

CHARNG-CHOW RESIDENCE

NEW SINGLE FAMILY RESIDENCE



1000 S Winchester Blvd
San Jose, CA 95128
P : (408) 998 - 0983



540 PATRICK WAY, LOS ALTOS

FOR PERMIT REVIEW ONLY -- NOT FOR CONSTRUCTION

Charn-Chow Residence
NEW SINGLE FAMILY RESIDENCE

Los Altos, 540 Patrick Way
Ann Charn and Alvin Chow



PROJECT NO.	REVISION	DATE	DESCRIPTION	DRAWN BY	AA/IG	JB	IG/JAD
21-020		01.31.2022	PLANNING PERMIT SUBMITTAL				
	1	04.05.2022	P. PACKAGE RESUBMITTAL				
	2	07.06.2022	P. PACKAGE RESUBMITTAL				



SCOPE OF WORK

DEMOLISH AN EXISTING ONE STORY RESIDENCE ON DEVELOPED SITE. NEW CONSTRUCTION TO BE A TWO STORY RESIDENCE WITH 5 BEDROOMS, 4.5 BATHROOMS, WITH 3,574.9 S.F. LIVING AREA A 490.8 S.F. GARAGE TOTALING 4,065.7 S.F. ON A 13,170 S.F. LOT.

DEFERRED SUBMITTALS

- FIRE SPRINKLERS IN ACCORDANCE WITH NFPA 13D AND STATE AND LOCAL REQUIREMENTS--NOTE THAT PER CRC 313.3.7, A SIGN OR VALVE TAG SHALL BE INSTALLED AT THE MAIN SHUTOFF VALVE TO THE WATER DISTRIBUTION SYSTEM STATING THE FOLLOWING: "WARNING, THE WATER SYSTEM FOR THIS HOME SUPPLIES FIRE SPRINKLERS THAT REQUIRE CERTAIN FLOWS AND PRESSURES TO FIGHT A FIRE. DEVICES THAT RESTRICT THE FLOW OR DECREASE THE PRESSURE OR AUTOMATICALLY SHUT OFF THE WATER TO THE FIRE SPRINKLER SYSTEM, SUCH AS WATER SOFTENERS, FILTRATION SYSTEMS AND AUTOMATIC SHUTOFF VALVES, SHALL NOT BE ADDED TO THIS SYSTEM WITHOUT A REVIEW OF THE FIRE SPRINKLER SYSTEM BY A FIRE PROTECTION SPECIALIST. DO NOT REMOVE THIS SIGN"
- STAIR GUARDRAIL SHOP DRAWINGS SIGNED AND STAMPED BY ENGINEER TO BE SUBMITTED TO BUILDING DEPARTMENT FOR REVIEW AND APPROVAL--NOTE THAT SHOP DRAWINGS TO DEMONSTRATE GUARDRAIL DESIGN IS ADEQUATE TO SUPPORT A SINGLE CONCENTRATED 200 POUND LOAD APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP OF THE RAIL PER CODE TABLE 301.5 AND 301.5 FOOTNOTE D

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PROJECT TEAM

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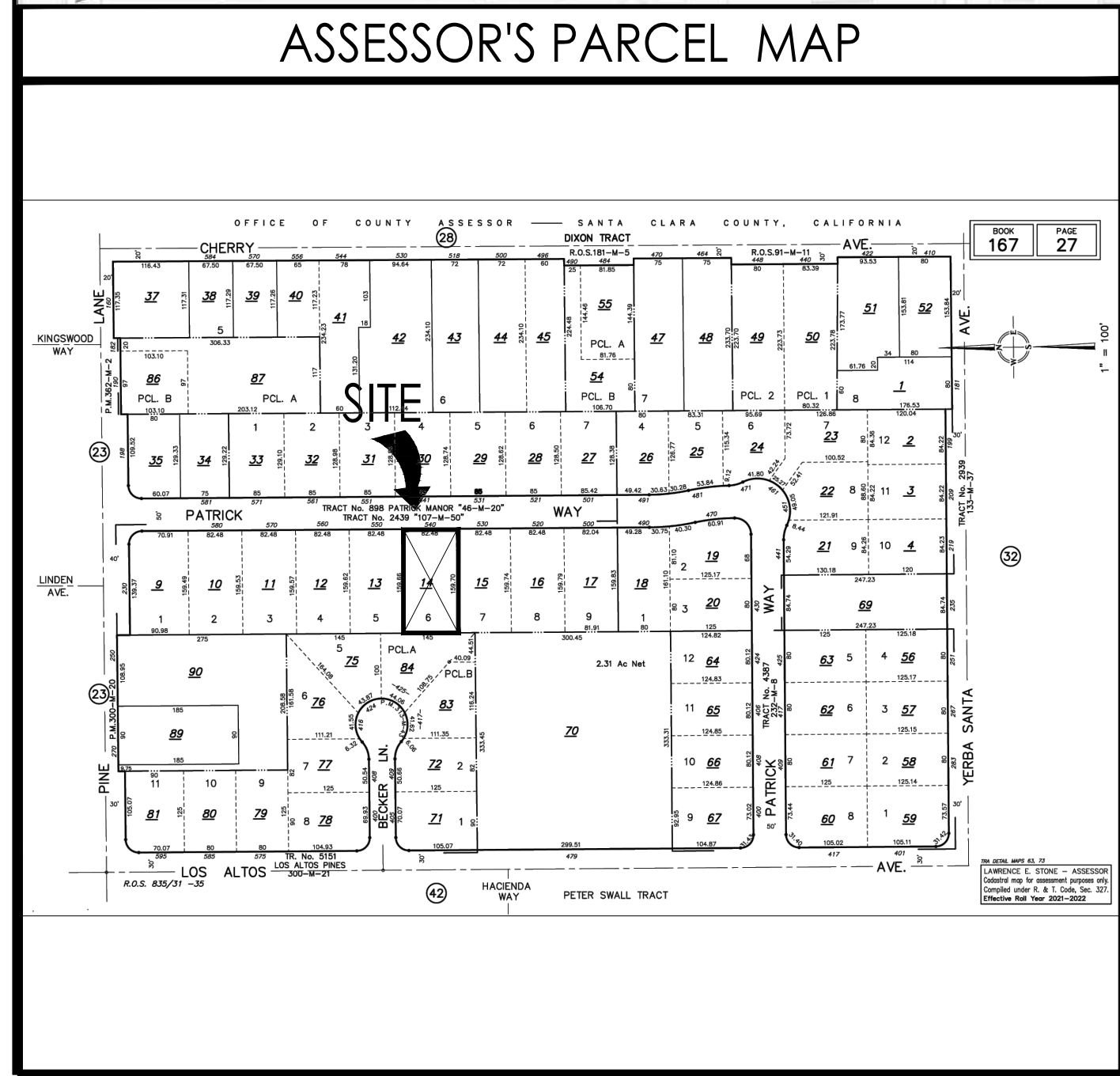
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PROJECT SUMMARY

NET LOT AREA	13,170.0
FRONT YARD HARDSCAPE AREA	2,028.0
SOIL AREA AT FRONT YARD	405.0
HARDSCAPE AREA IN THE FRONT YARD SETBACK SHALL NOT EXCEED SITE	6,654.0
TOTAL HARDSCAPE AREA (EXISTING AND PROPOSED)	0.0
EXISTING SOFTSCAPE (UNDISTURBED) AREA	4,514.0
NEW SOFTSCAPE AREA	13,170.0
SUM OF ALL THREE SHOULD EQUAL THE SITE'S NET LOT AREA	13,170.0

ZONING COMPLIANCE			
	EXISTING (G)	PROPOSED	ALLOWED/REQUIRED
LOT COVERAGE	2,478.0	3,675.0	3,951.0
AREA COVERED BY ALL STRUCTURES THAT ARE OVER 6 FEET IN HEIGHT	5.0	5.0	5.0
FLOOR AREA	2,478.0	4,065.7	4,067.0
NET FLOOR AREA	2,478.0	2,323.3	0.0
MEASURED TO THE OUTSIDE SURFACES OF EXTERIOR WALLS	1,501.3	1,501.3	1,501.3
FRONT (1/2)	28'-9"	28'-4"	25'
REAR (1/2)	77'-4"	62'-0"	25'
LEFT (1/2)	9'-11"	10'-0"	10'-0" / 11'-0"
RIGHT (1/2)	9'-10"	10'-0" / 11'-0"	10'-0" / 11'-0"
HEIGHT	11'-6"	2'-0"	22'-0"

SQUARE FOOTAGE BREAKDOWN			
	EXISTING	CHANGE IN	TOTAL PROPOSED
HABITABLE LIVING AREA	1,847.4	2,597.7	4,387.1
INCLUDES MEASURABLE BALCONY AREAS	5.0	0.0	0.0
NON-HABITABLE AREA	480.0	-137.8	499.8
DOES NOT INCLUDE COVERED PORCHES	5.0	5.0	5.0

Maximum lot coverage: 30% for site with two-story structures pursuant to LAMC Section 14.06.060.C.

REQ'D CONTRACTOR SUBMITTALS TO ARCHITECT

THE FOLLOWING ARE REQUIRED TO BE SUBMITTED TO THE ARCHITECT FOR APPROVAL/REVIEW:

- WINDOW/DOOR PACKAGE
- CABINET SHOP DRAWINGS AND FINISH SAMPLES
- MECHANICAL DUCTING PLAN
- STAIR AND RAIL SHOP DRAWINGS
- MISC. STEEL SHOP DRAWINGS

NOTE: SEE STRUCTURAL PLANS FOR ADDITIONAL REQUIRED SUBMITTALS FOR SHOP DRAWINGS, ETC.

REQ'D CONTRACTOR SUBMITTALS TO BUILDING DEPT. PRIOR TO PERMIT ISSUANCE

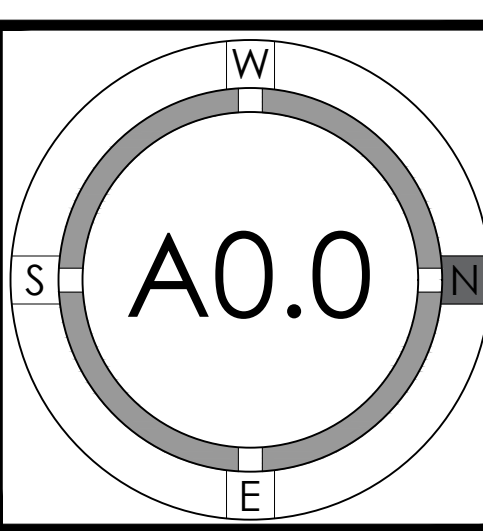
- LICENSE NUMBER
- INSURANCE AND WORKER'S COMP POLICIES
- CONSTRUCTION STAGING PLAN
- CONSTRUCTION WASTE MANAGEMENT PLAN IN ACCORDANCE WITH CALGREEN 4.408.2

APPLICABLE CODES

APPLICABLE CODES (with Los Altos Amendments)

- 2019 CALIFORNIA ADMINISTRATIVE CODE, CAC
- 2019 CALIFORNIA BUILDING CODE, CBC
- 2019 CALIFORNIA RESIDENTIAL BUILDING CODE, CRC
- 2019 CALIFORNIA ELECTRICAL CODE, CEC
- 2019 CALIFORNIA MECHANICAL CODE, CMC
- 2019 CALIFORNIA PLUMBING CODE, CPC
- 2019 CALIFORNIA ENERGY CODE, CEnc
- 2019 CALIFORNIA HISTORICAL CODE, CHC
- 2019 CALIFORNIA FIRE CODE, CFC
- 2019 CALIFORNIA EXISTING BUILDING CODE
- 2019 CALIFORNIA GREEN BUILDING STANDARDS
- 2019 CALIFORNIA REFERENCED STANDARDS

COVER SHEET



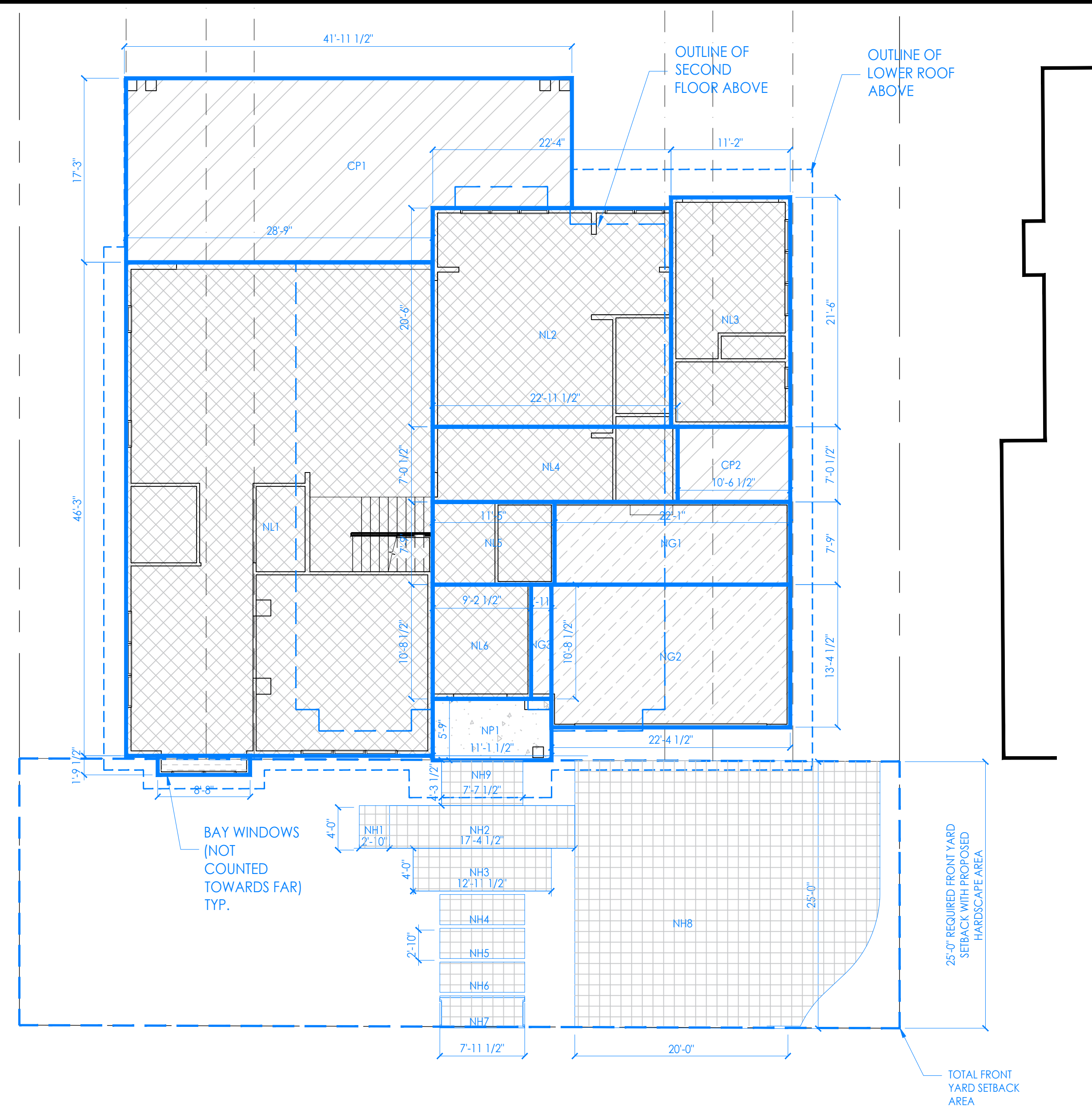


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New First Floor Living Area		
Section	Dimensions	Area (s.f.)
NL1	28'-9" x 46'-3"	1,327.81
NL2	22'-4" x 20'-8"	457.83
NL3	17'-2" x 21'-6"	365.52
NL4	22'-11 1/2" x 7'-0 1/2"	161.47
NL5	11'-5" x 7'-9"	88.48
NL6	9'-2 1/2" x 10'-8 1/2"	98.73
NL Total		2,374.42

New Second Floor Living Area		
Section	Dimensions	Area (s.f.)
NL7	12'-10" x 20'-3 1/2"	263.13
NL8	12'-10 1/2" x 37'-11"	507.49
NL9	8'-10 1/2" x 37'-11"	336.51
NL10	12'-10" x 7'-7"	92.21
NL Total		1,201.34

New Garage Area		
Section	Dimensions	Area (s.f.)
NG1	22'-1" x 7'-9"	171.13
NG2	22'-4 1/2" x 13'-4 1/2"	299.27
NG3	1-11" x 10'-8 1/2"	29.38
NG Total		499.78

Covered Patio (Not Counted Towards FAR)		
Section	Dimensions	Area (s.f.)
CP1	41'-11 1/2" x 17'-2 1/2"	716.83
CP2	7'-1/2" x 10'-6 1/2"	74.23
CP Total		791.06

New Bay Window (Not Counted Towards FAR)		
Section	Dimensions	Area (s.f.)
BW1	17'-1/2" x 8'-8"	151.53
BW2	8'-8" x 2'-0"	17.3
BW3	8'-8" x 2'-0"	17.3
BW4	8'-8" x 2'-0"	17.3
BW Total		203.43

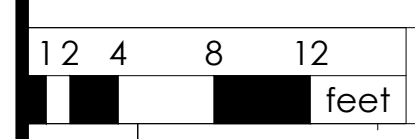
New Porch (Not Counted Towards FAR)		
Section	Dimensions	Area (s.f.)
NP1	11'-1 1/2" x 3'-9"	44.03
NP Total		44.03

New Hardscape Area		
Section	Dimensions	Area (s.f.)
NH1	2'-10" x 4'-0"	11.33
NH2	17'-4 1/2" x 4'-0"	69.41
NH3	12'-11 1/2" x 4'-0"	51.83
NH4	7'-11 1/2" x 2'-10"	22.34
NH5	7'-11 1/2" x 2'-10"	22.34
NH6	7'-11 1/2" x 2'-10"	22.34
NH7	7'-11 1/2" x 2'-10"	21.77
NH8	Irregular Shape	674.19
NH9	7'-2 1/2" x 3'-1 1/2"	32.63
NH Total		928.78

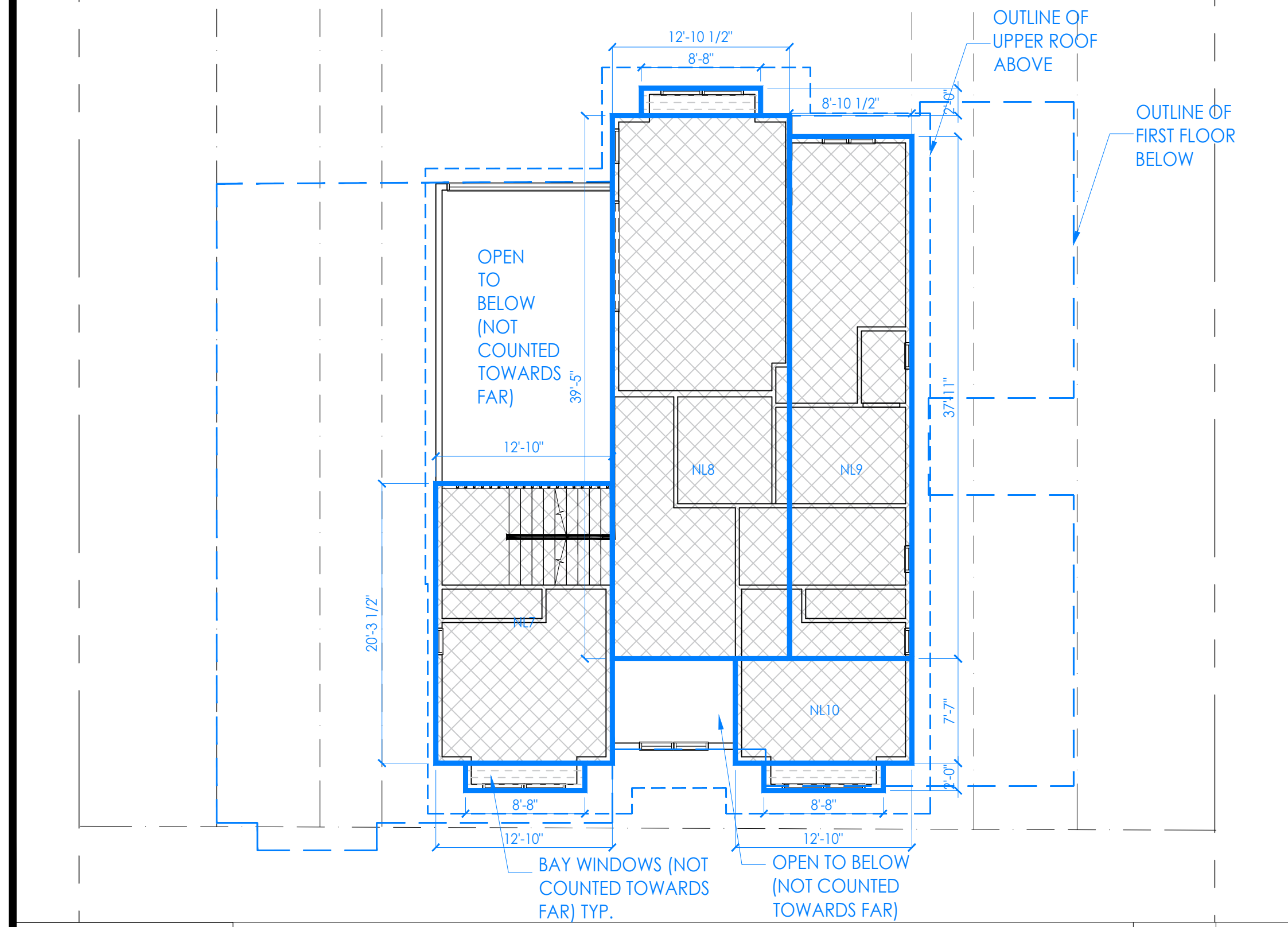
New Trellis Area - 5% of Coverage Exemption		
Section	Dimensions	Area (s.f.)
T#	13'-0" x 12'-0"	156.00
Total		156.00

Category	Value
LA Lot Area	13,170.0
NL+NL1-NL10 Total New Living Area	3,576.0
NG Total New Garage	499.8
TNR+NL+NG Total New Residence	4,075.8
FAR=380v-217 Maximum FAR Allowed	4,981.9
TNR/LA FAR Percentage Proposed	30.86% <40.07% (OK)
LC=NLR+NL+NG+NP+CP+BW Total Lot Coverage	3,674.1
LA*30% Maximum of Coverage Allowed	3,951.0
LC/LA Lot Coverage Percentage Proposed	27.9% <30% (OK)
LAE=LAE*05% Lot Coverage Exemption Max. 500' (Trellis)	500.00
Trellis Area	156.00
LAE/L Lot Coverage Exemption Percentage (Trellis)	1.2% <5% (OK)
SA Front Yard Setback Area	2,062.0
NH Front Yard Hardscape Area Proposed	928.8
FR*50% Maximum Front Yard Hardscape Percentage Allowed	1,031.0
NH/LA Front Yard Hardscape Percentage Proposed	45% <50% (OK)

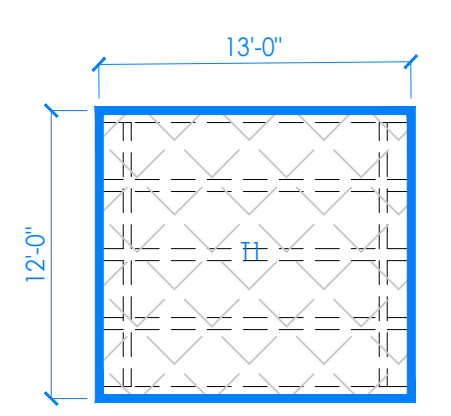
Maximum lot coverage 30% pursuant to LAMC Section 14.06.060.C.



FIRST FLOOR AREA CALCS 1/8" 1



SECOND FLOOR AREA CALCS 1/8" 2



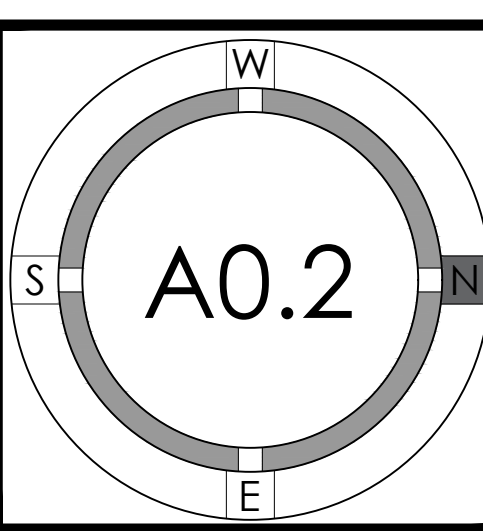
TRELLIS FLOOR AREA CALCS 1/8" 3

- T# = NEW TRELLIS AREA
- NH# = NEW HARDSCAPE AREA
- NG# = NEW GARAGE AREA
- NL# = NEW LIVING AREA
- AD# = NEW ACCESSORY DWELLING UNIT AREA
- BW# = BAY WINDOW AREA
- NP# = NEW PORCH AREA

FLOOR AREA LEGEND -

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FLOOR AREA CALCULATION



[HOME] FOR LOTS SEVENTY (70) FEET OR GREATER IN WIDTH, THE DAYLIGHT PLANE STARTS AT A HEIGHT OF ELEVEN (11) FEET AT EACH SIDE PROPERTY LINE AND AT AN ANGLE OF TWENTY-FIVE (25) DEGREES FROM THE HORIZONTAL

NO DAYLIGHT PLANE PROTRUSIONS



FRONT VIEW (WEST) - 2

NO DAYLIGHT PLANE PROTRUSIONS



RIGHT VIEW (NORTH) - 1

NO DAYLIGHT PLANE PROTRUSIONS



REAR VIEW (EAST) - 3

NO DAYLIGHT PLANE PROTRUSIONS



LEFT VIEW (SOUTH) - 4



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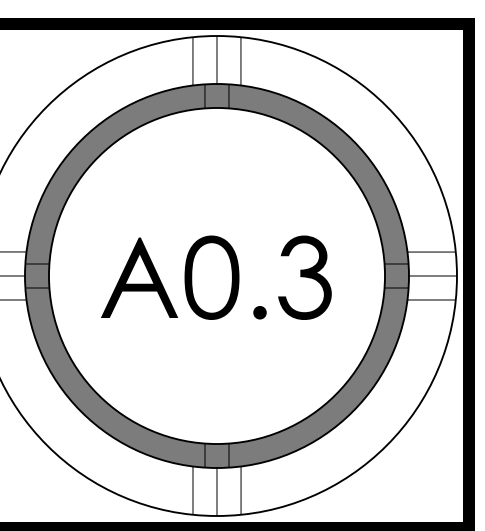
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DAYLIGHT PLANE





540 PATRICK



550 PATRICK



530 PATRICK



520 PATRICK



491 PATRICK



521 PATRICK



531 PATRICK



500 PATRICK



551 PATRICK



541 PATRICK

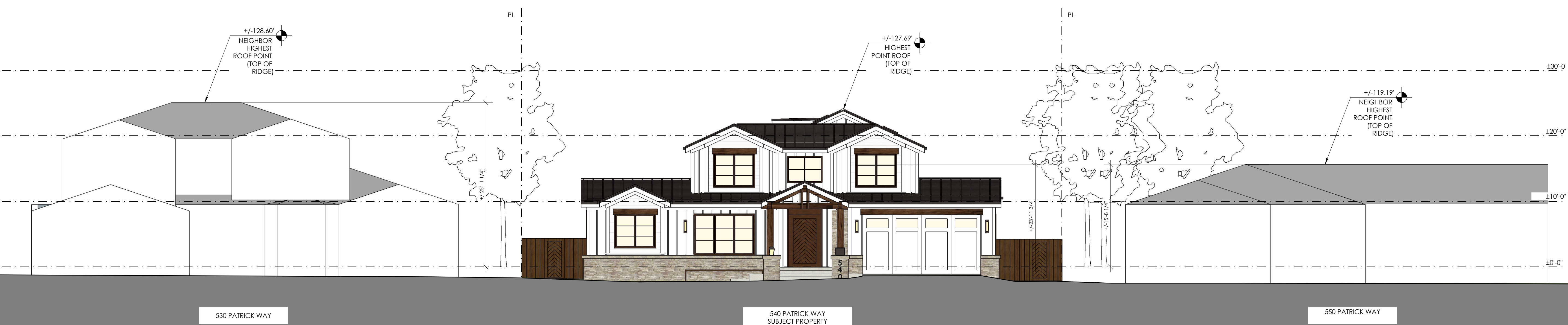


501 PATRICK



490 PATRICK

NEIGHBORHOOD CONTEXT MAP & PHOTOS - 1



STREETSCAPE ELEVATION 1/8" 2



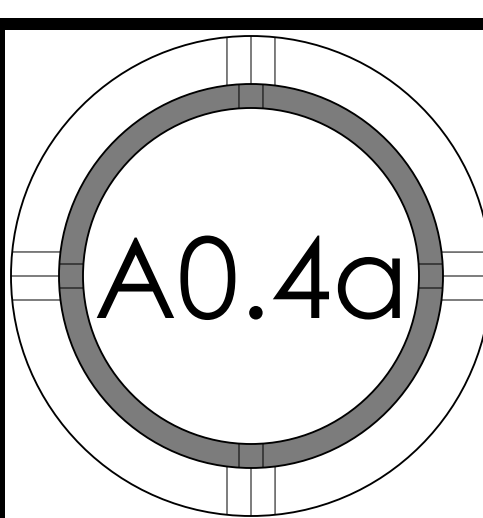
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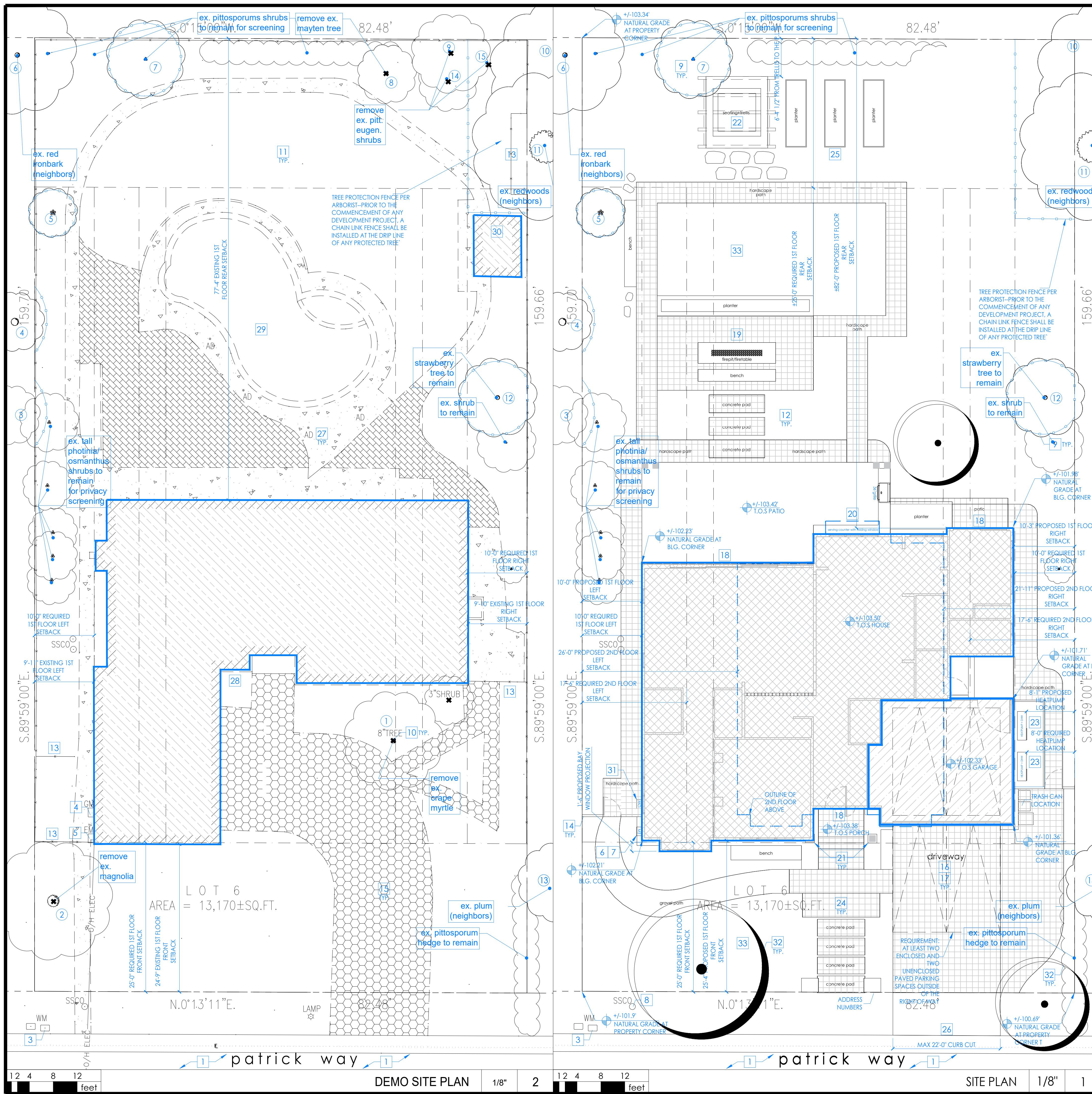
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NEIGHBORHOOD CONTEXT





- # = NUMBER TO KEY NOTE BELOW
- EXISTING PUBLIC RIGHT OF WAY--ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY MUST HAVE AN APPROVED "PERMIT FOR CONSTRUCTION IN THE PUBLIC STREET" PRIOR TO THE COMMENCEMENT OF THIS WORK. THE PERFORMANCE OF THIS WORK IS NOT AUTHORIZED BY THE BUILDING PERMIT ISSUANCE BUT SHOWN ON THE BUILDING PERMIT FOR INFORMATION ONLY
 - APPROXIMATE LOCATION OF NEIGHBORING STRUCTURE
 - (E) WATER METER--CONTRACTOR TO COORDINATE (N) METER WITH LOCAL WATER COMPANY IF REQUIRED BY INCREASED FIXTURE LOAD
 - (E) GAS METER TO BE REMOVED
 - (E) ELECTRICAL METER TO BE REMOVED
 - (N) ELECTRICAL METER LOCATION--CONTRACTOR TO COORDINATE WITH LOCAL ELECTRICAL COMPANY FOR UPGRADE (400 AMPS)
 - UFER GROUND CONNECTION PER CEC 250-52
 - (E) 4" SEWER LATERAL--CONTRACTOR TO VERIFY LOCATION IN FIELD--PROVIDE CLEANOUT AT THE POINT OF CONNECTION BETWEEN THE BUILDING SEWER AND THE MUNICIPAL LATERAL. USE AN APPROVED FITTING TO BRING THE CLEANOUT RISER TO GRADE. WHERE SEWER CLEANOUTS ARE TO BE CONNECTED TO EXISTING MUNICIPAL LATERALS, SUCH CONNECTIONS SHALL BE ACCOMPLISHED BY USE OF AN APPROVED FITTING
 - (E) TREE(S) TO REMAIN- PROTECT AS REQUIRED DURING CONSTRUCTION - DO NOT LEAVE MATERIALS OR EQUIPMENT IN ROOT AREAS FOR EXTENDED PERIODS OF TIME. SEE ARBORIST REPORT (IF PROVIDED) FOR ADDITIONAL INFORMATION
 - (E) TREE(S) TO BE REMOVED
 - (E) SOFTSCAPE TO BE REMOVED
 - (N) SOFTSCAPE--PROVIDE DRIP IRRIGATION
 - (E) FENCE AND GATES TO BE REMOVED
 - (N) FENCE AND GATE--VERIFY FINAL DESIGN AND FINISH WITH OWNER--NEW FENCES TO CONFORM TO JURISDICTION'S FENCE REGULATIONS
 - (E) DRIVEWAY TO BE REMOVED
 - (N) DRIVEWAY, CONCRETE OVER 8" BASE ROCK AND 2" SAND PER GEOTECH REPORT -- VERIFY PAVER DESIGN WITH OWNER
 - (N) HARDSCAPE--SLOPE AWAY FROM HOUSE @ 2% MIN.
 - (N) EXTERIOR DOORS--SEE D&W SCHEDULE FOR MORE INFO
 - (N) FIRE PIT--SEE LANDSCAPE PLANS FOR MORE INFO
 - (N) OUTDOOR KITCHEN--SEE FLOOR PLANS FOR MORE INFO
 - (N) PORCH COLUMNS--RELOCATED OUTSIDE OF THE FRONT SETBACK
 - (N) TRELLIS
 - (N) HEATPUMP UNIT PAD(S)--PROVIDE ELECTRICAL TO THIS LOCATION AS REQUIRED, VERIFY SIZE AND QUANTITY WITH HVAC CONTRACTOR. HEATPUMP UNITS TO COMPLY WITH JURISDICTION'S NOISE ORDINANCE OF 66 DECIBELS -- MITSUBISHI - 42K BTU - M-SERIES OUTDOOR CONDENSER- FOR 2-5 ZONES MODEL # MXZ-5C42NA2--FAN SPEED COOLING 56 dB/HEATING 58 dB 5 FEET FROM THE UNIT
 - (N) WALKWAY, CONCRETE PADS (INTEGRAL COLOR)
 - (N) PLANTER--SEE FLOOR PLANS FOR MORE INFO
 - (E) HARDSCAPE TO BE REMOVED
 - (E) AC UNIT TO BE REMOVED
 - (E) POOL TO BE REMOVED
 - (E) SHED TO BE REMOVED
 - (N) GAS METER LOCATION--INSTALL TWO 2" DIAMETER x 30" TALL STEEL PIPE BOLLARDS EMBEDDED IN 2 FT DEEP CONCRETE FOOTINGS IF GAS METER IS WITHIN 3 FEET OF DRIVEWAY
 - (N) TREE(S)--SEE LANDSCAPE PLANS FOR MORE INFORMATION
 - (N) SYNTHETIC TURF--SEE LANDSCAPE PLAN FOR MORE INFO

SITE PLAN KEYNOTES

PROPERTY LINE--SEE TOPO SURVEY FOR MORE INFO

REQUIRED YARD SETBACK

TREE PROTECTION FENCING--REFER TO ARBORIST REPORT FOR MORE DETAIL

NEW GARAGE AREA

EXISTING LIVING AREA

NEW LIVING AREA

NEW HARDSCAPE AREA

SPOT ELEVATION, SEE CIVIL DRAWINGS FOR MORE INFO

① TREE NUMBER--REFER TO ARBORIST REPORT FOR SPECIES AND OTHER INFO

✕ TREE TO BE REMOVED

NOTES:

- (E) WATER SUPPLY TO BE REPLACED FROM METER IN.
- (E) SEWER LATERAL TO BE REPLACED FROM PROPERTY LINE IN.
- SEE LS PLANS FOR ALL SITE CONCRETE AND HARDSCAPE DETAILS--CO-ORDINATE WITH CIVL & GEOTECH. REQUIREMENTS

SITE PLAN LEGEND



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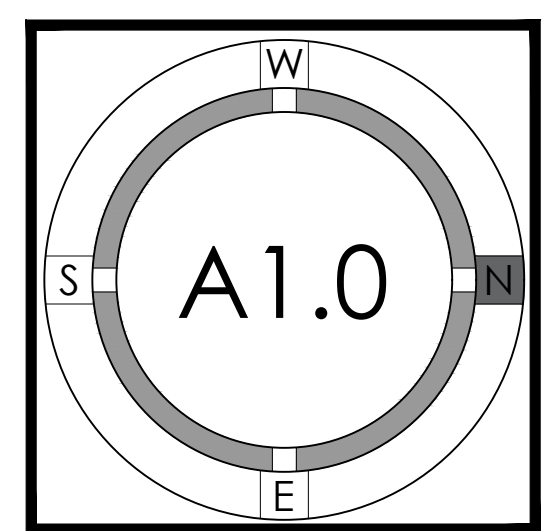
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SITE PLAN & DEMO SITE PLAN



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12 4 8 12 feet DEMO SITE PLAN 1/8" 2 12 4 8 12 feet SITE PLAN 1/8" 1



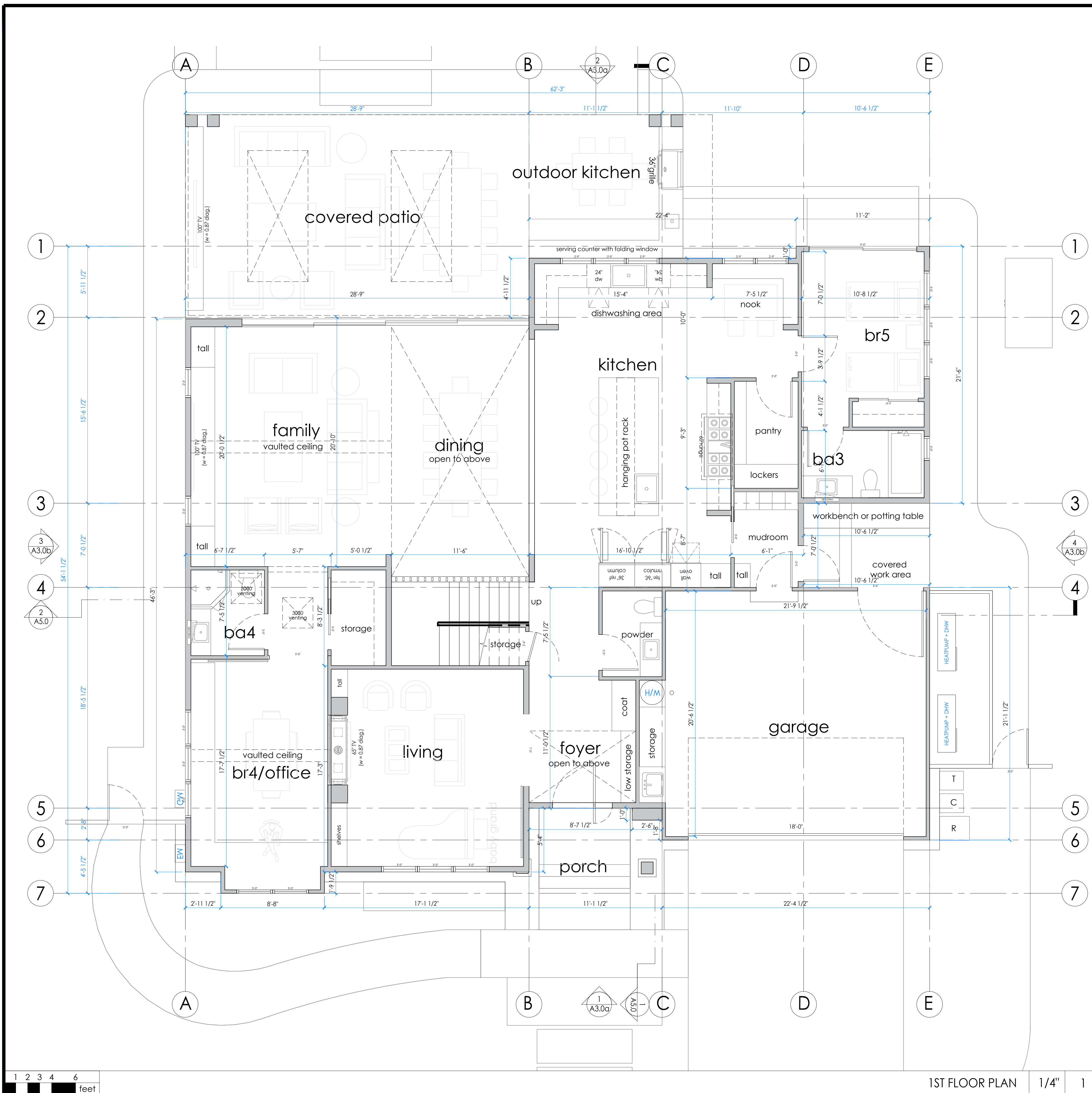
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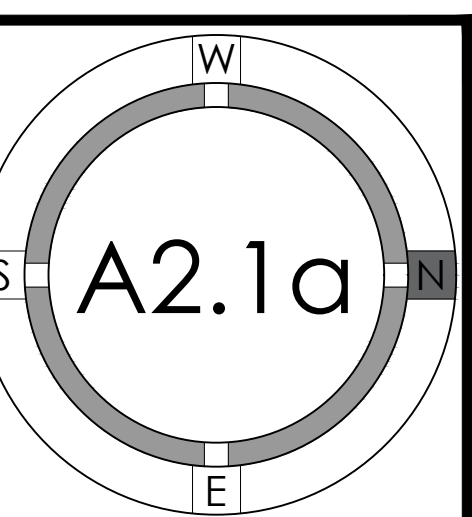


FLOOR PLAN KEYNOTES

(N) WALL: EXTERIOR: 2x6 STUDS @ 16" O.C.; INTERIOR 2x4 STUDS @ 16" O.C.--SEE ELEVATIONS AND STRUCTURAL DRAWINGS FOR EXTERIOR WALL MATERIAL ASSEMBLIES. INSTALL 2 LAYERS OF BUILDING PAPER (FOR STUCCO ONLY)/1 LAYER (MIN.) OF WEATHER RESISTIVE BARRIER (TYVEK HOUSE WRAP OR EQ.) OVER EXTERIOR WALLS SHEATHING PER CRC 703.2--INSTALL PER MANUF. INSTRUCTIONS. PROVIDE 5/8" TYPE 'X' GYPSUM BOARD EACH SIDE @ INTERIOR PARTITIONS. PROVIDE CEMENT BOARD OR TILE BACKER BOARD AT SHOWER/TUB LOCATIONS. ALL WALLS TO RECEIVE (N) PAINT FINISH. ALL CEILINGS AT TUB/SHOWERS TO BE M.R. BOARD

1ST

FLOOR PLAN



1ST FLOOR PLAN 1/4" 1

FLOOR PLAN LEGEND -

1 2 3 4 6 feet



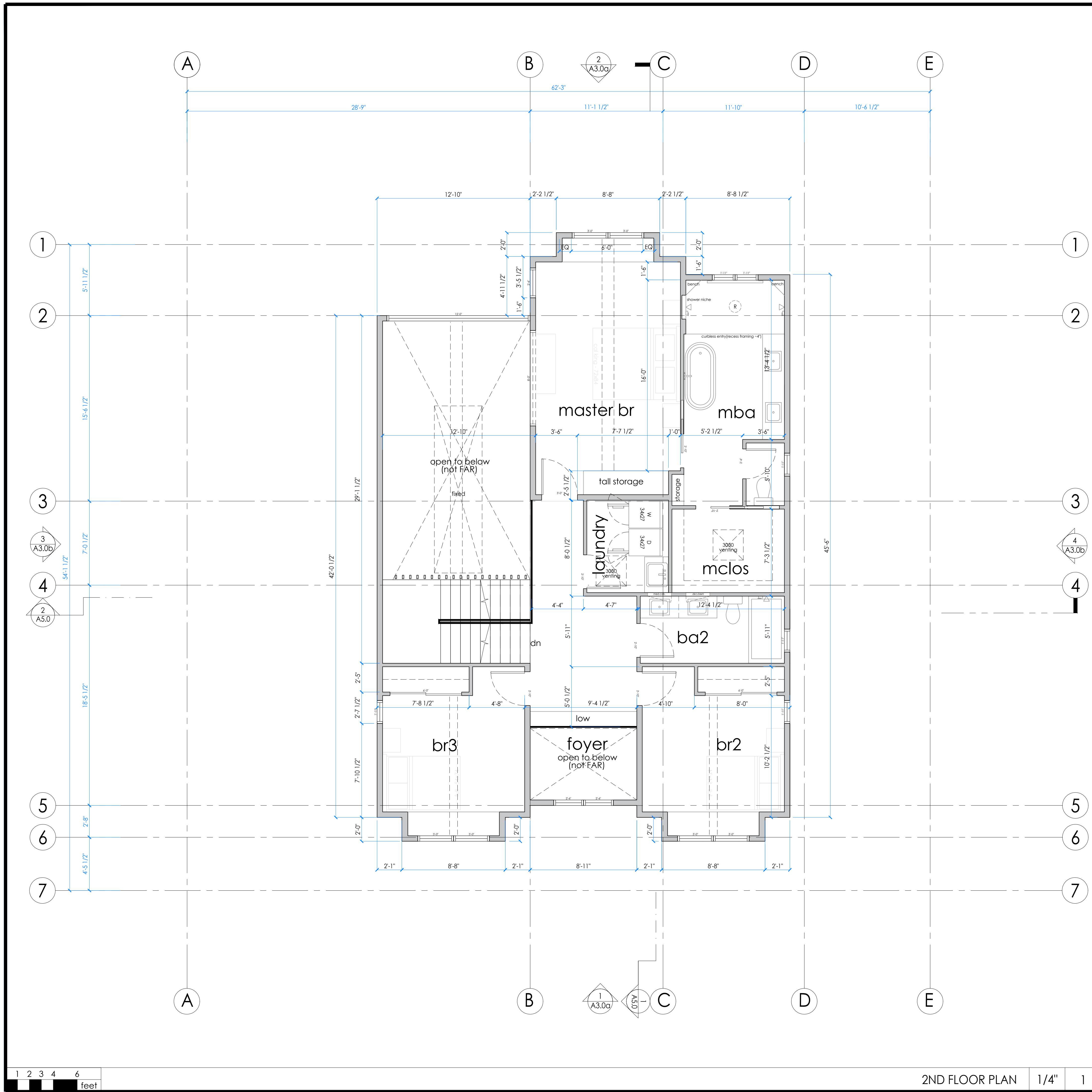
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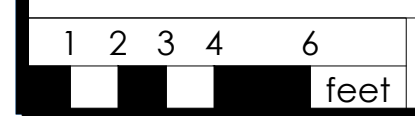
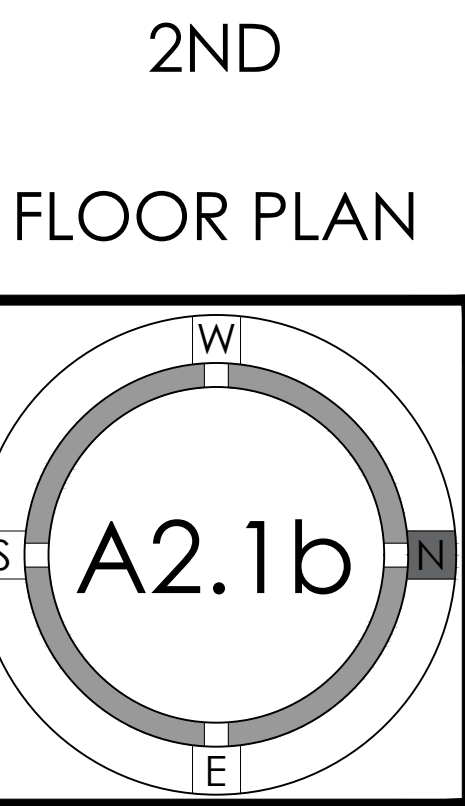
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21-020	01.31.2022	PLANNING PERMIT SUBMITTAL	AA/JG
	04.05.2022	P. PACKAGE RESUBMITTAL	JB
	07.06.2022	P. PACKAGE RESUBMITTAL	IG/AD

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FLOOR PLAN KEYNOTES

(N) WALL: EXTERIOR: 2x6 STUDS @16" O.C.; INTERIOR 2x4 STUDS @16" O.C.--SEE ELEVATIONS AND STRUCTURAL DRAWINGS FOR EXTERIOR WALL MATERIAL ASSEMBLIES. INSTALL 2 LAYERS OF BUILDING PAPER (FOR STUCCO ONLY)/1 LAYER (MIN.) OF WEATHER RESISTIVE BARRIER (TYVEK HOUSE WRAP OR EQ.) OVER EXTERIOR WALLS SHEATHING PER CRC 703.2--INSTALL PER MANUF. INSTRUCTIONS. PROVIDE 5/8" TYPE 'X' GYPSUM BOARD EACH SIDE @ INTERIOR PARTITIONS. PROVIDE CEMENT BOARD OR TILE BACKER BOARD AT SHOWER/TUB LOCATIONS. ALL WALLS TO RECEIVE (N) PAINT FINISH. ALL CEILINGS AT TUB/SHOWERS TO BE M.R. BOARD



2ND FLOOR PLAN 1/4" 1

FLOOR PLAN LEGEND -

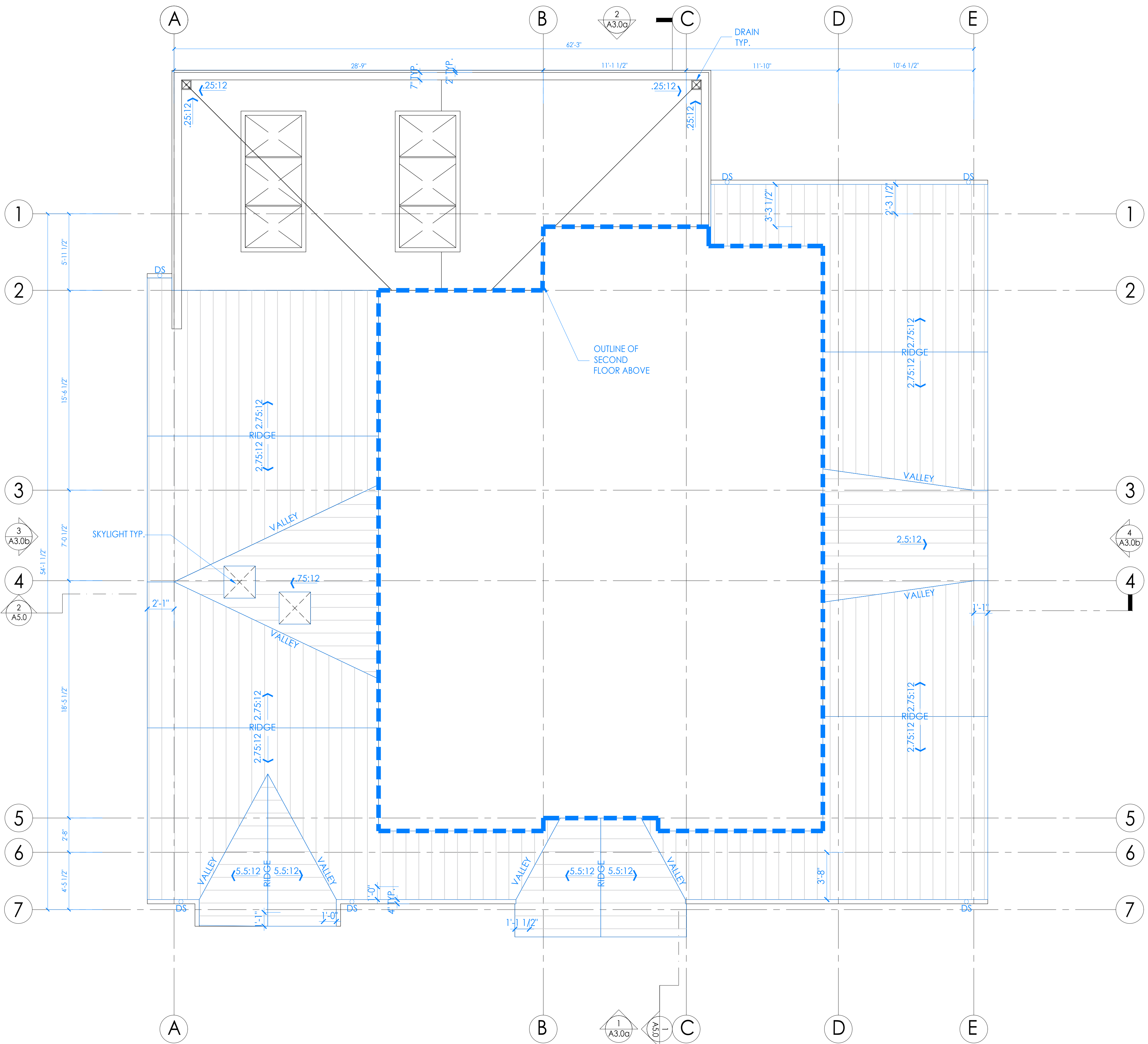


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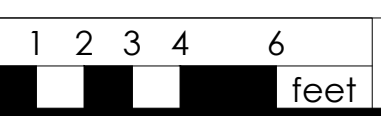


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ATTIC VENTILATION CALCULATIONS AND NOTES

- STANDING SEAM METAL ROOF, MIN CLASS C--MANUF. AEP SPAN; STYLE: DESIGN SPAN- DURATECH; COVERAGE: 16'; GAUGE: 22; COLOR: BLACK--VERIFY FINAL SELECTION WITH OWNER PRIOR TO PLACING ORDER. INSTALL PER MANUF. WARRANTY INSTRUCTIONS AND UES EVALUATION REPORT #0309
- SINGLE PLY ROOFING, MIN CLASS "A"--MANUF. GAF OR EQUAL; STYLE: FULLY ADHERED EVERGUARD EXTREME TPO ROOFING MEMBRANE; THICKNESS: 60 MILLIMETER MIN.--INSTALL O/ 1/2" HIGH DENSITY POLYISO BOARD O/ SLOPING PLYWOOD SHEATHING TO ENSURE MIN. 3/8:12 SLOPE. INSTALL RIVER-WASHED ROUND STONE BALLAST o/ 6-OZ MIN. POLYMAT FILTER FABRIC o/ ROOFING MEMBRANE AT LOW ROOFS THAT ARE VISIBLE FROM 2ND FLOOR WINDOWS--INSTALL PER MANUF. 20-YEAR WARRANTY INSTRUCTIONS.
- DENOTES FLAT ROOF DRAIN CONNECTED TO HARDPIPED 2" RAIN WATER LEADER AND 2" ROOF OVERFLOW. OVERFLOW TO BE CONNECTED TO ESCUTCHEON--SEE DETAILS--ENSURE ROOFING OVERLAPS ROOF DRAIN PER BOTH DRAIN AND ROOF MANUF. DIRECTIONS avoid roof drainage in wall cavities where possible
- DS DENOTES GUTTER DRAIN (3" DIA.) AND DOWNSPOUT (2" X 3") 26 GA ALUMINUM - PAINTED TO MATCH TRIM COLOR-- VERIFY SPEC. W/ OWNER. INSTALL PER MFR. INSTRUCTIONS
- DENOTES DIRECTION OF SLOPE FROM HIGH TO LOW--ROOF SLOPE APPROX., REFER TO ELEVATIONS FOR MAX HT AND VERTICAL CONTROL
- LINE OF BLDG. BELOW

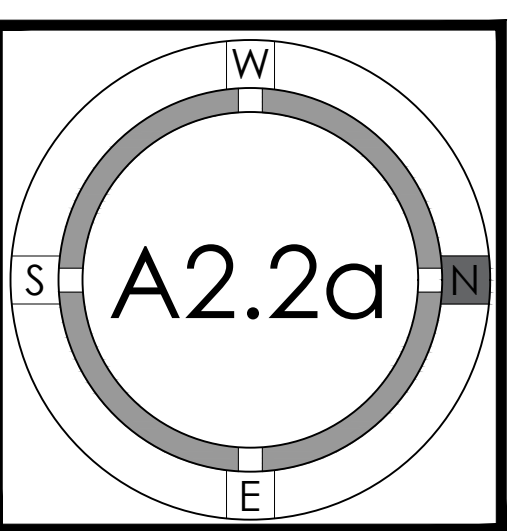


LOWER ROOF PLAN 1/4" 1

ROOF PLAN LEGEND

LOWER

ROOF PLAN





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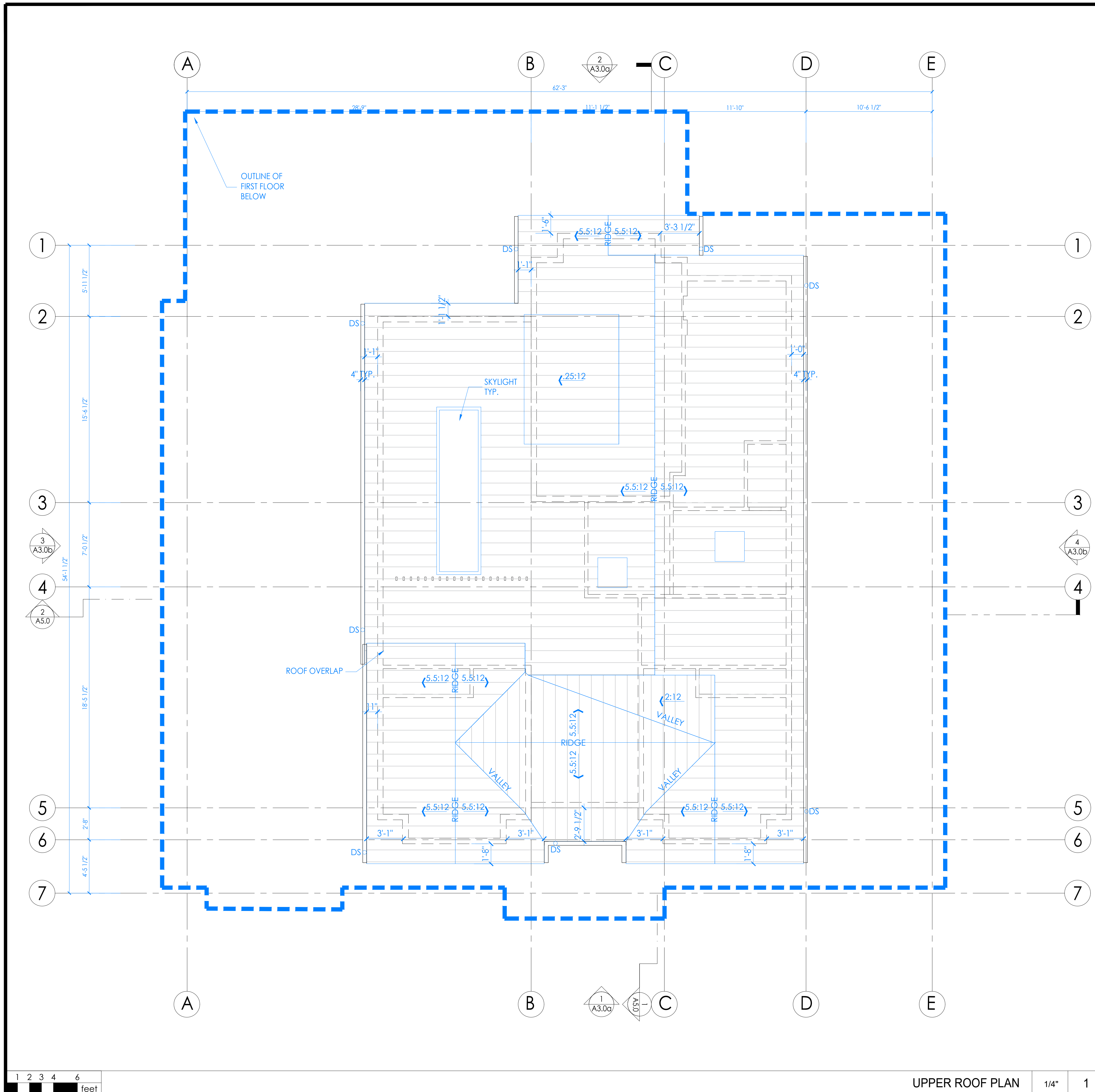
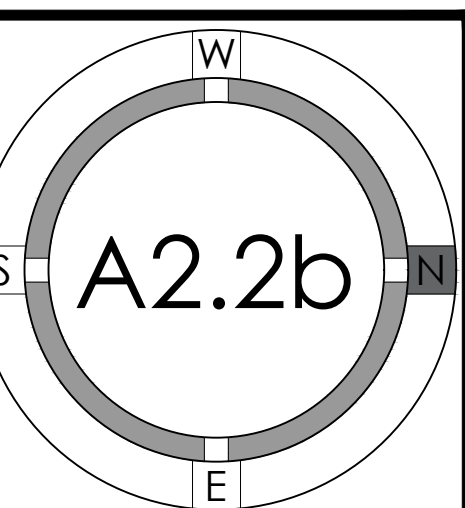


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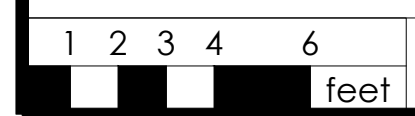
UPPER

ROOF PLAN



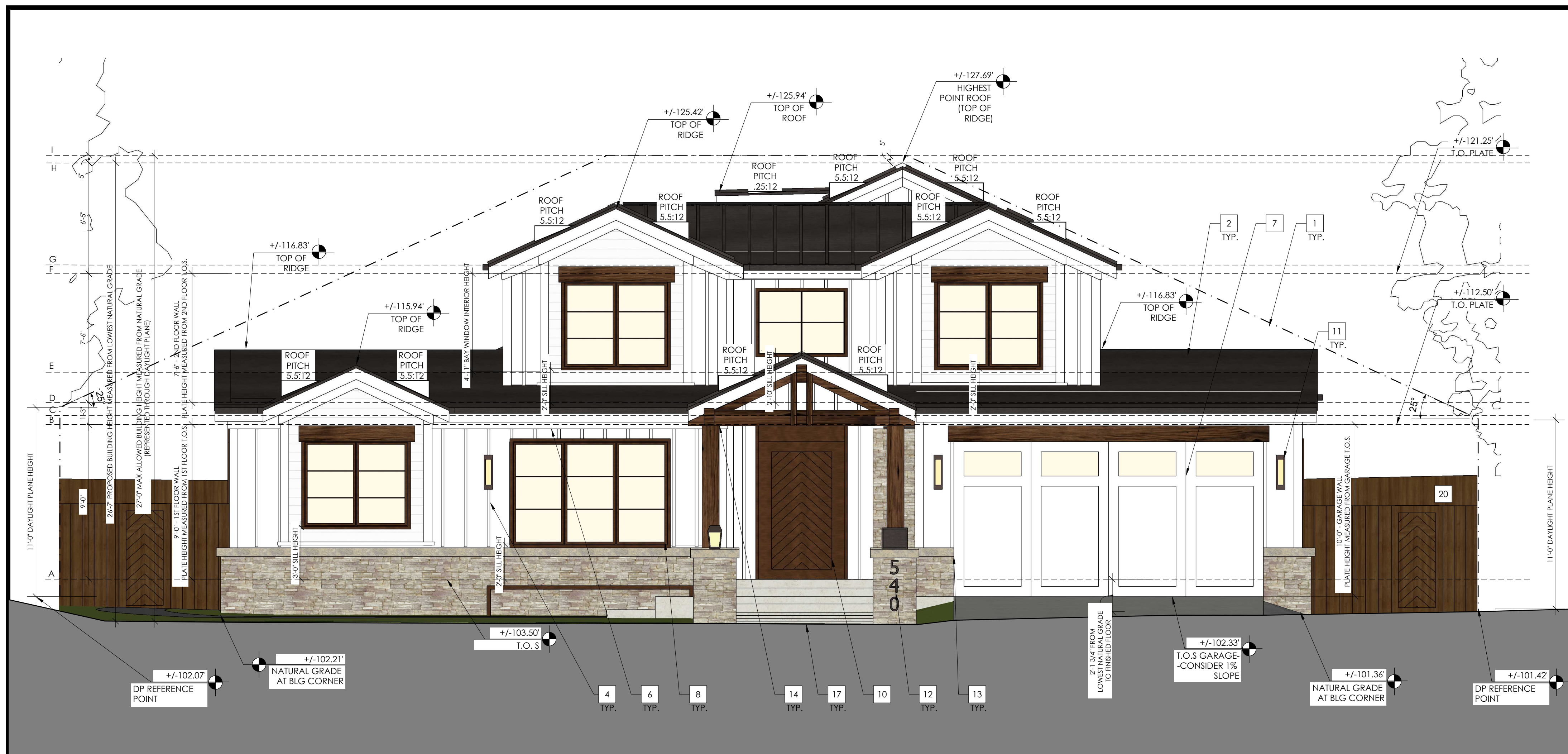
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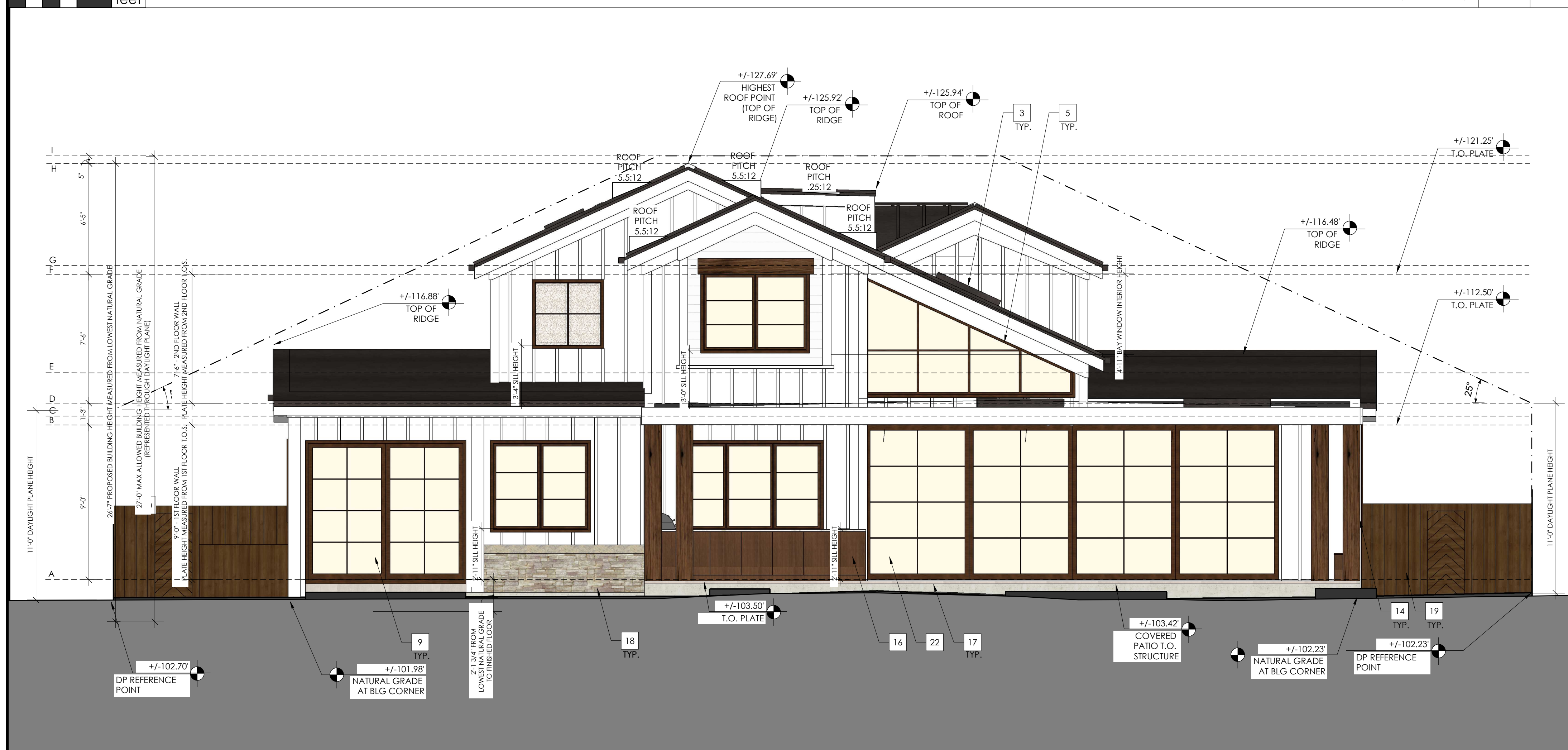


UPPER ROOF PLAN 1/4" 1

ROOF PLAN LEGEND



WEST ELEVATION (FRONT) 1/4" 1



EAST ELEVATION (REAR) 1/4" 2

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 - PAINTED WOOD TRIM--2x10 FASCIA WITH 4" PAINTED SHEET METAL GUTTER--VERIFY GUTTER PROFILE WITH OWNER PRIOR TO FABRICATION--SEE ROOF PLAN FOR MORE INFO
 - PAINTED WOOD TRIM--2x12 BELLYBAND
 - PAINTED GRADE WOOD GARAGE DOOR WITH TEMPERED GLAZING PICTURE WINDOWS--SEE DOOR SCHEDULE FOR MORE INFO
 - WINDOW OPENING WITH SIMULATED DIVIDED LITES: GRIDS ON THE INTERIOR AND EXTERIOR OF THE GLASS--SEE WINDOW AND DOOR SCHEDULES FOR MORE INFO--WINDOWS TO HAVE 2"x2" PAINTED FIBER CEMENT TRIM TYPICAL, U.N.O.
 - DOOR OPENING WITH SIMULATED DIVIDED LITES: GRIDS ON THE INTERIOR AND EXTERIOR OF THE GLASS--SEE WINDOW AND DOOR SCHEDULES FOR MORE INFO--TO HAVE 2"x2" PAINTED FIBER CEMENT TRIM TYPICAL, U.N.O.
 - ENTRY DOOR OPENING--DOORS TO HAVE 2"x6" PAINTED WOOD TRIM TYPICAL, U.N.O.
 - EXTERIOR LIGHT, INSTALL PER MANUF. INSTRUCTIONS--MANUF.: HINKLEY LIGHTING STYLE: ATLANTIS 1648BZ-LED; COLOR: SATIN BLACK WWW.HINKLEY.COM
 - PIN MOUNTED LED ILLUMINATED ADDRESS SIGNAGE, CLEARLY VISIBLE FROM ADJACENT STREET--HEIGHT: 10"; STYLE: LUMA-NUMBERS, BACKLIT LED ADDRESS NUMBERS; FINISH: BLACK WWW.MODERNLIGHTS.COM-- PROVIDE PHOTOSENSOR CONNECTED LED BACKLIGHTING @ EACH NUMBER
 - STONE WAISCO FINISH "L" ANGLE--MANUF.: KONATURAL STONE STYLE: BERKSHIRE; INSTALL PER MANUF. INSTRUCTIONS AND MVMA INSTALLATION GUIDE FOR COMPLIANCE WITH ASTM C1780
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 - WOOD FENCE--SEE SITE PLAN FOR MORE INFO
 - STORAGE--SEE SITE PLAN FOR MORE INFO
 - FIRE PIT--SEE SITE PLAN FOR MORE INFO
 - SLIDING DOOR OPENING WITH SIMULATED DIVIDED LITES: GRIDS ON THE INTERIOR AND EXTERIOR OF THE GLASS--SEE WINDOW AND DOOR SCHEDULES FOR MORE INFO--TO BE TRIMLESS

- NOTES:
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KEYNOTES - -

- ELEVATION GRID LINE KEY
- A FIRST FLOOR TOP OF STRUCTURE= +/- 103.50'
 - B FIRST TYPICAL PLATE HEIGHT (+9'-0")= +/- 112.50'
 - C GREAT ROOM AND REAR BEDROOM PLATE HEIGHT (9'-6")= +/- 113'
 - D SECOND FLOOR TOP OF STRUCTURE= +/- 113.75'
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ELEVATION GRID LINE KEY - -



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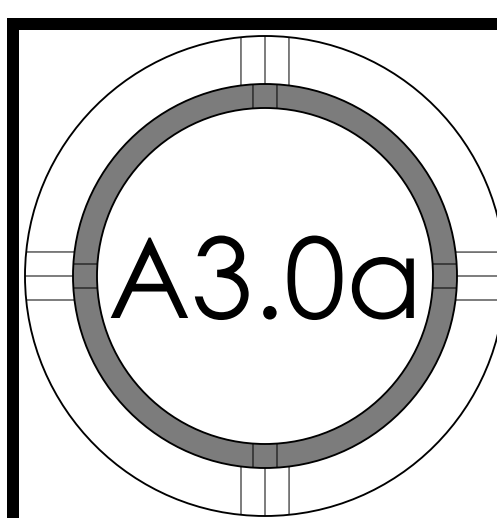
Chang-Chow Residence
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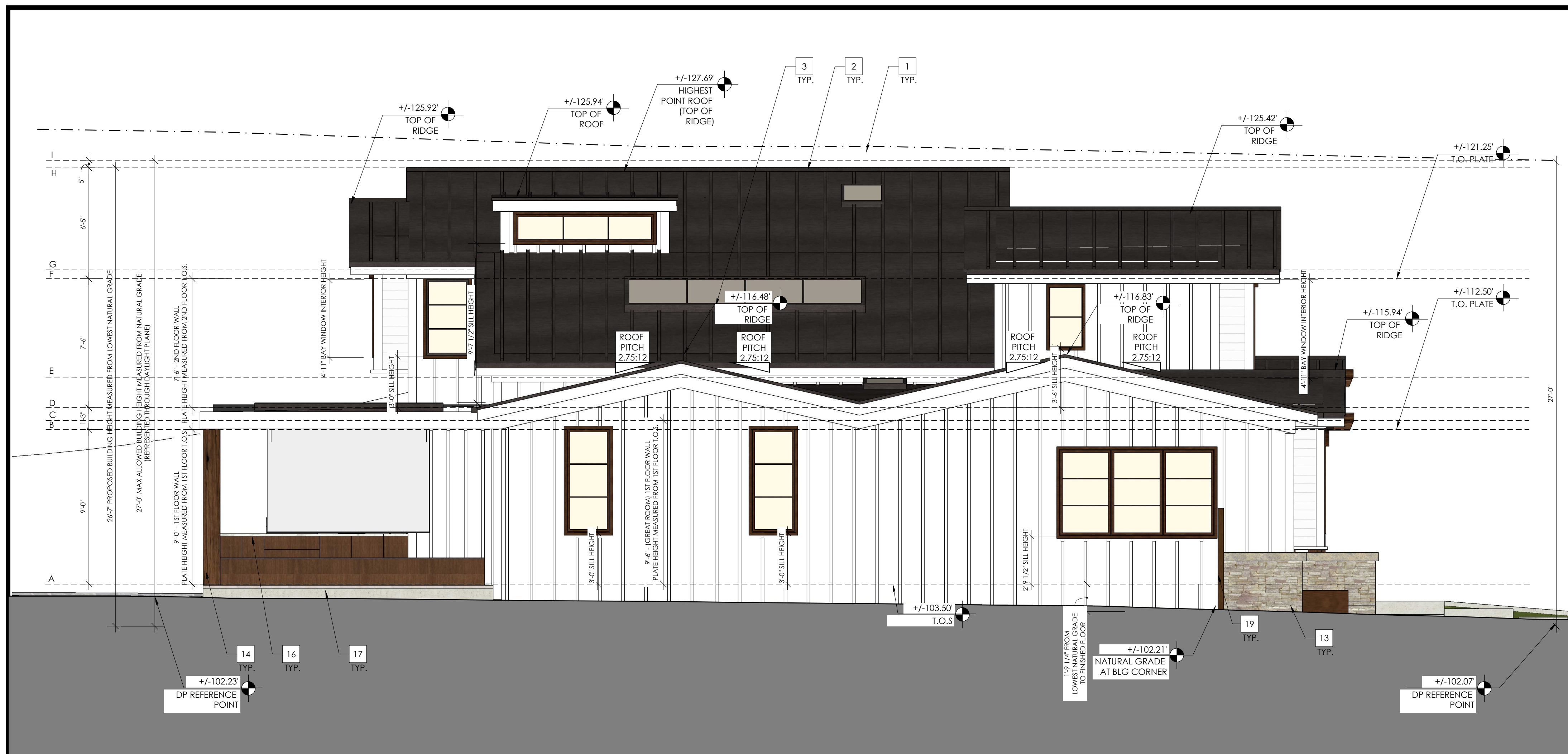


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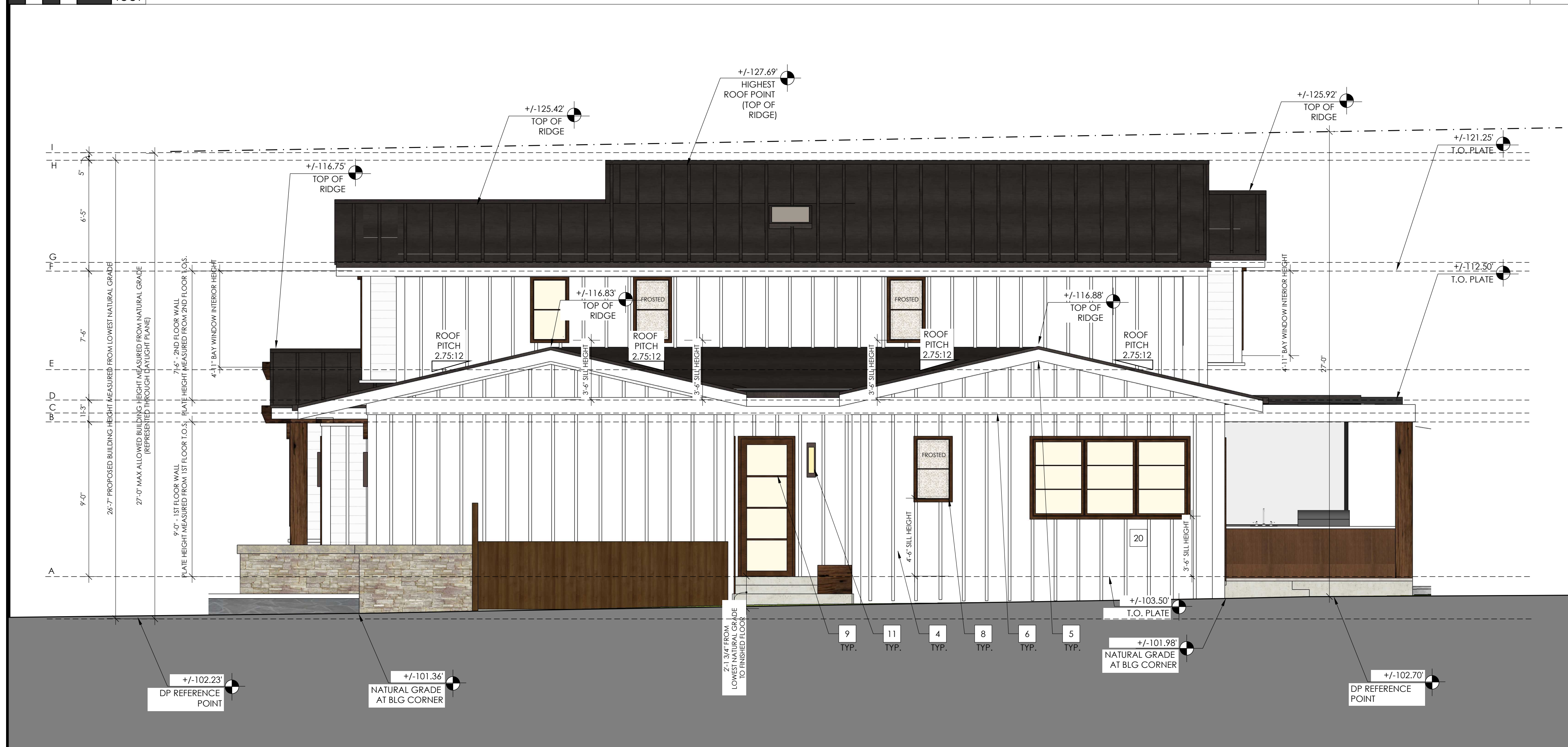
EXTERIOR ELEVATIONS



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NORTH ELEVATION (LEFT) 1/4" 3



SOUTH ELEVATION (RIGHT) 1/4" 4

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KEYNOTES	-	-

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ELEVATION GRID LINE KEY	-	-



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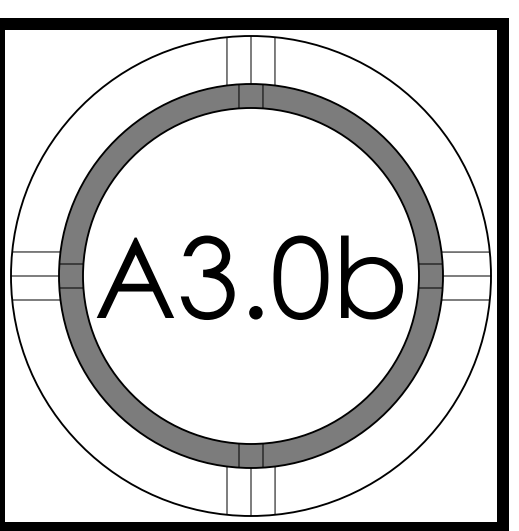
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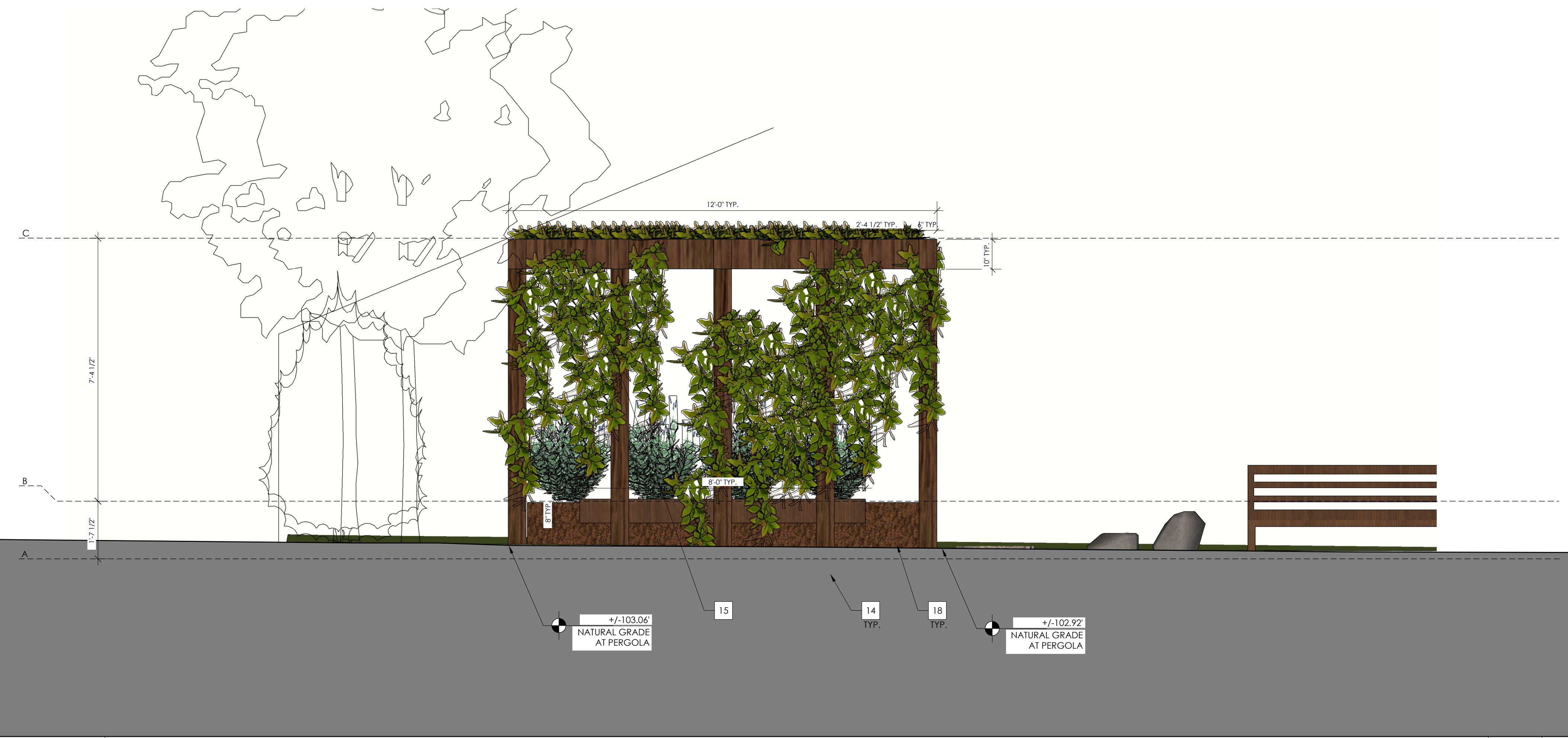
EXTERIOR ELEVATIONS



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 - 23 SHED <6' HEIGHT--SEE LANDSCAPE PLANS FOR MORE INFO



WEST ELEVATION (LEFT) 1/2" 3

COVERAGE EXCEPTION PURSUANT TO LAMC SECTION 14.15.060 APPLIED



SOUTH ELEVATION (FRONT) 1/2" 4

- NOTES:
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KEYNOTES	-	-

ELEVATION GRID LINE KEY
 A PERGOLA LOWEST POINT ON NATURAL GRADE = +/- 102.81'
 B PERGOLA SWING HEIGHT = +/- 104.54'
 C PERGOLA TOP OF STRUCTURE = +/- 111.82'

ELEVATION GRID LINE KEY	-	-



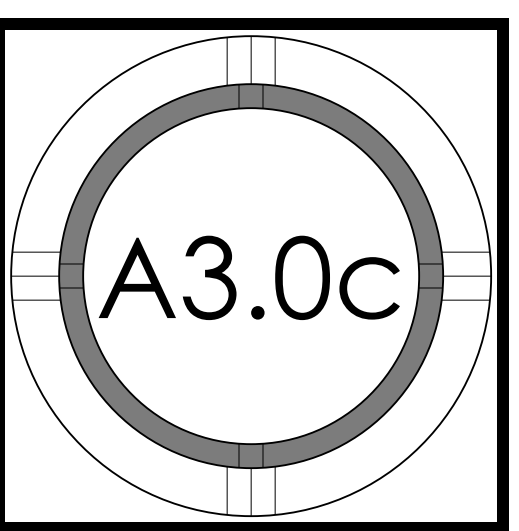
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EXTERIOR ELEVATIONS



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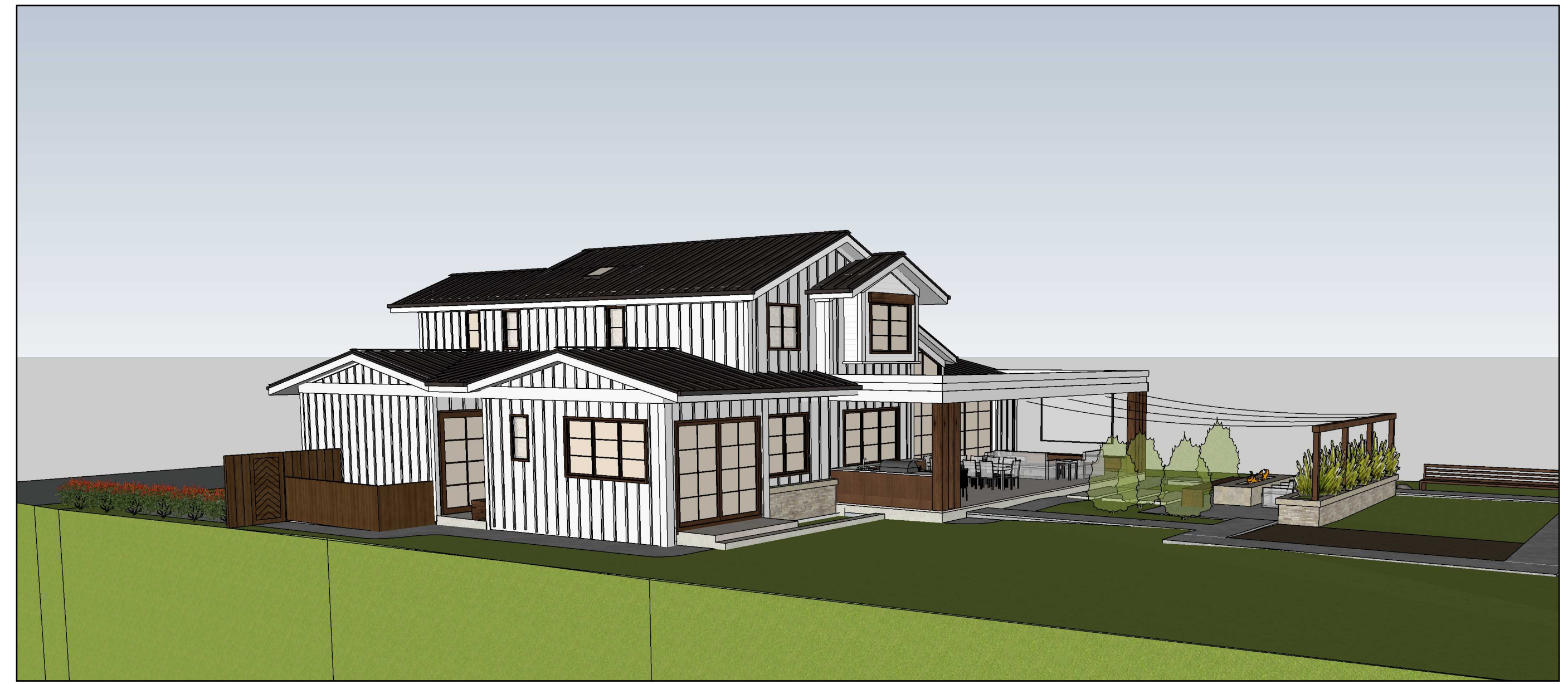
PERSPECTIVE EXTERIOR FRONT VIEW - 4



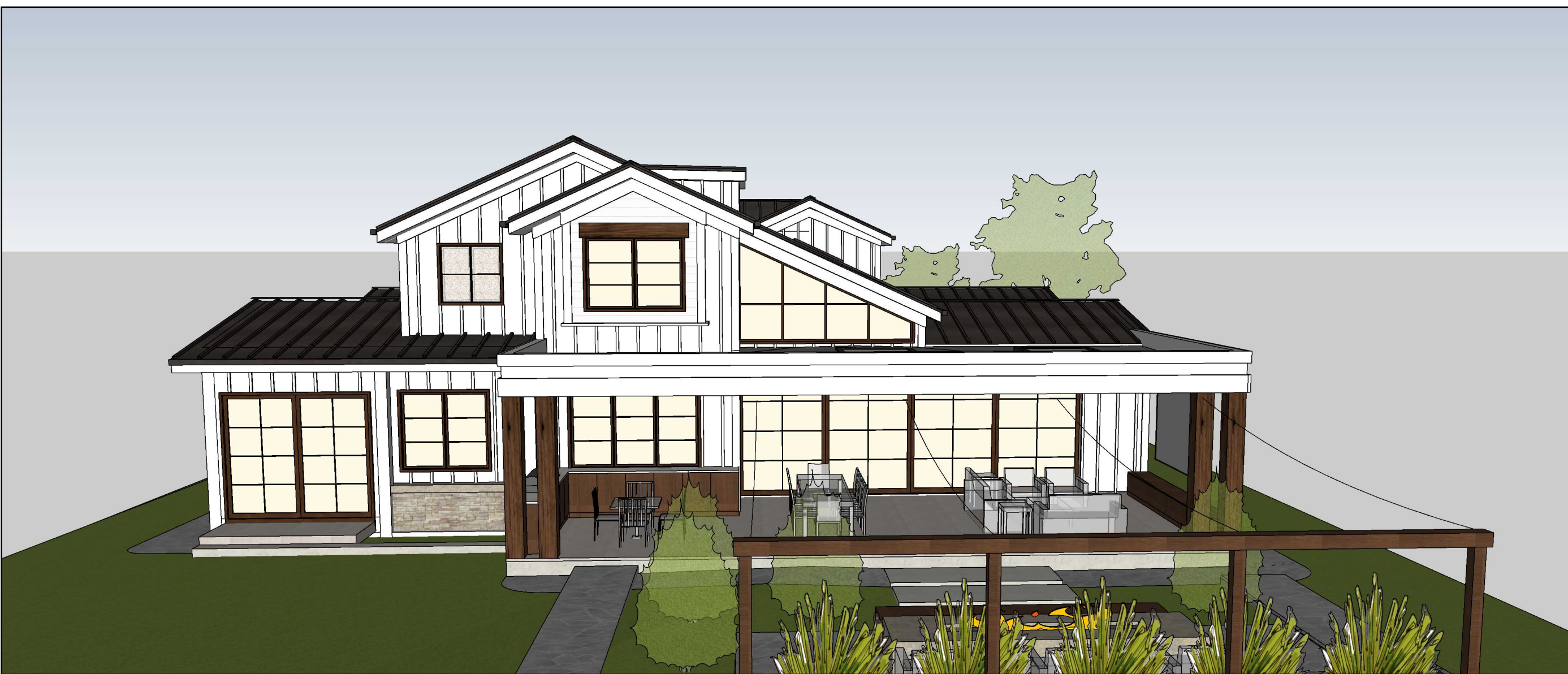
PERSPECTIVE EXTERIOR FRONT LEFT - 1



PERSPECTIVE EXTERIOR FRONT RIGHT - 5



PERSPECTIVE EXTERIOR REAR RIGHT - 2



PERSPECTIVE EXTERIOR BACKYARD - 6



PERSPECTIVE EXTERIOR REAR LEFT - 3



STUDIO 5 SQUARED
ARCHITECTURE
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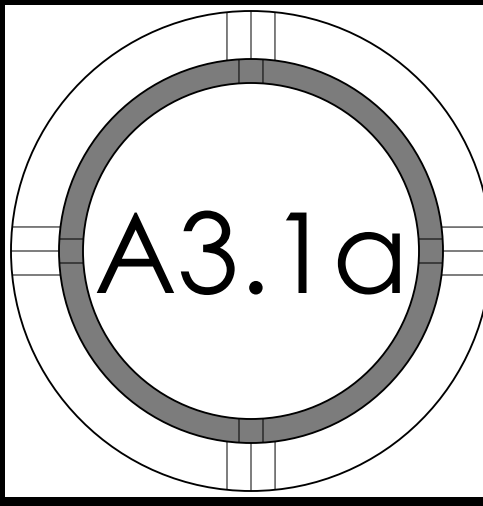
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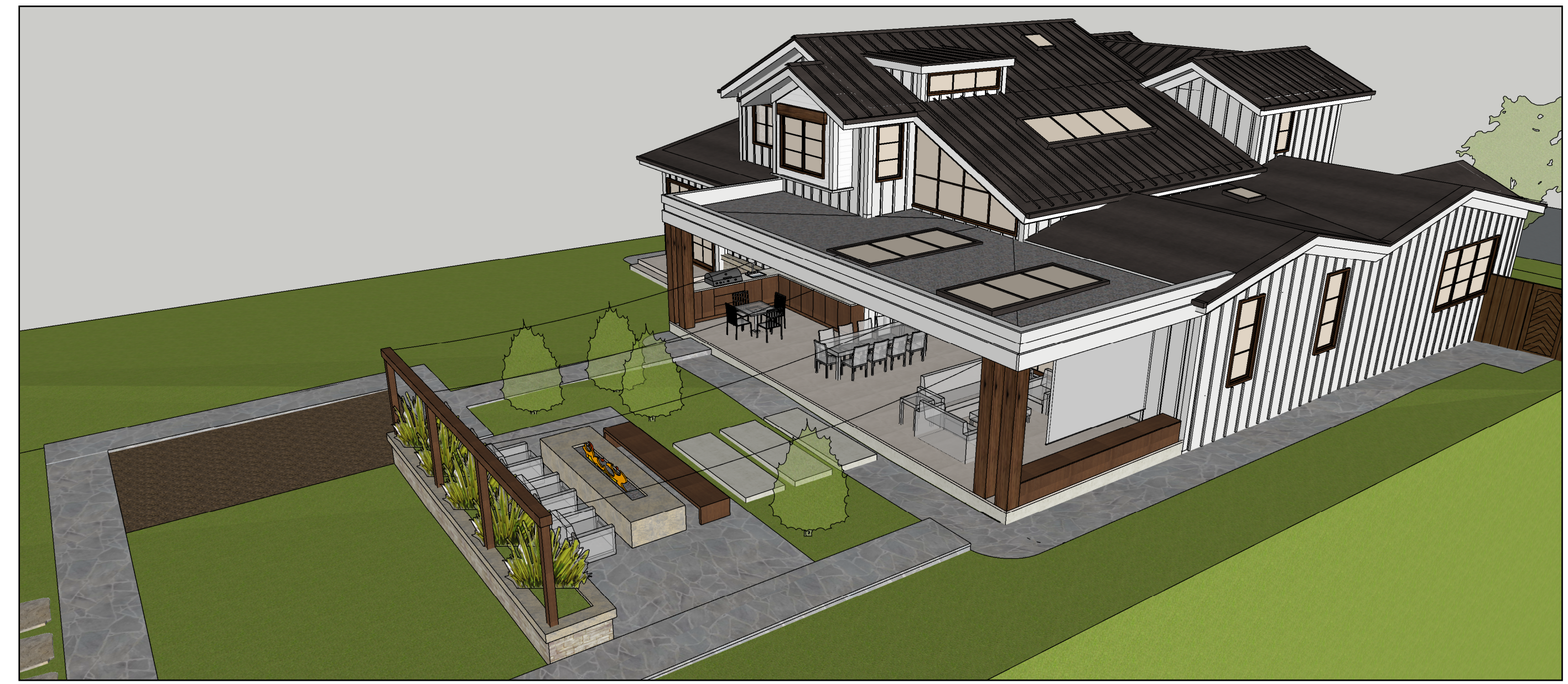
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EXTERIOR
PERSPECTIVES





PERSPECTIVE EXTERIOR BACKYARD LEFT - 4



PERSPECTIVE EXTERIOR BACKYARD RIGHT - 1



PERSPECTIVE EXTERIOR RIGHT - 5



PERSPECTIVE EXTERIOR BACKYARD - 2



PERSPECTIVE EXTERIOR BACKYARD HIGH - 6



PERSPECTIVE EXTERIOR BACKYARD HIGH - 3



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San Jose, CA 95128
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Charrg-Chow Residence
NEW SINGLE FAMILY RESIDENCE AND A NEW DETACHED
ACCESSORY DWELLING UNIT

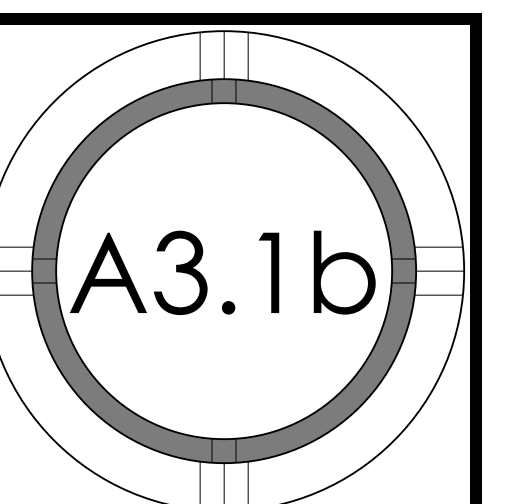
Los Altos, 540 Patrick Way
Ann Charrg and Alvin Chow

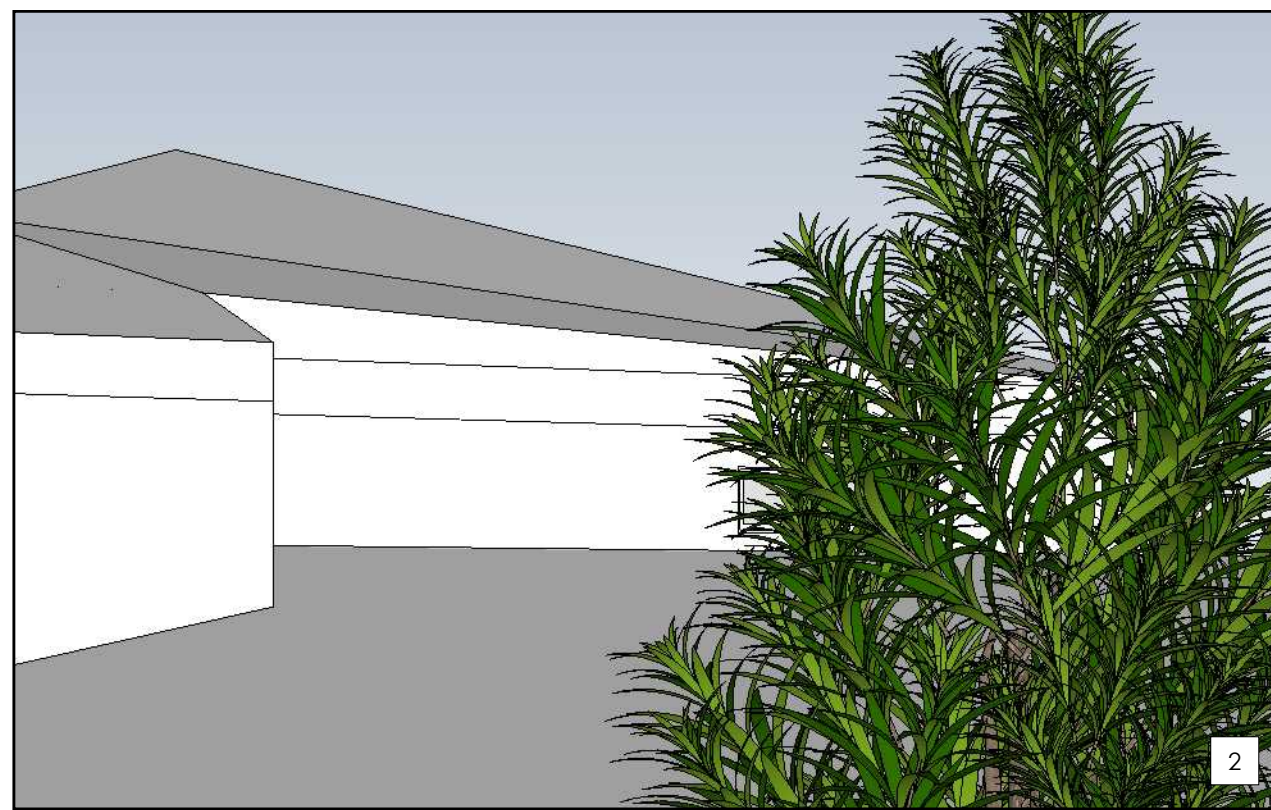


REVISION	DATE	DESCRIPTION	DRAWN BY
1	01.31.2021	PLANNING PERMIT SUBMITTAL	AA/JG
2	04.05.2022	P. PACKAGE RESUBMITTAL	AA/JG
	07.06.2022	P. PACKAGE RESUBMITTAL	IG/AD

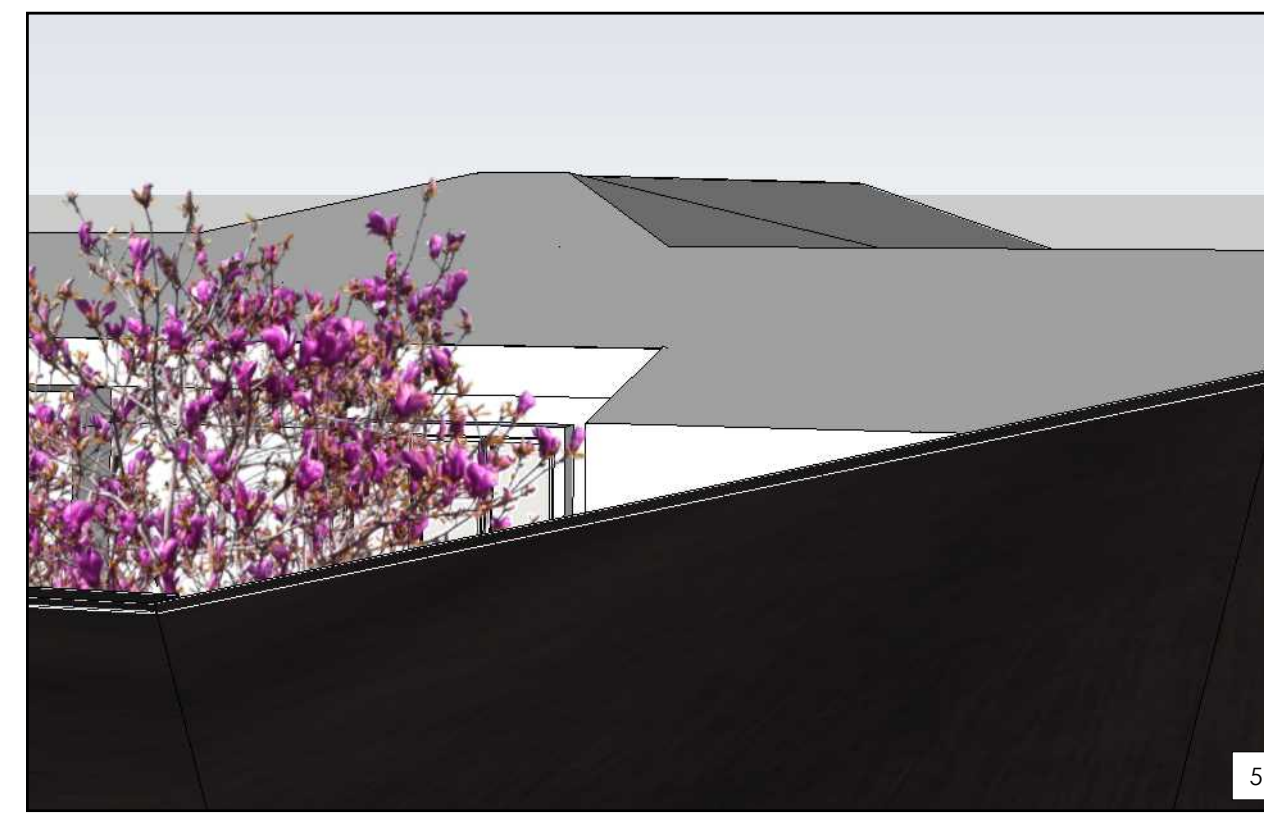
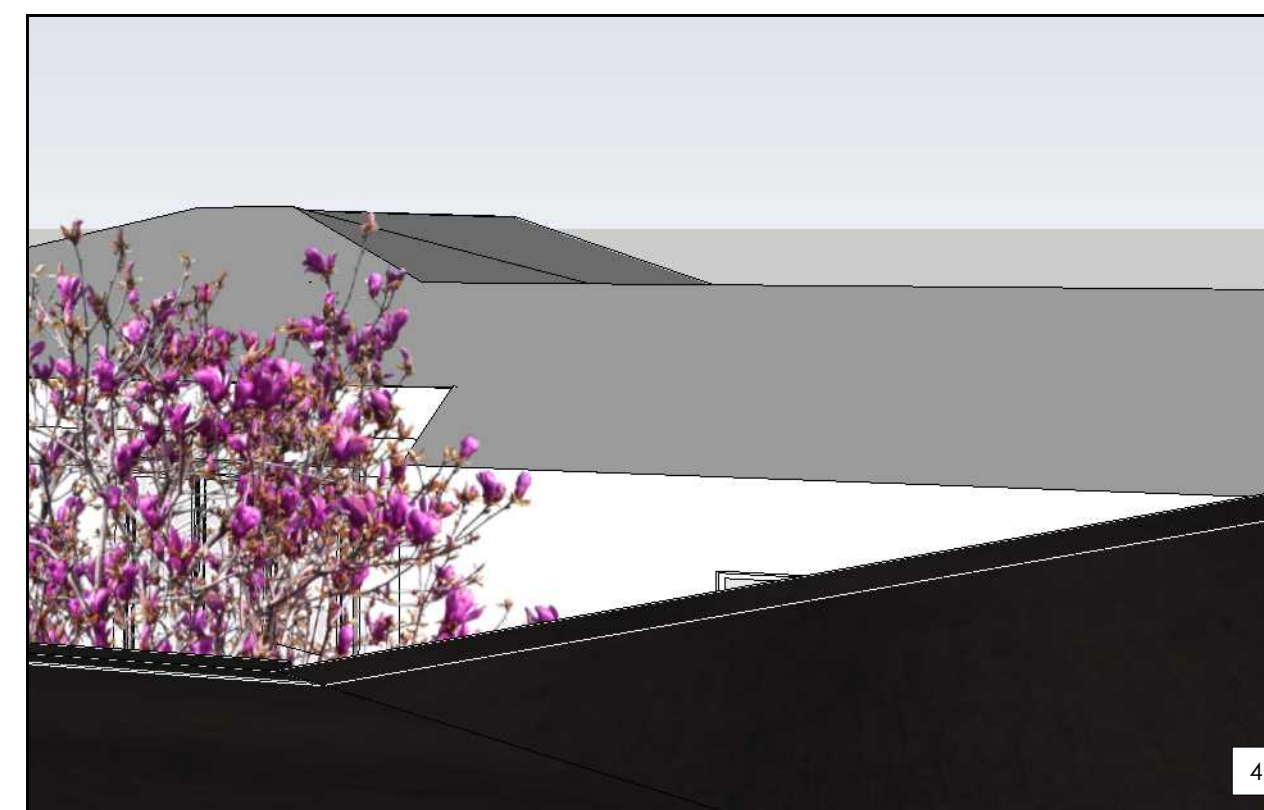
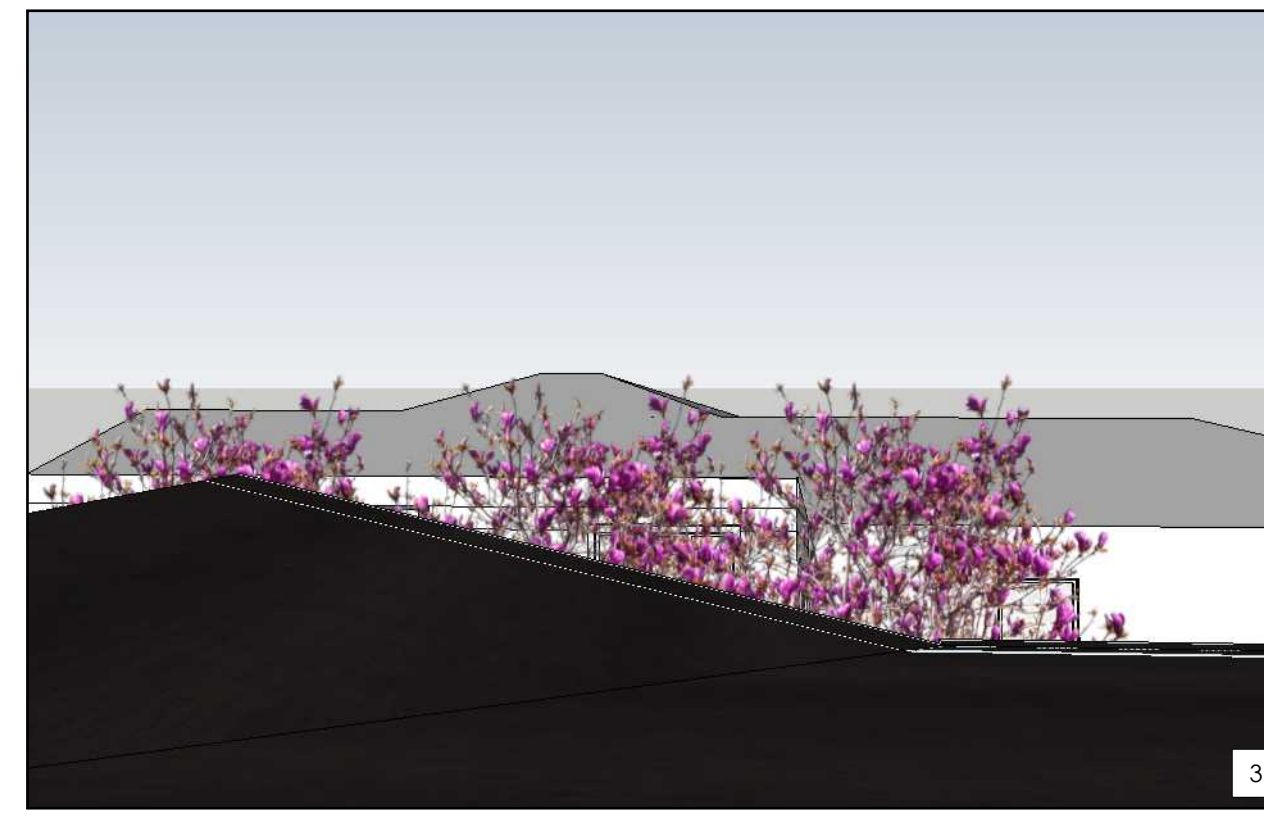
FOR PERMIT APPROVAL ONLY -- NOT FOR CONSTRUCTION

EXTERIOR
PERSPECTIVES





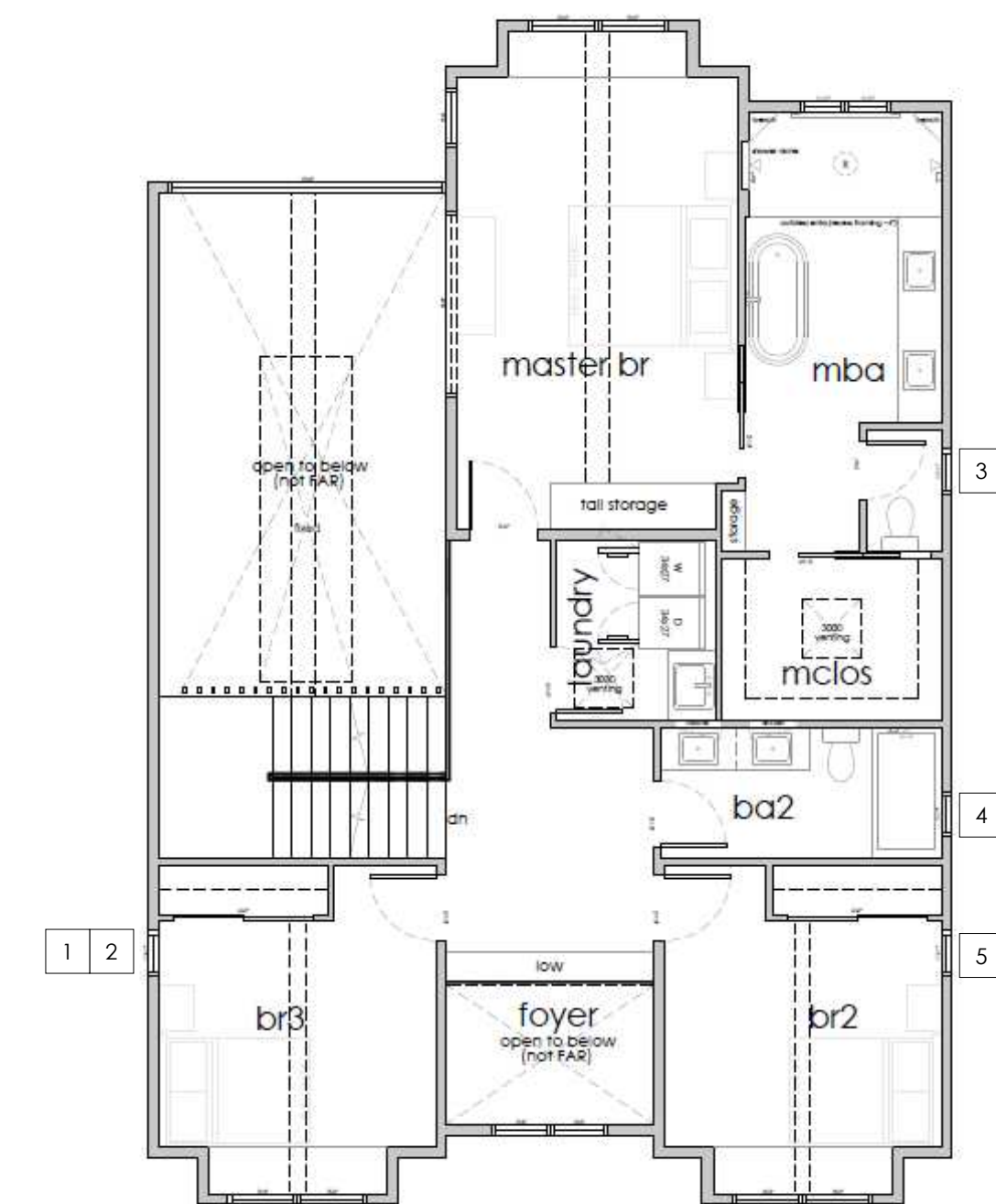
SECOND STORY VIEWS FROM SUBJECT PROPERTY - NIEGHBOR (530 PATRICK WAY) - 1



SECOND STORY VIEWS FROM SUBJECT PROPERTY - NIEGHBOR (550 PATRICK WAY) - 2



STREETSCAPE ELEVATION 1/8" 3



SECOND STORY FLOOR PLAN - 4



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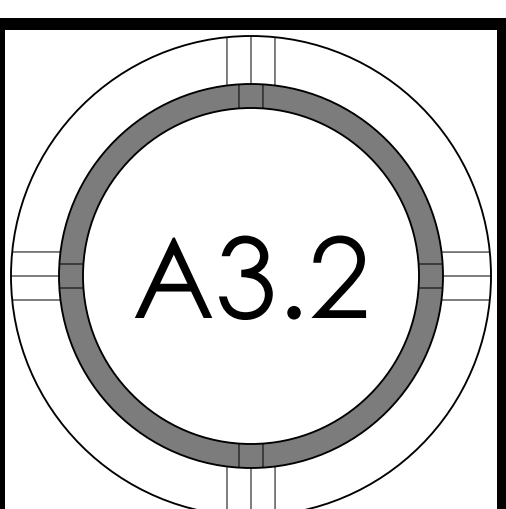
Chang-Chow Residence
NEW SINGLE FAMILY RESIDENCE AND A NEW DETACHED
ACCESSORY DWELLING UNIT

Los Altos, 540 Patrick Way
Ann Chang and Alvin Chow



PROJECT NO.	REGION	DATE	DESCRIPTION	DRAWN BY
21-020	1	01.31.2021	PLANNING PERMIT SUBMITTAL	AA/IG
	2	04.05.2022	P. PACKAGE RESUBMITTAL	AA/IG
		07.06.2022	P. PACKAGE RESUBMITTAL	IG/AD

SECOND
STORY
VIEWS



FOR PERMIT APPROVAL ONLY -- NOT FOR CONSTRUCTION



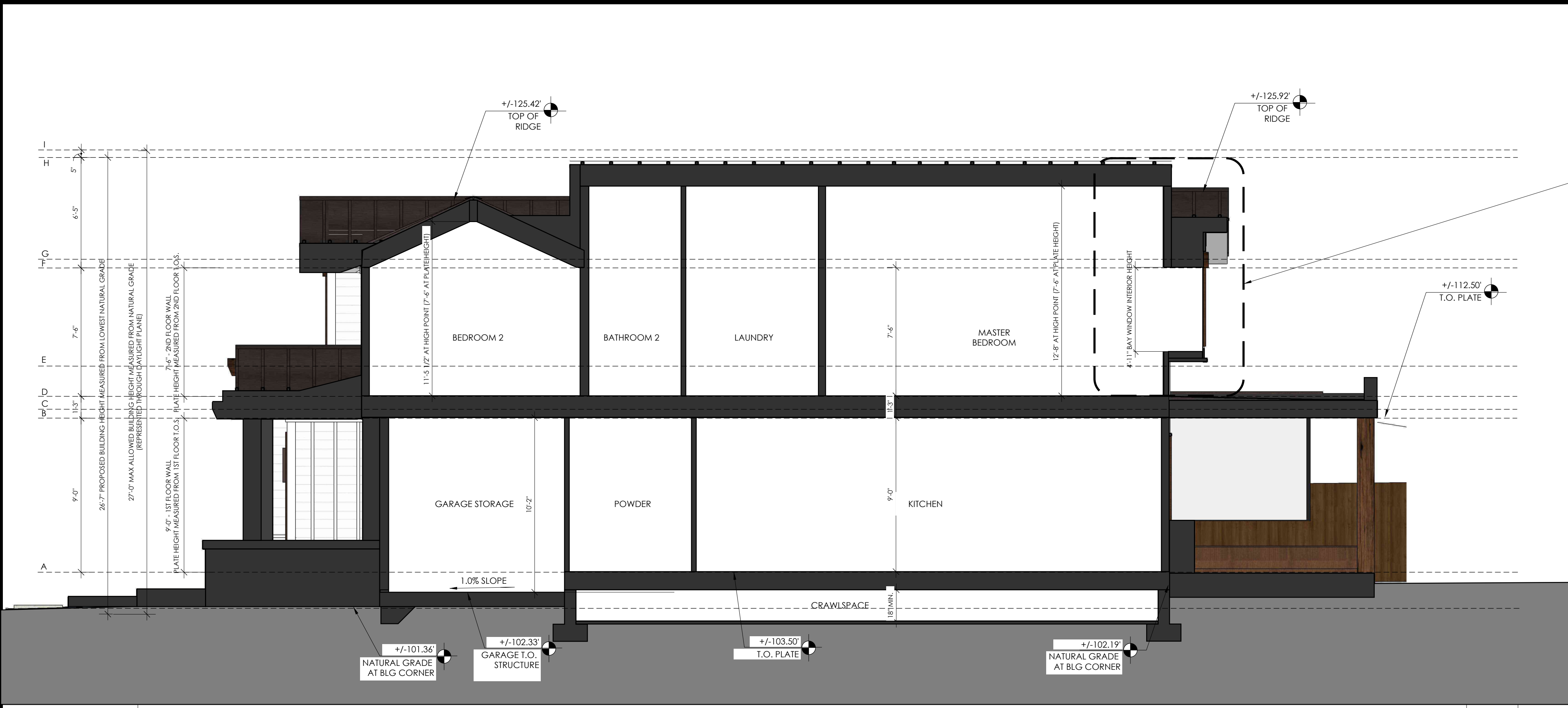
1000 S. Winchester Blvd
San Jose, CA 95128
P : (408) 998 - 0983

Chang-Chow Residence
NEW SINGLE FAMILY RESIDENCE AND A NEW DETACHED ACCESSORY DWELLING UNIT
Los Altos, 540 Patrick Way
Ann Chang and Alvin Chow

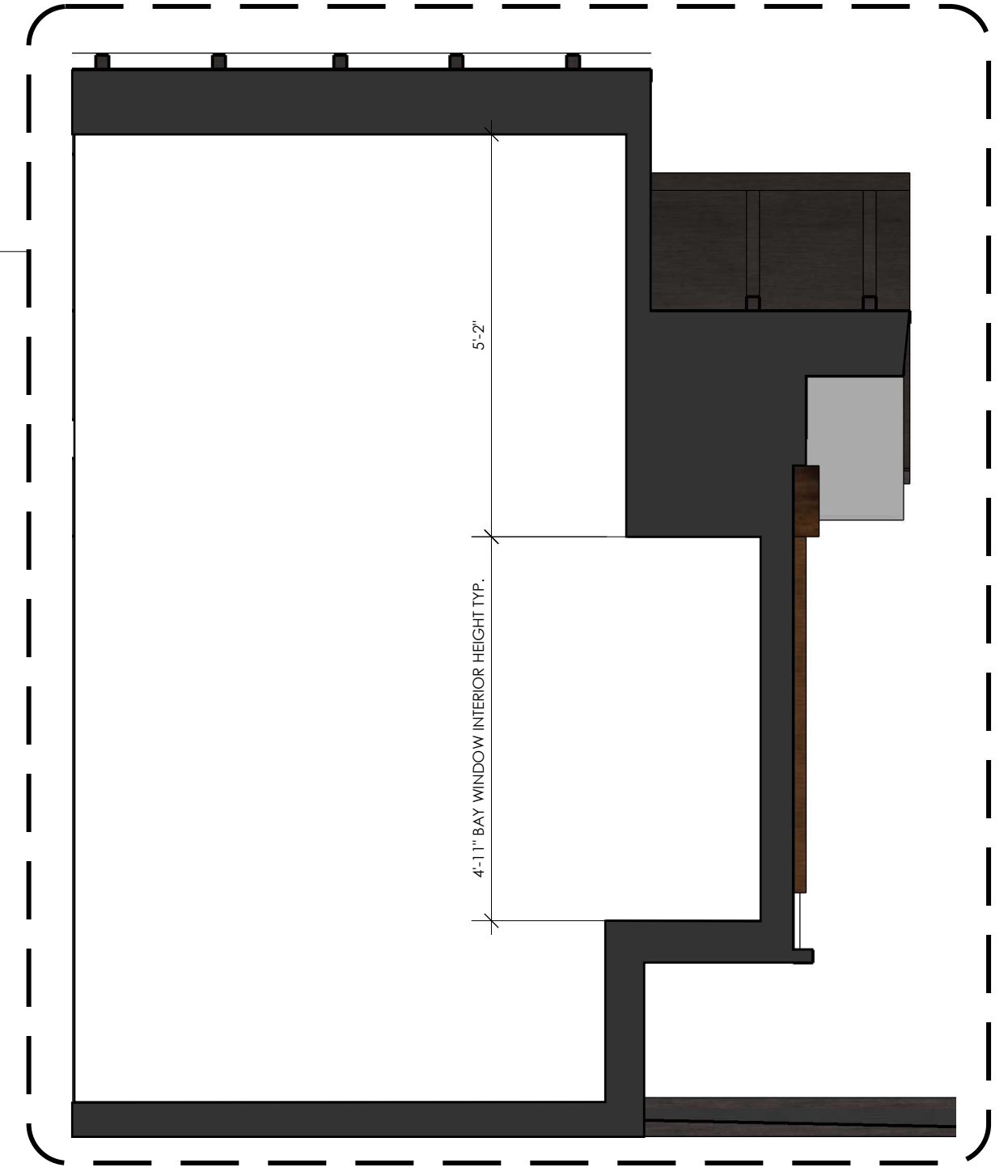


PROJECT NO.	DATE	DESCRIPTION	DRAWN BY
1	01.31.2021	PLANNING PERMIT SUBMITTAL	AA/IG
	04.05.2022	P. PACKAGE RESUBMITTAL	AA/IG
	07.06.2022	P. PACKAGE RESUBMITTAL	IG/AD
2			

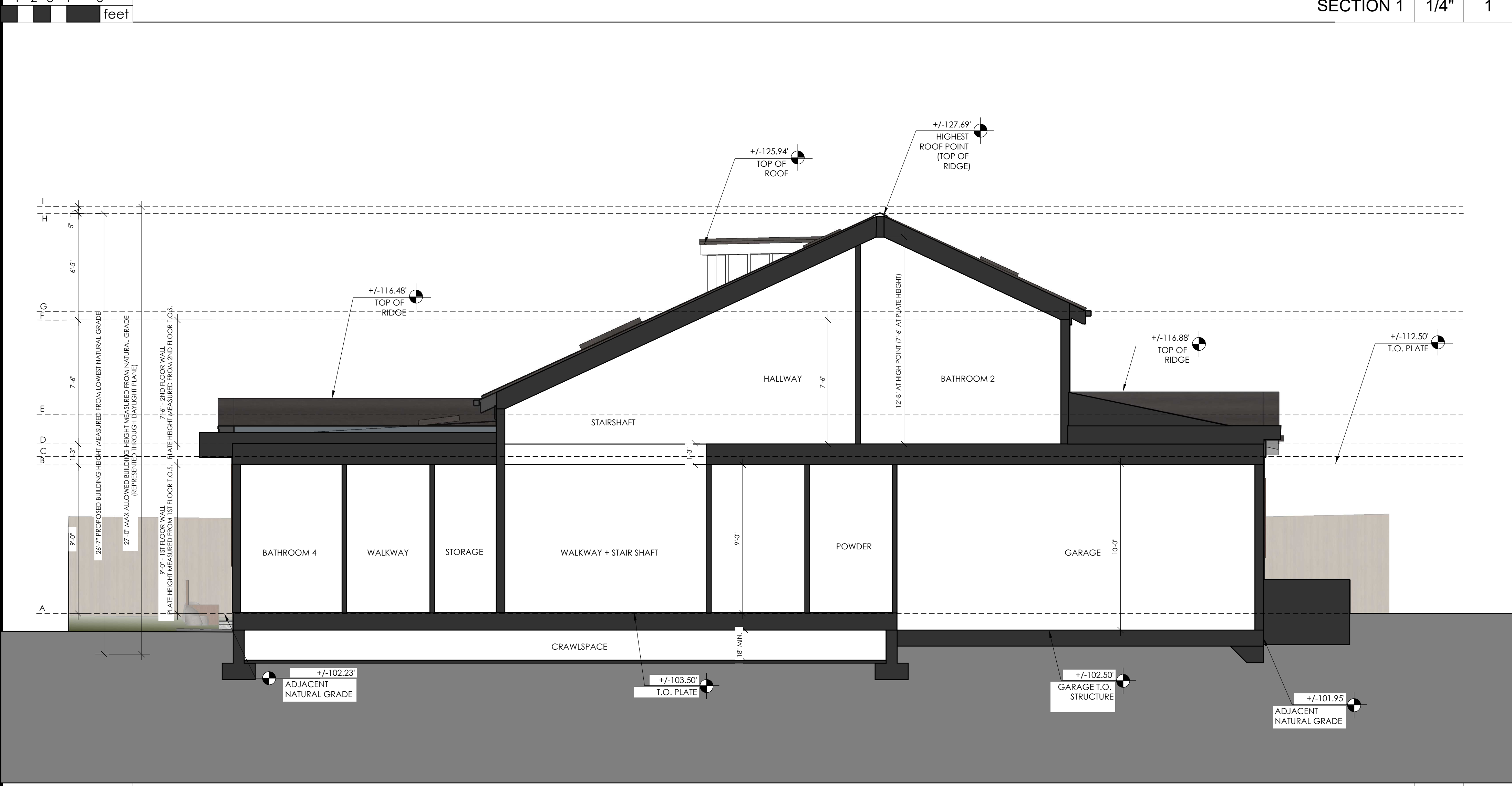
FOR PERMIT APPROVAL ONLY--NOT FOR CONSTRUCTION



SECTION 1 1/4" 1



TYPICAL BAY WINDOW 1/2" SCALE

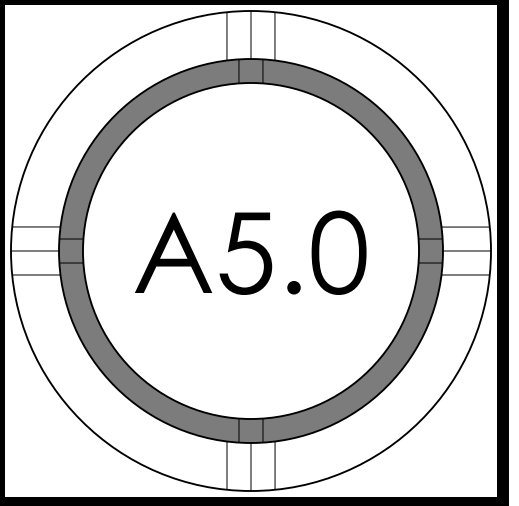


SECTION 2 1/4" 2

KEYNOTES	-	-

- ELEVATION GRID LINE KEY
- A FIRST FLOOR TOP OF STRUCTURE= +/- 103.50'
 - B FIRST TYPICAL PLATE HEIGHT (+9'-0")= +/- 112.50'
 - C GREAT ROOM AND REAR BEDROOM PLATE HEIGHT (9'-6")= +/- 113'
 - D SECOND FLOOR TOP OF STRUCTURE= +/- 113.75'
 - E DINING ROOM PLATE HEIGHT (12'-0")= +/- 115.50'
 - F SECOND FLOOR TYPICAL PLATE HEIGHT (+7'-6")= +/- 121.25'
 - G MASTER BEDROOM PLATE HEIGHT (8'-0")= +/- 121.75'
 - H PROPOSED BUILDING HEIGHT= +/- 127.69'
 - I MAX ALLOWED BUILDING HEIGHT (27'-0")= +/- 128.11'

SECTIONS



Kiely Arborist Services LLC
 Certified Arborist WE#0476A TRAQ Qualified
 P.O. Box 6187
 San Mateo, CA 94403
 650-532-4418

August 17th, 2021, Revised May 9th, 2022

Alvin Chow & Ann Charng,

Site: 540 Patrick Way, Los Altos CA

Dear Alvin Chow & Ann Charng,

As requested on Monday, July 26th, 2021, I visited the above site for the purpose of inspecting and commenting on the trees. A new 2 story home is proposed for the property, and as required by the City of Los Altos, a survey of the trees and a tree protection plan will be provided within this report. The entire 23-page building plan set dated 4/5/22 was reviewed for writing this report. This report will go over the existing health of the protected trees and give recommendations for construction as needed.

Method:

The significant trees on this site were located on a map provided by you. Each tree was given an identification number. This number can be found on the provided tree location map seen on page 3 of this report. The trees were then measured for diameter at 48 inches above ground level (DBH or diameter at breast height). Each tree was put into a health class using the following rating system:

- F- Very Poor
- D- Poor
- C- Fair
- B- Good
- A- Excellent

The height of each tree was estimated, and the spread was paced off. Lastly, a comments section is provided.

Survey Key:

DBH-Diameter at breast height (54" above grade)

CON- Condition rating (1-100)

HT/SP- Tree height/ canopy spread

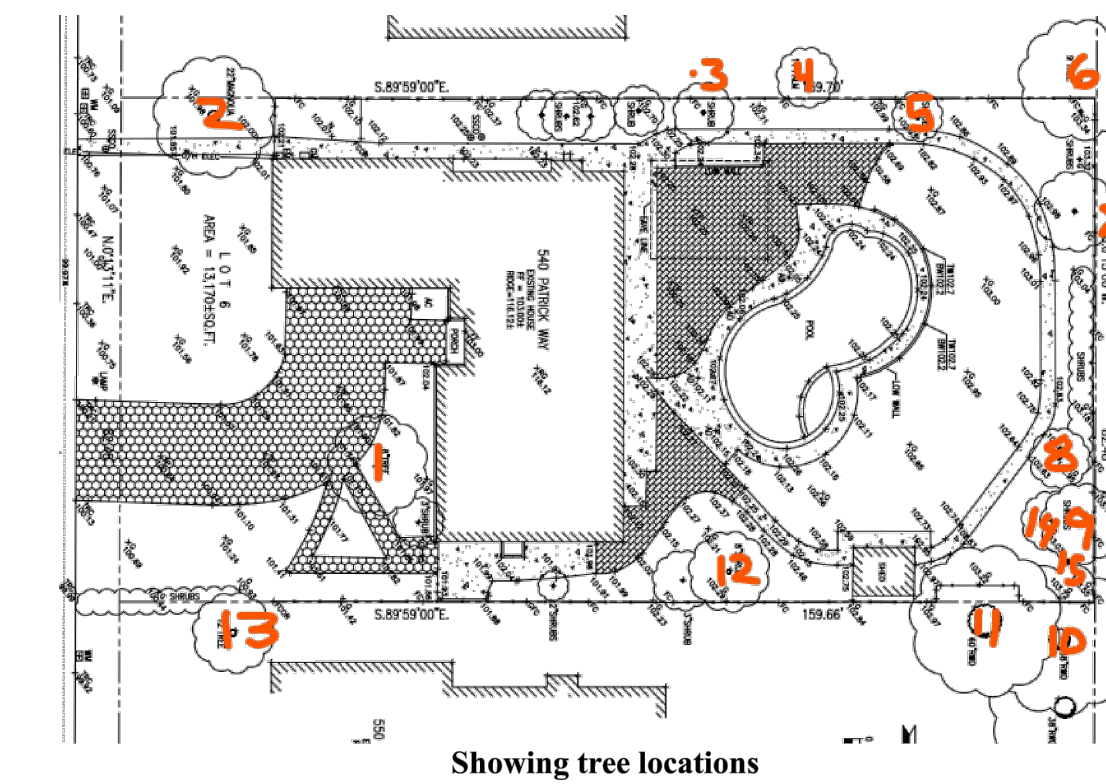
*indicates neighbor's trees

P-Indicates protected tree by city ordinance

R-Indicates proposed removal

Tree#	Species	DBH	CON	HT/SP	Comments
1R	Crape myrtle (<i>Lagerstroemia sp.</i>)	8.4	B	20/15	Good vigor, good form.
2P/R	Magnolia (<i>Magnolia grandiflora</i>)	20.5	D	30/20	Fair to poor vigor, poor form, topped in past, drought stressed, abundance of dead wood, in decline.
3*	Privet (<i>Ligustrum japonicum</i>)	8-8est	C	30/20	Fair vigor, fair form, limited visual assessment, 1 foot from property line.
4*	Spanish dagger (<i>Yucca gloriosa</i>)	12est	F	25/12	Poor vigor, fair form, limited visual assessment, abundance of dead wood.
5	Pittosporum (<i>Pittosporum undulatum</i>)	4"x6	C	12/12	Fair vigor, poor form, multi leader at grade.
6*	Red flowering gum (<i>Eucalyptus ficifolia</i>)	12est	C	35/20	Fair vigor, fair form, limited visual assessment, 5 feet from property line.
7*	Pittosporum (<i>Pittosporum eugenioides</i>)	8-8est	D	30/15	Fair to poor vigor, poor form, in decline.
8R	Mayten (<i>Maytenus boaria</i>)	4.5	C	12/10	Fair vigor, fair form, minor dead wood.
9R	Pittosporum (<i>Pittosporum eugenioides</i>)	5.0	C	30/15	Fair vigor, fair form, screening material.
10*P	Redwood (<i>Sequoia sempervirens</i>)	48est	B	90/30	Fair vigor, good form, thinned out in past.
11*P	Redwood (<i>Sequoia sempervirens</i>)	30est	B	90/30	Fair vigor, good form, thinned out in past.
12	Strawberry tree (<i>Arbutus unedo</i>)	9.0	B	12/12	Fair vigor, fair form.
13*	Plum (<i>Prunus sp.</i>)	12est	D	14/14	Fair to poor vigor, poor form, mature, decay on trunk abundance of dead wood, 4 feet from property line.
14R	Pittosporum (<i>Pittosporum eugenioides</i>)	3.0	C	12/6	Fair vigor, fair form, hedge material.

Tree#	Species	DBH	CON	HT/SP	Comments
15R	Pittosporum (<i>Pittosporum eugenioides</i>)	3.0	C	12/6	Fair vigor, fair form, hedge material.



Showing tree locations



Site observations:
 The existing landscape is in fair condition. The site is flat, and irrigation is currently being provided for the trees and shrubs on the site. Four out of the fifteen trees surveyed are in poor condition.

Trees proposed for removal:
 Crape myrtle tree #1 is in good condition and is not of a protected size in the city of Los Altos. The tree is located close to the existing home on site. This tree is proposed for removal as the new home is within the tree's footprint.

Showing Crape Myrtle tree #1

540 Patrick (4)



Protected tree-Magnolia tree #2 is in poor condition. The tree has been topped in the past and the poor pruning practices have likely led to the tree's decline. Areas of dead wood and die back were observed. The tree is also under severe drought stress. This tree is recommended for removal as it is in decline and likely to be further impacted by the proposed construction. No mitigation measures within ANSI A300 Pruning Standards are expected to improve the tree's condition rating.

Showing Magnolia tree #2

Mayten tree #8, and pittosporum trees #9, 14, and 15 are proposed for removal to facilitate the construction of the proposed landscape. These trees are in fair condition. These trees are not of a protected size in the city of Los Altos.

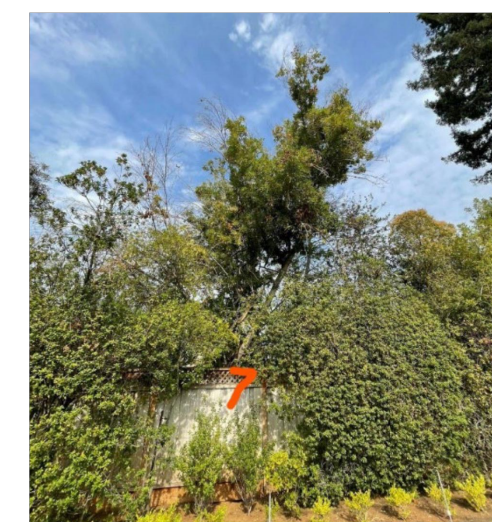


Trees to be retained:
 Neighboring Privet tree #3 is in fair condition. A limited visual assessment was conducted. The tree is located 1 foot from the property line. Neighboring Spanish Dagger tree #4 is in poor condition. Large areas of dead wood were observed. This tree is not expected to improve. Both neighboring trees #3 and #4 are not of a protected size in the city of Los Altos.

Showing trees #3 and #4

540 Patrick (5)

Pittosporum tree #5 is in fair condition. The tree acts as a large screen at the back of the property. Many other small Pittosporum trees were observed at the back property fence line. These trees were all under 4" in diameter and not surveyed as a part of this report. The Pittosporum trees together create a nice dense screen at the back of the property. Pittosporum tree #5 is not of a protected size in the city of Los Altos.



Neighboring Red Flowering Gum Eucalyptus tree #6 is in fair condition. A limited visual assessment was conducted. The tree is located 5 feet from the property line fence. This tree is not of a protected size in the city of Los Altos.

Neighboring Pittosporum tree #7 is in poor condition. The tree is showing signs of decline through large areas of deadwood and die back observed within the canopy. This tree is not expected to improve. Root rot is likely the culprit of the observed decline. This tree is not of a protected size in the city of Los Altos.

Showing tree #7

Strawberry tree #12 is in fair condition. This tree is not of a protected size in the city of Los Altos. Neighboring plum tree #13 is in poor condition. The tree is overmature for the species. Large areas of dead wood and decline were observed. Decay on the trunk was observed. The tree is located 4 feet from the property line. This tree is not of a protected size in the city of Los Altos.



Protected trees- Neighboring Redwood trees #10 and #11 are in good condition. Both trees have been thinned out in the past to reduce wind sail. These trees are well placed far back on the neighboring lot. These trees are protected in the city of Los Altos.

Showing Redwood trees #10 and #11

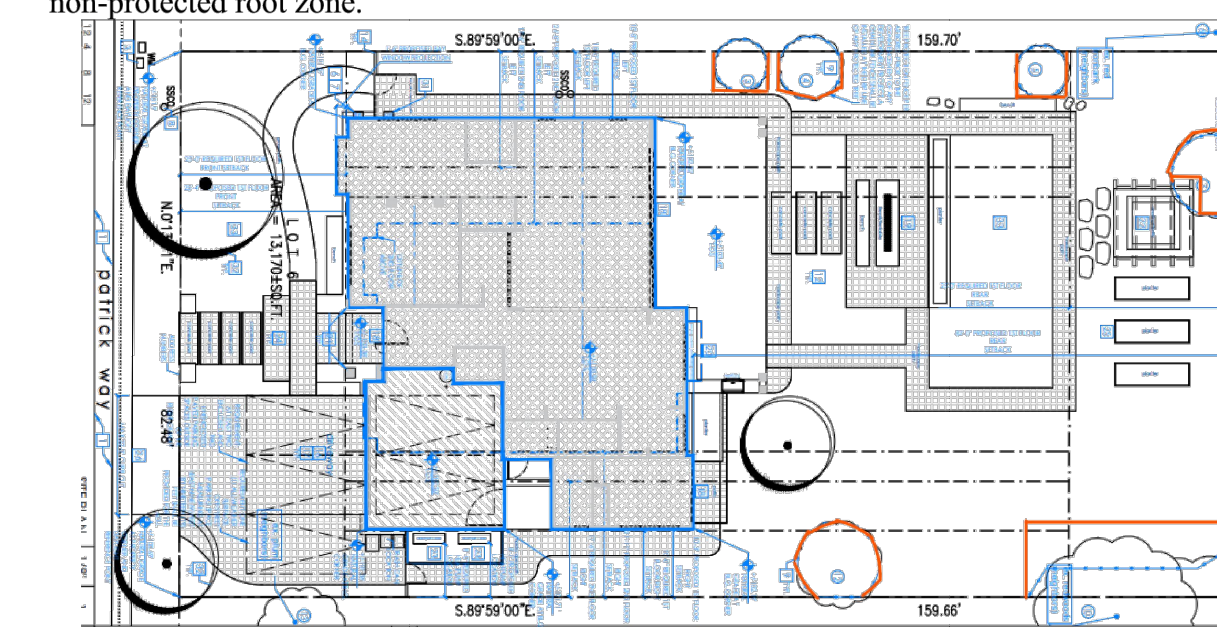
540 Patrick (6)

Impacts/recommendations:
 No impacts are expected for the retained trees. It is recommended to install tree protection fencing at the driplines where possible to reduce risk of compacting soil within the tree root zones. Irrigation every 2 weeks during the dry season is recommended to be provided within the tree protection zones for the trees. 20 gallons water is recommended within the tree protection zones. The tree protection zone for the neighboring Redwood trees is recommended to be irrigated using 50 gallons of water every 2 weeks.

Tree Protection Plan:

Tree Protection Zones

Tree protection zones should be installed and maintained throughout the entire length of the project. Prior to the commencement of any Development Project, a chain link fence shall be installed at the drip line (canopy spread) of any protected tree which will or will not be affected by the construction. Non-protected trees to be retained shall also be protected in the same way. The drip line shall not be altered in any way so as to increase the encroachment of the construction. When work is to take place underneath a trees dripline, fencing must be placed as close as possible to the tree proposed work. If an area of access is needed underneath a trees canopy, the area shall be protected by a landscape barrier. Fencing for the protection zones should be 6-foot-tall metal chain link type supported by 2 inch metal poles pounded into the ground by no less than 2 feet. The support poles should be spaced no more than 10 feet apart on center. Signs should be placed on fencing signifying "Tree Protection Zone - Keep Out". No materials or equipment should be stored or cleaned inside the tree protection zones. Excavation, grading, soil deposits, drainage and leveling is prohibited within the tree protection zones without the project arborist consent. No wires, signs or ropes shall be attached to the protected trees on site. Utility services and irrigation lines shall all be placed outside of the tree protection zones when possible. When access is needed and tree protection fencing restricts access a landscape barrier shall be installed to protected the non-protected root zone.



Red lines showing the recommended tree protection fencing locations



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 San Jose, CA 95128
 P : (408) 998 - 0983

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Chang-Chow Residence
 NEW SINGLE FAMILY RESIDENCE

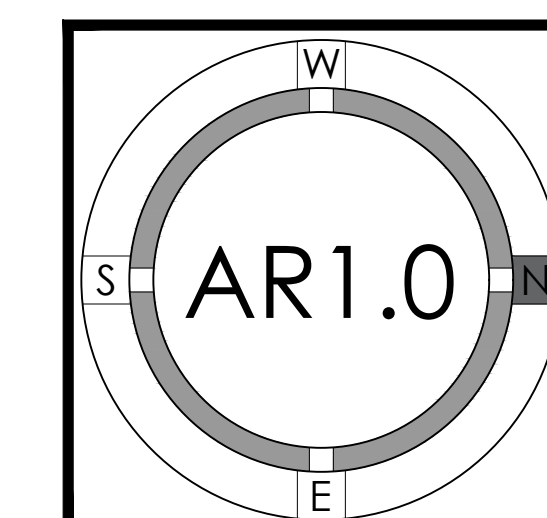
Los Altos, 540 Patrick Way
 Ann Charng and Alvin Chow



PROJECT NO.	REVISION	DATE	DESCRIPTION	DRAWN BY
21-000	1	01.31.2021	PLANNING PERMIT SUBMITTAL	AA/IG
	2	04.08.2022	P. PACKAGE RESUBMITTAL	AA/IG
		07.06.2022	P. PACKAGE RESUBMITTAL	IG/AD

ARBORIST

REPORT



540 Patrick

(7)

Landscape Barrier zone

If for any reason a smaller tree protection zone is needed for access, a landscape buffer consisting of wood chips spread to a depth of six inches with plywood or steel plates placed on top will be placed where tree protection fencing is required. The landscape buffer will help to reduce compaction to the unprotected root zone.

Inspections

The site arborist will need to verify that tree protection fencing has been installed before the start of construction. The site arborist must inspect the site anytime excavation work is to take place underneath a protected trees dripline. It is the contractor's responsibility to contact the site arborist if excavation work is to take place underneath the protected trees on site. Kielty Arborist Services can be reached at kkarbor0476@yahoo.com or by phone at (650) 515-9783 (Kevin), or (650) 532-4418 (David).

Root Cutting and Grading

If for any reason roots are to be cut, they shall be monitored and documented. Large roots (over 2" diameter) or large masses of roots to be cut must be inspected by the site arborist. The site arborist, at this time, may recommend irrigation or fertilization of the root zone. All roots needing to be cut should be cut clean with a saw or lopper. Roots to be left exposed for a period of time should be covered with layers of burlap and kept moist. The site arborist must first give consent if roots over 2 inches in diameter are to be cut.

Trenching and Excavation

Trenching for foundation, irrigation, drainage, electrical or any other reason shall be done by hand when inside the dripline of a protected tree. Hand digging and the careful placement of pipes below or besides protected roots will significantly reduce root loss, thus reducing trauma to the tree. All trenches shall be backfilled with native materials and compacted to near its original level, as soon as possible and if possible. Trenches to be left open for a period of time, will require the covering of all exposed roots with burlap and be kept moist. The trenches will also need to be covered with plywood to help protect the exposed roots.

Pruning

At this time no pruning is proposed. If during the project pruning is needed, it shall be under the direction of the Project Arborist. All pruning must follow ANSI A300 pruning standards.

Irrigation

Normal irrigation shall be maintained on this site at all times. The imported trees will require normal irrigation. On a construction site, I recommend irrigation during winter months, 1 time per month. Seasonal rainfall may reduce the need for additional irrigation. During the warm season, April – November, my recommendation is to use heavy irrigation, 2 times per month. This type of irrigation should be started prior to any excavation. The irrigation will improve the vigor and water content of the trees. The on-site arborist may make adjustments to the irrigation recommendations as needed. The foliage of the trees may need cleaning if dust levels are extreme. Removing dust from the foliage will help to reduce mite and insect infestation.

540 Patrick

(8)

The information included in this report is believed to be true and based on sound arboricultural principles and practices.

Sincerely,

David Beckham

Certified Arborist WE#10724A TRAQ Qualified *David Beckham*

Kielty Arborist Services

P.O. Box 6187
San Mateo, CA 94403
650-532-4418

ARBORIST DISCLOSURE STATEMENT

Arborists are tree specialists who use their education, knowledge, training and experience to examine trees, recommend measures to enhance the beauty and health of trees, and attempt to reduce the risk of living near trees. Clients may choose to accept or disregard the recommendations of the arborist, or seek additional advice.

Arborists cannot detect every condition that could possibly lead to the structural failure of a tree. Trees are living organisms that fail in ways we do not fully understand. Conditions are often hidden within trees and below ground. Arborists cannot guarantee that a tree will be healthy or safe under all circumstances, or for a specified period of time. Likewise, remedial treatments, like a medicine, cannot be guaranteed.

Treatment, pruning, and removal of trees may involve considerations beyond the scope of the arborist's services such as property boundaries, property ownership, site lines, disputes between neighbors, landlord-tenant matters, etc. Arborists cannot take such issues into account unless complete and accurate information is given to the arborist. The person hiring the arborist accepts full responsibility for authorizing the recommended treatment or remedial measures.

Trees can be managed, but they cannot be controlled. To live near a tree is to accept some degree of risk. The only way to eliminate all risks is to eliminate all trees.

Arborist: *David Beckham*
David Beckham

Date: May 9th, 2022



1000 S Winchester Blvd
San Jose, CA 95128
P : (408) 998 - 0983

Chang-Chow Residence
NEW SINGLE FAMILY RESIDENCE

Los Altos, 540 Patrick Way

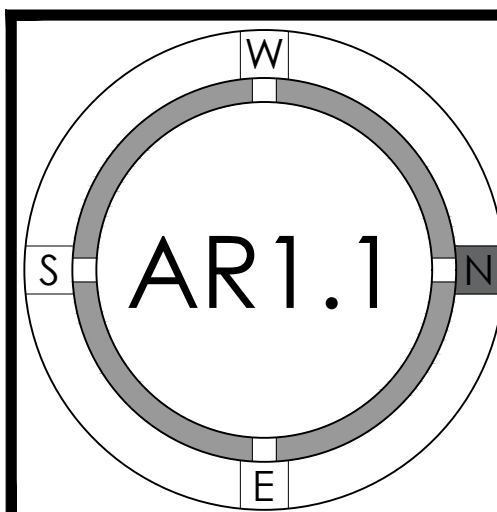
Ann Chang and Alvin Chow



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	07.04.2022	P. PACKAGE RESUBMITTAL	IG/AD

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ARBORIST
REPORT



NEW RESIDENCE

540 PATRICK WAY
LOS ALTOS, CA
APN: 167-27-014

W E C
& ASSOCIATES

2625 MIDDLEFIELD RD #658
PALO ALTO, CA 94306
TEL: (650) 823-6466
FAX: (650) 887-1294

LICENSE STAMPS AND SIGNATURE



ISSUED

No.	Description	Date

DATE:	JULY 30, 2021
SCALE:	1"=10'
DRAWN:	BG
JOB:	10078

SHEET TITLE:

TOPOGRAPHIC SURVEY

SHEET NO.

C.0

LEGEND:

- AC ASPHALT CONCRETE
- BC BUILDING CORNER
- BW BACK OF WALK
- CB CATCH BASIN
- CMP CORRUGATED METAL PIPE
- CO CLEAN OUT
- CRN CROWN
- DW DRIVEWAY
- EC EDGE OF CONCRETE
- EM ELECTRIC METER
- EP EDGE OF PAVEMENT
- FCOR FENCE CORNER
- FD FOUND
- FF FINISHED FLOOR
- FL FLOW LINE
- FH FIRE HYDRANT
- FW FRONT OF WALK
- G GROUND
- GC GARAGE CORNER
- GFC GARAGE FACE/FRONT
- GFC GROUND AT FENCE
- GM GAS METER
- HCR HANDICAP RAMP
- INV INVERT
- IP IRON PIPE
- JP JOINT POLE
- LG LIP OF GUTTER
- O/H OVERHEAD
- PC PROPERTY CORNER
- RW RETAINING WALL
- SL STREET LIGHT
- SSCO SANITARY SEWER CLEANOUT
- SSMH SANITARY SEWER MANHOLE
- SDMH STORM DRAIN MANHOLE
- TBC TOP BACK ROLLED CURB
- TC TOP OF CURB
- TOB TOP OF BANK
- TOE TOE OF BANK
- TP TOP OF PAVEMENT
- TRC TOP OF ROLLED CURB
- TW TOP OF WALL
- U/G UNDERGROUND
- VCP VITRIFIED CLAY PIPE
- WV WATER VALVE
- WM WATER METER BOX
- CTV- CABLE TELEVISION LINE
- E- ELECTRICAL LINE
- G- GAS LINE
- SS- SANITARY SEWER LINE
- SD- STORM DRAIN LINE
- T- TELEPHONE LINE
- W- WATER LINE

BASIS OF BEARINGS:

THE BEARING, N0°13'11"E, OF THE CENTER LINE OF PATRICK WAY, AS SHOWN ON THAT CERTAIN MAP FILED IN THE OFFICE OF THE RECORDER OF SANTA CLARA COUNTY, STATE OF CALIFORNIA, IN BOOK 107 OF MAPS AT PAGE 50 AND 51, WAS USED AS THE BASIS OF BEARINGS SHOWN ON THIS MAP.

BASIS OF ELEVATION:

TBM ELEV=100.00 (ASSUMED)

UTILITY NOTE:

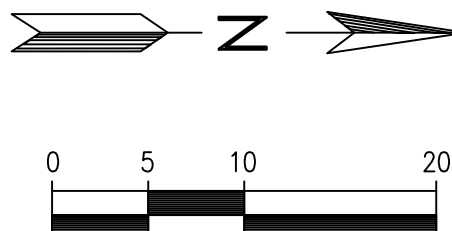
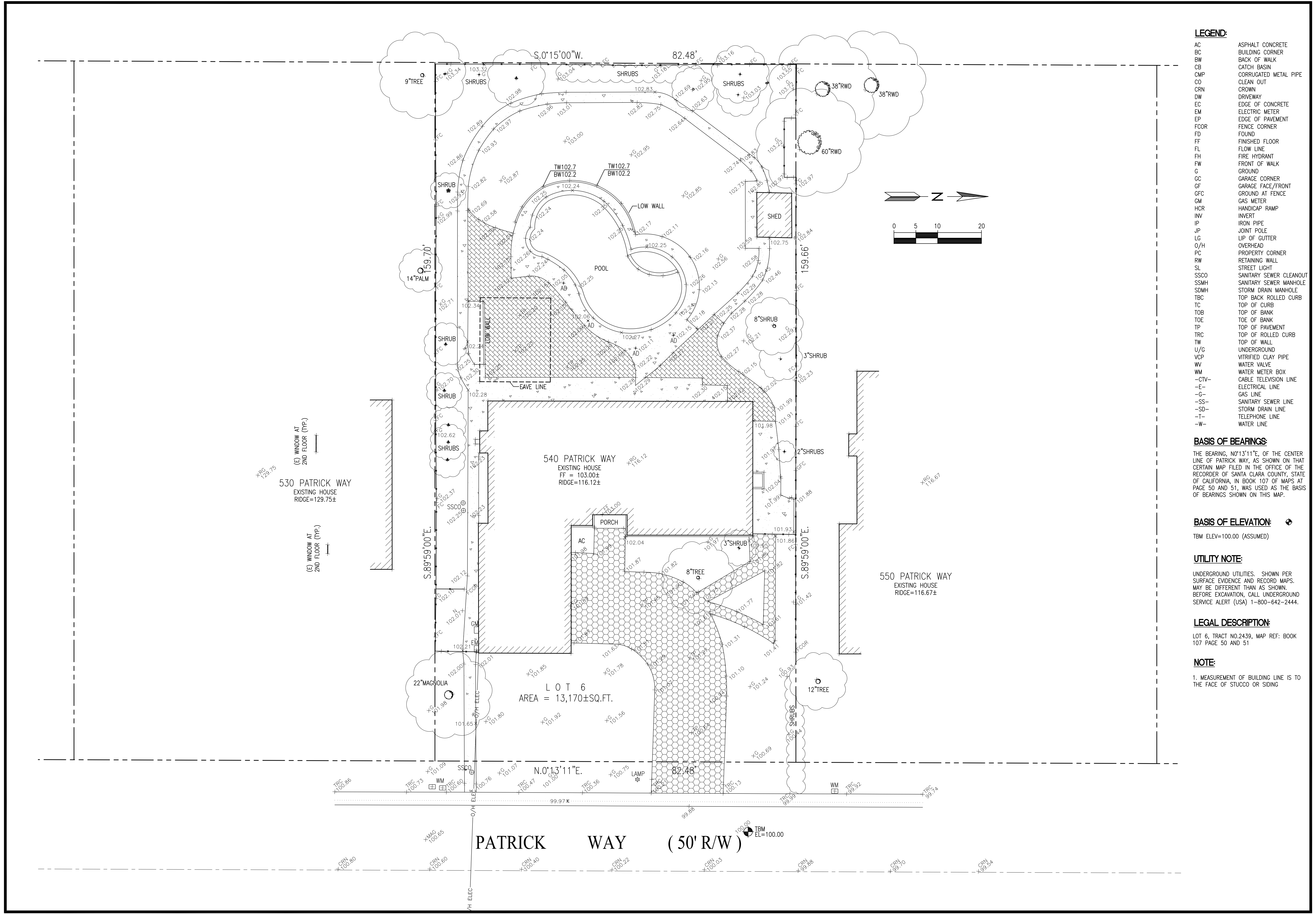
UNDERGROUND UTILITIES: SHOWN PER SURFACE EVIDENCE AND RECORD MAPS. MAY BE DIFFERENT THAN AS SHOWN. BEFORE EXCAVATION, CALL UNDERGROUND SERVICE ALERT (USA) 1-800-642-2444.

LEGAL DESCRIPTION:

LOT 6, TRACT NO.2439, MAP REF: BOOK 107 PAGE 50 AND 51

NOTE:

1. MEASUREMENT OF BUILDING LINE IS TO THE FACE OF STUCCO OR SIDING



GRADING AND DRAINAGE NOTES:

- CONTRACTOR TO VERIFY ALL CONTROLLING DIMENSIONS WITH ARCHITECTURAL PLANS AND SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH ALL EXISTING CONDITIONS. THEY SHALL BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING. VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES BEFORE STARTING CONSTRUCTION. ANY SITE WORK THAT DEVIATES FROM WHAT IS SHOWN ON THE PLANS SHALL HAVE THE ENGINEER'S APPROVAL PRIOR TO PROCEEDING WITH THE DEVIATING WORK ITEM. CONTRACTOR SHALL CALL "UNDERGROUND SERVICE ALERT" (800) 642-2444 PRIOR TO EXCAVATION.
- THE SITE SHALL BE FINE GRADED TO PROVIDE A MINIMUM OF 5% ACROSS VEGETATED OR DIRT AREA AND 2% ACROSS HARDSCAPED AREA, AWAY FROM THE BUILDING PERIMETER. EXISTING DRAINAGE COMING FROM ADJACENT PROPERTIES SHALL BE MAINTAINED. IN NO CASE SHALL THE FINAL GRADING INCREASE SHEET FLOW ONTO ADJACENT PROPERTIES.
- UNLESS SHOWN ON THE PLAN OTHERWISE, HOUSE AND GARAGE MUST HAVE DOWN SPOUTS THAT ARE DIRECTED TO SPLASH BLOCKS (2 FEET LONG) THAT DEFLECT THE WATER AWAY FROM BUILDING FOUNDATION BY SURFACE DRAINAGE. ALL DOWNSPOUT AND GUTTER SHALL BE GALV. SHEET METAL.
- CONTRACTOR SHALL OBTAIN A STREET WORK PERMIT FROM PUBLIC WORKS ENGINEERING FOR ANY PROPOSED CONSTRUCTION WHICH WILL IMPACT THE USE OF THE SIDEWALK, STREET AND ALLEY OR ON THE PROPERTY IN WHICH THE CITY HOLDS AN INTEREST.
- ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF WAY MUST HAVE AN APPROVED PERMIT FOR CONSTRUCTION IN THE PUBLIC STREET PRIOR TO COMMENCEMENT OF THIS WORK. THE PERFORMANCE OF THIS WORK IS NOT AUTHORIZED BY THE BUILDING PERMIT ISSUANCE BUT SHOWN ON THE BUILDING PERMIT FOR INFORMATION ONLY.
- IF GROUNDWATER OR RUNOFF WATER IS ENCOUNTERED AND REQUIRES REMOVAL FROM THE EXCAVATION AREA, ALL EXCAVATION AND/OR BUILDING ACTIVITIES MUST IMMEDIATELY STOP. THE PLAN FOR THE DEWATERING OF THE EXCAVATION MUST BE DESIGNED AND SUBMITTED FOR APPROVAL TO THE PUBLIC WORKS-ENGINEERING DIVISION. ONCE APPROVAL OF THE PLAN DESIGN HAS BEEN RECEIVED, IMPLEMENTATION OF THE PLAN IS REQUIRED PRIOR TO THE COMMENCEMENT OF THE EXCAVATION AND/OR BUILDING ACTIVITIES.

UTILITY NOTES:

- CONTRACTOR SHALL PREPARE AN ACCURATE COMPOSITE UTILITY PLAN THAT TAKES INTO ACCOUNT THE ACTUAL LOCATION OF EXISTING UTILITIES. CONTRACTOR SHALL VERIFY (POTHOLE IF NECESSARY) SIZE, MATERIAL, LOCATION AND DEPTH OF ALL GRAVITY SYSTEMS THAT ARE TO BE CONNECTED TO OR CROSSED PRIOR TO THE TRENCHING OR INSTALLATION. ALL WORK FOR GRAVITY SYSTEMS SHALL BEGIN AT THE 1' DOWNSTREAM CONNECTION POINT. ALL DIRECTION CHANGES SHALL BE MADE WITH A WYE CONNECTION. ELBOWS AND TEE SHOULD BE AVOIDED.
- CLEANOUTS, CATCH BASINS AND AREA DRAINS ARE TO BE ACCURATELY LOCATED BY THEIR RELATIONSHIP TO THE BUILDING, FLATWORK, ROOF DRAINS, AND/OR CURB LAYOUT, NOT BY THE LENGTH OF PIPE SPECIFIED IN THE DRAWINGS.
- A MINIMUM OF SIX (6) INCHES VERTICAL CLEARANCE SHALL BE PROVIDED BETWEEN CROSSING UTILITY PIPES, EXCEPT THAT THE MINIMUM VERTICAL CLEARANCE BETWEEN WATER AND SANITARY SEWER PIPELINES SHALL BE 12 INCHES AND ALL NEW WATER PIPES SHALL BE TYPICALLY INSTALLED TO CROSS ABOVE/OVER EXISTING SANITARY SEWER PIPELINES.
- A MINIMUM HORIZONTAL SEPARATION BETWEEN NEW PIPELINES AND ANY EXISTING UTILITIES SHALL BE FIVE (5) FEET, EXCEPT THAT THE MINIMUM HORIZONTAL SEPARATION FOR WATER AND SANITARY SEWER PIPELINES SHALL BE 10 FEET MINIMUM, UNLESS OTHERWISE NOTED. A MINIMUM HORIZONTAL SEPARATION BETWEEN NEW PIPELINES AND JOINT TRENCH SHALL BE 5 FEET.

GENERAL NOTES

5

AB	AGGREGATE BASE	CB	GRADE BREAK
AC	ASPHALT CONCRETE	GM	GAS METER
AD	AREA DRAIN	GR	GRATE ELEVATION
BW	BOTTOM OF WALL	HP	HIGH POINT
CB	CATCH BASIN	INV	INVERT ELEVATION
CIP	CAST IRON PIPE	JT	JOINT TRENCH
CL	CENTER LINE	JP	JOINT POLE
CONC	CONCRETE	LD	LANDSCAPE DRAIN
CS	CRAWL SPACE ELEV.	LF	LINEAR FEET
DD	DECK DRAIN	(N)	NEW
DIP	DUCT IRON PIPE	RIM	RIM ELEVATION
DS	DOWNSPOUT	S	SLOPE
DWY	DRIVEWAY	SD	STORM DRAIN LINE
(E)	EXISTING	SDCO	STORM DRAIN CLEANOUT
EG	EXISTING GRADING	SDFM	STORM DRAIN FORCED MAIN
EM	ELECTRICAL METER	SS	SANITARY SEWER
EP	EDGE OF PAVEMENT	SSCO	SANITARY SEWER CLEANOUT
FF	FINISH FLOOR ELEVATION	TW	TOP OF WALL ELEVATION
FG	FINISHED GROUND ELEV.	TYP	TYPICAL
FP	FINISHED PAVEMENT	W	DOMESTIC WATER LINE
FS	FINISH SURFACE ELEV	WM	WATER METER

ABBREVIATION

4

—SS—	SANITARY SEWER	—SL—	STREET LIGHT
—E—	ELECTRIC	—IRR—	IRRIGATION
—TV—	TV/CABLE TV	—X—	FENCE
—FS—	FIRE SERVICE	—JT—	JOINT TRENCH
—W—	DOMESTIC WATER	—O/H—	OVERHEAD WIRES
—T—	TELEPHONE	×16.07	(E) SPOT ELEVATION
—G—	NATURAL GAS	×16.07	(N) SPOT ELEVATION
—FM—	FORCE MAIN		

DS → SPLASH BLOCK, MIN. 2 FEET LONG DEFLECT THE WATER AWAY FROM BOTH BLDG. DOWNSPOUT

LEGEND

3

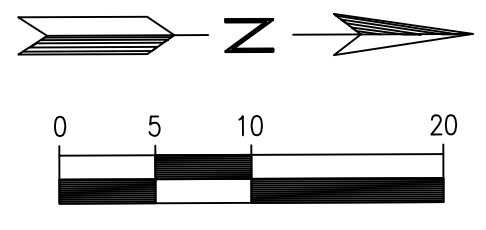
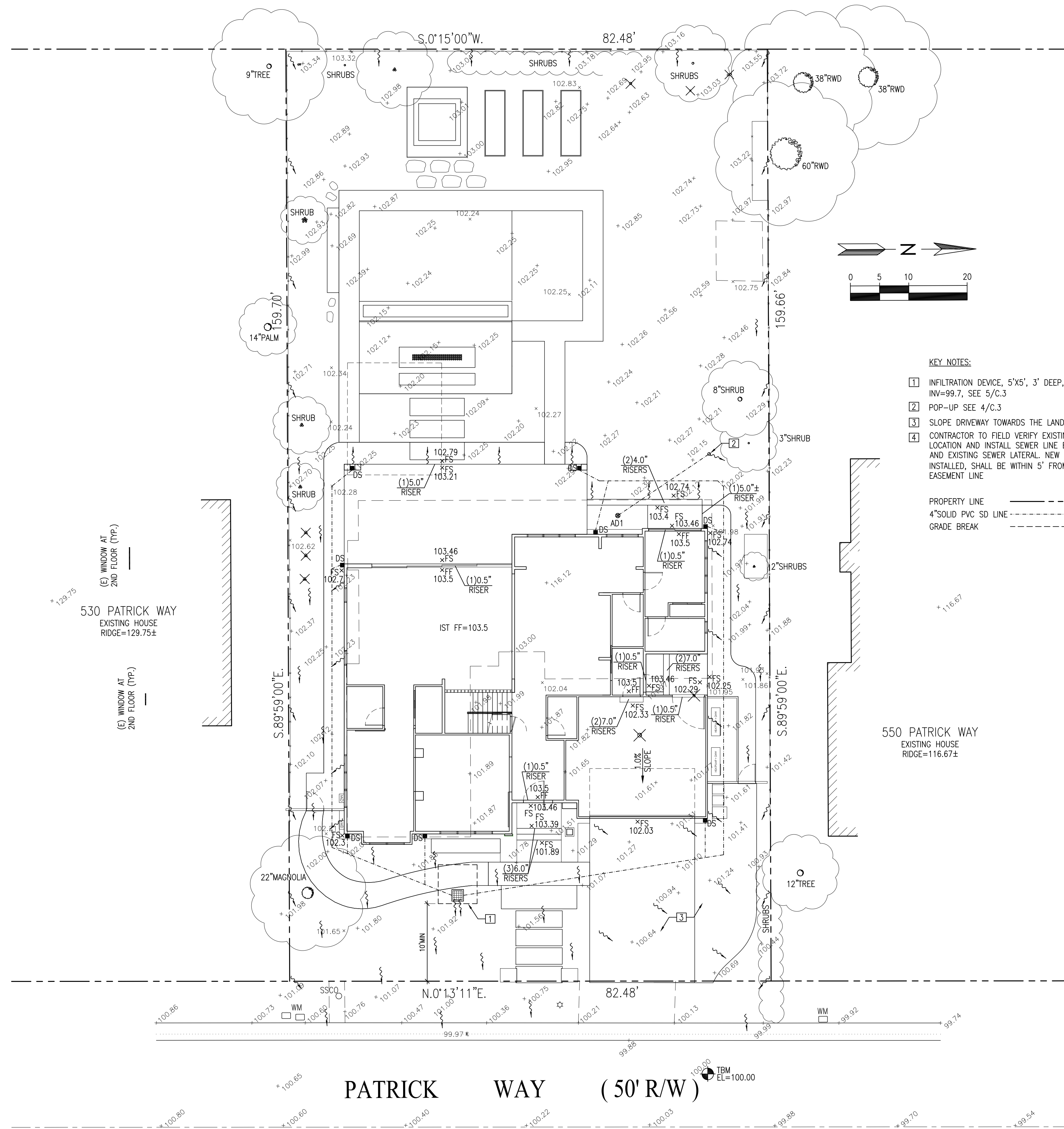
EARTHWORK QUANTITIES:

CUT(OUTSIDE BLDG FOOTPRINT)	350 C.Y.
CUT(INSIDE BLDG FOOTPRINT)	1350 C.Y.
FILL	355 C.Y.
BALANCE	1345 C.Y.

EARTHWORK QUANTITIES SHOWN ARE FOR PLANNING PURPOSES ONLY. CONTRACTOR SHALL PERFORM THEIR OWN EARTHWORK QUANTITY CALCULATION AND USE THEIR CALCULATION FOR BIDDING AND COST ESTIMATING PURPOSES.

CUT AND FILL EST.

2



- KEY NOTES:**
- INFILTRATION DEVICE, 5'X5', 3' DEEP, GR=101.7 INV=99.7, SEE 5/C.3
 - POP-UP SEE 4/C.3
 - SLOPE DRIVEWAY TOWARDS THE LANDSCAPED AREA
 - CONTRACTOR TO FIELD VERIFY EXISTING SEWER LINE LOCATION AND INSTALL SEWER LINE BETWEEN BUILDING AND EXISTING SEWER LATERAL. NEW SSCO, IF TO BE INSTALLED, SHALL BE WITHIN 5' FROM ROADWAY EASEMENT LINE
- PROPERTY LINE ————
 4\"/>

NEW RESIDENCE

540 PATRICK WAY
 LOS ALTOS, CA
 APN: 167-27-014



2625 MIDDLEFIELD RD #658
 PALO ALTO, CA 94306
 TEL: (650) 823-6466
 FAX: (650) 887-1294

LICENSE STAMPS AND SIGNATURE



ISSUED

No.	Description	Date

DATE: FEB 10, 2022
 SCALE: AS SHOWN
 DRAWN: J
 JOB: 10078

SHEET TITLE:

GRADING & DRAINAGE PLAN

SHEET NO.

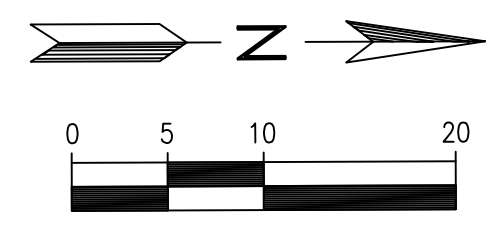
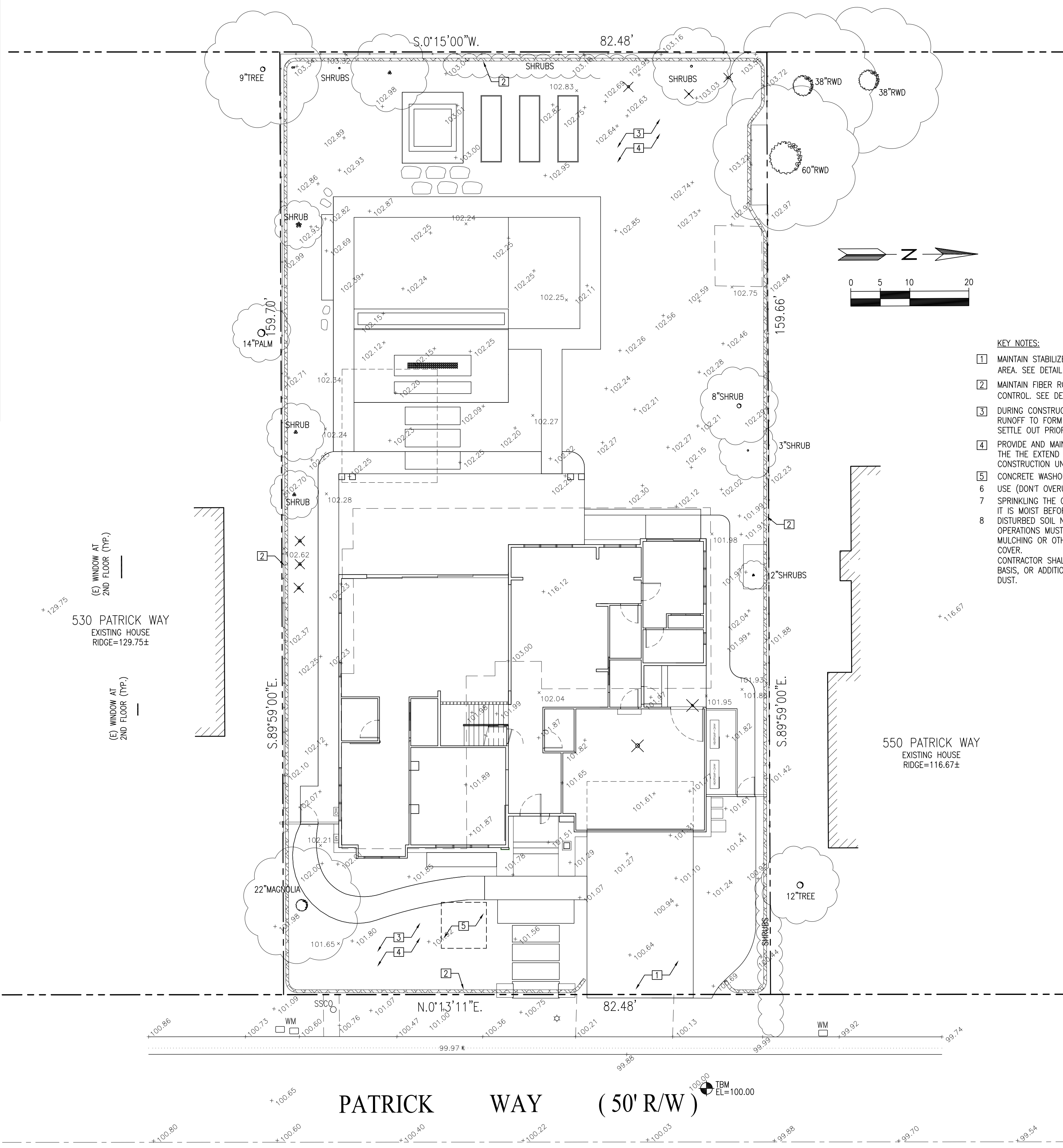
C.1

EROSION CONTROL AND BEST MANAGEMENT PRACTICE:

1. CONTRACTOR SHALL ASSUME THE CONCEPTS ON THE EROSION CONTROL PLAN/NOTES, IF PROVIDED, ARE MINIMUM REQUIREMENTS, THE FULL EXTENTS OF WHICH ARE TO BE DETERMINED BY CONTRACTOR. CONTRACTOR IS RESPONSIBLE FOR THE EXACT DESIGN AND EXTENT OF CONTRACTOR'S INTENDED USE AND MANAGEMENT OF THE CONSTRUCTION SITE.
2. ALL EROSION CONTROL FACILITIES SHALL BE INSPECTED BY THE CONTRACTOR AND REPAIRED AS REQUIRED AT THE CONCLUSION OF EACH WORKING DAY DURING THE RAINY SEASON. REPAIRS TO DAMAGED FACILITIES SHALL BE MADE IMMEDIATELY UPON DISCOVERY.
3. THE CONTRACTOR SHALL REMOVE ANY ACCUMULATION OF SILT OR DEBRIS FROM THE EROSION CONTROL SEDIMENT BASINS FOLLOWING EACH STORM AND SHALL CLEAR THE OUTLET PIPES OF ANY BLOCKAGE.
4. STOCKPILED MATERIAL SHALL BE COVERED WITH VISQUEEN OR TARPULIN UNTIL THE MATERIAL IS REMOVED FROM THE SITE. ANY REMAINING BARE SOIL THAT EXISTS AFTER THE STOCKPILE HAS BEEN REMOVED SHALL BE COVERED UNTIL A NATURAL GROUND COVER IS ESTABLISHED OR IT MAY BE SEEDED OR PLANTED TO PROVIDE GROUND COVER PRIOR TO THE FALL RAINY SEASON.
5. PROTECT ADJACENT PROPERTIES AND UNDISTURBED AREAS FROM CONSTRUCTION IMPACTS USING VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS OR FILTER, DIKES, MULCHING OR OTHER MEASURES AS APPROPRIATE.
6. CONTRACTOR SHALL MAINTAIN ADJACENT STREETS IN A NEAT, CLEAN, DUST FREE AND SANITARY CONDITION AT ALL TIMES. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CLEAN UP ON ADJACENT STREETS AFFECTED BY THEIR CONSTRUCTION. NO STOCKPILING OF BUILDING MATERIALS WITHIN THE PUBLIC RIGHT-OF WAY IS PERMITTED.
7. PROTECT DOWN SLOPE DRAINAGE COURSES, STREAMS AND STORM DRAINS WITH ROCK FILLED SAND BAGS, TEMPORARY DRAINAGE SWALES, SILT FENCES, EARTH BERMS, STORM DRAIN INLET FILTERS AND/OR STRAW BALES USED ONLY IN CONJUNCTION WITH PROPERLY INSTALLED SILT FENCES. PROVIDE ROCKED DRIVEWAY FOR SITE ACCESS DURING CONSTRUCTION.

GENERAL NOTES

2



- KEY NOTES:**
1. MAINTAIN STABILIZED CONSTRUCTION AREA. SEE DETAIL 2/C.3
 2. MAINTAIN FIBER ROLL FOR EROSION CONTROL. SEE DETAIL 1/C.3
 3. DURING CONSTRUCTION ALLOW SEDIMENT-LADEN RUNOFF TO FORM PONDING AND ALLOW SEDIMENTS TO SETTLE OUT PRIOR TO DISCHARGE
 4. PROVIDE AND MAINTAIN VEGETATION COVERAGE AROUND THE THE EXTEND OF THE DISTURBED AREA DURING CONSTRUCTION UNTIL PHASED GRADING ACTIVITIES
 5. CONCRETE WASHOUT AREA, SEE DETAIL 3/C.3
 6. USE (DONT OVERUSE) WATER FOR DUST CONTROL.
 7. SPRINKLING THE GROUND SURFACE WITH WATER UNTIL IT IS MOIST BEFORE GRADING ACTIVITIES.
 8. DISTURBED SOIL NOT INCLUDED IN IMMEDIATE OPERATIONS MUST BE PROTECTED BY VEGETATION, MULCHING OR OTHER EFFECTIVE MEANS OF GROUND COVER.
CONTRACTOR SHALL SWEEP THE STREET ON A WEEKLY BASIS, OR ADDITIONALLY AS NEEDED TO CONTROL DUST.

NEW RESIDENCE

540 PATRICK WAY
LOS ALTOS, CA
APN: 167-27-014



2625 MIDDLEFIELD RD #658
PALO ALTO, CA 94306
TEL: (650) 823-6466
FAX: (650) 887-1294

LICENSE STAMPS AND SIGNATURE



ISSUED

No.	Description	Date

DATE: FEB 10, 2022
SCALE: AS SHOWN
DRAWN: J
JOB: 10078

SHEET TITLE:

EROSION CONTROL PLAN

SHEET NO.

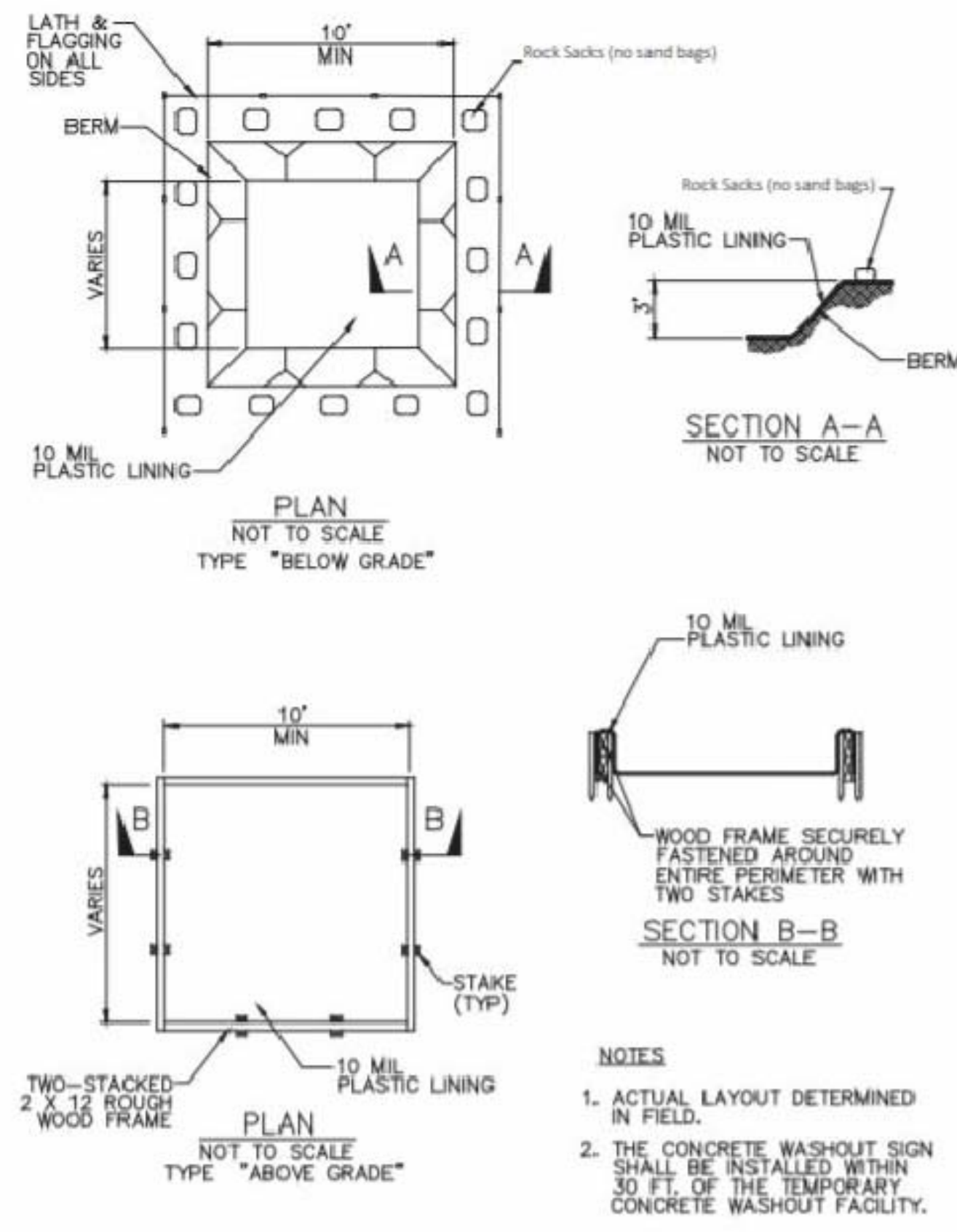
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NEW RESIDENCE

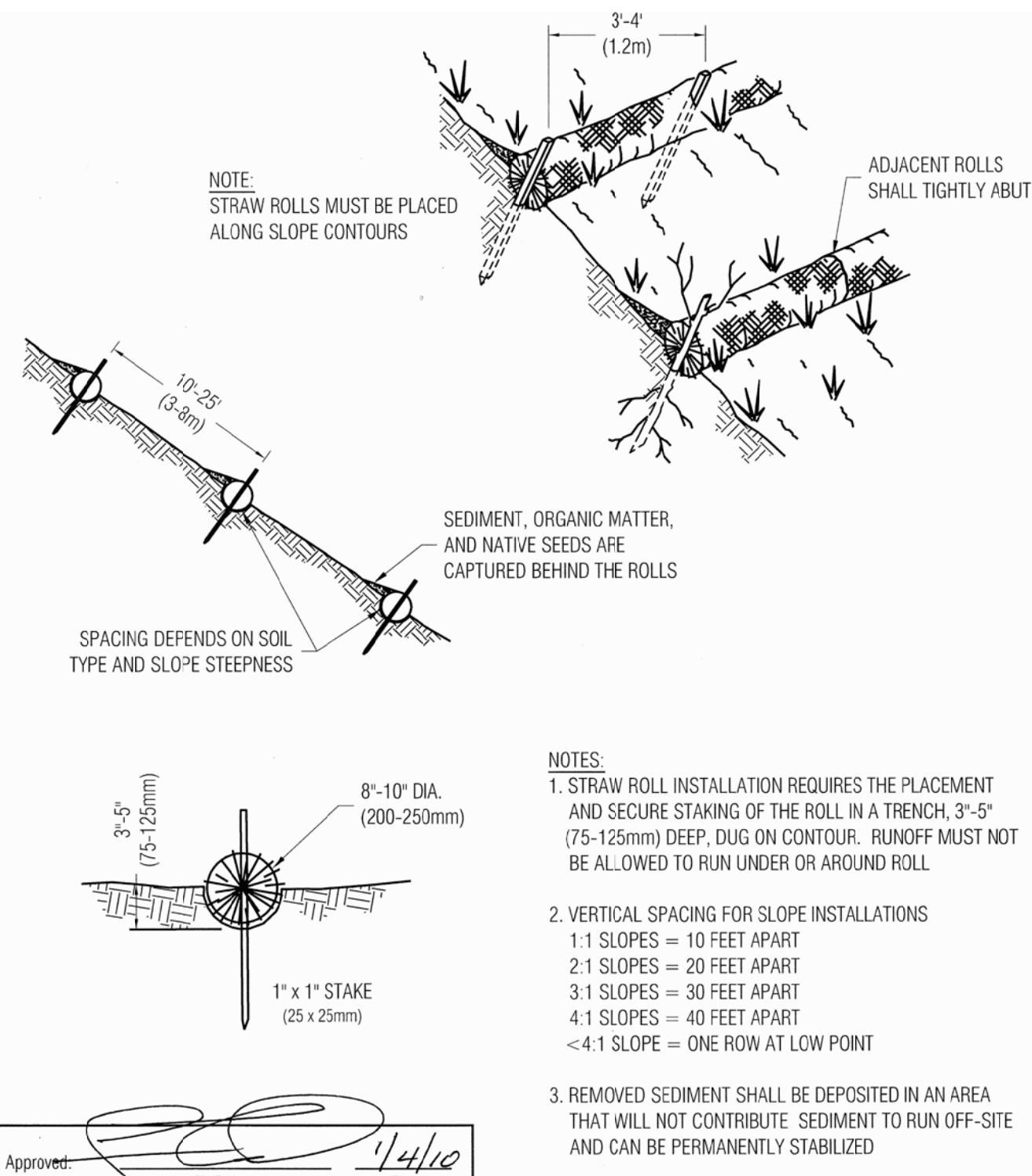
540 PATRICK WAY
LOS ALTOS, CA
APN: 167-27-014

W E C
& ASSOCIATES

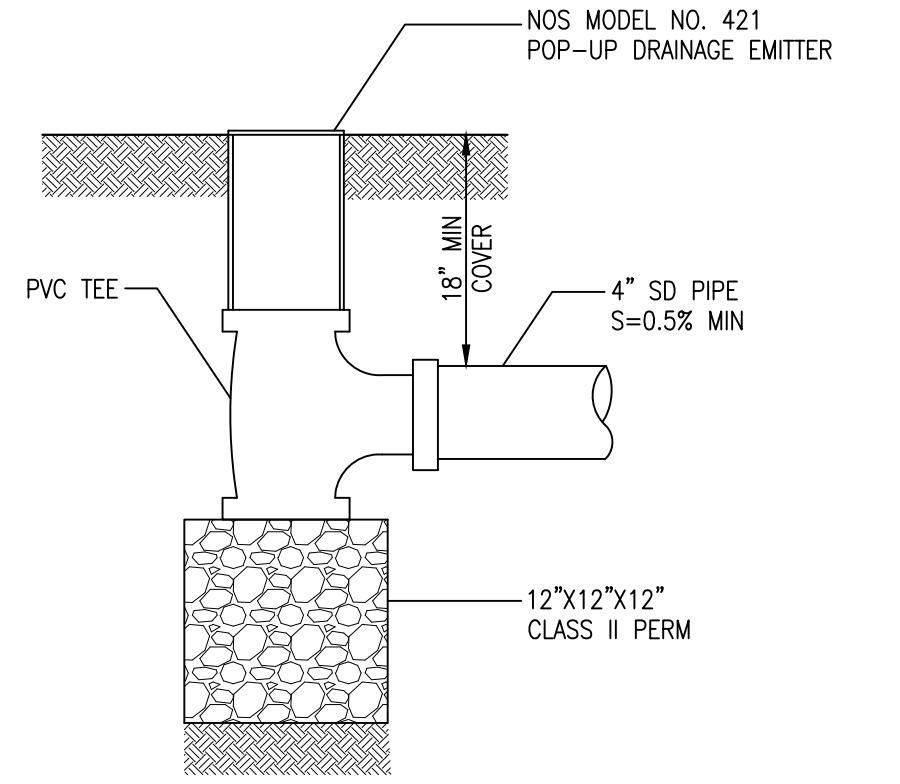
WEC 2625 MIDDLEFIELD RD #658
PALO ALTO, CA 94306
TEL: (650) 823-6466
FAX: (650) 887-1294



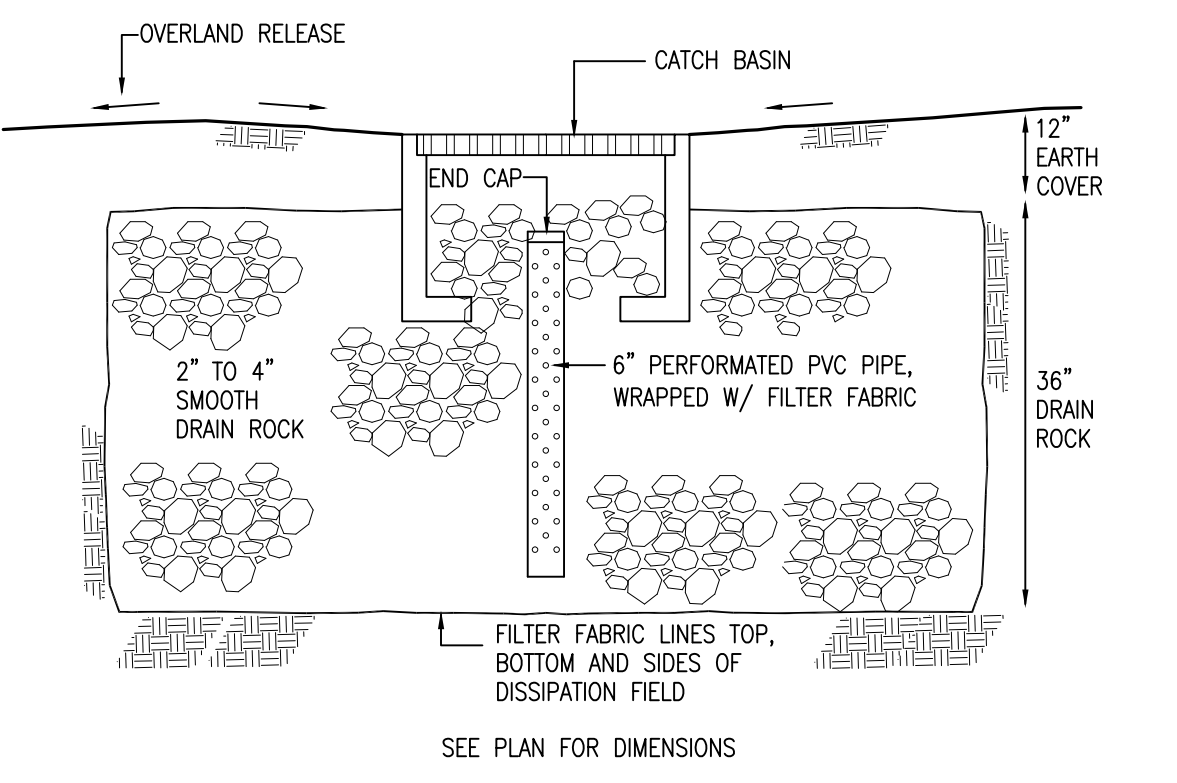
CONCRETE WASHOUT AREA 3



FIBER ROLL DETAIL 1

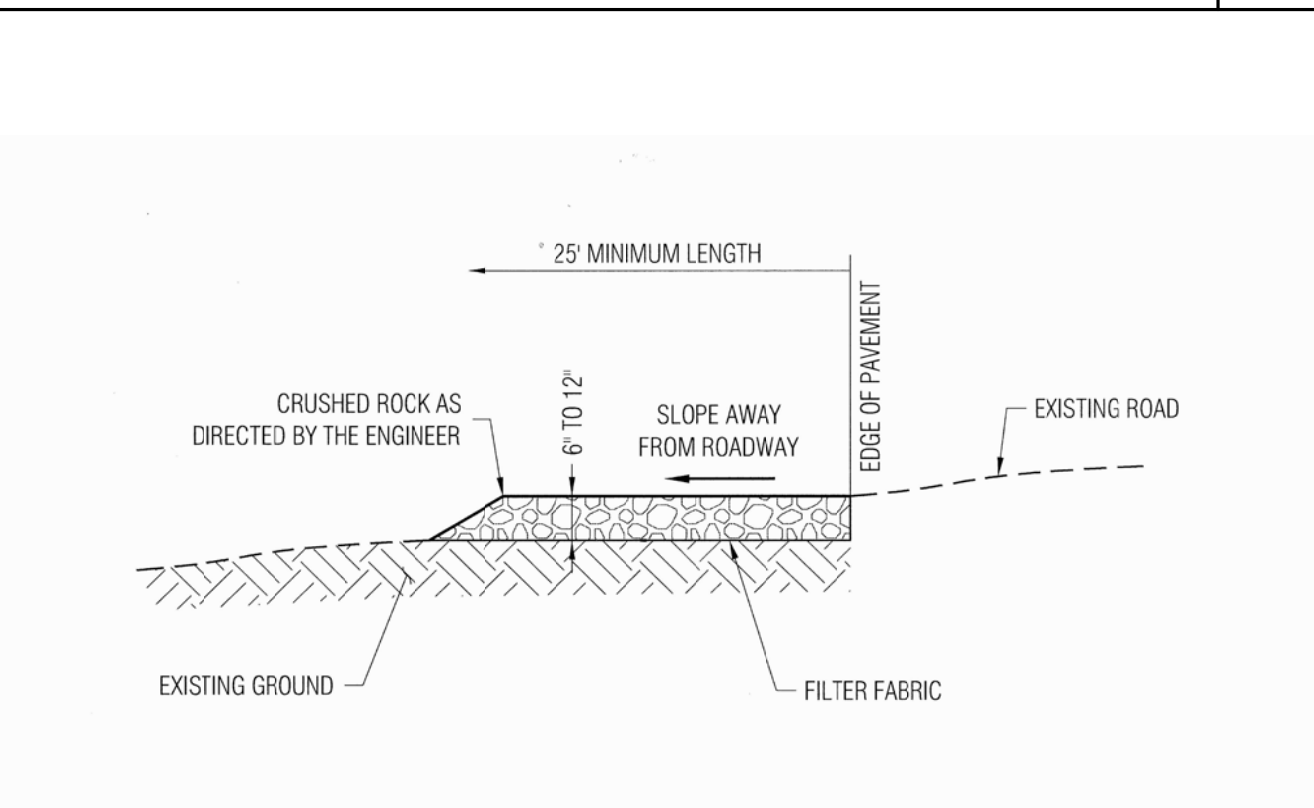


POP-UP DRAIN DETAIL 4



INFILTRATION DEVICE N.T.S. 5

REVISION		ENGINEERING DIVISION	
Description	Date	STRAW ROLLS	EC-4



REVISION		ENGINEERING DIVISION	
Description	Date	STABILIZED CONSTRUCTION SITE ENTRANCE	EC-2

STABILIZED CONSTRUCTION ENTRANCE 2

LICENSE STAMPS AND SIGNATURE



ISSUED

No.	Description	Date

DATE: FEB 10, 2022
SCALE: AS SHOWN
DRAWN: J
JOB: 10078

SHEET TITLE:

DETAILS

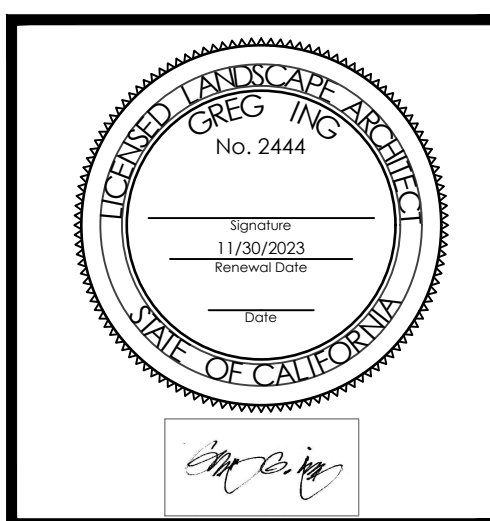
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C.3



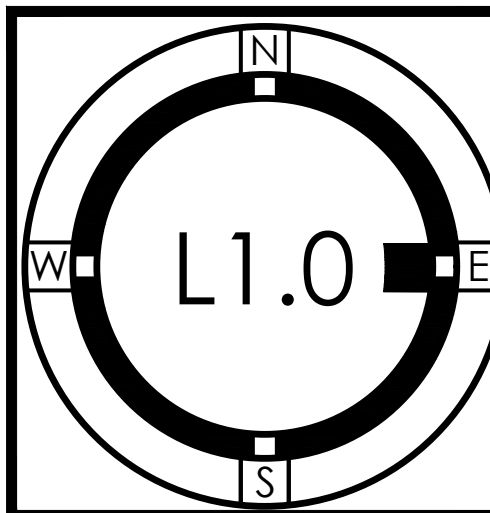
1000 S Winchester Blvd
San Jose, CA 95128
P: (408) 998-0983

CHARNG-CHOW RESIDENCE
NEW SINGLE FAMILY RESIDENCE
Los Altos, 540 Patrick Way
Ann Chang and Alvin Chow



PROJECT NO.	REVISION	DATE	DESCRIPTION
21020	02.15.2022		PRELIMINARY IR PACKAGE
	08.17.2022		PLANNING SUBMITTAL

LANDSCAPE PLAN



FOR PERMIT REVIEW ONLY--NOT FOR CONSTRUCTION

PLANT LEGEND

SYM.	QTY.	SIZE	BOTANICAL NAME	COMMON NAME	COMMENTS	WATER USAGE
TREES						
AP	x	24" box	Acer palmatum	Japanese Maple	Multi trunk. Dbl. stakd	med
LF	x	24" box	Lagerstroemia f. 'Tuscarora'	Rose Hybrid Crape Myrtle	Dbl. staked	low
SHRUBS & PERENNIALS						
Ad	x	15 gal	Acer dissectum	Laceleaf Japanese Maple		med
Cc	x	15 gal	Cotinus coggygria 'Royal Purple'	R.P. Smoke Tree		low
Ce	x	5 gal	Cordylone 'Electric Pink'	Electric Pink Dracena		low
Ct	x	5 gal	Chondropetalum tectorum	Small Cape Rush		low
Db	x	5 gal	Dietes bicolor	Yellow Fortnight Lily		low
Do	x	24" box	Dodonea v. 'Purpurea' stkd.	Purple Hopseed Bush	Tree form. Min. 8' PLANTED height.	low
Dv	x	5 gal	Dietes v. 'variegata'	White Variegated Fortnight Lily		low
Fg	x	1 gal	Festuca g. 'Elijah Blue'	Elijah Blue Common Fescue		low
Fs	x	5 gal	Fejjoa sellowiana	Pineapple Guava		low
Lc	x	5 gal	Loropetalum c. 'Purple Diamond'	Purple Diamond Fringe Flower		low
Li	x	5 gal	Lavendula intermedia 'Provence'	Provence Hybrid Lavender		low
Lit	x	5 gal	Lomandra 'Lime Tuff'	Lime Tuff Mat Rush		low
Lp	x	1 gal	Limonium perezii	Sea Lavender		low
Lpb	x	5 gal	Lomandra 'Platinum Beauty'	Platinum Beauty Mat Rush		low
Lv	x	5 gal	Lavendula 'Hidcote'	Hidcote English Lavender		low
Mp	x	1 gal	Myoporum parvifolia prostratum	No Common Name	8' o.c. spacing. Min 4' from paved edge	low
Pe	x	5 gal	Pennisetum A. 'Hameln'	Hameln Fountain Grass		low
Pm	x	24" box	Podocarpus macro. 'column'	Yew Pine	Column form.	med
Pu	x	5 gal	Punica granatum 'nana'	Dwarf Pomegranate		low
Rb	x	15 gal	Rosa banksiae 'white'	White Lady Banks Rose	Tie to arbor posts	low
Rje	x	15 gal	Rhamnus a. 'John Edwards' stkd.	John Edwards Buckthorn stkd.	Min. 6' PLANTED height.	low
Rm	x	5 gal	Rhaphiolepis u. 'Minor'	Dwarf Yeddo Hawthorn		low
Rs	x	5 gal	Rosemarinus 'Blue Spires'	Blue Spires Rosemary		low
Sg	x	5 gal	Salvia gregii	Autumn Sage		low
Si	x	5 gal	Salvia leucantha 'Santa Barbara'	S.B. Mexican Sage		low
Sm	x	5 gal	Salvia microphylla 'Bezerkeley'	Bezerkeley Sage		low
Sr	x	5 gal	Sarcococca rustifolia	Fragrant Sarcococca		low
VI	x	5 gal	Vitus labrusca	American Grape	after future ADU secure vine to posts in raised planter.	low
Wf	x	5 gal	Woodwardia fimbriata	Giant Chain Fern		med
LawnG		Sod	'90/10'	90% Tall Fescue / 10% Bluegrass	from Delta Bluegrass.com	high
or SynT			'Evernatural Premium'	Ever. Prem. Synthetic Turf	from Watersavers.com	n.a.

GENERAL NOTES

- ALL MEASUREMENTS SHOULD BE CONFIRMED PRIOR TO ANY WORK. NOTIFY LANDSCAPE ARCHITECT FOR ANY DISCREPANCIES.
- CONTRACTOR TO VERIFY ALL UNDERGROUND UTILITIES WITH OWNER AND CALL '811 UNDERGROUND SERVICE ALERT' PRIOR TO ANY WORK.

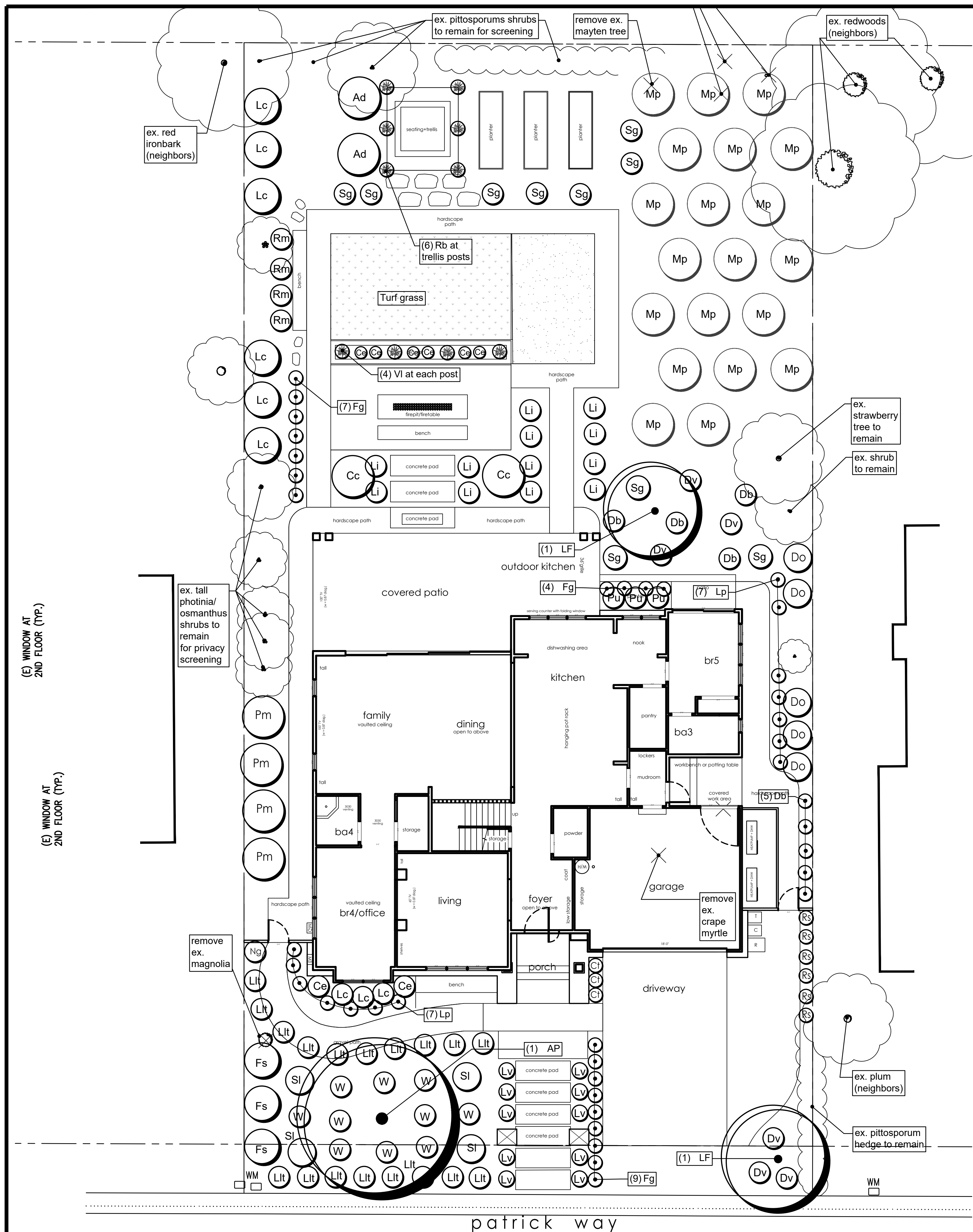
PLANTING NOTES

- CONTRACTOR TO VERIFY ALL UNDERGROUND UTILITIES WITH OWNER AND CALL '811 UNDERGROUND SERVICE ALERT'. PRIOR TO ANY WORK.
- EXACT LOCATION OF PLANTS ON SITE TO BE ADJUSTED SO AS TO BEST COORDINATE WITH SPRINKLER HEAD LOCATIONS, LIGHTS, DRAINAGE FEATURES, AND SWALES.
- DONT PUT PLANTS IN BOTTOM OF SWALES.
- DONT MULCH FLOW LINES OF SWALES SUCH THAT MULCH BLOCKS FLOW OF WATER.
- USE 3" DEEP MULCH IN ALL PLANTING AREAS WITH MAHOGONY 'PRO CHIP' RECYCLED WOOD MULCH. 'GORILLA HAIR' WILL NOT BE ACCEPTED. PROVIDE 3" OF DEEP MULCH UNDER EXISTING TREES.
- ANY PLANTS WITH BUBBLERS MUST HAVE PERMANENTLY MAINTAINED WATERING BASINS 4" HIGH.
- INSTALL PLANTS FOR ALL PLANT CIRCLES SHOWN ON THE PLAN EVEN IF THEY ARENT LABELED. CALL FOR CLARIFICATION. PLANT QUANTITIES IN THE LEGEND ARE TO BE VERIFIED BY CONTRACTOR.
- THE PLAN IS SCHEMATIC. DONT INSTALL PLANTS CLOSE TO EDGES OF PAVING OR BUILDINGS. BE SURE PLANTS ARE NOT BLOCKING SPRINKLER SPRAY EXCESSIVELY.
- FINE GRADING IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR. INSURE ADEQUATE WATER FLOW AWAY FROM BUILDING WALLS, TO DRAINS, AND THROUGH SWALES. PROVIDE WATER WASHED COBBLES / PEBBLES AT ENDS OF DRAIN SPOUTS TO PREVENT SOIL EROSION.
- CONTRACTOR TO INVESTIGATE EXISTING SOIL CONDITIONS AND BE RESPONSIBLE FOR PROPER SOIL PREPARATION AND AMENDING TO INSURE VIGOROUS PLANT GROWTH. SUBMIT SAMPLES FOR A LIP-3 PACKAGE AT SUNLAND ANALYTICAL, RANCHO CORDOVA, CA. OR APPROVED EQUAL. www.sunland-analytical.com
- PESTICIDES/FERTILIZER REDUCTION: IF FERTILIZERS AND PESTICIDES ARE USED DURING THE CONSTRUCTION PHASE, CONTRACTOR MUST PROPERLY DISPOSE OF EXCESS OR SPILLED FERTILIZERS AND PESTICIDES. CONTRACTOR MUST NOT WASH SPILLED FERTILIZERS OR PESTICIDES DOWN THE STORM DRAINS OR BURY THEM IN THE SOIL. CONTRACTORS MUST DISPOSE OF EXCESS FERTILIZERS OR PESTICIDES BY RECYCLING THEM, REUSING THEM OR DISPOSING OF THEM AS HAZARDOUS WASTE.
- NO GRADING, PLANTING, IRRIGATION, TRENCHING, UTILITIES, MATERIAL STORAGE, EQUIPMENT TRAVEL UNDER THE DRIP LINES OF EXISTING TREES, IF POSSIBLE (OR OTHERWISE NOTED).
- PRUNING NOTE: ALLOW ALL PLANTS TO GROW INTO THEIR NATURAL GROWTH FORM. DO NOT SHEAR ANY PLANTS INTO 'BALLS', FLAT TOPPED OR TOPIARY, ETC. WAYWARD BRANCHES MAYBE CUT BACK OR PLANT BRANCHES OR FOLIAGE MAY BE CUT BACK INDIVIDUALLY FOR WALKWAY ACCESS. IF NEEDED. EXCEPTIONS: ornamental grasses in winter can be cut neatly to the ground. REMOVE SPENT FLOWERS (DEAD HEAD) 1-2 TIMES A YEAR AS NEEDED.

WATER EFFICIENT LANDSCAPE ORDINANCE STATEMENT

"I HAVE COMPLIED WITH THE CRITERIA OF THE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE AND HAVE APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN."

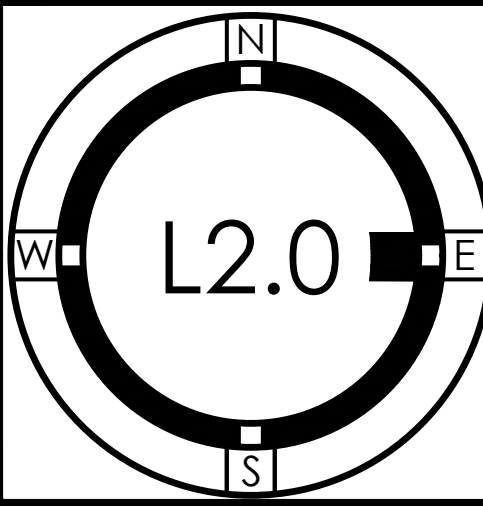
GREG G. ING, PROJECT LANDSCAPE ARCHITECT



PROJECT NO.	DATE	DESCRIPTION	DRAWN BY
21020	02.15.2022	PRELIMINARY IR PACKAGE	GGI
	08.17.2022	PLANNING SUBMITTAL	GGI

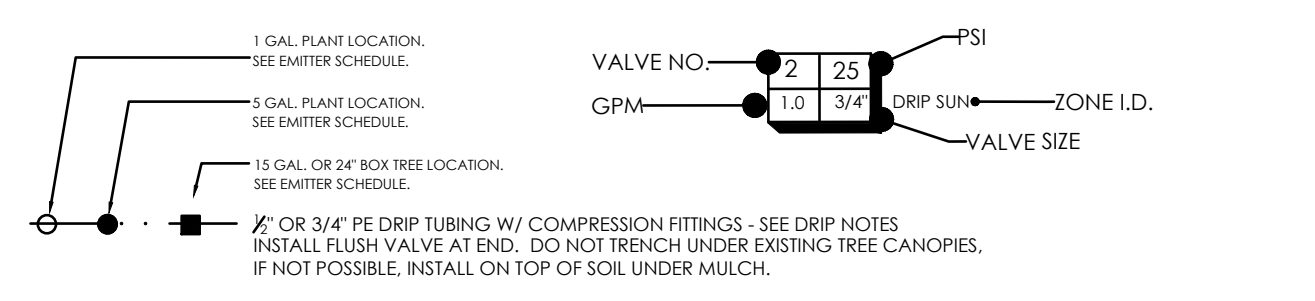
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IRRIGATION PLAN



IRRIGATION LEGEND

KEY	MANUF.	MODEL NO.	DESCRIPTION
	AGRIFIM	PC PLUS	PRESSURE COMPENSATING EMITTER. SEE EMITTER SCHEDULE.
⊙	HUNTER	MP-1000-90, 210 W/ PROS-06-PRS40-CV	MP ROTOR (90-210, 210-270 DEGREE ARC) GPM: .19, .37, .43, .57 WITH 6" POP UP & DRAIN CHECK VALVE RAD: 8'-15" PRECIP: .39
⊙	HUNTER	MP-2000-90, 180 W/ PROS-06-PRS40-CV	MP ROTOR (90-210 DEGREE ARC) GPM: .40, .74, .86 RAD: 13'-21" WITH 6" POP UP & DRAIN CHECK VALVE PRECIP: .39
⊕	RAINBIRD	ASVE SERIES	ELECTRIC VALVE W/ ANTI-SYPON FOR SPRAY IRRIGATION INSTALL ABOVE GRADE 6" ABOVE HIGHEST OUTLET.
⊕	RAINBIRD	XACZ-075-PRF SERIES	3/4" CONTROL ZONE KIT W/ ANTI-SYPON FOR DRIP IRRIGATION. LOW FLOW ELECTRIC VALVE W/ PRESS. REG AND FILTER INSTALL ABOVE GRADE 6" ABOVE HIGHEST OUTLET.
⊕	RAINBIRD	HV SERIES	1" MASTER SHUT OFF VALVE AT POINT OF CONNECTION INSTALL BELOW GRADE IN A VALVE BOX.
⊕			1" BRASS SHUT OFF VALVE - SAME SIZE AS MAINLINE INSTALL BELOW GRADE IN A VALVE BOX.
C	HUNTER	PHC-12	PRO-HC WIFI-12 STATION OUTDOOR HYDRAWISE CONTROLLER. SEE NOTE #11.
R	HUNTER	WR-CLIK	WIRELESS RAIN CLIK
M	HUNTER	HC-100-FLOW	FLOW METER. INSTALL BELOW GRADE IN VALVE/METER BOX
+			3/4" HOSE BIB ON HOUSE WALL OR IN VEGETABLE GARDEN.
T			AUTOMATIC FLUSH VALVE AT ENDS OF DRIP IRRIGATION PE TUBING.



1/2" OR 3/4" PE DRIP TUBING W/ COMPRESSION FITTINGS - SEE DRIP NOTES
INSTALL FLUSH VALVE AT END. DO NOT TRENCH UNDER EXISTING TREE CANOPIES.
IF NOT POSSIBLE, INSTALL ON TOP OF SOIL UNDER MULCH.

1/2" EMITTER TUBING W/ COMPRESSION FITTINGS - 18" EMITTER SPACING AND 18"-24" ROW SPACING. 1 GALLON PER HR. EMITTER. "RAINBIRD XFS SUBSURFACE DIAPHRANE" OR APPROVED EQUAL. SEE DRIP NOTES. INSTALL AUTOMATIC FLUSH VALVE AT END. DO NOT TRENCH UNDER EXISTING TREE CANOPIES. INSTALL ON TOP OF SOIL UNDER MULCH.

NON PRESSURE LINE - CLASS 200 PVC - 3/4" UNLESS OTHERWISE LABELED

PRESSURE LINE - SCH. 40 PVC

ALL PIPING 24" UNDER PAVING:
PRESSURE LINE, NONPRESSURE LINE, CONTROL WIRE SLEEVE, OR EXTRA LINE FOR FUTURE USE - MIN 2" OR LARGER AS NOTED.
CLASS 315 PVC. TWICE THE SIZE OF THE PIPE INSIDE.
INSTALL A 2" SCH. 40 PVC GREY ELECTRICAL CONDUIT AT ALL PRESSURE LINE PAVING CROSSINGS.

EMITTER SCHEDULE:

PLANT SIZE	NO. OF EMITTERS	EMITTER SIZE	PLANT DESCRIPTION	EMITTER LOCATION
1 GAL.	1	1 GPH	SMALL SHRUBS	AT PLANT
5 GAL.	2	1 GPH	MEDIUM SHRUBS	6'-12'
15 GAL.	2	2 GPH	TREES	1' FROM TREE
24" BOX	3	2 GPH	TREES	2' APART

DRIP IRRIGATION NOTES

- COVER TUBING WITH SOIL AND MULCH (MULCH ONLY UNDER EXISTING TREES) AND INSTALL FLUSH VALVES AT ENDS OF TUBING AND MARK THEM SO THEY CAN BE FOUND EASILY.
- RUN LARGE TUBING CLOSE TO PLANTS TO MINIMIZE LENGTH OF SMALLER 1/2" TUBING. SECURE EMITTERS DIRECTLY ON 1/2" TUBING AT PLANT ROOTBALLS. WHEN NECESSARY RUN SHORT LENGTHS OF 1/2" TUBING FROM EMITTERS TO PLANT ROOTBALL EDGES. INSTALL STAKES ON 1/2" TUBING AT 12" ON CENTER AND COVER TUBING WITH 1" OF SOIL PLUS MULCH. IN EXISTING TREE AREAS COVER WITH MULCH ONLY.
- INSTALL PRESSURE COMPENSATING EMITTERS (MINIMUM DIFFERENCE IN FLOW BETWEEN 10PSI AND 40PSI AT EACH PLANT ON ROOTBALL EDGE. NOT RIGHT AT STEM. USE AGRIFIM PC PLUS PRESSURE COMPENSATING EMITTERS) THAT CAN ACCOMMODATE 1/2" TUBING. OTHER EMITTERS MAY HAVE A HIGHER DISCHARGE RATE AS DESIGNER REQUIRES LARGER PIPE SIZES.
- WHEN LOCATING EMITTERS AROUND A NEW PLANT INSTALL THREE EMITTERS ON THE ROOTBALL. BUT CLOSE TO THE EDGE OF THE ROOTBALL. EVENLY SPACED ALL AROUND THE PLANT.
- AS THE PLANT AND PLANT ROOTBALL INCREASES IN SIZE, THE LOCATION OF THE EMITTERS MAY NEED TO BE ADJUSTED SO THEY ARE EVENLY SPACED AROUND THE ROOT ZONE.
- INSTALL KNIBBED DRIFUSER BUB CAPS ON ALL EMITTERS (EXCEPT IN LINE EMITTERS) OR END OF EACH 1/2" TUBE.

IRRIGATION NOTES

- CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES PRIOR TO THE START OF WORK. CALL 811 UNDERGROUND SERVICE ALERT AND OWNER FOR AS-BUILT DOCUMENTS FOR LAYOUT OF UTILITIES AND TAKE PRECAUTIONS TO NOT DAMAGE OR DESTROY EXISTING UTILITIES.
- THIS SYSTEM IS DESIGNED TO OPERATE WITH A MAX 5.1 GPM AT MAIN 45 PSI AT THE POINT OF CONNECTION. IF THIS CONDITION IS NOT MET CONTACT THE LANDSCAPE ARCHITECT FOR POSSIBLE REDESIGN. IF STATIC PRESSURE EXCEEDS 85 PSI AT THE POINT OF CONNECTION AN ADJUSTABLE PRESSURE REGULATOR WILL BE NECESSARY.
- THE ROUTING OF SPRINKLER LINES IS SCHEMATIC ON THE PLAN. DO NOT PUT VALVES TOO CLOSE TO TREE. STAY 8'-10' AWAY IF POSSIBLE. DO NOT PUT PRESSURE LINES UNDER TREES. INSTALL LINES IN PAVING AREAS INSTEAD OF UNDER PAVING WHENEVER POSSIBLE. STAKE TREE LOCATIONS PRIOR TO INSTALLING IRRIGATION.
- CONTROLLER TO BE SET TO WATER BETWEEN THE HOURS OF 11:00 P.M. AND 5:00 A.M.
- THE IRRIGATION SYSTEM SHALL BE INSPECTED BI-MONTHLY FOR THE LIFE OF THE SYSTEM. THIS CHECK/INSPECTION CONSISTS OF OPERATING THE VALVES AND OBSERVING THE PERFORMANCE OF EACH IRRIGATION ZONE.
- THE IRRIGATION SYSTEM SHALL BE KEPT CLEAN AND PROPERLY ADJUSTED. DAMAGED EQUIPMENT SHALL BE REPAIRED PROMPTLY WITH IDENTICAL EQUIPMENT TO MAINTAIN THE ORIGINAL DESIGN INTENT.
- CONTRACTOR TO PRESSURIZE AND TEST THE ENTIRE SYSTEM FOR LEAKS. CHECK THE WATER USE TWICE A MONTH TO NOTICE SPIKES IN WATER USE THAT COULD INDICATE A LEAK OR MALFUNCTION.
- DO NOT TRENCH UNDER EXISTING TREE CANOPIES.
- THE SYSTEM TO BE INSTALLED AS PER LOCAL BUILDING AND PLUMBING CODES.
- INSTALL IN LINE CHECK VALVES TO PREVENT LOW HEAD/EMITTER DRAINAGE.
- IRRIGATION CONTROLLER: AUTOMATIC CONTROLLER TO BE WEATHER BASED SYSTEM WITH RAIN SENSOR AND SOLAR SYNC WHICH CONNECTS OR COMMUNICATES WITH THE CONTROLLER. IT ALSO SHALL HAVE FLOW SENSOR AND MASTER VALVE COMPATIBILITY.

WATER EFFICIENT LANDSCAPE NOTES

- CERTIFICATION OF INSTALLATION: TO BE PROVIDED BY THE PROJECT LANDSCAPE ARCHITECT.
- IRRIGATION SCHEDULING: FINAL SCHEDULING SHALL BE PROVIDED BY A CERTIFIED WATER AUDITOR.
- SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE: N/A.
- LANDSCAPE IRRIGATION AUDIT REPORT: OWNER OR CONTRACTOR TO PROVIDE AN REPORT FROM A CERTIFIED WATER AUDITOR.
- SOIL MANAGEMENT REPORT: LANDSCAPE CONTRACTOR TO PROVIDE A SOILS FERTILITY REPORT FROM SOIL & PLANT LABORATORY, SAN JOSE. THE RECOMMENDATIONS AS PER THE REPORT SHALL SUPERSEDE THE SOIL AMENDMENT SPECIFICATIONS OR NOTES ON THESE SHEETS.

WATER EFFICIENT LANDSCAPE ORDINANCE STATEMENT

"I HAVE COMPLIED WITH THE CRITERIA OF THE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN."

GREG G. ING, PROJECT LANDSCAPE ARCHITECT

