



ARCHITECTURE-PLANNING- INTERIORS

1475 S BASCOM AVE SUITE 208
CAMPBELL, CA 95008
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PROJECT NAME
**COREY
RESIDENCE**

26 ALPINE AVE
LOS GATOS, CA 95030
APN# 529-37-042

REVISIONS		
1	PC1 10-27-16	D.Z.
2	PC2 1-17-17	D.Z.
3	PC2 6-06-17	T.S.
4	PC2 6-26-17	D.Z.

GENERAL NOTES		CONSULTANT DIRECTORY		AREA TABULATIONS		PROJECT INFORMATION		VICINITY MAP																																																																																																																																							
1. CODES AND REGULATIONS	ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE FOLLOWING CODES, AS WELL AS ALL APPLICABLE STATE CODES & LOCAL CITY ORDINANCES, 2013 CALIFORNIA BUILDING CODE (C.B.C.) 2013 CALIFORNIA RESIDENTIAL CODE (C.R.C.) 2013 CALIFORNIA ELECTRICAL CODE (C.E.C.) 2013 CALIFORNIA PLUMBING CODE (C.P.C.) 2013 CALIFORNIA MECHANICAL CODE (C.M.C.) 2013 CALIFORNIA FIRE CODE (C.F.C.) 2013 CALIFORNIA ENERGY CODE (C.E.C.) 2013 CALIFORNIA GREEN CODE (C.G.C.) NOTHING ON THE DRAWINGS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES & REGULATIONS.	ARCHITECT METRO DESIGN GROUP CONTACT: TOM SLOAN A.I.A. 1475 S. BASCOM AVE. # 208 CAMPBELL, CALIFORNIA 95008 (408) 871-1071 PHONE (408) 871-1072 FAX CIVIL ENGINEER SANDIS CIVIL ENGINEERS SURVEYORS, PLANNERS CONTACT: CHAD J. BROWNING 1700 WINCHESTER BLVD, SUITE 200 CAMPBELL, CALIFORNIA 95008 (408) 636-0900 PHONE (408) 636-0999 FAX TOPO SURVEY & BOUNDARIES WESTFALL ENGINEERS, INC. 14583 BIG BASIN WAY #3 SARATOGA, CA 95070 (408) 867-0244 PHONE	GEOTECHNICAL ENGINEERING POLLAK ENGINEERING, INC. 555 SANTA CRUZ AVE. LOS GATOS, CA 95030 (408) 354-0420 PHONE CONSULTING ARBORIST ARTISAN LANDSCAPES ARBORIST SERVICES GARETH JONES, CERTIFIED ARBORIST 12150 HWY 9, BOULDER CREEK, CA 95006 (408) 674-7836 PHONE	1. SITE AREA - PER HILLSIDE DEVELOPMENT STANDARDS AND GUIDELINES GROSS: 20,000 SF NET: 8,000 SF (AFTER 60% SLOPE REDUCTION) $S = \frac{0.0023 \times 2 \times 4,111.35}{0.459} = 41.20\%$ AVERAGE SITE SLOPE AVERAGE SLOPE OF THE AREA PROPOSED FOR DEVELOPMENT IS 55.19% $S = \frac{0.0023 \times 2 \times 1,001.80}{0.08349} = 55.19\%$ AVERAGE SITE SLOPE OF THE AREA PROPOSED FOR DEVELOPMENT SLOPE AT LANDING AREAS: 1% MIN, AWAY FROM THE STRUCTURE SLOPE AT PAVED AREAS: 2% MIN, AWAY FROM THE STRUCTURE SLOPE AT LANDSCAPE AREAS: 5% MIN, AWAY FROM THE STRUCTURE 2. FLOOR AREA <table><tr><td></td><td>GROSS FLOOR AREA</td><td>- CELLAR*</td><td>=</td><td>FLOOR AREA PER DEF.</td></tr><tr><td>LOWER FLOOR</td><td>1,195.66</td><td>- 848.98</td><td>=</td><td>347.08</td></tr><tr><td>UPPER FLOOR</td><td>2,289.56</td><td>- 643.89</td><td>=</td><td>1,645.63</td></tr><tr><td>TOTAL AREA</td><td>3,485.62</td><td>-1,492.51</td><td>=</td><td>1,993.11</td></tr></table> * CELLAR IS NOT INCLUDED IN FLOOR AREA RATIO (F.A.R.) <table><tr><td>GARAGE</td><td>557.95</td><td>-143.43</td><td>=</td><td>414.52</td></tr><tr><td>TOTAL FLOOR AREA</td><td>4,043.57</td><td>-1,635.94</td><td>=</td><td>2,407.63</td></tr></table> 3. MAXIMUM FLOOR AREA - FAR PER RESIDENTIAL DESIGN GUIDELINES $FAR = \frac{(.35) \cdot (8 - S)}{25} \times .20 = 0.326$ FAR 0.326 X 8,000 = 2,608 SQUARE FEET $GAR = \frac{(.10) \cdot (8 - S)}{25} \times .07 = 0.0916$ GAR 0.0916 X 8,000 = 732.80 SQUARE FEET LIVING AREA (W/O GAR.) <table><tr><td>ALLOWABLE</td><td>2,608.00</td><td>32.60 %</td></tr><tr><td>PROPOSED</td><td>1,993.11</td><td>24.91 %</td></tr></table> GARAGE <table><tr><td>ALLOWABLE</td><td>732.80</td><td>9.16 %</td></tr><tr><td>PROPOSED</td><td>414.52</td><td>5.18 %</td></tr></table> TOTAL AREA (LIVING AREA & GARAGE) <table><tr><td>ALLOWABLE</td><td>3,340.80</td><td>41.76 %</td></tr><tr><td>PROPOSED</td><td>2,407.63</td><td>30.09 %</td></tr></table> 4. BUILDING COVERAGE MAXIMUM ALLOWABLE COVERAGE: 8,000.00 SQ. FT. 48.00 % PROPOSED COVERAGE: 3,114.91 SQ. FT. 15.57 % BUILDING(S) <table><tr><td>FOOTPRINTS</td><td>2,851.86</td></tr><tr><td>POUCHES</td><td>263.05</td></tr><tr><td>TOTAL</td><td>3,114.91</td></tr></table> 5. PARKING SPACE 2 COVERED AT GARAGE		GROSS FLOOR AREA	- CELLAR*	=	FLOOR AREA PER DEF.	LOWER FLOOR	1,195.66	- 848.98	=	347.08	UPPER FLOOR	2,289.56	- 643.89	=	1,645.63	TOTAL AREA	3,485.62	-1,492.51	=	1,993.11	GARAGE	557.95	-143.43	=	414.52	TOTAL FLOOR AREA	4,043.57	-1,635.94	=	2,407.63	ALLOWABLE	2,608.00	32.60 %	PROPOSED	1,993.11	24.91 %	ALLOWABLE	732.80	9.16 %	PROPOSED	414.52	5.18 %	ALLOWABLE	3,340.80	41.76 %	PROPOSED	2,407.63	30.09 %	FOOTPRINTS	2,851.86	POUCHES	263.05	TOTAL	3,114.91	PROPERTY OWNERS TOBY AND SUSAN COREY PHONE (408) 219-8222 MAILING ADDRESS 122 6TH AVENUE SANTA CRUZ, CA 95062 PROJECT ADDRESS 26 ALPINE AVENUE LOS GATOS, CA 95030 SITE AREA 20,000 SQ. FT. (0.459 AC) A.P.N. 529-37-042 ZONING R1-20 LOCATED WITHIN DESIGNATED WILDLAND URBAN INTERFACE FIRE AREA YES - STATE MANDATED LRA (VHFHA) SETBACK REQUIREMENTS <table><tr><td>REQUIRED</td><td></td></tr><tr><td>FRONT:</td><td>25'-0"</td></tr><tr><td>SIDE:</td><td>15'-0"</td></tr><tr><td>REAR:</td><td>25'-0"</td></tr><tr><td>PROPOSED</td><td></td></tr><tr><td>FRONT:</td><td>30'-0"</td></tr><tr><td>LEFT SIDE:</td><td>15'-0"</td></tr><tr><td>RIGHT SIDE:</td><td>31'-6"</td></tr><tr><td>REAR:</td><td>66'-3"</td></tr><tr><td>ALLOWED</td><td></td></tr><tr><td>30'-0"</td><td>26'-3"</td></tr></table> MAX HEIGHT ALLOWABLE / PROPOSED <table><tr><td>ALLOWED</td><td>PROPOSED</td></tr><tr><td>30'-0"</td><td>26'-3"</td></tr></table> CONSTRUCTION TYPE V-B OCCUPANCY R-3/U STORIES 2 2 FIRE SPRINKLERS REQUIRED (NFPA-13D) EXISTING USE LOW DENSITY RESIDENTIAL - VACANT, URBAN	REQUIRED		FRONT:	25'-0"	SIDE:	15'-0"	REAR:	25'-0"	PROPOSED		FRONT:	30'-0"	LEFT SIDE:	15'-0"	RIGHT SIDE:	31'-6"	REAR:	66'-3"	ALLOWED		30'-0"	26'-3"	ALLOWED	PROPOSED	30'-0"	26'-3"	 PROJECT SITE SHEET INDEX <table><tr><td>A- 0</td><td colspan="2">SHEET INDEX, PROJECT DESCRIPTION, VICINITY MAP, CONSULTANTS, BUILD IT GREEN CHECKLIST</td></tr><tr><td>A- 0.1</td><td colspan="2">TOWN NOTES, PROJECT DATA AND LEGEND</td></tr><tr><td>C-1.0</td><td colspan="2">CONSTRUCTION NOTES</td></tr><tr><td>C-2.0</td><td colspan="2">TOPOGRAPHIC SURVEY</td></tr><tr><td>C-3.0</td><td colspan="2">GRADING AND DRAINAGE PLAN</td></tr><tr><td>C-4.0</td><td colspan="2">UTILITY PLAN</td></tr><tr><td>C-5.0</td><td colspan="2">EROSION CONTROL PLAN</td></tr><tr><td>C-5.1</td><td colspan="2">EROSION CONTROL DETAILS</td></tr><tr><td>C-5.2</td><td colspan="2">BLUEPRINT FOR A CLEAN BAY</td></tr><tr><td>C-6.0</td><td colspan="2">CONSTRUCTION DETAILS</td></tr><tr><td>C-6.1</td><td colspan="2">CONSTRUCTION DETAILS</td></tr><tr><td>A- 1.0</td><td>SITE PLAN</td><td>A- 4.0 EXTERIOR ELEVATIONS</td></tr><tr><td>A- 1.1</td><td>SITE DIAGRAMS, SITE CROSS SECTION</td><td>A- 4.1 EXTERIOR ELEVATIONS</td></tr><tr><td>A- 1.2</td><td>STREET PROFILES</td><td>A- 4.2 EXTERIOR ELEVATIONS</td></tr><tr><td>A- 1.3</td><td>SHADOW STUDY DIAGRAM</td><td>A- 5.0 CROSS SECTIONS 'A' & 'B'</td></tr><tr><td>A- 1.4</td><td>EXTERIOR LIGHTING PLAN</td><td>A- 5.1 CROSS SECTION 'C'</td></tr><tr><td>A- 2.0</td><td>LOWER FLOOR PLAN</td><td>TS- 0.1 TREE SURVEY</td></tr><tr><td>A- 2.1</td><td>UPPER FLOOR PLAN</td><td>TP- 0.1 TREE PROTECTION PLAN</td></tr><tr><td>A- 3.0</td><td>ROOF PLAN</td><td>L- 1.0 TREE PLAN</td></tr></table>	A- 0	SHEET INDEX, PROJECT DESCRIPTION, VICINITY MAP, CONSULTANTS, BUILD IT GREEN CHECKLIST		A- 0.1	TOWN NOTES, PROJECT DATA AND LEGEND		C-1.0	CONSTRUCTION NOTES		C-2.0	TOPOGRAPHIC SURVEY		C-3.0	GRADING AND DRAINAGE PLAN		C-4.0	UTILITY PLAN		C-5.0	EROSION CONTROL PLAN		C-5.1	EROSION CONTROL DETAILS		C-5.2	BLUEPRINT FOR A CLEAN BAY		C-6.0	CONSTRUCTION DETAILS		C-6.1	CONSTRUCTION DETAILS		A- 1.0	SITE PLAN	A- 4.0 EXTERIOR ELEVATIONS	A- 1.1	SITE DIAGRAMS, SITE CROSS SECTION	A- 4.1 EXTERIOR ELEVATIONS	A- 1.2	STREET PROFILES	A- 4.2 EXTERIOR ELEVATIONS	A- 1.3	SHADOW STUDY DIAGRAM	A- 5.0 CROSS SECTIONS 'A' & 'B'	A- 1.4	EXTERIOR LIGHTING PLAN	A- 5.1 CROSS SECTION 'C'	A- 2.0	LOWER FLOOR PLAN	TS- 0.1 TREE SURVEY	A- 2.1	UPPER FLOOR PLAN	TP- 0.1 TREE PROTECTION PLAN	A- 3.0	ROOF PLAN	L- 1.0 TREE PLAN
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COVER SHEET

GENERAL NOTES
PROJECT INFORMATION
AREA TABULATIONS
PROJECT DESCRIPTION
VICINITY MAP
SHEET INDEX
CONSULTANT DIRECTORY

DATE : 1-17-17
SCALE : AS-NOTED
DRAWN BY : TS
CHECKED BY : TS
ARCHITECT : TOM SLOAN
PROJECT NO : 16621

SHEET NUMBER

A-0



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PROJECT NAME

COREY RESIDENCE

26 ALPINE AVE
LOS GATOS, CA 95030
APN# 529-37-042

REVISIONS

PC1	10-27-16	D.Z.
PC2	1-17-17	D.Z.
PC2	6-26-17	D.Z.

PROPOSED SITE PLAN

SITE LEGEND

DATE : 1-17-17
SCALE : 1" = 10'-0"
DRAWN BY : TS / DZ
CHECKED BY : TS
ARCHITECT : TOM SLOAN
PROJECT NO : 16621

SHEET NUMBER

A-1.0

FIRE DEPARTMENT NOTES

FIRE PROTECTION WATER
AN AUTOMATIC NFPA 13 FIRE SPRINKLER SYSTEM APPROVED BY THE SANTA CLARA COUNTY FIRE DEPARTMENT SHALL BE INCLUDED IN ALL PORTIONS OF THE BUILDING. THREE SETS OF PLANS PREPARED BY A SPRINKLER CONTRACTOR SHALL BE SUBMITTED TO THE SANTA CLARA COUNTY FIRE DEPARTMENT (14700 WINCHESTER BLVD., LOS GATOS, CA 95032) FOR REVIEW AND APPROVAL. THE SPRINKLERS SHALL BE INSPECTED AND APPROVED BY THE FIRE DEPARTMENT PRIOR TO FINAL INSPECTION AND OCCUPANCY OF THE BUILDING.

A. AN APPROVED AUTOMATIC FIRE SPRINKLER SYSTEM, HYDRAULICALLY DESIGNED IN ACCORDANCE WITH NFPA STANDARD 13-2013 EDITION AND LOCAL ORDINANCES SHALL BE INSTALLED THROUGHOUT THE ENTIRE STRUCTURE. THE FIRE SPRINKLER SYSTEM SUPPLY VALVING, FIRE DEPARTMENT CONNECTION (FDC), ETC., SHALL BE INSTALLED AS REQUIRED TO COMPLY WITH NFPA 13 REQUIREMENTS.
B. FAST RESPONSE FIRE SPRINKLER HEADS SHALL BE INSTALLED THROUGHOUT THE GARAGE AND ALL CONTIGUOUS AREAS WITHIN THE STRUCTURE.

C. A STATE OF CALIFORNIA LICENSED FIRE PROTECTION CONTRACTOR SHALL PROVIDE (3) COPIES OF THE WORKING DRAWINGS, CALCULATIONS, A COMPLETED PERMIT APPLICATION AND APPROPRIATE FEES TO THE FIRE DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO BEGINNING OF WORK.
D. THE FIRE DISTRICT MUST ISSUE A PERMIT PRIOR TO THE INSTALLATION OF THE FIRE SPRINKLER SYSTEM.

E. THE SPRINKLER CONTRACTOR MUST HAVE A CITY BUSINESS LICENSE AND WORKER'S COMPENSATION CERTIFICATE.
F. A "FLAT" CEILING IS REQUIRED IN AREAS INCORPORATING AN AUTOMATIC FIRE SPRINKLER SYSTEM TO ASSURE PROPER FUNCTIONING OF THE SPRINKLER HEADS.
G. THE BUILDING SHALL BE PROVIDED WITH AN AUTOMATIC FIRE EXTINGUISHING SYSTEM FOR SPRINKLER CONTROL. VALVES SHALL BE LOCATED TO ALLOW CONTROL OF THE SPRINKLER USER FROM OUTSIDE THE BUILDING. SUBMIT SHOP DRAWINGS (3 SETS) AND A PERMIT APPLICATION TO THE FIRE PREVENTION DIVISION FOR REVIEW AND APPROVAL BEFORE INSTALLING THE SYSTEM. CALL (408) 378-4010 FOR MORE INFORMATION.

SMOKE ALARMS
PER CBC #907.2.9.2, SMOKE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH CBC #907.2.11.

EGRESS DOORS
EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY, THUMB TURN, OR ANY SPECIAL KNOWLEDGE OR EFFORT. MANUALLY OPERATED PLAST BOLTS OR SURFACE BOLTS ARE NOT PERMITTED, UNLESS ANY OTHER EXCEPTIONS TO THE SECTION 1008.1.9.4 ARE MET. (CBC #1008.1.9)

PERMITS: IDENTIFICATION / PROJECT ADDRESS
APPROVED NUMBERS OR ADDRESSES SHALL BE PLACED ON ALL NEW AND EXISTING BUILDINGS IN SUCH A POSITION AS TO BE PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. SAID NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. WHERE REQUIRED BY THE FIRE CODE OFFICIAL, ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MINIMUM OF 4 INCHES HIGH WITH A MINIMUM STROKE OF 0.5 INCH. (CFC#505.1)

WILDLAND / URBAN INTERFACE FIRE AREA
THIS PROJECT IS LOCATED WITHIN THE DESIGNATED WILDLAND / URBAN INTERFACE AREA. THE BUILDING CONSTRUCTION SHALL COMPLY WITH THE PROVISIONS OF THE CALIFORNIA BUILDING CODE (CBC) CHAPTER 7A, § 70102.
THE FOLLOWING CONDITIONS SHALL APPLY:
A. CLASS "A" ROOF ASSEMBLY IS REQUIRED. SEE PROVIDED DETAILS ON ROOF SHEETS.
B. MIN. 1/2" SPARK ARRESTOR SHALL BE PROVIDED FOR EACH CHIMNEY.
C. COMBUSTIBLE VEGETATION SHALL BE REMOVED WITHIN 30 FT TO 100 FT OF STRUCTURE AND BE IN COMPLIANCE WITH CBC SEC. 701A.3.2.4 PRIOR TO PROJECT FINAL APPROVAL.

WATER SUPPLY REQUIREMENTS
POTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION WATER SUPPLIES. IT IS THE RESPONSIBILITY OF THE APPLICANT AND ANY CONTRACTORS AND SUBCONTRACTORS TO CONTACT THE WATER BUREAU, SUPPLYING THE SITE OF SUCH PROJECT, AND TO COMPLY WITH THE REQUIREMENTS OF THAT BUREAU. SUCH REQUIREMENTS SHALL BE INCORPORATED INTO THE DESIGN OF ANY WATER-BASED FIRE PROTECTION SYSTEMS, AND/OR FIRE SUPPRESSION WATER SUPPLY SYSTEMS OR STORAGE CONTAINERS THAT MAY BE PHYSICALLY CONNECTED IN ANY MANNER TO AN APPLIANCE CAPABLE OF CAUSING CONTAMINATION OF THE POTABLE WATER SUPPLY OF THE PURVEYOR OF RECORD. FINAL APPROVAL OF THE SYSTEM(S) UNDER CONSIDERATION WILL NOT BE GRANTED BY THE FIRE DEPARTMENT UNTIL COMPLIANCE WITH THE REQUIREMENTS OF THE WATER BUREAU OF RECORD ARE DOCUMENTED BY THAT PURVEYOR AS HAVING BEEN MET BY THE APPLICANT(S).

CONSTRUCTION SITE FIRE SAFETY
ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CBC CHAPTER 33 AND THE FIRE DEPARTMENT'S STANDARD DETAIL AND SPECIFICATION 51-7. PROVIDE APPROPRIATE NOTATIONS ON SUBSEQUENT PLAN SUBMITTALS, AS APPROPRIATE TO THE PROJECT. CFC#P-33

SITE PLAN LEGEND

PROPERTY LINE	---	INDICATES AREA WITHIN 100' LIGHT LINE (SLOPE UNDER 30%) LINE (TYP.)	---
SETBACK LINE	---	PROPOSED RESIDENCE	---
(E) GRADE MINOR CONTOUR LINE	---	PROPOSED PERMEABLE PAVERS AT DRIVEWAY	---
(E) GRADE MAJOR CONTOUR LINE	---	PROPOSED HARDSCAPE	---
PROPOSED GRADE CONTOUR LINE	---	EXISTING TREE TO REMAIN	---
EXISTING FENCE TO REMAIN	---	EXISTING TREE TO BE REMOVED	---
EXISTING FENCE TO BE REMOVED	---	TREE PROTECTION FENCING	---
PROPOSED FENCE	---		
(E) DRIVEWAY TO BE RESURFACED	---		
NEW GAS LINE	---		
NEW WATER LINE	---		
NEW ELECTRIC LINE	---		
JOINT TRENCH	---		
NEW SANITARY SEWER LINE	---		

INDICATES EXISTING SIDE WALK TO REMAIN, TYP.

INDICATES EXISTING CURB CUT TO REMAIN, TYP.

INDICATES EXISTING TREE TO REMAIN, TYP.

INDICATES EXISTING 8" HDPE SEWER LINE AT ALPINE AVENUE

INDICATES TREE PROTECTION FENCING PER TOWN OF LOS GATOS GENERAL TREE PROTECTION DIRECTIONS, TYP.

INDICATES EXISTING CURB CUT TO REMAIN, TYP.

INDICATES EXISTING EDGE OF PAVEMENT

INDICATES PROPOSED RESIDENCE, TYP.

INDICATES EXISTING MIN. 12" WIDE DRIVEWAY RESURFACED WITH PERMEABLE PAVEMENT SYSTEM

INDICATES 30'-0" REQUIRED FRONT SETBACK

INDICATES PROPOSED 21'-4" WIDE x 20'-8" DEEP INSIDE DIM. - TWO CAR GARAGE (TYP.) U.N.O.

INDICATES EXISTING FENCE TO BE REMOVED (TYP.) U.N.O.

CONNECT NEW 4" PVC SDR 26 SANITARY SEWER LINE W/TOWNS SEWER LINE AT ALPINE AVENUE, MIN. 10' AWAY FROM WATER LINE

(N) ADDRESS SIGNAGE/ IDENTIFICATION AT EXISTING STONE COLUMN TO REMAIN (TYP.) U.N.O.

INDICATES EXISTING CURB CUT TO REMAIN

INDICATES EXISTING STONE COLUMN TO BE REMOVED (TYP.) U.N.O.

INDICATES PROPOSED DRIVEWAY W/ PERMEABLE PAVERS SEE DETAIL 9/C-2

INDICATES NEW CURB CUT

INDICATES JOINT TRENCH FOR NEW UNDERGROUND SERVICE FOR (N) GAS, (N) ELECTRIC, PHONE AND CABLE SERVICE

INDICATES (N) GAS METER LOCATION

INDICATES (N) ELEC. METER LOCATION

REMOVE EXISTING CURB CUT

INDICATES EXISTING WATER METER LOCATION TO REMAIN (TYP.) U.N.O.

INDICATES EXISTING FIRE HYDRANT LOCATION TO REMAIN (TYP.) U.N.O.

INDICATES EXISTING STONE COLUMN TO REMAIN (TYP.) U.N.O.

INDICATES NEW GAS LINE - CONNECT W/TOWNS GAS LINE AT ALPINE AVENUE

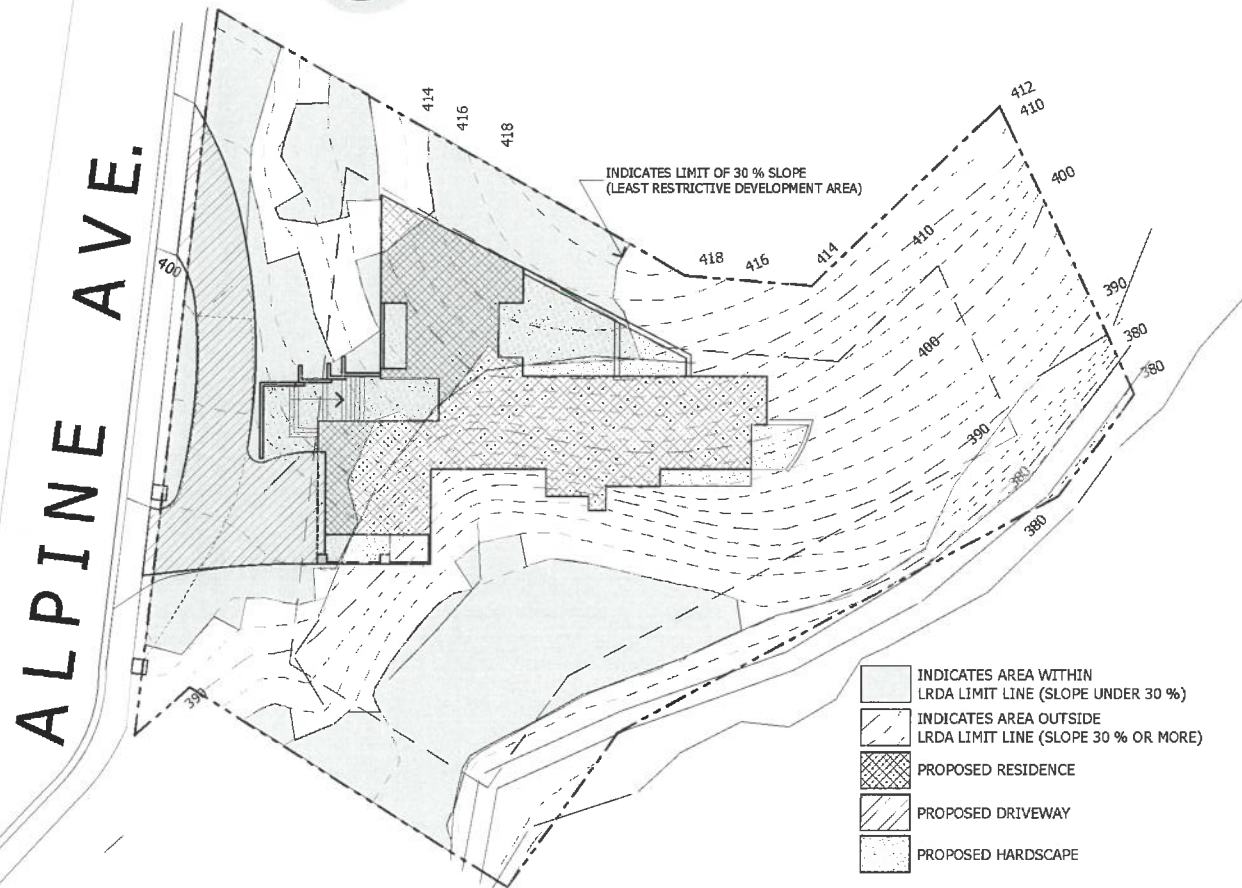
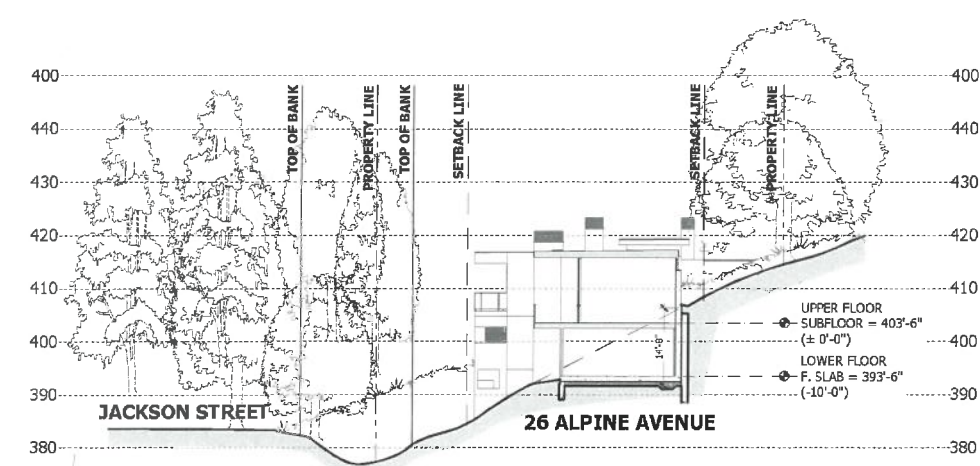
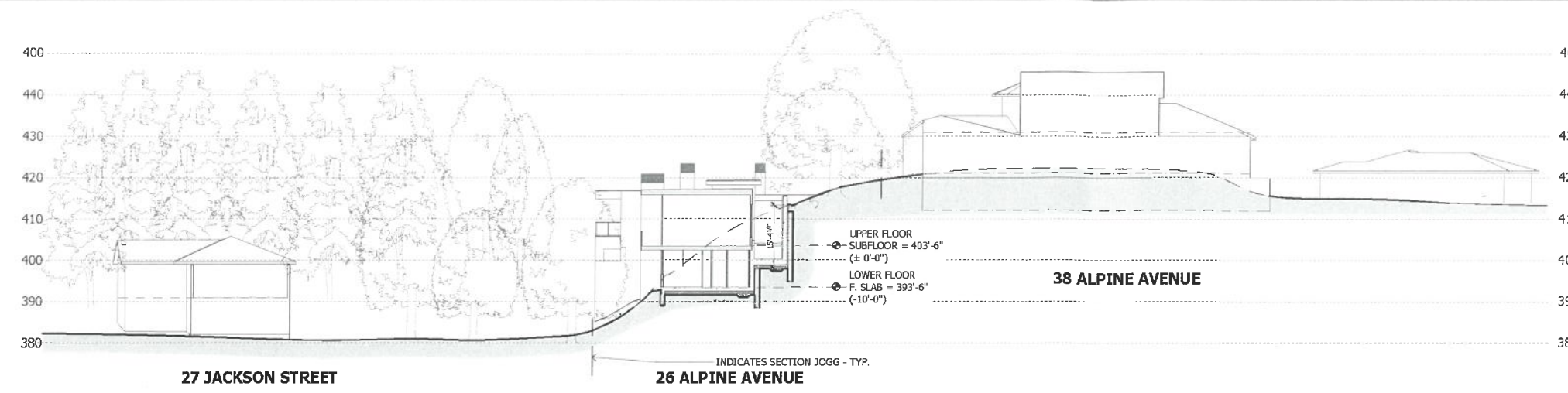
INDICATES EXISTING BUILDING OUTLINE ON ADJACENT LOT, TYP.

NOTE:

TREE SIZES ON SHEET T-1:

TOPOGRAPHIC AND BOUNDARY SURVEY HAVE BEEN MEASURED AT THE BASE OF THE TREES.

TREE SIZES ON SHEET A-1.0 & L-1.0: ARE CONSISTENT WITH THE ARBORIST REPORT: DIAMETER AT BREAST HEIGHT IN INCHES IS THE DIAMETER OF THE TRUNK MEASURED AT 4.5 FEET ABOVE THE GROUND LEVEL IN INCHES, AS REQUIRED.



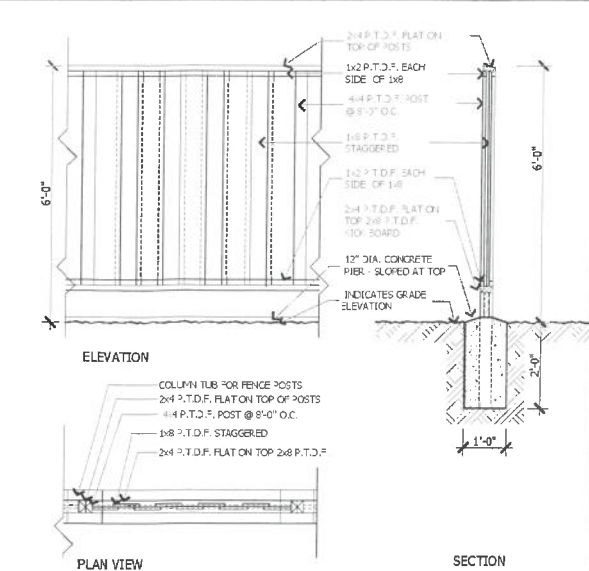
1. SITE CONSTRAINTS DIAGRAM

3. SITE SECTION S1 SCALE 1/16" = 1'-0"

4. SITE SECTION S2 SCALE 1/16" = 1'-0"



2. SURROUNDING PARCEL PLAN



1. GOOD NEIGHBOR FENCE - DETAIL
SCALE: 1/2" = 1'-0"

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PROJECT NAME
COREY RESIDENCE
26 ALPINE AVE
LOS GATOS, CA 95030
APN # 529-37-042

REVISIONS		
PC1	10-27-16	D.Z.
PC2	1-17-17	D.Z.

SITE DIAGRAMS

SITE CONSTRAINTS DIAGRAM
SURROUNDING PARCEL PLAN
SITE SECTIONS
GOOD NEIGHBOR FENCE DETAIL

DATE : 1-17-17

SCALE :

DRAWN BY : D.Z.

CHECKED BY : TS

ARCHITECT : TOM SLOAN

PROJECT NO : 16621

SHEET NUMBER

A-1.1

PROJECT NAME

**COREY
RESIDENCE**

26 ALPINE AVE
LOS GATOS, CA 95030
APN# 529-37-042

REVISIONS

STREET PROFILES

STREET PROFILE 'A'
STREET PROFILE 'B'

DATE : 1-17-17

SCALE : AS NOTED

DRAWN BY : DZ

CHECKED BY : TS

ARCHITECT : TOM SLOAN

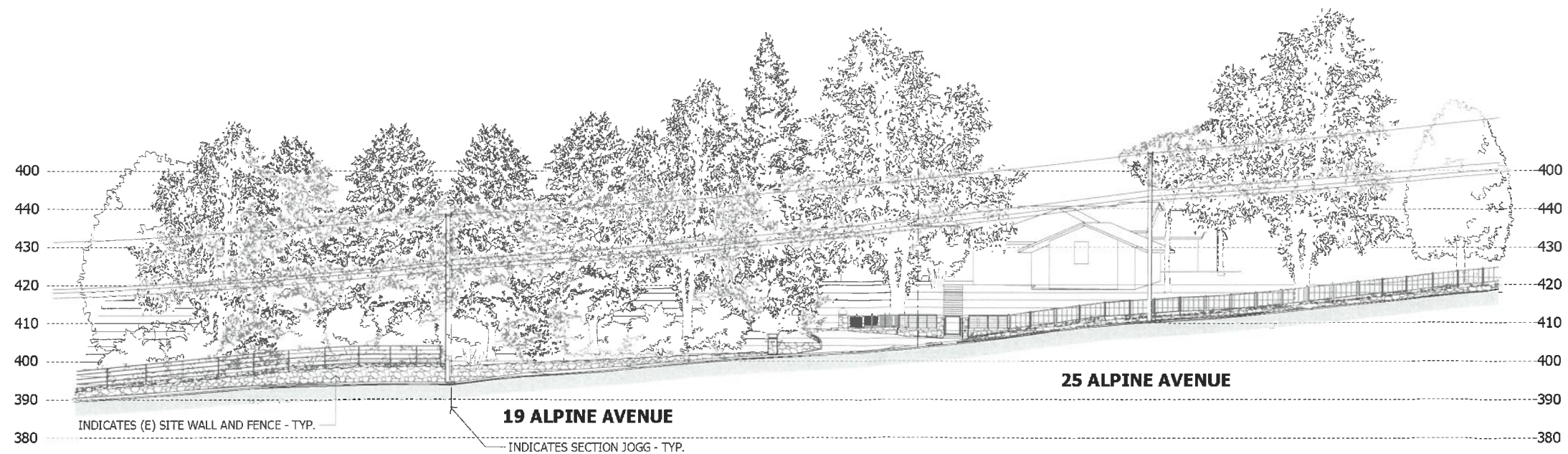
PROJECT NO : 16621

SHEET NUMBER

A-1.2



STREET PROFILE 'A'
SCALE: 1/16" = 1'-0"

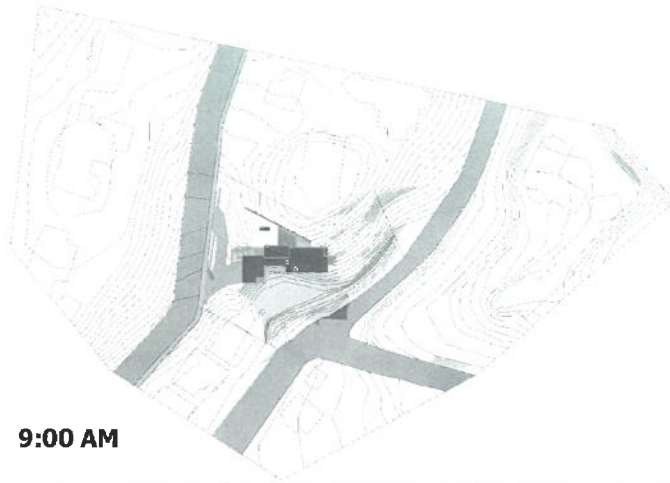


STREET PROFILE 'B'
SCALE: 1/16" = 1'-0"

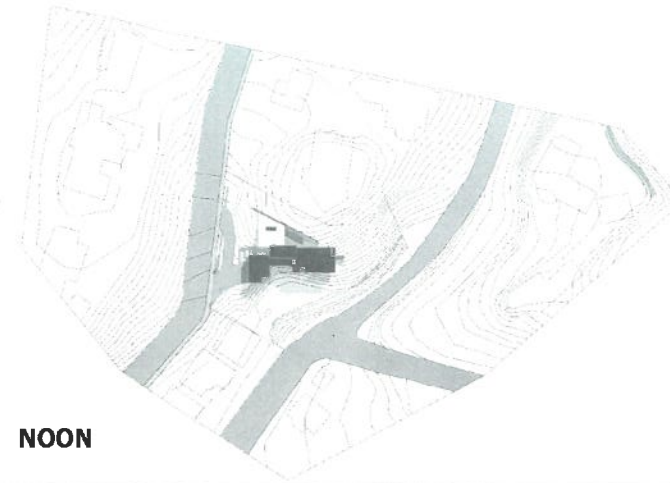
NOTE: SHADOW STUDY FOR ALL
DIAGRAMS DOES NOT
INCLUDE ANY EXISTING TREES

SPRING EQUINOX

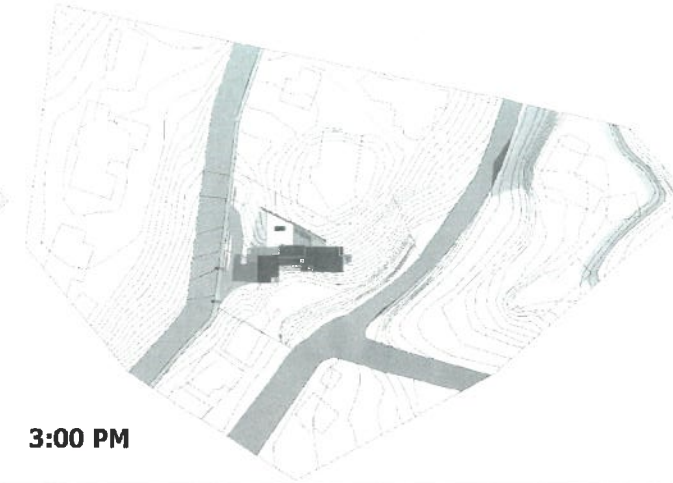
9:00 AM



NOON

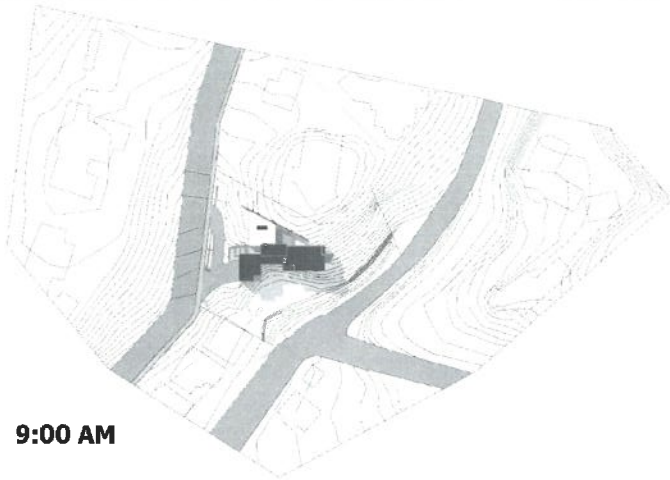


3:00 PM

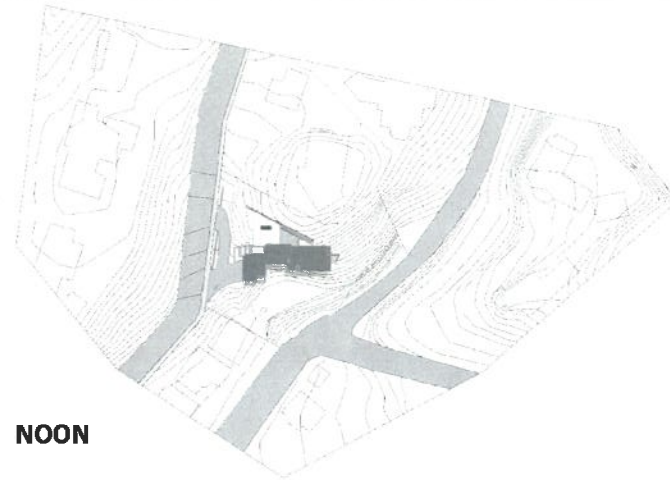


SUMMER SOLSTICE

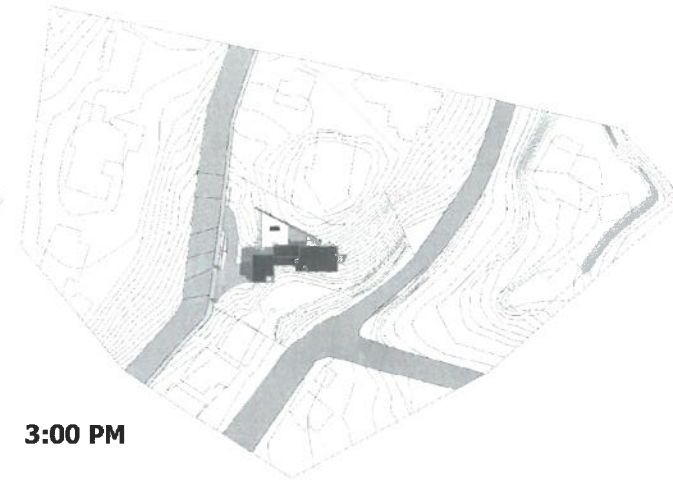
9:00 AM



NOON

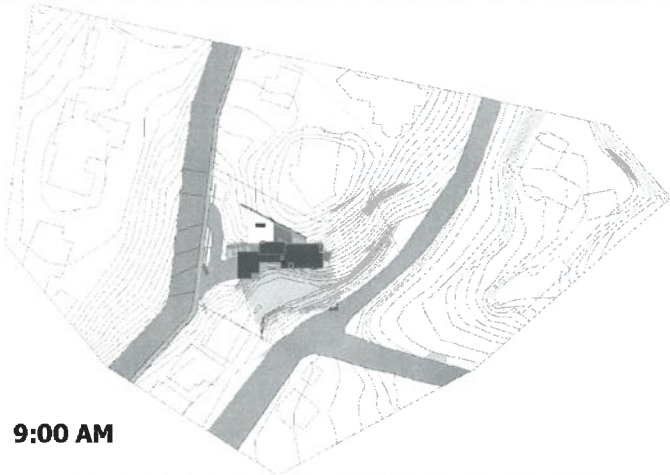


3:00 PM

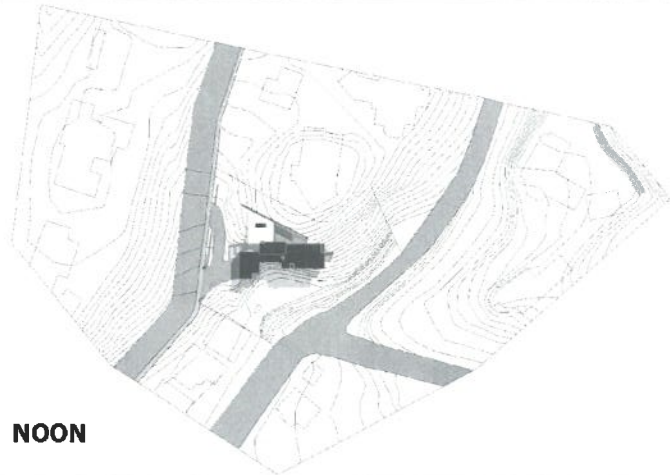


AUTUMNAL EQUINOX

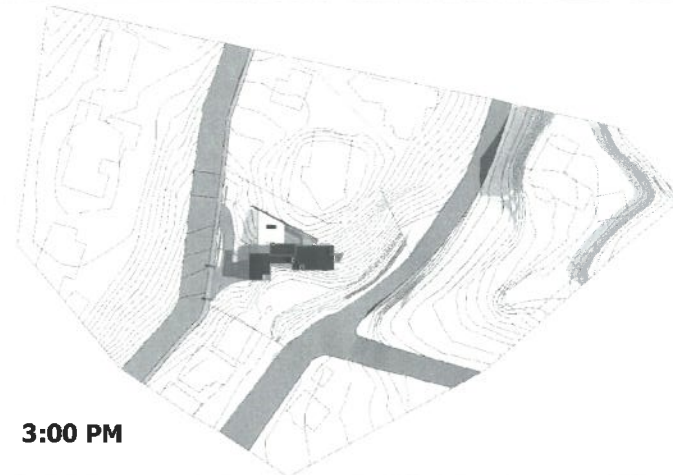
9:00 AM



NOON

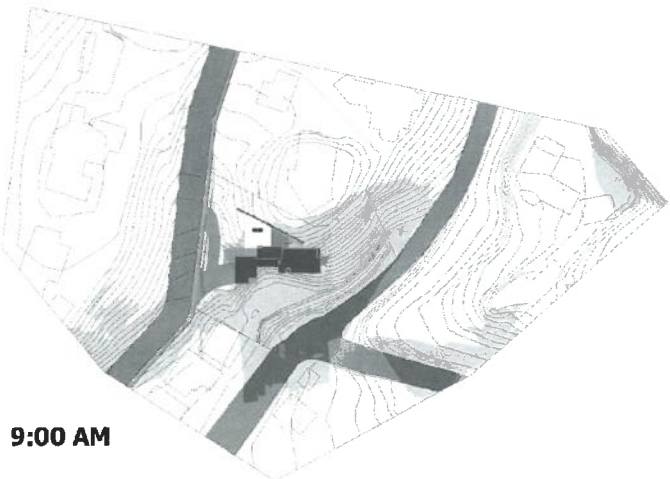


3:00 PM

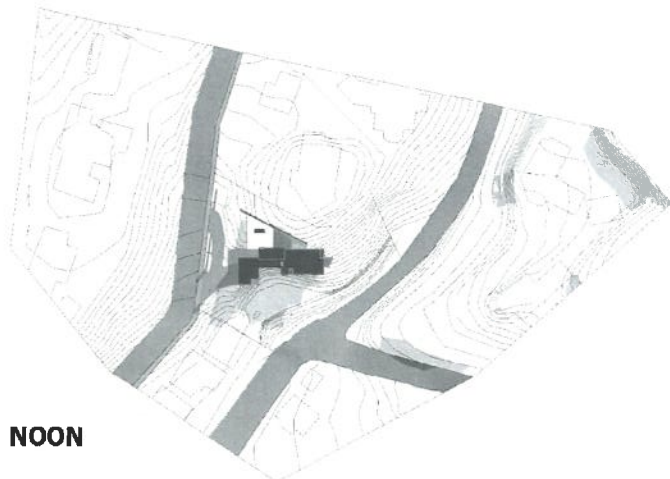


WINTER SOLSTICE

9:00 AM



NOON



3:00 PM



ARCHITECTURE - PLANNING - INTERIORS

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PROJECT NAME

COREY RESIDENCE

26 ALPINE AVE
LOS GATOS, CA 95030
APN# 529-37-042

REVISIONS

SHADOW STUDY DIAGRAM

DATE : 1-17-17

SCALE : N.T.S.

DRAWN BY : DZ

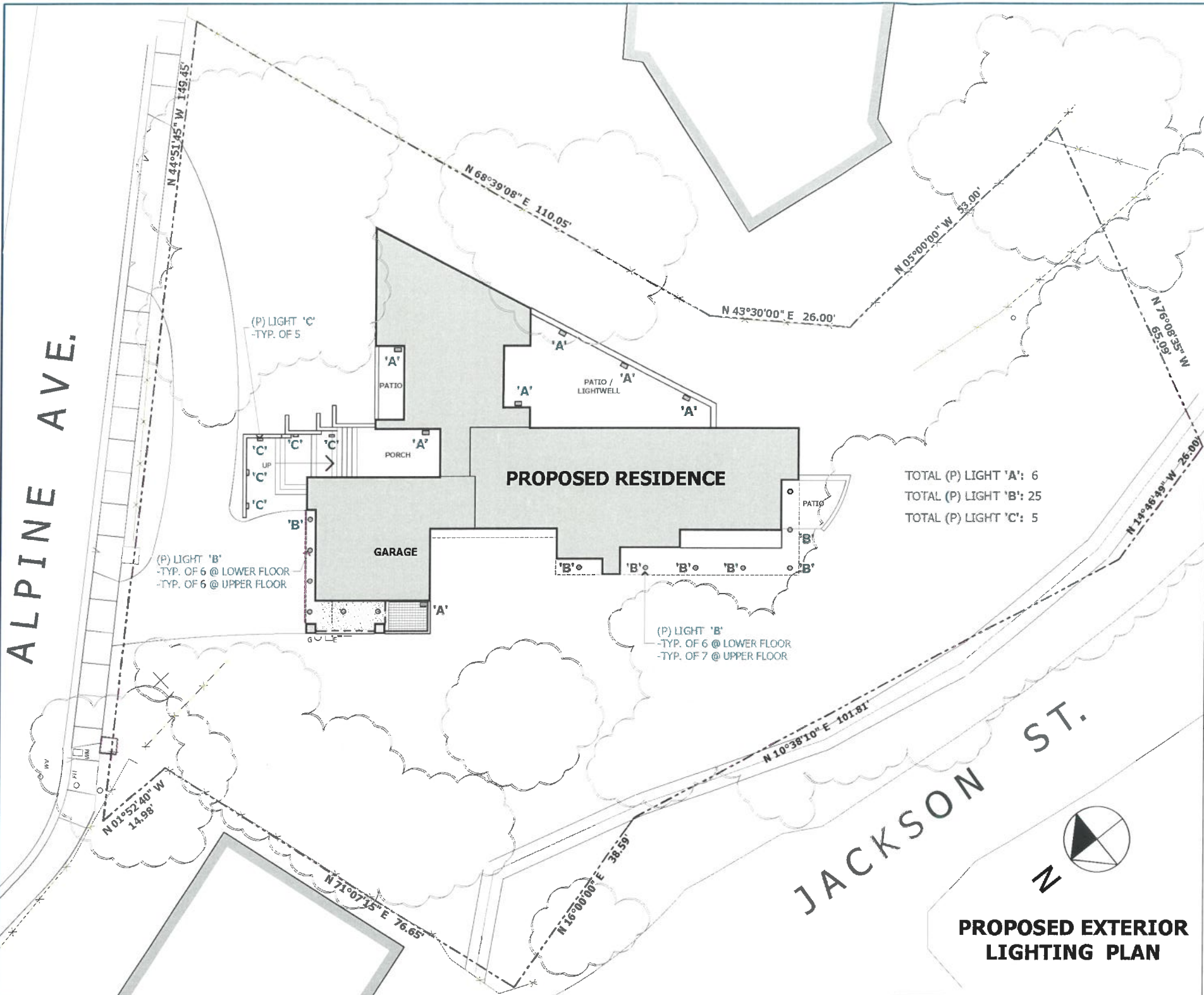
CHECKED BY : TS

ARCHITECT : TOM SLOAN

PROJECT NO : 16621

SHEET NUMBER

A-1.3



PROPOSED WALL MOUNTED LIGHT 'A'
HINKLEY LIGHTING 1660BZ-LED BRONZE 16.75" HEIGHT ADA COMPLIANT
DARK SKY LED OUTDOOR WALL SCONCE - LUNA COLLECTION

- Product Details for the Hinkley Lighting 1660BZ in Bronze
- 16.75" Height ADA Compliant Light Dark Sky Outdoor Wall Sconce from the Luna Collection
- Features:**
- Bronze metal cylinder shade included with the Sconce to act as a light shield
 - 16.75" Height ADA Compliant Light Dark Sky Outdoor Wall Sconce from the Luna Collection
 - 16.75" Height ADA Compliant Light Dark Sky Outdoor Wall Sconce from the Luna Collection
 - 16.75" Height ADA Compliant Light Dark Sky Outdoor Wall Sconce from the Luna Collection
 - 16.75" Height ADA Compliant Light Dark Sky Outdoor Wall Sconce from the Luna Collection
- Lamping Technologies:**
- Bulb Base - E26
 - Bulb Type - Incandescent
 - Bulb Wattage - 60W
 - Bulb Voltage - 120V
 - Bulb Quantity - 1
 - Bulb Material - Glass
 - Bulb Shape - A19
 - Bulb Finish - Clear
 - Bulb Color - Warm White
 - Bulb Life - 10,000 hours
 - Bulb Energy - 60W
 - Bulb Efficacy - 100 lm/W
 - Bulb Dimmable - No
 - Bulb Dimmer - Not Required
 - Bulb Dimmer - Not Required
 - Bulb Dimmer - Not Required
 - Bulb Dimmer - Not Required
 - Bulb Dimmer - Not Required



- Specifications:**
- ADA Yes
 - ADA Height 16.75"
 - ADA Width 16.75"
 - ADA Depth 16.75"
 - ADA Weight 7.5 lbs
 - ADA Material Aluminum
 - ADA Finish Bronze
 - ADA Color Warm White
 - ADA Life 10,000 hours
 - ADA Energy 60W
 - ADA Efficacy 100 lm/W
 - ADA Dimmable No
 - ADA Dimmer Not Required
 - ADA Dimmer Not Required
 - ADA Dimmer Not Required
 - ADA Dimmer Not Required
 - ADA Dimmer Not Required
- Compliance:**
- ADA Compliant - The Americans with Disabilities Act (ADA) requires that all new construction and alterations to existing buildings be accessible to people with disabilities.
 - ADA Compliant - The Americans with Disabilities Act (ADA) requires that all new construction and alterations to existing buildings be accessible to people with disabilities.
 - ADA Compliant - The Americans with Disabilities Act (ADA) requires that all new construction and alterations to existing buildings be accessible to people with disabilities.
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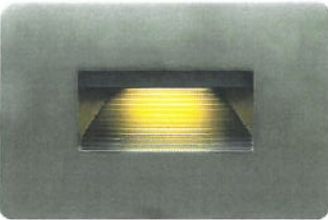
PROPOSED CEILING FLUSH MOUNT LIGHT 'B'
HINKLEY LIGHTING 1663BZ-LED BRONZE 11" LED
DARK SKY OUTDOOR FLUSH MOUNT CEILING FIXTURE - LUNA COLLECTION

- Product Details for the Hinkley Lighting 1663BZ-LED in Bronze
- Single Light LED Outdoor Flush Mount Ceiling Fixture from the Luna Collection
- Features:**
- 11" LED Flush Mount Ceiling Fixture
 - 11" LED Flush Mount Ceiling Fixture
 - 11" LED Flush Mount Ceiling Fixture
 - 11" LED Flush Mount Ceiling Fixture
 - 11" LED Flush Mount Ceiling Fixture
- Lamping Technologies:**
- Bulb Base - E26
 - Bulb Type - LED
 - Bulb Wattage - 10W
 - Bulb Voltage - 120V
 - Bulb Quantity - 1
 - Bulb Material - Glass
 - Bulb Shape - A19
 - Bulb Finish - Clear
 - Bulb Color - Warm White
 - Bulb Life - 10,000 hours
 - Bulb Energy - 10W
 - Bulb Efficacy - 100 lm/W
 - Bulb Dimmable - No
 - Bulb Dimmer - Not Required
 - Bulb Dimmer - Not Required
 - Bulb Dimmer - Not Required
 - Bulb Dimmer - Not Required
 - Bulb Dimmer - Not Required



- Specifications:**
- ADA Yes
 - ADA Height 11"
 - ADA Width 11"
 - ADA Depth 11"
 - ADA Weight 7.5 lbs
 - ADA Material Aluminum
 - ADA Finish Bronze
 - ADA Color Warm White
 - ADA Life 10,000 hours
 - ADA Energy 10W
 - ADA Efficacy 100 lm/W
 - ADA Dimmable No
 - ADA Dimmer Not Required
 - ADA Dimmer Not Required
 - ADA Dimmer Not Required
 - ADA Dimmer Not Required
 - ADA Dimmer Not Required
- Compliance:**
- ADA Compliant - The Americans with Disabilities Act (ADA) requires that all new construction and alterations to existing buildings be accessible to people with disabilities.
 - ADA Compliant - The Americans with Disabilities Act (ADA) requires that all new construction and alterations to existing buildings be accessible to people with disabilities.
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 - ADA Compliant - The Americans with Disabilities Act (ADA) requires that all new construction and alterations to existing buildings be accessible to people with disabilities.

PROPOSED STEP LIGHT 'C'
HINKLEY LIGHTING 5850BZ BRONZE 11" LED
OUTDOOR STEP LIGHT - LUNA COLLECTION



- Product Details for the Hinkley Lighting 5850BZ in Bronze
- Single Light 3" Height ADA Compliant LED Outdoor Step Light from the Luna Collection
- Features:**
- 3" LED Step Light
 - 3" LED Step Light
 - 3" LED Step Light
 - 3" LED Step Light
 - 3" LED Step Light
- Lamping Technologies:**
- Bulb Base - E26
 - Bulb Type - LED
 - Bulb Wattage - 10W
 - Bulb Voltage - 120V
 - Bulb Quantity - 1
 - Bulb Material - Glass
 - Bulb Shape - A19
 - Bulb Finish - Clear
 - Bulb Color - Warm White
 - Bulb Life - 10,000 hours
 - Bulb Energy - 10W
 - Bulb Efficacy - 100 lm/W
 - Bulb Dimmable - No
 - Bulb Dimmer - Not Required
 - Bulb Dimmer - Not Required
 - Bulb Dimmer - Not Required
 - Bulb Dimmer - Not Required
 - Bulb Dimmer - Not Required
- Specifications:**
- ADA Yes
 - ADA Height 3"
 - ADA Width 3"
 - ADA Depth 3"
 - ADA Weight 7.5 lbs
 - ADA Material Aluminum
 - ADA Finish Bronze
 - ADA Color Warm White
 - ADA Life 10,000 hours
 - ADA Energy 10W
 - ADA Efficacy 100 lm/W
 - ADA Dimmable No
 - ADA Dimmer Not Required
 - ADA Dimmer Not Required
 - ADA Dimmer Not Required
 - ADA Dimmer Not Required
 - ADA Dimmer Not Required
- Compliance:**
- ADA Compliant - The Americans with Disabilities Act (ADA) requires that all new construction and alterations to existing buildings be accessible to people with disabilities.
 - ADA Compliant - The Americans with Disabilities Act (ADA) requires that all new construction and alterations to existing buildings be accessible to people with disabilities.
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PROJECT NAME
COREY RESIDENCE
26 ALPINE AVE
LOS GATOS, CA 95030
APN# 529-37-042

REVISIONS	

PROPOSED EXTERIOR LIGHTING PLAN

SITE LEGEND
DATE : 1-17-17
SCALE : 1/8" = 1'-0"
DRAWN BY : DZ
CHECKED BY : TS
ARCHITECT : TOM SLOAN
PROJECT NO : 16621

SHEET NUMBER
A-1.4



ARCHITECTURE-PLANNING-INTERIORS

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PROJECT NAME

COREY RESIDENCE

26 ALPINE AVE
LOS GATOS, CA 95030
APN# 529-37-042

REVISIONS

PC1	10-27-16	D.Z.
PC2	1-17-17	D.Z.

PROPOSED LOWER FLOOR PLAN

DATE : 1-17-17

SCALE : 1/4" = 1'-0"

DRAWN BY : TS

CHECKED BY : TS

ARCHITECT : TOM SLOAN

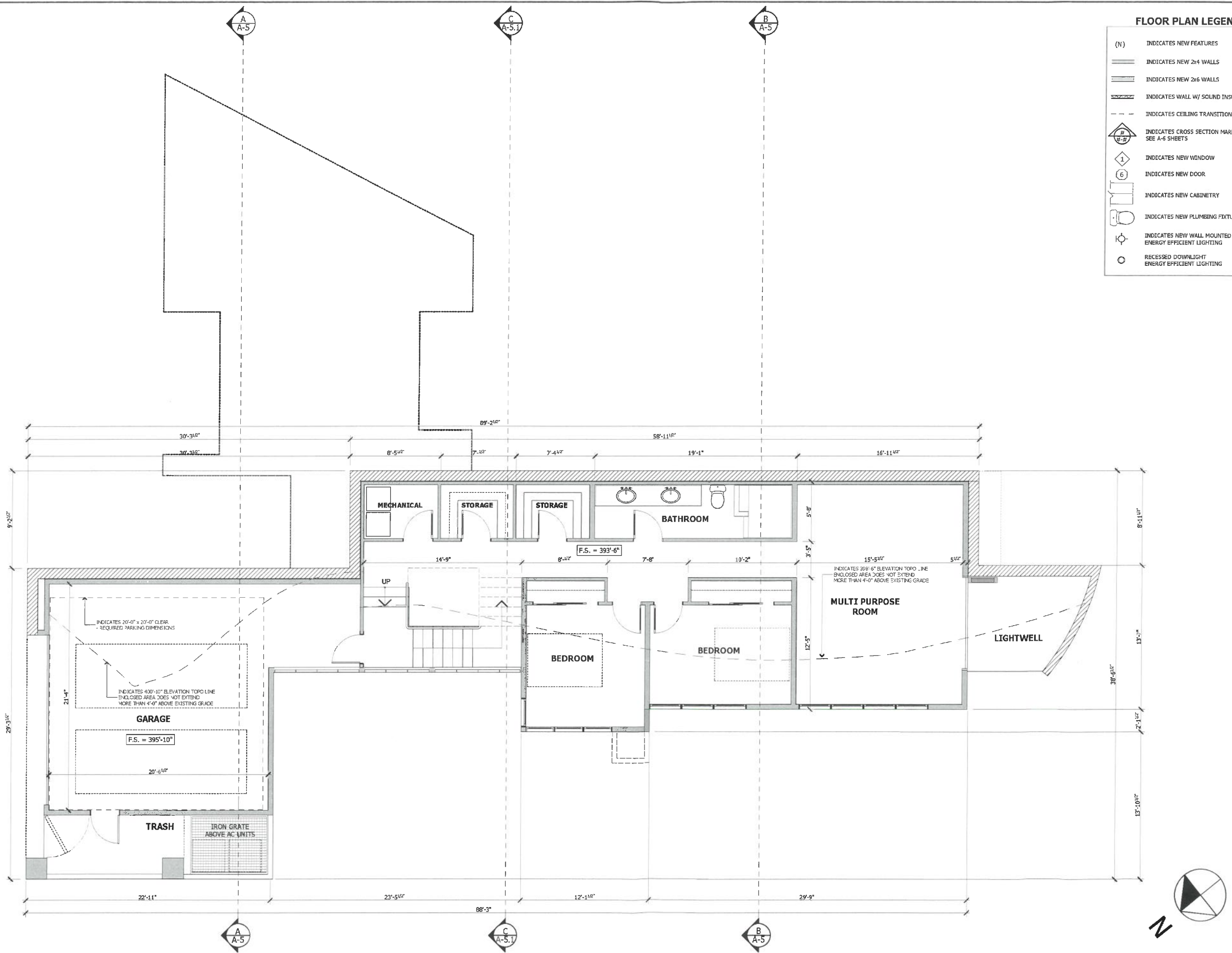
PROJECT NO : 16621

SHEET NUMBER

A-2.0

FLOOR PLAN LEGEND

- (N) INDICATES NEW FEATURES
- INDICATES NEW 2x4 WALLS
- INDICATES NEW 2x6 WALLS
- INDICATES WALL W/ SOUND INSULATION
- INDICATES CEILING TRANSITION
- INDICATES CROSS SECTION MARKER SEE A-6 SHEETS
- INDICATES NEW WINDOW
- INDICATES NEW DOOR
- INDICATES NEW CABINETRY
- INDICATES NEW PLUMBING FIXTURE
- INDICATES NEW WALL MOUNTED DOWNLIGHT ENERGY EFFICIENT LIGHTING
- RECESSED DOWNLIGHT ENERGY EFFICIENT LIGHTING





ARCHITECTURE - PLANNING - INTERIORS

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PROJECT NAME

COREY RESIDENCE

26 ALPINE AVE
LOS GATOS, CA 95030
APN# 529-37-042

REVISIONS

PC2	12-19-16	D.Z.
PC2	1-17-17	D.Z.
PC2	6-26-17	D.Z.

PROPOSED UPPER FLOOR PLAN

DATE : 1-17-17

SCALE : 1/4" = 1'-0"

DRAWN BY : DZ

CHECKED BY : TS

ARCHITECT : TOM SLOAN

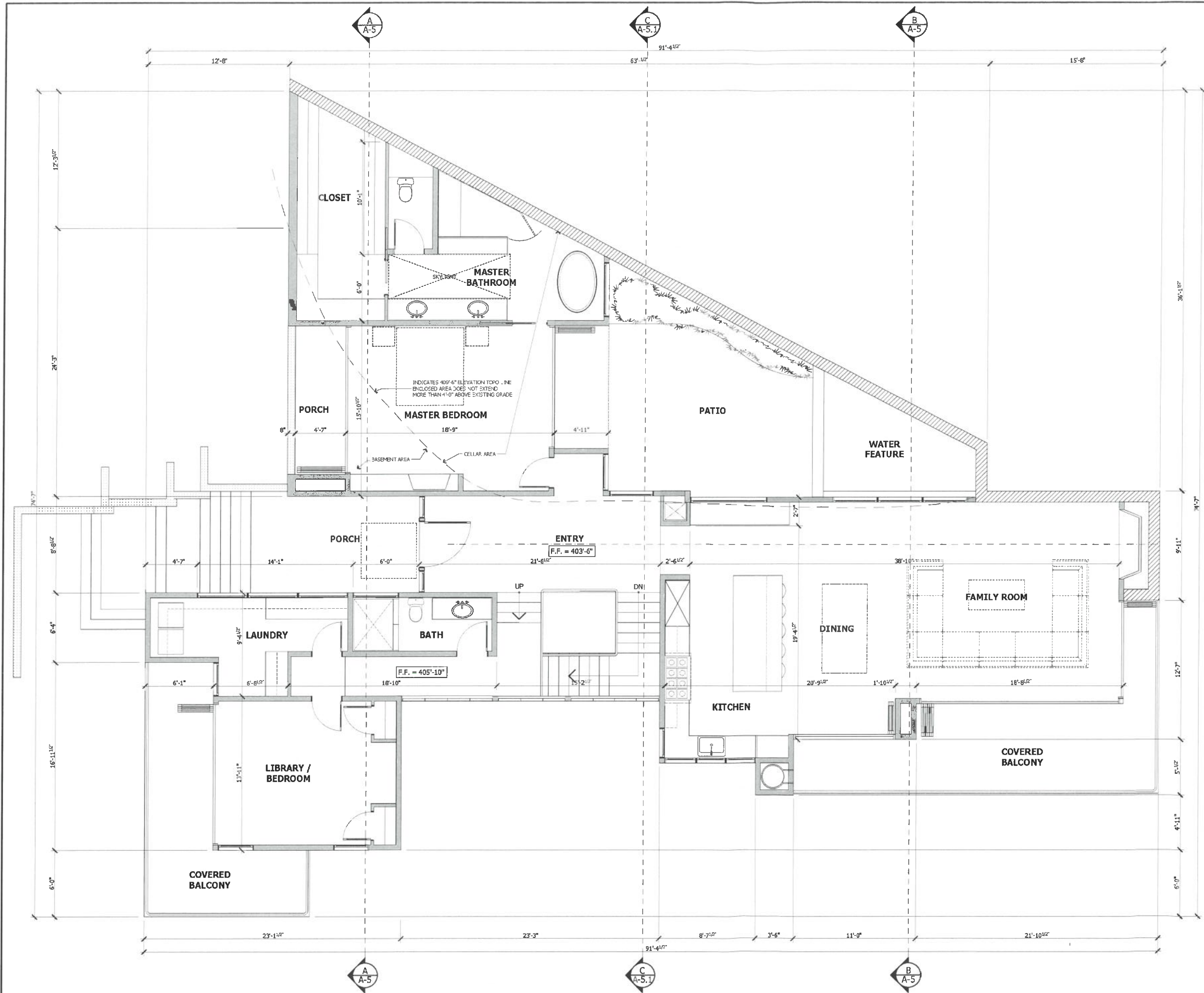
PROJECT NO : 16621

SHEET NUMBER

A-2.1

FLOOR PLAN LEGEND

- (N) INDICATES NEW FEATURES
- INDICATES NEW 2x4 WALLS
- INDICATES NEW 2x6 WALLS
- INDICATES WALL W/ SOUND INSULATION
- INDICATES CEILING TRANSITION
- INDICATES CROSS SECTION MARKER SEE A-6 SHEETS
- INDICATES NEW WINDOW
- INDICATES NEW DOOR
- INDICATES NEW CABINETRY
- INDICATES NEW PLUMBING FIXTURE
- INDICATES NEW WALL MOUNTED DOWNLIGHT ENERGY EFFICIENT LIGHTING
- RECESSED DOWNLIGHT ENERGY EFFICIENT LIGHTING



The Extensive Garden Roof® Assembly is ideally suited for locations that will receive little maintenance or where structural capabilities are a concern.

Unlike Intensive Garden Roof Assemblies, Extensive Garden Roofs are not intended for recreational use and are typically chosen for their appearance or to help reduce the "urban heat island" effect and minimize stormwater run-off. Extensive roofs only require a shallow growing media depth, generally as little as 3"-6" (depending on the region), and therefore add little weight to the roof structure below when compared to a standard ballasted PMR roof.

Recommended plant types for extensive roofs need to be drought, wind and frost resistant, such as self-generating sedums, herbs, grasses and other vegetation that can withstand harsh growing conditions.

The water stored in the growing media and drainage/retention layer is sufficient to sustain the drought resistant plants between periods of normal rainfall. Thinner assemblies and very lightweight growing media blends are available for Extensive Garden Roof Assemblies. Contact us for specifics.

Features of the Extensive Garden Roof Assembly:

- Depth (3" - 6" of growing media)
- Reduce and delay stormwater runoff
- Help to mitigate the urban heat island effect
- Requires minimal maintenance
- Can be used on flat or sloping roofs
- Garden Tray GT15™ available for modular applications
- Vegetation options - plugs, cuttings, InstaGreen™ Sedum Carpet or InstaGreen™ Sedum Tile

Typical Application:

An Extensive Garden Roof Assembly can be applied to flat roofs and sloping roofs with a pitch of up to 12:12 or 45°, provided the appropriate measures are taken to cope with the shear forces and soil retention. Extensive roofs are typically lightweight and can be installed over a variety of structures including metal roof decks.

Typical Extensive Assembly



Extensive Assembly over metal deck



ARCHITECTURE-PLANNING-INTERIORS

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PROJECT NAME

**COREY
RESIDENCE**

26 ALPINE AVE
LOS GATOS, CA 95030
APN# 529-37-042

REVISIONS

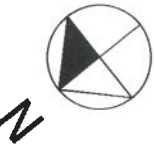
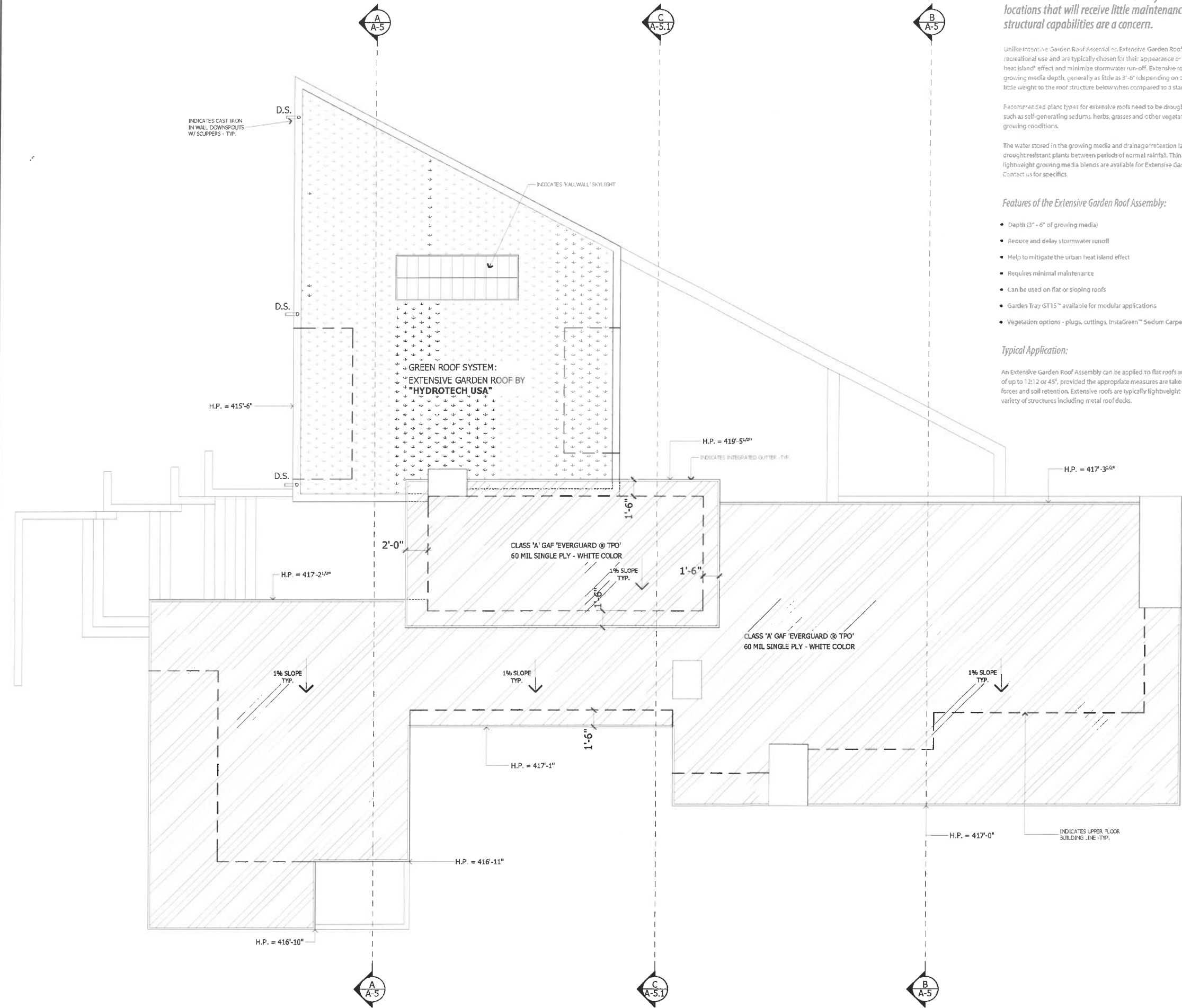
Δ PC2	1-17-17	D.Z.

PROPOSED
ROOF PLAN

DATE : 1-17-17
SCALE : 1/4" = 1'-0"
DRAWN BY : DZ
CHECKED BY : TS
ARCHITECT : TOM SLOAN
PROJECT NO : 16621

SHEET NUMBER

A-3.0



NO.	DESCRIPTION	DATE
1	PC2 1-17-17	D.Z.

EXTERIOR FINISHES

- 1 ROOF: CLASS 'A' GAF 'EVERGUARD' @ TPO' 60 MIL SINGLE PLY - MANSARD COLOR
- 2 ROOF: GREEN ROOF SYSTEM: EXTENSIVE GARDEN ROOF BY 'HYDROTECH USA'
- 3 ROOF FASCIA: CUSTOM 2x4 GA. PRE-PAINTED 'GALVALUME' METAL - DARK BRONZE COLOR
- 4 EXTERIOR WALLS AND GARAGE DOOR: GREY WOOD SIDING - 6" EXPOSURE
- 5 EXTERIOR WALLS: 'COOPER STONE' - CHESTNUT LEDGESTONE - NATURAL THIN STONE VENEER
- 6 EXTERIOR WALLS: ALUMINUM CLAD 'DARK BRONZE' ANODIZED ALUMINUM
- 7 EXTERIOR WALLS: 'KALWALL' - WALL SYSTEM TRANSLUCENT PANELS
- 8 WINDOWS & EXTERIOR DOORS: ALUMINUM WOOD CLAD 'DARK BRONZE' ANODIZED ALUMINUM
- 9 ENTRY DOOR: CUSTOM STEEL DOOR 'DARK BRONZE' COLOR
- 10 GUARDRAIL: STEEL - 'DARK BRONZE' COLOR AND SAFETY GLASS
- 11 RETAINING WALLS, PLANTERS: POURED IN PLACE CONCRETE GREY COLOR
- 12 DRIVEWAY, WALKWAYS AND PATIOS PERMEABLE PAVERS: ECO-FRIENDLY 'PERMEABLE MESSIAH PAVEMENT' - PREMIUM PETALUMA COLOR BY 'BASALITE'

**DETAIL SECTION 'A'
AT ENTRY STAIR**

INDICATES EXISTING GRADE RETAINED BEHIND PROPOSED RETAINING WALLS

INDICATES MAXIMUM 4'-0" HIGH RETAINING WALLS -TYP. AT ENTRY STAIR

PORCH

ENTRY

INDICATES 30" VERTICAL DISTANCE FROM THE EXISTING GRADE AT WALL FACE

INDICATES 30" VERTICAL DISTANCE FROM THE PROPOSED GRADE AT WALL FACE

H.P. = 419'-5"

H.P. = 417'-2 1/2"

1% SLOPE

1% SLOPE

H.P. = 416'-10"

T.P. = 418'-4" + 14'-10"

H.P. = 415'-6"

T.P. = 413'-6" + 10'-0"

E.P. = 410'-6 1/2"

UPPER FLOOR SUBFLOOR = 403'-6" (± 0'-0")

INDICATES EXISTING GRADE TO REMAIN AT THE FACE OF THE WALL

INDICATES EXISTING GRADE AT THE FACE OF THE WALL

INDICATES PROPOSED GRADE AT THE FACE OF THE WALL

INDICATES EXISTING GRADE AT THE FACE OF THE WALL

E.P. = 407'-11"

T.W. = 404'-3"

B.W. = 396'-2"

T.P. = 414'-10" (+ 11'-4")

UPPER FLOOR SUBFLOOR = 405'-10" (+ 2'-4")

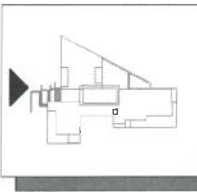
GARAGE F.SLAB = 395'-10" (- 7'-8")

INDICATES EXISTING GRADE AT THE FACE OF THE WALL

INDICATES PROPOSED FINISHED GRADE AT THE FACE OF THE WALL

PROPOSED FRONT ELEVATION: NORTHEAST

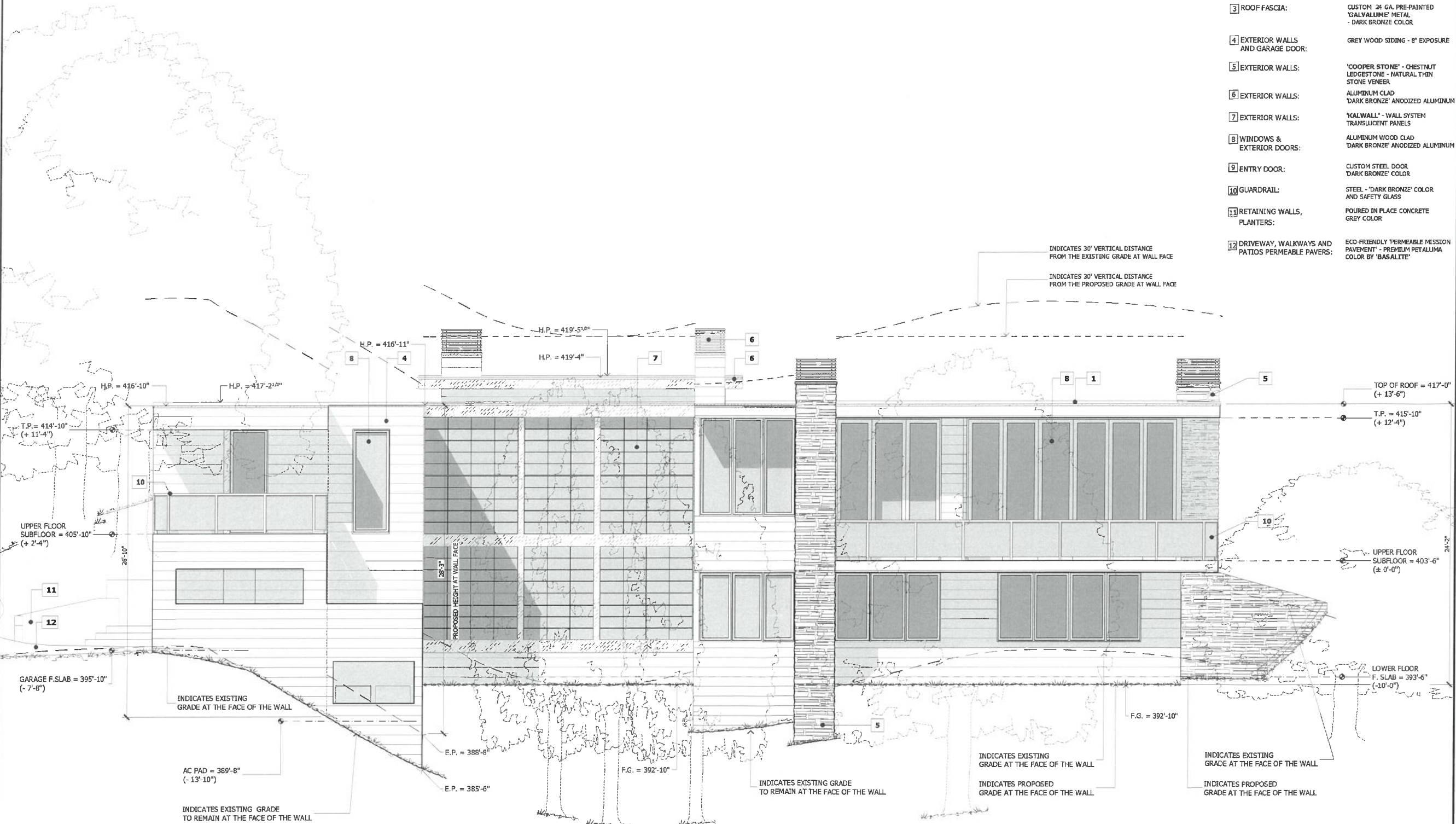
SCALE : 1/4" = 1'-0"



NO.	DATE	DESCRIPTION
1	PC2 1-17-17	D.Z.

EXTERIOR FINISHES

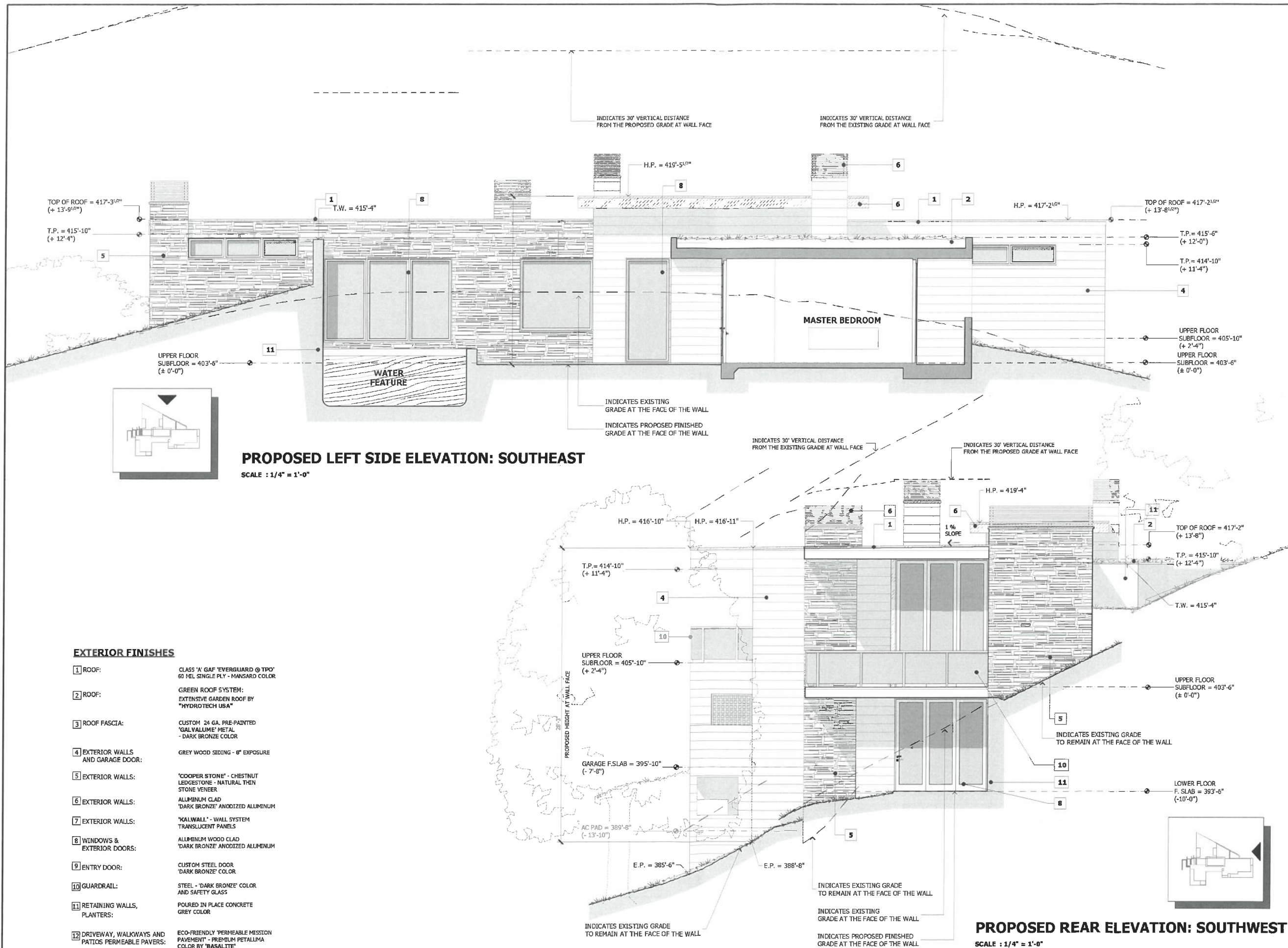
- 1 ROOF: CLASS 'A' GAF 'EVERGUARD' TPO 60 MIL SINGLE PLY - MANSARD COLOR
- 2 ROOF: GREEN ROOF SYSTEM: EXTENSIVE GARDEN ROOF BY 'HYDROTECH USA'
- 3 ROOF FASCIA: CUSTOM 24 GA. PRE-PAINTED 'GALVALUME' METAL - DARK BRONZE COLOR
- 4 EXTERIOR WALLS AND GARAGE DOOR: GREY WOOD SIDING - 8" EXPOSURE
- 5 EXTERIOR WALLS: 'COOPER STONE' - CHESTNUT LEDGESTONE - NATURAL THIN STONE VENEER
- 6 EXTERIOR WALLS: ALUMINUM CLAD 'DARK BRONZE' ANODIZED ALUMINUM
- 7 EXTERIOR WALLS: 'KALWALL' - WALL SYSTEM TRANSLUCENT PANELS
- 8 WINDOWS & EXTERIOR DOORS: ALUMINUM WOOD CLAD 'DARK BRONZE' ANODIZED ALUMINUM
- 9 ENTRY DOOR: CUSTOM STEEL DOOR 'DARK BRONZE' COLOR
- 10 GUARDRAIL: STEEL - 'DARK BRONZE' COLOR AND SAFETY GLASS
- 11 RETAINING WALLS, PLANTERS: POURED IN PLACE CONCRETE GREY COLOR
- 12 DRIVEWAY, WALKWAYS AND PATIOS PERMEABLE PAVERS: ECO-FRIENDLY 'PERMEABLE MISSION PAVEMENT' - PREMIUM PETALUMA COLOR BY 'BASALITE'



PROPOSED RIGHT SIDE ELEVATION: NORTHWEST

SCALE : 1/4" = 1'-0"

NO.	DATE	DESCRIPTION	BY
PC2	1-17-17	D.Z.	



PROPOSED LEFT SIDE ELEVATION: SOUTHEAST

SCALE : 1/4" = 1'-0"

PROPOSED REAR ELEVATION: SOUTHWEST

SCALE : 1/4" = 1'-0"

EXTERIOR FINISHES

- 1 ROOF: CLASS 'A' GAF 'EVERGUARD @ TPO' 60 MIL SINGLE PLY - MANSARD COLOR
- 2 ROOF: GREEN ROOF SYSTEM: EXTENSIVE GARDEN ROOF BY "HYDROTECH USA"
- 3 ROOF FASCIA: CUSTOM 24 GA. PRE-PAINTED 'GALVALUME' METAL - DARK BRONZE COLOR
- 4 EXTERIOR WALLS AND GARAGE DOOR: GREY WOOD SIDING - 8" EXPOSURE
- 5 EXTERIOR WALLS: 'COOPER STONE' - CHESTNUT LEDGESTONE - NATURAL THEN STONE VENEER
- 6 EXTERIOR WALLS: ALUMINUM CLAD 'DARK BRONZE' ANODIZED ALUMINUM
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- 8 WINDOWS & EXTERIOR DOORS: ALUMINUM WOOD CLAD 'DARK BRONZE' ANODIZED ALUMINUM
- 9 ENTRY DOOR: CUSTOM STEEL DOOR 'DARK BRONZE' COLOR
- 10 GUARDRAIL: STEEL - 'DARK BRONZE' COLOR AND SAFETY GLASS
- 11 RETAINING WALLS, PLANTERS: POURED IN PLACE CONCRETE GREY COLOR
- 12 DRIVEWAY, WALKWAYS AND PATIOS PERMEABLE PAVERS: ECO-FRIENDLY 'PERMEABLE MISSION PAVEMENT' - PREMIUM PETALUMA COLOR BY 'BASALITE'



The plans, ideas and design on this drawing are the property of the designer, divided solely for this contract. Plans shall not be used, in whole or in part, for any purpose for which they were not intended without the written permission of METRO DESIGN GROUP. (C)

PROJECT NAME

26 ALPINE AVE
LOS GATOS, CA 95030
APN# 529-37-042

REVISIONS

PC1	10-27-16	D.Z.
PC2	1-17-17	D.Z.
PC2	6-26-17	D.Z.

PROPOSED SECTIONS

SECTION 'A'

SECTION 'B'

DATE : 1 -17 -17

SCALE : $1/4" = 1'-0"$

DRAWN BY : TS

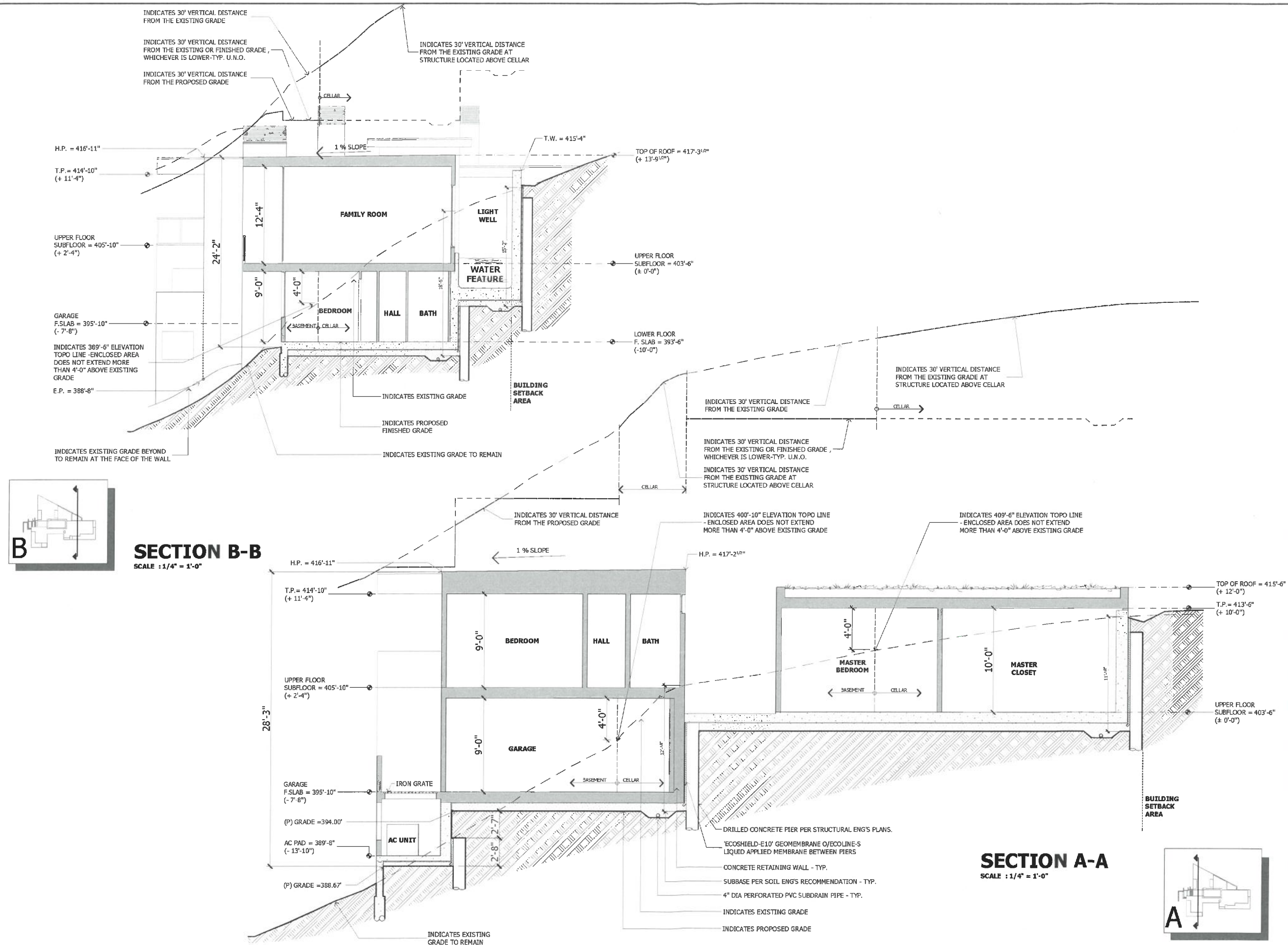
CHECKED BY : TS

ARCHITECT : TOM SLOAN

PROJECT NO : 16621

SHEET NUMBER

A-5.0





ARCHITECTURE · PLANNING · INTERIORS

1475 S BASCOM AVE SUITE 200
CAMPBELL, CA 95008
(408) 711-1071 phone
(408) 711-1072 fax
www.metroarchitects.com

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PROJECT NAME

COREY RESIDENCE

26 ALPINE AVE
LOS GATOS, CA 95030
APN# 529-37-042

REVISIONS

NO.	DESCRIPTION	DATE
1	PC2 1-17-17	D.Z.

PROPOSED SECTIONS

SECTION 'C'

DATE : 1-17-17

SCALE : 1/4" = 1'-0"

DRAWN BY : TS

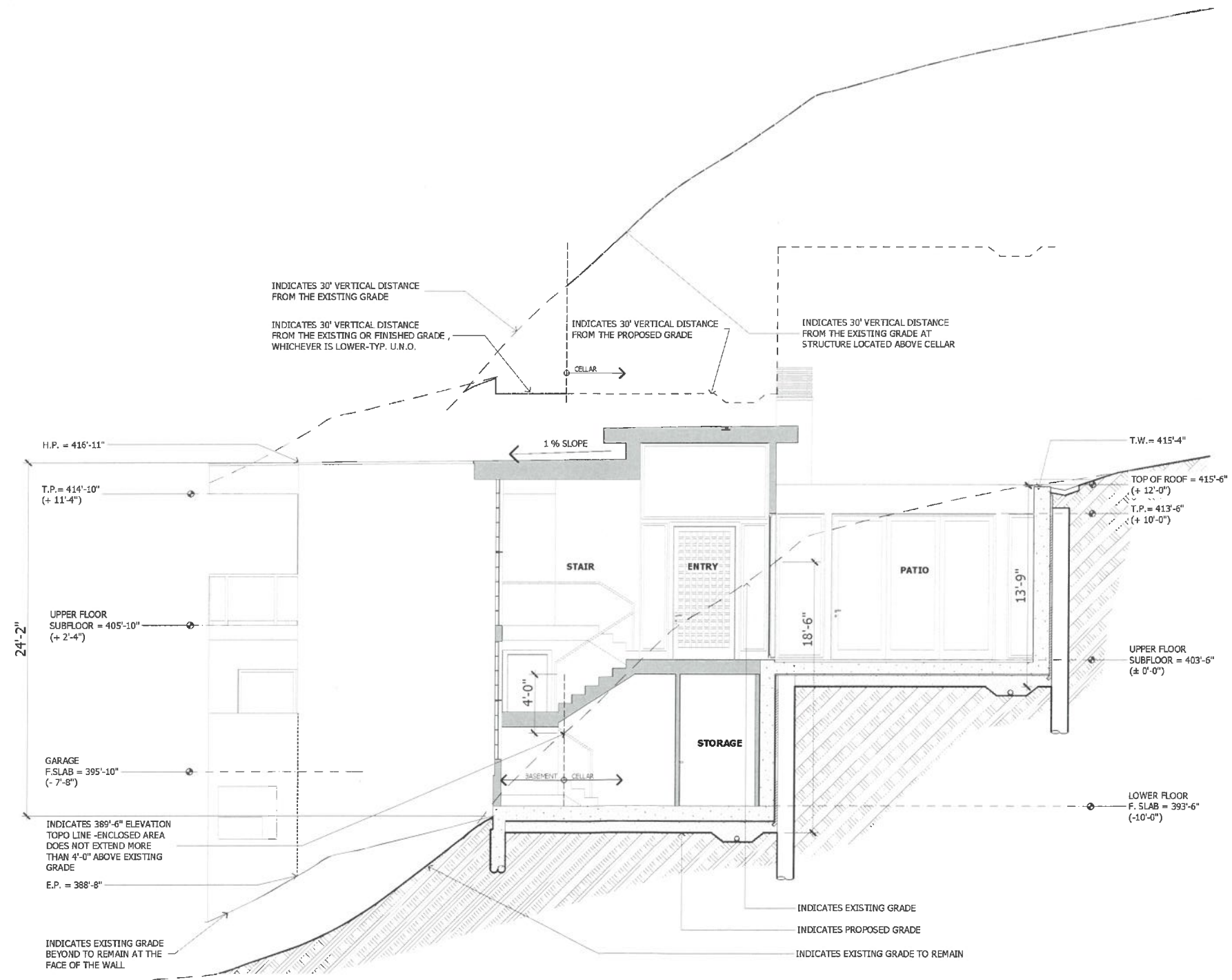
CHECKED BY : TS

ARCHITECT : TOM SLOAN

PROJECT NO : 16621

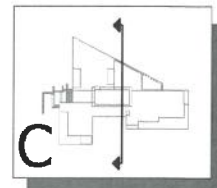
SHEET NUMBER

A-5.1



SECTION C-C

SCALE : 1/4" = 1'-0"

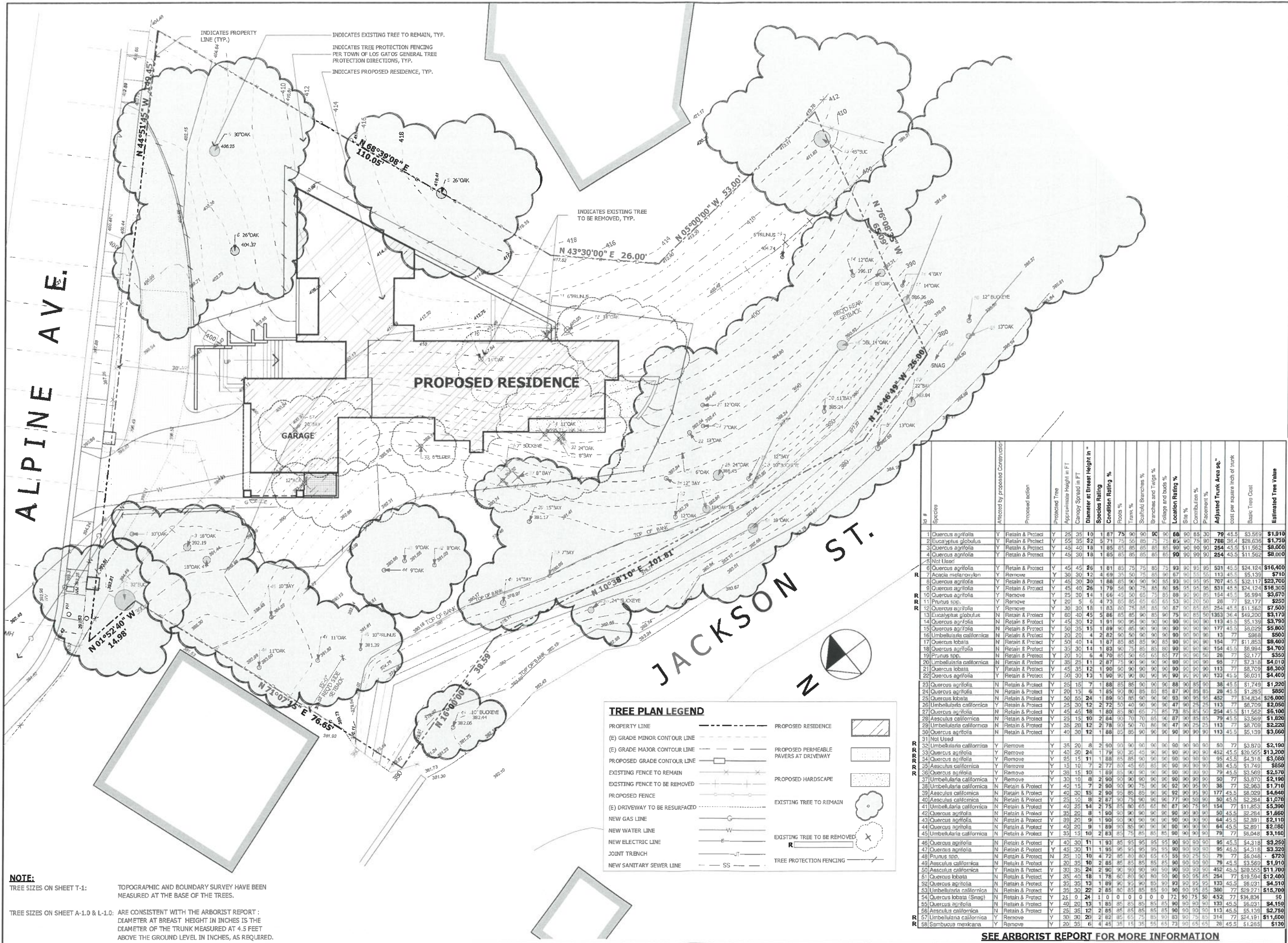


**COREY
RESIDENCE**

26 ALPINE AVE
LOS GATOS, CA 95030
APN# 529-37-042

REVISIONS

PC1	10-27-16	D.Z.
PC2	1-17-17	D.Z.
PC2	6-06-17	T.S.



ID #	Species	Affected by Proposed Construction	Proposed action	Protected Tree	Approximate Height in FT	Canopy Spread in FT	Diameter at Breast Height in"	Species Rating	Condition Rating	Altered by Proposed Construction										Adjusted Trunk Area sq. ft	Cost per square inch of trunk	Estimated Tree Value
										Roots %	Trunk %	Seal/old Branches %	Foliage and Twigs %	Location Rating %	Site %	Contribution %	Placement %	Basic Tree Cost				
1	Quercus agrifolia	Y	Retain & Protect	Y	25	35	10	1	87	75	90	90	90	68	90	85	30	79	45.5	\$3,569	\$1,910	
2	Eucaryptus globulus	Y	Retain & Protect	Y	55	35	32	5	71	75	56	85	75	63	90	75	90	788	36.4	\$26,636	\$1,750	
3	Quercus agrifolia	Y	Retain & Protect	Y	45	40	18	1	85	85	85	85	85	85	90	90	90	254	45.5	\$11,562	\$5,000	
4	Quercus agrifolia	Y	Retain & Protect	Y	45	30	18	1	85	85	85	85	85	85	90	90	90	254	45.5	\$11,562	\$5,000	
5	Nit Used																					
6	Quercus agrifolia	Y	Retain & Protect	Y	45	45	26	1	81	85	75	75	85	75	93	90	85	531	45.5	\$24,124	\$16,400	
7	Acacia melanoxylon	Y	Remove	Y	30	30	12	4	69	35	50	75	85	90	67	90	85	113	45.5	\$5,139	\$710	
8	Quercus agrifolia	Y	Retain & Protect	Y	45	30	30	1	88	85	90	90	90	85	93	90	85	707	45.5	\$32,117	\$22,700	
9	Quercus agrifolia	Y	Retain & Protect	Y	45	40	26	1	89	90	85	90	90	90	93	90	85	831	45.5	\$34,124	\$16,500	
10	Quercus agrifolia	Y	Remove	Y	25	30	14	1	66	45	50	65	75	85	88	90	85	154	45.5	\$6,594	\$3,670	
11	Prunus spp.	Y	Remove	Y	20	5	6	4	73	85	85	65	65	65	53	90	20	26	77	\$2,177	\$250	
12	Quercus agrifolia	Y	Remove	Y	30	30	18	1	83	80	75	85	85	85	85	85	85	254	45.5	\$11,562	\$7,500	
13	Eucalyptus globulus	N	Retain & Protect	Y	60	40	45	5	86	85	85	85	90	85	90	90	85	1353	36.4	\$49,200	\$3,790	
14	Quercus agrifolia	N	Retain & Protect	Y	45	30	12	1	91	90	95	90	90	90	90	90	90	113	45.5	\$5,139	\$3,170	
15	Quercus agrifolia	N	Retain & Protect	Y	50	35	15	1	89	90	85	90	90	90	90	90	90	177	45.5	\$9,029	\$5,600	
16	Umbellularia californica	N	Retain & Protect	Y	20	20	4	2	82	90	90	90	90	90	90	90	90	13	77	\$3,685	\$505	
17	Quercus lobata	N	Retain & Protect	Y	50	40	14	1	87	85	85	85	90	65	90	90	90	154	77	\$11,853	\$8,400	
18	Quercus agrifolia	N	Retain & Protect	Y	35	30	14	1	83	90	75	85	85	85	90	90	90	154	45.5	\$6,994	\$4,700	
19	Prunus spp.	N	Retain & Protect	Y	20	10	6	4	70	85	85	65	65	65	77	90	90	26	77	\$2,177	\$350	
20	Umbellularia californica	N	Retain & Protect	Y	35	25	11	2	87	75	90	90	90	90	90	90	95	77	\$3,318	\$4,010		
21	Quercus lobata	Y	Retain & Protect	Y	45	35	12	1	90	90	90	90	90	90	90	90	90	113	77	\$8,709	\$6,300	
22	Quercus agrifolia	Y	Retain & Protect	Y	50	30	13	1	90	90	90	90	90	90	90	90	90	133	45.5	\$6,031	\$4,400	
23	Quercus agrifolia	N	Retain & Protect	Y	25	15	7	1	88	85	85	90	90	88	90	85	38	45.5	\$1,749	\$1,220		
24	Quercus agrifolia	N	Retain & Protect	Y	20	15	6	1	85	90	90	85	85	85	87	90	85	26	45.5	\$1,263	\$850	
25	Quercus lobata	N	Retain & Protect	Y	50	55	24	1	89	90	85	90	90	90	93	90	95	452	77	\$14,834	\$26,000	
26	Umbellularia californica	Y	Retain & Protect	Y	25	30	12	2	72	50	40	90	90	90	47	90	25	113	77	\$6,709	\$2,050	
27	Quercus agrifolia	N	Retain & Protect	Y	45	45	18	1	80	85	85	75	75	85	73	85	85	254	45.5	\$11,562	\$6,100	
28	Aesculus californica	N	Retain & Protect	Y	25	15	10	2	84	90	70	70	85	90	87	90	85	79	45.5	\$3,569	\$1,620	
29	Umbellularia californica	N	Retain & Protect	Y	35	20	12	2	78	90	90	70	60	90	47	90	25	113	77	\$8,709	\$2,220	
30	Quercus agrifolia	N	Retain & Protect	Y	40	30	12	1	86	85	85	90	90	90	90	90	90	113	45.5	\$5,139	\$3,660	
31	Not Used																					
32	Umbellularia californica	Y	Remove	Y	35	20	8	2	90	90	90	90	90	90	90	90	90	50	77	\$3,870	\$2,190	
33	Quercus agrifolia	Y	Remove	Y	40	30	24	1	79	90	35	45	90	90	90	90	90	452	45.5	\$20,555	\$13,200	
34	Quercus agrifolia	Y	Remove	Y	25	15	11	1	88	85	85	90	90	90	90	90	95	45.5	\$4,318	\$3,080		
35	Aesculus californica	Y	Remove	Y	15	10	7	2	77	85	65	65	65	65	90	90	90	38	45.5	\$1,749	\$850	
36	Quercus agrifolia	Y	Remove	Y	35	15	10	1	89	85	90	90	90	90	90	90	90	79	45.5	\$3,569	\$2,570	
37	Umbellularia californica	Y	Remove	Y	30	10	8	2	90	90	90	90	90	90	90	90	90	50	77	\$3,870	\$2,190	
38	Umbellularia californica	N	Retain & Protect	Y	40	15	7	2	90	90	75	90	90	90	92	90	95	38	77	\$2,963	\$1,710	
39	Aesculus californica	N	Retain & Protect	Y	40	30	15	2	90	95	85	85	90	90	92	95	95	177	45.5	\$6,029	\$4,640	
40	Aesculus californica	N	Retain & Protect	Y	25	10	8	2	87	90	75	90	90	90	87	90	85	30	45.5	\$2,284	\$1,070	
41	Umbellularia californica	N	Retain & Protect	Y	40	25	14	2	75	85	85	85	85	85	90	90	75	154	77	\$11,853	\$5,390	
42	Quercus agrifolia	N	Retain & Protect	Y	35	20	9	1	90	90	90	90	90	90	90	90	90	50	45.5	\$2,284	\$1,660	
43	Quercus agrifolia	N	Retain & Protect	Y	39	20	9	1	90	90	90	90	90	90	90	90	90	64	45.5	\$2,391	\$2,110	
44	Quercus agrifolia	N	Retain & Protect	Y	40	20	9	1	89	90	85	90	90	90	90	90	90	64	45.5	\$2,891	\$2,080	
45	Umbellularia californica	N	Retain & Protect	Y	35	15	10	2	83	85	75	85	85	85	85	90	90	79	77	\$6,048	\$3,160	
46	Quercus agrifolia	N	Retain & Protect	Y	40	30	11	1	93	85	95	95	95	95	90	90	90	95	45.5	\$4,318	\$3,250	
47	Quercus agrifolia	N	Retain & Protect	Y	45	30	11	1	95	95	95	95	95	95	90	90	90	95	45.5	\$4,318	\$3,320	
48	Prunus spp.	N	Retain & Protect	N	25	10	10	4	72	85	80	65	65	65	55	90	25	79	77	\$6,048	\$720	
49	Aesculus californica	N	Retain & Protect	N	20	35	10	2	85	85	85	85	85	85	90	90	90	79	45.5	\$3,569	\$1,910	
50	Aesculus californica	Y	Retain & Protect	Y	30	35	24	2	90	90	90	90	90	90	90	90	90	452	45.5	\$29,553	\$11,700	
51	Quercus lobata	N	Retain & Protect	Y	35	40	18	1	78	80	80	80	80	80	90	90	85	254	77	\$19,594	\$12,400	
52	Quercus agrifolia	N	Retain & Protect	Y	35	35	13	1	89	90	95	90	85	90	93	90	95	133	45.5	\$6,031	\$4,510	
53	Umbellularia californica	N	Retain & Protect	Y	35	30	22	2	85	80	85	85	85	85	90	90	95	380	77	\$29,271	\$15,700	
54	Quercus lobata (Snag)	N	Retain & Protect	Y	25	0	24	1	0	0	0	0	0	0	72	90	75	50	452	77	\$34,834	\$0
55	Quercus agrifolia	N	Retain & Protect	Y	40	20	13	1	85	85	85	85	85	85	90	90	90	133	45.5	\$6,031	\$4,510	
56	Aesculus californica	N	Retain & Protect	Y	25	35	12	2	85	85	85	85	85	85	90	90	90	113	45.5	\$5,139	\$2,750	
57	Umbellularia californica	Y	Remove	Y	30	30	20	2	82	85	65	75	85	90	83	90	85	314	77	\$24,181	\$11,600	
58	Sambucus mexicana	Y	Remove	Y	20	35	6	4	45	35	15	35	55	65	73	90	65	26	45.5	\$1,263	\$130	

TREE PLAN

DATE : 1-17-17

SCALE : 1/10" = 1'-0"

DRAWN BY : DZ

CHECKED BY : TS

ARCHITECT : TOM SLOAN

PROJECT NO : 16621

SHEET NUMBER

L-1.0