



ARCHITECTURE PLANNING URBAN DESIGN

May 14, 2020

Ms. Jennifer Armer
Community Development Department
Town of Los Gatos
110 E. Main Street
Los Gatos, CA 95031

RE: 15925 Quail Hill Road

Dear Jennifer:

I reviewed the drawings, and evaluated the site context. I have previously reviewed two other proposed homes on this site. My comments and recommendations are as follows:

Neighborhood Context

The site is steeply sloped with an existing house located at the top of the slope. This proposal is for a new house to be located near the base of the slope at the intersection of Shady Lane and Drysdale Drive. The site is shown on the aerial photo below, and photos of the site and its surroundings are on the following page.





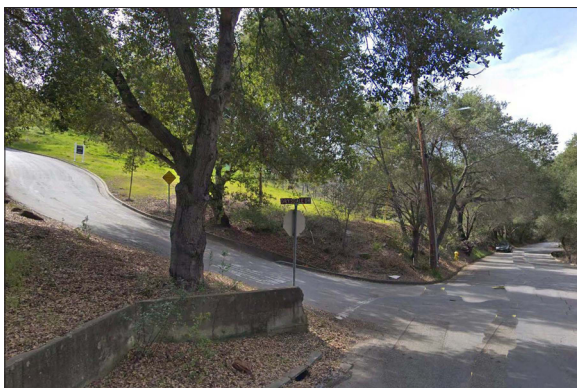
Aerial Photo looking South



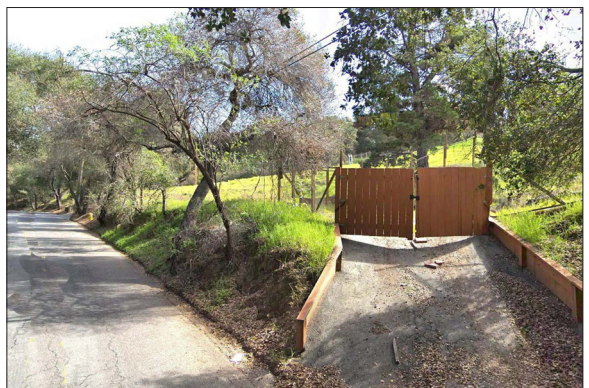
The Site looking Uphill



The Site looking Downhill



The Site from Shady Lane looking West



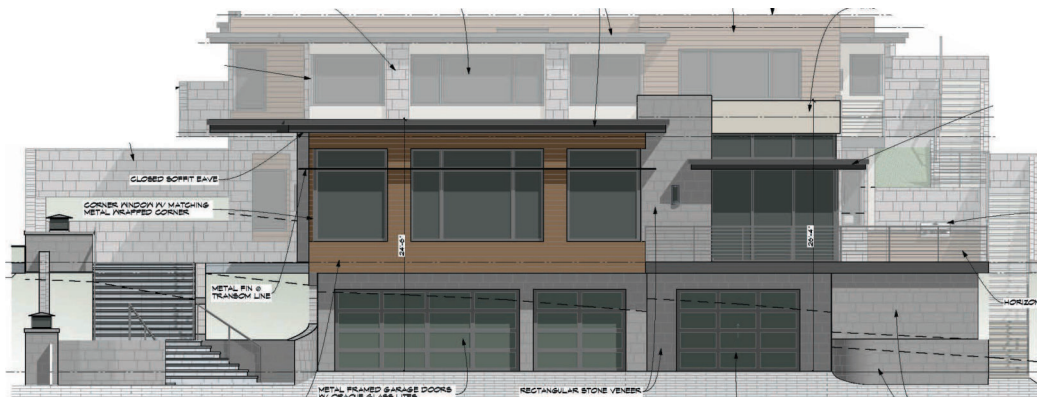
The Site from Shady Lane looking East

Concerns and Recommendations

The proposed site for the house is near the bottom of the parcel adjacent to both Shady Lane and Drysdale Drive with substantial landscaping proposed to buffer views of the house. It is well designed with attention to the Town's *Hillside Development Standards and Design Guidelines*. Some specific positive design elements of the design include the following:

- Low profile building masses that step with the natural grade
- Articulated facades
- Recessed garage doors
- Projecting eyebrow canopies and roof eaves to provide facade texture and shadows
- High quality materials consistent with the *Hillside Development Standards and Design Guidelines* including stone and wood siding
- Varied exterior materials to provide facade variety and visually break the structure into smaller elements
- Low stone retaining walls to step and blend with the grade
- Live Oak landscaping in the front setback

See proposed elevations and sketches below.



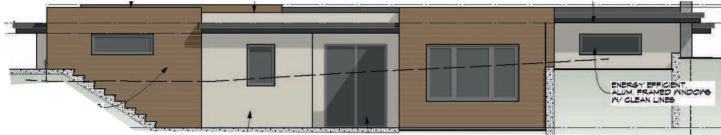
Proposed Front Elevation: Shady Lane



Proposed Left Side Elevation: Drysdale Drive



Proposed Right Side Elevation



Proposed Rear Elevation



Front and Left Side View

Note: Low wall at bottom is different than shown on the floor plans



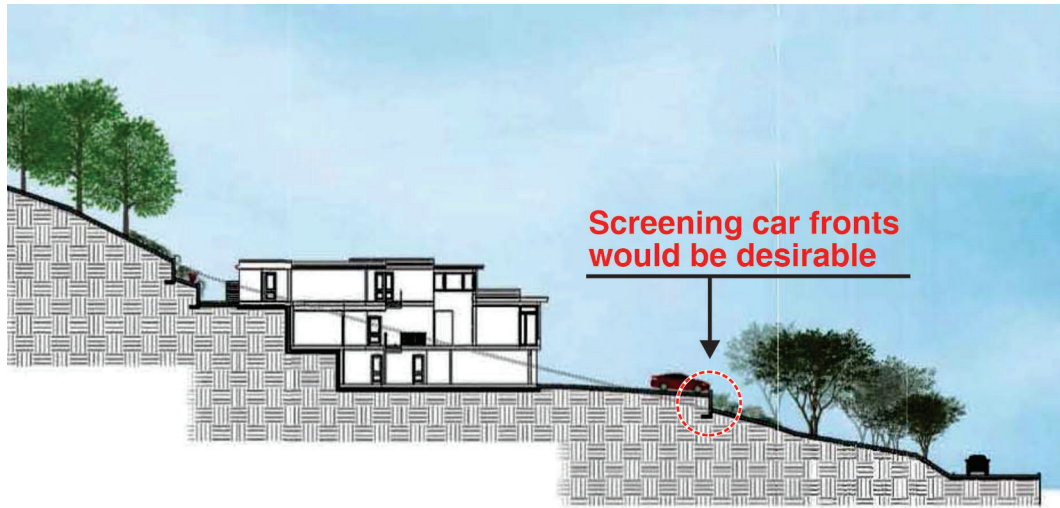
Front View



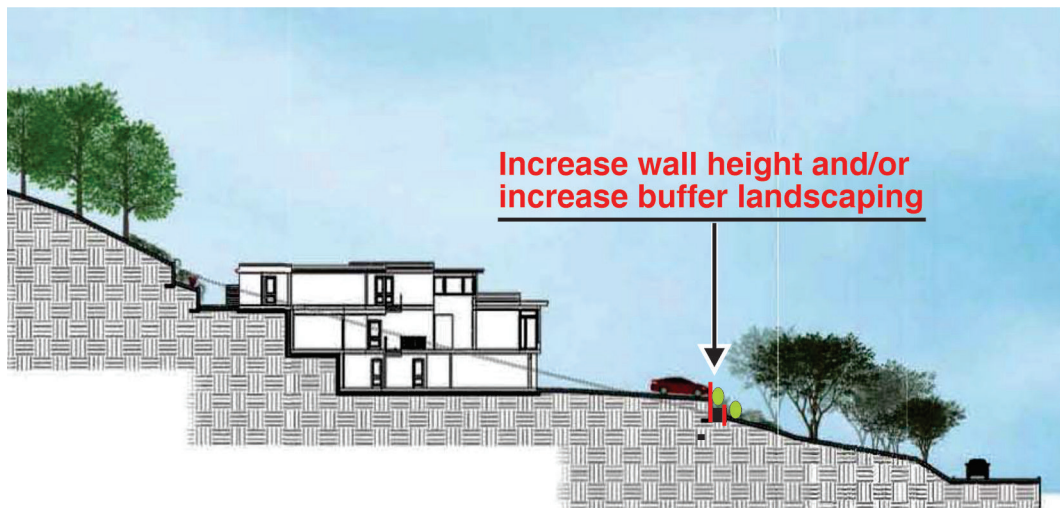
Front and Right Side View

While the proposed house is well designed, there are a few minor concerns, as follows:

1. The low stone wall at the exterior parking area has proposed landscaping in front of it, but the plantings may not shield the car fronts from view.

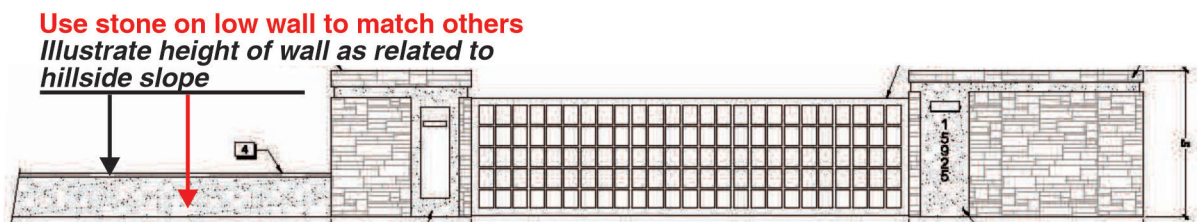


Recommendation: Increase wall height and/or increase buffer landscaping.



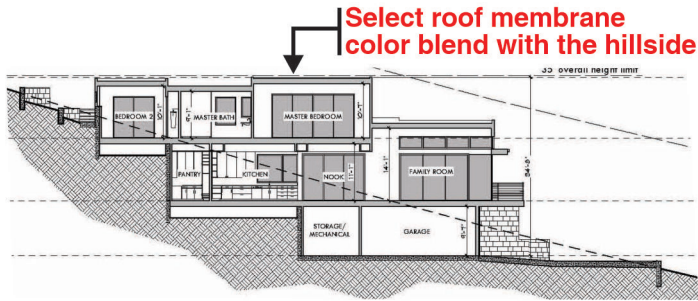
2. While most of the low walls are faced with stone, the low wall along Drysdale Drive is proposed as stucco with a stone cap.

Recommendation: Use stone to match other low landscape walls, and provide an illustration to show the proposed wall heights related to the hillside slope (e.g., sloped or stepped).

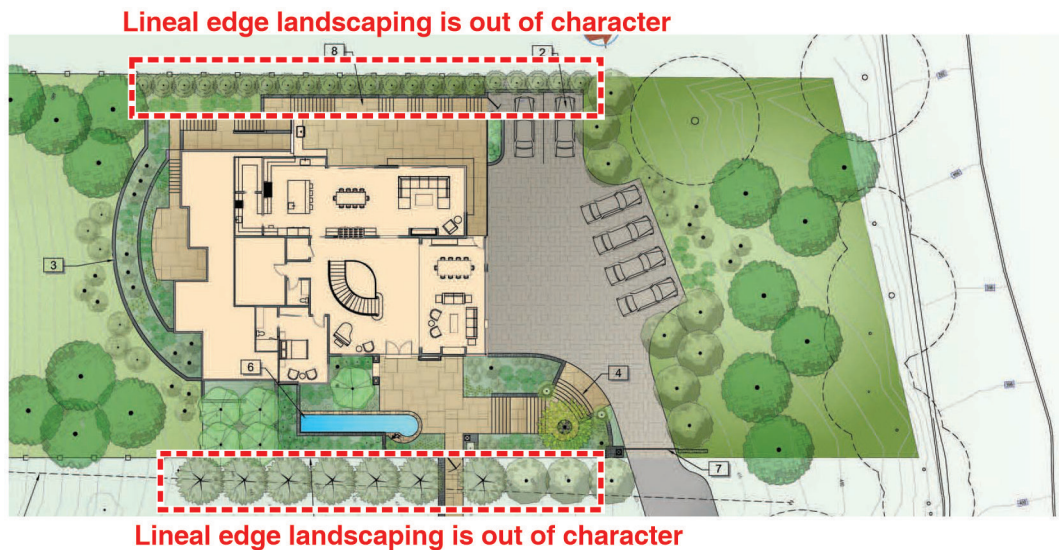


3. All roofs are relatively flat with PVC roofing which will present a large viewable area from above.

Recommendation: Select roofing color to blend with the home colors and the natural environment.



4. In general, the landscaping is varied in size and placement, and is designed to blend with the hillside environment as required by the Town's *Hillside Development Standards and Design Guidelines*. However, the proposed landscaping at both side setbacks is more regular and linear - see example photos below.



Neighboring property edge



Drysdale Drive edge

Recommendation: Reevaluate the side yards landscaping to increase its informality consistent with the hillside location.

Jennifer, please let me know if you have any questions, or if there are other issues that I did not address.

Sincerely,
CANNON DESIGN GROUP

A handwritten signature in black ink, appearing to read "Larry L. Cannon". The signature is fluid and cursive, with the first name "Larry" and last name "Cannon" clearly distinguishable.

Larry L. Cannon

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