

TOWN OF LOS GATOS

110 E. MAIN ST., LOS GATOS, CA 95030

BUILDING INSPECTION DEPARTMENT • PHONE 384-8878

INSPECTION REQUESTS PHONE 384-8877

B 20654

1

BUILDING ADDRESS 318 LOS GATOS BLVD	STREET, AVE, BLVD, ETC	SUITE OR APT NO																																				
USE OF EXISTING BUILDING RESIDENCE	DATE 3/22/91																																					
OWNER Conchita Family / Ben Cataldo																																						
ADDRESS 318 LOS GATOS BLVD	SUITE OR APT NO																																					
CITY LOS GATOS	ZIP 95030																																					
ARCHITECT / ENGINEER / DESIGNER (I) CLIFF PATRICK																																						
ADDRESS	SUITE OR APT NO																																					
CITY	ZIP																																					
CONTRACTOR Mark Disco	PH																																					
ADDRESS	SUITE OR APT NO																																					
CITY	ZIP																																					
STATE LICENSE	TOWN LICENSE																																					
<table border="1"> <thead> <tr> <th>TYPE OF WORK</th> <th>RES.</th> <th>COMM.</th> <th>ADDING SQUARE FOOTAGE</th> </tr> </thead> <tbody> <tr> <td>NEW BUILDING</td> <td>☐</td> <td>☐</td> <td>BASEMENT</td> </tr> <tr> <td>ROOM ADDITION</td> <td>☐</td> <td>☐</td> <td>1st FLOOR</td> </tr> <tr> <td>2nd STORY ROOM ADDITION</td> <td>☒</td> <td>☐</td> <td>2nd FLOOR</td> </tr> <tr> <td>ALTER REPAIR REMODEL</td> <td>☒</td> <td>☐</td> <td>GARAGE</td> </tr> <tr> <td>POOL ☐ GARAGE ☐</td> <td>☐</td> <td>☐</td> <td></td> </tr> <tr> <td>DEMOLITION</td> <td>☐</td> <td>☐</td> <td></td> </tr> <tr> <td>OTHER</td> <td></td> <td></td> <td></td> </tr> <tr> <td colspan="3"></td> <td>TOTAL</td> </tr> </tbody> </table>			TYPE OF WORK	RES.	COMM.	ADDING SQUARE FOOTAGE	NEW BUILDING	☐	☐	BASEMENT	ROOM ADDITION	☐	☐	1st FLOOR	2nd STORY ROOM ADDITION	☒	☐	2nd FLOOR	ALTER REPAIR REMODEL	☒	☐	GARAGE	POOL ☐ GARAGE ☐	☐	☐		DEMOLITION	☐	☐		OTHER							TOTAL
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DEMOLITION	☐	☐																																				
OTHER																																						
			TOTAL																																			
NO OF STORES 2	SIZE OF LOT	NO OF LIVING UNITS 1																																				
APH	EXISTING SQUARE FOOTAGE	1430																																				

DESCRIPTION OF WORK **ADD SECOND STORY MASTER BED ROOM - REMODEL EXIST. 2ND FLOOR AREAS - REMODEL 1ST FLOOR BATH**

ESTIMATE VALUATION **35,000.00**

LENDING AGENCY ADDRESS

HAZARDOUS MATERIALS DECLARATION: If this application is for commercial use, indicate if the intended occupancy will use hazardous materials ☐ Yes ☐ NO

CONTRACTORS DECLARATION

I CERTIFY THAT I AM PROPERLY LICENSED BY THE STATE OF CALIFORNIA CONTRACTORS LICENSE LAW.

SIGNATURE **X**

COMPLETE A OR B

WORKER'S COMPENSATION DECLARATION

A I HEREBY AFFIRM THAT I HAVE A POLICY OF WORKER'S COMPENSATION INSURANCE. A CERTIFIED COPY OF A CERTIFICATE OF THAT INSURANCE IS HEREBY FURNISHED, AND ON FILE WITH THE TOWN. I FURTHER AFFIRM THAT I SHALL KEEP THE INSURANCE IN EFFECT THROUGHOUT THE JOB.

SIGNATURE **X**

CERTIFICATE OF EXEMPTION FROM WORKER'S COMPENSATION INSURANCE

B I CERTIFY THAT IN THE PERFORMANCE OF THE WORK FOR WHICH THIS PERMIT IS ISSUED, I SHALL NOT EMPLOY ANY PERSON IN ANY MANNER SO AS TO BECOME SUBJECT TO THE WORKER'S COMPENSATION LAWS OF CALIFORNIA.

SIGNATURE **Conchita V. Cataldo**

I CERTIFY THAT I HAVE READ THIS APPLICATION AND STATE THAT THE ABOVE INFORMATION IS CORRECT. I AGREE TO COMPLY WITH ALL TOWN ORDINANCES AND STATE LAWS RELATING TO BUILDING CONSTRUCTION, AND HEREBY AUTHORIZE REPRESENTATIVES OF THIS CITY TO ENTER UPON THE ABOVE MENTIONED PROPERTY FOR INSPECTION PURPOSES.

SIGNATURE **Conchita V. Cataldo**

REQ. FINAL	PFM	PERMIT APPROVALS	DATE
INSP. ☐	DEPT.	Kurt [Signature]	2/26/91
REQ. FINAL	PLAN	[Signature]	3/13/91
INSP. ☐	DEPT.	[Signature]	2/26/91
REQ. FINAL	ENGINEER	[Signature]	3/12/91
INSP. ☐	DEPT.	[Signature]	3/12/91
REQ. FINAL	FIRE	[Signature]	3/12/91
INSP. ☐	DEPT.	[Signature]	3/12/91
REQ. FINAL	BUILDING	[Signature]	3/12/91
INSP. ☐	DEPT.	[Signature]	3/12/91

FEES AND TAXES			
FRONT SB			
REAR SB	PERMIT ISSUANCE	10-4230	\$ 15.00
LEFT SB	BUILDING PERMIT	10-4230	317.00
RIGHT SB	TITLE - 24	10-4231	154.54
USE ZONE	SEISMIC TAX	56-4810	2.45
	PL. 206.05	10-4231	2.55
	PLAN CHECK	10-4231	2.55
SEWER NO	MICRO BUILDING	10-4592	47.30
TYPE GROUP			
TYPE CON'S	CONSTRUCTION TAX	33-4110	
FIRE SINKLER ☐	UTILITY TAX	34-4110	
PCA ☐	PARK TAX	35-4110	
PCE ☐			
PCHC ☐			
PC NEW RES BLDG ☐	MICRO PLANNING	10-4591	15.00
PC NEW COMM BLDG ☐	MICRO ENG	10-4593	
PC RES ADD ☐	STORM DRAIN ENG	10-4910	88.20
C OF O TYPICALLY ☐			
TOTAL \$			639.49

INSPECTION RECORD

Col. Footings OK 3-29-91 R-EC

5 HD 24" PL 5-21-91 D-PA

SPAL FOR COLUMNS 4-4-91 D-PA

PARTIAL FRAME 4-8-91 D-PA ON W. WALL

SPAL ON L. WALL 1st floor 4-15-91

HALLOWAY & TRANSFER @ KITCHEN 4-19-91

WINDOW

5/3/91 CHASES OK TO ENCLOSE RCB

5/8/91 FINISHES ON CANAL

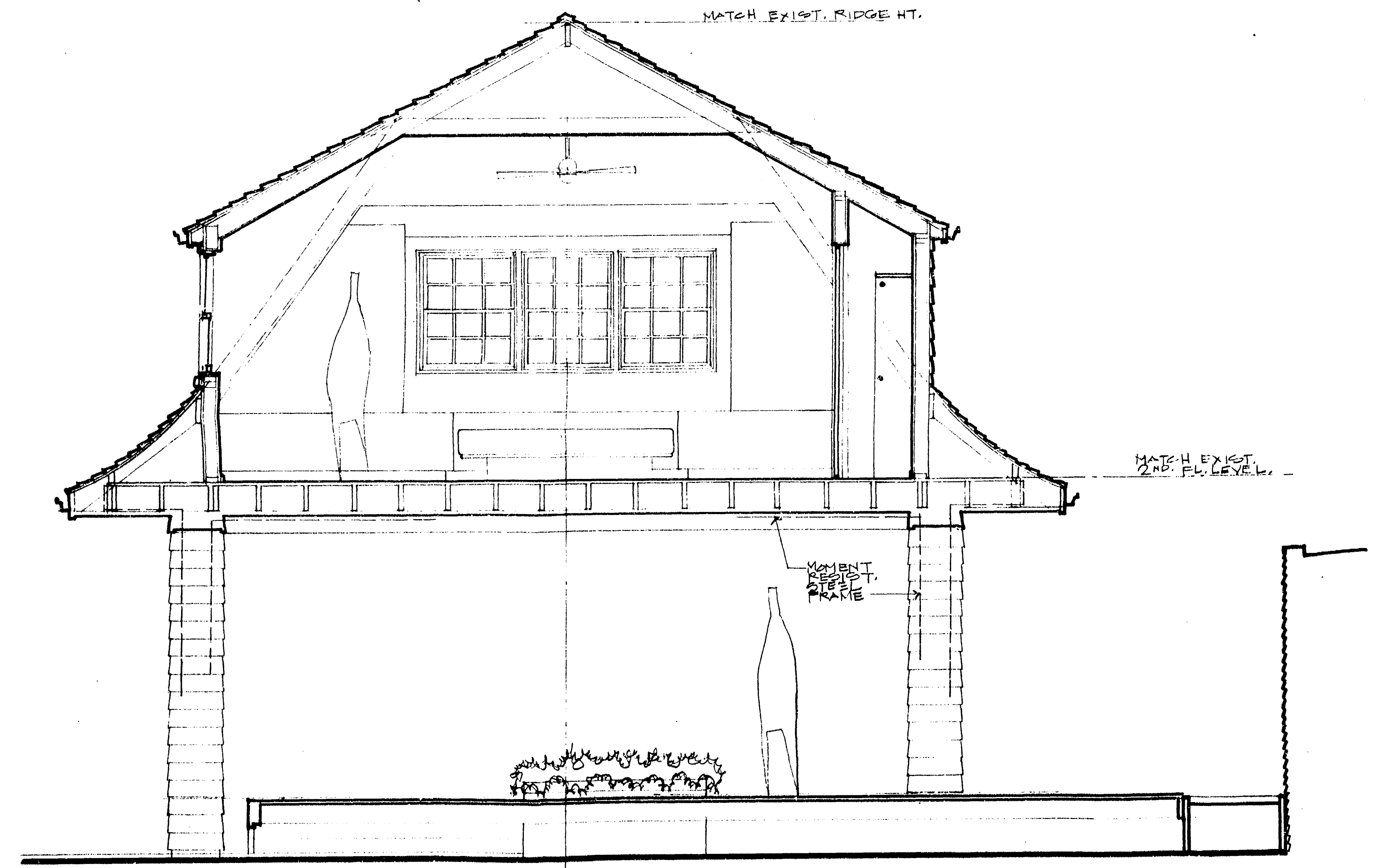
VALIDATION 14:15 03/15/91 TOTAL 639.49

APPROVALS		
FOUNDATION LOCATION	DATE	INSPECTOR'S SIG
FOUNDATION MATERIALS		
UNDER FLOOR DRAINAGE JOIST		
EXTERIOR		
WALL & ROOF INS.	5-9-91	[Signature]
1. JOIST FRAME	5-16-91	[Signature]
EXTERIOR LATH		
INSULATION	5-23-91	[Signature]
ROOFING	5-24-91	[Signature]
BUILDING CODE FINAL		
BUILDING PERMIT FINAL	5-24-91	[Signature]



EAST ELEVATION
1/4"=1'-0"

NORTH ELEVATION
1/4"=1'-0"



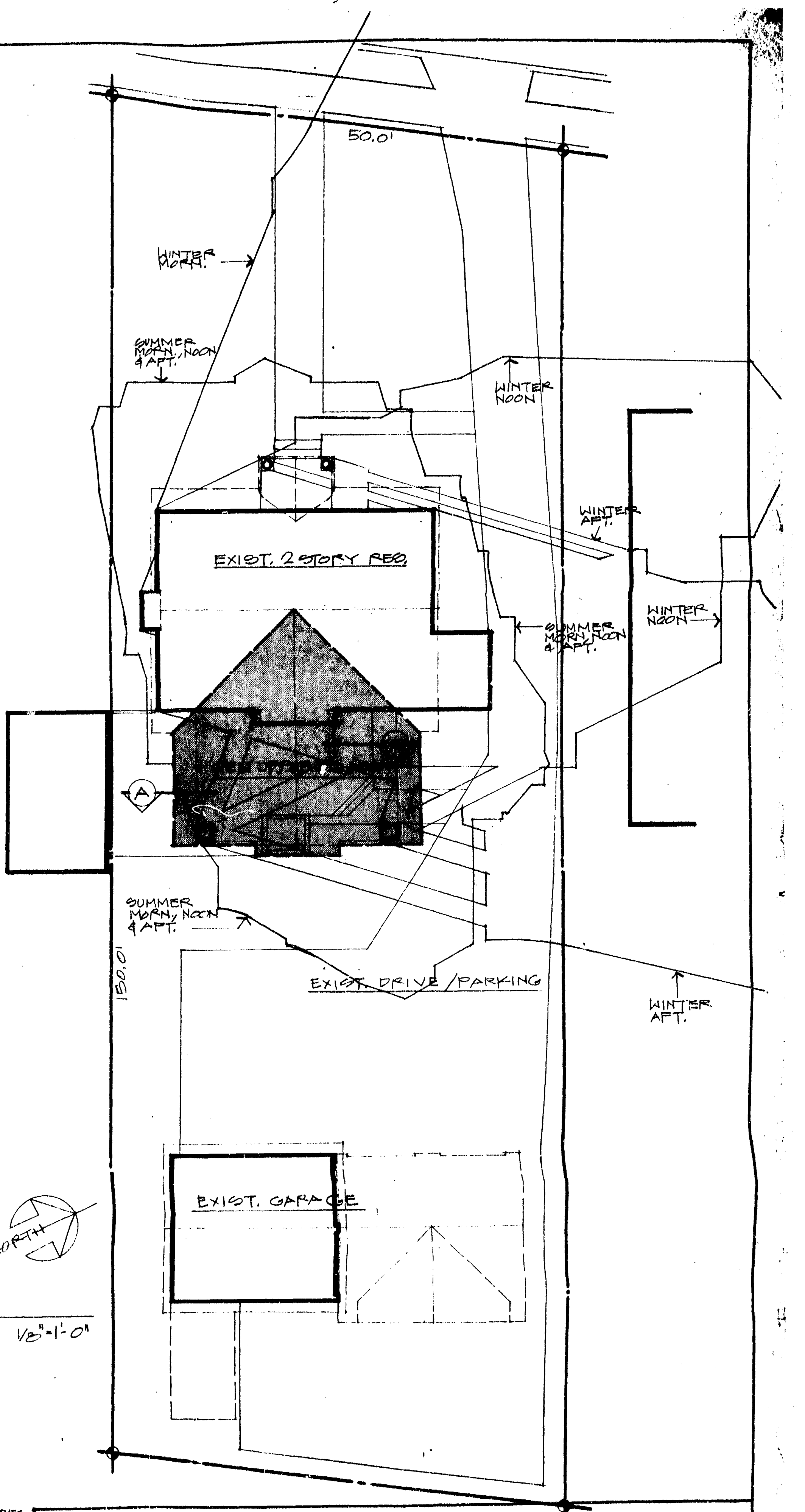
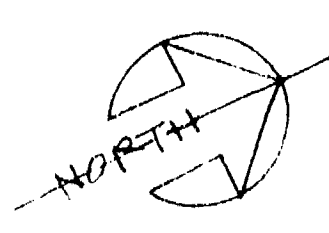
SECTION "A" - "A"
1/2"=1'-0"

APPROVED
LOS GATOS PLANNING DEPARTMENT
12-10-90

RECEIVED
LOS GATOS PLANNING DEPARTMENT
12-10-90

SITE PLAN

SITE AREA: 7,500 SF
EXIST. RES: 1,445 SF
II GARAGE: 305 SF
II GARAGE: 305 SF
TOTAL RES: 1,750 SF
ADDITION: 320 SF
TOT. PROPOSED: 2,070 SF
ALLOWABLE: 2,475 SF RES.
995 SF GAR.



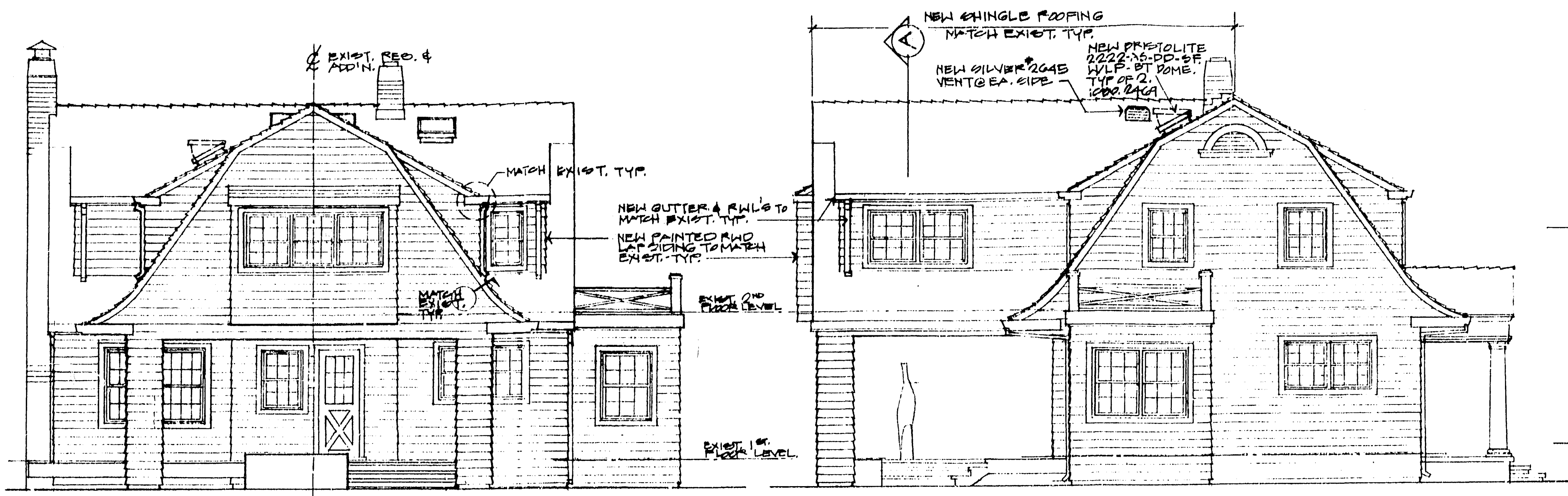
BAILEY/CATALDO

CLIFF
PETERSEN
AIA

MASTER BEDROOM ADD'N.		
SCALE:	APPROVED BY:	DRAWN BY:
DATE: 12-10-90		REVISED:
318 Los Gatos Blvd		DRAWING NUMBER
		21

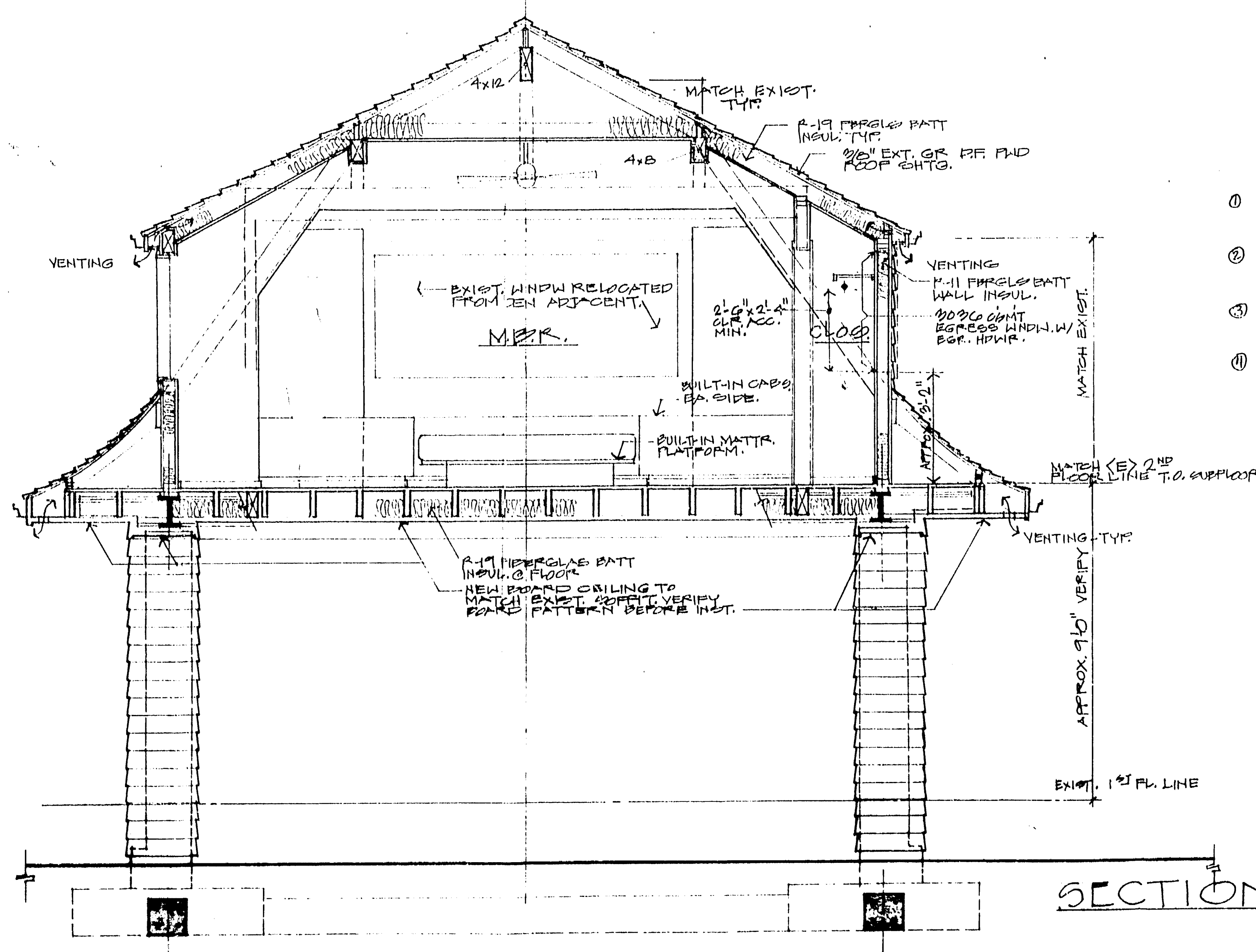


24X



EAST ELEVATION
1/4" = 1'-0"

NORTH ELEVATION
1/4" = 1'-0"



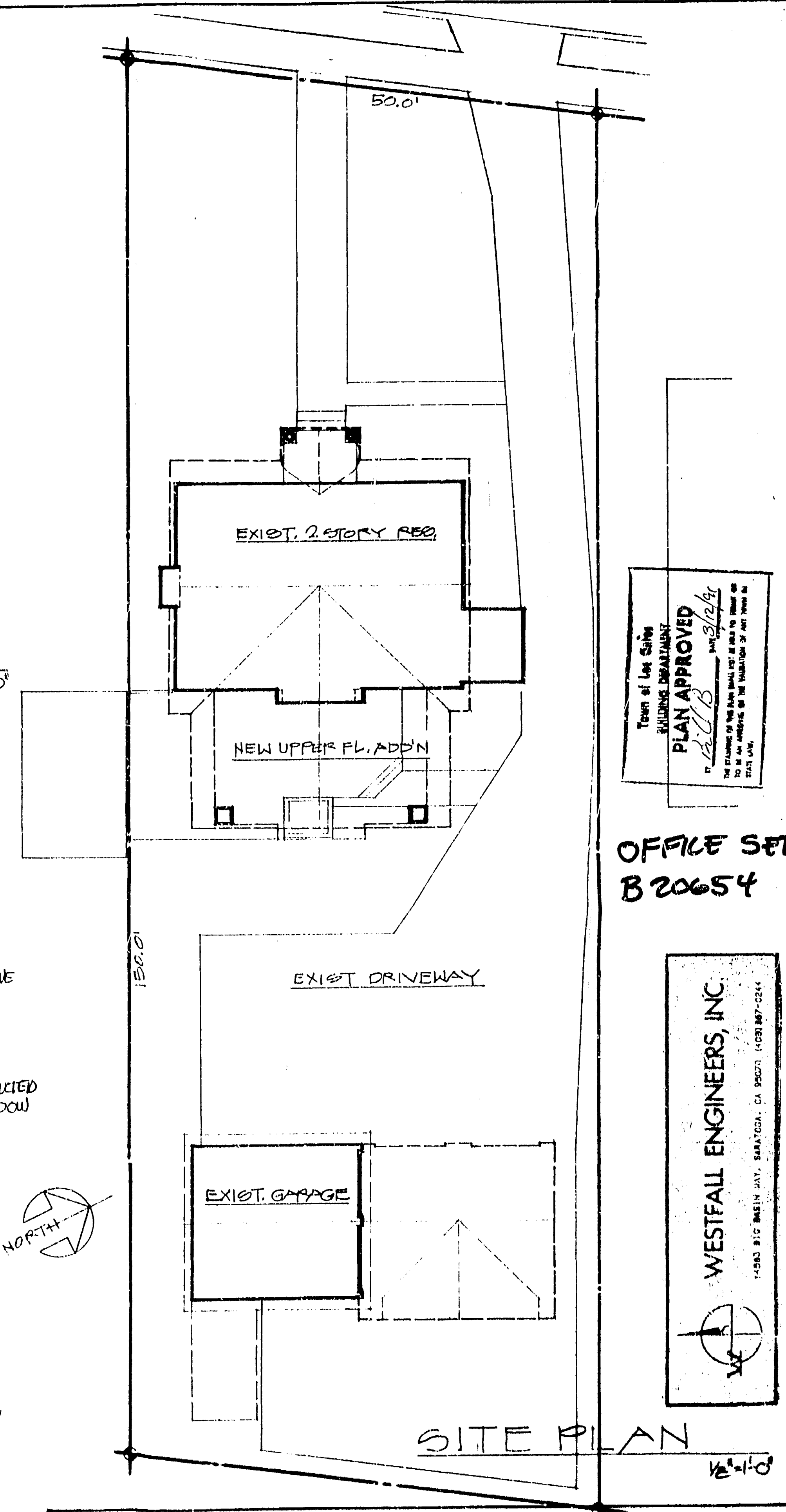
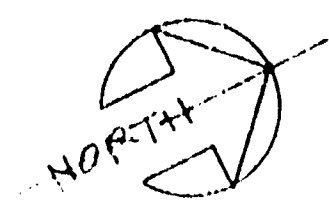
SECTION "A" - "A"
1/2" = 1'-0"

NOTES:

1. SMOKE DETECTORS SHALL BE INSTALLED AS PER SEC. 1210 MBS U.B.C.
2. ELECTRIC SERVICE MAIN SHALL BE SIZED TO NEQUALLY SERIE ALL EXISTING AND NEW ELECTRICAL LOADS.
3. GENERAL LIGHTING FIXTURES IN BATHROOMS SHALL HAVE A MIN EFFICACY OF 75 WATTS/LUMEN.
4. EGRESS WINDOW AT MASTER BEDROOM SHALL BE UNOBSTRUCTED BY SHELVING, CLOTHING OR FURNITURE, ACCESS TO WINDOW SHALL BE MAINTAINED.

PLANNING DEPARTMENT
APPROVED
THIS PLAN HAS BEEN APPROVED AS SHOWN WITH THE MODIFICATION TO WHAT IS PROPOSED OR TO WHAT IS CHECKED. IF ANY MODIFICATION IS REQUIRED, IT MUST BE IN A SEPARATE SET.
2-26-91

RECEIVED
FEB 22 1991
Bill Buckner



Town of Los Angeles
BUILDING DEPARTMENT
PLAY APPROVED
2-26-91
3/2/91

OFFICE SET
B 20654

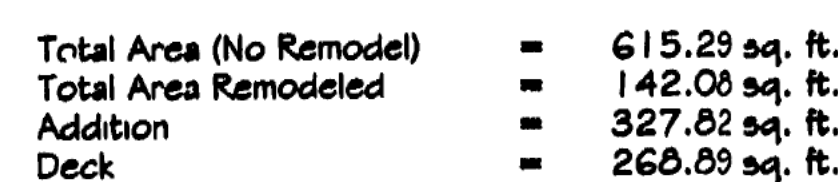
WESTFALL ENGINEERS, INC.
14305 BIRD HAVEN WAY, SAN ANTONIO, TX 78247 (512) 597-2244

BAILEY / CATALDO		MASTER BEDROOM ADDN.	
318 LOS GATOS BLVD. LOS GATOS, CAL.	DAVE SMITH CLIFF PETERSEN AIA	APPROVED BY	DRAWN BY
		DATE 2-15-91	REVISION
		SITE/EXT. ELEV/SECT.	
		DRAWING NUMBER	

318 Los Gatos Blvd
Minor Residential Development Application MR-07-43

TO THE SATISFACTION OF THE COMMUNITY DEVELOPMENT DIRECTOR
(Planning Section)

- INDUSTRIAL AND COMMERCIAL ORGANIZATIONS



NO SCALE

(A) = 6" dia., Juniper, *Juniperus Chinensis*, good
(D) = 6" dia., Oleander, *Nerium Oleander*, good
(E) = 4" dia., Oleander, *Nerium Oleander*, good

Ⓔ = 14th dia. / 9th dia., Camphor, Cinnamomum Camphora, good
Ⓒ = 9th dia., Camphor, Cinnamomum Camphora, fair



SCALE: $\frac{1}{8}" = 1' - 0"$

A.1)	Site Plan and Notes	S0)	General notes
A2)	(N) Floor plans	S1)	Typical notes
A3)	(N) Elevations	S2)	Foundation & 1st Floor
A4)	(N) Sections	S3)	2nd Floor & Framing
A5)	(N) Electrical plan	S4)	Foundation Details
A6)	Interior elevs.	S5)	Floor Framing Details
A7)	Title-24 report		

Phone: (805) 305-9931
Fax: (805) 733-4915

A REMODEL FOR
[REDACTED]
318 LOS GATOS BLVD., LOS GATOS, CA, 95036

Sheet: 15

211

DOOR SCHEDULE:

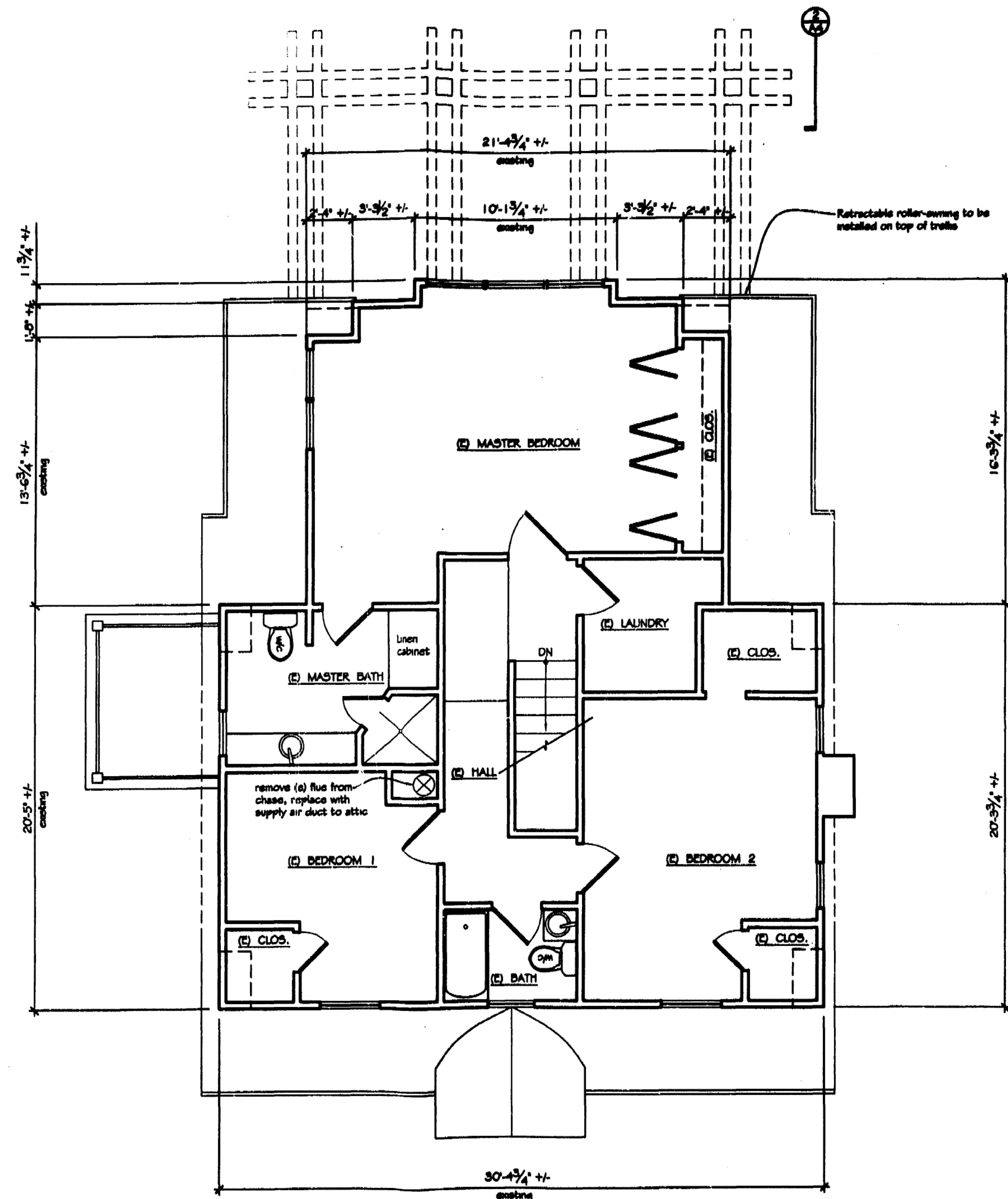
Symbol	Size	No.	Product Info	Type	Notes
①	6'-0" x 6'-0"	3	---	wood exterior, outswing	Family Room
②	6'-0" x 6'-0"	---	---	temp. glass, french pwr. (2) pairs are fixed, (1) pair is operable	---

NOTES:
 1. All door sizes are unit dimensions, as actual rough opening sizes will vary dependent on final manufacturer. Contractor to verify rough opening sizes with manufacturer.
 2. Tempered glass in all windows within 24" of doors, above tubs, showers, and shower enclosures, or when the bottom of glazing is less than 10" from finished floor.
 3. New exterior doors to be Marvin, Anderson or equal.

WINDOW SCHEDULE:

Symbol	Size	No.	Product Info	Type	Notes
①	8'-0" x 4'-3 1/2"	4	---	single-hung	Family Room

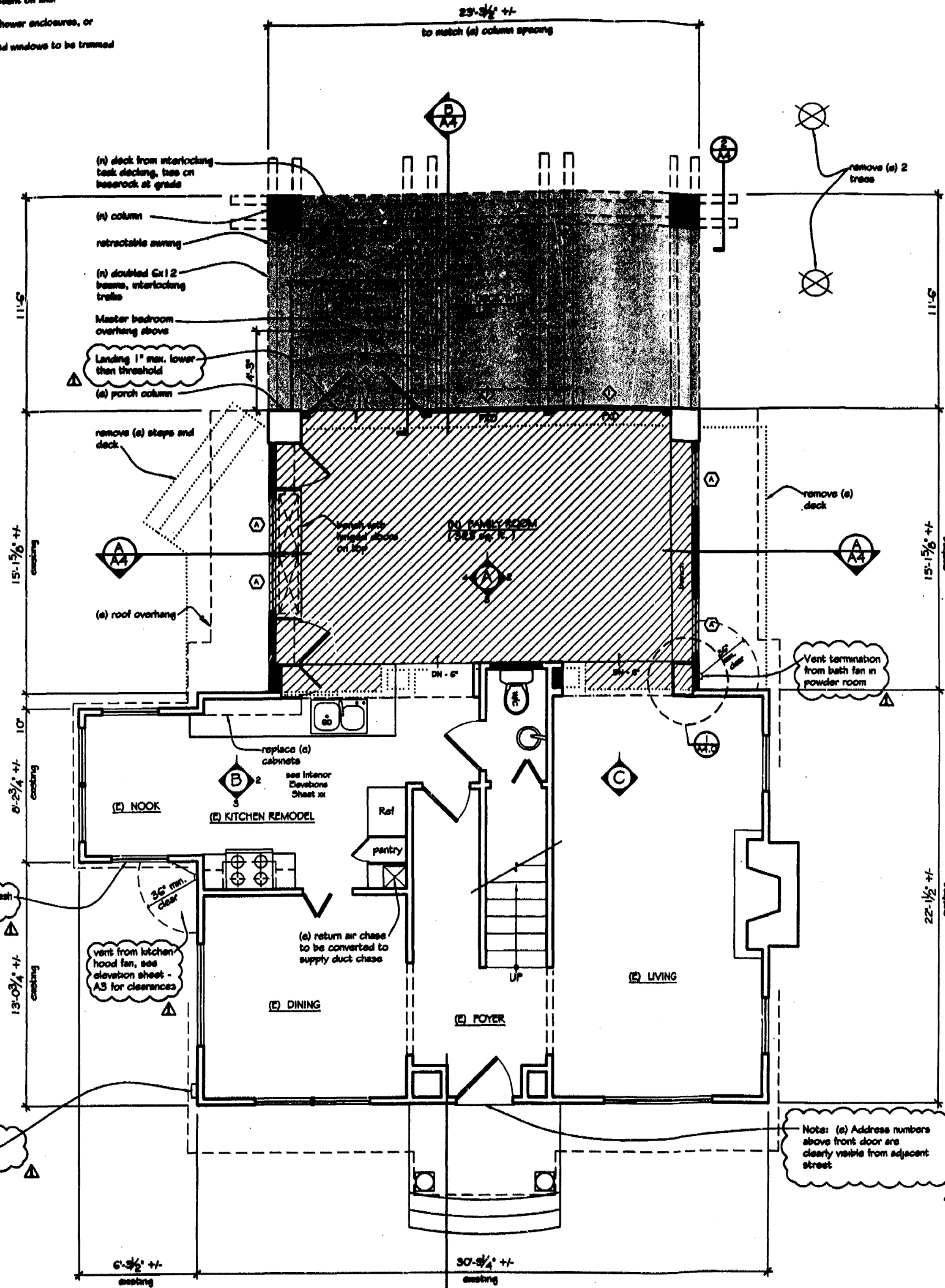
NOTES:
 1. All window sizes are unit dimensions, as actual rough opening sizes will vary dependent on final manufacturer. Contractor to verify rough opening sizes with manufacturer.
 2. Tempered glass in all windows within 24" of doors, above tubs, showers, and shower enclosures, or when the bottom of glazing is less than 10" from finished floor.
 4. New windows to be Marvin, Anderson or equal, wood windows, primed; untreated windows to be treated out and painted in field.
 5. All windows to have 6'-0" head height. U.N.O.



Note: Not all area dimensions of second floor were taken, just enough to establish the exact area of floor. Interior walls are based on previous plans by others.

SECOND FLOOR PLAN

SCALE: 1/4" = 1' - 0"



FIRST FLOOR PLAN

SCALE: 1/4" = 1' - 0"

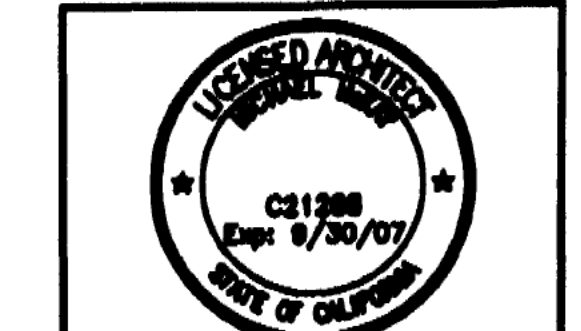
Note: Demolition for this project is limited to:
 - (a) covered deck (decking and part of foundation)
 - Rear wall between (a) family room and (a) kitchen and living
 - Kitchen cabinets and appliances and associated finishes
 - Items related to (a) heating system

WALL LEGEND:

---	existing wall
----	demolished wall
----	new 2x4 stud wall
----	area of new construction



801 Camelia Street
 Suite D
 Berkeley, CA 94710
 Office: 510.527.5998
 Fax: 510.527.5999
 www.mckayarchitecture.com

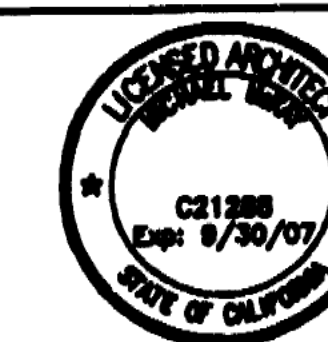
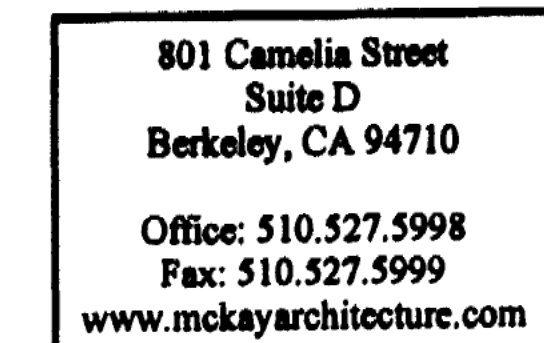


Revisions	By
April 30, 2007	CH

Preliminary Set	-
Design Review Set	-
Plan Check Set	-
Construction Set	X

A REMODEL FOR
 318 LOS GATOS BLVD., LOS GATOS, CA, 95030

Date:	04/03/2007
Scale:	As Noted
Drawn:	CH
File:	(a) plans
Job:	Yearling
Sheet:	A2
	of 7 sheets



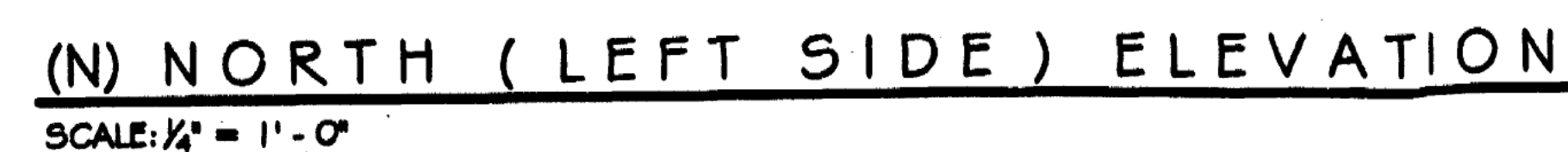
Revisions	By
Δ April 30, 2007	CH

Preliminary Set	-
Design Review Set	-
Plan Check Set	-
Construction Set	X

A REMODEL FOR
[REDACTED]
318 LOS GATOS BLVD., LOS GATOS, CA, 95030

Date:	04/03/2007
Scale:	As Noted
Drawn:	CH
File:	(n) eleva.
Job:	Yearling
Sheet:	

A3
of 7 sheets



MECHANICAL NOTES

Equipment Instructions:
Installation instructions for all listed equipment shall be provided to the field inspector at the time of inspection.

Air Duct Termination:
Termination of all environmental air ducts shall be a minimum of 3 feet away from any opening into the building (e.g., doors, windows, opening skylights or attic vents).

HVAC:
Provide and maintain a minimum 30" x 30" level service space in front of each mechanical or plumbing component of the system. The house is now heated by a furnace located in the attic. The attic furnace will be removed and replaced with a new furnace located in the basement. The existing brick flue chimney will be removed and the old chase used for new ducting that will serve the second floor rooms. The flue from the new furnace and water heater will also run up this chase to the roof. Provide proper breakers in flue/dust chase at each floor. Air duct and flue must both be air-tight from furnace to outlets.

Combustion Air:
Verify that the basement has proper combustion air for the furnace and water heater. The minimum required vent area is 1 sq. in. per 4,000 BTU/hr for each appliance. A minimum of two openings are required in the space.

Bath & Laundry Room Fans:
All bathroom and laundry rooms whose exterior openings are less than 1/20 of their floor area shall be provided with a mechanical ventilation system capable of providing five air changes per hour. Such systems shall connect directly to the outside. The existing powder room will have its window covered as a result of the addition and will require an exhaust fan.

Room name **Area** **Opening** **req'd** **voluntary**
sq. ft. **sq. ft.** **CFM** **fan spec.**
Powder 19.32 0 sq. ft. 13CFM (a) 70 CFM

(a) Use Panasonic Whisper Fit #PV-07VFI (70 CFM).

PLUMBING NOTES:
Backflow prevention devices. All exterior hose bibs shall contain non-removable backflow prevention devices.

The water heater is existing and located in the basement. Verify that it is properly strapped to the new posts that will replace the brick chimney that it is now strapped to.

Water Heater Release Valve. All water heaters shall be provided with an approved, listed, adequately sized combination pressure and temperature relief valve. This valve shall drain to the outside of the building, with its end between 6" and 24" above ground, pointing downward.

Water Heater Capacity. Minimum capacity of water heater equivalent to not less than a rating of 30 gal/hour.

Water Closets. All (n) water closets to be 1.6 gallons per flush maximum. There are no new water closets in this project.

FOUNDATION VENTING:
Clearance for untreated wood: minimum 12" for joists and 12" for girders.

Accessibility under floor area shall be provided with a minimum 12" x 24" opening.

Under floor area shall be ventilated by openings of a net area of not less than 1/20 of the under floor area. Openings shall be protected by a corrosion-resistant metal mesh with 1/4" maximum openings.

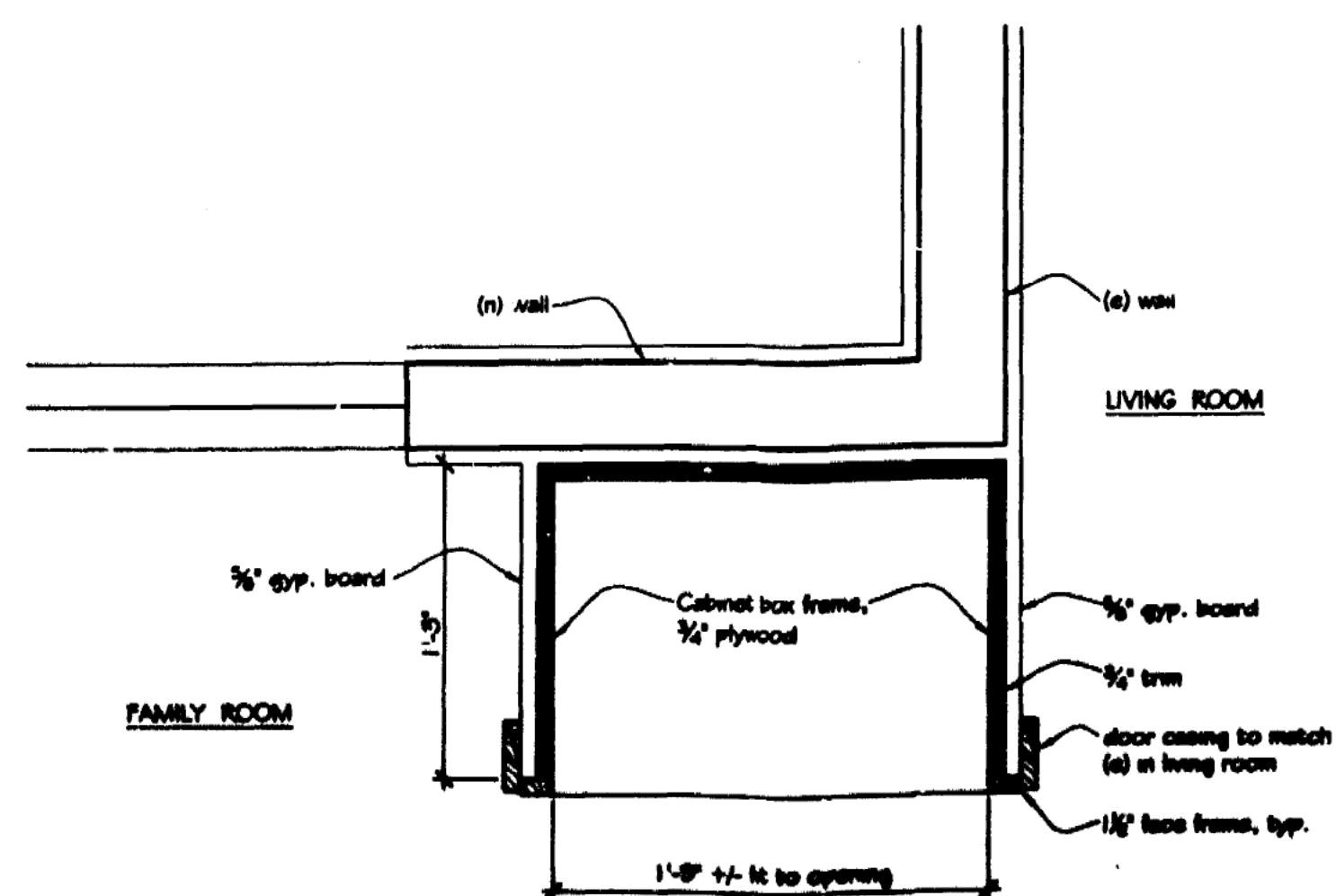
Any girder, blocking, hold-down bolts, etc. visible through the vent openings are to be painted black prior to installation of the vents.

Addition crawl space area:
334 sq. ft. = 40,096 sq. in.

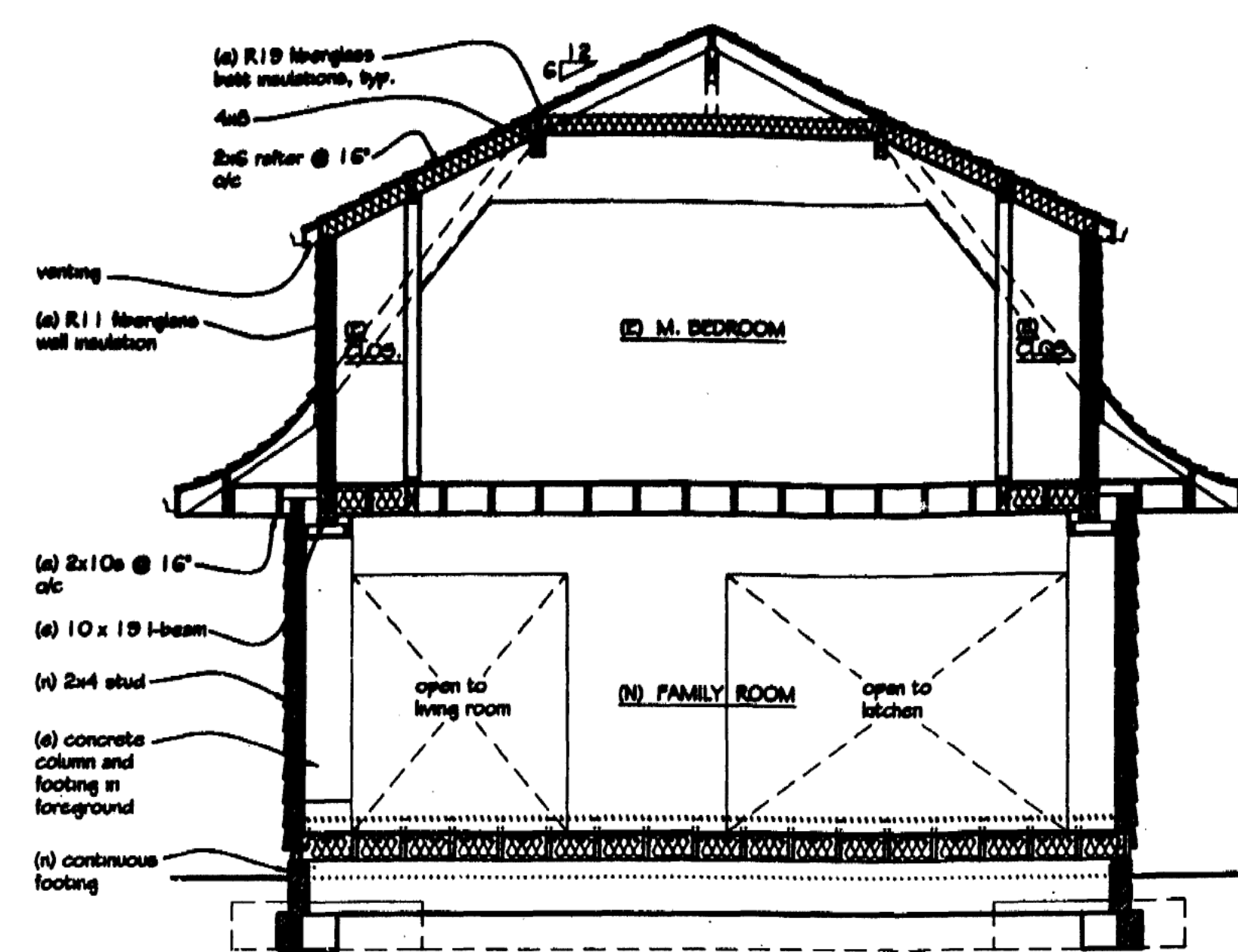
Required total venting:
40,096 sq. in. x 1/20 = 321 sq. in.

Provide (5) new GSM screened vents spaced evenly at back and sides of house.

(5) (14.5" wide x 5.5" high; 79.75 sq. in.) = 399 sq. in.



1 CABINET DETAIL @ FAMILY ROOM/LIVING ROOM
SCALE: 1 1/2" = 1'-0"

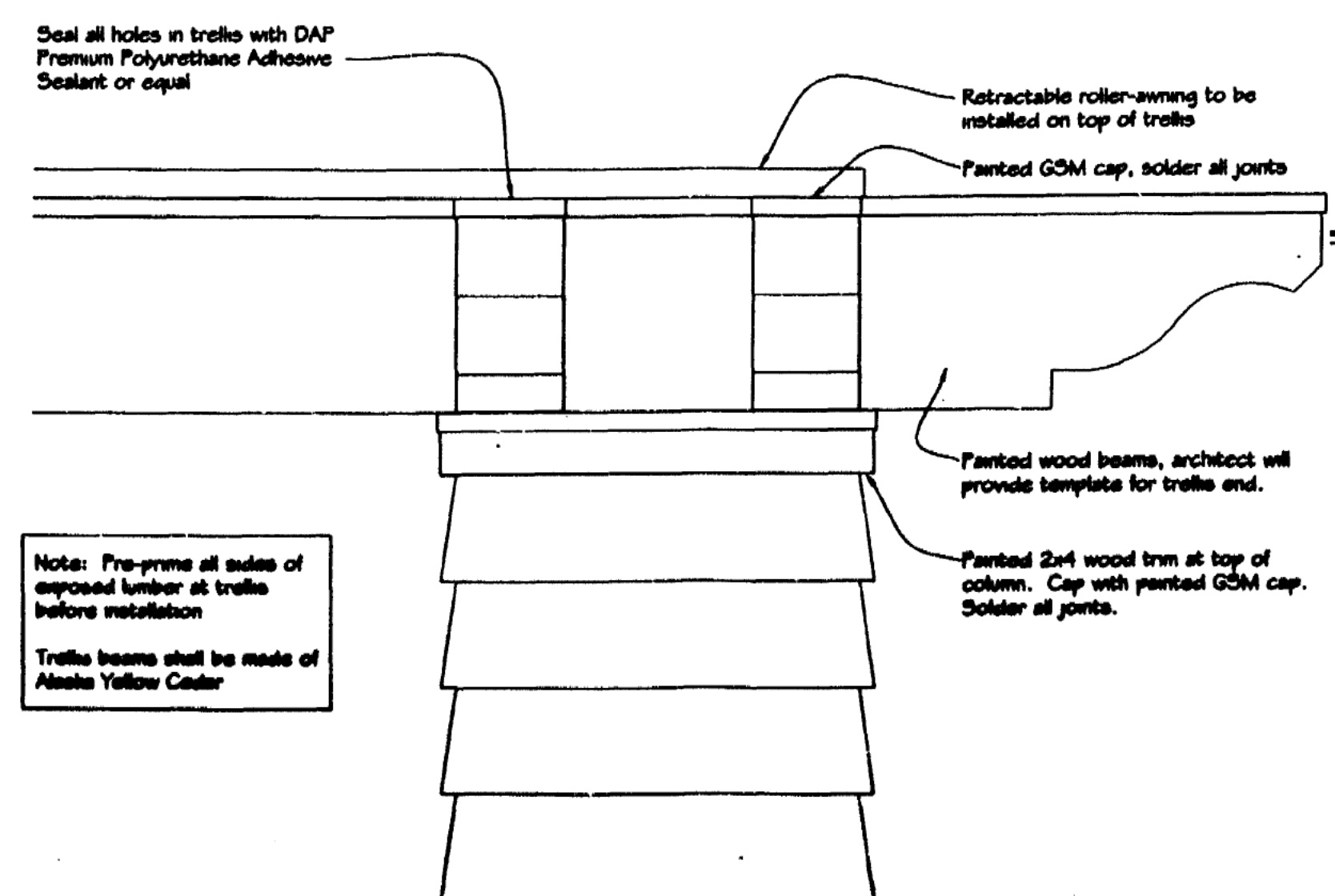


SECTION A

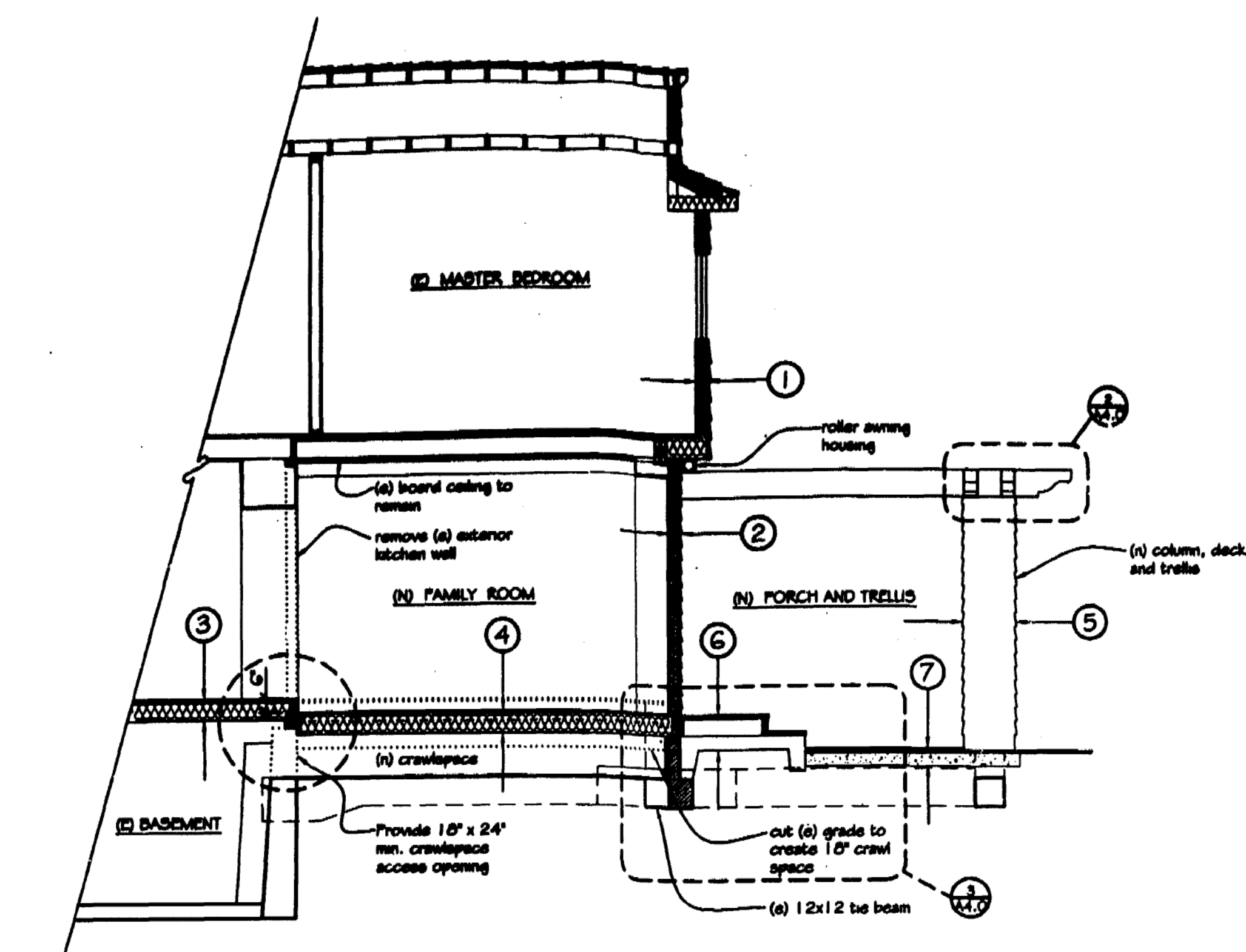
SCALE: 1/4" = 1' - 0"

- 1 Typical (E) Exterior Wall Construction
- (E) Horizontal board siding
 - (E) (assumed) building paper
 - (E) (assumed) wood sheathing
 - (N) R-19 fiberglass batt insulation where walls are opened during construction
 - (E) 2x4 studs @ 16" o.c. (assumed)
 - (E) gypsum wall board

- 2 Typical (N) Exterior Wall Construction
- (N) Horizontal board siding to match (e)
 - (N) Tyvek house wrap or equal
 - (N) plywood sheathing (see structural plans for shearwall locations and nailing requirements)
 - (N) R-13 fiberglass batt insulation
 - (N) 2x4 studs per structural drawings
 - (N) 1/2" gypsum board



2 TRELLIS DETAIL
SCALE: 1 1/2" = 1'-0"

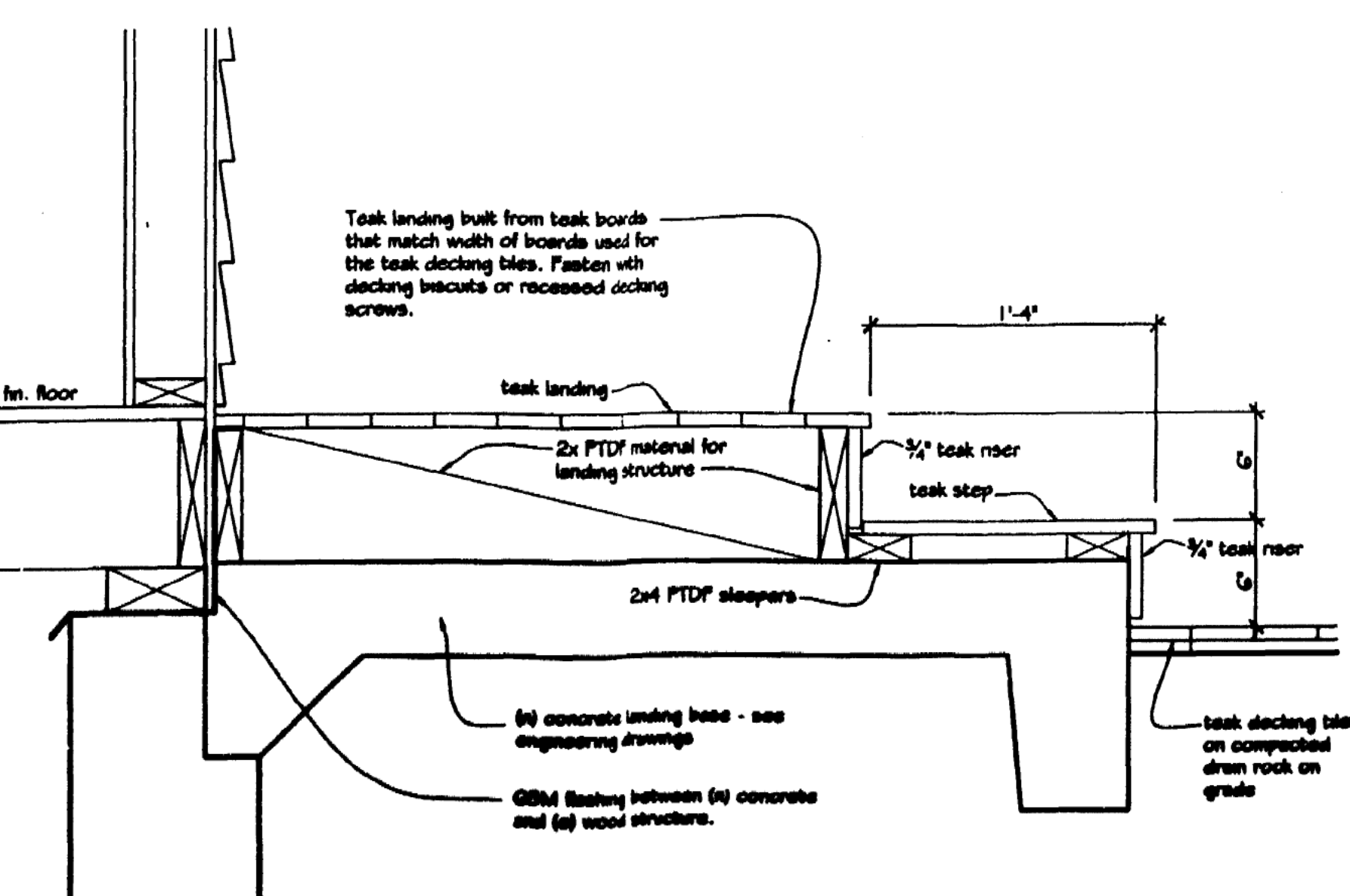


SECTION B

SCALE: 1/4" = 1' - 0"

- 3 Typical (E) Floor Construction
- (N) or (E) finish flooring per plan
 - (E) 2x6 T&G diagonal sheathing
 - (E) floor joists @ 16" o.c.
 - (N) R-19 fiberglass insulation under entire (e) uninsulated house
 - (E) girders and posts
 - (E) vented crawl space

- 4 Typical (N) Floor Construction
- (N) hardwood flooring
 - (N) plywood sheathing per structural drawings
 - (N) joists per structural drawings
 - (N) R-13 fiberglass batt insulation
 - (N) vented crawl-space

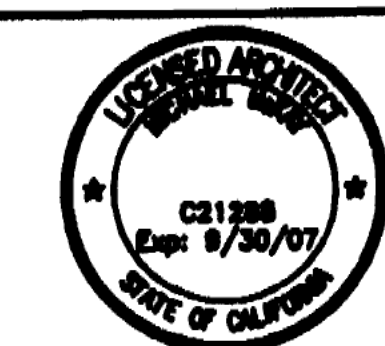


3 DECK STAIR DETAIL
SCALE: 1 1/2" = 1'-0"

mckay architecture

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Suite D
Berkeley, CA 94710

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Fax: 510.527.5999
www.mckayarchitecture.com



Revisions	By
1 April 30, 2007	CH

Preliminary Set	-
Design Review Set	-
Plan Check Set	-
Construction Set	X

A REMODEL FOR
MATER AND BOON WEARING
318 LOS GATOS BLVD., LOS GATOS, CA, 95030

Date:	04/03/2007
Scale:	1" = 1'-0"
Drawn:	CH
File:	(s) sections
Job:	Yearling
Sheet:	A4 of 7 sheets