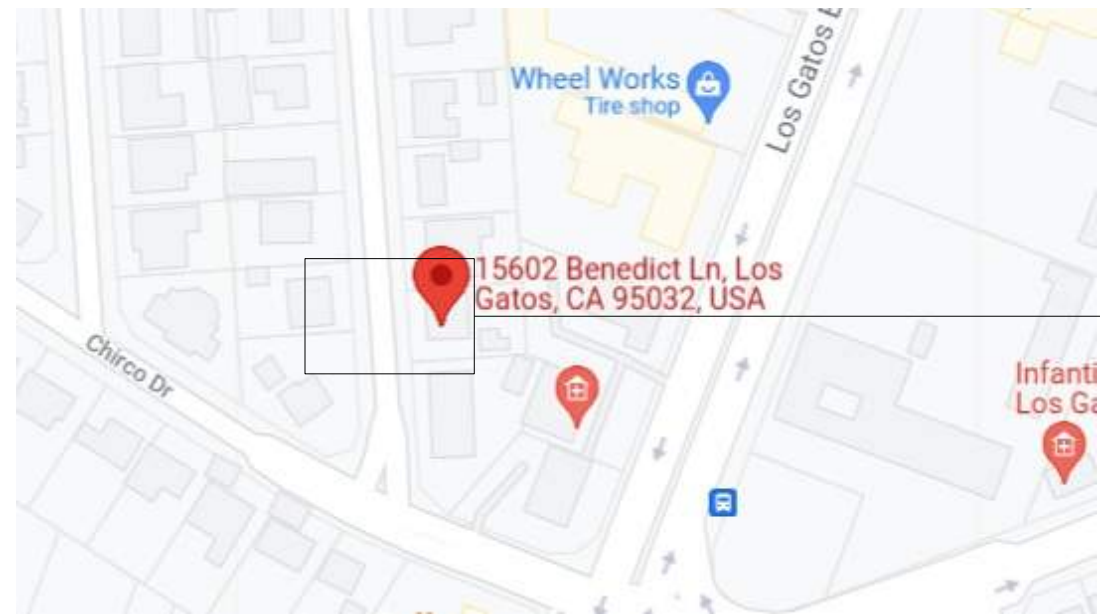


15602 BENEDICT LN.

LOS GATOS, CA 95032

VICINITY MAP:



PROPERTY LOCATION / NTS

DRAWING INDEX:

A-00.01:	COVER SHEET / PROPOSED SITE PLAN
A-00.01(A):	ARBORIST REPORT
A-00.01(B):	ARBORIST REPORT
BT1:	BOUNDARY AND TOPOGRAPHIC MAP
BT2:	BOUNDARY AND TOPOGRAPHIC MAP
C-1:	COVER SHEET / NOTE
C-2:	GRADING AND DRAINAGE PLAN
C-3:	DETAILS
C-4:	NOTES
C-5:	CONSTRUCTION MANAGEMENT & EROSION CONTROL PLAN
RA-01.01:	EXISTING FLOOR PLAN
RA-02.01:	EXISTING ELEVATIONS
A-01.01:	PROPOSED FLOOR PLAN
A-02.01:	PROPOSED ELEVATIONS
A-02.02:	PROPOSED ELEVATIONS
A-03.01:	PROPOSED SECTIONS / SCHEMATIC ELEVATIONS
A-04.01:	FLOOR AREA DIAGRAM
A-05.01:	EXTERIOR MATERIAL BOARD / STREET SCAP ELEVATION
CB-01:	CLEAN BAY BLUE PRINT

CODE EDITIONS:

A. CALIFORNIA RESIDENTIAL:	2019 EDITION
B. CALIFORNIA BUILDING:	2019 EDITION
C. CALIFORNIA MECHANICAL:	2019 EDITION
D. CALIFORNIA PLUMBING:	2019 EDITION
E. CALIFORNIA ELECTRICAL:	2019 EDITION
F. CALIFORNIA ENERGY:	2019 EDITION
G. CALIFORNIA FIRE:	2019 EDITION
H. CALIFORNIA GREEN BUILDING:	2019 EDITION
I. ANY OTHER APPLICABLE LOCAL AND STATE LAWS AND REGULATIONS.	

AREA CALCULATION:

LOT AREA:	9645	SQF
"E" LIVING AREA:	1387	SQF
"E" GARAGE:	620	SQF
"E" BUILDING AREA:	2007	SQF
"N" LIVING AREA:	2882	SQF
"N" GARAGE:	436	SQF
"N" TOTAL BUILDING:	3318	SQF
UNCOVERED PORCH:	438	SQF

THE ALLOWABLE LIVING FAR: $0.35 - ((A-5)/25) \times 0.20 = 0.35 - ((9.645-5)/25) \times 0.20 = 0.313 \times 9645 = 3,018.885$ SF.
 THE ALLOWABLE GARAGE FAR: $0.10 - ((A-5)/25) \times 0.07 = 0.10 - ((9.645-5)/25) \times 0.07 = 0.087 \times 9645 = 839.115$ SF.

"EX" LOT COVEARGE: $(2007/9645) \times 100 = 20.80$ %
 "N" LOT COVEARGE: $(3318/9645) \times 100 = 34.40$ %

SCOPE OF WORK:

- DEMO AN EXISTING ONE-STORY HOUSE.
- CONSTRUCT A NEW ONE-STORY CUSTOM HOME, INCLUDING 4 BEDROOMS, 3.5 BATH, 1 LAUNDRY AND 2CAR GARAGE.
- DEMO THE EXISTING SINGLE FAMILY RESIDENCE AND DETACHED GARAGE.

A SEPARATE BUILDING PERMIT IS REQUIRED FOR THE PV SYSTEM THAT IS REQUIRED BY THE CALIFORNIA ENERGY CODE PERFORMANCE OR PRESCRIPTIVE STANDARDS. THE SEPARATE PV SYSTEM PERMIT MUST BE FINALED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY

THIS RESIDENCE WILL COMPLY WITH THE TOWN'S ALL ELECTRIC APPLIANCE, ELECTRIC VEHICLE AND ENERGY STORAGE SYSTEM REQUIREMENTS IN ACCORDANCE WITH TOWN CODE SECTION 6.70.020 AND 6.120.020.

A SPRINKLER SYSTEM WILL BE INSTALLED AS A DEFERRED SUBMITTAL.

PROJECT CONTACT:

OWNER: SHADI ZOMORODI
 15602 BENEDICT LN., LOS GATOS, CA 95032
 SHADI_ZOMORODI@YAHOO.COM

DESIGNER: AMS DESIGN
 (415) 254-1606
 4010 MOORPARK AVE#101, SAN JOSE, CA 95117
 AZADEH@AMSDSIGNLLP.COM

STRUCTURAL: AMS DESIGN
 (415) 254-2634
 4010 MOORPARK AVE#101, SAN JOSE, CA 95117
 ARMIN@AMSDSIGNLLP.COM

PROJECT DATA:

ASSESSOR'S PARCEL NUMBER: 424-22-008
 PROJECT TYPE: NEW CONSTRUCTION
 PROJECT LOCATION: 15602 BENEDICT LN., LOS GATOS, CA 95032
 R-1.8
 R - 3 / U
 V - B

ZONING: R-1.8
 OCCUPANCY GROUP: V - B
 CONSTRUCTION TYPE: ONE (1) STORY
 NUMBER OF FLOORS: SPRINKLERED
 FIRE PROTECTION:

GENERAL NOTES:

ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE VERIFIED FOR DIMENSION, GRADE, EXTENT AND COMPATIBILITY TO THE EXISTING SITE. ANY DISCREPANCIES AND UNEXPECTED CONDITIONS THAT AFFECT OR CHANGE THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE AMS DESIGN'S ATTENTION IMMEDIATELY. DO NOT PROCEED WITH THE WORK IN THE AREA OF DISCREPANCIES UNTIL ALL SUCH DISCREPANCIES ARE RESOLVED. IF THE CONTRACTOR CHOOSES TO DO SO HE SHALL BE PRECEDING AT HIS OWN RISK.

OMISSIONS FROM THE DRAWINGS AND SPECIFICATIONS OR THE MIS-DESCRIPTION OF THE WORK WHICH IS MANIFESTLY NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS, OR WHICH IS CUSTOMARILY REFORMED, SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH OMITTED OR MIS-DESCRIBED DETAILS OF THE WORK AS IF FULLY AND COMPLETELY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.

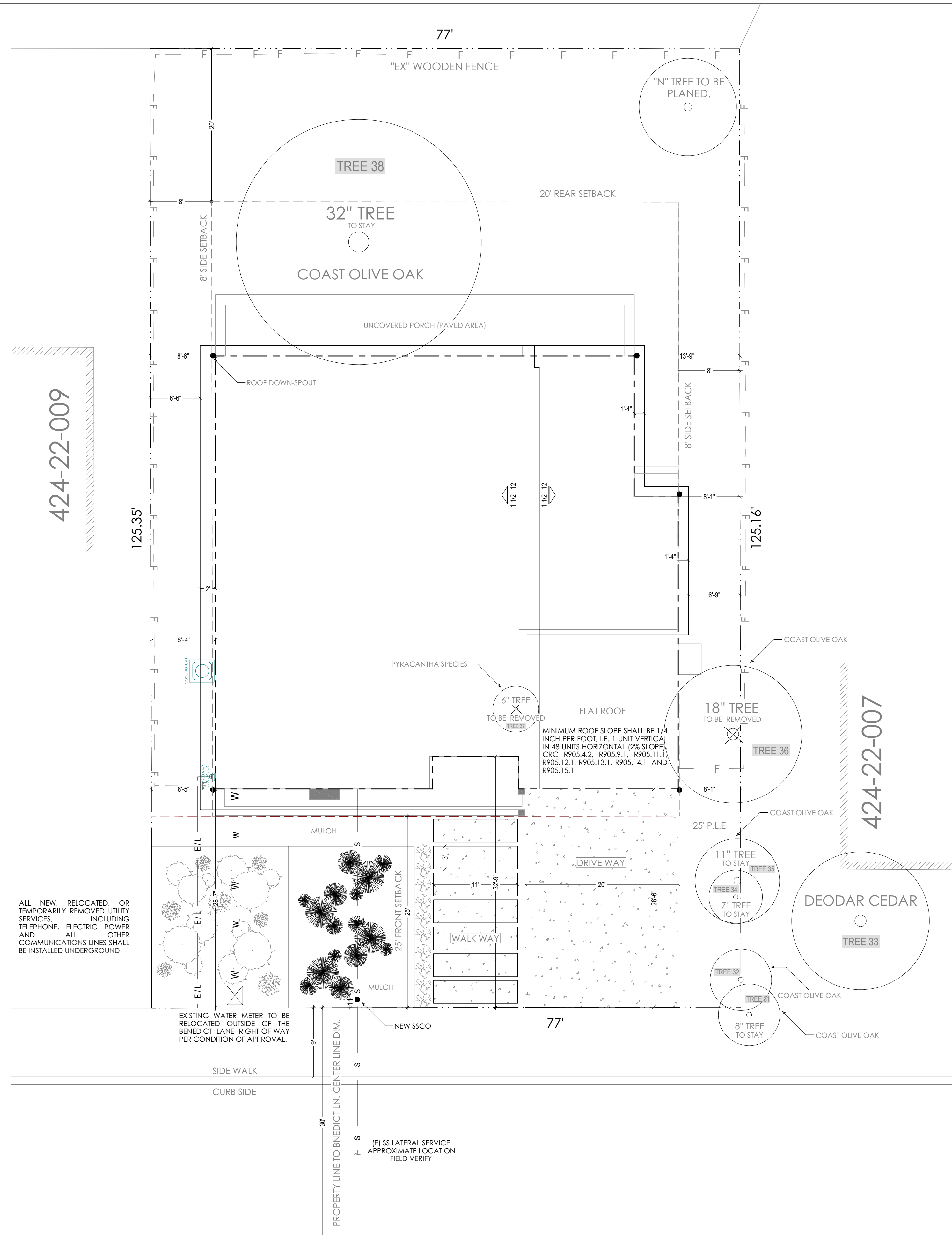
SITE CONDITIONS: ALL CONTRACTORS AND SUB-CONTRACTORS SHALL VERIFY DIMENSIONS AND CONDITIONS AT THE SITE PRIOR TO COMMENCEMENT OF THEIR WORK. FAILURE TO DO SO SHALL NOT RELEASE THEM FROM THE RESPONSIBILITY OF ESTIMATING THE WORK. IF ANY VARIATION, DISCREPANCY OR OMISSION (BETWEEN THE INTENT OF THESE CONTRACT DOCUMENTS AND THE EXISTING CONDITIONS ARE FOUND, THE CONTRACTOR OR SUB-CONTRACTOR SHALL NOTIFY AMS DESIGN IN WRITING AND OBTAIN WRITTEN RESOLUTION FROM AMS DESIGN PRIOR TO PROCEEDING WITH ANY RELATED WORK.

FIRE NOTES:

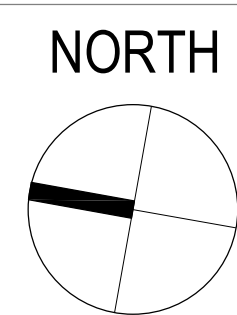
1. POTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION WATER SUPPLIES. IT IS THE RESPONSIBILITY OF THE APPLICANT AND ANY CONTRACTORS AND SUBCONTRACTORS TO CONTACT THE WATER PURVEYOR SUPPLYING THE SITE OF SUCH PROJECT, AND TO COMPLY WITH THE REQUIREMENTS OF THAT PURVEYOR. SUCH REQUIREMENTS SHALL BE INCORPORATED INTO THE DESIGN OF ANY WATER-BASED FIRE PROTECTION SYSTEMS, AND/OR FIRE SUPPRESSION WATER SUPPLY SYSTEMS OR STORAGE CONTAINERS THAT MAY BE PHYSICALLY CONNECTED IN ANY MANNER TO AN APPLIANCE CAPABLE OF CAUSING CONTAMINATION OF THE POTABLE WATER SUPPLY OF THE PURVEYOR OF RECORD. FINAL APPROVAL OF THE SYSTEM(S) UNDER CONSIDERATION WILL NOT BE GRANTED BY THIS OFFICE UNTIL COMPLIANCE WITH THE REQUIREMENTS OF THE WATER PURVEYOR OF RECORD ARE DOCUMENTED BY THAT PURVEYOR AS HAVING BEEN MET BY THE APPLICANT(S). 2019 CFC SEC. 903.3.5 AND HEALTH AND SAFETY CODE 13114.7.

2. NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. WHERE REQUIRED BY THE FIRE CODE OFFICIAL, ADDRESS NUMBERS SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MINIMUM OF 4 INCHES (101.6 MM) HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH (12.7 MM). WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS NUMBERS SHALL BE MAINTAINED. CFC SEC. 505.1.

3. ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 33 AND OUR STANDARD DETAIL AND SPECIFICATION S1-7. PROVIDE APPROPRIATE NOTATIONS ON SUBSEQUENT PLAN SUBMITTALS, AS APPROPRIATE TO THE PROJECT. CFC CHP. 33.

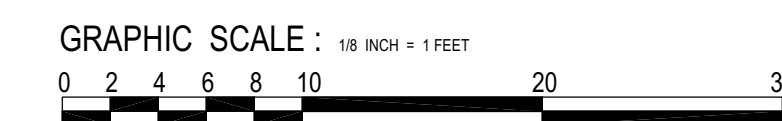


BENEDICT LANE,



LEGEND:

- PROPERTY LINE
- BLDG FOOTPRINT LINE



AMS DESIGN

4010 MOORPARK AVE#101,
 SAN JOSE, CA 95117
 TELL: (415)254-1606
 E-MAIL: OFFICE@AMSDSIGNLLP.COM

Azadeh Masrour

THESE PLANS ARE INTENDED ONLY FOR THE ORIGINAL SITE FOR WHICH THEY WERE DESIGNED AND ARE THE PROPERTY OF AMS DESIGN. THESE PLANS ARE PROTECTED UNDER COPYRIGHT LAWS AND MAY NOT BE REVISED OR REPRODUCED IN WHOLE OR IN PART WITHOUT THE EXPRESSED WRITTEN CONSENT OF AMS DESIGN. ANY USE OF THESE PLANS ON OTHER SITES IS PROHIBITED WITHOUT THE CONSENT OF AMS DESIGN. ANY DISCREPANCY DISCOVERED ON THESE PLANS PRIOR TO COMMENCEMENT OF THE WORK IN QUESTION, ALL WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.

PROJECT NAME:

BENEDICT RESIDENCE

15602 BENEDICT LN., LOS GATOS, CA 95032

REVISION TABLE:

REVISION	REVISION DATE	BY	DEP
01	JAN.2022	S.A.	PLN

ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE VERIFIED FOR DIMENSION, GRADE, EXTENT AND COMPATIBILITY TO THE EXISTING SITE. ANY DISCREPANCIES AND UNEXPECTED CONDITIONS THAT AFFECT OR CHANGE THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE AMS DESIGN'S ATTENTION IMMEDIATELY. DO NOT PROCEED WITH THE WORK IN THE AREA OF DISCREPANCIES UNTIL ALL SUCH DISCREPANCIES ARE RESOLVED. IF THE CONTRACTOR CHOOSES TO DO SO HE SHALL BE PRECEDING AT HIS OWN RISK.

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SHEET TITLE:

COVER SHEET / PROPOSED SITE PLAN

PROJECT ID:

DATE: SEP.2021

SCALE: 1/8" = 1'

DRAWN BY: S.A.

SHEET NUMBER:

A-00.01

Azadeh Masrouf

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PROJECT NAME:
BENEDICT RESIDENCE
15602 BENEDICT LN., LOS GATOS, CA 95032

REVISION TABLE:

REVISION	DATE	BY	DEP
01	JAN 2022	S.A.	PLN

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SHEET TITLE:

ARBORIST REPORT

PROJECT ID: ----

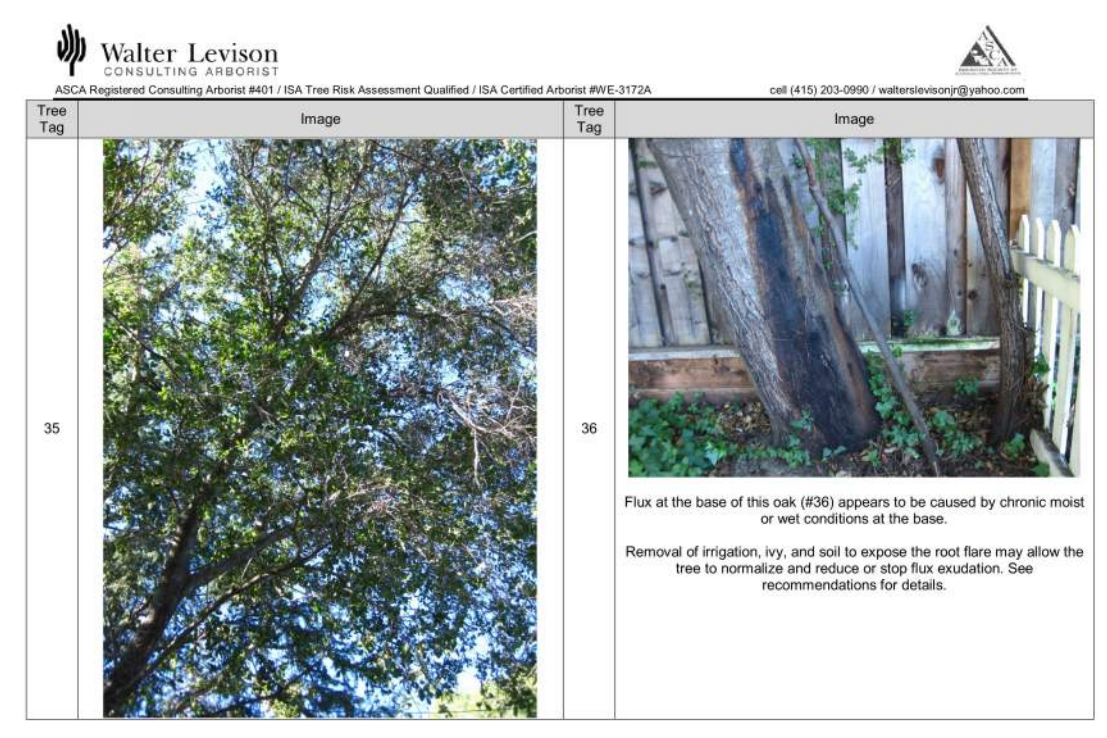
DATE: SEP 2021

SCALE: N.T.S

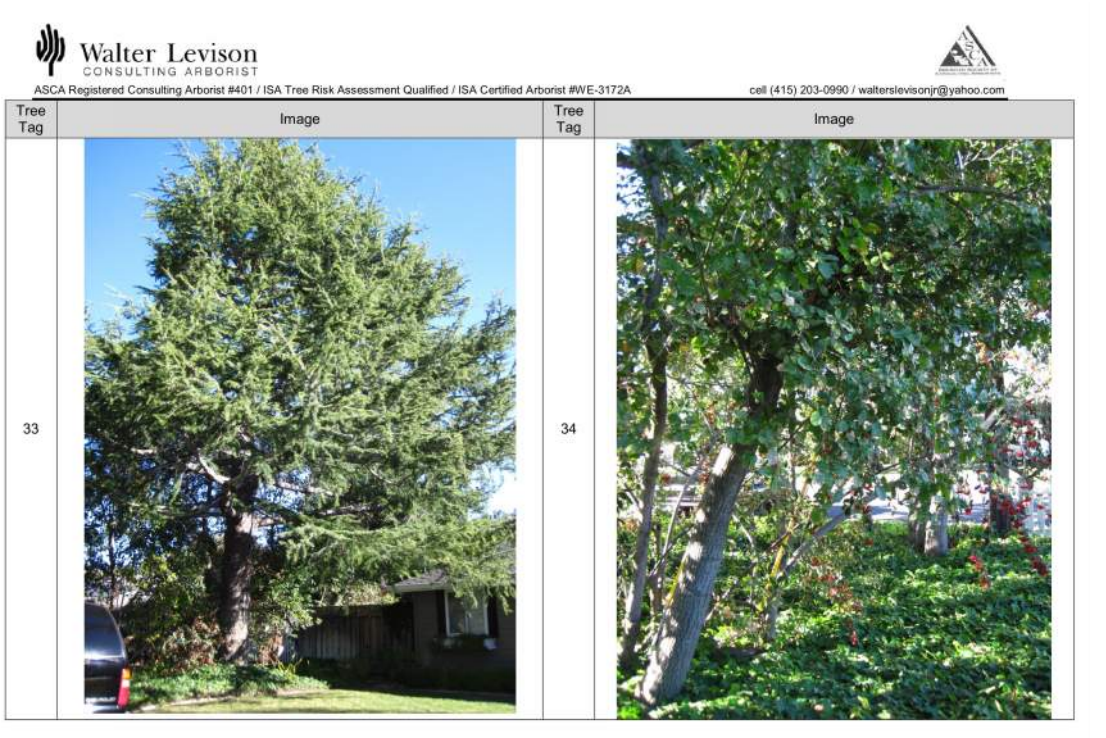
DRAWN BY: S.A.

SHEET NUMBER:

A-00.01(B)



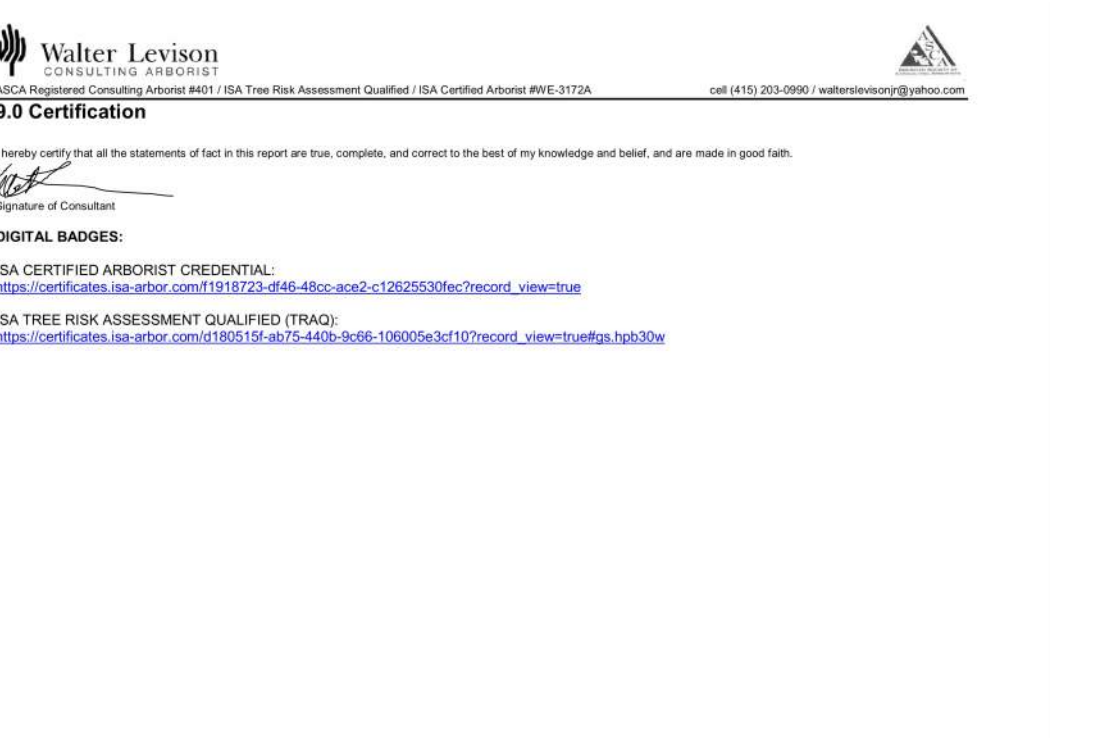
Site Address: 15602 Benedict Lane, Los Gatos, CA 95032
Project Name: 15602 Benedict Lane, Los Gatos, CA 95032
Date: 09/21/2021



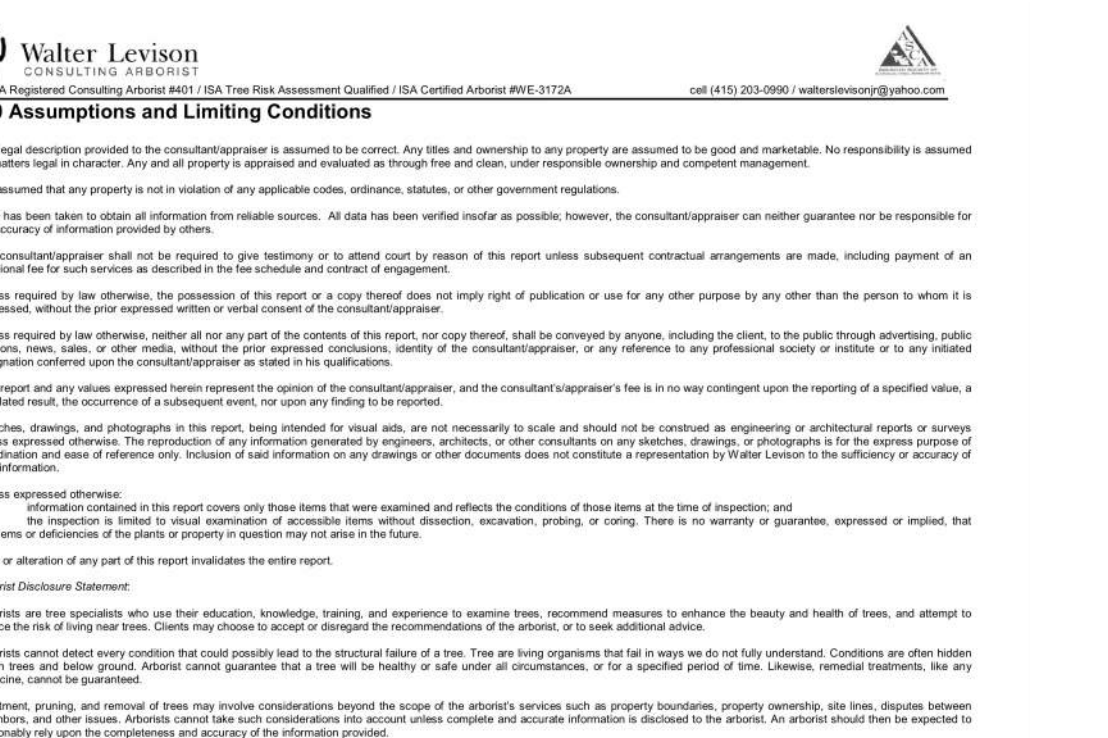
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Project Name: 15602 Benedict Lane, Los Gatos, CA 95032
Date: 09/21/2021

11.0 Tree Data Table

NOTE 1: Tree and root mass measuring less than 18" diameter (total of all mainstems) both on the site and on adjacent neighbor properties were excluded from this study as "campion trees" per the tree ordinance.

NOTE 2: Tree preservation suitability ratings (TPS) are determined independently from and irrespective of current proposed site construction work.

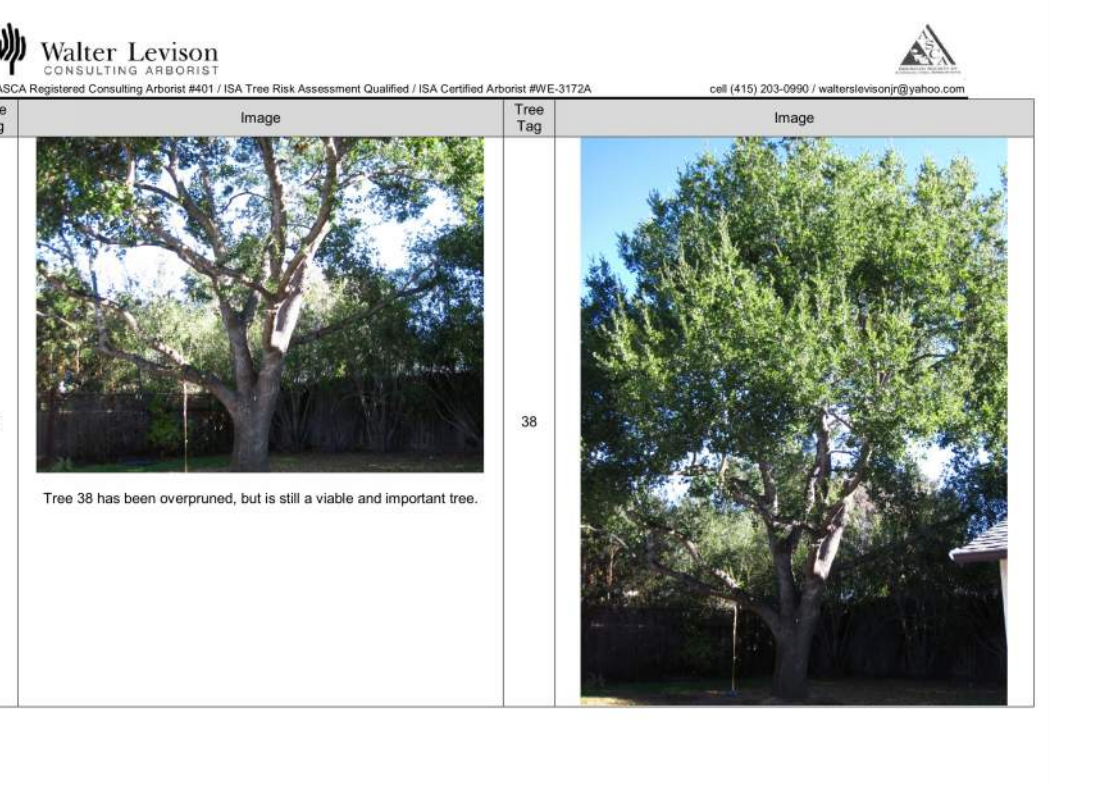
Tree Tag	Common Name	Trunk DBH (in)	Height (ft)	TPS Rating	TPS Range	TPS Description	TPS Notes	TPS Action	TPS Comments
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32	Quercus agrifolia	7.4	25	Moderate	60-79	TPS Moderate	TPS Moderate	TPS Moderate	TPS Moderate
33	Quercus agrifolia	34.9	25	Poor	<59	TPS Poor	TPS Poor	TPS Poor	TPS Poor
34	Quercus agrifolia	6.7	25	Good	60-100	TPS Good	TPS Good	TPS Good	TPS Good
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11.0 Tree Data Table

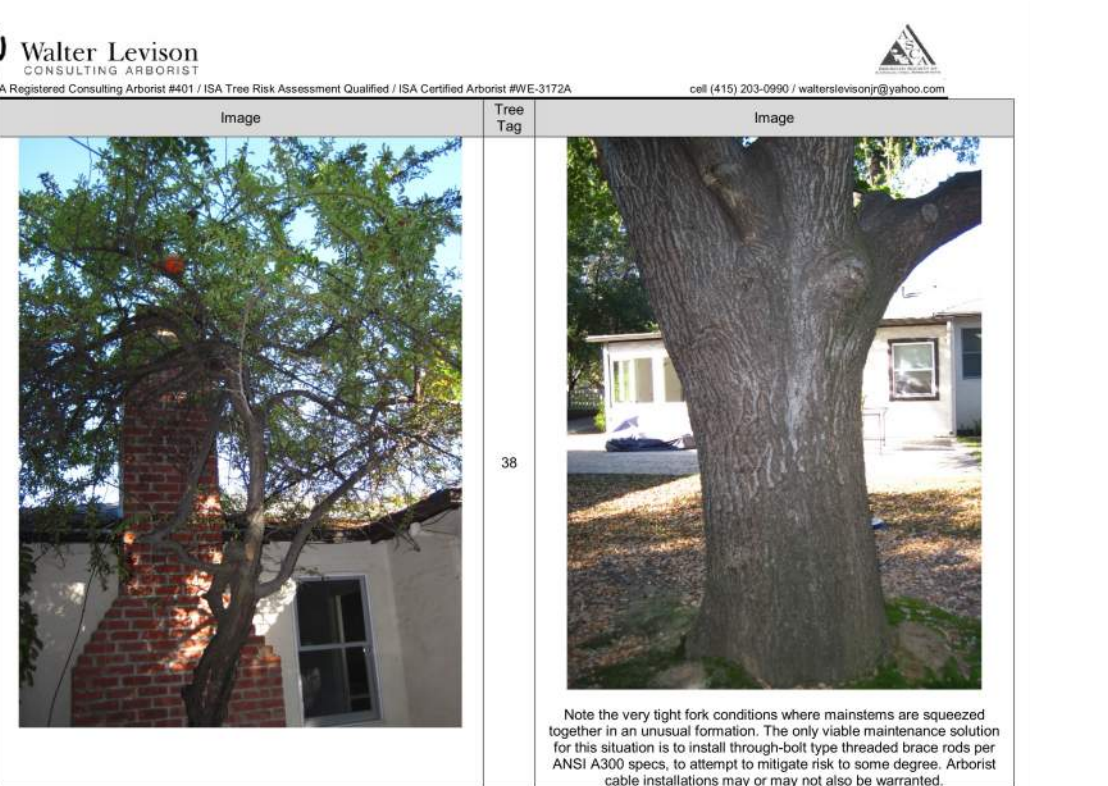
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Tree Tag	Common Name	Trunk DBH (in)	Height (ft)	TPS Rating	TPS Range	TPS Description	TPS Notes	TPS Action	TPS Comments
36	Quercus agrifolia	13.3	25	Good	60-100	TPS Good	TPS Good	TPS Good	TPS Good
37	Quercus agrifolia	7.4	25	Moderate	60-79	TPS Moderate	TPS Moderate	TPS Moderate	TPS Moderate
38	Quercus agrifolia	34.9	25	Poor	<59	TPS Poor	TPS Poor	TPS Poor	TPS Poor
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Site Address: 15602 Benedict Lane, Los Gatos, CA 95032
Project Name: 15602 Benedict Lane, Los Gatos, CA 95032
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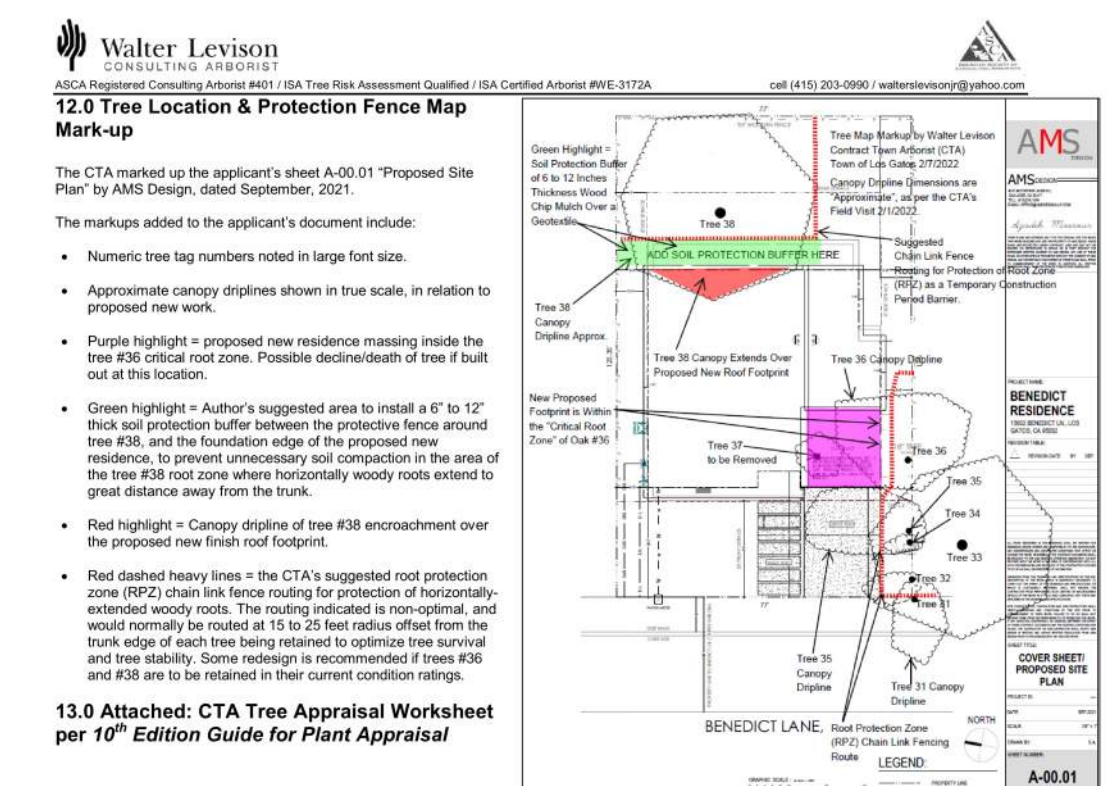
12.0 Tree Location & Protection Fence Map Mark-up

The CTA marked up the applicant's sheet A-00.01 Proposed Site Plan by AMS Design, dated September, 2021.

The markings added to the applicant's document include:

- Numeric tree tag numbers related to large fork size.
- Approximate canopy drip-line shown in blue scale, in relation to proposed new work.
- Purple highlight in proposed new residence missing the base R36 critical root zone. Possible destruction of Tree 36 due to this location.
- Green highlight - Author's suggested area to install a 6" x 12" R36 root protection buffer between the protective fence around Tree 36, and the foundation edge of the proposed new residence. To prevent unnecessary root compaction in the area of the base R36 root zone when horizontally woody roots extend a great distance away from the trunk.
- Red highlight = Canopy drip-line of tree R36 encroachment over the proposed new front roof drip-line.
- Red dashed heavy lines = The CTA's suggested root protection zone (RPZ) chain link fence routing for protection of horizontally extended woody roots. The routing is not optimal, and would normally be routed at 15 to 25 feet radius offset from the trunk edge of each tree being retained to optimize fence around and feasibility. Some redesign is recommended of trees R36 and R38 and to be related to their current condition ratings.

13.0 Attached: CTA Tree Appraisal of Revised R36 per 10th Edition Guide for Plant Appraisal



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The CTA marked up the applicant's sheet A-00.01 Proposed Site Plan by AMS Design, dated September, 2021.

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- Approximate canopy drip-line shown in blue scale, in relation to proposed new work.
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- Green highlight - Author's suggested area to install a 6" x 12" R36 root protection buffer between the protective fence around Tree 36, and the foundation edge of the proposed new residence. To prevent unnecessary root compaction in the area of the base R36 root zone when horizontally woody roots extend a great distance away from the trunk.
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- Red dashed heavy lines = The CTA's suggested root protection zone (RPZ) chain link fence routing for protection of horizontally extended woody roots. The routing is not optimal, and would normally be routed at 15 to 25 feet radius offset from the trunk edge of each tree being retained to optimize fence around and feasibility. Some redesign is recommended of trees R36 and R38 and to be related to their current condition ratings.

13.0 Attached: CTA Tree Appraisal of Revised R36 per 10th Edition Guide for Plant Appraisal

Overall Tree Condition Ratings Breakdown of Numeric Ranges (New, Per Guide for Plant Appraisal, 10th Edition):

- 00 - 90% = Dead
- 01 - 20% = Very Poor
- 21 - 40% = Poor
- 41 - 60% = Fair
- 61 - 80% = Good
- 81 - 100% = Exceptional

TPS Ratings Range of values

TPS Rating	Range of values	TPS Description
Good	60-100	Trees with good health, good structural stability and good expected longevity after construction.
Moderate	60-79	Trees with fair health and/or structural defects that may be mitigated through treatment. These trees require more intense management and monitoring, before, during, and after construction, and may have shorter life expectancy after development.
Poor	<59	Trees are expected to decline during or after construction operations of management. The species or individual may possess characteristics that are incompatible or undesirable in landscape settings or unsuited for the intended use of the site.

TCS Ratings Worksheet Factors (Total Possible: 100 Points)

Health (1-15)

Root Collar Distance from Trunk (1-15)

Structures Tolerance (1-15)

Construction Tolerance of the tree species (1-15)

Age relative to typical species lifespan (1-15)

Location of construction activity (1-15)

Soil quality/characteristics (1-15)

Species desirability (1-15)

13.0 Attached: CTA Tree Appraisal of Revised R36 per 10th Edition Guide for Plant Appraisal

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Valuation Appraisal Worksheet Based on Guide for Plant Appraisal, 10th Edition, 2nd Printing (2019) "Functional Replacement Method / Trunk Formula Technique" 15602 Benedict Lane, Los Gatos, California 2/7/2022

Tree Tag	Common Name	Trunk DBH (in)	Height (ft)	TPS Rating	TPS Range	TPS Description	TPS Notes	TPS Action	TPS Comments
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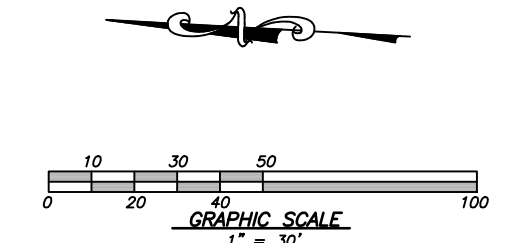
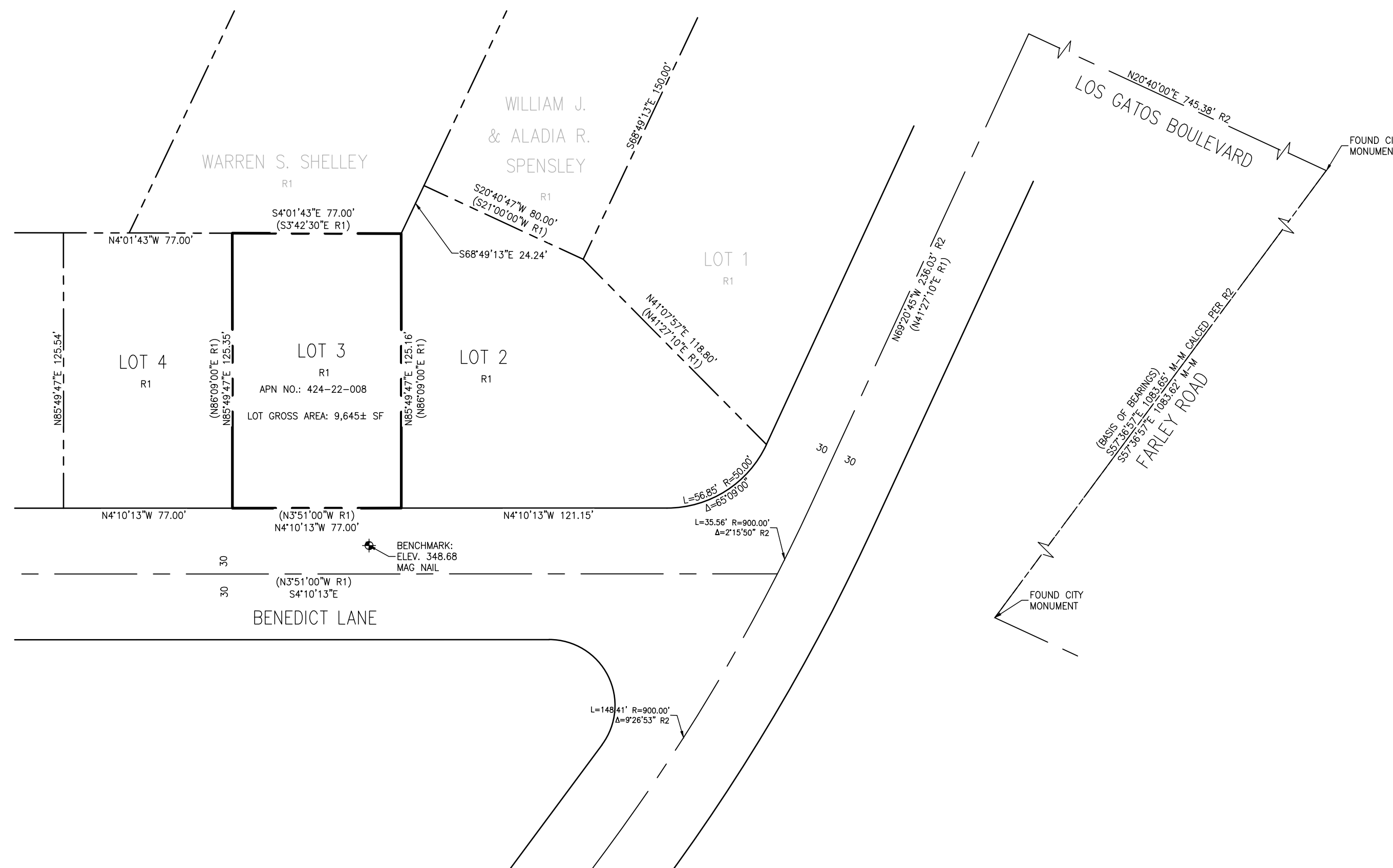
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LEGEND

- 200--- EXISTING CONTOUR LINE
- 200--- NATURAL GRADE CONTOUR LINE
- FOUND CITY MONUMENT BOX, OR AS NOTED
- BOUNDARY OF PROPERTY SURVEYED
- () RECORD INFORMATION
- CENTERLINE
- △ CURB INLET
- CURB LINE
- DRIVEWAY APRON
- ELECTROLUER
- FENCE
- ◇ FIRE HYDRANT
- FLAT GRATE INLET
- O.H. PWR OVERHEAD POWER LINE
- O.H. TEL OVERHEAD TELEPHONE LINE
- SS SANITARY SEWER LINE
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEANOUT
- SIGN
- SD STORM DRAIN LINE
- STORM DRAIN MANHOLE
- UTILITY BOX
- UTILITY POLE
- WATER LINE
- ⊗ WATER METER
- ⊗ WATER VALVE
- ⊗ ELECTRIC METER
- ⊗ WATER HEATER
- ⊗ GAS



BASIS OF BEARINGS
 THE BEARING SOUTH 57°36'57" EAST OF THE MONUMENT LINE OF LOS GATOS BOULEVARD & FARLEY ROAD AS SHOWN ON THAT PARCEL MAP FILED FOR RECORD IN BOOK 847 OF MAPS PAGE 49, SANTA CLARA COUNTY RECORDS, AND AS FOUND MONUMENTED, WAS TAKEN AS THE BASIS OF BEARING FOR THIS SURVEY.

REFERENCES:
 R1 TRACT NO. 391 15-M-12&13
 R2 PARCEL MAP 847-M-49

BENCH MARK
 DESCRIPTION: ASSUMED BENCHMARK, MAG NAIL ON STREET, NEAR THE SOUTH-WESTERLY CORNER OF LOT AS SHOWN;
 PROJECT BENCHMARK 348.68' (NAVD88 DATUM)

ABBREVIATIONS

APN	ASSESSOR'S PARCEL NUMBER
BM	BENCH MARK
CATV	CABLE TELEVISION OVERHEAD
D	CURVE DELTA
DRWY	DRIVEWAY
DS	DOWNSPOUT
FF	FINISH FLOOR
FL	FLOW LINE ELEVATION
GFF	GARAGE FINISH FLOOR
IP	IRON PIPE
L	CURVE LENGTH
R/#	REFERENCE DOCUMENT
M-M	MONUMENT TO MONUMENT
O.H. PWR	OVERHEAD POWER LINE
O.H. TEL	OVERHEAD TELEPHONE LINE
PCL	PARCEL
P.M.	PARCEL MAP
PTN	PORTION
R	RADIUS
SD	STORM DRAIN
SS	SANITARY SEWER
TC	TOP OF CURB ELEVATION
TEMP.	TEMPORARY
PUE	PUBLIC UTILITY EASEMENT
WLE	WATER LINE EASEMENT

- NOTES:**
- DISTANCES AND DIMENSIONS ARE SHOWN IN FEET AND DECIMALS THEREOF.
 - THE DISTINCTIVE BORDER LINE DENOTES THE BOUNDARY.
 - TREES SPECIES NAMES ARE APPROXIMATE, AND LABELED BY THEIR COMMON NAME TO THE BEST OF OUR KNOWLEDGE. IT IS NOT BASED ON AN ARBORIST REPORT.
 - TOPOGRAPHY SHOWN ON THIS MAP REPRESENTS THE SURFACE FEATURES ONLY.
 - UNLESS SPECIFIED ON THIS MAP, LOCATIONS OF THE UNDERGROUND AND OVERHEAD UTILITIES ARE NEITHER INTENDED NOR IMPLIED. FOR THE LOCATIONS OF UNDERGROUND UTILITIES CALL "USA" (1-800-642-2440).
 - BUILDING FOOTPRINTS ARE SHOWN AT GROUND LEVEL.
 - FINISH FLOOR ELEVATION TAKEN AT DOOR THRESHOLD (EXTERIOR).
 - A TITLE REPORT FOR THE SUBJECT PROPERTY HAS NOT BEEN EXAMINED BY OSUNA ENGINEERING, INC. OTHER EASEMENTS OF RECORD MAY EXIST THAT ARE NOT SHOWN ON THIS MAP.

	REVISIONS
	DATE
	CITY
	BY
PORFIRIO OSCAR OSUNA PLS 8921 EXP. 9-30-22	
OSUNA ENGINEERING INC. Planning Surveying Civil Engineering CONSULTING CIVIL ENGINEERS & LAND SURVEYORS 117 BERNAL RD., STE. 70-336 SAN JOSE, CA 95119 TEL: (408) 772-4381 info@osunaeengineering.com	
CALIFORNIA Project No.: 2173 Drawn By: [] Check: [] Date: 5-14-21	
PRELIMINARY BOUNDARY & TOPOGRAPHIC SURVEY 15602 BENEDICT LANE 424-22-008	
SHEET BT1 OF 2 SHEETS	

ABBREVIATIONS		
	DESCRIPTION	DESCRIPTION
AB	AGGREGATE BASE	LIP LIP OF GUTTER
AC	ASPHALT CONCRETE	LP LOW POINT
AD	AREA DRAIN	MON MONUMENT
BC	BACK OF CURB	MON (N) MONUMENT (NORTH)
BFP	BACKFLOW PREVENTOR	OG ORIGINAL GROUND
BW	BOTTOM OF SIDEWALK	PB PULL BOX
C&G	CURB AND GUTTER	PEV PG&E VAULT
C.L.	CENTERLINE	R,P,L PROPERTY LINE
CLSW	CENTERLINE SWALE	PP POWER POLE
CO	CLEANOUT	PPP PLASTIC PERFORATED PIPE
CP	CONTROL POINT	PSE PUBLIC SERVICE EASEMENT
DWY	DRIVEWAY	PVC POLYVINYL CHLORIDE
DJ	DROP INLET	R/W RIGHT OF WAY
DTL	DETAIL	RCP REINFORCED CONCRETE PIPE
ELCT	ELECTRIC	SD STORM DRAIN
EP	EDGE OF PAVEMENT ELEVATION	SDMH STORM DRAIN MANHOLE
EUC	EUCALYPTUS TREE	STD STANDARD
(E),EX	EXISTING	SS SANITARY SEWER
FF	FINISH FLOOR	SSMH SANITARY SEWER MANHOLE
FG	FINISH GRADE	SW SIDEWALK
FH	FIRE HYDRANT	TC TOP OF CURB
FL	FENCE	TF TOP OF FOUNDATION
FNC	FENCE	TC TOP OF GRADE
FOC	FACE OF CURB	TOS TOP OF SLAB
GB	GRADE BREAK	TP TOP OF PAVEMENT
GUY	GUY WIRE	TW TOP OF WALL
HP	HIGH POINT	(TYP) TYPICAL
DIP	DUCTILE IRON PIPE	VCP VITRIFIED CLAY PIPE
INV	INVERT	WL WHITE LINE STRIPE
JP	JOINT POLE	WLK WALKWAY
JB	JUNCTION BOX (UTILITY)	WM WATER METER
CONC.	CONCRETE	WV WATER VALVE

GRADING AND DRAINAGE PLANS

NEW SINGLE FAMILY HOME

15602 BENEDICT LN, LOS GATOS, CA 95032

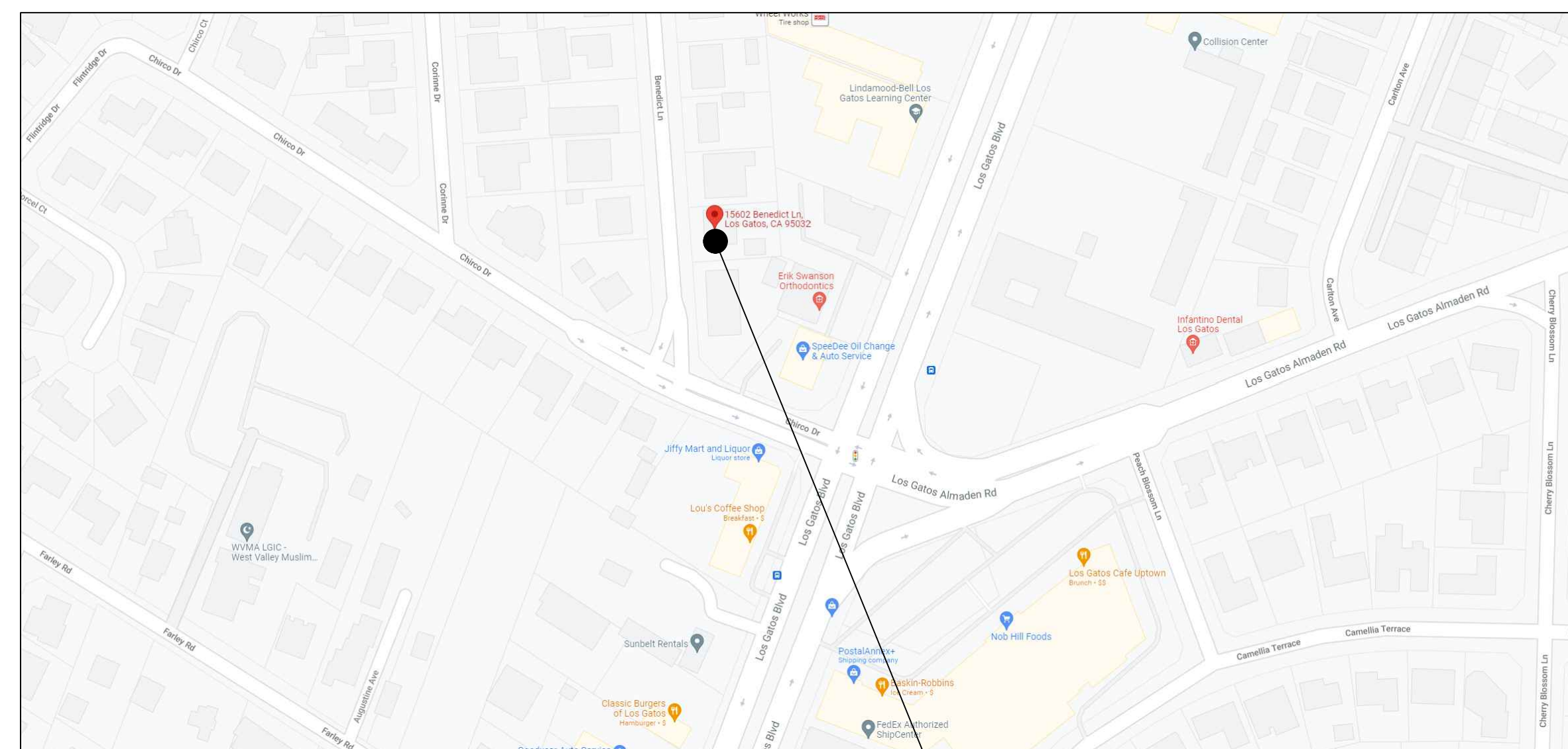
APN: 424-22-008

GRADING AND DRAINAGE NOTES:

- All work shall conform to Chapter 12 of The Code of the Town of Los Gatos, the adopted California Building Code and the latest edition of the Standard Specifications for Public Works Construction except as specified otherwise on these plans and details.
- No work may be started on-site without an approved Grading Plan and a Grading Permit issued by the Town of Los Gatos, Public Works Department located at 41 Miles Avenue, Los Gatos, CA 95030
- A Pre-Job meeting shall be held with the Town Engineering Inspector from the Department of Parks and Public Works prior to any work being done. The Contractor shall call the Inspections Line at (408) 399-5771 at least forty-eight (48) hours prior to any grading or onsite work. This meeting should include: a. A discussion of the project conditions of approval, working hours, site maintenance and other construction matters; b. Acknowledgement in writing that Contractor and Applicant have read and understand the project conditions of approval, and will make certain that all project sub-contractors have read and understand them prior to commencing work and that a copy of the project conditions of approval will be posted on site at all times during construction.
- Approval of plans does not release the developer of the responsibility for the correction of mistakes, errors, or omissions contained therein. If, during the course of construction of the improvements, public interest and safety requires a modification or departure from the Town Specifications or these improvement plans, the Town Engineer shall have full authority to require such modification or departure and to specify the manner in which the same is to be made.
- Approval of this plan applies only to the grading, excavation, placement, and compaction of natural earth materials. This approval does not confer any rights of entry to either public property or the private property of others and does not constitute approval of any other improvements.
- Excavated material shall be placed in the fill areas designated or shall be hauled away from the site to be disposed of at approved location(s).
- It shall be the responsibility of the Permittee or Contractor to identify, locate and protect all underground facilities. Permittee or Contractor shall notify USA (Underground Service Alert) at 1-800-227-2600 a minimum of forty-eight (48) hours but not more than fourteen (14) days prior to commencing all work.
- All grading shall be performed in such a manner as to comply with the standards established by the Air Quality Management District for airborne particulates.
- The Contractor shall comply with all local, state and federal laws, codes, rules and regulations governing the work identified on these plans. These shall include, without limitation, safety and health rules and regulations established by or pursuant to the Occupational Safety and Health Act or any other applicable public authority.
- The General Contractor shall provide qualified supervision on the job site at all times during construction.
- Horizontal and vertical controls shall be set and certified by a licensed surveyor or registered civil engineer qualified to practice land surveying, for the following items: a. Retaining wall: top of wall elevations and locations (all walls to be permitted separately and applied for at the Town of Los Gatos Building Department). b. Toe and top of cut and fill slopes.
- Prior to issuance of any permit, the applicant's soils engineer shall review the final grading and drainage plans to ensure that designs for foundations, retaining walls, site grading, and site drainage are in accordance with their recommendations and the peer review comments. The Applicant's soils engineer's approval shall then be conveyed to the Town either by letter or by signing the plans. Soils Engineer: _____, Reference Report _____, dated: _____, Letter No. _____, dated: _____ shall be thoroughly complied with. Both the mentioned report and all updates/addendums/ letters are hereby appended and made a part of this grading plan.
- During construction, all excavations and grading shall be inspected by the Applicant's soils engineer. The Engineer shall be notified at least fortyeight (48) hours before beginning any grading. The Engineer shall be onsite to verify that the actual conditions are as anticipated in the designlevel geotechnical report and/or provide appropriate changes to the report recommendations, as necessary. All unobserved and/or unapproved grading shall be removed and replaced under soils engineer observance (the Town Inspector shall be made aware of any required changes prior to work being performed).
- The results of the construction observation and testing should be documented in an "as-built" letter/report prepared by the applicants' soils engineer and submitted for the Town's review and acceptance before final release of any occupancy permit is granted.
- All private and public streets accessing Project Site shall be kept open and in a safe, drivable condition throughout construction. If temporary closure is needed, then formal written notice to the adjacent neighbors and the Town of Los Gatos Parks and Public Works Department shall be provided at least one (1) week in advance of closure and no closure shall be granted without the express written approval of the Town. No material or equipment shall be stored in the public or private right-of-way.
- The contractor shall install and maintain fences, barriers, lights and signs that are necessary to give adequate warning and/protection to the public at all times.
- Owner/Applicant: _____
- General Contractor (If available): _____ Phone: _____
- Grading Contractor (If available): _____
- Cut: 36 CY Export: 0 CY Fill: 54 CY Import: 18 CY
- Water shall be available on the site at all times during grading operations to properly maintain dust control.
- This plan does not approve the removal of trees. Appropriate tree removal permits and methods of tree preservation shall be required. Tree Removal Permits are required prior to the approval of all plans.
- A Town Encroachment Permit is required for any work within the public right-of-way. A State Encroachment Permit is required for any work within State right-of-way (if applicable). The Permittee and/or Contractor shall be responsible coordinating inspection performed by other governmental agencies.
- No cross-lot drainage will be permitted without satisfactory stormwater acceptance deed/facilities. All drainage shall be directed to the street or other acceptable drainage facility via a non-erosive method as approved by the Town Engineer.
- It is the responsibility of contractor and/or owner to make sure that all dirt tracked into the public right-of-way is cleaned up on a daily basis. Mud, silt, concrete and other construction debris SHALL NOT be washed into the Town's storm drains.
- Good housekeeping practices shall be observed at all times during the course of construction. Superintendence of construction shall be diligently performed by a person or persons authorized to do so at all times during working hours. The storing of goods and/or materials on the sidewalk and/or the street will not be allowed unless a special permit is issued by the Engineering Division. The adjacent public right-of-way shall be kept clear of all job related dirt and debris at the end of the day. Failure to maintain the public right-of-way according to this condition may result in penalties and/or the Town performing the required maintenance at the developer's expense.
- Grading shall be undertaken in accordance with conditions and requirements of the project Storm Water Pollution Control Plan and/or Storm Water Pollution Prevention Plan (SWPPP), the Town of Los Gatos Storm Water Quality Management Program, National Pollutant Discharge Elimination System (NPDES) and any other permits/requirements issued by the State of California Regional Water Quality Control Board. Plans (including all updates) shall be on-site at all times. No direct stormwater discharges from the development will be allowed onto town streets or into the public storm drain system without treatment by an approved storm water pollution prevention device or other approved methods. Maintenance of private stormwater pollution prevention devices shall be the sole responsibility of the owner. Discharges or connection without treatment by an approved and adequately operating stormwater pollution prevention device or other approved method shall be considered a violation of the above referenced permit and the Town of Los Gatos Stormwater Ordinance.

UTILITY NOTE:

ALL NEW, RELOCATED, OR TEMPORARILY REMOVED UTILITY SERVICES, INCLUDING TELEPHONE, ELECTRIC POWER AND ALL OTHER COMMUNICATIONS LINES SHALL BE INSTALLED UNDERGROUND.



LOCATION MAP
N.T.S.

NPDES NOTES

- Sediment from areas disturbed by construction shall be retained on site using structural controls as required by the statewide General Construction Stormwater Permit.
- Stockpiles of soil shall be properly contained to minimize sediment transport from the site to streets, drainage facilities or adjacent properties via runoff, vehicle tracking, or wind as required by the statewide General Construction Stormwater Permit.
- Appropriate best management practices (BMPs) for construction-related materials, wastes, spill or residues shall be implemented to minimize transport from the site to streets, drainage facilities, or adjoining property by wind or runoff as required by the statewide General Construction Stormwater Permit.
- Runoff from equipment and vehicle washing shall be contained at construction sites and must not be discharged to receiving waters or to the local storm drain system.
- All construction contractor and subcontractor personnel are to be made aware of the required best management practices (BMPs) and good housekeeping measures for the project site and any associated construction staging areas.
- At the end of each day of construction activity, all construction debris and waste materials shall be collected and properly disposed in trash or recycle bins.
- Construction sites shall be maintained in such a condition that a storm does not carry waste or pollutants off of the site. Discharges of material other than stormwater (non-stormwater discharges) are prohibited except as authorized by an individual National Pollutant Discharge Elimination System (NPDES) permit or the statewide General Construction Stormwater Permit. Potential pollutants include but are not limited to: solid or liquid chemical spills; wastes from paints, stains, sealants, solvents, detergents, glues, lime, pesticides, herbicides, fertilizers, wood preservatives and asbestos fibers, paint flakes or stucco fragments; fuels, oils, lubricants, and hydraulic, radiator or battery fluids; concrete and related cutting or curing residues; floatable wastes; wastes from engine/equipment steam cleaning or chemical degreasing; wastes from street cleaning; and superchlorinated potable water from line flushing and testing. During construction, disposal of such materials should occur in a specified and controlled temporary area on-site physically separated from potential stormwater runoff, with ultimate disposal in accordance with local, state and federal requirements.
- Discharging contaminated groundwater produced by dewatering groundwater that has infiltrated into the construction site is prohibited. Discharging of contaminated soils via surface erosion is also prohibited. Discharging noncontaminated groundwater produced by dewatering activities requires a National Pollutant Discharge Elimination System (NPDES) permit from the respective State Regional Water Quality Control Board.

NOTE:

DRAINAGE PIPING SERVING FIXTURES WHICH HAVE FLOOD LEVEL RIMS LESS THAN TWELVE (12) INCHES (304.8 MM) ABOVE THE ELEVATION OF THE NEXT UPSTREAM MANHOLE AND/OR FLUSHING INLET COVER AT THE PUBLIC OR PRIVATE SEWER SYSTEM SERVING SUCH DRAINAGE PIPING SHALL BE PROTECTED FROM BACKFLOW OF SEWAGE BY INSTALLING AN APPROVED TYPE BACKWATER VALVE. FIXTURES ABOVE SUCH ELEVATION SHALL NOT DISCHARGE THROUGH THE BACKWATER VALVE, UNLESS FIRST APPROVED BY THE BUILDING OFFICIAL. THE TOWN SHALL NOT INCUR ANY LIABILITY OR RESPONSIBILITY FOR DAMAGE RESULTING FROM A SEWER OVERFLOW WHERE THE PROPERTY OWNER OR OTHER PERSON HAS FAILED TO INSTALL A BACKWATER VALVE AS DEFINED IN THE UNIFORM PLUMBING CODE ADOPTED BY THE TOWN AND MAINTAIN SUCH DEVICE IN A FUNCTIONAL OPERATION CONDITION. EVIDENCE OF WEST SANITATION DISTRICT'S DECISION ON WHETHER A BACKWATER DEVICE IS NEEDED SHALL BE PROVIDED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.

EARTHWORK TABLE

	FILL (CY)	CUT (CY)	IMPORT (CY)	EXPORT (CY)
HOUSE/ GARAGE	5	31		
DRIVEWAY/PATIO PORCH	30	5		
SITE	19	0		
TOTAL	54	36	18	00

NOTE:

1. EARTHWORK QUANTITIES ON THIS TABLE ARE FOR INFORMATION ONLY. CONTRACTORS ARE TO PERFORM THEIR OWN QUANTITY TAKE OFFS.

SHEET INDEX:

C-1	COVER SHEET/ NOTES
C-2	GRADING AND DRAINAGE PLAN
C-3	DETAILS
C-4	NOTES
C-5	CONSTRUCTION MANAGEMENT & EROSION CONTROL PLAN

SURVEY MAP DISCLAIMER NOTE:

SMP ENGINEERS ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE TOPOGRAPHIC SURVEYING DEPICTED ON THIS PLAN SET. TOPOGRAPHIC SURVEYING MAP WAS PREPARED BY OTHERS AND FURNISHED TO SMP ENGINEERS BY THE OWNER.

NOTE:

GRADING AND DRAINAGE PLANS SHALL BE REVIEWED AND APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER.

SANITARY SEWER NOTE:

ANY EXISTING SANITARY SEWER LATERAL PROPOSED TO BE REUSED MUST BE TESTED BY WEST VALLEY SANITATION DISTRICT AND APPROVED BY THE TOWN BEFORE REUSED.

GRADING AND DRAINAGE NOTES:

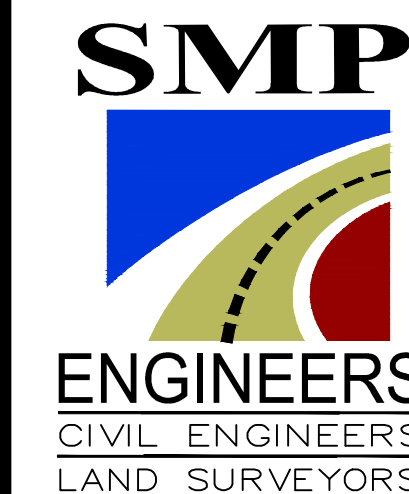
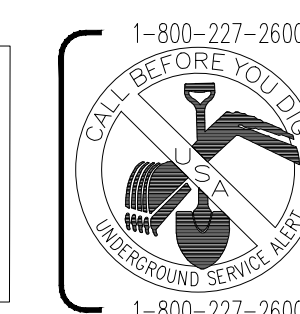
- Surface water shall be directed away from all buildings into drainage swales, gutters, storm drain inlets and drainage systems.
- All roof downspouts shall discharge to concrete splash pads draining away from the foundation. See architectural plans for roof downspout locations.
- On site storm drain lines shall consist of solid PVC-SCH 40 minimum or better. Use PVC SCH80 for pipes running under driveway.
- Storm drain inlets shall be precast concrete, Christy U23 type or equivalent.

NOTE:

IT IS THE RESPONSIBILITY OF CONTRACTOR AND HOMEOWNER TO MAKE SURE THAT ALL DIRT TRACKED INTO THE PUBLIC RIGHT-OF-WAY IS CLEANED UP ON A DAILY BASIS. MUD, SILT, CONCRETE AND OTHER CONSTRUCTION DEBRIS SHALL NOT BE WASHED INTO THE TOWN'S STORM DRAINS.

NOTICE TO CONTRACTORS

CONTRACTOR TO NOTIFY U.S.A. (UNDERGROUND SERVICE ALERT) AT 800-227-2600 A MINIMUM OF 2 WORKING DAYS BEFORE BEGINNING UNDERGROUND WORK FOR VERIFICATION OF THE LOCATION AND DEPTH OF UNDERGROUND UTILITIES.



1534 CAROB LANE
LOS ALTOS, CA 94024
TEL: (650) 941-8055
FAX: (650) 941-8755

OWNER:

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SMP ENGINEERS
CIVIL ENGINEERS

GRADING AND DRAINAGE PLANS
NEW SINGLE FAMILY HOME
15602 BENEDICT LN, LOS GATOS, CA 95032
APN: 424-22-008
COVER SHEET / NOTES

Revisions:

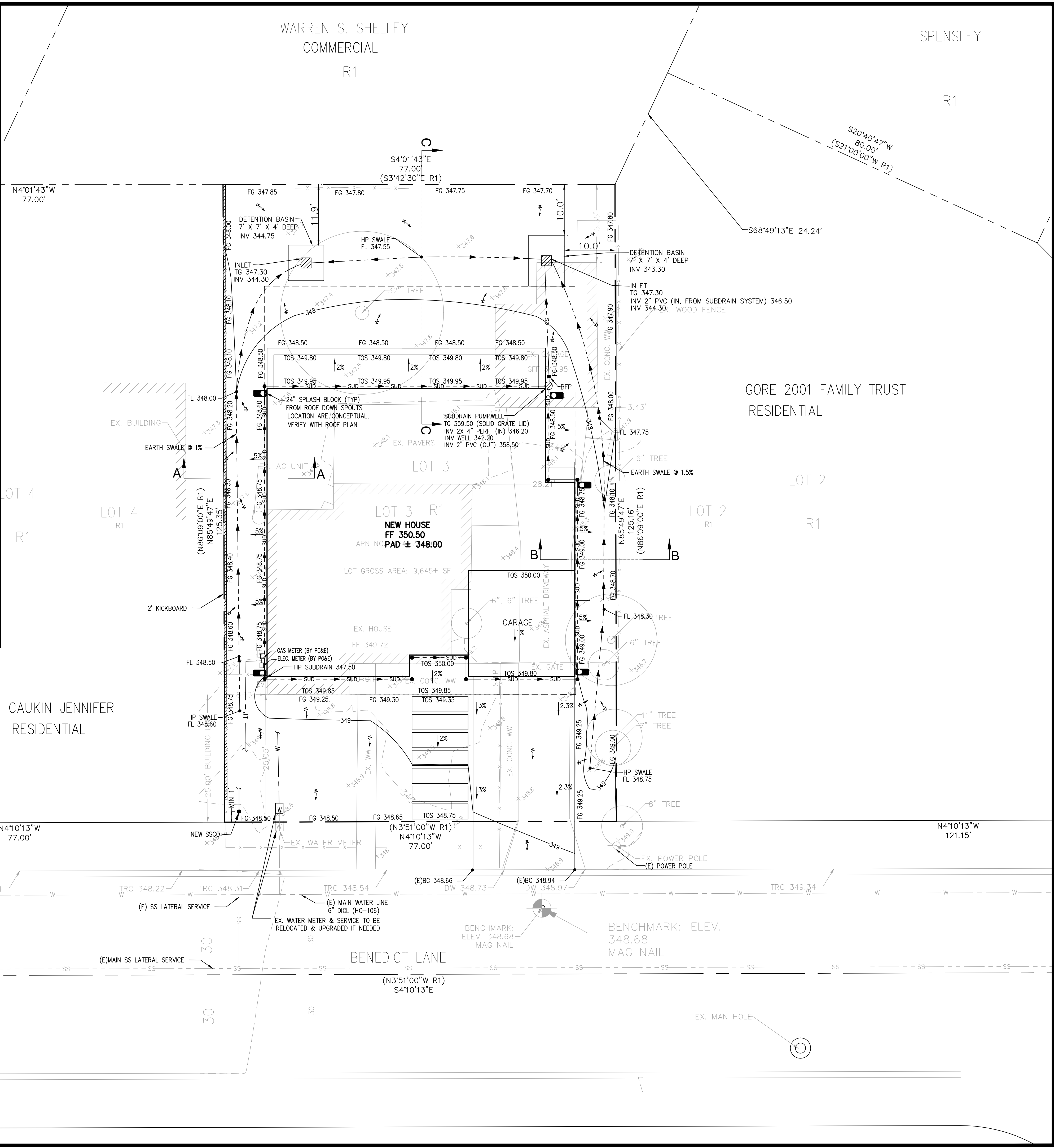
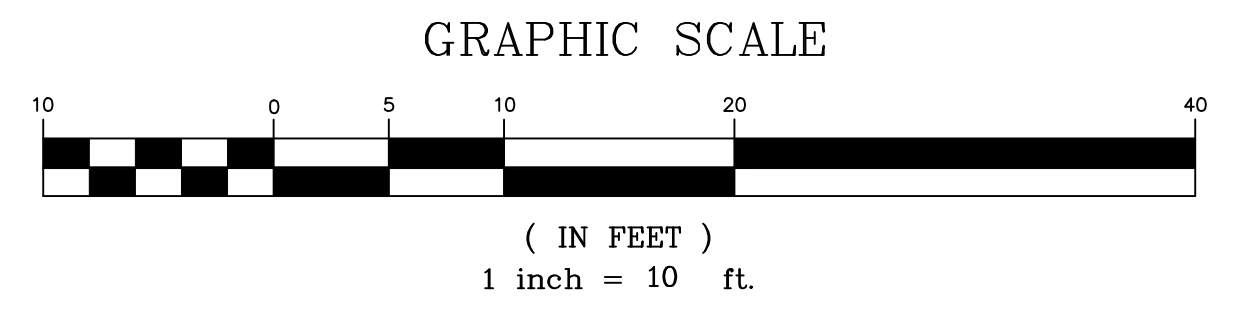
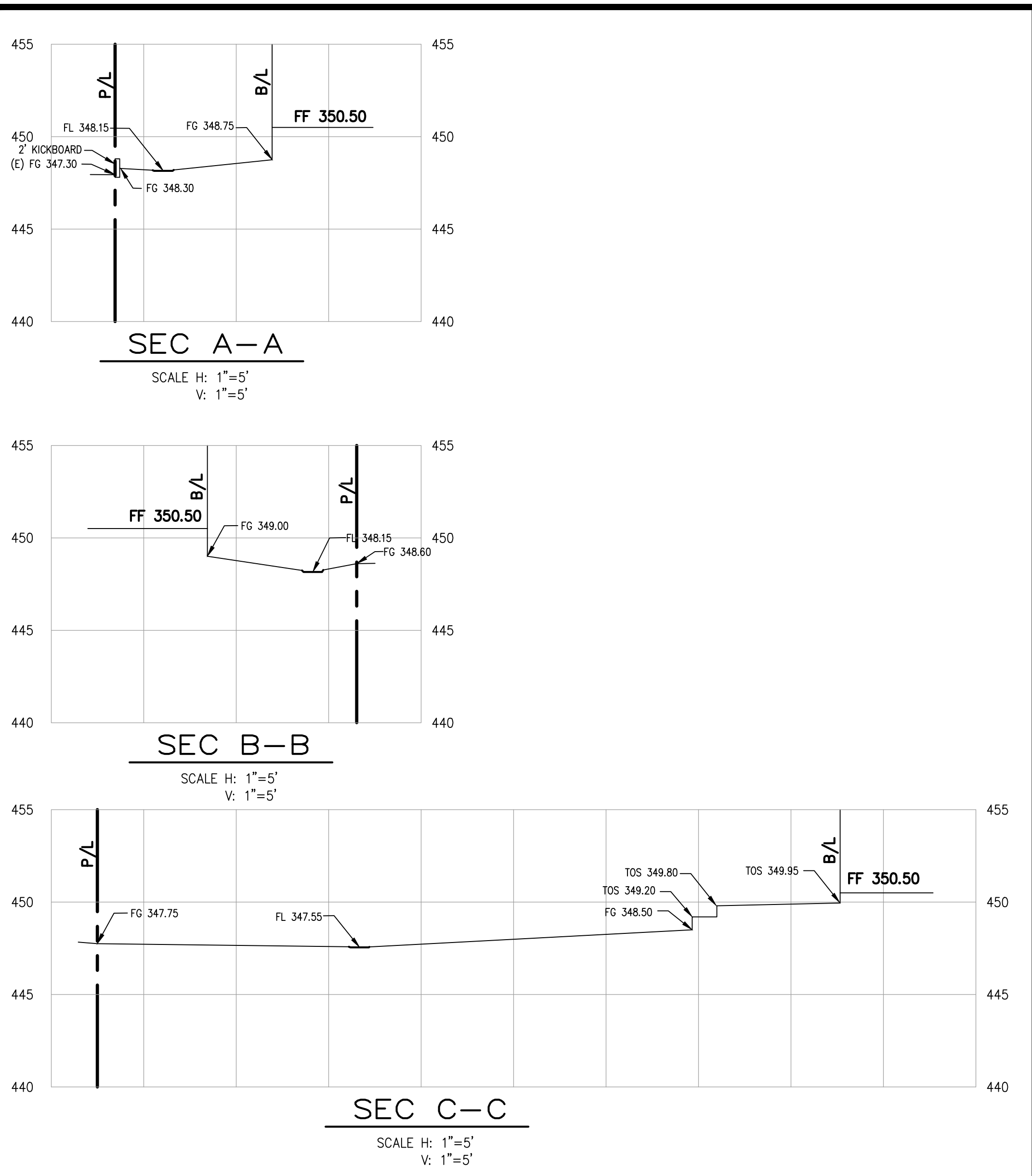


Ghazi Razaavi

Date: 07/14/2022
Scale: NTS
Prepared by: S.P.
Checked by: S.R.
Job #: 222020

Sheet: 1 OF 5

C-1



1534 CAROB LANE
LOS ALTOS, CA 94024
TEL: (650) 941-8055
FAX: (650) 941-8755

OWNER:

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GRADING AND DRAINAGE PLANS
NEW SINGLE FAMILY HOME
15602 BENEDICT LN, LOS GATOS, CA 95032
APN: 424-22-008
GRADING AND DRAINAGE PLAN

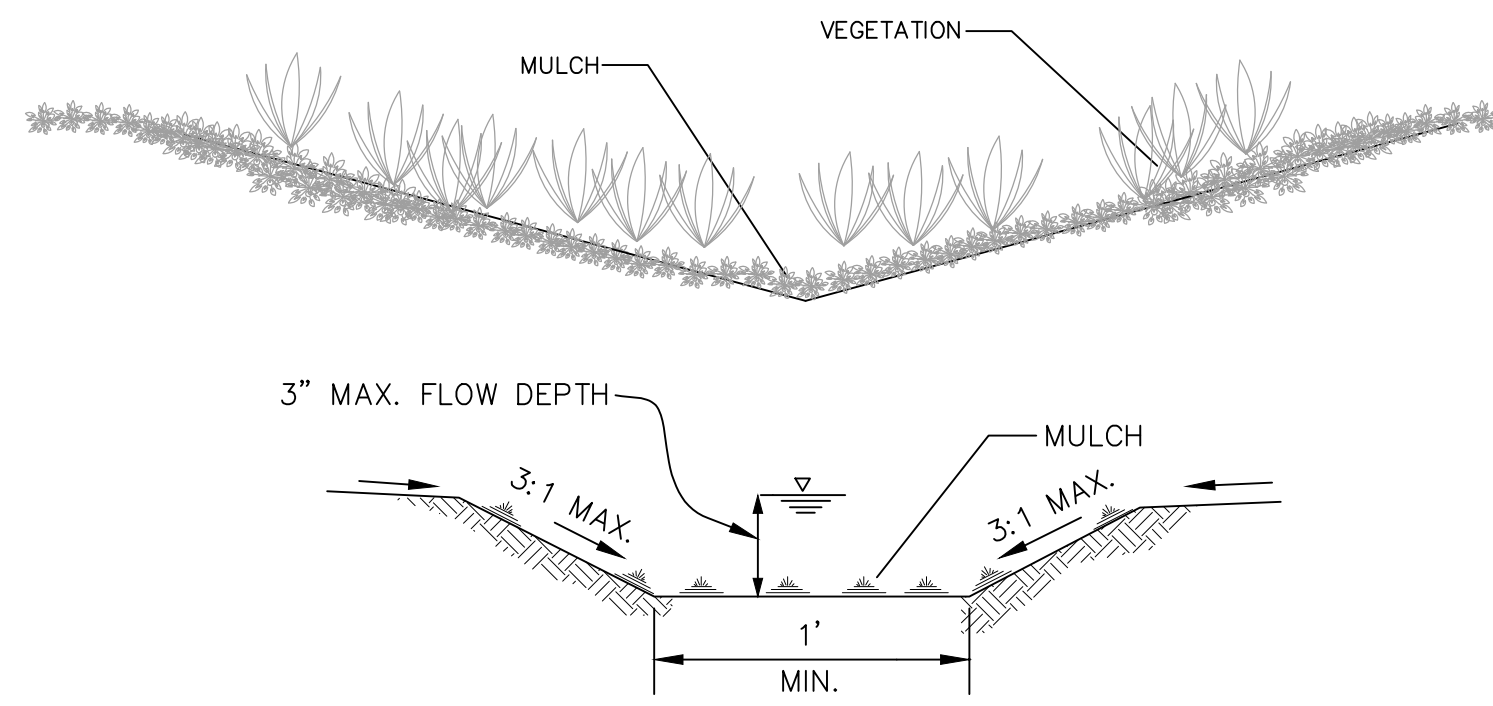
Revisions:



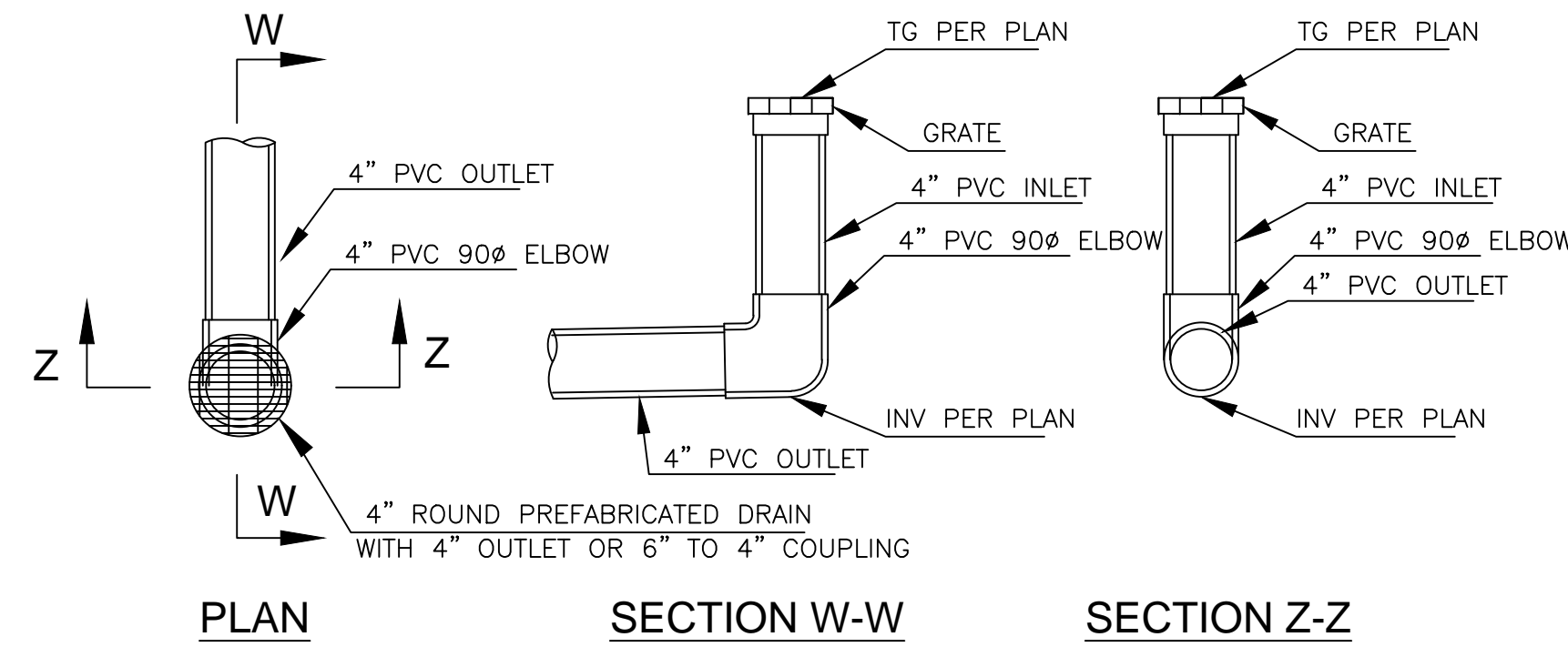
Saeed Razaqi

Date: 07/14/2022
Scale: 1"=10'
Prepared by: S.P.
Checked by: S.R.
Job #: 222020

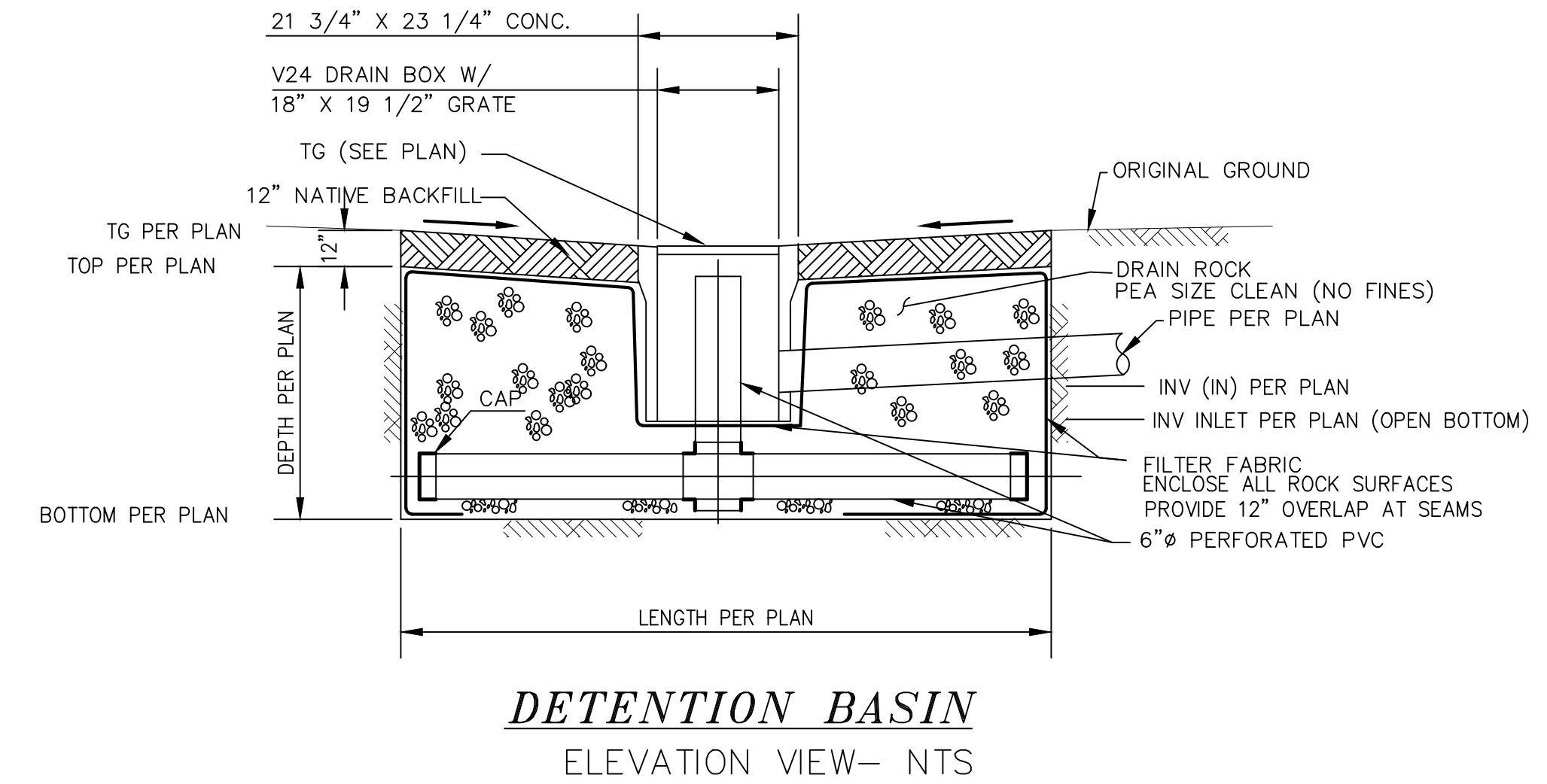
Sheet: **2 OF 5**
C-2



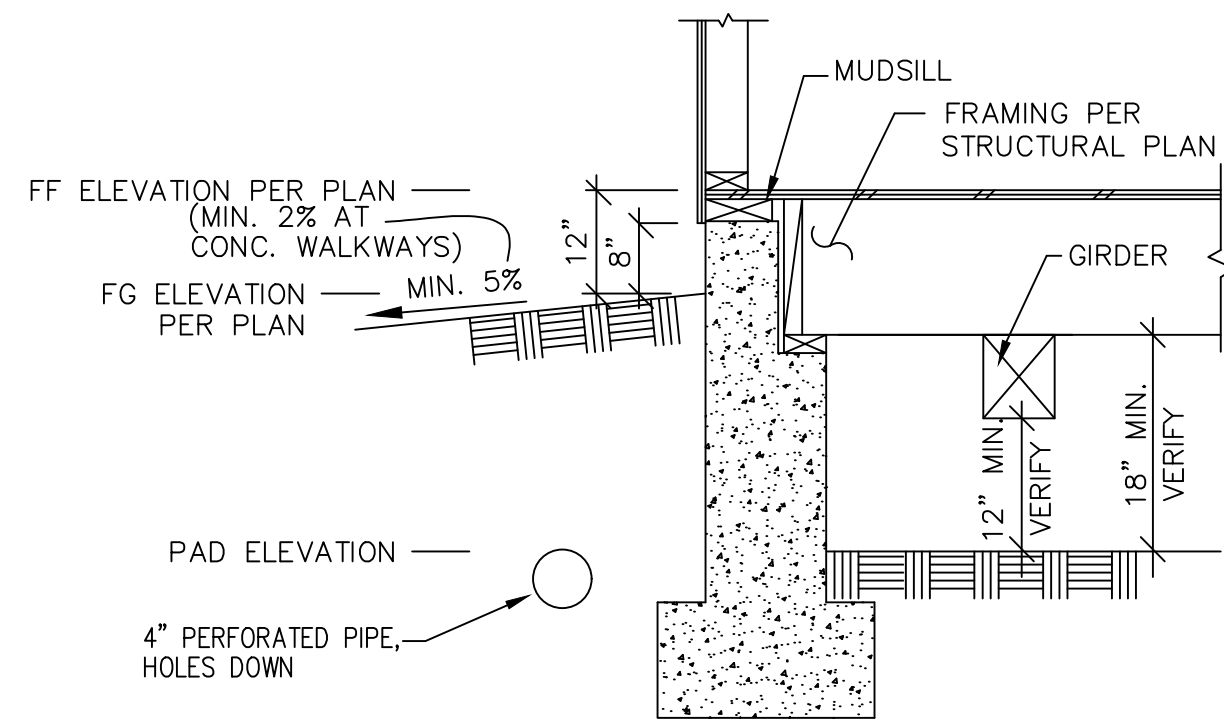
EARTH SWALE DETAIL
N.T.S.



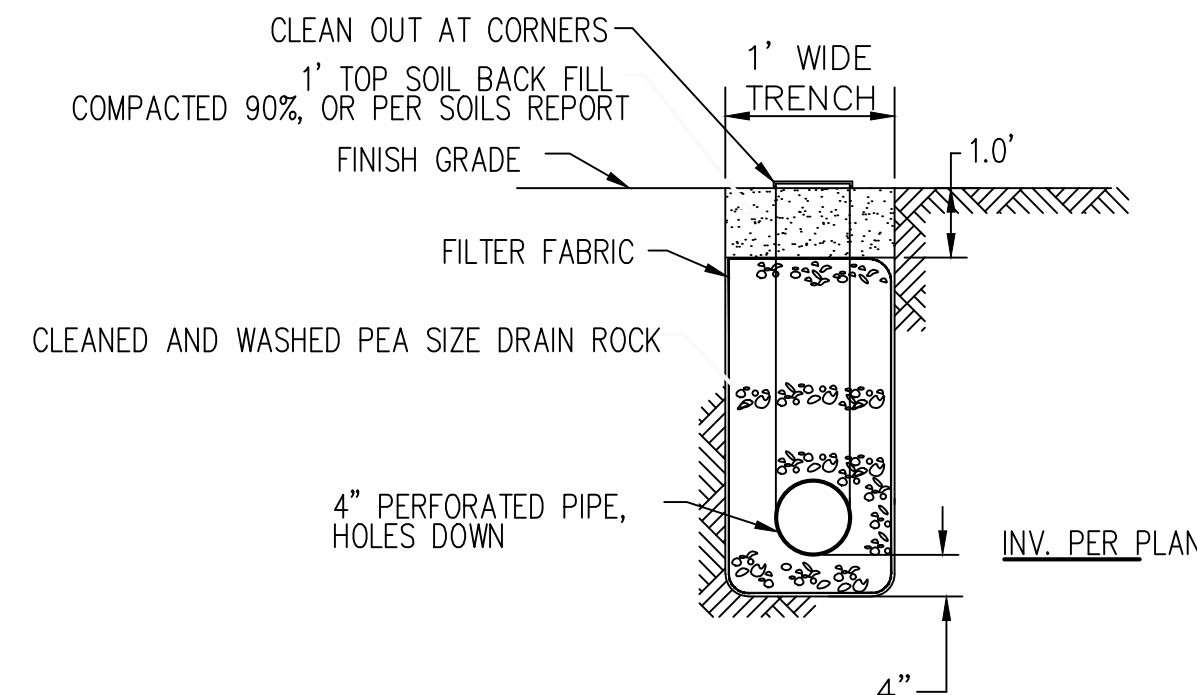
STORM DRAIN AREA DRAIN
N.T.S.



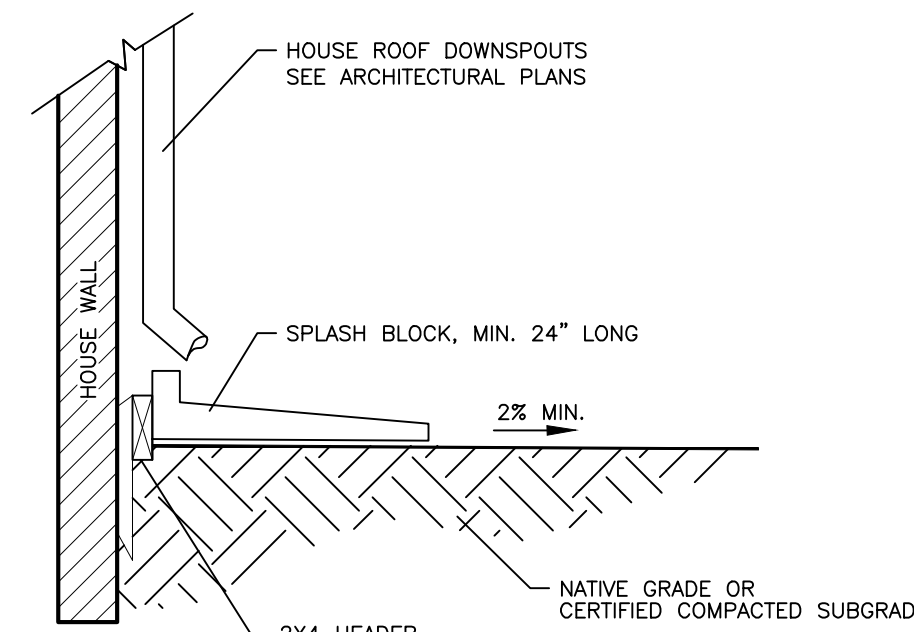
DETENTION BASIN
ELEVATION VIEW- NTS



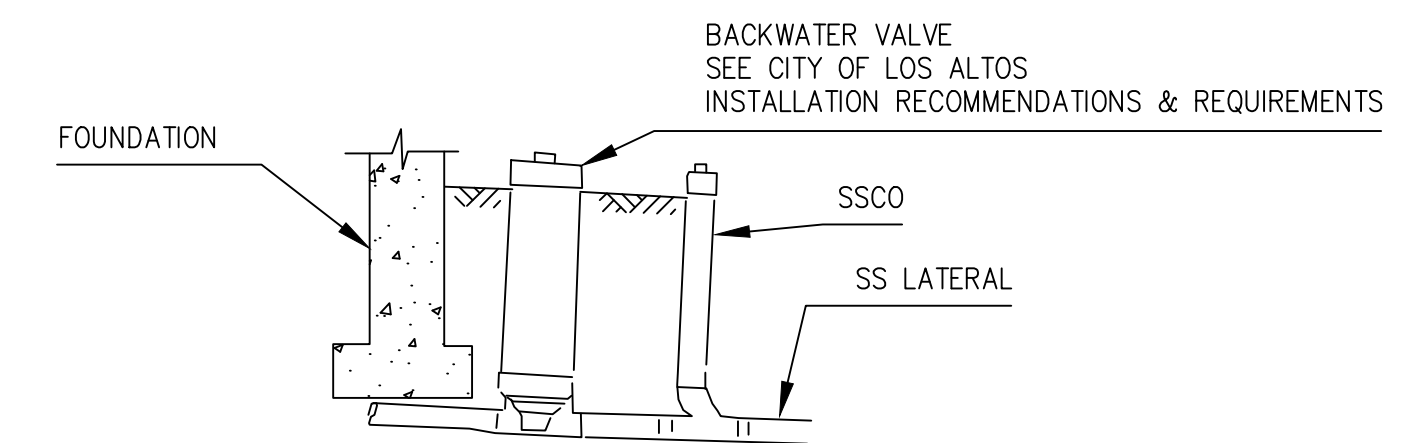
DROPPED FOUNDATION CONCEPTUAL DETAIL
N.T.S.



SUBDRAIN TRENCH DETAIL
ELEVATION VIEW- N.T.S.

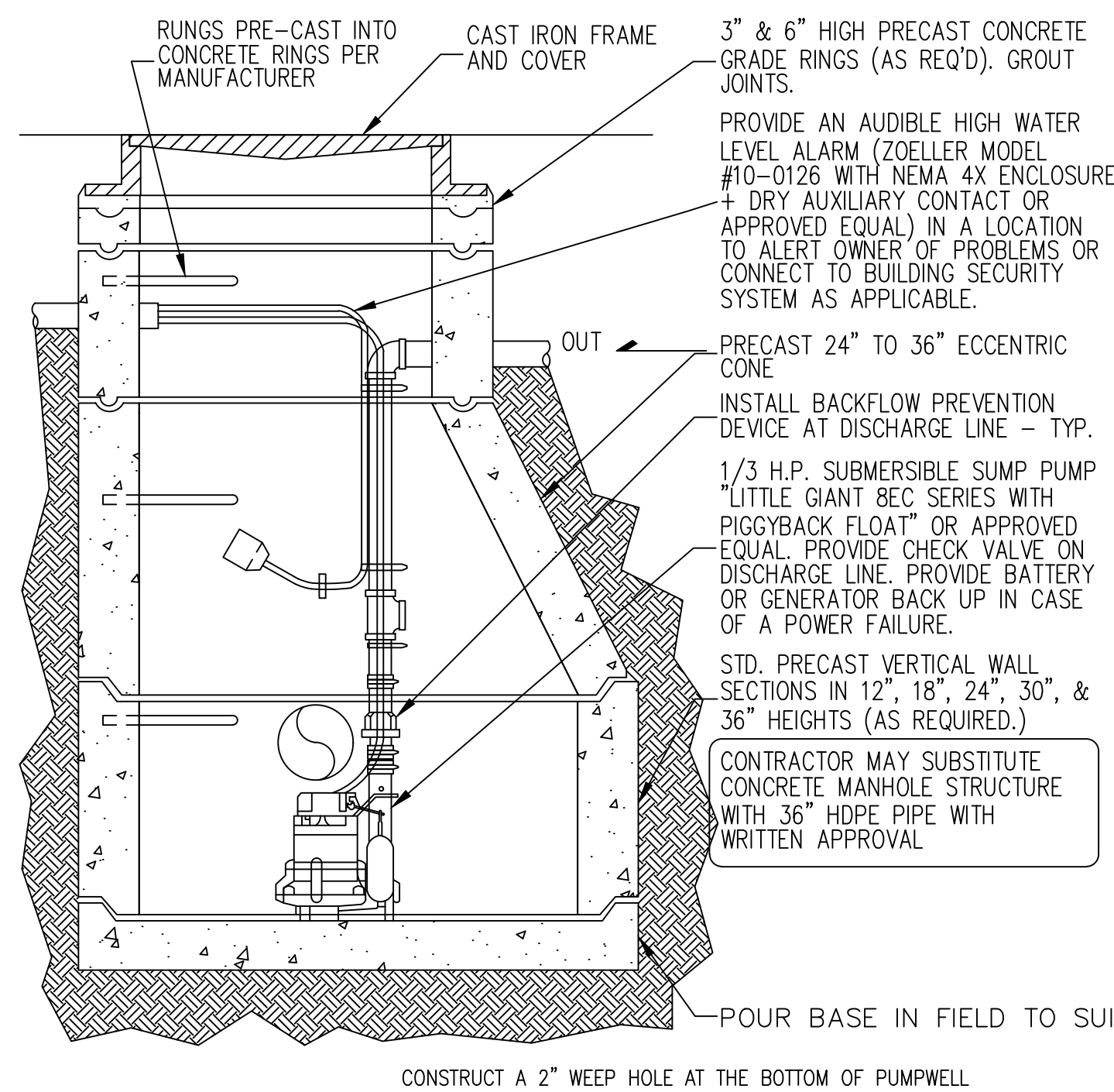
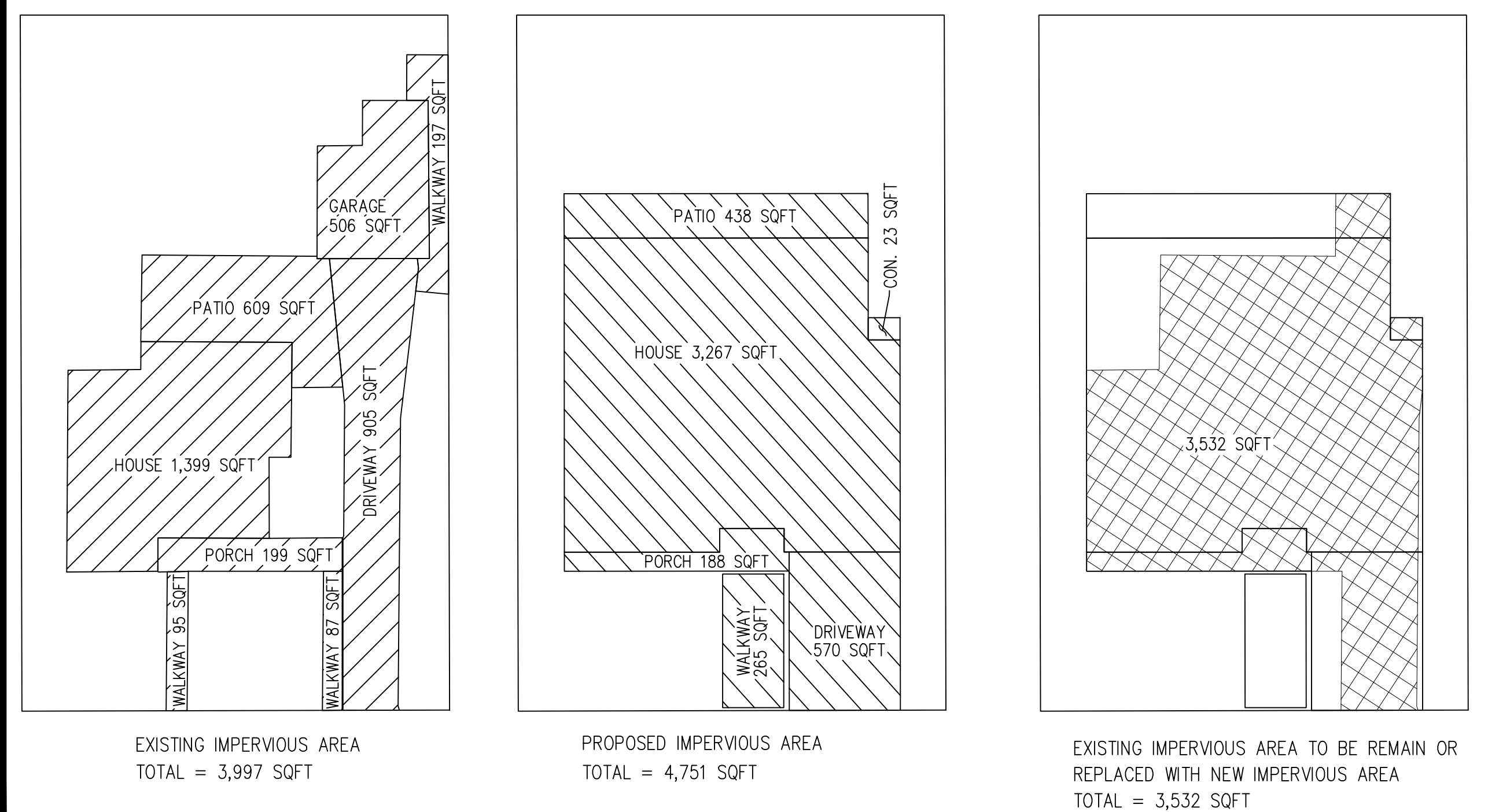


ROOF DOWNSPOUT/SPLASH BLOCK
N.T.S.



SANITARY SEWER BACKFLOW PREVENTOR DETAIL
N.T.S.

IMPERVIOUS AREA CALCULATION
N.T.S.



PUMPWELL DETAIL FOR OVERFLOW & SUBDRAIN
N.T.S.

PUMP NOTES:

- HARD WIRE THE PUMPS TO PREVENT ANY UNPLUGGING.
- PUMPS TO BE CONNECTED TO BACKUP GENERATORS OR BATTERIES TO PREVENT FLOODING IN CASE OF BLACKOUT.
- PROVIDE BACK FLOW PREVENTOR VALVE FOR PUMP OUTLET.
- PROVIDE RESERVE PUMP FOR EACH PUMP WELL.
- PROVIDE FLOATING DEVICE, CONNECTED TO SOUND/ LIGHT ALARM, TO NOTIFY RESIDENTS OF POSSIBLE RISE OF WATER IN PUMPWELL.
- PROVIDE TWO SEPARATE SYSTEM AND PUMP WELLS FOR: a) SUBDRAIN AND b) LIGHTWELL AREA DRAINS.

NOTES:

- GENERAL: All public improvements shall be made according to the latest adopted Town Standard Plans, Standard Specifications and Engineering Design Standards. All work shall conform to the applicable Town ordinances. The adjacent public right-of-way shall be kept clear of all job-related mud, silt, concrete, dirt and other construction debris at the end of the day. Dirt and debris shall not be washed into storm drainage facilities. The storing of goods and materials on the sidewalk and/or the street will not be allowed unless an encroachment permit is issued by the Engineering Division of the Parks and Public Works Department. The Owner, Applicant and/or Developer's representative in charge shall be at the job site during all working hours. Failure to maintain the public right-of-way according to this condition may result in the issuance of correction notices, citations, or stop work orders and the Town performing the required maintenance at the Owner, Applicant and/or Developer's expense.
- APPROVAL: This application shall be completed in accordance with all of the conditions of approval listed below and in substantial compliance with the latest reviewed and approved development plans. Any changes or modifications to the approved plans or conditions of approvals shall be approved by the Town Engineer.
- STREET/SIDEWALK CLOSURE: Any proposed blockage or partial closure of the street and/or sidewalk requires an encroachment permit. Special provisions such as limitations on works hours, protective enclosures, or other means to facilitate public access in a safe manner may be required.
- ENCROACHMENT PERMIT: All work in the public right-of-way will require a Construction Encroachment Permit. All work over \$5,000 will require construction security. It is the responsibility of the Owner/Applicant/Developer to obtain any necessary encroachment permits from affected agencies and private parties, including but not limited to, Pacific Gas and Electric (PG&E), AT&T, Comcast, Santa Clara Valley Water District, California Department of Transportation (Caltrans). Copies of any approvals or permits must be submitted to the Town Engineering Division of the Parks and Public Works Department prior to releasing any permit.
- PRIVATE IMPROVEMENTS IN THE PUBLIC RIGHT-OF-WAY (INDEMNITY AGREEMENT): The property owner shall enter into an agreement with the Town for all existing and proposed private improvements within the Town's right-of-way. The Owner shall be solely responsible for maintaining the improvements in a good and safe condition at all times and shall indemnify the Town of Los Gatos. The agreement must be completed and accepted by the Director of Parks and Public Works, and subsequently recorded by the Town Clerk at the Santa Clara County Office of the Clerk-Recorder, prior to the issuance of any permits. Please note that this process may take approximately six to eight (6-8) weeks.
- PUBLIC WORKS INSPECTIONS: The Owner, Applicant and/or Developer or their representative shall notify the Engineering Inspector at least twenty-four (24) hours before starting any work pertaining to on-site drainage facilities, grading or paving, and all work in the Town's right-of-way. Failure to do so will result in penalties and rejection of work that went on without inspection.
- RESTORATION OF PUBLIC IMPROVEMENTS: The Owner, Applicant and/or Developer or their representative shall repair or replace all existing improvements not designated for removal that are damaged or removed because of the Owner, Applicant and/or Developer or their representative's operations. Improvements such as, but not limited to: curbs, gutters, sidewalks, driveways, signs, pavements, raised pavement markers, thermoplastic pavement markings, etc., shall be repaired and replaced to a condition equal to or better than the original condition. Any new concrete shall be free of stamps, logos, names, graffiti, etc. Any concrete identified that is displaying a stamp or equal shall be removed and replaced at the Contractor's sole expense and no additional compensation shall be allowed therefore. Existing improvement shall be repaired or replaced shall be at the direction of the Engineering Construction Inspector, and shall comply with all Title 24 Disabled Access provisions. The Owner, Applicant and/or Developer or their representative shall request a walk-through with the Engineering Construction Inspector before the start of construction to verify existing conditions.
- SITE SUPERVISION: The General Contractor shall provide qualified supervision on the job site at all times during construction.
- DESIGN CHANGES: Any proposed changes to the approved plans shall be subject to the approval of the Town prior to the commencement of any and all altered work. The Owner, Applicant and/or Developer's project engineer shall notify, in writing, the Town Engineer at least seventy-two (72) hours in advance of all the proposed changes. Any approved changes shall be incorporated into the final "as-built" plans.
- PLANS AND STUDIES: All required plans and studies shall be prepared by a Registered Professional Engineer in the State of California, and submitted to the Town Engineer for review and approval. Additionally, any post-project traffic or parking counts, or other studies imposed by the Planning Commission or Town Council shall be funded by the Applicant.
- GRADING PERMIT: A grading permit is required for all site grading and drainage work except for exemptions listed in Section 12.20.015 of The Code of the Town of Los Gatos (Grading Ordinance). The grading permit application (with grading plans) shall be made to the Engineering Division of the Parks and Public Works Department located at 41 Miles Avenue. The grading plans shall include final grading, drainage, retaining wall location(s), driveway, utilities and interim erosion control. Grading plans shall list earthwork quantities and table of existing and proposed impervious areas. Unless specifically allowed by the Director of Parks and Public Works, the grading permit will be issued concurrently with the building permit. The grading permit is for work outside the building footprint(s). A separate building permit, issued by the Building Department on E. Main Street, is needed for grading within the building footprint.
- DRIVEWAY: The driveway conform to existing pavement on STEPHENIE Lane shall be constructed in a manner such that the existing drainage patterns will not be obstructed.
- TREE REMOVAL: Copies of all necessary tree removal permits shall be provided prior to the issuance of a grading permit/building permit.
- PAD CERTIFICATION: A letter from a licensed land surveyor shall be provided stating that the building foundation was constructed in accordance with the approved plans shall be provided subsequent to foundation construction and prior to construction on the structure. The pad certification shall address both vertical and horizontal foundation placement.
- RETAINING WALLS: A building permit, issued by the Building Department at 110 E. Main Street, may be required for site retaining walls. Walls are not reviewed or approved by the Engineering Division of Parks and Public Works during the grading permit plan review process.
- WATER DESIGN: In the event of any required improvements to the existing water service and/or meter, the existing water meter, currently located within the STEPHENIE Lane right-of-way, shall be relocated within the property in question, directly behind the public right-of-way line. The Owner, Applicant and/or Developer shall repair and replace to existing Town standards any portion of concrete flatwork within said right-of-way that is damaged during this activity. Water plans prepared by San Jose Water Company must be reviewed and approved prior to issuance of any permit.
- SANITARY SEWER CLEANOUT: The existing sanitary sewer cleanout, currently located within the STEPHENIE Lane right-of-way, shall be relocated within the property in question, directly behind the public right-of-way line. The Owner, Applicant and/or Developer shall repair and replace to existing Town standards any portion of concrete flatwork within said right-of-way that is damaged during this activity.
- UTILITIES: The Owner, Applicant and/or Developer shall install all new, relocated, or temporarily removed utility services, including telephone, electric power and all other communications lines underground, as required by Town Code Section 27.50.015(b). All new utility services shall be placed underground. Underground conduit shall be provided for cable television service. The Owner, Applicant and/or Developer is required to obtain approval of all proposed utility alignments from any and all utility service providers before a Certificate of Occupancy for any new building can be issued. The Town of Los Gatos does not approve or imply approval for final alignment or design of these facilities.
- UTILITY SETBACKS: House foundations shall be set back from utility lines a sufficient distance to allow excavation of the utility without undermining the house foundation. The Town Engineer shall determine the appropriate setback based on the depth of the utility, input from the project soils engineer, and the type of foundation.
- CURB AND GUTTER REPAIR: The Owner, Applicant and/or Developer shall repair and replace to existing Town standards any curb and gutter damaged now or during construction of this project. All new and existing adjacent infrastructure must meet Town standards. New curb and gutter shall be constructed per Town Standard Details. New concrete shall be free of stamps, logos, names, graffiti, etc. Any concrete identified that is displaying a stamp or equal shall be removed and replaced at the Contractor's sole expense and no additional compensation shall be allowed therefore. The limits of curb and gutter repair will be determined by the Engineering Construction Inspector during the construction phase of the project. The improvements must be completed and accepted by the Town before a Certificate of Occupancy for any new building can be issued.
- FENCING: Any fencing proposed within two hundred (200) feet of an intersection shall comply with Town Code Section §23.10.080.
- SIGHT TRIANGLE AND TRAFFIC VIEW AREA: Any proposed improvements, including but not limiting to trees and hedges, will need to abide by Town Code Sections 23.10.080, 26.10.065, and 29.40.030.
- FENCES: Fences between all adjacent parcels will need to be located on the property lines/boundary lines. Any existing fences that encroach into the neighbor's property will need to be removed and replaced to the correct location of the boundary lines before a Certificate of Occupancy for any new building can be issued. Waiver of this condition will require signed and notarized letters from all affected neighbors.
- CONSTRUCTION VEHICLE PARKING: Construction vehicle parking within the public right-of-way will only be allowed if it does not cause access or safety problems as determined by the Town.
- PARKING: Any proposed parking restriction must be approved by The Town of Los Gatos, Community Development Department.
- CONSTRUCTION TRAFFIC CONTROL: All construction traffic and related vehicular routes, traffic control plan, and applicable pedestrian or traffic detour plans shall be submitted for review and approval by the Town Engineer prior to beginning of any work.
- ADVANCE NOTIFICATION: Advance notification of all affected residents and emergency services shall be made regarding parking restriction, lane closure or road closure, with specification of dates and hours of operation.
- COVERED TRUCKS: All trucks transporting materials to and from the site shall be covered.
- HAULING OF SOIL: Hauling of soil on- or off-site shall not occur during the morning or evening peak periods (between 7:00 a.m. and 9:00 a.m. and between :00 p.m. and 6:00 p.m.), and at other times as specified by the Director of Parks and Public Works. Prior to the issuance of a building permit, the Owner, Applicant and/or Developer or their representative shall work with the Town Building Department and Engineering Division Inspectors to devise a traffic control plan to ensure safe and efficient traffic flow under periods when soil is hauled on or off of the project site. This may include, but is not limited to provisions for the Owner, Applicant and/or Developer to place construction notification signs noting the dates and time of construction and hauling activities, or providing additional traffic control. Coordination with other significant projects in the area may also be required. Cover all trucks hauling soil, sand and other loose debris.
- CONSTRUCTION NOISE: Between the hours of 8:00 a.m. to 8:00 p.m., weekdays and 9:00 a.m. to 7:00 p.m. weekends and holidays, construction, alteration or repair activities shall be allowed. No individual piece of equipment shall produce a noise level exceeding eighty-five (85) dBA at twenty-five (25) feet from the source. If the device is located within a structure on the property, the measurement shall be made at distances as close to twenty-five (25) feet from the device as possible. The noise level at any point outside of the property plane shall not exceed eighty-five (85) dBA.
- CONSTRUCTION MANAGEMENT PLAN SHEET: Prior to the issuance of any permits, the Owner, Applicant and/or Developer's design consultant, shall submit a construction management plan sheet (full-size) within the plan set that shall incorporate at a minimum the Project Schedule, site security fencing, employee parking, construction staging area, materials storage area(s), concrete washout(s) and proposed outhouse locations. Please refer to the Town's Construction Management Plan Guidelines document for additional information.

- SANITARY SEWER BACKWATER VALVE: Drainage piping serving fixtures which have flood level rims less than twelve (12) inches (304.8 mm) above the elevation of the next upstream manhole and/or flushing inlet cover at the public or private sewer system serving such drainage piping shall be protected from backflow of sewage by installing an approved type backwater valve. Fixtures above such elevation shall not discharge through the backwater valve, unless first approved by the Building Official. The Town shall not incur any liability or responsibility for damage resulting from a sewer overflow where the property owner or other person has failed to install a backwater valve as defined in the Uniform Plumbing Code adopted by the Town and maintain such device in a functional operation condition. Evidence of West Sanitation District's decision on whether a backwater device is needed shall be provided prior to the issuance of a building permit.
- BEST MANAGEMENT PRACTICES (BMPs): The Owner, Applicant and/or Developer is responsible for ensuring that all contractors are aware of all storm water quality measures and that such measures are implemented. Best Management Practices (BMPs) shall be maintained and be placed for all areas that have been graded or disturbed and for all material, equipment and/or operations that need protection. Removal of BMPs (temporary removal during construction activities) shall be replaced at the end of each working day. Failure to comply with the construction BMP will result in the issuance of correction notices, citations, or stop work orders.
- SITE DESIGN MEASURES: All projects shall incorporate at least one of the following measures:
 - a) Protect sensitive areas and minimize changes to the natural topography.
 - b) Minimize impervious surface areas.
 - c) Direct roof downspouts to vegetated areas.
 - d) Use porous or pervious pavement surfaces on the driveway, at a minimum.
 - e) Use landscaping to treat stormwater.
- UNLAWFUL DISCHARGES: It is unlawful to discharge any wastewater, or cause hazardous domestic waste materials to be deposited in such a manner or location as to constitute a threatened discharge, into storm drains, gutters, creeks or the San Francisco Bay. Unlawful discharges to storm drains include, but are not limited to: discharges from toilets, sinks, industrial processes, cooling systems, boilers, fabric cleaning, equipment cleaning or vehicle cleaning.
- EROSION CONTROL: Interim and final erosion control plans shall be prepared and submitted to the Engineering Division of the Parks and Public Works Department. A maximum of two (2) weeks is allowed between clearing of an area and stabilizing/building on an area if grading is allowed during the rainy season. Interim erosion control measures, to be carried out during construction and before installation of the final landscaping, shall be included. Interim erosion control method shall include, but are not limited to: silt fences, fiber rolls (with locations and details), erosion control blankets, Town standard seeding specification, filter berms, check dams, retention basins, etc. Provide erosion control measures as needed to protect downstream water quality during winter months. The Town of Los Gatos Engineering Division of the Parks and Public Works Department and the Building Department will conduct periodic NP DES inspections of the site throughout the recognized storm season to verify compliance with the Construction General Permit and Stormwater ordinances and regulations.
- DUST CONTROL: Blowing dust shall be reduced by timing construction activities so that paving and building construction begin as soon as possible after completion of grading, and by landscaping disturbed soils as soon as possible. Further, water trucks shall be present and in use at the construction site. All portions of the site subject to blowing dust shall be watered as often as deemed necessary by the Town, or a minimum of three (3) times daily, or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas, and staging areas at construction sites in order to insure proper control of blowing dust for the duration of the project. Watering on public streets shall not occur. Streets shall be cleaned by street sweepers or by hand as often as deemed necessary by the Town Engineer, or at least once a day. Watering associated with on-site construction activity shall take place between the hours of 8 a.m. and 5 p.m. and shall include at least one (1) late-afternoon watering to minimize the effects of blowing dust. All public streets soiled or littered due to this construction activity shall be cleaned and swept on a daily basis during the workweek to the satisfaction of the Town. Demolition or earthwork activities shall be halted when wind speeds (instantaneous gusts) exceed twenty-five (25) miles per hour (MPH). All trucks hauling soil, sand, or other loose debris shall be covered.
- DETAILING OF STORMWATER MANAGEMENT FACILITIES: Prior to the issuance of any permits, all pertinent details of any and all proposed stormwater management facilities, including, but not limited to, ditches, swales, pipes, bubble-ups, dry wells, outfalls, infiltration trenches, detention basins and energy dissipaters, shall be provided on submitted plans, reviewed by the Engineering Division of the Parks and Public Works Department, and approved for implementation.
- CONSTRUCTION ACTIVITIES: All construction shall conform to the latest requirements of the CASQA Stormwater Best Management Practices Handbooks for Construction Activities and New Development and Redevelopment, the Town's grading and erosion control ordinance, and other generally accepted engineering practices for erosion control as required by the Town Engineer when undertaking construction activities.
- SITE DRAINAGE: Rainwater leaders shall be discharged to splash blocks. No through curb drains will be allowed. On-site drainage systems for all projects shall include one of the alternatives included in section C.3.1 of the Municipal Regional NPDES Permit. These include storm water reuse via cisterns or rain barrels, directing runoff from impervious surfaces to vegetated areas and use of permeable surfaces. If dry wells are to be used they shall be placed a minimum of ten (10) feet from the adjacent property line and/or right-of-way. Alternatively, the facility may be located with an offset between five (5) and ten (10) feet from the adjacent property and/or right-of-way line(s) if the responsible engineer in charge provides a stamped and signed letter stating that addresses infiltration and how facilities, improvements and infrastructure within the Town's right-of-way (driveway approach, curb and gutter, etc.) and/or the adjacent property will not be adversely affected. No improvements shall obstruct or divert runoff to the detriment of an adjacent, downstream or down slope property.
- SILT AND MUD IN PUBLIC RIGHT-OF-WAY: It is the responsibility of Contractor and homeowner to make sure that all dirt tracked into the public right-of-way is cleaned up on a daily basis. Mud, silt, concrete and other construction debris SHALL NOT be washed into the Town's storm drains.
- GOOD HOUSEKEEPING: Good housekeeping practices shall be observed at all times during the course of construction. All construction shall be diligently supervised by a person or persons authorized to do so at all times during working hours. The Owner, Applicant and/or Developer's representative in charge shall be at the job site during all working hours. Failure to maintain the public right-of-way according to this condition may result in penalties and/or the Town performing the required maintenance at the Developer's expense.
- CERTIFICATE OF OCCUPANCY: The Engineering Division of the Parks and Public Works Department will not sign off on a Temporary Certificate of Occupancy or a Final Certificate of Occupancy until all required improvements within the Town's right-of-way have been completed and approved by the Town.
- FUTURE STUDIES: Any post-project traffic or parking counts, or other studies imposed by Planning Commission or Town Council shall be funded by the Applicant.



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OWNER:

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GRADING AND DRAINAGE PLANS
 NEW SINGLE FAMILY HOME
 15602 BENEDICT LN, LOS GATOS, CA 95032
 APN: 424-22-008

NOTES

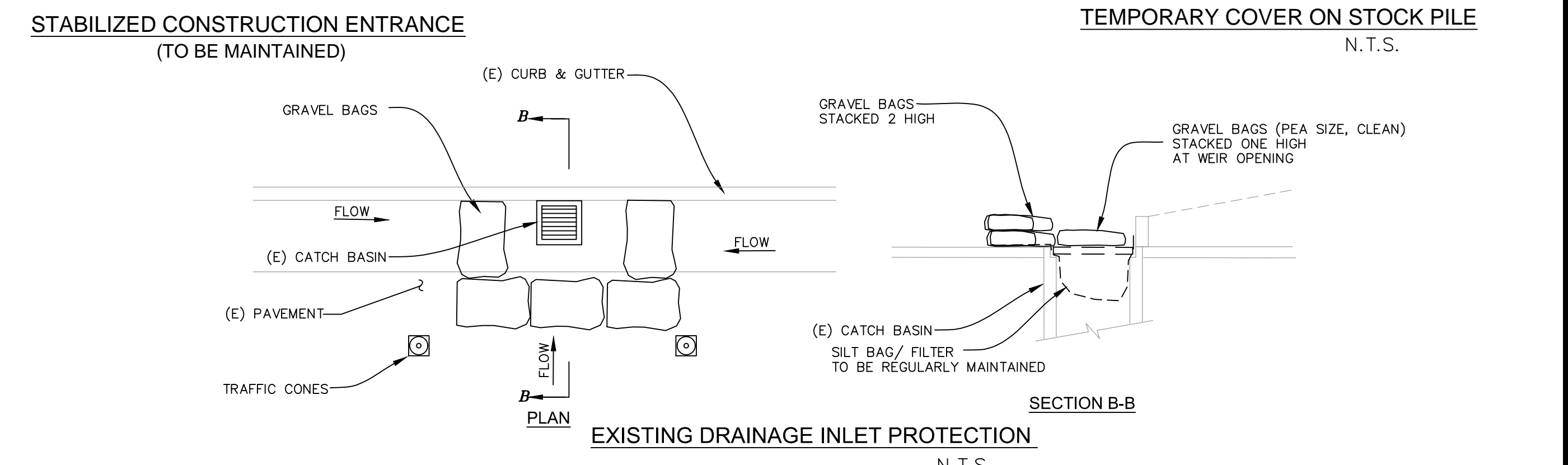
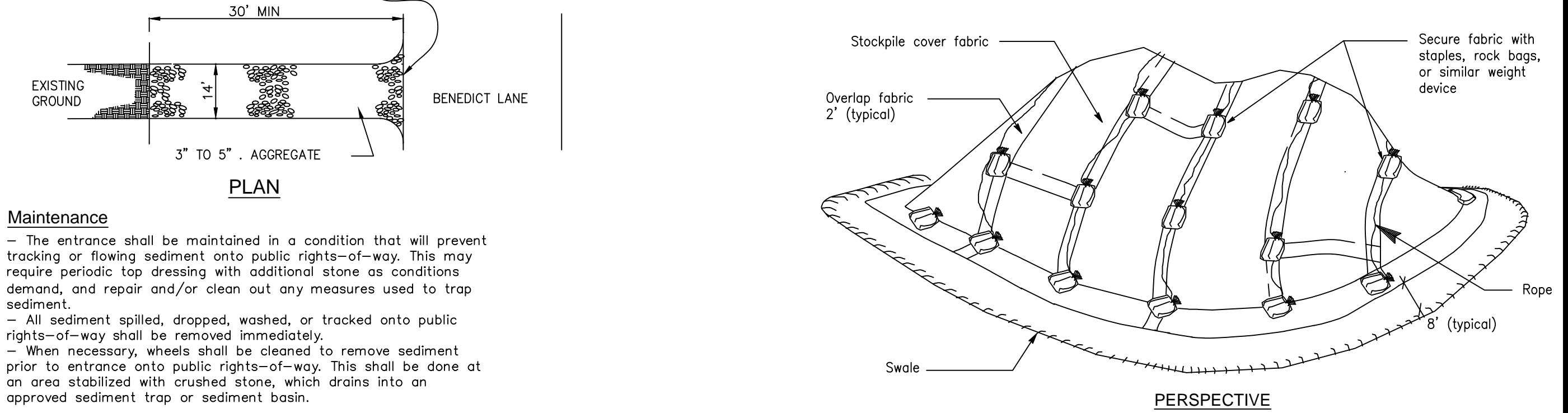
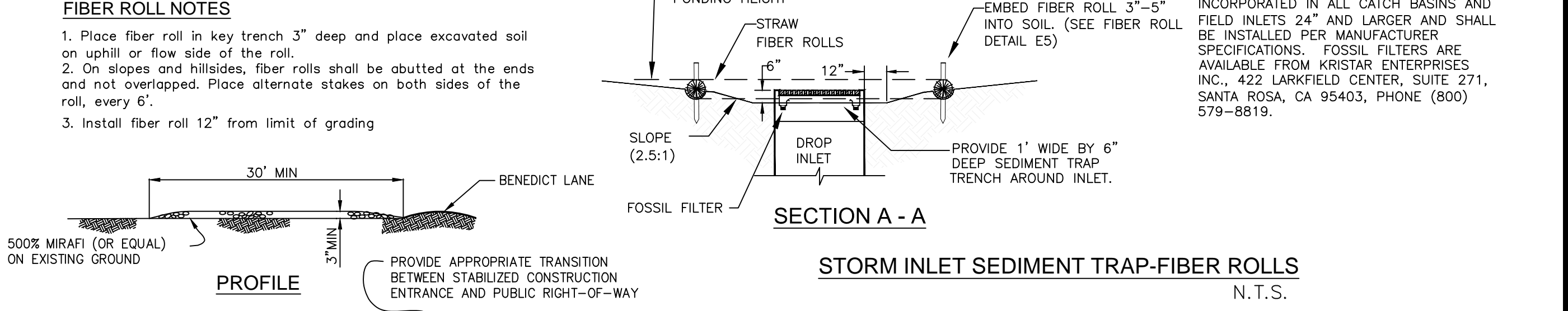
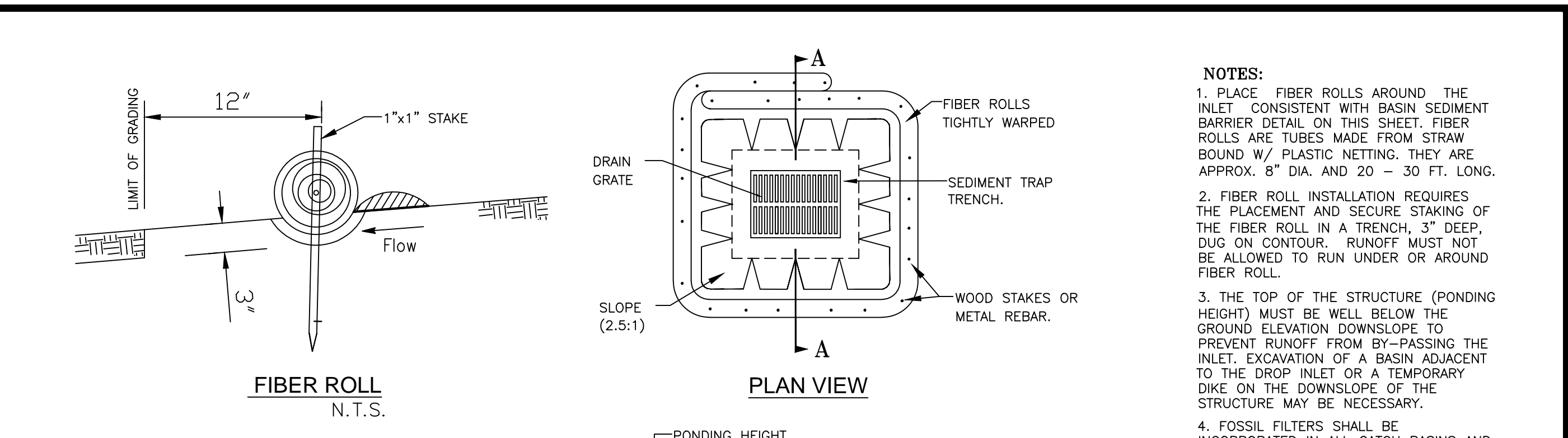
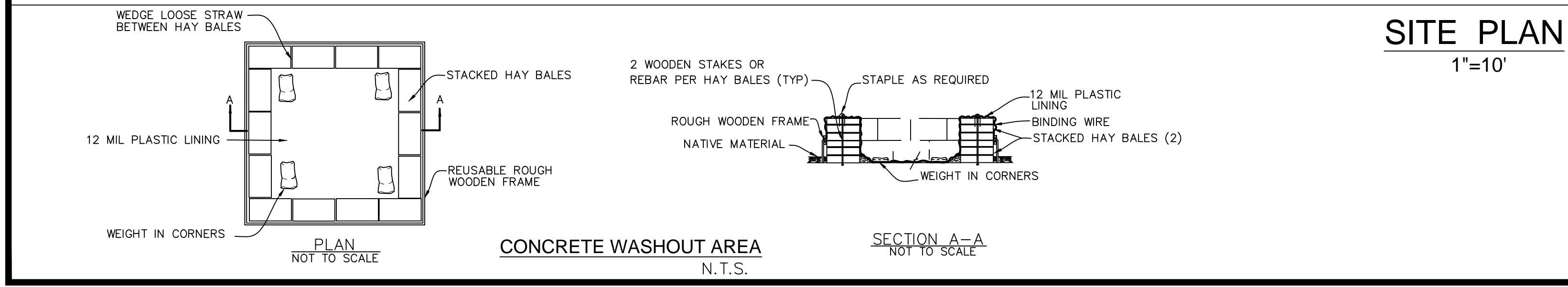
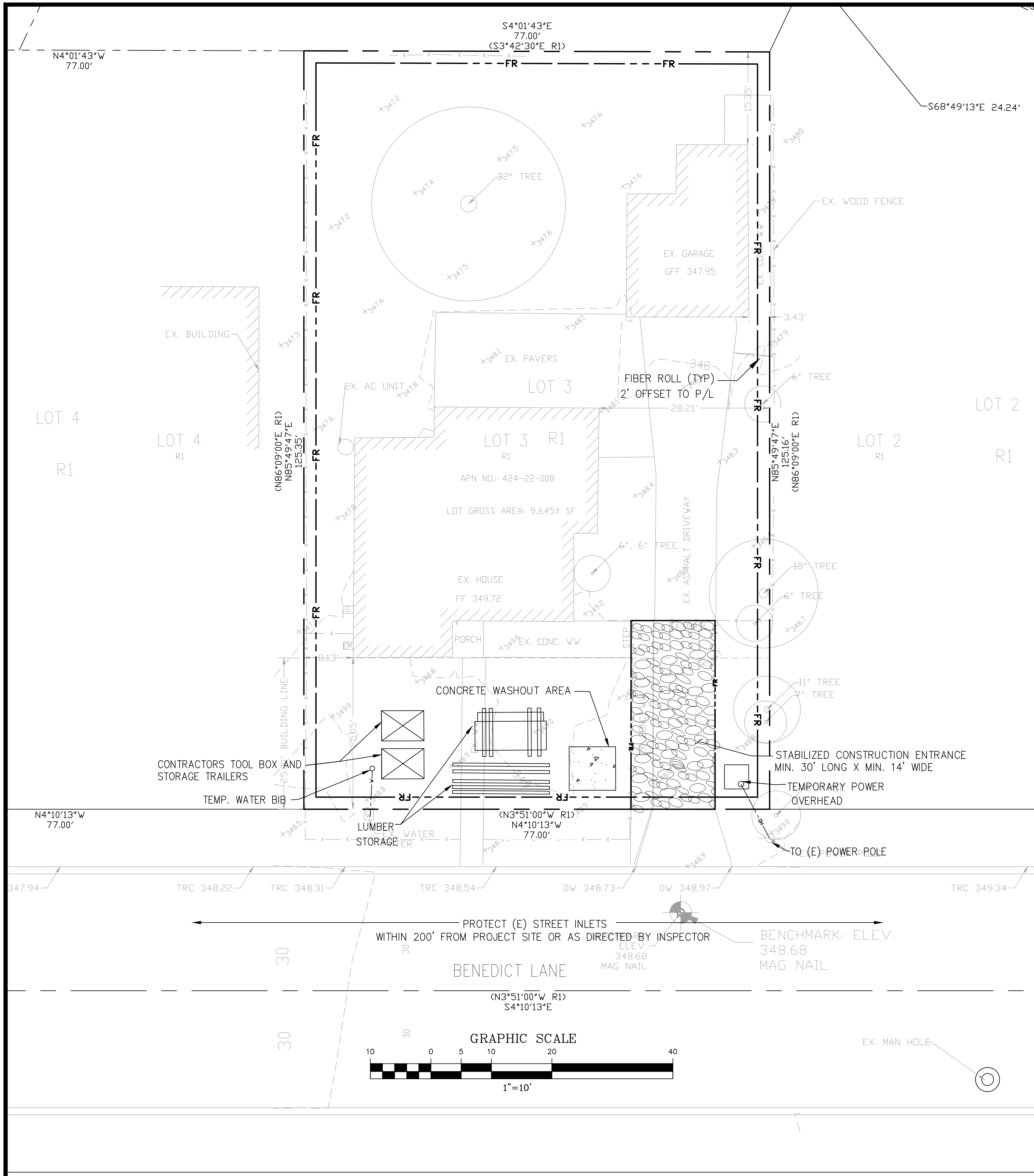
Revisions:



Ghazi Raza

Date: 07/14/2022
 Scale: AS NOTED
 Prepared by: S.P.
 Checked by: S.R.
 Job #: 222020

Sheet: 4 OF 5
C-4



EROSION AND SEDIMENT CONTROL NOTES AND MEASURES

- The facilities shown on this Plan are designed to control Erosion and sediment during the rainy season, October 1st to April 30th. Facilities are to be operable prior to October 1 of any year. Grading operations during the rainy season, which leave denuded slopes shall be protected with erosion control measures immediately following grading on the slopes.
- This plan covers only the first winter following grading with assumed site conditions as shown on the Erosion Control Plan. Prior to September 15, the completion of site improvement shall be evaluated and revisions made to this plan as necessary with the approval of the city engineer. Plans are to be resubmitted for city approval prior to September 1 of each subsequent year until site improvements are accepted by the city.
- Construction entrances shall be installed prior to commencement of grading. All construction traffic entering onto the paved roads must cross the stabilized construction entranceways.
- Contractor shall maintain stabilized entrance at each vehicle access point to existing paved streets. Any mud or debris tracked onto public streets shall be removed daily and as required by the city.
- If hydroseeding is not used or is not effectively 10/10, then other immediate methods shall be implemented, such as Erosion control blankets, or a three-step application of: 1) seed, mulch, fertilizer 2) blown straw 3) tackifier and mulch.
- Inlet protection shall be installed at open inlets to prevent sediment from entering the storm drain system. Inlets not used in conjunction with erosion control are to be blocked to prevent entry of sediment.
- Lots with houses under construction will not be hydroseeded. Erosion protection for each lot with a house under construction shall confirm to the Typical Lot Erosion Control Detail shown on this sheet.
- This erosion and sediment control plan may not cover all the situations that may arise during construction due to unanticipated field conditions. Variations and additions may be made to this plan in the field. Notify the city representative of any field changes.
- This plan is intended to be used for interim erosion and sediment control only and is not to be used for final elevations or permanent improvements.
- Contractor shall be responsible for monitoring erosion and sediment control prior, during, and after storm events.

MAINTENANCE NOTES

- Maintenance is to be performed as follows:
 - Repair damages caused by soil erosion or construction at the end of each working day.
 - Swales shall be inspected periodically and maintained as needed.
 - Sediment traps, berms, and swales are to be inspected after each storm and repairs made as needed.
 - Sediment shall be removed and sediment traps restored to its original dimensions when sediment has accumulated to a depth of one foot.
 - Sediment removed from trap shall be deposited in a suitable area and in such a manner that it will not erode.
 - Rills and gullies must be repaired.
- All existing drainage inlets on Vellalocitos Way within the limit of the project shall be protected with sand bags during construction. See detail. Sand bag inlet protection shall be cleaned out whenever sediment depth is one half the height of one sand bag.
- Existing concrete ditch sediment trap shall be cleaned out routinely during construction.

NOTES:

- PLACE FIBER ROLLS AROUND THE INLET CONSISTENT WITH BASIN SEDIMENT BARRIER DETAIL ON THIS SHEET. FIBER ROLLS ARE TUBES MADE FROM STRAW BOUND W/ PLASTIC NETTING. THEY ARE APPROX. 8" DIA. AND 20 - 30 FT. LONG.
- FIBER ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE FIBER ROLL IN A TRENCH, 3" DEEP, DUG ON CONTOUR. RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND FIBER ROLL.
- THE TOP OF THE STRUCTURE (PONDING HEIGHT) MUST BE WELL BELOW THE GROUND ELEVATION DOWNSLOPE TO PREVENT RUNOFF FROM BY-PASSING THE INLET. EXCAVATION OF A BASIN ADJACENT TO THE DROP INLET OR A TEMPORARY DIKE ON THE DOWNSLOPE OF THE STRUCTURE MAY BE NECESSARY.
- FOSSIL FILTERS SHALL BE INCORPORATED IN ALL CATCH BASINS AND FIELD INLETS 24" AND LARGER AND SHALL BE INSTALLED PER MANUFACTURER SPECIFICATIONS. FOSSIL FILTERS ARE AVAILABLE FROM KRISTAR ENTERPRISES INC., 422 LARKFIELD CENTER, SUITE 271, SANTA ROSA, CA 95403, PHONE (800) 579-8819.

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GRADING AND DRAINAGE PLANS
NEW SINGLE FAMILY HOME
15602 BENEDICT LN, LOS GATOS, CA 95032
APN: 424-22-008
CONSTRUCTION MANAGEMENT AND
EROSION CONTROL PLAN

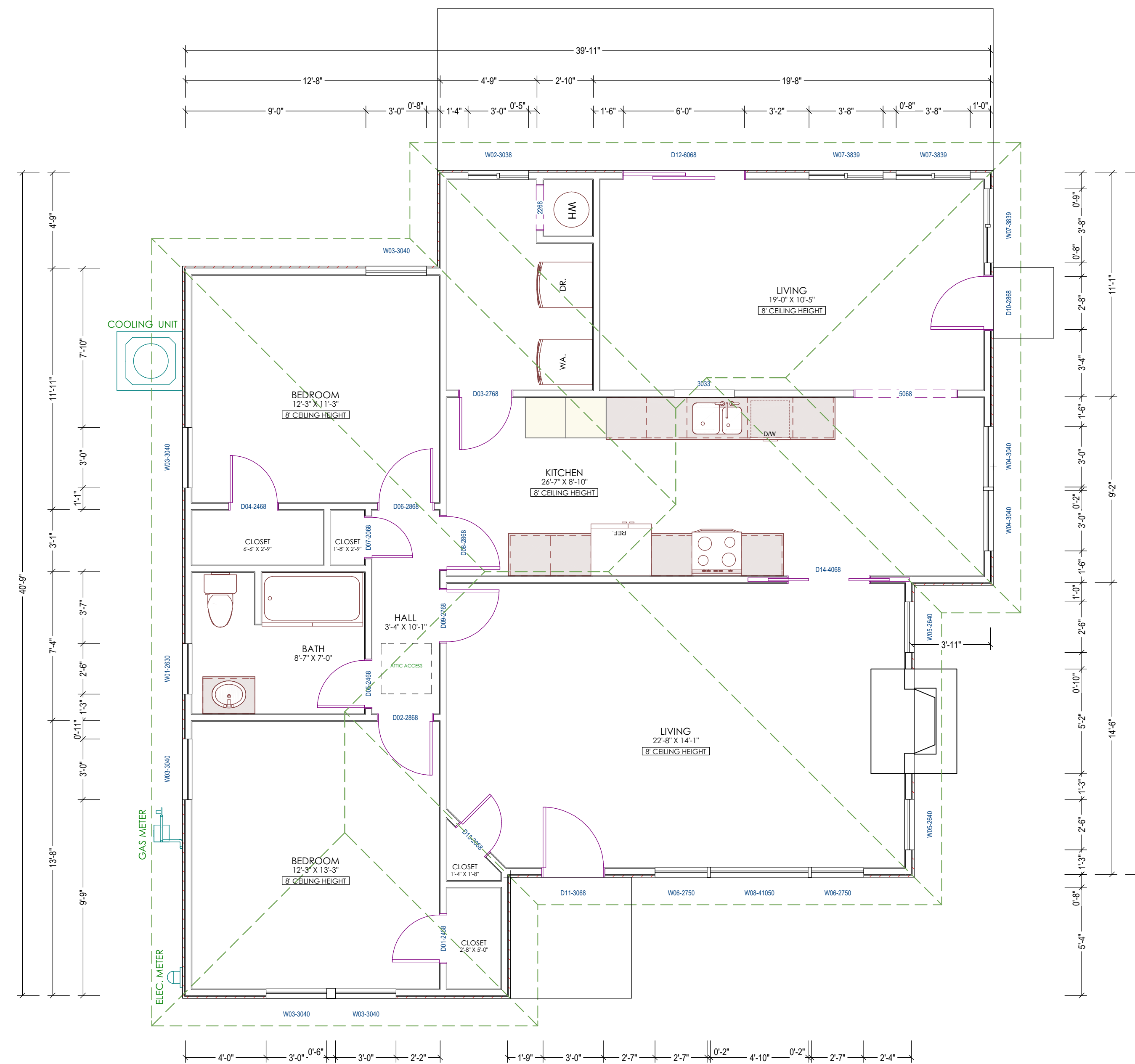
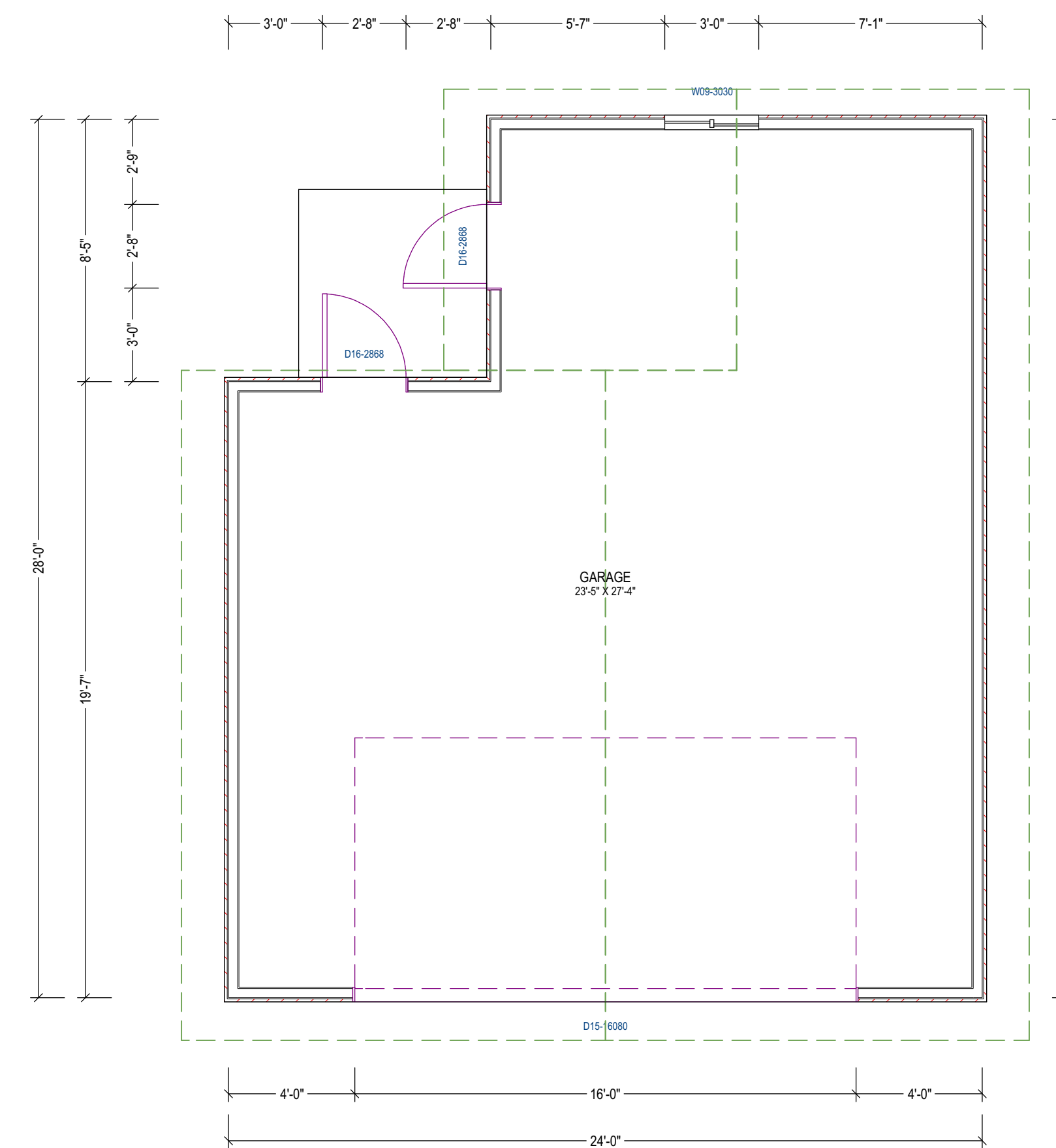
Revisions:

Date: 07/14/2022
Scale: 1"=10'
Prepared by: S.P.
Checked by: S.R.
Job #: 222020
Sheet: 5 OF 5
C-5



PROFESSIONAL ENGINEER
SAYED RAZAVI
No. C52724
CIVIL
STATE OF CALIFORNIA

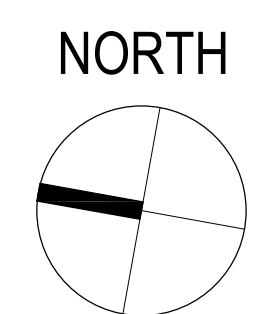
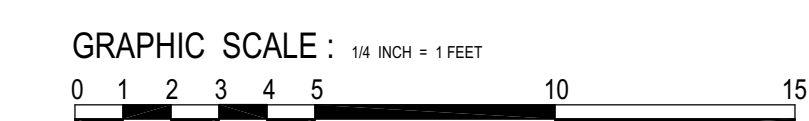
Sayed Razavi

ALL OF THE EXISTING STRUCTURE TO BE DEMO.



LEGEND:

-  EXISTING WALL TO STAY
-  EXISTING WALL TO BE REMOVED



AMS DESIGN

4010 MOORPARK AVE#101,
SAN JOSE, CA 95117
TELL: (415)254-1606
E-MAIL: OFFICE@AMSDSIGNLLP.COM

Azadeh Masrour

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PROJECT NAME:

BENEDICT RESIDENCE

15602 BENEDICT LN., LOS GATOS, CA 95032

REVISION TABLE:

REVISION DATE	BY	DEP
01 JAN 2022	S.A.	PLN

ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE VERIFIED FOR DIMENSION, GRADE, EXTENT AND COMPATIBILITY TO THE EXISTING SITE. ANY DISCREPANCIES AND UNEXPECTED CONDITIONS THAT AFFECT OR CHANGE THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE AMS DESIGN'S ATTENTION IMMEDIATELY. DO NOT PROCEED WITH THE WORK IN THE AREA OF DISCREPANCIES UNTIL ALL SUCH DISCREPANCIES ARE RESOLVED. IF THE CONTRACTOR CHOOSES TO DO SO HE SHALL BE PRECEDING AT HIS OWN RISK.

OMISSIONS FROM THE DRAWINGS AND SPECIFICATIONS OR THE MIS-DESCRIPTION OF THE WORK WHICH IS MANIFESTLY NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS, OR WHICH IS CUSTOMARILY REFORMED, SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH OMITTED OR MIS-DESCRIBED DETAILS OF THE WORK AS IF FULLY AND COMPLETELY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.

SITE CONDITIONS: ALL CONTRACTORS AND SUB-CRONTACTORS SHALL VERIFY DIMENSIONS AND CONDITIONS AT THE SITE PRIOR TO COMMENCEMENT OF THEIR WORK. FAILURE TO DO SO SHALL NOT RELEASE THEM FROM THE RESPONSIBILITY OF ESTIMATING THE WORK. IF ANY VARIATION, DISCREPANCY OR OMISSION BETWEEN THE INTENT OF THESE CONTRACT DOCUMENTS AND THE EXISTING CONDITIONS ARE FOUND, THE CONTRACTOR OR SUB-CRONTACTOR SHALL NOTIFY AMS DESIGN IN WRITING AND OBTAIN WRITTEN RESOLUTION FROM AMS DESIGN PRIOR TO PROCEEDING WITH ANY RELATED WORK.

SHEET TITLE:

EXISTING FLOOR PLAN

PROJECT ID: ---

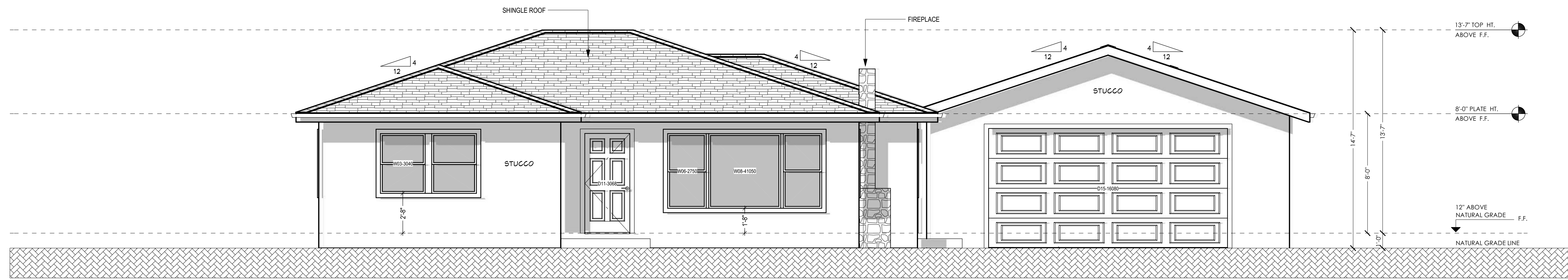
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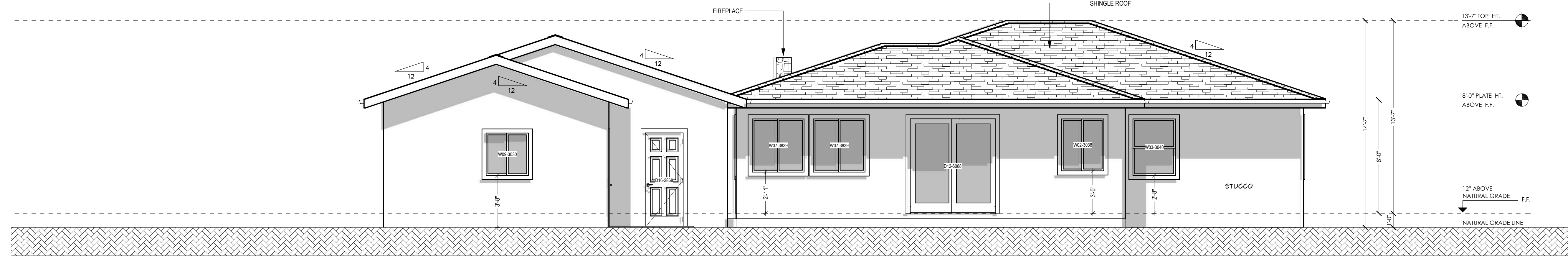
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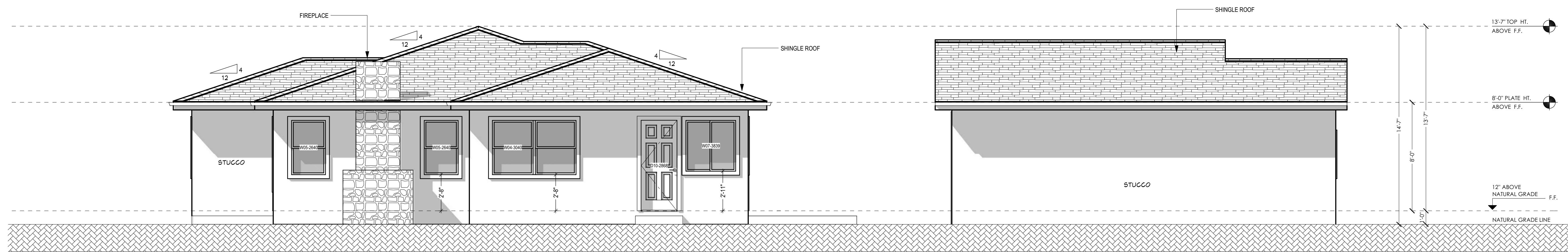
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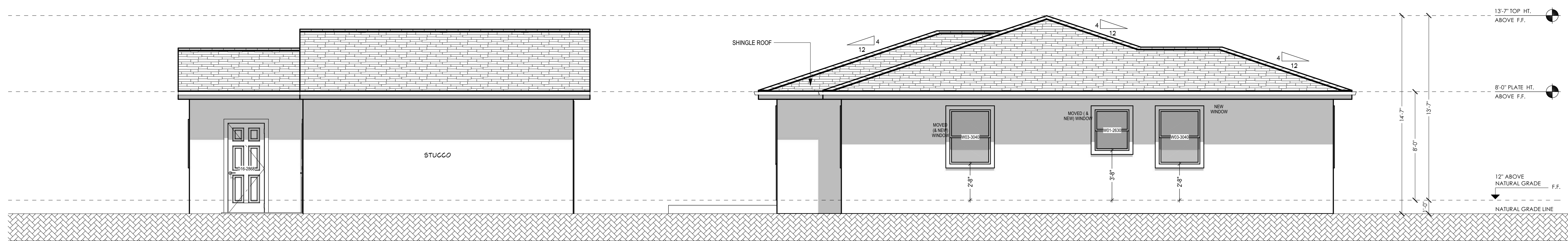
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SC: 1/4" = 1'-0"



2 EXISTING REAR (SOUTH-EAST) ELEVATION
SC: 1/4" = 1'-0"



3 EXISTING RIGHT (SOUTH-WEST) ELEVATION
SC: 1/4" = 1'-0"



4 EXISTING LEFT (NORTH-EAST) ELEVATION
SC: 1/4" = 1'-0"

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BENEDICT RESIDENCE
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SHEET TITLE:
EXISTING ELEVATIONS

PROJECT ID: ---
DATE: SEP 2021
SCALE: 1/4" = 1'
DRAWN BY: S.A.
SHEET NUMBER:

BUILDING NOTES:

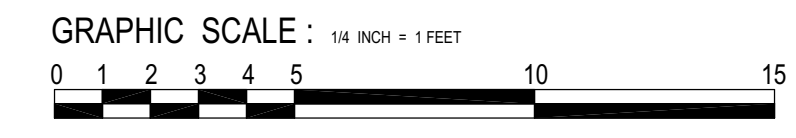
- BASEMENTS (EXCEPT THOSE ONLY FOR MECHANICAL EQUIPMENT AND NOT OVER 200 SQFT IN FLOOR AREA), HABITABLE ATTICS AND EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING, R310.1
 - MIN. NET CLEAR OPENABLE DIMENSION OF 24 INCHES IN HEIGHT, R310.1.2
 - MIN. NET CLEAR OPENABLE DIMENSION 20 INCHES IN WIDTH, R310.1.3
 - MIN. NET CLEAR OPENABLE DIMENSION OF 5.7 SQFT IN AREA, GRADE FLOOR OPENINGS SHALL HAVE A MIN. NET CLEAR OPENING OF 5 SQFT, 310.1.1
 - THE HEIGHT OF BOTTOM OF EMERGENCY EGRESS OPENING SHALL HAVE NOT MORE THAN 44 INCHES MEASURED FROM THE FLOOR, 310.2.2
- FOR KITCHEN, A CLEAR PASSAGEWAY OF NOT LESS THAN 3- FEET BETWEEN THE COUNTER FRONTS AND APPLIANCES OR COUNTER FRONTS AND WALLS, CRC R311
- SHOWER COMPARTMENTS AND WALL ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH, NONABSORBENT SURFACE TO THE HEIGHT NOT LESS THAN 72 INCHES (6 FT), CRC R307.2
- THE DOOR BETWEEN GARAGE AND ENTRY REQUIRED TO BE SELF LATCHING AND SELF CLOSING, SOLID CORE DOOR NOT LESS THAN 1-3/8 INCH THICK.
- THE MAXIMUM RISER HEIGHT CAN BE 7.75-INCHES. MINIMUM TREAD DEPTH CAN BE 10-INCHES. FOR ANY TREAD DEPTH LESS THAN 11-INCHES, A NOSING OF NOT LESS THAN 0.75-INCHES, BUT NOT MORE THAN 1.25-INCHES SHALL BE PROVIDED.
- DOORS AND PANELS OF SHOWER AND BATHTUB ENCLOSURES SHALL BE FULLY TEMPERED, LAMINATED SAFETY GLASS OR APPROVED PLASTIC, CRC R308.6.2
- GLAZING IN SHOWERS OR BATHTUB ADJACENT WALL OPENINGS WITHIN 60 INCHES ABOVE A STANDING SURFACE AND DRAIN INLET SHALL BE FULLY TEMPERED, LAMINATED SAFETY GLASS OR APPROVED PLASTIC, CRC R308.5
- GLAZING IN AN INDIVIDUAL FIXED OR PORTABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24-INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF GLAZING IS LESS THAN 60-INCHES ABOVE THE WALKING SURFACE SHALL BE FULLY TEMPERED, LAMINATED SAFETY GLASS OR APPROVED PLASTIC (I.E. SIDE LIGHT AT NEW MAIN ENTRY DOOR) , CRC R308.4.2
- MINIMUM 36" DEEP LANDING IN THE DIRECTION OF TRAVEL AT NEW EXTERIOR DOORS SHALL BE PROVIDED. LANDING TO BE NOT MORE THAN 7-1/4 INCHES LOWER THAN THE DOOR'S THRESHOLD FOR IN-SWINGING AND SLIDING GLASS DOORS AND NOT MORE THAN 7" FOR IN-SWINGING AND MAIN ENTRY DOOR.
- NEW ENTRY DOOR SHALL BE OPENABLE FROM THE INSIDE OF THE DWELLING WITHOUT USE OF KEY, SPECIAL KNOWLEDGE OR EFFORT, CRC SEC. R311.2
- 1/2" GYPSUM BOARD FROM FOUNDATION TO ROOF SHEATHING TO BE INSTALLED ON THE GARAGE SIDE AT SEPARATION WALL BETWEEN GARAGE AND RESIDENCE. (GARAGE MUST BE SEPARATED FROM THE DWELLING AND ITS ATTIC AREA) CRC SEC. R302.6 AND TABLE R302.6 5/8" TYPE "X" GYP. BOARD FINISH ON THE GARAGE SIDE OF THE WALL IS REQUIRED. ALSO THE GARAGE SHALL BE SEPRATED FROM THE DWELLING SPACE ABOVE, BY 5/8" TYPE "X" GYP AT THE CEILING.
- BATHROOMS & KITCHEN:
 - 1.1- 22" MIN SHOWER DOOR CLEARANCE.
 - 1.2- TEMPER GLAZING FOR THE SHOWER DOOR AND SLIDING WINDOWS. CEMENT BOARD SUBSTRATE FOR SHOWER WALLS.
 - 1.3- LAVATORY FAUCETS TO HAVE A FLOW RATE OF NO MORE THAN 1.2 GPM OR LESS AT 60 PSI AND NOT LESS THAN 0.8 GPM OR LESS AT 20 PSI, (CALGREEN 4.303.1)
 - 1.4- WATER CLOSETS TO HAVE A FLOW RATE OF 1.28 GALLONS/FLUSH OR LESS. (CALGREEN 4.303.1)
 - 1.5- CEMENT BOARD SUBSTRATE (IE. DUROCK OR WONDERBOARD,ETC) FOR TILE APPLICATION SURROUNDING THE BATH TUB WALLS .
 - 1.6- KITCHEN FAUCETS TO HAVE A FLOW RATE OF 1.8 GPM OR LESS AT 60 PSI, (CALGREEN 4.303.1)
 - 1.7- SHOWER HEAD TO HAVE A FLOW RATE NOT TO EXCEED OF 1.8 GPM AT 80 PSI, (CALGREEN 4.303.1)

DRAFT BUILDING CONDITIONS:

- PERMITS REQUIRED: A DEMOLITION PERMIT IS REQUIRED FOR THE DEMOLITION OF THE EXISTING SINGLE-FAMILY RESIDENCE AND DETACHED GARAGE. A SEPARATE BUILDING PERMIT IS REQUIRED FOR THE CONSTRUCTION OF THE NEW SINGLE-FAMILY RESIDENCE AND ATTACHED GARAGE. AN ADDITIONAL BUILDING PERMIT WILL BE REQUIRED FOR THE PV SYSTEM IF THE SYSTEM IS REQUIRED BY THE CALIFORNIA ENERGY CODE.
- APPLICABLE CODES: THE CURRENT CODES, AS AMENDED AND ADOPTED BY THE TOWN OF LOS GATOS AS OF JANUARY 1, 2020, ARE THE 2019 CALIFORNIA BUILDING STANDARDS CODE, CALIFORNIA CODE OF REGULATIONS TITLE 24, PARTS 1-12, INCLUDING LOCALLY ADOPTED ENERGY REACH CODES.
- CONDITIONS OF APPROVAL: THE CONDITIONS OF APPROVAL MUST BE BLUE LINED IN FULL ON THE COVER SHEET OF THE CONSTRUCTION PLANS. A COMPLIANCE MEMORANDUM SHALL BE PREPARED AND SUBMITTED WITH THE BUILDING PERMIT APPLICATION DETAILING HOW THE CONDITIONS OF APPROVAL WILL BE ADDRESSED.
- BUILDING & SUITE NUMBERS: SUBMIT REQUESTS FOR NEW BUILDING ADDRESSES TO THE BUILDING DIVISION PRIOR TO SUBMITTING FOR THE BUILDING PERMIT APPLICATION PROCESS.
- SIZE OF PLANS: MINIMUM SIZE 24" X 36", MAXIMUM SIZE 30" X 42".
- REQUIREMENTS FOR COMPLETE DEMOLITION OF STRUCTURE: OBTAIN A BUILDING DEPARTMENT DEMOLITION APPLICATION AND A BAY AREA AIR QUALITY MANAGEMENT DISTRICT APPLICATION FROM THE BUILDING DEPARTMENT SERVICE COUNTER. ONCE THE DEMOLITION FORM HAS BEEN COMPLETED, ALL SIGNATURES OBTAINED, AND WRITTEN VERIFICATION FROM PG&E THAT ALL UTILITIES HAVE BEEN DISCONNECTED. RETURN THE COMPLETED FORM TO THE BUILDING DEPARTMENT SERVICE COUNTER WITH THE AIR DISTRICTS # CERTIFICATE, PG&E VERIFICATION, AND THREE (3) SETS OF SITE PLANS SHOWING ALL EXISTING STRUCTURES, EXISTING UTILITY SERVICE LINES SUCH AS WATER, SEWER, AND PG&E. NO DEMOLITION WORK SHALL BE DONE WITHOUT FIRST OBTAINING A PERMIT FROM THE TOWN.
- SOILS REPORT: A SOILS REPORT, PREPARED TO THE SATISFACTION OF THE BUILDING OFFICIAL, CONTAINING FOUNDATION AND RETAINING WALL DESIGN RECOMMENDATIONS, SHALL BE SUBMITTED WITH THE BUILDING PERMIT APPLICATION. THIS REPORT SHALL BE PREPARED BY A LICENSED CIVIL ENGINEER SPECIALIZING IN SOILS MECHANICS.
- SHORING: SHORING PLANS AND CALCULATIONS WILL BE REQUIRED FOR ALL EXCAVATIONS WHICH EXCEED FIVE (5) FEET IN DEPTH OR WHICH REMOVE LATERAL SUPPORT FROM ANY EXISTING BUILDING, ADJACENT PROPERTY, OR THE PUBLIC RIGHT-OF-WAY. SHORING PLANS AND CALCULATIONS SHALL BE PREPARED BY A CALIFORNIA LICENSED ENGINEER AND SHALL CONFIRM TO THE CAL/OSHA REGULATIONS.
- FOUNDATION INSPECTIONS: A PAD CERTIFICATE PREPARED BY A LICENSED CIVIL ENGINEER OR LAND SURVEYOR SHALL BE SUBMITTED TO THE PROJECT BUILDING INSPECTOR AT FOUNDATION INSPECTION. THIS CERTIFICATE SHALL CERTIFY COMPLIANCE WITH THE RECOMMENDATIONS AS SPECIFIED IN THE SOILS REPORT, AND THAT THE BUILDING PAD ELEVATIONS AND ON-SITE RETAINING WALL LOCATIONS AND ELEVATIONS HAVE BEEN PREPARED ACCORDING TO THE APPROVED PLANS. HORIZONTAL AND VERTICAL CONTROLS SHALL BE SET AND CERTIFIED BY A LICENSED SURVEYOR OR REGISTERED CIVIL ENGINEER FOR THE FOLLOWING ITEMS:
 - BUILDING PAD ELEVATION
 - FINISH FLOOR ELEVATION
 - FOUNDATION CORNER LOCATIONS
 - RETAINING WALL(S) LOCATIONS AND ELEVATIONS
- TITLE 24 ENERGY COMPLIANCE: ALL REQUIRED CALIFORNIA TITLE 24 ENERGY COMPLIANCE FORMS MUST BE BLUE-LINED (STICKY-BACKED), I.E. DIRECTLY PRINTED, ONTO A PLAN SHEET.
- TOWN RESIDENTIAL ACCESSIBILITY STANDARDS: NEW RESIDENTIAL UNITS SHALL BE DESIGNED WITH ADAPTABILITY FEATURES FOR SINGLE-FAMILY RESIDENCES PER TOWN RESOLUTION 1994-61:
 - WOOD BACKING (2" X 8" MINIMUM) SHALL BE PROVIDED IN ALL BATHROOM WALLS, AT WATER CLOSETS, SHOWERS, AND BATHTUBS, LOCATED 34 INCHES FROM THE FLOOR TO THE CENTER OF THE BACKING, SUITABLE FOR THE INSTALLATION OF GRAB BARS IF NEEDED IN THE FUTURE.
 - ALL PASSAGE DOORS SHALL BE AT LEAST 32-INCH WIDE DOORS ON THE ACCESSIBLE FLOOR LEVEL.
 - THE PRIMARY ENTRANCE DOOR SHALL BE A 36-INCH-WIDE DOOR INCLUDING A 5' X 5' LEVEL LANDING, NO MORE THAN 1 INCH OUT OF PLANE WITH THE IMMEDIATE INTERIOR FLOOR LEVEL AND WITH AN 18-INCH CLEARANCE AT INTERIOR STRIKE EDGE.
 - A DOOR BUZZER, BELL OR CHIME SHALL BE HARD WIRED AT PRIMARY ENTRANCE.
- BACKWATER VALVE: THE SCOPE OF THIS PROJECT MAY REQUIRE THE INSTALLATION OF A SANITARY SEWER BACKWATER VALVE PER TOWN ORDINANCE 6.50.025. PLEASE PROVIDE INFORMATION ON THE PLANS IF A BACKWATER VALVE IS REQUIRED AND THE LOCATION OF THE INSTALLATION. THE TOWN OF LOS GATOS ORDINANCE AND WEST VALLEY SANITATION DISTRICT (WVSD) REQUIRES BACKWATER VALVES ON DRAINAGE PIPING SERVING FIXTURES THAT HAVE FLOOD LEVEL RIMS LESS THAN 12 INCHES ABOVE THE ELEVATION OF THE NEXT UPSTREAM MANHOLE.
- HAZARDOUS FIRE ZONE: ALL PROJECTS IN THE TOWN OF LOS GATOS REQUIRE CLASS A ROOF ASSEMBLIES.
- SPECIAL INSPECTIONS: WHEN A SPECIAL INSPECTION IS REQUIRED BY CBC SECTION 1704, THE ARCHITECT OR ENGINEER OF RECORD SHALL PREPARE AN INSPECTION PROGRAM THAT SHALL BE SUBMITTED TO THE BUILDING OFFICIAL FOR APPROVAL PRIOR TO ISSUANCE OF THE BUILDING PERMIT. THE TOWN SPECIAL INSPECTION FORM MUST BE COMPLETELY FILLED-OUT AND SIGNED BY ALL REQUESTED PARTIES PRIOR TO PERMIT ISSUANCE. SPECIAL INSPECTION FORMS ARE AVAILABLE FROM THE BUILDING DIVISION SERVICE COUNTER OR ONLINE AT WWW.LOSGATOSCA.GOV/BUILDING.
- BLUEPRINT FOR A CLEAN BAY SHEET: THE TOWN STANDARD SANTA CLARA VALLEY NONPOINT SOURCE POLLUTION CONTROL PROGRAM SHEET (PAGE SIZE SAME AS SUBMITTED DRAWINGS) SHALL BE PART OF THE PLAN SUBMITTAL AS THE SECOND PAGE. THE SPECIFICATION SHEET IS AVAILABLE AT THE BUILDING DIVISION SERVICE COUNTER FOR A FEE OF \$2 OR AT ARC BLUEPRINT FOR A FEE OR ONLINE AT WWW.LOSGATOSCA.GOV/BUILDING.
- APPROVALS REQUIRED: THE PROJECT REQUIRES THE FOLLOWING DEPARTMENTS AND AGENCIES APPROVAL BEFORE ISSUING A BUILDING PERMIT.
 - COMMUNITY DEVELOPMENT - PLANNING DIVISION: (408) 354-6874
 - ENGINEERING/PARKS & PUBLIC WORKS DEPARTMENT: (408) 399-5771
 - SANTA CLARA COUNTY FIRE DEPARTMENT: (408) 378-4010
 - WEST VALLEY SANITATION DISTRICT: (408) 378-2407
 - LOCAL SCHOOL DISTRICT: THE TOWN WILL FORWARD THE PAPERWORK TO THE APPROPRIATE SCHOOL DISTRICT(S) FOR PROCESSING. A COPY OF THE PAID RECEIPT IS REQUIRED PRIOR TO PERMIT ISSUANCE.



PROPOSED FLOOR PLAN
 SC: 1/4" = 1'-0"



LEGEND:
 NEW CONSTRUCTION WALL



AMS DESIGN
 4010 MOORPARK AVE#101,
 SAN JOSE, CA 95117
 TELL: (415)254-1606
 E-MAIL: OFFICE@AMSDESIGNLLP.COM

Azadeh Masrouf

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PROJECT NAME:
BENEDICT RESIDENCE
 15602 BENEDICT LN., LOS GATOS, CA 95032

REVISION TABLE:

REVISION	DATE	BY	DEP
01	JAN.2022	S.A.	PLN

ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE VERIFIED FOR DIMENSION, GRADE, EXTENT AND COMPATIBILITY TO THE EXISTING SITE. ANY DISCREPANCIES AND UNEXPECTED CONDITIONS THAT AFFECT OR CHANGE THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE AMS DESIGN'S ATTENTION IMMEDIATELY. DO NOT PROCEED WITH THE WORK IN THE AREA OF DISCREPANCIES UNTIL ALL SUCH DISCREPANCIES ARE RESOLVED. IF THE CONTRACTOR CHOOSES TO DO SO HE SHALL BE PRECEDING AT HIS OWN RISK.

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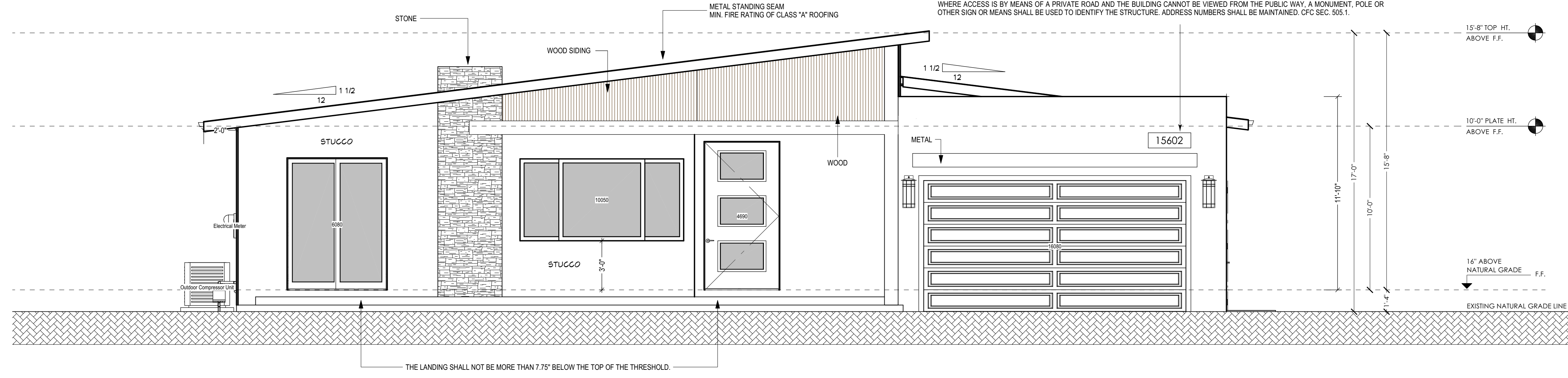
SHEET TITLE:
PROPOSED FLOOR PLAN

PROJECT ID: ----
 DATE: SEP.2021
 SCALE: 1/4" = 1'
 DRAWN BY: S.A.
 SHEET NUMBER:

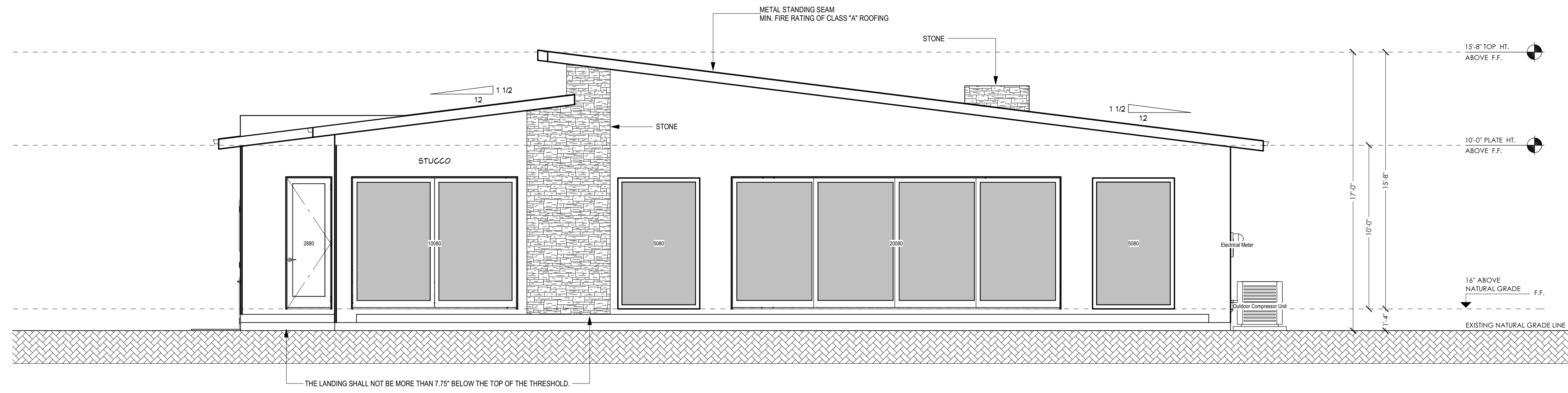
A-01.01

ALL PROJECTS IN THE TOWN OF LOS GATOS REQUIRE CLASS A ROOF ASSEMBLIES.

NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, WHERE REQUIRED BY THE FIRE CODE OFFICIAL. ADDRESS NUMBERS SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MINIMUM OF 4 INCHES (101.6 MM) HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH (12.7 MM). WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS NUMBERS SHALL BE MAINTAINED. CFC SEC. 505.1.



1 PROPOSED FRONT (NORTH-WEST) ELEVATION
SC: 1/4" = 1'-0"



2 PROPOSED REAR (SOUTH-EAST) ELEVATION
SC: 1/4" = 1'-0"



AMS DESIGN
4010 MOORPARK AVE#101,
SAN JOSE, CA 95117
TELL: (415)254-1606
E-MAIL: OFFICE@AMSDSIGNLLP.COM

Azadeh Masrour

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PROJECT NAME:
BENEDICT RESIDENCE
15602 BENEDICT LN., LOS GATOS, CA 95032

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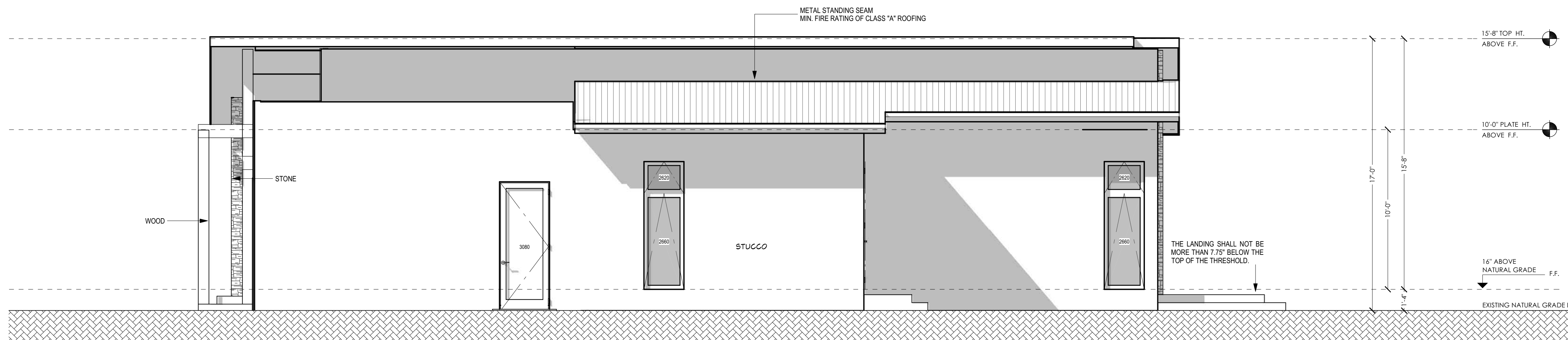
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SHEET TITLE:
PROPOSED ELEVATIONS

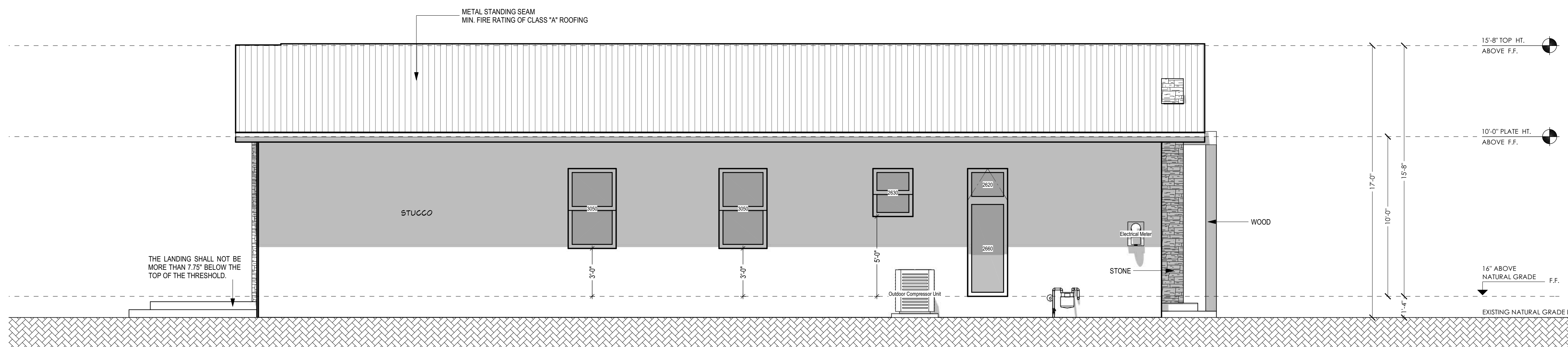
PROJECT ID: ---
DATE: SEP 2021
SCALE: 1/4" = 1'
DRAWN BY: S.A.
SHEET NUMBER:

A-02.01

ALL PROJECTS IN THE TOWN OF LOS GATOS REQUIRE CLASS A ROOF ASSEMBLIES.



1 PROPOSED RIGHT (SOUTH-WEST) ELEVATION
SC: 1/4" = 1'-0"



2 PROPOSED LEFT (NORTH-EAST) ELEVATION
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AMS DESIGN

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SHEET TITLE:

PROPOSED ELEVATIONS

PROJECT ID: ----

DATE: SEP.2021

SCALE: 1/4" = 1'

DRAWN BY: S.A.

SHEET NUMBER:

A-02.02

PROJECT NAME:

BENEDICT RESIDENCE

15602 BENEDICT LN., LOS GATOS, CA 95032

REVISION TABLE:

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SHEET TITLE:

PROPOSED SECTIONS / SCHEMATIC ELEVATIONS

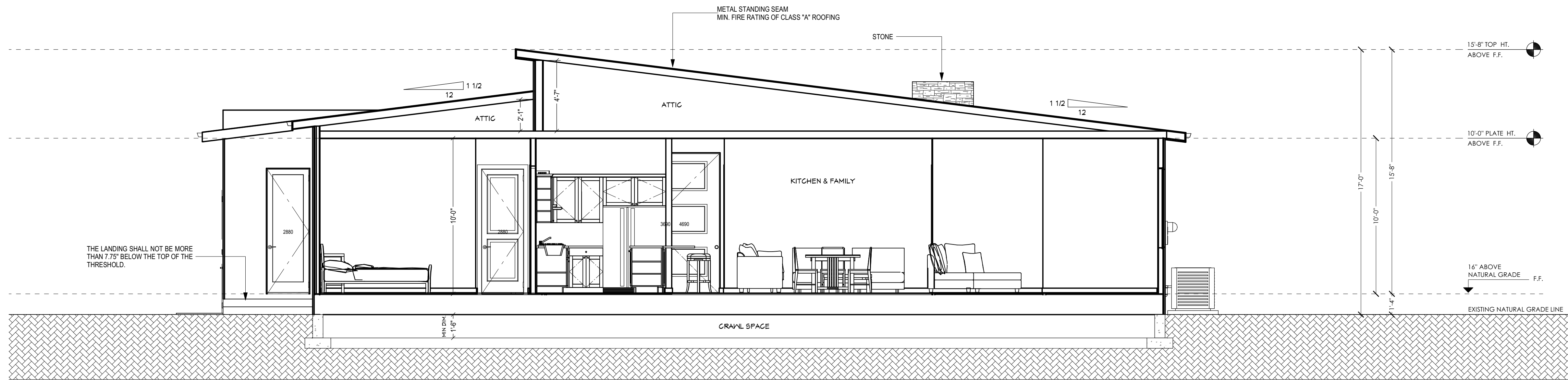
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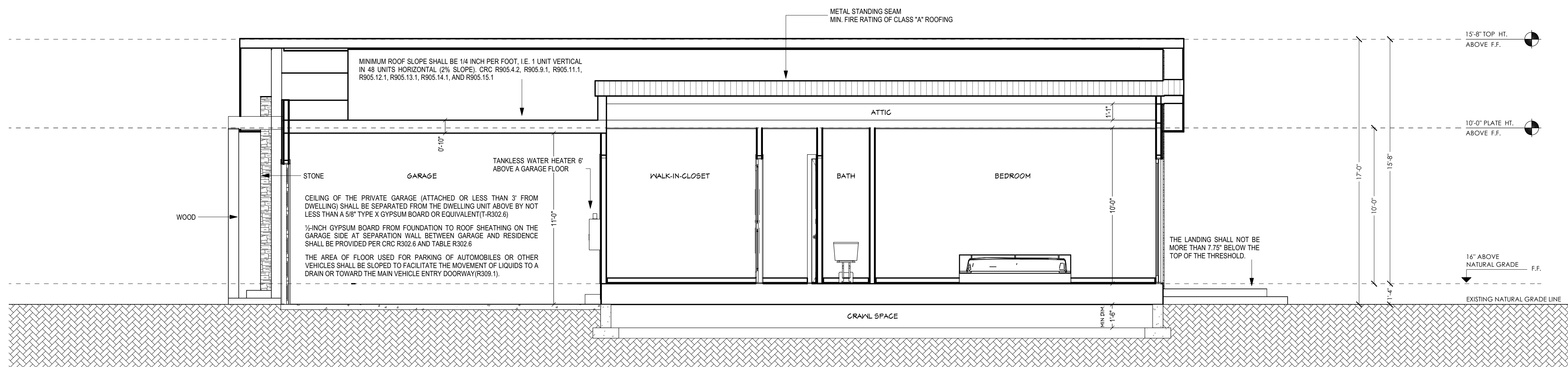
DRAWN BY: S.A.

SHEET NUMBER:



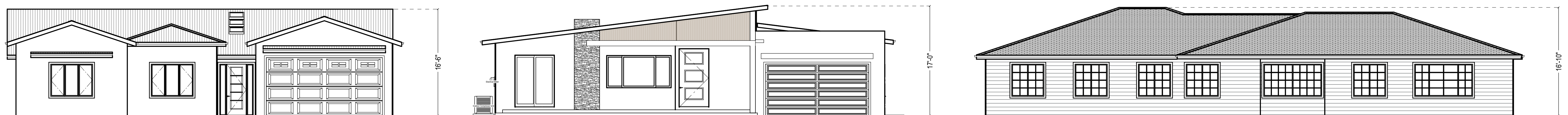
1 A-A CROSS SECTION

SC: 1/4" = 1'-0"



2 B-B CROSS SECTION

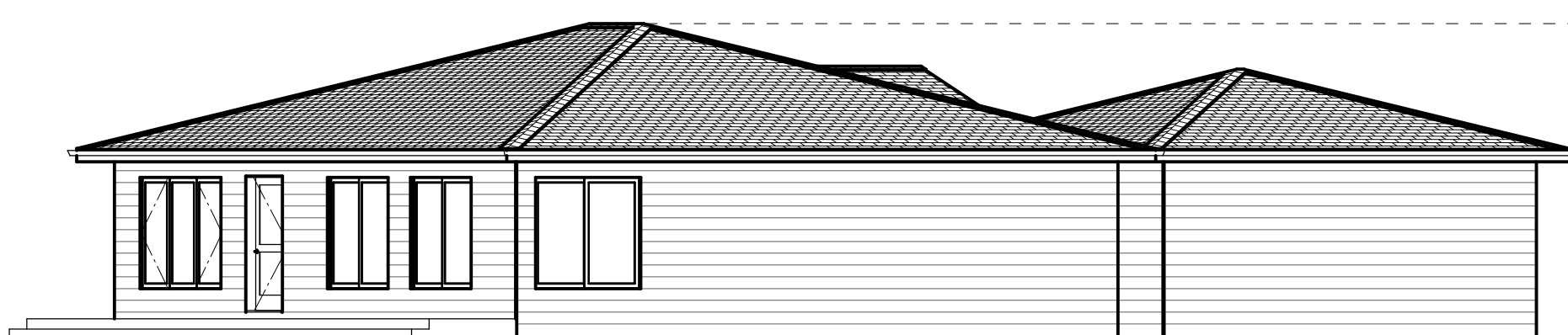
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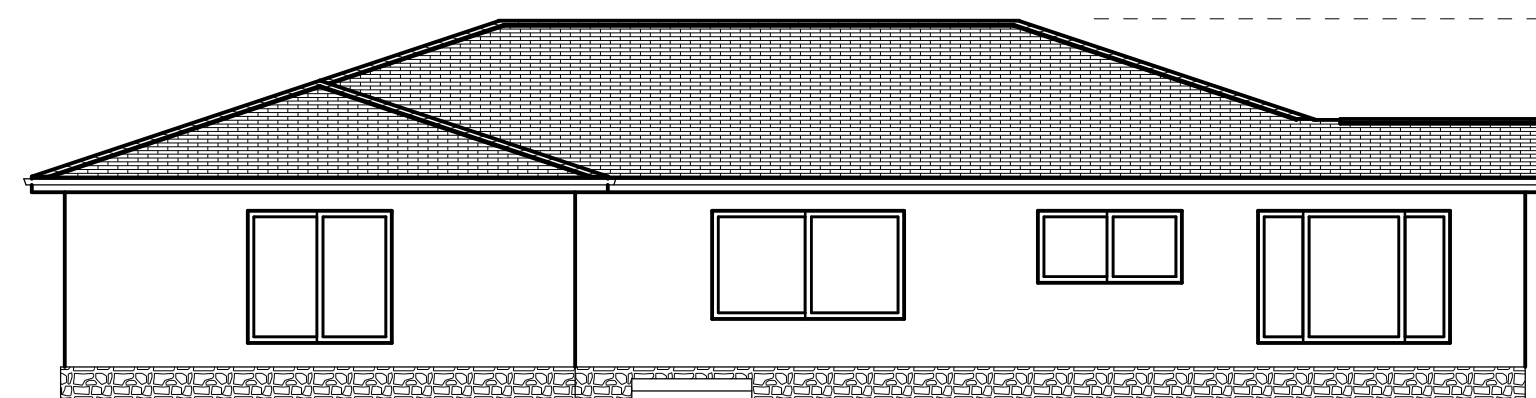
▲ 15588 BENEDICT LN.

▲ **15602 BENEDICT LN.**

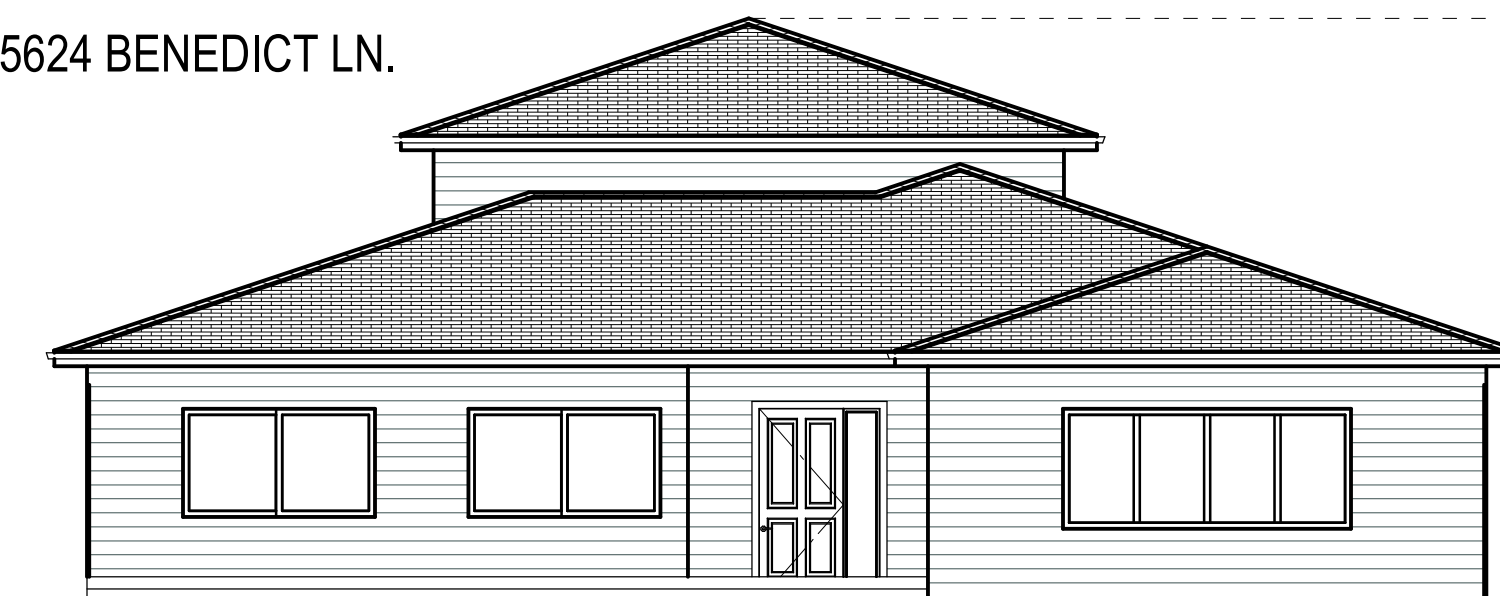
▲ 15624 BENEDICT LN.



▲ 15625 BENEDICT LN.



▲ 15603 BENEDICT LN.



▲ 15589 BENEDICT LN.

PROJECT NAME:

BENEDICT RESIDENCE

15602 BENEDICT LN., LOS GATOS, CA 95032

REVISION TABLE:

REVISION DATE	BY	DEP
01 JAN.2022	S.A.	PLN

ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE VERIFIED FOR DIMENSION, GRADE, EXTENT AND COMPATIBILITY TO THE EXISTING SITE. ANY DISCREPANCIES AND UNEXPECTED CONDITIONS THAT AFFECT OR CHANGE THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE AMS DESIGN'S ATTENTION IMMEDIATELY. DO NOT PROCEED WITH THE WORK IN THE AREA OF DISCREPANCIES UNTIL ALL SUCH DISCREPANCIES ARE RESOLVED. IF THE CONTRACTOR CHOOSES TO DO SO HE SHALL BE PRECEEDING AT HIS OWN RISK.

OMISSIONS FROM THE DRAWINGS AND SPECIFICATIONS OR THE MIS-DESCRIPTION OF THE WORK WHICH IS MANIFESTLY NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS, OR WHICH IS CUSTOMARILY REFORMED, SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH OMITTED OR MIS-DESCRIBED DETAILS OF THE WORK AS IF FULLY AND COMPLETELY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.

SITE CONDITIONS: ALL CONTRACTORS AND SUB-CRONTACTORS SHALL VERIFY DIMENSIONS AND CONDITIONS AT THE SITE PRIOR TO COMMENCEMENT OF THEIR WORK. FAILURE TO DO SO SHALL NOT RELEASE THEM FROM THE RESPONSIBILITY OF ESTIMATING THE WORK. IF ANY VARIATION, DISCREPANCY OR OMISSION BETWEEN THE INTENT OF THESE CONTRACT DOCUMENTS AND THE EXISTING CONDITIONS ARE FOUND, THE CONTRACTOR OR SUB-CRONTACTOR SHALL NOTIFY AMS DESIGN IN WRITING AND OBTAIN WRITTEN RESOLUTION FROM AMS DESIGN PRIOR TO PROCEEDING WITH ANY RELATED WORK.

SHEET TITLE:

FLOOR AREA DIAGRAM

PROJECT ID: ----

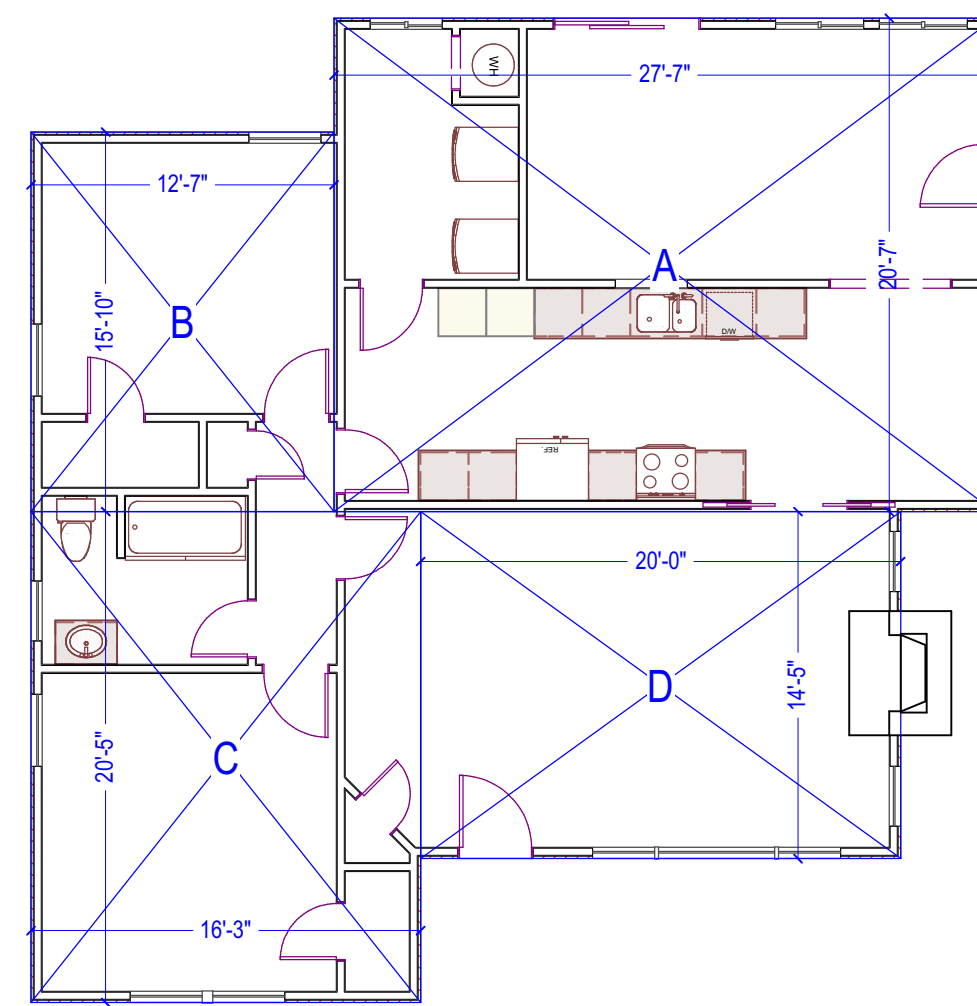
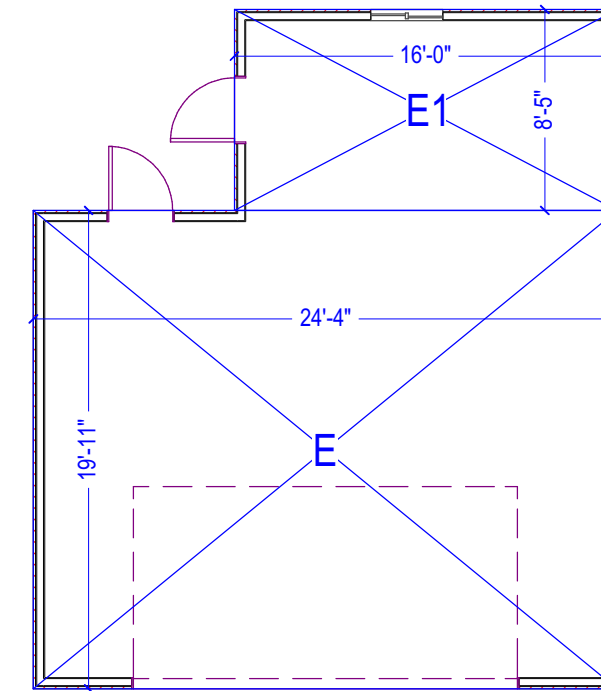
DATE: SEP.2021

SCALE: 1/8" = 1'

DRAWN BY: S.A.

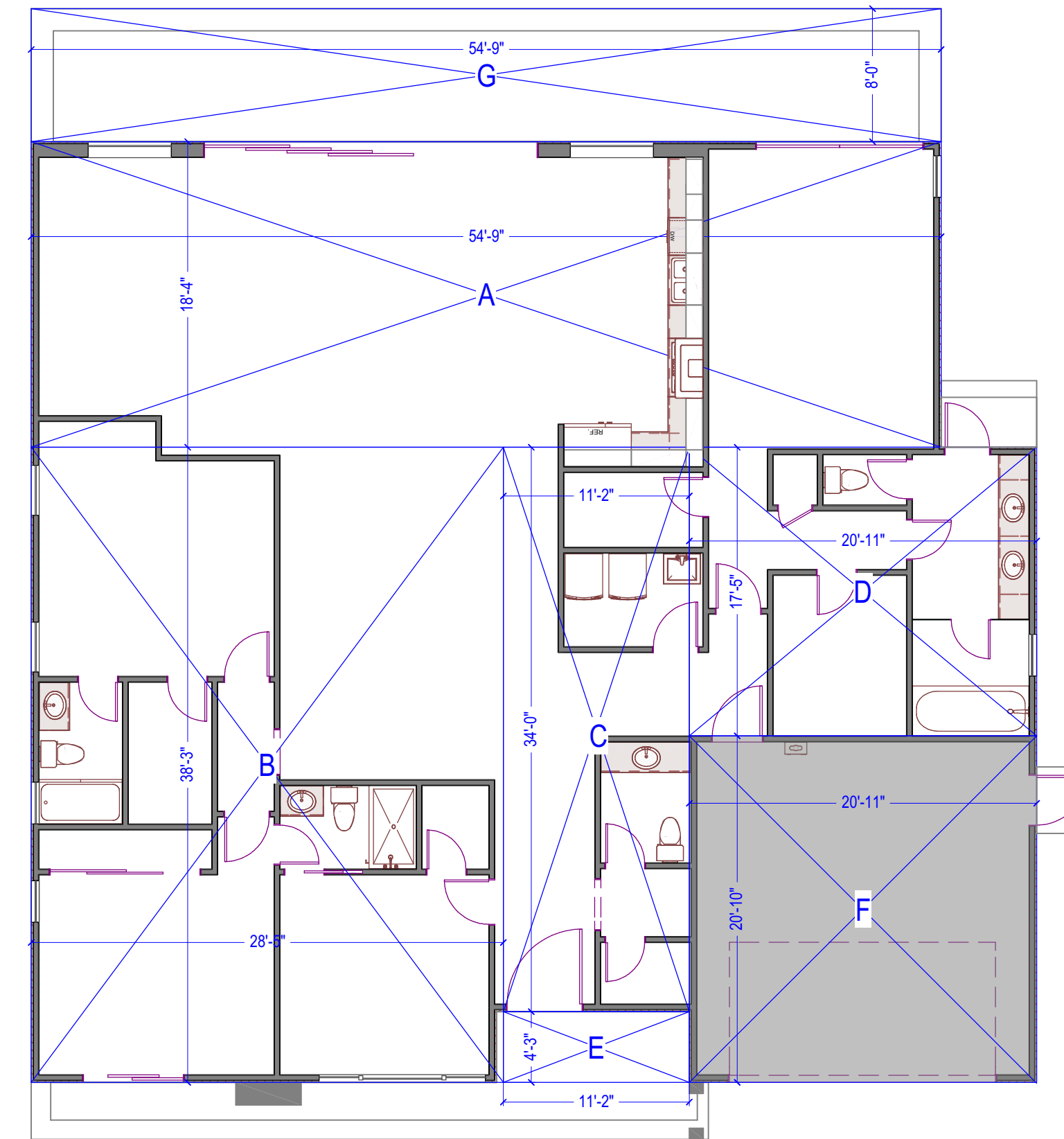
SHEET NUMBER:

A-04.01



1 FLOOR AREA DIAGRAM - EXISTING FLOOR PLAN
SC: 1/8" = 1'-0"

FLOORS	SPACES	SIZE	AREAS (SQF)	TOTAL
LIVING AREA	A	27'-7"X20'-7"	568	1387
	B	15'-10"X12'-7"	199	
	C	20'-5"X16'-3"	332	
	D	20'-0"X14'-5"	288	
GARAGE	E	24'-4"X19'-11"	485	620
	E1	16'-0"X8'-5"	135	
TOTAL BUILDING AREA				2007



2 FLOOR AREA DIAGRAM - PROPOSED FLOOR PLAN
SC: 1/8" = 1'-0"

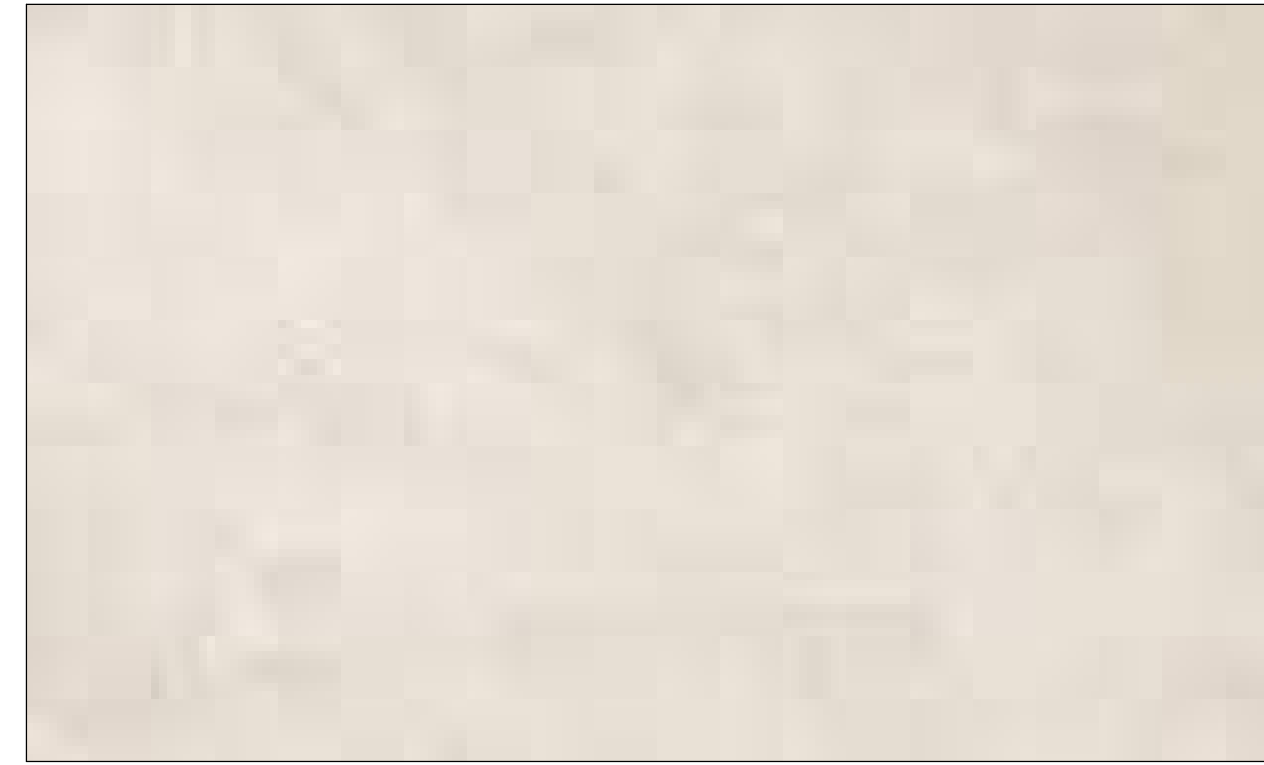
FLOORS	SPACES	SIZE	AREAS (SQF)	TOTAL
LIVING AREA	A	54'-9"X18'-4"	1004	2882
	B	38'-3"X28'-5"	1087	
	C	34'-0"X11'-2"	380	
	D	20'-11"X17'-5"	364	
	E	11'-2"X4'-3"	47	
GARAGE	F	20'-11"X20'-10"	436	436
TOTAL BUILDING AREA				3318
UNCOVERED PORCH (PAVED AREA)	G	54'-9"X8'-0"	438	438

EXTERIOR MATERIAL BOARD

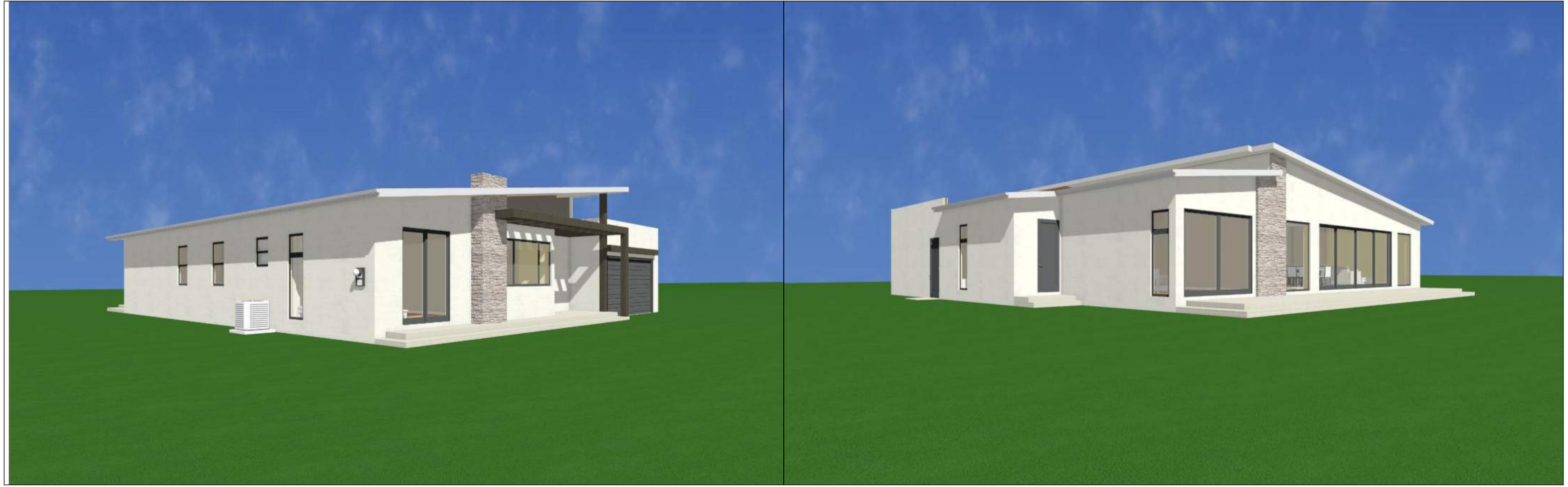
TITLE	TYPE	INFO
ROOF	METAL STANDING SEAM	BLACK COLOR
SIDING	SMOOTH STUCCO	CREAM COLOR
GARAGE DOOR	CLOPAY	DARK GRAY COLOR
DOOR	CLOPAY DOORS	DARK GRAY COLOR
WINDOWS	MILGARD	TUSCANY / DARK GRAY COLOR



STUCCO



METAL STANDING SEAM



AMS DESIGN
 4010 MOORPARK AVE#101,
 SAN JOSE, CA 95117
 TELL: (415)254-1606
 E-MAIL: OFFICE@AMSDSIGNLLP.COM

Azadeh Masrou

THESE PLANS ARE INTENDED ONLY FOR THE ORIGINAL SITE FOR WHICH THEY WERE DESIGNED AND ARE THE PROPERTY OF AMS DESIGN. THESE PLANS ARE PROTECTED UNDER COPYRIGHT LAWS AND MAY NOT BE REVISED OR REPRODUCED IN WHOLE OR IN PART WITHOUT THE EXPRESSED WRITTEN CONSENT OF AMS DESIGN. ANY USE OF THESE PLANS ON OTHER SITES IS PROHIBITED WITHOUT THE CONSENT OF AMS DESIGN. ANY DISCREPANCY DISCOVERED ON THESE PLANS SHALL PRIOR TO COMMENCEMENT OF THE WORK IN QUESTION. ALL WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.

PROJECT NAME:
BENEDICT RESIDENCE
 15602 BENEDICT LN., LOS GATOS, CA 95032

REVISION TABLE:

REVISION DATE	BY	DEP
01 JAN.2022	S.A.	PLN

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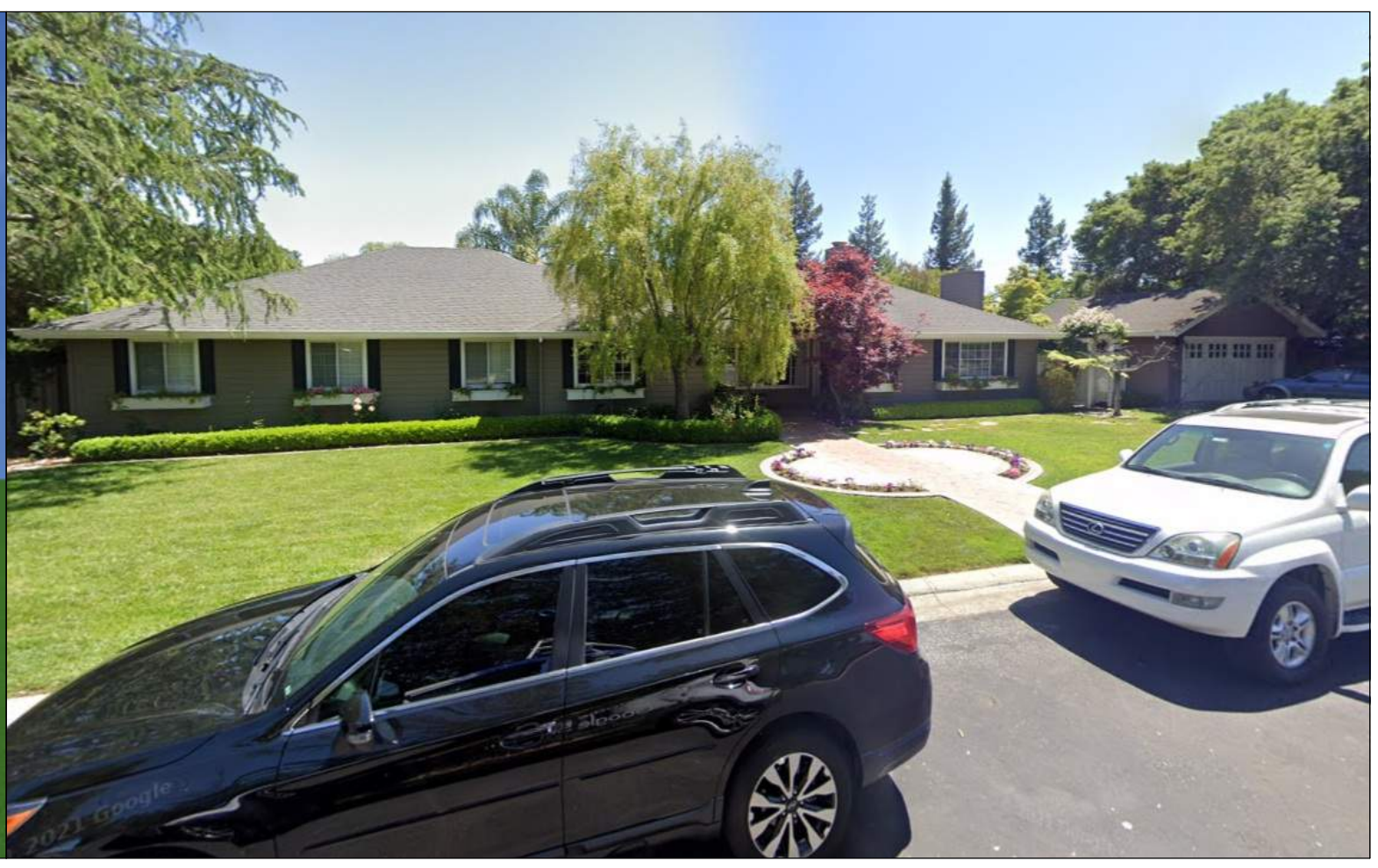
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▲ 15588 BENEDICT LN.



▲ 15602 BENEDICT LN.



▲ 15624 BENEDICT LN.



▲ 15625 BENEDICT LN.



▲ 15603 BENEDICT LN.



▲ 15589 BENEDICT LN.

▲ VICINITY GUIDE MAP

SHEET TITLE:
EXTERIOR MATERIAL BOARD / STREET SCAPE ELEVATION

PROJECT ID: ----

DATE: SEP.2021

SCALE: N.T.S

DRAWN BY: S.A.

SHEET NUMBER:

A-05.01

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