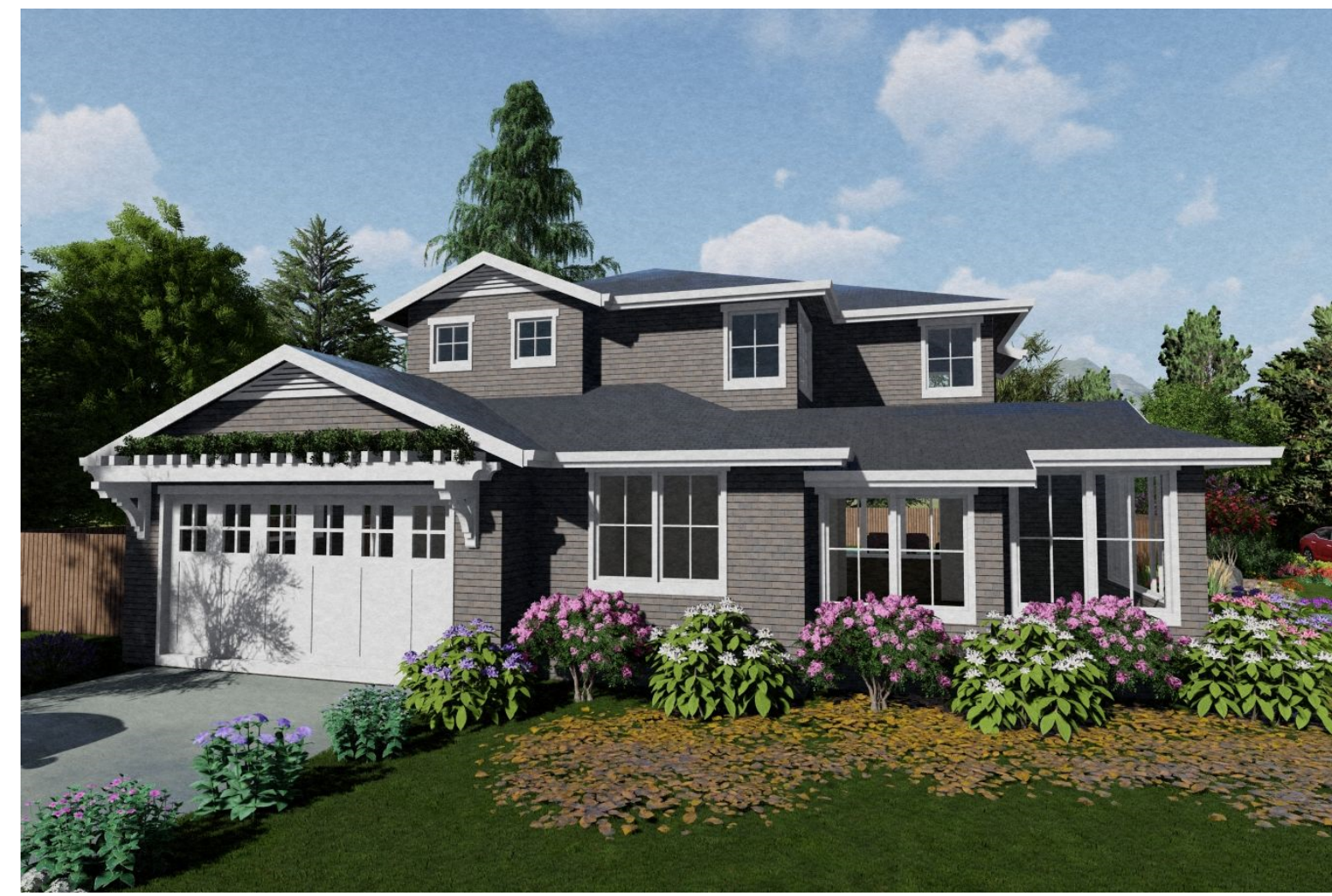


ZONING COMPLIANCE			
	EXISTING	PROPOSED	ALLOWED/REQ'D
LOT COVERAGE: LAND AREA COVERED BY ALL STRUCTURES THAT ARE OVER 6' HIGH	2,262 S.F.	2,850 S.F.	3,034 S.F.
	22.4%	28.2%	30.0%
FLOOR AREA: MEASURED TO THE OUTSIDE SURFACES OF EXTERIOR WALLS	2,262 S.F.	2,310 S.F.	3,540 S.F.
1st FLR.	0 S.F.	1,230 S.F.	
2nd FLR.	0 S.F.	1,080 S.F.	
TOTAL	2,262 S.F.	3,540 S.F.	
	22.4%	35.0%	35.0%
SETBACKS:			
FRONT	24.75 FT.	25 FT.	25 FT.
REAR	30 FT.	26 FT.	25 FT.
RIGHT SIDE (1ST/2ND)	14.58 FT.	17.5/22.5 FT.	17/17 FT.
LEFT SIDE (1ST/2ND)	25.33 FT.	16.67/17.67 FT.	10/17.5 FT.
HEIGHT:	17.33 FT.	24.58 FT.	27 FT.
SQUARE FOOTAGE BREAKDOWN			
	EXISTING	CHANGE IN	TOTAL PROPOSED
HABITABLE LIVING AREA: INCLUDES HABITABLE BASEMENT AREAS	1,812 S.F.	1,286 S.F.	3,098 S.F.
NON-HABITABLE AREA DOES NOT INCLUDE COVERED PORCHES OR OPEN STRUCTURES	450 S.F.	-8 S.F.	442 S.F.
LOT CALCULATIONS			
NET LOT AREA:			10,114 S.F.
FRONT YARD HARDSCAPE AREA: HARDSCAPE AREA IN THE FRONT YARD SETBACK SHALL NOT EXCEED 50%		698 S.F.	34.2%
LANDSCAPE BREAKDOWN:	TOTAL HARDSCAPE AREA EXISTING & PROPOSED		4,999 S.F.
	EXISTING SOFTSCAPE (UNDISTURBED) AREA:		0 S.F.
	NEW SOFTSCAPE AREA:		5,115 S.F.
	SUM OF ALL THREE SHOULD EQUAL THE SITE'S NET LOT AREA		



3D RENDERINGS

INDEX OF DRAWINGS

- A1 SITE PLAN VICINITY MAP
- A2 MAIN FLOOR PLAN
- A3 UPPER FLOOR PLAN
- A4 ROOF PLAN
- A5 EXTERIOR ELEVATIONS
- A6 EXTERIOR ELEVATIONS
- A7 BUILDING SECTIONS
- I TOPOGRAPHIC SURVEY
- C1 GRADING AND DRAINAGE PLAN
- C2 CIVIL DETAILS
- C3 EROSION CONTROL PLAN
- C4 BLUEPRINT FOR A CLEAN BAY
- L1 LANDSCAPE PLAN

PROJECT INFO

OWNER: HONG JI & DANG LIN  
284 ALVARADO AVENUE  
LOS ALTOS, CA 94022

JOB ADDRESS: 284 ALVARADO AVENUE  
LOS ALTOS, CA 94022

FLOOD ZONE: A (LOCATION NOT WITHIN FLOODPLAIN)

GENERAL PLAN DESIGNATION: SINGLE FAMILY RESIDENTIAL

ZONING: RI-10

BUILDING OCCUPANCY GROUP(S): R-3/U

TYPE(S) OF CONSTRUCTION: V-B

OCCUPANCY CATEGORY: II

A.P.N. 170-17-018

ARCHITECT: RH ASSOCIATES, ARCHITECTS  
1010 COMBIE RD, SUITE 210  
AUBURN, CA 95602  
CONTACT: J. STEVE COLLOM  
(530) 248-3055  
steve.collom@gmail.com

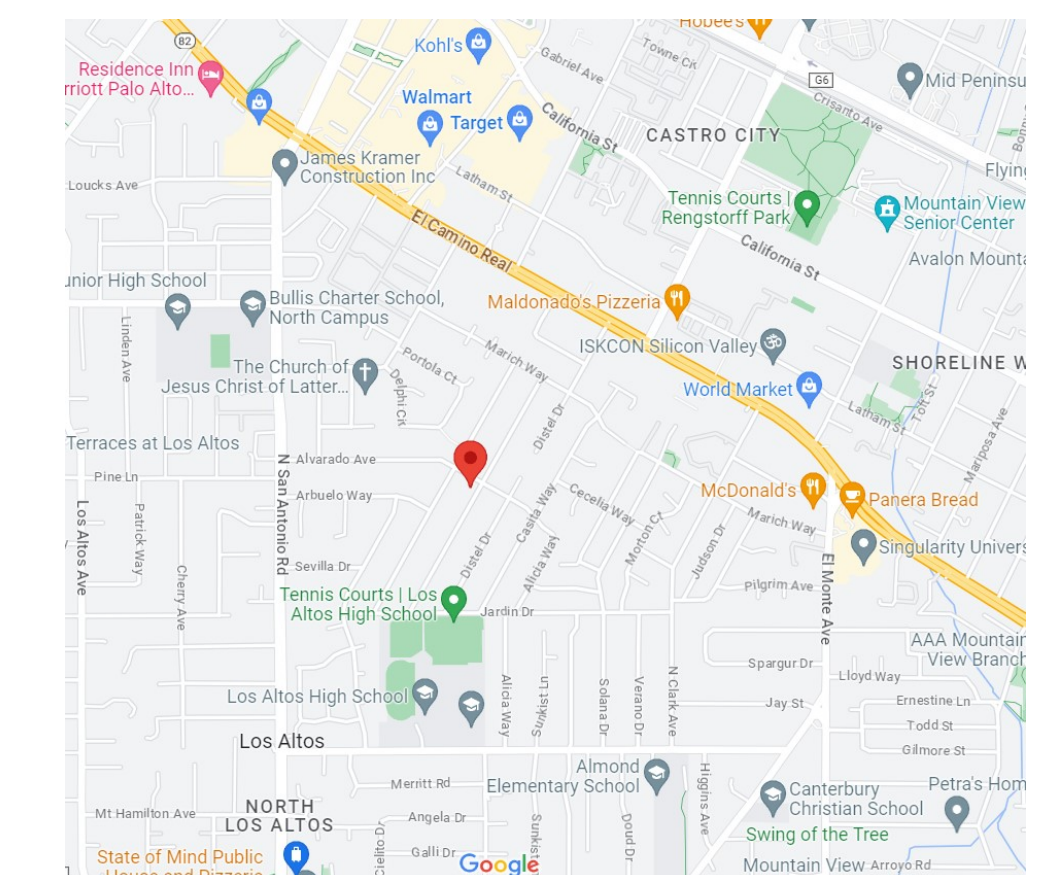
CIVIL ENGINEER: NNR ENGINEERING  
535 WEYBRIDGE DRIVE  
SAN JOSE, CA 95129  
CONTACT: NADIM RAFOUL  
(408) 348-1813  
nnrengineering@yahoo.com

LANDSCAPE DESIGN: KAREN AITKEN & ASSOCIATES  
8242 RANCHO REAL  
GILROY, CA 95020  
CONTACT: KAREN AITKEN  
(408) 842-0245  
AitkenAssociates@gmail.com

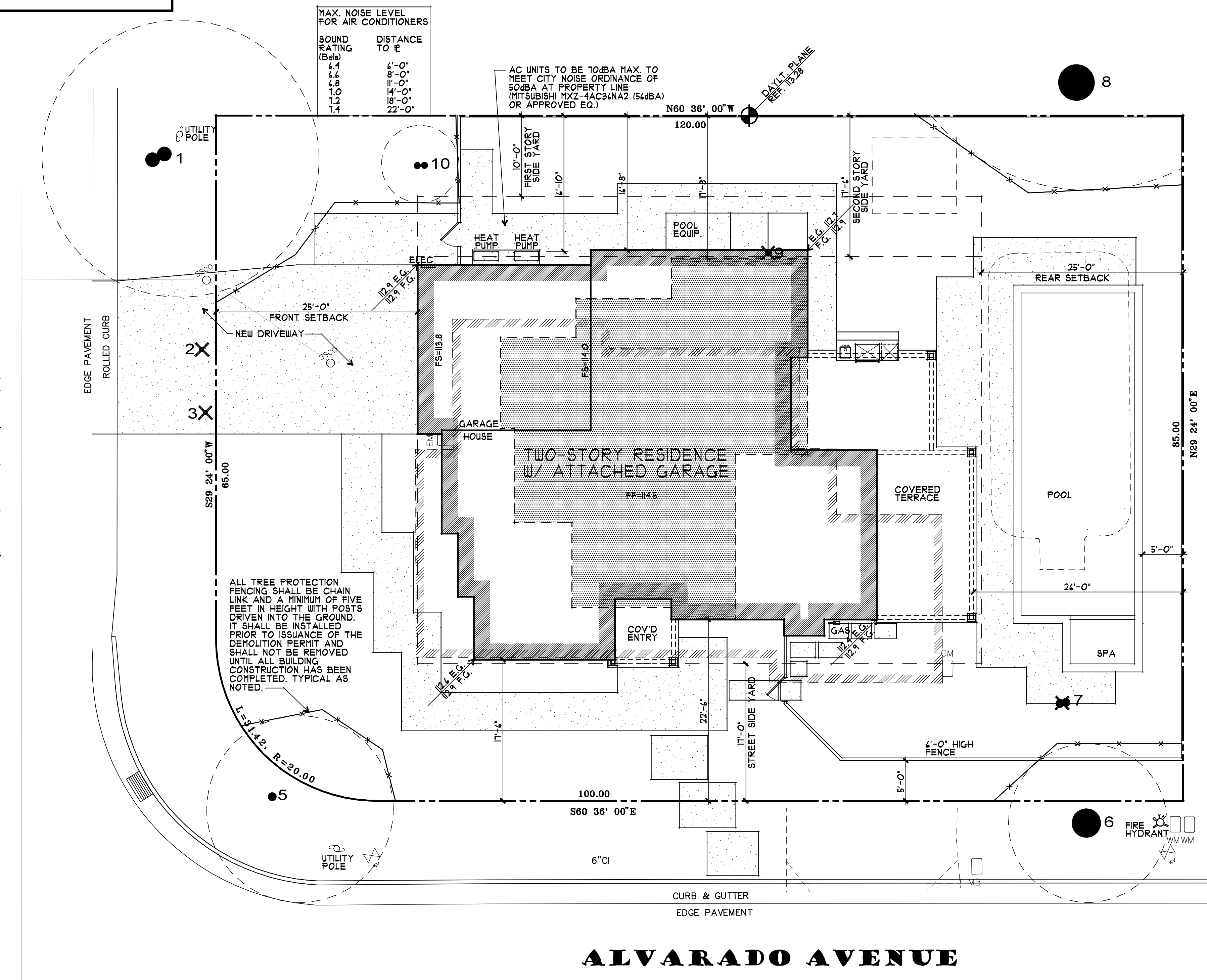
SCOPE OF WORK: NEW TWO-STORY RESIDENCE WITH  
ATTACHED GARAGE ON A PARCEL  
WITH AN EXISTING ONE-STORY  
RESIDENCE TO BE DEMOLISHED.

AREA SCHEDULE

LOT AREA	10,114 S.F.
LIVABLE AREA	1,848 S.F.
MAIN FLOOR	1,230 S.F.
UPPER FLOOR	618 S.F.
TOTAL	3,098 S.F.
GARAGE	442 S.F.
FIREPLACES	10 S.F.
COVERED PORCH	61 S.F.
COVERED TERRACE	443 S.F.
COVERAGE ALLOWED (30%)	3,034 S.F.
EXISTING	2,242 S.F.
PROPOSED	2,850 S.F.
FLOOR AREA ALLOWED (35%)	3,540 S.F.
EXISTING	2,262 S.F.
PROPOSED	3,540 S.F.



2 VICINITY MAP  
NO SCALE NORTH



1 SITE PLAN  
1/8" = 1'-0" NORTH

TREE INVENTORY			
ITEM #	SIZE DBH	DESCRIPTION	REMOVE
1	(2) 24	OAK	NO
2	6	PRIVET	YES
3	6	PRIVET	YES
4		NOT USED	
5	14	ELM	NO
6	40	ASH	NO
7	14	PRIVET	YES
8	10	RDWD	NO
9	10	APRICOT	YES
10	(2) 10	PRIVET	NO

DBH = DIAMETER AT BREAST HEIGHT

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J. STEVE COLLOM  
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rhassoc@rhglobal.net

REGISTERED ARCHITECT  
STATE OF CALIFORNIA  
No. C 11982  
Exp. 10-25

A PROPOSED RESIDENCE FOR:  
**HONG JI and DANG LIN**  
284 ALVARADO AVE  
LOS ALTOS, CALIFORNIA

drawings  
SITE PLAN

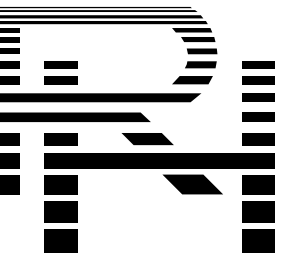
revisions

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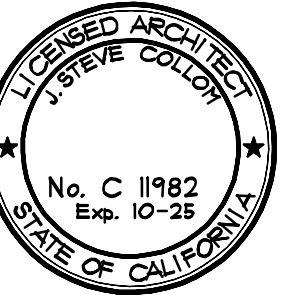
date  
FEB 12, 2024

sheet number  
A1





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A PROPOSED RESIDENCE FOR:  
**HONG JI and DANG LIN**  
284 ALVARADO AVE  
LOS ALTOS, CALIFORNIA

drawings  
MAIN FLOOR  
PLAN

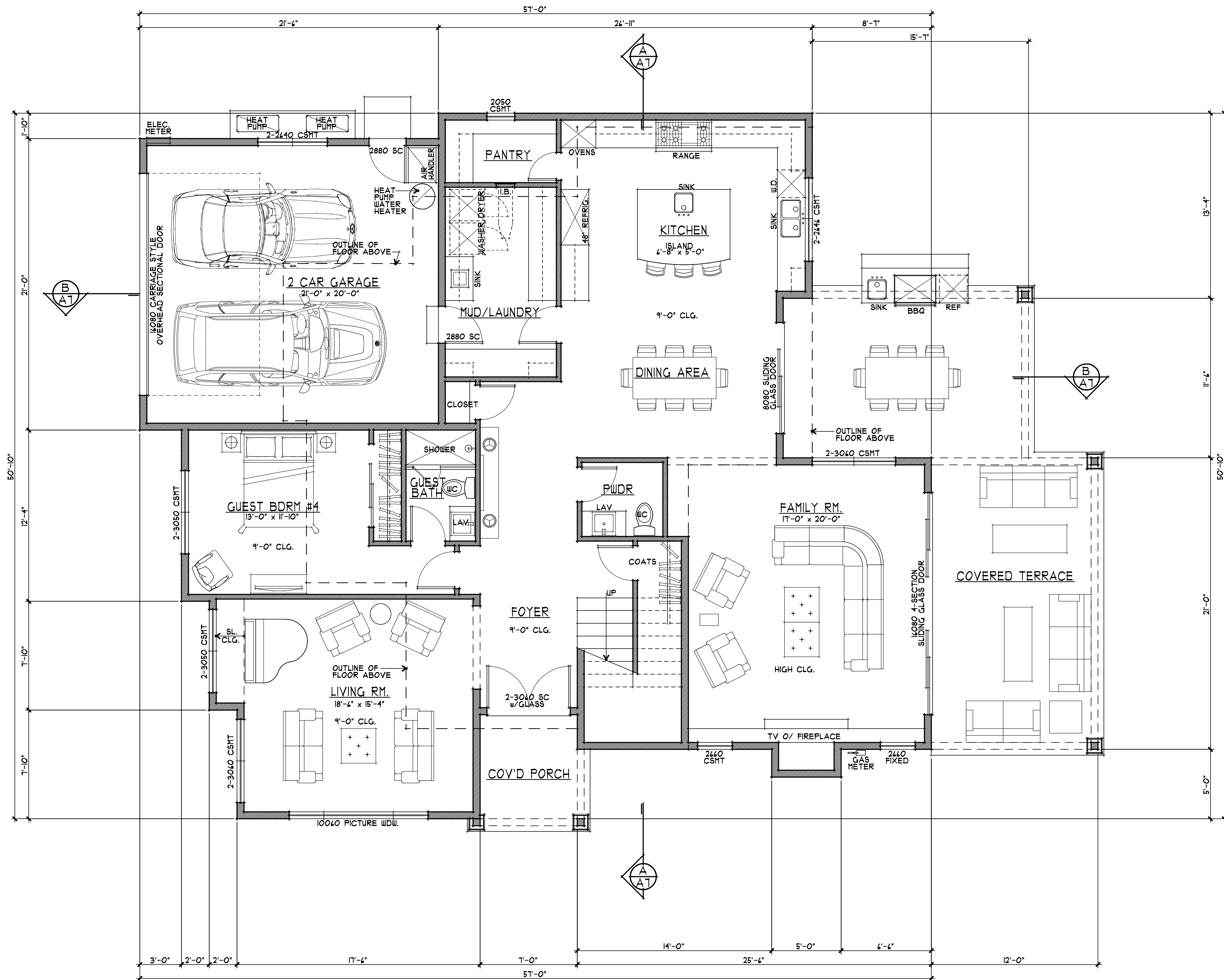
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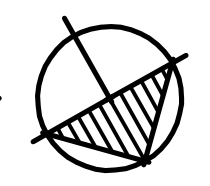
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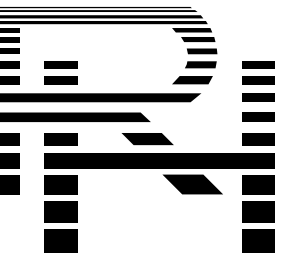
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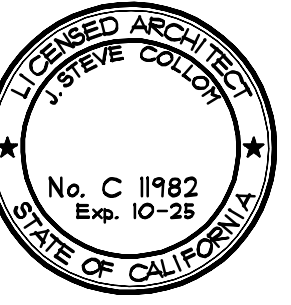
1 MAIN FLOOR PLAN  
A2 1/4" = 1'-0"

NORTH





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A PROPOSED RESIDENCE FOR:  
**HONG JI and DANG LIN**  
284 ALVARADO AVE  
LOS ALTOS, CALIFORNIA

drawings  
UPPER FLOOR  
PLAN

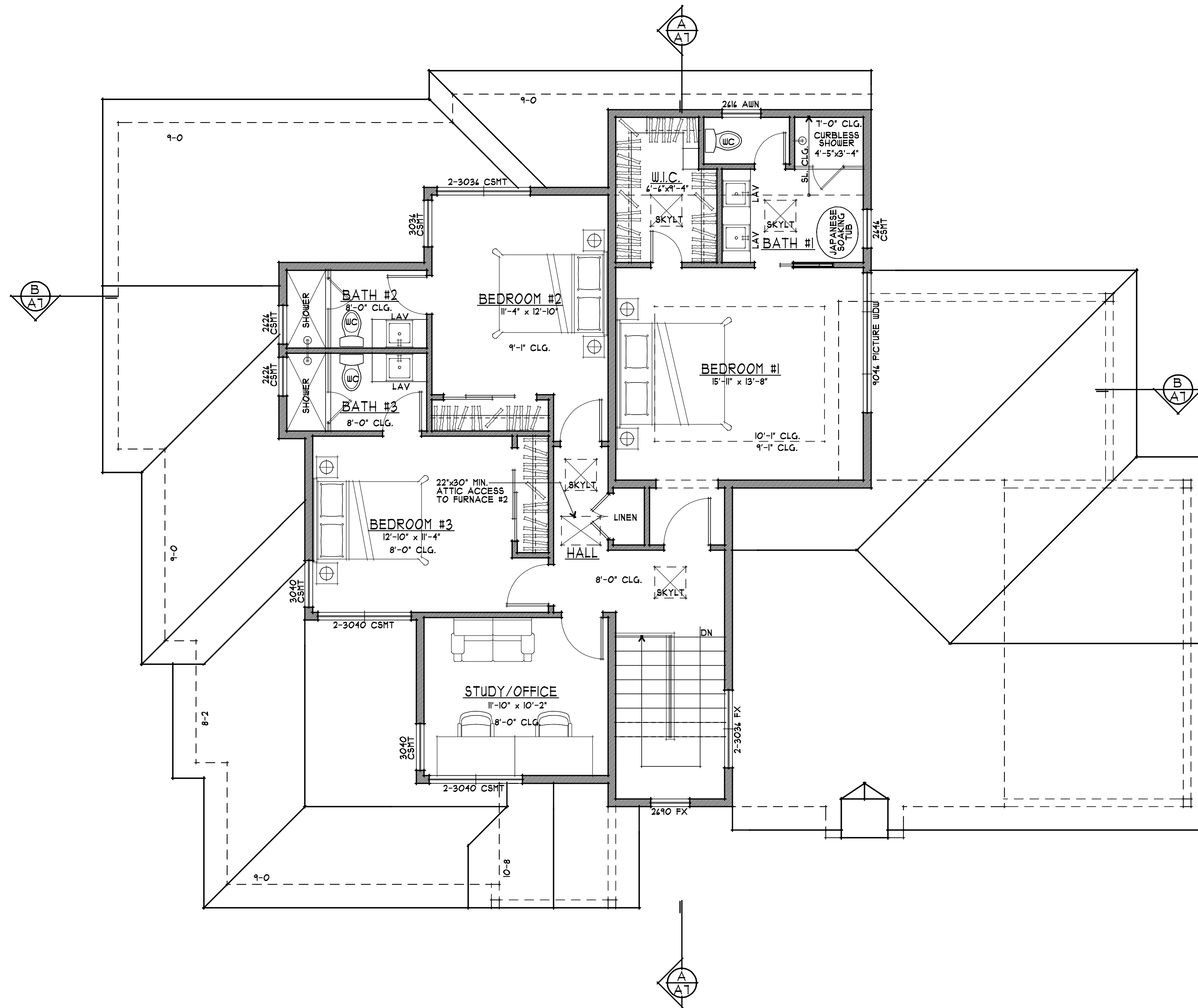
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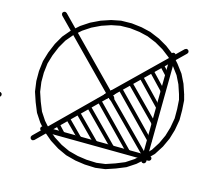
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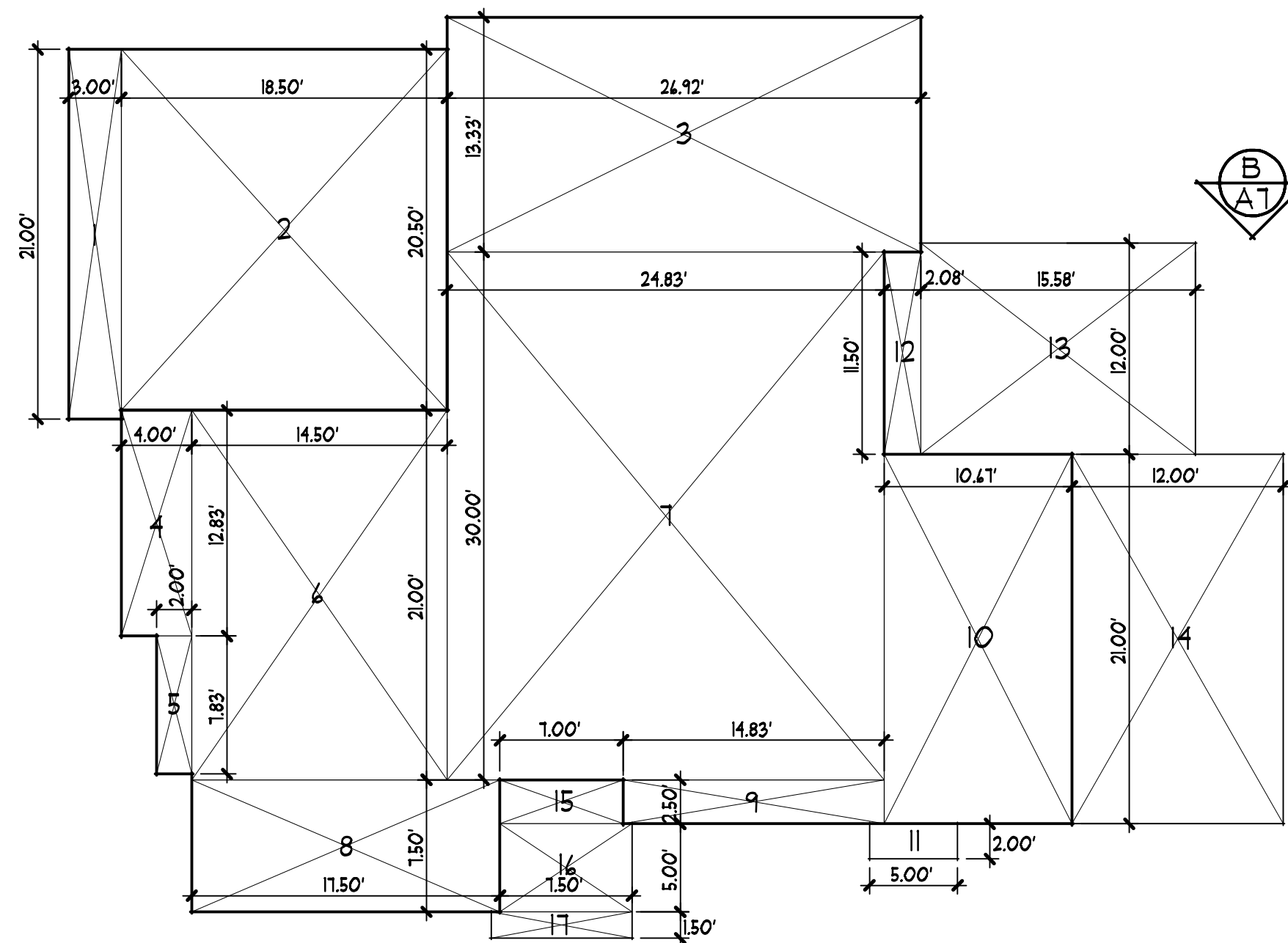
A3



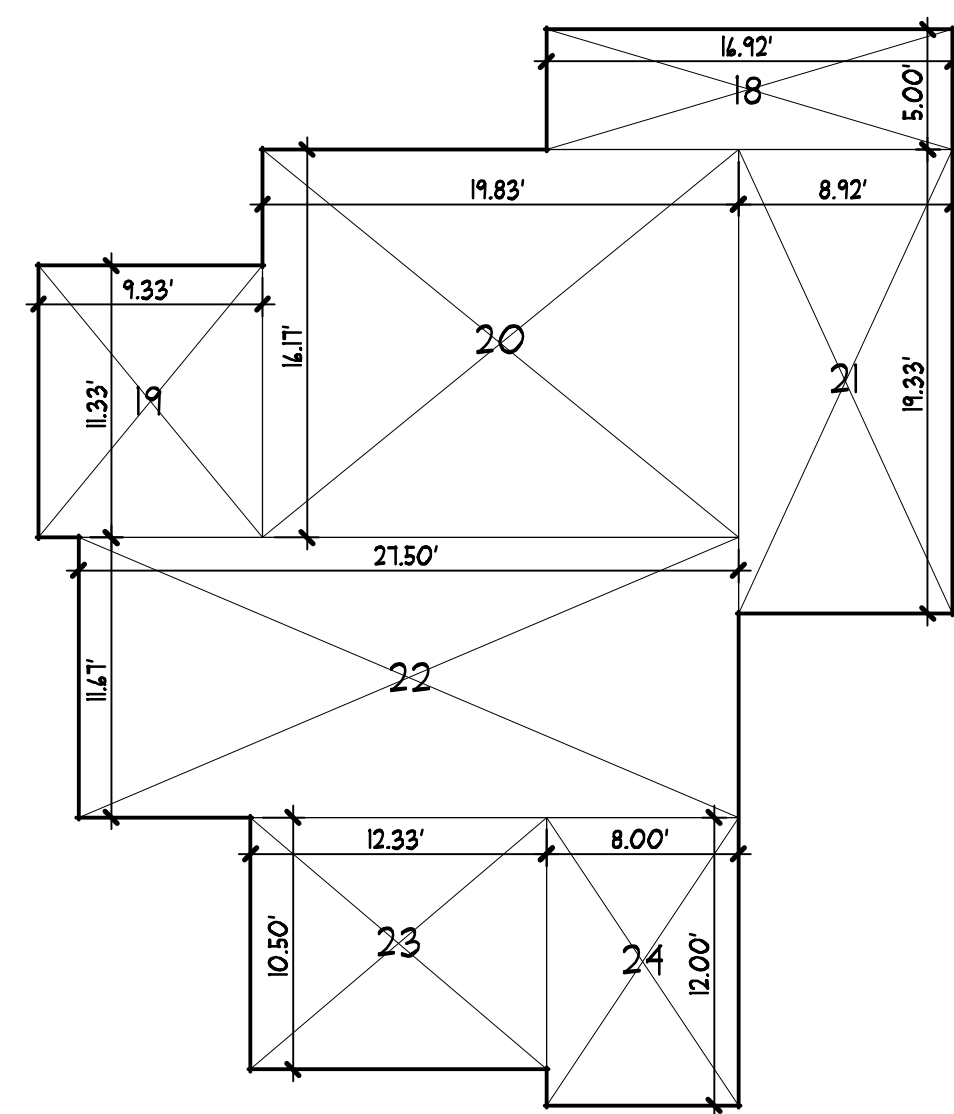
1 UPPER FLOOR PLAN  
A3 1/4" = 1'-0"

NORTH





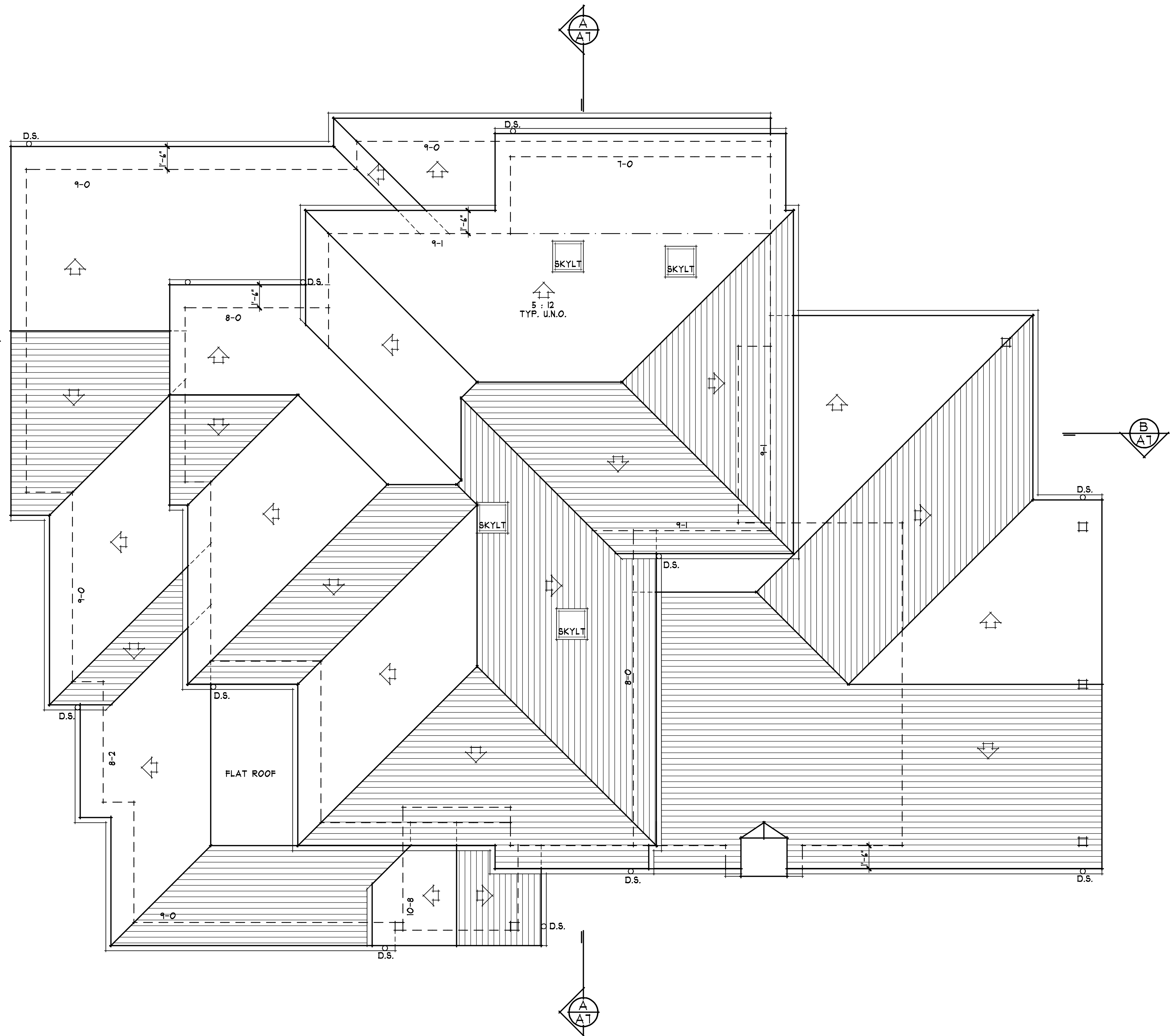
MAIN FLOOR



UPPER FLOOR

**AREA CALCULATIONS**

GARAGE				
1	30.00	x	21.00	630
2	18.50	x	20.50	379.25
			TOTAL	1009.25
MAIN FLOOR LIVABLE AREA				
3	24.92	x	13.33	332.18
4	4.00	x	12.83	51.32
5	2.00	x	1.83	3.66
6	14.50	x	30.00	435.00
7	24.83	x	12.00	297.96
8	11.50	x	1.50	17.25
9	14.83	x	2.50	37.08
10	10.17	x	21.00	213.57
			TOTAL	1,047.03
FIREPLACE				
11	5.00	x	2.00	10.00
COVERED PORCH				
12	2.08	x	11.50	23.92
13	15.58	x	12.00	186.96
			TOTAL	200.88
COVERED TERRACE				
14	1.00	x	2.50	2.50
15	8.00	x	5.00	40.00
			TOTAL	42.50
UPPER FLOOR LIVABLE AREA				
16	12.92	x	5.00	64.60
17	19.33	x	11.33	218.33
18	14.17	x	14.17	200.89
19	8.93	x	19.33	172.57
20	21.50	x	12.00	258.00
21	10.17	x	10.17	103.54
22	12.00	x	12.00	144.00
23	8.00	x	8.00	64.00
24	8.00	x	12.00	96.00
			TOTAL	1,230.00



2 AREA DIAGRAMS  
 1/8" = 1'-0"



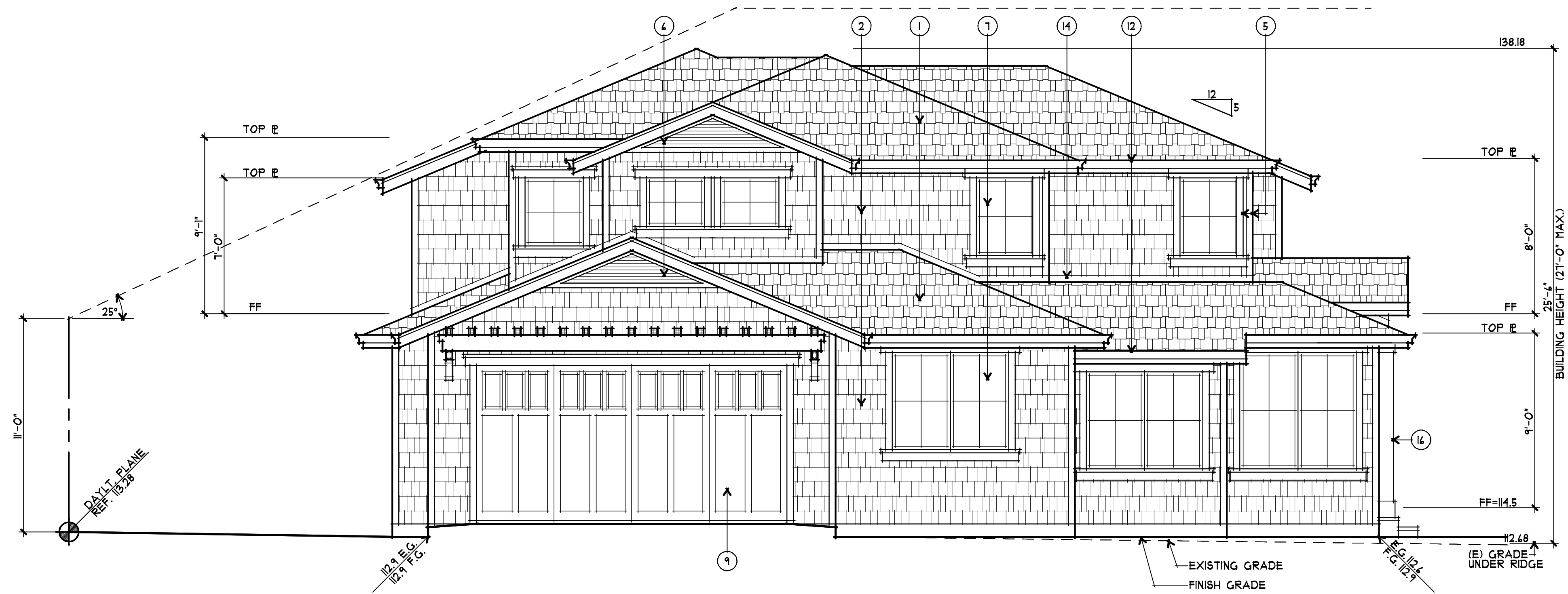
1 ROOF PLAN  
 1/4" = 1'-0"







1 RIGHT-ALVARADO (NORTH) ELEVATION  
 A5 1/4" = 1'-0" 0 1 3 4 10



2 FRONT-LOS NINOS (EAST) ELEVATION  
 A5 1/4" = 1'-0" 0 1 3 4 10

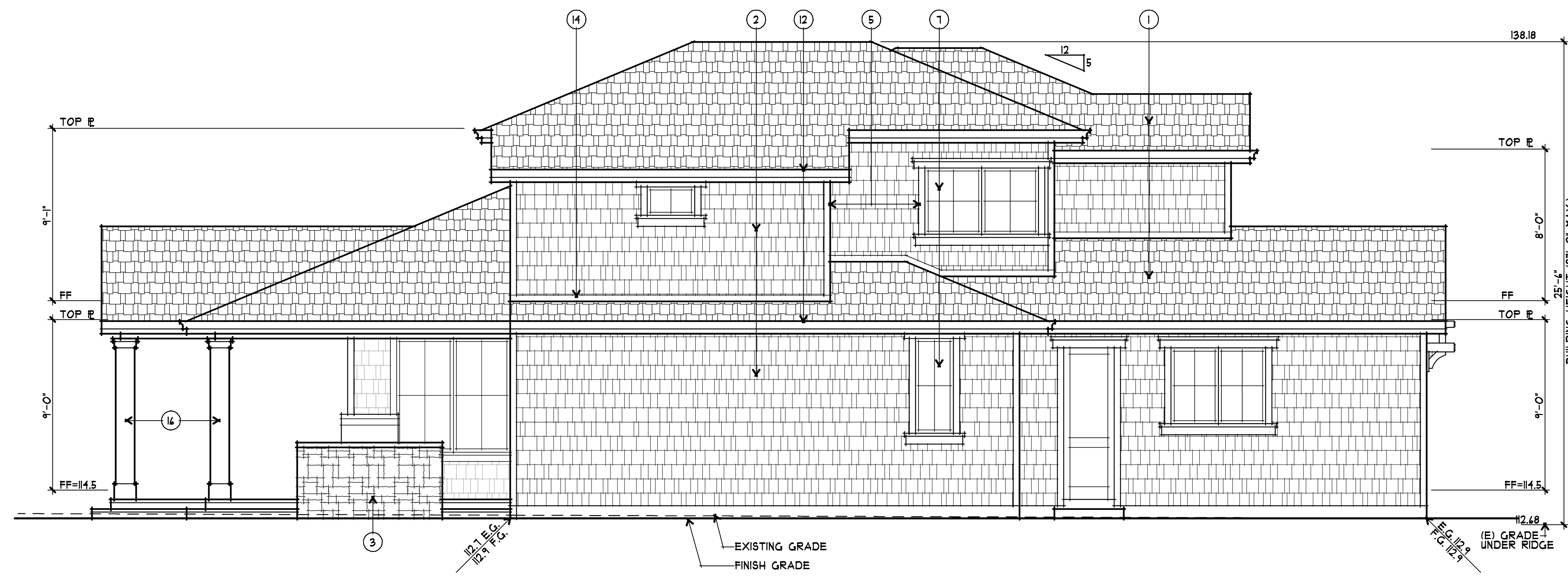
EXTERIOR FINISH SCHEDULE		
LOCATION	KEYNOTE	MATERIAL/COLOR
ROOF	1	ARCHITECTURAL COMPOSITION SHINGLES
WALLS	2	WOOD SHINGLES
	3	STONE VENEER
	4	WOOD PANEL
	5	WOOD TRIM
TRIM	6	WOOD LOUVERS
	7	ALUMINUM CLAD WOOD WINDOWS
WINDOWS	7	ALUMINUM CLAD WOOD WINDOWS
DOORS	8	WOOD ENTRY DOOR W/ TEMPERED GLASS
	9	CARRIAGE-STYLE, OVERHEAD SECTIONAL GARAGE DOOR W/ LITES
	10	WOOD FRENCH DOOR(S)
	11	WOOD SLIDING DOOR(S)
GUTTERS & DOWNSPOUTS	12	G.I. SHAPED GUTTER WITH RECTANGULAR DOWNSPOUTS
CHIMNEY	13	STONE VENEER W/ WOOD TRIM
FLASHING	14	G.I. FLASHING - PAINT
SKYLIGHTS	15	CURB MOUNTED OR SELF-FLASHING
COLUMN	16	

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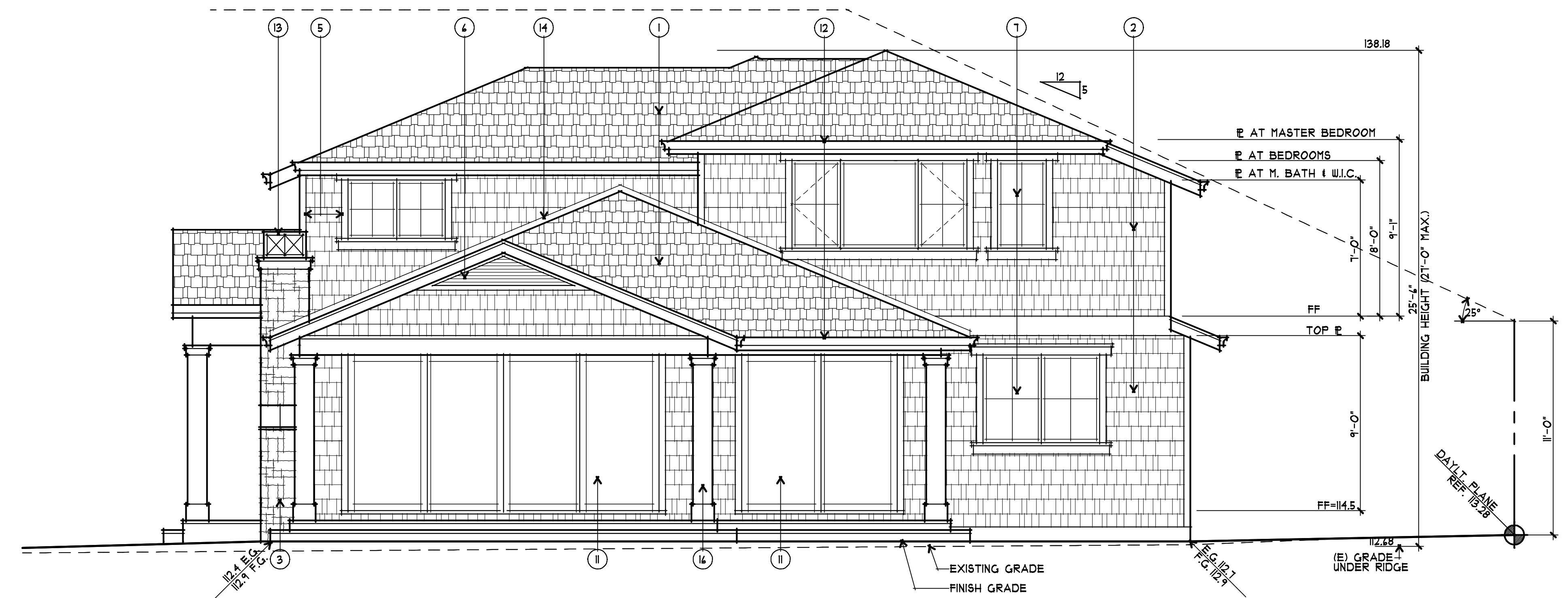
A PROPOSED RESIDENCE FOR:  
**HONG JI and DANG LIN**  
 284 ALVARADO AVE  
 LOS ALTOS, CALIFORNIA

drawings	EXTERIOR ELEVATIONS
revisions	
project number	2634
date	FEB 12, 2024
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1 LEFT (SOUTH) ELEVATION  
 1/4" = 1'-0"  
 0 1 3 4 10



2 REAR (WEST) ELEVATION  
 1/4" = 1'-0"  
 0 1 3 4 10

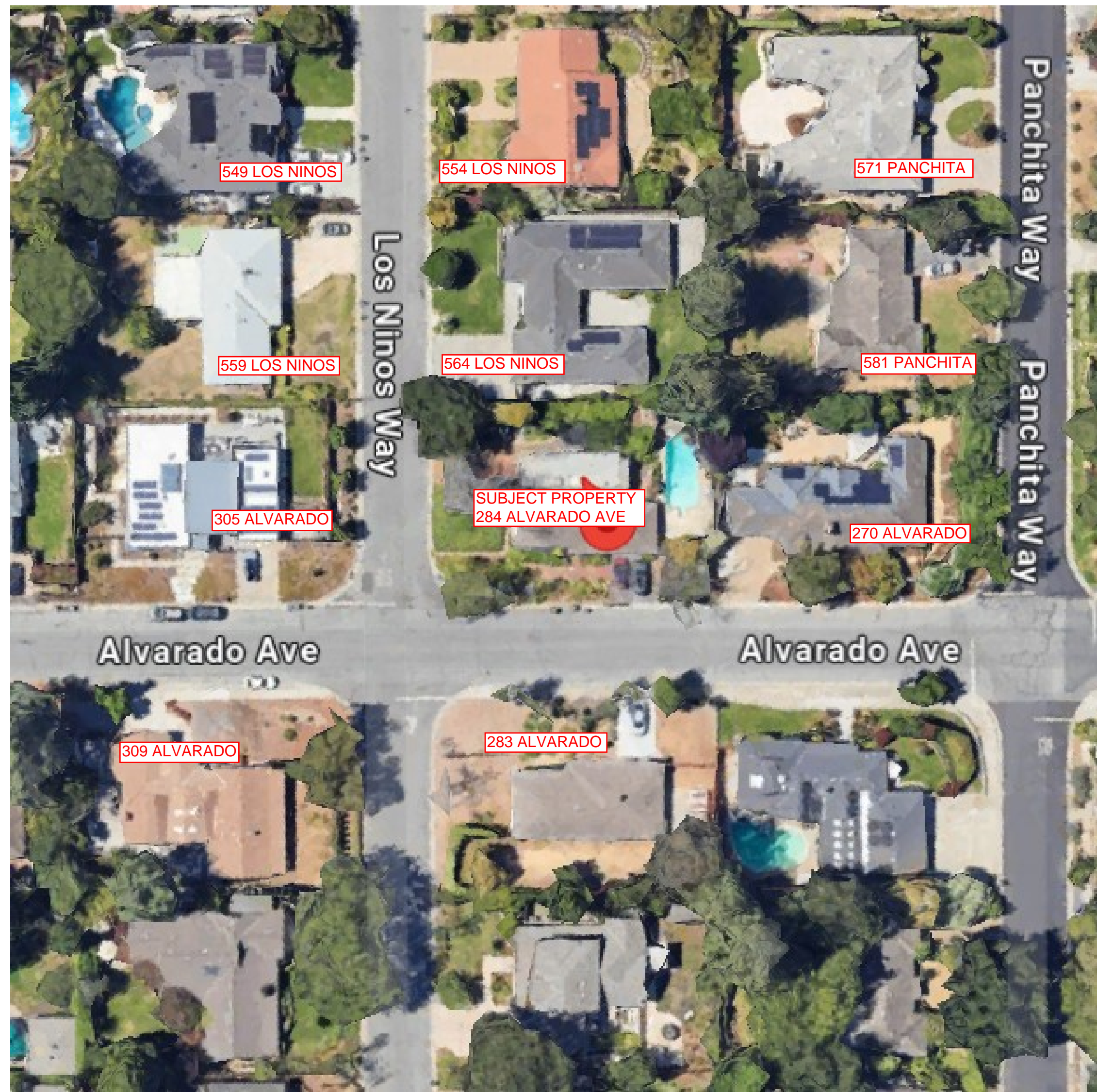
EXTERIOR FINISH SCHEDULE		
LOCATION	KEYNOTE	MATERIAL/COLOR
ROOF	1	ARCHITECTURAL COMPOSITION SHINGLES
WALLS	2	WOOD SHINGLES
	3	STONE VENEER
	4	WOOD PANEL
	5	WOOD TRIM
TRIM	6	WOOD LOUVERS
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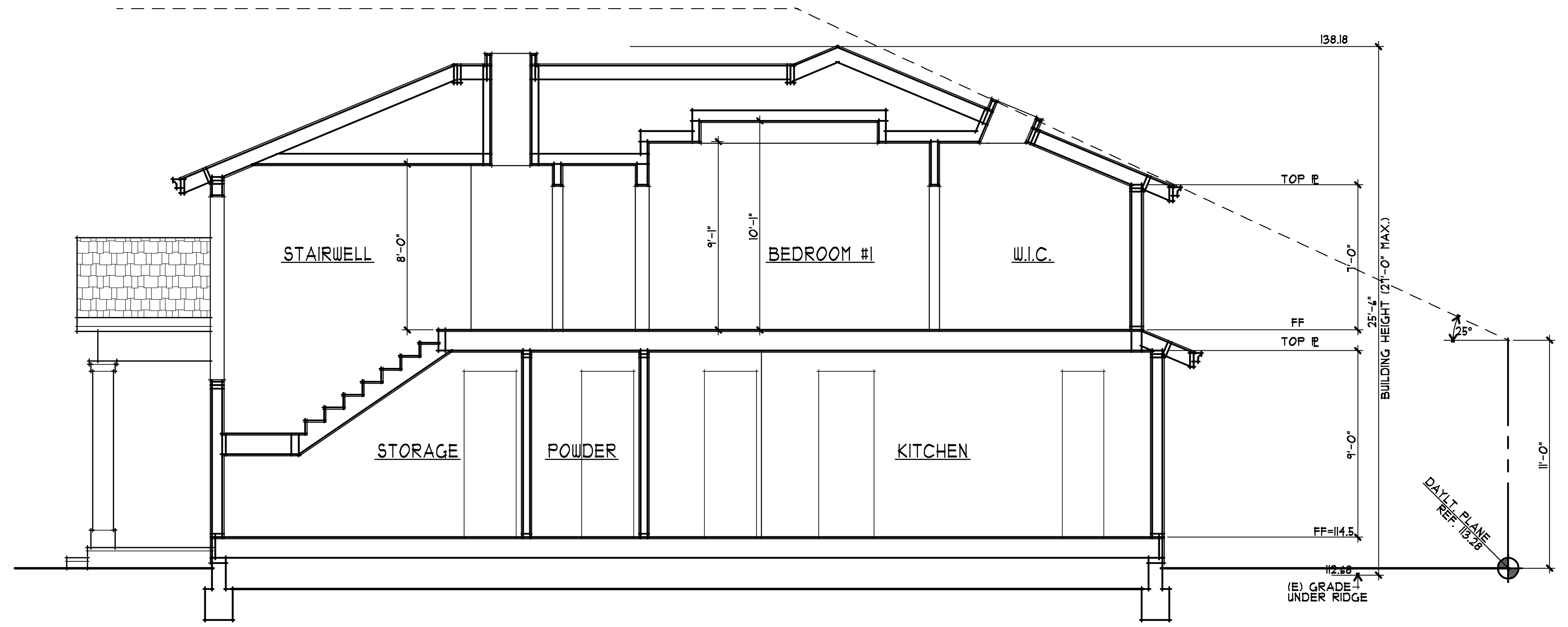
A PROPOSED RESIDENCE FOR:  
**HONG JI and DANG LIN**  
 284 ALVARADO AVE  
 LOS ALTOS, CALIFORNIA

drawings	EXTERIOR ELEVATIONS
revisions	
project number	2634
date	FEB 12, 2024
sheet number	A6

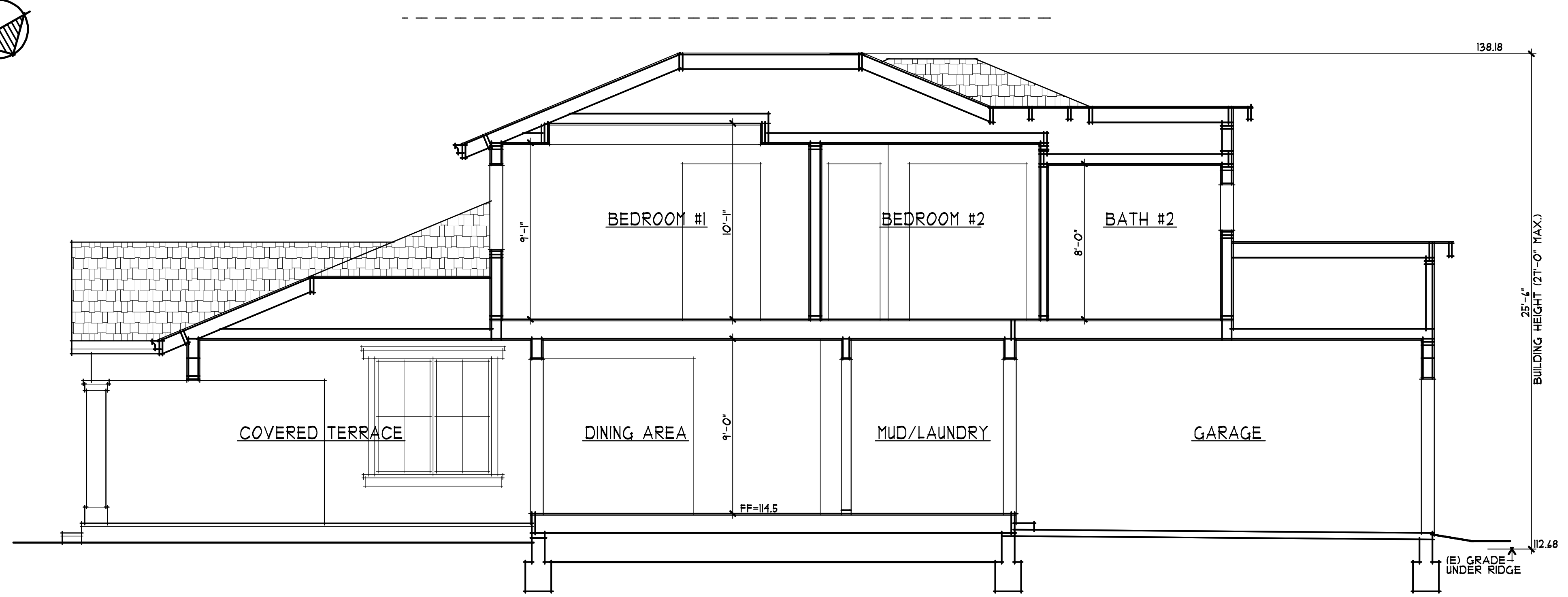




NOTE: ALL SURROUNDING PROPERTIES ARE SINGLE FAMILY RESIDENCES

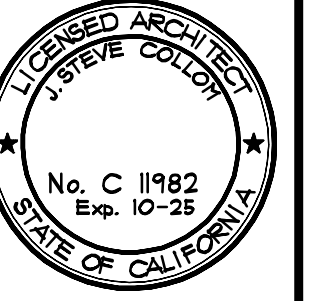


**A** BUILDING SECTION  
1/4" = 1'-0"  
0 1 3 6 10



**B** BUILDING SECTION  
1/4" = 1'-0"  
0 1 3 6 10

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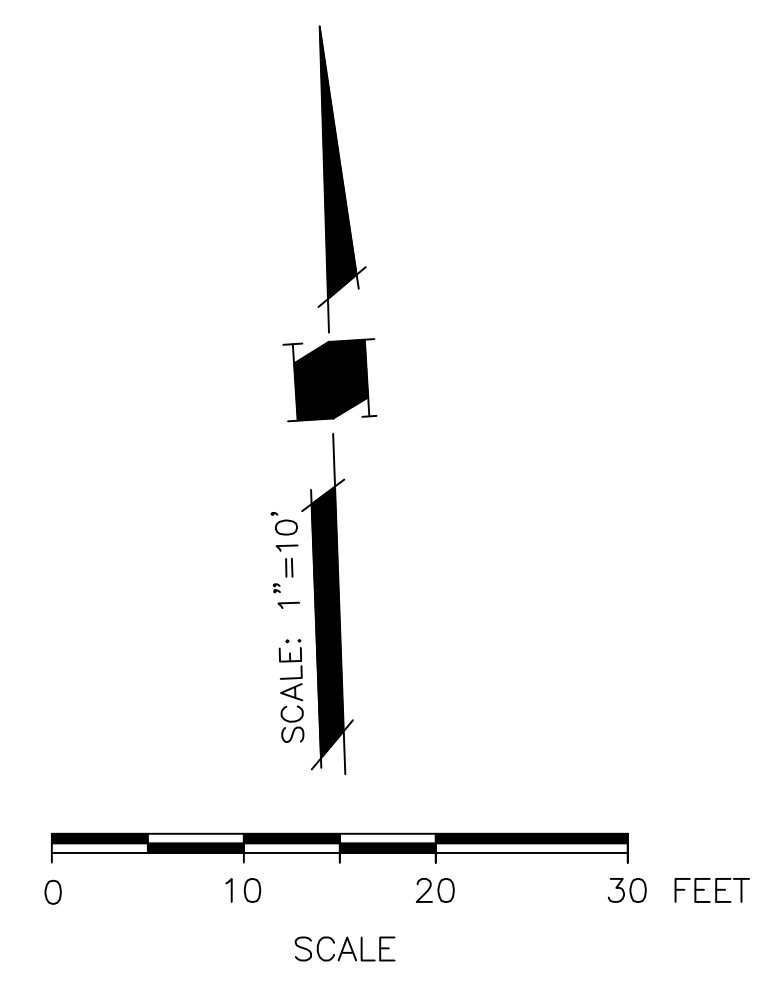


**HONG JI and DANG LIN**  
 A PROPOSED RESIDENCE FOR:  
 LOS ALTOS, CALIFORNIA  
 284 ALVARADO AVE

drawings	BUILDING SECTIONS
revisions	
project number	2634
date	FEB 12, 2024
sheet number	A7



- LEGEND**
- CLEANOUT
  - ⊙ MANHOLE
  - X — FENCE LINE
  - ⊗ WATER VALVE
  - WATER METER
  - ⊗ FIRE HYDRANT
  - ⊕ JOINT POLE SANITARY SEWER
  - ⊕ GUY ANCHOR SANITARY SEWER
  - AS NOTED
  - XX" TREE
  - G — GAS LINE
  - W — WATER LINE
  - ▨ CONCRETE
  - GM GAS METER



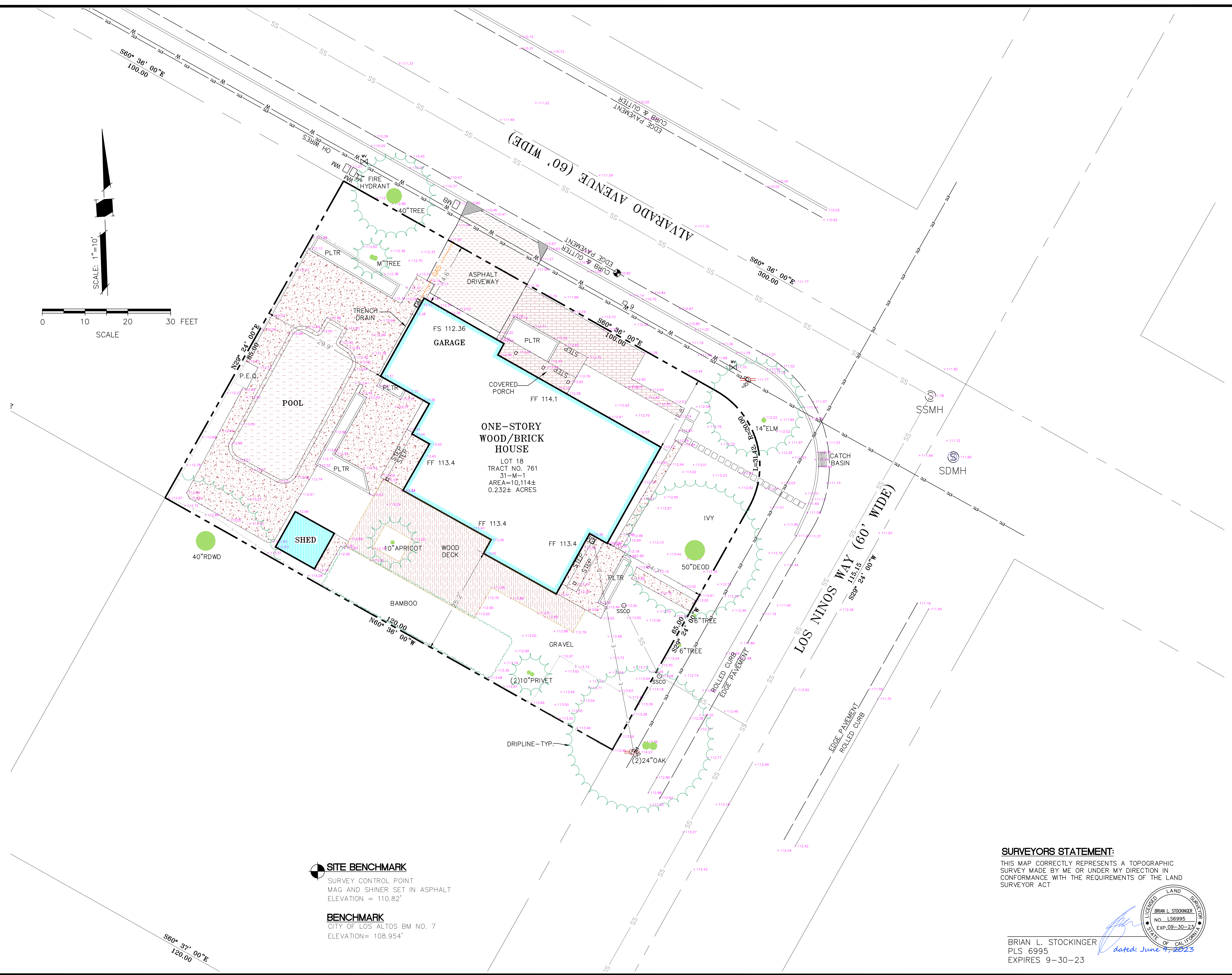
- ABBREVIATIONS**
- FL FLOWLINE
  - TC TOP OF CURB
  - EP EDGE OF PAVEMENT
  - CONC CONCRETE
  - LIP LIP OF GUTTER
  - GS GROUND SHOT
  - AD AREA DRAIN
  - FF FINISH FLOOR
  - BSL BUILDING SETBACK LINE

- SURVEYOR'S NOTE:**
- UTILITIES FOUND ARE BASED UPON SURFACE EVIDENT FINDINGS. RECORDS OF UTILITIES WERE NOT UTILIZED FOR THIS SURVEY
  - TREES SHOWN ARE THOSE OF SIZE SIGNIFICANCE. THE SITE CONTAINS OTHER TREES UNDER 6" AND ARE NOT SHOWN FOR MAP CLARITY. TREE CLASSIFICATIONS ARE TO THE BEST KNOWLEDGE OF THE SURVEYOR. AN ARBORIST MUST SPECIFY ACTUAL TREE TYPE.
  - MAIN STRUCTURE AND APPURTENANT STRUCTURES ARE BASED UPON THE BEST EFFORTS OF THE SURVEY CREW. SOME ELEMENTS MAY BE MISSING AND CHECKS BY THE ARCHITECTS OFFICE WILL BE NECESSARY BEFORE DESIGN WORK.

**BASIS OF BEARINGS**  
 PER TRACT MAP NO. 761 FILED IN BOOK 31 OF MAPS AT PAGE 1, SANTA CLARA COUNTY RECORDS.

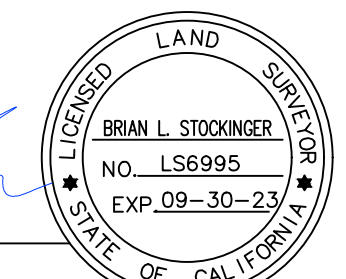
**SITE BENCHMARK**  
 SURVEY CONTROL POINT  
 MAG AND SHINER SET IN ASPHALT  
 ELEVATION = 110.82'

**BENCHMARK**  
 CITY OF LOS ALTOS BM NO. 7  
 ELEVATION = 108.954'



**SURVEYORS STATEMENT:**  
 THIS MAP CORRECTLY REPRESENTS A TOPOGRAPHIC SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE LAND SURVEYOR ACT

BRIAN L. STOCKINGER  
 PLS 6995  
 EXPIRES 9-30-23  
 dated: June 7, 2023



<b>TOPOGRAPHICAL SURVEY</b>		<b>NINR ENGINEERING SERVICES CO.</b>
<b>284 ALVARADO AVENUE</b>		BRIAN L. STOCKINGER PLS 6995 535 WETTERIDGE DRIVE, SAN JOSE, CA 95123 (408) 348-7813 ninrengineering@yahoo.com
LOS ALTOS		CALIFORNIA
SCALE 1" = 10'	DATE 6-9-2023	DRAWN NINR
BY: CLK	CHECKED B. STOCKINGER	PROJ. INGR. BLS
SHEET REVISIONS		
DATE	BY	DESCRIPTION
SHEET NO.		OF SHEETS
1		1
JOB NO.		ALVARADO AVE
CAD FILE:		



**GRADING AND DRAINAGE CONSTRUCTION NOTES:**

- 1 DIRECT ROOF DOWNSPOUT LEADERS TO APPROVED SPLASH BLOCKS (2' LENGTH MIN.). DIRECT AWAY FROM BUILDING FOR POSITIVE FLOW, & TOWARDS PERVIOUS AREA OF THE SITE -TYP. (SEE DETAIL)
- 2 THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET TO DRAIN SURFACE WATER AWAY FROM THE FOUNDATION WALLS, AND DRAINS OR SWALES SHALL BE CONSTRUCTED TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE WHERE LOT LINES PROHIBIT THE REQUIRED GRADING.
- 3 (N) 4" SDR-26 SS. LAT. @ 2% MIN.
- 4 (N) WATER SERVICE LINE, (DESIGN BY OTHERS). CONNECT WATER SERVICE WITH METER PER CITY STANDARD REQUIREMENTS.
- 5 APPROXIMATE LOCATION OF JOINT TRENCH INCLUDES:  
ALL GAS/COMMUNICATIONS LINES AND APPURTENANCES, INCLUDING ALL PUBLIC UTILITY, CATV AND TELEGRAPH SYSTEMS, SHALL BE LOCATED AND INSTALLED UNDERGROUND. FOR TRENCH PAVING, BACKFILL AND PIPING BEDDING SECTIONS SEE CITY STD. DETAIL SU-19 SHOWN ON SHEET C-2.
- 6 6" PVC (SDR-35) @ S=1% MIN.
- 7 (N) GRAVEL BASIN (4'X15'X4.5'). SEE DETAIL ON C-2.
- 8 CONSTRUCT (N) CONCRETE DRIVEWAY.  
\*PRIOR TO THE COMMENCEMENT OF ANY WORK DONE IN THE PUBLIC R/W, A PERMIT TO OPEN STREET AND/OR AN ENCROACHMENT PERMIT WILL BE REQUIRED\*.
- 9 INSTALL DOUBLE CHECK VALVES PER CALIFORNIA WATER SERVICE.
- 10 INSTALL (N)"ATMOSPHERIC & LISTED ACCESSIBLE BACK FLOW WATER VALVE".
- 11 NEW SSCO SHALL BE INSTALLED BETWEEN 2' AND 5' FROM THE FRONT PROPERTY LINE. SEE CITY STD. DETAIL SS-6.
- 12 UPGRADE EXISTING WATER METER-DESIGN BY OTHERS.

**STANDARD NOTE:**

- A. "UNDER NO CIRCUMSTANCE SHALL THE GRADING AND DRAINAGE ACTIVITIES ASSOCIATED WITH THIS PROJECT DIRECTLY SHEET FLOW ONTO THE NEIGHBORING PROPERTY."

NEW SANITARY SEWER CLEANOUT SHALL BE INSTALLED IN LINE WITH EXISTING SANITARY SEWER LATERAL, THERE SHALL BE NO NEW TURNS INSTALLED AFTER PROPERTY LINE SANITARY SEWER CLEANOUT.

**GENERAL NOTES**

1. CONTRACTOR SHALL EXERCISE ALL NECESSARY CAUTION TO AVOID DAMAGE TO ANY EXISTING TREES AND SURFACE IMPROVEMENTS WHICH ARE TO REMAIN IN PLACE AND SHALL BEAR FULL RESPONSIBILITY FOR ANY DAMAGE THERETO.
2. EXISTING UNDERGROUND LINES, APPURTENANCES AND FACILITIES WHICH ARE KNOWN TO THE ENGINEER ARE SHOWN FOR INFORMATION ONLY. CONTRACTOR SHALL EXERCISE ALL NECESSARY CAUTION TO AVOID DAMAGE TO ANY EXISTING FACILITIES WHICH ARE TO REMAIN IN PLACE, WHETHER OR NOT SUCH FACILITIES ARE SHOWN ON THE PLANS, AND SHALL BEAR FULL RESPONSIBILITY FOR ANY DAMAGE THERETO. NO WARRANTY IS GIVEN AS TO THE COMPLETENESS AND ACCURACY OF SUCH FACILITIES INFORMATION.
3. ALL CONTRACTORS WILL BE RESPONSIBLE FOR VERIFICATION OF THE LOCATION OF ALL EXISTING UTILITIES IN THE FIELD. LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND FOR GENERAL INFORMATION ONLY.
4. CONTRACTOR SHALL CALL UNDERGROUND SERVICES ALERT "USA" CENTER AT 800/642-2444, A TOLL-FREE NUMBER, 48 HOURS IN ADVANCE OF ANY EXCAVATION ACTIVITY SO ALL UNDERGROUND FACILITIES CAN BE LOCATED AND MARKED.
5. CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONNEL AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE CITY, THE OWNER, AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONJUNCTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT EXCEPT FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE CITY OR THE ENGINEER.
6. IT SHALL BE THE RESPONSIBILITY OF THE VARIOUS CONTRACTORS TO COORDINATE THEIR WORK SO AS TO ELIMINATE CONFLICTS AND TO INSURE COMPLETION OF THE ENTIRE PROJECT WITHIN THE SPECIFIED PERIOD.
7. THE CONTRACTOR SHALL MAINTAIN THE STREET, SIDEWALKS AND ALL OTHER RIGHTS-OF-WAY IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC, SHALL BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION.

**UNDERGROUND NOTES**

1. CONTRACTORS SHALL EXPOSE AND VERIFY PIPE MATERIAL, LINE SIZE, LOCATION AND ELEVATION OF EXISTING UTILITIES, INCLUDING SANITARY SEWERS, STORM DRAINS, AND WATER LINES AT ALL TE-INS AND CROSSINGS PRIOR TO CONSTRUCTING NEW FACILITIES.
2. UNLESS OTHERWISE NOTED, ALL STORM DRAINS, SANITARY SEWERS, MANHOLES AND INLETS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE CITY OF LOS ALTOS STANDARD SPECIFICATIONS AND STANDARD PLAN DETAILS AS DESIGNATED AND TO DETAILS AS SHOWN ON THE PLAN.
3. ALL TRENCH EXCAVATION, BACKFILL AND BEDDING FOR STORM DRAINS AND SANITARY SEWERS SHALL CONFORM TO THE CITY OF LOS ALTOS STANDARD SPECIFICATIONS, AND DETAILS.
4. ALL TRENCHES AND EXCAVATIONS SHALL BE CONSTRUCTED IN STRICT COMPLIANCE WITH THE APPLICABLE SECTIONS OF CALIFORNIA AND FEDERAL O.S.H.A. REQUIREMENTS AND OTHER APPLICABLE SAFETY ORDINANCES. CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR TRENCH SHORING DESIGN AND INSTALLATION.
5. ALL ELECTRICAL, TELEPHONE AND CABLE T.V. UTILITIES, WILL BE DESIGNED AND CONSTRUCTED BY OTHERS UNDER SEPARATE CONTRACTS AND PLANS.

**SITE BENCHMARK**

SURVEY CONTROL POINT  
MAG AND SHINER SET IN ASPHALT  
ELEVATION = 110.82'

**BENCHMARK**

CITY OF LOS ALTOS BM NO. 7  
ELEVATION= 108.954'

ANY DAMAGED RIGHT-OF-WAY INFRASTRUCTURES AND OTHERWISE DISPLACED CURB, GUTTER AND/OR PARKING STRIP SHALL BE REMOVED AND REPLACED AS DIRECTED BY THE CITY ENGINEER OR HIS DESIGNEE. CONTRACTOR SHALL COORDINATE WITH PUBLIC WORKS DEPARTMENT AT (650) 947-2680

**ENCROACHMENT PERMIT**  
NO PROPOSED CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY SHALL BEGIN UNTIL CITY REQUIREMENTS FOR THE ISSUANCE OF AN ENCROACHMENT PERMIT, INCLUDING REVIEW OF THE PLANS, HAVE BEEN MET AND AN ENCROACHMENT PERMIT ISSUED.

NEW SANITARY SEWER CLEANOUT SHALL BE INSTALLED IN LINE WITH EXISTING SANITARY SEWER LATERAL, THERE SHALL BE NO NEW TURNS INSTALLED AFTER PROPERTY LINE SANITARY SEWER CLEANOUT.

**SHEET INDEX**

<b>GRADING AND DRAINAGE PLAN</b>	<b>C-1</b>
<b>MISC. DETAILS</b>	<b>C-2</b>
<b>EROSION CONTROL PLAN</b>	<b>C-3</b>
<b>CITY STANDARD DETAILS</b>	<b>C-4</b>
<b>BLUEPRINT FOR A CLEAN BAY</b>	<b>C-5</b>

**DRAINAGE NOTE**

**LEGEND:**

- AREA DRAIN (CHRISTY BOX V-1) OR EQUAL
- CATCH BASIN (CHRISTY BOX V-24) OR EQUAL

**GENERAL NOTES:**

- A. CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND REPLACEMENT OF ALL PUBLIC IMPROVEMENTS DAMAGED DURING CONSTRUCTION.
- B. A SEPARATE ENCROACHMENT PERMIT IS REQUIRED FOR ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY.

**\*PAD ELEVATION**

REFER TO STRUCTURAL PLANS/ SOIL REPORT FOR SLAB SECTION, CRAWL SPACE SUBGRADE TO ESTABLISH PAD LEVEL.

**ABBREVIATION**

- AD AREA DRAIN
- CO CLEANOUT
- (E) EXISTING
- FG FINISH GRADE
- FL FLOW LINE
- FS FINISH SLAB
- INV INVERT
- (N) NEW
- SS SANITARY SEWER
- SSCO SANITARY SEWER CLEANOUT
- RDS ROOF DOWNSPOUT
- CB CATCH BASIN

**DESCRIPTION**

- PROPERTY LINE
- CENTERLINE
- SANITARY SEWER
- STORM DRAIN LINE
- WATER LINE
- UNDERGROUND ELEC. LINE
- DRAINAGE FLOW
- REMOVE TREE

**LEGEND**

- 
- 
- SS SS SS SS SS SS SS SS
- SS SS SS SS SS SS SS SS
- W W W W W W W W W W
- UE UE
- 
- ✕

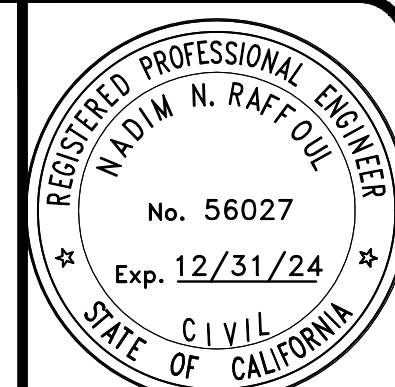
**EARTH WORK NOTE:**

THE CONTRACTOR SHALL STRICTLY ADHERE TO THE SOILS ENGINEER'S RECOMMENDATIONS ON STRIPPING AND SITE PREPARATION FOR ALL PERTINENT GRADING, PAVING AND TRENCH BACKFILL ON THIS SITE.

**NOTE:**

THE QUANTITIES ARE SHOWN FOR THE PURPOSE OF GRADING PERMIT APPROVAL FROM THE CITY OF LOS ALTOS AND ARE NOT TO BE USED FOR PAYMENT TO THE CONTRACTOR. CONTRACTOR SHALL ESTABLISH HIS OWN QUANTITIES.

APPROXIMATE CUT REQUIRED	0± CY
FILL REQUIRED	00± CY



**NR ENGINEERING**  
SERVICES CO.  
655 WEBBIDGE DRIVE  
SAN JOSE, CALIFORNIA 95128  
(408) 946-7985

284 ALVARADO AVENUE  
LOS ALTOS  
SANTA CLARA COUNTY APN: 170-17-018

**GRADING AND DRAINAGE PLAN**

**REVISIONS**

NO.	DATE

JOB NO:  
DATE: 11-5-2023  
SCALE: 1" = 10'

DRAWN BY: NR  
SHEET NO:  
**C-1**  
OF 5 SHEETS



Plant Legend					
Botanical	Common	Size	Qty	Water	Remarks
<b>Tree</b>					
Acer palmatum 'Emperor 1'	Emperor 1 Japanese Maple	24" box	1	Medium	
Acer palmatum 'Rubrum'	Red Japanese Maple	15 gal	1	Medium	Dwarf
Acer rubrum 'October Glory'	October Glory Red Maple	24" box	1	Medium	
Arbutus 'Marina'	Marina Strawberry Tree	24" box	1	Low	Or Fruitless Olive
Cercis occidentalis	Western Redbud	24" box	1	Very Low	
Citrus aurantifolia 'Bearss Seedless'	Bearss Seedless Lime	15 gal	1	Medium	Dwarf
Citrus sinensis 'Valencia'	Valencia Orange	15 gal	1	Medium	Dwarf
Citrus x 'Dwarf Meyer'	Dwarf Meyer Lemon	15 gal	1	Medium	
Olea europaea 'Swan Hill'	Swan Hill Olives® Tree	24" box	1	Very Low	Or Arbutus 'Marina'
Pistacia chinensis	Chinese Pistache	24" box	1	Low	
<b>Shrub</b>					
Coleonema pulchellum 'Compacta'	Dwarf Breath of Heaven	5 gal	3	Medium	
Dodonaea viscosa 'Purpurea'	Purple Hop Bush	5 gal	9	Low	
Heteromeles arbutifolia	Toyon	5 gal	3	Low	
Lantana montevidensis	Trailing Lantana	5 gal	7	Low	
Leucadendron 'Safari Sunset'	Safari Conebush	5 gal	3	Low	
Loropetalum chinense 'Rubrum'	Red Fringe Flower	5 gal	6	Low	
Nandina domestica	Nandina, Heavenly Bamboo	5 gal	5	Low	
Pittosporum tenuifolium	Blackstem Pittosporum	5 gal	17	Medium	
Polygala fru. 'Petite Butterfly'	Butterfly Pea Shrub	5 gal	4	Medium	
Prunus caroliniana 'Compacta'	Dwarf Carolina Laurel Cherry	5 gal	13	Low	
Rhaphiolepis indica 'Ballerina'	Rhaphiolepis Ballerina	5 gal	10	Low	
Sollya heterophylla	Australian Bluebell Creeper	5 gal	9	Low	
<b>Ground cover</b>					
Myoporum parvifolium	Ground Cover Myoporum	1 gal	18	Low	
Verbena 'Homestead Purple'	Homestead Purple Verbena	1 gal	14	Low	
<b>Perennial</b>					
Salvia 'Waverly'	Waverly Sage	5 gal	1	Medium	
<b>Grass</b>					
Calamagrostis 'Karl Foerster'	Karl Foerster Feather Reed Grass	5 gal	9	Medium	
Chondropetalum tectorum	Cape Rush	5 gal	3	Low	
Pennisetum 'Rubrum'	Purple Fountain Grass	5 gal	3	Low	
<b>Fern</b>					
Woodwardia fimbriata	Giant Chain Fern	5 gal	3	Medium	

**Plant Photos**



REVISIONS BY

**KAREN AITKEN & ASSOCIATES**  
LANDSCAPE ARCHITECTS

8262 Rancho Real Gentry Ca. 95020  
Calif. Reg. #2239 (408) 842-0245  
karen@kaa.design

**Ji-LIN RESIDENCE**  
284 Alvarado Avenue, Los Altos CA.

**LANDSCAPE PLAN**

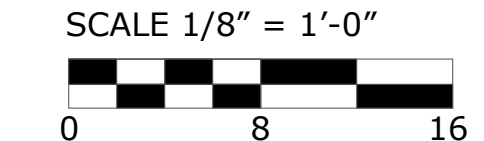


DATE 02-06-24  
SCALE 1/8" = 1'-0"  
DRAWN AA-SL  
JOB Ji-LIN

**L-1**

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\* NOTE: Refer to L-3 for Planting Details



\* NOTES (E) = Existing



REVISIONS	BY



**KAREN AITKEN & ASSOCIATES**  
**LANDSCAPE ARCHITECTS**  
 8262 Rancho Real Gilroy Ca. 95020  
 Calif. Reg. #2239 (408) 842-0245  
 karen@KAA.Design

**Ji-Lin Residence**  
 284 Alvarado Avenue, Los Altos CA.  
**IRRIGATION PLAN**

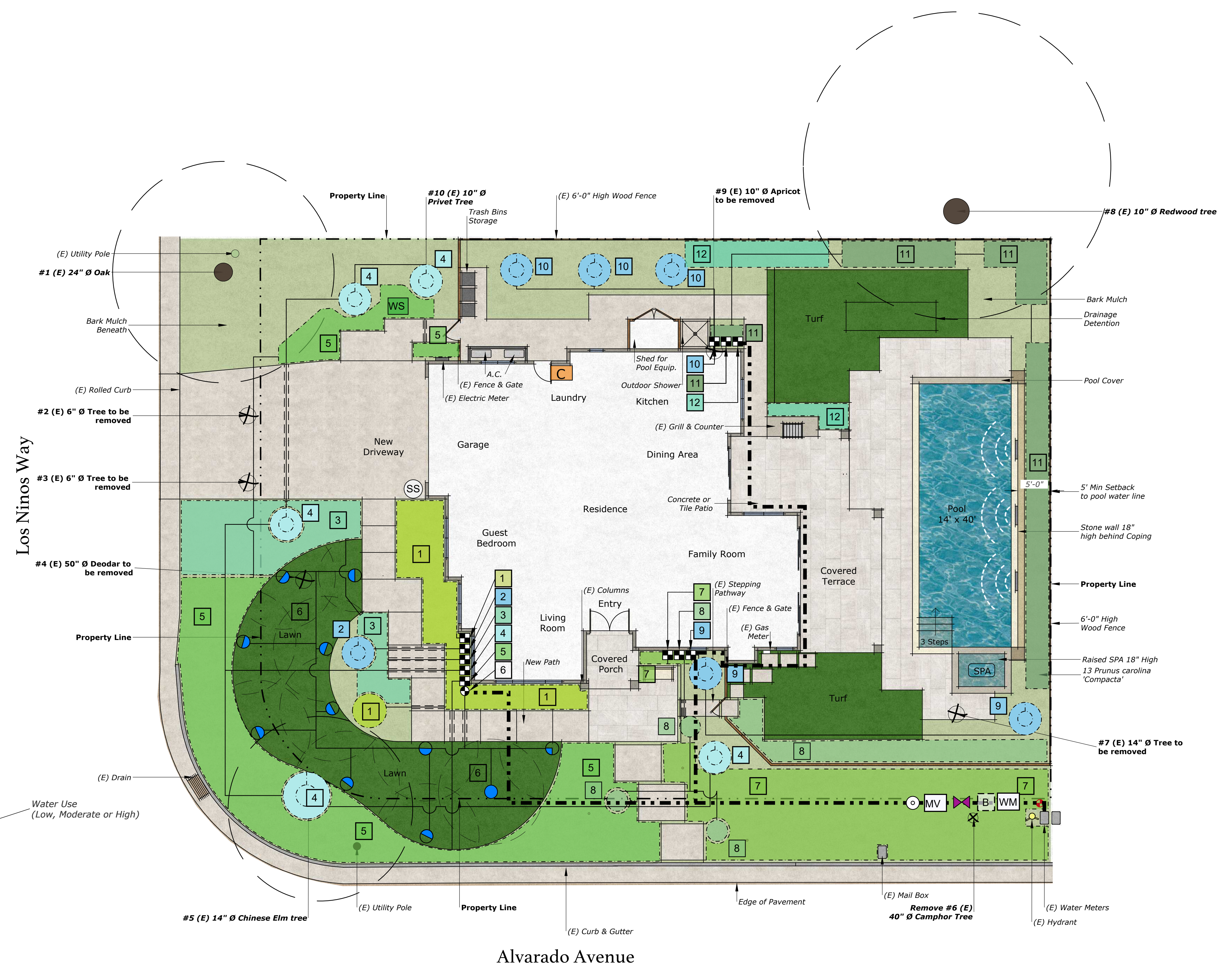


DATE	02-06-24
SCALE	1/8" = 1'-0"
DRAWN	SL
JOB	Ji-LIN

**L-2**

IRRIGATION KEY/ DOMESTIC	
	<b>Hunter PROS-06-PRS30</b> Turf Spray, 30 psi regulated 6.0" Pop-Up. Co-molded wiper seal with UV Resistant Material.
	Area to Receive Dripline HDL-06-12-CV: Hunter Dripline w/ 0.6 GPH emitters at 12" O.C. Check valve, dark brown tubing with gray striping. Dripline laterals spaced at 12" apart, with emitters offset for triangular pattern. Install with Hunter PLD barbed or PLD-LOC fittings.
	<b>Hunter ICV-G</b> 1", 1-1/2", 2", and 3" Plastic Electric Remote Control Valves, Globe Configuration, with NPT Threaded Inlet/Outlet, for Commercial/Municipal Use.
	<b>Hunter ICZ-101-25-LF</b> Drip Control Zone Kit. 1" ICV Globe Valve with 1" HY100 filter system. Pressure Regulation: 25psi. Flow Range: .5-15 GPM. 150 mesh stainless steel screen.
	<b>Superior Brass Valve 3100 1-1/2"</b> Master valve
	<b>Hunter ACC-1200</b> 12 Station Outdoor Modular Controller. No Module Required.
	<b>Hunter SOIL-CLIK Sensor</b> The Soil-Clík probe uses proven technology to measure moisture within the root zone. When the probe senses that the soil has reached its desired moisture level, it will shut down irrigation, preventing water waste.
	<b>Hunter Solar-Sync WSS-SEN</b> Solar, rain freeze sensor with outdoor interface, connects to Hunter PCC, Pro-C, and J-Core Controllers, install as noted. Includes 10 year lithium battery and rubber module cover, and gutter mount bracket. Wireless.
	<b>CST Flow Sensor - FSI-T10-001</b> Flow Sensor for use with ACC controller, 1" Schedule 40 Sensor Body, 24 VAC, 2 amp.
	<b>HUNTER HC FLOW METER 1 1/2"</b> New Irrigation Water Meter
	<b>Wilkins 975 XL2 1-1/2"</b> Lead-free Reduced Pressure Backflow Preventer
	<b>Gate Valve - Isolation Shut Off Valve</b>
	Irrigation Lateral Line: PVC Schedule 40
	Irrigation Mainline: PVC Schedule 40
	Pipe Sleeve: PVC Class 200 Typical pipe sleeve for irrigation pipe. Pipe sleeve size shall allow for irrigation piping and their related couplings to easily slide through sleeving material. Extend sleeves 18 inches beyond edges of paving or construction.

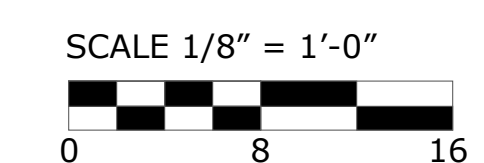
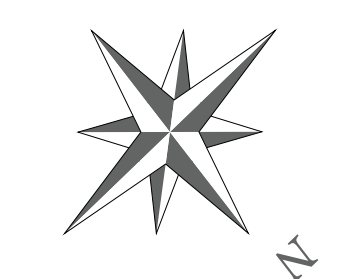
Hydrozones	
	290 SF Low Water Drip
	28 SF Med. Water Drip
	317 SF Med. Water Drip
	140 SF Low Water Drip
	998 SF Low Water Drip
	929 SF High Water Spray
	858 SF Low Water Drip
	218 SF Med. Water Drip
	56 SF Med. Water Drip
	84 SF Med. Water Drip
	386 SF Low Water Drip
	139 SF Med. Water Drip



**"I have complied with the criteria of the Water Conservation in Landscaping Ordinance and applied them accordingly for the efficient use of water in the landscape & irrigation design plans."**

*Karen Aitken*

**\* NOTE: Refer to L-3 for Water Calculations & Irrigation Details**







**KAREN AITKEN & ASSOCIATES**  
**LANDSCAPE ARCHITECTS**  
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 karen@KAA.Design

**JJ-LIN RESIDENCE**  
 284 Alvarado Avenue, Los Altos CA.  
**PLANTING & IRRIGATION DETAILS**



DATE 02-06-24  
 SCALE  
 DRAWN SL  
 JOB JJ-LIN

**MAWA EPPT and ETWU Calculations**

Project Name: Ji-Lin Residence  
 Project Location: 284 Alvarado Avenue, Los Altos, CA.  
 Total Landscape Area: 4,443.0 sq. ft.  
 Date: 02/06/2024

**MAWA CALCULATION**  
 $MAWA = (Eto)(.62)[(0.55xLA) + (1-ETAF x SLA)]$

MAWA = Maximum Applied Water Allowance (gallons per year)  
 Eto = Reference Evapotranspiration (inches per year)  
 .62 = Conversion Factor (to gallons)  
 0.55 = Et Adjustment Factor (ETAF)  
 LA = Landscape Area including SLA (square feet)  
 0.45 = Additional Water Allowance for SLA  
 SLA = Special Landscape Area (square feet)

Eto =	43.1
Conversion	0.62
ETAF =	0.55
LA =	4,443
SLA =	0
<b>MAWA =</b>	<b>65,299.2</b> gallons per year
	<b>8,729.8</b> cubic feet per year

**MAWA with EPPT**  
 $MAWA = (Eto-Eppt)(.62)[(0.55xLA) + (1-ETAF x SLA)]$

Eto =	43.1
Eppt =	3.77
ETAF =	0.55
LA =	4,443
SLA =	0
<b>MAWA w/ EPPT =</b>	<b>59,611.8</b> gallons per year
	<b>7,969.5</b> cubic feet

**ETWU CALCULATION**  
 $ETWU = (Eto)(.62)[(PF/IE)(LA)]$

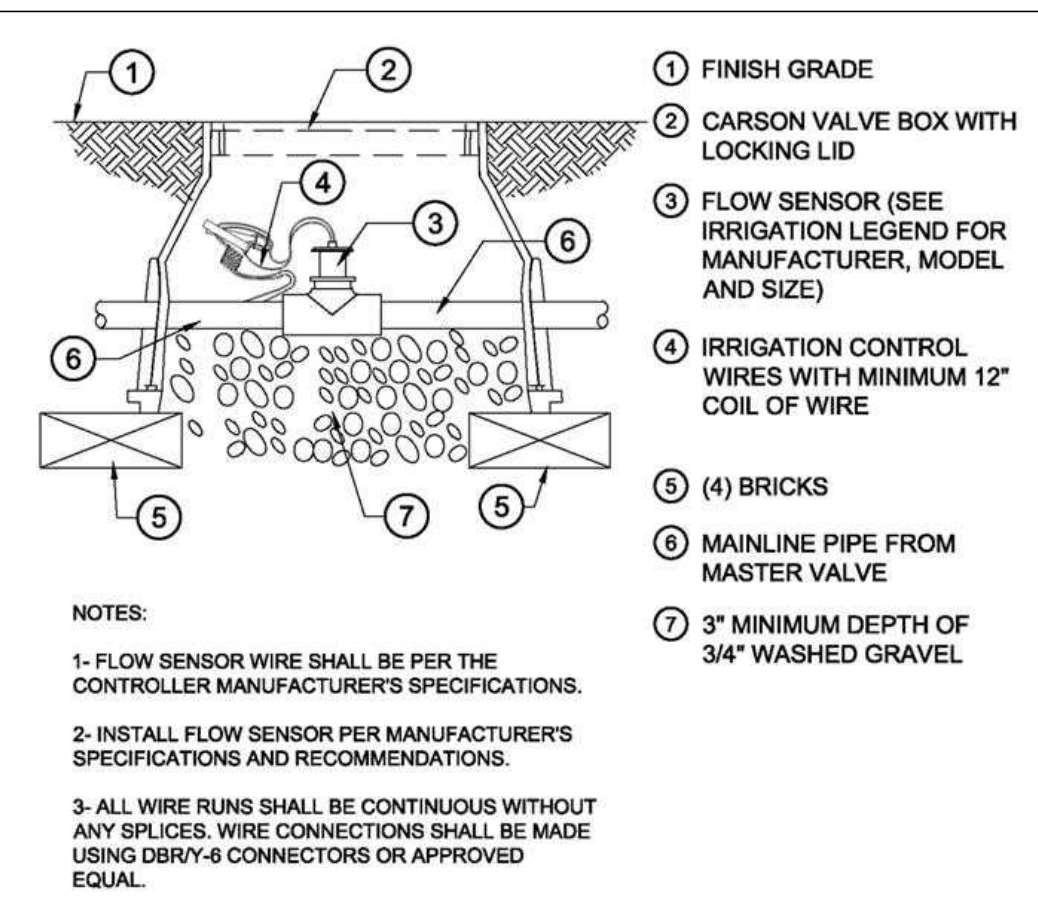
ETWU = Estimated Total Water Use Per Year (gallons)  
 Eto = Reference Evapotranspiration  
 PF = Plant Factor from WUCOLS (Region 2, Water Use: H 0.7 - 0.9, M 0.4 - 0.6, L 0.1 - 0.3, VL < 0.1, All Turf 0.8)  
 LA = Landscape Area (High, Medium, and low water use areas) (square feet)  
 SLA = Special Landscape Area  
 .62 = Conversion Factor  
 IE = Irrigation Efficiency (drip spray and bubblers .81, sub surface .81, spray sprinklers .75)  
 ET Adjustment Factor (ETAF) .55 for Residential and .45 for Non Residential

Reference Evapotranspiration (Eto)	43	Palo Alto, CA
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REGULAR LANDSCAPE AREAS							
Hydrozone #/ Plant Description	Irrigation Method	Plant Factor (PF)	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscape Area (sq. ft)	ETAF x Area	ETWU
1) Low Water Use/ Shrubs	Drip	0.2	0.81	0.24691358	290.0	71.6	1,909.0
2) Med. Water Use/ Trees	Drip	0.4	0.81	0.49382716	28.0	13.8	368.6
3) Med. Water Use/ Shrubs	Drip	0.3	0.81	0.37037037	317.0	117.4	3,130.1
4) Low Water Use/ Trees	Drip	0.3	0.81	0.37037037	140.0	51.9	1,382.4
5) Low Water Use/ Shrubs	Drip	0.2	0.81	0.24691358	696.0	246.4	6,589.9
6) High Water Use/ Lawn	Spray	0.8	0.75	1.06666667	929.0	980.9	28,418.3
7) Low Water Use/ Shrubs	Drip	0.2	0.81	0.24691358	858.0	211.9	5,648.0
8) Med. Water Use/ Shrubs	Drip	0.3	0.81	0.37037037	218.0	80.7	2,152.9
9) Med. Water Use/ Trees	Drip	0.4	0.81	0.49382716	56.0	27.7	737.3
10) Med. Water Use/ Trees	Drip	0.4	0.81	0.49382716	84.0	41.5	1,105.9
11) Low Water Use/ Shrubs	Drip	0.2	0.81	0.24691358	386.0	95.3	2,540.9
10) Med. Water Use/ Shrubs	Drip	0.3	0.81	0.37037037	139.0	51.5	1,372.5
<b>Total sq. ft.</b>					<b>4,443.0</b>	<b>2,000.6</b>	<b>53,335.0</b>

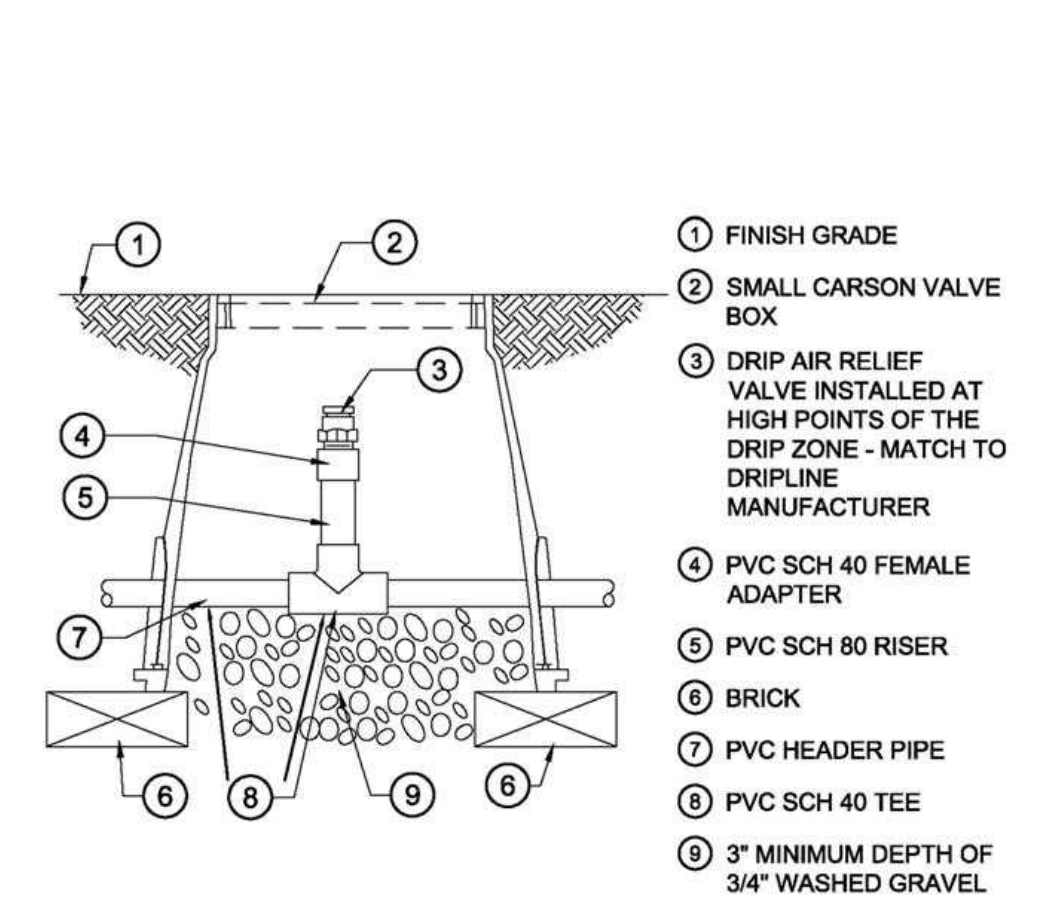
SPECIAL LANDSCAPE AREAS							
Hydrozone #/ Plant Description	Irrigation Method	Plant Factor (PF)	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscape Area (sq. ft)	ETAF x Area	ETWU
				1	0	0	0.0
<b>Totals</b>					<b>0</b>	<b>0</b>	<b>0.0</b>
<b>ETWU TOTAL</b>							<b>53,335.0</b>
<b>MAWA</b>							<b>65,299.2</b>

**ETAF CALCULATIONS**  
 Regular Landscape Areas  
 Total ETAF x Area 2,000.6  
 Total Area 4,443.0  
 Average ETAF 0.45  
 Average ETAF for Regular Landscape Areas must be .55 or below for residential areas, and .45 or below for non residential areas.

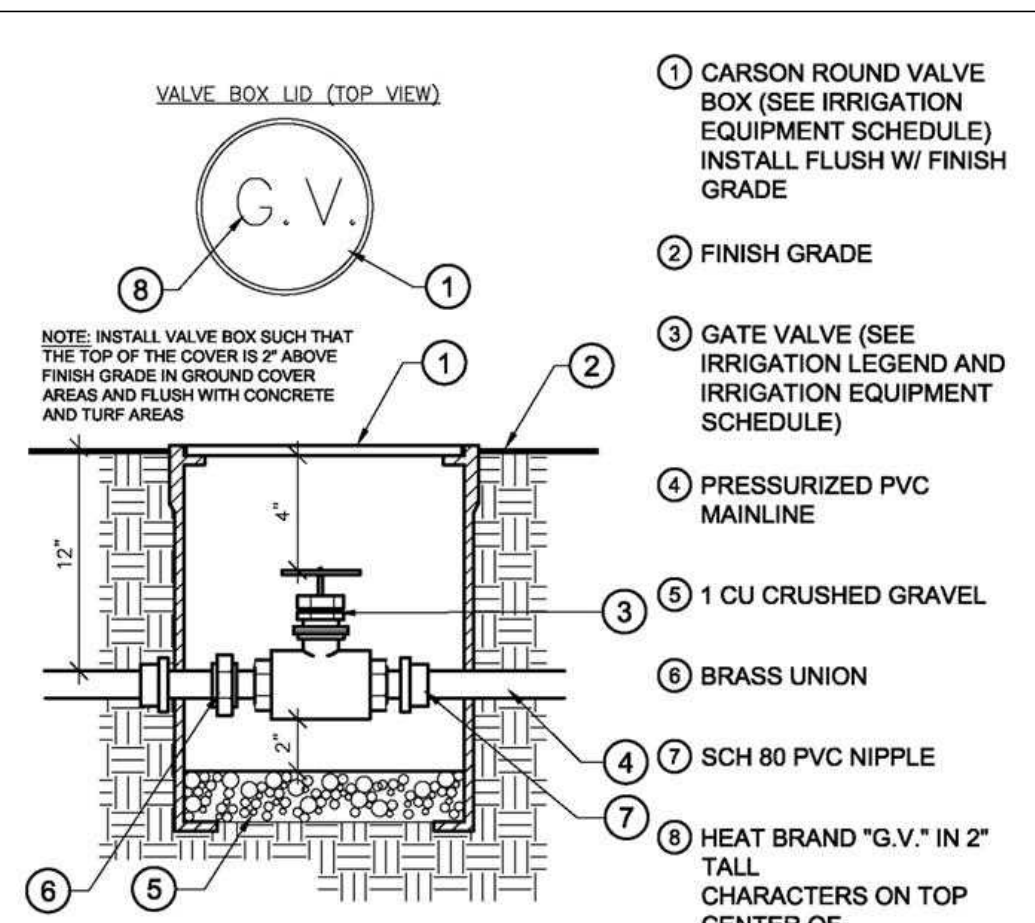


**FLOW SENSOR**

NOTES:  
 1- FLOW SENSOR WIRE SHALL BE PER THE CONTROLLER MANUFACTURER'S SPECIFICATIONS.  
 2- INSTALL FLOW SENSOR PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.  
 3- ALL WIRE RUNS SHALL BE CONTINUOUS WITHOUT ANY SPLICES. WIRE CONNECTIONS SHALL BE MADE USING DBRY-6 CONNECTORS OR APPROVED EQUAL.

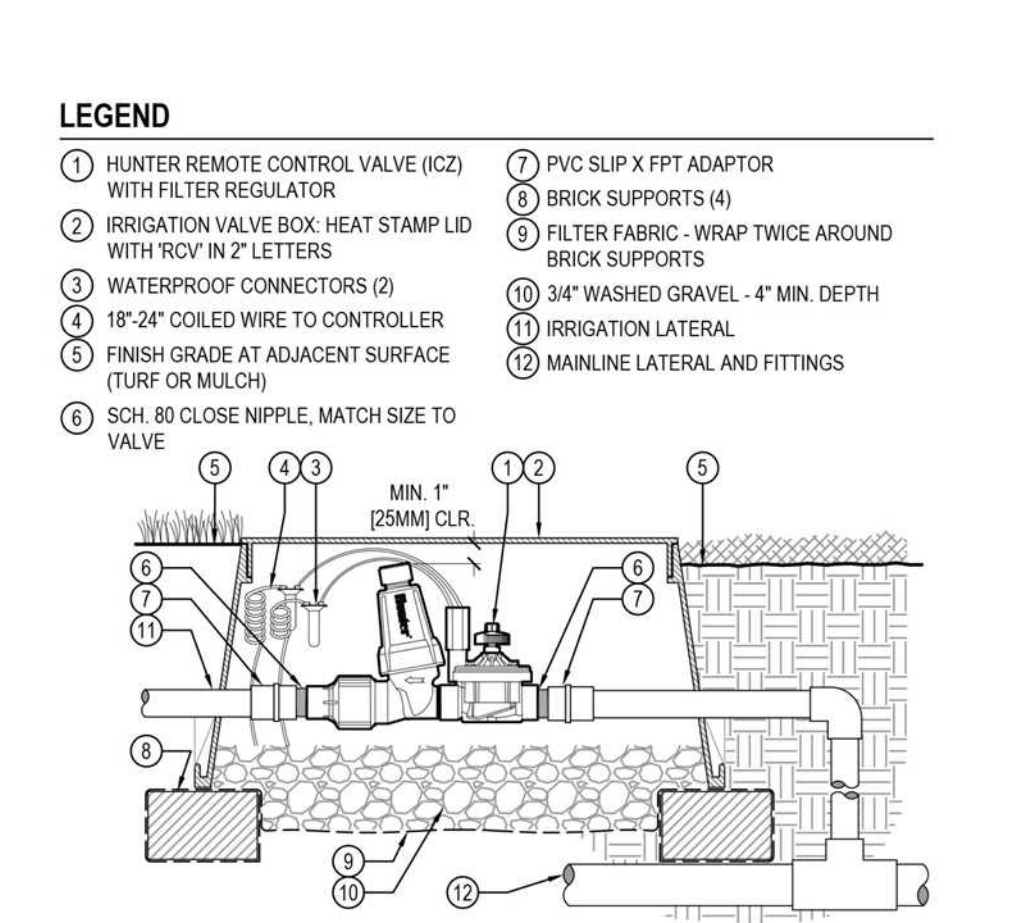


**AIR RELIEF VALVE IN PVC HEADER**



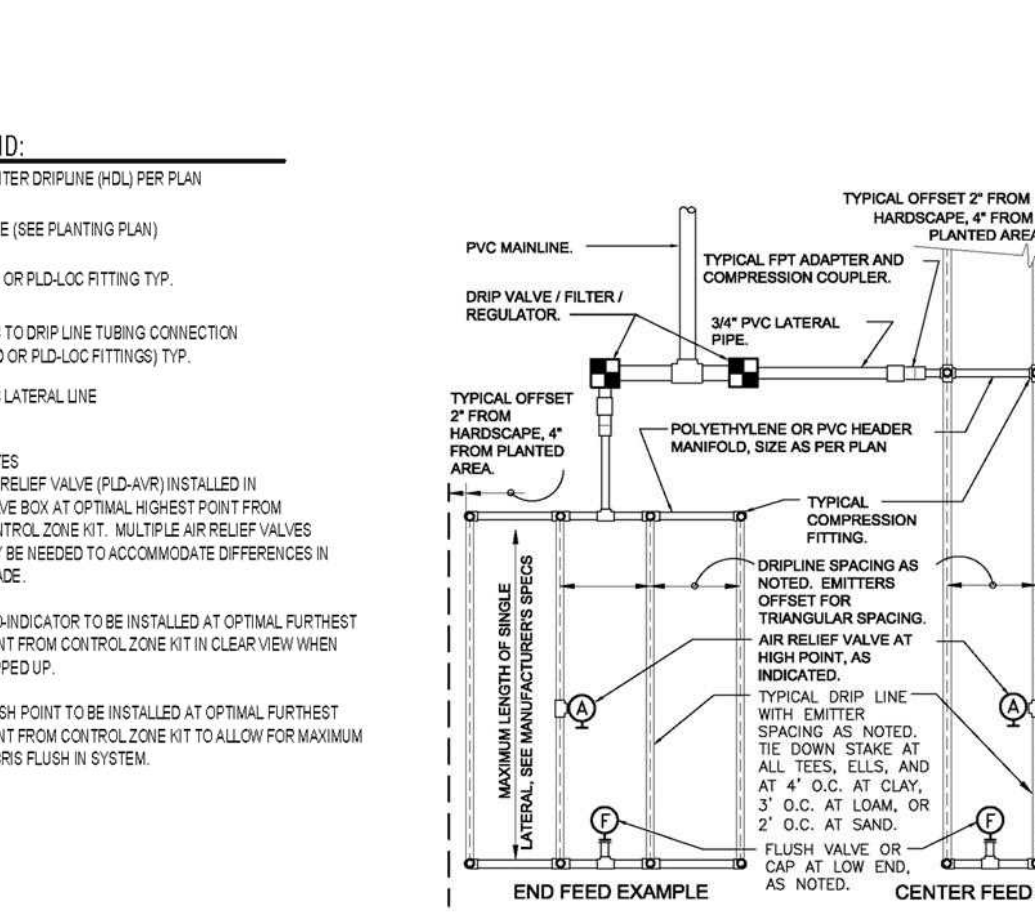
**ISOLATION SHUT OFF VALVE**

NOTE: INSTALL VALVE BOX SUCH THAT THE TOP OF THE COVER IS ABOVE FINISH GRADE IN GRASS COVER AREAS AND FLUSH WITH CONCRETE AND TURF AREAS



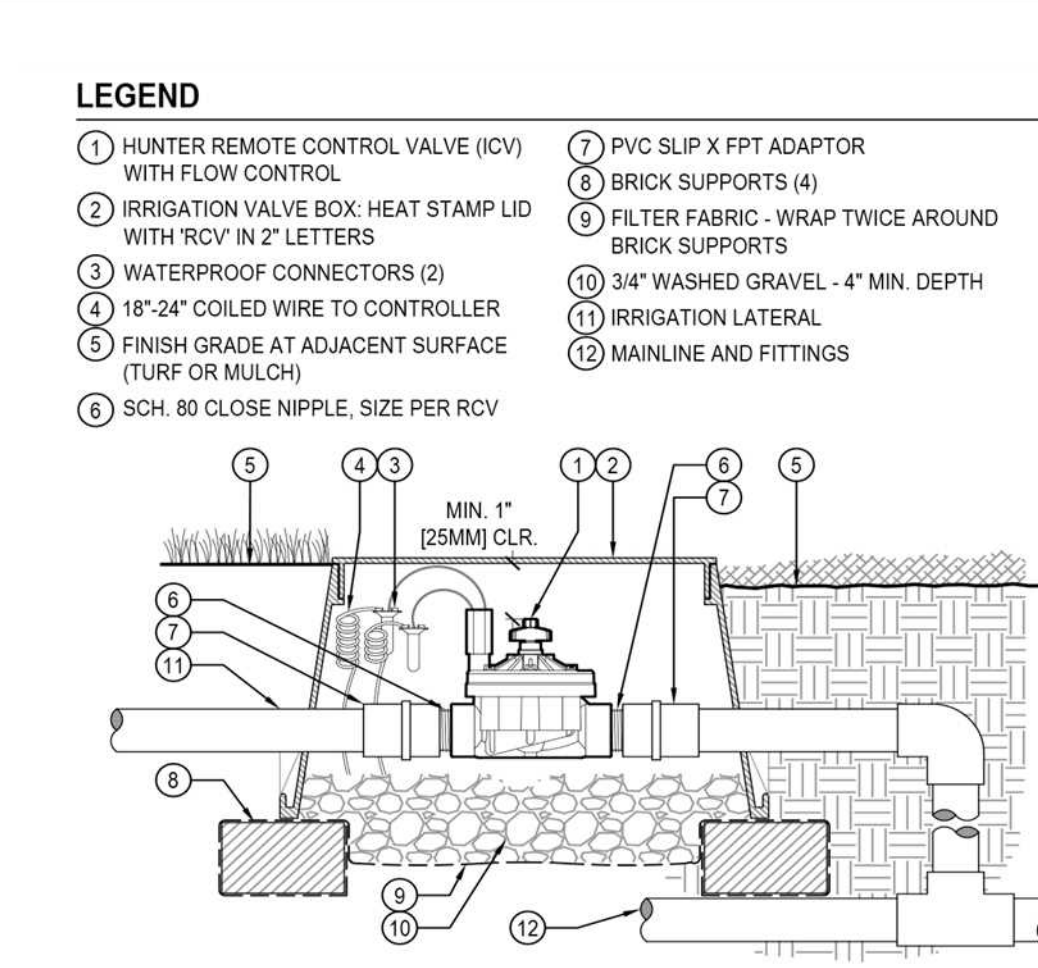
**DRIP CONTROL ZONE KIT (ICZ-101-LF)**

Hunter V.ICZ.01 NO SCALE



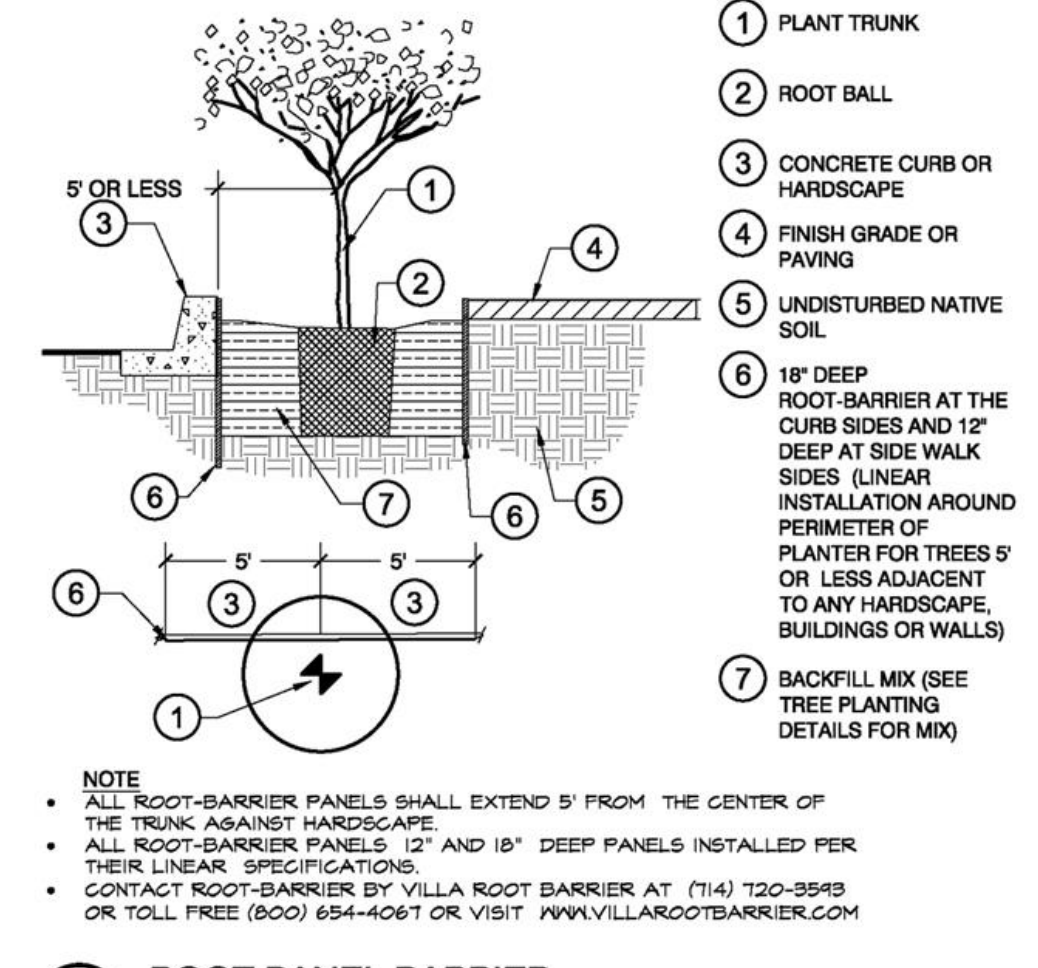
**TYPICAL DRIPLINE LAYOUT**

NOT TO SCALE



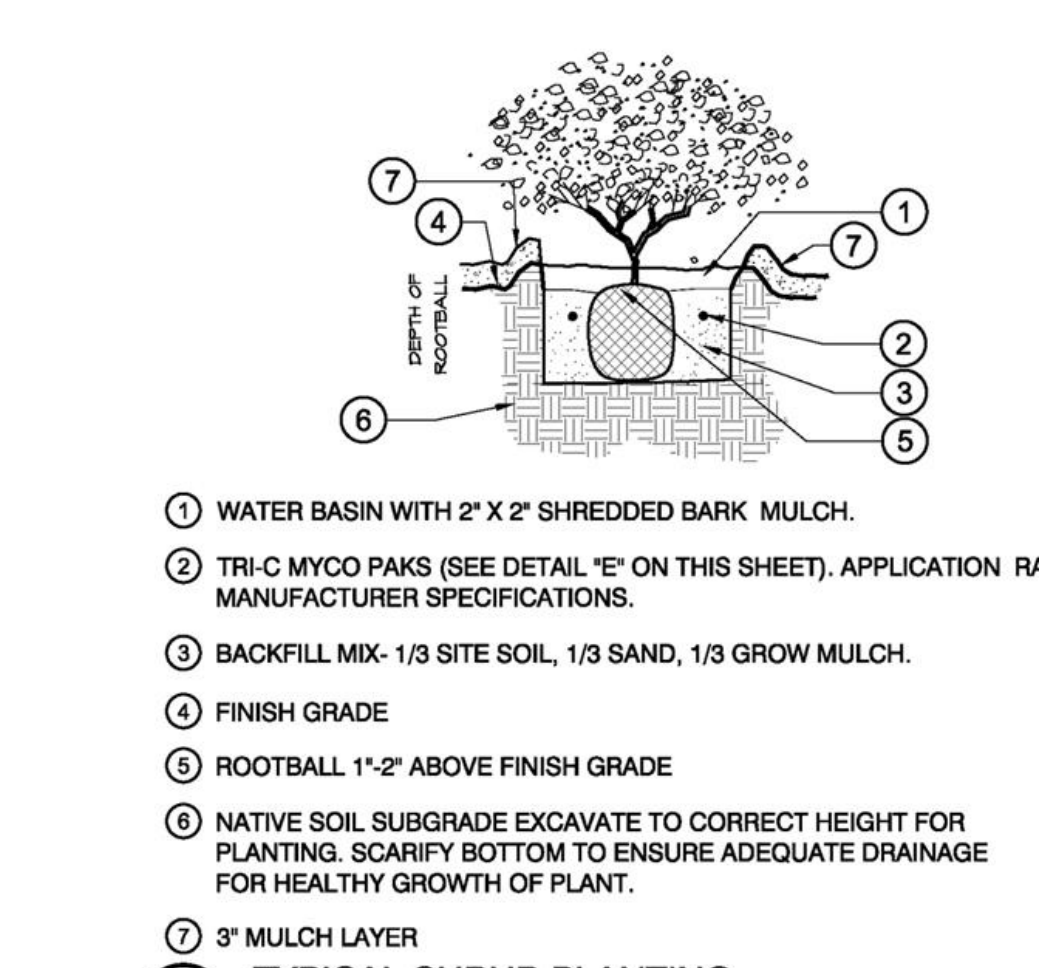
**IN-LINE VALVE (ICV-151G)**

Hunter V.ICV.05 NO SCALE



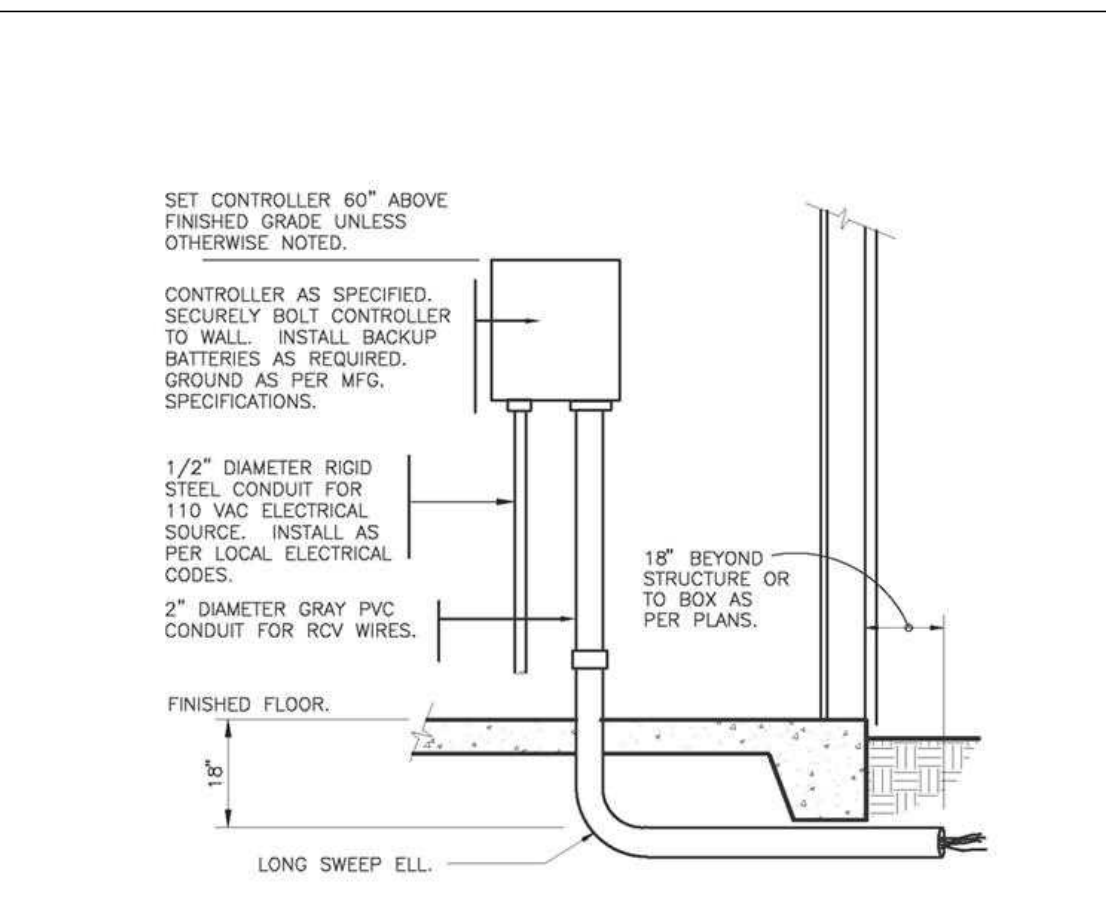
**ROOT PANEL BARRIER**

NOTE:  
 ALL ROOT-BARRIER PANELS SHALL EXTEND 5' FROM THE CENTER OF THE TRUNK AGAINST HARDSCAPE.  
 ALL ROOT-BARRIER PANELS 12\"/>



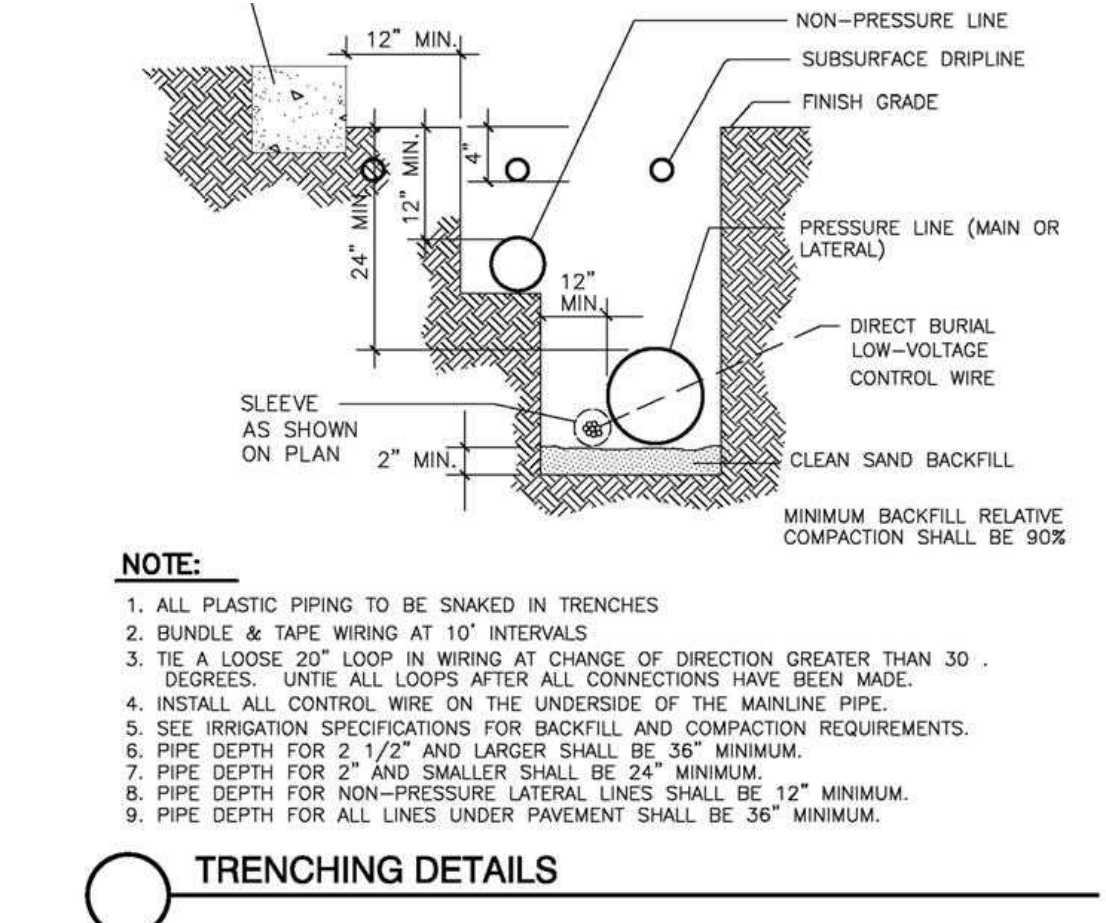
**TYPICAL SHRUB PLANTING**

NOTE:  
 ALL ROOT-BARRIER PANELS SHALL EXTEND 5' FROM THE CENTER OF THE TRUNK AGAINST HARDSCAPE.  
 ALL ROOT-BARRIER PANELS 12\"/>



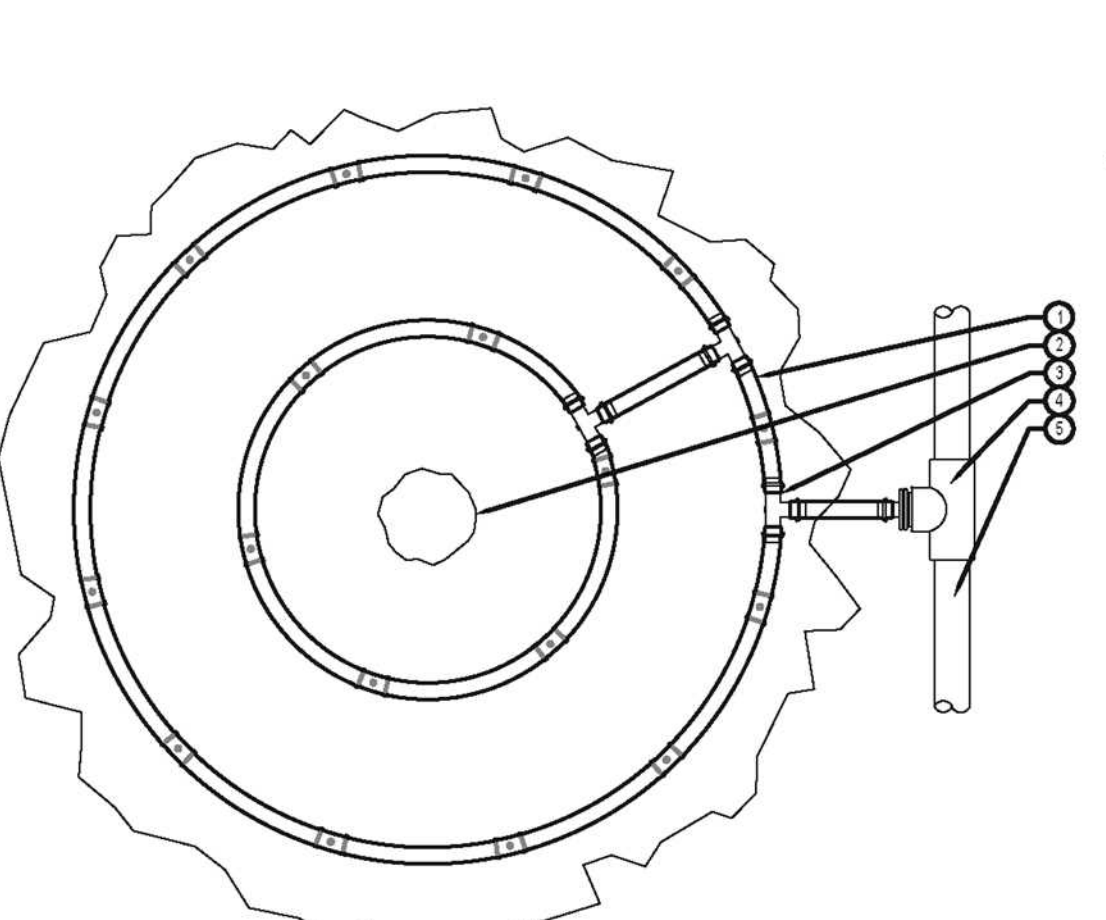
**INTERIOR WALL MOUNT CONTROLLER**

SET CONTROLLER 60\"/>



**TRENCHING DETAILS**

NOTE:  
 1. ALL PLASTIC PIPING TO BE SNAKED IN TRENCHES  
 2. BUNDLE & TAPE WIRING AT 10\"/>



**HUNTER DRIPLINE - TREE RING LARGE SPECIMEN**

Hunter HM.HDL.10 NOT TO SCALE



**POP-UP BUBBLER ON SWING JOINT**

NO SCALE