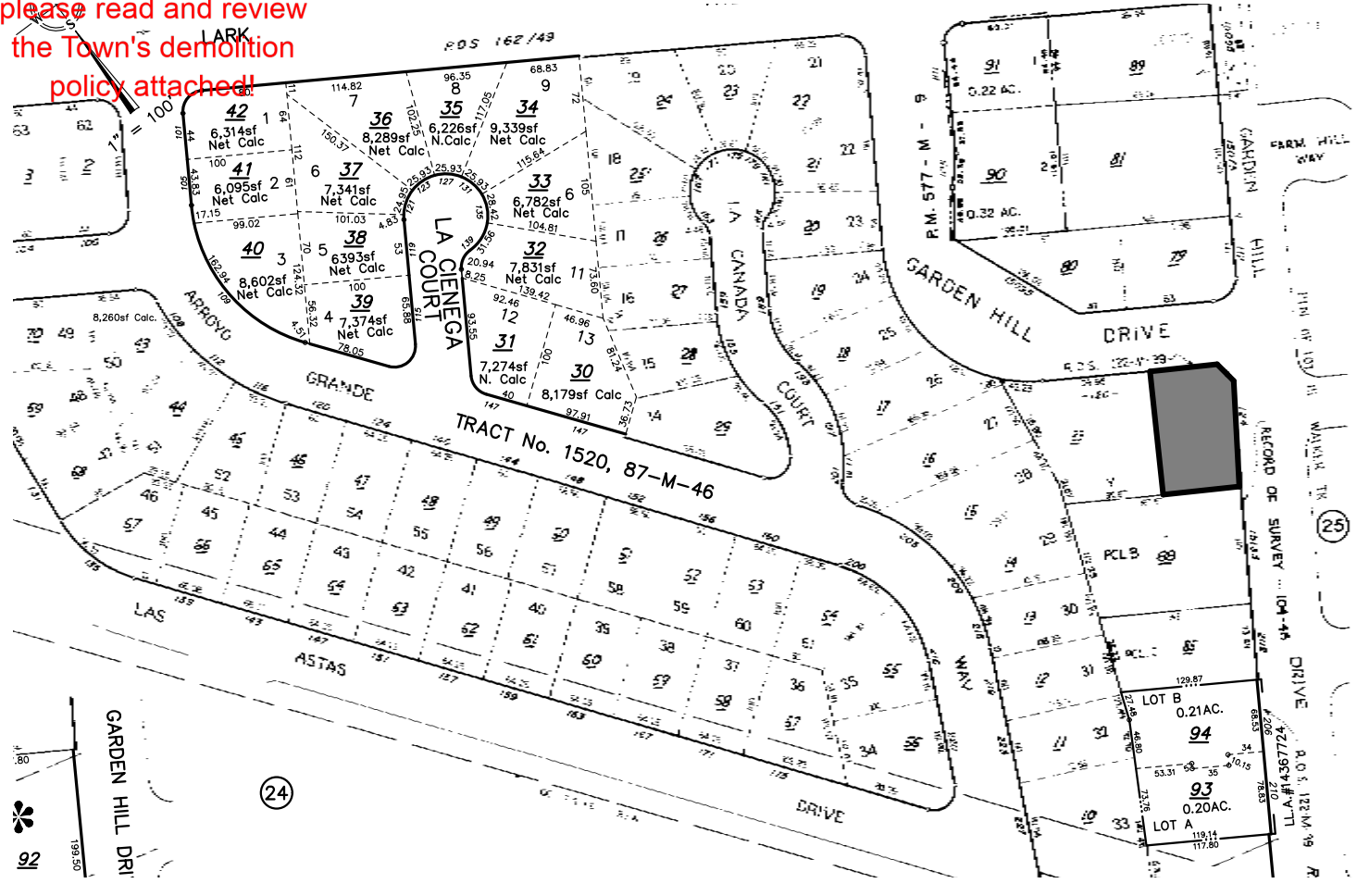
SHT. ID	DRAWING TITLE
A0.1	TITLE SHEET AND GENERAL PROJECT INFO
A0.2	CALGREEN NOTES
MISC.	"BLUEPRINT FOR A CLEAN BAY"
A1.1	SITE PLAN - NOTES
A1.2	CONSTRUCTION MANAGEMENT PLAN
A2.1	EXISTING FLOOR PLAN - DEMOLITION
A2.2	EXISTING EXTERIOR WALL RETENTION PLAN
A2.3	EXISTING EXTERIOR ELEVATIONS
A3.1	PROPOSED FLOOR PLAN
A4.1	ROOF PLAN/NOTES/DETAILS
A5.1	EXTERIOR ELEVATIONS
A5.2	EXTERIOR ELEVATIONS
A6.1	BUILDING CROSS SECTIONS
D.1	WALL FRAMING DETAILS
DW.1	DOOR/WINDOW SCHEDULES/NOTES
E.1	PROPOSED ELECTRICAL PLAN
EN.1	CA ELECTRICAL CODE NOTES - ELECT. LEGEND
EN.2	CA ELECTRICAL CODE NOTES
EN.3	CA ENERGY COMMISSION NOTES
EN.4	CA ENERGY COMMISSION NOTES
F.1	SCC FIRE DEPARTMENT JOB SITE SAFETY
GN.1	CA BUILDING CODE NOTES
GN.2	CA BUILDING CODE NOTES
GN.3	CA BUILDING CODE NOTES
M.1	CA MECHANICAL NOTES
P.1	CA PLUMBING CODE NOTES
S.1	FOUNDATION PLAN - NOTES

SHT. ID	DRAWING TITLE
S.3	ROOF FRAMING PLAN
SD.1	STRUCTURAL DETAILS
SD.2	STRUCTURAL DETAILS
SD.3	STRUCTURAL DETAILS
SD.4	STRUCTURAL DETAILS
SD.5	STRUCTURAL DETAILS
SD.6	STRUCTURAL DETAILS
SD.7	STRUCTURAL DETAILS
SN.1	STRUCTURAL NOTES
SN.2	STRUCTURAL NOTES
T24-1	TITLE 24 ENERGY CALCULATIONS
T24-2	TITLE 24 ENERGY CALCULATIONS

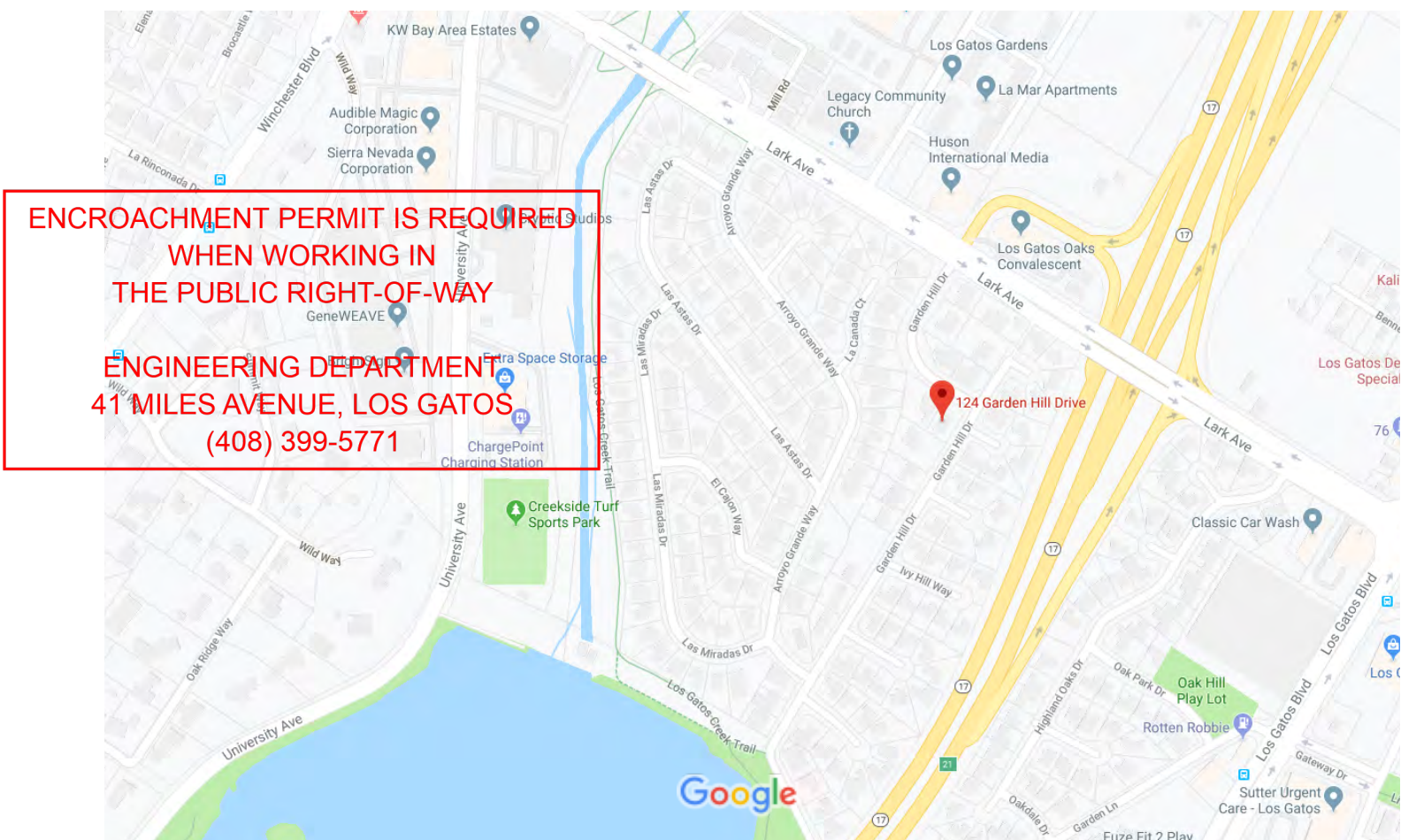
PARCEL MAP

DEMOLITION WORK

Prior to the removal of any Interior OR exterior wall coverings please read and review the Town's demolition policy attached!



VICINITY MAP



PROJECT CONSULTANTS

BUILDING DESIGNER
BRITT • ROWE
108 N. SANTA CRUZ AVENUE
LOS GATOS, CA 95030
(408) 354.6224 (OFFICE)
(408) 656-4132 (MIKE CELL)
(408) 656-1983 (TOMY CELL)
(415) 535-3458 (DAVID CELL)
FELONGIT@GMAIL.COM

STRUCTURAL ENGINEER
CHARLES WILLIAMS R.C.E.
MR. CHARLES WILLIAMS P.E.
PO BOX 1152
MOUNTAIN VIEW, CA 94042
(650) 219-8156
CLWRC@AOL.COM

T24 ENERGY ANALYST
FRI ENERGY CONSULTANTS, INC.
MR. NICHOLAS BIGNARDI
21 N. HARRISON AVENUE, SUITE 210
CAMPBELL, CA 95008
(408) 866-1620
NICK@FRICONSULTING.COM

JURISDICTION APPROVAL STAMP(S)

Town of Los Gatos
BUILDING DIVISION
PLAN APPROVED

BY: Chris Strand DATE: 12-16-20

Plan check approval of documents does not authorize construction to proceed in violation of any federal, state, nor local regulations.

COMMUNITY DEVELOPMENT
PLANNING DIVISION
APPROVED

11/18/2020
MChevarin

- This project will require a pad certificate prepared by a licensed civil engineer or land surveyor to be submitted to the project Building Inspector at foundation inspection. Horizontal and vertical controls shall be set and certified by a licensed surveyor or registered Civil Engineer for the following items:
- ☒ Building Pad Elevation
☒ Finish Floor Elevation
☒ Foundation corner locations
☐ Retaining wall(s) locations and elevations

PROJECT INFO	12/16/20	NOTED	M.A.R.
DRAWING:	PRINTED:	SCALE:	DRAWN BY:

Professional Stamp

AO.1

REVISIONS:	#
10/29/20	RI

BR

BRITT + ROWE

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KULKARNI

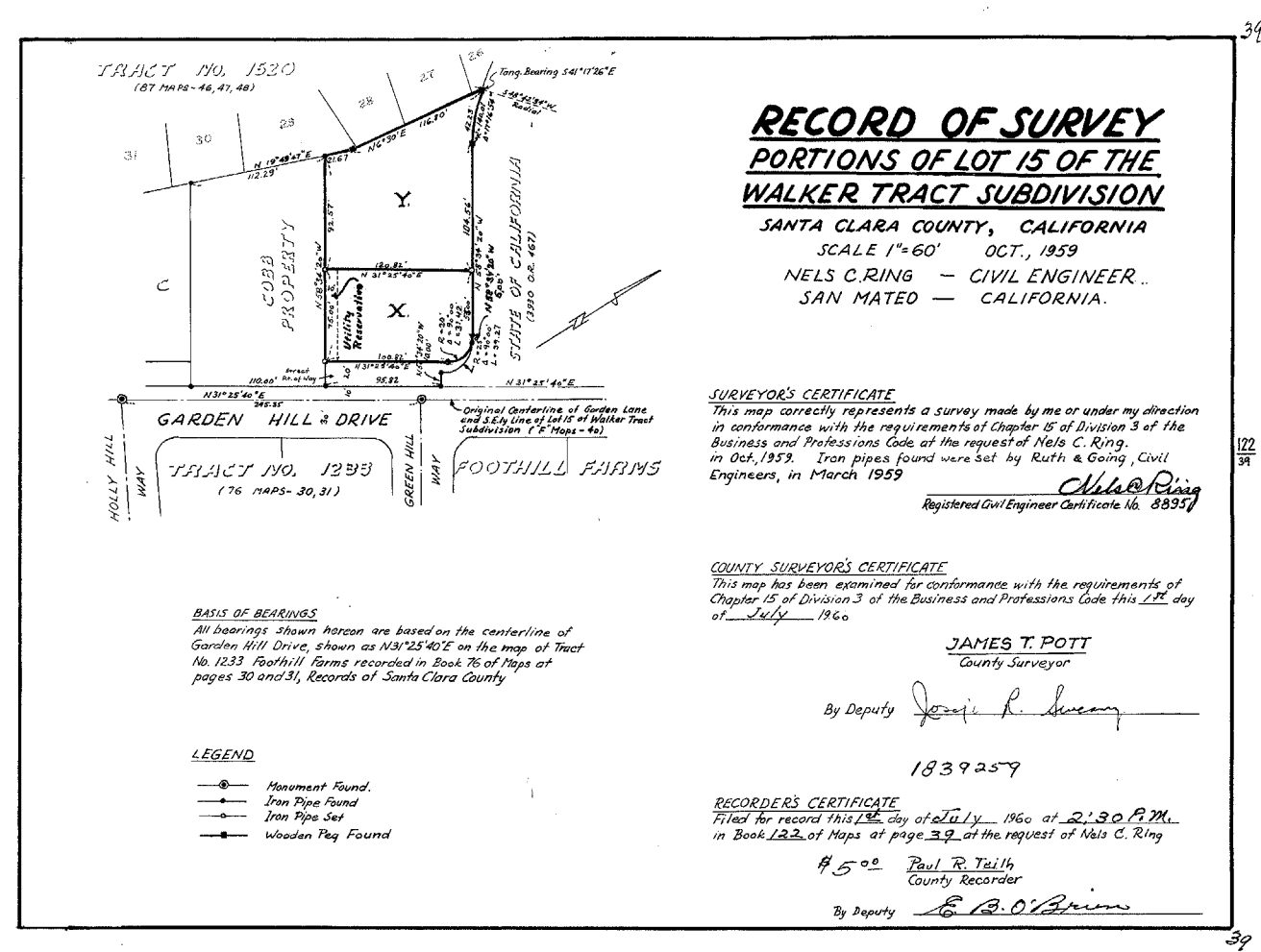
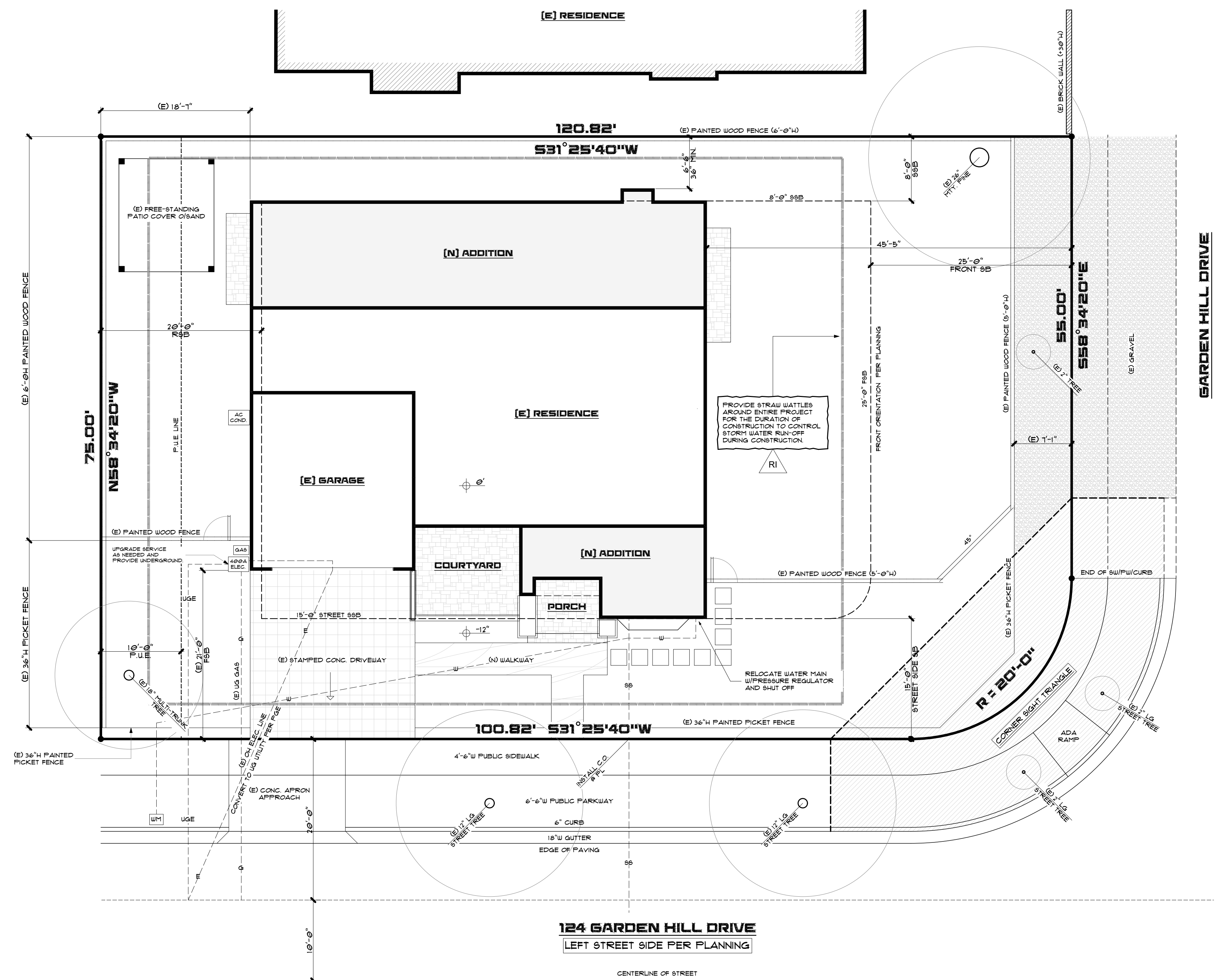
RESIDENCE

124 GARDEN HILL DRIVE
LOS GATOS, CA 95032

SITE PLAN			
DRAWING:	11/11/20	NOTED	M.A.R. <i>MR.</i>
PRINTED:			
SCALE:			
DRAWN BY:			

Professional Stamp

A1.1



SITE PLAN NOTES:

- SEE CIVIL ENGINEER'S "GRADING AND DRAINAGE PLAN(S)" AS APPLICABLE AND/OR REQUIRED FOR TOPOGRAPHY, SITE WORK AND UNDERGROUND CONSTRUCTION (TYP.) ALL GRADING SHALL BE PERFORMED IN ACCORDANCE WITH ALL LOCAL CODES AND REQUIREMENTS. CIVIL ENGINEER'S PLANS SHALL TAKE PRECEDENCE OVER ANY ARCHITECTURAL SITE PLAN(S) AND/OR LANDSCAPE PLAN(S).
- WHEN REQUIRED AND AS APPLICABLE, A LICENSED CIVIL ENGINEER OR LICENSED LAND SURVEYOR SHALL PROVIDE WRITTEN CERTIFICATION OF SETBACK COMPLIANCE FROM PROPERTY LINES AND ALL RELATIVE FAD ELEVATIONS FOR ALL NEW CONSTRUCTION ON THE SITE.
- UNLESS NOTED OTHERWISE ON CIVIL ENGINEERING PLANS (GRADING AND DRAINAGE), THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF 5% FOR A MINIMUM DISTANCE OF 10'-0" MEASURED PERPENDICULAR TO THE FACE OF THE WALL. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10'-0" OF HORIZONTAL DISTANCE, A 5% SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. DRAINAGE SWALE USED FOR THIS PURPOSE SHALL BE SLOPED 2% WHERE LOCATED WITHIN 10'-0" OF THE BUILDING FOUNDATION. IMPERVIOUS SURFACES WITHIN 10'-0" OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2% AWAY FROM THE BUILDING. CBC1804.4. SEE EXCEPTION FOR ALLOWABLE FINISH GRADE SLOPE REDUCTION TO 2% AWAY FROM STRUCTURE.
- WHEN EXISTING SEWER LATERALS ARE APPROVED FOR REUSE, EXISTING LINES SHALL BE TELEVIEWED AND APPROVED BY THE LOCAL SANITATION DISTRICT PRIOR TO FINAL INSPECTION. PROVIDE A NEW CLEAN OUT LOCATED @ THE PROPERTY LINE WITH AN APPROVED BACK FLOW PREVENTION DEVICE APPROVED BY THE SANITATION DEPARTMENT (AS APPLICABLE).
- IN NEW CONSTRUCTION, ALL UTILITIES SHALL BE INSTALLED UNDERGROUND (UNO). SEE THE UTILITY PROVIDER'S PLANS AND SPECIFICATIONS FOR LAYOUT, DETAILS AND SERVICE(S) TO BE PROVIDED. VERIFY JURISDICTION FOR SPECIAL MUNICIPAL REQUIREMENTS.
- ALL TREES MARKED ON THE "SITE PLAN" NOT SCHEDULED FOR REMOVAL SHALL BE PROTECTED BY THE APPROPRIATE TREE PROTECTION MEASURES IDENTIFIED BY THE CONSULTING ARBORIST OF RECORD OR LOCAL PLANNING JURISDICTION AS APPLICABLE AND REQUIRED AS A CONDITION OF APPROVAL. NO EQUIPMENT, MATERIALS OR WORK SHALL COMMENCE UNTIL ALL TREE PROTECTION FENCING IS INSTALLED. TREE PROTECTION FENCING SHALL REMAIN IN PLACE UNTIL THE PROJECT IS READY FOR FINAL INSPECTION. ANY WORK REQUIRED WITHIN THE FENCED PROTECTED AREA SHALL BE PERFORMED WITH HAND TOOLS.
- AS APPLICABLE, SEE CONSULTING LANDSCAPE ARCHITECT'S DRAWINGS FOR FLATWORK, PAVING, RECREATIONAL FIXTURES, PROPOSED PLANTING AND IRRIGATION INSTALLATIONS.
- R3191 ADDRESS IDENTIFICATION. BUILDINGS SHALL BE PROVIDED WITH APPROVED ADDRESS IDENTIFICATION. THE ADDRESS IDENTIFICATION SHALL BE LEGIBLE AND PLACED IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. ADDRESS IDENTIFICATION CHARACTERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL NOT BE SPELLED OUT. EACH CHARACTER SHALL BE NOT LESS THAN 4 INCHES (102 MM) IN HEIGHT WITH A STROKE WIDTH OF NOT LESS THAN 0.5 INCH (12.7 MM) WHERE REQUIRED BY THE FIRE CODE OFFICIAL. ADDRESS IDENTIFICATION SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING ADDRESS CANNOT BE VIEWED FROM THE PUBLIC WAY. A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS IDENTIFICATION SHALL BE MAINTAINED.

SITE PLAN

124 GARDEN HILL DRIVE
APN: 424-23-084
LOT SIZE: 8,976 SF (.21 ACRES)
ZONING: R-1:8
TRACT: 1520 (LOT X)
WUI: NO

IMPERVIOUS COVERAGE CALCULATIONS			
LOT SIZE = 8,976 SF			
ITEM LOCATION	(E) IMPERVIOUS COVERAGE	(N) IMPERVIOUS COVERAGE	DIFFERENCE/TOTAL
(E) RESIDENCE	1,214 SF	-	1,214 SF
(N) ADDITION	-	969 SF	+ 969 SF
(E) DRIVEWAY	431 SF	-	431 SF
(N) FRONT WALK	-	128 SF	+ 128 SF
(N) COURTYARD	-	151 SF	+ 151 SF
(N) PORCH/PEDESTALS	-	66 SF	+ 66 SF
(N) DOOR LANDINGS	-	11 SF	+ 11 SF
TOTAL	1,645 SF (18.3%)	1,391 SF (15.4%)	3,036 SF (33.9%)

PLAN REVIEW APPROVAL

12-16-20

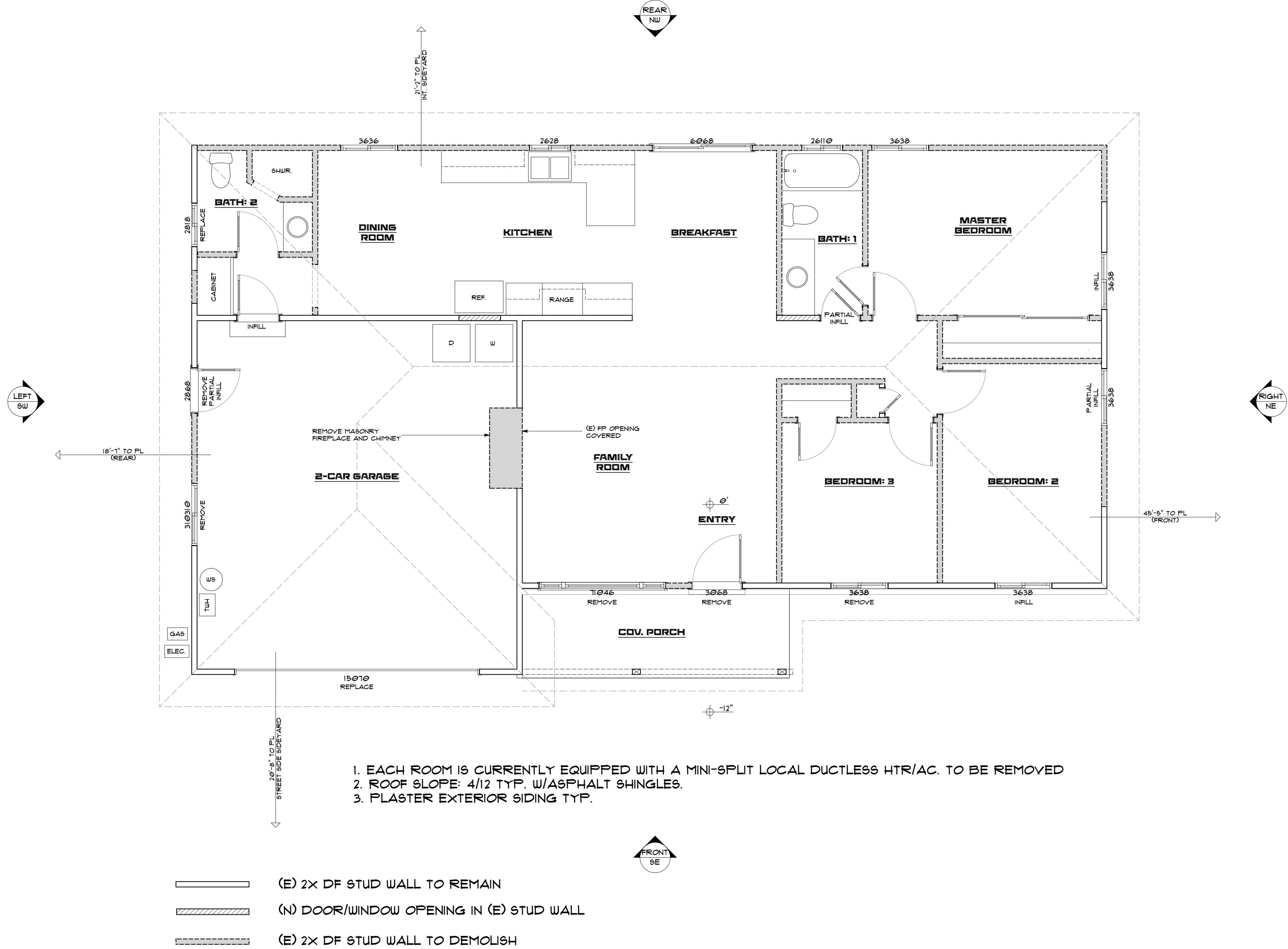
TOWN OF LOS GATOS
BUILDING DIVISION

Jurisdiction Stamps and/or Red Line Notes

<p>PLAN REVIEW APPROVAL</p> <p>12-16-20</p> <p>TOWN OF LOS GATOS BUILDING DIVISION</p>	<p>Professional Stamp</p>
<p>Jurisdiction Stamps and/or Red Line Notes</p>	<p>A1.2</p>

DEMOLITION NOTES: (AS APPLICABLE)

- SCOPE OF WORK TO BE REMOVED AND/OR DEMOLISHED SHALL BE INDICATED ON THE DRAWINGS AND SHALL INCLUDE THE DEMOLITION, REMOVAL AND/OR RELOCATION OF EXISTING MATERIALS AND/OR ASSEMBLIES NECESSARY TO INSTALL AND/OR CONSTRUCT THE PROJECT AS INDICATED ON THE PROPOSED FLOOR PLANS, ELEVATIONS AND OTHER PLANS CONTAINED WITHIN THE CONSTRUCTION DOCUMENT SET. ALL DEMOLITION SHALL COORDINATE WITH THE EXTENT OF THE PROPOSED CONSTRUCTION INDICATED ON THE APPROVED PLANS AND SHALL, IN ANY CASE, CONFORM TO ALL LOCAL AND STATE BUILDING CODES.
- THE GENERAL CONTRACTOR SHALL OBTAIN AN APPROVED "J-NUMBER" FROM THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT (BAAQMD) AS APPLICABLE PRIOR TO ANY DEMOLITION.
- THE GENERAL CONTRACTOR AND/OR SUBCONTRACTORS SHALL BE PROVIDED THE OPPORTUNITY TO VISIT THE PROJECT SITE TO BECOME FAMILIAR WITH THE SCOPE OF DEMOLITION REQUIRED.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION PERFORMED AND SHALL DESIGN, CONSTRUCT AND PROVIDE PROPER SHORING AND STRUCTURAL SUPPORT/BRACING AS REQUIRED THROUGHOUT THE DEMOLITION PROCESS AND PROJECT CONSTRUCTION AS REQUIRED PER CAL OSHA REQUIREMENTS.
- THE GENERAL CONTRACTOR SHALL PROVIDE PROTECTIVE, CONSTRUCTION FENCING AROUND THE PROJECT SITE AND WILL WORK WITHIN THE CONFINES OF THE SITE FENCING WHENEVER POSSIBLE. HOWEVER, DEPENDING UPON SITE AND STRUCTURE CONDITIONS, ALTERNATIVE METHODS OF DEMOLITION AND ALTERNATIVE TYPES OF EQUIPMENT MAY BE USED TO ENSURE THE SAFEST AND MOST EFFICIENT MEANS OF OPERATION. THIS MAY INVOLVE MODIFICATION OF THE SITE FENCING FROM TIME TO TIME IN ORDER TO COMPLETE THE DEMOLITION ACTIVITIES. COORDINATION WITH THE PROPERTY OWNER SHALL BE REQUIRED IN ADVANCE.
- ALL EXISTING PORTIONS OF THE PROJECT THAT ARE DESIGNATED TO REMAIN SHALL BE PROTECTED FROM DAMAGE. ANY QUESTION AS TO WHAT SHALL REMAIN SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/DESIGNER AND/OR PROPERTY OWNER PRIOR TO COMMENCEMENT OF THE WORK.
- IN ACCORDANCE WITH THE "CONSTRUCTION WASTE MANAGEMENT PLAN", ALL DEMOLITION DEBRIS THAT WILL NOT BE RECYCLED AND/OR SALVAGED FOR REUSE BY THE PROPERTY OWNER AND/OR GENERAL CONTRACTOR WILL BE LOADED INTO SEMI-END DUMPS AND HAULED TO A DISPOSAL FACILITY FOR FURTHER RECYCLING OR LANDFILL. THE "CONSTRUCTION WASTE MANAGEMENT PLAN" PROVIDES DETAILED INFORMATION ON PERCENTAGES OF MATERIAL TO BE RECYCLED OR DISPOSED AND THE DESIGNATED RECYCLING AND/OR DISPOSAL FACILITIES TO BE USED.
- DISCONNECT ALL ELECTRICAL PRIOR TO ANY DEMOLITION BY OTHER TRADES. DISCONNECT, CAP AND CLEARLY IDENTIFY GAS LINES AS REQUIRED PRIOR TO ANY DEMOLITION BY OTHER TRADES.
- DURING THE COURSE OF DEMOLITION, IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO USE WHATEVER METHODS REQUIRED TO LIMIT THE AMOUNT OF AIRBORNE DUST AND DIRT. FOLLOW ALL "BAY AREA AIR QUALITY MANAGEMENT DISTRICT" RECOMMENDATIONS AND REQUIREMENTS (AS APPLICABLE) FOR ALL ASPECTS OF THE DEMOLITION, INCLUDING, AS APPLICABLE, THE REMOVAL OF ASBESTOS AND/OR ANY OTHER HAZARDOUS MATERIALS LOCATED AT THE PROJECT SITE.
- THE GENERAL CONTRACTOR SHALL COORDINATE WITH THE PROPERTY OWNER OR THEIR AUTHORIZED REPRESENTATIVE, TO DETERMINE ALL EXISTING EQUIPMENT AND DEVICES TO BE RETAINED BY THE OWNER. THE GENERAL CONTRACTOR SHALL CAREFULLY REMOVE ALL EQUIPMENT AND DEVICES TO BE RETAINED, PRESERVE AND STORE THE EQUIPMENT IN A LOCATION DESIGNATED BY THE OWNER. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL, PRESERVATION, STORAGE, AND PROTECTION OF ALL EQUIPMENT AND DEVICES DESIGNATED TO BE REMOVED AND RE-INSTALLED.
- REMOVE AND REPLACE ALL DRY-ROTTED/TERMITE DAMAGED FRAMING MEMBERS AS REQUIRED AND PERMITTED. REMOVE (E) WALLS, WINDOWS AND DOORS AS INDICATED ON THE DEMOLITION PLAN. RECONSTRUCT, RELOCATE AND/OR REPLACE PER NEW FLOOR PLAN. REMOVE (E) BASEBOARDS, CROWN AND CASING WHERE WALLS, WINDOWS AND DOORS ARE TO BE REMOVED AND REPLACE PER NEW FINISH PLAN/SCHEDULE AS APPLICABLE.
- REMOVE/RELOCATE (E) ELECTRICAL FIXTURES, SWITCHES AND OUTLETS AS REQUIRED. UPGRADE MAIN PANEL AS REQUIRED TO SERVICE NEW ELECTRICAL LOADS. REMOVE (E) CIRCUITS TO SUB-PANEL OR MAIN PANEL OR TO NEAREST ACTIVE SWITCH OR JUNCTION BOX. SAFELY TIE AND CAP ALL TERMINATIONS AS REQUIRED.
- REMOVE (E) FLOOR COVERING IN ALL AREAS OF DEMOLITION AND REPLACE PER FINISH SCHEDULE OR PLAN. REMOVE ALL CABINETRY AS INDICATED ON PLANS AS APPLICABLE TO THE NEW LAYOUT.
- REMOVE ALL ROUGH PLUMBING, FIXTURES AND HARDWARE AS INDICATED ON PLANS AS APPLICABLE. CAP TERMINATIONS AS REQUIRED.
- IF UTILITY SERVICE IS TO BE INTERRUPTED, VERIFY AND CONFIRM W/OWNER REGARDING TIMING TO LIMIT INCONVENIENCE. PROVIDE TEMPORARY SERVICE AS REQUIRED AND PERMITTED BY LOCAL JURISDICTION.
- PROVIDE DUMPSTER AND HAUL AWAY DEBRIS AS REQUIRED TO MAINTAIN A CLEAN JOB SITE. ALL CONSTRUCTION INTERFERENCE WITH PUBLIC STREETS, CURBS, GUTTERS AND WALKWAYS SHALL BE APPROVED BY THE LOCAL JURISDICTION AND SHALL IN ANY CASE KEPT CLEANED AND FREE OF ANY DEBRIS THAT MAY INTERFERE WITH THEIR NORMAL FUNCTION.



- EACH ROOM IS CURRENTLY EQUIPPED WITH A MINI-SPLIT LOCAL DUCTLESS HTR/AC. TO BE REMOVED
- ROOF SLOPE: 4/12 TYP. W/ASPHALT SHINGLES.
- PLASTER EXTERIOR SIDING TYP.

(E) FLOOR PLAN: DEMO

(E) GARAGE AREA: 457 SF
(E) LIVING AREA: 1214 SF
(E) COVERED PORCH: 92 SF

PLAN REVIEW APPROVAL

12-16-20

TOWN OF LOS GATOS
BUILDING DIVISION

Jurisdiction Stamps and/or Red Line Notes

REVISIONS: #

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RESIDENCE**

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[E] FLOOR PLAN			
DRAWING:	11/11/20	NOTED	M.A.R. <i>MR.</i>
PRINTED:			
SCALE:			
DRAWN BY:			

Professional Stamp

A2.1

Dryer Cycles	Bulky / Bedding Cottons Delicates Mixed Loads Perm Press Quick Dry Sanitize Steam Dewrinkle Steam Refresh Timed Dry Towels Washer Link
Long Vent Capability	Up to 90 feet
Temperature Options	High/Medium/Low/Extra Low/No Heat
Control Type	Capacitive Touch Power On/Off Rotary-Electronic w/LEDs Start/Pause
Moisture Sensor	Sensor Dry
Style	Front-Loading
Dual Thermistors	Yes

GE Dryer: GFD85ESPNRS

A DURABLE PLACARD (MINIMUM SIZE OF 4.5") MUST BE PERMANENTLY AFFIXED ON A WALL NEAR AND VISIBLE FROM THE DRYER LOCATION. THE PLACARD SHALL STATE THE ACTUAL LENGTH OF THE INSTALLED DRYER EXHAUST VENT AND INCLUDE THE FOLLOWING LANGUAGE:

WARNING:

CHECK THE MANUFACTURER INSTALLATION INSTRUCTIONS FOR ANY DOMESTIC DRYER THAT WILL BE INSTALLED AT THIS LOCATION. THE INSTRUCTIONS SHOULD ALLOW THE DRYER TO BE CONNECTED TO AN EXHAUST DUCT (VENT) THAT IS A MAXIMUM _____ FEET LONG. DO NOT REMOVE THIS PLACARD.

Installation Instructions

EXHAUSTING THE DRYER (cont.)

• DO cut duct as short as possible and install straight into wall.

• DO use elbows when turns are necessary.

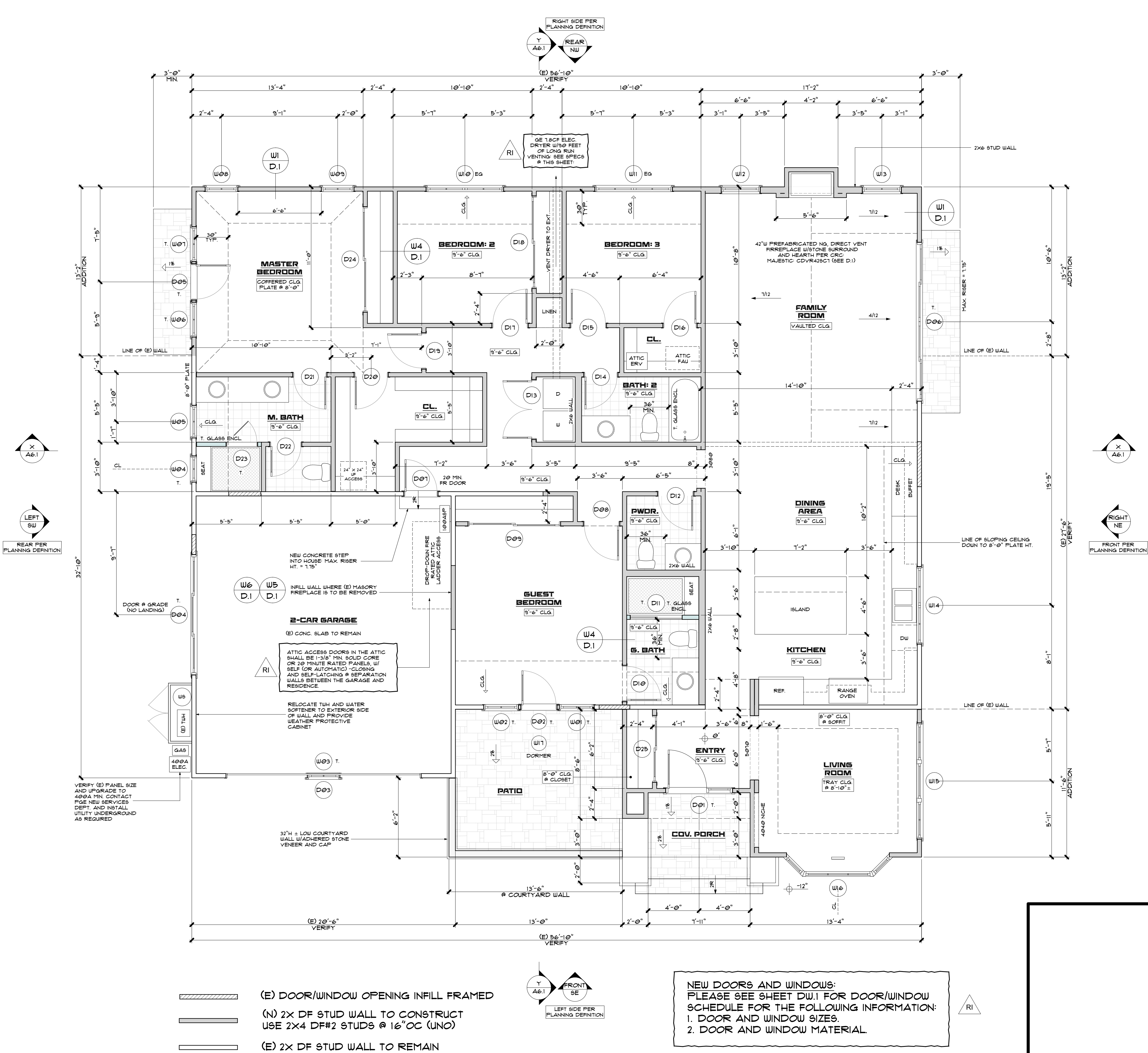
• DO NOT bend or collapse ducting. Use elbows if turns are necessary.

• DO NOT use excessive exhaust length. Cut duct as short as possible.

• DO NOT crush duct against the wall.

• DO NOT set dryer on duct.

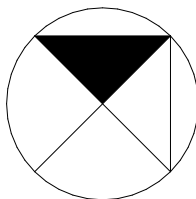
EXHAUST LENGTH (Using exhaust longer than specified length will: • Increase the drying times and the energy cost. • Reduce the dryer life. • Accumulate lint, creating a potential fire hazard. The correct exhaust installation is YOUR RESPONSIBILITY . Problems due to incorrect installation are not covered by the warranty. The MAXIMUM ALLOWABLE length of the exhaust system depends upon the type of duct, number of turns, the type of exhaust hood (wall cap) and all conditions noted on the chart.)	
EXHAUST LENGTH FOR NORMAL VENT MODELS	RECOMMENDED MAXIMUM LENGTH Schaeff Moist Types Recommended Use only for short run installations
No. of 90° Elbows	Rigid Metal Rigid Metal
0	80 Feet 80 Feet
1	60 Feet 45 Feet
2	45 Feet 30 Feet
3	30 Feet 25 Feet
4	25 Feet 15 Feet
EXHAUST LENGTH FOR LONG VENT MODELS	RECOMMENDED MAXIMUM LENGTH Schaeff Moist Types Recommended Use only for short run installations
No. of 90° Elbows	Rigid Metal Rigid Metal
0	200 Feet 175 Feet
1	185 Feet 165 Feet
2	175 Feet 155 Feet
3	165 Feet 145 Feet
4	155 Feet 135 Feet
5	145 Feet 125 Feet



[N] FLOOR PLAN

[E] GARAGE AREA: 457 SF
[E] LIVING AREA: 1214 SF
[N] ADDITION: 969 SF
[N] COVERED PORCH: 16 SF

1/4" = 1'-0"



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[N] FLOOR PLAN	11/11/20	NOTED	M.A.R. <i>MR.</i>
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AB.1

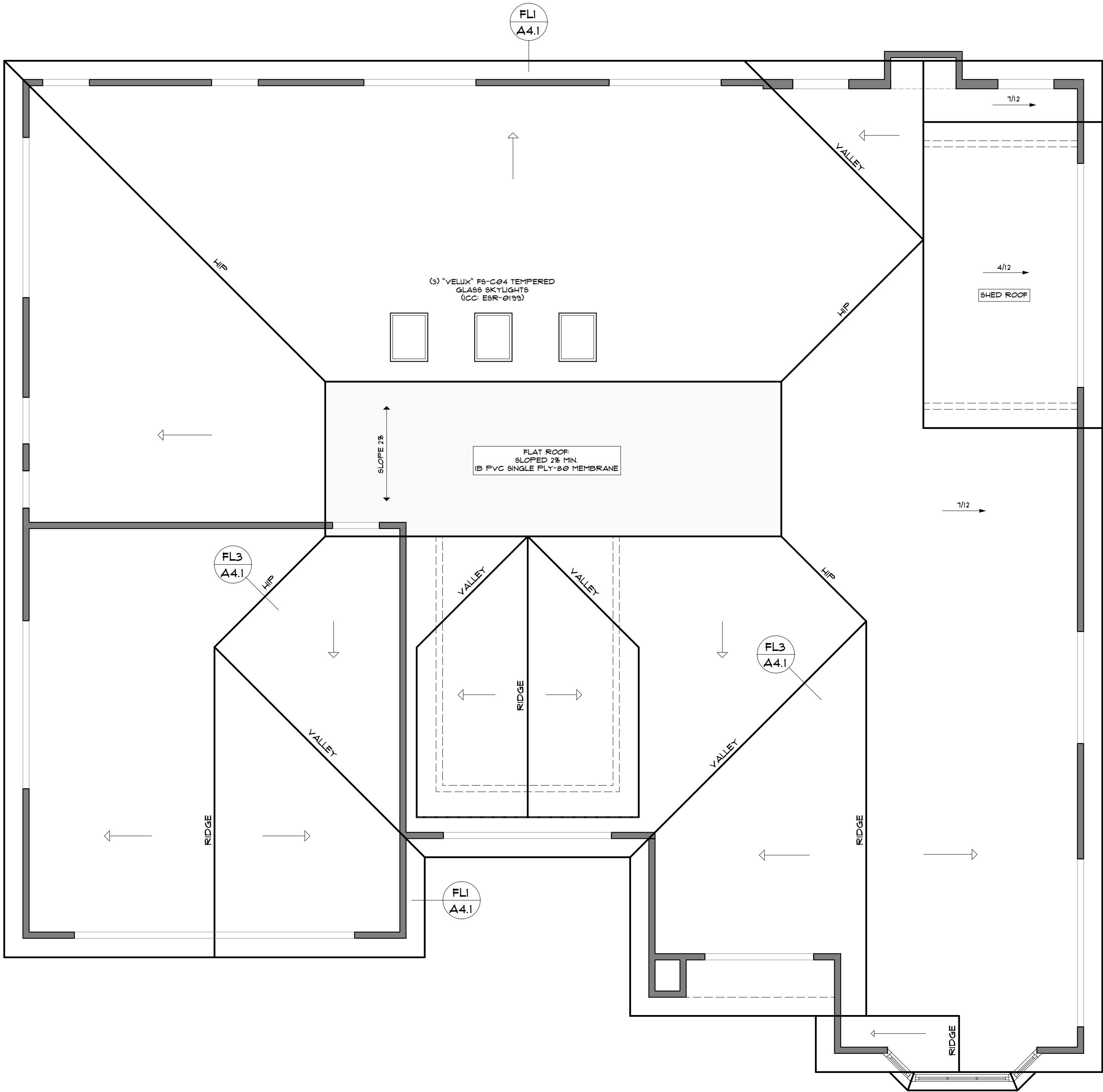
PLAN REVIEW APPROVAL

12-16-20

TOWN OF LOS GATOS
BUILDING DIVISION

ATTIC VENTILATION CALCS (CRC R806)		
	NEW ROOF AREA	
AREA OF ACCESSIBLE ROOF TO BE VENTILATED	2,336 SF	
LENGTH OF EAVE (LF) W/RR @ 16"OC	148'-11" LF	
LENGTH OF EAVE (LF) W/RR @ 24"OC		
NUMBER OF BLOCKS W/(3) 2" DIA. HOLES	NONE: ATTIC IS INSULATED W/CCSF INSULATION (ICC: ESR-3159)	
NUMBER OF BLOCKS W/(4) 2" DIA. HOLES		
VENTILATION PROVIDED BY EAVE BLOCKS	N/A	
ADDITIONAL VENTILATION PROVIDED BY ALTERNATIVE MEANS	N/A	
TOTAL VENTING REQUIRED	N/A	
TOTAL VENTING PROVIDED	N/A	
ROOF MATERIAL/FRAMING NOTES		
ROOF SLOPE	7/12 (TYP.)	
ROOFING MATERIAL	CLASS A, 40 YEAR ASPHALT ROOFING SHINGLES. COLOR SELECTED BY OWNER.	
OVERHANG	12" TYP. (UNC)	
SHEATHING	1/2" CDX PLYWOOD, NAILED W/10D @ 6"OC EDGE AND 10"OC FIELD. USE 19/32" OSB SHEATHING AS OPTION. PROVIDE RADIANT BARRIER PLYWOOD AS REQUIRED PER T24 CALCULATIONS.	
UNDERLAYMENT	30# ASPHALT ROOFING PAPER OR EQUAL. INSTALL PER MANUFACTURER'S SPECIFICATIONS.	
FLASHING	PROVIDE 26GA G.I. METAL FLASHING @ ALL VALLEYS, RIDGES, ROOF TO WALL INTERSECTIONS AND ROOF PENETRATIONS PER CBC SECTION 1503.2.	
1. RAFTERS SHALL BE PROVIDED WITH FULL DEPTH CLOSED CELL SPRAY FOAM INSULATION (ICC: ESR-3183) THROUGHOUT ATTIC. NO VENTING REQUIRED: SEE T24 AND CA ENERGY CODE FOR REQUIRED HERS INSPECTION AND VERIFICATION.		
2. PROVIDE ATTIC ACCESS PER CRC R801.1. MINIMUM ACCESS OPENING SHALL BE 22" X 30".		

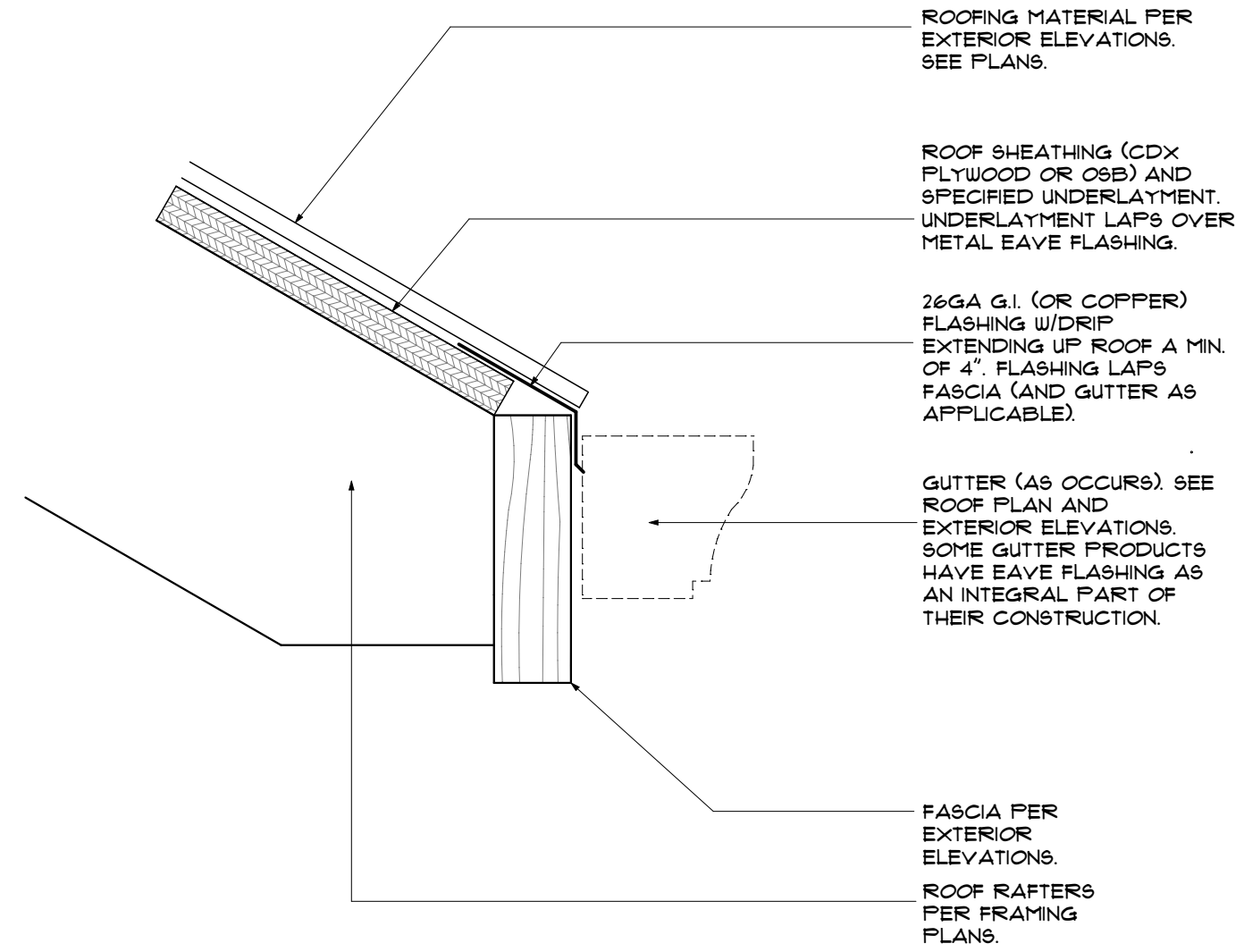
RI



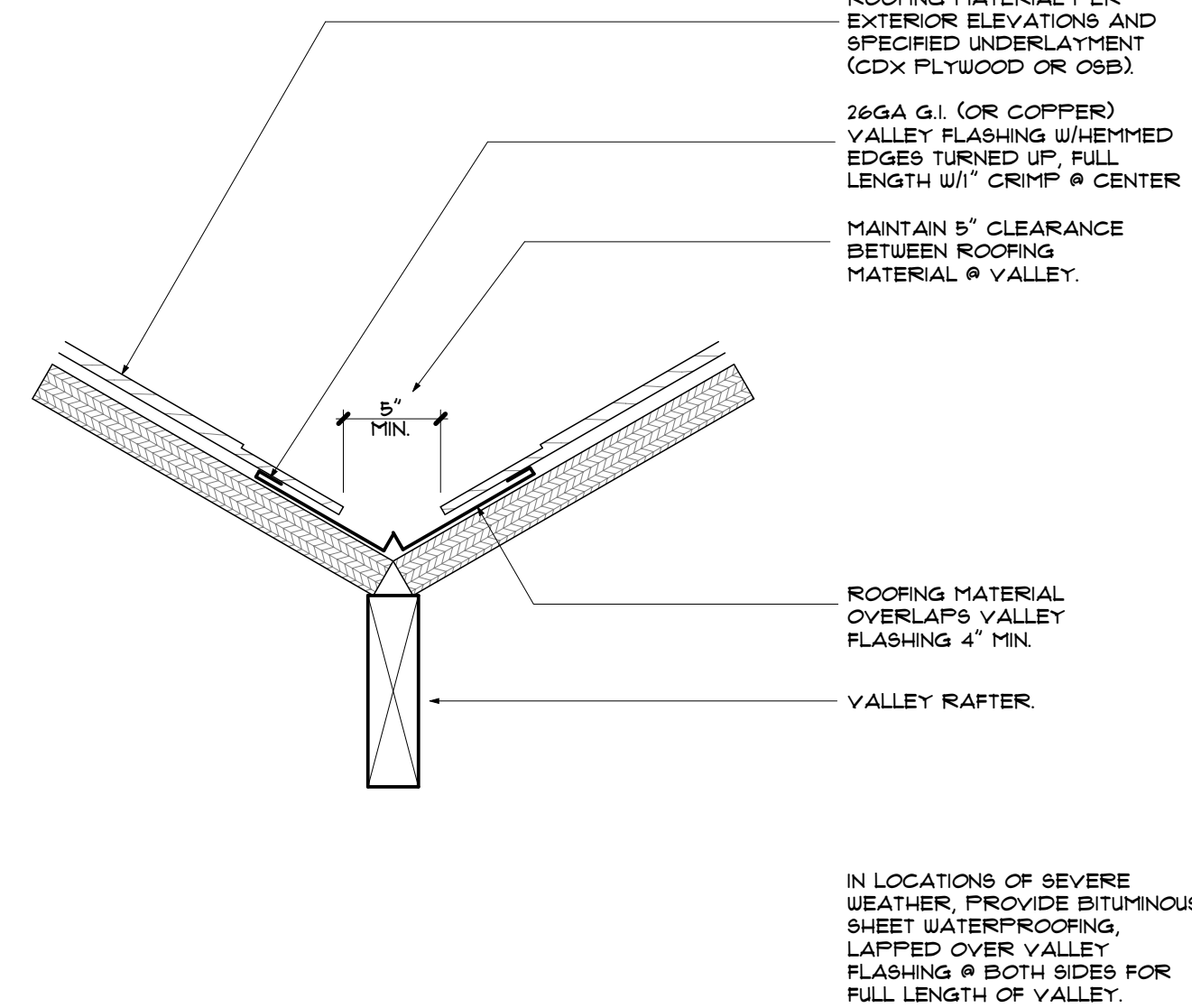
ROOF PLAN

ROOF SLOPE: 7/12 TYP. (UNC)
ROOFING MATERIAL: CLASS A, ASPHALT SHINGLES TYP.
OVERHANG: 12" TYP.

1/4" = 1'-0"



FL1 FLASHING: EAVE @ GUTTER STANDARD



FL3 FLASHING: VALLEY

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ROOF FRAMING PLAN

DRAWING:

PRINTED: 11/11/20

SCALE: NOTED

DRAWN BY:

M.A.R. M.

Professional Stamp

A4.1

EXTERIOR ELEVATION FINISH SCHEDULE

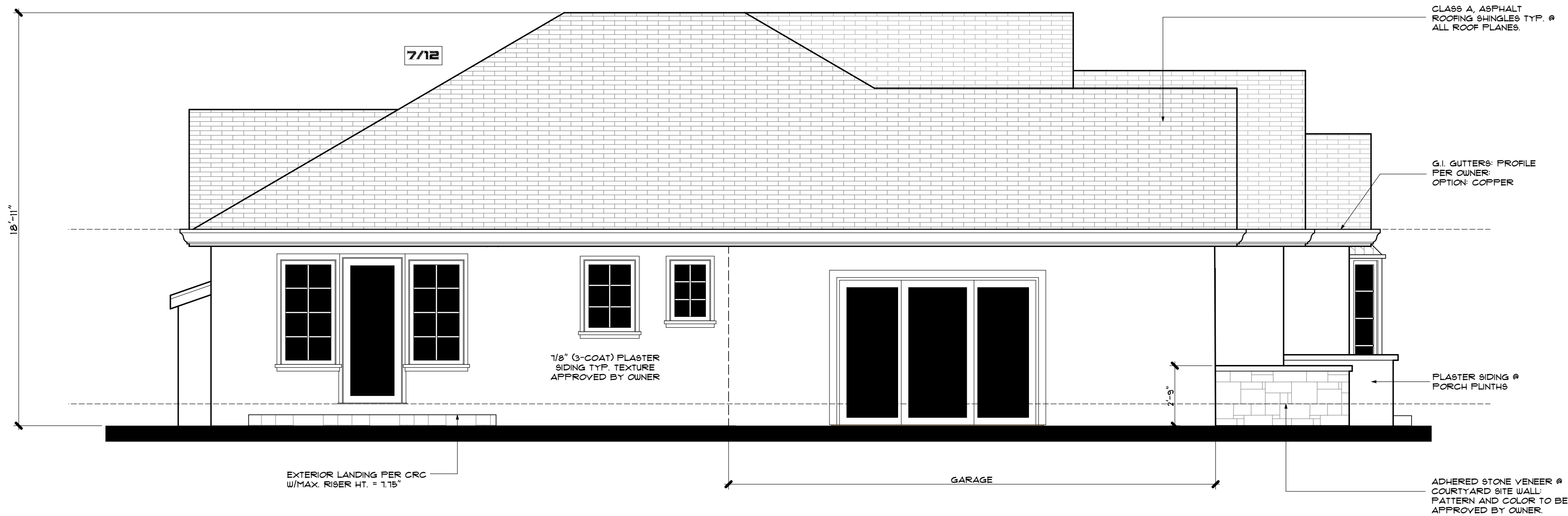
ROOFING
CLASS A, ASPHALT SHINGLES, O/MINIMUM 30# BUILDING PAPER OR EQUAL, O/CDX OR OSB "RADIANT BARRIER" ROOF SHEATHING AS REQUIRED BY T24 CALCULATIONS AS APPLICABLE. ROOF MATERIAL COLORS AND/OR MANUFACTURERS SHALL BE SELECTED AND APPROVED BY THE PROPERTY OWNER. WHERE ROOF SLOPES ARE LESS THAN 4/12, USE (2) LAYERS OF ROOFING UNDERLAYMENT. CRC R305.2.2 AND R305.1.2
EXTERIOR SIDING
EXTERIOR WALLS: 1/8" (3-COAT) PLASTER SIDING, O/G.I. EXPANDED METAL LATH, O/(2) LAYERS OF GRADE "D" BUILDING PAPER OR EQUAL, O/CDX PLYWOOD OR OSB WALL SHEATHING, NAILED @ 6/12 MINIMUM. SEE ENGINEER'S "SHEAR WALL SCHEDULE" FOR SPECIFIED PLYWOOD THICKNESS AND MINIMUM NAILING REQUIREMENTS.
NON SHEAR WALLS: PROVIDE A MINIMUM OF 3/8" CDX PLYWOOD WALL SHEATHING, "FULL WRAP". NAIL W/8D @ 6/12 MINIMUM. FOR REMODEL PROJECTS, ONLY NEW WALLS SHALL RECEIVE FULL WRAP SHEATHING (UNO).
WALL BASE: A MINIMUM 0-019-INCH (0.5 MM) (NO. 26 GALVANIZED SHEET GAUGE) CORROSION-RESISTANT WEEP SCREED OR PLASTIC WEEP SCREED, WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3-1/2 INCHES (89 MM) SHALL BE PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE ON EXTERIOR STUD WALLS IN ACCORDANCE WITH ASTM C 926. THE WEEP SCREED SHALL BE PLACED A MINIMUM OF 4 INCHES (102 MM) ABOVE THE EARTH OR 2 INCHES (51 MM) ABOVE PAVED AREAS AND SHALL BE OF A TYPE THAT WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING. THE WEATHER-RESISTANT BARRIER SHALL LAP THE ATTACHMENT FLANGE. THE EXTERIOR LATH SHALL COVER AND TERMINATE ON THE ATTACHMENT FLANGE OF THE WEEP SCREED.
DOORS & WINDOWS
ALL EXTERIOR DOORS (WITH GLASS) AND WINDOWS SHALL BE CONSTRUCTED WITH DUAL PANED, LOW "E" GLAZING. TEMPERED GLAZING SHALL BE REQUIRED PER CRC SECTIONS R308 AND R311. DOOR AND WINDOW MANUFACTURER SHALL BE SELECTED AND APPROVED BY THE PROPERTY OWNER. SEE SHEET DW.1 AND DW.2 FOR ADDITIONAL DOOR AND WINDOW NOTES AND SCHEDULES.
ACCENTS
SEE EXTERIOR ELEVATIONS FOR ADDITIONAL WALL AND ROOF DETAILS AND SPECIFICATIONS.



(N) FRONT ELEVATION (SE)

LEFT SIDE PER PLANNING

1/4" = 1'-0"



(N) LEFT SIDE ELEVATION (SW)

REAR SIDE PER PLANNING

1/4" = 1'-0"

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SCALE:	NOTED
DRAWN BY:	M.A.R. <i>M.</i>

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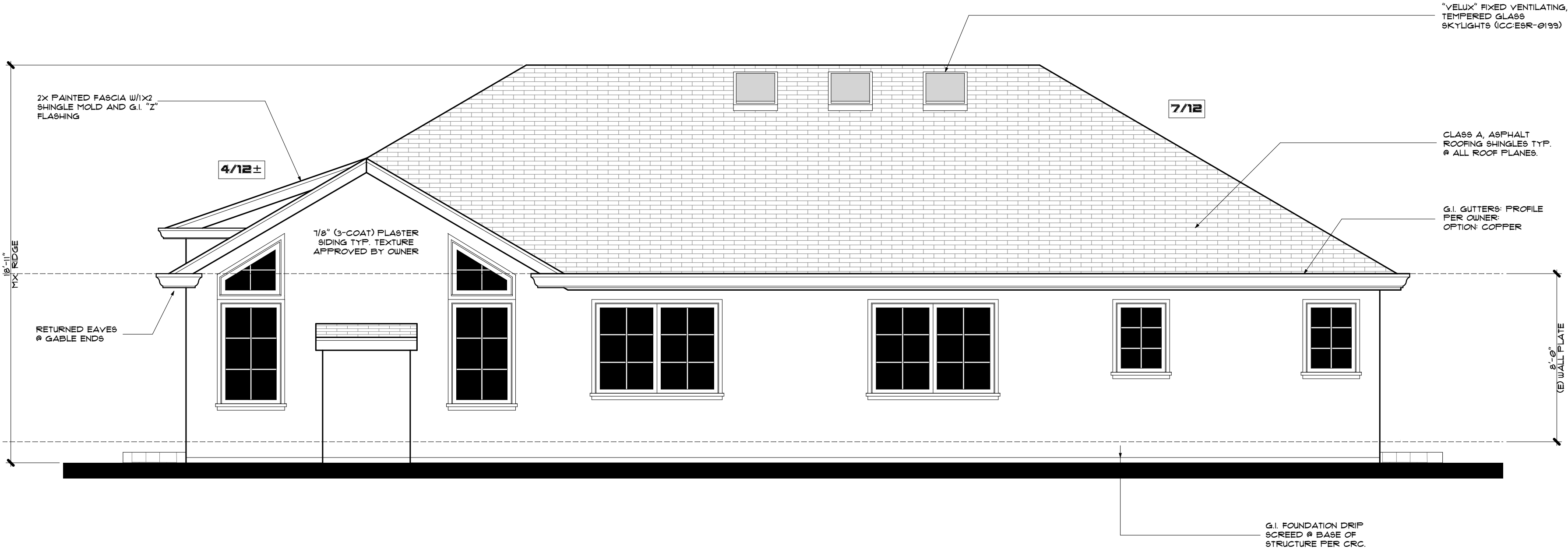
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TOWN OF LOS GATOS
BUILDING DIVISION

A5.1

EXTERIOR ELEVATION FINISH SCHEDULE

ROOFING
CLASS A, ASPHALT SHINGLES, O/MINIMUM 30# BUILDING PAPER OR EQUAL, O/CDX OR OSB "RADIANT BARRIER" ROOF SHEATHING AS REQUIRED BY T24 CALCULATIONS AS APPLICABLE. ROOF MATERIAL COLORS AND/OR MANUFACTURERS SHALL BE SELECTED AND APPROVED BY THE PROPERTY OWNER. WHERE ROOF SLOPES ARE LESS THAN 4/12, USE (2) LAYERS OF ROOFING UNDERLAYMENT. CRC R905.2.2 AND R905.1.2
EXTERIOR SIDING
EXTERIOR WALLS: 1/8" (3-COAT) PLASTER SIDING, O/G.I. EXPANDED METAL LATH, O(2) LAYERS OF GRADE "D" BUILDING PAPER OR EQUAL, O/CDX PLYWOOD OR OSB WALL SHEATHING, NAILED @ 6/12 MINIMUM. SEE ENGINEER'S "SHEAR WALL SCHEDULE" FOR SPECIFIED PLYWOOD THICKNESS AND MINIMUM NAILING REQUIREMENTS.
NON SHEAR WALLS: PROVIDE A MINIMUM OF 3/8" CDX PLYWOOD WALL SHEATHING, "FULL WRAP", NAIL W/8D @ 6/12 MINIMUM. FOR REMODEL PROJECTS, ONLY NEW WALLS SHALL RECEIVE FULL WRAP SHEATHING (NO)
WALL BASE: A MINIMUM 0.013-INCH (0.5 MM) (NO. 26 GALVANIZED SHEET GAUGE) CORROSION-RESISTANT WEEP SCREED OR PLASTIC WEEP SCREED, WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3-1/2 INCHES (89 MM) SHALL BE PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE ON EXTERIOR STUD WALLS IN ACCORDANCE WITH ASTM C 926. THE WEEP SCREED SHALL BE PLACED A MINIMUM OF 4 INCHES (102 MM) ABOVE THE EARTH OR 2 INCHES (51 MM) ABOVE PAVED AREAS AND SHALL BE OF A TYPE THAT WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING. THE WEATHER-RESISTANT BARRIER SHALL LAP THE ATTACHMENT FLANGE. THE EXTERIOR LATH SHALL COVER AND TERMINATE ON THE ATTACHMENT FLANGE OF THE WEEP SCREED.
DOORS & WINDOWS
ALL EXTERIOR DOORS (WITH GLASS) AND WINDOWS SHALL BE CONSTRUCTED WITH DUAL PANED, LOW "E" GLAZING. TEMPERED GLAZING SHALL BE REQUIRED PER CRC SECTIONS R302 AND R311. DOOR AND WINDOW MANUFACTURER SHALL BE SELECTED AND APPROVED BY THE PROPERTY OWNER. SEE SHEET DW.1 AND DW.2 FOR ADDITIONAL DOOR AND WINDOW NOTES AND SCHEDULES.
ACCENTS
SEE EXTERIOR ELEVATIONS FOR ADDITIONAL WALL AND ROOF DETAILS AND SPECIFICATIONS.



(N) REAR ELEVATION (NW)

RIGHT SIDE PER PLANNING

1/4" = 1'-0"



(N) RIGHT SIDE ELEVATION (NE)

FRONT SIDE PER PLANNING

1/4" = 1'-0"

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TOWN OF LOS GATOS
BUILDING DIVISION

A5.2