

PLANNING COMMISSION – July 26, 2023 – FINAL CONDITIONS OF APPROVAL

25 W. Main Street Architecture and Site Application S-22-039 Variance Application V-22-001

Requesting Approval for Construction of an Addition to a Contributing Building in the Downtown Historic Commercial District; a Conditional Use Permit for a Restaurant Use with Alcohol Service; Variances for Maximum Floor Area and Reduced Parking; and Site Work Requiring a Grading Permit on Property Zoned C-2.LHP. APN 529-01-017. CATEGORICALLY EXEMPT PURSUANT TO CEQA GUIDELINES SECTION 15301: EXISTING FACILITIES. PROPERTY OWNER: Revel Corp. APPLICANT: Gordon Wong, Gkw Architects

TO THE SATISFACTION OF THE DIRECTOR OF COMMUNITY DEVELOPMENT:

Planning Division

- 1. APPROVAL: This application shall be completed in accordance with all of the conditions of approval and in substantial compliance with the approved plans. Any changes or modifications to the approved plans and/or business operation shall be approved by the Community Development Director, DDC or the Planning Commission depending on the scope of the changes.
2. EXPIRATION: The approval will expire two years from the approval date pursuant to Section 29.20.320 of the Town Code, unless the approval has been vested.
3. DEMOLITION AFFIDAVIT: Prior to issuance of a building permit, a demolition affidavit must be submitted and signed by the property owner, project architect, project engineer and contractor.
4. STORY POLES: The story poles on the project site shall be removed within 30 days of approval of the Architecture & Site application.
5. OUTDOOR LIGHTING: Exterior lighting shall be kept to a minimum, and shall be down directed fixtures that will not reflect or encroach onto adjacent properties. No flood lights shall be used unless it can be demonstrated that they are needed for safety or security.
6. TREE REMOVAL PERMIT: A Tree Removal Permit shall be obtained for any trees to be removed, prior to the issuance of a building or grading permit.
7. EXISTING TREES: All existing trees shown on the plan and trees required to remain or to be planted are specific subjects of approval of this plan, and must remain on the site.
8. TREE FENCING: Protective tree fencing and other protection measures shall be placed at the drip line of existing trees prior to issuance of demolition and building permits and shall remain through all phases of construction. Include a tree protection plan with the construction plans.
9. TREE STAKING: All newly planted trees shall be double-staked using rubber tree ties.
10. FRONT YARD LANDSCAPE: Prior to issuance of a Certificate of Occupancy the front yard must be landscaped.
11. WATER EFFICIENCY LANDSCAPE ORDINANCE: The final landscape plan shall meet the Town of Los Gatos Water Conservation Ordinance or the State Water Efficient Landscape Ordinance, whichever is more restrictive. A review fee based on the current fee schedule

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adopted by the Town Council is required when working landscape and irrigation plans are submitted for review.

- 12. ROOFTOP EQUIPMENT: Any new or modified roof mounted equipment shall be fully screened prior to issuance of an occupancy permit.
13. SIGN PERMIT: A Sign Permit from the Los Gatos Community Development Department must be obtained prior to any changes to existing signs or installation of new signs.
14. CERTIFICATE OF USE AND OCCUPANCY: A Certificate of Use and Occupancy must be obtained prior to commencement of use.
15. BUSINESS LICENSE: A business license is required from the Town of Los Gatos Finance Department prior to commencement of use.
16. TOWN INDEMNITY: Applicants are notified that Town Code Section 1.10.115 requires that any applicant who receives a permit or entitlement ("the Project") from the Town shall defend (with counsel approved by Town), indemnify, and hold harmless the Town, its agents, officers, and employees from and against any claim, action, or proceeding (including without limitation any appeal or petition for review thereof) against the Town or its agents, officers or employees related to an approval of the Project, including without limitation any related application, permit, certification, condition, environmental determination, other approval, compliance or failure to comply with applicable laws and regulations, and/or processing methods ("Challenge"). Town may (but is not obligated to) defend such Challenge as Town, in its sole discretion, determines appropriate, all at applicant's sole cost and expense.
Applicant shall bear any and all losses, damages, injuries, liabilities, costs and expenses (including, without limitation, staff time and in-house attorney's fees on a fully-loaded basis, attorney's fees for outside legal counsel, expert witness fees, court costs, and other litigation expenses) arising out of or related to any Challenge ("Costs"), whether incurred by Applicant, Town, or awarded to any third party, and shall pay to the Town upon demand any Costs incurred by the Town. No modification of the Project, any application, permit certification, condition, environmental determination, other approval, change in applicable laws and regulations, or change in such Challenge as Town, in its sole discretion, determines appropriate, all the applicant's sole cost and expense. No modification of the Project, any application, permit certification, condition, environmental determination, other approval, change in applicable laws and regulations, or change in processing methods shall alter the applicant's indemnity obligation.
17. COMPLIANCE MEMORANDUM: A memorandum shall be prepared and submitted with the building plans detailing how the Conditions of Approval will be addressed.

Building Division

- 18. PERMITS REQUIRED: A Building Permit is required for the renovation and addition to the existing commercial building.
19. APPLICABLE CODES: The current codes, as amended and adopted by the Town of Los Gatos as of January 1, 2023, are the 2022 California Building Standards Code, California Code of Regulations Title 24, Parts 1-12, including locally adopted Energy Reach Codes.
20. CONDITIONS OF APPROVAL: The Conditions of Approval must be blue lined in full on the cover sheet of the construction plans. A Compliance Memorandum shall be prepared and submitted with the building permit application detailing how the Conditions of Approval will be addressed.

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- 21. BUILDING & SUITE NUMBERS: Submit requests for new building addresses to the Building Division prior to submitting for the building permit application process.
22. SIZE OF PLANS: Minimum size 24" x 36", maximum size 30" x 42".
23. FOUNDATION INSPECTIONS: A pad certificate prepared by a licensed civil engineer or land surveyor shall be submitted to the project Building Inspector at foundation inspection. This certificate shall certify compliance with the recommendations as specified in the Soils Report, and that the building pad elevations and on-site retaining wall locations and elevations have been prepared according to the approved plans. Horizontal and vertical controls shall be set and certified by a licensed surveyor or registered Civil Engineer for the following items:
a. Building pad elevation
b. Finish floor elevation
c. Foundation corner locations
d. Retaining wall(s) locations and elevations
24. TITLE 24 ENERGY COMPLIANCE: All required California Title 24 Energy Compliance Forms must be blue-lined (sticker-backed), i.e., directly printed, onto a plan sheet.
25. SITE ACCESSIBILITY: At least one accessible route within the boundary of the site shall be provided from public transportation stops, accessible parking and accessible passenger loading zones and public streets or sidewalks to the accessible building entrance that they serve. The accessible route shall, to the maximum extent feasible, coincide with the route for the public. At least one accessible route shall connect all accessible buildings, facilities, elements, and spaces that are on the same site.
26. BACKWATER VALVE: The scope of this project may require the installation of a sanitary sewer backwater valve per Town Ordinance 6.50.025. Please provide information on the plans if a backwater valve is required and the location of the installation. The Town of Los Gatos Ordinance and West Valley Sanitation District (WVSD) requires backwater valves on drainage piping serving fixtures that have flood level rims less than 12 inches above the elevation of the next upstream manhole.
27. HAZARDOUS FIRE ZONE: All projects in the Town of Los Gatos require Class A roof assemblies.
28. SPECIAL INSPECTIONS: When a special inspection is required by CBC Section 1704, the Architect or Engineer of Record shall prepare an inspection program that shall be submitted to the Building Official for approval prior to issuance of the Building Permit. The Town Special Inspection form must be completely filled-out and signed by all requested parties prior to permit issuance. Special Inspection forms are available online at www.losgatosca.gov/building.
29. BLUEPRINT FOR A CLEAN BAY SHEET: The town standard Santa Clara Valley Nonpoint Source Pollution Control Program Sheet (page size same as submitted drawings) shall be part of the plan submittal as the second page. The specification sheet is available online at www.losgatosca.gov/building.
30. APPROVALS REQUIRED: The project requires the following departments and agencies approval before issuing a building permit:
a. Community Development – Planning Division: (408) 354-6874
b. Engineering/Parks & Public Works Department: (408) 399-5771
c. Santa Clara County Fire Department: (408) 378-4010
d. West Valley Sanitation District: (408) 378-2407
e. Local School District: The Town will forward the paperwork to the appropriate school district(s) for processing. A copy of the paid receipt is required prior to permit issuance.

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TO THE SATISFACTION OF THE DIRECTOR OF PARKS AND PUBLIC WORKS:

Engineering Division

- 31. GENERAL: All public improvements shall be made according to the latest adopted Town Standard Plans, Standard Specifications and Engineering Design Standards. All work shall conform to the applicable Town ordinances. The adjacent public right-of-way shall be kept clear of all job-related mud, silt, concrete, dirt and other construction debris at the end of the day. Dirt and debris shall not be washed into storm drainage facilities. The storing of goods and materials on the sidewalk and/or the street will not be allowed unless an encroachment permit is issued by the Engineering Division of the Parks and Public Works Department. The Owner's representative in charge shall be at the job site during all working hours. Failure to maintain the public right-of-way according to this condition may result in the issuance of correction notices, citations, or stop work orders and the Town performing the required maintenance at the Owner's expense.
32. APPROVAL: This application shall be completed in accordance with all the conditions of approval listed below and in substantial compliance with the latest reviewed and approved development plans. Any changes or modifications to the approved plans or conditions of approvals shall be approved by the Town Engineer.
33. CONSTRUCTION PLAN REQUIREMENTS: Construction drawings shall comply with Section 1 (Construction Plan Requirements) of the Town's Engineering Design Standards, which are available for download from the Town's website.
34. CHANGE OF OCCUPANCY: Prior to initial occupancy and any subsequent change in use or occupancy of any non-residential condominium space, the buyer or the new or existing occupant shall apply to the Community Development Department and obtain approval for use determination and building permit and obtain inspection approval for any necessary work to establish the use and/or occupancy consistent with that intended.
35. ENCROACHMENT PERMIT: All work in the public right-of-way will require a Construction Encroachment Permit. All work over \$5,000 will require construction security. It is the responsibility of the Owner to obtain any necessary encroachment permits from affected agencies and private parties, including but not limited to, Pacific Gas and Electric (PG&E), AT&T, Concast, Santa Clara Valley Water District, California Department of Transportation (Caltrans). Copies of any approvals or permits must be submitted to the Town Engineering Division of the Parks and Public Works Department prior to releasing any permit.
36. GENERAL LIABILITY INSURANCE: The property owner shall provide proof of insurance to the Town on a yearly basis. In addition to general coverage, the policy must cover all elements encroaching into the Town's right-of-way.
37. PUBLIC WORKS INSPECTIONS: The Owner or their representative shall notify the Engineering Inspector at least twenty-four (24) hours before starting any work pertaining to site drainage facilities, grading or paving, and all work in the Town's right-of-way. Failure to do so will result in penalties and rejection of any work that occurred without inspection.
38. RESTORATION OF PUBLIC IMPROVEMENTS: The Owner shall repair or replace all existing improvements not designated for removal that are damaged or removed because of the Owner's operations. Improvements such as, but not limited to: curbs, gutters, sidewalks, driveways, signs, pavements, raised pavement markers, thermoplastic pavement markings, etc., shall be repaired or replaced to a condition equal to the original condition. Any new concrete shall be free of stamps, logos, names, graffiti, etc. Any concrete identified that is displaying a stamp or equal shall be removed and replaced at the Contractor's sole

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- expense and no additional compensation shall be allowed therefore. Existing improvement to be repaired or replaced shall be at the direction of the Engineering Construction Inspector and shall comply with all Title 24 Disabled Access provisions. The restoration of all improvements identified by the Engineering Construction Inspector shall be completed before the issuance of a certificate of occupancy. The Owner's shall request a walk-through with the Engineering Construction Inspector before the start of construction to verify existing conditions.
39. SITE SUPERVISION: The General Contractor shall provide qualified supervision on the job site at all times during construction.
40. STREET/SIDEWALK CLOSURE: Any proposed blockage or partial closure of the street and/or sidewalk requires an encroachment permit. Special provisions such as limitations on work hours, protective enclosures, or other means to facilitate public access in a safe manner may be required.
41. PLAN CHECK FEES: Plan check fees associated with the Grading Permit shall be deposited with the Engineering Division of the Parks and Public Works Department prior to the commencement of plan check review.
42. DESIGN CHANGES: Any proposed changes to the approved plans shall be subject to the approval of the Town prior to the commencement of any and all altered work. The Owner's project engineer shall notify, in writing, the Town Engineer at least seventy-two (72) hours in advance of all the proposed changes. Any approved changes shall be incorporated into the final "as-built" plans.
43. PLANS AND STUDIES: All required plans and studies shall be prepared by a Registered Professional Engineer in the State of California and submitted to the Town Engineer for review and approval. Additionally, any post-project traffic or parking counts, or other studies imposed by the Planning Commission or Town Council shall be funded by the Owner.
44. GRADING PERMIT: A grading permit is required for all site grading and drainage work except for exemptions listed in Section 12.20.015 of the Code of the Town of Los Gatos (Grading Ordinance). Grading work taking place simultaneously, on-site is considered eligible for the grading permit process and could be counted toward quantities, depending on permit status. After the preceding Architecture and Site Application has been approved by the respective deciding body and the appeal period has passed, the grading permit application with grading plans and associated required materials shall be submitted via email to the PPW engineer assigned to the ARS review. Plan check fees (determined after initial submittal) shall be sent to the Engineering Division of the Parks and Public Works Department located at 41 Miles Avenue. The grading plans shall include topographic map/existing conditions, final grading, drainage, retaining wall location(s), driveway, utility sheet and erosion control. Grading plans shall list earthwork quantities and a table of existing and proposed impervious areas. Unless specifically allowed by the Director of Parks and Public Works, the grading permit will be issued concurrently with the building permit. The grading permit is for work outside the building footprint(s). Prior to Engineering signing off and closing out on the issued grading permit, the Owner's soils engineer shall verify, with a stamped and signed letter, that the grading activities were completed per plans and per the requirements as noted in the soils report. A separate building permit, issued by the Building Department, located at 110 E. Main Street, is needed for grading within the building footprint.
45. GRADING PERMIT DETERMINATION DURING CONSTRUCTION DRAWINGS: In the event that, during the production of construction drawings and/or during construction of the plans approved by this application by the Town of Los Gatos, it is determined that a grading permit would be required as described in Chapter 12, Article II (Grading Permit) of the Town Code of the Town of Los Gatos, an Architecture and Site Application would need to be submitted by the

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- Owner for review and approval by the Development Review Committee prior to applying for a grading permit.
46. ILLEGAL GRADING: Per the Town's Comprehensive Fee Schedule, applications for work unlawfully completed shall be charged double the current fee. As a result, the required grading permit fees associated with an application for grading will be charged accordingly.
47. DRAINAGE STUDY: Prior to the issuance of any grading or building permits, the following drainage studies shall be submitted to and approved by the Town Engineer: a drainage study of the project including diversions, off-site areas that drain onto and/or through the project, and justification of any diversions; a drainage study evidencing that the proposed drainage patterns will not overload the existing storm drain facilities; and detailed drainage studies indicating how the project grading, in conjunction with the drainage conveyance systems (including applicable swales, channels, street flows, catch basins, storm drains, and flood water retarding) will allow building pads to be safe from inundation from rainfall runoff which may be expected from all storms up to and including the vertical 100-year flood.
48. SURVEYING CONTROLS: Horizontal and vertical controls shall be set and certified by a licensed surveyor or registered civil engineer qualified to practice land surveying, for the following items:
a) Retaining wall, top of wall elevations and locations.
b) Toe and top of cut and fill slopes.
49. PRECONSTRUCTION MEETING: Prior to issuance of any grading or building permits or the commencement of any site work, the general contractor shall:
a) Along with the Owner, attend a pre-construction meeting with the Town Engineer to discuss the project conditions of approval, working hours, site maintenance and other construction matters;
b) Acknowledge in writing that they have read and understand the project conditions of approval and will make certain that all project sub-contractors have read and understand them as well prior to commencing any work, and that a copy of the project conditions of approval will be posted on-site at all times during construction.
50. RETAINING WALLS: A building permit, issued by the Building Department, located at 110 E. Main Street, may be required for site retaining walls. Walls are not reviewed or approved by the Engineering Division of Parks and Public Works during the grading permit plan review process.
51. TRAFFIC IMPACT MITIGATION FEE: Prior to the issuance of any building/grading permit(s), the Owner/Applicant shall pay the project's proportional share of transportation improvements needed to serve cumulative development within the Town of Los Gatos. The fee amount will be based upon the Town Council resolution in effect at the time the building permit is issued; per the current resolution this amount is \$4,626.04. The fee shall be paid before issuance of any grading or building permit. The final traffic impact mitigation fee for this project shall be calculated from the final plans using the current fee schedule and rate schedule in effect at the time the building permit is issued, using a comparison between the existing and proposed uses.
DEDICATIONS: The following shall be dedicated by separate instrument. The dedication shall be recorded before any grading or building permits are issued:
a. West Main Street: Right-of-way ten (10) feet in width, or the distance between the corner northerly property line and northern face of the existing building, shall be dedicated in-fee.
53. SOILS REPORT: One electronic copy (PDF) of the soils and geologic report shall be submitted with the application. The soils report shall include specific criteria and standards governing site grading, drainage, pavement design, retaining wall design, and erosion control. The reports shall be signed and "wet stamped" by the engineer or geologist, in conformance with Section 6735 of the California Business and Professions Code.

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- 54. GEOLOGY AND SOILS MITIGATION MEASURE: A geotechnical investigation shall be conducted for the project to determine the surface and sub-surface conditions at the site and to determine the potential for surface fault rupture on the site. The geotechnical study shall provide recommendations for site grading as well as the design of foundations, retaining walls, concrete slab-on-grade construction, excavation, drainage, on-site utility trenching and pavement sections. All recommendations of the investigation shall be incorporated into project plans.
55. SOILS REVIEW: Prior to Town approval of a development application, the Owner's engineers shall prepare and submit a design-level geotechnical and geological investigation for review by the Town's consultant, with costs borne by the Owner, and subsequent approval by the Town. The Owner's soils engineer shall review the final grading and drainage plans to ensure that designs for foundations, retaining walls, site grading, and site drainage are in accordance with their recommendations and the peer review comments. Approval of the Owner's soils engineer shall then be conveyed to the Town either by submitting a Plan Review Letter prior to issuance of grading or building permit(s).
56. SOILS ENGINEER CONSTRUCTION OBSERVATION: During construction, all excavations and grading shall be inspected by the Owner's soils engineer prior to placement of concrete and/or backfill so they can verify that the actual conditions are as anticipated in the design-level geotechnical report and recommend appropriate changes in the recommendations contained in the report, if necessary. The results of the construction observation and testing shall be documented in an "as-built" letter/report prepared by the Owner's soils engineer and submitted to the Town before a certificate of occupancy is granted.
57. SOIL RECOMMENDATIONS: The project shall incorporate the geotechnical/geological recommendations contained in the project's design-level geotechnical/geological investigation as prepared by the Owner's engineer(s), and any subsequent reports required by report or addendum. Subsequent reports or addendum are subject to peer review by the Town's consultant and costs shall be borne by the Owner.
58. IMPROVEMENT AGREEMENT: The Owner shall enter into an agreement to construct public improvements in accordance with Town Code Section 24.40.020. The Owner shall supply suitable securities for all public improvements that are part of the development in a form acceptable to the Town in the amount of 100% performance and 100% labor and materials prior to the issuance of any encroachment, grading or building permit. The Owner shall provide two (2) copies of documents verifying the cost of the public improvements to the satisfaction of the Engineering Division of the Parks and Public Works Department. An electronic copy (PDF) of the executed agreement shall be submitted to the Engineering Division of the Parks and Public Works Department prior to the issuance of any encroachment, grading or building permit.
59. SANITARY SEWER CLEANOUT: The existing sanitary sewer cleanout, currently located within the Park Avenue right-of-way, shall be relocated within the property in question, within one (1) foot of the property line per West Valley Sanitation District Standard Drawing 3, or at a location specified by the Town. The Owner shall repair and replace to existing Town standards any portion of concrete flatwork within said right-of-way that is damaged during this activity prior to issuance of a certificate of occupancy.
60. PUBLIC IMPROVEMENTS: The following improvements shall be installed by the Developer. Plans for those improvements shall be prepared by a California registered civil engineer, reviewed and approved by the Town, and guaranteed by contract, Faithful Performance Security and Labor & Materials Security, before the issuance of any grading or building permits or the installation of a map. Plans for the improvements must be approved by the Town prior to the issuance of any grading or building permits. The improvements must be completed and

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- accepted by the Town before a Certificate of Occupancy for any new building can be issued unless otherwise allowed by the Town Engineer.
a. Park Avenue: Curb, gutter, sidewalk, tie-in paving, signing, striping, storm drainage and sanitary sewers, as required.
b. Remove and replace the existing pavement section along the project frontage with a traffic-appropriate engineered structural pavement section from centerline to the edge of pavement along Park Avenue, or alternative pavement rehabilitation measures as approved by the Town Engineer.
61. CERTIFICATE OF OCCUPANCY: The Engineering Division of the Parks and Public Works Department will not sign off on a Temporary Certificate of Occupancy or a Final Certificate of Occupancy until all required improvements within the Town's right-of-way have been completed and approved by the Town.
62. FRONTAGE IMPROVEMENTS: The Developer shall be required to improve the project's public frontage (right-of-way line to centerline and/or to limits per the direction of the Town Engineer) to current Town Standards. These improvements may include but not limited to curb, gutter, sidewalk, driveway approach(s), curb ramp(s), signs, pavement, raised pavement markers, thermoplastic pavement markings, storm drain facilities, traffic signal(s), street lighting (upgrade and/or/repair) etc. Plans for the improvements must be approved by the Town prior to the issuance of any grading or building permits. The improvements must be completed and accepted by the Town before the issuance of any grading or building permits unless otherwise allowed by the Town Engineer.
63. ADA COMPLIANCE: The Owner shall be required to meet all ADA standards, which must be completed and accepted by the Town before a Certificate of Occupancy for any new building can be issued. This may require additional construction measures as directed by the Town.
64. UNDERGROUND PARKING GARAGE DRAINAGE: Water from the underground parking garage shall not be discharged onto the public street. The Owner or their representative shall design a floor drainage system for the garage that collects all drainage and conveys runoff to the sanitary sewer system. Connecting said drainage system to the storm drain system is not permitted.
65. PARKING LOTS: Parking lots and other impervious areas shall be designed to drain stormwater runoff to designated drainage swales, filter strips, and/or other Low Impact Development (LID) treatment devices that can be integrated into required landscaping areas and traffic islands prior to discharge into the storm drain system and/or public right-of-way. The amount of impervious area associated with parking lots shall be minimized by utilizing design features such as providing compact car spaces, reducing stall dimensions, incorporating efficient parking lanes, using permeable pavement where feasible, and adhering to the Town's Parking Development Standards. The use of permeable paving for parking surfaces is encouraged to reduce runoff from the site. Such paving shall meet Santa Clara County Fire Department requirements and be structurally appropriate for the location.
66. UTILITIES: The Owner shall install all new, relocated, or temporarily removed utility services, including telephone, electric power and all other communications lines underground, as required by Town Code Section 27.50.015(b). All new utility services shall be placed underground. Underground conduit shall be provided for cable television service. The Owner is required to obtain approval of all proposed utility alignments from any and all utility service providers before a Certificate of Occupancy for any new building can be issued. The Town of Los Gatos does not approve or imply approval for final alignment or design of these facilities.
67. SIDEWALK REPAIR: The Owner shall repair and replace to existing Town standards any sidewalk damaged now or during construction of this project. All new and existing adjacent

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- infrastructure must meet current ADA standards. Sidewalk repair shall match existing color, texture and design, and shall be constructed per Town Standard Details. New concrete shall be free of stamps, logos, names, graffiti, etc. Any concrete identified that is displaying a stamp or equal shall be removed and replaced at the Contractor's sole expense and no additional compensation shall be allowed therefore. The limits of sidewalk repair will be determined by the Engineering Construction Inspector during the construction phase of the project. The improvements must be completed and accepted by the Town before a Certificate of Occupancy for any new building can be issued.
68. CURB AND GUTTER REPAIR: The Owner shall repair and replace to existing Town standards any curb and gutter damaged now or during construction of this project. All new and existing adjacent infrastructure must meet Town standards. New curb and gutter shall be constructed per Town Standard Details. New concrete shall be free of stamps, logos, names, graffiti, etc. Any concrete identified that is displaying a stamp or equal shall be removed and replaced at the Contractor's sole expense and no additional compensation shall be allowed therefore. The limits of curb and gutter repair will be determined by the Engineering Construction Inspector during the construction phase of the project. The improvements must be completed and accepted by the Town before a Certificate of Occupancy for any new building can be issued.
69. VALLEY GUTTER REPAIR: The Owner/Applicant shall repair and replace to existing Town standards any valley gutter damaged now or during construction of this project. All new and existing adjacent infrastructure must meet Town standards. New valley gutter shall be constructed per Town Standard Details. New concrete shall be free of stamps, logos, names, graffiti, etc. Any concrete identified that is displaying a stamp or equal shall be removed and replaced at the Contractor's sole expense and no additional compensation shall be allowed therefore. The limits of valley gutter repair will be determined by the Engineering Construction Inspector during the construction phase of the project. The improvements must be completed and accepted by the Town before a Certificate of Occupancy for any new building can be issued.
70. DRIVEWAY APPROACH: The Owner shall install a Town standard commercial driveway approach. The new driveway approach shall be constructed per Town Standard Plans and must be completed and accepted by the Town before a Certificate of Occupancy for any new building can be issued. New concrete shall be free of stamps, logos, names, graffiti, etc. Any concrete identified that is displaying a stamp or equal shall be removed and replaced at the Contractor's sole expense and no additional compensation shall be allowed therefore.
71. CURB RAMPS: The Owner shall construct/update 2 curb ramps in compliance with ADA Standards which must be completed and accepted by the Town before a Certificate of Occupancy for any new building can be issued. New concrete shall be free of stamps, logos, names, graffiti, etc. Any concrete identified that is displaying a stamp or equal shall be removed and replaced at the Contractor's sole expense and no additional compensation shall be allowed therefore.
72. SIDEWALK: The Owner shall install Villa Hermosa style sidewalk, which must be completed and accepted by the Town before a Certificate of Occupancy for any new building can be issued. Sidewalk shall be constructed per Town requirements and Standard Plan Nos. ST-224 and ST-225. Encroachment Permit will be required for the work. New concrete shall be free of stamps, logos, names, graffiti, etc. Any concrete identified that is displaying a stamp or equal shall be removed and replaced at the Contractor's sole expense and no additional compensation shall be allowed therefore.
73. SIGHT TRIANGLE AND TRAFFIC VIEW AREA: Any proposed improvements, including but not limiting to trees and hedges, will need to abide by Town Code Sections 23.10.080, 26.10.065, and 29.40.030.

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- 74. CONSTRUCTION VEHICLE PARKING: Construction vehicle parking within the public right-of-way will only be allowed if it does not cause access or safety problems as determined by the Town.
75. TRAFFIC CONTROL PLAN: A traffic control plan is required and must be submitted and approved by the Town Engineer prior to the issuance of an encroachment, grading or building permit. This plan shall include, but not be limited to, the following measures:
a. Construction activities shall be strategically timed and coordinated to minimize traffic disruption for schools, residents, businesses, special events, and other projects in the area. The school's location on the haul route shall be contacted to help with the coordination of the trucking operation to minimize traffic disruption.
b. Flag persons shall be placed at locations necessary to control one-way traffic flow. All flag persons shall have the capability of communicating with each other to coordinate the operation.
c. Prior to construction, advance notification of all affected residents and emergency services shall be made regarding one-way operation, specifying dates and hours of operation.
76. CONSTRUCTION TRAFFIC CONTROL: All construction traffic and related vehicular routes, traffic control plan, and applicable pedestrian or traffic detour plans shall be submitted for review and approval by the Town Engineer prior to the issuance of an encroachment, grading or building permit.
77. ADVANCE NOTIFICATION: Advance notification of all affected residents and emergency services shall be made regarding parking restriction, lane closure or road closure, with specification of dates and hours of operation.
78. HAULING OF SOILS: Hauling of soil on- or off-site shall not occur during the morning or evening peak periods (between 7:00 a.m. and 9:00 a.m. and between 4:00 p.m. and 6:00 p.m.), and at other times the approval of the Director of Parks and Public Works. Prior to the issuance of a grading or building permit, the Owner and/or Applicant or their representative shall work with the Town Building Department and Engineering Division Inspectors to devise a traffic control plan to ensure safe and efficient traffic flow under periods when soil is hauled on or off the project site. This may include, but is not limited to provisions for the Owner and/or Applicant to place construction notification signs noting the dates and time of construction and hauling activities, or providing additional traffic control. Coordination with other significant projects in the area may also be required. Cover all trucks hauling soil, sand and other loose debris.
79. CONSTRUCTION HOURS: All site improvements construction activities, including the delivery of construction materials, labor, heavy equipment, supplies, etc., shall be limited to the hours of 8:00 a.m. to 6:00 p.m., weekdays and 9:00 a.m. to 4:00 p.m. Saturdays. The Town may authorize, on a case-by-case basis, alternate construction hours. The Owner shall provide written notice twenty-four (24) hours in advance of modified construction hours. Approval of this request is at discretion of the Town.
80. CONSTRUCTION NOISE: Between the hours of 8:00 a.m. to 6:00 p.m., weekdays and 9:00 a.m. to 4:00 p.m. Saturdays, construction, alteration or repair activities shall be allowed. No individual piece of equipment shall produce a noise level exceeding eighty-five (85) dBA at twenty-five (25) feet from the source. If the device is located within a structure on the property, the measurement shall be made at distances as close to twenty-five (25) feet from the device as possible. The noise level at any point outside of the property plane shall not exceed eighty-five (85) dBA.
81. CONSTRUCTION MANAGEMENT PLAN SHEET: Prior to the issuance of any grading or building permit, the Owner and/or Applicant's design consultant shall submit a construction management plan sheet (full-size) within the plan set that shall incorporate at a minimum the Earth Movement Plan, Traffic Control Plan, Project Schedule, site security fencing, employee

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PROJECT REP: JENNY C. WONG, 710E MCCLAIN LANE SUITE 109, CAMPBELL, CA 95008 (408) 316-2125

GORDON WONG, ARCHITECT LIC# 34048, 710E MCCLAIN LANE SUITE 109, CAMPBELL, CA 95008 (408) 316-2125



Conditions of Approval

25 West Main St. Los Gatos, CA, 95030

Revision Schedule

Table with 3 columns: Number, Description, Date. It is currently empty.

Conditions of Approval

A000.1

SCALE 1/2" = 1'-0"

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GORDON WONG, ARCHITECT LIC# 34045
 JENNY C. WONG
 710 E. MCGILINCY LANE SUITE 109
 CAMPBELL, CA 95008 (408) 316-1225
 GORDONWONGARCHITECTS.COM



25 West Main St.
 Los Gatos, CA, 95030

Conditions of Approval

Revision Schedule		
Number	Description	Date
8	Building	2024.08.30

Conditions of Approval

A000.2

SCALE 1/2" = 1'-0"

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PLANNING COMMISSION – July 26, 2023 – FINAL
 CONDITIONS OF APPROVAL

25 W. Main Street
 Conditional Use Permit U-23-002

Requesting Approval for Construction of an Addition to a Contributing Building in the Downtown Historic Commercial District; a Conditional Use Permit for a Restaurant Use with Alcohol Service; Variances for Maximum Floor Area and Reduced Parking; and Site Work Requiring a Grading Permit on Property Zoned C-2.LHP. APN 529-01-017. Categorically Exempt Pursuant to CEQA Guidelines Section 15301; Existing Facilities.
 PROPERTY OWNER: Revel Corp.
 APPLICANT: Gordon Wong, Gkw Architects

TO THE SATISFACTION OF THE DIRECTOR OF COMMUNITY DEVELOPMENT:

- Planning Division*
- APPROVAL: This application shall be completed in accordance with all of the conditions of approval and in substantial compliance with the approved plans. Any intensification beyond this authorized use requires a Conditional Use Permit amendment.
 - EXPIRATION: The approval will expire two years from the approval date pursuant to Section 29.20.320 of the Town Code, unless the approval has been vested per Section 29.20.335 of the Town Code. Reasonable extensions of time not exceeding one year may be granted upon application, and can be granted if approved by the deciding body prior to the expiration date. Therefore, it is recommended that applications for a time extension be filed with the Community Development Department at least 60 days prior to the expiration date of the approval.
 - LAISE FOR DISCONTINUANCE: If the activity for which the Conditional Use Permit has been granted is discontinued for a period of one (1) year, the approval lapses pursuant to Section 29.20.340 of the Zoning Ordinance.
 - USE: A restaurant use with full alcohol service and outdoor seating is permitted.
 - HOURS: The hours of operation shall be limited to Sunday through Wednesday 7:00 a.m. to 1:00 p.m., and Thursday through Saturday 7:00 a.m. to 1:30 a.m.
 - BUSINESS LICENSE: A business license from the Town of Los Gatos Finance Department including a Certificate of Use and Occupancy approval from Planning must be obtained prior to the commencement of any new or change of use.
 - LIVE ENTERTAINMENT: Live entertainment until 10:00 p.m. is permitted in conformance with the Town Policy regulating Late Night Entertainment.
 - GENERAL: Uniformed privately provided security guards may be required in or around the premises by the Chief of Police if alcohol related problems recur that are not resolved by the licensed owner.
 - CONFORMANCE WITH CODE: No part of this approval shall be construed to permit a violation of any part of the Code of the Town of Los Gatos.
 - COMPLIANCE WITH LOCAL, STATE, AND FEDERAL LAWS: The subject use shall be conducted in full compliance with all local, state, and federal laws.
 - TOWN INDEMNITY: Applicants are notified that Town Code Section 1.10.115 requires that any applicant who receives a permit or entitlement ("the Project") from the Town shall defend (with counsel approved by Town), indemnify, and hold harmless the Town, its agents, officers, and employees from and against any claim, action, or proceeding (including without limitation any appeal or petition for review thereof) against the Town or its agents, officers or employees related to an approval of the Project, including without limitation any related application, permit,

101. Knox Key Boxes/Locks Where Required for Access: (As Noted on Sheet A004) Where access to or within a structure or an area is restricted because of secured openings or where immediate access is necessary for lifesaving or firefighting purposes, the fire code official is authorized to require a key box to be installed in an approved location. The Knox Key Box shall be of an approved type and shall contain keys to gain necessary access as required by the fire code official. Locks. An approved Knox Lock shall be installed on gates or similar barriers when required by the fire code official. Key box maintenance. The operator of the building shall immediately notify the fire code official and provide the new key when a lock is changed or re-keyed. The key to such lock shall be secured in the key box. [CFC Sec. 506].
102. Required Fire Flow: The minimum required fireflow for this project is 1000 Gallons Per Minute (GPM) at 20 psi residual pressure. This fireflow assumes installation of automatic fire sprinklers per CFC [903.3.1.3].
103. Water Supply Requirements: Potable water supplies shall be protected from contamination caused by fire protection water supplies. It is the responsibility of the applicant and any contractors and subcontractors to contact the water purveyor supplying the site of such project, and to comply with the requirements of that purveyor. Such requirements shall be incorporated into the design of any water-based fire protection systems, and/or fire suppression water supply systems or storage containers that may be physically connected in any manner to an appliance capable of causing contamination of the potable water supply of the purveyor of record. Final approval of the system(s) under consideration will not be granted by this office until compliance with the requirements of the water purveyor of record are documented by that purveyor as having been met by the applicant(s). 2019 CFC Sec. 903.3.5 and Health and Safety Code Section 13114.7.
104. Address Identification: New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Where required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.5 inch (12.7 mm). Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address numbers shall be maintained. CFC Sec. 505.1.
105. Construction Site Fire Safety: All construction sites must comply with applicable provisions of the CFC Chapter 33 and our Standard Detail and Specification 51-7. Provide appropriate notations on subsequent plan submissions, as appropriate to the project. CFC Chp. 33.
106. Please note that a plan review is required prior to any proposed tenant improvement.
107. Fire Alarm requirement will be verified during building permit.
108. This review shall not be construed to be an approval of a violation of the provisions of the California Fire Code or of other laws or regulations of the jurisdiction. A permit presuming to give authority to violate or cancel the provisions of the fire code or other such laws or regulations shall not be valid. Any addition to or alteration of approved construction documents shall be approved in advance. [CFC, Ch. 1, 105.3.6]

- according to this condition may result in penalties and/or the Town performing the required maintenance at the Owner's expense.
96. COVERED TRUCKS: All trucks transporting materials to and from the site shall be covered.
- TO THE SATISFACTION OF THE SANTA CLARA COUNTY FIRE DEPARTMENT:
97. Review of this Developmental proposal is limited to acceptability of site access, water supply and may include specific additional requirements that they pertain to fire department operations and shall not be construed as a substitute for formal plan review to determine compliance with adopted model codes. Prior to performing any work, the applicant shall make application to, and receive from, the Building Department all applicable construction permits.
 98. FIRE SPRINKLERS REQUIRED: (As Noted on Sheet A000) Approved automatic sprinkler system in new and existing buildings and structures shall be provided in the locations described in this Section or in Sections 903.2.1 through 903.2.18 whichever is the more restrictive. For the purposes of this section, firewalls and fire barriers used to separate building areas shall be constructed in accordance with the California Building Code and shall not be utilized as a means of area reduction for the purposes of circumventing automatic fire sprinkler system installation requirements. An approved automatic sprinkler system shall be provided throughout all new buildings and structures.
 1. Exceptions: a. Buildings and structures that do not exceed 1,000 square feet of building area and that are not located in the Wildland-Urban Interface Fire Area. b. Buildings and structures that are located in the Wildland-Urban Interface Fire Area and do not exceed 500 square feet of building area. c. Group 5-2 or U occupancies that are not located in the Wildland-Urban Interface area and used exclusively for vehicle parking and meeting all of the following conditions: i. Noncombustible construction; ii. Maximum building area not to exceed 5,000 square feet; iii. Structure is open on three (3) or more sides; and iv. Minimum of 10 feet separation from existing buildings unless area is separated by fire walls complying with CBC 706.
 2. An automatic sprinkler system shall be provided throughout existing buildings and structures when alterations or additions are made that create conditions described in Sections 903.2.1 through 903.2.18.
 3. An automatic sprinkler system shall be provided throughout existing buildings and structures, when additions are made that increase the building area by more than 3,600 square feet. Exception: One or more additions made to a building after January 1, 2011 that do not total more than 1,000 square feet of building area.
 4. An automatic sprinkler system shall be provided throughout all new basements regardless of size and throughout existing basements that are expanded by more than 50 percent.
 5. Any change in the character of occupancy or in use of any building with a building area equal to or greater than 3,600 square feet which, in the opinion of the fire code official or building official, would place the building into a more hazardous division of the same occupancy group or into a different group of occupancies and constitutes a greater degree of life safety or increased fire risk, shall require the installation of an approved automatic fire sprinkler system. Buildings and Facilities Access: (As Noted on Sheet A004) Approved fire apparatus access roads shall be provided for every facility, building or portion of a building hereafter constructed or moved into or with the jurisdiction. The fire apparatus access road shall comply with the requirements of this section and shall extend to within 150 feet of all portions of the facility and all portions of the

- implementation of at least one of the six low impact development site design measures it specifies shall be completed and submitted to the Engineering Division before issuance of a grading/building permit.
90. SITE DESIGN MEASURES: All projects shall incorporate at least one of the following measures:
 - a. Protect sensitive areas and minimize changes to the natural topography.
 - b. Minimize impervious surface areas.
 - c. Direct roof downspouts to vegetated areas.
 - d. Use porous or pervious pavement surfaces on the driveway, at a minimum.
 - e. Use landscaping to treat stormwater.
 91. DUST CONTROL: Blowing dust shall be reduced by timing construction activities so that paving and building construction begin as soon as possible after completion of grading, and by landscaping disturbed soils as soon as possible. Further, water trucks shall be present and in use at the construction site. All portions of the site subject to blowing dust shall be watered as often as deemed necessary by the Town, or a minimum of three (3) times daily, or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas, and staging areas at construction sites in order to insure proper control of blowing dust for the duration of the project. Watering on public streets shall not occur. Streets shall be cleaned by street sweepers or by hand as often as deemed necessary by the Town Engineer, or at least once a day. Watering associated with on-site construction activity shall take place between the hours of 8 a.m. and 5 p.m. and shall include at least one (1) late-afternoon watering to minimize the effects of blowing dust. All public streets soiled or littered due to this construction activity shall be cleaned and swept on a daily basis during the workweek to the satisfaction of the Town. Demolition or earthwork activities shall be halted when wind speeds (instantaneous gusts) exceed twenty (20) miles per hour (MPH). All trucks hauling soil, sand, or other loose debris shall be covered.
 92. CONSTRUCTION ACTIVITIES: All construction shall conform to the latest requirements of the CSEA Stormwater Best Management Practices Handbooks for Construction Activities and New Development and Redevelopment, the Town's grading and erosion control ordinance, and other generally accepted engineering practices for erosion control as required by the Town Engineer when undertaking construction activities.
 93. STORMWATER DISCHARGE: New buildings, such as food service facilities and/or multi-family residential complexes or subdivisions, shall provide a covered or enclosed area for dumpsters and recycling containers. The area shall be designed to prevent water run-on to the area and runoff from the area. Areas around trash enclosures, recycling areas, and/or food compactor enclosures shall not discharge directly to the storm drain system. Any drains installed in or beneath dumpsters, compactors, and tallow bin areas serving food service facilities shall be connected (to a grease removal device prior to discharging) to the sanitary sewer. The Owner shall contact the local permitting authority and/or sanitary district with jurisdiction for specific connection and discharge requirements.
 94. SILT AND MUD IN PUBLIC RIGHT-OF-WAY: It is the responsibility of Contractor and homeowner to make sure that all dirt tracked into the public right-of-way is cleaned up on a daily basis. Mud, silt, concrete and other construction debris SHALL NOT be washed into the Town's storm drains.
 95. GOOD HOUSEKEEPING: Good housekeeping practices shall be observed at all times during the course of construction. All construction shall be diligently supervised by a person or persons authorized to do so at all times during working hours. The Owner's representative in charge shall be at the job site during all working hours. Failure to maintain the public right-of-way

- parking, construction staging area, materials storage area(s), construction trailer(s), concrete washout(s) and proposed outdoor locations. Please refer to the Town's [Construction Management Plan Guidelines](#) document for additional information.
82. COMMON PRIVATE DRIVEWAY: The common private driveway accessing the Project Site shall be kept open and in a safe, drive-able condition throughout construction and in perpetuity after construction has been completed. If temporary closure is needed, then formal written notice shall be provided at least one (1) week in advance of closure.
 83. FISH AND GAME REQUIREMENTS: A "1603" permit shall be obtained for the California Department of Fish and Game for proposed improvements in or near riparian areas within their jurisdiction. A copy of the permit shall be provided to the Parks and Public Works Department before any grading or building permits are issued/final or prior to the recordation of any maps.
 84. SANTA CLARA VALLEY WATER DISTRICT (SCVWD): Prior to start of any work along or within Santa Clara Valley Water District (SCVWD) right-of-way/assessment, the Owner shall submit construction plans to SCVWD for review and approval and obtain necessary encroachment permits for the proposed work. A copy of approved encroachment permit is required to be submitted to the Engineering Division of the Parks and Public Works Department prior to Grading/Building Permit issuance.
 85. CALTRANS: Prior to the start of any work along or within Caltrans rights-of-way and/or easement, the Owner and/or Applicant shall obtain necessary encroachment permits for the proposed work. A copy of approved encroachment permit is required to be submitted to the Engineering Division of the Parks and Public Works Department.
 86. WVSD (West Valley Sanitation District): Sanitary sewer laterals are televised by West Valley Sanitation District and approved by the Town of Los Gatos before they are used. A Sanitary Sewer Clean-out is required for each property at the property line, within one (1) foot of the property line per West Valley Sanitation District Standard Drawing 3, or at a location specified by the Town.
 87. SANITARY SEWER BACKWATER VALVE: Drainage piping serving fixtures which have flood level rims less than twelve (12) inches (304.8 mm) above the elevation of the next upstream manhole and/or flushing inlet cover at the public or private sewer system serving such drainage piping shall be protected from backflow of sewage by installing an approved type backwater valve. Fixtures above such elevation shall not discharge through the backwater valve, unless first approved by the Building Official. The Town shall not incur any liability or responsibility for damage resulting from a sewer overflow where the property owner or other person has failed to install a backwater valve as defined in the Uniform Plumbing Code adopted by the Town and maintain such device in a functional operation condition. Evidence of West Sanitation District's decision on whether a backwater device is needed shall be provided prior to the issuance of a building permit.
 88. BEST MANAGEMENT PRACTICES (BMPs): The Owner is responsible for ensuring that all contractors are aware of all storm water quality measures and that such measures are implemented. Best Management Practices (BMPs) shall be maintained and be placed for all areas that have been graded or disturbed and for all material, equipment and/or operations that need protection. Removal of BMPs (temporary removal during construction activities) shall be replaced at the end of each working day. Failure to comply with the construction BMP will result in the issuance of correction notices, citations, or stop work orders.
 89. NPDES STORMWATER COMPLIANCE: In the event that, during the production of construction drawings for the plans approved with this application by the Town of Los Gatos, it is determined that the project will create and/or replace more than 2,500 square feet of impervious area, completion of the NPDES Stormwater Compliance Small Projects Worksheet and

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certification, condition, environmental determination, other approval, compliance or failure to comply with applicable laws and regulations, and/or processing methods ("Challenge"). Town may (but is not obligated to) defend such Challenge as Town, in its sole discretion, determines appropriate, all at applicant's sole cost and expense.

Applicant shall bear any and all losses, damages, injuries, liabilities, costs and expenses (including, without limitation, staff time and in-house attorney's fees on a fully-loaded basis, attorney's fees for outside legal counsel, expert witness fees, court costs, and other litigation expenses) arising out of or related to any Challenge ("Costs"), whether incurred by Applicant, Town, or awarded to any third party, and shall pay to the Town upon demand any Costs incurred by the Town. No modification of the Project, any application, permit certification, condition, environmental determination, other approval, change in applicable laws and regulations, or change in such Challenge as Town, in its sole discretion, determines appropriate, all the applicant's sole cost and expense. No modification of the Project, any application, permit certification, condition, environmental determination, other approval, change in applicable laws and regulations, or change in processing methods shall alter the applicant's indemnity obligation.

12. COMPLIANCE MEMORANDUM: A memorandum, in compliance with standard Town practice, shall be prepared and submitted with the building permit detailing how the conditions of approval will be addressed.

Building Division

13. A comprehensive plan review has not been completed for this CUP modification under consideration by the Development Review Committee and compliance with applicable codes have not been verified.
14. PERMITS: No work requiring Building Permits can commence without issuance of any required Building Permits. Building Permit plan review, including review by the Santa Clara County Fire Department and the Parks and Public Works Department, will be part of any required Building Permit application process. No change in the character of occupancy or change to a different group of occupancies as described by the Building Code shall be made without first obtaining a Certificate of Occupancy from the Building Official.
15. ACCESSIBILITY: In addition to all new work complying with the Code for accessibility, when existing buildings are altered or remodeled, they must be made accessible to persons with physical disabilities in accordance with the CBC Section 11B-202, "Existing buildings and facilities".

Additional Agency Review

16. ADDITIONAL REQUIREMENTS: Additional agencies may require conformance review or permits for additional requirements, including but not limited to, Santa Clara County Environmental Health Department, West Valley Sanitation, and West Valley Collection and Recycling.

TOWN OF LOS GATOS
 COMMUNITY DEVELOPMENT DEPARTMENT
 PLANNING DIVISION
 (408) 354-6872 Fax (408) 354-7593

CIVIC CENTER
 110 E. MAIN STREET
 LOS GATOS, CA 95030

August 9, 2023

Gordon Wong, Gkw Architects, Inc.
 710 E. McGilincy Lane, Suite 109
 Campbell, CA 95008
 Via Email

RE: **25 W. Main Street**
 Architecture and Site Application S-22-039
 Variance Application V-22-001
 Conditional Use Permit U-23-002

Requesting Approval for Construction of an Addition to a Contributing Building in the Downtown Historic Commercial District; a Conditional Use Permit for a Restaurant Use with Alcohol Service; Variances for Maximum Floor Area and Reduced Parking; and Site Work Requiring a Grading Permit on Property Zoned C-2.LHP. Located at **25 W. Main Street**. APN 529-01-017. Categorically Exempt Pursuant to CEQA Guidelines Section 15301; Existing Facilities. Architecture and Site Application S-22-039, Variance Application V-22-001, and Conditional Use Permit Application U-23-002. PROPERTY OWNER: Revel Corp. APPLICANT: Gordon Wong, Gkw Architects. PROJECT PLANNER: Erin Walters.

At its meeting of August 9, 2023, the Town of Los Gatos Planning Commission approved the meeting minutes from July 26, 2023, confirming any additional or modified conditions of approval for the project.

The Planning Commission decision is now considered final.

The conditions of approval attached to this letter and are now considered final.

If you have any questions, I can be contacted by email at EWalters@losgatoca.gov.

Sincerely,

Erin Walters
 Associate Planner

cc: Theresa Warren Revel Corp, 675 N. First Street, Suite 550, San Jose, CA 95112 via email

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TOWN OF LOS GATOS
 COMMUNITY DEVELOPMENT DEPARTMENT
 PLANNING DIVISION
 (408) 354-6872 Fax (408) 354-7593

CIVIC CENT
 110 E. MAIN STRI
 LOS GATOS, CA 95030

July 27, 2023

Gordon Wong, Gkw Architects, Inc.
 710 E. McGilincy Lane, Suite 109
 Campbell, CA 95008
 Via Email

RE: **25 W. Main Street**
 Architecture and Site Application S-22-039
 Variance Application V-22-001
 Conditional Use Permit U-23-002

Requesting Approval for Construction of an Addition to a Contributing Building in the Downtown Historic Commercial District; a Conditional Use Permit for a Restaurant Use with Alcohol Service; Variances for Maximum Floor Area and Reduced Parking; and Site Work Requiring a Grading Permit on Property Zoned C-2.LHP. Located at **25 W. Main Street**. APN 529-01-017. Categorically Exempt Pursuant to CEQA Guidelines Section 15301; Existing Facilities. Architecture and Site Application S-22-039, Variance Application V-22-001, and Conditional Use Permit Application U-23-002. PROPERTY OWNER: Revel Corp. APPLICANT: Gordon Wong, Gkw Architects. PROJECT PLANNER: Erin Walters.

At its meeting of July 26, 2023, the Town of Los Gatos Planning Commission approved the above referenced applications subject to the attached draft conditions of approval.

The attached conditions of approval will not be final until the Planning Commission has approved the July 26, 2023, meeting minutes at their next meeting, confirming any additional or modified conditions of approval for the project in the underlined font. You will be notified in writing once the Planning Commission has approved the minutes.

PLEASE NOTE: Pursuant to Section 29.20.275 of the Town Code, this approval may be appealed to the Town Council within 10 days of the date the approval is granted. Therefore, this action for approval should not be considered final, and no permits by the Town will be issued until the appeal period has passed.

If you have any questions, I can be contacted by email at EWalters@losgatoca.gov.

Sincerely,

Erin Walters
 Associate Planner

cc: Theresa Warren Revel Corp, 675 N. First Street, Suite 550, San Jose, CA 95112 via email

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TOWN OF LOS GATOS
 COMMUNITY DEVELOPMENT DEPARTMENT
 PLANNING DIVISION
 (408) 354-6872 Fax (408) 354-7593

CIVIC CENTER
 110 E. MAIN STREET
 LOS GATOS, CA 95030

December 14, 2022

Gordon Wong, Gkw Architects
 710 E. McGilincy Lane, Suite 109
 Campbell, California 95008
 Via email

RE: **25 W. Main Street**
 Architecture and Site Application S-22-039
 Variance Application V-22-011

Requesting Approval for Construction of an Addition to a Contributing Building in the Downtown Historic Commercial District; a Conditional Use Permit for a Restaurant Use with Alcohol Service; Variances for Maximum Floor Area and Reduced Parking; and Site Work Requiring a Grading Permit on Property Zoned C-2.LHP. APN 529-01-017.

Property Owner: Revel Corporation
 Applicant: Gordon Wong, Gkw Architects

On December 14, 2022, the Los Gatos Historic Preservation Committee recommended approval of the above request.

PLEASE NOTE: Pursuant to Sections 29.20.258 and 29.20.260 of the Town Code, this approval may be appealed to the Planning Commission within 10 days of the date the approval is granted. Therefore, this action for approval should not be considered final, and no permits by the Town will be issued until the appeal period has passed.

If you have any questions, I can be contacted by email at EWalters@LosGatosCA.gov.

Sincerely,

Erin Walters
 Associate Planner

cc: Theresa Warren, Revel Corp, 675 N. First Street, Suite 550, San Jose, CA 95112

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TOWN OF LOS GATOS
 COMMUNITY DEVELOPMENT DEPARTMENT
 PLANNING DIVISION
 (408) 354-6872 Fax (408) 354-7593

CIVIC CENTER
 110 E. MAIN STREET
 LOS GATOS, CA 95030

July 24, 2024

Gordon Wong, Gkw Architects
 710 E. McGilincy Lane, Suite 109
 Campbell, California 95008
 Via email

RE: **25 W. Main Street**
 Building Permit Application B24-0065

Requesting Approval for Construction of Exterior Modifications (Roof Vent and Screening) to a Contributing Commercial Building Located in the Downtown Historic Commercial District on property zoned C-2.LHP. APN 529-01-017. Exempt Pursuant to CEQA Section 15301; Existing Facilities.

Property Owner: Revel Corp.
 Applicant: Gordon Wong, Gkw Architects.

On July 24, 2024, the Los Gatos Historic Preservation Committee recommended approval of the request above.

PLEASE NOTE: Pursuant to Sections 29.20.258 and 29.20.260 of the Town Code, this approval may be appealed to the Planning Commission within 10 days of the date the approval is granted. Therefore, this action for approval should not be considered final, and no permits by the Town will be issued until the appeal period has passed.

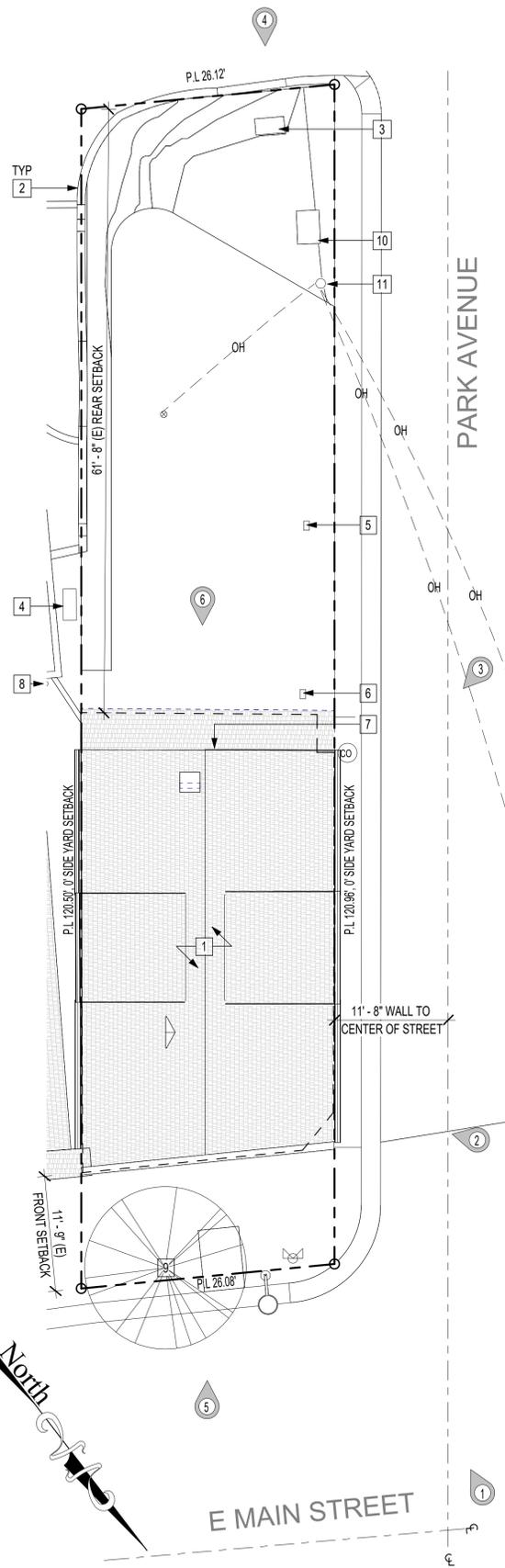
If you have any questions, I can be contacted by phone at (408) 354-6867 or by email at ewalters@losgatoca.gov.

Sincerely,

Erin Walters
 Associate Planner

cc: Theresa Warren, Revel Corp, 675 N. First Street, Suite 550, San Jose, CA 95112

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KEYNOTES, SITE PLAN, EXISTING

- 1 BUILDING TO BE RENOVATED PER COMMERCIAL DESIGN GUIDELINES
- 2 RETAINING WALL
- 3 METAL BOX TO BE RELOCATED
- 4 MINI SPLIT CONDENSER, ADJACENT NEIGHBOR'S
- 5 WATER METER TO BE RESURFACED
- 6 GAS METER TO BE REPLACED / RELOCATED
- 7 ELECTRICAL METER TO BE REPLACED / RELOCATED
- 8 STORM WATER DRAINAGE TO REMAIN
- 9 TREE TO BE PROTECTED PER CITY CODE
- 10 PG&E BOX/ ELECTRICAL VAULT TO REMAIN
- 11 UTILITY POLE TO REMAIN

NOTES

- GENERAL CONTRACTOR TO VERIFY EXISTING SITE CONDITIONS, STRUCTURES, DIMENSIONS
- ALL ELEMENTS IN BLUE ARE TO BE DEMOLISHED

LEGEND

- ⊗ TEATHER TO REMAIN
- ⊙ CLEAN OUT RELOCATED, SEE A000 AND CIVIL
- ⊗ HYDRANT
- ⊗ WATER VALVE

LINE LEGEND

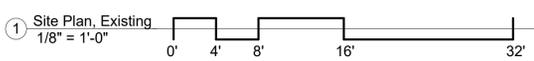
- SETBACK LINE
- PROPERTY LINE
- BUILDING OUTLINE
- OH --- OVERHEAD LINE

TREE PROTECTION NOTES:

SEC. 29.10.1005. - PROTECTION OF TREES DURING CONSTRUCTION.
 (A) PROTECTIVE TREE FENCING SHALL SPECIFY THE FOLLOWING:
 1. SIZE AND MATERIALS. SIX (6) FOOT HIGH CHAIN LINK FENCING, MOUNTED ON TWO-INCH DIAMETER GALVANIZED IRON POSTS, SHALL BE DRIVEN INTO THE GROUND TO A DEPTH OF AT LEAST TWO (2) FEET AT NO MORE THAN TEN-FOOT SPACING. FOR PAVING AREA THAT WILL NOT BE DEMOLISHED AND WHEN STIPULATED IN A TREE PRESERVATION PLAN, POSTS MAY BE SUPPORTED BY A CONCRETE BASE.
 2. AREA TYPE TO BE FENCED. TYPE I: ENCLOSURE WITH CHAIN LINK FENCING OF EITHER THE ENTIRE DRIPLINE AREA OR AT THE TREE PROTECTION ZONE (TPZ), WHEN SPECIFIED BY A CERTIFIED OR CONSULTING ARBORIST. TYPE II: ENCLOSURE FOR STREET TREES LOCATED IN A PLANTER STRIP. CHAIN LINK FENCE AROUND THE ENTIRE PLANTER STRIP TO THE OUTER BRANCHES. TYPE III: PROTECTION FOR A TREE LOCATED IN A SMALL PLANTER CUTOUT ONLY (SUCH AS DOWNTOWN); ORANGE PLASTIC FENCING SHALL BE WRAPPED AROUND THE TRUNK FROM THE GROUND TO THE FIRST BRANCH WITH TWO-INCH WOODEN BOARDS BOUND SECURELY ON THE OUTSIDE. CAUTION SHALL BE USED TO AVOID DAMAGING ANY BARK OR BRANCHES.
 3. DURATION OF TYPE I, II, III FENCING. FENCING SHALL BE ERRECTED BEFORE DEMOLITION, GRADING OR CONSTRUCTION PERMITS ARE ISSUED AND REMAIN IN PLACE UNTIL THE WORK IS COMPLETED. CONTRACTOR SHALL FIRST OBTAIN THE APPROVAL OF THE PROJECT ARBORIST ON RECORD PRIOR TO REMOVING A TREE PROTECTION FENCE.
 4. WARNING SIGN. EACH TREE FENCE SHALL HAVE PROMINENTLY DISPLAYED AN EIGHT AND ONE-HALF-INCH BY ELEVEN-INCH SIGN STATING: "WARNING—TREE PROTECTION ZONE—THIS FENCE SHALL NOT BE REMOVED AND IS SUBJECT TO PENALTY ACCORDING TO TOWN CODE 29.10.1025."

(B) ALL PERSONS, SHALL COMPLY WITH THE FOLLOWING PRECAUTIONS:
 1. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, INSTALL THE FENCE AT THE DRIPLINE, OR TREE PROTECTION ZONE (TPZ) WHEN SPECIFIED IN AN APPROVED ARBORIST REPORT, AROUND ANY TREE AND/OR VEGETATION TO BE RETAINED WHICH COULD BE AFFECTED BY THE CONSTRUCTION AND PROHIBIT ANY STORAGE OF CONSTRUCTION MATERIALS OR OTHER MATERIALS, EQUIPMENT CLEANING, OR PARKING OF VEHICLES WITHIN THE TPZ. THE DRIPLINE SHALL NOT BE ALTERED IN ANY WAY SO AS TO INCREASE THE ENCROACHMENT OF THE CONSTRUCTION.
 2. PROHIBIT ALL CONSTRUCTION ACTIVITIES WITHIN THE TPZ, INCLUDING BUT NOT LIMITED TO: EXCAVATION, GRADING, DRAINAGE AND LEVELING WITHIN THE DRIPLINE OF THE TREE UNLESS APPROVED BY THE DIRECTOR.
 3. PROHIBIT DISPOSAL OR DEPOSITING OF OIL, GASOLINE, CHEMICALS OR OTHER HARMFUL MATERIALS WITHIN THE DRIPLINE OF OR IN DRAINAGE CHANNELS, SWALES OR AREAS THAT MAY LEAD TO THE DRIPLINE OF A PROTECTED TREE.
 4. PROHIBIT THE ATTACHMENT OF WIRES, SIGNS OR ROPES TO ANY PROTECTED TREE.
 5. DESIGN UTILITY SERVICES AND IRRIGATION LINES TO BE LOCATED OUTSIDE OF THE DRIPLINE WHEN FEASIBLE.
 6. RETAIN THE SERVICES OF A CERTIFIED OR CONSULTING ARBORIST WHO SHALL SERVE AS THE PROJECT ARBORIST FOR PERIODIC MONITORING OF THE PROJECT SITE AND THE HEALTH OF THOSE TREES TO BE PRESERVED. THE PROJECT ARBORIST SHALL BE PRESENT WHENEVER ACTIVITIES OCCUR WHICH MAY POSE A POTENTIAL THREAT TO THE HEALTH OF THE TREES TO BE PRESERVED AND SHALL DOCUMENT ALL SITE VISITS.
 7. THE DIRECTOR AND PROJECT ARBORIST SHALL BE NOTIFIED OF ANY DAMAGE THAT OCCURS TO A PROTECTED TREE DURING CONSTRUCTION SO THAT PROPER TREATMENT MAY BE ADMINISTERED.

(ORD. NO. 2240, § 11(F)(H, B), 6-2-15)



PUBLIC WORKS & PLAN SITE NOTES

- CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL AND INSURING AREA ADJACENT TO WORK IS LEFT IN A CLEAN CONDITION.
- UTILIZE BEST MANAGEMENT PRACTICES (BMP'S), AS REQUIRED BY THE STATE WATER RESOURCES BOARD, FOR ANY ACTIVITY, WHICH DISTURBS SOIL.
- CONTRACTOR IS RESPONSIBLE FOR ALL TEST, INSPECTIONS AND PROCEDURAL REQUIREMENTS PER CITY OF LOS GATOS.
- OPERABLE SMOKE DETECTORS MUST BE IN PLACE PRIOR TO RE-OCCUPY DWELLINGS
- PLUMBING & ELECTRICAL SURVEY REQUIRED FOR METER RELEASE.
- ADDITIONS, ALTERATIONS OR REPAIRS SHALL CONFORM TO ANY BUILDING OR STRUCTURE WITHOUT REQUIRING THE EXISTING BUILDING OR STRUCTURE TO COMPLY WITH ALL THE REQUIREMENTS OF THE UBC. PROVIDED THE ADDITIONAL ALTERATION OR REPAIR CONFORMS TO THAT REQUIRED FOR NEW BUILDING OR STRUCTURE PER UBC SECTION 3403.2.
- CONTRACTOR TO VERIFY SIZE & LOCATION OF ALL UTILITY CONNECTIONS. CONTRACTOR TO PROVIDE ALL NEW UTILITY CONNECTIONS AND/ OR UPGRADE EXISTING AS REQUIRED. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS AS REQUIRED BY GOVERNING AGENCIES.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY DEMOLITION PERMITS AND APPROVALS INCLUDING ASBESTOS ABATEMENT AS PART OF THE BASE BID
- PER CGBSC 301.1.1 - RESIDENTIAL BUILDINGS UNDERGOING PERMITTED ALTERATIONS. ADDITIONS OR IMPROVEMENTS SHALL REPLACE NONCOMPLIANT PLUMBING FIXTURES WITH WATER-CONSERVING PLUMBING FIXTURES. PLUMBING FIXTURES REPLACEMENT IS REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF FINAL COMPLETION, CERTIFICATE OF OCCUPANCY OR FINAL PERMIT APPROVAL BY THE LOCAL BUILDING DEPARTMENT.
- PER CGBSC 301.1.1 - WHERE ADDITION OR ALTERATION INCREASED THE BUILDING'S CONDITIONED AREA, VOLUME, OR SIZE, THE REQUIREMENTS OF CALGreen CHAPTER 5 SHALL APPLY ONLY TO AND WITHIN THE SPECIFIC AREA OF THE ADDITION OR ALTERATION.

APPLICABLE CODE

- 2022 CALIFORNIA BUILDING CODES PART 1, 6, 10 & 11
- 2022 CALIFORNIA BUILDING CODES PART 2, 2.5, 3-5, 8-9, 12
- 2022 CALIFORNIA RESIDENTIAL CODE PART 2.5
- 2022 CALIFORNIA ELECTRICAL CODE
- 2022 CALIFORNIA MECHANICAL CODE
- 2022 CALIFORNIA PLUMBING CODE
- 2022 CALIFORNIA ENERGY CODE
- 2022 CALIFORNIA FIRE CODE
- 2022 CALIFORNIA GREEN BUILDING CODES
- ALL OTHER STATE AND LOCAL LAWS, ORDINANCES AND REGULATIONS
- TOWN OF LOS GATOS MUNICIPAL CODE
- 2022 CALIFORNIA HISTORIC BUILDING CODE
- SANTA CLARA COUNTY FIRE DEPARTMENT (SCCFD) SPECIFICATIONS

Site Plan, Existing & Exterior Photos



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Revision Schedule

Number	Description	Date
2	Planning	2023.03.17
3	Building	2024.06.30

Site Plan, Existing & Exterior Photos

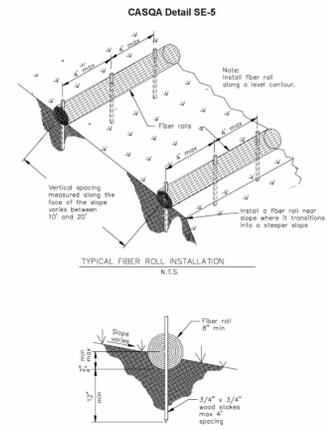
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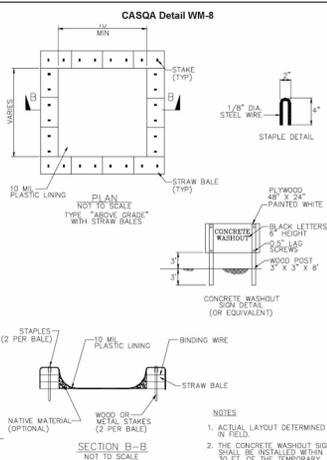
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STANDARD BEST MANAGEMENT PRACTICE NOTES

- SOLID AND DEMOLITION WASTE MANAGEMENT:** PROVIDE DESIGNATED WASTE COLLECTION AREAS AND CONTAINERS ON SITE AWAY FROM STREETS, GUTTERS, STORM DRAINS, AND WATERWAYS, AND ARRANGE FOR REGULAR DISPOSAL. WASTE CONTAINERS MUST BE WATERTIGHT AND COVERED AT ALL TIMES EXCEPT WHEN WASTE IS DEPOSITED. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGE C3) OR LATEST.
- HAZARDOUS WASTE MANAGEMENT:** PROVIDE PROPER HANDLING AND DISPOSAL OF HAZARDOUS WASTES BY A LICENSED HAZARDOUS WASTE MATERIAL HAULER. HAZARDOUS WASTES SHALL BE STORED AND PROPERLY LABELED IN SEALED CONTAINERS CONSTRUCTED OF SUITABLE MATERIALS. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGES C-5 TO C-6) OR LATEST.
- SPILL PREVENTION AND CONTROL:** PROVIDE PROPER STORAGE AREAS FOR LIQUID AND SOLID MATERIALS, INCLUDING CHEMICALS AND HAZARDOUS SUBSTANCES, AWAY FROM STREETS, GUTTERS, STORM DRAINS, AND WATERWAYS. SPILL CONTROL MATERIALS MUST BE KEPT ON SITE WHERE READILY ACCESSIBLE. SPILLS MUST BE CLEANED UP IMMEDIATELY AND CONTAMINATED SOIL DISPOSED PROPERLY. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGES C-7 TO C-8, C-13 TO C-14) OR LATEST.
- VEHICLE AND CONSTRUCTION EQUIPMENT SERVICE AND STORAGE:** AN AREA SHALL BE DESIGNATED FOR THE MAINTENANCE, WHERE ONSITE MAINTENANCE IS REQUIRED, AND STORAGE OF EQUIPMENT THAT IS PROTECTED FROM STORMWATER RUN-ON AND RUNOFF. MEASURES SHALL BE PROVIDED TO CAPTURE ANY WASTE OILS, LUBRICANTS, OR OTHER POTENTIAL POLLUTANTS AND THESE WASTES SHALL BE PROPERLY DISPOSED OF OFF SITE. FUELING AND MAJOR MAINTENANCE/REPAIR, AND WASHING SHALL BE CONDUCTED OFF-SITE WHENEVER FEASIBLE. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGE C9) OR LATEST.
- MATERIAL DELIVERY, HANDLING AND STORAGE:** IN GENERAL, MATERIALS SHOULD NOT BE STOCKPILED ON SITE. WHERE TEMPORARY STOCKPILES ARE NECESSARY AND APPROVED BY THE COUNTY, THEY SHALL BE COVERED WITH SECURED PLASTIC SHEETING OR TARP AND LOCATED IN DESIGNATED AREAS NEAR CONSTRUCTION ENTRANCES AND AWAY FROM DRAINAGE PATHS AND WATERWAYS. BARRIERS SHALL BE PROVIDED AROUND STORAGE AREAS WHERE MATERIALS ARE POTENTIALLY IN CONTACT WITH RUNOFF. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGES C-11 TO C-12) OR LATEST.
- HANDLING AND DISPOSAL OF CONCRETE AND CEMENT:** WHEN CONCRETE TRUCKS AND EQUIPMENT ARE WASHED ON-SITE, CONCRETE WASTEWATER SHALL BE CONTAINED IN DESIGNATED CONTAINERS OR IN A TEMPORARY LINED AND WATERTIGHT PIT WHERE WASTED CONCRETE CAN HARDEN FOR LATER REMOVAL. IF POSSIBLE HAVE CONCRETE CONTRACTOR REMOVE CONCRETE WASH WATER FROM SITE. IN NO CASE SHALL FRESH CONCRETE BE WASHED INTO THE ROAD RIGHT-OF-WAY. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGES C-15 TO C-16) OR LATEST.
- PAVEMENT CONSTRUCTION MANAGEMENT:** PREVENT OR REDUCE THE DISCHARGE OF POLLUTANTS FROM PAVING OPERATIONS, USING MEASURES TO PREVENT RUN-ON AND RUNOFF POLLUTION AND PROPERLY DISPOSING OF WASTES. AVOID PAVING IN THE WET SEASON AND RESCHEDULE PAVING WHEN RAIN IS IN THE FORECAST. RESIDUE FROM SAW-CUTTING SHALL BE VACUUMED FOR PROPER DISPOSAL. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGES C-17 TO C-18) OR LATEST.
- CONTAMINATED SOIL AND WATER MANAGEMENT:** INSPECTIONS TO IDENTIFY CONTAMINATED SOILS SHOULD OCCUR PRIOR TO CONSTRUCTION AND AT REGULAR INTERVALS DURING CONSTRUCTION. REMEDIATING CONTAMINATED SOIL SHOULD OCCUR PROMPTLY AFTER IDENTIFICATION AND BE SPECIFIC TO THE CONTAMINANT IDENTIFIED, WHICH MAY INCLUDE HAZARDOUS WASTE REMOVAL. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGES C-19 TO C-20) OR LATEST.
- SANITARY/SEPTIC WATER MANAGEMENT:** TEMPORARY SANITARY FACILITIES SHOULD BE LOCATED AWAY FROM DRAINAGE PATHS, WATERWAYS, AND TRAFFIC AREAS. ONLY LICENSED SANITARY AND SEPTIC WASTE HAULERS SHOULD BE USED. SECONDARY CONTAINMENT SHOULD BE PROVIDED FOR ALL SANITARY FACILITIES. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGE C-21) OR LATEST.
- INSPECTION & MAINTENANCE:** AREAS OF MATERIAL AND EQUIPMENT STORAGE SITES AND TEMPORARY SANITARY FACILITIES MUST BE INSPECTED WEEKLY. PROBLEM AREAS SHALL BE IDENTIFIED AND APPROPRIATE ADDITIONAL AND/OR ALTERNATIVE CONTROL MEASURES IMPLEMENTED IMMEDIATELY, WITHIN 24 HOURS OF THE PROBLEM BEING IDENTIFIED.



2 Fiber Rolls
1/4" = 1'-0"



3 Concrete Waste Management
3/16" = 1'-0"

STANDARD EROSION CONTROL NOTES

1. SEDIMENT CONTROL MANAGEMENT

- TRACKING PREVENTION & CLEAN UP:** ACTIVITIES SHALL BE ORGANIZED AND MEASURES TAKEN AS NEEDED TO PREVENT OR MINIMIZE TRACKING OF SOIL ONTO THE PUBLIC STREET SYSTEM. A GRAVEL OR PROPRIETARY DEVICE CONSTRUCTION ENTRANCE/EXIT IS REQUIRED FOR ALL SITES. CLEAN UP OF TRACKED MATERIAL SHALL BE PROVIDED BY MEANS OF A STREET SWEEPER PRIOR TO AN APPROACHING RAIN EVENT, OR AT LEAST ONCE AT THE END OF EACH WORKDAY THAT MATERIAL IS TRACKED, OR, MORE FREQUENTLY AS DETERMINED BY THE COUNTY INSPECTOR. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGES B-31 TO B-33) OR LATEST.
- STORM DRAIN INLET AND CATCH BASIN INLET PROTECTION:** ALL INLETS WITHIN THE VICINITY OF THE PROJECT AND WITHIN THE PROJECT LIMITS SHALL BE PROTECTED WITH GRAVEL BAGS PLACED AROUND INLETS OR OTHER INLET PROTECTION. AT LOCATIONS WHERE EXPOSED SOILS ARE PRESENT, STAKED FIBER ROLLS OR STAKED SILT FENCES CAN BE USED. INLET FILTERS ARE NOT ALLOWED DUE TO CLOGGING AND SUBSEQUENT FLOODING. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGES B-49 TO B-51) OR LATEST.
- STORM WATER RUNOFF:** NO STORM WATER RUNOFF SHALL BE ALLOWED TO DRAIN IN TO THE EXISTING AND/OR PROPOSED UNDERGROUND STORM DRAIN SYSTEM OR OTHER ABOVE GROUND WATERCOURSES UNTIL APPROPRIATE EROSION CONTROL MEASURES ARE FULLY INSTALLED.
- DUST CONTROL:** THE CONTRACTOR SHALL PROVIDE DUST CONTROL IN GRADED AREAS AS REQUIRED BY PROVIDING WET SUPPRESSION OR CHEMICAL STABILIZATION OF EXPOSED SOILS, PROVIDING FOR RAPID CLEAN UP OF SEDIMENTS DEPOSITED ON PAVED ROADS, FURNISHING CONSTRUCTION ROAD ENTRANCES AND VEHICLE WASH DOWN AREAS, AND LIMITING THE AMOUNT OF AREAS DISTURBED BY CLEARING AND EARTH MOVING OPERATIONS BY SCHEDULING THESE ACTIVITIES IN PHASES.
- STOCKPILING:** EXCAVATED SOILS SHALL NOT BE PLACED IN STREETS OR ON PAVED AREAS. BORROW AND TEMPORARY STOCKPILES SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES (TARPS, STRAW BALES, SILT FENCES, ECT.) TO ENSURE SILT DOES NOT LEAVE THE SITE OR ENTER THE STORM DRAIN SYSTEM OR NEIGHBORING WATERCOURSE.
- 2. EROSION CONTROL:** DURING THE RAINY SEASON, ALL DISTURBED AREAS MUST INCLUDE AN EFFECTIVE COMBINATION OF EROSION AND SEDIMENT CONTROL. IT IS REQUIRED THAT TEMPORARY EROSION CONTROL MEASURES ARE APPLIED TO ALL DISTURBED SOIL AREAS PRIOR TO A RAIN EVENT. DURING THE NON-RAINY SEASON, EROSION CONTROL MEASURES MUST BE APPLIED SUFFICIENT TO CONTROL WIND EROSION AT THE SITE.
- 3. INSPECTION & MAINTENANCE:** DISTURBED AREAS OF THE PROJECT'S SITE, LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE, AND ALL EROSION AND SEDIMENT CONTROLS THAT ARE IDENTIFIED AS PART OF THE EROSION CONTROL PLANS MUST BE INSPECTED BY THE CONTRACTOR BEFORE, DURING, AND AFTER STORM EVENTS, AND AT LEAST WEEKLY DURING SEASONAL WET PERIODS. PROBLEM AREAS SHALL BE IDENTIFIED AND APPROPRIATE ADDITIONAL AND/OR ALTERNATIVE CONTROL MEASURES IMPLEMENTED IMMEDIATELY, WITHIN 24 HOURS OF THE PROBLEM BEING IDENTIFIED.
- 4. PROJECT COMPLETION:** PRIOR TO PROJECT COMPLETION AND SIGNOFF BY THE COUNTY INSPECTOR, ALL DISTURBED AREAS SHALL BE RESEEDDED, PLANTED, OR LANDSCAPED TO MINIMIZE THE POTENTIAL FOR EROSION ON THE SUBJECT SITE.
- 5. IT SHALL BE THE OWNER'S/CONTRACTOR'S RESPONSIBILITY TO MAINTAIN CONTROL OF THE ENTIRE CONSTRUCTION OPERATION AND TO KEEP THE ENTIRE SITE IN COMPLIANCE WITH THE EROSION CONTROL PLAN.**
- 6. EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES SHALL BE OPERABLE YEAR ROUND OR UNTIL VEGETATION IS FULLY ESTABLISHED ON LANDSCAPED SURFACES.**

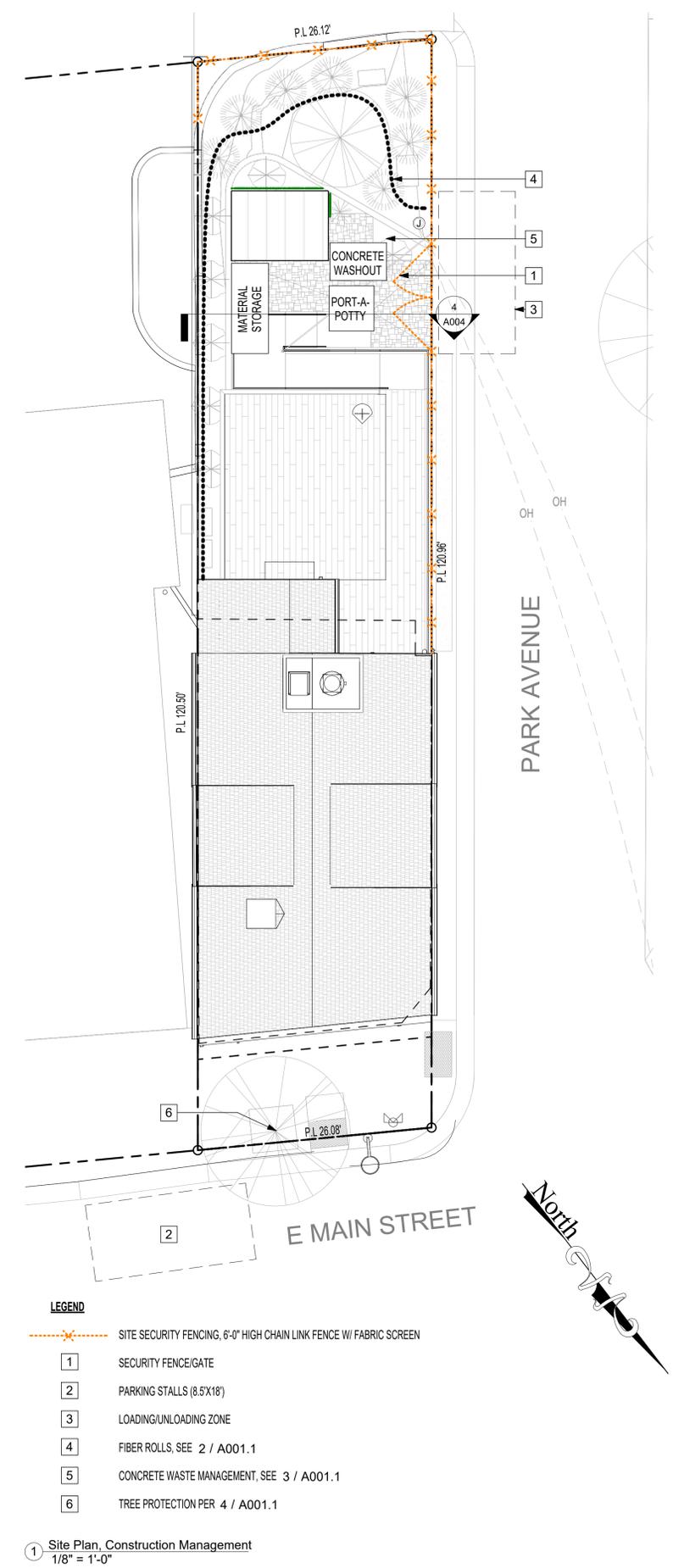
4 Tree Protection notes
1/8" = 1'-0"

TREE PROTECTION FENCING REQUIREMENTS:

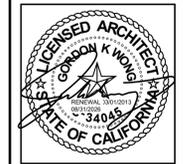
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- AREA TYPE TO BE FENCED.
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 - TYPE II: ENCLOSURE FOR STREET TREES LOCATED IN A PLANTER STRIP. CHAIN LINK FENCE AROUND THE ENTIRE PLANTER STRIP TO THE OUTER BRANCHES.
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- POSTED EIGHT AND ONE-HALF-INCH BY ELEVEN-INCH SIGN ON EACH TREE FENCE STATING: "WARNING - TREE PROTECTION ZONE - THIS FENCE SHALL NOT BE REMOVED AND IS SUBJECT TO PENALTY ACCORDING TO TOWN CODE 29.10.1025"
- LABELLED PHOTOGRAPHS OF THE INSTALLED FENCING SHALL BE EMAILED TO THE PROJECT PLANNER PRIOR TO ISSUANCE OF PERMITS. TREE PROTECTION FENCING IS REQUIRED TO REMAIN IN PLACE THROUGHOUT CONSTRUCTION. ANY PROTECTED TREE ON-SITE WILL REQUIRE REPLACEMENT ACCORDING TO ITS APPRAISED VALUE IF IT IS DAMAGED BEYOND REPAIR AS A RESULT OF CONSTRUCTION.

TREE PROTECTION NOTES

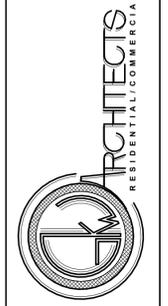
- PRUNING OR ROOT PRUNING MUST BE SUPERVISED BY AN ISA-CERTIFIED ARBORIST OR AN ASCA-REGISTERED ARBORIST. SEE SECTION 29.10.1010 OF THE TOWN CODE FOR SPECIFICATIONS TO DETERMINE IF A PRUNING PERMIT IS REQUIRED.
- 100% OF TREES, STUMPS, ROCKS AND ASSOCIATED VEGETATION AND SOILS RESULTING PRIMARILY FROM LAND CLEARING SHALL BE REUSED OR RECYCLED. CGBSC SECTION 5.408.3



1 Site Plan, Construction Management
1/8" = 1'-0"



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25 West Main St.
Los Gatos, CA, 95030

Revision Schedule		
Number	Description	Date
1	Building	2024.08.30

Construction Management Plan

A001.1

SCALE As indicated

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Construction Management Plan

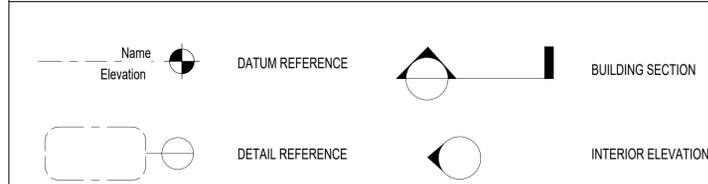
ABBREVIATIONS

A	ABV ABOVE AC ASPHALT CONCRETE AD AREA DRAIN ADDL ADDITIONAL AFF ABOVE FINISH FLOOR ASPH ASPHALT	N	(N) NEW N NORTH NIC NOT IN CONTRACT NOM NOMINAL NP NO PARKING NR NON-RATED NTS NOT TO SCALE
B	BITUM BITUMINOUS BKG BACKING BLDG BUILDING BM BEAM BR BACKER ROD BUR BUILT-UP-ROOF BDR BEDROOM BW BOTTOM OF WALL	O	OA OVERALL OC ON CENTER OD OUTSIDE DIAMETER/ DIMENSION OFCI OWNER FURNISHED CONTRACTOR INSTALLED OFOI OWNER FURNISHED OWNER INSTALL
C	CAB CABINET CB CATCH BASIN CEM CEMENT CF CUBIC FEET CJ CONTROL JOINT CL CLOSET CTL CENTERLINE CLG CEILING CONC CONCRETE CPT CARPET	P	(P) PROPOSED PENN PENETRATION PERF PERFORATED PERP PERPENDICULAR PL PLATE PL PROPERTY LINE PLAS PLASTER PLBG PLUMBING PLYWD PLYWOOD PNC PANEL POC POINT OF CONNECTION PP PERMEABLE PAVERS PPREFAB PREFABRICATED PSF POUNDS PER SQUARE FOOT PSI POUNDS PER SQUARE INCH PTD PAINTED PTR PRESSURE TREATED PTRWDQ PRESSURE TREATED WOOD
D	D DECK DR DRAIN	Q	QTY QUANTITY
E	(E) EXISTING E EAST ELEC ELECTRICAL EP ELECTRICAL PANEL EXT EXTERIOR	R	R REVEAL OR RISER RAD RADIUS RCP REINFORCED CONCRETE PIPE RD ROOF DRAIN REF REFERENCE REFL REFLECTED REFR REFRIGERATOR RET RETAINING OR RETARDANT REG REGISTER RO ROUGH OPENING
F	FDN FOUNDATION FH FIRE HYDRANT FIN FINISH FF FINISH FLOOR FL FLOW LINE FLUOR FLUORESCENT FOC FACE OF CONCRETE FOF FACE OF FINISH FOS FACE OF STUD FR FIRE RATED FS FLOOR SINK FSL FIRE SPRINKLER FTG FOOTING FURR FURRING	S	SCD SEE CIVIL DRAWINGS SCHD SCHEDULE SD STORM DRAIN SECT SECTION SED SEE ELECTRICAL DRAWINGS SF SQUARE FOOT OR FEET SHR SHOWER SHT SHEET SHTG SHEATHING SIM SIMILAR SJ SEISMIC JOINT SL SEALANT SLD SEE LANDSCAPE DRAWINGS SM SHEET METAL SMD SEE MECHANICAL DRAWINGS SOFFIT SOFFIT SOG SLAB ON GRADE SPD SEE PLUMBING DRAWINGS SPECIS SPECIFICATION SQ SQUARE SS SANITARY SEWER SSD SEE STRUCTURAL DRAWINGS STC SOUND TRANSMISSION COEFFICIENT STD STANDARD STL STEEL STOR STORAGE STRL STRUCTURAL SY SQUARE YARD
G	GALV GALVANIZED GC GENERAL CONTRACTOR GL GLASS GND GROUND GWB GYPSUM WALL BOARD GYP GYPSUM	T	T&B TOP AND BOTTOM T&G TONGUE AND GROOVE TC TOP OF CURB TOC TOP OF CONCRETE TOP TOP OF PAVING TOS TOP OF STEEL TRD TREAD TW TOP OF WALL
H	HDBD HARDBOARD HDR HEADER HDWR HARDWARE HDWD HARDWOOD HTR HEATER HVAC HEATING, VENT. & A.C.	U	UL UNDERWRITERS LABORATORIES UTIL UTILITIES
I	IN INCH INCAND INCANDESCENT INSUL INSULATION INT INTERIOR INV INVERT	V	VCP VITREOUS CLAY PIPE VERT VERTICAL VTR VENT THROUGH ROOF
J	JST JOIST JT JOINT	W	W WEST OR WIDTH WC WATER CLOSET WD WOOD WDW WINDOW W/O WITHOUT WP WATER PROOF WPT WORKING POINT WR WATER RESISTANT
K	K KIPS KIT KITCHEN KP KICK PLATE		
L	LOC LOCATION LT LIGHT		
M	MB MACHINE BOLT MDF MEDIUM DENSITY FIBERBOARD MECH MECHANICAL MEMB MEMBRANE MET METAL MH MANHOLE MSC MISCELLANEOUS MTD MOUNTED MTL METAL		

GENERAL NOTES

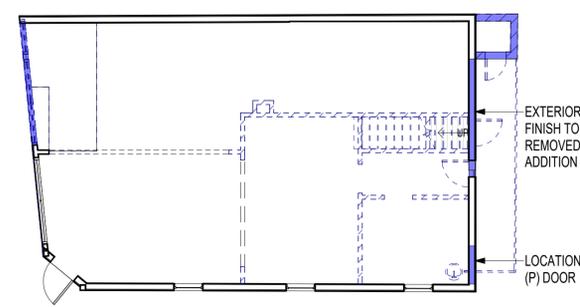
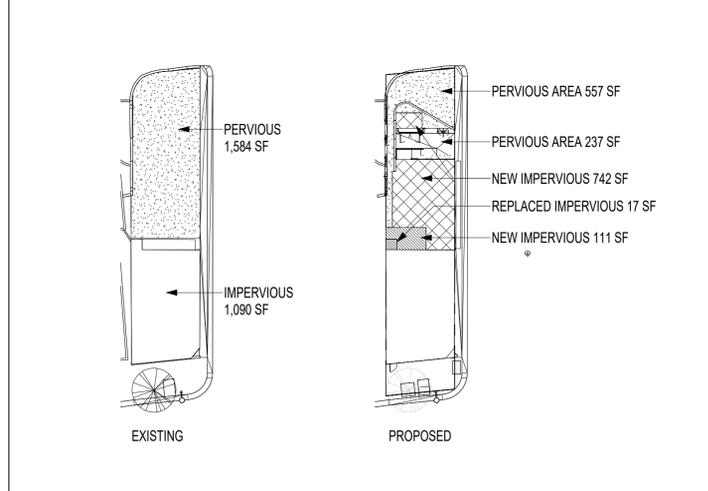
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND SUBCONTRACTORS TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS INDICATED ON THESE DRAWINGS AND MAKE KNOWN ANY DISCREPANCIES PRIOR TO COMMENCING THEIR WORK.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS INCLUDING BUT NOT LIMITED TO NATIONAL, CITY, STATE, LOCAL CODES AND ORDINANCES WHICH MAY BE IN EFFECT. ALL MATERIALS, INSTALLATION PROCEDURES AND PLANS SHALL BE APPROVED BY ALL APPLICABLE CODE ENFORCEMENT AUTHORITIES HAVING JURISDICTION, AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN AND PAY FOR ALL NECESSARY PERMITS AND APPROVALS FOR THE WORK.
- THESE DRAWINGS ARE INTENDED FOR USE IN A NEGOTIATED CONSTRUCTION CONTRACT AND THEREFORE, MAY NOT SPECIFICALLY DETAIL OR SPECIFY MATERIAL AND / OR MANUFACTURERS. THE CONTRACTOR SHALL PROVIDE ALL SAMPLES AND OR CUTS AS REQUIRED TO ASSIST OWNER OR HIS AGENT IN MAKING MATERIAL SELECTIONS. FOR THE PURPOSE OF ESTIMATING, THE CONTRACTORS SHALL USE THE MATERIALS SELECTED BY THE OWNER, OR IN ABSENCE OF SAME, SHALL PROVIDE AN ALLOWANCE AMOUNT AND SO CONDITION ANY COST ESTIMATE. ALL MATERIALS SPECIFIED IN THESE DRAWINGS SHALL BE INCLUDED IN SUCH ESTIMATE.
- NO GUARANTEE OF QUALITY OF CONSTRUCTION IS IMPLIED OR INTENDED BY THE ARCHITECTURAL DOCUMENTS, AND THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY OR ALL CONSTRUCTION DEFICIENCIES.
- THE GENERAL CONTRACTOR SHALL HOLD HARMLESS, INDEMNIFY AND DEFEND THE ARCHITECT FROM ANY ACTION INITIATED BY THE OWNER OR ANY SUBSEQUENT OWNERS FOR CONSTRUCTION DEFICIENCIES, MODIFICATIONS OR SUCH CONDITIONS WHICH MAY BE BEYOND THE CONTROL OF THE ARCHITECT.
- ALL WORK SHALL COMPLY WITH AND RECORD THE CONDITIONS OF ALL EXISTING SITE IMPROVEMENTS INCLUDING PAVED AREAS. THE GENERAL CONTRACTOR SHALL MAKE KNOWN ALL EXISTING DAMAGED OR DISREPAIR ITEMS AND CONDITIONS THAT MAY WORSEN DUE TO THE CONSTRUCTION. ALL ITEMS IN GOOD CONDITION SHALL BE MAINTAIN IN THEIR PRESENT CONDITION AND ANY REPAIR OR DAMAGE WHICH OCCURS DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR SHALL THOROUGHLY EXAMINE THE SITE AND SATISFY HIM OR HERSELF AS OF THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED. THE CONTRACTOR SHALL VERIFY AT THE SITE ALL MEASUREMENTS AFFECTING HIS OR HER WORK AND SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF SAME. NO EXTRA COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR THE EXPENSES DUE TO HIS OR HER NEGLIGENCE TO EXAMINE OR FAILURE TO DISCOVER CONDITIONS WHICH MAY AFFECT HIS OR HER WORK.
- ALL WORK SHALL BE COORDINATED WITH THE STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, ARCHITECTURAL, FIRE PROTECTION AND LIGHTING DRAWINGS APPLYING TO THIS PROJECT PRIOR TO SUBMITTING SHOP DRAWINGS FOR FABRICATION APPROVAL.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH ALL INVOLVED PARTIES AND PREPARE SHOP DRAWINGS.
- ALL NEW INTERIOR PAINT COLOR, FLOOR, WALLS AND CEILING FINISHES SHALL BE SELECTED BY OWNER AT THE TIME WHEN IT IS NECESSARY FOR THE COMPLETION OF THE PROJECT.
- THE CONTRACTOR SHALL PERFORM ALL CUTTING AND PATCHING REQUIRED TO COMPLETE THE WORK OR TO MAKE ITS PARTS FIT TOGETHER PROPERLY WITHOUT COMPROMISING THE QUALITY OF THE WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATE BRACING, SHORING, AND PROTECTING ALL WORK DURING CONSTRUCTION, AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTIONS, AND OFF ALIGNMENTS ACCORDING TO CODES AND STANDARDS OF GOOD PRACTICE.
- ALL PUBLIC IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE LATEST ADOPTED CITY STANDARDS. THE STORING OF GOOD AND MATERIALS ON SIDEWALK AND/ OR STREET SHALL NOT BE ALLOWED UNLESS THE CONTRACTOR HAS APPLIED AND SECURED A SPECIAL PERMIT WHICH ALLOW SUCH STORAGE TO BE PLACED.
- OWNERSHIP OF DRAWINGS: THESE DRAWINGS ARE THE PROPERTY OF GWK ARCHITECTS - GORDON WONG, ARCHITECT. THE DRAWINGS SHALL NOT BE USED FOR ANY OTHER PURPOSE EXCEPT AS APPROVED BY THE ARCHITECT.
- LIMITATION OF THE WORK: THE LIMITS OF THE WORK ARE ESTABLISHED BY THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING TRADESMEN WITH THESE LIMITS.
- BEFORE ISSUANCE OF THE BUILDING PERMIT A SANITARY SEWER HOOKUP PERMIT (OR CLEARANCE LETTER) MUST BE OBTAINED AND A COPY OF THE PERMIT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT.

GRAPHIC SYMBOLS

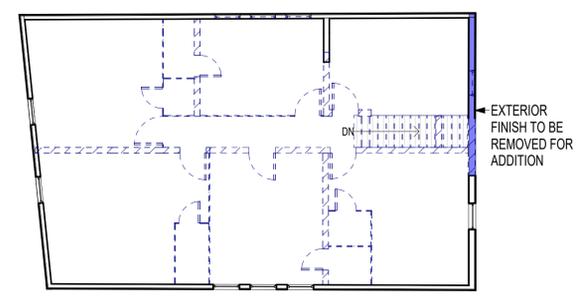


IMPERVIOUS/PERVIOUS SITE CALCULATION

TOTAL SITE AREA = 2,871 SF	TOTAL SITE AREA DISTURBED (SF) = 1,674 SF			
	EXISTING AREA	PROPOSED AREA		TOTAL AREA POST-PROJECT (SF)
		REPLACED	NEW	
IMPERVIOUS AREA	1,090 SF	17 SF	853 SF	1,960 SF
TOTAL NEW & REPLACED IMPERVIOUS AREA	-	-	870 SF	870 SF
PERVIOUS AREA	1,584 SF	-	557 SF	557 SF



2 Floor Plan, Level 1, Demo
1/8" = 1'-0"



3 Floor Plan, Level 2, Demo
1/8" = 1'-0"

LEGEND

WALL DEMOLITION

DEMOLITION OF AN HISTORIC STRUCTURE MEANS:

- REMOVAL OF MORE THAN TWENTY-FIVE (25) PERCENT OF THE WALL AREA FACING A PUBLIC STREET(S) AND/OR FIFTY (50) PERCENT OF ALL EXTERIOR WALL AREA; OR
- ENCLOSURE OR ALTERATION OF MORE THAN TWENTY-FIVE (25) PERCENT OF THE WALL AREA FACING A PUBLIC STREET AND/OR FIFTY (50) PERCENT OF THE EXTERIOR WALL AREA SO THAT THEY NO LONGER FUNCTION AS EXTERIOR WALLS.
- ALL REMAINING EXTERIOR WALL MUST BE CONTIGUOUS. NO NEW EXTERIOR WALL COVERING SHALL BE PERMITTED OVER THE EXISTING EXTERIOR WALL COVERING. THERE ARE EXCEPTIONS FOR REPLACEMENT, REPAIR, OR REMOVAL. PLEASE SEE SECTION 29.10.020 FOR EXCEPTIONS

DEMOLITION NOTES:

- DRY ROT OR ANY OTHER DAMAGE DOES NOT EXEMPT THE PROJECT FROM ANY PROVISION SET FORTH BY SECTION 29.10.09030. IF YOU FIND DRY ROT AND NEED TO REPAIR IT, **STOP WORK** AND CONTACT THE PLANNING DIVISION AT (408) 354-6872 TO DISCUSS THE CHANGES **BEFORE YOU PROCEED.**
- IF YOU ENCOUNTER AN UNANTICIPATED SITUATION THAT CHANGES THE SCOPE OF WORK, **STOP WORK** AND CONTACT THE PLANNING DIVISION AT (408) 354-6872 TO DISCUSS THE CHANGES **BEFORE YOU PROCEED.**
- THE INSTALLATION OF NEW DOORS OR WINDOWS WITHIN EXISTING DOOR AND WINDOW OPENINGS DOES NOT COUNT AS DEMOLITION.

DEMOLITION BREAKDOWN

WALLS TO BE REMOVED, ALL SIDES

	TOTAL WALL SURFACE (SF)	WALL REMOVAL (SF)	%
FRONT	374.56	25.75	
REAR	438	438	
RIGHT	526.84	18.28	
LEFT	659	398	
TOTAL	1998.4	880.03	44

WALLS TO BE REMOVED FACING PUBLIC STREET

	TOTAL WALL SURFACE (SF)	WALL REMOVAL (SF)	%
FRONT	374.56	25.75	
RIGHT	526.84	18.28	
TOTAL	901.4	44.03	4.88

REMOVAL ALL WALL AREA 44% < 50% = NOT DEMOLITION

REMOVAL WALL AREA FACING PUBLIC STREET 4.88% < 25% = NOT DEMOLITION



4 Elevation, Front, Demo
1/8" = 1'-0"

DEMOLITION CALC.
(E) TOTAL WALL AREA= 374 SF
WALL AREA REMOVED = 25.75 SF



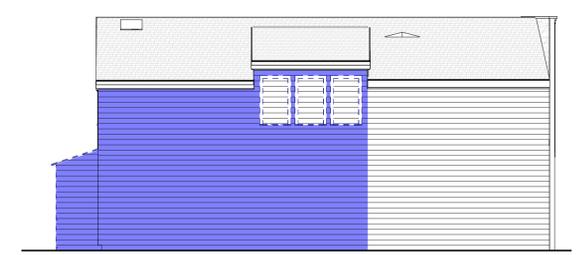
5 Elevation, Right, Demo
1/8" = 1'-0"

DEMOLITION CALC.
(E) TOTAL WALL AREA= 526.84 SF
WALL AREA REMOVED = 18.28 SF



7 Elevation, Rear, Demo
1/8" = 1'-0"

DEMOLITION CALC.
(E) TOTAL WALL AREA= 438 SF
WALL AREA REMOVED = 438 SF



6 Elevation, Left, Demo
1/8" = 1'-0"

DEMOLITION CALC.
(E) TOTAL WALL AREA= 659 SF
WALL AREA REMOVED = 398 SF



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Notes & Demolition Plan

25 West Main St.
Los Gatos, CA, 95030

Revision Schedule

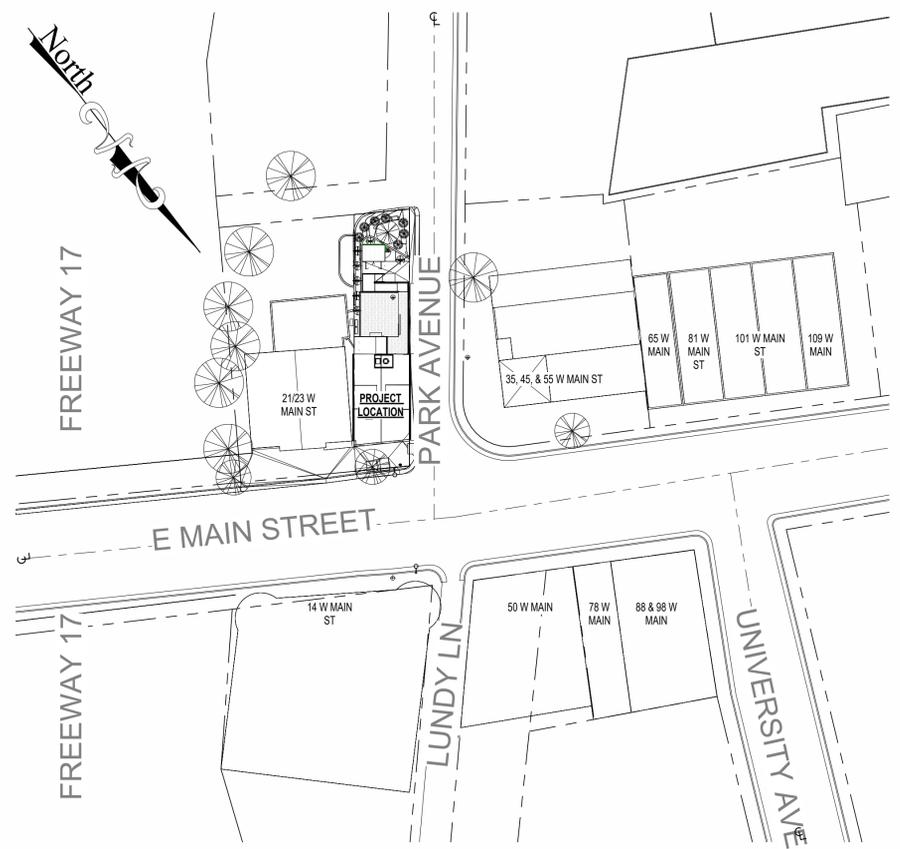
Number	Description	Date
1	Planning	2022.10.19
2	Planning	2023.03.17
11	CA	2025.09.22

Notes & Demolition Plan

A002

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7 Adjacent Building Plan, Proposed
1" = 40'-0"

PROPOSED PROJECT PROPERTY:

ADDRESS	USE	NAME
• 25 W MAIN ST.	A-2- ASSEMBLY	RESTAURANT

ADJACENT PROPERTIES:

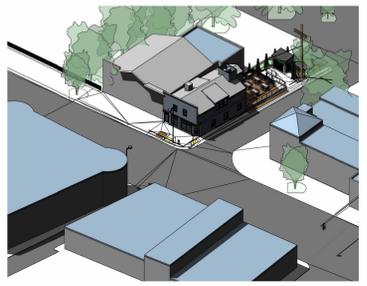
ADDRESS	USE	NAME	ADDRESS	USE	NAME
• 21 W MAIN ST.	M- MERCANTILE	CRAFTBOX (RETAIL)	• 65 W MAIN ST.	B- BUSINESS	NIMBUS SALON (HAIR SALON)
• 23 W MAIN ST.	B- BUSINESS	TANGLES (HAIR SALON)	• 81 W MAIN ST.	A-2- ASSEMBLY	ZONA ROSA (RESTAURANT)
• 35 W MAIN ST.	B- BUSINESS	SHARETEA (CAFE)	• 14 W MAIN ST.	R-2- RESIDENTIAL	14 WEST MAIN APARTMENTS (MULTI-FAMILY RESIDENTIAL)
• 45 W MAIN ST.	M- MERCANTILE	MANAZ, JOHNSON VALLEY CA (RETAIL)	• 50 W MAIN ST.	B- BUSINESS	ICING ON THE CAKE (BAKERY)
• 55 W MAIN ST.	M- MERCANTILE	ATHLETIC PERFORMANCE (RETAIL)	• 78 W MAIN ST.	M- MERCANTILE	BOUTIQUE LA LUNE (RETAIL)
			• 88 W MAIN ST.	M- MERCANTILE	PALAPA LOUNGE BEACHWEAR (RETAIL)
			• 98 W MAIN ST.	M- MERCANTILE	OPTIQUE AMERICA (RETAIL)



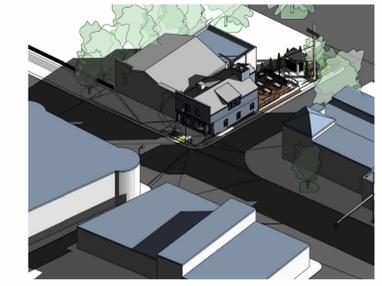
1 Shadow Study Winter Solstice 9AM



2 Shadow Study Winter Solstice 12PM



3 Shadow Study Winter Solstice 3PM



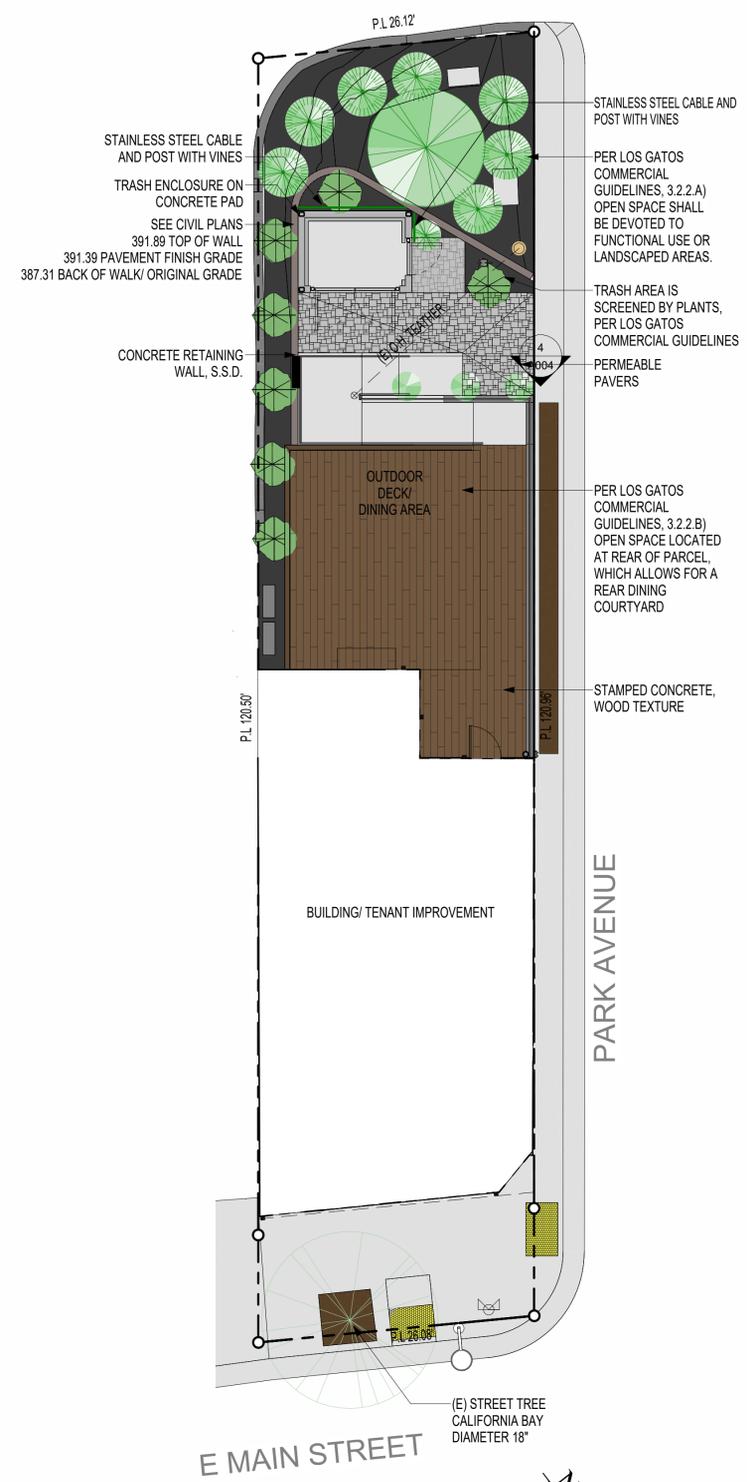
4 Shadow Study Summer Solstice 9AM



5 Shadow Study Summer Solstice 12PM



6 Shadow Study Summer Solstice 3PM



E MAIN STREET

LANDSCAPE NOTES

1. ALL LANDSCAPED AREAS SHALL BE PROVIDED WITH COMPLETE IRRIGATION FACILITIES.
2. SUBJECT TO WELO REVIEW.
3. TOTAL LANDSCAPE AREA= 557 SF

8 Site Plan, Schematic Landscape, Proposed
1/8" = 1'-0"

LEGEND



WEED BLOCK TO BE INSTALLED PRIOR TO INSTALLING PLANTS AND MULCH

PERMEABLE PAVERS
CATALINA GRANA PAVER
COLOR: VICTORIAN



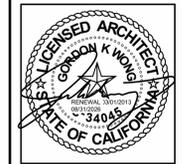
CMU RETAINING WALL, S.S.D.



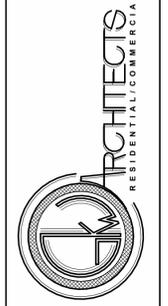
BLACK MULCH



STAMPED CONCRETE
WOOD TEXTURE/ BROWN



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Adjacent Building Plan, Shadow Study

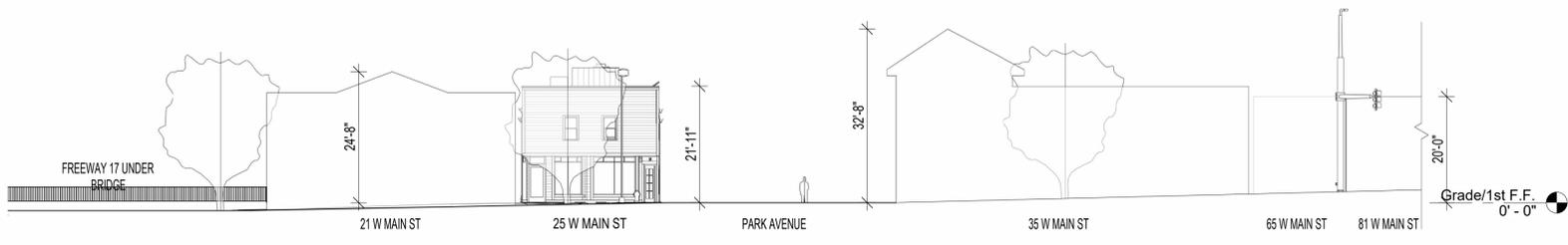
25 West Main St.
Los Gatos, CA, 95030

Revision Schedule

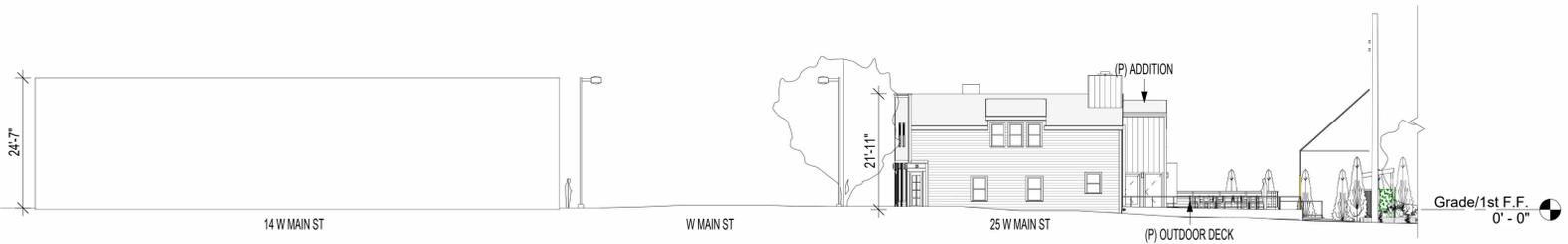
Number	Description	Date
1	Planning	2022.10.19
2	Planning	2023.03.17
8	Building	2024.08.30
10	Plng & Bldg	2025.03.03

Adjacent Building Plan, Shadow Study

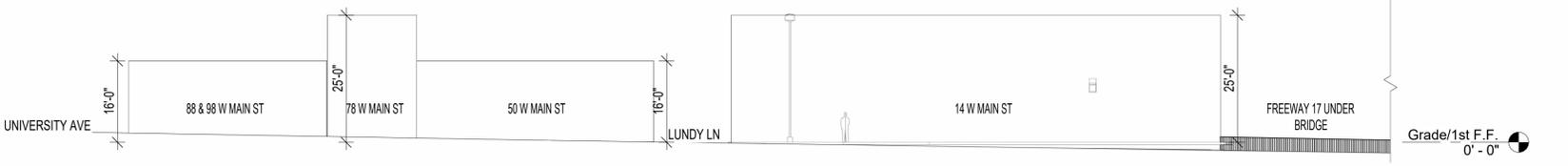
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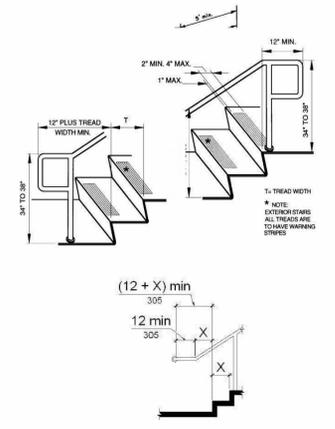
② Streetscape, W Main St. Looking South
1/16" = 1'-0"



① Streetscape, Park Ave.
1/16" = 1'-0"



③ Streetscape, W Main St. Looking North
1/16" = 1'-0"

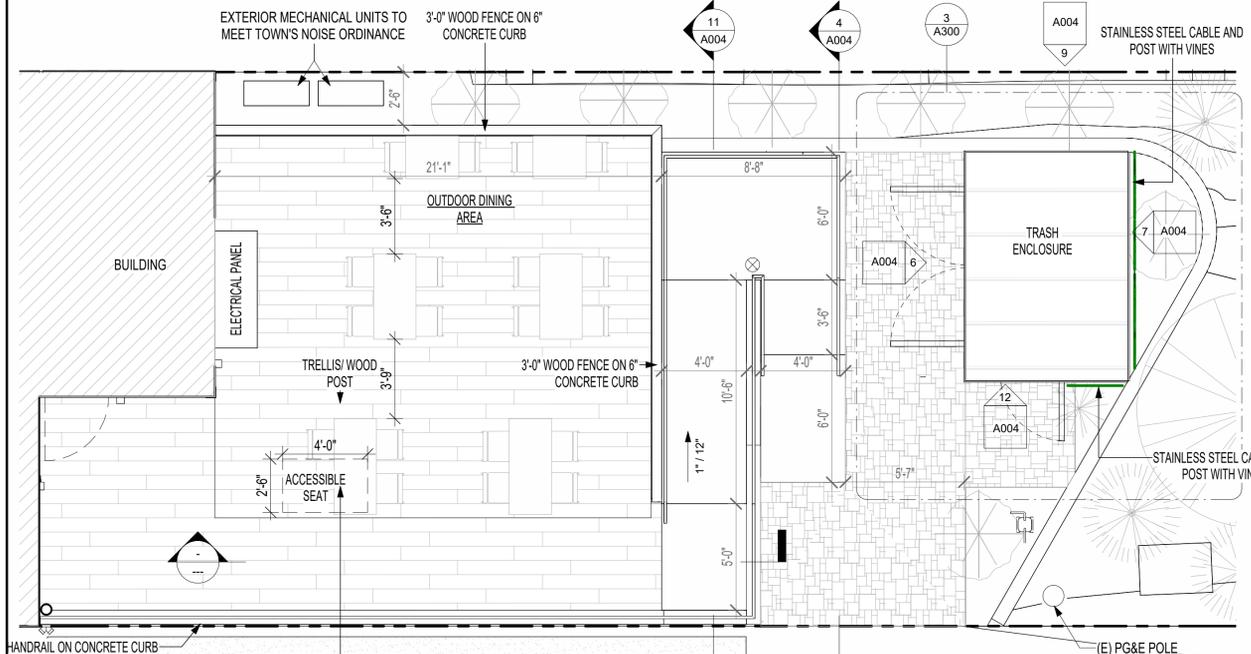


NOTE:
RISERS SHALL BE SOLID AND SLOPED OR UNDERSIDE OF THE NOSING SHALL HAVE AN ANGLE NOT LESS THAN 60 DEGREES FROM THE HORIZONTAL.

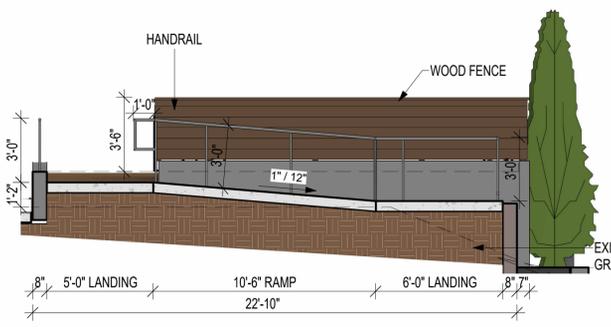
THE STRIP SHALL BE OF A MATERIAL THAT IS AT LEAST AS SLIP RESISTANT AS THE OTHER TREADS OF THE STAIR.

A PAINTED STRIP SHALL BE ACCEPTABLE AND SHALL EXTEND THE FULL WIDTH OF THE STEP.

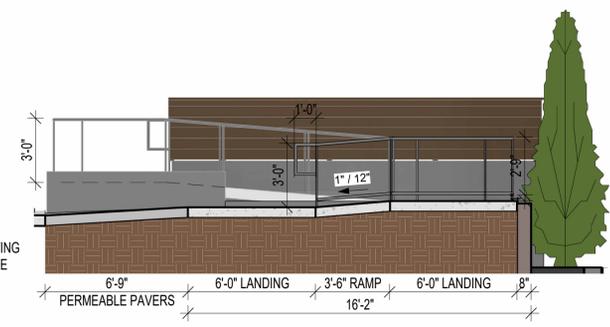
⑧ Stairs
6" = 1'-0"



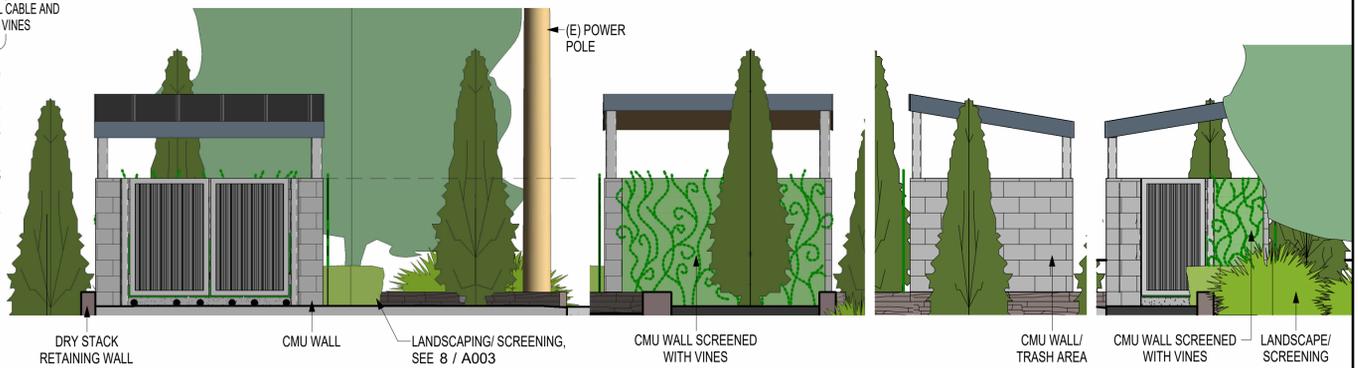
⑩ Outdoor Deck, Accessibility
1/4" = 1'-0"



⑪ Section, Ramp 1
1/4" = 1'-0"



④ Section, Ramp 2
1/4" = 1'-0"



⑥ Garbage Area, North
1/4" = 1'-0"

⑦ Garbage Area, South
1/4" = 1'-0"

⑨ Garbage Area East
1/4" = 1'-0"

⑫ Garbage Area, West
1/4" = 1'-0"

Adjacent Building, Streetscape Elevations, Accessibility



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25 West Main St.
Los Gatos, CA, 95030

Revision Schedule		
Number	Description	Date
1	Planning	2022.10.19
2	Planning	2023.03.17
3	Planning	2023.05.02
4	Planning	2023.05.10
6	Building	2024.08.30
9	Blog & Health	2024.10.11
12	Plan & Blog	2025.10.29

Adjacent Building,
Streetscape
Elevations,
Accessibility

A004
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OCCUPANT LOAD, EGRESS, LIFE SAFETY, & PLUMBING CALC.

DINING, 1ST LVL
424 SF
OLF 15
OL 29

BAR, 2ND LVL
139 SF
OLF 200
OL 1

DINING, 2ND LVL
559 SF
OLF 15
OL 38

BAR
149 SF
OLF 200
OL 1

OUTDOOR DINING
356 SF
OLF 15
OL 24

7 1st FF
1" = 10'-0"

8 2nd F.F
1" = 10'-0"

LEGEND
OCCUPANT LOAD
OCCUPANCY
SF FLOOR AREA
OLF ## OCCUPANCY LOAD FACTOR
OL ## OCCUPANCY LOAD
--- EGRESS LENGTH
FE FIRE EXTINGUISHER, STANDARD, SEE 14 / A401
K FIRE EXTINGUISHER, CLASS K, SEE 13 / A401

PER CBC TABLE 1004.5, MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT

FUNCTION OF SPACE	OLF(SF/PERSON)
ASSEMBLY GROUP A-2	15 GROSS
BUSINESS	150 GROSS
KITCHEN	200 GROSS

OCCUPANT LOAD CALCULATION

FUNCTION	AREA	OLF	OCCUPANTS	OCCUPANT LOAD
BAR	149 SF	200	0.75	1
OUTDOOR DINING	356 SF	15	23.75	24
BAR, 2ND LVL	139 SF	200	0.70	1
DINING, 1ST LVL	424 SF	15	28.28	29
DINING, 2ND LVL	559 SF	15	37.29	38
TOTAL: 5				93

PER CBC SECTION 1005.3.2 MEAN OF EGRESS OTHER THAN STAIRWAYS:

EXIT #1 & 2
EXIT WIDTH REQUIRED = 34/2 = 17 OCCUPANTS X 0.2" = 3.4" => 32" MIN
EXIT PROVIDED 36"

EXIT #3 & 4
EXIT WIDTH REQUIRED = 40 OCCUPANTS X 0.2" = 8" => 32" MIN
EXIT PROVIDED 36"

PLUMBING FIXTURE CALCULATION, PER CPC 422.0, A-2 OCCUPANCY

WATER CLOSET		URINAL	LAVATORY		DRINKING FOUNTAIN	SERVICE SINK
MALE (1-50)	FEMALE (1-25)	MALE (1-200)	MALE (1-150)	FEMALE (1-150)	(1-250)	(1)
1	1	1	1	1	1	1

PLUMBING, OCCUPANT LOAD

AREA	SF	OLF	OCCUPANT LOAD	FIXTURE	REQUIRED	PROPOSED
BAR	148 SF	-	1	WATER CLOSET	2	2
BAR 2ND LVL	136 SF	-	1	URINAL	1	1
KITCHEN	216 SF	-	2	LAVATORY	2	2
OUTDOOR DINING	356 SF	30	11.87	DRINKING FOUNTAIN	1	BOTTLE FILLING STATION EXCEPTION PER CPC 415.2
DINING, 2ND LVL	559 SF	30	18.63	SERVICE SINK	1	1
DINING, 1ST LVL	423 SF	30	14.1			
TOTAL 48.6 =>			49 OCCUPANTS			
			MALE 25			
			FEMALE 25			

EXIT SIGNAGE

MIN. 6" TACTILE EXIT SIGNAGE LOCATED AT ALL EXTERIOR EXIT DOORS
3/4" RAISED WHITE SANS SERIF LETTERS ON 1/8" CLR. ACRYLIC W/ 4 SCREWS AS SHOWN TYP.
BRAILLE SYMBOLS CORRESPONDING TO SIGNS WRITTEN DIRECTIVE, TYP.
TACTILE EXIT SIGNAGE LOCATED AT INTERIOR DOORS THAT EXIT INTO CORRIDORS

EXIT STAIR DOWN

ALL-GENDER ADA SYMBOL

ALL-GENDER RESTROOM

NOTES

- SIGN SHALL BE PLACED ON DOORS LEADING TO PUBLIC FACILITIES. THE SIGN SHALL BE 1/4 INCH THICK AND 12 INCHES IN DIAMETER.
- SIGN BACKGROUND SHALL BE A DISTINCTLY DIFFERENT CONTRASTING COLOR FROM THE DOOR.
- CORRESPONDING BRAILLE FOR ALL DOOR SIGNS.
- VISUAL CHARACTERS SHALL COMPLY WITH SECTION 11B-703.5 (CBC SEC. 11B-703.5).
- VISUAL CHARACTERS SHALL BE 40 INCHES (1016 MM) MINIMUM ABOVE THE FINISH FLOOR OR GROUND (CBC SEC. 11B-703.5.6).
- DOOR SIGNS SHALL BE CENTERED ON THE DOORS AND MOUNTED AT A HEIGHT OF 58 - 80 INCHES ABOVE FINISH FLOOR TO THE CENTERLINE OF THE SYMBOL (CBC SEC. 11B-703.7.2.6).
- THE SYMBOL SHALL CONSIST OF WHITE FIGURE ON A BLUE BACKGROUND. THE COLOR BLUE SHALL APPROXIMATE FS 15090 IN FEDERAL STANDARD 595C (CBC SEC. 11B-703.7.2.1).
- BRAILLE SIGNS ARE REQUIRED ON THE WALL OUTSIDE OF THE TOILET FACILITY.

DOOR SIGNAGE FOR SANITARY FACILITIES

DOOR MOUNTED SIGNAGE: 58" MIN - 60" MAX PER CBC 11B-703.7.2.6

WALL MOUNTED BRAILLE SIGNAGE TO BE MOUNTED ON THE LATCH SIDE OF THE DOOR ON THE WALL, 48" MIN. FROM THE FINISH FLOOR TO THE BASELINE OF THE LOWEST BRAILLE CELLS AND 60" MAX. MEASURED FROM THE BASELINE OF THE HIGHEST LINE OF RAISED CHARACTERS PER CBC 11B-703.4.1

48" MIN - 60" MAX BASELINE OF THE LOWEST BRAILLE CELLS

CENTERED ON TACTILE CHARACTERS

6 Symbols & Signage
12" = 1'-0"

LEGEND

HYDRANT: 20 FT WIDE FIRE APPARATUS DRIVE

PROPERTY LINE: MINIMUM FIRE APPARATUS OUTSIDE TURNING RADIUS IS 42 FT

BUILDING OUTLINE: ---

FIRE APPARATUS: FIRE APPARATUS CROSSES OVER CENTERLINE OF MAIN ST BY 6'-7" TO MEET MINIMUM OUTSIDE TURNING RADIUS OF 42 FT

MINIMUM DISTANCE OF PROJECTION [CBC TABLE 705.2]

FIRE SEPARATION DISTANCE-FSD	MINIMUM DISTANCE FROM FSD LINE	PROPOSED PROJECTION	PROPOSED DISTANCE FROM FSD LINE
0' - 0"	PROJECTIONS NOT PERMITTED	0"	0' - 0"
3' - 1"	24 INCHES	0' - 2"	2' - 11"

CBC TABLE 716.1(2) OPENING FIRE PROTECTION ASSEMBLIES, RATINGS AND MARKINGS

TYPE OF ASSEMBLY	REQ'D WALL RATING	MIN FIRE DOOR & FIRE SHUTTER ASSEMBLY RATING	DOOR VISION PANEL SIZE
EXTERIOR WALLS	1 HOUR	3/4 HOUR	MAX SIZE TESTED
FIRE BARRIERS / SHAFT ENCLOSURES	1 HOUR	1 HOUR	100 SQ. IN.

REQUIRED FIRE FLOW

AUTOMATIC SPRINKLER SYSTEM: YES
REQUIRED FIRE FLOW: 1000 GPM @ 20 PSI RESIDUAL PRESSURE

HEIGHT & AREA CALCS.

ALLOWABLE BUILDING HEIGHT & STORIES IN FEET ABOVE GRADE PLANE [CBC TABLE 504.4]

OCC. CLASS	SPRINKLER W/O AREA INCREASE	CONSTRUCTION TYPE	ALLOWABLE HEIGHT	ALLOWABLE STORIES
A	S	TYPE VB	60 FT	2

ALLOWABLE AREA DETERMINATION (FACTOR IN SQ. FT) [CBC TABLE 506.2]

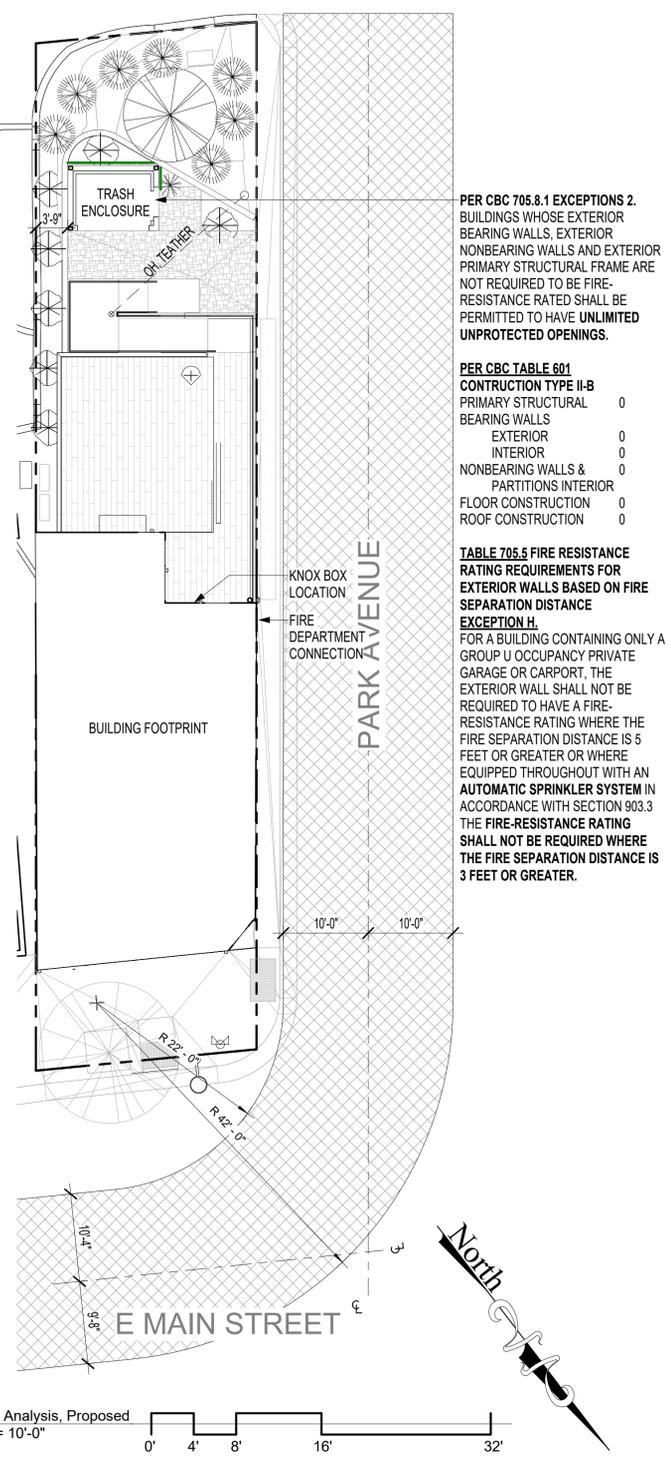
OCC. CLASS	SPRINKLER W/O HEIGHT INCREASE	CONSTRUCTION TYPE	ALLOWABLE AREA (SF)
A	S	TYPE VB	18,000 SF

FIRE RESISTANCE RATINGS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION [CBC TABLE 705.5]

FIRE SEPARATION DISTANCE	TYPE OF CONSTRUCTION	OCCUPANCY GROUP
X < 5	ALL	1
5 ≤ X < 10	IA, OTHERS	1, 1
10 ≤ X < 30	IA, IB, IIB, VB, OTHERS	0, 1
X ≥ 30	ALL	0

THE DISTANCE MEASURED FROM THE BUILDING FACE TO ONE OF THE FOLLOWING:

- THE CLOSEST INTERIOR LOT LINE
- TO THE CENTERLINE OF A STREET
- TO AN IMAGINARY LINE BETWEEN TWO BUILDINGS ON THE LOT



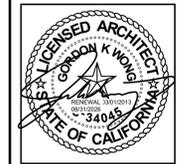
PER CBC 705.8.1 EXCEPTIONS 2. BUILDINGS WHOSE EXTERIOR BEARING WALLS, EXTERIOR NONBEARING WALLS AND EXTERIOR PRIMARY STRUCTURAL FRAME ARE NOT REQUIRED TO BE FIRE-RESISTANCE RATED SHALL BE PERMITTED TO HAVE UNLIMITED UNPROTECTED OPENINGS.

PER CBC TABLE 601 CONSTRUCTION TYPE II-B

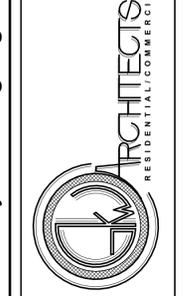
PRIMARY STRUCTURAL BEARING WALLS	0
EXTERIOR	0
INTERIOR	0
NONBEARING WALLS & PARTITIONS INTERIOR	0
FLOOR CONSTRUCTION	0
ROOF CONSTRUCTION	0

TABLE 705.5 FIRE RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE

EXCEPTION H. FOR A BUILDING CONTAINING ONLY A GROUP U OCCUPANCY PRIVATE GARAGE OR CARPORT, THE EXTERIOR WALL SHALL NOT BE REQUIRED TO HAVE A FIRE-RESISTANCE RATING WHERE THE FIRE SEPARATION DISTANCE IS 5 FEET OR GREATER OR WHERE EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3 THE FIRE-RESISTANCE RATING SHALL NOT BE REQUIRED WHERE THE FIRE SEPARATION DISTANCE IS 3 FEET OR GREATER.



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Revision Schedule

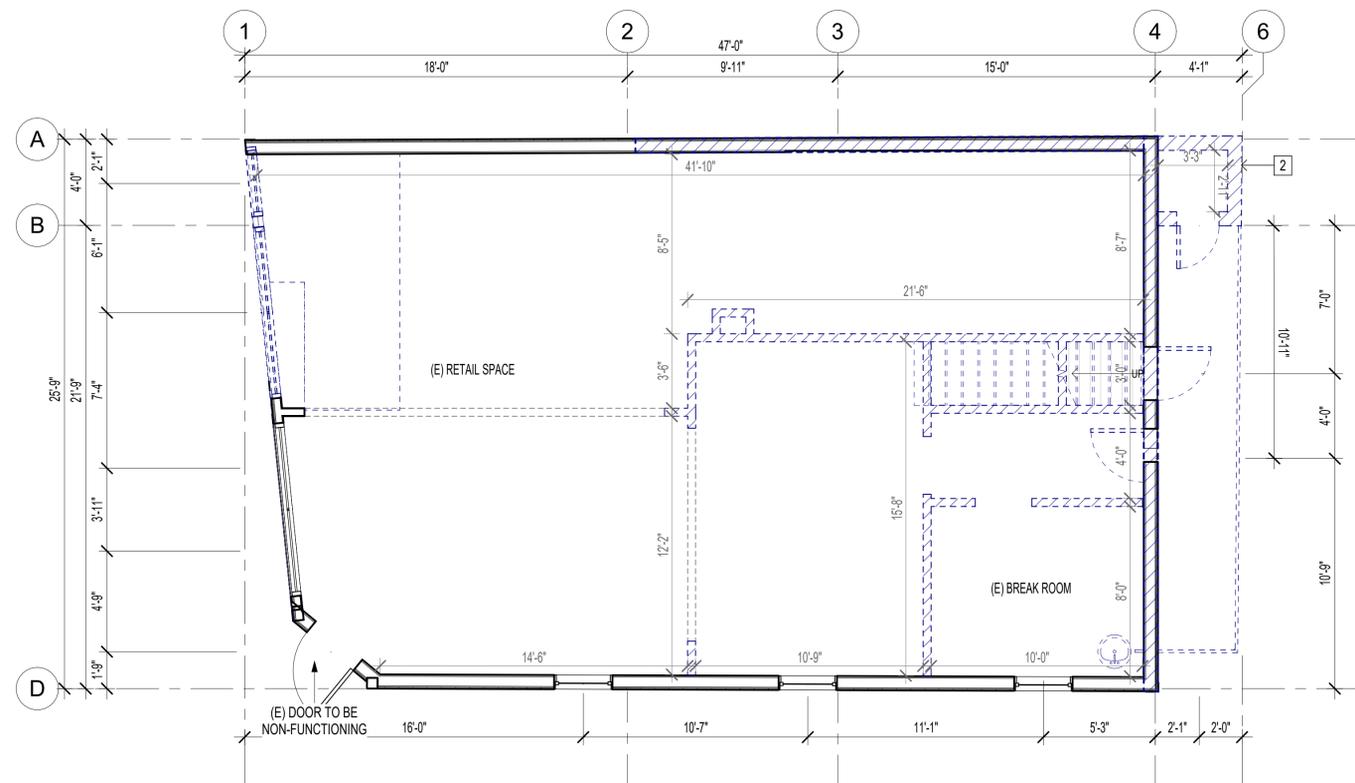
Number	Description	Date
1	Planning	2022.10.19
2	Planning	2023.03.17
3	Planning	2023.05.02
4	Building	2024.08.30
5	Blg & Health	2024.10.11
12	Plng & Blg	2025.10.29

Fire, Egress & Occupancy Load Analysis & Signage

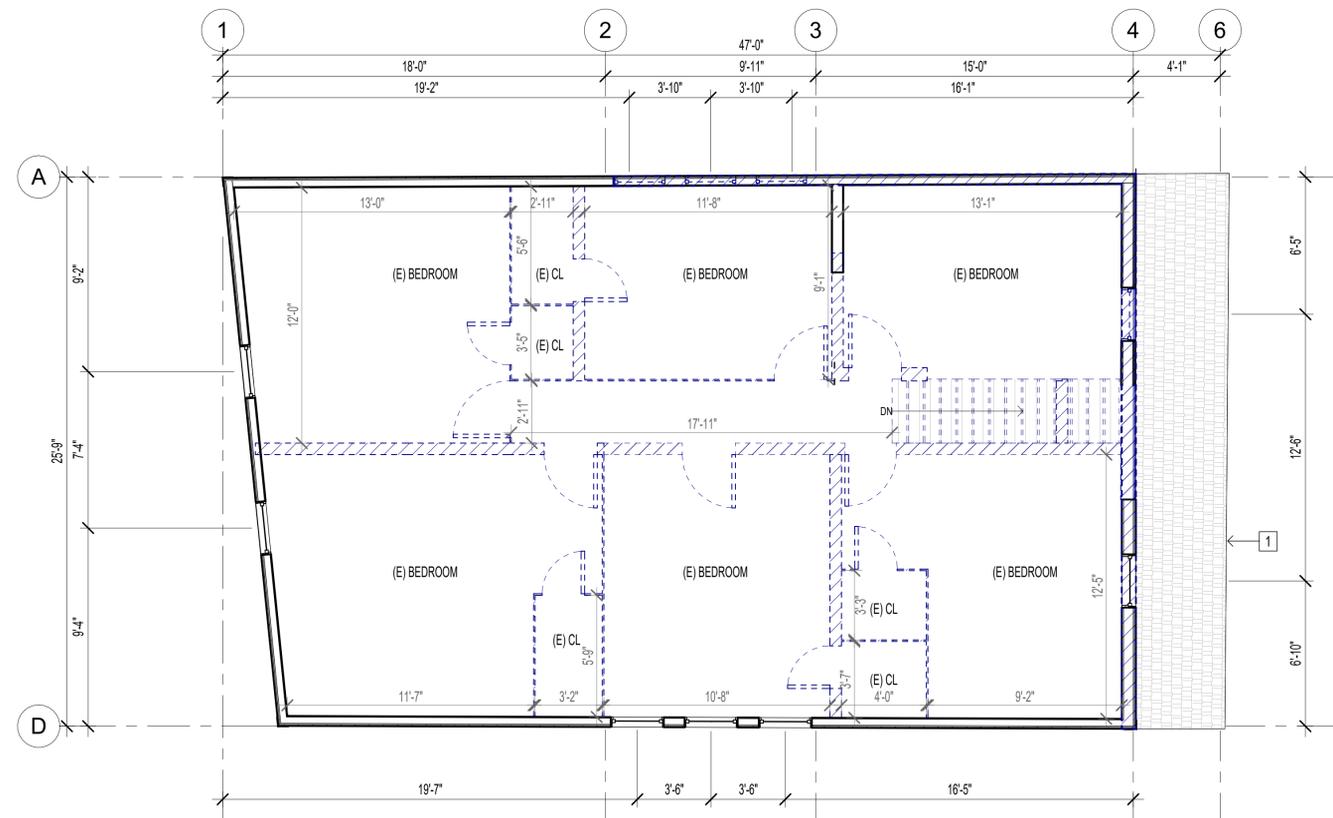
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1 Floor Plan, Level 1, Existing
1/4" = 1'-0"



2 Floor Plan, Level 2, Existing
1/4" = 1'-0"

FLOOR PLAN, LEVEL 1 & 2 EXISTING, LEGEND

- (E) DOOR TO BE DEMOLISHED
- (E) WINDOW TO BE DEMOLISHED
- (E) WALL TO BE DEMOLISHED

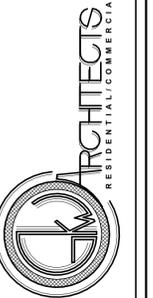
FLOOR PLAN, LEVEL 1 & 2 EXISTING, KEYNOTES

- 1 COVERED PATIO TO BE DEMOLISHED
- 2 STORAGE AREA TO BE DEMOLISHED

- NOTES:**
1. EXISTING WALLS ARE NOT IN STRAIGHT ALIGNMENT TO GRIDLINE.
 2. EXISTING WALLS MUST BE VERIFIED ON SITE.
 3. ELEMENTS IN BLACK ARE EXISTING TO REMAIN
 4. ELEMENTS IN DASHED BLUE ARE EXISTING TO BE DEMOLISHED



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Floor Plan, Existing

25 West Main St.
 Los Gatos, CA, 95030

Revision Schedule

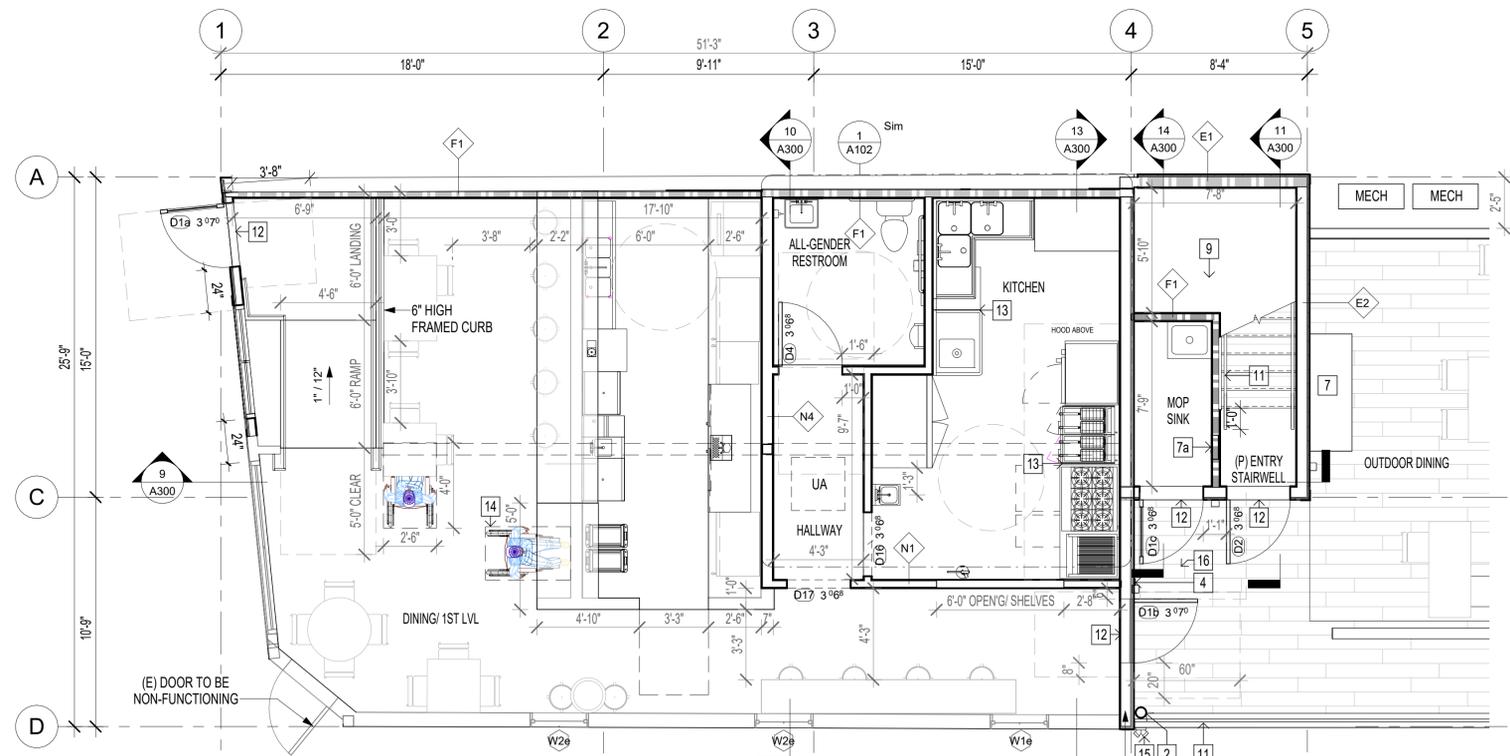
Number	Description	Date
1	Planning	2023.03.17
11	CA	2025.09.22

Floor Plan,
 Existing

A100

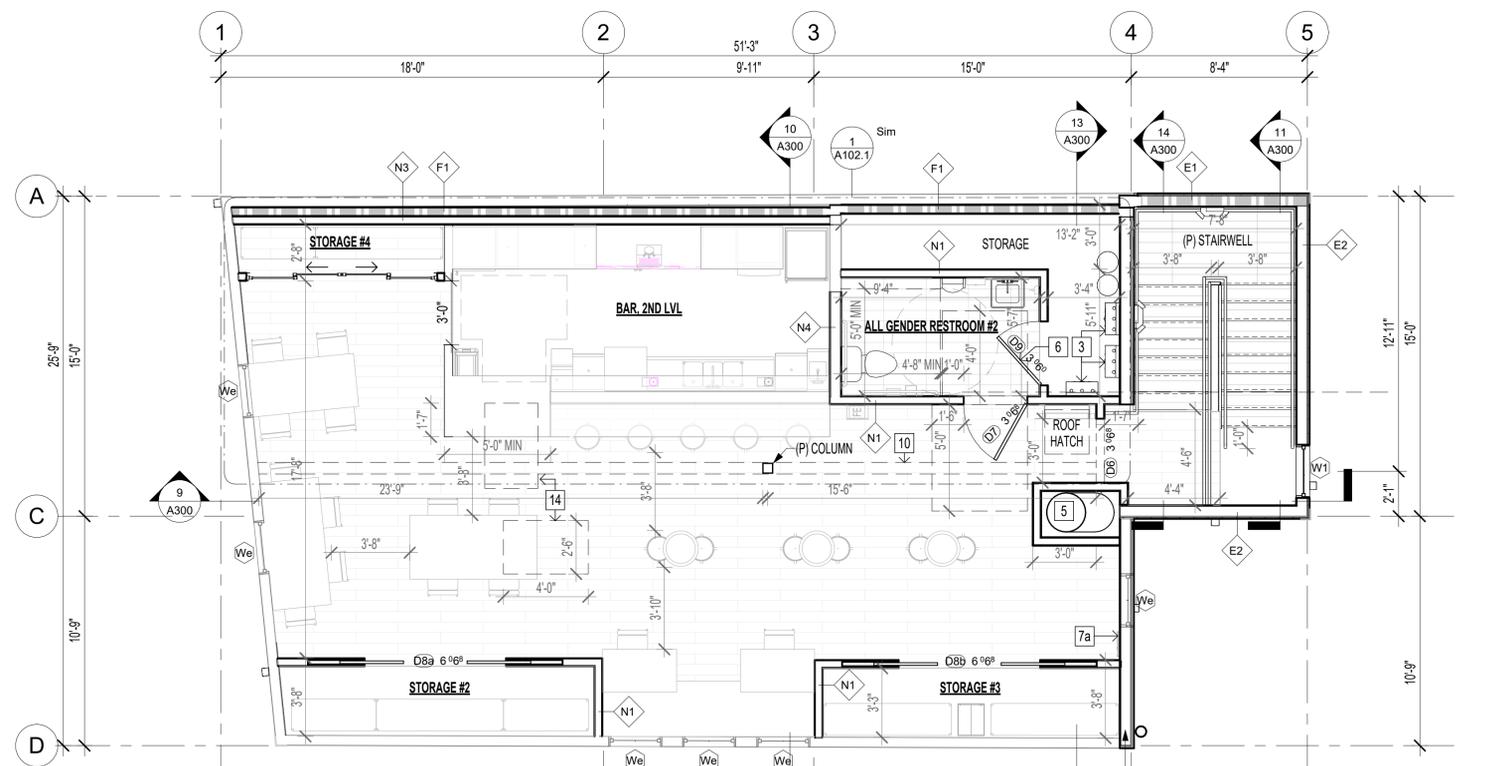
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ACCESSIBLE SEATING CALCULATION
 BAR, 5 SEATING X 0.05 = 0.25= MIN 1 REQUIRED
 DINING, 20 SEATING X 0.05 = 1 MIN REQUIRED

1 Floor Plan, Level 1, Proposed
 1/4" = 1'-0"



ACCESSIBLE SEATING CALCULATION
 BAR, 5 SEATING X 0.05 = 0.25= MIN 1 REQUIRED
 DINING, 27 SEATING X 0.05 = 1.35 => MIN 2 REQUIRED

2 Floor Plan, Level 2, Proposed
 1/4" = 1'-0"

FLOOR PLAN KEYNOTES

- 1 CONCRETE STEPS
- 2 FIRE RISER
- 3 TANKLESS WATER HEATER, GAS
- 4 KNOX BOX
- 5 VENT FOR HOOD
- 6 UTILITY ACCESS DOOR
- 7 ELECTRICAL PANEL & METER
- 7a ELECTRICAL SUB PANEL
- 8 GAS METER
- 9 2"MIN-4"MAX COLOR CONTRASTING STRIPE PER CBC 504.4.1, SEE 11 / A401
- 10 WRAPPED BEAM
- 11 HANDRAIL, SEE 11 / A401
- 12 DOOR THRESHOLD, SEE 12 / A400
- 13 8" MINIMUM HIGH STAINLESS STEEL SPLASH GUARD BETWEEN FRYER AND RANGE. 8" HEIGHT MUST BE MEASURED FROM THE HIGHER OF THE 2 PIECES OF EQUIPMENT
- 14 ACCESSIBLE WHEELCHAIR SEATING/SPACES PER 9 / A401
- 15 FIRE DEPARTMENT CONNECTION (FDC)
- 16 GREASE TRAP, SEE PLUMBING PLANS

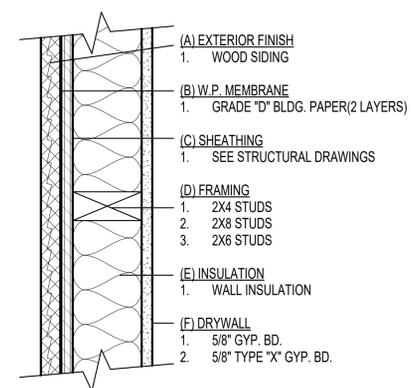
FLOOR PLAN, LEVEL 1 PROPOSED LEGEND

- (P) NEW CONSTRUCTION DOOR
- (P) NEW CONSTRUCTION WINDOW
- (P) UNDER FLOOR ACCESS 30"x30"

FLOOR PLAN NOTES

- CONTRACTOR SHALL FIELD VERIFY LOCATIONS OF UTILITIES, SITE CONDITIONS, DIMENSIONS, STRUCTURES PRIOR TO START OF WORK. IN EVENT OF ANY DISCREPANCIES OR POTENTIAL CONFLICTS, NOTIFY THE ARCHITECT IN WRITING PRIOR TO STARTING EACH PORTION OF THE WORK.
- PER CBC 11B-206.2.3. EXCEPTIONS 1. THE FOLLOWING TYPES OF PRIVATELY FUNDED MULTISTORIED BUILDINGS DO NOT REQUIRE A RAMP OR ELEVATOR ABOVE AND BELOW THE FIRST FLOOR: 1.2. ANY OTHER PRIVATELY FUNDED MULTISTORIED BUILDING THAT IS NOT A SHOPPING CENTER, SHOPPING MALL OR THE PROFESSIONAL OFFICE OF A HEALTH CARE PROVIDER OR A TERMINAL, DEPOT OR OTHER STATION USED FOR SPECIFIED PUBLIC TRANSPORTATION OR AN AIRPORT PASSENGER TERMINAL AND THAT IS LESS THAN THREE STORIES HIGH OR LESS THAN 3,000 SF PER STORY IF A REASONABLE PORTION OF ALL FACILITIES AND ACCOMMODATIONS NORMALLY SOUGHT AND USED BY THE PUBLIC IN SUCH A BUILDING ARE ACCESSIBLE TO AND USABLE BY PERSONS WITH DISABILITIES.
- LIGHTING- SHATTER RESISTANT LIGHT FIXTURES* STATEMENT. MINIMUM 20 FT-CANDLES AT FOOD PREP; 10 FT-CANDLES IN STORAGE; 50 FT-CANDLES WHERE EMPLOYEE SAFETY IS A FACTOR.

WALL SCHEDULE

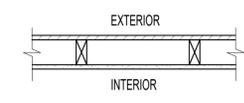


INTERIOR WALL TYPES: WALL ASSEMBLY:

- N1 (F1,D1,F1)
- N2 (F1,D2,F1)
- N3 (D1,F1)
- N4 (F1,D3,F1)

EXTERIOR WALL TYPES: WALL ASSEMBLY:

- E1 (A1,B1,C1,D1,E1,F2) 1-HR FIRE RATED UL U309, SEE 3 / A101
- E2 (A1,B1,C1,D1,E1,F2)
- F1 (F1,D3,F1) 1-HR FIRE RATED UL 305, SEE 5 / A101

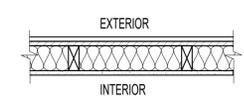


HOURLY RATING: 1 HOUR
 STC RATING: 45-49 STC
 FIRE TEST REFERENCE: UL U305

EXTERIOR SIDE: 5/8" (15.9 MM) DENSGLASS® FIREGUARD® SHEATHING OR TOUGHROCK® FIREGUARD X® SHEATHING APPLIED VERTICALLY OR HORIZONTALLY TO 2"x 4" WOOD STUDS 24" (610 MM) O.C. WITH 1-3/4" (45 MM) GALVANIZED ROOFING NAILS 7" (178 MM) O.C. EXTERIOR SURFACE COVERED WITH WEATHER EXPOSED CLADDING OR FINISH SYSTEM. INTERIOR SIDE: ONE LAYER 5/8" (15.9 MM) TOUGHROCK® FIREGUARD X® PRODUCTS OR 5/8" (15.9 MM) DENSARMOR PLUS® FIREGUARD X® GYPSUM PANELS APPLIED VERTICALLY OR HORIZONTALLY TO STUDS WITH 1-7/8" (48 MM) 6D COATED 7" (178 MM) O.C. STAGGER JOINTS EACH SIDE. ULC W301 ALLOWS VERTICAL APPLICATION ONLY.

APPROVED FOR ASSEMBLY:
 DENSARMOR PLUS® FIREGUARD C® PRODUCTS
 DENSARMOR PLUS® FIREGUARD® PRODUCTS
 DENSELEMENT® BARRIER SHEATHING
 DENSGLASS® FIREGUARD® SHEATHING
 DENSSHIELD® FIREGUARD® TILE BACKER
 TOUGHROCK® FIREGUARD C® PRODUCTS
 TOUGHROCK® FIREGUARD X® MOLD-GUARD® PRODUCTS
 TOUGHROCK® FIREGUARD X® PRODUCTS
 TOUGHROCK® LITE-WEIGHT FIRE-RATED PRODUCTS (MEETS FIRE RATING BUT NOT EVALUATED FOR SOUND TESTING)

5 F1- 1-Hour Fire Rated Exterior Wall
 1" = 1'-0"



HOURLY RATING: 1-HOUR
 FIRE TEST REFERENCE: UL U309, GA WP 8109

EXTERIOR SIDE: 5/8" (15.9 MM) DENSGLASS® FIREGUARD® SHEATHING APPLIED VERTICALLY OR HORIZONTALLY TO 2"x 4" WOOD STUDS 24" (610 MM) O.C. WITH 1-7/8" (48 MM) GALVANIZED ROOFING NAILS 7" (178 MM) O.C. JOINTS OF GYPSUM SHEATHING MAY BE LEFT UNTREATED. EXTERIOR CLADDING TO BE ATTACHED THROUGH SHEATHING TO STUDS. INTERIOR SIDE: 5/8" (15.9 MM) TOUGHROCK® FIREGUARD X® PRODUCTS OR 5/8" (15.9 MM) DENSARMOR PLUS® FIREGUARD X® GYPSUM PANELS APPLIED VERTICALLY OR HORIZONTALLY TO STUDS WITH 1-7/8" (48 MM) 6D COATED NAILS 7" (178 MM) O.C.

APPROVED FOR ASSEMBLY:
 DENSARMOR PLUS® FIREGUARD C® PRODUCTS, DENSARMOR PLUS® FIREGUARD® PRODUCTS, DENSELEMENT® BARRIER SHEATHING, DENSGLASS® FIREGUARD® SHEATHING, DENSSHIELD® FIREGUARD® TILE BACKER, TOUGHROCK® FIREGUARD C® PRODUCTS, TOUGHROCK® FIREGUARD X® MOLD-GUARD® PRODUCTS, TOUGHROCK® FIREGUARD X® PRODUCTS, TOUGHROCK® LITE-WEIGHT FIRE-RATED PRODUCTS

3 E1- 1-Hour Fire Rated Interior Wall
 1" = 1'-0"



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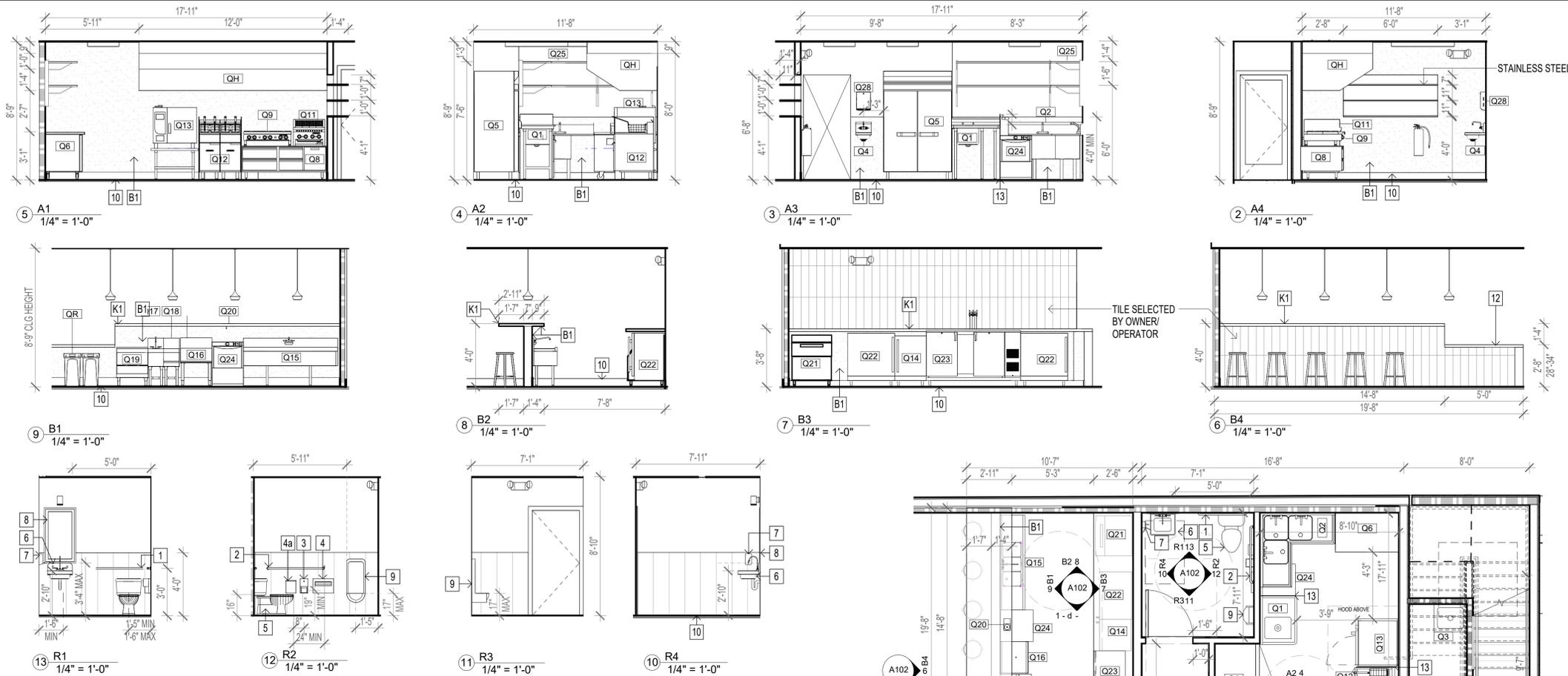
25 West Main St.
 Los Gatos, CA, 95030

Floor Plan, Proposed

Revision Schedule

Number	Description	Date
1	Planning	2022.10.19
2	Planning	2023.03.17
3	Health	2024.02.23
4	Building	2024.08.30
5	Health	2024.08.30
6	Health	2024.08.30
7	Bldg & Health	2024.10.11
8	CA	2025.08.22
9	Prtg & Bldg	2025.10.22

Floor Plan, Proposed
A101
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Equipment Schedule					
Type Mark	Description	Brand	Model	Comments	Notes
Q1	1 compartment Sink	John Boos	E1S8-1620-12R18-X	43.75(h) x 36.5(w) x 25.5(d)	
Q2	Three Compartment Sink with Two Drainboards	Regency	600S31818XC	44.75(h)x 57(w)x57(d)	
Q3	Mop Sink	Advance Tabco	9-OP-20-EC-X	10(h) x 25(w) x 21(d)	Bowl size 16"x20"x 6"
Q4	Hand Sink	Advance Tabco	7-PS-23-ECSP	13(h) x 12(w) x 16(d)	
Q5	Reach-In Refrigerator	Beverage Air	RB49HC-1C	84.25(h) x 52(w) x 33.5(d)	
Q6	Worktop Freezer 48"	Beverage Air	AWT-48F-HC	39.63(h)x48(w)x32(d)	
Q7	Employee Lockers	Salsbury Industrial	62165	12"W X 15"D X 72"H	Located on Accessible Path of Travel
Q8	REFRIGERATED BASE	Beverage Air	WTRCS60HC-64	24.38(h) x 64(w) x 34.75(d)	
Q9	GAS OPEN BURNER	Imperial	IHPA-6-36	10.75(h) x 36(w) x 31.38(d)	
Q10.1	Water Heater	Noritz	NCC300DV	32.7"(h)x18.9"(w)x14.2"(d)	
Q10.2	Water Heater	Takagi	T-H3S-DV-N	22.5"(h) x 17.75"(w) x 10.75"(d)	
Q11	COUNTER TOP-BROILER	Imperial	IAB-24	20(h) x 24(w) x 28.5(d)	
Q12	Gas Floor Fryer	Imperial	IFS-50	45.75(h) x 15.5(w) x 30.5(d)	
Q13	Gas Combi Oven	Rational iCombi Classic	RATIONAL Model ICC 6-HALF NG	29.6(h) x 33.5(w) x 30.5(d)	Coord with Vendor for table/stand accessories
Q14	Undercounter Freezer	Beverage Air	UCFD27AHC-23	34.63"(h) x 27"(w) x 32"(d)	
Q15	Three Compartment Sink	LaCrosse Cooler	SD63C	36(h) x 72(w) x 19(d)	
Q16	Ice Bin	LaCrosse Cooler	SK24IC	30(h) x 24(w) x 21.25(d)	
Q16a	Ice Bin 18"	LaCrosse Cooler	SD18IC	30(h) x 18(w) x 19(d)	
Q17	Spec-Bar Hand Sinks	LaCrosse Cooler	CL12HS	30(h) x 12(w) x 24(d)	
Q18	Spec-Bar Blender Station w/ Dump Sink	LaCrosse Cooler	CL12RSCH	36(h) x 12(w) x 24(d)	
Q19	Glass Rack	LaCrosse Cooler	CL24GR	36(h) x 24(w) x 24(d)	
Q19a	Glass Rack, 12"	LaCrosse Cooler	CL12GR-DB	36(h) x 12(w) x 24(d)	
Q20	Undercounter Mount Rinser Faucet	LaCrosse Cooler	GR5-9	5" x 9"	
Q21	Ice Maker, Regular 30" w/ Bin	Hoshizaki	KM-301BAJ	39(h)x30(w)x 28(d)	
Q21a	Ice Maker, Regular 30"	Hoshizaki	KML-325MAJ	22(h)x30(w)x 27.38(d)	
Q22	Undercounter Refrigerator	Beverage Air	BB36HC-1-G-B-27	36(h) x 36(w) x 24.5(d)	
Q23	Keg Cooler	Beverage Air	DD72HC-1-S	51.25(h) x 72(w) x 24.38(d)	
Q23a	Keg Cooler	True	TDD-2-HC	37(h) x 59(w) x 27.13(d)	
Q24	Dishwasher, Undercounter	Auto-Chlor	U34spacesaver	34(h) x 24(w) x 24(d)	
Q25	Wire Shelves	Metro	1848NC, 1860NC, 1872 NC	18x48, 18x60, 18x72	<varies>
Q26	Ice Maker, Flakes	Hoshizaki	F-330BAJ	39(h)x 24(w)x26(d)	
Q27	Merchandiser Refrigerator	Empura	EGM-13B	78(h) x 22.7"(w) x 23.8"D	
Q28	Paper Towel Dispenser	Uline	H-2275	15"h x 11"w x 5"d	
QH	Captive air Hood	Captive Air	5412 SND-2	10'-6"	Exhaust Diameter 18"
QR	Trash Receptacles	Rubbermaid	H-2893	25(h)x22(w)x11(d)	
QT	Grease Interceptor	Schier	GB-50	28.5"(h) x 37"w x 32.25"(d)	

NOTE:
 1. OWNER ALLOWED TO CHOOSE ALTERNATIVE COMPLIANT PRODUCT
 2. ALL EQUIPMENT AND COUNTERS/CABINETS SHALL BE INSTALLED ON 6" HIGH ROUND METAL LEGS, COMMERCIAL CASTORS

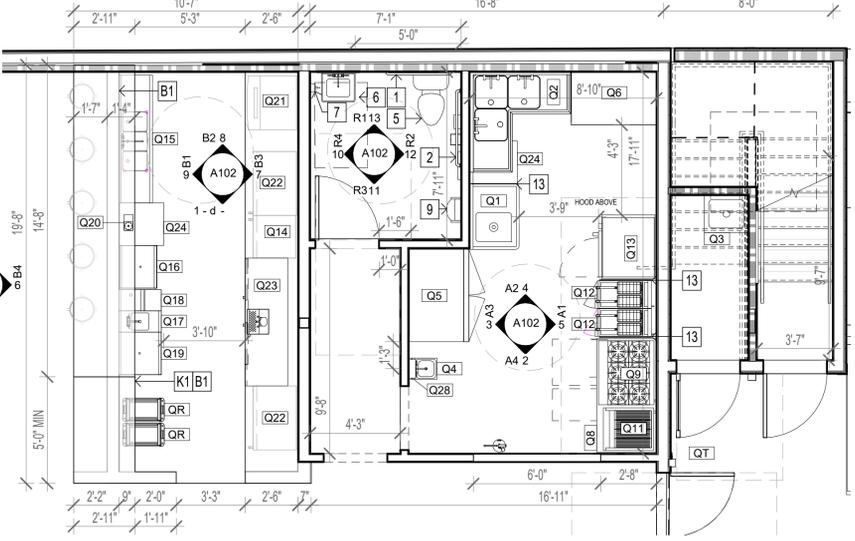
KEYNOTES

- [K1] BAR TOP, QUARTZ
- [K2] 2X C02 TANK
- [B1] FRP BEHIND BAR WALL AND UNDERSIDE OF COUNTER TOP, OR A LIGHT COLORED AND SMOOTH WASHABLE SURFACE FRP, MIN 4"0" HEIGHT FROM FINISH FLOOR, WALLS WITHIN 2 FEET OF SERVICE SINK OR WATER CLOSET HAVE A SMOOTH, HARD, NONABSORBENT SURFACE TO A HEIGHT OF 4 FEET ABOVE THE FLOOR, THE MATERIAL USED IN SUCH WALLS SHALL BE OF A TYPE THAT IS NOT AFFECTED BY MOISTURE. CBC 1209.2.2.
- [B2] 2X TANKLESS WATER HEATER, GAS
- [1] 36" MIN. GRAB BAR @ 34" FROM F.F. 11B-604.5 AND 11B-609, OUTSIDE DIAMETER OF 1.25" MIN- 2" MAX, SEE NOTE #3
- [2] 42" MIN. GRAB BAR @ 34" FROM F.F. 11B-604.5 AND 11B-609, OUTSIDE DIAMETER OF 1.25" MIN- 2" MAX, SEE NOTE #3
- [3] TOILET PAPER DISPENSER, 7-9" FROM WATER CLOSET, 19" MIN FROM FLOOR FINISH AND BELOW GRAB BARS, PER CBC 11B-604.7
- [4] SEAT COVER DISPENSER, 40" MAX ABOVE FINISH FLOOR PER CBC 11B-603.5.
- [4a] SAN. NAPKIN DISPOSAL, 40" MAX ABOVE FINISH FLOOR PER CBC 11B-603.5.
- [5] WATER CLOSET, CENTER LINE 17'-18" AWAY FROM ADJACENT WALL. THE FLUSH CONTROL (CBC 11B 604.6) LOCATION TO BE HAND OPERATED OR AUTOMATIC. HAND CONTROL FLUSH CONTROL SHALL COMPLY WITH SECTION 11B-309 EXCEPT SHALL BE LOCATED 44 INCH MAX. ABOVE FLOOR. FLUSH CONTROL TO BE LOCATED ON OPEN SIDE OF WATER CLOSET. TOPS OF ACCESSIBLE TOILETS, MIN 17'-19" ABOVE THE FINISH FLOOR
- [6] LAVATORY PER CBC 11B-606. FRONT RIM OR COUNTER MAX 34 INCH MAX ABOVE FINISH FLOOR. LOCATION MIN 18 INCH FROM CENTERLINE TO ADJACENT WALL. SINK DEPTH WITH TOE KNEE CLEARANCE PER CBC 11B-306. FAUCET PER CBC 11B-606.4, FOR TOE KNEE CLEARANCE SEE 4 / A401

- [7] LIQUID SOAP DISPENSER PER CBC 11B-603.5
- [8] MIRROR LOCATED ABOVE LAVATORY OR COUNTERTOPS SHALL BE INSTALLED WITH THE BOTTOM EDGE OF THE REFLECTING SURFACE 40" MAX ABOVE FINISH FLOOR, PER CBC 11B-603.3
- [9] URINAL PER CBC 11B-605.FLUSH CONTROLS FOR THE URINAL SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST AND SHALL BE MOUNTED NO MORE THAN 44 ABOVE THE FLOOR. CBC 11B-605.4 AND 11B-309
- [10] 3/8" COVE BASE
- [11] 8" MINIMUM HIGH STAINLESS STEEL SPLASH GUARD BETWEEN FRYER AND RANGE. 8" HEIGHT MUST BE MEASURED FROM THE HIGHER OF THE 2 PIECES OF EQUIPMENT
- [12] COUNTER TOP BE 28" MIN AND 34" MAX ABOVE THE FLOOR, WITH A 27" HIGH X 30" WIDE X 19" DEEP KNEE SPACE UNDERNEATH. CBC 11B-2 26. 3
- [13] 8" MINIMUM HIGH STAINLESS STEEL SPLASH GUARD BETWEEN FRYER AND RANGE. 8" HEIGHT MUST BE MEASURED FROM THE HIGHER OF THE 2 PIECES OF EQUIPMENT

NOTES

1. 11B-304.3.1 CIRCULAR SPACE. THE TURNING SPACE SHALL BE A SPACE OF 60 INCHES DIAMETER MINIMUM. THE SPACE SHALL BE PERMITTED TO INCLUDE KNEE AND TOE CLEARANCE COMPLYING WITH SECTION 11B-306.
2. 11B-606.5 EXPOSED PIPES AND SURFACES. WATER SUPPLY AND DRAIN PIPES UNDER LAVATORIES AND SINKS SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES AND SINKS. OWNER IS ALLOWED TO CHOOSE ALTERNATIVE APPROVED SPECIFICATIONS (TO BE REVIEWED BY THE ARCHITECT OF RECORD).
3. THE SPACE BETWEEN THE WALL AND THE GRAB BAR SHALL BE 1-1/2 INCHES. THE SPACE BETWEEN THE GRAB BAR AND PROJECTING OBJECTS BELOW AND AT THE ENDS SHALL BE 1-1/2 INCHES MINIMUM. THE SPACE BETWEEN THE GRAB BAR AND PROJECTING OBJECTS ABOVE SHALL BE 12 INCHES MINIMUM.



1 Level 1, Callout
 1/4" = 1'-0"

Floor Plan Level 1, Proposed, Callout



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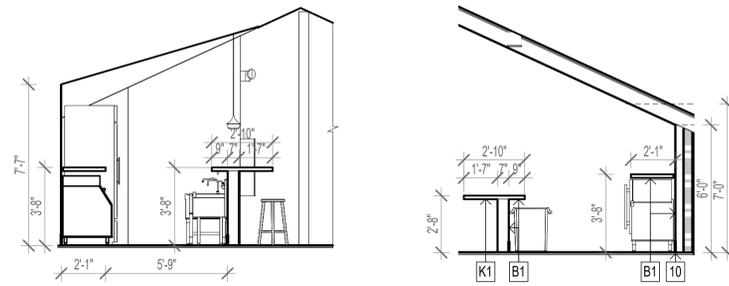
Revision Schedule		
Number	Description	Date
5	Health	2024.02.23
6	Building	2024.08.30
8	Health	2024.08.02
9	Blg & Health	2024.10.11
12	Prog & Blg	2025.10.20

Floor Plan Level 1, Proposed, Callout

A102

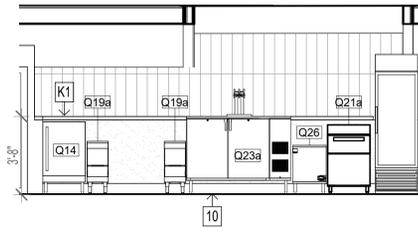
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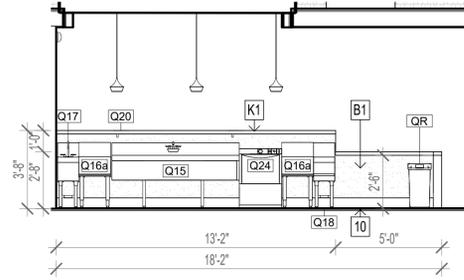


7 A5
1/4" = 1'-0"

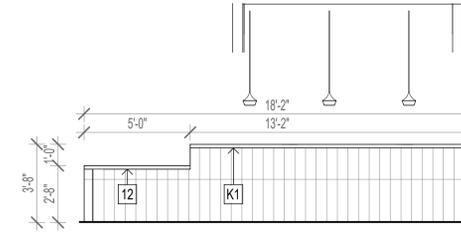
8 A6
1/4" = 1'-0"



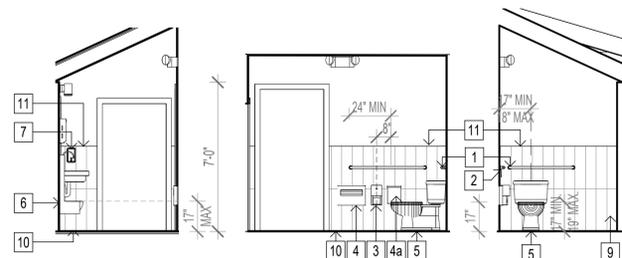
9 A7
1/4" = 1'-0"



10 A8
1/4" = 1'-0"



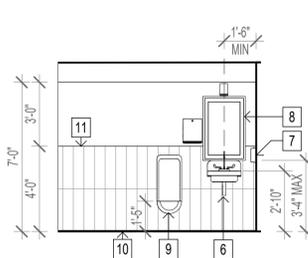
2 Elevation 4 - a
1/4" = 1'-0"



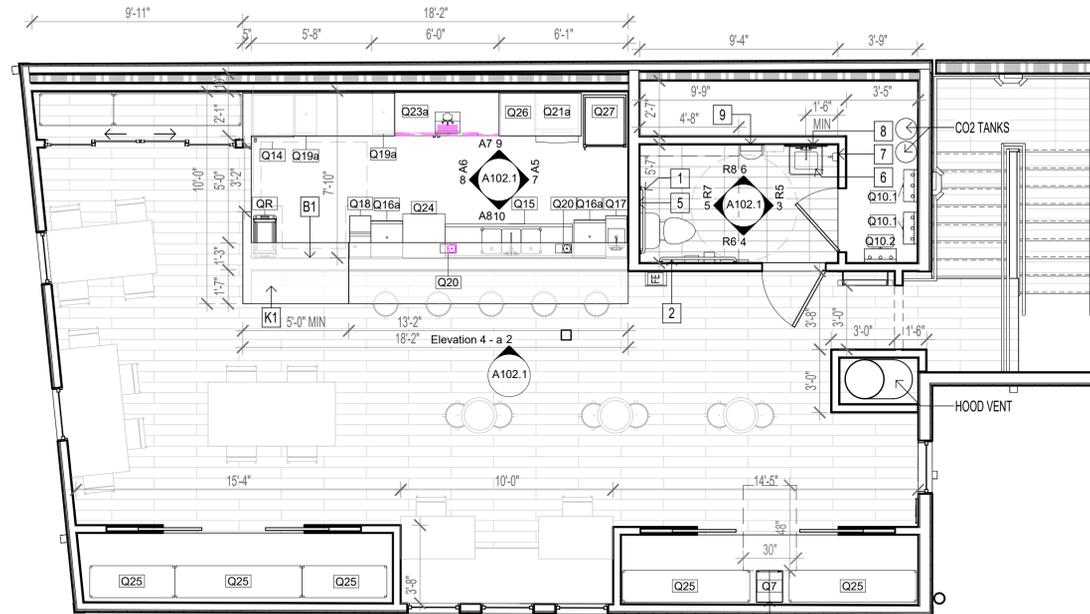
3 R5
1/4" = 1'-0"

4 R6
1/4" = 1'-0"

5 R7
1/4" = 1'-0"



6 R8
1/4" = 1'-0"



1 Level 2, Callout
1/4" = 1'-0"

MINIMUM OF 5% (WITH ONE MINIMUM OF EACH TYPE) OF LOCKERS ARE ACCESSIBLE W/ REQUIRED CLEAR FLOOR SPACE. CBC 11B-225.2.1 AND 11B-811 SEE 7 / A401

Equipment Schedule					
Type Mark	Description	Brand	Model	Comments	Notes
Q1	1 compartment Sink	John Boos	E1S8-1620-12R18-X	43.75(h) x36.5(w) x 25.5(d)	
Q2	Three Compartment Sink with Two Drainboards	Regency	600S31818XC	44.75(h)x 57(w)x57(d)	
Q3	Mop Sink	Advance Tabco	9-OP-20-EC-X	10(h) x 25(w) x 21(d)	Bowl size 16"x20"x 6"
Q4	Hand Sink	Advance Tabco	7-PS-23-ECSP	13(h) x 12(w) x 16(d)	
Q5	Reach-In Refrigerator	Beverage Air	RB49HC-1C	84.25"(h) x52"(w) x 33.5"(d)	
Q6	Worktop Freezer 48"	Beverage Air	AWT-48F-HC	39.63(h)x48(w)x32(d)	
Q7	Employee Lockers	Salsbury Industrial	62165	12"W X 15"D X 72"H	Located on Accessible Path of Travel
Q8	REFRIGERATED BASE	Beverage Air	WTRCS60HC-64	24.38(h) x 64(w) x 34.75(d)	
Q9	GAS OPEN BURNER	Imperial	IHPA-6-36	10.75(h) x 36(w) x 31.38(d)	
Q10.1	Water Heater	Noritz	NCC300DV	32.7"(h)x18.9"(w)x14.2"(d)	
Q10.2	Water Heater	Takagi	T-H3S-DV-N	22.5"(h) x 17.75"(w) x 10.75"(d)	
Q11	COUNTER TOP-BROILER	Imperial	IAB-24	20(h) x 24(w) x 28.5(d)	
Q12	Gas Floor Fryer	Imperial	IFS-50	45.75(h) x 15.5(w) x 30.5(d)	
Q13	Gas Combi Oven	Rational iCombi Classic	RATIONAL Model ICC 6-HALF NG	29.6(h) x33.5(w) x 30.5(d)	Coord with Vendor for table/stand accessories
Q14	Undercounter Freezer	Beverage Air	UCFD27AHC-23	34.63"(h) x 27"(w) x 32"(d)	
Q15	Three Compartment Sink	LaCrosse Cooler	SD63C	36(h) x72(w) x 19(d)	
Q16	Ice Bin	LaCrosse Cooler	SK24IC	30(h) x 24(w) x 21.25(d)	
Q16a	Ice Bin 18"	LaCrosse Cooler	SD18IC	30(h) x18(w) x 19(d)	
Q17	Spec-Bar Hand Sinks	LaCrosse Cooler	CL12HS	30(h) x 12(w) x 24(d)	
Q18	Spec-Bar Blender Station w/ Dump Sink	LaCrosse Cooler	CL12RSCH	36(h) x 12(w) x 24(d)	
Q19	Glass Rack	LaCrosse Cooler	CL24GR	36(h) x 24(w) x 24(d)	
Q19a	Glass Rack, 12"	LaCrosse Cooler	CL12GR-DB	36(h) x12(w) x 24(d)	
Q20	Undercounter Mount Rinsers Faucet	LaCrosse Cooler	GR5-9	5" x 9"	
Q21	Ice Maker, Regular 30" w/ Bin	Hoshizaki	KM-301BAJ	39(h)x30(w)x 28(d)	
Q21a	Ice Maker, Regular 30"	Hoshizaki	KML-325MAJ	22(h)x30(w)x 27.38(d)	
Q22	Undercounter Refrigerator	Beverage Air	BB36HC-1-G-B-27	36(h) x 36(w) x 24.5(d)	
Q23	Keg Cooler	Beverage Air	DD72HC-1-S	51.25(h) x 72(w) x 24.38(d)	
Q23a	Keg Cooler	True	TDD-2-HC	37(h) x59(w) x 27.13(d)	
Q24	Dishwasher, Undercounter	Auto-Chlor	U34spacesaver	34(h) x 24(w) x 24(d)	
Q25	Wire Shelves	Metro	1848NC, 1860NC, 1872 NC	18x48, 18x60, 18x72	<varies>
Q26	Ice Maker, Flakes	Hoshizaki	F-330BAJ	39(h)x 24(w)x26(d)	
Q27	Merchandiser Refrigerator	Empura	EGM-13B	78(h) x 22.7"(w) x 23.8"D	
Q28	Paper Towel Dispenser	Uline	H-2275	15"h x 11"w x 5"d	
QH	Captive air Hood	Captive Air	5412 SND-2	10'-6"	Exhaust Diameter 18"
QR	Trash Receptacles	Rubbermaid	H-2893	25(h)x22(w)x11(d)	
QT	Grease Interceptor	Schier	GB-50	28.5"(h) x 37"w x 32.25"(d)	

NOTE:
1. OWNER ALLOWED TO CHOOSE ALTERNATIVE COMPLIANT PRODUCT
2. ALL EQUIPMENT AND COUNTERS/CABINETS SHALL BE INSTALLED ON 6" HIGH ROUND METAL LEGS, COMMERCIAL CASTORS

KEYNOTES

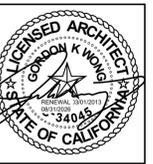
- K1 BAR TOP, QUARTZ
- K2 2X CO2 TANK
- B1 FRP BEHIND BAR WALL AND UNDERSIDE OF COUNTER TOP. OR A LIGHT COLORED AND SMOOTH WASHABLE SURFACE FRP, MIN 40" HEIGHT FROM FINISH FLOOR, WALLS WITHIN 2 FEET OF SERVICE SINK OR WATER CLOSET HAVE A SMOOTH, HARD, NONABSORBENT SURFACE TO A HEIGHT OF 4 FEET ABOVE THE FLOOR, THE MATERIAL USED IN SUCH WALLS SHALL BE OF A TYPE THAT IS NOT AFFECTED BY MOISTURE. CBC 1209.2.2.
- B2 2X TANKLESS WATER HEATER, GAS
- 1 36" MIN. GRAB BAR @ 34" FROM F.F. 11B-604.5 AND 11B-609, OUTSIDE DIAMETER OF 1.25" MIN- 2" MAX, SEE NOTE #3
- 2 42" MIN. GRAB BAR @ 34" FROM F.F. 11B-604.5 AND 11B-609, OUTSIDE DIAMETER OF 1.25" MIN- 2" MAX, SEE NOTE #3
- 3 TOILET PAPER DISPENSER, 7-9" FROM WATER CLOSET, 19" MIN FROM FLOOR FINISH AND BELOW GRAB BARS, PER CBC 11B-604.7
- 4 SEAT COVER DISPENSER, 40" MAX ABOVE FINISH FLOOR PER CBC 11B-603.5.
- 4a SAN. NAPKIN DISPOSAL, 40" MAX ABOVE FINISH FLOOR PER CBC 11B-603.5.
- 5 WATER CLOSET, CENTER LINE 17"-18" AWAY FROM ADJACENT WALL. THE FLUSH CONTROL (CBC 11B 604.6) LOCATION TO BE HAND OPERATED OR AUTOMATIC. HAND CONTROL FLUSH CONTROL SHALL COMPLY WITH SECTION 11B-309 EXCEPT SHALL BE LOCATED 44 INCH MAX. ABOVE FLOOR. FLUSH CONTROL TO BE LOCATED ON OPEN SIDE OF WATER CLOSET. TOPS OF ACCESSIBLE TOILETS, MIN 17'-19" ABOVE THE FINISH FLOOR
- 6 LAVATORY PER CBC 11B-606. FRONT RIM OR COUNTER MAX 34 INCH MAX ABOVE FINISH FLOOR. LOCATION MIN 18 INCH FROM CENTERLINE TO ADJACENT WALL. SINK DEPTH WITH TOE KNEE CLEARANCE PER CBC 11B-306. FAUCET PER CBC 11B-606.4, FOR TOE KNEE CLEARANCE SEE 4 / A401

- 7 LIQUID SOAP DISPENSER PER CBC 11B-603.5
- 8 MIRROR LOCATED ABOVE LAVATORY OR COUNTERTOPS SHALL BE INSTALLED WITH THE BOTTOM EDGE OF THE REFLECTING SURFACE 40" MAX ABOVE FINISH FLOOR, PER CBC 11B-603.3
- 9 URINAL PER CBC 11B-605, FLUSH CONTROLS FOR THE URINAL SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST AND SHALL BE MOUNTED NO MORE THAN 44 ABOVE THE FLOOR. CBC 11B-605.4 AND 11B-309
- 10 3/8" COVE BASE
- 11 SHLUTER
- 12 COUNTER TOP BE 28" MIN AND 34" MAX ABOVE THE FLOOR, WITH A 27" HIGH X 30" WIDE X 19" DEEP KNEE SPACE UNDERNEATH. CBC 11B-2.26.3

NOTES

1. 11B-304.3.1 CIRCULAR SPACE. THE TURNING SPACE SHALL BE A SPACE OF 60 INCHES DIAMETER MINIMUM. THE SPACE SHALL BE PERMITTED TO INCLUDE KNEE AND TOE CLEARANCE COMPLYING WITH SECTION 11B-306.
2. 11B-606.5 EXPOSED PIPES AND SURFACES. WATER SUPPLY AND DRAIN PIPES UNDER LAVATORIES AND SINKS SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES AND SINKS. OWNER IS ALLOWED TO CHOOSE ALTERNATIVE APPROVED SPECIFICATIONS (TO BE REVIEWED BY THE ARCHITECT OF RECORD).
3. THE SPACE BETWEEN THE WALL AND THE GRAB BAR SHALL BE 1-1/2 INCHES. THE SPACE BETWEEN THE GRAB BAR AND PROJECTING OBJECTS BELOW AND AT THE ENDS SHALL BE 1-1/2 INCHES MINIMUM. THE SPACE BETWEEN THE GRAB BAR AND PROJECTING OBJECTS ABOVE SHALL BE 12 INCHES MINIMUM.

Floor Plan Level 2, Proposed, Callout



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Revision Schedule

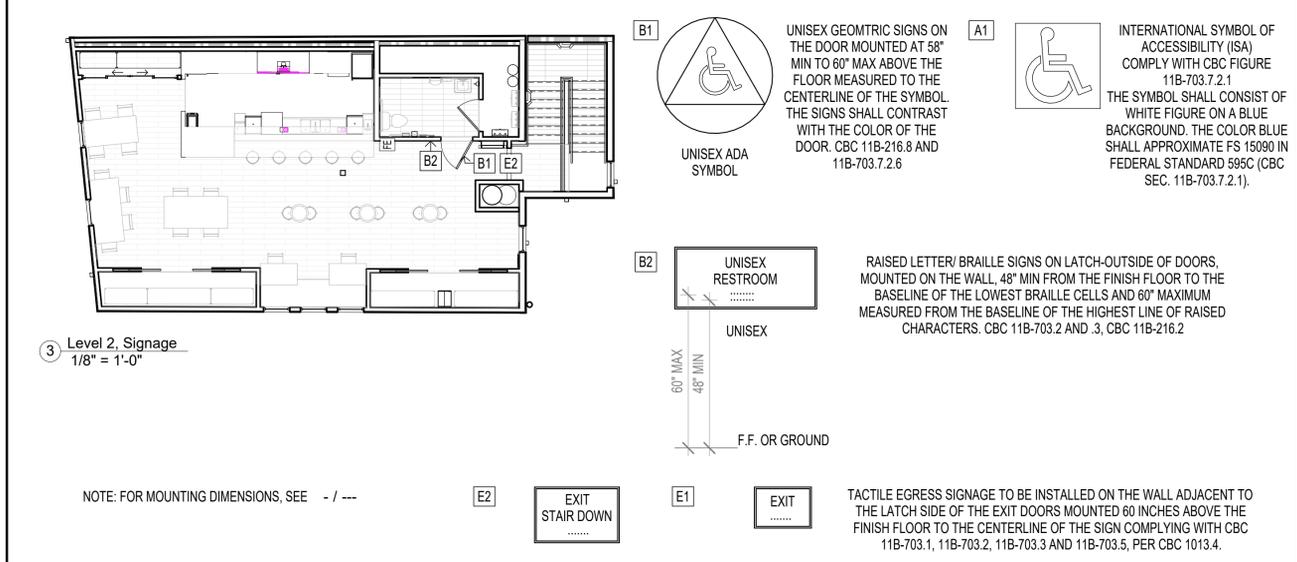
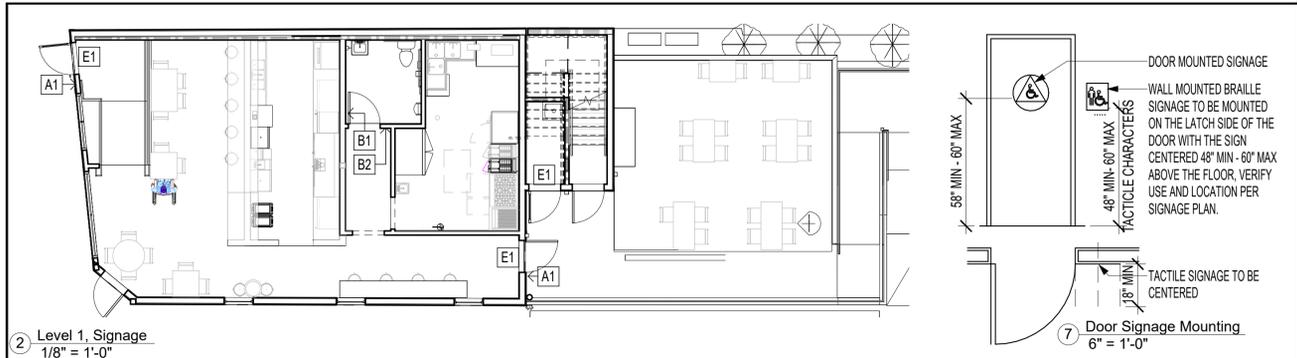
Number	Description	Date
5	Health	2024.02.23
6	Building	2024.08.30
9	Buildg & Health	2024.10.11

Floor Plan Level 2, Proposed, Callout

A102.1

SCALE As indicated

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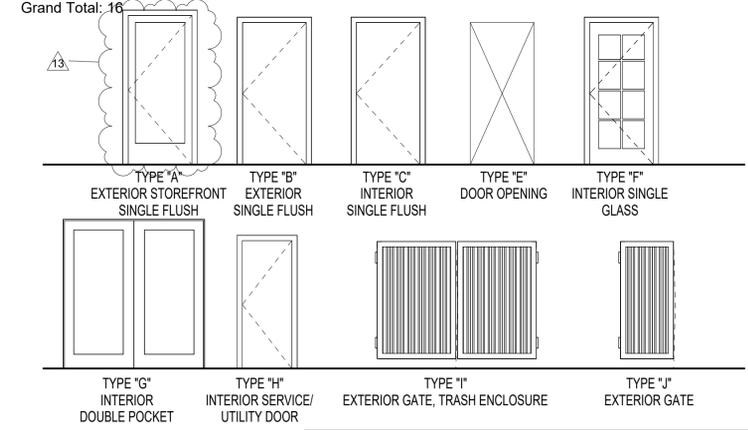


Room Name	Area	Floor Finish	Base Finish	Wall Finish	Ceiling Finish	Comments
BAR	149 SF	ECO GRIP, PEWTER	ECO GRIP, 3/8" COVE	FRP UP TO 4' MIN, PORCELAIN TILE	GYPNUM, EGGSHELL PAINT	
OUTDOOR DINING	356 SF	STAMPED CONCRETE, WOOD TEXTURE	-	-	-	
BAR, 2ND LVL	139 SF	ECO GRIP, PEWTER	ECO GRIP, 3/8" COVE	FRP UP TO 4' MIN, PORCELAIN TILE	GYPNUM, EGGSHELL PAINT	
DINING, 1ST LVL	424 SF	LUXURIOUS VINYL TILE	MDF BASE, GLOSSY PAINT	GYPNUM, EGGSHELL PAINT	GYPNUM, EGGSHELL PAINT	
ALL GENDER RESTROOM #2	52 SF	CERAMIC TILE	3/8" COVE SCHLUTER	CERAMIC TILE MIN 4" AND GYPNUM, EGGSHELL PAINT	GYPNUM, EGGSHELL PAINT	Note#2
STORAGE #2	48 SF	ECO GRIP, PEWTER	ECO GRIP, 3/8" COVE	FRP UP TO 4' MIN, AND GYPNUM EGGSHELL PAINT	GYPNUM, EGGSHELL PAINT	
STORAGE #3	46 SF	ECO GRIP, PEWTER	ECO GRIP, 3/8" COVE	FRP UP TO 4' MIN, AND GYPNUM EGGSHELL PAINT	GYPNUM, EGGSHELL PAINT	
STAIRWELL	74 SF	LUXURIOUS VINYL TILE	MDF BASE, GLOSSY PAINT	GYPNUM, EGGSHELL PAINT	GYPNUM, EGGSHELL PAINT	
DINING, 2ND LVL	559 SF	LUXURIOUS VINYL TILE	MDF BASE, GLOSSY PAINT	GYPNUM, EGGSHELL PAINT	GYPNUM, EGGSHELL PAINT	
KITCHEN	185 SF	ECO GRIP, PEWTER	ECO GRIP, 3/8" COVE	FRP UP TO 4' MIN, AND GYPNUM EGGSHELL PAINT	GYPNUM, EGGSHELL PAINT	
STORAGE #4	22 SF					

(P) Door Schedule

Door Number	Door Type	Type	Count	Width	Height	Self Closing & Latching	Tempered	Hardware	Comments
D1a	Exterior Storefront, Single	F	1	3'-0"	7'-0"	Yes	Yes	H1	Min 10" kick plate, see 5/A401
D1b	Exterior Storefront, Single	A	1	3'-0"	7'-0"	Yes	Yes	H1	Min 10" kick plate, see 5/A401
D1c	Exterior Storefront, Single	F	1	3'-0"	6'-8"		Yes	H1	Min 10" kick plate, see 5/A401
D2	Exterior Single Flush	B	1	3'-0"	6'-8"	Yes			
D4	Single Flush Door	C	1	3'-0"	6'-8"			H2	Min 10" kick plate, see 5/A401
D6	Door Opening	E	1	3'-0"	6'-8"				
D7	Interior Single Flush	C	1	3'-0"	6'-8"	Yes		H2	Min 10" kick plate, see 5/A401
D8a	Interior Double Pocket Door	G	1	6'-0"	6'-8"				
D8b	Interior Double Pocket Door	G	1	6'-0"	6'-8"				
D8f			1	9'-0"	6'-0"				
D9	Interior Service/Utility Door	H	1	3'-0"	6'-0"				
D10	Garbage Enclosure Gate	I	1	7'-6"	6'-0"				
D14	Garbage Enclosure Single Gate	J	1	3'-0"	6'-0"			H1	
D16	Door Opening	E	1	3'-0"	6'-8"				
D17	Door Opening	E	1	3'-0"	6'-8"				
D18	Pass-through Opening	E	1	6'-0"	2'-8"				

Grand Total: 18

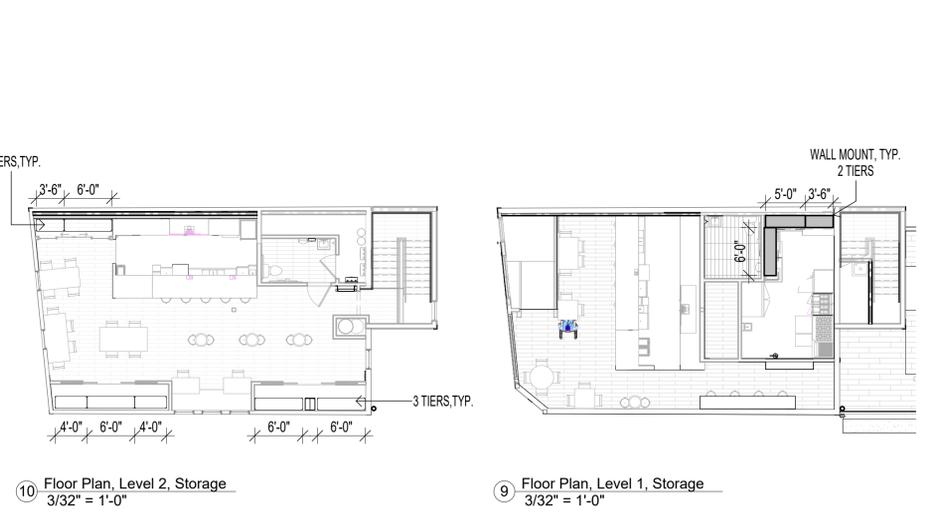


(P) Window Schedule

Type Mark	Count	Window Type	Width	Height	Sill Height	Phase Created
W1	1	Single Hung	2'-6"	4'-5"	1'-11"	New Construction
W1e	1	Single Hung	2'-9"	3'-10"	3'-0"	Existing
W2e	2	Single Hung	2'-9"	4'-6 1/2"	1'-7"	Existing
We	6	Double Hung	2'-6"	4'-5"	1'-11"	Existing

Grand total 10

NOTE: EXISTING WINDOWS, GLASS TO BE REPLACED



DRY STORAGE CALCULATION

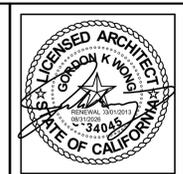
DRY FOOD STORAGE REQUIREMENT

- CONTAIN A MINIMUM OF 96 LF OF 18" WIDE SHELVING
- SHELVING MUST BE 3 TIERS HIGH AND 18" DEPTH MIN
- LOWEST SHELF MUST BE 6" ABOVE THE FINISH FLOOR

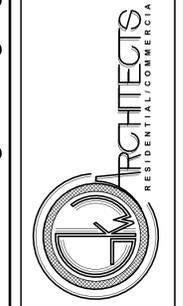
LINEAR FEET SHELVING PROPOSED

4 SHELVES X (6 LF X 3 TIERS) = 72 LF
 2 SHELVES X (4 LF X 3 TIERS) = 24 LF
 1 SHELF X (3.5 LF X 3 TIERS) = 10.5 LF

TOTAL PROPOSED = 124.5 LF



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25 West Main St.
 Los Gatos, CA, 95030

Revision Schedule

Number	Description	Date
8	Building	2024.08.30
9	Plg & Health	2024.10.11
10	Plg & Bldg	2025.03.03
12	Plg & Bldg	2025.10.29

Door, Window, Wall, Finish Schedules, Storage, & Signage

A103

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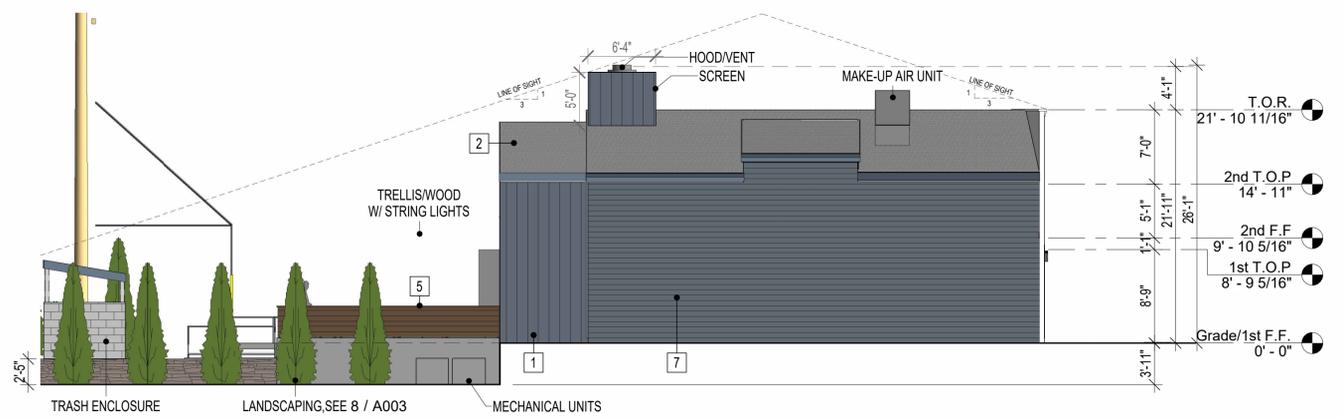
① Elevation, Front, Existing
1/8" = 1'-0"



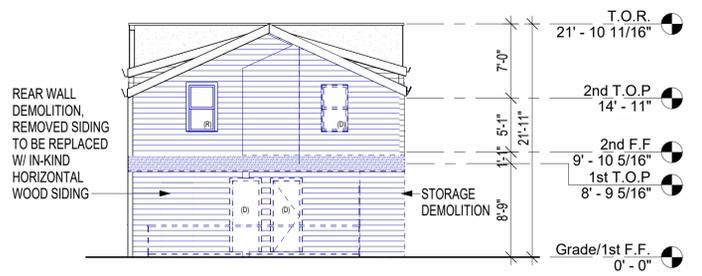
② Elevation, Left, Existing
1/8" = 1'-0"



③ Elevation, Front, Proposed
1/8" = 1'-0"



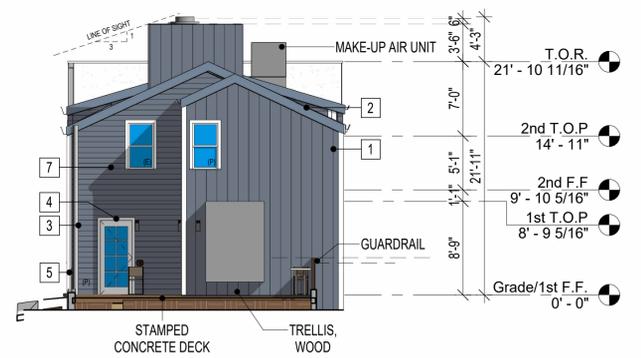
④ Elevation, Left, Proposed
1/8" = 1'-0"



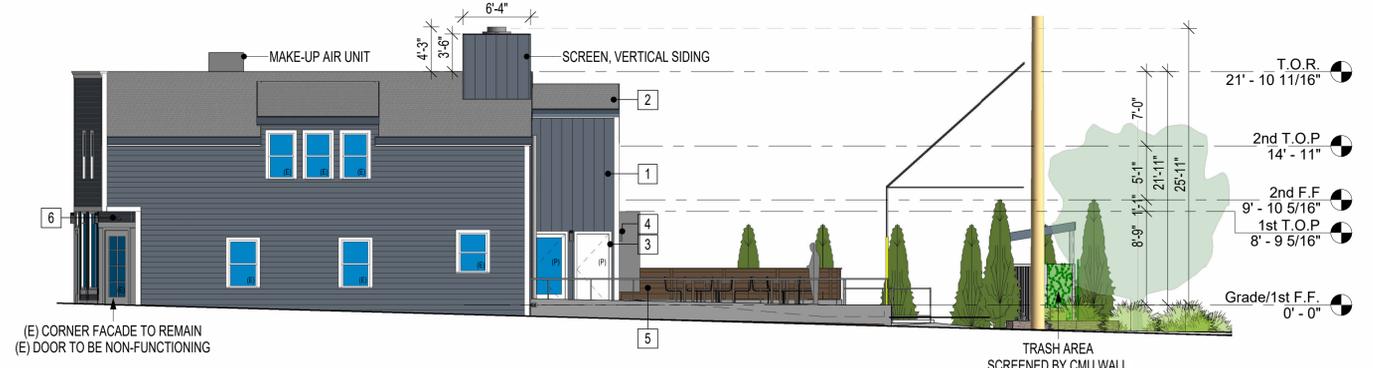
⑤ Elevation, Rear, Existing
1/8" = 1'-0"



⑥ Elevation, Right, Existing
1/8" = 1'-0"



⑦ Elevation, Rear, Proposed
1/8" = 1'-0"

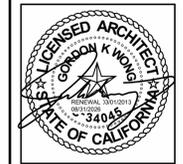


⑧ Elevation, Right, Proposed
1/8" = 1'-0"

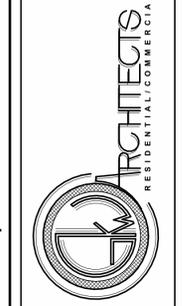
- ELEVATION KEYNOTES/ MATERIAL**
- EXTERIOR VERTICAL SIDING/ JAMES HARDIE COLOR TO MATCH EXISTING
 - ROOFING MATERIAL CLASS A COMPOSITION SHINGLES TO MATCH EXISTING
 - WINDOW GLASS PANES TO BE REPLACED, TRIM AND FRAME TO REMAIN
 - FIXTURES TO MINIMIZE GLARE AND LIGHT SPILL ONTO AREAS OFF OF THE BUILDING SITE. EXTERIOR LIGHTING TO BE DOWNLIT
 - WOOD FENCE
 - ADDRESS IDENTIFICATION, CONTRAST WITH BACKGROUND, MIN 4 INCH HIGH, MIN STROKE 0.5 INCH, PER CBC SEC 505.1
 - NEW HORIZONTAL WOOD SIDING, MATCH EXISTING

- ELEVATION LEGEND**
- (E) EXISTING (P) PROPOSED
(D) TO BE DEMOLISHED (R) TO BE REPLACED
- NOTE**
1. CONTRACTOR TO VERIFY DIMENSIONS, EXISTING CONDITIONS, STRUCTURES, UTILITIES ON SITE.
2. OWNER ALLOWED TO CHOOSE ALTERNATIVE COMPLIANT PRODUCT.

PHOTO REFERENCE



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Elevations, Existing & Proposed

25 West Main St.
Los Gatos, CA, 95030

Revision Schedule

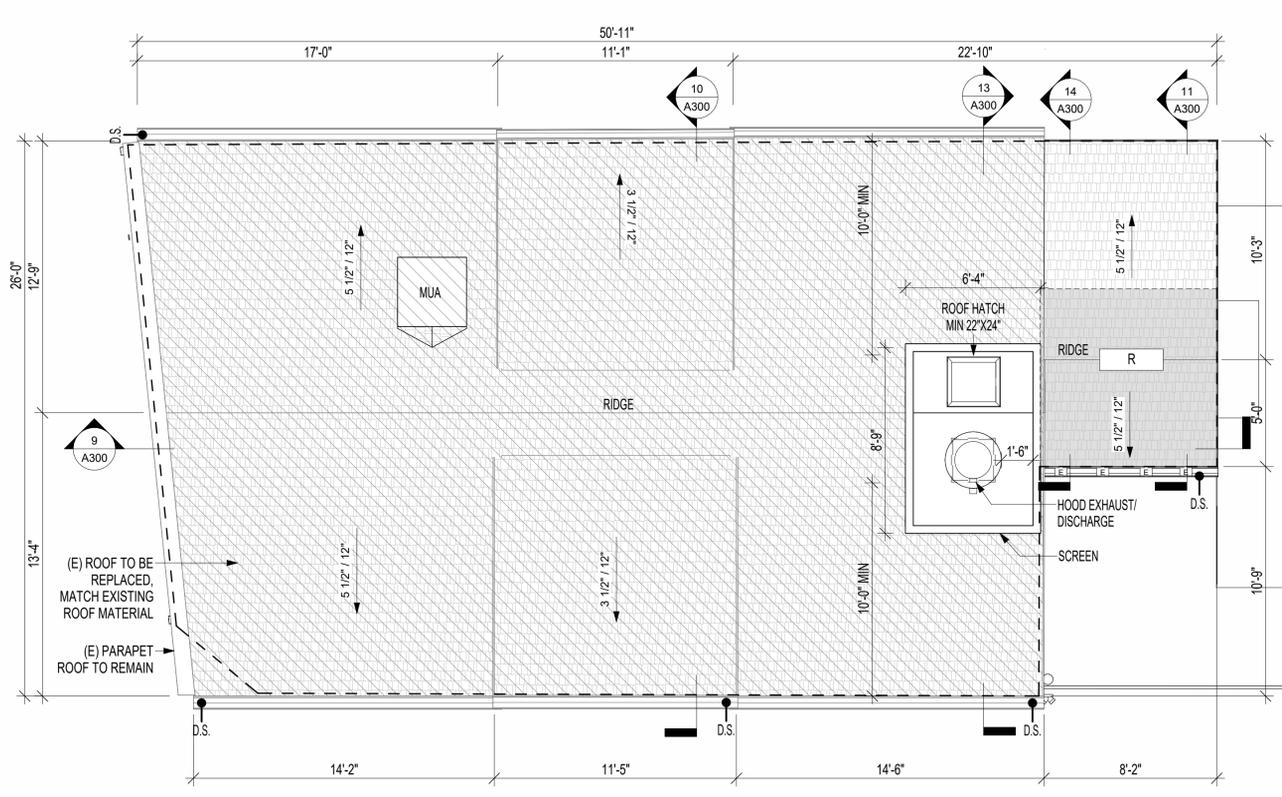
Number	Description	Date
1	Planning	2022.10.19
2	Planning	2023.03.17
6	Building	2024.08.30
11	CA	2025.09.22
13	HPC	2026.01.12

Elevations,
Existing &
Proposed

A200

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1 Roof Plan, Proposed
1/4" = 1'-0"

ROOF NOTES:
 *ALL ROOF SHEATHING TO USE FIRE RETARDANT TREATED ROOF SHEATHING OR APPROVED EQUIVALENT
 *ALL ROOF RAFTERS TO BE REPLACED
 *ALL ROOFING FINISH MATERIAL TO BE CLASS A AND SHALL MATCH EXISTING ROOF

LEGEND

- BUILDING FOOTPRINT
- D.S. DOWNSPOUT, TO CONNECT TO STORM WATER PIPE
- R RIDGE VENT SEE 12 / A300
- EAVE VENT, SEE 8 / A400
- ATTIC AREA
- ROOFTOP VENT HOOD
- MUA MAKEUP AIR UNIT

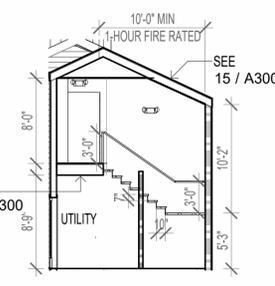
STAIRCASE ATTIC VENT CALCS:

• REQUIRED VENTILATION
 64 SF / 150 = 0.43 SF (61.44 SI)
 IDEAL RATIO (UPPER VENT : LOWER VENT) = 50% : 50%
 = 30.72 SI : 30.72 SI

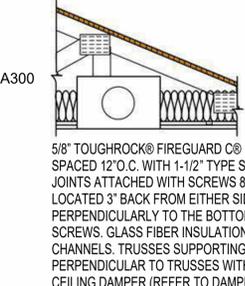
RIDGE VENT: (N.F.A. = 18 SI PER LINEAR FT)
 PROVIDED LENGTH = 3 FT
 3 x 18 = 48 SI

EAVE VENT: (N.F.A. 7.06 SI PER VENT)
 PROVIDED HOLES = 4
 7.06 x 4 = 28.24 SI

TOTAL = 48 + 28.24 = 76.24 SI > 61.44 SI, OKAY



14 Section, Stairwell, Addition
1/8" = 1'-0"

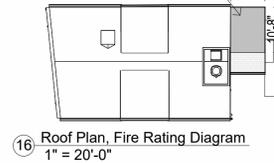


15 Ceiling/Roof 1 Hour Assembly
12" = 1'-0"

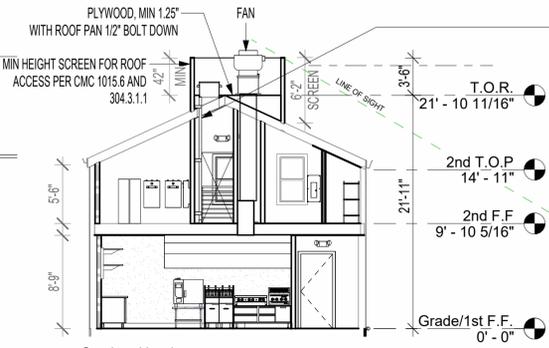
HOURLY RATING: 1-HOUR
 FIRE TEST REFERENCE: UL P545, GA RC 26062
 APPROVED FOR ASSEMBLY:
 TOUGHROCK® FIREGUARD C® PRODUCTS

5/8" TOUGHROCK® FIREGUARD C® APPLIED PERPENDICULAR TO THE RESILIENT CHANNELS SPACED 12" O.C. WITH 1-1/2" TYPE S SCREWS 8" O.C. 24" WITH 1-1/4" TYPE S OR W SCREWS. END JOINTS ATTACHED WITH SCREWS 8" O.C. ATTACHED TO PIECES OF CHANNEL 60" LONG LOCATED 3" BACK FROM EITHER SIDE OF THE END JOINT. RESILIENT CHANNEL APPLIED PERPENDICULARLY TO THE BOTTOM OF THE WOOD TRUSSES 24" O.C. WITH 1-1/4" TYPE S SCREWS. GLASS FIBER INSULATION ATTACHED TO WOOD PANELS OR DRAPED OVER CHANNELS. TRUSSES SUPPORTING 15/32" WOOD STRUCTURAL PANELS APPLIED PERPENDICULAR TO TRUSSES WITH ADHESIVE AND 6D RING SHANK NAILS 12" O.C. OPTIONAL CEILING DAMPER (REFER TO DAMPER MANUFACTURER FOR DAMPER TYPE).

16 Roof Plan, Fire Rating Diagram
1" = 20'-0"

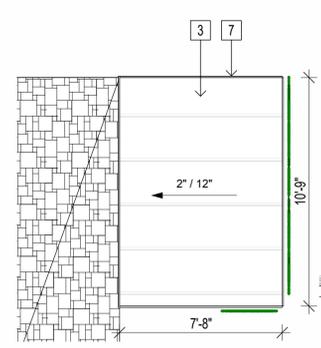


PER CBC 705.11 PARAPETS, EXCEPTION 4. ONE-HOUR FIRE-RESISTANCE-RATED EXTERIOR WALLS THAT TERMINATE AT THE UNDERSIDE OF THE ROOF SHEATHING, DECK OR SLAB, PROVIDED THAT:
 4.1 WHERE THE ROOF/CEILING FRAMING ELEMENTS ARE PARALLEL TO THE WALLS, SUCH FRAMING AND ELEMENTS SUPPORTING SUCH FRAMING SHALL NOT BE OF LESS THAN 1-HOUR FIRE-RESISTANCE-RATED CONSTRUCTION FOR A WIDTH OF 4 FEET FOR GROUPS R AND U AND 10 FEET FOR OTHER OCCUPANCIES, MEASURED FROM THE INTERIOR SIDE OF THE WALL.
 4.2 WHERE ROOF/CEILING FRAMING ELEMENTS ARE NOT PARALLEL TO THE WALL, THE ENTIRE SPAN OF SUCH FRAMING AND ELEMENTS SUPPORTING SUCH FRAMING SHALL NOT BE OF LESS THAN 1-HOUR FIRE-RESISTANCE-RATED CONSTRUCTION.
 4.3 OPENINGS IN THE ROOF SHALL NOT BE LOCATED WITHIN 5 FEET OF THE 1-HOUR FIRE-RESISTANCE-RATED EXTERIOR WALL FOR GROUPS R AND U AND 10 FEET FOR OTHER OCCUPANCIES, MEASURED FROM THE INTERIOR SIDE OF THE WALL.
 4.4 THE ENTIRE BUILDING SHALL BE PROVIDED WITH NOT LESS THAN A CLASS B ROOF COVERING.

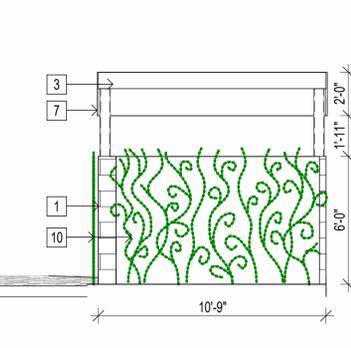


13 Section, Hood
1/8" = 1'-0"

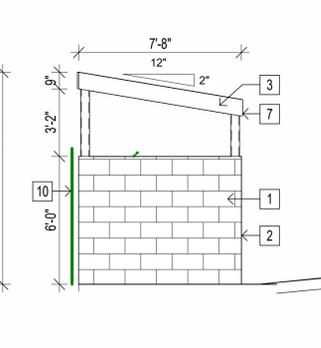
304.3.1.2 PERMANENT LADDERS
 PERMANENT LADDERS REQUIRED BY SECTION 304.3.1.1 SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING:
 1. SIDE RAILINGS SHALL EXTEND NOT LESS THAN 30 INCHES ABOVE THE ROOF OR PARAPET WALL.
 2. LANDINGS SHALL NOT EXCEED 18 FEET APART MEASURED FROM THE FINISHED GRADE.
 3. WIDTH SHALL BE NOT LESS THAN 14 INCHES ON CENTER.
 4. RUNGS SPACING SHALL NOT EXCEED 12 INCHES ON CENTER AND EACH RUNG SHALL BE CAPABLE OF SUPPORTING A 300 POUND LOAD.
 5. TOE SPACE SHALL BE NOT LESS THAN 6 INCHES



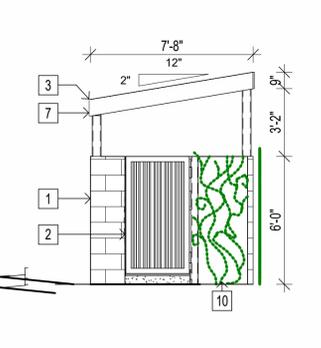
2 Trash Enclosure Roof Plan
1/4" = 1'-0"



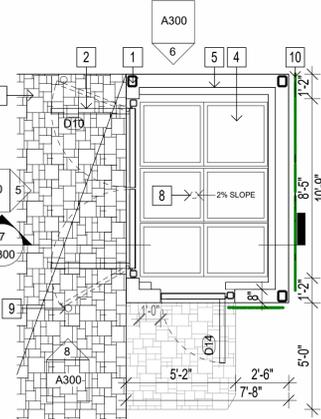
4 Trash Enclosure, Rear Elevation
1/4" = 1'-0"



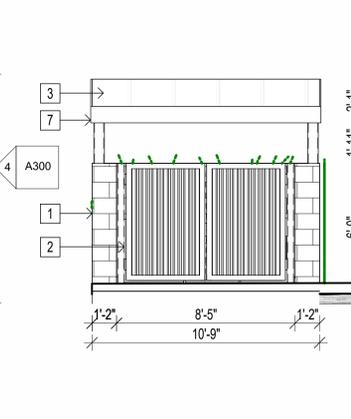
6 Trash Enclosure, Left Side Elevation
1/4" = 1'-0"



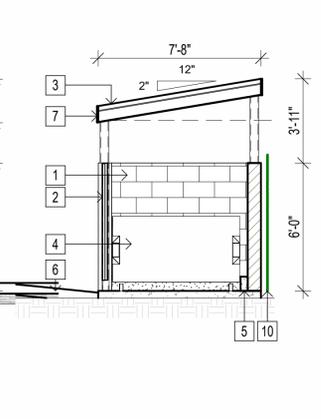
8 Trash Enclosure, Right Side Elevation
1/4" = 1'-0"



3 Trash Enclosure Floor Plan
1/4" = 1'-0"



5 Trash Enclosure, Front Elevation
1/4" = 1'-0"



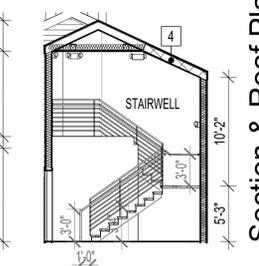
7 Trash Enclosure, Section
1/4" = 1'-0"

TRASH ENCLOSURE KEY NOTES

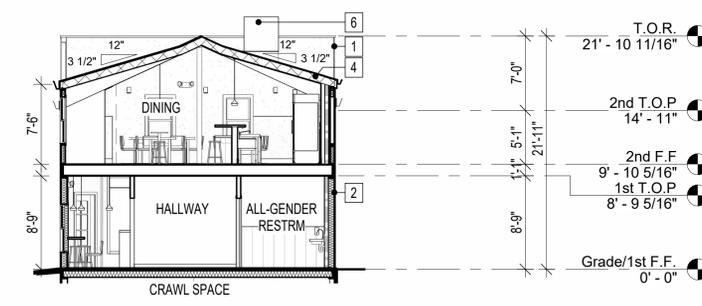
- 1 CMU WALL
- 2 MTL FABRICATED DOOR POWDER COATED
- 3 GALV. STANDING SEAM MTL SHED ROOF, GALV.
- 4 TRASH BIN
- 5 TRASH BIN BUMPER, CONCRETE
- 6 PERMEABLE PAVERS
- 7 FASCIA BOARD
- 8 FLOOR DRAIN, SEE CIVIL AND PLUMBING SHEETS
- 9 J-HOOKS FOR SECURING THE DOOR FOR SERVICING
- 10 STAINLESS STEEL CABLE AND POST WITH VINES PER CITY OF LOS GATOS COMMERCIAL DESIGN GUIDELINES SECTION 1.5.5. "USE OF DENSE FLOWERING VINES MAY BE USED... PROVIDE A STRONG TEXTURE WHILE LANDSCAPING IS GROWING TO MATURITY..."



9 Section 1, Proposed
1/8" = 1'-0"



11 Section, Stairwell
1/8" = 1'-0"



10 Section 2, Proposed
1/8" = 1'-0"

HOURLY RATING: 1-HOUR
 FIRE TEST REFERENCE: UL L501, dUL L501, GA FC 5420

5/8" (15.9 MM) TOUGHROCK® FIREGUARD X® PRODUCTS APPLIED PERPENDICULAR TO 2" X 10" WOOD JOISTS 16" (406 MM) O.C. WITH 1-7/8" (48 MM) 6D NAILS 6" (152 MM) O.C. WOOD JOISTS SUPPORTING 1" (25.4 MM) NOMINAL WOOD SUB AND 1" (25.4 MM) NOMINAL FINISH FLOOR, OR 19/32" (15.1 MM) PLYWOOD FINISHED FLOOR WITH LONG EDGES T&G AND 15/32" (11.9 MM) INTERIOR PLYWOOD WITH XTERIOR GLUE SUBFLOOR PERPENDICULAR TO JOISTS WITH JOINTS STAGGERED.

APPROVED FOR ASSEMBLY:
 DENSARMOR PLUS® FIREGUARD C® PRODUCTS
 DENSARMOR PLUS® FIREGUARD C® PRODUCTS
 DENSELEMENT® BARRIER SHEATHING
 DENSGLOSS® FIREGUARD® SHEATHING
 DENSSHIELD® FIREGUARD® TILE BACKER
 TOUGHROCK® FIREGUARD C® PRODUCTS
 TOUGHROCK® FIREGUARD X® MOLD-GUARD® PRODUCTS
 TOUGHROCK® FIREGUARD X® PRODUCTS
 TOUGHROCK® LITE-WEIGHT FIRE-RATED PRODUCTS

SECTION KEY NOTES

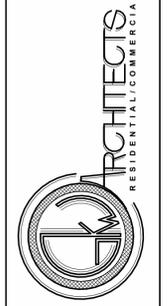
- 1 (E) ROOF PARAPET TO REMAIN
- 2 (E) WALL, (P) INSULATION
- 3 (P) HANDRAIL
- 4 (P) DORMER/ ROOF, NEW INSULATION SPRAY FOAM
- 5 1-HOUR RATED FLOOR/CEILING ASSEMBLY, SEE 12 / A300
- 6 MAKE-UP AIR UNIT, SEE MEP PLANS

12 1-Hour Fire Rated Ceiling/ Floor
1" = 1'-0"

Section & Roof Plan & Trash Enclosure



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25 West Main St.
 Los Gatos, CA, 95030

Revision Schedule

Number	Description	Date
1	Planning	2023.03.17
2	Building	2024.08.30
3	Blgd & Health	2024.10.11
11	CA	2025.09.22
12	Prog & Blgd	2025.10.20

Section & Roof Plan & Trash Enclosure
A300
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4 Section View, Rear



3 Section View, Front



ROOFTOP VENT WITH SCREEN, VERTICAL SIDING
 ADDITION/ STAIRCASE
 VERTICAL SIDING, COLOR TO MATCH EXISTING

OUTDOOR DECK/ DINING AREA
 TRELLIS, STRING LIGHTING WITH WOOD FENCE/ SCREENING, 3'-6"
 LANDSCAPING, SEE A003
 TRASH AREA
 SCREENED BY 6'-0" WOOD FENCE AND LANDSCAPING

ACCESSIBLE RAMP WITH HANDRAILS
 PERMEABLE PAVERS
 RETAINING WALL



(E) WINDOWS AND TRIM TO REMAIN, GLASS PANE TO BE REPLACED
 (E) ROOF STRUCTURE TO REMAIN
 ROOFTOP VENT WITH SCREEN, VERTICAL SIDING

(E) POWER POLE TO REMAIN
 (E) HORIZONTAL SIDING TO REMAIN
 WOOD FENCE 3'-6", ENCLOSING OUTDOOR DINING AREA
 CONCRETE RETAINING WALL

(P) ENTRY DOOR TO BE REHABILITATED TO MATCH 1919-1952 PHOTO, SEE A200
 (E) CORNER FACADE TO REMAIN
 (E) DOOR TO BE NON-FUNCTIONING



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Perspective Views & Diagram

25 West Main St.
 Los Gatos, CA, 95030

Revision Schedule

Number	Description	Date

Perspective Views & Diagram

A301

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② Street View, Corner



③ Street View, Front



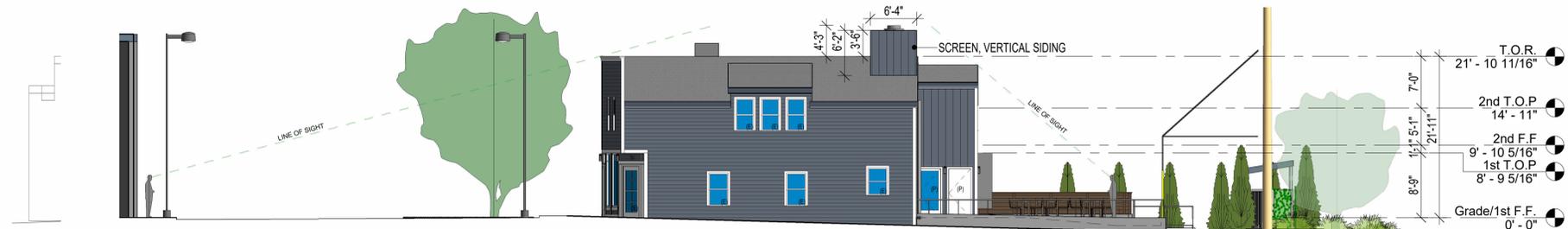
① Street View, Rear Corner



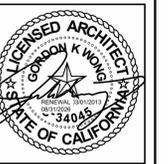
④ Street View, Rear Patio



⑤ Section, Hood...
1" = 10'-0"



⑥ Elevation, Right, Proposed...
1" = 10'-0"



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Perspective & Section Views

25 West Main St.
Los Gatos, CA, 95030

Revision Schedule

Number	Description	Date
1	Planning	2022.10.19
2	Planning	2023.03.17

Perspective & Section Views

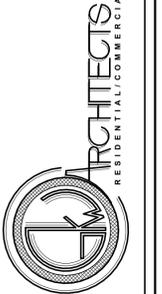
A302

SCALE 1" = 10'-0"

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25 West Main St.
 Los Gatos, CA, 95030

Revision Schedule		
Number	Description	Date
8	Building	2024.08.30

Architectural
 Details

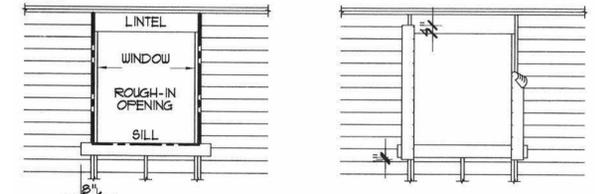
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Architectural Details

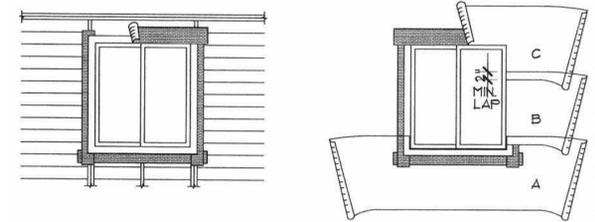
PER CBC SECTION 1404.2 WATER-RESISTIVE BARRIER. A MINIMUM OF ONE LAYER OF No. 15 ASPHALT FELT, COMPLYING WITH ASTM D 226 FOR TYPE 1 OR OTHER APPROVED MATERIALS, SHALL BE ATTACHED TO THE STUD OR SHEATHING, WITH FLASHING AS DESCRIBED IN SECTION 1405.4, IN SUCH A MANNER AS TO PROVIDE A CONTINUOUS WATER-RESISTIVE BARRIER BEHIND THE EXTERIOR WALL VENEER.



1. ATTACH SILL STRIP WITH TOP EDGE LEVEL WITH ROUGH SILL - EXTEND BEYOND EDGE OF ROUGH OPENING AT LEAST 8". SECURE ALL MOIST STOP (OR EQUAL) WITH GALVANIZED NAILS OR POWER-DRIVEN STAPLES.
2. ATTACH JAMB STRIP WITH SIDE EDGE EVEN WITH TOUGH- JAMB FRAMING START STRIP 1" BELOW LOWER EDGE OR SILL STRIP AND EXTEND 4" ABOVE LOWER EDGE OF LINTEL.

NOTE: LINE- WIRE WHEN USED AS POWER TO SUPPORT BUILDING PAPER BENEATH WIRE LATH (NETTING) FOR PORTLAND CEMENT PLASTER (STUCCO) SHALL BE INSTALLED AS FOLLOWS:

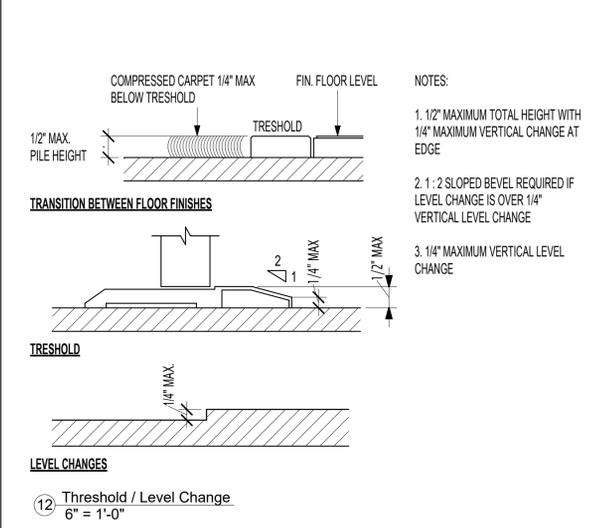
1. PERIPHERAL FLASHING AT ALL EDGES OF WALL OPENINGS MUST COVER THE WIRE BACKING.
2. NO ATTACHMENT DEVICES NOR THE WIRE BACKING SHALL COVER OR PENETRATE THE FLASHING MATERIAL.



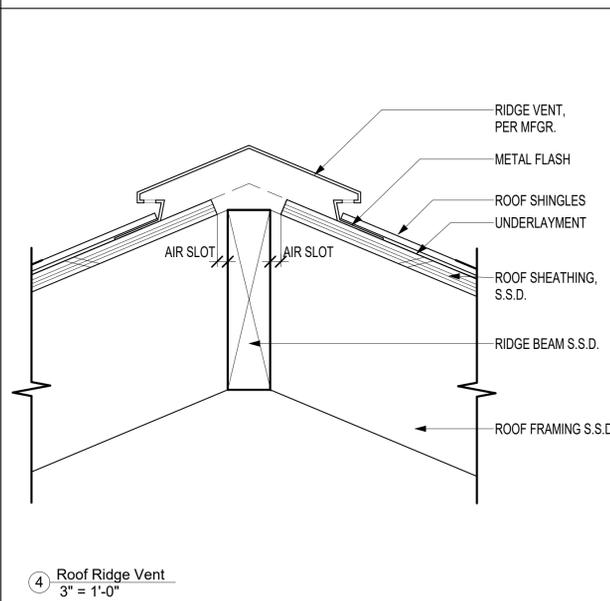
3. INSTALL WINDOW JAMB NAILING FLANGES OVER A CONTINUOUS BEAD OF SEALANT ON THE MOIST STOP (OR EQUAL). INSTALL THE WINDOW HEAD MOIST STOP (OR EQUAL) ON A CONTINUOUS BEAD OF SEALANT APPLIED TO THE WINDOW HEAD NAILING FLANGE.
 4. COMMENCING AT THE BOTTOM (SOLE PLATE) OF THE WALL LAY BUILDING PAPER UNDER SILL STRIP.
- NOTE: CUT ANY EXCESS BUILDING PAPER THAT MAY EXTEND ABOVE THE SILL FLANGE LINE ON EACH SIDE OF (SHOWN AS SHORT DASHED LINES). DO NOT SLICE BUILDING PAPER HORIZONTALLY SO THAT THE PAPER WILL LAP OVER THE JAMB STRIPS. INSTALL SUCCESSIVE LINES OF BUILDING PAPER (B,C,D ETC.) OVER JAMB AND HEAD FLANGES, LAPPING EACH COURSE.

THE ABOVE METHOD APPLIES ONLY TO THE MOST COMMONLY USED TYPE OF METAL FRAME (SURFACE MOUNTED). FOR OTHER TYPES OF FRAMES, SPECIAL ATTENTION MUST BE PAID TO THE MANUFACTURERS RECOMMENDATIONS.

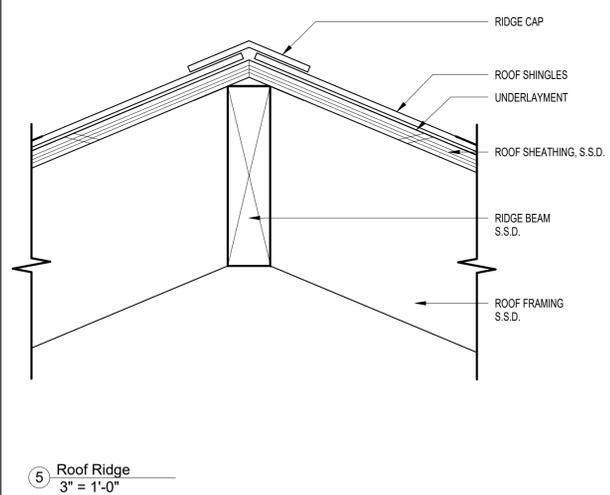
1 Typ. Moist Stop Install
 1" = 10'-0"



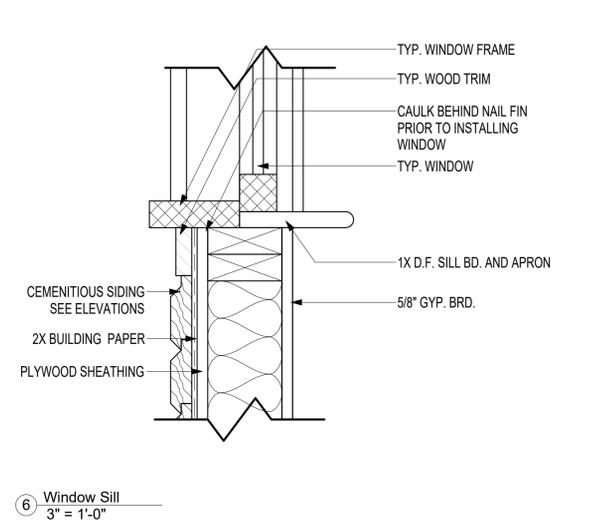
12 Threshold / Level Change
 6" = 1'-0"



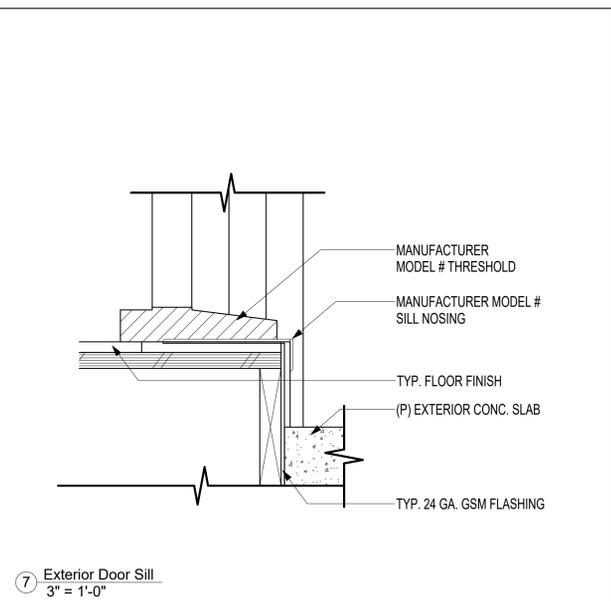
4 Roof Ridge Vent
 3" = 1'-0"



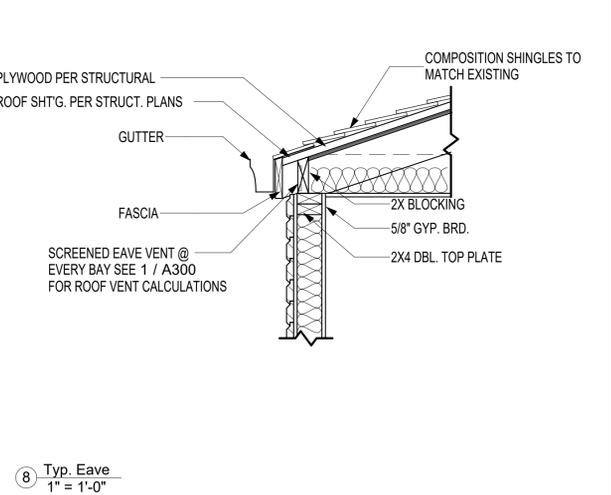
5 Roof Ridge
 3" = 1'-0"



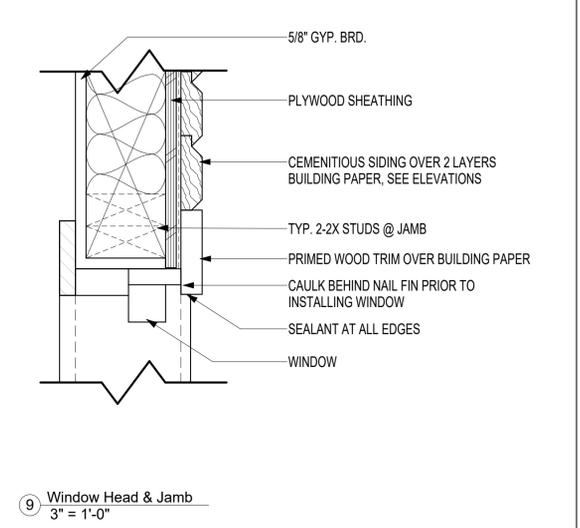
6 Window Sill
 3" = 1'-0"



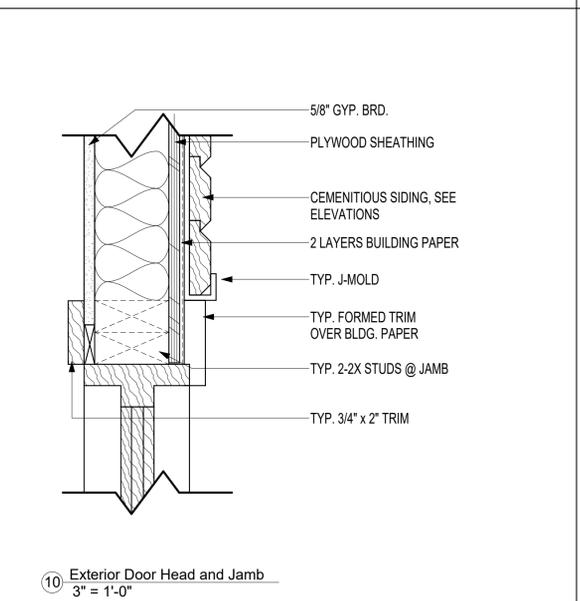
7 Exterior Door Sill
 3" = 1'-0"



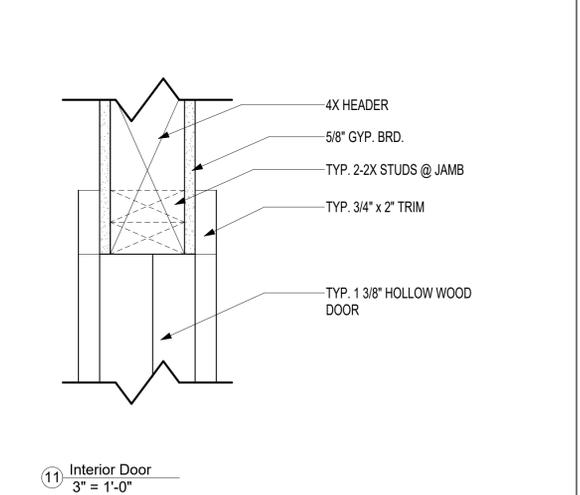
8 Typ. Eave
 1" = 1'-0"



9 Window Head & Jamb
 3" = 1'-0"



10 Exterior Door Head and Jamb
 3" = 1'-0"

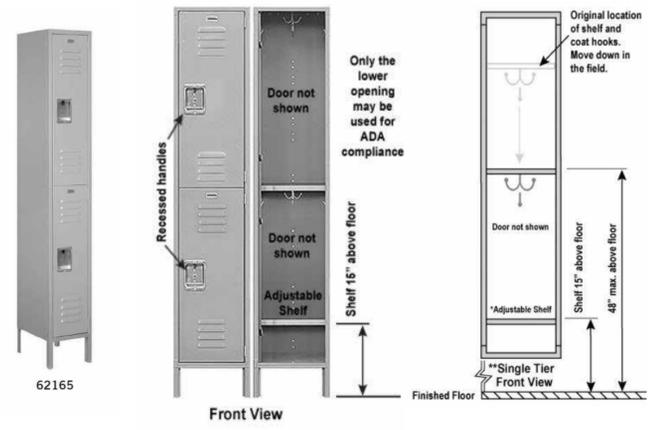
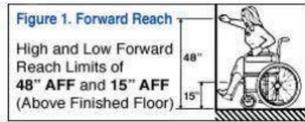


11 Interior Door
 3" = 1'-0"

6' HIGH LOCKERS

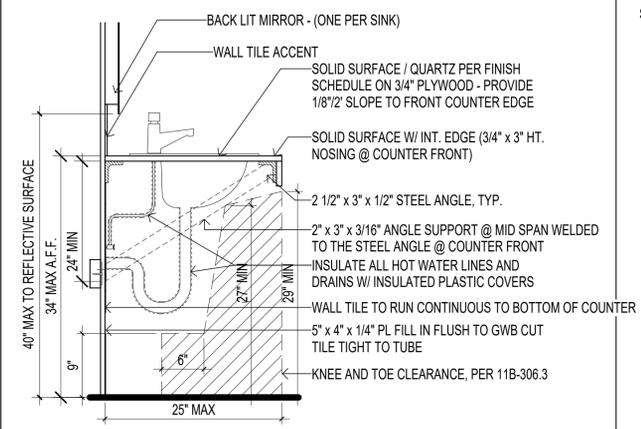
12" WIDE DOUBLE TIER - ONE WIDE

MODEL	COMPARTMENT SIZE	WEIGHT
ONE WIDE - unit size: 12" W x 72" H (78" H with legs)		
62165 ²	12" W x 36" H x 15" D	60 lbs.

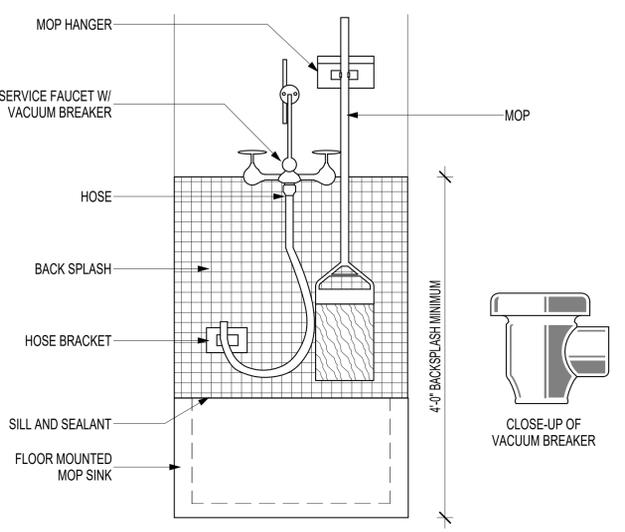


- NOTES:**
- ONLY THE LOWER OPENING MAY BE USED FOR ADA COMPLIANCE.
 - HANDLES SHALL BE RECESSED TO MEET THE ADA SPECIFICATIONS.
 - OWNER MAY USE APPROVED ALTERNATIVE COMPLIANT/EQUIVALENT EQUIPMENT/ PRODUCT
 - OPERABLE PARTS AND OPENING FORCE OF THE LOCKERS IN COMPLIANCE WITH CBC 11B-811.3, 11B-309.4, AND 11B-309.4.

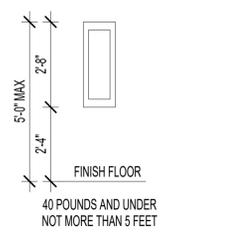
7 Locker
12" = 1'-0"



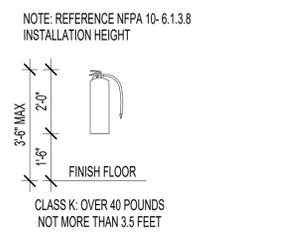
4 Lavatory Counter
1" = 1'-0"



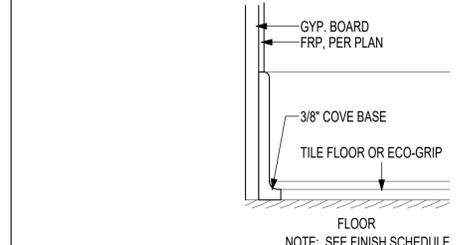
1 Mop Sink
1" = 1'-0"



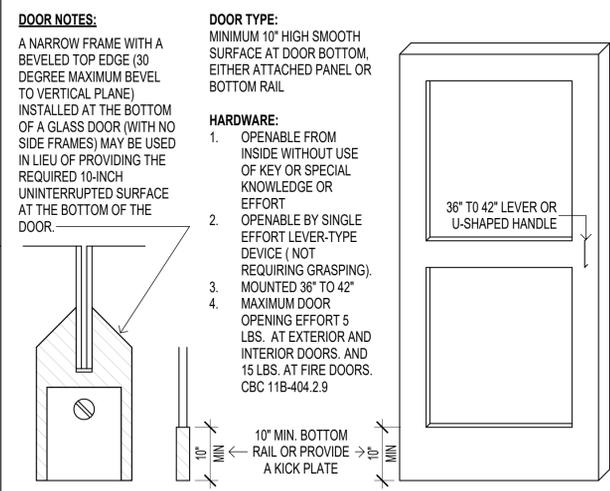
14 Fire Extinguisher
3/8" = 1'-0"



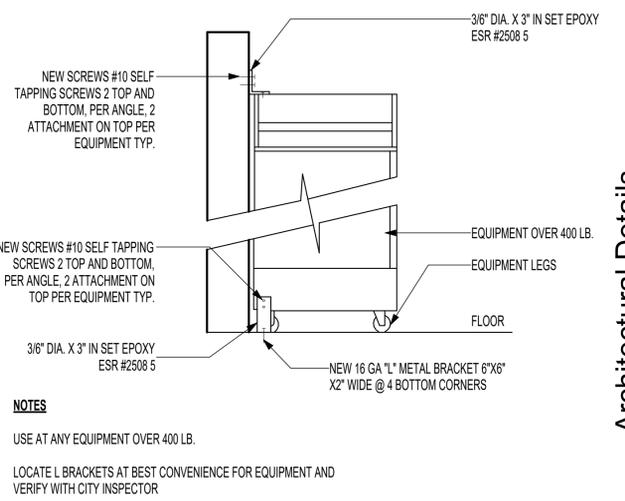
13 Fire Extinguisher, Class K
3/8" = 1'-0"



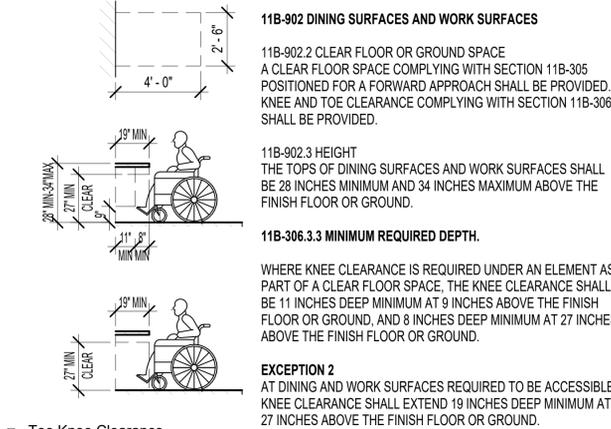
8 Cove Base
3" = 1'-0"



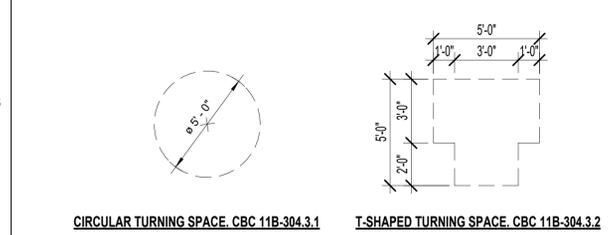
5 Door Kickplate
3/4" = 1'-0"



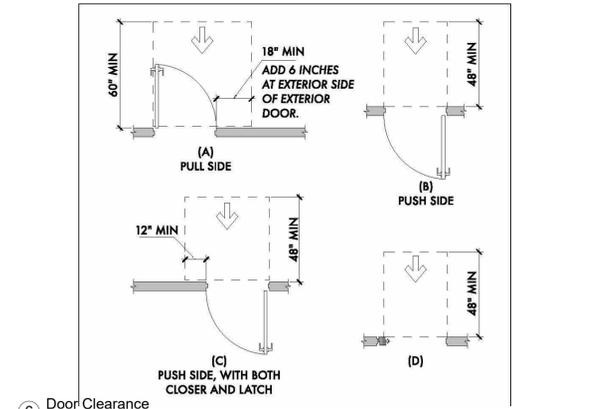
2 Equipment w/ Rollers
1 1/2" = 1'-0"



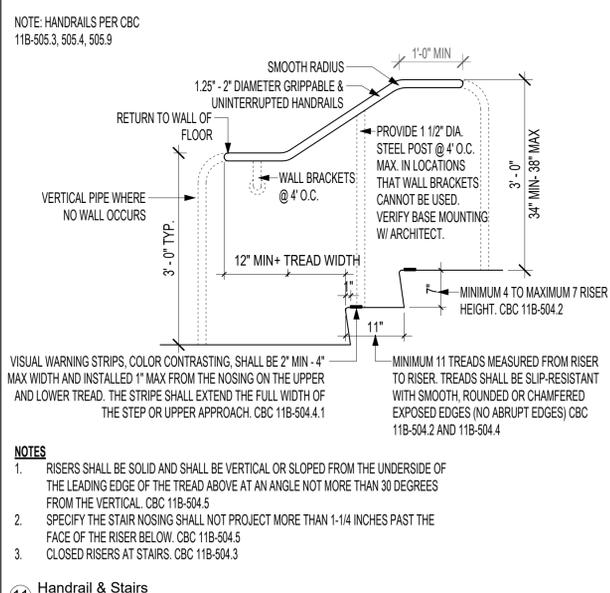
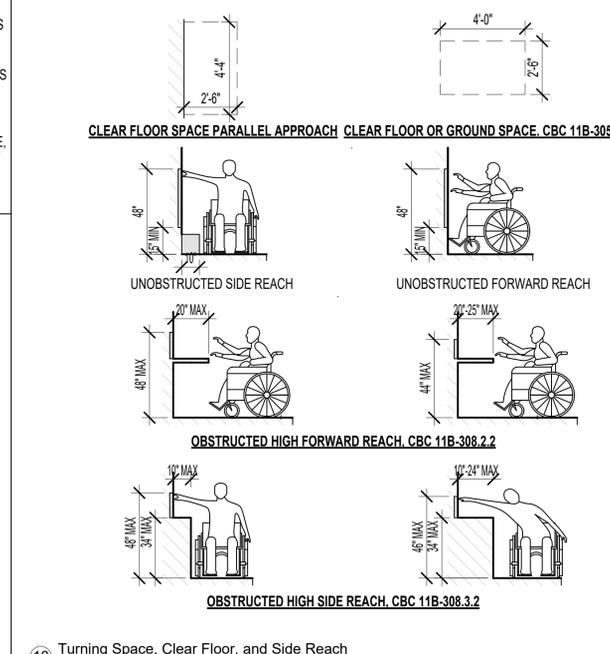
9 Toe Knee Clearance
1/4" = 1'-0"



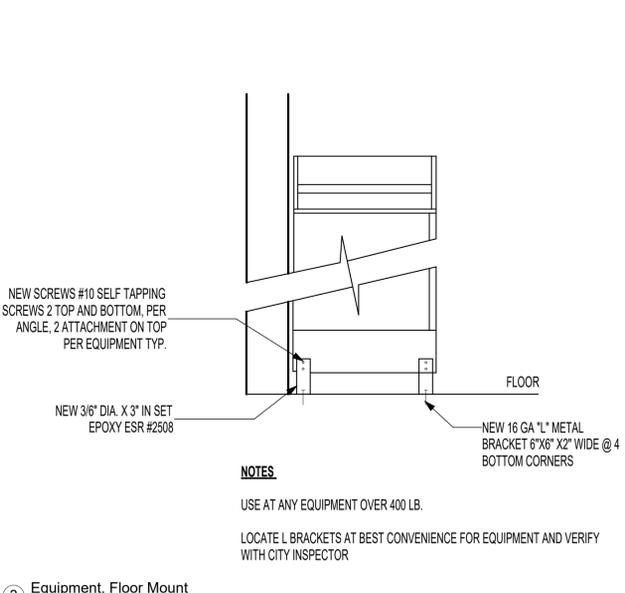
10 Turning Space, Clear Floor, and Side Reach
1/4" = 1'-0"



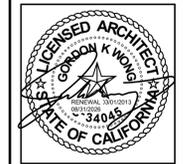
6 Door Clearance
N/A



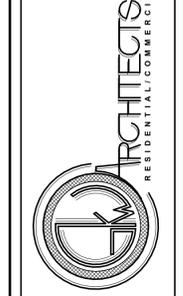
11 Handrail & Stairs
3/4" = 1'-0"



3 Equipment, Floor Mount
1 1/2" = 1'-0"



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Los Gatos, CA, 95030

Revision Schedule		
Number	Description	Date
4	Planning	2023.05.19
6	Building	2024.08.30
9	Bldg & Health	2024.10.11

Architectural Details

A401

SCALE As indicated

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Architectural Details