

GORINI RESIDENCE

249 LOS GATOS, LOS GATOS, CA, 95030

DERN
architecture + development

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GORINI RESIDENCE

249 LOS GATOS, LOS GATOS, CA, 95030

REVISION
No. Description Date

DERN PROJECT NUMBER
2515

DATE
10/24/2025

ISSUE
PERMIT

SHEET TITLE
PROJECT INFORMATION

SHEET NO.
A0.1

ATTACHMENT 7

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ABBREVIATIONS				GENERAL NOTES	PROJECT DATA		SHEET INDEX			
A.B. ABV. A/C ACOUS. ADJ. AL. ALT. AMP. AVG. BD. BLDG. BLK'G. BLT-IN BM. B.N. BRG. B.S. CBST. CALC. CMBR. C.H.C. CHANGE C.I. C.J. C.L. CLG. CLR. CNTR. CNTRTP. C.O. CONC. CONT. CPT. C.R. CSMT.WDOW. C.T. CULT. D. DBL. D.F. DIA. Ø DIA. DIM. DISP. DP. DR. DRP. D.S. DTL. D.W. DWG. DWR. EA. ELECT. ELEV. E.N. EQ. EXH. EXT. E.W. FAU. F.G. F.G. F.G. FIN. FIN.FLR. F.J. FL. FLUSH. FLUOR. F.M.C. F.N. FND. F.O.C. F.O.M. F.O.S. FR.DR. FTG.	ANCHOR BOLT ABOVE AIR CONDITIONING ACOUSTICAL ADJACENT ADJUSTABLE ALUMINUM ALTERNATE AMPERAGE AVERAGE BOARD BUILDING BLOCKING BUILT-IN BEAM BOUNDARY NAILING BEARING BAR SINK CABINET CALCULATION CAMBER CEILING HEIGHT CHANGE CAST IRON CEILING JOIST CENTER LINE CEILING CLEAR COUNTER COUNTER TOP CASED OPENING CONCRETE CONTINUOUS CARPET CURTAIN ROD CASEMENT WINDOW CERAMIC TILE CULTURED DRYER DOUBLE DOUGLAS FIR DIAMETER DIAGONAL DIMENSION DISPOSAL DEEP DOOR DROP DOWNSPOUT DETAIL DISHWASHER DRAWING DRAWER EACH ELECTRICAL ELEVATION EDGE NAILING EQUAL EXHAUST EXTERIOR EACH WAY FORCED AIR UNIT FINISH GRADE FIXED GLASS FUEL GAS FINISH FINISH FLOOR FLOOR JOIST FLUSH FLUORESCENT FLOOR MATERIAL CHANGE FIELD NAILING FOUNDATION FACE OF CURB FACE OF MASONRY FACE OF STUDS FRENCH DOOR FOOTING	GA. GALV. G.B. G.D. G.D.O. G.F.I. G.I. GL. GRD. GRND. GYP. G.L.B. BEAM G.T. H.C. H.D. HDR. HGT. HNGR. INSUL. INT. LAV. LAM. L.F. L.L. LUM. LVR. MAR. MAS. MAX. M.B. M.C. MFR. MIN. MIR. M-L M.O. MTD. MTL. N.G. N.I.C. NOM. N.T.S. O/ O.A. OBS. O.C. O.H. OPG. OSA O.S.B. P.B. P.C. P.C. PCE. PH. PLT. PLAS. PLYWD. PR. PSF PSI P=L P.T.D.F. PVC	GAUGE GALVANIZED GYPSUM BOARD GARBAGE DISPOSAL GARAGE DOOR OPERATOR GROUND-FAULT CIRCUIT-INTERRUPTER GALVANIZED IRON GLASS GRADE GROUND GYPSUM GLUED-LAMINATED GIRDER TRUSS HOLLOW CORE HOLD DOWN ANCHOR HEADER HEIGHT HANGER INSULATION INTERIOR LAVATORY LAMINATED LINEAL FEET/FOOT LOG LIGHTER LUMINOUS LOUVER MARBLE MASONRY MAXIMUM MACHINE BOLT MEDICINE CABINET MANUFACTURER MINIMUM MIRROR MICRO LAM MASONRY OPENING MOUNTED METAL NATURAL GRADE NOT IN CONTRACT NOMINAL NOT TO SCALE OVER OVERALL OBSCURE OR O/C ON CENTER OVERHEAD OPENING OUTSIDE AIR ORIENTED STRAND BOARD PUSH BUTTON PORTLAND CEMENT PULL CHAIN PIECE PHONE PLATE PLASTER PLYWOOD PAIR POUNDS/SQUARE FOOT POUNDS/SQUARE INCH PARALLAM PRESSURE TREATED DOUGLAS FIR POLY VINYL CHLORIDE	R. RAD. R.A.G. RECPT. REF. REFR. REINFC. RE/S REQ'D REV. R.J. ROUGH-IN R.O. ROVS R.R. RWD. S. S.C. SCH. SCRND. SEC. SECT. SEL. SEL STR. SER. S.H. SHT. SHTHG. SHWR. SL. SPL. SPN. S & P STD. S.V. STRUCT. SW. T. T & B T.C. TEMP GL. T & G T.J. T.O.C. T.O.M. T.O.S. T.O.W. T.V. UNFIN. UNFINISHED URINAL U.N.O. UNLESS NOTED OTHERWISE VAN. VENEER VERT. V.G. V.B. V.P. W. W/ W.C. WD. WDW. W.H. W/O W.P. W/R WT.	RISER RADIAL/RADIUS RETURN AIR GRILLE RECEPTACLE REFERENCE REFRIGERATOR REINFORCING RE-SAWN REQUIRED REVERSE REVISION/REVISE ROOF JOIST ROUGH-IN ROUGH OPENING ROUGH SAWN ROOF RAFTER REDWOOD SINK SOLID CORE SCHEDULE SCREENED SECOND SECTION SELECT SELECT STRUCTURAL SERVICE SINGLE HUNG SHEET SHEATHING SHOWER SLIDING SPLASH SILL PLATE NAILING SHELF & POLE SERVICE SINK STANDARD SHEET VINYL STRUCTURAL SWITCH TREAD TOP & BOTTOM TRASH COMPACTOR TEMPERED GLASS TONGUE & GROOVE TRUSS JOIST TOP OF CURB TOP OF MASONRY TOP OF SLAB TOP OF WALL TELEVISION UNFINISHED URINAL UNLESS NOTED OTHERWISE VANITY VENEER VERTICAL VERTICAL GRAIN VAPOR BARRIER VAPORPROOF WASHER WITH WATER CLOSET WOOD WINDOW WATER HEATER WITHOUT WEATHER PROOF WARDROBE WEIGHT	REGULATORY REQUIREMENTS: 1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL REQUIREMENTS OF ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES, LAWS AND REGULATIONS GOVERNING CONSTRUCTION, BUILDING ACCESS, AND THE USE OF FACILITIES. THIS INCLUDES THE 2019 CALIFORNIA BUILDING CODE & ALL CODES, ORDINANCES AND LAWS ADOPTED BY THE CITY OF LOS GATOS, CA. 2. THE "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION" AIA DOCUMENT A201 2007 EDITION, GOVERNS THIS WORK U.O.N. 3. THE CONTRACTOR IS RESPONSIBLE FOR EXAMINING ALL CONTRACT DOCUMENTS AND FIELD CONDITIONS AND SHALL BASE HIS BID ON EXISTING CONDITIONS. SUBMIT WRITTEN EXCEPTIONS OR OBJECTIONS, WITH ANALYSIS AND RECOMMENDATIONS TO THE OWNER PRIOR TO SUBMITTING BID COSTS. 4. ALL MECHANICAL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2022 CALIFORNIA MECHANICAL CODE OR OVERRIDING LOCAL MECHANICAL CODES. 5. ALL PLUMBING CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2022 CALIFORNIA PLUMBING CODE OR OVERRIDING LOCAL PLUMBING CODES. 6. ALL ELECTRICAL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2022 CALIFORNIA ELECTRICAL CODE OR OVERRIDING LOCAL ELECTRICAL CODES. 7. ALL SHEET METAL WORK AND FLASHING SHALL CONFORM TO S.M.A.C.N.A. STANDARDS. 8. CITY AMENDMENTS: CITY OF LOS GATOS CODE, IF APPLICABLE. 9. ALL BUILDING STANDARD CONSTRUCTION, MATERIALS AND PRODUCTS SHALL CONFORM TO THE MOST CURRENT STANDARDS AND DETAILS AS OUTLINED IN THE SPECIFICATIONS, EXCEPT AS EXPLICITLY SUPERSEDED HEREIN. SUBSTITUTIONS: 1. REQUEST FOR SUBSTITUTION WILL BE RECEIVED FROM THE GENERAL CONTRACTOR ONLY. 2. PRODUCTS IN THE CONSTRUCTION DOCUMENTS IDENTIFIED BY NAME, BRAND OR MODEL OF A MANUFACTURER'S ARTICLE SHALL BE PROVIDED UNLESS A WRITTEN REQUEST FOR SUBSTITUTION IS ACCEPTED BY THE ARCHITECT. IN THE EVENT THAT THE CONTRACTOR MAKES A SUBSTITUTION WITHOUT PRIOR APPROVAL FROM THE ARCHITECT, THE CONTRACTOR SHALL BE REQUIRED TO REMOVE THE SUBSTITUTION AND REPLACE IT PER SPECIFICATIONS WITHOUT ANY ADJUSTMENT TO THE CONTRACT AMOUNT OR TIME. 3. THE PRODUCTS DESCRIBED IN THE CONSTRUCTION DOCUMENTS ESTABLISH A STANDARD OF REQUIRED FUNCTION, DIMENSION, APPEARANCE AND QUALITY TO BE MET BY ANY PROPOSED SUBSTITUTION. THE BURDEN OF PROOF OF THE MERIT OF THE PROPOSED SUBSTITUTION IS UPON THE PROPOSER. THE OWNER'S DECISION OF THE APPROVAL OR DISAPPROVAL SHALL BE FINAL. 4. THE REQUEST SHALL INCLUDE ANY CHANGE REQUIRED IN OTHER ELEMENTS OF THE WORK DUE TO THE SUBSTITUTION. SUBMITTALS: 1. SCHEDULE SUBMITTALS TO EXPEDITE PROJECT, AS TO CAUSE NO DELAY IN THE WORK OR IN THE WORK OF THE OWNER OR ANY SEPARATE CONTRACTOR. SUBMITTALS NOT SPECIFICALLY REQUESTED SHALL BE RETURNED WITHOUT REVIEW. 2. SHOP DRAWINGS SHALL BE DRAWN AT A SCALE SUFFICIENT FOR CLARITY AND COORDINATION AND SHALL SHOW NECESSARY WORKING AND ERECTION DIMENSIONS. 3. CIRCLE ALL DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS AND PROVIDE A BRIEF WRITTEN EXPLANATION TO CLARIFY AND SUPPORT REASONS FOR PROPOSED DEVIATION. 4. THE CONTRACTOR SHALL PROVIDE THE OWNER A PROJECT SCHEDULE OUTLINING THE WORK TO OCCUR, AND THE MATERIALS BEING ORDERED ON A WEEKLY BASIS PRIOR TO BEGINNING THE PROJECT. 5. CONTRACTOR SHALL ALLOW 5 DAYS FOR ARCHITECT AND OWNER TO REVIEW SUBMITTALS. 6. ALL SUBMITTALS SHALL HAVE CONTRACTORS STAMP INDICATING SUBMITTAL HAS BEEN REVIEWED AND APPROVED BY GENERAL CONTRACTOR PRIOR TO BEING SEND TO ARCHITECT AND OWNER FOR REVIEW. 7. SUBMITTALS SENT FOR ARCHITECT AND OWNER REVIEW THAT DO NOT HAVE THE STAMP OF THE GENERAL CONTRACTOR WILL BE RETURNED WITHOUT REVIEW. PROTECTIONS: 1. BY ACCEPTING THESE DRAWINGS THE CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE SAFETY CONDITIONS FOR ALL PERSONS AND PROPERTY, CONTINUOUSLY DURING CONSTRUCTION OF THIS PROJECT, AND NOT LIMITED TO NORMAL WORKING HOURS. 2. THE CONTRACTOR SHALL PROTECT NEW AND EXISTING WORK, EQUIPMENT, MATERIALS AND FINISHES. DAMAGED ITEMS SHALL BE REPAIRED OR REPLACED AT THE EXPENSE OF THE GENERAL CONTRACTOR. 3. THE CONTRACTOR SHALL AT ALL TIMES DURING THE COURSE OF THE CONTRACT KEEP THE BUILDING, THE OWNER'S PREMISES AND THE ADJOINING PREMISES, INCLUDING STREETS AND OTHER AREAS ASSIGNED TO, OR USED BY THE CONTRACTOR, FROM ACCUMULATIONS OF WASTE MATERIALS AND RUBBISH CAUSED BY HIS EMPLOYEES, SUBCONTRACTORS OR THEIR WORK. 4. CONTRACTOR SHALL VERIFY LOCATION OF TRANSFORMERS AND UNDERGROUND UTILITIES WITH APPLICABLE UTILITY COMPANIES. 5. CONTRACTOR SHALL PROTECT FROM DAMAGE AND KEEP CLEAN ALL COMMON AREAS OF THE PROJECT. PERFORMANCE REQUIREMENTS: 1. DO NOT SCALE DRAWINGS. 2. ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED AND CHECKED BY THE GENERAL CONTRACTOR AND THE SUBCONTRACTORS PRIOR TO BEGINNING WORK AND PRIOR TO ORDERING ANY MATERIALS. ANY ERRORS, OMISSIONS OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE GENERAL CONTRACTOR. SHOULD THERE BE ANY DISCREPANCIES, ERRORS OR OMISSIONS IN THESE DRAWINGS OR SPECIFICATIONS, THE CONTRACTOR SHALL NOTIFY THE OWNER AND WAIT TO RECEIVE WRITTEN INSTRUCTIONS BEFORE PROCEEDING WITH THAT PORTION OF THE WORK. 3. THESE DRAWINGS AND SPECIFICATIONS ARE DIVIDED INTO SECTIONS FOR CONVENIENCE ONLY. CONTRACTORS, SUBCONTRACTORS, AND MATERIAL SUPPLIERS SHALL REFER TO ALL RELEVANT SECTIONS IN BIDDING AND PERFORMING THEIR WORK, AND SHALL BE RESPONSIBLE FOR ALL ASPECTS OF THEIR WORK REGARDLESS OF WHERE THE INFORMATION OCCURS ON THE DRAWINGS. 4. SUBCONTRACTORS SHALL BE RESPONSIBLE FOR COORDINATION OF THEIR WORK WITH THE WORK OF OTHERS. SUBCONTRACTORS SHALL VERIFY THAT ANY WORK RELATED TO THEM, WHICH MUST BE PROVIDED BY OTHERS, HAS BEEN COMPLETED AND IS ADEQUATE PRIOR TO COMMENCING THEIR WORK. 5. PROVIDE STRUCTURAL BACKING FOR ALL WALL MOUNTED EQUIPMENT. 6. CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN, COORDINATION, AND EXECUTION OF CONSTRUCTION MEANS, METHODS AND PROCEDURES. 7. PATCH AND REPAIR ALL DISTURBED AREAS TO MATCH ADJACENT SYSTEMS, MATERIALS, AND FINISHES, UNLESS OTHERWISE NOTED. 8. INSTALL ALL MATERIALS AND EQUIPMENT AS PER MANUFACTURERS WRITTEN RECOMMENDATIONS. 9. ALL INTERIOR DIMENSIONS SHOWN IN FLOOR PLANS ARE FACE OF FINISH, U.O.N. 10. ALL EXTERIOR DIMENSIONS ARE SHOW FACE OF FRAMING, U.O.N. 11. DETAILS SHOWN ARE TYPICAL. SIMILAR DETAILS APPLY IN SIMILAR CONDITIONS. 12. ALL GLAZING SUBJECT TO HUMAN IMPACT SHALL BE 1/4" TEMPERED GLASS UNLESS OTHERWISE NOTED. 13. CONTRACTOR SHALL FURNISH AND INSTALL ALL DOORS COMPLETE WITH ALL HARDWARE AS REQUIRED BY CODE AND/OR SPECIFIC INSTALLATION. 14. FIRE EXTINGUISHERS SHALL BE LOCATED ACCORDING TO CODE REQUIREMENTS AND MEET ALL APPLICABLE CODES. 15. WHERE NEW WALLS ALIGN WITH EXISTING WALLS, RESULTANT WALL SURFACES SHALL FORM A SMOOTH AND CONTINUOUS PLANE. 16. AT THE COMPLETION OF THE WORK THE CONTRACTOR SHALL REMOVE FROM THE BUILDING AND THE PREMISES ALL SURPLUS MATERIALS AND DEBRIS, AND CLEAN ALL NEW WORK TO THE OWNERS SATISFACTION, INCLUDING BUT NOT LIMITED TO CLEANING INTERIOR GLASS, CLEANING ALL MILLWORK, INSIDE AND OUTSIDE OF CABINETRY, AND CLEANING AND WAXING ALL FLOORING. 17. ALL BUILDING MATERIALS SHALL BE THE MOST NONTOXIC AND THE LOWEST POLLUTTING AVAILABLE. THE BUILDING SHALL BE VENTILATED DURING CONSTRUCTION AND THOROUGHLY AIRED OUT BEFORE OCCUPANCY. 18. NAIL UP ALL J-BOXES FOR REVIEW PRIOR TO WIRING. VERIFY ALL LOCATIONS OF POWER OUTLETS, PHONE JACKS, TV, LIGHT FIXTURES AND SWITCHES W/ OWNER PRIOR TO WIRING. 19. CONTRACTOR SHALL PROVIDE SAMPLES OF ALL MATERIALS (INCLUDING BUT NOT LIMITED TO: TILE, TILE TRIM, PAINT, ROOFING, SIDING, WOOD TRIM, WOOD BASE, COUNTERTOPS AND HARDWARE,) TO THE OWNER FOR APPROVAL PRIOR TO ORDERING MATERIALS. 20. THE CONTRACTOR SHALL VERIFY WITH THE OWNER MINIMALLY THREE WEEKS PRIOR TO COVER-UP OF THE SPECIAL WIRING REQUIREMENTS SUCH AS ALARMS AND STEREO SYSTEMS. 22. ALL ELECTRICAL, HVAC, AND PLUMBING SHALL BE DESIGN BUILD BASED ON INFORMATION PROVIDED BY THE CONSTRUCTION DOCUMENTS. 22. A MINIMUM OF 65 PERCENT OF THE CONSTRUCTION WASTE GENERATED AT THE SITE IS DIVERTED TO RECYCLE OR SALVAGE. 23. AN OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER. DEFINITIONS: "TYPICAL" MEANS IDENTICAL FOR ALL SIMILAR CONDITIONS, U.O.N. "SIMILAR" MEANS COMPARABLE CHARACTERISTICS FOR THE CONDITIONS NOTED. "ALIGN" MEANS TO ACCURATELY LOCATE FINISHES IN THE SAME PLANE. 24. BUILDING ADDRESS: TO BE POSTED IN A CONSPICUOUS PLACE AND LIGHTED EXTERNALLY. NUMBERS SHALL BE OF CONTRASTING COLOR TO BACKGROUND COLOR.	ACCESSOR'S PARCEL NUMBER: 529-24-022 LOCAL JURISDICTION: CITY OF LOS GATOS, CA PROJECT ADDRESS: 249 LOS GATOS, LOS GATOS, CA, 95030 BUILDING OCCPANCY: R-1-8 CONSTRUCTION TYPE: VB FIRE SPRINKLERS (AUTOMATIC): NO ACTUAL STORIES: 2 STORIES SITE AREA: 7950 SF BUILDING AREA: EXISTING HOUSE: 1438 SF EXISTING ATTACHED ADU: 793 SF PROPOSED: 20 SF TO ATTACHED ADU AREA COVERAGE: EXISTING: 26% PROPOSED: 26%			
CODE REFERENCE										
ALL CONSTRUCTION SHALL COMPLY WITH THE MINIMUM REQUIREMENTS OF THE FOLLOWING 2022 CALIFORNIA BUILDING STANDARDS CODE, COR TITLE 24: APPLICABLE BUILDING CODES: 2022 CALIFORNIA BUILDING CODE (CBC) 2022 CALIFORNIA MECHANICAL CODE (CMC) 2022 CALIFORNIA PLUMBING CODE (CPC) 2022 CALIFORNIA ELECTRICAL CODE (CEC) 2022 CALIFORNIA ENERGY CODE 2022 CALIFORNIA FIRE CODE 2022 CALIFORNIA GREEN BUILDING CODE 2022 CALIFORNIA STANDARDS CODE CITY AMENDMENTS: CITY OF LOS GATOS CODE										
DEFERRED SUBMITTALS										
1. DEFERRED SUBMITTALS SHALL BE SUBMITTED TO THE DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND FOUND TO BE IN GENERAL CONFORMANCE TO THE DESIGN OF THE BUILDING WITHOUT ANY CORRECTIONS. 2. CONTACT THE BUILDING DIVISION FOR DIRECTION CONCERNING SUBMITTAL REQUIREMENTS FOR ALL DEFERRED ITEMS. DEFERRED ITEMS SHALL NOT BE CONSTRUCTED, INSTALLED OR ERECTED UNTIL UNLESS APPROVED PLANS ARE PROVIDED BY THE BUILDING DIVISION FOR SUCH DEFERRED TEM(S). 3. SEPARATE PERMITS REQUIRE COMPLETE CONSTRUCTION DOCUMENTS FOR REVIEW AND APPROVAL BY ALL CITY DIVISIONS AND DEPARTMENTS. 4. NO FINAL INSPECTION CAN BE GRANTED OR PROVIDED UNTIL ALL DEFERRED ITEMS ARE REVIEWED AND APPROVED BY THE CITY. IN ADDITION, THE DEFERRED ITEM MUST BE INSTALLED, INSPECTED AND APPROVED BY THE CITY INSPECTOR.										
SCOPE OF WORK										
REMODEL OF SINGLE FAMILY RESIDENCE AND ATTACHED ADU. ADDITION OF NEW STAIRS TO CONNECT THE HOUSE AND ADU.										
PROJECT SYMBOL LEGEND										
<div><div><div><div><div></div><div>1</div><div>A6.1</div></div><div>DETAIL NUMBER SHEET NUMBER</div></div><div><div><div></div><div>1</div><div>A6.1</div></div><div>SECTION NUMBER SHEET NUMBER</div></div><div><div><div></div><div>1</div><div>A6.1</div></div><div>INTERIOR ELEVATION REFERENCE SHEET NUMBER ELEVATION NUMBER</div></div><div><div><div></div><div>1</div><div>101</div></div><div>OFFICE ROOM NAME AND NUMBER</div></div><div><div><div></div><div>1</div><div>A1.1</div></div><div>DETAIL OR PLAN ENLARGEMENT DETAIL NUMBER SHEET NUMBER</div></div></div><div><div><div></div><div>1</div><div></div></div><div>KEY NOTE REFERENCE</div></div><div><div><div></div><div>1</div><div></div></div><div>REVISION</div></div><div><div><div></div><div>1</div><div>A</div></div><div>CENTERLINE</div></div><div><div><div></div><div>1</div><div></div></div><div>COLUMN LINES</div></div><div><div><div></div><div>1</div><div></div></div><div>EXISTING FULL HEIGHT DEMISING WALL</div></div><div><div><div></div><div>1</div><div></div></div><div>NEW FULL HEIGHT DEMISING WALL</div></div></div>										
ARCHITECTURAL										
A0.1	PROJECT INFORMATION						X			
A0.2	BLUEPRINT FOR A CLEAN BAY						X			
A0.3	GREEN BUILDING REQUIREMENTS						X			
A0.4	GREEN BUILDING REQUIREMENTS						X			
A1.1	EXISTING SITE PLAN						X			
A1.2	EXISTING GROUND FLOOR PLAN						X			
A1.3	EXISTING SECOND FLOOR PLAN						X			
A1.4	EXISTING REFLECTED CEILING PLANS						X			
A1.5	EXISTING ROOF PLAN						X			
A1.6	EXISTING BUILDING ELEVATIONS						X			
A2.1	DEMOLITION FLOOR PLANS						X			
A3.1	PROPOSED SITE PLAN						X			
A3.2	PROPOSED GROUND FLOOR PLAN						X			
A3.3	PROPOSED SECOND FLOOR PLAN						X			
A3.4	PROPOSED GROUND FLOOR REFLECTED CEILING PLAN						X			
A3.5	PROPOSED SECOND FLOOR REFLECTED CEILING PLAN						X			
A4.1	PROPOSED ROOF PLAN						X			
A5.1	PROPOSED BUILDING ELEVATIONS						X			
A5.2	PROPOSED BUILDING SECTIONS						X			
A5.3	PROPOSED INTERIOR ELEVATIONS						X			
A6.1	PROPOSED FINISH PLAN						X			
A6.2	ROOFING DETAILS						X			
A7.1	PROPOSED INTERIOR STAIR PLAN AND DETAILS						X			
A7.2	DOOR SCHEDULE, HARDWARE, & DETAILS						X			
A7.3	TYPICAL DOOR FLASHING						X			
A7.4	WINDOW SCHEDULE & DETAILS						X			
A7.5	TYPICAL WINDOW FLASHING						X			
STRUCTURAL										
S-1	FOUNDATION PLAN						X			
S-2	CEILING FRAMING PLAN						X			
S-3	ROOF FRAMING PLAN AND SHEAR WALL PLAN						X			
SD-0	GENERAL NOTES AND SPECIFICATIONS						X			
SD-1	TYPICAL FOUNDATION DETAILS						X			
SD-2	TYPICAL FRAMING DETAILS						X			
SD-3	TYPICAL ROOF FRAMING DETAILS						X			
SD-4	TYPICAL FOUNDATION DETAILS						X			
SD-5	TYPICAL FLOOR FRAMING DETAILS						X			
WSWH1	STRONG-WALL WSWH ANCHORING DETAILS						X			
WSWH2	STRONG-WALL WSWH FRAMING DETAILS						X			
MECHANICAL, ELECTRICAL & PLUMBING										
MEP1.1	PROPOSED GROUND FLOOR MEP PLAN						X			
MEP1.2	MECHANICAL, ELECTRICAL AND PLUMBING NOTES						X			
TITLE-24 CALCULATIONS										
T-24.1	TITLE-24 CALCULATIONS						X			
T-24.2	TITLE-24 CALCULATIONS						X			
T-24.3	TITLE-24 CALCULATIONS						X			
T-24.4	TITLE-24 CALCULATIONS						X			
T-24.5	TITLE-24 CALCULATIONS						X			
T-24.6	TITLE-24 CALCULATIONS						X			
PROJECT SYMBOL LEGEND										
REMODEL OF SINGLE FAMILY RESIDENCE AND ATTACHED ADU. ADDITION OF NEW STAIRS TO CONNECT THE HOUSE AND ADU.										

JOB SITE CONDITIONS			
SAFETY. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL SAFETY PRECAUTIONS OR SAFETY PROGRAMS USED TO PROVIDE A SAFE WORKING ENVIRONMENT ON THE JOB SITE.			
CONSTRUCTION EXECUTION. EACH CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, TOOLS, TRANSPORTATION, AND EQUIPMENT NECESSARY TO PERFORM ALL WORK UNDER HIS TRADE IN FULL ACCORDANCE WITH THE WORKING DRAWINGS, SPECIFICATIONS AND CONTRACTS.			
JOB SITE CONDITIONS. EACH CONTRACTOR SHALL CLEAN UP AND REMOVE ALL DEBRIS RESULTING FROM HIS WORK PRIOR TO SUBMITTING REQUEST FOR PROGRESS PAYMENT. IN NO CASE WILL FINAL PAYMENT BE DISPERSED EITHER THE PRIME CONTRACTOR OR ANY SUB-CONTRACTOR UNTIL ALL DEBRIS AND EQUIPMENT OWNED BY SAID CONTRACTORS, HAS BEEN REMOVED FROM THIS PROJECT SITE OR UNTIL OWNER APPROVAL HAS BEEN GRANTED.			
THE RESPONSIBLE PARTY. EITHER THE PROJECT OWNER OR THIS SIGNED DESIGNER, SHALL BE NOTIFIED OF ERRORS OR OMISSIONS FOR CORRECTIONS BEFORE PROCEEDING WITH THE WORK.			
STORAGE. MATERIALS STORED ON SITE SHALL BE PROTECTED FROM DAMAGE BY MOISTURE, WIND, SUN, ABUSE OR ANY OTHER HARMFUL EFFECTS.			
CHANGES. ANY MINOR OR REQUIRED CHANGES OR MODIFICATIONS TO THIS PLAN DO NOT REDUCE OR VOID THE COPYRIGHTS COVERING THIS SET OF PLANS IN ANY WAY. MODIFICATIONS TO THIS PLAN, FOR ANY REASON, SHOULD BE ATTEMPTED BY AND ARCHITECT OR ENGINEER ONLY. DESIGNER ACCEPTS NO RESPONSIBILITY FOR THE QUALITY AND COMPLETENESS OF ANY CHANGES ATTEMPTED.			
MATERIALS. ALL MATERIALS, SUPPLIES AND EQUIPMENT SHALL BE INSTALLED PER MANUFACTURERS RECOMMENDATIONS AND PER APPLICABLE CODES AND REQUIREMENTS. THE DESIGNER SHALL HAVE NO CONTROL OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES IN CONNECTION WITH THE WORK. FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUB-CONTRACTOR, OR ANY OTHER PERSON PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.			



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2515

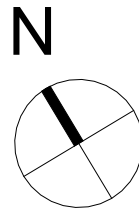
DATE
10/24/2025

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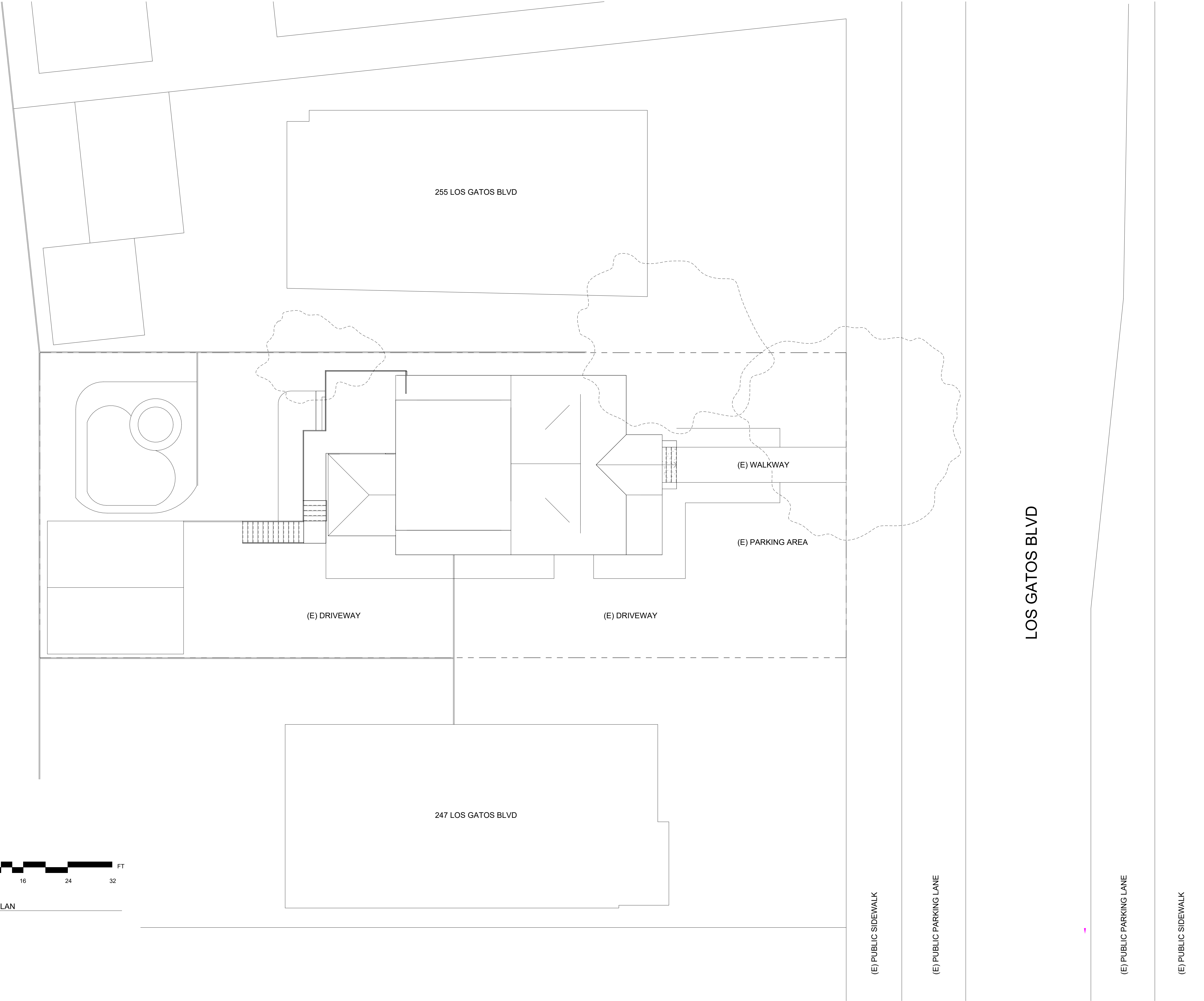
SHEET TITLE
EXISTING SITE PLAN

SHEET NO.

A1.1



1 EXISTING SITE PLAN
1/8" = 1'-0"





GORINI RESIDENCE

249 LOS GATOS, LOS GATOS, CA, 95030

REVISION No.	Description	Date
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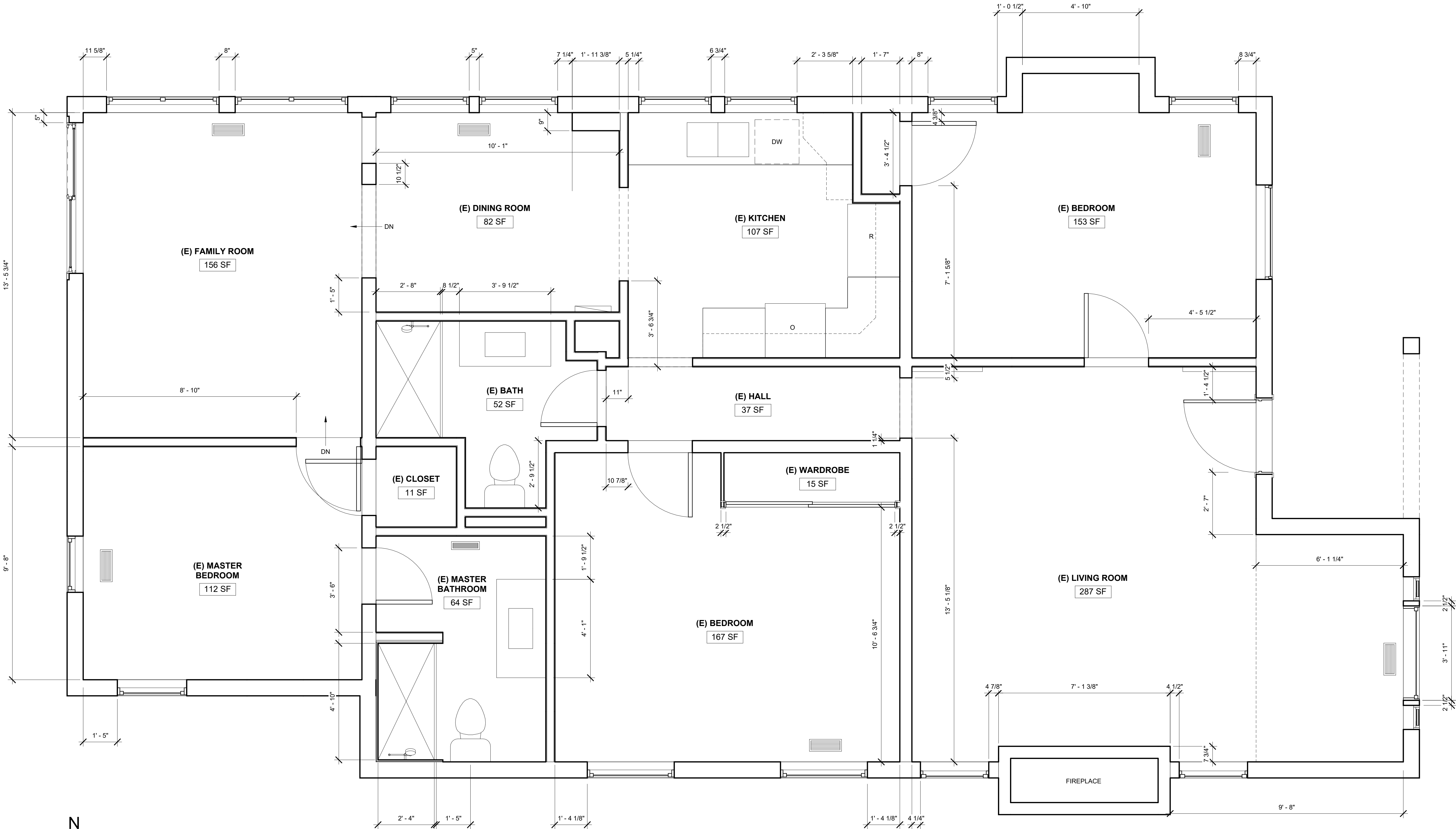
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SHEET TITLE
EXISTING GROUND FLOOR PLAN

SHEET NO.
A1.2



1 EXISTING GROUND FLOOR PLAN
1/2" = 1'-0"



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249 LOS GATOS, LOS GATOS, CA, 95030

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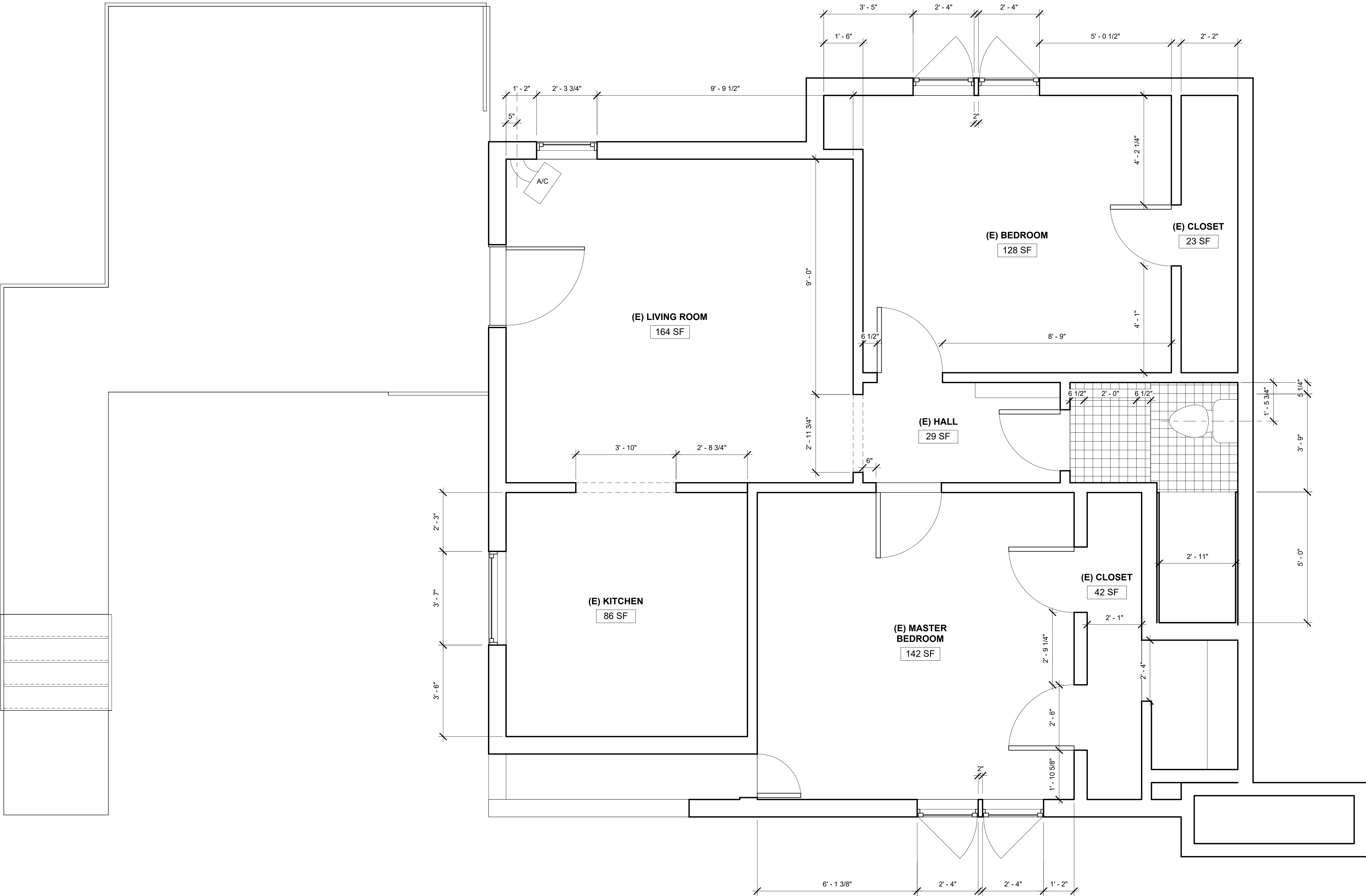
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SHEET TITLE
EXISTING SECOND
FLOOR PLAN

SHEET NO.
A1.3



① EXISTING SECOND FLOOR
1/2" = 1'-0"



GORINI RESIDENCE

249 LOS GATOS, LOS GATOS, CA, 95030

REVISION No.	Description	Date
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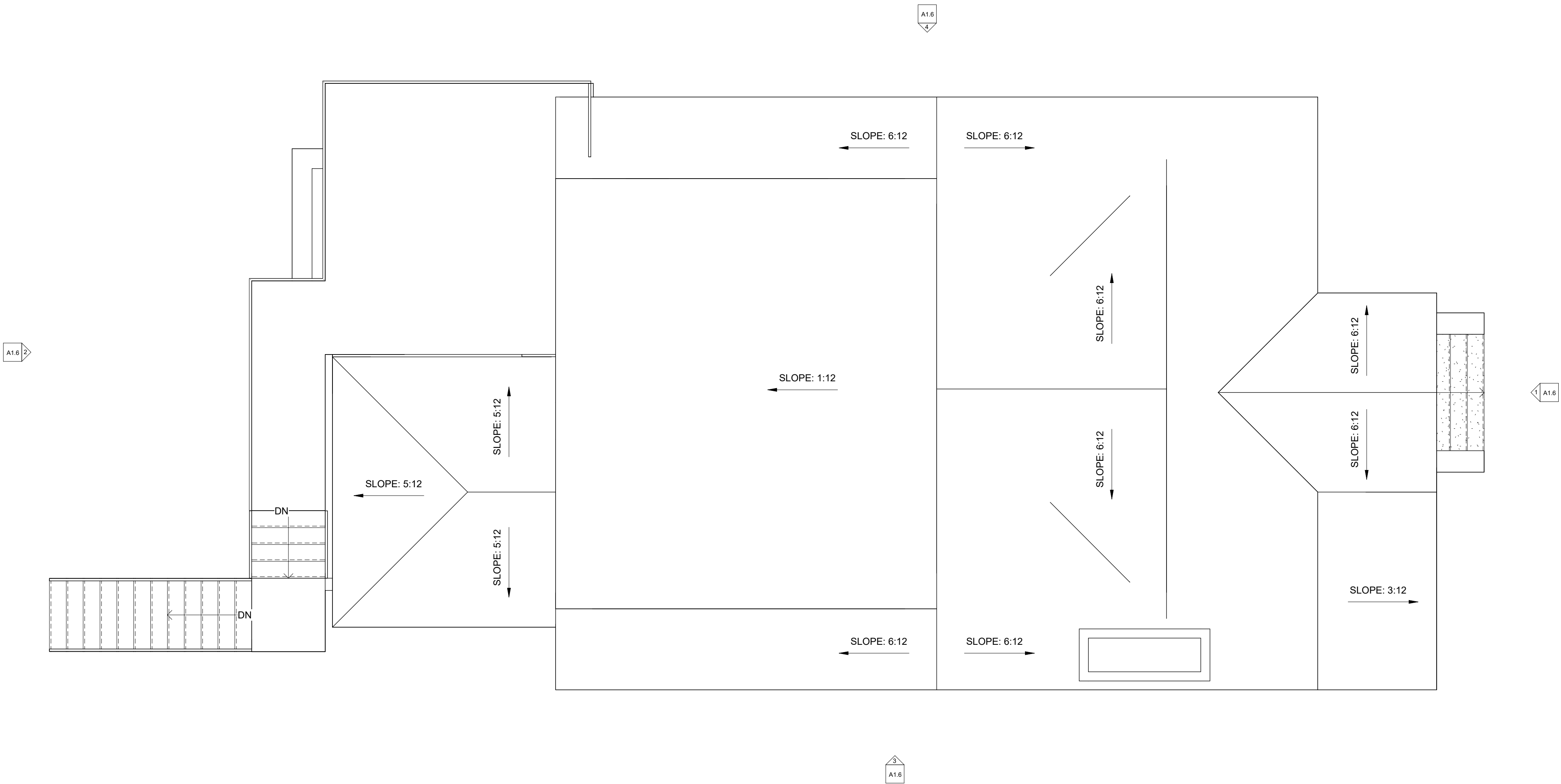
DERN PROJECT NUMBER
2515

DATE
10/24/2025

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SHEET TITLE
EXISTING ROOF PLAN

SHEET NO.
A1.5



1 EXISTING ROOF PLAN
1/4" = 1'-0"



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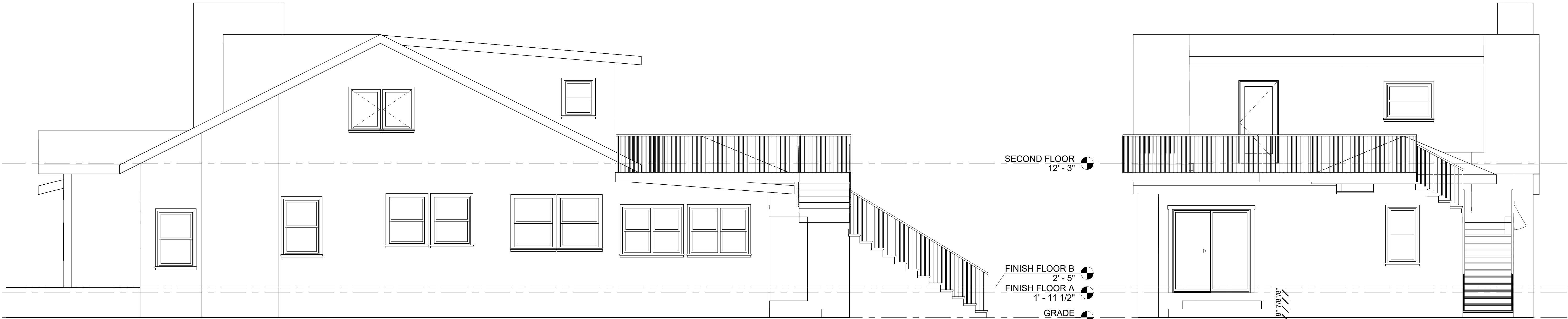
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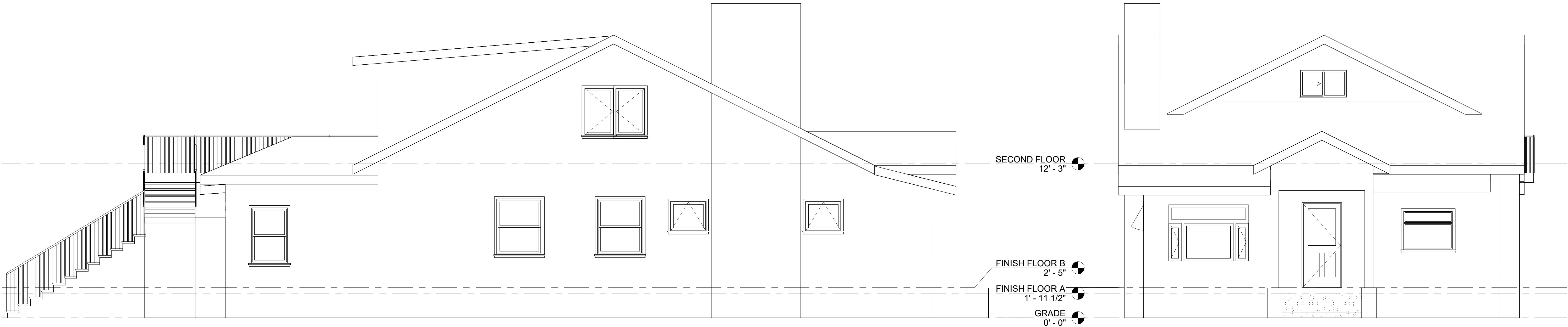
SHEET TITLE
EXISTING BUILDING
ELEVATIONS

SHEET NO.
A1.6



④ EXISTING SOUTHWEST ELEVATION
1/4" = 1'-0"

② EXISTING BACK ELEVATION
1/4" = 1'-0"



③ EXISTING NORTHEAST ELEVATION
1/4" = 1'-0"

① FRONT ELEVATION
1/4" = 1'-0"



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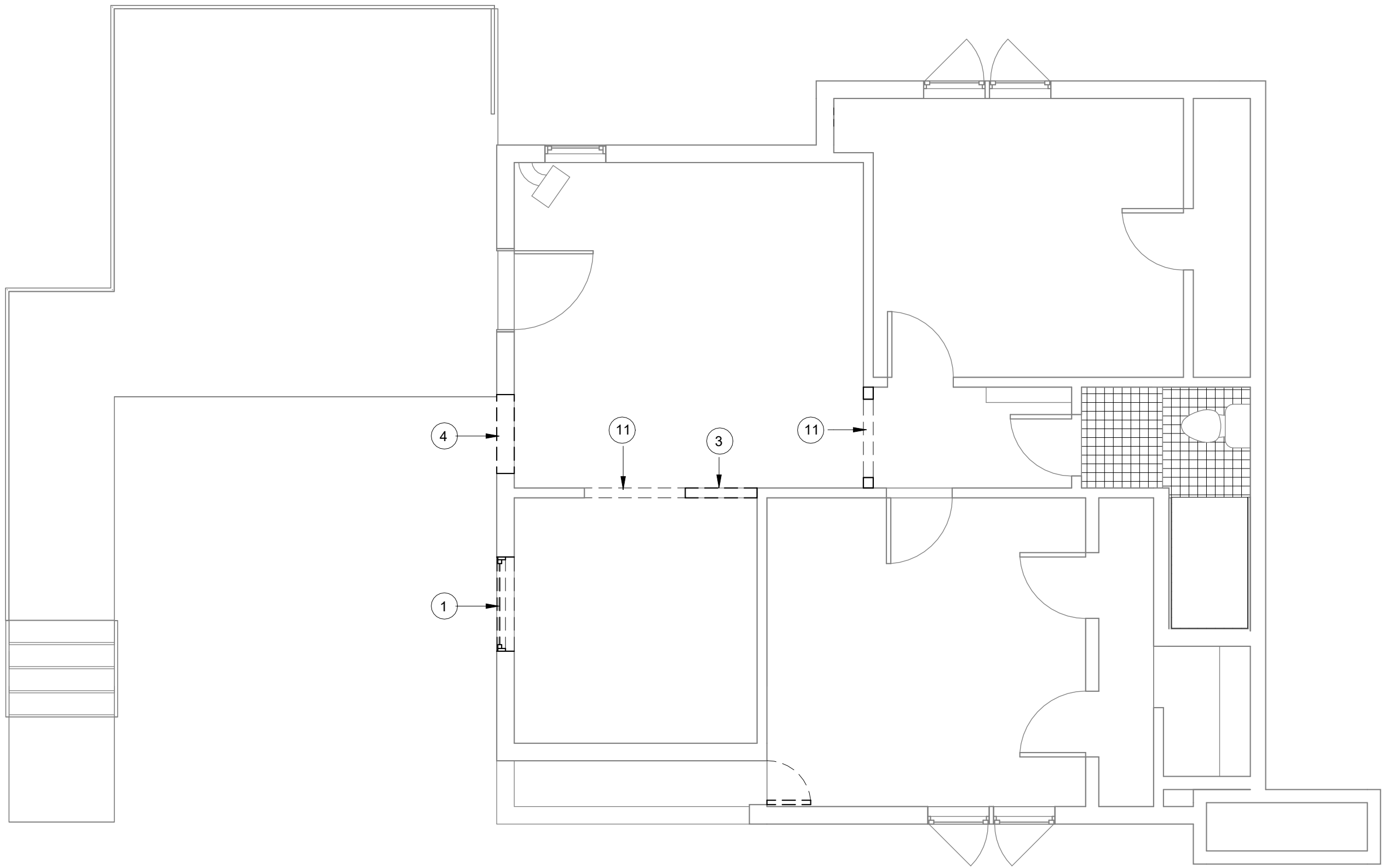
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SHEET TITLE
DEMOLITION FLOOR
PLANS

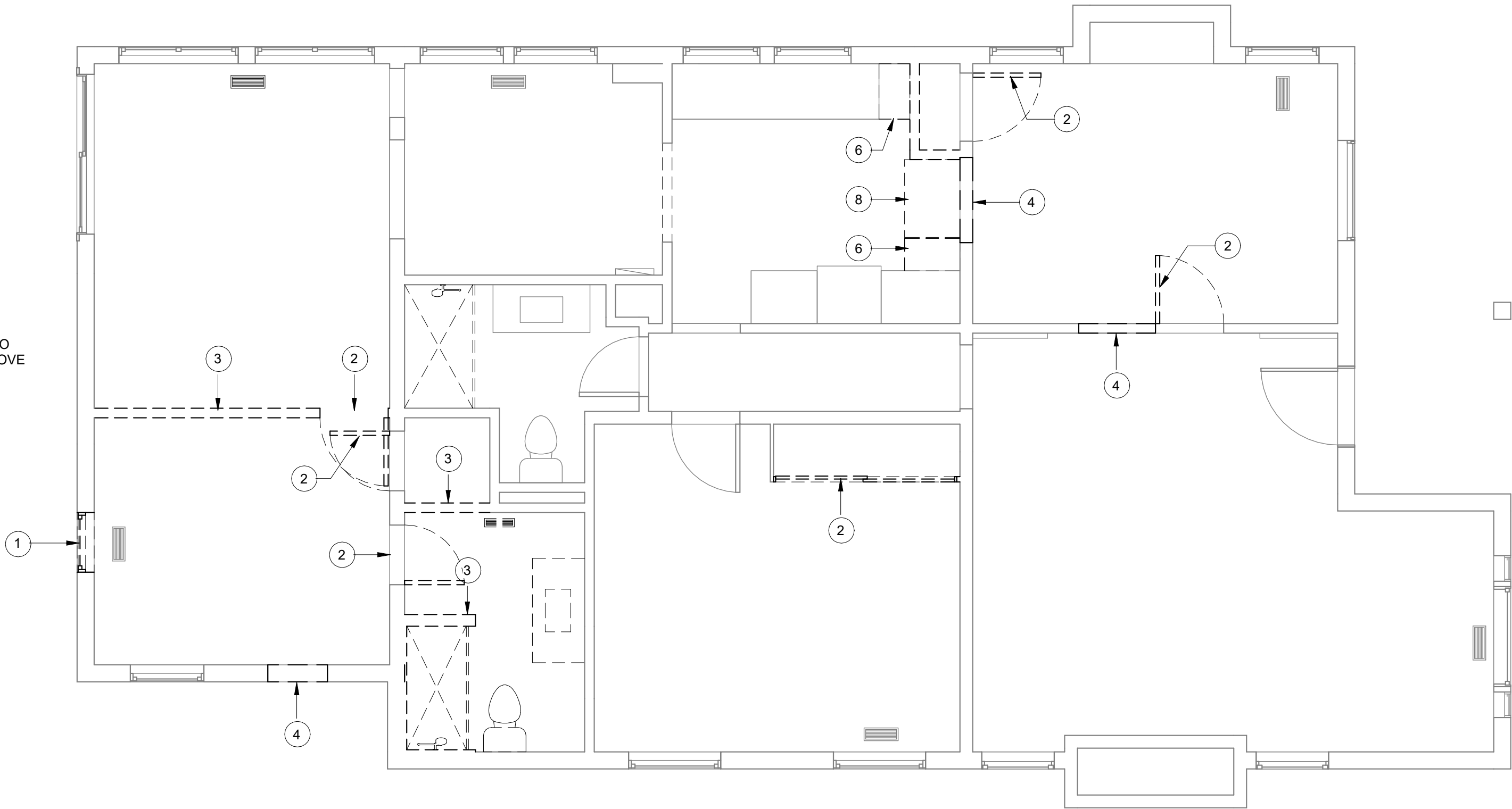
SHEET NO.
A2.1



② DEMOLITION SECOND FLOOR PLAN
1/4" = 1'-0"

DEMOLITION KEYNOTES

- ① REMOVE (E) WINDOW, KEEP FOR RELOCATION
- ② REMOVE (E) DOORS AND FRAMES, TYP.
- ③ REMOVE (E) WALL FRAMING & FINISHES, SEE (N) FLOOR PLAN
- ④ REMOVE (E) WALL SEGMENT FOR (N) WINDOW OR DOOR FRAMING, SEE (N) FLOOR PLAN
- ⑤ REMOVE (E) FLOORING
- ⑥ REMOVE (E) COUNTER & CABINETRY BELOW
- ⑦ REMOVE (E) CABINETRY
- ⑧ REMOVE (E) APPLIANCE, KEEP FOR RELOCATION
- ⑨ REMOVE (E) FIXTURES
- ⑩ REMOVE (E) COLUMN
- ⑪ REMOVE (E) PASS-THROUGH FRAMING AND WIDEN ENTRY TO THE HALLWAY. PREPARE TRANSITIONS TO HAVE ALIGNED CEILING FINISHES WITH HEADER ABOVE



① DEMOLITION GROUND FLOOR PLAN
1/4" = 1'-0"



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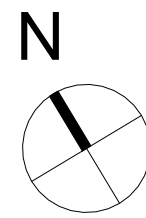
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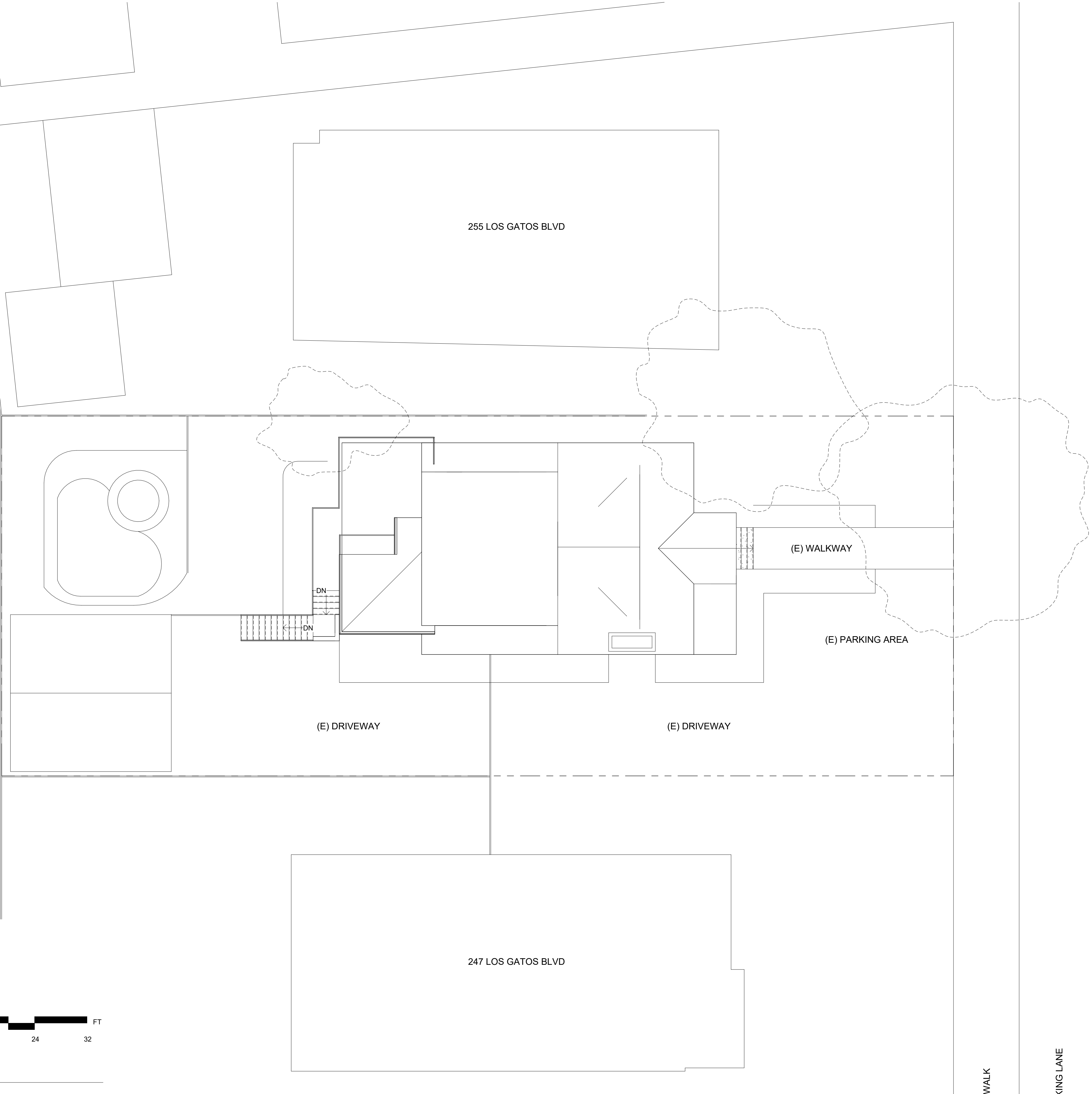
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SHEET TITLE
PROPOSED SITE PLAN

SHEET NO.
A3.1



1 PROPOSED SITE PLAN
1/8" = 1'-0"





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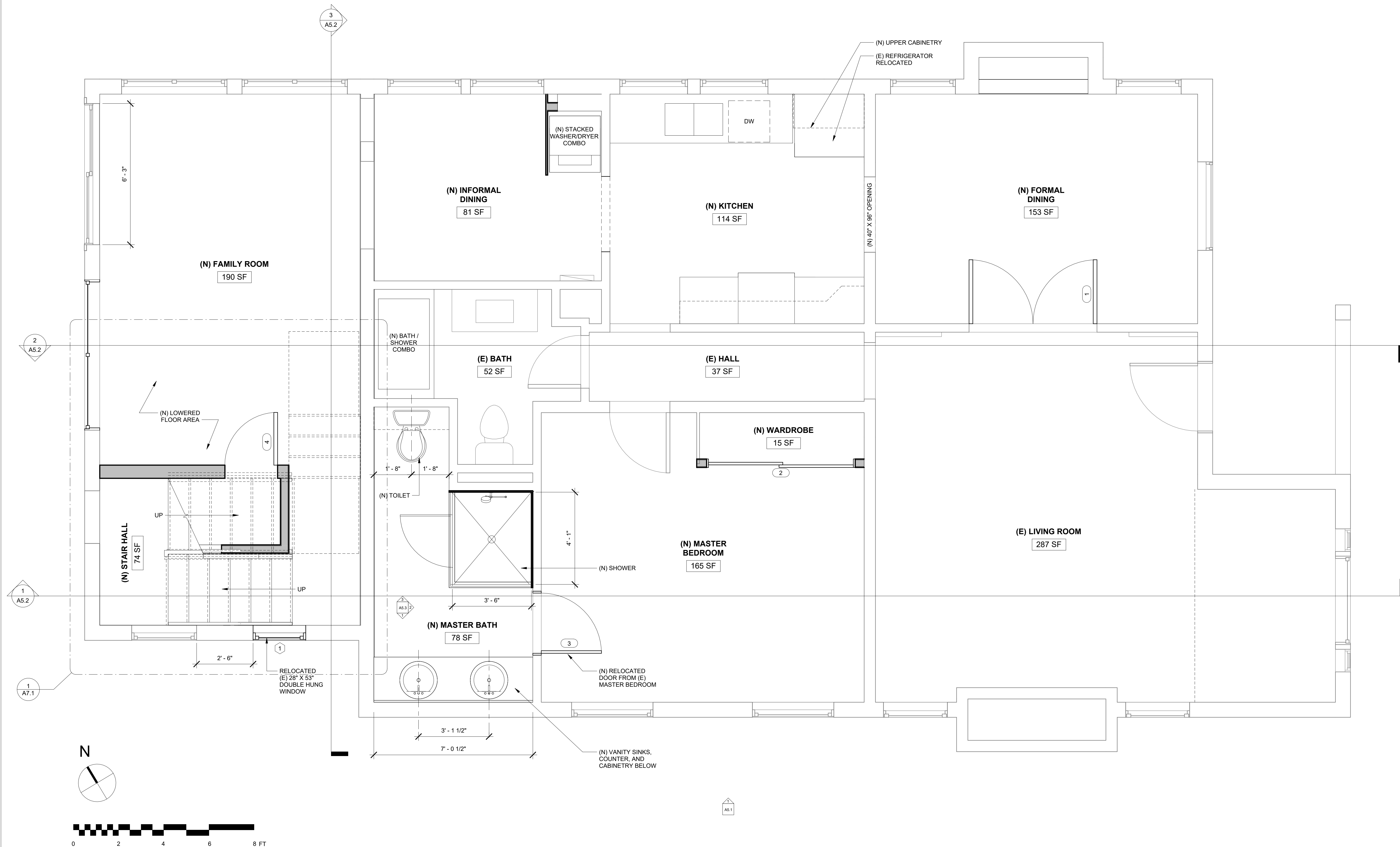
DATE
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SHEET TITLE
**PROPOSED GROUND
FLOOR PLAN**

SHEET NO.

A3.2



3 PROPOSED GROUND FLOOR PLAN
1/2" = 1'-0"



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2515

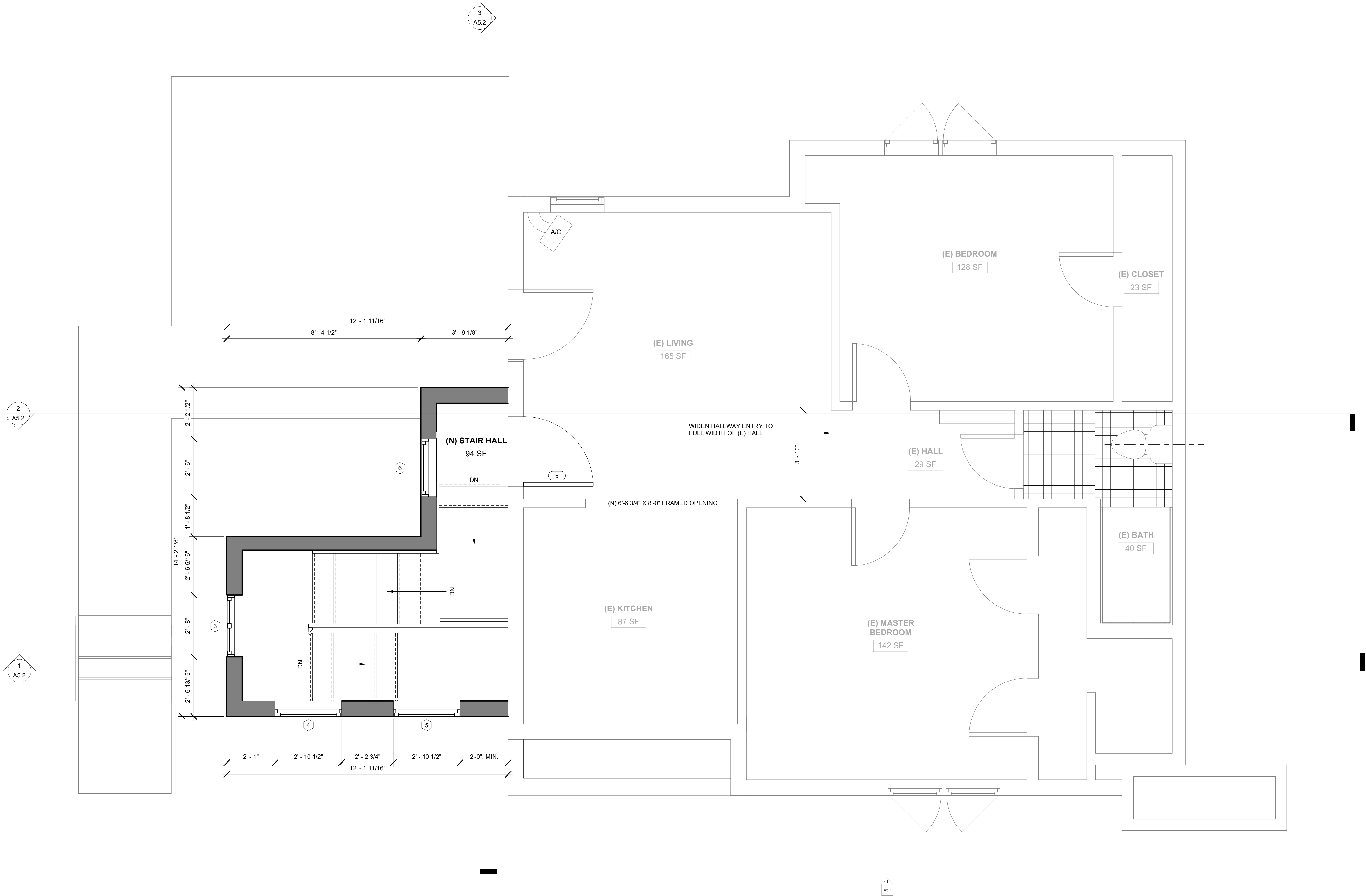
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SHEET TITLE
PROPOSED SECOND FLOOR FLOOR PLAN

SHEET NO.

A3.3



1 PROPOSED SECOND FLOOR
1/2" = 1'-0"



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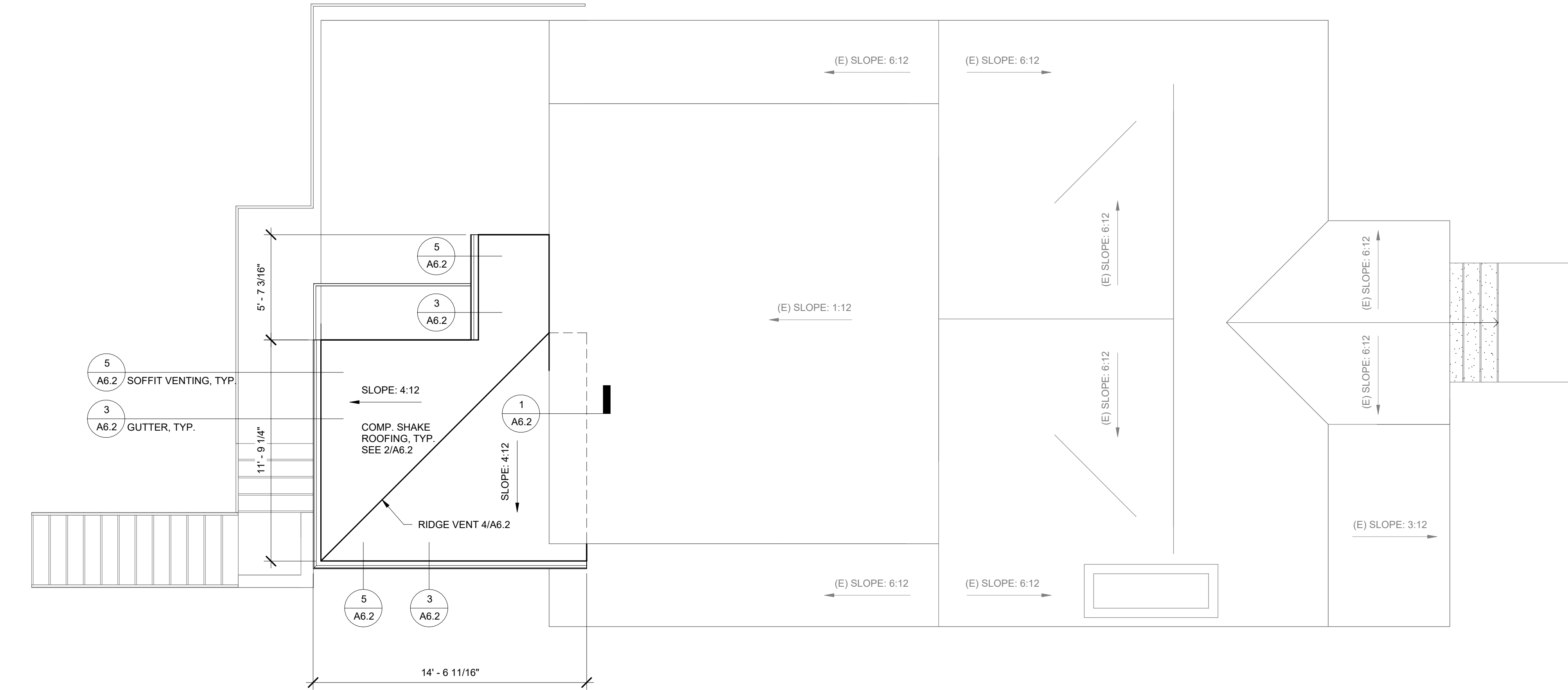
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SHEET TITLE
PROPOSED ROOF PLAN

SHEET NO.
A4.1



(N) ATTIC VENTING CALCULATIONS

THE MINIMUM NET FREE VENTILATING AREA (NFVA) SHALL BE 1 SF / 150SF OF THE AREA OF THE VENTED SPACE.

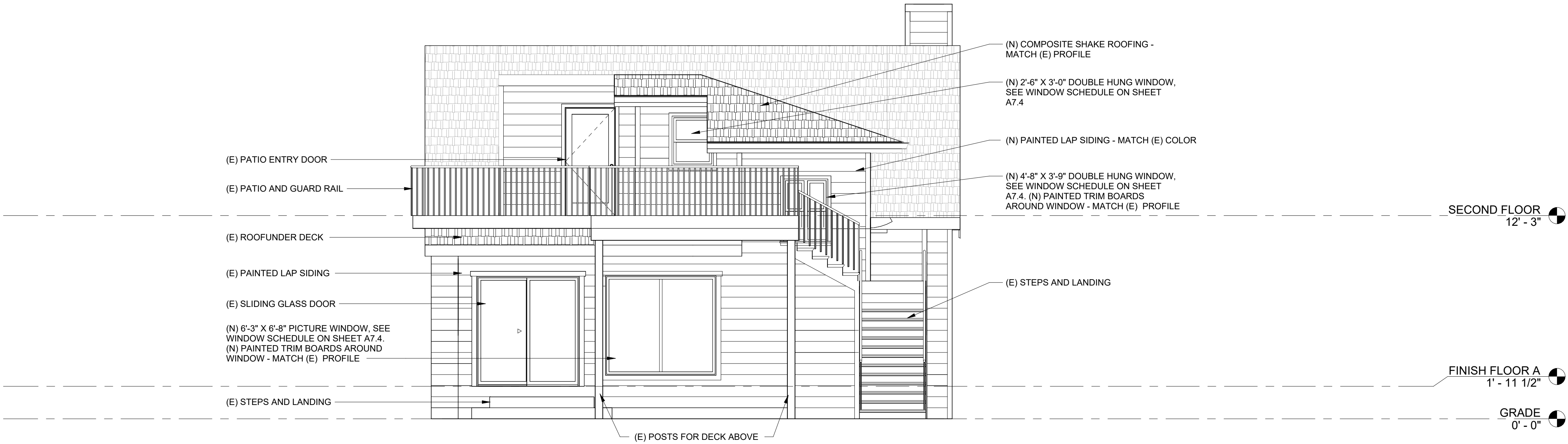
REQUIRED:
95 SF OF (N) ATTIC AREA

USING 95 SF / 150 SF = 0.634 SF ATTIC VENTILATION OPENINGS

0.634 SF X 144 SQ. IN. = 91.2 SQ. IN. FOR EACH INTAKE AND EXHAUST NFVA

EAVE VENT OF 91.2 SQ. IN.
2" x 45 LINEAR INCHES EAVE VENT = 766 SQ. IN. PROVIDED

RIDGE VENT OF 91.2 SQ. IN.
20 SQ. IN. PER LINEAR FT. ~ 4.46" MIN.
PROVIDING FULL LENGTH OF RIDGE LINE OF 31'-11"



PROPOSED ELEVATION - BACK OF
HOUSE
③ 1/4" = 1'-0"



PROPOSED NORTHWEST ELEVATION
① 1/4" = 1'-0"

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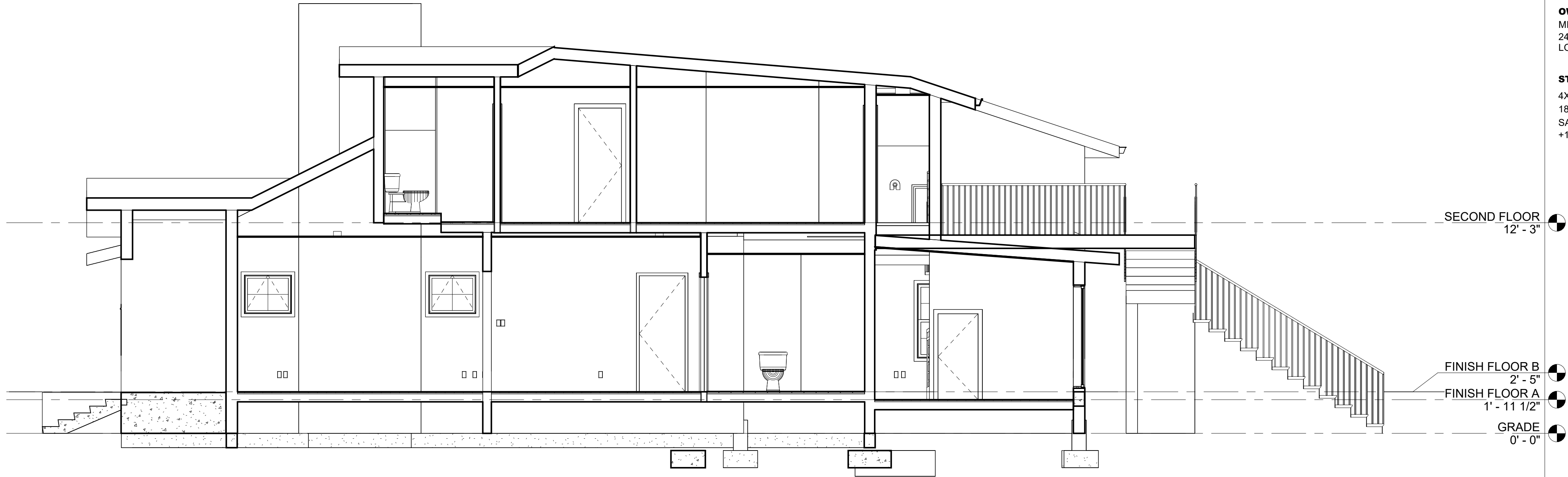
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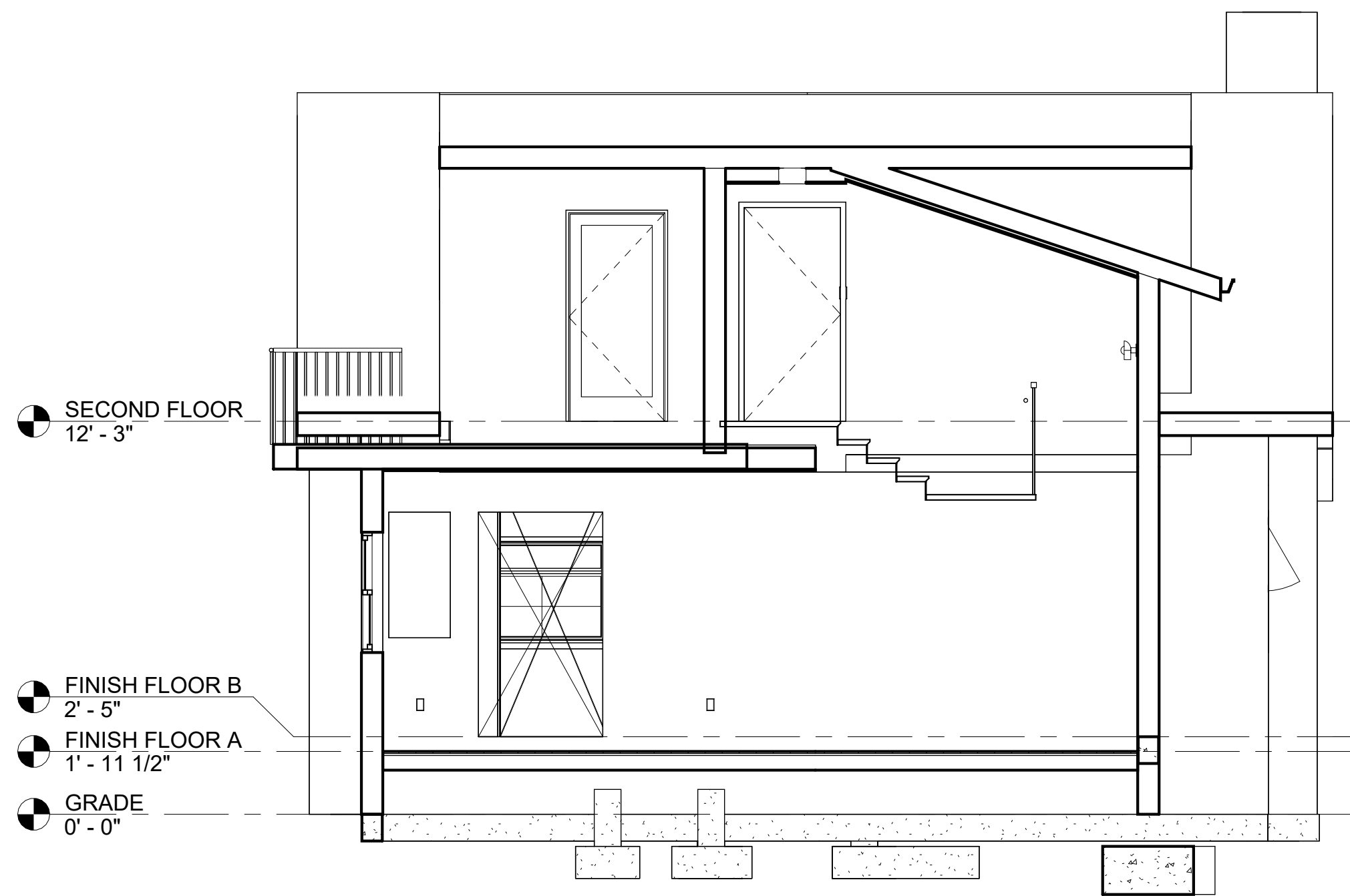
SHEET TITLE
PROPOSED BUILDING
ELEVATIONS

SHEET NO.

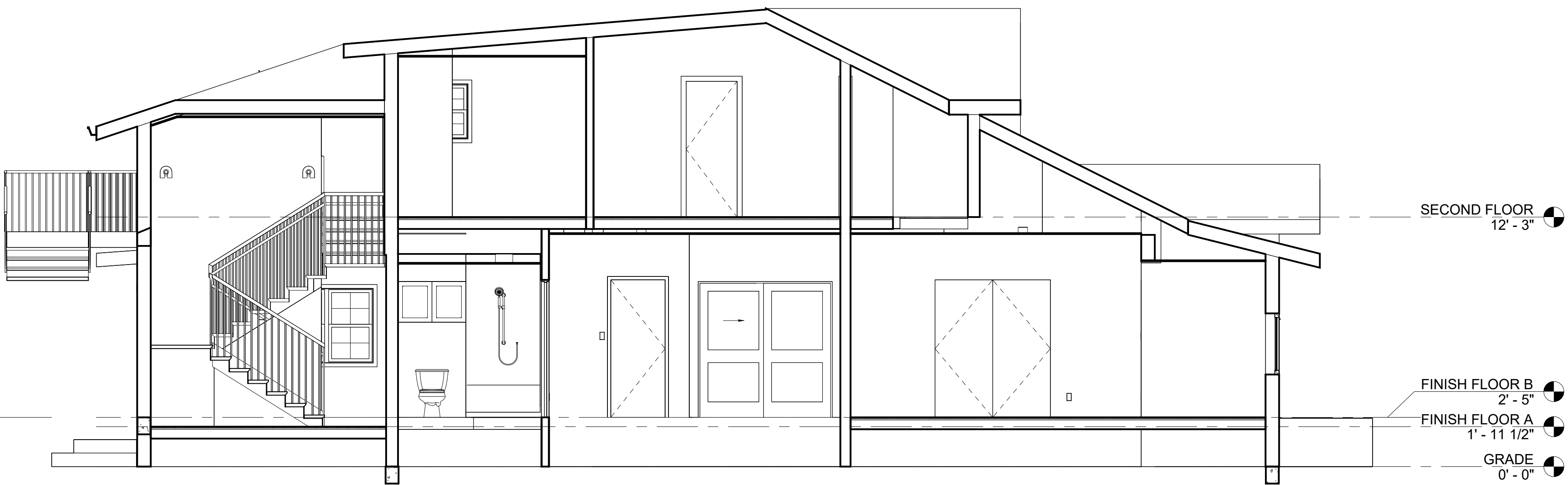
A5.1



② PROPOSED LONGITUDINAL SECTION B
1/4" = 1'-0"



③ PROPOSED TRANSVERSE SECTION C
1/4" = 1'-0"



① PROPOSED LONGITUDINAL SECTION A
1/4" = 1'-0"

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SHEET TITLE
PROPOSED BUILDING SECTIONS

SHEET NO.
A5.2



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No.		

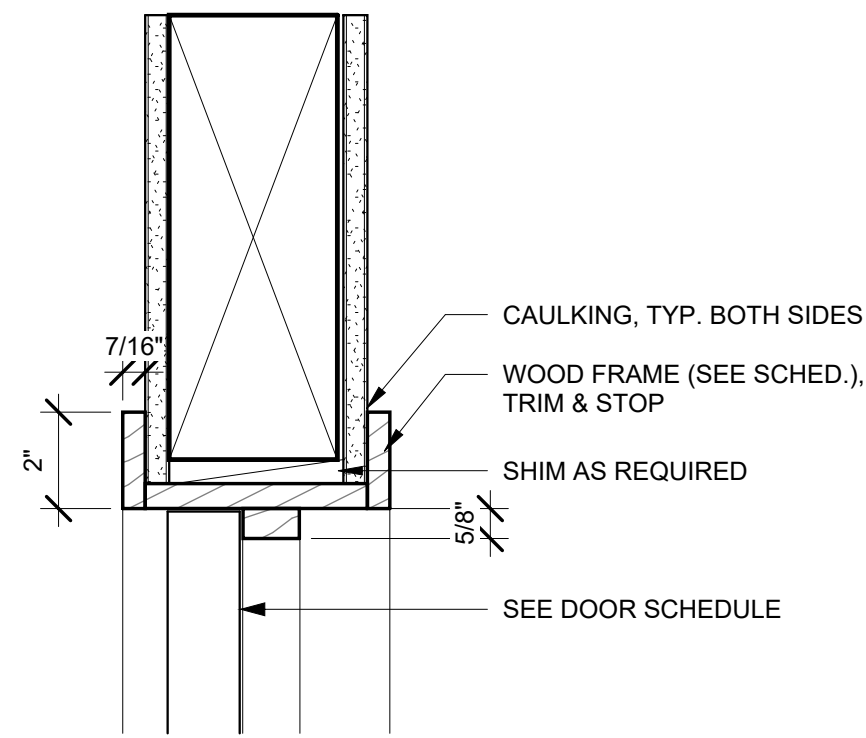
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2515

DATE
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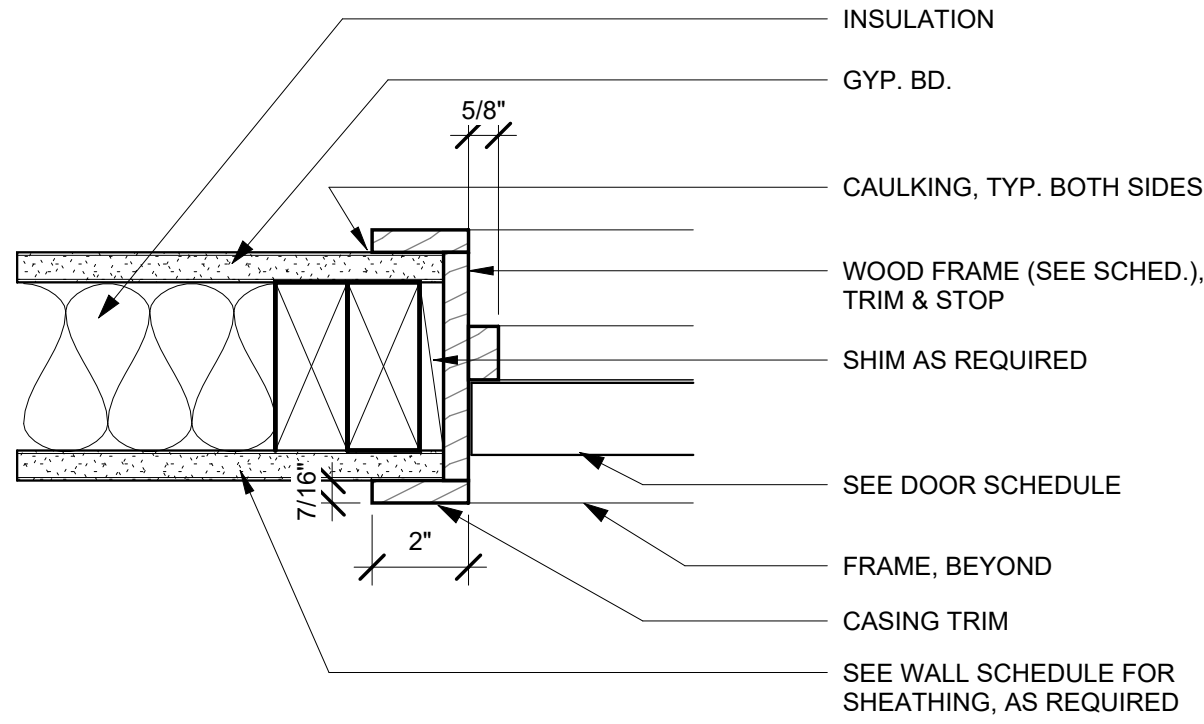
ISSUE
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SHEET TITLE
DOOR SCHEDULE,
HARDWARE, & DETAILS

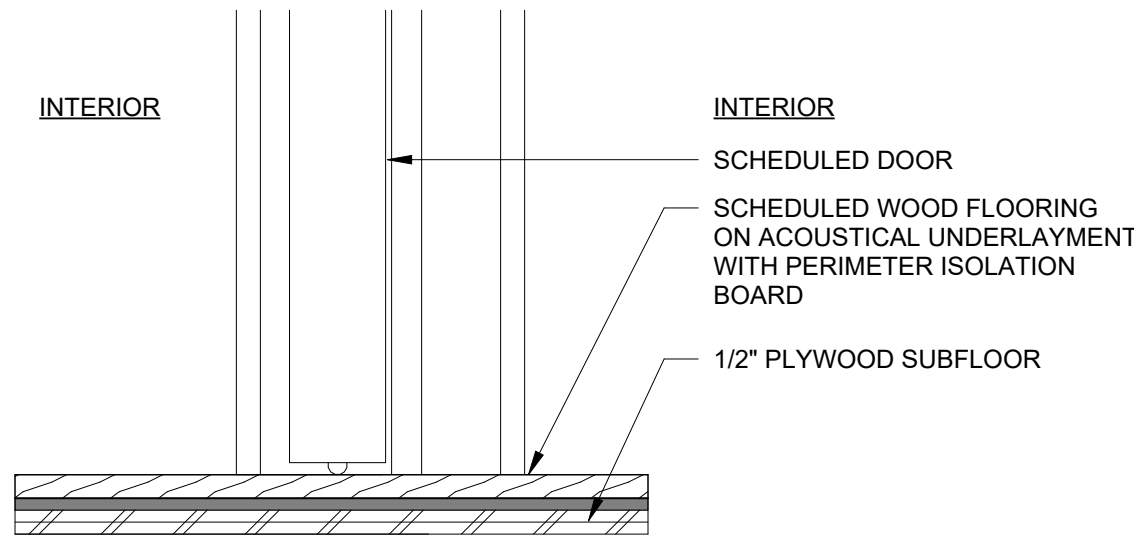
SHEET NO.
A7.2



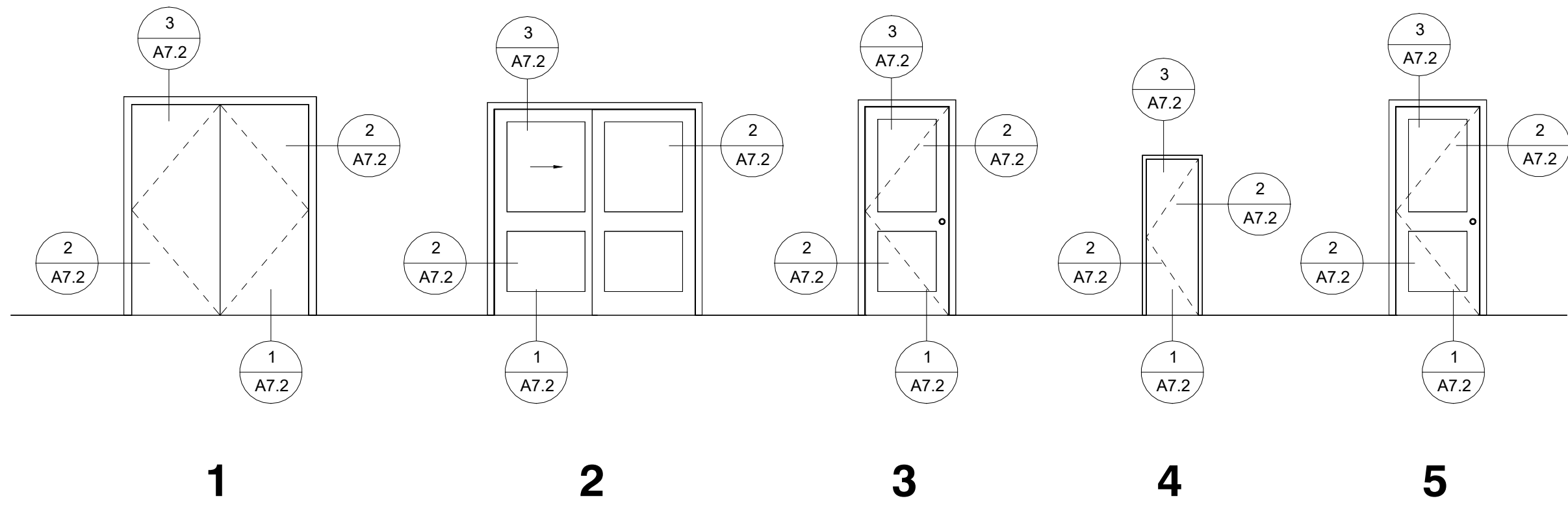
3 INTERIOR WOOD DOOR HEAD
3" = 1'-0"



2 INTERIOR WOOD DOOR JAMB
3" = 1'-0"



1 INTERIOR WOOD DOOR THRESHOLD
3" = 1'-0"



DOOR
SCHEDULE

DOOR NO.	DOOR TYPE	MATERIAL	WIDTH & HEIGHT	THICKNESS	FINISH MATERIAL	FRAME MATERIAL	THICKNESS	FINISH	HARDWARE GROUP	NOTES
1	1	(N) WOOD	5'-8" X 6'-9"	1-3/4"	PAINT	WOOD	1 1/2"	PAINT	2	(N) INTERIOR DOUBLE DOOR SET
2	2	(N) WOOD	6'-6" X 6'-8"	1-3/4"	PAINT	WOOD	1 1/2"	PAINT	2	(N) SLIDING CLOSET DOOR SET
3	3	(E) WOOD	2'-8" X 6'-8"	(E)	PAINT	WOOD	1 1/2"	PAINT	(E)	(N) INTERIOR PASSAGE DOOR
4	4	(N) WOOD	2'-4" X 5'-0"	1-3/4"	PAINT	WOOD	1 1/2"	PAINT	3	(N) UNDER-STAIR CLOSET DOOR
5	5	(E) WOOD	2'-8" X 6'-8"	1-3/4"	PAINT	WOOD	1 1/2"	PAINT	2	(N) STAIR HALL PASSAGE DOOR

HARDWARE GROUPS

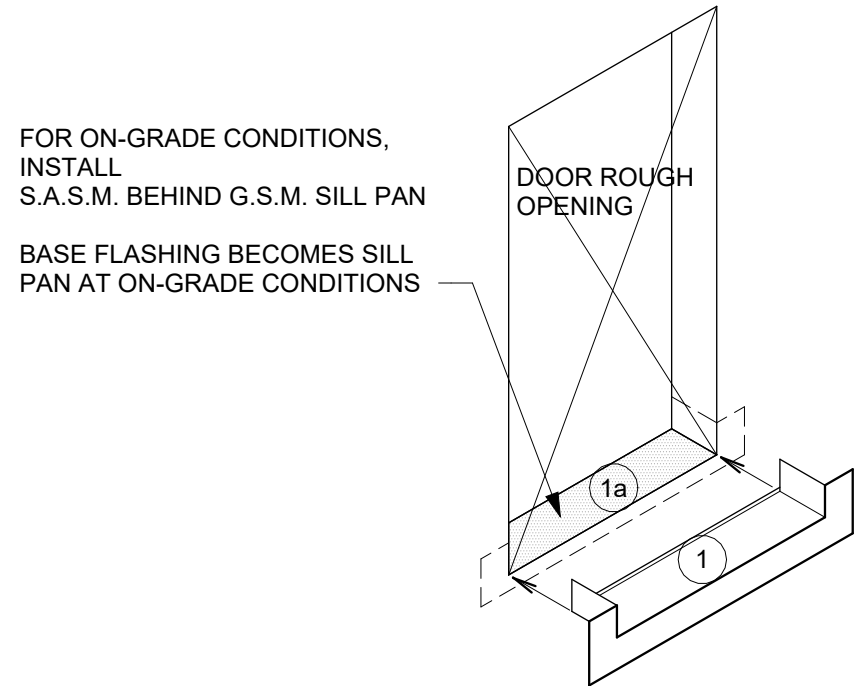
GROUP 1 (ENTRY DOOR) HINGES LOCKSET CYLINDER CORE STRIKE	PRE-HUNG DOORSET, PER MFG. PER MFG. PER MFG. PER MFG.
GROUP 2 (INTERIOR PASSAGE DOOR) BARN DOOR TOP RAIL & HARDWARE LOCKSET	PRE-HUNG DOORSET, PER MFG. PER MFG.
GROUP 3 (CLOSET DOOR) HINGES LOCKSET	PRE-HUNG DOORSET, PER MFG. SCHLAGE LATITUDE PASSAGE/DUMMY DOORSET, SATIN NICKEL 10LAT625
GROUP 4 (BATHROOM DOOR) HINGES LOCKSET CYLINDER CORE STRIKE	PRE-HUNG DOORSET, PER MFG. PER MFG. PER MFG. PER MFG.

GENERAL NOTES

- DOORS TO BE OPENABLE FROM THE INSIDE WITHOUT USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
- THRESHOLDS SHALL NOT EXCEED ½" IN HEIGHT.
- BOTH SIDES OF DOORS SHALL BE FINISHED THE SAME, U.O.N.
- DOORS WITH GLASS HAVE TEMPERED GLASS, TYP.

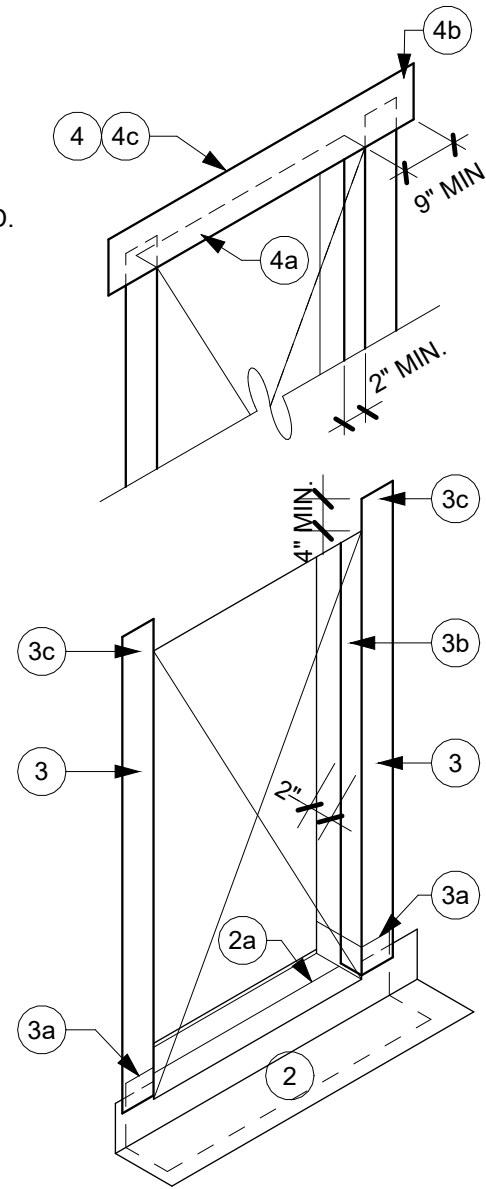


- STEP 1**
0. ENSURE ROUGH OPENING CAPABLE OF ACCOMMODATING FLASHING AND ALL APPLICABLE WATERPROOFING ELEMENTS.
1. INSTALL G.S.M. BASE FLASHING
- 1a. SET FLASHING IN BED OF SEALANT
- NOTE:
SEE DETAIL 2/- FOR DOOR SILL PAN AT PODIUM OR BALCONY CONDITION
- STEP 1 & 2 TO BE 1 PIECE OR BOTH INSTALLED PRIOR TO WATERPROOFING.

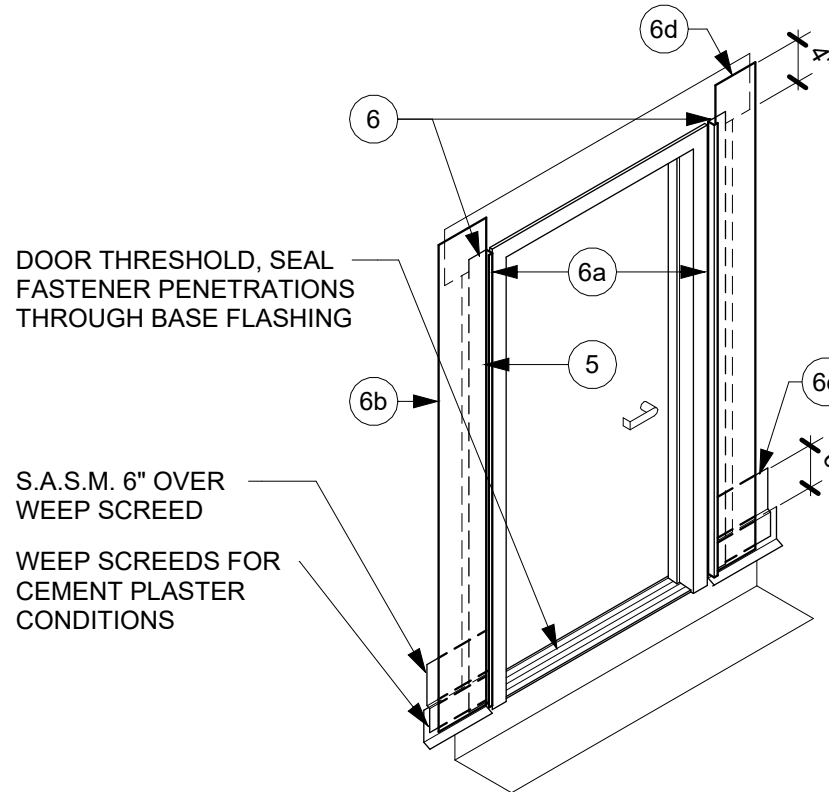


- STEPS 2 AND 3**
2. INSTALL UNCURED NEOPRENE FLASHING OVER BASE FLASHING
- 2a. WRAP NEOPRENE INTO ROUGH OPENING
3. ATTACH MINIMUM 9" WIDE JAMB S.A.S.M. TO FACE
- 3a. EXTEND G.S.M. BASE FLASHING JAMB FLANGES
- 3b. WRAP 2" ONTO INSIDE OF ROUGH OPENING JAMBS
- 3c. EXTEND 4" ABOVE LOWER EDGE OF ROUGH OPENING HEAD. INSTALL WITHOUT WRINKLES & INSTALL WITH ROLLER
- NOTE:
STEP 1 & 2 TO BE 1 PIECE OR BOTH INSTALLED PRIOR TO WATERPROOFING

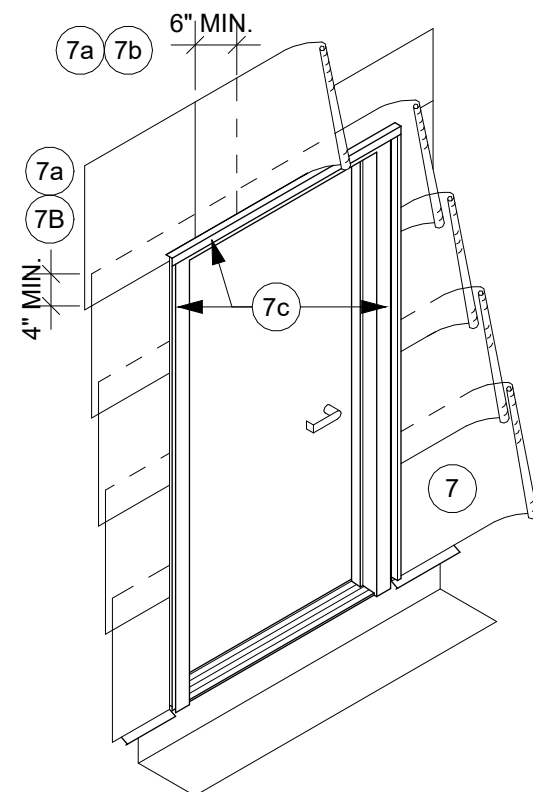
- STEP 4**
4. ATTACH MINIMUM 9" WIDE HEAD STRIP
- 4a. WRAP BOTTOM EDGE 2" INTO ROUGH OPENING
- 4b. EXTEND BEYOND EDGE OF ROUGH OPENING HEAD MINIMUM 9"
- 4c. SECURE PER MFR. SPECIFICATIONS ACROSS CONT. SUBSTRATE



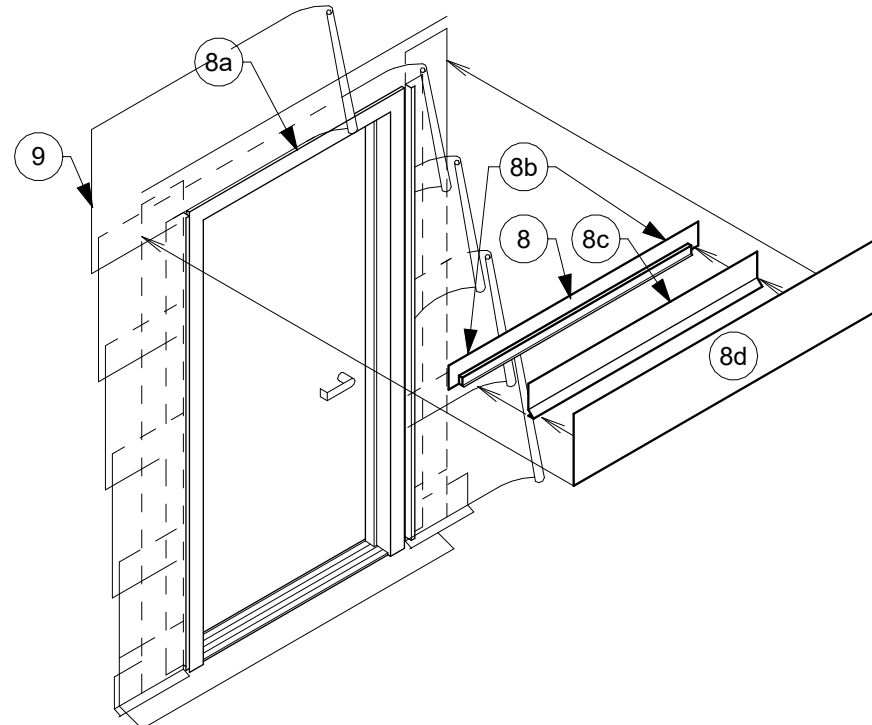
- STEP 5 AND 6**
5. INSTALL DOOR AND DRAPE
6. ATTACH FINISH MATERIAL TERMINATION (J-MOLD OR ANGLE FLASHING, ETC.) OVER FIRST LAYER OF MEMBRANE FLASHING
- 6a. LEAVE 1/2" GAP FROM FRAME OVER FIRST LAYER OF FLASHING
- 6b. INSTALL ADDITIONAL 9" WIDE S.A.S.M. OVER FINISH MATERIAL TERMINATION FLANGE
- 6c. INSTALL STRIP OVER WEEP SCREED AT CEMENT PLASTER CONDITION
- 6d. EXTEND JAMB STRIPS FROM SILL TO 4" ABOVE BOTTOM OF HEADER



- STEP 7**
7. COMMENCING AT THE BOTTOM (SILL PLATE) OF THE WALL, LAY BUILDING PAPER (FIRST AND SECOND LAYERS)
- 7a. MINIMUM 4" VERTICAL LAP AND MINIMUM 6" HORIZONTAL LAP
- 7b. INTERWEAVE INDIVIDUAL BUILDING PAPER SHEETS
- 7c. INSTALL BACKER ROD AND SEALANT ALONG DOOR FRAME PERIMETER



- STEPS 8 AND 9**
8. INSTALL G.S.M. HEAD FLASHING, 24 GA. MIN.
- 8a. SET HEAD FLASHING IN BEAD OF SEALANT AT DOOR FRAME TO PROVIDE AIR SEAL
- 8b. END CAPS AT HEAD FLASHING OVER PLASTER J-MOLD AND SEALANT JOINT AT JAMBS
- 8c. INSTALL HEAD DRIP SCREED OVER HEAD FLASHING AT CEMENT PLASTER CONDITIONS
- 8d. INSTALL ADDITIONAL 9" STRIP OF S.A.S.M. OVER DRIP SCREED AND HEAD FLASHING FLANGE
9. APPLY THIRD LAYER OF BUILDING PAPER OVER ENTIRE ASSEMBLY. CONTINUE INSTALL W.R.B. ABOVE HEAD



GORINI RESIDENCE

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SHEET TITLE
TYPICAL DOOR FLASHING

SHEET NO.
A7.3



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No.		

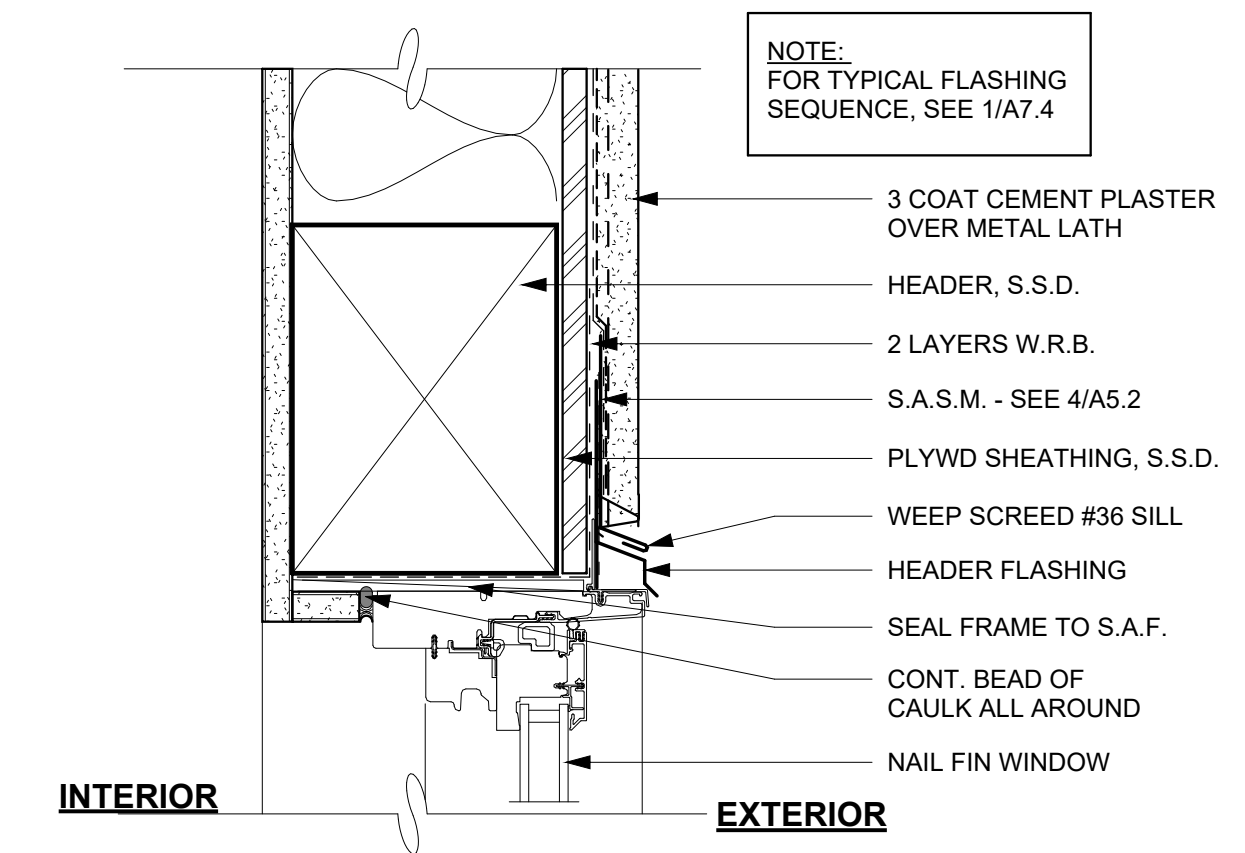
DERN PROJECT NUMBER
2515

DATE
10/24/2025

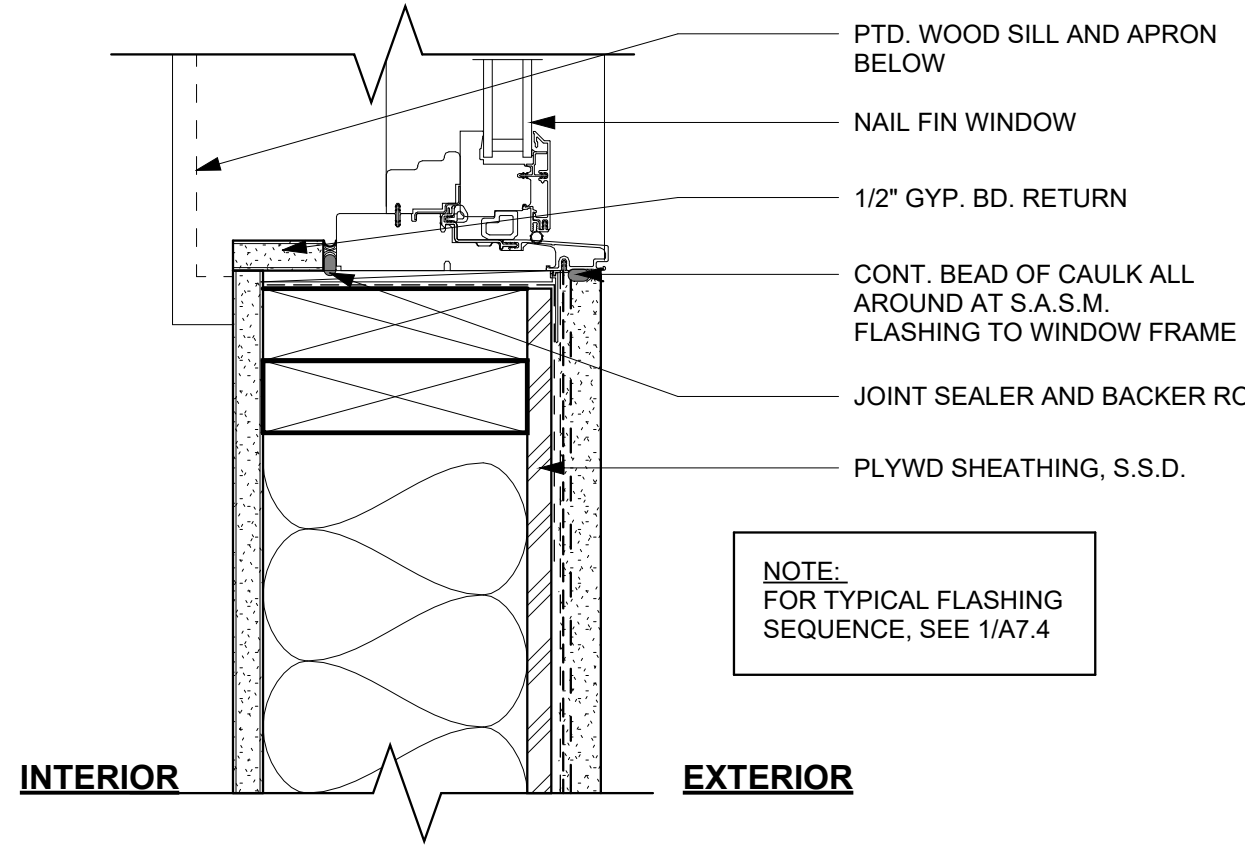
ISSUE
PERMIT

SHEET TITLE
WINDOW SCHEDULE &
DETAILS

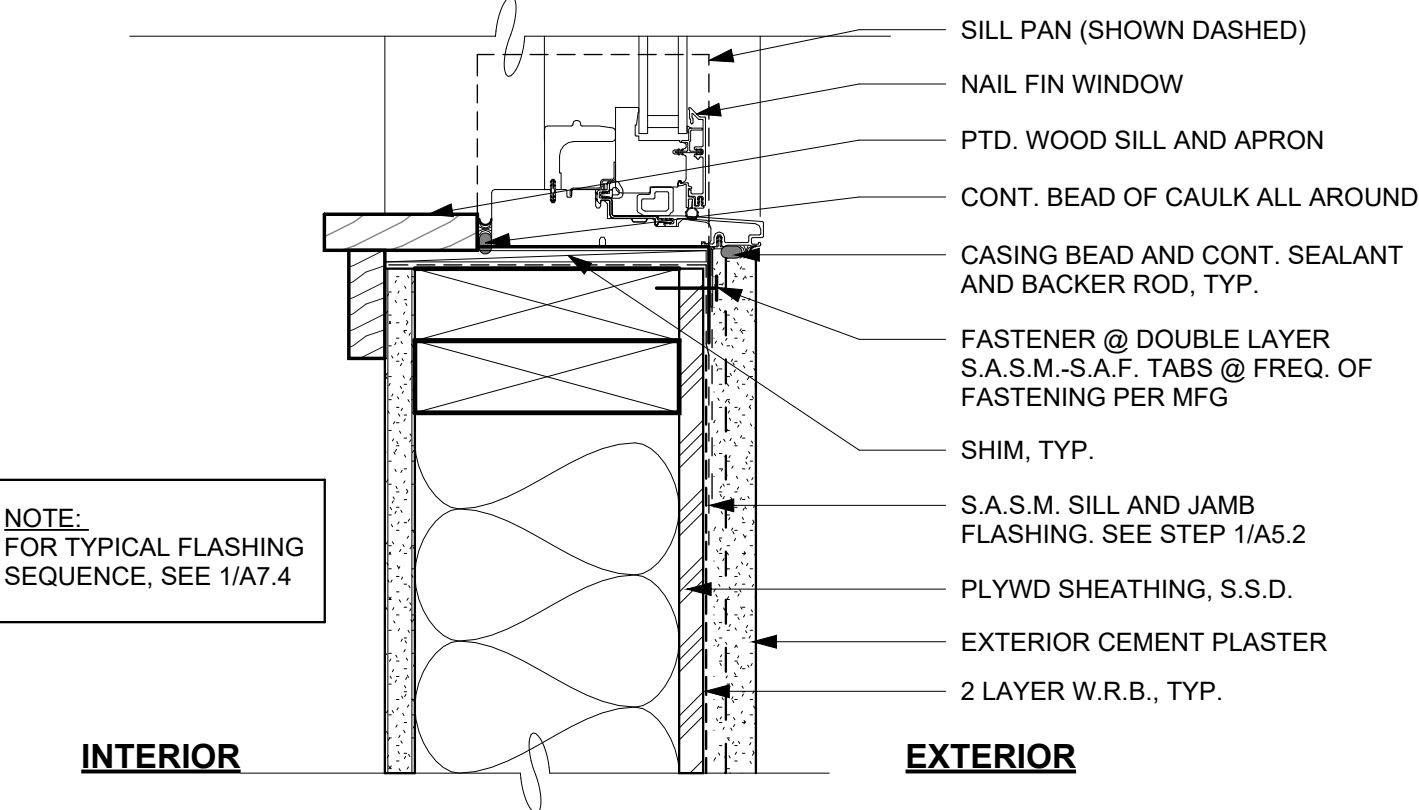
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A7.4



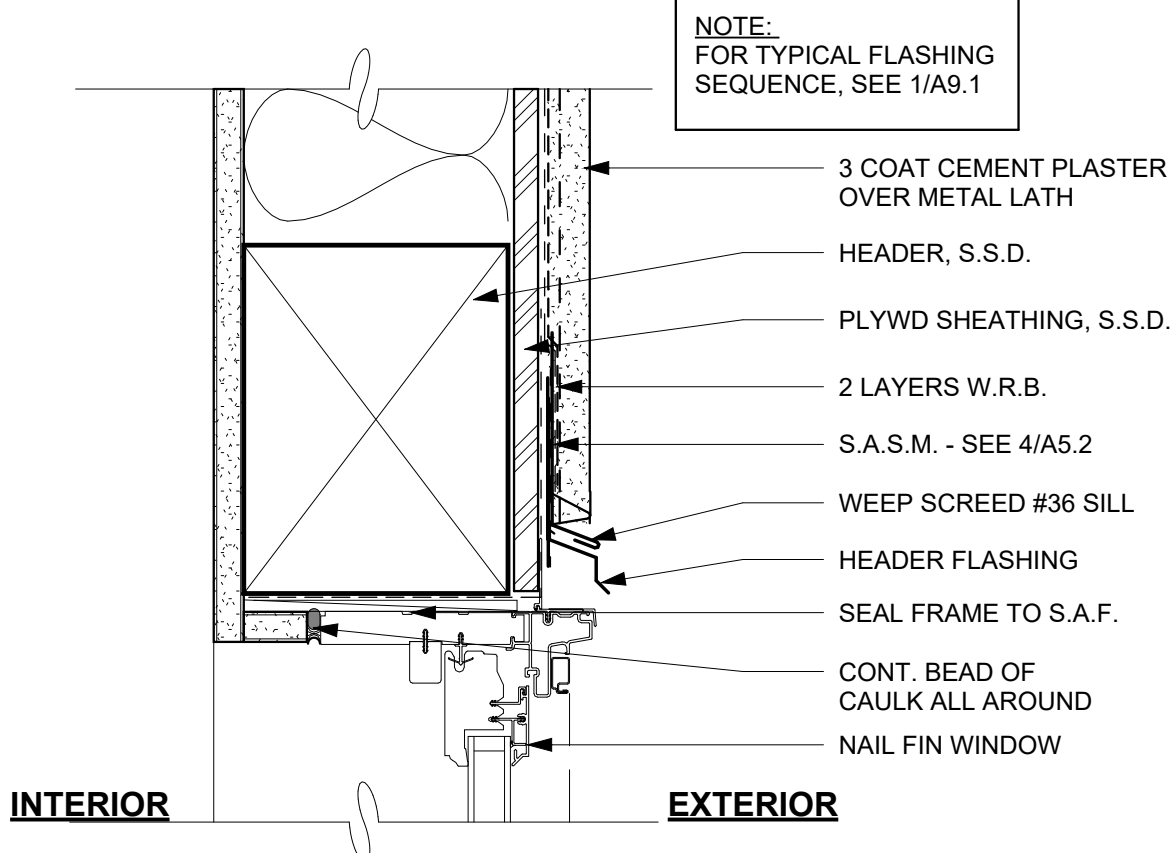
7 FIXED GLASS HEADER
3" = 1'-0"



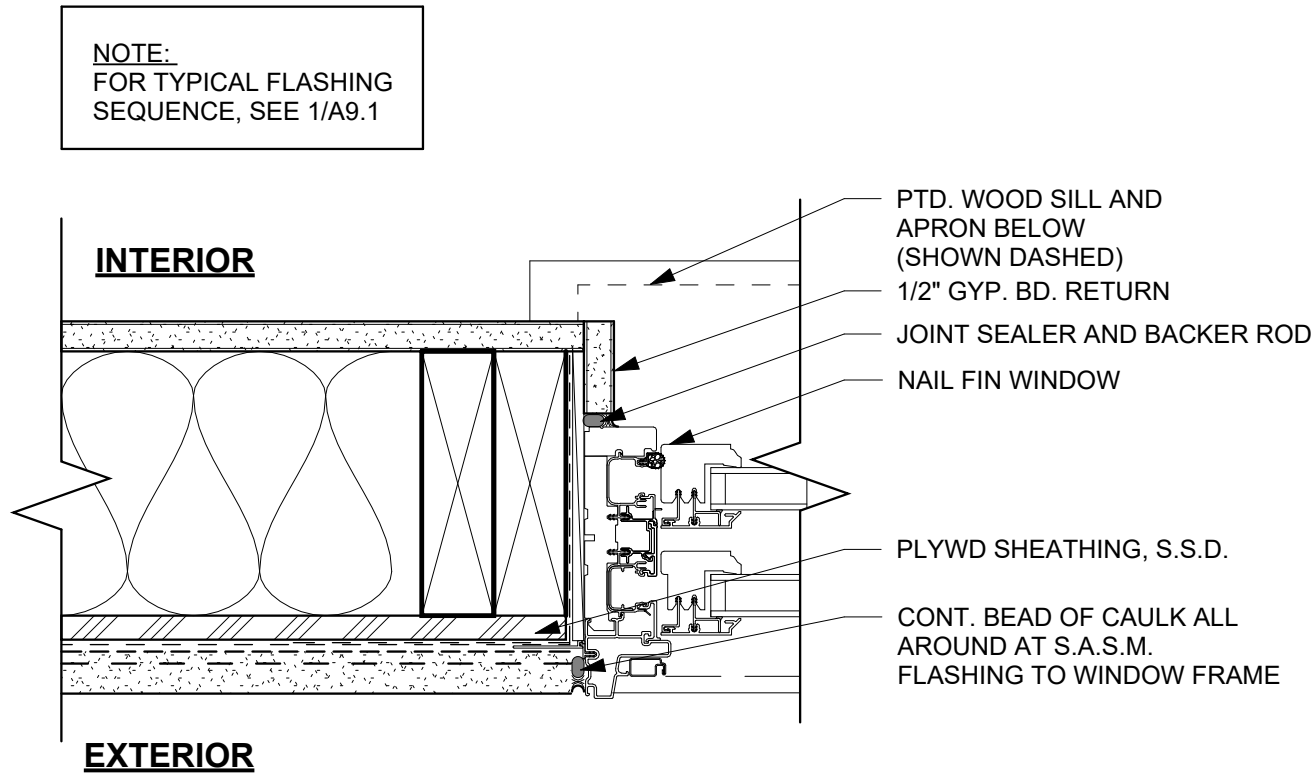
6 FIXED GLASS JAMB
3" = 1'-0"



5 FIXED GLASS SILL
3" = 1'-0"

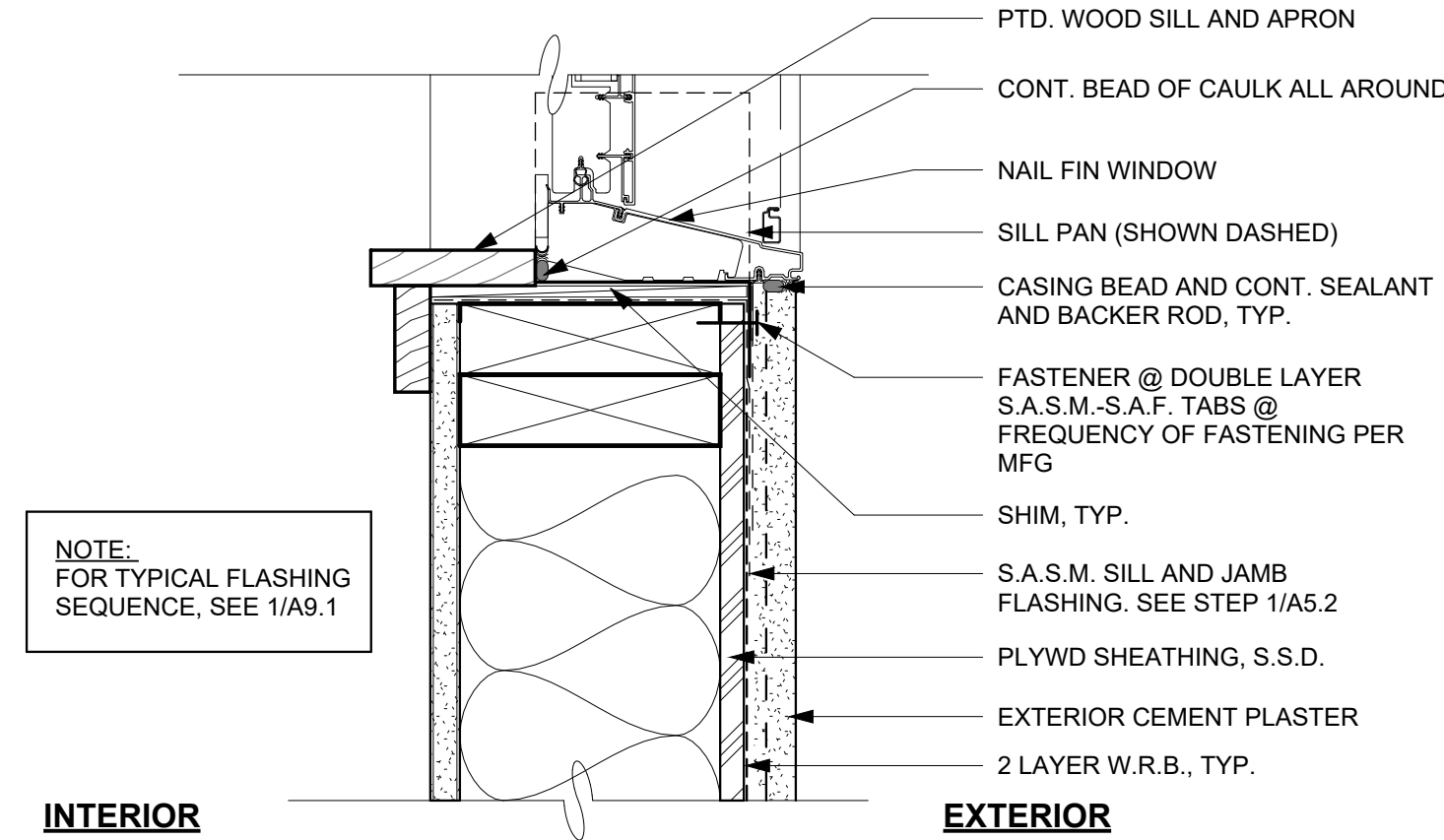


4 DOUBLE HUNG WINDOW HEADER
3" = 1'-0"

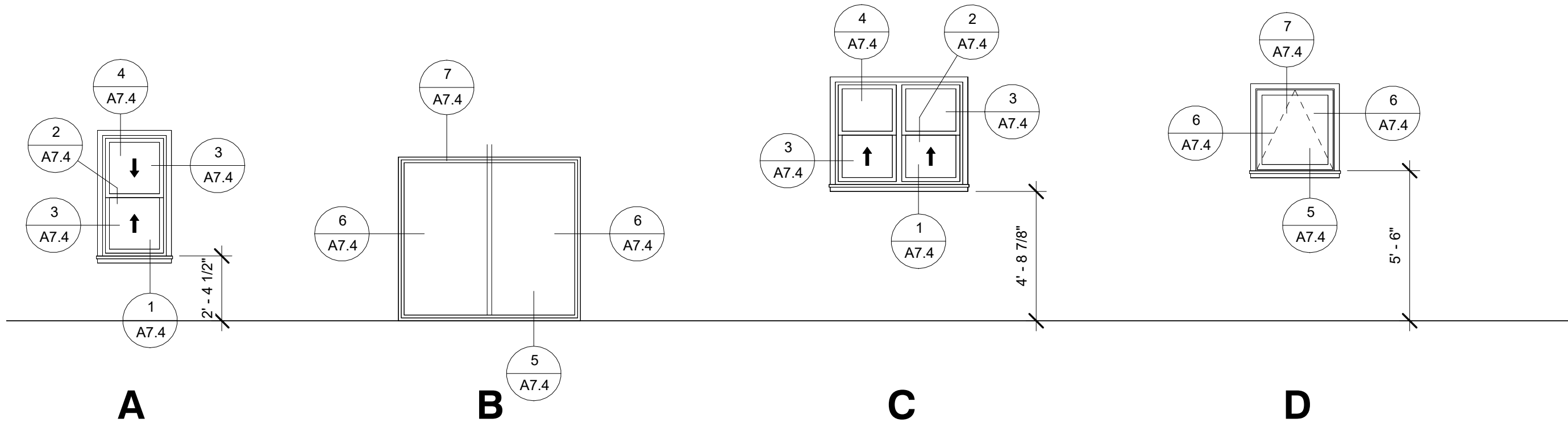


3 DOUBLE HUNG WINDOW JAMB
3" = 1'-0"

2 DOUBLE HUNG CHECKRAIL
6" = 1'-0"



1 DOUBLE HUNG WINDOW SILL
3" = 1'-0"



WINDOW
SCHEDULE

NUMBER	TYPE	MATERIAL	WIDTH & HEIGHT	FRAME THICKNESS	MATERIAL	FINISH	NOTES
1	A	(E)	2'-4" X 4'-5"	(E)	(E)	(E)	(E) DBL HUNG WINDOW RELOCATED
2	B	TEMPERED GLASS	6'-3" X 6'-8"	1"	VINYL	WHITE	(N) PICTURE WINDOW
3	C	GLASS	4'-8" X 3'-9"	1"	VINYL	WHITE	(N) DBL HUNG WINDOW
4	D	GLASS	2'-10 1/2" X 3'-0"	1"	VINYL	WHITE	(N) PICTURE WINDOW
5	D	GLASS	2'-10 1/2" X 3'-0"	1"	VINYL	WHITE	(N) AWNING WINDOW
6	A	GLASS	2'-6" X 3'-0"	1"	VINYL	WHITE	(N) DBL HUNG WINDOW



STEP 1 - SILL, JAMB & HEAD FLASHING

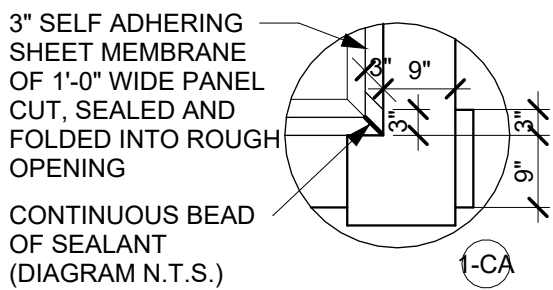
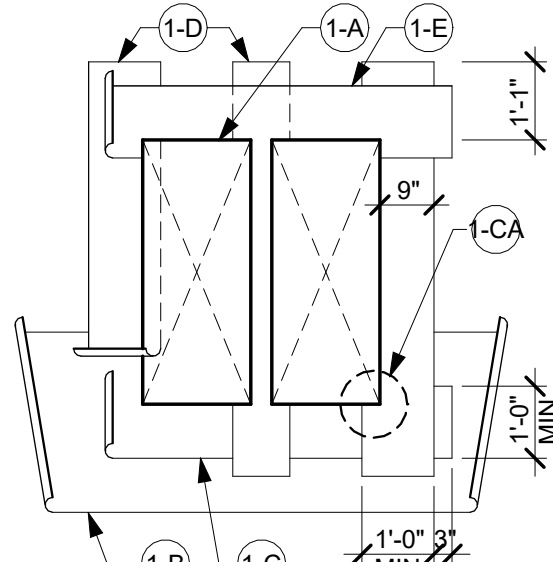
1-A
CONSTRUCT ROUGH OPENING PER WINDOW MANUFACTURER INSTRUCTIONS. VERIFY SHEATHING CUT FLUSH WITH ROUGH OPENING AT ALL EDGES.

1-B
INSTALL BUILDING PAPER AT SILL, CUT IT SUFFICIENTLY LONG TO PROJECT BEYOND THE VERTICAL SELF ADHESIVE SHEET MEMBRANE TO BE APPLIED AT STEP 1-D. NOTCH BUILDING PAPER TO ACCOMMODATE WINDOW.

1-C/1-CA
INSTALL SELF ADHERING SHEET MEMBRANE (S.A.S.M.) AT SILL WITH 9" BELOW AND 3" BEYOND INTO THE ROUGH OPENING. EXTEND SELF ADHERING SHEET MEMBRANE 3" BEYOND VERTICAL SELF ADHERING SHEET MEMBRANE TO BE APPLIED AT STEP 1-D. SEE DIAGRAM 1-CA FOR ADDITIONAL INFO.

1-D
APPLY SELF ADHERING SHEET MEMBRANE AT JAMBS SIMILAR TO STEP 1-C. CUT SUFFICIENTLY LONG TO PROJECT 4" BEYOND VERTICAL SELF ADHERING SHEET MEMBRANE TO BE APPLIED AT STEP 1-E.

1-E
APPLY SELF ADHERING SHEET MEMBRANE AY HEAD SIMILAR TO STEP 1-C.



NOTE:
EXTEND S.A.S.M. AT ROUGH OPENING INTO RECESS, SEE STEP 0-C

STEP 0 - HEAD AND SILL CORNER FLASHING - AT RECESSED WINDOW ONLY

0
ENSURE ROUGH OPENING CAPABLE OF ACCOMMODATING FLASHING AND ALL RELATED WATERPROOFING ELEMENTS.

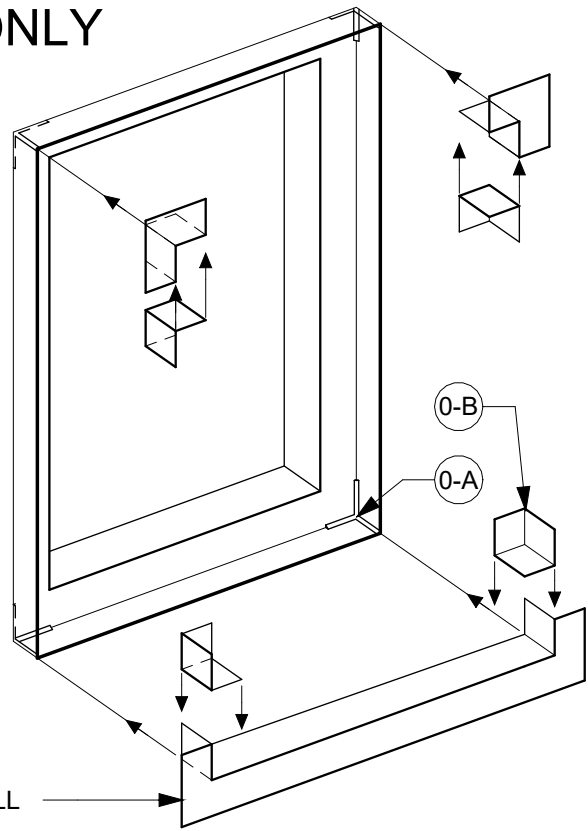
0-A
ADD 3 BEADS OF SEALANT IN EACH RECESSED CORNER.

0-B
APPLY PRE-FORMED CORNER SHIELD FLASHING PIECE WITH GALVANIZED SHEET METAL OR MEMBRANE SILL PLAN PER FIELD CONDITIONS INTO EACH CORNER, FASTEN WITH STAPLES.

0-C
INSTALL BUILDING PAPER AND S.A.S.M. AT SILL, JAMBS AND HEAD AS NOTED IN STEPS 1B, C, D AND E. CUT SEAL AND FOLD S.A.S.M. INTO RECESS.

INCREASE S.A.S.M. WIDTH BY 12" TO APPLY ONE PIECE INTO ROUGH OPENING, FRAMING RECESS AND REQUIRED PROJECTIONS PER STEPS 1B, C, D AND E.

SHEET METAL SILL PAN



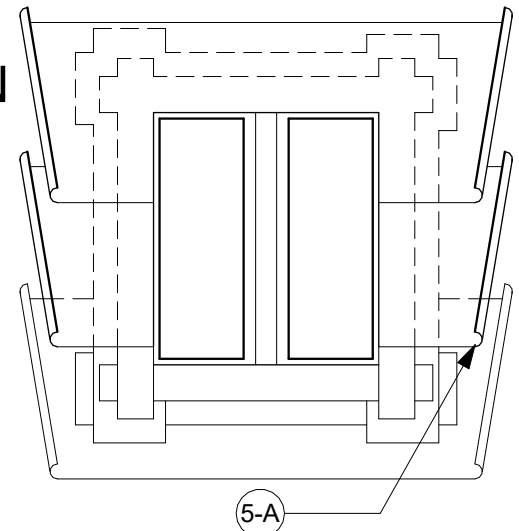
GENERAL NOTE:
WINDOW INSTALLATION TO MEET THE REQUIREMENTS OF AAMA 2400-02 (FORMERLY CAWM 400-95) "STANDARD PRACTICE FOR INSTALLATION OF WINDOWS WITH A MOUNTING FLANGE IN STUD FRAME CONSTRUCTION", METHOD B

STEP 5 - BUILDING PAPER APPLICATION

4-A
INSTALL BUILDING PAPER, OVERLAP WEATHERBOARD FASHION FROM BOTTOM TO TOP OF WALL PER MANUFACTURER'S INSTRUCTIONS.

NOTES:
DO NOT PENETRATE THE WINDOW NAIL FINS WITH FASTENERS FOR SIDING OR TRIM.

WHERE JAMB AND SILL SECTIONS ARE EXPOSED AT THE BOTTOM OF THE WINDOW, COVER SASM WITH AN ADDITIONAL LAYER OF BUILDING PAPER.

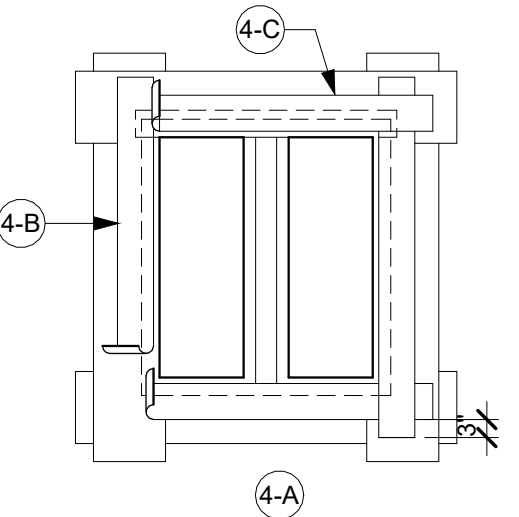


STEP 4 - SECOND SELF ADHERING SHEET MEMBRANE APPLICATION

4-A
CONTINUE INSTALLING 6" WIDE SELF ADHERING SHEET MEMBRANE AT JAMBS TO OVERLAP NAIL FIN AND EXTEND 3" BEYOND SILL SELF ADHERING SHEET MEMBRANE.

4-B
INSTALL FLUID APPLIED MEMBRANE OR 6" SELF ADHERING SHEET MEMBRANE AT JAMB TO OVERLAP HEAD AND SILL FLASHING. EXTEND 3" BEYOND EDGE OF SELF ADHERING SHEET MEMBRANE AT HEAD AND SILL.

4-C
INSTALL 6" SELF ADHERING SHEET MEMBRANE AT HEAD TO OVERLAP SHEET METAL HEAD FLASHING. EXTEND 3" BEYOND EDGE OF SELF ADHERING SHEET MEMBRANE AT JAMB.

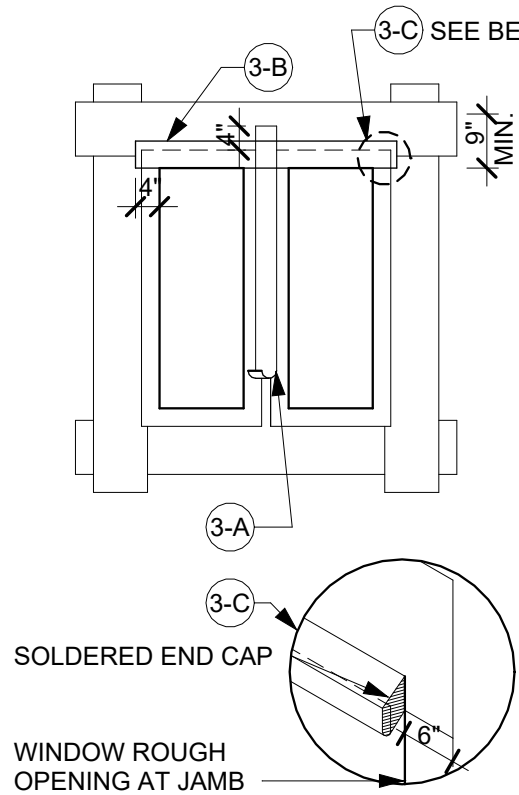


STEP 3 - HEAD AND POST FLASHING

3-A
APPLY VERTICAL STRIP OF S.A.S.M. TO MULLIONS BETWEEN ADJACENT WINDOWS. OVERLAP JAMB FLANGES COMPLETELY. EXTEND 6" BEYOND TOP OF HEAD FLANGE AND 6" BEYOND BOTTOM OF SILL FLANGE.

3-B
WHERE HEAD TRIM OCCURS, INSTALL SHEET METAL HEAD FLASHING WITH SOLDERED END CAPS, TYP. SEE DIAGRAM 3-C. INSTALL SHEET METAL FLASHING ABOVE TRIM EXTENDING 1" BEYOND EDGE OF ROUGH OPENING. SHEET METAL FLASHING TO HAVE A 2" MIN. VERTICAL LEG, A HORIZONTAL LEG 1/8" DEEPER THAN HEAD TRIM, AND A VERTICAL 1/4" HEMMED BOTTOM EDGE. INSTALL SELF ADHERING SHEET MEMBRANE OVER VERTICAL LEG OF SHEET METAL FLASHING. EXTEND SHEET METAL FLASHING 6" BEYOND JAMB ROUGH OPENING.

3-C
SOLDERED END CAPS AT SHEET METAL HEAD FLASHING.



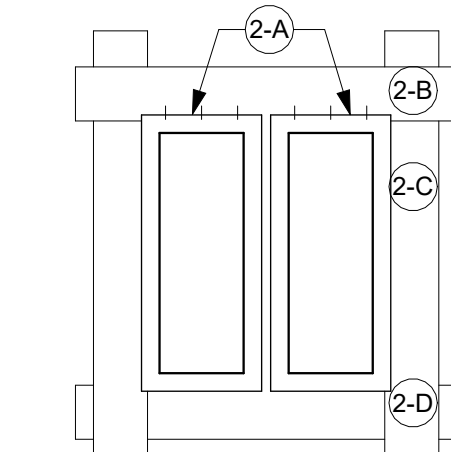
STEP 2 - WINDOW INSTALLATION

2-A
APPLY CONTINUOUS SEALANT BEAD TO INTERIOR SIDE OF WINDOW NAIL-FINS. APPLY ADDITIONAL SEALANT AT MITER CORNERS OF WINDOW FRAME (BACK SIDE). INSPECT WINDOW FINS FOR DAMAGE. INSTALL WINDOW PER MANUFACTURER'S INSTRUCTIONS. UNLESS OTHERWISE NOTED BY MANUFACTURER, INSTALL AS FOLLOWS:

2-B
FASTEN AT HEAD FIN PER MANUFACTURER'S RECOMMENDATIONS. ATTACH AS RECOMMENDED. ALLOW FOR MOVEMENT. TAP DOWN SHARP EDGES AT NAIL HEAD TO AVOID DAMAGE TO FLASHING PAPER.

2-C
MIN. 3 FASTENERS EACH SIDE AT 16" O.C. MAX. TYP. OR MORE FREQUENTLY PER MANUFACTURE

2-D
NO FASTENERS TO BE WITH 3" OF OUTSIDE CORNER OF FINS.



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