15602 BENEDICT LN. LOS GATOS, CA 95032

VICINITY MAP:



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CODE EDITIONS:

A. CALIFORNIA RESIDENTIAL:2019B. CALIFORNIA BUILDING:2019C. CALIFORNIA MECHANICAL:2019D. CALIFORNIA PLUMBING:2019E. CALIFORNIA ELECTRICAL:2019F. CALIFORNIA ENERGY:2019G. CALIFORNIA FIRE:2019H. CALIFORNIA GREEN BUILDING:2019	EDITION EDITION EDITION EDITION EDITION EDITION
H. CALIFORNIA GREEN BUILDING: 2019 I. ANY OTHER APPLICABLE LOCAL AND STATE LAWS AND REGULATIONS	EDITION

AREA CALCULATION:

LOT AREA:	9645	SQF	
"E" LIVING AREA:	1387	SQF	
"E" GARAGE:	620	SQF	
"E" BUILDING AREA:	2007	SQF	
"N" LIVING AREA:	2882	SQF	
"N" GARAGE:	436	SQF	
"N" TOTAL BUILDING:	3318	SQF	
UNCOVERED PORCH:	438	SQF	

THE ALLOWABLE LIVING FAR:

THE ALLOWABLE GARAGE FAR:

0.35 - ((A-5)/25) X 0.20) = 0.35 - ((9.645-5)/25) X 0.20) = 0.313 X 9645 = 3,018.885 SF. 0.10 - ((A-5)/25) X 0.07) = 0.10 - ((9.645-5)/25) X 0.07) = 0.087 X 9645 = 839.115 SF.

"EX" LOT COVEARGE: (2007/9645) X 100 = 20.80 % "N" LOT COVEARGE: (3318/9645) X 100 = 34.40 %

SCOPE OF WORK:

-DEMO AN EXISTING ONE-STORY HOUSE.

-CONSTRUCT A NEW ONE-STORY CUSTOM HOME, INCLUDING 4 BEDROOMS, 3.5 BATH, 1 LAUNDRY AND 2CAR GARAGE

- DEMO THE EXISTING SINGLE FAMILY RESIDENCE AND DETACHED GARAGE.

A SEPARATE BUILDING PERMIT IS REQUIRED FOR THE PV SYSTEM THAT IS REQUIRED BY THE CALIFORNIA ENERGY CODE PERFORMANCE OR PRESCRIPTIVE STANDARDS. THE SEPARATE PV SYSTEM PERMIT MUST BE FINALED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY

THIS RESIDENCE WILL COMPLY WITH THE TOWN'S ALL ELECTRIC APPLIANCE, ELECTRIC VEHICLE AND ENERGY STORAGE SYSTEM REQUIREMENTS IN ACCORDANCE WITH TOWN CODE SECTION 6.70.020 AND 6.120.020.

OWNER:

DESIGNER:

SHADI ZOMORODI 15602 BENEDICT LN., LOS GATOS, CA 95032 SHADI ZOMORRODI@YAHOO.COM

AMS DESIGN (415) 254-1606 4010 MOORPARK AVE#101, SAN JOSE, CA 95117 AZADEH@AMSDESIGNLLP.COM

STRUCTURAL:

AMS DESIGN (415) 254 - 2634 4010 MOORPARK AVE#101, SAN JOSE, CA 95117 ARMIN@AMSDESIGNLLP.COM

PROJECT DATA:

ASSESSOR'S PARCEL NUMBER PROJECT TYPE: PROJECT LOCATION:

ZONING: OCCUPANCY GROUP: CONSTRUCTION TYPE NUMBER OF FLOORS FIRE PROTECTION:

GENERAL NOTES:

ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE VERIFIED FOR DIMENSION, GRADE EXTENT AND COMPATIBILITY TO THE EXISTING SITE. ANY DISCREPANCIES AND UNEXPECTED CONDITIONS THAT AFFECT OR CHANGE THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE AMS DESIGN'S ATTENTION IMMEDIATELY. DO NOT PROCEED WITH THE WORK IN THE AREA OF DISCREPANCIES UNTIL ALL SUCH DISCREPANCIES ARE RESOLVED. IF THE CONTRACTOR CHOOSES TO DO SO HE SHALL BE PRECEDING AT HIS OWN RISK.

OMISSIONS FROM THE DRAWINGS AND SPECIFICATIONS OR THE MIS-DESCRIPTION OF THE WORK WHICH IS MANIFESTLY NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS, OR WHICH IS CUSTOMARILY REFORMED, SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH OMITTED OR MIS-DESCRIBED DETAILS OF THE WORK AS IF FULLY AND COMPLETELY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS

SITE CONDITIONS: ALL CONTRACTORS AND SUB-CONTRACTORS SHALL VERIFY DIMENSIONS AND CONDITIONS AT THE SITE PRIOR TO COMMENCEMENT OF THEIR WORK. FAILURE TO DO SO SHALL NOT RELEASE THEM FROM THE RESPONSIBILITY OF ESTIMATING THE WORK. IF ANY VARIATION. DISCREPANCY OR OMISSION (BETWEEN THE INTENT OF THESE CONTRACT DOCUMENTS AND THE EXISTING CONDITIONS ARE FOUND. THE CONTRACTOR OR SUB-CONTRACTOR SHALL NOTIFY AMS DESIGN IN WRITING AND OBTAIN WRITTEN RESOLUTION FROM AMS DESIGN PRIOR TO PROCEEDING WITH ANY **RELATED WORK.**

FIRE NOTES:

1. POTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION WATER SUPPLIES. IT IS THE RESPONSIBILITY OF THE APPLICANT AND ANY CONTRACTORS AND SUBCONTRACTORS TO CONTACT THE WATER PURVEYOR SUPPLYING THE SITE OF SUCH PROJECT, AND TO COMPLY WITH THE REQUIREMENTS OF THAT PURVEYOR. SUCH REQUIREMENTS SHALL BE INCORPORATED INTO THE DESIGN OF ANY WATER-BASED FIRE PROTECTION SYSTEMS, AND/OR FIRE SUPPRESSION WATER SUPPLY SYSTEMS OR STORAGE CONTAINERS THAT MAY BE PHYSICALLY CONNECTED IN ANY MANNER TO AN APPLIANCE CAPABLE OF CAUSING CONTAMINATION OF THE POTABLE WATER SUPPLY OF THE PURVEYOR OF RECORD. FINAL APPROVAL OF THE SYSTEM(S) UNDER CONSIDERATION WILL NOT BE GRANTED BY THIS OFFICE UNTIL COMPLIANCE WITH THE REQUIREMENTS OF THE WATER PURVEYOR OF RECORD ARE DOCUMENTED BY THAT PURVEYOR AS HAVING BEEN MET BY THE APPLICANT(S). 2019 CFC SEC. 903.3.5 AND HEALTH AND SAFETY CODE 13114.7.

2.NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. WHERE REQUIRED BY THE FIRE CODE OFFICIAL, ADDRESS NUMBERS SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MINIMUM OF 4 INCHES (101.6 MM) HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH (12.7 MM). WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS NUMBERS SHALL BE MAINTAINED. CFC SEC. 505.1.

3.ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 33 AND OUR STANDARD DETAIL AND SPECIFICATION S1-7. PROVIDE APPROPRIATE NOTATIONS ON SUBSEQUENT PLAN SUBMITTALS, AS APPROPRIATE TO THE PROJECT, CFC CHP, 33.

A SPRINKLER SYSTEM WILL BE INSTALLED AS A DEFERRED SUBMITTAL.

PROJECT CONTACT:

424-22-008 NEW CONSTRUCTION 15602 BENEDICT LN., LOS GATOS, CA 95032 R-1:8 R-3/U V - B ONE (1) STORY SPRINKLERED







Site Address: 15602 Benedict I Registered Member, American Social © Walter Lewison 2022 All Rights Re



Site Address: 15602 Benedict Lan Registered Member, American Society o © Walter Levison 2022 All Rights Reser

Walter Levison

st #401 / ISA Tree Risk Assessment Qualified / ISA Certified Arborist #WE-3172A cell (415) 203-0990 / walterslevisonjr@yahoo.com

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1. Project Arborist ("PA"): Initial Signoff

It is suggested that a third party ASCA registered consulting arborist or ISA Certified Arborist with good experience with tree protection during construction be retained by the applicant, to provide pre-project verification that tree protection and maintenance measures outlined in this section of the arborist report are adhered to. Periodic (e.g. monthly) inspections and summary reporting, if required as a project condition of approval, are suggested in order to verify contractor compliance with tree protection throughout the site plan project. This person will be referred to as the project arborist ("PA"). The PA should monitor soil moisture within the root protection zones of trees being retained, using a Lincoln soil moisture probe/meter or equivalent. If required, inspection reports shall be sent to Ms. Jocelyn Shoopman, Associate Planner, at rshoopman@losgat Sample wordage for a condition of approval regarding monitoring of tree protection and tree condition:

"The required protective fencing shall remain in place until final landscaping and inspection of the project. Project arborist approval must be obtained and documented in a monthly site activity report sent to the Town. A mandatory Monthly Tree Activity Report shall be sent at least once monthly to the Town planner associated with this project (rshoopman@losgatosca.gov) beginning with the initial tree protection verification approval letter*. The PA is suggested to work with the project team to directly monitor a portion of the following items such as:

a. Foundation work directly north of oak #36. b. Foundation work directly west of oak #38.

2. Project Team Pre-Project Clarifications or Changes Requested: Residence Foundation / South Side of Residence:

The current proposed applicant plan shows the new residence foundation at 6 feet north of trunk edge of tree #36: a distance that is inside the critical root zone (CRZ) of the tree, calculated at 8.5 fee radius offset. The CTA suggests that Staff consider requiring the applicant to push the new residence foundation to 14 feet north of trunk edge of oak #36, (if this tree is to be retained), in order that TPZ chain link fencing can be erected at 9 feet north of trunk edge, thereby bringing the fenced off root zone area to just north of the calculated critical root zone offset distance from trunk edge. This will also allow for creation of a 5-foot wide construction corridor between the TPZ fence and the new foundation where construction personnel can walk and perform work without being blocked or hindered by the fencing.

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SCA Registered Consulting Arborist #401 / ISA Tree Risk Assessment Qualified / ISA Certified Arborist #WE-3172A 10. Temporary Irrigation During Construction: If and when directed to do so by the project arborist (PA), provide native coast live trees being retained on site with temporary periodic heavy irrigation during the construction period. Note that coast live oaks are dry summer regime adapted trees, and should only e irrigated on a construction site at the rate of 1x/month, at a distance as far as possible offset from the trunk (e.g. 20 feet from trunk). Water application can be made using one or more of the following methods (see sample images) Soaker hoses. Guarder hoses.
 Emitter lines.
 Garden hoses.
 Fire truck hoses.
 Water trucks.
 Towhebind common sectors.

Tow-behind spray tank apparatus (see image at right).
On-site water tank with gravity feed.

11. New Plantings / Tree Installation Specs:



all (415) 203-0990 / walterslevisonin@vahoo.co

Ideally, two (2) high flow type adjustable bubblers each emitting 1.0 to 2 gallons per minute (2GPM), depending on percolation rate of planting pit, are set directly over the rootball of each single tree planting, and each tree is installed with two (2) wooden planting stakes (not the shipping stake), with a set of figure-8 Cinch Ties [™]. The diagram below illustrates correct form for a 24⁺ box size tree planting pit and berm construction, per arboriculture Best Management Practices. The CTA marked up the original open-source diagram from Urban Tree Foundation (2014) to add the correct location for the ½⁺ diameter flood bubblers and flex tubes set directly over the rootball. Make sure to completely remove the shipping stake that is initially tied tightly against the trunk of each tree by the grower/nursery. This stake is only for transport, and cannot be left tied against the trunk. It must be completely removed from the trunk area in order to avoid causing damage to the tree trunk as it grows in girth. The tree stakes are cut to just above the elevation of the Cinch-Ties to avoid abrasion between the stakes and the limbs and trunk during wind A watering berm consisting of site soil is formed around the edge of the rootball to force irrigation water to pool up directly over the rootball. The berm should be approximately 4 to 6 inches in height, and 8 to 12 inches in width, set directly over the rootball edge (see spec diagram below).

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ASCA Registered Consulting Arborist #401 / ISA Tree Risk Assessment Qualified / ISA Certified Arborist #WE-3172A cell (415) 203-0990 / waterstevisonjr@yahoo.com issuance of any permit allowing construction to begin, the applicant shall post cash, bond or other security satisfactory to the Director, in the penal issuance of any permit and wing considuation to begin, the applicant share post cash, bond of other security satisfactory to the Director, in the permit sum of five thousand dollars (\$5,000.00) for each tree required to be preserved, or twenty-five thousand dollars (\$25,000.00), whichever is less. The cash, bond or other security shall be retained for a period of one (1) year following acceptance of the public improvements for the development and shall be forfielted in an amount equal to five thousand dollars (\$5,000.00) per tree as a civil penalty in the event that a tree or trees required to be preserved are removed, destroyed or severely damaged. (g) An applicant with a proposed development which requires underground utilities shall avoid the installation of said utilities within the dripline of existing trees whenever possible. In the event that this is unavoidable, all trenching shall be done using directional boring, air-spade excavation or by han taking extreme caution to avoid damage to the root structure. Work within the dripline of existing trees shall be supervised at all times by a certified or consulting arborist. (h) It shall be a violation of this division for any property owner or agent of the owner to fail to comply with any development approval condition concerning preservation, protection, and maintenance of any protected tree (Ord. No. 2114, §§ I, II, 8-4-03)

Sec. 29.10.1005. Protection of trees during construction.

- (a) Protective tree fencing shall specify the following: (1) Size and materials. Six (6) foot high chain link fencing, mounted on two-inch diameter galvanized iron posts, shall be driven into the ground to a depth of at least two (2) feet at no more than 10-foot spacing. For paving area that will not be demolished and when stipulated in a tree reservation plan, posts may be supported by a concrete base
- (2) Area type to be fenced. Type I: Enclosure with chain link fencing of either the entire dripline area or at the tree protection zone (TPZ), when specified by a certified or consulting arborist. Type II: Enclosure for street trees located in a planter strip: chain link fence around the entire planter strip to the outer branches. Type III: Protection for a tree located in a small planter cutout only (such as downtown): corange plastic fencing shall be wrapped around the trunk from the ground to the first branch with 2-inch wooden boards bound securely on the outside. Could are black used to around the trunk from the ground to the first branch with 2-inch wooden boards bound securely on the outside. on shall be used to avoid damaging any bark or branches.
- (3) Duration of Type I, II, III fencing. Fencing shall be erected before demolition, grading or construction permits are issued and remain in place until the work is completed. Contractor shall first obtain the approval of the project arborist on record prior to removing a tree protection (4) Warning sign. Each tree fence shall have prominently displayed an 8.5 x 11-inch sign stating: "Warning—Tree Protection Zone-this fence shall not be removed and is subject to penalty according to Town Code 29.10.1025".
- (b) All persons, shall comply with the following precautions:
- (1) Prior to the commencement of construction, install the fence at the driptine, or tree protection zone (TPZ) when specified in an approved arborist report, around any tree and/or vegetation to be retained which could be affected by the construction and prohibit any storage of construction materials or other materials, equipment cleaning, or parking of vehicles within the TPZ. The driptine shall not be altered in any way so as to increase the encreachment of the construction. (2) Prohibit all construction activities within the TPZ, including but not limited to: excavation, grading, drainage and leveling within the dripline of
- Sile Address: 15602 Benedict Lan Version: 02/07/2022 Registered Member, American Society of Consulting Arbonists and Member of the International Society of Arboniculture © Watter Levison 2022 All Rights Reserved

🗰 Walter Levison istered Consulting Arborist #401 / ISA Tree Risk Assessment Qualified / ISA Certified Arborist #WE-3172A cell (415) 203-0990 / wat 1.0 Summary ____ 2.0 Assignment & Background _ 3.0 Town of Los Gatos - What Trees are Protected? 4.0 Recommendations 5.0 Tree Protection and Maintenance Directions per Town Code _____ 6.0 Tree Replacement Standards – Los Gatos Town Code 7.0 Author's Qualifications 8.0 Assumptions and Limiting Conditions _____ 9.0 Certification 10.0 Digital Images _ 11.0 Tree Data Table_ 12.0 Tree Location & Protection Fence Map Mark-up _ 13.0 Attached: CTA Tree Appraisal Worksheet per 10th Edition Guide for Plant Appraisal Registered Member, American Society of Walter Levison 2022 All Rights Reserved Walter Levison ASCA Registered Consulting Arborist #401 / ISA Tree Risk Assessment Qualified / ISA Certified Arborist #WE-3172A cell (415) 203-0990 / walterslevi 2017 Town of Los Gatos In-lieu fee equivalent = \$250 per each required 24" box mitigation tree planting not installed on the site. is project is on a lot that is slightly less than 10,000 square feet, and is allowed to use 15 gallon size trees for on-site replacement plantings. wever, the value of each of those (smaller) mitigation plantings in terms of dollar value equivalency, is still \$250 per tree). 1.0 (b) Summary of tree disposition and tree issues, based on the set of (revised) plans submitted to planning division in 2021: 1. TREE IMPACTS / "MODERATE TO SEVERE" EXPECTED: Trees #36 and #38 may experience moderate to severe negative impacts from proposed work, if the site plan is built out as currently shown on the applicant's plan set submitted to planning division. To mitigate or offset some of the root loss associated with the current plan, the CTA suggests (assuming that both trees #36 and #38 are to be preserved): Pushing the proposed new residence to 14 feet north of the trunk edge of tree #36, such that fencing can be erected at 9 feet north of trunk Installing a soil protection buffer between the tree #38 protection fence and the proposed new residence foundation edge, per the green highlighted strip shown on the CTA's tree map markup below at the end of this report. Also note that this tree will require some pruning to clear the roof and roofer activity. The limb required to be removed is a 6 inch diameter limb extending westward over the proposed roof footprint. The impact of this removal will be minor to moderate only. All pruning work will have to conform to the most current ANSI-A300 pruning standards, and either be performed by, or supervised directly (full-time supervision) by an ISA Certified Arborist. 2. TREE IMPACTS / "MINOR" EXPECTED:

Trees #31, 32, 33, 34, and #38 are expected to remain with little or no negative impact from proposed new site plan construction work, if fencing is erected along the south edge of the proposed driveway footprint as indicated on the CTA's tree map markup as a heavy red dashed line.

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- ASCA Registered Consulting Arborist #401 / ISA Tree Risk Assessment Qualified / ISA Certified Arborist #WE-3172A ii. Removal Mitigation Fees vs. On-Site Plantings: cell (415) 203-0990 / walterslevisonjr@yahoo.com Locations: Verify with the applicant the location(s) of the required on-site mitigation trees Species: Typical trees used for mitigation plantings include such pest and disease resistant trees as 'Columbia' plane tree, 'Roberts' sycamore, coast live oak, Chinese pistache, Swan Hill fruitless olive, wilson's fruitless upright olive, silver linden (*Tilia tomentosa*), blue Atlas cedar, and deodar cedar. Irrigation: Verify irrigation type (should be high flow, with two (2) ½" diameter flood bubblers each emitting a minimum of 1.0 gallon per minute. Removal fee for tree #37 is \$750, or installation of three (3) 15 gallon or 24" box size trees on site, or a combination of plantings and fees to be determined by Town Planning Staff.
- 3. Security Bond: It is suggested that Town Staff condition this project on receiving security bond monetary funds from the applicant in the amount of **\$25,000**, as a hedge against potential decline or death of one or more of the survey trees to remaining on-site or off-site in close proximity to the proposed site plan project. Staff may choose to reduce this fee to a lesser amount. See table 1.0(a) for individual tree appraised values. 4. Trunk Buffer Wrap Type III Protection:
- Prior to demolition commencement, install a trunk buffer around the lowermost 8 to 10 feet of the mainstems of trees #31, 32, 34, 35, 36, 38. Wrap approximately 10 to 15 wraps of orange plastic snow fencing around the trunk between ade and 8 feet above grade to create a padding at least 1 to 2 inches thickness. Each tree will require at least one (1) entire roll of orange plastic snow fencing wrap. Stand 2x4 wood boards upright, side by side, around the entire circumference of the trunk. Affix using duct tape (do not use wires or ropes). See spec image at right,
- 5. Chain Link Fencing Type I and/or Type II Root Protection Zone (RPZ): Prior to commencing site demolition, erect chain link fencing panels set on moveable concrete block footings. Wire the fence panels to iron layout stakes pounded 24 inches into the ground at the ends of each fence panel to keep the fence route stabilized and in its correct position. Do <u>not</u> wire the fence panels to the trunks of the trees.

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Walter Levison ASCA Registered Consulting Arborist #401 / ISA Tree Risk Assessment Qualified / ISA Certified Arborist #WE-3172A cell (415) 203-0990 / watterstevisonjr@yahoo.com (3) Prohibit disposal or depositing of oil, gasoline, chemicals or other harmful materials within the dripline of or in drainage channels, swales or

- areas that may lead to the dripline of a protected tree (4) Prohibit the attachment of wires, signs or ropes to any protected tree.
- (5) Design utility services and irrigation lines to be located outside of the dripline when feasible. (6) Retain the services of a certified or consulting arborist who shall serve as the project arborist for periodic monitoring of the project site health of those trees to be preserved. The project arborist shall be present whenever activities occur which may pose a potential three
- (7) The Director and project arborist shall be notified of any damage that occurs to a protected tree during construction so that proper treatment may be administered
- (Ord. No. 2114, §§ I, II, 8-4-03) Sec. 29.10.1010. Pruning and maintenance.
- All pruning shall be in accordance with the current version of the International Society of Arboriculture Best Management Practices—Tree Pruning and ANSI A300-Part 1 Tree, Shrub and Other Woody Plant Management—Standard Practices, (Pruning) and any special conditions as determined by the Director. For developments, which require a tree preservation report, a certified or consulting arborist shall be in reasonable charge of all activities involving rotected trees, including pruning, cabling and any other work if specified.
- (1) Any public utility installing or maintaining any overhead wires or underground pipes or conduits in the vicinity of a protected tree shall obtain permission from the Director before performing any work, including pruning, which may cause injury to a protected tree. (e.g. cable TV/fiber optic trenching, gas, water, sewer trench, etc.).
- (2) Pruning for clearance of utility lines and energized conductors shall be performed in compliance with the current version of the American National Standards Institute (ANSI) A300 (Part 1)- Pruning, Section 5.9 Utility Pruning, Using spikes or gaffs when pruning, except where no other alternative is available, is prohibited.
- (3) No person shall prune, trim, cut off, or perform any work, on a single occasion or cumulatively, over a three-year period, affecting twenty-five percent or more of the crown of any protected tree without first obtaining a permit pursuant to this division except for pollarding of fruitless mulberry trees (*Morus alba*) or other species approved by the Town Arborist. Applications for a pruning permit shall include photographs indicating where a runing is proceed.
- where pruning is proposed. (4) No person shall remove any Heritage tree or large protected tree branch or root through pruning or other method greater than four (4) inches in diameter (12.5" in circumference) without first obtaining a permit pursuant to this division.
- (Ord. No. 2114, §§ I, II, 8-4-03)
- 6.0 Tree Replacement Standards Los Gatos Town Code (Excerpted from Town Code 29.10.0985 and 29.10.0987)

(1) Two (2) or more replacement trees, of a species and size designated by the Director, shall be planted on the subject private property. Table 3-1 The Tree Canopy—Replacement Standard shall be used as a basis for this requirement. The person requesting the permit shall pay the cost of purchasing and planting the replacement trees. Site Address: 15602 Benedict Lane Registered Member, American Society of Consulting Arborista and Member of the International Society of Arboriculture © Watter Lovison 2022 AI Rights Reserved

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Mitig	ation replace	ement rate and	d size is noted	for each tree	in the case that removal or damage to trees occurs.		
Note 30 lii canc	: Only trees near feet of c py driplines	within relativel current propose that encroach	y close proxir ed new gradir over the subj	nity of propos ng, utility tren ect property i	ed work are included in this tree study (e.g. tree trunks locat thing, excavation, haul routes, landscaping, etc. as shown or ot line.	ed between app n proposed plan	roximately zero s, and trees with
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C SCA Regi Line lumber	ONSULTING stered Consultion Tree Tag Number	3 ARBORIST ng Arborist #401 Common Name	ISA Tree Risk A Large Protected Tree (LPT)?	Appraised Value	fied / ISA Certified Arborist #WE-3172A cell (415) 20 Site plan changes or restrictions required to reduce impacts to "less than significant"	3-0990 / walterslev Replacement Rate Per Canopy Lost	sonjr@yaho Replace Size Ti
3	33	Deodar cedar	No	\$32,200.	No changes necessary if fencing is erected along edge of proposed new driveway footprint.	6	24" bo
4	34	Coast live oak	No	\$40.	This is actually a "tall stump" due to severe topping pruning that was performed to essentially remove the entire tree down to a stump of 9 feet elevation, which then grew slightly to a height of 14 feet. No changes necessary to plans, if fencing erected along edge of proposed new driveway footprint.	2	15 gallo 24" bo
5	35	Coast live oak	No	\$3,630.	No changes necessary to plans, if fencing erected along edge of proposed new driveway footprint. The proposed new driveway will encroach to just outside of the tree's "critical root zone" calculated at 6 x trunk diameter as horizontal offset radius where no activity should theoretically occur, to maintain tree stability.	3	15 gallo 24" bo

Site Address: 15602 Benedict Lane	4 of 40	
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ASCA Registered Consulting Arborist #401 / ISA Tree Risk Assessment Qualified / ISA Certified Arborist #WE-3172A cell (415) 203-0990 / walterslevisonin@yahoo.com The tree data table with detailed tree information based on the CTA's field assessment on 2/1/2022 makes up section 11.0 of this report. The CTA used a forester's D-tape to determine trunk diameter at 4.5 feet above grade, or at a narrow point below a mainstem fork if the fork occurs at 4.5 feet above grade. The D-tape converts actual trunk circumference into diameter in inches and tenths of inches. Tree heights were measured using a digital Nikon forestry pro 50 hypsometer. Tree canopy spread was visually estimated.

The attached tree map mark-up prepared by the CTA was created using the applicant's site plan sheet A-00.01 dated September, 2021, marked up with various highlight coloration¹ as discussed in section 12.0.

The CTA reviewed the applicant's revised set of plan sheets from September, 2021. 3.0 Town of Los Gatos – What Trees are Protected?

Per the most recent (2015) iteration of the Town of Los Gatos tree ordinance (Town Code Chapter 29 – Zoning Regulations, Article 1), the following regulations apply to all trees within the Town's jurisdiction (wordage adjusted):

- 1, All trees with at least a single mainstem measuring four (4) inches diameter or greater at 4.5 feet above grade are considered "Protected Trees" when removal relates to any development review.
- 2. 12 inch diameter (18 inch multistem total) trees on developed residential property not currently subject to development review. 3. 8 inch diameter (8 inch multistem total) blue oak (Quercus douglasil), black oak (Quercus kellogii), California buckeye (Aesculus californica), and
- Pacific madrone (Arbutus menziesii) on developed residential lots not currently subject to development review. 4. 8 inch diameter (8 inch multistem total) trees on developed residential property not currently subject to development review, on lots in the designated Hillside Area per the official Town map.
- All trees with a single mainstem or sum of multiple mainstems totaling 48 inches diameter or greater at 4.5 feet above grade are considered "Large Protected Trees" (LPT).
- All oak species (Quercus spp.), California buckeye (Aesculus californica), and Pacific madrone (Arbutus menziesii) with one or more mainstems totaling 24 inches diameter or more at 4.5 feet above grade are considered "Large Protected Trees" (LPT).
- Section 29.10.0965. Prohibitions: A permit is required to prune, trim, cut off, or perform any work, on a single occasion or cumulatively, over a three-year period, affecting 25% or more of any Protected Tree (including below ground root system).
- 8. Section 29.10.0965. Prohibitions: A permit is required to prune, trim, or cut any branch or root greater than four (4) inches in diameter of a Large Protected Tree.



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ASCA Registered Consulting Arborist #401 / ISA Tree Risk Assessment Qualified / ISA Certified Arborist #WE-3172A ingle Family Residential Replacement Option is available for developed single family residential lots under 10,000 square feet that are n ubject to the Town's Hillside Development Standards and Guidelines. All 15-gallon trees must be planted on-site. Any in-lieu fees for sing ⁴Replacement Trees shall be approved by the Town Arborist and shall be of a species suited to the available planting location, proximity to structures, overhead clearances, soil type, compatibility with surrounding canopy and other relevant factors. Replacement with native species shall be strongly encouraged. Replacement requirements in the Hillside shall comply with the Hillside Development Standards and Guidelines Appendix A and Section 29.10.0987 Special Provisions-Hillsides.

- Sec. 29.10.0987. Special Provisions—Hillsides
- The Town of Los Gatos recognizes its hillsides as an important natural resource and sensitive habitat which is also a key component of the Tow's identity, character and cham. In order to maintain and encourage restoration of the hillside environment to its natural state, the Town has established the following special provisions for tree removal and replacement in the hillsides:
- (1) All protected trees located 30 or more feet from the primary residence that are removed shall be replaced with native trees listed in Appendix A Recommended Native Trees for Hillside Areas of the Town of Los Gatos Hillside Development Standards and Guidelines (HDS&G). (2) All protected trees located within 30 feet of the primary residence that are removed shall be replaced as follows: (a) If the removed tree is a native tree listed in Appendix A of the HDS&G, it shall only be replaced with a native tree listed in Appendix A of (b) If the removed tree is not listed in Appendix A, it may be replaced with a tree listed in Appendix A, or replaced with another species of
- tree as approved by the Director. (c) Replacement trees listed in Appendix A may be planted anywhere on the property.
- (d) Replacement trees not listed in Appendix A may only be planted within 30 feet of the primary residence. (3) Replacement requirements shall comply with the requirements in Table 3-1 Tree Canopy Replacement Standard of this Code.
- (4) Property owners should be encouraged to retain dead or declining trees where they do not pose a safety or fire hazard, in order to foster wildlife habitat and the natural renewal of the hillside environment.

- 3. TREE REMOVALS vs. REQUIRED MITIGATION / APPLICANT Value: The applicant is proposing to remove tree #37 (actually a shrub). The value of this tree in terms of Los Gatos canopy replacement requirement per planning division is installation of three (3) 15 gallon or 24" box size plantings on site with heavy irrigation, which is equivalent to \$250 X 3 = \$750, per the standard \$250 valuation of a single tree planting installed at site. Location: Given that the applicant does not have a landscape plan or an irrigation plan, it is assumed that they have not yet determined a location for this tree installation of three (3) 15 gallon or 24* box size trees. Combo Mitigation: Planning Staff can either require the applicant to install three trees on site, or have the applicant pay a combination of in-lieu fees plus install on-site mitigation tree plantings.
- Mitigation Planting Species: Typical trees used for mitigation plantings include such pest and disease resistant trees as 'Columbia' plane tree, 'Roberts' sycamore, coast live oak, Chinese pistache, Swan Hill fruitless olive, wilson's fruitless upright olive, silver linden (*Tilla tomentosa*), blue Atlas cedar, and deodar cedar. 4. SECURITY BONDING:
- The new 2015 iteration of the Town tree ordinance section 29.10.1000 (c)3 includes wordage that requires that all trees being retained on a development site need to be appraised for dollar value at the applicant's expense prior to building or grading permits being issued by the Town. Part 'f' of this same tree ordinance section states that the Town may condition a security bond prior to issuance of a permit, in the sum of \$5,000 per each tree being preserved, or \$25,000, whichever is less. In the case of this site, with six trees being retained (\$30,000), the minimum \$25,000 bond amount would kick in as the bon

2.0 Assignment & Background

ar Levison, Contract Town Arborist (CTA) was directed to tag and assess all Protected-Size (4 inch diameter and greater) trees in relatively close proximity to the proposed site plan project. The trees were tagged with numeric tags "31" through "38", affixed to the mainstem of each tree at roughly eye-level. These tag numbers are noted on the CTA's tree map markup attached to the end of this written report. The CTA summarized the tree situation from a long-term site manager's perspective, both in table form and in written form above, in section 1.0. Specific recommendations for tree maintenance and protection are outlined below in section 4.0.

Digital images of the trees archived by the CTA are included below in this report for reference of existing pre-project conditions.



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AA ASCA Registered Consulting Arborist #401 /15A Tree Risk Assessment Qualified /15A Certified Arborist #WE-3172A cell (415) 203-0990 / walterslevisonj@yahoo.com Pre-construction fence: Per the red dashed lines on the tree map mark-up in the CTA's arborist report (routes may be subject to change depending on the finalized alignments of work items). Protection shall be at the farthest possible offset distances from trees #31, 32, 33, 34, 35, 36, 38. This fencing must be erected prior to any heavy machinery traffic or construction material arrival on site. The protective fencing must not be temporarily moved during construction. No materials, tools, excavated soil, liquids, substances, etc. are to be placed or dumped, even temporarily, inside the root protection zone or "RPZ". No storage, staging, work, or other activities will be allowed inside the RPZ except with PA monitoring. Note however that some RPZ fencing areas may need to be removed or moved to allow for final landscape plant and irrigation system installation to occur. 6. Signage: The RPZ fencing shall have one sign affixed with UV-stabilized zip ties to the chain link at eye level for every 15 linear feet of fencing minimum 8"X11" size each, plastic laminated, with wordage that includes the Town Code section that refers to tree fence protection requirement (wordage can be adjusted): TREE PROTECTION ZONE FENCE

ZONA DE PROTECCION PARA ARBOLES -NO ENTRE SIN PERMISO-

-LLAME EL ARBOLISTA-**REMOVAL OF THIS FENCE IS** SUBJECT TO PENALTY ACCORDING TO

LOS GATOS TOWN CODE 29.10.1025

EMAIL:

PROJECT ARBORIST: **TELEFONO CELL:**

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Notes

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- all be paid to the Town Tree Replacement Fund to a. Add or replace trees on public property in the vicinity of the subject property; or
- b. Add or replace trees or landscaping on other Town property; or c. Support the Town's urban forestry management program. (Ord. No. 2114, §§ I, II, 8-4-03) Table 3-1 - Tree Canopy - Replacement Standard

Canopy Size of Removed Tree ¹	(Staff is using 24" box size as the Replacement Standard for SFR Projects as of 2016) ^{2,4}	Single Family Residential Replacement ^{3,4}
10 feet or less	Two 24 inch box trees	Two 15 gallon trees
More than 10 feet to 25 feet	Three 24 inch box trees	Three 15 gallon trees
More than 25 feet to 40 feet	Four 24 inch box trees; or Two 36 inch box trees	Four 15 gallon trees
More than 40 feet to 55 feet	Six 24 inch box trees; or Three 36 inch box trees	Not Available
Greater than 55 feet	Ten 24 inch box trees; or Five 36 inch box trees	Not Available

¹To measure an asymmetrical canopy of a tree, the widest measurement shall be used to determine canopy size. Often, it is not possible to replace a single large, older tree with an equivalent tree(s). In this case, the tree may be replaced with a combination both the Tree Canopy Replacement Standard and in-lieu payment in an amount set forth by Town Council resolution paid to the Town Tree Replacement Fund. Me Address: 15602 Benedict Lane Version: 02/07/2022

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- Central leader. (See

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	eventually removed to achieve final clearance	Sec.
YEAR 3 Note increased watering berm diameter for years 3 and 4	YEAR 4	(a) A develo or moi survey prepar
		(1
K M	All a	(2
AT TA	A Carlor	(3
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		(b) T
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	Version: 02/07/2022	Site Address
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7 37 Pyracantha (shrub)

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10. Exceptions:

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CA Registered Consulting Arborist #401 / ISA Tree

Coast live

No \$5,100.

Adobe Pro was used to mark up the tree map. In order to "lock" the mark-ups, the CTA printed a PDF of the marked-up PDF sheet, which resulted on some loss of color



Version: 02/07/2022





Version: 02/07/2022

ISA Certified Arborist #WC-3172

 B.A. Environmental Studies/Soil and Water Resources UC Santa Cruz, Santa Cruz, California 1990 UCSC Chancellor's Award, 1990 (My full curriculum vitae is available upon request)

8.1.5 TREE #38 PRUNING: Remove one (1) 6 inch diameter limb that extends westward into the proposed finish roof area. Remove the limb at its attachment point on the main trunk at approximately 7 feet elevation above grade. 8.1.5 TREE #38 SOIL PROTECTION BUFFER: Install a soil protection buffer between the oak #38 TPZ chain link fence and the new proposed residence foundation (i.e. between 7 feet and 12 feet west of the trunk edge of oak #38). See reference images below and right, showing various soil protection buffers on the CTA's past proje The minimum protection required is a layer of 6" to 12" thickness of coarse tree chipper truck type wood chips, laid down over a geotextile that is pinned down on bare soil (see image above right). The standard heavy duty soil protection buffer is a layer of 12" thickness of wood chips, overlaid with ull sheets of heavy duty exterior grade plywood strapped together using steel screw plates (see mage at right). Either the minimum spec or the standard heavy duty spec type of buffer is acceptable for this project

9. Maintenance of Trees / Optional: The CTA suggests that the applicant consider optional installation of arborist cable systems and/or arborist through-bold threaded brace rods in oak #38, as additional support systems for the tree's structure, given that there are multiple bark inclusion type forks at 5 to 8 feet elevation that reduce the tree's structure stability. using the ANSI A300 standards for cable diameters, brace rod diameters, etc., to ensure the systems perform as they are supposed to. Note that tree support systems such as cables, brace rods, and support posts are often

false security, and may only work to slow down a failure of a tree limb or section of the ee. They cannot be considered full proof in terms of reducing risk of tree part failure and impact with persons or property. They should be considered risk reduction measures that have an unknown actual mitigation effect. Right: sample of brace rod installation locations in a tree with a bark inclusion type narrow angle fork.

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cell (415) 203-0990 / walterslevisonjr@yahoo.com

A

Replacemen Size Tree

15 gallon or 24" box

A

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3

Risk Assessment Qualified / ISA Certified Arborist #WE-3172A cell (415) 203-0990 / watterslevisonin@yahoo.com

Critical root zone is 6 x diameter, which is 6 x 17" =

feet as an absolute no activity zone for stabilit

preservation for the tree. Health preservation require usually 1.5 x the CRZ distance (approximately). This

leans that the proposed residence footprint at 6 fee

from trunk edge is well inside the CRZ distance, violating the minimum recommended offset distance for

zontal feet around the edge of the proposed new

residence, the actual distance of fencing from trunk edge is going to be -2 feet offset from trunk edge, which will further negatively impact the tree's root system unless a soil protection buffer of geotextile and wood chips is piled up over the ground to further protect against foot traffic related soil compaction and/or machinery related soil compaction of the tree root zone.

The CTA suggests pushing the residence to at least a total of 14 feet north offset from trunk edge so that fencing can be erected at 9 feet north of tree.

plantings in their submittal set of plans.

ASCA Registered Consulting Arborist #401 / ISA Tree Risk Assessment Qualified / ISA Certified Arborist #WE-3172A cell (415) 203-0990 / walterslevisonj@yahoo.com 9. Section 29.10.0965. Prohibitions: A permit is required to conduct severe pruning on any protected tree. Severe pruning is defined in section 29.10.0955 as 'topping or removal of foliage or significant scaffold limbs or large diameter branches so as to cause permanent damage and/or disfigurement of a tree, and/or which does not meet specific pruning goals and objectives as set forth in the current version of the International Society of Arboriculture Best Management Practices-Tree Pruning and ANSI A300-Part 1 Tree, Shrub, and Other Woody Plant Management-Standard Practices, (Pruning)."

Severe Pruning Exception in Town Code section 29.10.1010(3) *.....except for pollarding of fruitless mulberry (Morus alba) or other species approved by the Town Arborist....*.

Ligustrum lucidum (glossy privel) less than 24 inches (multistem total or single stem)
 Note that per the exception in part 'a' above, fruiting olive trees with stems totaling less than 18 inches are considered non-contracted.

Protected Tree Exceptions:
a. Edible fruit or nut bearing trees less than 18 inches diameter (multistem total or single stem)
b. Acacia melanoxylon (blackwood acacia) less than 24 inches (multistem total or single stem)
c. Lindeendron tulipifera (tulip tree) less than 24 inches (multistem total or single stem)
d. Ailanthus altissima (tree of heaven) less than 24 inches (multistem total or single stem)
e. Eucalyptus globulus (Tasmanian blue gum) less than 24 inches (multistem total or single stem)
f. Eucalyptus globulus (Tasmanian blue gum) less than 24 inches (multistem total or single stem)
g. Other eucalyptus species (E. spp.) not noted above, less than 24 inches (multistem total or single stem)
g. (REMOVAL O.K. ONLY AT HILLSIDE AREA LOCATIONS PER OFFICIAL TOWN MAP):
usur blackers and the statement of the statement for the statement of the s

www.losgatosca.gov/documentcenter/view/176 All palm species (except Phoenix canariensis) less than 24 inches (multistem total or single stem)

construction. Also note that because the exterior wo rewuires a construction buffer area of at least 4 or \$

Line Tree Tag Common Protected Appraised Site plan changes or restrictions required to reduce Replacemen Rate Per Tree Value impacts to 'less than significant' Carport Less

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ASCA Registered Consulting Arborist #401 / ISA Tree Risk Assessment Qualified / ISA Certified Arborist #WE-3172A cell (415) 203-0990 / watterslevisonjr@yahoo.com (c) When development impacts are within the dripline of or will affect any protected tree, the applicant shall provide a tree preservation report pre-(c) when development impacts are within the dripline or or will artect any protected tree, the applicant shall provide a tree preservation report prepares by a certified or consulting arborist. The report, based on the findings of the tree survey plan and other relevant information, shall be used to determine the health and structure of existing trees, the effects of the proposed development and vegetation removal upon the trees, recommendations for specific precautions necessary for their preservation during all phases of development (demolition, grading, during construction, landscaping); and shall also indicate which trees are proposed for trees to the tree preservation report shall stipulate a required tree protection zone (TPZ) for trees to be applied. retained, including street trees, protected trees and trees whose canopies are hanging over the project site from adjacent properties. The TPZ shall be renced as specified in section 29.10.1005:

- (1) The final approved tree preservation report shall be included in the building permit set of development plans and printed on a sheet titled: Tree Preservation Instructions (Sheet T-1). Sheet T-1 shall be referenced on all relevant sheets (civil, demolition, utility, landscape, irrigation) where tree impacts from improvements may be shown to occur; (2) The Town reviewing body through its site and design plan review shall endeavor to protect all trees recommended for preservation by the Town's consulting arborist. The Town reviewing body may determine if any of the trees recommended for preservation should be removed, if based upon the evidence submitted the reviewing body determines that due to special site grading or other unusual characteristics associated with the property, the preservation of the tree(s) would significantly preclude feasible development of the property as described in section 29.10.0990.
- section 29.10.0990: (3) Approval of final site or landscape plans by the appropriate Town reviewing body shall comply with the following requirements and conditions of
- a. The applicant shall, within ninety (90) days of final approval or prior to issuance of a grading or building permit, whichever occurs first, secure an appraisal of the condition and value of all trees included in the tree report affected by the development that are required to remain within the development using the Tree Value Standard methodology as set forth in this Chapter. The appraisal of each tree shall recognize the location of the tree in the proposed development. The appraisal shall be performed in accordance with the current edition of the Guide for Plant Appraisal published by the Council of Tree and Landscape Appraisers (CTLA) and the Species and Group Classification Guide published by the Western Chapter Of the International Society of Arboriculture. The appraisal shall be performed at the applicant's expense, and the appraisal shall be subject to the Director's approval.
- b. The site or landscape plans shall indicate which trees are to be removed. However, the plans do not constitute approval to remove a tree until a separate permit is granted. The property owner or applicant shall obtain a protected tree removal permit, as outlined in section 29.10.0980, for each tree to be removed to satisfy the purpose of this division.

(d) Prior to acceptance of proposed development or subdivision improvements, the developer shall submit to the Director a final tree preservation report prepared by a certified or consulting arborist. This report shall consider all trees that were to remain within the development. The report shall note the trees' health in relation to the initially reported condition of the trees and shall note any changes in the trees' numbers or physical conditions. The applicant will then be responsible for the loss of any tree not previously approved for removal. For protected trees, which were removed, the developer shall pay a penalty in the amount of the appraised value of such tree in addition to replacement requirements contained in section 29.10.0985 of this Code. The applicant shall remain responsible for the health and survival of all trees within the development for a period of five (5) years following acceptance of the public improvements of the development or certificate of occupancy. (e) Prior to issuance of any demolition, grading or building permit, the applicant or contractor shall submit to the Building Department a written statement and photographs verifying that the required tree protection fence is installed around street trees and protected trees in accordance with the tree preservation report (f) If required by the Director and conditioned as part of a discretionary approval, a security guarantee shall be provided to the Town. Prior to the

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7.0 Author's Qualifications Continued education through The American Society of Consulting Arborists, The International Society of Arboriculture (Western Chapter), and various governmental and non-governmental entities.

- Contract Town Arborist, Town of Los Gatos, California Community Development Department / Planning Divisio 2015-present
- Tree Risk Assessment Qualified (ISA TRAQ Course Graduate, Palo Alto, California) Millbrae Community Preservation Commission (Tree Board) 2001-2006
- ASCA Registered Consulting Arborist #401
- ASCA Arboriculture Consulting Academy graduate, class of 2000 Associate Consulting Arborist Barrie D. Coate and Associates 4/99-8/99
- Contract City Arborist, City of Belmont, California
- Planning and Community Development Department 5/1999-5/2020 (21 years)
- Peace Corps Soil and Water Conservation Extension Agent Chiangmai Province, Thailand 1991-1993



PROJECT ID:	
DATE:	SEP.2021
SCALE:	N.T.S
DRAWN BY:	S.A.

SHEET NUMBER:



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1 of 3

						1		Depreciat	ion Factors			1	Line 9		Line 10	Line 11	
Tree Tag #	Name (Initials)	WCISA Speces Group Classification Booklet Page	Health (Weighted 0.15)	Structure (Weighted 0.70)	Form (Weighted 0.15)	Overall Condition Rating (OCR) "Weighted Method"	Diameter Inches at 4.5 ft. Above Grade	Functional Limitations	External Limitations	WCISA Species Group Number	Trunk Square Inches for Replacement-Size Specimen of This Species	Average SF Bay Area Cost of 24 Inch Box Tree (2019)	(UTC) Unit Tree Cost per Sq Inch (M Divided by L)	Trunk Area (TA) ((dia. x dia.) x 0.785)	Basic Functional Replacement Cost (BFRC) = (OxN)	Depreciated Functional Replacement Cost (DFRC) = PxGxlxJ	Rounded-off Appraised Values
31	Qa	30	0.5	0.4	0.7	46%	13.2	40%	90%	3	3.8	\$250.00	\$65.79	136.78	\$ 8,999	\$ 1,490	\$1,490
32	Qa	30	0.6	0.5	0.5	52%	7.4	40%	90%	3	3.8	\$250.00	\$65.79	42.99	\$ 2,828	\$ 524	\$520
33	Cđ	8	0.8	0.65	0.9	71%	34.9	80%	90%	3	3.8	\$250.00	\$65.79	956.14	\$ 62,904	\$ 32,156	\$32,200
34	Ga	30	0.1	0.1	0.1	10%	6.7	20%	90%	3	3.8	\$250.00	\$65.79	35.24	\$ 2,318	\$ 42	\$40
35	Qə	30	0.7	0.7	0.8	72%	12.5	70%	90%	3	3.8	\$250.00	\$65.79	122.66	\$ 8,069	\$ 3,635	\$3,630
36	Qa	30	0.6	0.6	0.7	62%	17.2	60%	90%	3	3.8	\$250.00	\$65.79	232.23	\$ 15,279	\$ 5,074	\$5,100

Walter Levison, Consulting Arborist <walterslevisonjr@yahoo.com> Cell: (415) 203-0990



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.1. Walter Levison cell (415) 203-0990 / walterslevisonjr@yahoo.com Tree Maintenance and Protection Codes Used in Data Table RPZ: Root protection zone fence, chain link, with 2" diameter iron posts driven 24" into the ground, 6 to 8 feet on center max. spacing. Alternative material: chain link fence panels set over concrete block-type footings, with the fence panels wired to steel pins pounded 24 inches into the ground at both ends of each RB: Root buffer consisting of wood chip mulch lain over existing soil as a 12 inch thick layer, overlain with 1 inch or greater plywood strapped together with metal plates. This root buffer or soil buffer should be placed over the entire width of the construction corridor between tree trunks and construction. RP: Root pruning. Prune woody roots measuring greater than or equal to 1 inch diameter by carefully back-digging into the soil around each root using small hand tools until an area is reached where the root is undamaged. Cleanly cut through the root at right angle to the root growth direction, using professional grade pruning equipment and/or a Sawzall with wood pruning blade. Backfill around the cut root immediately (same day), and thoroughly irrigate the area to saturate the uppermost 24 inches of the soil profile. BDRP: Back-dig root pruning: Hand-dig around the broken root, digging horizontally into the open soil root zone until a clean, unbroken, unshattered section of the root is visible. Proceed as per 'root pruning'. RCX: Root crown excavation. Retain an experienced ISA-Certified arborist to perform careful hand-digging using small trowels or other dull digging tools to uncover currently-buried buttress root flares. Digging shall occur between trunk edge and at least two (2) feet horizontal from trunk edge. The final soil elevation will be at a level such that the tree's buttress roots visibly flare out from the vertical trunk. TB: Trunk buffer consists of 20-40 wraps of orange plastic snow fencing to create a 2 inch thick buffer over the lowest 8 feet of tree trunk (usually takes at least an entire roll of orange fencing per each tree). Lay 2X4 wood boards vertically, side by side, around the entire circumference of the trunk. Secure buffer using duct tape (not wires). F: Fertilization with slow-release Greenbelt 22-14-14 tree formula, as a soil injection application using a fertilizer injection gun. This brand and formulation is commonly used by reputable tree care companies in the Bay Area. Apply at label rate and injection hole spacing. M: 4-inch thick layer of chipper truck type natural wood chips (example source: Lyngso Garden Supply, self pick-up). Do not use bark chips or shredded redwood bark. W: Irrigate using various methods to be determined through discussion with General Contractor. Irrigation frequency and duration to be determined through discussion and/or per directions in the report. Native case species typically require 1x/month irrigation, while other tree species tend to prefer 2x/month or 4x/month moderate to heavy irrigation during construction. P: Pruning per specifications noted elsewhere. All pruning must be performed only under direct site supervision of an ISA Certified Arborist, or performed directly by an ISA Certified Arborist, and shall conform to all current ANSI A300 standards. MON: A Project Arborist must be present to monitor specific work as noted for each tree.

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² Derived from Fite and Smiley, 2016. Best Management Practices: Managing Trees During Construction, 2rd Edition. International Society of Arboriculture.

Location of construction activity (1-10)

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Soil quality/characteristics (1-10)

Species desirability (1-10)

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.1. Walter Levison

12.0 Tree Location & Protection Fence Map Mark-up

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- The CTA marked up the applicant's sheet A-00.01 "Proposed Site Plan" by AMS Design, dated September, 2021.
- The markups added to the applicant's document include: Numeric tree tag numbers noted in large font size.
- Approximate canopy driplines shown in true scale, in relation to proposed new work.

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- Purple highlight = proposed new residence massing inside the tree #36 critical root zone. Possible decline/death of tree if built out at this location.
- Green highlight = Author's suggested area to install a 6" to 12" thick soil protection buffer between the protective fence around tree #38, and the foundation edge of the proposed new residence, to prevent unnecessary soil compaction in the area of the tree #38 root zone where horizontally woody roots extend to mend diplexe around from the torule. great distance away from the trunk.
- Red highlight = Canopy dripline of tree #38 encroachment over the proposed new finish roof footprint. Red dashed heavy lines = the CTA's suggested root protection zone (RP2) chain link fence routing for protection of horizontally-extended woody roots. The routing indicated is non-optimal, and would normally be routed at 15 to 25 feet radius offset from the trunk edge of each tree being retained to optimize tree survival and tree stability. Some redesign is recommended if trees #36 and #38 are to be retained in their current condition ratings.

13.0 Attached: CTA Tree Appraisal Worksheet per 10th Edition Guide for Plant Appraisal

Arborists and Member of the International Society of Arboriculture





AMSDESIGN

4010 MOORPARK AVE#101, SAN JOSE, CA 95117 TELL: (415)254.1606 E-MAIL: OFFICE@AMSDESIGNLLP.COM

Azadeh Masrour

THESE PLANS ARE INTENDED ONLY FOR THE ORIGINAL SITE FOR WHICH THEY WERE DESIGNED AND ARE THE PROPERTY OF AMS DESIGN. THESE PLANS ARE PROTECTED UNDER COPYRIGHT LAWS AND MAY NOT BE REVISED OR REPRODUCED IN WHOLE OR IN PART WITHOUT THE EXPRESSED WRITTEN CONSENT OF AMS DESIGN. ANY USE OF THESE PLANS ON OTHER SITES IS PROHIBITED WITHOUT THE CONSENT OF AMS DESIGN. ANY DISCREPANCY DISCOVERED ON THESE PLANS SHALL PRIOR TO COMMENCEMENT OF THE WORK IN QUESTION. ALL WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.

PROJE	CT NAME:		
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RE	SIDENC	CE	
1560) GAT(2 BENEDICT LN OS, CA 95032	., LOS	
	ON TABLE:		
01	REVISION DATE JAN.2022	BY S.A.	DE
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	ABBRE		TIONS
	DESCRIP TION		DESCRIPTION
AB AC AD BC BFP BSW CQ,C/L CLSW CO CP DI DTL ELCT EPUC (E),F FG FH FNC GB GUY DI NV JP JB CONC:	AGGREGATE BASE ASPHALT CONCRETE AREA DRAIN BACK OF CURB BACKFLOW PREVENTOR BACK OF SIDEWALK BOTTOM OF WALL CURB AND GUTTER CENTERLINE CENTERLINE SWALE CLEANOUT CONTROL POINT DRIVEWAY DROP INLET DETAIL ELECTRIC EDGE OF PAVEMENT ELEVATION EUCALYPTUS TREE EXISTING FINISH FLOOR FINISH FLOOR FINISH GRADE FIRE HYDRANT FLOWLINE FENCE FACE OF CURB GRADE BREAK GUY WIRE HIGH POINT DUCTILE IRON PIPE INVERT JOINT POLE JUNCTION BOX (UTILITY)	LIP LP MON OG PB PGEV PPP PSE PVC RCP SDD SS SS FC FFGS FP TW (TYP) VCP WL K WW WV	LIP OF GUTTER LOW POINT MONUMENT NEW ORIGINAL GROUND PULL BOX PG&E VAULT PROPERTY LINE POWER POLE PLASTIC PERFORATED PIPE PUBLIC SERVICE EASEMENT POLYVINYL CHLORIDE RIGHT OF WAY REINFORCED CONCRETE PIPE STORM DRAIN STORM DRAIN MANHOLE STANDARD SANITARY SEWER SANITARY SEWER SANITARY SEWER SANITARY SEWER SANITARY SEWER SANITARY SEWER SANITARY SEWER SANITARY SEWER TOP OF CURB TOP OF FOUNDATION TOP OF GRATE TOP OF SLAB TOP OF PAVEMENT TOP OF WALL TYPICAL VITRIFIED CLAY PIPE WHITE LINE STRIPE WALKWAY WATER METER WATER VALVE

LEGEND

EXISTING	PROPOSED	DESCRIPTION
		PROPERTY LINE
———— F ————	F	FILL AREA LIMIT
C	C	CUT AREA LIMIT
102	102	CONTOUR
W	W	WATER LINE
SD	SD	STORM DRAIN PIPE (SOLID)
SS	SS	SANITARY SEWER PIPE
		SUBDRAIN PIPE (PERFORATED)
OH e,T,TV	OH e,T,TV	OVERHEAD UTILITIES WITH POLE
G	G	GAS LINE
———— E ———	——— E ———	ELECTRIC LINE (UNDERGROUND)
JT	JT	JOINT TRENCH
SLV	SLV	STREET LIGHT VAULT
O SSCO	● SSCO	SANITARY SEWER CLEANOUT
\bigcirc		SANITARY SEWER MANHOLE
\odot	۲	STORM DRAIN MANHOLE
	-¥	ELECTROLIER
WM	WM	WATER METER
		TREE WITH TRUNK
[] []	x x	6' WOODEN FENCE
× <u>102.23</u> _	102.23	SPOT ELEVATION
		TREE PROTECTION FENCE 5' TALL CHAIN LINK
	— > —	SWALE
	\rightarrow	DIRECTION OF FLOW IN PIPE
		AREA DRAIN/ INLET
		OVERLAND RELEASE PATH
		GRADING DIRECTION
		(E) TREE TO BE REMOVE
		DOWN-SPOUT
	o	POP-UP EMITTER
	8 DETAIL NUMBER 3 SHEET NUMBER	REFERENCE ALL DETAILS TO THE DETAILS SHEET

GRADING AND DRAINAGE PLANS NEW SINGLE FAMILY HOME 15602 BENEDICT LN, LOS GATOS, CA 95032 APN: 424-22-008

GRADING AND DRAINAGE NOTES:

- Department located at 41 Miles Avenue, Los Gatos, CA 95030
- copy of the project conditions of approval will be posted on site at all times during construction.
- specify the manner in which the same is to be made.
- improvements.
- location(s).
- fourteen (14) days prior to commencing all work.
- airborne particulates.
- Health Act or any other applicable public authority.
- 10. The General Contractor shall provide gualified supervision on the job site at all times during construction.
- for at the Town of Los Gatos Building Department). b. Toe and top of cut and fill slopes.
- any required changes prior to work being performed).
- engineer and submitted for the Town's review and acceptance before final release of any occupancy permit is aranted.
- approval of the Town. No material or equipment shall be stored in the public or private right-of-way.
- the public at all times.
- 17. Owner/Applicant: _____
- 18. General Contractor (If available): _____ Phone: _____ Phone: _____

- 19. Grading Contractor (If available): _____
- 20. Cut: <u>36</u> CY Export: <u>0</u> CY Fill: <u>54</u> CY Import: <u>18</u> CY
- Tree Removal Permits are required prior to the approval of all plans.
- other governmental agencies.
- street or other acceptable drainage facility via a non-erosive method as approved by the Town Engineer.
- daily basis. Mud, silt, concrete and other construction debris SHALL NOT be washed into the Town's storm drains.

- UTILITY NOTE: ALL NEW, RELOCATED, OR TEMPORARILY REMOVED UTILITY SERVICES, INCLUDING TELEPHONE, ELECTRIC POWER AND ALL OTHER COMMUNICATIONS LINES SHALL BE INSTALLED UNDERGROUND.

1. All work shall conform to Chapter 12 of The Code of the Town of Los Gatos, the adopted California Building Code and the latest edition of the Standard Specifications for Public Works Construction except as specified otherwise on these plans and details.

2. No work may be started on-site without an approved Grading Plan and a Grading Permit issued by the Town of Los Gatos, Public Works

3. A Pre-Job meeting shall be held with the Town Engineering Inspector from the Department of Parks and Public Works prior to any work being done. The Contractor shall call the Inspections Line at (4080 399-5771 at least forty-eight (48) hours prior to any grading or onsite work. This meeting should include: a. A discussion of the project conditions of approval, working hours, site maintenance and other construction matters; b. Acknowledgement in writing that Contractor and Applicant have read and understand the project conditions of approval, and will make certain that all project sub-contractors have read and understand them prior to commencing work and that a

4. Approval of plans does not release the developer of the responsibility for the correction of mistakes, errors, or omissions contained therein. f, during the course of construction of the improvements, public interest and safety requires a modification or departure from the Town Specifications or these improvement plans, the Town Engineer shall have full authority to require such modification or departure and to

5. Approval of this plan applies only to the grading, excavation, placement, and compaction of natural earth materials. This approval does not confer any rights of entry to either public property or the private property of others and does not constitute approval of any other

6. Excavated material shall be placed in the fill areas designated or shall be hauled away from the site to be disposed of at approved

7. It shall be the responsibility of the Permittee or Contractor to identify, locate and protect all underground facilities. Permittee or Contractor shall notify USA (Underground Service Alert) at 1-800-227-2600 a minimum of forty-eight (48) hours but not more than

8. All grading shall be performed in such a manner as to comply with the standards established by the Air Quality Management District for

9. The Contractor shall comply with all local, state and federal laws, codes, rules and regulations governing the work identified on these plans. These shall include, without limitation, safety and health rules and regulations established by or pursuant to the Occupational Safety and

11. Horizontal and vertical controls shall be set and certified by a licensed surveyor or registered civil engineer qualified to practice land surveying, for the following items: a. Retaining wall: top of wall elevations and locations (all walls to be permitted separately and applied

12. Prior to issuance of any permit, the applicant's soils engineer shall review the final grading and drainage plans to ensure that designs for foundations, retaining walls, site grading, and site drainage are in accordance with their recommendations and the peer review comments. The Applicant's soils engineer's approval shall then be conveyed to the Town either by letter or by signing the plans. Soils Engineer: _____, Reference Report _____, dated: _____, Letter No. _____, dated: _____, shall be thoroughly complied with. Both the mentioned report and all updates/addendums/ letters are hereby appended and made a part of this grading plan

13. During construction, all excavations and grading shall be inspected by the Applicant's soils engineer. The Engineer shall be notified at least fortyeight (48) hours before beginning any grading. The Engineer shall be onsite to verify that the actual conditions are as anticipated in the designlevel geotechnical report and/or provide appropriate changes to the report recommendations, as necessary. All unobserved and/or unapproved grading shall be removed and replaced under soils engineer observance (the Town Inspector shall be made aware of

14. The results of the construction observation and testing should be documented in an "as-built" letter/report prepared by the applicants' soils

15. All private and public streets accessing Project Site shall be kept open and in a safe, drivable condition throughout construction. If temporary closure is needed, then formal written notice to the adjacent neighbors and the Town of Los Gatos Parks and Public Works Department shall be provided at least one (1) week in advance of closure and no closure shall be granted without the express written

16. The contractor shall install and maintain fences, barriers, lights and signs that are necessary to give adequate warning and/protection to

21. Water shall be available on the site at all times during grading operations to properly maintain dust control.

22. This plan does not approve the removal of trees. Appropriate tree removal permits and methods of tree preservation shall be required.

23. A Town Encroachment Permit is required for any work within the public right-of-way. A State Encroachment Permit is required for any work within State right-of-way (if applicable). The Permittee and/or Contractor shall be responsible coordinating inspection performed by

24. No cross-lot drainage will be permitted without satisfactory stormwater acceptance deed/facilities. All drainage shall be directed to the

25. It is the responsibility of contractor and/or owner to make sure that all dirt tracked into the public right-of-way is cleaned up on a

26. Good housekeeping practices shall be observed at all times during the course of construction. Superintendence of construction shall be diligently performed by a person or persons authorized to do so at all times during working hours. The storing of goods and/or materials on the sidewalk and/or the street will not be allowed unless a special permit is issued by the Engineering Division. The adjacent public right-of-way shall be kept clear of all job related dirt and debris at the end of the day. Failure to maintain the public right-of-way according to this condition may result in penalties and/or the Town performing the required maintenance at the developer's expense.

27. Grading shall be undertaken in accordance with conditions and requirements of the project Storm Water Pollution Control Plan and/or Storm Water Pollution Prevention Plan (SWPPP), the Town of Los Gatos Storm Water Quality Management Program, National Pollutant Discharge Elimination System (NPDES) and any other permits/requirements issued by the State of California Regional Water Quality Control Board. Plans (including all updates) shall be on-site at all times. No direct stormwater discharges from the development will be allowed onto Town streets or into the public storm drain system without treatment by an approved storm water pollution prevention device or other approved methods. Maintenance of private stormwater pollution prevention devices shall be the sole responsibility of the owner. Discharges or connection without treatment by an approved and adequately operating stormwater pollution prevention device or other approved method shall be considered a violation of the above referenced permit and the Town of Los Gatos Stormwater Ordinance.



NPDES NOTES

- 1. Sediment from areas disturbed by construction shall be retained on site using structural controls as required by the statewide General Construction Stormwater Permit.
- 2. Stockpiles of soil shall be properly contained to minimize sediment transport from the site to streets, drainage facilities or adjacent properties via runoff, vehicle tracking, or wind as required by the statewide General Construction Stormwater Permit.
- 3. Appropriate best management practices (BMPs) for construction-related materials, wastes, spill or resides shall be implemented to minimize transport from the site to streets, drainage facilities, or adjoining property by wind or runoff as required by the statewide General Construction Stormwater Permit.
- 4. Runoff from equipment and vehicle washing shall be contained at construction sites and must not be discharged to receiving waters or to the local storm drain system.
- 5. All construction contractor and subcontractor personnel are to be made aware of the required best management practices (BMPs) and good housekeeping measures for the project site and any associated construction staging areas.
- 6. At the end of each day of construction activity, all construction debris and waste materials shall be collected and properly disposed in trash or recycle bins.
- 7. Construction sites shall be maintained in such a condition that a storm does not carry waste or pollutants off of the site. Discharges of material other than stormwater (non-stormwater discharges) are prohibited except as authorized by ar individual National Pollutant Discharge Elimination System (NPDES) permit or the statewide General Construction Stormwater Permit. Potential pollutants include but are not limited to: solid or liquid chemical spills; wastes from paints, stains, sealants, solvents, detergents, glues, lime, pesticides, herbicides, fertilizers, wood preservatives and asbestos fibers, paint flakes or stucco fragments; fuels, oils, lubricants, and hydraulic, radiator or battery fluids; concrete and related cutting or curing residues; floatable wastes; wastes from engine/equipment steam cleaning or chemical degreasing; wastes from street cleaning; and superchlorinated potable water from line flushing and testing. During construction, disposal of such materials should occur in a specified and controlled temporary area on-site physically separated from potential stormwater runoff, with ultimate disposal in accordance with local, state and federal requirements.
- 8. Discharging contaminated groundwater produced by dewatering groundwater that has infiltrated into the construction site is prohibited. Discharging of contaminated soils via surface erosion is also prohibited. Discharging noncontaminated groundwater produced by dewatering activities requires a National Pollutant Discharge Elimination System (NPDES) permit from the respective State Regional Water Quality Control Board.

NOTE:

DRAINAGE PIPING SERVING FIXTURES WHICH HAVE FLOOD LEVEL RIMS LESS THAN TWELVE (12) INCHES (304.8 MM) ABOVE THE ELEVATION OF THE NEXT UPSTREAM MANHOLE AND/OR FLUSHING INLET COVER AT THE PUBLIC OR PRIVATE SEWER SYSTEM SERVING SUCH DRAINAGE PIPING SHALL BE PROTECTED FROM BACKFLOW OF SEWAGE BY INSTALLING AN APPROVED TYPE BACKWATER VALVE. FIXTURES ABOVE SUCH ELEVATION SHALL NOT DISCHARGE THROUGH THE BACKWATER VALVE, UNLESS FIRST APPROVED BY THE BUILDING OFFICIAL. THE TOWN SHALL NOT INCUR ANY LIABILITY OR RESPONSIBILITY FOR DAMAGE RESULTING FROM A SEWER OVERFLOW WHERE THE PROPERTY OWNER OR OTHER PERSON HAS FAILED TO INSTALL A BACKWATER VALVE AS DEFINED IN THE UNIFORM PLUMBING CODE ADOPTED BY THE TOWN AND MAINTAIN SUCH DEVICE IN A FUNCTIONAL OPERATION CONDITION. EVIDENCE OF WEST SANITATION DISTRICT'S DECISION ON WHETHER A BACKWATER DEVICE IS NEEDED SHALL BE PROVIDED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.

EARTHWORK TABLE

	FILL (CY)	CUT (CY)	IMPORT (CY)	EXPORT (CY)
HOUSE/ GARAGE	5	31		
DRIVEWAY/PATIO PORCH	30	5		
SITE	19	0		
TOTAL	54	36	18	00

NOTE:

1. EARTHWORK QUANTITIES ON THIS TABLE ARE FOR INFORMATION ONLY. CONTRACTORS ARE TO PERFORM THEIR OWN QUANTITY TAKE OFFS.



1534 CAROB LANE LOS ALTOS, CA 94024 TEL: (650) 941-8055 FAX: (650) 941-8755

OWNER:





SURVEY MAP DISCLAIMER NOTE:

SMP ENGINEERS ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE TOPOGRAPHIC SURVEYING DEPICTED ON THIS PLAN SET. TOPOGRAPHIC SURVEYING MAP WAS PREPARED BY OTHERS AND FURNISHED TO SMP ENGINEERS BY THE OWNER.

NOTE:

C-5

GRADING AND DRAINAGE PLANS SHALL BE REVIEWED AND APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER.

SANITARY SEWER NOTE:

ANY EXISTING SANITARY SEWER LATERAL PROPOSED TO BE REUSED MUST BE TELEVISED BY WEST VALLEY SANITATION DISTRICT AND APPROVED BY THE TOWN BEFORE REUSED.

GRADING AND DRAINAGE NOTES:

- 1. Surface water shall be directed away from all buildings into drainage swales, gutters, storm drain inlets and drainage systems.
- 2. All roof downspouts shall discharge to concrete splash pads draining away from the foundation. See architectural plans for roof downspout locations.
- 3. On site storm drain lines shall consist of solid PVC-SCH 40 minimum or better. Use PVC SCH80 for pipes running under driveway.
- 4. Storm drain inlets shall be precast concrete, Christy U23 type or equivalent. NOTE:

IT IS THE RESPONSIBILITY OF CONTRACTOR AND HOMEOWNER TO MAKE SURE THAT ALL DIRT TRACKED INTO THE PUBLIC RIGHT-OF-WAY IS CLEANED UP ON A DAILY BASIS. MUD, SILT, CONCRETE AND OTHER CONSTRUCTION DEBRIS SHALL NOT BE WASHED INTO THE TOWN'S STORM DRAINS.

NOTICE TO CONTRACTORS CONTRACTOR TO NOTIFY U.S.A. (UNDERGROUND SERVICE ALERT) AT 800-227-2600 A MINIMUM OF 2 WORKING DAYS BEFORE BEGINNING UNDER-GROUND WORK FOR VERIFICATION OF THE LOCATION AND DEPTH OF UNDERGROUND UTILITIES.











NOTES:

- GENERAL: All public improvements shall be made according to the latest adopted Town Standard Plans, Standard Specifications and Engineering Design Standards. All work shall conform to the applicable Town ordinances. The adjacent public right-of-way shall be kept clear of all job-related mud, silt, concrete, dirt and other construction debris at the end of the day. Dirt and debris shall not be washed into storm drainage facilities. The storing of goods and materials on the sidewalk and/or the street will not be allowed unless an encroachment permit is issued by the Engineering Division of the Parks and Public Works Department. The Owner, Applicant and/or Developer's representative in charge shall be at the job site during all working hours. Failure to maintain the public right-of-way according to this condition may result in the issuance of correction notices, citations, or stop work orders and the Town performing the required maintenance at the Owner, Applicant and/or Developer's expense.
- APPROVAL: This application shall be completed in accordance with all of the conditions of approval listed below and in substantial compliance with the latest reviewed and approved development plans. Any changes or modifications to the approved plans or conditions of approvals shall be approved by the Town Engineer.
- STREET/SIDEWALK CLOSURE: Any proposed blockage or partial closure of the street and/or sidewalk requires an encroachment permit. Special provisions such as limitations on works hours, protective enclosures, or other means to facilitate public access in a safe manner may be required.
- ENCROACHMENT PERMIT: All work in the public right-of-way will require a Construction Encroachment Permit. All work over \$5,000 will require construction security. It is the responsibility of the Owner/Applicant/Developer to obtain any necessary encroachment permits from affected agencies and private parties, including but not limited to, Pacific Gas and Electric (PG&E), AT&T, Comcast, Santa Clara Valley Water District, California Department of Transportation (Caltrans). Copies of any approvals or permits must be submitted to the Town Engineering Division of the Parks and Public Works Department prior to releasing any permit.
- PRIVATE IMPROVEMENTS IN THE PUBLIC RIGHT-OF-WAY (INDEMNITY AGREEMENT): The property owner shall enter into an agreement with the Town for all existing and proposed private improvements within the Town's right-of-way. The Owner shall be solely responsible for maintaining the improvements in a good and safe condition at all times and shall indemnify the Town of Los Gatos. The agreement must be completed and accepted by the Director of Parks and Public Works, and subsequently recorded by the Town Clerk at the Santa Clara County Office of the Clerk-Recorder, prior to the issuance of any permits. Please note that this process may take approximately six to eight (6-8) weeks.
- PUBLIC WORKS INSPECTIONS: The Owner, Applicant and/or Developer or their representative shall notify the Engineering Inspector at least twenty-four (24) hours before starting any work pertaining to on-site drainage facilities, grading or paving, and all work In the Town's right-of-way. Failure to do so will result in penalties and rejection of work that went on without inspection.
- RESTORATION OF PUBLIC IMPROVEMENTS: The Owner, Applicant and/or Developer or their representative shall repair or replace all existing improvements not designated for removal that are damaged or removed because of the Owner. Applicant and/or Developer or their representative's operations. Improvements such as, but not limited to: curbs. gutters, sidewalks, driveways, signs, pavements, raised pavement markers, thermoplastic pavement markings, etc., shall be repaired and replaced to a condition equal to or better than the original condition. Any new concrete shall be free of stamps, logos, names, graffiti, etc. Any concrete identified that is displaying a stamp or equal shall be removed and replaced at the Contractor's sole expense and no additional compensation shall be allowed therefore. Existing improvement to be repaired or replaced shall be at the direction of the Engineering Construction Inspector, and shall comply with all Title 24 Disabled Access provisions. The Owner, Applicant and/or Developer or their representative shall request a walk-through with the Engineering Construction Inspector before the start of construction to verify existing conditions.
- SITE SUPERVISION: The General Contractor shall provide qualified supervision on the job site at all times during construction.
- DESIGN CHANGES: Any proposed changes to the approved plans shall be subject to the approval of the Town prior to the commencement of any and all altered work. The Owner, Applicant and/or Developer's project engineer shall notify, in writing, the Town Engineer at least seventy-two (72) hours in advance of all the proposed changes. Any approved changes shall be incorporated into the final "as-built" plans.
- PLANS AND STUDIES: All required plans and studies shall be prepared by a Registered Professional Engineer in the State of California, and submitted to the Town Engineer for review and approval. Additionally, any post-project traffic or parking counts, or other studies imposed by the Planning Commission or Town Council shall be funded by the Applicant.
- GRADING PERMIT: A grading permit is required for all site grading and drainage work except for exemptions listed in Section 12.20.015 of The Code of the Town of Los Gatos (Grading Ordinance). The grading permit application (with grading plans) shall be made to the Engineering Division of the Parks and Public Works Department located at 41 Miles Avenue. The grading plans shall include final grading, drainage, retaining wall location(s), driveway, utilities and interim erosion control. Grading plans shall list earthwork auantities and table of existing and proposed impervious areas. Unless specifically allowed by the Director of Parks and Public Works, the grading permit will be issued concurrently with the building permit. The grading permit is for work outside the building footprint(s). A separate building permit, issued by the Building Department on E. Main Street, is needed for grading within the building footprint.
- DRIVEWAY: The driveway conform to existing pavement on STEPHENIE Lane shall be constructed in a manner such that the existing drainage patterns will not be obstructed.
- TREE REMOVAL: Copies of all necessary tree removal permits shall be provided prior to the issuance of a grading permit/building permit. • PAD CERTIFICATION: A letter from a licensed land surveyor shall be provided stating that the building foundation was constructed in accordance with the approved plans shall be provided subsequent to foundation construction and prior to construction on the structure. The pad certification shall address both vertical and horizontal foundation placement.
- RETAINING WALLS: A building permit, issued by the Building Department at 110 E. Main Street, may be required for site retaining walls. Walls are not reviewed or approved by the Engineering Division of Parks and Public Works during the grading permit plan review process.
- WATER DESIGN: In the event of any required improvements to the existing water service and/or meter, the existing water meter, currently located within the STEPHENIE Lane right-of-way, shall be relocated within the property in question, directly behind the public right-of-way line. The Owner, Applicant and/or Developer shall repair and replace to existing Town standards any portion of concrete flatwork within said right-of-way that is damaged during this activity. Water plans prepared by San Jose Water Company must be reviewed and approved prior to issuance of any permit.
- SANITARY SEWER CLEANOUT: The existing sanitary sewer cleanout, currently located within the STEPHENIE Lane right-of-way, shall be relocated within the property in question, directly behind the public right-of-way line. The Owner, Applicant and/or Developer shall repair and replace to existing Town standards any portion of concrete flatwork within said right-of-way that is damaged during this activity.
- UTILITIES: The Owner, Applicant and/or Developer shall install all new, relocated, or temporarily removed utility services, including telephone, electric power and all other communications lines underground, as required by Town Code Section 27.50.0IS(b). All new utility services shall be placed underground. Underground conduit shall be provided for cable television service. The Owner, Applicant and/or Developer is required to obtain approval of all proposed utility alignments from any and all utility service providers before a Certificate of Occupancy for any new building can be issued. The Town of Los Gatos does not approve or imply approval for final alignment or design of these facilities.
- UTILITY SETBACKS: House foundations shall be set back from utility lines a sufficient distance to allow excavation of the utility without undermining the house foundation. The Town Engineer shall determine the appropriate setback based on the depth of the utility, input from the project soils engineer, and the type of foundation. CURB AND GUTIER REPAIR: The Owner, Applicant and/or Developer shall repair and replace to existing Town standards any curb and gutter damaged now or during construction of this project. All new and existing adjacent infrastructure must meet Town standards. New curb and gutter shall be constructed per Town Standard Details. New concrete shall be free of stamps, logos, names, graffiti, etc. Any concrete identified that is displaying a stamp or equal shall be removed and replaced at the Contractor's sole expense and no additional compensation shall be allowed therefore. The limits of curb and autter repair will be determined by the Engineering Construction Inspector during the construction phase of the project. The improvements must be completed and accepted by the Town before a Certificate of Occupancy for any new building can be issued. FENCING: Any fencing proposed within two hundred (200) feet of an intersection shall comply with Town Code Section §23.10.080. SIGHT TRIANGLE AND TRAFFIC VIEW AREA: Any proposed improvements, including but not limiting to trees and hedges, will need to abide by Town Code Sections 23.10.080, 26.10.065, and 29.40.030.
- FENCES: Fences between all adjacent parcels will need to be located on the property lines/boundary lines. Any existing fences that encroach into the neighbor's property will need to be removed and replaced to the correct location of the boundary lines before a Certificate of Occupancy for any new building can be issued. Waiver of this condition will require signed and notarized letters from all affected neighbors.
- CONSTRUCTION VEHICLE PARKING: Construction vehicle parking within the public right-of-way will only be allowed if it does not cause access or safety problems as determined by the Town.
- PARKING: Any proposed parking restriction must be approved by The Town of Los Gatos, Community Development Department.
- CONSTRUCTION TRAFFIC CONTROL: All construction traffic and related vehicular routes, traffic control plan, and applicable pedestrian or traffic detour plans shall be submitted for review and approval by the Town Engineer prior to beginning of any work.
- ADVANCE NOTIFICATION: Advance notification of all affected residents and emergency services shall be made regarding parking restriction, lane closure or road closure, with specification of dates and hours of operation.
- COVERED TRUCKS: All trucks transporting materials to and from the site shall be covered.
- HAULING OF SOIL: Hauling of soil on-or off-site shall not occur during the morning or evening peak periods (between 7:00 a.m. and 9:00 a.m. and between :00 p.m. an 6:00 p.m.), and at other times as specified by the Director of Parks and Public Works. Prior to the issuance of a building permit, the Owner, Applicant and/or Developer or their representative shall work with the Town Building Department and Engineering Division Inspectors to devise a traffic control plan to ensure safe and efficient traffic flow under periods when soil is hauled on or off of the project site. This may include, but is not limited to provisions for the Owner, Applicant and/or Developer to place construction notification signs noting the dates and time of construction and hauling activities, or providing additional traffic control. Coordination with other significant projects in the area may also be required. Cover all trucks hauling soil, sand and other loose debris.
- CONSTRUCTION NOISE: Between the hours of 8:00 a.m. to 8:00 p.m., weekdays and 9:00 a.m. to 7:00 p.m. weekends and holidays, construction, alteration or repair activities shall be allowed. No individual piece of equipment shall produce a noise level exceeding eighty-five (85) dBA at twenty-five (25) feet from the source. If the device is located within a structure on the property, the measurement shall be made at distances as close to twenty-five (25) feet from the device as possible. The noise level at any point outside of the property plane shall not exceed eighty-five (85) dBA.
- CONSTRUCTION MANAGEMENT PLAN SHEET: Prior to the issuance of any permits, the Owner, Applicant and/or Developer's design consultant. shall submit a construction management plan sheet (full-size) within the plan set that shall incorporate at a minimum the Project Schedule, site security fencing, employee parking, construction staging area, materials storage area(s), concrete washout(s) and proposed outhouse locations. Please refer to the Town's Construction Management Plan Guidelines document for additional information.

- SANITARY SEWER BACKWATER VALVE: Drainage piping serving fixtures which have flood level rims less than twelve (12) inches (304.8 mm) above the elevation of the next upstream manhole and/or flushing inlet cover at the public or private sewer system serving such drainage piping shall be protected from backflow of sewage by installing an approved type backwater valve. Fixtures above such elevation shall not discharge through the backwater valve, unless first approved by the Building Official. The Town shall not incur any liability or responsibility for damage resulting from a sewer overflow where the property owner or other person has failed to install a backwater value as defined in the Uniform Plumbina Code adopted by the Town and maintain such device in a functional operation condition. Evidence of West Sanitation District's decision on whether a backwater device is needed shall be provided prior to the issuance of a building permit.
- BEST MANAGEMENT PRACTICES (BMPs): The Owner, Applicant and/or Developer is responsible for ensuring that all contractors are aware of all storm water quality measures and that such measures are implemented. Best Management Practices (BMPs) shall be maintained and be placed for all areas that have been graded or disturbed and for all material. eauipment and/or operations that need protection. Removal of BMPs (temporary removal during construction activities) shall be replaced at the end of each working day.Failure to comply with the construction BMP will result in the issuance of correction notices, citations, or stop work orders. • SITE DESIGN MEASURES: All projects shall incorporate at least one of the following measures:
- a) Protect sensitive areas and minimize changes to the natural topography.
- b) Minimize impervious surface areas. c) Direct roof downspouts to vegetated areas.
- d) Use porous or pervious pavement surfaces on the driveway, at a minimum.
- e) Use landscaping to treat stormwater.
- UNLAWFUL DISCHARGES: It is unlawful to discharge any wastewater, or cause hazardous domestic waste materials to be deposited in such a manner or location as to constitute a threatened discharge, into storm drains, gutters, creeks or the San Francisco Bay. Unlawful discharges to storm drains include, but are not limited to: discharges from toilets, sinks, industrial processes, cooling systems, boilers, fabric cleaning, equipment cleaning or vehicle cleaning.
- EROSION CONTROL: Interim and final erosion control plans shall be prepared and submitted to the Engineering Division of the Parks and Public Works Department. A maximum of two(2) weeks is allowed between clearing of an area and stabilizing/building on an area if grading is allowed during the rainy season. Interim erosion control measures, to be carried out during construction and before installation of the final landscaping, shall be included. Interim erosion control method shall include, but are not limited to: silt fences, fiber rolls (with locations and details), erosion control blankets. Town standard seeding specification filter berms, check dams, retention basins, etc. Provide erosion control measures as needed to protect downstream water quality during winter months. The Town of Los Gatos Engineering Division of the Parks and Public Works Department and the Building Department will conduct periodic NP DES inspections of the site throughout the recognized storm season to verify compliance with the Construction General Permit and Stormwater ordinances and regulations.
- DUST CONTROL: Blowing dust shall be reduced by timing construction activities so that paving and building construction begin as soon as possible after completion of grading, and by landscaping disturbed soils as soon as possible. Further, water trucks shall be present and in use at the construction site. All portions of the site subject to blowing dust shall be watered as often as deemed necessary by the Town, or a minimum of three (3) times daily, or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas, and staging areas at construction sites in order to insure proper control of blowing dust for the duration of the project. Watering on public streets shall not occur. Streets shall be cleaned by street sweepers or by hand as often as deemed necessary by the Town Engineer, or at least once a day. Watering associated with on-site construction activity shall take place between the hours of 8 a.m. and 5 p.m. and shall include at least one (1) late-afternoon watering to minimize the effects of blowing dust. All public streets soiled or littered due to this construction activity shall be cleaned and swept on a daily basis during the workweek to the satisfaction of the Town. Demolition or earthwork activities shall be halted when wind speeds (instantaneous gusts) exceed twenty-five (25) miles per hour (MPH). All trucks hauling soil, sand, or other loose debris shall be covered.
- DETAILING OF STORMWATER MANAGEMENT FACILITIES: Prior to the issuance of any permits, all pertinent details of any and all proposed stormwater management facilities, including, but not limited to, ditches, swales, pipes, bubble-ups, dry wells, outfalls, infiltration trenches, detention basins and energy dissipaters, shall be provided on submitted plans, reviewed by the Engineering Division of the Parks and Public Works Department, and approved for implementation.
- CONSTRUCTION ACTIVITIES: All construction shall conform to the latest requirements of the CASQA Stormwater Best Management Practices Handbooks for Construction Activities and New Development and Redevelopment, the Town's grading and erosion control ordinance, and other generally accepted engineering practices for erosion control as required by the Town Engineer when undertaking construction activities.
- SITE DRAINAGE: Rainwater leaders shall be discharged to splash blocks. No through curb drains will be allowed. On-site drainage systems for all projects shall include one of the alternatives included in section C.3.i of the Municipal Regional NPDES Permit. These include storm water reuse via cisterns or rain barrels, directing runoff from impervious surfaces to vegetated areas and use of permeable surfaces. If dry wells are to be used they shall be placed a minimum of ten (10) feet from the adjacent property line and/or right-of-way. Alternatively, the facility may be located with an offset between five (5) and ten (10) feet from the adjacent property and/or right-of-way line(s) if the responsible engineer in charge provides a stamped and signed letter stating that addresses infiltration and how facilities, improvements and infrastructure within the Town's right-of-way (driveway approach, curb and gutter, etc.) and/or the adjacent property will not be adversely affected. No improvements shall obstruct or divert runoff to the detriment of an adjacent, downstream or down slope property.
- SILT AND MUD IN PUBLIC RIGHT-OF-WAY: It is the responsibility of Contractor and homeowner to make sure that all dirt tracked into the public right-of-way is cleaned up on a daily basis. Mud, silt, concrete and other construction debris SHALL NOT be washed into the Town's storm drains.
- GOOD HOUSEKEEPING: Good housekeeping practices shall be observed at all times during the course of construction. All construction shall be diligently supervised by a person or persons authorized to do so at all times during working hours. The Owner, Applicant and/or Developer's representative in charge shall be at the job site during all working hours. Failure to maintain the public right-of-way according to this condition may result in penalties and/or the Town performing the required maintenance at the Developer's expense.
- CERTIFICATE OF OCCUPANCY: The Engineering Division of the Parks and Public Works Department will not sign off on a Temporary Certificate of Occupancy or a Final Certificate of Occupancy until all required improvements within the Town's right-of-way have been completed and approved by the Town.
- FUTURE STUDIES: Any post-project traffic or parking counts, or other studies imposed by Planning Commission or Town Council shall be funded by the Applicant.



1534 CAROB LANE LOS ALTOS, CA 94024 TEL: (650) 941-8055 FAX: (650) 941-8755

OWNER:

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Revisions:





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LEGEND:

EXISTING WALL TO STAY

EXISTING WALL TO BE REMOVE

GRAPHIC SCALE : 1/4 INCH = 1 FEET 0 1 2 3 4 5



BUILDING NOTES:

1- BASEMENTS (EXCEPT THOSE ONLY FOR MECHANICAL EQUIPMENT AND NOT OVER 200 SQFT IN FLOOR AREA), HABITABLE ATTICS AND EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. R310.1

a. MIN. NET CLEAR OPENABLE DIMENSION OF 24 INCHES IN HEIGHT. R310.1.2

b. MIN. NET CLEAR OPENABLE DIMENSION 20 INCHES IN WIDTH. R310.1.3

c. MIN. NET CLEAR OPENABLE DIMENSION OF 5.7 SQFT IN AREA. GRADE FLOOR OPENINGS SHALL HAVE A MIN. NET CLEAR OPENING OF 5 SQFT. 310.1.1

d. THE HEIGHT OF BOTTOM OF EMERGENCY EGRESS OPENING SHALL HAVE NOT MORE THAN 44 INCHES MEASURED FROM THE FLOOR. 310.2.2

2- FOR KITCHEN, A CLEAR PASSAGEWAY OF NOT LESS THAN 3-FEET BETWEEN THE COUNTER FRONTS AND APPLIANCES OR COUNTER FRONTS AND WALLS. CRC R311

3- SHOWER COMPARTMENTS AND WALL ABOVE BATHTUBES WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH, NONABSORBENT SURFACE TO THE HEIGHT NOT LESS THAN 72 INCHES(6 FT). CRC R307.2 4- THE DOOR BETWEEN GARAGE AND ENTRY REQUIRED TO BE SELF LATCHING AND SELF CLOSING, SOLID CORE DOOR NOT LESS THAN 1-3/8

INCH THICK. 5- THE MAXIMUM RISER HEIGHT CAN BE 7.75-INCHES. MINIMUM TREAD DEPTH CAN BE 10-INCHES. FOR ANY TREAD DEPTH LESS THAN 11-INCHES, A NOSING OF NOT LESS THAN 0.75-INCHES, BUT NOT MORE THAN 1.25-INCHES SHALL BE PROVIDED.

6- DOORS AND PANELS OF SHOWER AND BATHTUB ENCLOSURES SHALL BE FULLY TEMPERED, LAMINATED SAFETY GLASS OR APPROVED PLASTIC. CRC R308.6.2

GLAZING IN SHOWERS OR BATHTUB ADJACENT WALL OPENINGS WITHIN 60 INCHES ABOVE A STANDING SURFACE AND DRAIN INLET SHALL BE FULLY TEMPERED, LAMINATED SAFETY GLASS OR APPROVED PLASTIC. CRC R308.5

7- GLAZING IN AN INDIVIDUAL FIXED OR PORTABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24-INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF GLAZING IS LESS THAN 60-INCHES ABOVE THE WALKING SURFACE SHALL BE FULLY TEMPERED, LAMINATED SAFETY GLASS OR APPROVED PLASTIC (I.E. SIDE LIGHT AT NEW MAIN ENTRY DOOR) . CRC R308.4.2

8- MINIMUM 36" DEEP LANDING IN THE DIRECTION OF TRAVEL AT NEW EXTERIOR DOORS SHALL BE PROVIDED. LANDING TO BE NOT MORE THAN 7-¾ INCHES LOWER THAN THE DOOR'S THRESHOLD FOR IN-SWINGING AND SLIDING GLASS DOORS AND NOT MORE THAN 7" FOR IN-SWINGING AND MAIN ENTRY DOOR.

9- NEW ENTRY DOOR SHALL BE OPENABLE FROM THE INSIDE OF THE DWELLING WITHOUT USE OF KEY, SPECIAL KNOWLEDGE OR EFFORT. CRC SEC. R311.2

10- 1/2" GYPSUM BOARD FROM FOUNDATION TO ROOF SHEATHING TO BE INSTALLED ON THE GARAGE SIDE AT SEPARATION WALL BETWEEN GARAGE AND RESIDENCE. (GARAGE MUST BE SEPARATED FROM THE DWELLING AND ITS ATTIC AREA) CRC SEC. R302.6 AND TABLE R302.6 5/8" TYPE "X" GYP. BOARD FINISH ON THE GARAGE SIDE OF THE WALL IS REQUIRED. ALSO THE GARAGE SHALL BE SEPRATED FROM THE DWELLING SPACE ABOVE, BY 5/8" TYPE "X" GYP AT THE CEILING.

11- BATHROOMS & KITCHEN:

11.1-22" MIN SHOWER DOOR CLEARANCE.

11.2- TEMPER GLAZING FOR THE SHOWER DOOR AND SLIDING WINDOWS.

CEMENT BOARD SUBSTRATE FOR SHOWER WALLS. 11.3- LAVATORY FAUCETS TO HAVE A FLOW RATE OF NO MORE THAN 1.2 GPM OR LESS AT 60 PSI AND NOT LESS THAN 0.8 GPM OR LESS AT 20 PSI. (CALGREEN 4.303.1)

11.4- WATER CLOSETS TO HAVE A FLOW RATE OF 1.28 GALLONS/FLUSH OR LESS. (CALGREEN 4.303.1) 11.5 -CEMENT BOARD SUBSTRATE (IE. DUROCK OR WONDERBOARD, ETC) FOR TILE APPLICATION SURROUNDING THE BATH TUB WALLS .

11.6- KITCHEN FAUCETS TO HAVE A FLOW RATE OF 1.8 GPM OR LESS AT 60 PSI. (CALGREEN 4.303.1)

11.7- SHOWER HEAD TO HAVE A FLOW RATE NOT TO EXCEED OF 1.8 GPM AT 80 PSI. (CALGREEN 4.303.1)

DRAFT BUILDING CONDITIONS:

1. PERMITS REQUIRED: A DEMOLITION PERMIT IS REQUIRED FOR THE DEMOLITION OF THE EXISTING SINGLE-FAMILY RESIDENCE AND DETACHED GARAGE. A SEPARATE BUILDING PERMIT IS REQUIRED FOR THE CONSTRUCTION OF THE NEW SINGLE-FAMILY RESIDENCE AND ATTACHED GARAGE. AN ADDITIONAL BUILDING PERMIT WILL BE REQUIRED FOR THE PV SYSTEM IF THE SYSTEM IS REQUIRED BY THE CALIFORNIA ENERGY CODE.

2. APPLICABLE CODES: THE CURRENT CODES, AS AMENDED AND ADOPTED BY THE TOWN OF LOS GATOS AS OF JANUARY 1, 2020, ARE THE 2019 CALIFORNIA BUILDING STANDARDS CODE, CALIFORNIA CODE OF REGULATIONS TITLE 24, PARTS 1-12, INCLUDING LOCALLY ADOPTED ENERGY REACH CODES

3. CONDITIONS OF APPROVAL: THE CONDITIONS OF APPROVAL MUST BE BLUE LINED IN FULL ON THE COVER SHEET OF THE CONSTRUCTION PLANS. A COMPLIANCE MEMORANDUM SHALL BE PREPARED AND SUBMITTED WITH THE BUILDING PERMIT APPLICATION DETAILING HOW THE

CONDITIONS OF APPROVAL WILL BE ADDRESSED. 4. BUILDING & SUITE NUMBERS: SUBMIT REQUESTS FOR NEW BUILDING ADDRESSES TO THE BUILDING DIVISION PRIOR TO SUBMITTING FOR THE BUILDING PERMIT APPLICATION PROCESS.

5. SIZE OF PLANS: MINIMUM SIZE 24" X 36", MAXIMUM SIZE 30" X 42".

6. REQUIREMENTS FOR COMPLETE DEMOLITION OF STRUCTURE: OBTAIN A BUILDING DEPARTMENT DEMOLITION APPLICATION AND A BAY AREA AIR QUALITY MANAGEMENT DISTRICT APPLICATION FROM THE BUILDING DEPARTMENT SERVICE COUNTER. ONCE THE DEMOLITION FORM HAS BEEN COMPLETED, ALL SIGNATURES OBTAINED, AND WRITTEN VERIFICATION FROM PG&E THAT ALL UTILITIES HAVE BEEN DISCONNECTED, RETURN THE COMPLETED FORM TO THE BUILDING DEPARTMENT SERVICE COUNTER WITH THE AIR DISTRICT'S J# CERTIFICATE, PG&E VERIFICATION, AND THREE (3) SETS OF SITE PLANS SHOWING ALL EXISTING STRUCTURES, EXISTING UTILITY SERVICE LINES SUCH AS WATER, SEWER, AND PG&E. NO DEMOLITION WORK SHALL BE DONE WITHOUT FIRST OBTAINING A PERMIT FROM THE TOWN. 7. SOILS REPORT: A SOILS REPORT, PREPARED TO THE SATISFACTION OF THE BUILDING OFFICIAL, CONTAINING FOUNDATION AND RETAINING

WALL DESIGN RECOMMENDATIONS, SHALL BE SUBMITTED WITH THE BUILDING PERMIT APPLICATION. THIS REPORT SHALL BE PREPARED BY A LICENSED CIVIL ENGINEER SPECIALIZING IN SOILS MECHANICS.

8. SHORING: SHORING PLANS AND CALCULATIONS WILL BE REQUIRED FOR ALL EXCAVATIONS WHICH EXCEED FIVE (5) FEET IN DEPTH OR WHICH REMOVE LATERAL SUPPORT FROM ANY EXISTING BUILDING, ADJACENT PROPERTY, OR THE PUBLIC RIGHT-OF-WAY. SHORING PLANS AND CALCULATIONS SHALL BE PREPARED BY A CALIFORNIA LICENSED ENGINEER AND SHALL CONFIRM TO THE CAL/OSHA REGULATIONS.

9. FOUNDATION INSPECTIONS: A PAD CERTIFICATE PREPARED BY A LICENSED CIVIL ENGINEER OR LAND SURVEYOR SHALL BE SUBMITTED TO THE PROJECT BUILDING INSPECTOR AT FOUNDATION INSPECTION. THIS CERTIFICATE SHALL CERTIFY COMPLIANCE WITH THE RECOMMENDATIONS AS SPECIFIED IN THE SOILS REPORT, AND THAT THE BUILDING PAD ELEVATIONS AND ON-SITE RETAINING WALL LOCATIONS AND ELEVATIONS HAVE BEEN PREPARED ACCORDING TO THE APPROVED PLANS. HORIZONTAL AND VERTICAL CONTROLS SHALL BE SET AND CERTIFIED BY A LICENSED SURVEYOR OR REGISTERED CIVIL ENGINEER FOR THE FOLLOWING ITEMS:

A. BUILDING PAD ELEVATION

B. FINISH FLOOR ELEVATION

C. FOUNDATION CORNER LOCATIONS D. RETAINING WALL(S) LOCATIONS AND ELEVATIONS

10. TITLE 24 ENERGY COMPLIANCE: ALL REQUIRED CALIFORNIA TITLE 24 ENERGY COMPLIANCE FORMS MUST

BE BLUE-LINED (STICKY-BACKED), I.E. DIRECTLY PRINTED, ONTO A PLAN SHEET.

11. TOWN RESIDENTIAL ACCESSIBILITY STANDARDS: NEW RESIDENTIAL UNITS SHALL BE DESIGNED WITH ADAPTABILITY FEATURES FOR

SINGLE-FAMILY RESIDENCES PER TOWN RESOLUTION 1994-61:

A. WOOD BACKING (2" X 8" MINIMUM) SHALL BE PROVIDED IN ALL BATHROOM WALLS, AT WATER CLOSETS, SHOWERS, AND BATHTUBS, LOCATED 34 INCHES FROM THE FLOOR TO THE CENTER OF THE BACKING, SUITABLE FOR THE INSTALLATION OF GRAB BARS IF NEEDED IN THE FUTURE.

B. ALL PASSAGE DOORS SHALL BE AT LEAST 32-INCH WIDE DOORS ON THE ACCESSIBLE FLOOR LEVEL.

C. THE PRIMARY ENTRANCE DOOR SHALL BE A 36-INCH-WIDE DOOR INCLUDING A 5'X 5' LEVEL LANDING, NO MORE THAN 1 INCH OUT OF PLANE WITH THE IMMEDIATE INTERIOR FLOOR LEVEL AND WITH AN 18-INCH CLEARANCE AT INTERIOR STRIKE EDGE. D. A DOOR BUZZER, BELL OR CHIME SHALL BE HARD WIRED AT PRIMARY ENTRANCE.

12. BACKWATER VALVE: THE SCOPE OF THIS PROJECT MAY REQUIRE THE INSTALLATION OF A SANITARY SEWER BACKWATER VALVE PER TOWN ORDINANCE 6.50.025. PLEASE PROVIDE INFORMATION ON THE PLANS IF A BACKWATER VALVE IS REQUIRED AND THE LOCATION OF THE INSTALLATION. THE TOWN OF LOS GATOS ORDINANCE AND WEST VALLEY SANITATION DISTRICT (WVSD) REQUIRES BACKWATER VALVES ON DRAINAGE PIPING SERVING FIXTURES THAT HAVE FLOOD LEVEL RIMS LESS THAN 12 INCHES ABOVE THE ELEVATION OF THE NEXT UPSTREAM MANHOLE.

13. HAZARDOUS FIRE ZONE: ALL PROJECTS IN THE TOWN OF LOS GATOS REQUIRE CLASS A ROOF ASSEMBLIES.

14. SPECIAL INSPECTIONS: WHEN A SPECIAL INSPECTION IS REQUIRED BY CBC SECTION 1704, THE ARCHITECT OR ENGINEER OF RECORD SHALL PREPARE AN INSPECTION PROGRAM THAT SHALL BE SUBMITTED TO THE BUILDING OFFICIAL FOR APPROVAL PRIOR TO ISSUANCE OF THE BUILDING PERMIT. THE TOWN SPECIAL INSPECTION FORM MUST BE COMPLETELY FILLED-OUT AND SIGNED BY ALL REQUESTED PARTIES PRIOR TO PERMIT ISSUANCE. SPECIAL INSPECTION FORMS ARE AVAILABLE FROM THE BUILDING DIVISION SERVICE COUNTER OR ONLINE AT WWW.LOSGATOSCA.GOV/BUILDING.

15. BLUEPRINT FOR A CLEAN BAY SHEET: THE TOWN STANDARD SANTA CLARA VALLEY NONPOINT SOURCE POLLUTION CONTROL PROGRAM SHEET (PAGE SIZE SAME AS SUBMITTED DRAWINGS) SHALL BE PART OF THE PLAN SUBMITTAL AS THE SECOND PAGE. THE SPECIFICATION SHEET IS AVAILABLE AT THE BUILDING DIVISION SERVICE COUNTER FOR A FEE OF \$2 OR AT ARC BLUEPRINT FOR A FEE OR ONLINE AT WWW.LOSGATOSCA.GOV/BUILDING.

16. APPROVALS REQUIRED: THE PROJECT REQUIRES THE FOLLOWING DEPARTMENTS AND AGENCIES APPROVAL BEFORE ISSUING A BUILDING PERMIT:

A. COMMUNITY DEVELOPMENT – PLANNING DIVISION: (408) 354-6874

B. ENGINEERING/PARKS & PUBLIC WORKS DEPARTMENT: (408) 399-5771

C. SANTA CLARA COUNTY FIRE DEPARTMENT: (408) 378-4010

D. WEST VALLEY SANITATION DISTRICT: (408) 378-2407

E. LOCAL SCHOOL DISTRICT: THE TOWN WILL FORWARD THE PAPERWORK TO THE APPROPRIATE SCHOOL DISTRICT(S) FOR PROCESSING. A COPY OF THE PAID RECEIPT IS REQUIRED PRIOR TO PERMIT ISSUANCE.





A-03.01





ALL PROJECTS IN THE TOWN OF LOS GATOS REQUIRE CLASS A ROOF ASSEMBLIES.







PROPOSED REAR (SOUTH-EAST) ELEVATION 2 PROPOS SC : 1/4" = 1'-0"

 \square The landing shall not be more than 7.75" below the top of the threshold. ——





SCALE: DRAWN BY:

1/4" = 1'

S.A.

SHEET NUMBER:

A-02.02



FLOORS	SPACES	SIZE	AREAS (SQF)	TOTAL
	А	27'-7''X20'-7''	568	
	В	15'-10''X12'-7''	199	1387
	С	20'-5''X16'-3''	332	1307
	D	20'-0''X14'-5''	288	
GARAGE	E	24'-4"X19'-11"	485	420
OANAOL	E1	16'-0''X8'-5''	135	020
	TOTAL BU	ILDING AREA		2007

FLOORS	SPACES	SIZE	AREAS (SQ
	A	54'-9''X18'-4''	1004
	В	38'-3''X28'-5''	1087
LIVING AREA	С	34'-0''X11'-2''	380
	D	20'-11"X17'-5"	364
	E	11'-2"X4'-3"	47
GARAGE	F	20'-11"X20'-10"	436
	TOTAL BU	ILDING AREA	
UNCOVERED PORCH (PAVED AREA)	G	54'-9''X8'-0''	438

AMS
DESIGN AMAGENESIGNE AND MOORPARK AVE#101, SAN JOSE, CA 95117 TELL: (415)254.1606 E-MAIL: OFFICE@AMSDESIGNLLP.COM AMAGENESIGNED AND ARE THE PROPERTY OF AMS DESIGN. THESE PLANS ARE INTENDED ONLY FOR THE ORIGINAL SITE FOR WHICH THEY WERE DESIGNED AND ARE THE PROPERTY OF AMS DESIGN. THESE PLANS ARE INTENDED ONLY FOR THE ORIGINAL SITE FOR WHICH THEY WERE DESIGNED AND ARE THE PROPERTY OF AMS DESIGN. THESE PLANS ARE PROTECTED UNDER COPYRIGHT LAWS AND MAY NOT BE REVISED OR REPRODUCED IN WHOLE OR IN PART WITHOUT THE EXPRESSED WRITTEN CONSENT OF AMS DESIGN. ANY USE OF THESE PLANS ON OTHER SITES IS PROHIBITED WITHOUT THE CONSENT OF AMS DESIGN. ANY DISCREPANCY DISCOVERED ON THESE PLANS SHALL PRIOR TO COMMENCEMENT OF THE WORK IN QUESTION. ALL WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
PROJECT NAME: BENEDICT LN., LOS GATOS, CA 95032 REVISION TABLE: A REVISION DATE BY DEP 01 JAN.2022 S.A. PLN
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SHEET TITLE: FLOOR AREA DIACERARA DIACERARA PROJECT ID: DATE: SEP.2021 SCALE: 1/8" = 1' DRAWN BY: S.A. SHEET NUMBER:

EXTERIOR MATERIAL BOARD

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TITLE	TYPE	INFO
ROOF	METAL STANDING SEAM	BLACK COLC
SIDING	SMOOTH STUCCO	CREAM COLO
GARAGE DOOR	CLOPAY	DARK GRAY CC
DOOR	CLOPAY DOORS	DARK GRAY CO
WINDOWS	MILGARD	TUSCANY / DARK GRA

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METAL STANDING SEAM

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A-05.01

Materials storage & spill cleanup

Non-hazardous materials management

✓ Sand, dirt, and similar materials must be stored at least 10 feet (3 meters) from catch basins. All construction material must be covered with a tarp and contained with a perimeter control during wet weather or when rain is forecasted or when not actively being used within 14 days.

✓ Use (but don't overuse) reclaimed water for dust control as needed.

✓ Sweep or vacuum streets and other paved areas daily. Do not wash down streets or work areas with water!

Recycle all asphalt, concrete, and aggregate base material from demolition activities. Comply with City of Fremont Ordinances for recycling construction materials, wood, gyp board, pipe, etc.

Check dumpsters regularly for leaks and to make sure they are not overfilled. Repair or replace leaking dumpsters promptly

✓ Cover all dumpsters with a tarp at the end of every work day or during wet weather.

Hazardous materials management

✓ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state, and federal regulations.

✓ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecasted.

✓ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecasted within 24 hours.

✓ Be sure to arrange for appropriate disposal of all hazardous wastes.

Spill prevention and control

✓ Keep a stockpile of spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.

✓ When spills or leaks occur, contain them immediately and be particularly careful to prevent leaks and spills from reaching the gutter, street, or storm drain.

Never wash spilled material into a gutter, street, storm drain, or creek!

Dispose of all containment and cleanup materials properly.

Report any hazardous materials spills immediately! Dial 911

Construction Entrances and Perimeter

✓ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.

✓ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking.

Vehicle and equipment maintenance & cleaning

✓ Inspect vehicles and equipment for leaks

frequently. Use drip pans to catch leaks until repairs are made; repair leaks promptly.

✓ Fuel and maintain vehicles on site only in a bermed area or over a drip pan that is big enough to prevent runoff.

✓ If you must clean vehicles or equipment on site, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or creeks.

✓ Do not clean vehicles or equipment on-site using soaps, solvents, degreasers, steam cleaning equipment, etc.

Earthwork & contaminated soils

Keep excavated soil on the site where it will not collect in the street. Transfer to dump trucks should take place on the site, not in the street ✓ Use fiber rolls, silt fences, or other control measures to minimize the flow of silt off the site.

✓ Mature vegetation is the best form of erosion control. Minimize disturbance to existing vegetation whenever possible. If you disturb a slope during construction, prevent erosion by securing the soil with erosion control fabric, or seed with fastgrowing grasses as soon as possible. Place fiber rolls down-slope until soil is secure. ✓ If you suspect contamination (from site history, discoloration, odor, texture, abandoned underground tanks or pipes, or buried debris), call the Engineer for help in determining what should be done, and manage disposal of cntaminated soil according to their instructions.

Clean Bay Blue Print

Make sure your crews and subs do the job right!

Runoff from streets and other paved areas is a major source of pollution and damage to creeks and the San Francisco Bay. Construction activities can directly affect the health of creeks and the Bay unless contractors and crews plan ahead to keep dirt, debris, and other construction waste away from storm drains and local creeks. Following these guidelines and the project specifications will ensure your compliance with City of **Fremont** requirements.

✓ Effectively manage all run-on, all runoff within the site, and all runoff that discharges from the site. Run-on from off site shall be directed away from all disturbed areas or shall collectively be in compliance.

✓ Reuse water for dust control, irrigation, or another on-site purpose to the greatest extent possible.

✓ Be sure to notify and obtain approval from the Engineer before discharging water to a street, gutter, or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.

✓ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the Engineer to determine what testing is required and how to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.

Saw cutting

✓ Always completely cover or barricade storm drain inlets when saw cutting. Use

filter fabric, catch basin inlet filters, or sand/gravel bags to keep slurry out of the storm drain system.

Shovel, absorb, or vacuum saw-cut slurry and pick up all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).

✓ If saw cut slurry enters a catch basin, clean it up immediately.

Paving/asphalt work

✓ Always cover storm drain inlets and manholes when paving or applying seal coat, tack coat, slurry seal, or fog seal.

✓ Protect gutters, ditches, and drainage courses with sand/gravel bags, or earthen berms.

✓ Do not sweep or wash down excess sand from sand sealing into gutters, storm drains, or creeks. Collect sand and return it to the stockpile, or dispose of it as trash.

✓ Do not use water to wash down fresh asphalt concrete pavement.

Storm drain polluters may be liable for fines of \$10,000 or more per day!

✓ Earth moving activities

are only allowed during dry weather by permit and as approved by the **City** Inspector in the Field.

Concrete, grout, and mortar storage & waste disposal

✓ Store concrete, grout, and mortar under cover, on pallets, and away from drainage areas. These materials must never reach a storm drain.

✓ Wash out concrete equipment/trucks off-site or into contained washout areas that will not allow discharge of wash water onto the underlying soil or onto the surrounding areas.

✓ Collect the wash water from washing exposed aggregate concrete and remove it for appropriate disposal off site.

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Painting

✓ Never rinse paint brushes or materials in a gutter or street! ✓ Paint out excess water-based paint before rinsing brushes, rollers, or containers in a sink.

▶ Paint out excess oil-based paint before cleaning brushes in thinner. ✓ Filter paint thinners and solvents for reuse whenever possible. Dispose of oil-based paint sludge and unusable thinner as hazardous waste.

Landscape Materials

Contain, cover, and store on pallets all stockpiled landscape materials (mulch, compost, fertilizers, etc.) during wet weather or when rain is forecasted or when not actively being used within 14 days.

✓ Discontinue the application of any erodible landscape material within 2 days of forecasted rain and during wet weather.

> For references and more detailed information: www.cleanwaterprogram.org www.cabmphandbooks.com

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