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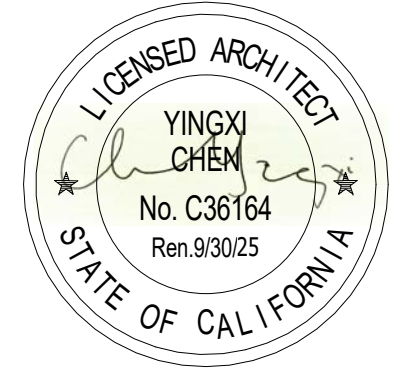
GENERAL REQUIREMENTS

- ALL WORK PERFORMED SHALL COMPLY WITH THESE GENERAL NOTES (UNLESS OTHERWISE NOTED ON PLANS)
- ON SITE VERIFICATIONS OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. GIVEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED MEASUREMENTS AND DETAILS OVER GENERAL DRAWINGS.
- FINAL GRADING SHALL NOT BE DONE UNTIL JOB IS NEARLY COMPLETE AND ALL DEBRIS HAS BEEN CLEARED FROM SITE. GRADE AND PAVE TO LEVEL SHOWN OR DERECTED AND PROVIDE UNIFORM DRAINAGE AWAY FROM THE STRUCTURE, 2% MINIMUM AWAY FROM FOUNDATION.
- PROJECT MUST MEET TITLE 24 REQUIREMENTS PER CALGREEN
- THIS SET HAS BEEN PRODUCED FOR THE PURPOSE OF DESIGN REVIEW APPROVAL. THESE DRAWINGS ARE NOT INTENDED TO BE ACCURATE "AS-BUILTS", NOR INCLUSIVE OF ALL DETAILS. DRAWINGS, MATERIAL SPECIFICATIONS, ETC. NEED TO ADDRESS ALL POSSIBLE CONSTRUCTION ISSUES. THE ARCHITECT HAS PREPARED THESE DOCUMENTS ONLY FOR THE IMPROVEMENTS AND CONSTRUCTION NOTED, INDICATED OR SHOWN AS "NEW" WORK AND ASSUMES NO RESPONSIBILITY FOR ALL OTHER CONSTRUCTION, MATERIALS OR EQUIPMENT NOTED, INDICATED OR SHOWN AS "EXISTING" OR AS PROVIDED "BY OTHERS"
- THE DOCUMENTS PREPARED BY THESE CONSULTANTS ARE AN INTEGRAL PART OF THE ARCHITECTURAL CONSTRUCTION DOCUMENTS AND SHALL BE INCORPORATED INTO THIS SET BY REFERENCE, I.E., TITLE 24, STRUCTURAL CALCULATIONS, ETC. THE MOST STRINGENT REQUIREMENTS SHALL BE FOLLOWED. THE CONTRACTOR SHALL OBTAIN CURRENT COPIES OF ALL DOCUMENTS, READ, UNDERSTAND AND CONFIRM ANY CONFLICTS OR DISCREPANCIES OR QUESTIONS WITH APPROPRIATE CONSULTANTS.
- REVIEW OF THIS DEVELOPMENTAL PROPOSAL IS LIMITED TO ACCEPTABILITY OF SITE ACCESS, WATER SUPPLY AND MAY INCLUDE SPECIFIC ADDITIONAL REQUIREMENTS AS THEY PERTAIN TO FIRE DEPARTMENT OPERATIONS, AND SHALL NOT BE CONSTRUED AS A SUBSTITUTE FOR FORMAL PLAN REVIEW TO DETERMINE COMPLIANCE WITH ADOPTED MODEL CODES. PRIOR TO PERFORMING ANY WORK, THE OWNERS SHALL MAKE APPLICATION TO AND RECEIVE FROM THE BUILDING DEPARTMENT ALL APPLICABLE CONSTRUCTION PERMITS.
- CONSTRUCTION SITE FIRE SAFETY: ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 33 AND FIRE DEPARTMENT STANDARD DETAIL AND SPECIFICATION SI-7.

OTIS RESIDENCE ADDITION- TWO STORY SINGLE FAMILY RESIDENCE 16 OTIS WAY, LOS ALTOS, CA



739 SEMINOLE WAY // PALO ALTO, CALIFORNIA 94303 // T 916-872-0396



OTIS RESIDENCE
APN:189-35-038

NITING QI/
HUAPENG ZHOU

16 OTIS WAY,
LOS ALTOS, CA 94022

REVISIONS

1 REVISION 1 1/30/24

DESIGN REVIEW

JOB NO. _____
 DRAWN Y.C.
 DATE 11/17/2023
 SCALE _____
 FILENAME _____

A0

PROJECT INFORMATION

APPLICABLE CODES

2022 CALIFORNIA CODE OF REGULATIONS (CCR), TITLE 24 , CALIFORNIA BUILDING STANDARDS COMMISSION (CBCS)

- PART 1 - CALIFORNIA ADMINISTRATIVE CODE
- PART 2 , VOLUME 1 OF 2 - CALIFORNIA BUILDING CODE - (CBC)
- PART 2 , VOLUME 2 OF 2 - CALIFORNIA BUILDING CODE - (CBC)
- PART 2.5 CALIFORNIA RESIDENTIAL CODE - (CRC)
- PART 3 - CALIFORNIA ELECTRICAL CODE - (CEC)
- PART 4 - CALIFORNIA MECHANICAL CODE - (CMC)
- PART 5 - CALIFORNIA PLUMBING CODE - (CPC)
- PART 6 - CALIFORNIA ENERGY CODE
- PART 7 - (NO LONGER PUBLISHED, REFER TO TITLE 8)
- PART 8 - CALIFORNIA HISTORICAL BUILDING CODE
- PART 9 - CALIFORNIA FIRE CODE (CFC)
- PART 10 - CALIFORNIA EXISTING BUILDING CODE
- PART 11 - CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN)
- PART 12 - CALIFORNIA REFERENCED STANDARDS CODE

ALONG WITH ANY OTHER LOCAL AND STATE LAWS AND REGULATIONS

PROJECT SUMMARY

PROJECT DESCRIPTION
 DEMOLISH THE EXISTING ONE STORY RESIDENCE AND BUILD A NEW TWO-STORY WITH A DETACHED ADU. RESIDENCE. THE 5 BR 5 BATH TWO-STORY SINGLE FAMILY RESIDENCE INCLUDES 3,258 HABITABLE LIVING AREA AND 380 SF NON-HABITABLE AREA, TOTALING 3,638 S.F. THE 2 BEDROOM 2 BATH ADU IS 848 SF.

ADDRESS: 16 OTIS WAY
 APN: 189-35-038
 ZONING: R-1-10
 FLOOD ZONE: X
 CONSTRUCTION TYPE: VB
 OCCUPANCY TYPE: R-3/U (SINGLE FAMILY RESIDENCE)
 FIRE SPRINKLERS: YES
 LOT SIZE: 10,398 +/- SF
 PARKING: 2 COVERED

ZONING COMPLIANCE			
	EXISTING	PROPOSED	REQUIRED
LOT COVERAGE	2,076 SF	2,638 SF	3,119 SF
	20.4%	25.4%	30%
FLOOR AREA			
1 ST FLR	2,076 SF	2,445 SF	-
2 ND FLR	0 SF	1,193 SF	-
TOTAL	2,076 SF	3,638 SF	3,639 SF
	30.6%	34.9%	35%
SETBACK			
FRONT	30'-0"	25'-1"	25'
REAR	50'-11"	40'-7"	25'
RIGHT SIDE (1 ST /2 ND)	10'-2" / -	12'-1" / 21'-1"	10'-0" / 17'-6"
LEFT SIDE (1 ST /2 ND)	12'-2" / -	10'-2" / 21'-7"	10'-0" / 17'-6"
HEIGHT OF STRUCTURE	14'-8"	25'-9"	27'

SQUAREFOOTAGE BREAKDOWN			
	EXISTING	CHANGE IN	TOTAL PROPOSED
HABITABLE LIVING AREA	1,524 SF	1,734 SF	3,258 SF
NON-HABITABLE AREA	552 SF	-172 SF	380 SF
LOT CALCULATIONS			
NET LOT AREA	10,398 SF		
FRONT YARD HARDSCAPE AREA	882 SF (44%)		
LANDSCAPE BREAKDOWN			
TOTAL HARDSCAPE AREA:		6,077 SF	
		(INCLUDING 848 SF ADU)	
EXISTING SOFTSCAPE AREA:	2,277 SF		
NEW SOFTSCAPE AREA:		2,044 SF	

DEFERRED SUBMITTAL

CONTRACTOR SHALL PROVIDE AND SUBMIT ENGINEERING CALCULATIONS, SHOP DRAWINGS AND OTHER EXHIBITS AND PAY PLAN CHECK FEES REQUIRED FOR DEFERRED SUBMITTAL WORK AND TO OBTAIN PERMITS PRIOR TO COMMENCING INSTALLATION OF THE WORK ON SITE.

- RESIDENTIAL FIRE SPRINKLER SYSTEM IS REQUIRED ACCORDANCE WITH NEPA 13D AND STATE AND LOCAL REQUIREMENTS

DRAWING INDEX

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- L.03 IRRIGATION AND HYDROZONE

PROJECT TEAM

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 NITING QI/ HUAPENG ZHOU
 16 OTIS WAY
 LOS ALTOS, CA 94022

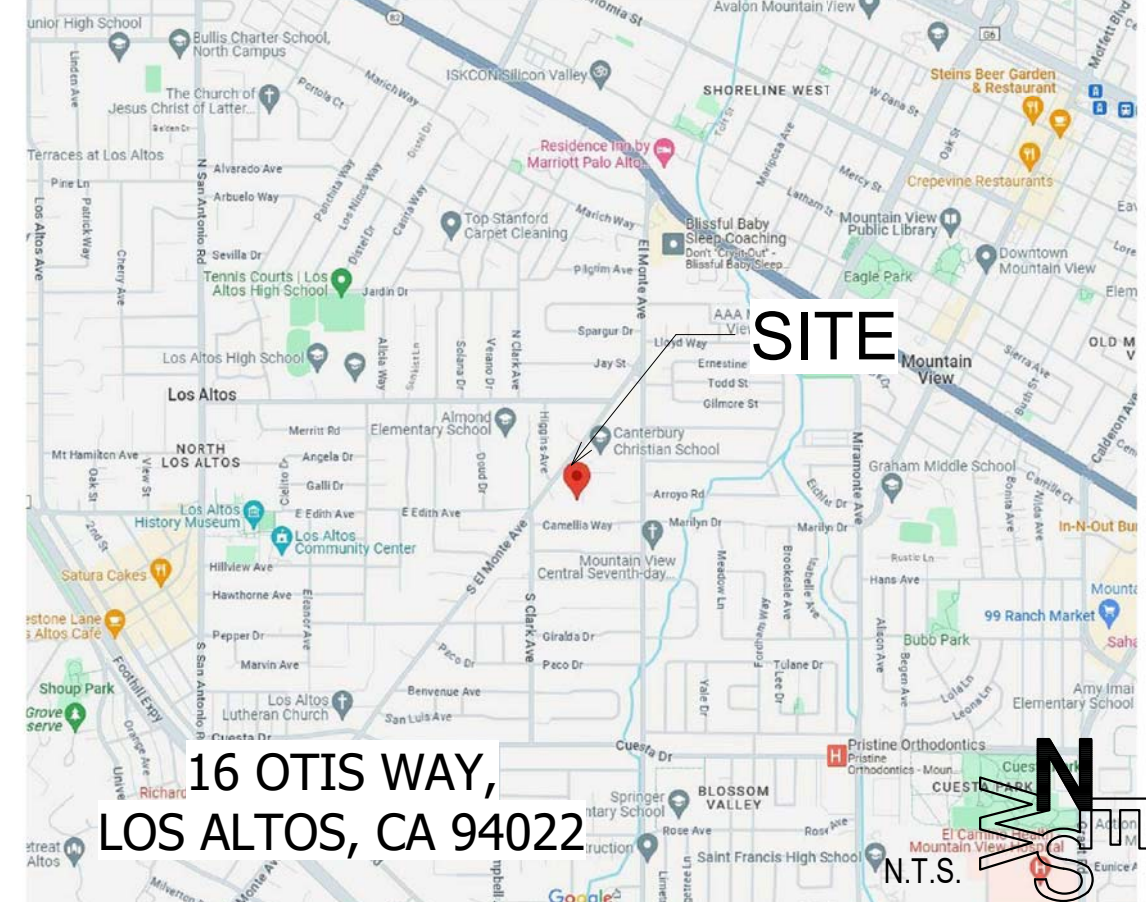
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 LANDSCAPEDSIGNJZ@GMAIL.COM

PROJECT VICINITY MAP



PROJECT INFORMATION

GENERAL NOTES

- EXISTING ELEMENTS TO BE REMOVED OR MODIFIED SHOWN DASHED, TYPICAL.
- PRIOR TO DEMOLITION, WALK THROUGH WITH OWNER AND VERIFY ANY REMOVED PLUMBING, LIGHTING, FINISHES, WINDOWS, DOORS, ETC. TO BE SAVED FOR REUSE OR RELOCATION.
- VERIFY CITY RECD WASTE DIVERSION PROGRAMS FOR DEMOLITION & CONSTRUCTION DEBRIS PRIOR TO DEMOLITION.
- PROVIDE DUCT SCREENING AS NECESSARY TO PROTECT UNTOUCHED AREAS DURING CONSTRUCTION.
- SEAL OFF DUCT OPENINGS & VENTS PRIOR TO DEMOLITION & THROUGHOUT CONSTRUCTION TO PREVENT DUST INFILTRATION.
- PRIOR TO DEMOLITION, VERIFY COMPLIANCE WITH EPA RECD PRACTICES & CERTIFICATION FOR LEAD CONTAMINATION. CONTRACTORS TO PROVIDE ALL WORK IN COMPLIANCE WITH REQUIRED LEAD-SAFE WORK PRACTICES, PROJECT DOCUMENTATION, AND PROFESSIONAL CERTIFICATIONS.
- THE ARCHITECT HAS NOT BEEN RETAINED TO SURVEY FOR OR OTHERWISE DISCOVER THE PRESENCE OF HAZARDOUS MATERIALS INCLUDING BUT NOT LIMITED TO ASBESTOS, ASBESTOS PRODUCTS, PCBs OR OTHER TOXIC SUBSTANCES. THE ARCHITECT IS NOT RESPONSIBLE FOR THE HANDLING, REMOVAL OR DISPOSAL OF OR EXPOSURE OF PERSONS TO HAZARDOUS MATERIALS IN ANY FORM AT THE PROJECT SITE. OWNER HEREBY WARRANTS THAT IF IT KNOWS OR HAS ANY REASON TO KNOW OR HAS ANY REASON TO ASSUME OR SUSPECT THAT HAZARDOUS MATERIALS EXIST AT THE PROJECT SITE, THAT IT WILL INFORM THE ARCHITECT AND THAT OWNER WILL CAUSE SUCH ITEMS TO BE REMOVED OR TREATED BY A PROFESSIONAL AND LICENSED ASBESTOS ABATEMENT CONTRACTOR IN A MANNER PRESCRIBED BY ALL APPLICABLE CODES AND REGULATIONS.
- ELECTRICAL PANEL/METER VERIFY SIZE AND LOCATION 200AMPS PROVIDE MINIMUM 8" LINE FROM NEAREST POINT OF CONNECTION THROUGH FRONTAGE IF EXISTING WATER LINE IS LESS THAN SIX INCHES.
- PROVIDE MINIMUM 8" LINE FROM NEAREST POINT OF CONNECTION THROUGH FRONTAGE IF NO SEWER LINE EXISTS.
- ALL GRDES TO REMAIN NATURAL.
- ALL EXISTING CRACKED OR DAMAGED FEATURES ALONG THE PROPERTY FRONTAGE MUST BE REPAIRED IN KIND. ALL FRONTAGE IMPROVEMENT WORK SHALL BE IN ACCORDANCE WITH THE LATEST VERSION OF THE CITY STANDARD DETAILS. ANY FRONTAGE IMPROVEMENTS WHICH ARE DAMAGED AS A RESULT OF CONSTRUCTION WILL BE REQUIRED TO BE REPLACED.
- THE EXISTING DRIVEWAY APPROACH SHALL BE REPLACED WITH CITY STANDARD DRIVEWAY.
- THE DAMAGED SIDEWALK SHALL BE REPLACED WITH CITY STANDARD SIDEWALK.
- THE DAMAGED EXISTING CURB AND GUTTER SHALL BE REPLACED WITH CITY STANDARD CURB AND GUTTER.
- COORDINATE WITH LOS ALTOS MUNICIPAL WATER AND THE FIRE DEPARTMENT TO DETERMINE WHETHER A LARGER SERVICE LATERAL AND / OR METER IS REQUIRED.
- AN ENCROACHMENT PERMIT FROM THE ENGINEERING DIVISION IS REQUIRED PRIOR TO ANY CONSTRUCTION ACTIVITIES IN THE PUBLIC RIGHT OF WAY.
- AC EQUIPMENT MUST HAVE A SETBACK THAT COMPLIES WITH THE CITY'S NOISE CONTROL ORDINANCE (AIR CONDITIONER SETBACK GUIDELINES). AC UNIT NOT TO EXCEED 50 DBA AT THE NEAREST RESIDENTIAL PROPERTY LINE.
- TREE PROTECTION FENCING SHALL BE LOCATED AT THE DRIP LINE OF PROTECTED TREES WITH CHAIN LINK FENCES WITH A MINIMUM HEIGHT OF FIVE FEET IN HEIGHT WITH POSTS DRIVEN INTO THE GROUND AND SHALL NOT BE REMOVED UNTIL ALL DEMOLITION CONSTRUCTION HAS BEEN COMPLETED UNLESS APPROVED BY THE PLANNING DIVISION. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO THE BUILDING PERMIT ISSUANCE.
- WATER SUPPLY REQUIREMENTS: POTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION WATER SUPPLIES. IT IS THE RESPONSIBILITY OF THE OWNERS AND ANY CONTRACTORS AND SUBCONTRACTORS TO CONTACT THE WATER PURVEYOR SUPPLYING THE SITE OF SUCH PROJECT, AND TO COMPLY WITH THE REQUIREMENTS OF THAT PURVEYOR SUCH REQUIREMENTS SHALL BE INCORPORATED INTO THE DESIGN OF ANY WATER SUPPLY FIRE PROTECTION SYSTEMS, AND / OR FIRE SUPPRESSION WATER SUPPLY SYSTEMS OR STORAGE CONTAINERS THAT MAY BE PHYSICALLY CONNECTED IN ANY MANNER TO AN APPLIANCE CAPABLE OF CAUSING CONTAMINATION OF THE POTABLE WATER SUPPLY OF THE PURVEYOR OF RECORD. FINAL APPROVAL OF THE SYSTEM(S) UNDER CONSIDERATION WILL NOT BE GRANTED BY FIRE DEPARTMENT UNTIL COMPLIANCE WITH THE REQUIREMENTS OF THE WATER PURVEYOR OF RECORD ARE DOCUMENTED BY THAT PURVEYOR AS HAVING BEEN MET BY THE OWNERS. 2016 CFC SEC.903.3.5 AND HEALTH AND SAFETY CODE 13114.7.
- THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET TO DRAIN SURFACE WATER AWAY FROM THE FOUNDATION WALLS, AND DRAINS OR SWALES SHALL BE CONSTRUCTED TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE WHERE LOT LINES PROHIBIT THE REQUIRED GRADING. (CFC 9401.3)
- ANY DAMAGED RIGHT-OF-WAY INFRASTRUCTURES AND OTHERWISE DISPLACED CURB AND GUTTER SHALL BE REMOVED AND REPLACED AS DIRECTED BY THE CITY ENGINEER OR HIS DESIGNEE. CONTRACTOR SHALL COORDINATE WITH PUBLIC WORKS DEPARTMENT AT (650) 947-2630.
- PRIOR TO THE COMMENCEMENT OF ANY WORK DONE IN THE PUBLIC RIGHT-OF-WAY, A PERMIT TO OPEN STREET AND/OR AN ENCROACHMENT PERMIT WILL BE REQUIRED.
- STORM WATER RUNOFF AND DOWNSPOUTS SHALL BE DIRECTED TO LANDSCAPED AREAS, TO MINIMIZE RUNOFF TO NEIGHBORING PROPERTIES.
- CLEANOUTS TO BE AT THE UPPER TERMINAL OF THE PIPE AND ANY CHANGE OF DIRECTION OF 135 DEGREES OR MORE. 707 & 719 CPC PROVIDE 1" WATER METER AND 1-1/4" MAIN BUILDING WATER SUPPLY LINE BASED ON TABLES 610.3 AND 610.4 CPC, w/ 45-60 PSI COLUMN FOR TOTAL OF 40 FLL.
- ALL DRAIN FROM ROOF LEADERS SHALL TERMINATE AT APPROVED SPLASH BLOCKS.
- TREES NOS. 1,2,4 AND 5 ALONG WITH THE APPROVED EXISTING AND PROPOSED PRIVACY SCREENING SHALL BE PROTECTED UNDER THIS APPLICATION AND CANNOT BE REMOVED WITHOUT A TREE REMOVAL PERMIT FROM THE COMMUNITY DEVELOPMENT DIRECTOR.
- THE LANDSCAPE INTENDED TO PROVIDE PRIVACY SCREENING SHALL BE INSPECTED BY THE PLANNING DIVISION AND SHALL BE SUPPLEMENTED BY ADDITIONAL SCREENING MATERIAL AS REQUIRED TO ADEQUATELY MITIGATE POTENTIAL PRIVACY IMPACTS TO SURROUNDING PROPERTIES.



OTIS RESIDENCE
APN:189-35-038

**NITING QI/
HUAPENG ZHOU**

**16 OTIS WAY,
LOS ALTOS, CA 94022**

REVISIONS
1 REVISION 1 1/30/24

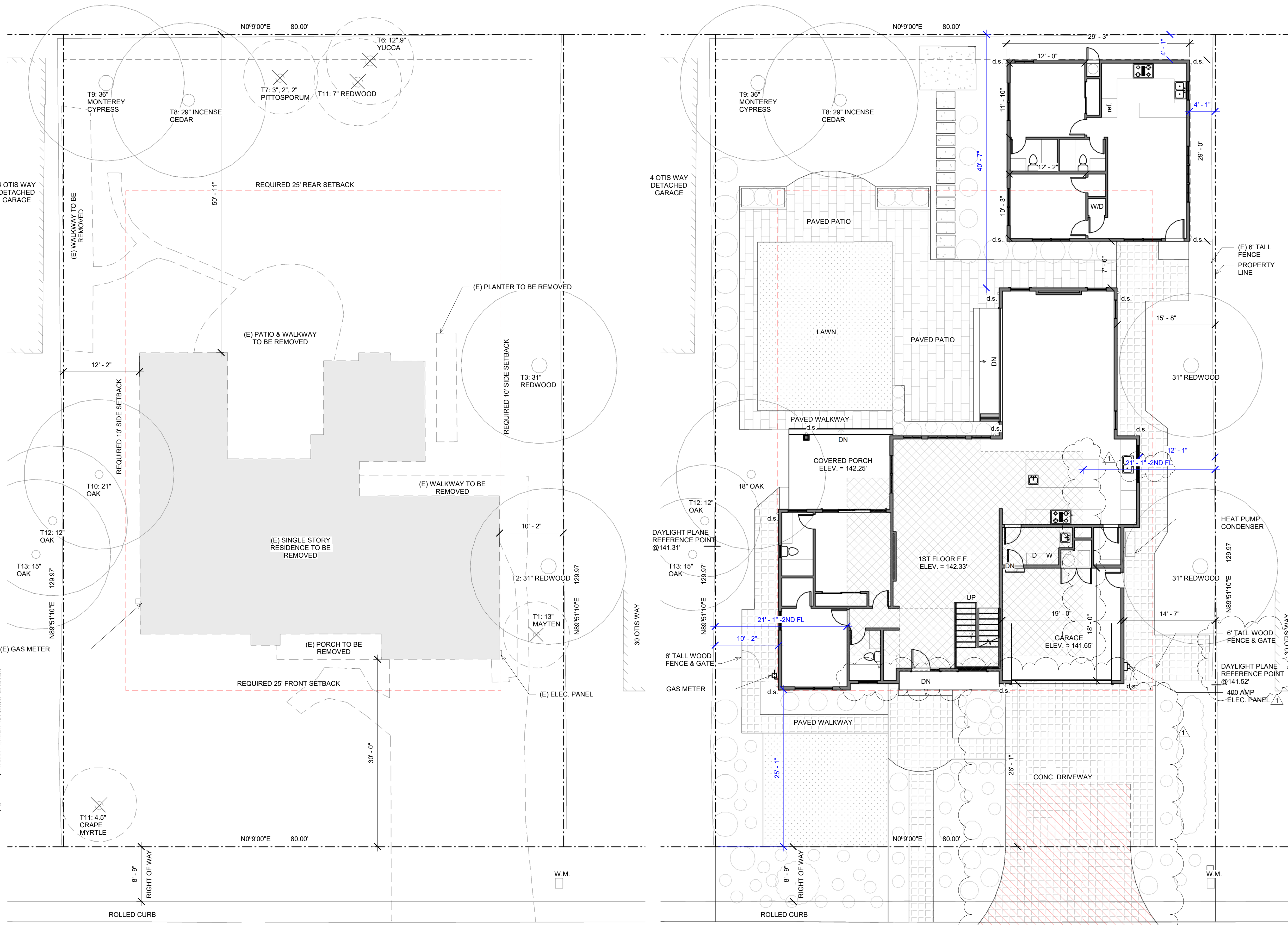
DESIGN REVIEW

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DRAWN	Author
DATE	11/17/2023
SCALE	1/8" = 1'-0"
FILENAME	

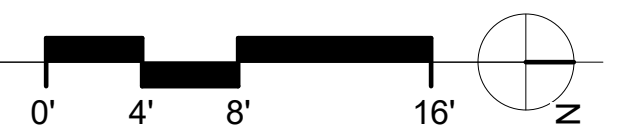
	EXISTING TREES	
	RETAINED	REMOVED
1	13" MAYTEN	X
2	31" REDWOOD	X
3	31" REDWOOD	X
4	9" 6" 5" PLUM	X
5	7" REDWOOD	X
6	12" 9" YUCCA	X
7	3" 2" 2" PITTOSPORUM	X
8	29" CEDAR	X
9	36" CYPRESS	X
10	21" OAK	X
11	4.5" CRAPE MYRTLE	X
12	12" OAK (ADJACENT LOT)	X
13	15" OAK (ADJACENT LOT)	X

A1.1

DEMO & PROPOSED SITE PLAN



② DEMO/ EXISTING SITE PLAN
1/8" = 1'-0"

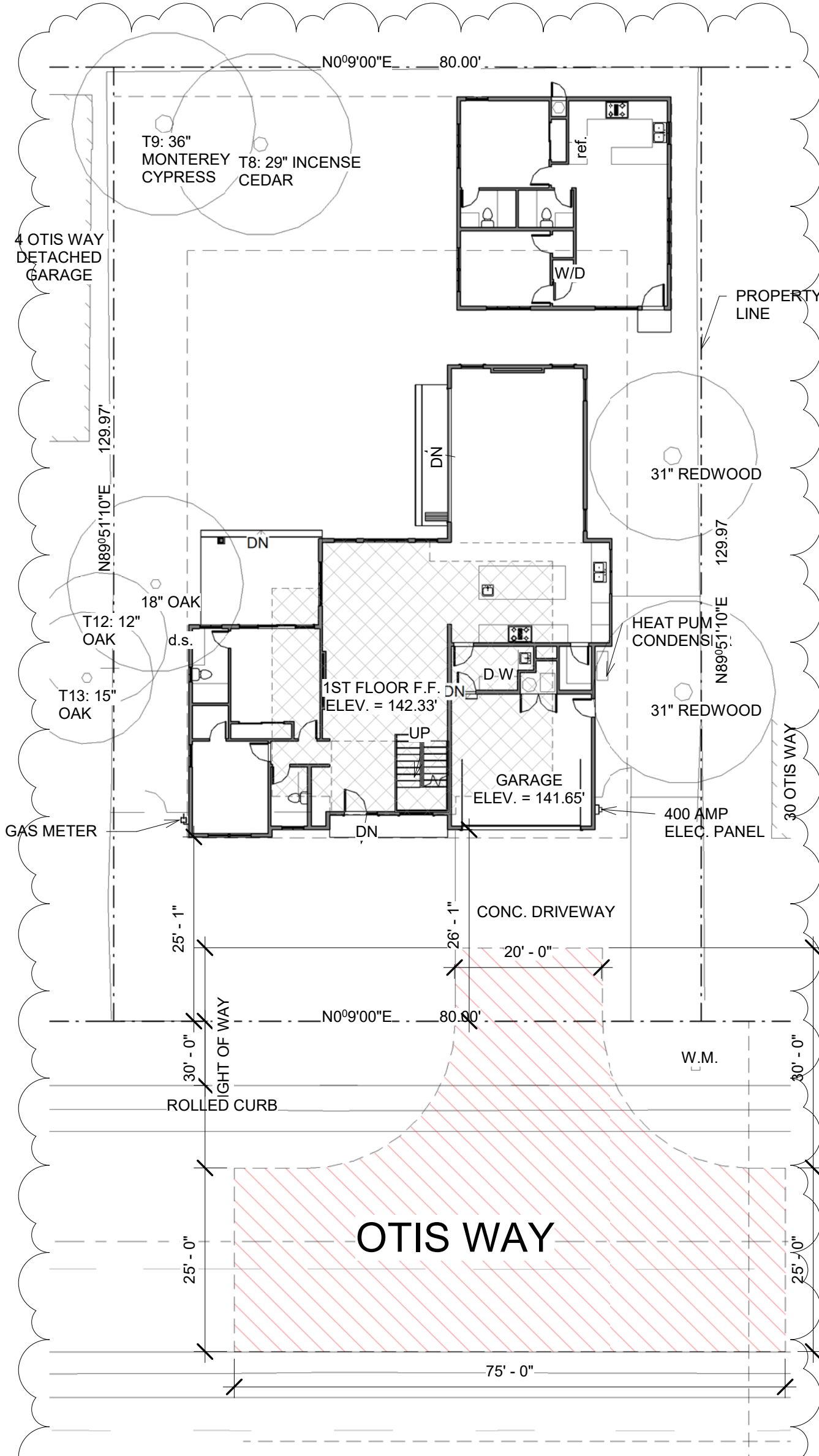


① PROPOSED SITE PLAN
1/8" = 1'-0"



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 A1.1 DEMO & PROPOSED SITE PLAN

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 A2.1 FIRST FLOOR PLAN
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FIRE DEPARTMENT APPARATUS TURNAROUND
 1/16" = 1'-0"

FIRE SAFETY NOTES

- CONSTRUCTION SITE FIRE SAFETY:** ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 33 AND STANDARD DETAIL AND SPECIFICATION S1-7.
- WATER SUPPLY REQUIREMENTS:** POTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION WATER SUPPLIES. IT IS THE RESPONSIBILITY OF THE APPLICANT AND ANY CONTRACTORS AND SUBCONTRACTORS TO CONTACT THE WATER PURVEYOR SUPPLYING THE SITE OF SUCH PROJECT, AND TO COMPLY WITH THE REQUIREMENTS OF THAT PURVEYOR. SUCH REQUIREMENTS SHALL BE INCORPORATED INTO THE DESIGN OF ANY WATER-BASED FIRE PROTECTION SYSTEMS, AND/OR FIRE SUPPRESSION WATER SUPPLY SYSTEMS OR STORAGE CONTAINERS THAT MAY BE PHYSICALLY CONNECTED IN ANY MANNER TO AN APPLIANCE CAPABLE OF CAUSING CONTAMINATION OF THE POTABLE WATER SUPPLY OF THE PURVEYOR OF RECORD. FINAL APPROVAL OF THE SYSTEM(S) UNDER CONSIDERATION WILL NOT BE GRANTED BY THIS OFFICE UNTIL COMPLIANCE WITH THE REQUIREMENTS OF THE WATER PURVEYOR OF RECORD ARE DOCUMENTED BY THAT PURVEYOR AS HAVING BEEN MET BY THE APPLICANT(S). 2022 CFC SEC. 903.3.5 AND HEALTH AND SAFETY CODE 13114.7.



1 PROPOSED FIRST FLOOR PLAN
 1/4" = 1'-0"

GENERAL NOTES

- VERIFY ALL HARDSCAPE & LANDSCAPE LAYOUTS & FINISHES WITH OWNER.
- EXTERIOR WALL: 2x6 STUDS@16" O.C., TYP. U.N.O. - SEE ELEVATIONS AND STRUCTURAL DRAWINGS FOR EXTERIOR WALL MATERIAL ASSEMBLIES. COLOR AS SELECTED BY OWNER. INSTALL 1 LAYER (MIN.) OF WEATHER RESISTIVE BARRIER (TYVEK HOUSE WRAP OR EQ.) OVER STUDS OR SHEATHING OF EXTERIOR WALLS PER CRC 703.2-INSTALL PER MANUF. INSTRUCTIONS. ANCHORED STONE AND MASONRY VENEER SHALL COMPLY WITH THE REQUIREMENTS OF SECTION R702.1 AND R703.
- INTERIOR WALL: 2x4 STUDS @ 16" O.C., TYP. U.N.O. PLUMBING WALL 2x6 STUDS @ 16" O.C. U.N.O. PROVIDE 5/8" TYPE "X" GYPSUM BOARD EACH SIDE @ INTERIOR PARTITIONS. PROVIDE CEMENT BOARD OR TILE BACKER BOARD AT SHOWER / TUB LOCATIONS. ALL WALLS TO RECEIVE PAINT FINISH, U.N.O. ALL CEILINGS AT TUB/SHOWERS TO BE M.R. BOARD. ALL NEW WINDOWS TO BE FIBERGLASS FRAME. DUAL PANE W/ SIMULATED DIVIDED LIGHTS AS SHOWN ON ELEVATIONS. PROVIDE TEMPERED GLASS AT ALL GLAZED DOORS AND GLAZING WITHIN 24" OF A DOOR OR WITHIN 18" OF FINISHED FLOOR. PROVIDE TEMPERED GLAZING AT WINDOWS AT SHOWERS AND ABOVE BATHTUBS.
- ALL EXTERIOR DOORS TO HAVE WEATHERSTRIPPING, U.O.N.
- ALL HEADER HEIGHTS ARE MEASURED FROM RESPECTIVE ROOMS' SUBFLOOR.
- CONTRACTOR SHALL VERIFY FINAL WINDOW SIZES WITH THE MANUFACTURER'S OPENING SIZES BEFORE ORDERING AND INSTALLATION.
- FRAMING CONTRACTOR SHALL CAREFULLY REVIEW ALL ARCHITECTURAL & STRUCTURAL DRAWINGS AND CONSIDER ALL ISSUES IN LOCATION OF SIGNIFICANT BEAMS AND LAYOUT OF FLOOR & CEILING JOISTS TO ACCOMMODATE LIGHT CANS, PLUMBING, MINIMIZE HEADING OFF, CENTR FLOOR REGISTERS WITH DOORS, ALIGN CHUTES & CHASES, ETC.
- ALL DIMENSIONS ARE TO FACE OF STUD OR CENTERLINE OF WINDOW FRAME. TYP. U.N.O. VERIFY ALL CRITICAL DIMENSIONS AT EXISTING ELEMENTS IN FIELD PRIOR TO FRAMING.
- CONTRACTOR TO PROVIDE SCREENING FOR DUST & NOISE DURING CONSTRUCTION - VERIFY W/ OWNER.
- VERIFY FINISH SELECTIONS, BASEBOARD, CEILING TRIM, AND DOOR & WINDOW CASINGS W/ OWNER IN FIELD. PROVIDE BLOCKING AS NECESSARY. VERIFY PAINT AND COLOR SELECTIONS W/ OWNER IN FIELD.
- MECHANICAL CONTRACTOR TO VERIFY ALL AIR DUCTS, CHASES, LOCATIONS, CONFIGURATIONS, ETC. W/ FRAMING CONTRACTOR DURING FOUNDATION WORK. PRIOR TO FRAMING, PLACE DUCTS OUT OF THE WAY IN ATTICS, CRAWL SPACES, ETC.
- KITCHEN CABINETS, COUNTERS, APPLIANCES, ACCESSORIES & FINISHES PER OWNER, TYPICAL. PROVIDE SHOP DRAWINGS FOR APPROVAL. PROVIDE APPLIANCE DIMENSIONS, SPECIFICATIONS, CUT-OUTS, ELECTRICAL & GAS REQUIREMENTS, ETC. TO FRAMERS & CABINET MAKERS PRIOR TO CONSTRUCTION.
- KITCHEN EXHAUST FAN SHALL BE MIN. 100CFM. WITH A MIN. 5" SMOOTH DUCT. NO LONGER THAN 85' OF DUCT RUN. SUBTRACT 15' OF ALLOWABLE LENGTH FOR EACH ELBOW. PROPOSE EXHAUST DUCT TERMINATED AT WALL. PROVIDE BACKDRAFT DAMPER ON KITCHEN RANGE HOOD. CONFIRM RANGE AND HOOD CLEARANCES AND MINIMUM CFM FOR EXHAUST OF FUEL GAS FUMES IN KITCHEN.
- TERMINATION OF ALL ENVIRONMENTAL DUCTS SHALL BE A MINIMUM 3 FEET FROM PROPERTY LINE, 3 FEET FROM OPENINGS INTO THE BUILDING PER CMC 504.0. TERMINATION OF EXHAUST SYSTEM PER CMC 502.2.
- PROVIDE MIN. 30" CLEAR WIDTH AT WATER CLOSET SPACE, WITH TOILET CENTERED WITHIN TYP. W/ MIN. 24" CLEAR FLOOR SPACE IN FRONT OF WATER CLOSET. MEASURED FROM BOWL.
- EXHAUST FANS IN ALL BATHROOMS WITH TUBS OR SHOWRS MUST MOVE A MINIMUM 50 CFM OF AIR AND BE SEPARATELY SWITCHED FROM THE LIGHTING FANS THAT OPERATE CONTINUOUSLY CAN BE 20 CFM. THE DUCT MUST TERMINATE ON THE EXTERIOR NOT LESS THAN 3 FEET FROM OPENINGS INTO THE BUILDING. EXHAUST FANS SHALL BE VENTED TO EXTERIOR WITH A BACK DRAFT DAMPER.
- BUILT-IN SHELVING & CABINETRY, VERIFY SHOP DRAWINGS W/ OWNERS PRIOR TO INSTALLATION.
- VERIFY ALL BATHROOM SELECTIONS FINISHES, ACCESSORIES, ETC. W/ OWNER.
- PROVIDE PLUMBING & ELECTRICAL INSTALLATIONS FOR WASHER AND DRYER, VEIFY REQUIREMENTS W/ OWNER.
- AC UNIT NOT TO EXCEED 50 DBA AT THE NEAREST RESIDENTIAL PROPERTY LINE, DISCHARGE SHOULD BE 4'-0" AWAY FROM PROPERTY LINE.
- PROVIDE POLE AND SHELVING IN CLOSET, VERIFY W/ OWNER PRIOR TO INSTALLATION.
- WHERE POSSIBLE RUN PLUMBING AND MECHANICAL VENTS AWAY FROM STREET FRONTAGE.
- MAIN RESIDENCE ELECTRICAL PANEL/METER VERIFY SIZE AND LOCATION 400AMPS
- NON-REMOVABLE BACKFLOW PREVENTION DEVICES ON ALL EXTERIOR HOSE BIBS. ALL HOSE BIBS MUST HAVE AN APPROVED ANTI-SIPHON DEVICE AS PER 2019 CHAPTER 6.
- A MINIMUM 5/8" GROUND ROD MUST BE BURIED AT LEAST 8 FEET IN THE GROUND. LOCATE THE GROUND ROD AS CLOSE AS PRACTICABLE TO THE ELECTRIC SERVICE.
- THE CLEAR SPACE AND DISTANCE TO COMBUSTIBLE MATERIALS AROUND THE FURNACE UNIT SHALL COMPLY WITH THE MANUFACTURER'S INSTALLATION INSTRUCTION. (CMC 904.2(1))
- FIXTURES SHALL BE SET LEVEL AND IN PROPER ALIGNMENT WITH REFERENCE TO ADJACENT WALLS. NO WATER CLOSET OR BIDET SHALL BE SET CLOSER THAN 15" FROM ITS CENTER TO A SIDE WALL OR OBSTRUCTION NOR CLOSER THAN 30" CENTER TO CENTER TO A SIMILAR FIXTURE. THE CLEAR SPACE IN FRONT OF A WATER CLOSET, LAVATORY OR BIDET SHALL BE NOT LESS THAN 24" (CPC 402.5)
- A MINIMUM 4-INCH DIAMETER DRAINAGE PIPE SHALL BE REQUIRED FOR FOUR OR MORE WATER CLOSET FIXTURES ON THE SAME HORIZONTAL BRANCH OR DRAIN. CPC TABLE 703.2
- A MINIMUM 64 CFM FLOW RATE IS REQUIRED TO FULFILL THE IAQ REQUIREMENT. THE LOCAL EXHAUST FAN IN THE KITCHEN SHALL BE USED TO MEET THE WHOLE-BUILDING VENTILATION, PROVIDED THE EXHAUST FAN MEETS THE MINIMUM VENTILATION RATES FOR BOTH THE LOCAL EXHAUST AND WHOLE BUILDING VENTILATION REQUIREMENTS. CMC SECTION 150.9(a) & ASHRAE 62.2 SECTION4.
- ESCAPE OR RESCUE WINDOWS SHALL HAVE A MIN. NET CLEAR OPENABLE AREA OF 5.7 S.F.. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 20". FINISHED SILL HEIGHT SHALL NOT BE MORE THAN 44 INCHES ABOVE THE FLOOR. R310 CRC
- THE WALL ABOVE THE SHOWER COMPARTMENT TO BE FINISHED WITH A NON-ABSORBENT SURFACE MIN. 72" ABOVE THE FLOOR PER CRC R307 CRC
- MAINTAIN REQUIRED WORKING CLEARANCES AT THE AC EXTERIOR ELECTRICAL DISCONNECT
- THE REPLACEMENT DOOR AT THE MAIN EXIT SERVING THE DWELLING UNIT SHALL BE A MINIMUM 36"x68" TALL PER SECTION R311.2 CRC
- ENCLOSED USABLE SPACE UNDER INTERIOR STAIRWAYS IN DWELLING UNITS SHALL HAVE THE WALLS AND SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYPSUM BOARD. R302.7 CRC
- THE MANUFACTURER'S SPEC WILL BE PROVIDED FOR THE FIELD INSPECTOR AT THE TIME OF INSTALLATION
 - CURBELESS SHOWER DRAIN WITH IAMPO NUMBER
 - LARGE SECTIONAL DOORS, TO VERIFY THE U-FACTOR AND SHGC
 - HEAT-PUMP

WALL LEGEND

- NEW WALLS 2x4
- NEW 2x6 EXTERIOR WALLS PER THE ENERGY DOCUMENTS



OTIS RESIDENCE
 APN:189-35-038

NINGING QI/ HUAPENG ZHOU

16 OTIS WAY,
LOS ALTOS, CA 94022

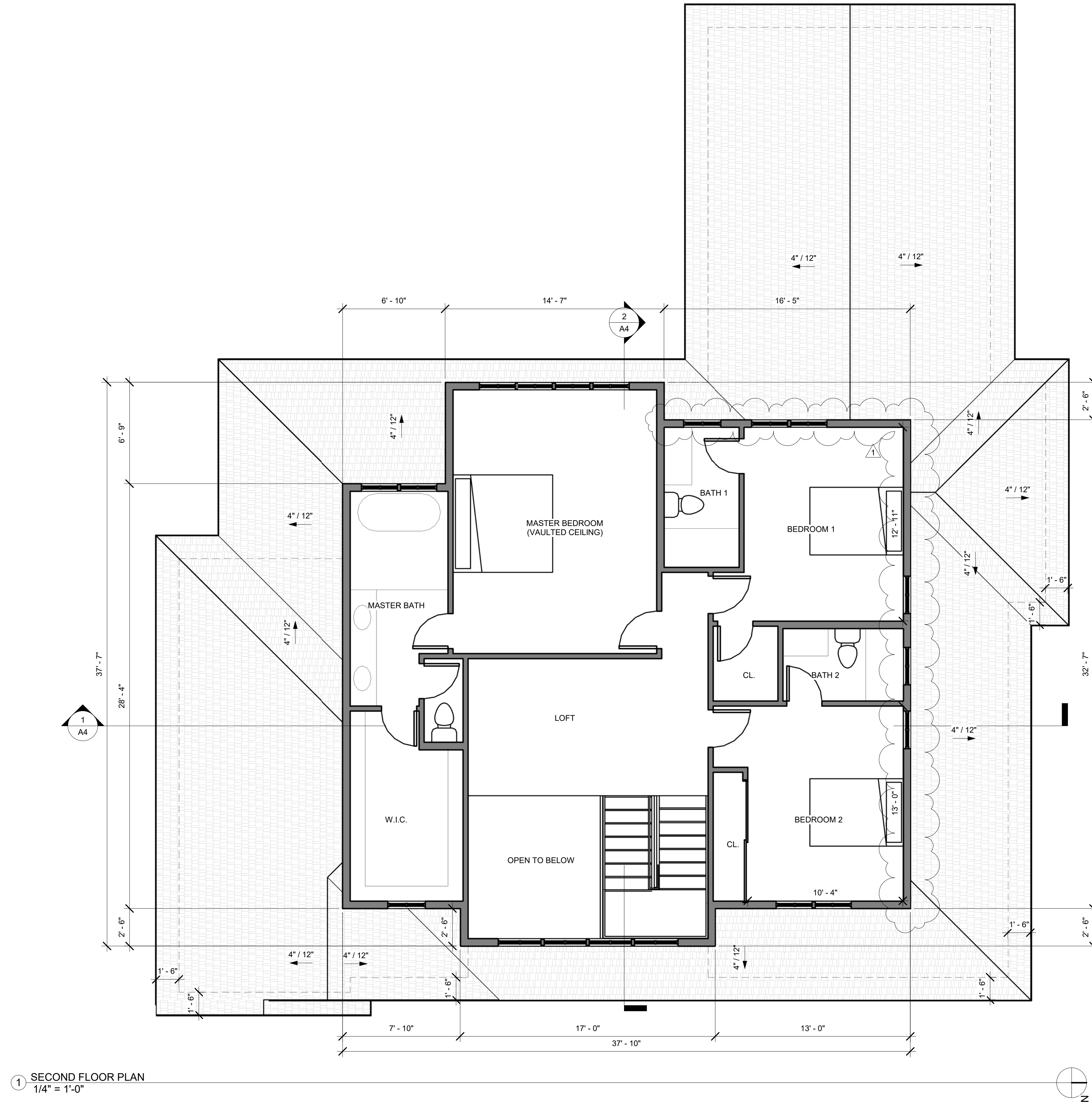
REVISIONS
 1 REVISION 1 1/30/24

DESIGN REVIEW

JOB NO.	-
DRAWN	Author
DATE	11/17/2023
SCALE	As indicated
FILENAME	

A2.1
 FIRST FLOOR PLAN

739 SEMINOLE WAY // PALO ALTO, CALIFORNIA 94303 // t 916.872.0396



1 SECOND FLOOR PLAN
 1/4" = 1'-0"

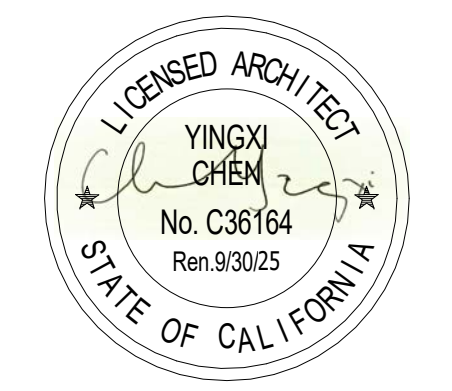
GENERAL NOTES

WALL LEGEND

- NEW WALLS 2x4
- NEW 2x6 EXTERIOR WALLS PER THE ENERGY DOCUMENTS



739 SEMINOLE WAY // PALO ALTO, CALIFORNIA 94303 // T 916.872.0396



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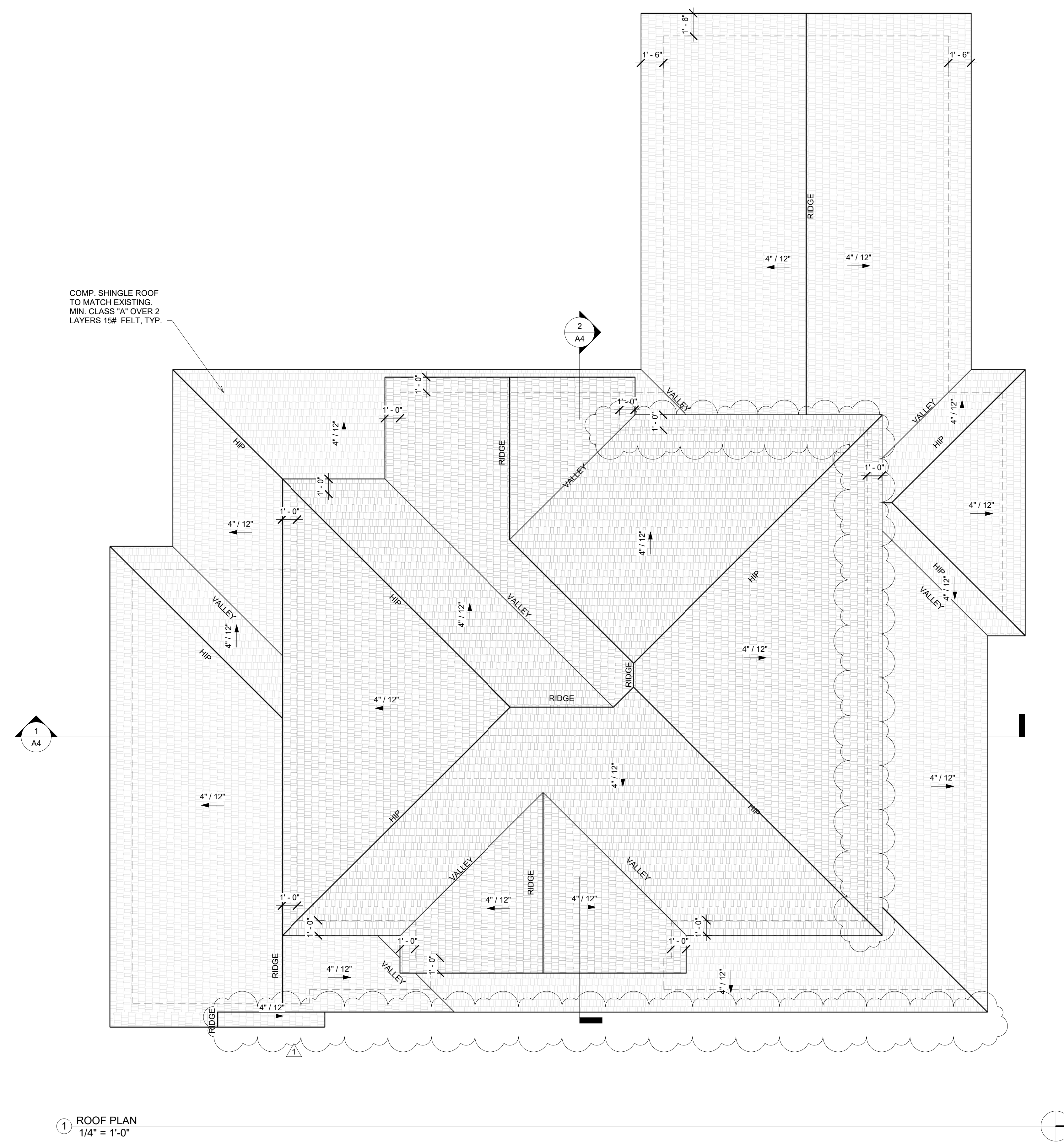
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DATE	11/17/2023
SCALE	1/4" = 1'-0"
FILENAME	

A2.2
 SECOND FLOOR PLAN



1 ROOF PLAN
1/4" = 1'-0"

ROOF PLAN NOTES

1. ASPHALT SHINGLE ROOF. VERIFY FINAL SELECTION WITH OWNER PRIOR TO PLACING ORDER.
2. FINISHED ROOFING MATERIAL SHALL BE INSTALLED AND COMPLETED PRIOR TO FRAME INSPECTION
3. INSTALLATION OF ROOFING SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND INSTALLATION INSTRUCTIONS.
4. ALL FLASHING, GUTTERS, EXPOSED SHEET METALS, VENTS, DOWNSPOURT AND ETC. SHALL BE GALVANIZED PAINT COLOR TO MATCH.
5. ROOF/ATTIC VENTILATION: MIN. NET FREE VENTILATION 1/150 S.F. OF AREA WITH 50% AT UPPER PORTION A MIN. OF 3" ABOVE EAVE OR CORNICES VENTS AND THE BALANCE VENTILATION PROVIDED BY EAVE OR CORNICE VENTS. OPENINGS TO ATTACKS SHALL COVERED WITH CORROSION-RESISTANT WIRE MESH. MESH OPENINGS: MIN. OF 1/8" NOT TO EXCEED 1/4"
6. MAINTAIN 1" AIR SPACE BETWEEN ROOF PLYWOOD & INSULATION.



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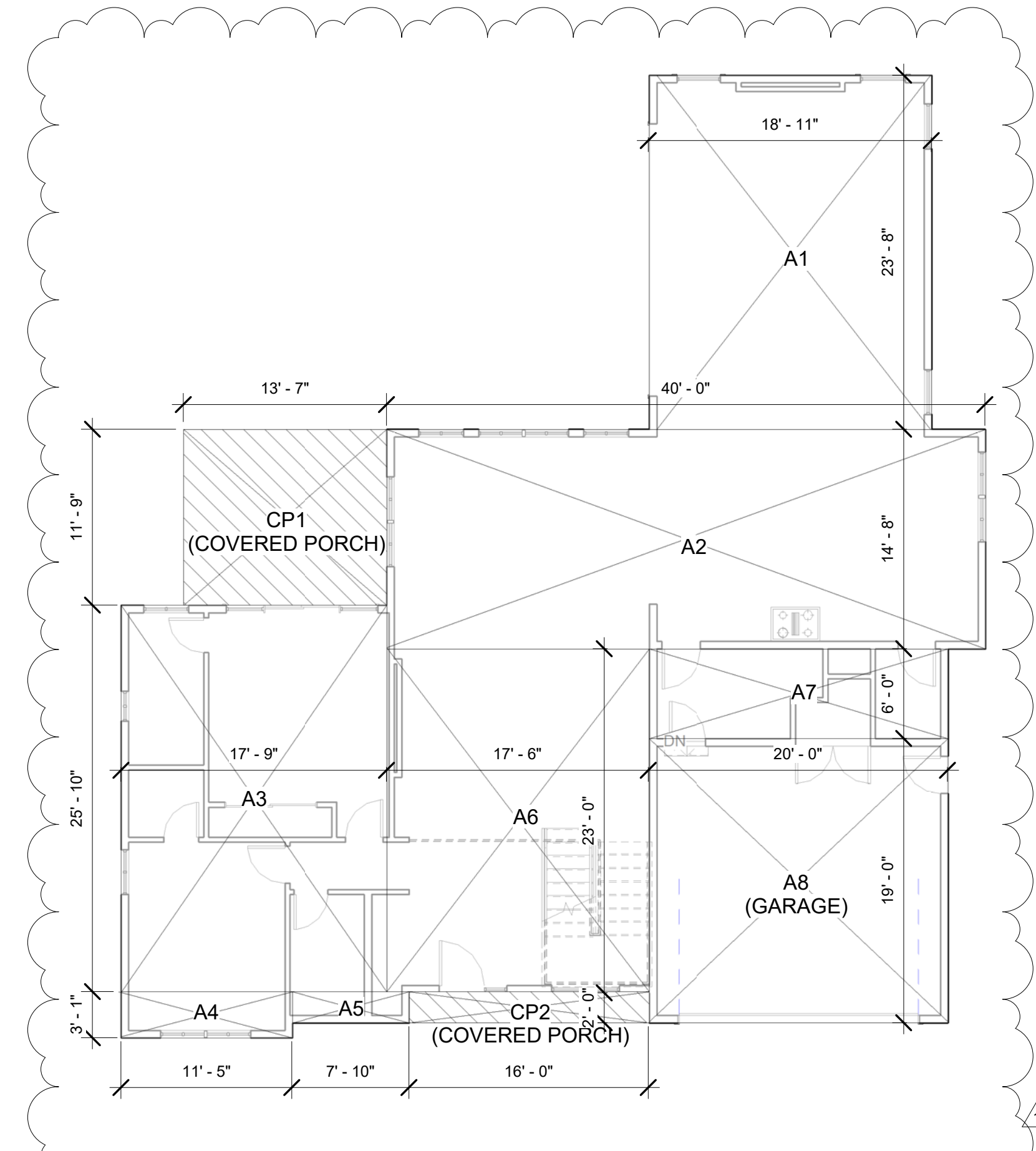
16 OTIS WAY,
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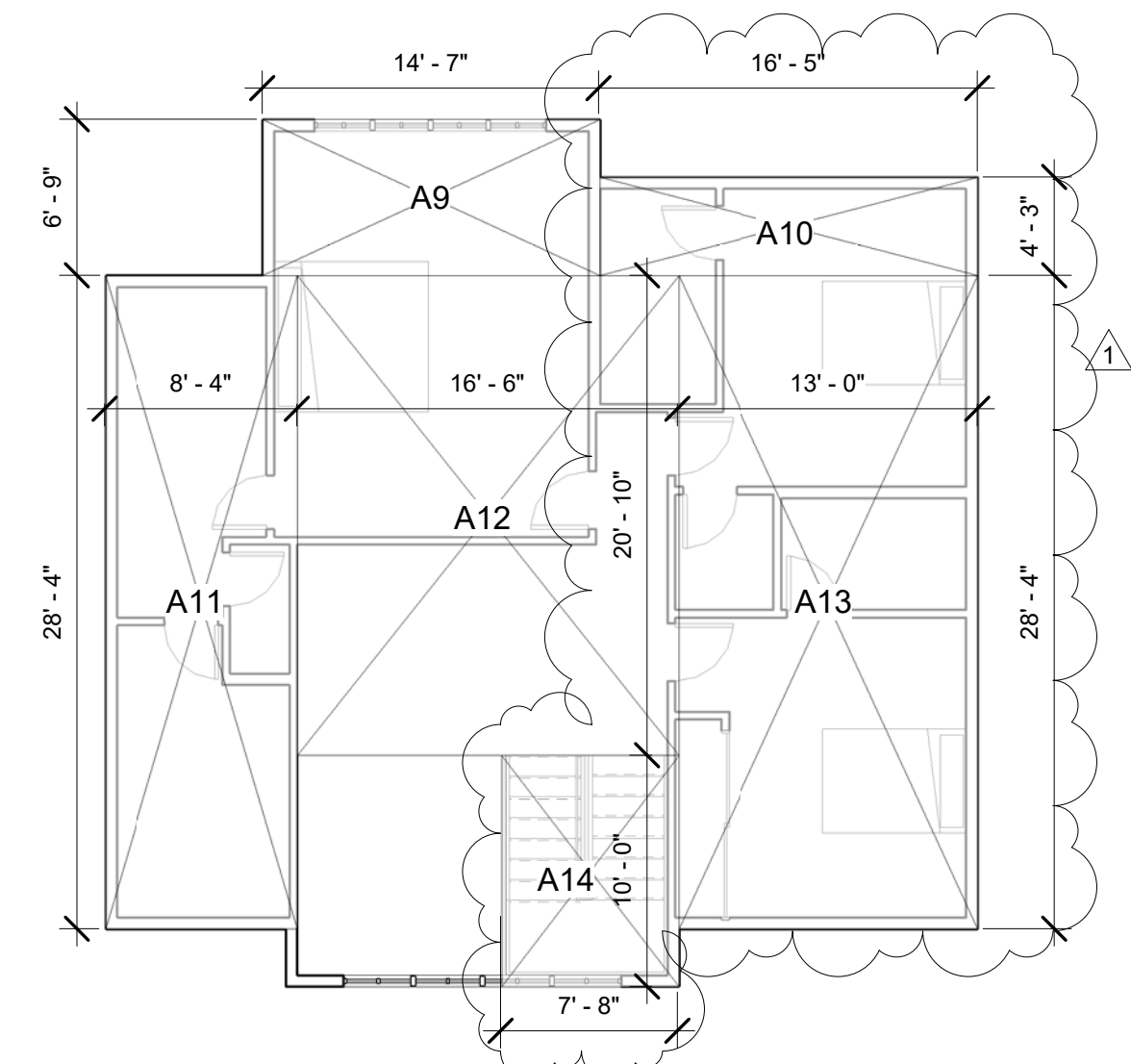
DESIGN REVIEW

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SCALE	1/4" = 1'-0"
FILENAME	

A2.3
ROOF PLAN



1 FAL- FIRST FLOOR PLAN
1/8" = 1'-0"



2 FAL-SECOND FLOOR PLAN
1/8" = 1'-0"

MAIN RESIDENCE	
FIRST FLOOR	
A1 (18'-11"x23'-8")	447.7
A2 (40'-0"x14'-8")	586.7
A3 (17'-9"x25'-10")	458.5
A4 (11'-5"x3'-1")	35.2
A5 (7'-10"x2'-0")	16.3
A6 (17'-6"x22'-6")	401.0
A7 (20'-0"x6'-0")	120.0
A8 (20'-0"x19'-0")-GARAGE	380.0
TOTAL FIRST FLOOR AREA	2445.4
SECOND FLOOR	
A9 (14'-7"x6'-9")	98.6
A10 (16'-5"x4'-3")	70.0
A11(8'-4"x28'-4")	236.0
A12 (16'-6"x20'-10")	343.2
A13 (13'-0"x28'-4")	368.2
A14 (7'-8"x10'-0")	76.8
TOTAL SECOND FLOOR AREA	1192.8
TOTAL FLOOR AREA	3638.2
LOT COVERAGE	
COVERED PORCH	192.9
CP1(13'-7"x11'-9")	159.6
CP2(16'-0"x2'-0")	33.3
TOTAL LOT COVERAGE	2638.3
ACCESSORY DWELLING UNIT	
FIRST FLOOR	
B1 (29'-3"x29'-0")	848.3
TOTAL FIRST FLOOR AREA	848.3



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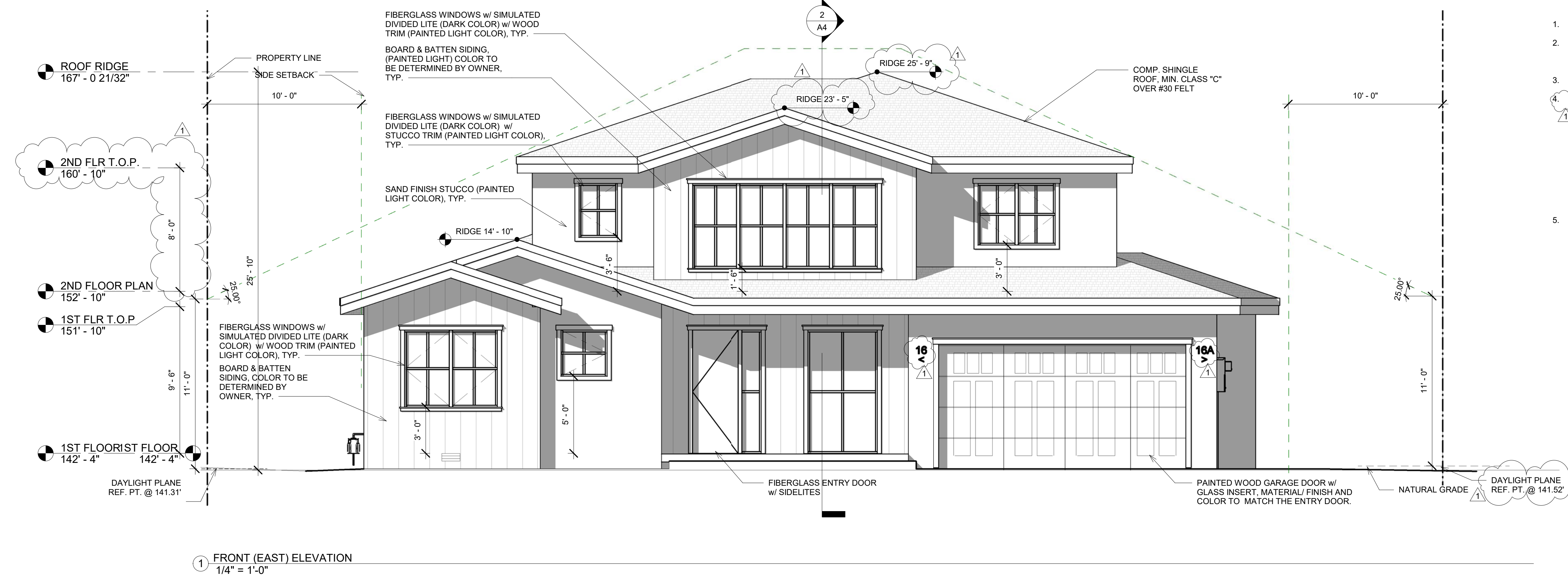
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SCALE	1/8" = 1'-0"
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A2.4
AREA CALCULATIONS

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1 FRONT (EAST) ELEVATION
1/4" = 1'-0"

GENERAL NOTES

1. PROVIDE 2% SLOPE AND DRAINAGE AWAY FROM BUILDING FOUNDATION. (CRC R401.3)
2. ESCAPE OR RESCUE WINDOWS SHALL HAVE A MIN. NET CLEAR OPENABLE AREA OF 5.7 S.F., THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24". THE MINIMUM NET CLEAR OPENABLE WIDTH DIMENSION SHALL BE 20". FINISHED SILL HEIGHT SHALL NOT BE MORE THAN 44 INCHES ABOVE THE FLOOR. PROVIDE 12" MIN. 60MIL PEEL & STICK FLASH & COUNTER-FLASH AROUND ALL OPENINGS.
3. ADDRESS IDENTIFICATION: NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. WHERE REQUIRED BY THE FIRE CODE OFFICIAL, ADDRESS NUMBERS SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MINIMUM OF 6 INCHES (101.6 MM) HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH (12.7 MM). WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS NUMBERS SHALL BE MAINTAINED. CFC SEC. 505.1.
4. BUILDING PAPER TO BE INSTALLED UNDER ALL WALL SIDING

WINDOW ABBREVIATION

AWN	AWNING
CSMT	CASEMENT
FG	FIXED GLASS
SW	SLIDING WINDOW
SH	SINGLE HUNG WINDOW
TR	TRANSOM



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OTIS RESIDENCE
APN:189-35-038

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HUAPENG ZHOU

16 OTIS WAY,
LOS ALTOS, CA 94022

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SCALE	1/4" = 1'-0"
FILENAME	



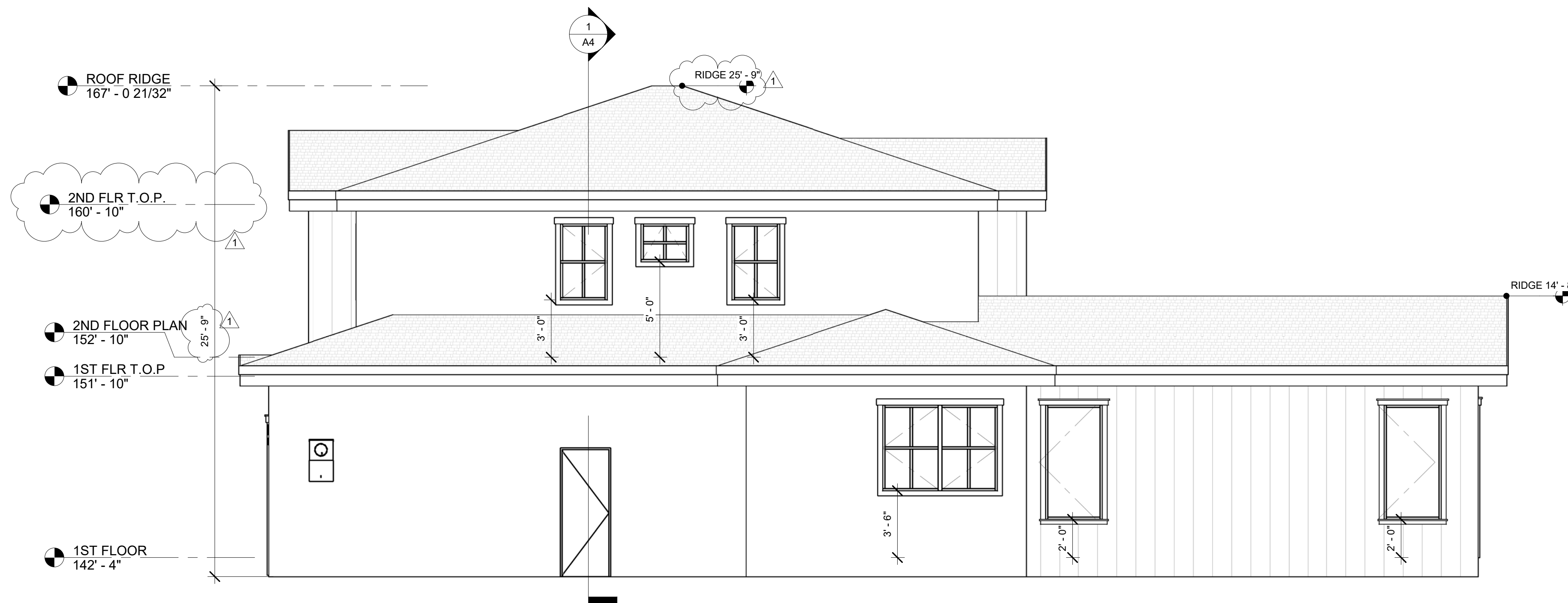
2 REAR (WEST) ELEVATION
1/4" = 1'-0"

A3.1
EXTERIOR ELEVATIONS

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 A3.2 EXTERIOR ELEVATIONS
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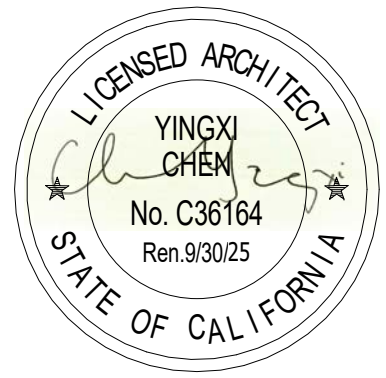
① LEFT (SOUTH) ELEVATION
1/4" = 1'-0"



② RIGHT (NORTH) ELEVATION
1/4" = 1'-0"



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HUAPENG ZHOU

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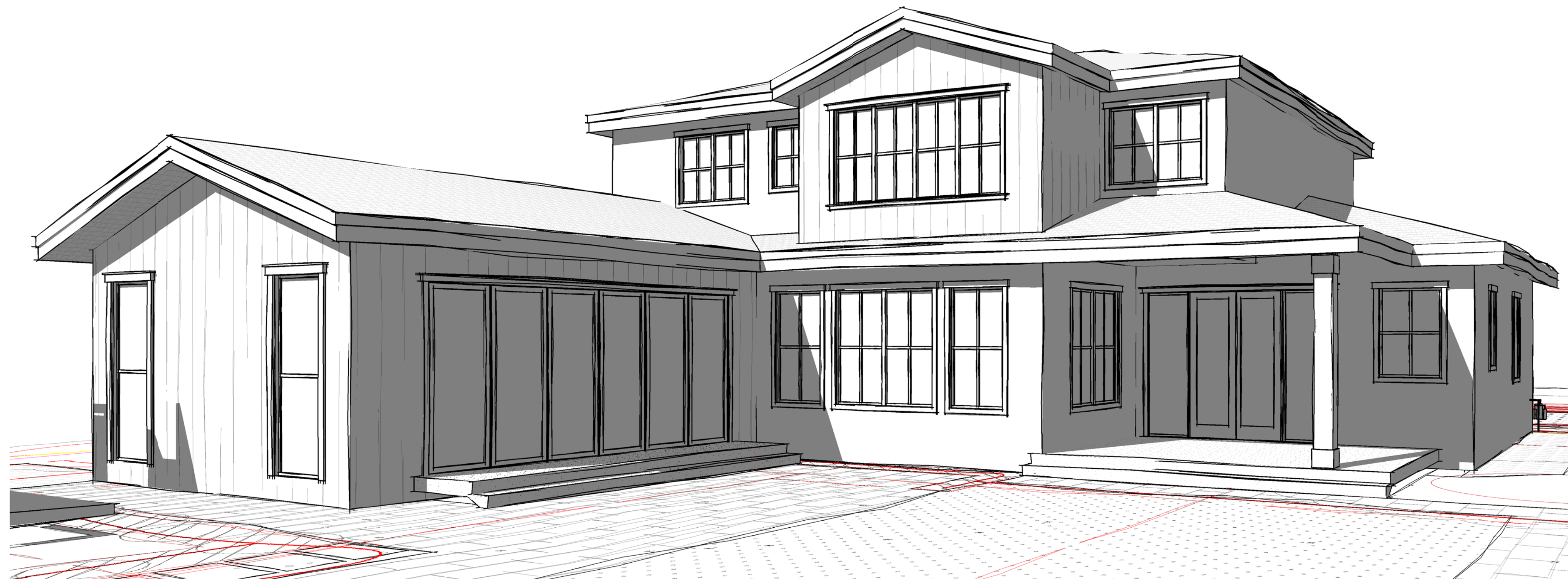
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A3.2
EXTERIOR ELEVATIONS

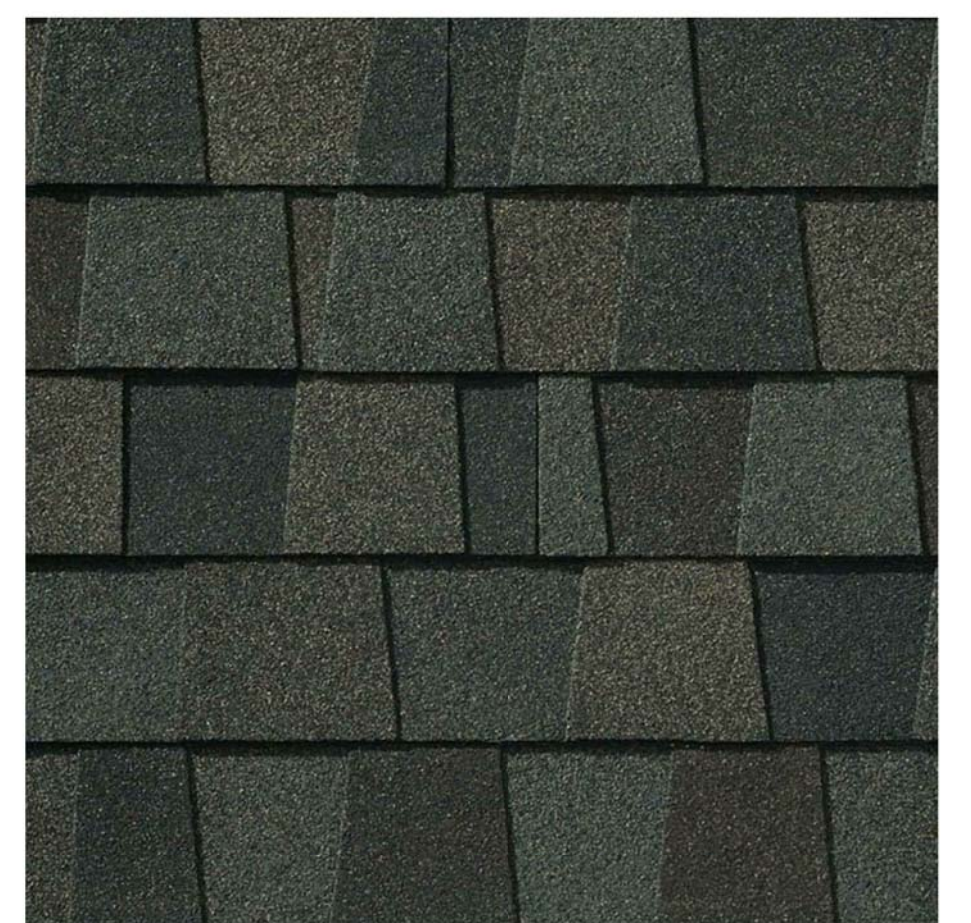
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 A3.3 PERSPECTIVE VIEWS



① 3D VIEW- FRONT



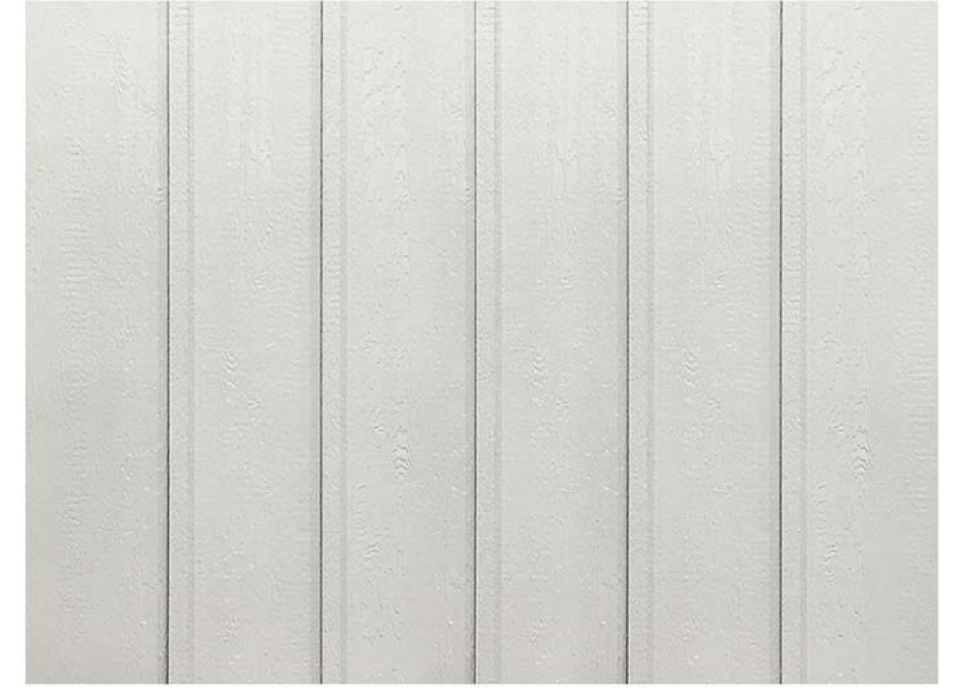
② 3D VIEW- BACK



COMPOSITE SHINGLE "CLASS A" ROOF COVERING (LIGHT GREY TO MATCH EXISTING)
MANUF.: CERTANTEED OR SIMILAR



FIBERGLASS WINDOW FRAME (DARK COLOR) WITH WOOD TRIM (LIGHT COLOR)
MANUF.: MARVIN OR SIMILAR



PAINTED BATTEN AND BOARD SIDING (LIGHT COLOR)



SAND FINISH STUCCO (LIGHT COLOR)



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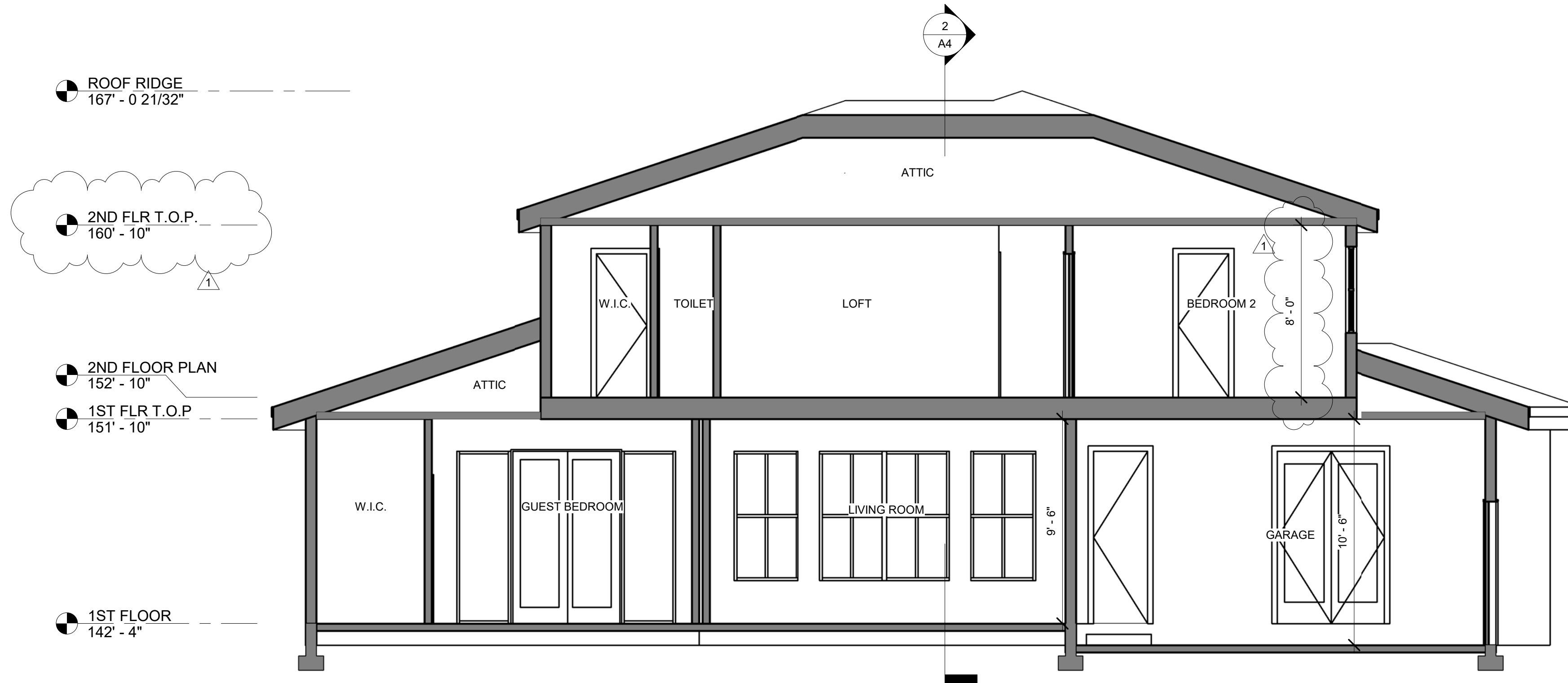
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LOS ALTOS, CA 94022

REVISIONS

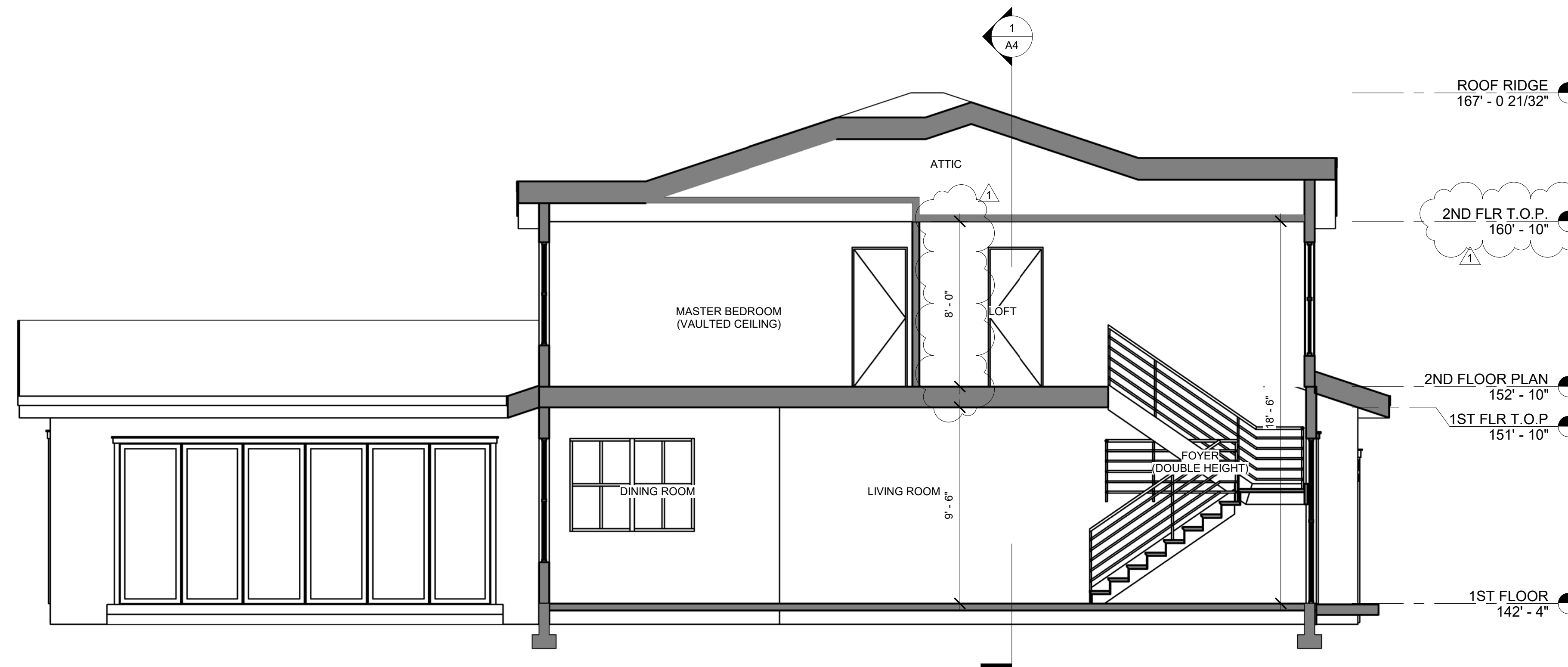
DESIGN REVIEW

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DATE	11/17/2023
SCALE	
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A3.3
PERSPECTIVE VIEWS



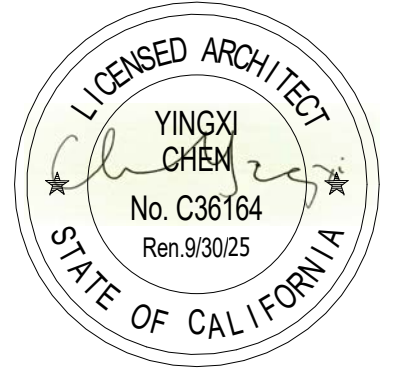
1 SECTION 1
 1/4" = 1'-0"



2 SECTION 2
 1/4" = 1'-0"



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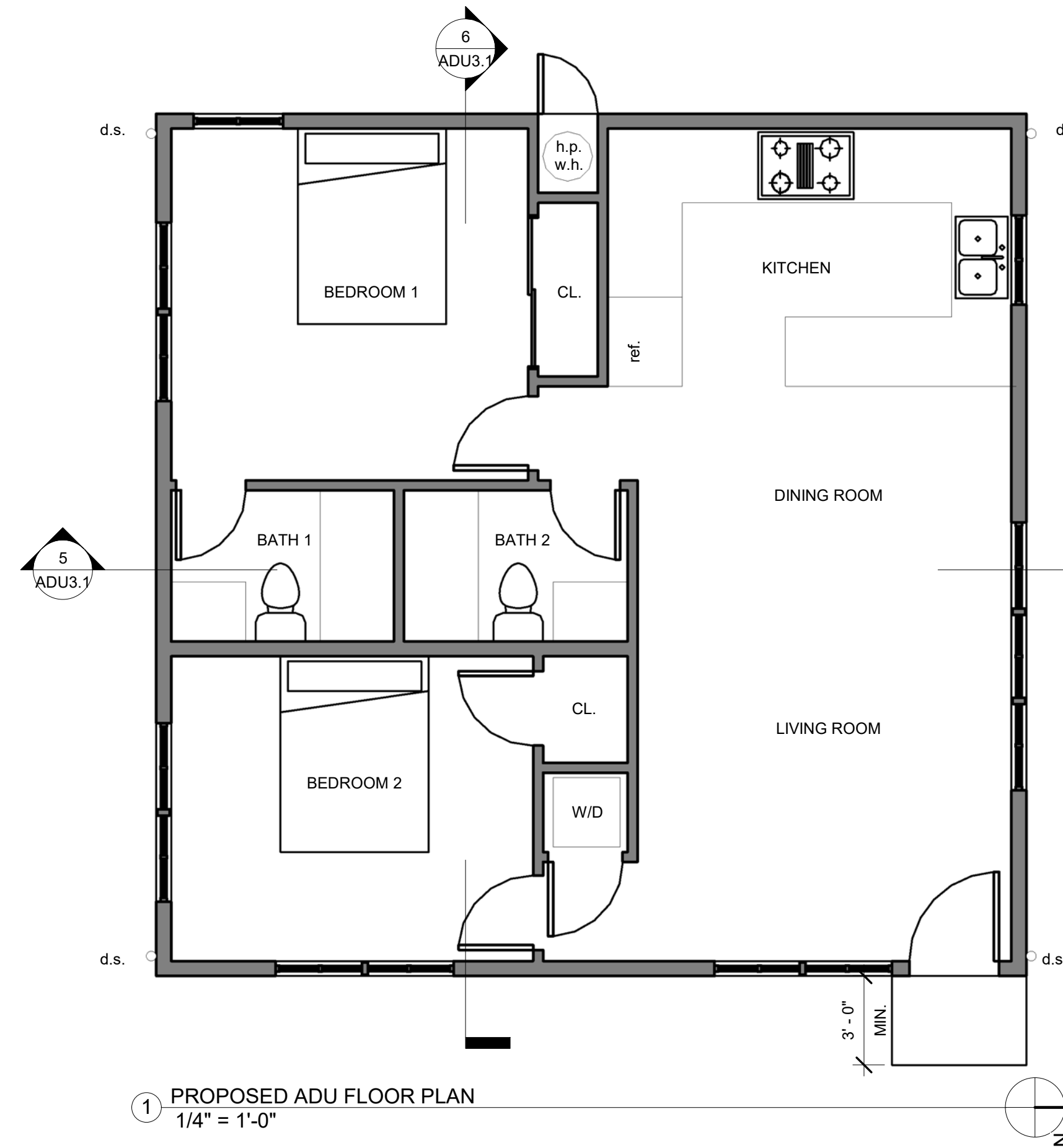
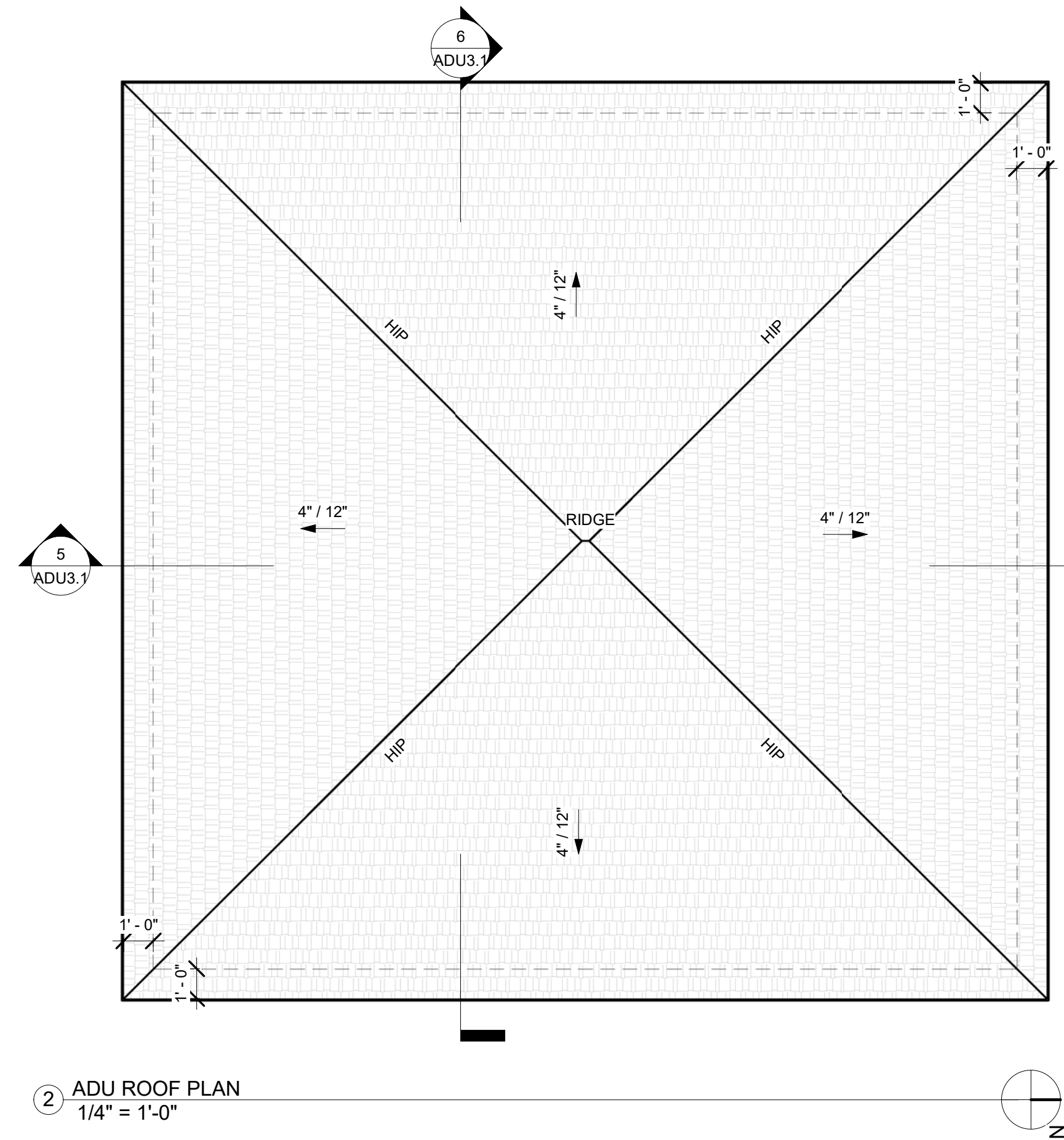
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1 REVISION 1 1/30/24

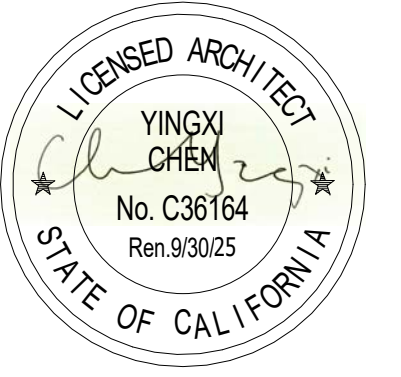
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FILENAME	

A4
 BUILDING SECTIONS



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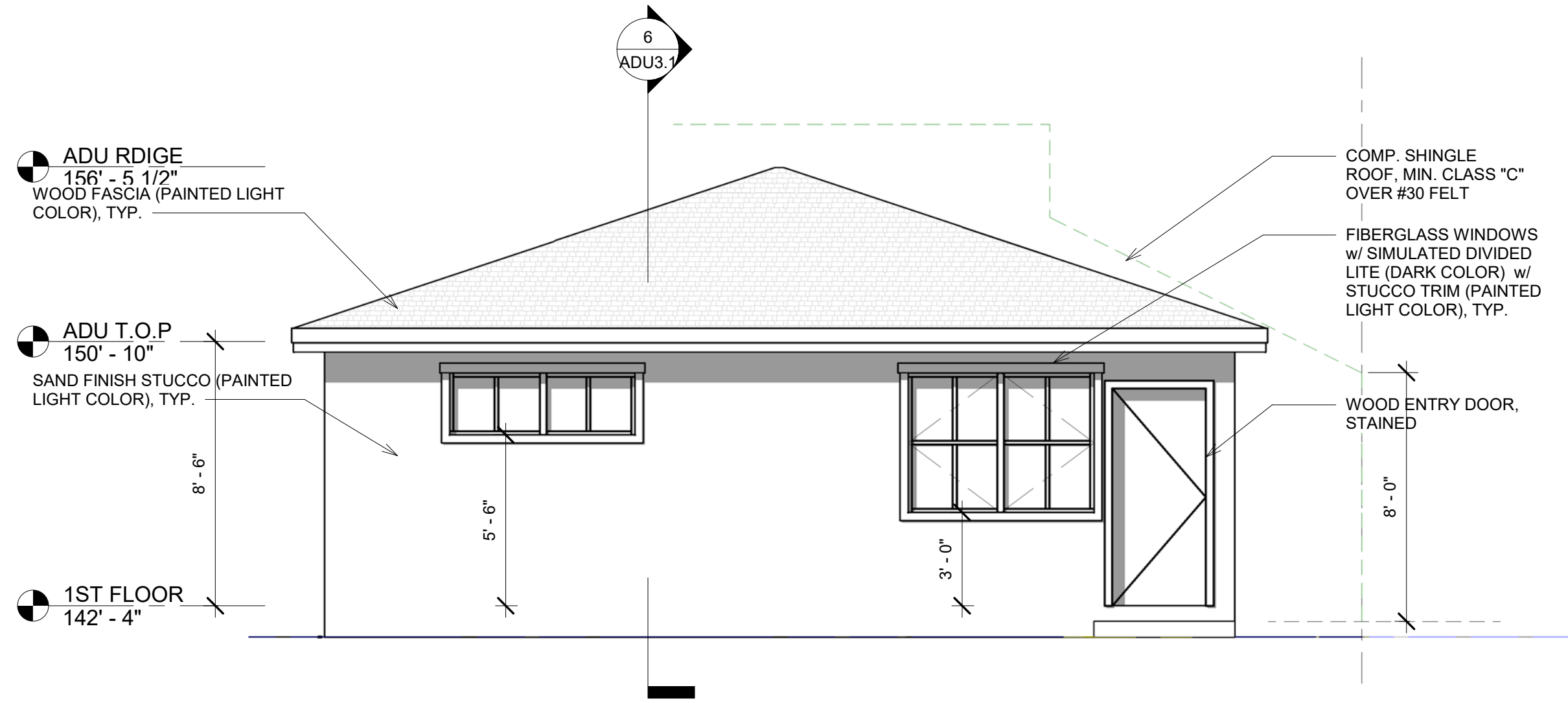
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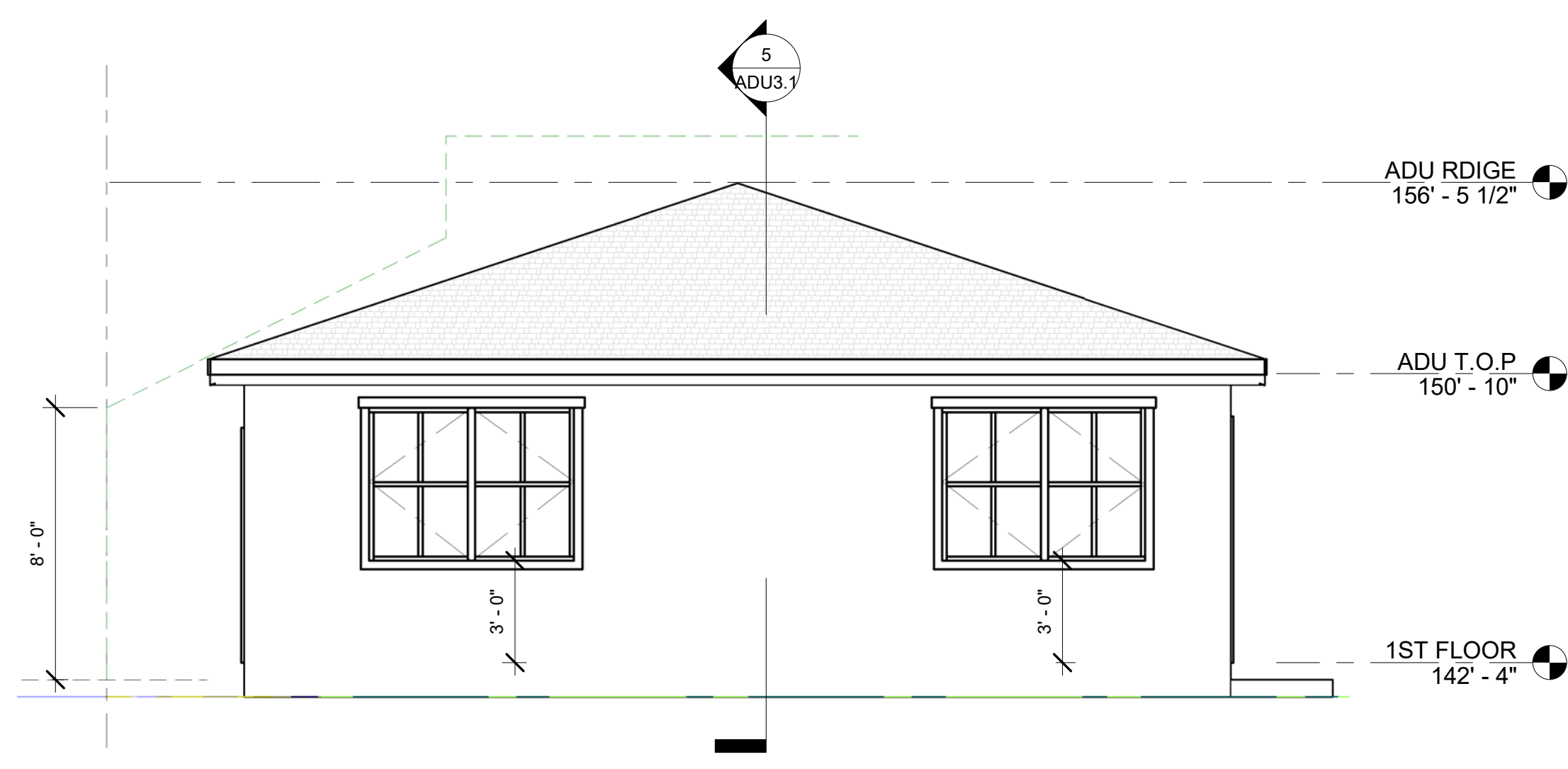
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FILENAME	

ADU2.1
FLOOR PLAN & ROOF PLAN

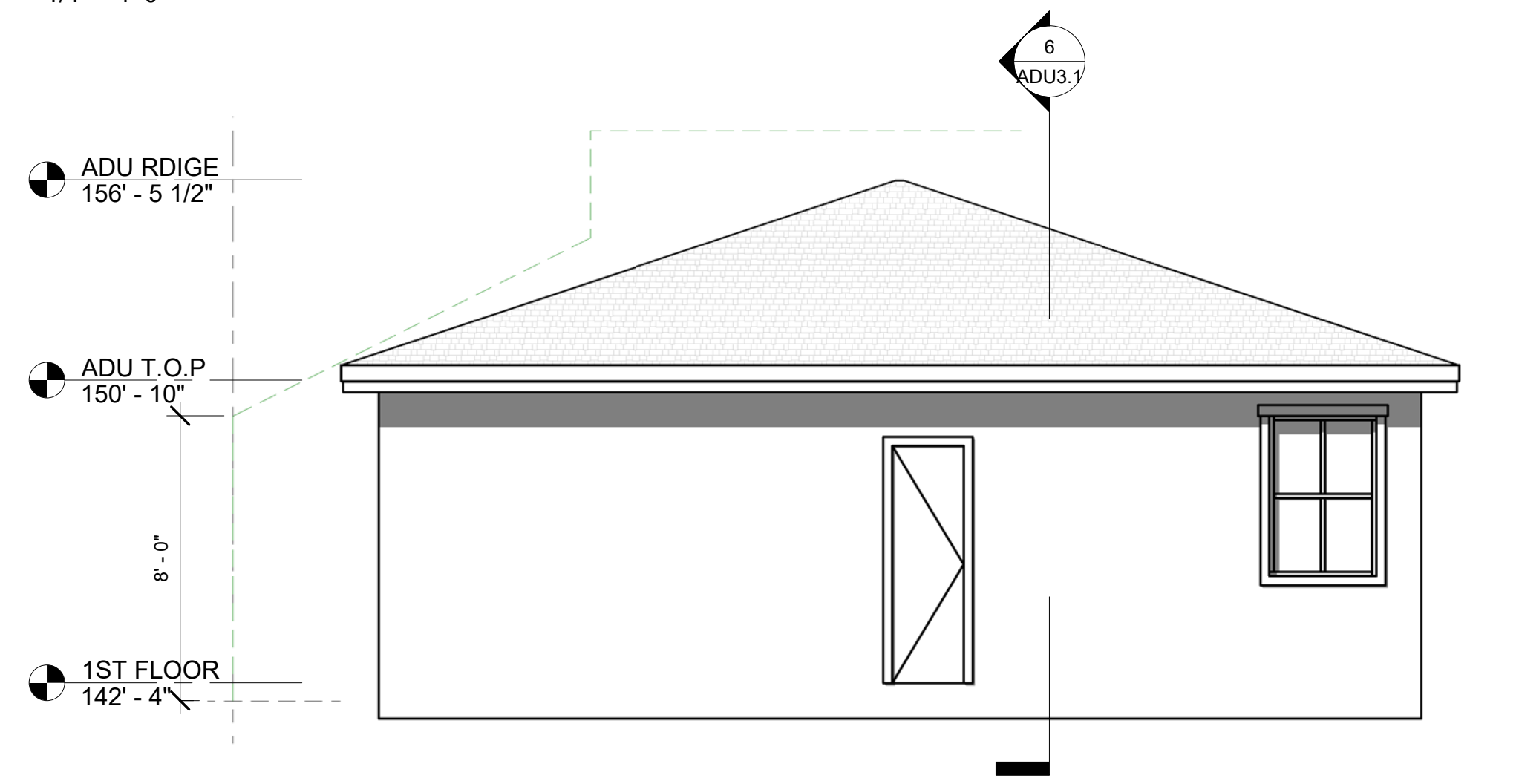
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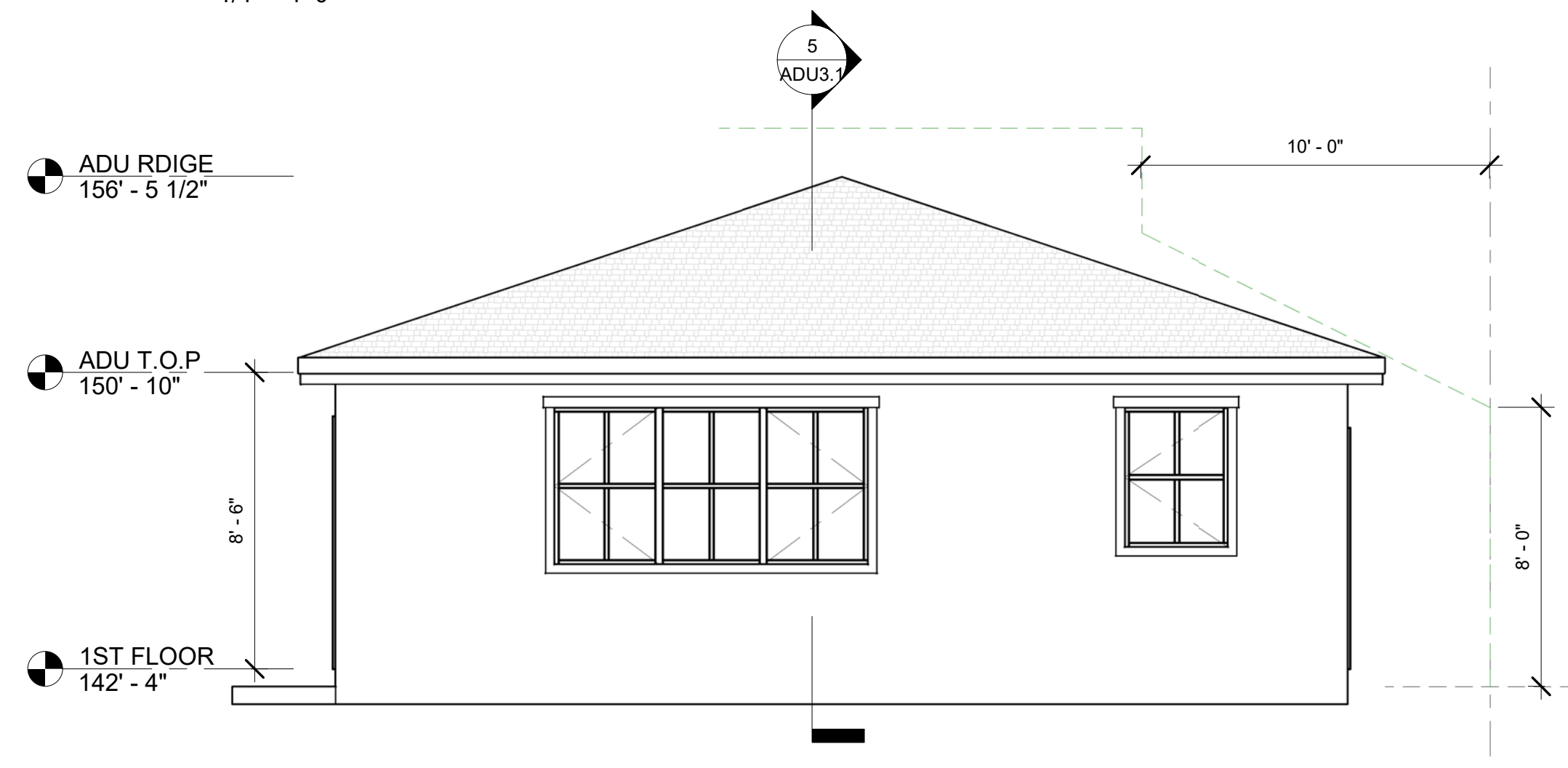
1 ADU FRONT (EAST) ELEVATION
1/4" = 1'-0"



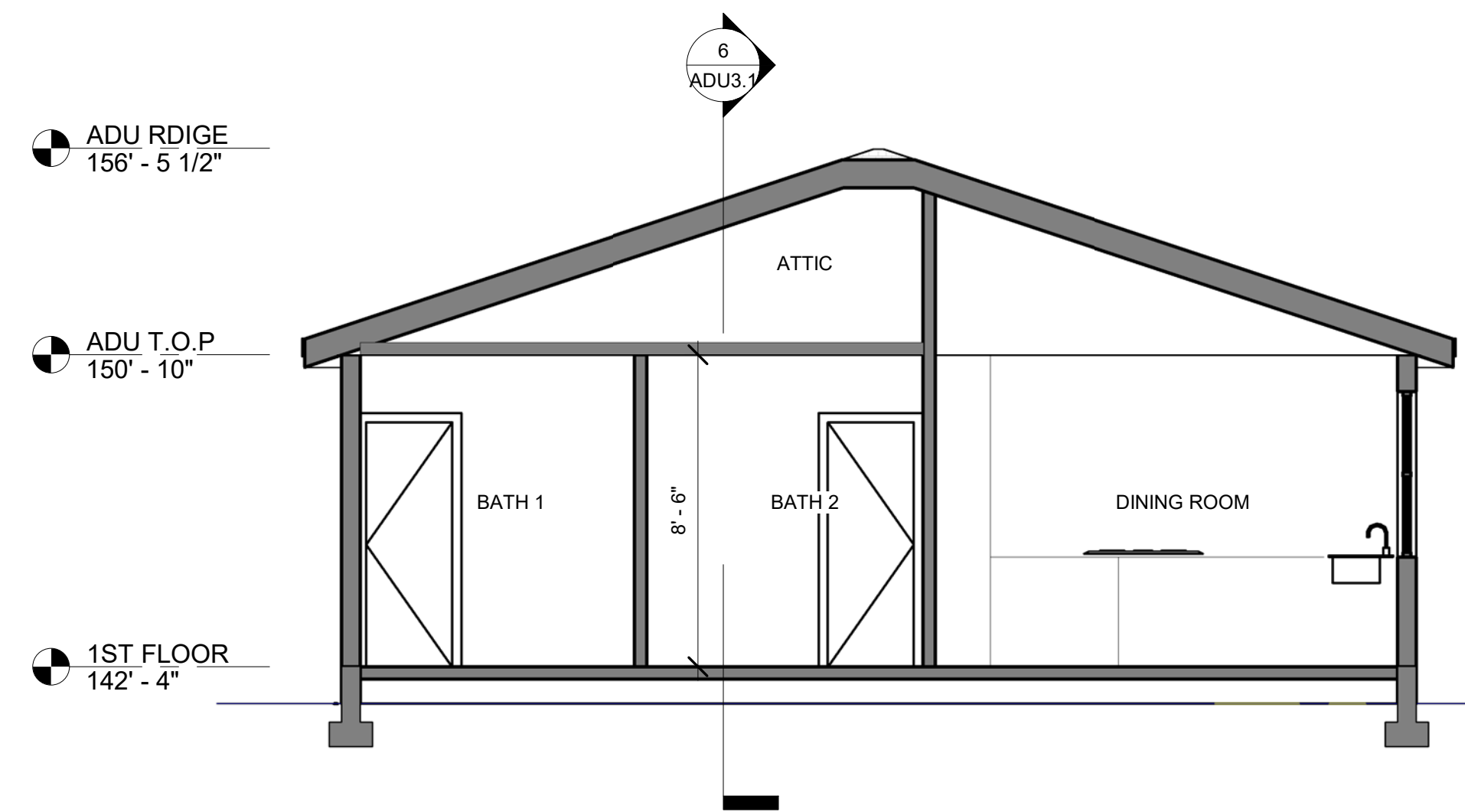
2 ADU LEFT (SOUTH) ELEVATION
1/4" = 1'-0"



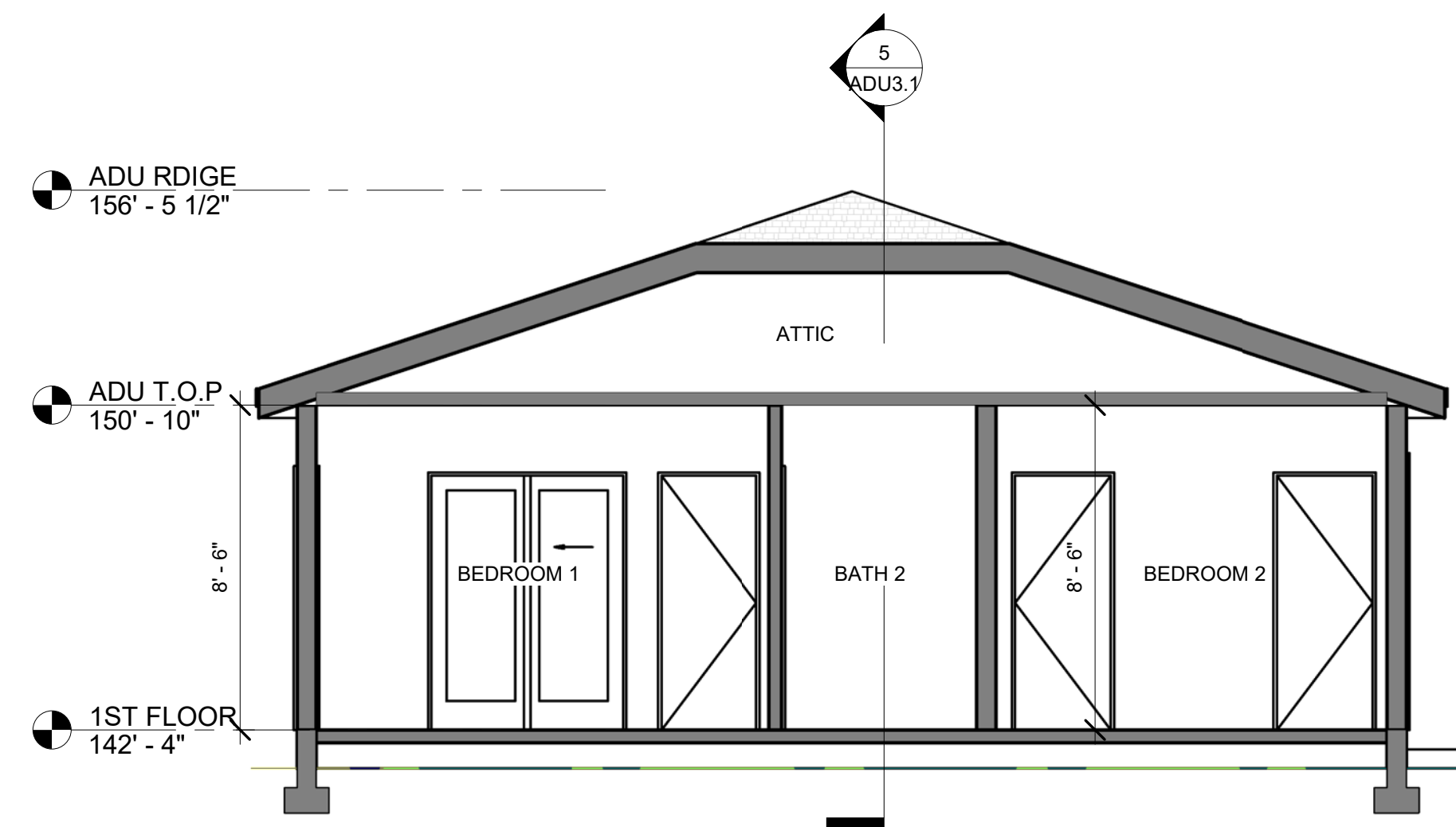
3 ADU REAR (WEST) ELEVATION
1/4" = 1'-0"



4 ADU RIGHT (NORTH) ELEVATION
1/4" = 1'-0"



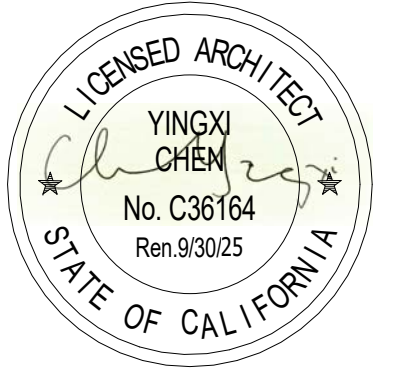
5 ADU SECTION 1
1/4" = 1'-0"



6 ADU SECTION 2
1/4" = 1'-0"



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APN:189-35-038

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HUAPENG ZHOU

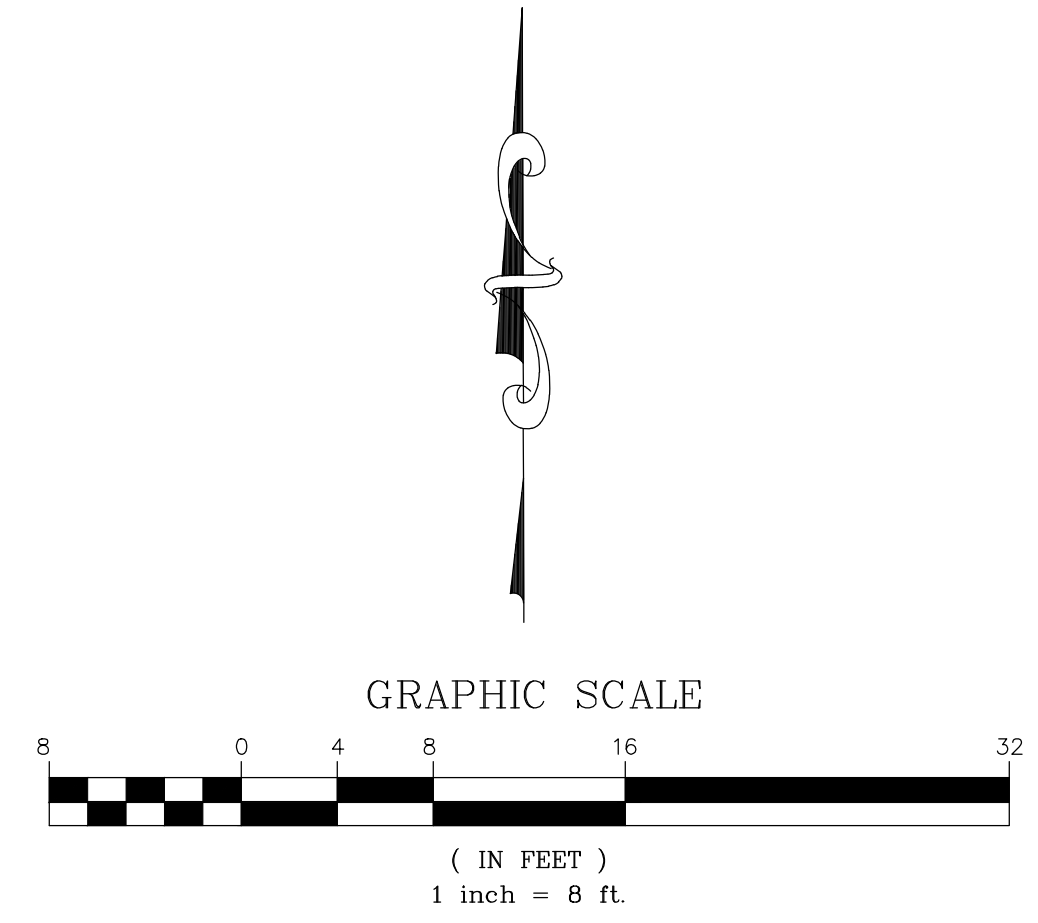
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DATE	11/17/2023
SCALE	1/4" = 1'-0"
FILENAME	

ADU3.1
ADU EXTERIOR
ELEVATIONS & SECTIONS

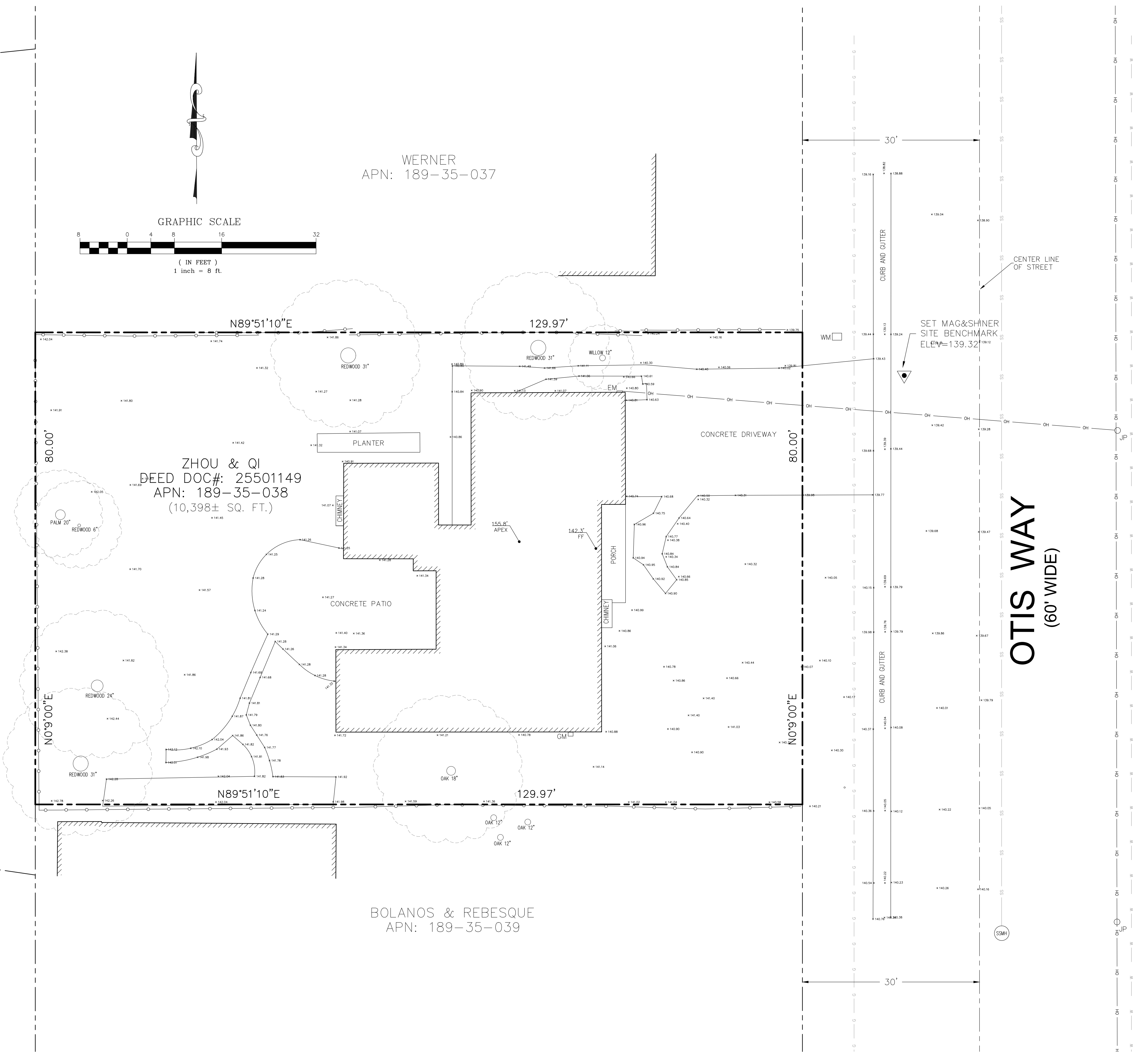


WERNER
APN: 189-35-037

ZHOU & QI
DEED DOC#: 25501149
APN: 189-35-038
(10,398± SQ. FT.)

BOLANOS & REBESQUE
APN: 189-35-039

41 MAPS 21
LOT 4



THIS SURVEY PLAT OF EXISTING CONDITIONS REFLECTS THE SITE CONDITIONS AT THE TIME WHEN THE FIELD SURVEY WAS PERFORMED.
THIS SURVEY PLAT MUST BE USED AS A STAND-ALONE DOCUMENT. IT CAN NOT BE SCANNED, ALTERED, CROPPED OUT OR MODIFIED WITH ZHEN'S LAND SURVEYING CORP.'S TITLE BLOCK AND SURVEYOR'S STAMP AND SIGNATURE.
THIS SURVEY PLAT CAN BE ONLY ATTACHED AS A SEPARATE DOCUMENT BY ITSELF TO THE DEVELOPMENT PROJECT OF THE SUBJECT PROPERTY AND CAN NOT BE USED ON OTHER DEVELOPMENT PROJECTS WITHOUT WRITTEN APPROVAL OF ZHEN'S LAND SURVEYING CORP.

ABBREVIATIONS AND LEGEND

BSBL	BUILDING SETBACK LINE	SM	SANITARY SEWER MANHOLE
CB	CATCH BASIN	SD	STORM DRAIN MANHOLE
CONC	CONCRETE	FD	FIRE HYDRANT
EM	ELECTRIC METER	SS	SANITARY SEWER LINE
EP	EDGE OF PAVEMENT	W	WATER LINE
FT	FRUIT TREE	OH	OVERHEAD ELECTRICAL LINE
GM	GAS METER	G	GAS LINE
GND	GROUND	SD	STORM DRAIN LINE
HCR	HANDICAP RAMP		
JP	JOINT POLE		
PUE	PUBLIC UTILITY EASEMENT		
SP	SIGN POLE		
SSCO	SANITARY SEWER CLEAN OUT		
SFNF	SEARCH FOR NOT FOUND		
TC	TOP OF CURB		
TEL	TELEPHONE		
UNK T	UNKNOWN TREE		
WM	WATER METER		
---	BOUNDARY LINE		
- - -	EXISTING FENCE LINE		
⊠	EXISTING BUILDING OUTLINE		
⊠	FOUND STANDARD CITY MONUMENT		
()	INDICATES REFERENCE MAP NUMBER		

REFERENCE INFORMATION
(1) 26 MAPS 35 (2) 41 MAPS 21
(3) 46 MAPS 16 (4) DEED DOC#: 25501149

NOTE:
(1) ALL DISTANCES AND DIMENSIONS SHOWN ARE IN FEET AND DECIMALS THEREOF UNLESS OTHERWISE NOTED.
(2) BUILDING OUTLINE WAS MEASURED AT BUILDING EXTERIOR FINISH WALL SURFACE UNLESS OTHERWISE NOTED.
(3) ELEVATION DATUM: NAVD 88. ELEVATIONS WERE ESTABLISHED WITH GNSS OBSERVATIONS.

UTILITY NOTE
1. THE SURFACE UTILITIES SHOWN ON THIS DRAWING HAVE BEEN LOCATED BY FIELD SURVEY. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN COMPILED FROM RECORDS OF THE VARIOUS AGENCIES. THE SURVEYOR ASSUMES NO RESPONSIBILITY FOR THEIR INDICATED LOCATION, SIZE, OR TYPE. RECORD UTILITY INFORMATION SHOULD BE CONFIRMED BY EXPOSING THE UTILITY.
2. SEWER CLEAN OUT WAS SEARCHED NOT FOUND ON SITE. ACTUAL LOCATION OF SANITARY SEWER LATERAL TO BE VERIFIED IN THE FIELD.

TOPOGRAPHIC SURVEY

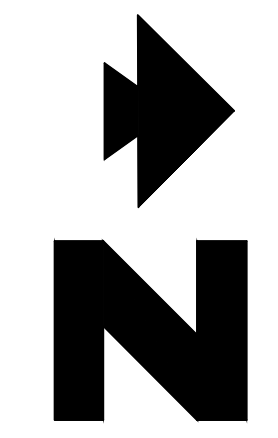
LANDS OF ZHOU AND QI
DEED DOC#: 25501149
APN 189-35-038
(16 OTIS WAY)

CITY OF LOS ALTOS SANTA CLARA COUNTY CALIFORNIA
SCALE: 1"=8' AUGUST, 2023

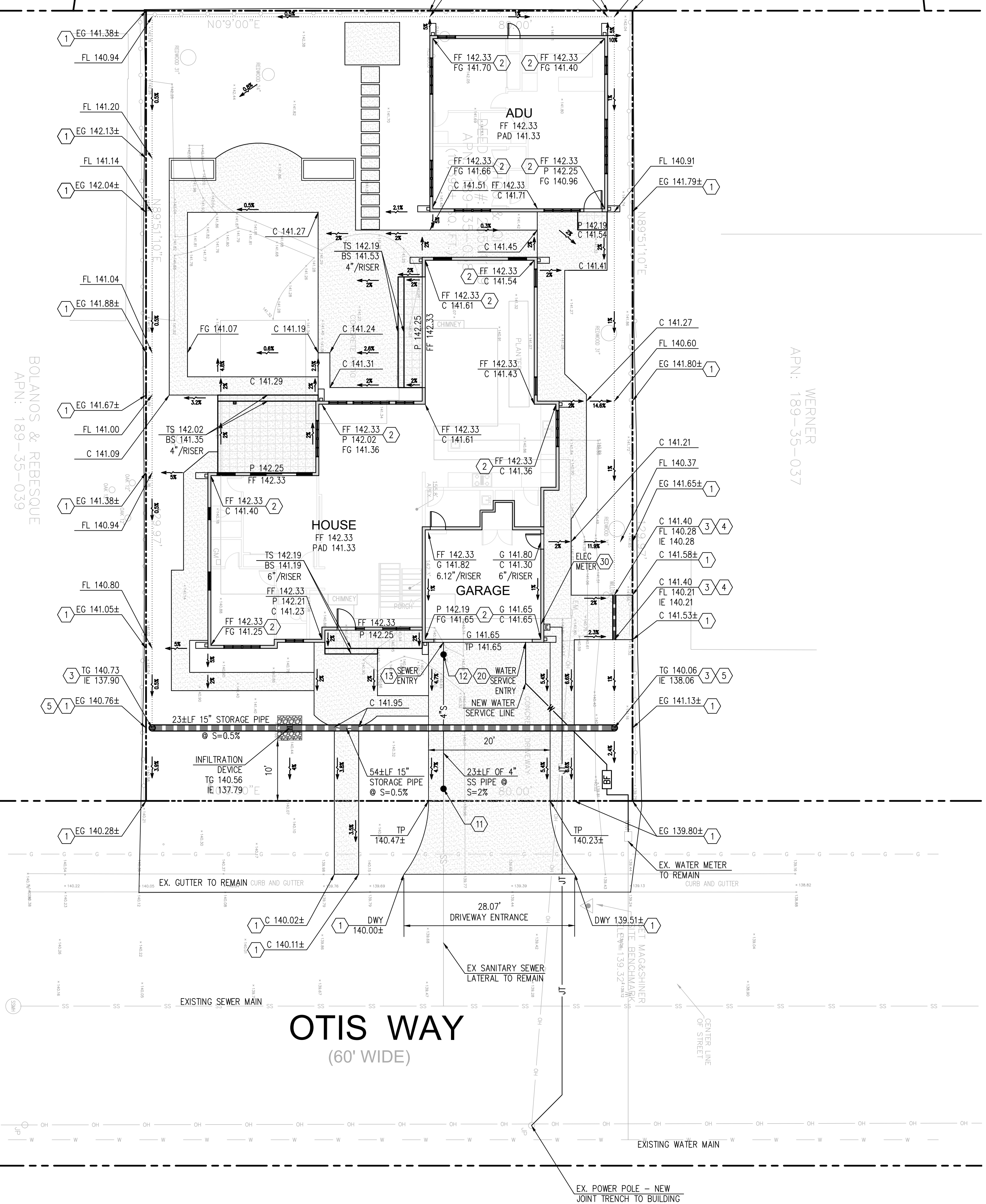
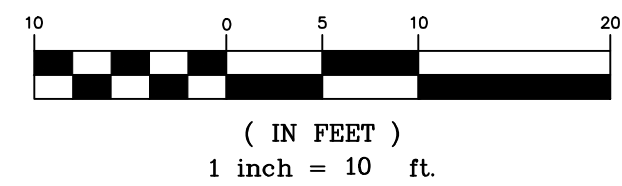
Zhen Wang
ZHEN WANG
08/18/2023
DATE



41 MAPS 21
LOT 4



GRAPHIC SCALE



PRE & POST DEVELOPMENT PERVIOUS/IMPERVIOUS AREAS:

AREA TYPE	EXISTING (SF)	PROPOSED (SF)
LOT AREA	10,397 SF	10,397 SF
	0.239 ACRE	0.239 ACRE
HOUSE (ROOF)	2,060*	3,018*
ADU	N/A	977*
PATIO/HARDSCAPE/PAVEMENT	1,263	1,891
DRIVEWAY	526	477
TOTAL IMPERVIOUS AREA	3,849	6,363
NET IMPERVIOUS AREA INCREASED:		2,514
PERVIOUS AREA	6,548	4,034
TOTAL PERVIOUS AREA	6,548	4,034

* INCLUDES BUILDING ROOF OVERHANG AREA

EARTHWORK VOLUME:
(INCLUDES BUILDING PAD, BASEMENT & POOL)

EARTHWORK QUANTITIES:	VOLUME (CUBIC YARD)
FILL	60
COMPACTION RATE: 15%	60 x 0.15 = 9
TOTAL FILL	69
CUT	20
TOTAL EARTHWORK	49 (IMPORT)

CONTRACTOR SHALL ESTIMATE THEIR EARTHWORK QUANTITIES WHEN BIDDING ON THIS PROJECT

STORM DRAIN VOLUME CALCULATION:

TIME OF CONCENTRATION = 5 MIN
INTENSITY = 10 YEAR = 2.57 IN/HR
IMPERVIOUS AREA INCREASED = 2,516 SF = 0.058 ACRE

PRE-CONDITION	VOLUME REQUIRED:
Q=CIA C=0.35	V=1.5(Q POST - Q PRE) X 10 MIN
Q=0.35 X 2.57 X 0.058	Q=1.5(0.134 - 0.052) X 600
Q=0.052 CFS	Q=73.8 CF

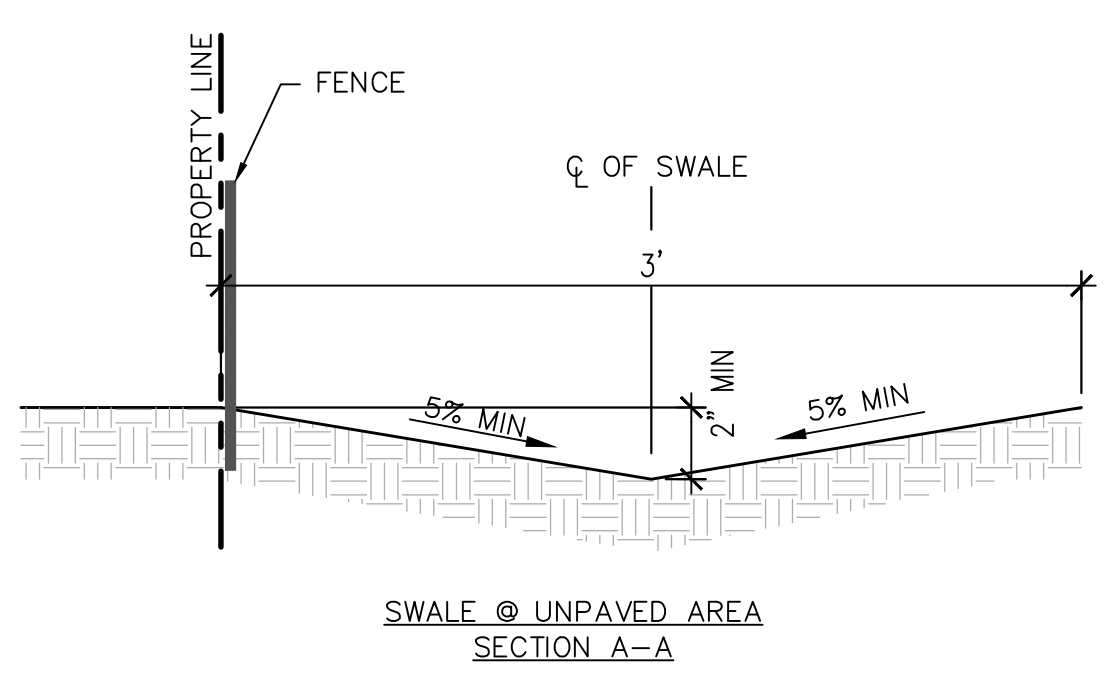
POST-CONDITION	VOLUME PROVIDED:
Q=CIA	V=77 LF X 15" STORAGE PIPE
Q=0.90 X 2.57 X 0.058	V=94.7 CF (TOTAL)
Q=0.134 CFS	

- GENERAL NOTES:**
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
 - CONTRACTOR SHALL PROTECT ALL PROPERTY CORNERS.
 - CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
 - CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
 - CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDING FOR ALL NATURAL AND PAVED AREAS.
 - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
 - THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
 - UTILITY VAULTS, TRANSFORMERS, UTILITY CABINETS, CONCRETE BASES, OR OTHER STRUCTURES CANNOT BE PLACED OVER WATER MAINS/SERVICES. MAINTAIN 1' HORIZONTAL CLEAR SEPARATION FROM THE VAULTS, CABINETS & CONCRETE BASES TO EXISTING UTILITIES AS FOUND IN THE FIELD. IF THERE IS CONFLICT WITH EXISTING UTILITIES, CABINETS, VAULTS & BASES SHALL BE RELOCATED FROM THE PLAN LOCATION AS NEEDED TO MEET FIELD CONDITIONS. TREES MAY NOT BE PLANTED WITHIN 10' OF EXISTING WATER MAINS/SERVICES OR METERS. MAINTAIN 10' BETWEEN TREES AND WATER SERVICES, MAINS & METERS.
 - CONTRACTOR SHALL REFER TO ARCH. PLANS FOR EXACT LOCATIONS OF UTILITIES SERVICES TO NEW BUILDING. COORDINATE WITH LOCAL UTILITIES COMPANIES FOR SERVICE CONNECTIONS.
 - ANY DAMAGED RIGHT-OF-WAY INFRASTRUCTURES AND OTHERWISE DISPLACED CURB AND GUTTER SHALL BE REMOVED AND REPLACED AS DIRECTED BY THE CITY ENGINEER OR HIS DESIGNEE. CONTRACTOR SHALL COORDINATE WITH PUBLIC WORKS DEPARTMENT AT (650) 947-2680.
 - GROUND COVER IS PROVIDED IN AREAS WHERE THERE IS EXPOSED SOIL.
 - PRIOR TO THE COMMENCEMENT OF ANY WORK DONE IN THE PUBLIC RIGHT-OF-WAY, A PERMIT TO OPEN STREET AND/OR AN ENCROACHMENT PERMIT WILL BE REQUIRED.

- LEGEND**
- = PROPERTY LINE
 - = STREET CENTER LINE
 - = EX. ROLLED CURB
 - + 50.0 = EX. SPOT ELEVATION
 - > = FLOW DIRECTION
 - = GRADE BREAK
 - = FLOW LINE
 - [Symbol] = INFILTRATION DEVICE
 - [Symbol] = AREA INLET
 - [Symbol] = STORM DRAIN PIPE
 - [Symbol] = CONCRETE SPLASH PAD
 - 4"S = NEW 4" SEWER LATERAL
 - [Symbol] = SANITARY SEWER CLEANOUT
 - SS = EXISTING SEWER LINE
 - W = NEW WATER SERVICE LINE
 - W = EXISTING WATER LINE
 - G = EXISTING GAS LINE
 - JT = NEW ELECTRICAL LINE / JOINT TRENCH
 - FL = FLOW LINE
 - G = GARAGE
 - GB = GRADE BREAK
 - C = CONCRETE
 - IE = INVERT ELEVATION
 - L = LAWN
 - LF = LINEAL FOOT
 - LP = LOW POINT
 - N = NEW
 - P = PATIO OR PORCH
 - PG = PERGOLA
 - R.O.W. = RIGHT-OF-WAY
 - S = SLOPE
 - SD = STORM DRAIN
 - SR = STRAW ROLL
 - TC = TOP OF CURB
 - TG = TOP OF GRATE
 - TP = TOP OF PAVEMENT
 - TS = TOP OF STEP
 - TW = TOP OF WALL
 - TPY = TYPICAL

- ABBREVIATIONS:**
- BS = BOTTOM OF STEP
 - BOW = BACK OF WALK
 - BW = BOTTOM OF WALL
 - C = CONCRETE
 - DWY = DRIVEWAY
 - EG = EXISTING GRADE
 - EX = EXISTING
 - EP = EDGE OF PAVEMENT
 - FF = FINISHED FLOOR
 - FG = FINISHED GRADE
 - FL = FLOW LINE
 - G = GARAGE
 - GB = GRADE BREAK
 - IE = INVERT ELEVATION
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 - TW = TOP OF WALL
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- GRADING NOTES**
- MATCH EXISTING ELEVATION. GRADING LIMIT IS TO PROPERTY LINE. NO GRADING ALLOWED ON ADJACENT PROPERTIES.
 - DOWNSPOUT WITH CONCRETE SPLASH PAD
 - BEGIN/END SWALE. SEE SECTION A-A
 - BEGIN/END DEEPEMED CURB
 - DRAIN INLET
 - INSTALL SANITARY SEWER CLEANOUT PER CITY OF LOS ALTOS STANDARD DETAIL #SS-6. CLEANOUT PLACEMENT SHALL BE WITHIN 5' OF PROPERTY LINE. CONTRACTOR SHALL FIELD VERIFY THE EXACT SEWER LOCATION AND INVERT ELEVATION PRIOR TO INSTALLATION.
 - INSTALL SANITARY SEWER CLEANOUT WITH BACKFLOW PREVENTION DEVICE. PLACE CLEANOUT 2' OUTSIDE OF BUILDING FOUNDATION.
 - SANITARY SEWER SERVICE ENTRY TO BUILDING. SEE ARCH PLANS FOR PIPE CONTINUATION
 - DOMESTIC WATER SERVICE ENTRY TO BUILDING. SEE ARCH PLANS FOR PIPE CONTINUATION
 - ELECTRICAL PANEL. ELECTRICAL SERVICE ENTRY TO BUILDING. SEE ARCH PLANS FOR LINE CONTINUATION



GRADING AND DRAINAGE PLAN
QI & ZHOU RESIDENCE
16 OTIS WAY,
LOS ALTOS, CA 94022

GREEN
CIVIL ENGINEERING, INC
INFO@GREEN-CE.COM
1900 S. NORFOLK ST. SUITE #350
SAN MATEO, CA 94403

REGISTERED PROFESSIONAL ENGINEER
CHEN HANG WONG
No. 13366
Exp. 12/31/2024
CIVIL
STATE OF CALIFORNIA

SCALE
VERTICAL: 1"= AS SHOWN
HORIZONTAL: 1"= AS SHOWN

DATE: 11/02/2023
DESIGNED: HCL
DRAWN: BL
REVIEWED: HCL
JOB NO.: 20230060

SHEET
C1
1 OF 1 SHEETS

GENERAL NOTES

1. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS, THE LOCATION OF ALL TREES WITHIN THE LIMIT OF WORK, UTILITIES, AND ALL SITE ELEMENTS PRIOR TO BEGINNING THE WORK.
2. PERFORM ALL WORK IN CONFORMANCE WITH REQUIREMENTS AND OTHER APPLICABLE CODES, ORDINANCES AND REGULATIONS. OBSERVE ALL SETBACKS SHOWN ON THE PLANS AND AS OTHERWISE MAY BE REQUIRED.
3. SOME ADJUSTS/MODIFICATIONS MAY BE REQUIRED DUE TO CONSIDERATIONS OF ACTUAL SITE CONDITIONS.
4. DIMENSIONS ARE TO TAKE PRECEDENCE OVER SCALES AT ALL TIMES. LARGE SCALE DETAILS ARE TO TAKE PRECEDENCE OVER THOSE AT SMALL SCALE.
5. REFER TO PLANTING PLAN FOR PLANTING NEW PLANTS.
6. REFER TO IRRIGATION PLAN FOR LANDSCAPE IRRIGATION SYSTEM.

PROJECT INFORMATION

Date: 01/31/2024

Project Address: 16 Otis Way, Los Altos

New Landscape Area: 2162 sq.ft., including 360 sq.ft. of turf (16.6% of total new landscape area)

Project Type: Single Family Residence

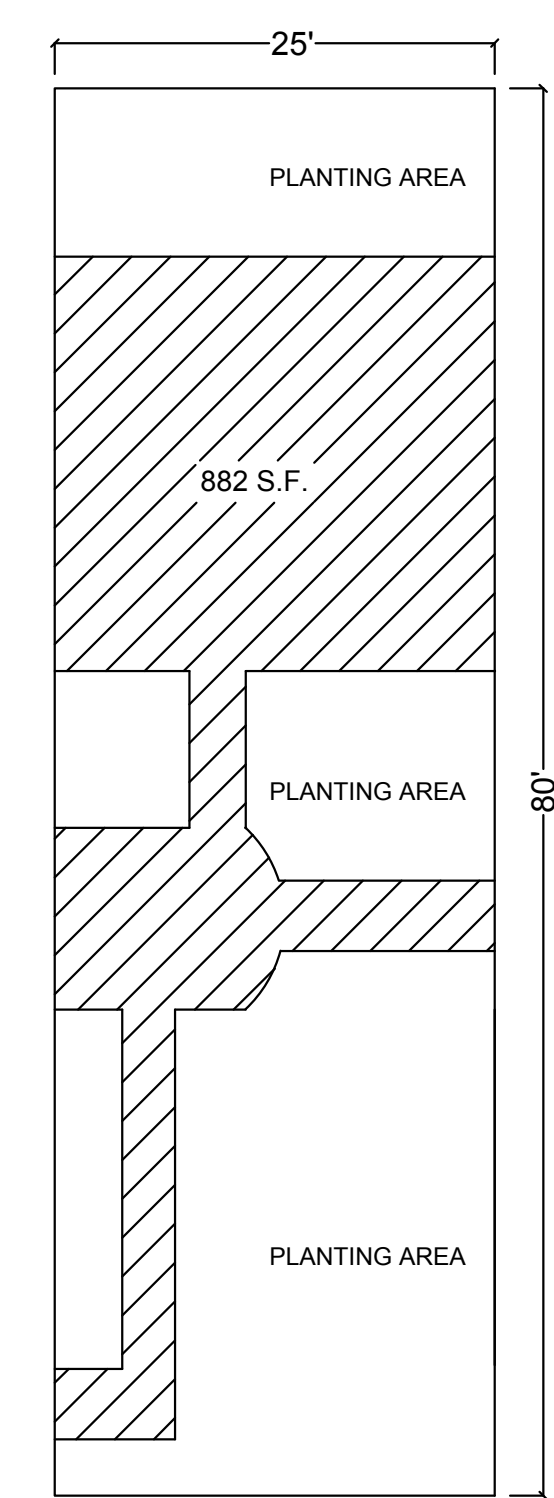
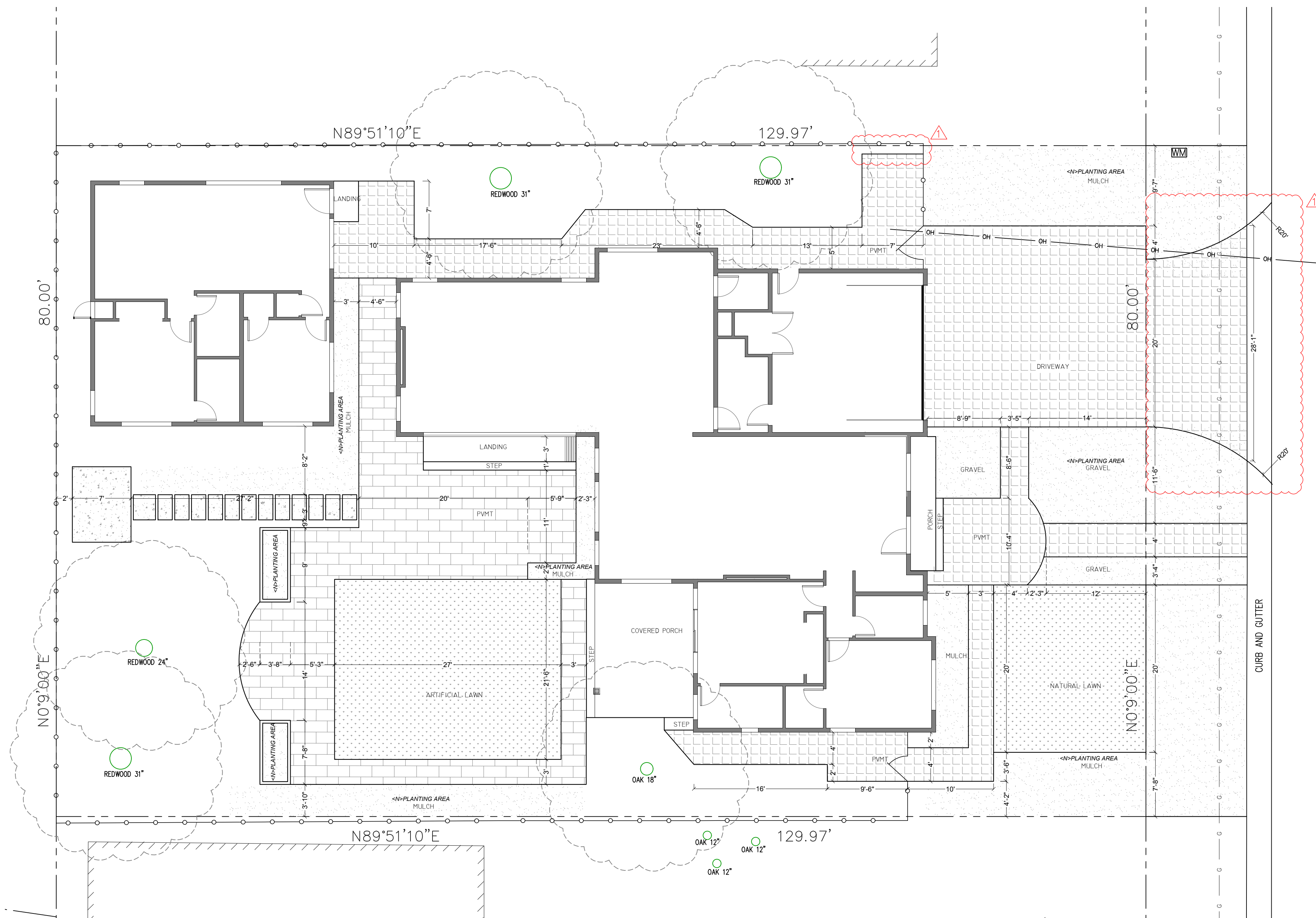
Project Description: Landscape design in front yard and backyard.

Water Provider: California Water Service Company

Contact of Applicant:

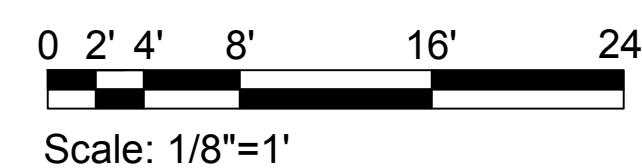
Jingni Zhang
858-699-9685
landscapedesignjz@gmail.com

"I have complied with the criteria of the Water Conservation in Landscaping Ordinance and applied them for the efficient use of water in the Landscape and Irrigation Design Plan"



TOTAL FRONT YARD: 2000 S.F.
PAVING: 882 S.F. (44%)
PLANTING AREA: 1118 S.F. (56%)

SITE PLAN



"I have complied with the criteria of the Water Conservation in Landscaping Ordinance and applied them for the efficient use of water in the Landscape and Irrigation Design Plan"

Project Name and Address

**16 Otis Way Los Altos
CA 94022**

REVISIONS	DATE
COMMENTS FROM PLANNING ON 1/2/2024	

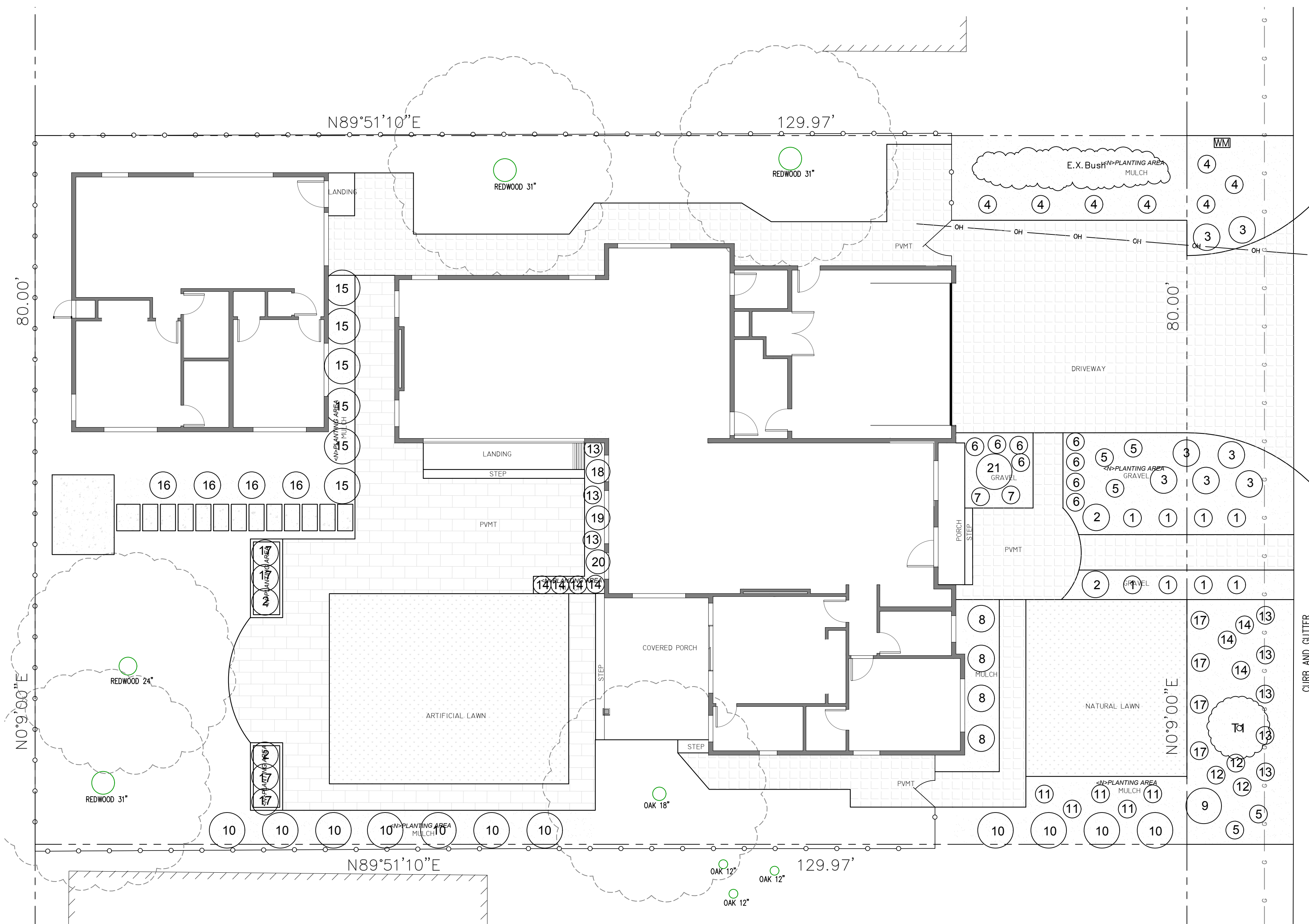
Hoo's Landscape Design
(858) 699-9685
landscapedesignjz@gmail.com

Date: 01/31/2024
Scale: 1/8"=1'
Drawn by: JZ

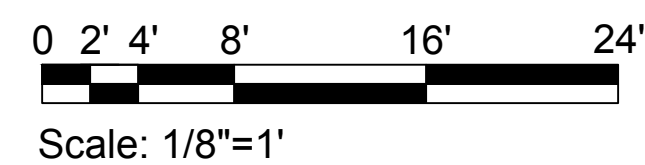
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LAYOUT PLAN

TURF, PLANTING, SOIL MANAGEMENT NOTES:

- 1 TURF SHALL NOT EXCEED 25% OF THE LANDSCAPE AREA IN RESIDENTIAL AREAS
- 2 PLANTS WITH SIMILAR WATER NEEDS ARE GROUPED WITHIN HYDROZONES
- 3 INCORPORATE COMPOST AT A RATE OF AT LEAST FOUR CUBIC YARDS PER 1,000 SQUARE FEET TO A DEPTH OF SIX INCHES INTO LANDSCAPE AREA(UNLESS CONTRA-INDICATED BY A SOIL TEST)
- 4 INSTALL 3 INCH DEEP LAYER OF TOP DRESS MULCH ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT IN AREAS OF DIRECT SEEDING APPLICATION OR SOD LAWN. USE VISION RECYCLING DARK BROWN MAHOGONY COLORED WONDER MULCH OR DARK BROWN PRO CHIP BARK OR OTHER MULCH APPROVED BY THE OWNER
- 5 GRADING SHALL BE DESIGNED TO MINIMIZE SOIL EROSION, RUN-OFF AND WATER WASTE ADDITIONAL NOTES
- 6 DON'T TRENCH TOO CLOSE TO STRUCTURES WITHOUT THE APPROVAL OF THE BUILDING ARCHITECT, CIVIL, OR STRUCTURAL ENGINEER
- 7 PRIOR TO ORDERING PLANTS OR SIGNING FINAL CONTRACT FOR WORK MAKE SURE YOU HAVE THE MOST CURRENT SET OF APPROVED PLANS AND MAKE SURE THERE ARE NO CHANGES TO THE PLANT CHOICES
- 8 ADJUST FINAL LOCATIONS OF PLANTS TO AVOID CONFLICTS WITH UTILITIES, LIGHTS, AND IRRIGATION COMPONENTS. SCREEN VALVES AND UTILITIES WITH PLANTS. DON'T PUT PLANTS TOO CLOSE TO PAVING OR BUILDINGS
- 9 GRADING AND DRAINAGE TO BE DONE ACCORDING TO THE APPROVED GRADING AND DRAINAGE PLANS DONE BY OTHERS
- 10 SEE ARBORIST REPORT FOR TREE PROTECTION MEASURES



PLANTING PLAN



PLANT LEGEND

KEY	BOTANICAL NAME	COMMON NAME	SIZE	QTY	WUCOLS RATING
TREE					
T1	Lagerstroemia Indica "Biloxi"	Biloxi Crape Myrtle	15 gallon	1	L
SHRUB					
1	Lavandula stoechas	Spanish Lavender	1 gallon	8	L
2	Cordyline banksii x pumilio	Festival Raspberry Cordyline	3 gallons	4	L
3	Lantana montevidensis	Purple Trailing Lantana	5 gallon	7	L
4	Limonium platyphyllum	Sea Lavender	1 gallon	7	L
5	Coleonema pulchellum 'Sunset Gold'	Sunset Gold Breath of Heaven	1 gallon	5	M
6	Hemerocallis 'Stella de Oro'	Stella d'Oro Daylily	1 gallon	8	M
7	Argyranthemum frutescens	Marguerite Daisy	1 gallons	2	M
8	Polygala fruticosa 'Petite Butterflies'	Petite Butterflies Sweet Pea Shrub	5 gallons	4	M
9	Cotinus coggygria	Smoketree	5 gallons	1	L
10	Prunus caroliniana	Carolina cherry laurel	15 gallons	11	L
11	Agapanthus africanus	Lily of the Nile	1 gallon	5	L
12	Iris germanica	Bearded Iris	1 gallon	3	L
13	Pittosporum tobira 'Wheeler's Dwarf'	Wheeler's Dwarf Japanese Pittosporum	1 gallon	8	L
14	Calandrinia spectabilis 'Shining Pink'	Shining Pink Rock Purslane	1 gallon	7	L
15	Pittosporum tenuifolium 'Oliver Twist'	Oliver Twist Pittosporum	15 gallon	6	M
16	Verbena lilacina 'De La Mina'	De La Mina Verbena	1 gallon	4	L
17	Pittosporum tenuifolium 'Golf Ball'	Golf Ball Pittosporum	3 gallon	4	M
18	Rosa 'Enchanted Peach'	Enchanted Peace Rose	5 gallons	1	M
19	Rosa 'Pinkerbelle'	Pinkerbelle Rose	5 gallons	1	M
20	Rosa 'Memorial Day'	Memorial Day Rose	5 gallons	1	M
21	Acer palmatum var. dissectum 'Red Dragon'	Red Dragon Japanese Maple	15 gallons	1	M

Plant quantities are for planning purposes only. Contractor to do own plant count.

Project Name and Address

**16 Otis Way Los Altos
CA 94022**

DATE	REVISIONS

Hoo's Landscape Design
(858) 699-9685
landscapedesignjz@gmail.com

Date: 1/31/2024
Scale: 1/8"=1'
Drawn by: JZ

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PLANTING PLAN

"I have complied with the criteria of the Water Conservation in Landscaping Ordinance and applied them for the efficient use of water in the Landscape and Irrigation Design Plan"

IRRIGATION NOTES:

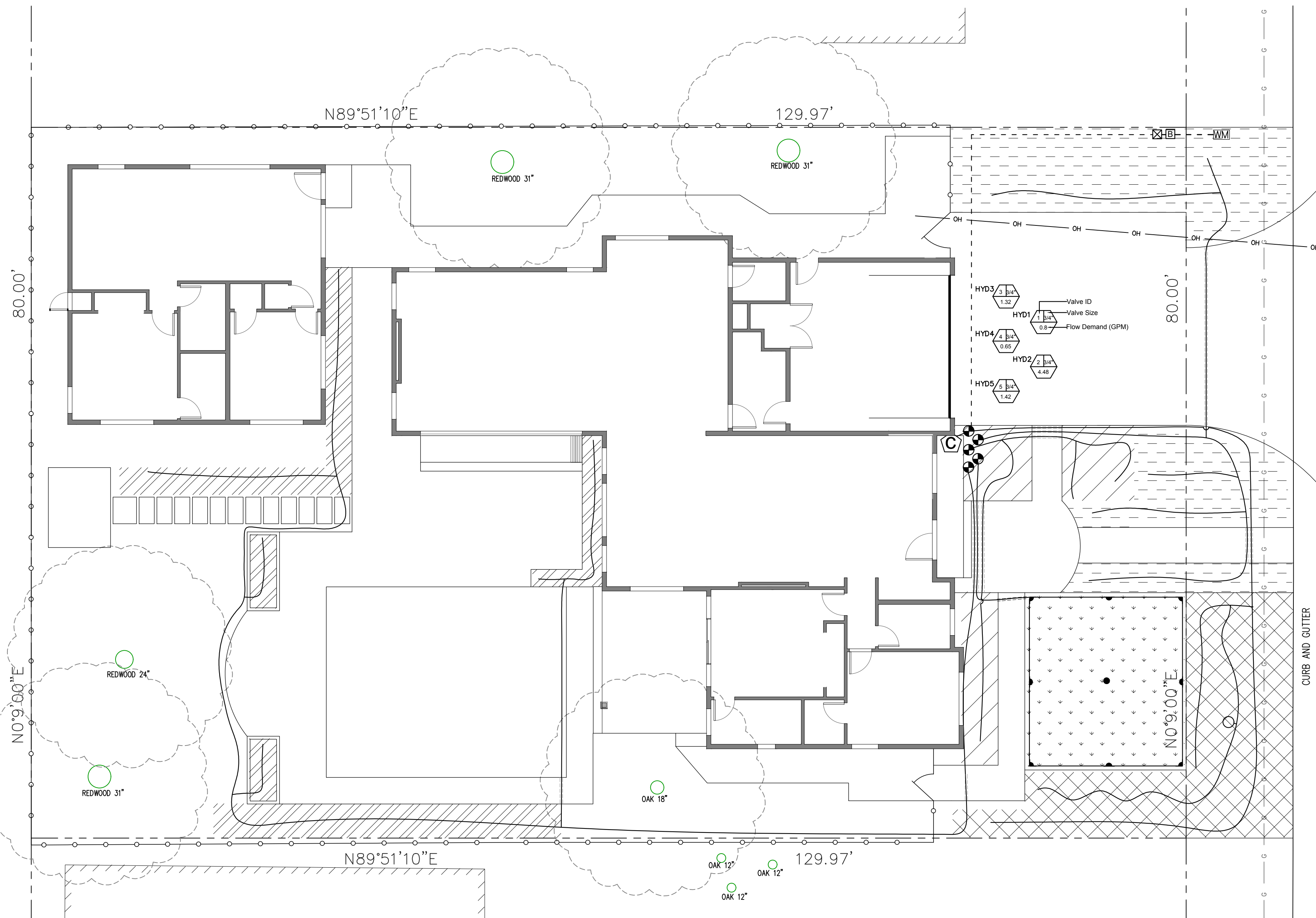
- (A) AUTOMATIC IRRIGATION CONTROLLERS ARE REQUIRED AND MUST USE EVAPOTRANSPIRATION OR SOIL MOISTURE SENSOR DATA AND UTILIZE A RAIN SENSOR.
- (B) IRRIGATION CONTROLLERS SHALL BE OF A TYPE WHICH DOES NOT LOSE PROGRAMMING DATA IN THE EVENT THE PRIMARY POWER SOURCE IS INTERRUPTED.
- (C) PRESSURE REGULATORS SHALL BE INSTALLED ON THE IRRIGATION SYSTEM TO ENSURE THE DYNAMIC PRESSURE OF THE SYSTEM IS WITHIN THE MANUFACTURERS RECOMMENDED PRESSURE RANGE.
- (D) MANUAL SHUT-OFF VALVES (SUCH AS A GATE VALVE, BALL VALVE, OR BUTTERFLY VALVE) SHALL BE INSTALLED AS CLOSE AS POSSIBLE TO THE POINT OF CONNECTION OF THE WATER SUPPLY.
- (E) ALL IRRIGATION EMISSION DEVICES MUST MEET THE REQUIREMENTS SET IN THE ANSI STANDARD, ASABE/ICC 802-2014. "LANDSCAPE IRRIGATION SPRINKLER AND EMITTER STANDARD." ALL SPRINKLER HEADS INSTALLED IN THE LANDSCAPE MUST DOCUMENT A DISTRIBUTION UNIFORMITY LOW QUARTER OF 0.65 OR HIGHER USING THE PROTOCOL DEFINED IN ASABE/ICC 802-2014.
- (F) IRRIGATION SUBMETERS ARE REQUIRED FOR RESIDENTIAL PROJECTS WITH MORE THAN 5,000 SQ.FT. OF LANDSCAPE AREA.

ADDITIONAL NOTES:

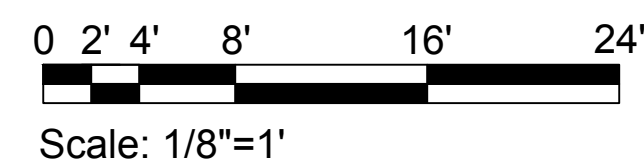
- 1. THIS SYSTEM IS DESIGNED TO OPERATE WITH MINIMUM 45 PSI AT THE POINT OF CONNECTION. IF THIS CONDITION IS NOT MET CONTACT THE LANDSCAPE ARCHITECT FOR POSSIBLE REDESIGN.
- 2. IRRIGATION PLAN IS DIAGRAM ONLY. DO NOT PUT VALVES TOO CLOSE TO TREES. STAY 8' TO 10' AWAY IF POSSIBLE. DO NOT PUT PRESSURE LINES UNDER TREES. INSTALL LINES IN PLANTING AREA INSTEAD OF UNDER PAVING WHENEVER POSSIBLE.
- 3. ALL PIPES AND VALVES SHALL BE INSTALLED WITHIN THE PROPERTY LINE. VERIFY THE LOCATION FOR ADEQUATE SPACE AND DEPTH PRIOR TO INSTALLATION.
- 4. POINT OF CONNECTION WILL TYPICALLY BE JUST BEFORE WATER ENTERS HOUSE. INSTALL 3/4" TEE AND BALL VALVE AND RUN 3/4" SCH 40 PVC TO VALVE LOCATIONS. KEEP ANTI-SIPHON VALVES IN CONSPICUOUS PLACES. INSTALL 6" TO 12" ABOVE HIGHEST SPRINKLER OR DRIP EMITTER ON THE CIRCUIT. KEEP VALVES OUT OF PATHS.
- 5. MAKE PROVISIONS TO ADD AN EXTRA CONTROL WIRE TO THE LOCATIONS OF THE VALVES WITH LARGE GPM FLOWS SO THAT EXTRA VALVES CAN BE ADDED IF THERE ISN'T ENOUGH WATER VOLUME AVAILABLE AT NECESSARY PRESSURE.
- 6. BE SURE AND FOLLOW THE PLANS. YOU WILL PROBABLY BE REQUIRED TO HAVE A LICENSED/CERTIFIED LANDSCAPE PROFESSIONAL OBSERVE THE LANDSCAPE CONSTRUCTION AT PERIODIC INTERVALS AND FILL OUT A CERTIFICATE OF INSTALLATION. THIS PERSON WILL ALSO BE RESPONSIBLE FOR PROVIDING AN IRRIGATION SCHEDULE FOR NEW PLANTINGS AND MATURE PLANTINGS AND A LANDSCAPE AND IRRIGATION MAINTENANCE SCHEDULE.
- 7. PLANTING AND IRRIGATION LOCATIONS AND QUANTITIES ARE BEST ESTIMATES. CONTRACTOR SHALL VERIFY THESE DURING CONSTRUCTION.
- 8. IRRIGATION PLAN IS DIAGRAM ONLY. ALL PIPES AND VALVES SHALL BE INSTALLED WITHIN THE PROPERTY LINE. VERIFY THE LOCATIONS FOR ADEQUATE SPACE AND DEPTH PRIOR TO INSTALLATION.

DRIP IRRIGATION NOTES:

- 1. SECURE LARGER 3/4" DRIP TUBING 1" BELOW GRADE WITH 7" OR 11" U-SHAPED STAKES 3' ON CENTER OR CLOSER SO THAT THE TUBING CAN BE FOUND EASILY BUT DOES NOT SHOW IF THE MULCH GET BRUSHED AWAY. COVER TUBING WITH SOIL AND MULCH AND INSTALL MANUAL FLUSH VALVE AT ENDS OF TUBING AND MARK THEM SO THEY CAN BE FOUND EASILY.
- 2. RUN LARGE TUBING OVER AND NEXT TO ROOT BALL OF PLANTS TO MINIMIZE LENGTH OF SMALLER 1/4" TUBING. SECURE EMITTERS ON 3/4" TUBING AT PLANT ROOT BALLS. WHEN NECESSARY RUN SHORT LENGTHS OF 1/4" TUBING FROM EMITTERS TO ROOT BALLS. INSTALL STAKES ON 1/4" TUBING AT 12" ON CENTER AND COVER TUBING WITH 1" OF SOIL PLUS MULCH.
- 3. AS THE PLANT AND ROOT BALL INCREASE IN SIZE, THE LOCATIONS OF THE EMITTERS MAY NEED TO BE ADJUSTED SO THEY ARE EVENLY SPACED OVER THE ROOT BALL.
- 4. INSTALL PRESSURE COMPENSATING EMITTERS (WITH MINIMAL DIFFERENCE IN FLOW BETWEEN 10 PSI AND 40 PSI) AT EACH PLANT ON ROOT BALL. USE AGRIFIM PC PLUS EMITTERS. USE THE ONES THAT 1/4" TUBING CAN BE CONNECTED TO.



IRRIGATION AND HYDROZONE



HYDROZONE SUMMARY

	HYDROZONE	VALVES	DESCRIPTION	GPM	SQ.FT	% OF TOTAL
	HYD 1	1	DRIP, LOW WATER, SHRUB	0.8	680	31.5%
	HYD 2	2	SPRAY, HIGH WATER, LAWN	4.48	360	16.6%
	HYD 3	3	DRIP, LOW WATER, SHRUB	1.32	490	22.7%
	HYD 4	4	DRIP, MODERATE WATER	0.65	219	10.1%
	HYD 5	5	DRIP, MIX WATER (LOW AND MODERATE)	1.42	413	19.1%
TOTAL (New Landscape/Irrigation area)					2162	100%

EMITTER SCHEDULE:

- A. TWO 1 GPH EMITTERS AT SMALL SHRUBS - 1, 2, 3, 4, 5, 6, 7, 8, 11, 12, 13, 14, 16, 17, 18, 19, 20
- B. FIVE 1 GPH EMITTERS AT LARGE SHRUBS - 9, 10, 15, 21
- C. FOR SHRUBS THAT HAVE MULTIPLE EMITTERS, PUT SOME OVER ROOT BALL (NOT RIGHT ON STEM) AND SOME OUT UNDER FUTURE CANOPY. SPACE EMITTER EVENLY IN ROOT ZONE AREA
- E. FOR TREE (T1) INSTALL FIVE 2 GPH EMITTERS ON AND AT EDGE OF ROOT BALL

IRRIGATION LEGEND

- Water Meter (House Main)
- Backflow prevention & Pressure Regulation Devices - Senninger PRLV and FEBCP 825Y or CA Approved Equal
- Irrigation shutoff valve - Gate or Ball Valve
- RAIN BIRD Outdoor Mounted Controller w/ A Model TWRS Wireless Rain Sensor or equal. Wall Mount as Directed by Owner.
- Remote Control Valve in Valve Box, RAIN BIRD 3/4" Anti-siphon Valve or equal.
- TORO precision spray nozzle 90 degree, 10', with 6" sprinkler pop-up
- TORO Precision spray nozzle 180 degree, 10', with 6" sprinkler pop-up
- TORO Precision spray nozzle 360 degree, 10' with 6" sprinkler pop-up
- Pressure Line - 3/4" PVC Sch 40 Pipe. 18" Cover.
- Sleeve for Control wire, 1-1/2" schedule 40 PVC pipe. 18" cover
- 1-1/4" PVC Sleeve.
- 3/4" PE Drip tubing with compression fittings - see drip notes

Project Name and Address

**16 Otis Way Los Altos
CA 94022**

DATE	REVISIONS

Hoo's Landscape Design
(858) 699-9685
landscapedesignJZ@gmail.com

Date: 1/31/2024
Scale: 1/8"=1'
Drawn by: JZ

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IRRIGATION AND HYDROZONE

"I have complied with the criteria of the Water Conservation in Landscaping Ordinance and applied them for the efficient use of water in the Landscape and Irrigation Design Plan"