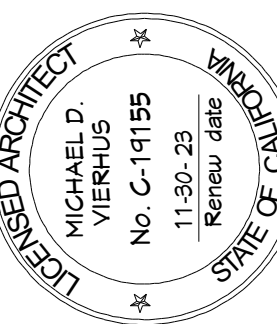


These documents are the property of Michael Vierhus, Architect and shall not be used or reproduced in anyway without his consent.

Michael Vierhus  
**ARCHITECT**  
P.O. Box 1098 Los Gatos CA 95031  
408.867.5808



Michael Vierhus  
ARCHITECT

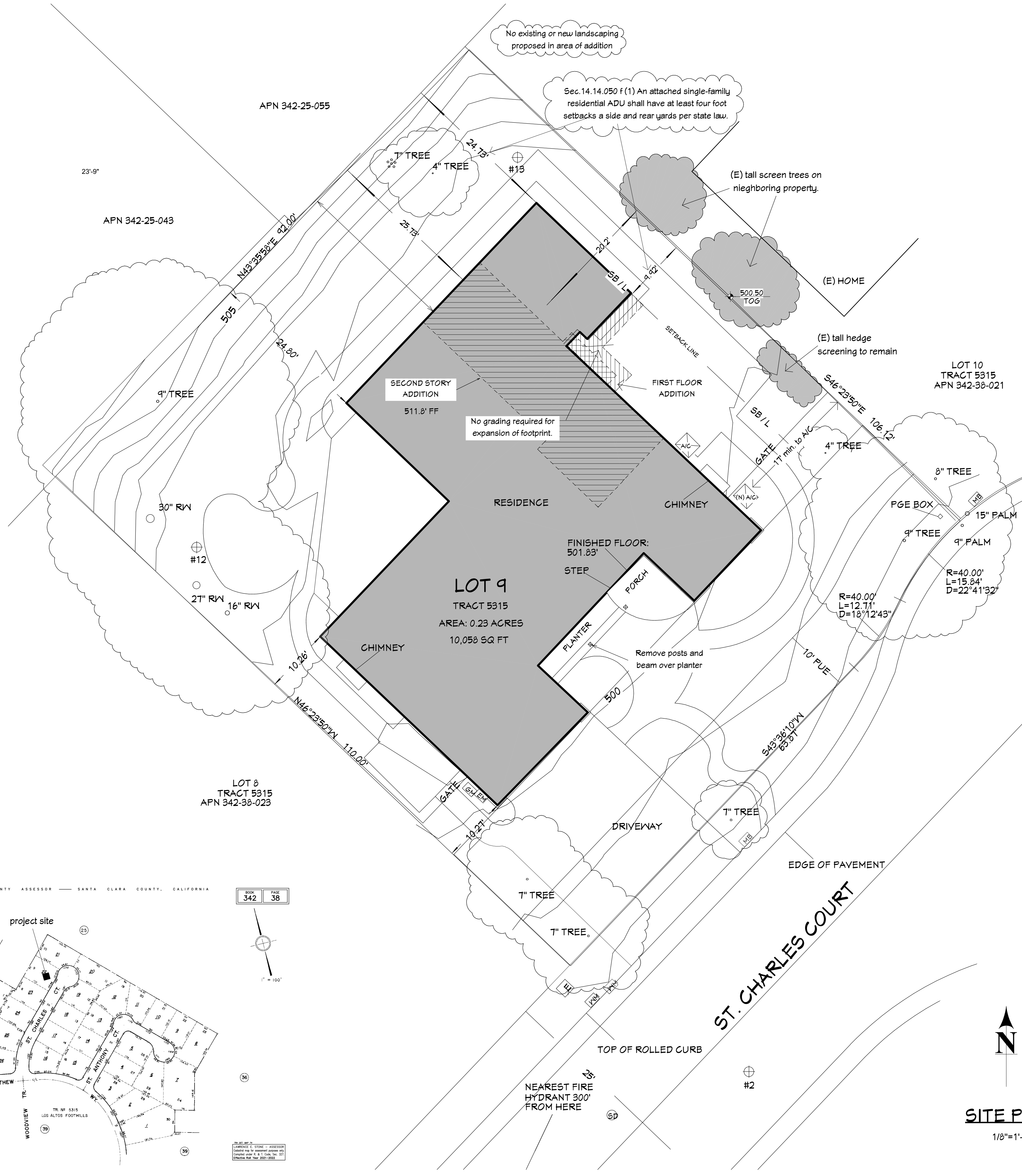
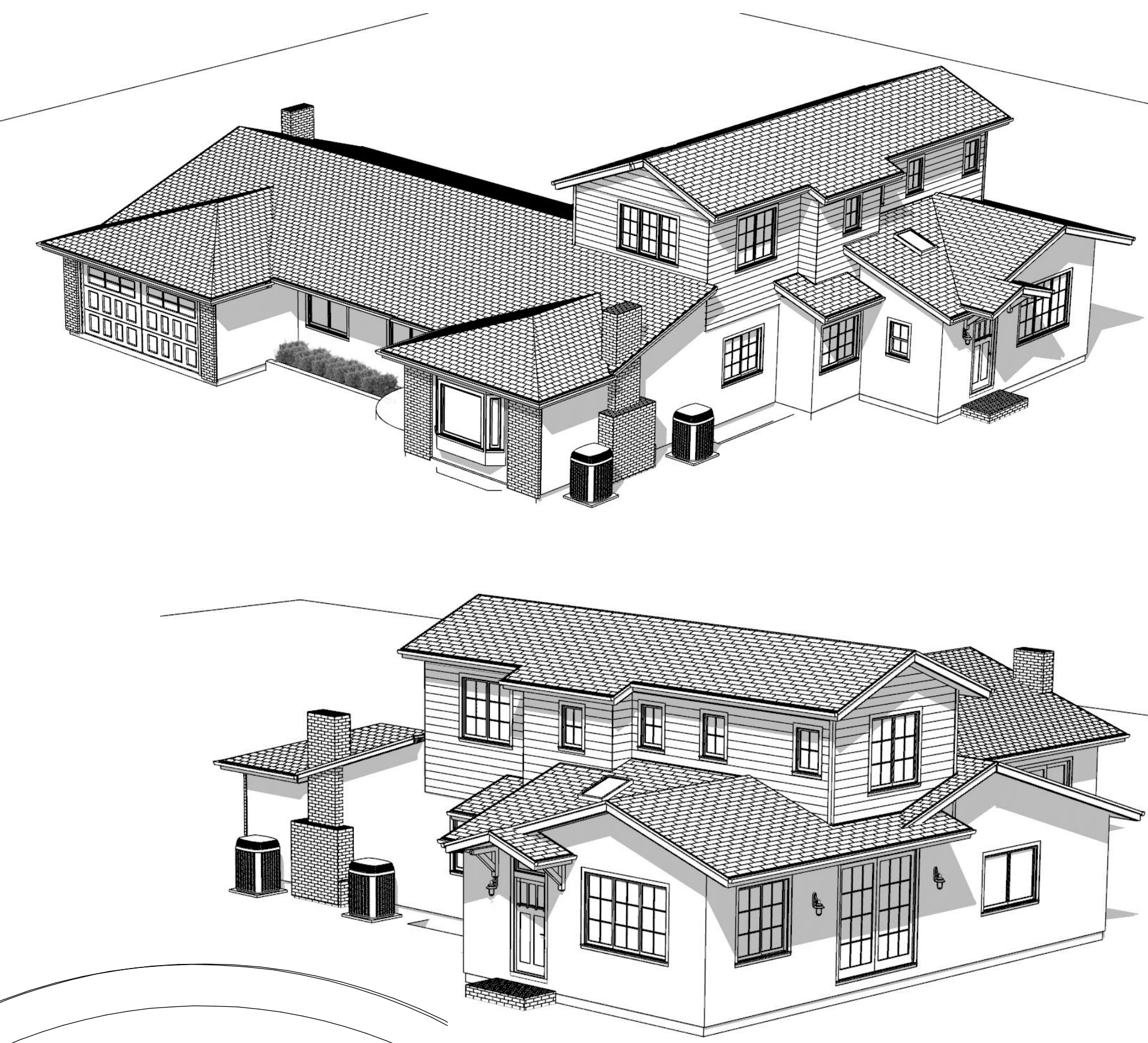


ADU ADDITION FOR:  
**YU RESIDENCE**  
1180 ST. CHARLES COURT LOS ALTOS CA

printed 8/22/2022  
revisions

sheet

**A-1**



**ZONING COMPLIANCE**

	Existing	Proposed	Allowed/Required
<b>LOT COVERAGE:</b> <i>Land area covered by all structures that are over 6 feet in height</i>	2924.5 square feet ( 29 %)	2993.25 s.f. ( 29 %)	3017.4 square feet ( 30 %)
<b>FLOOR AREA:</b> <i>Measured to the outside surfaces of exterior walls</i>	1st Flr. 2904.5 sq ft 2nd Flr. 0 sq ft Total 2904.5sf (28.9 %)	1st Flr. 2961.75 s.f. 2nd Flr. 357.5sq ft Total 3319.25 sf ( 35 %)	3520 square feet ( 35 %)
<b>SETBACKS:</b>			
Front	25 feet	25 feet	25 feet
Rear	25 feet	25 feet	25 feet
Right side (1st/2nd)	9.92 feet / 2 feet	9.92 / 18.5'	10 / 17.5'
Left side (1st/2nd)	10.26 feet / 2 feet	10.26 / 56'	10 / 17.5'
<b>HEIGHT:</b>	16 feet	23.7 feet	27 feet

**SQUARE FOOTAGE BREAKDOWN**

	Existing	Change in	Total Proposed
<b>HABITABLE LIVING AREA:</b> <i>Includes habitable basement areas</i>	2457 square feet	614.25 square feet	3071.25 square feet
<b>NON-HABITABLE AREA:</b> <i>Does not include covered porches or open structures</i>	447.5 square feet	0 square feet	447.5 square feet

**LOT CALCULATIONS**

<b>NET LOT AREA:</b>	10058 square feet
<b>FRONT YARD HARDSCAPE AREA:</b> <i>Hardscape area in the front yard setback shall not exceed 50%</i>	900 square feet ( 40%)
<b>LANDSCAPING BREAKDOWN:</b>	Total hardscape area (existing and proposed): 5500 sq ft Existing softscape (undisturbed) area: 4558 sq ft New softscape (new or replaced landscaping) area: 4 sq ft <i>Sum of all three should equal the site's net lot area</i>

**PROJECT DATA**

APN 342-38-022  
Zoning R1 -10 Lot size 10058 sf  
Construction type VB  
Fire sprinklers - none

**Scope of project**

- 53 sf addition to first floor
- 562 sf second floor addition
- 459 sf first floor converted to ADU

**ARCHITECT**  
Michael Vierhus lic # C 19155 408-867-5808  
mvierhus@comcast.net

**OWNER**  
John Yu 408-472-0556 jjohny@yahoo.com

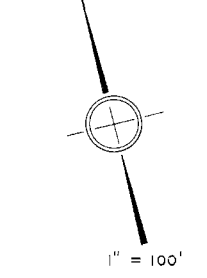
**LAND SURVEYOR**  
Ken Willson 805-703-0273 kenw@willsonlandsurveys.com

**SITE PLAN**  
1/8"=1'-0"



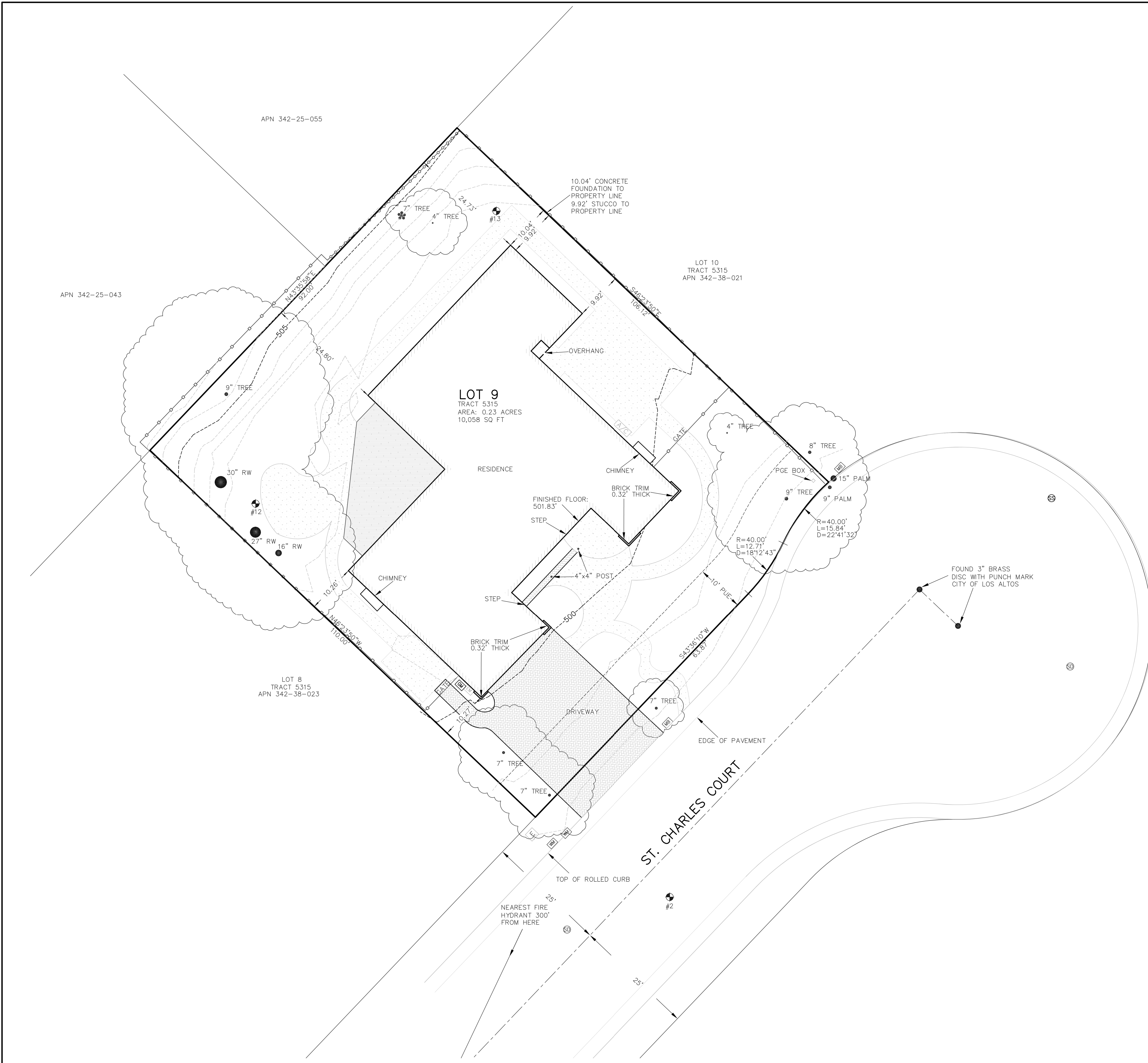
OFFICE OF COUNTY ASSESSOR - SANTA CLARA COUNTY, CALIFORNIA

BOOK 342 PAGE 38



DATE: 8/22/2022  
DRAWN BY: [Name]  
CHECKED BY: [Name]  
SCALE: AS SHOWN





**LEGEND**

- FOUND AS NOTED
- SET AS NOTED
- PROPERTY LINE
- EASEMENT LINE
- SS- UG SEWER LINE
- W- UG WATER LINE
- G- UG GAS LINE
- PH- UG PHONE LINE
- E- UG ELEC LINE
- OH- OVERHEAD LINE
- UTILITY BOX
- ☼ LAMP POST
- ☼ TRAFFIC SIGNAL
- ☼ WOOD FENCE
- CHAIN LINK FENCE
- ◇ GUYWIRE
- MB MAILBOX
- CONCRETE
- BUILDING
- BRICKS
- PAVERS
- DOMES
- DECK
- GROOVED CONCRETE
- JP JOINT POLE
- PP POWER POLE
- UP UTILITY POLE
- TP TELEPHONE POLE
- ⊕ BOLLARD
- ⊕ VALVE
- ⊕ HCP SYMBOL
- SIGN
- ➔ TRAFFIC ARROWS
- ⊕ SANITARY SEWER MANHOLE
- ⊕ STORM DRAIN MANHOLE
- ⊕ COMMUNICATION MANHOLE
- ⊕ PERC TEST
- ⊕ FIRE HYDRANT
- ⊕ SEWER CLEANOUT
- ⊕ SURVEY CONTROL POINT
- ⊕ ELEC METER
- ⊕ GAS METER
- ⊕ WATER METER
- ⊕ LIGHT POLE AND LIGHT
- ⊕ WALL
- ⊕ DROP INLET
- ⊕ MONITORING WELL

**ABBREVIATIONS**

- LO LIVE OAK
- WO WHITE OAK
- EUC EUCALYPTUS
- RW REDWOOD
- PUE PUBLIC UTILITY EASEMENT
- CE CLEARANCE EASEMENT

**SURVEYOR'S STATEMENT**

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE LAND SURVEYORS ACT. THE BOUNDARY LINES SHOWN ON BASED ON A BOUNDARY SURVEY DONE BY WILSON LAND SURVEYS INC.

*Kenneth D. Wilson* 2-7-2021  
KENNETH D. WILSON LS 5571 DATE

**BENCHMARK**

ELEVATIONS FOR THIS SURVEY ARE BASED ON ASSUMED ELEVATION OF 497.66 AT POINT #2

**GENERAL NOTES**

- TREE SIZES AND TYPES ARE APPROXIMATE AND SHOULD BE VERIFIED BY A CERTIFIED ARBORIST.
- FINISH FLOOR ELEVATIONS ARE TAKEN AT DOOR THRESHOLDS.
- BUILDING CORNERS WERE LOCATED AT FINISH LOCATIONS (STUCCO, BLOCK OR WOOD AS IT EXISTS IN THE FIELD).

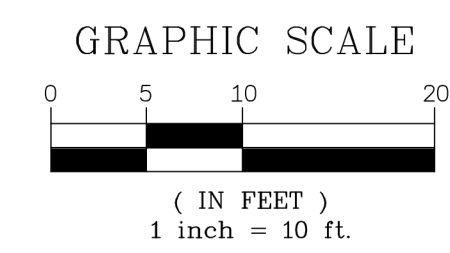
**UNDERGROUND UTILITY NOTE**

UNDERGROUND UTILITY LINES, IF SHOWN, DEPICT OUR ESTIMATION OF WHERE THE ACTUAL LINES MAY BE LOCATED. THE LINES WERE DETERMINED BY CONNECTING VISIBLE UTILITY APPURTENANCES AND ALSO BY USING PAINTED MARKINGS PLACED BY OTHERS. THE UNDERGROUND UTILITIES MAY OR MAY NOT BE AS DEPICTED ON THIS SURVEY. NO LIABILITY IS ACCEPTED FOR ANY DISCREPANCIES, OMISSIONS OR ERRORS WITH REGARD TO SAID UNDERGROUND UTILITY DEPICTIONS ON THIS SURVEY.

IF NO INDICATION OF SEWER LINES ARE SHOWN, THEN THERE WERE NO VISIBLE MARKINGS OR INDICATIONS OF ANY SEWER APPURTENANCES ON THE SITE. OTHER RECORDS MAY EXIST THAT PROVIDE EVIDENCE OF SEWER LATERAL LOCATIONS.

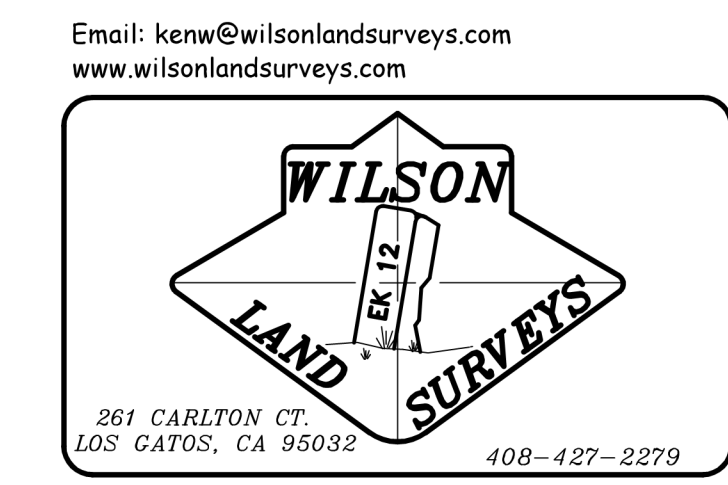
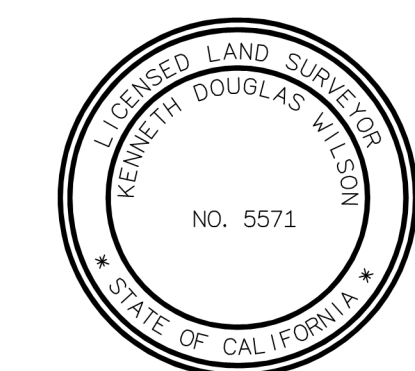
**SETBACK LINES NOTE**

BUILDING SETBACK LINES WERE NOT SHOWN ON THIS MAP. EVEN IF THEY ARE SHOWN ON THE ORIGINAL TRACT MAP, THE DESIGNER SHOULD CHECK WITH THE APPROPRIATE AUTHORITY TO DETERMINE BUILDING SETBACK LINES.

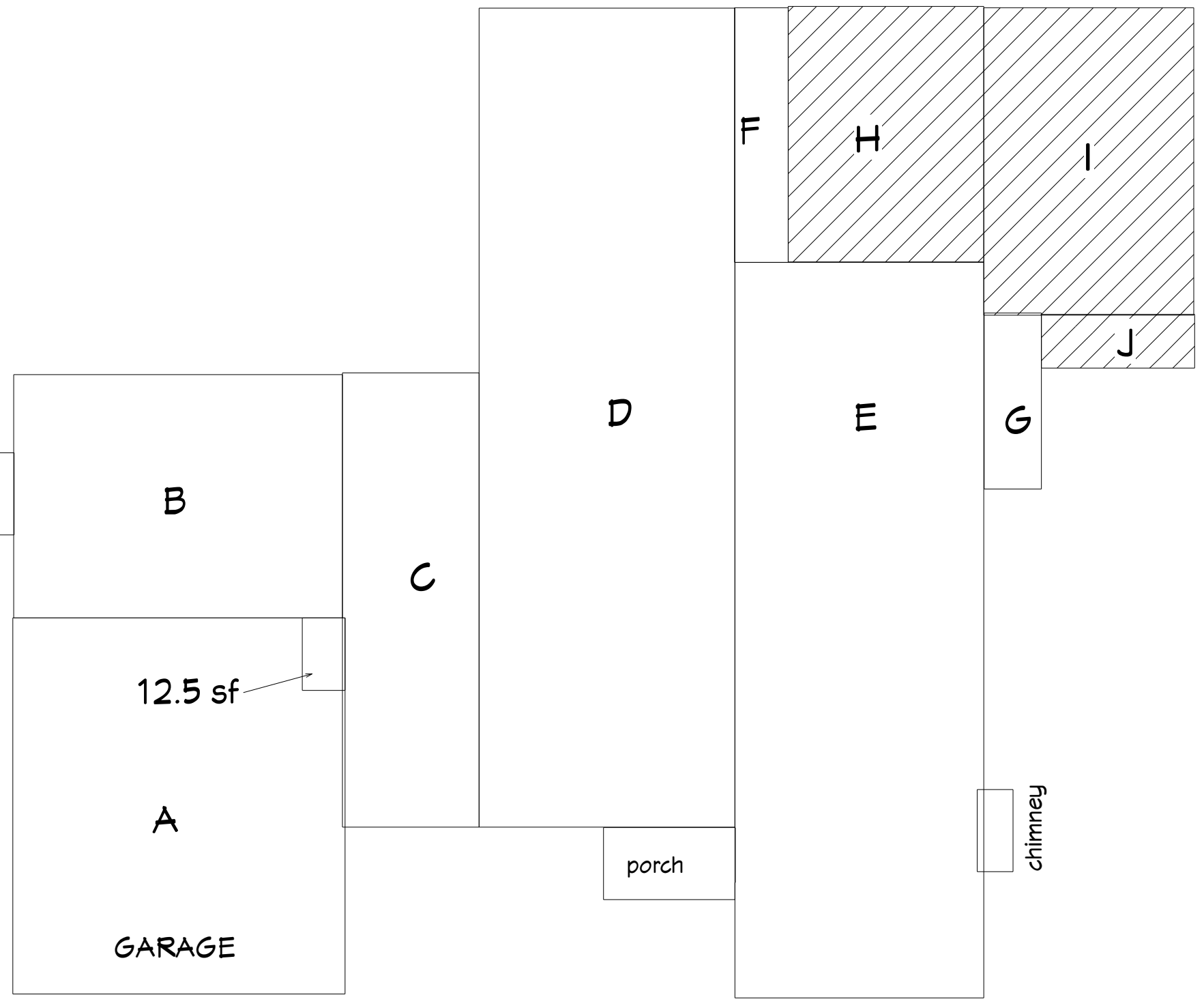


This map was prepared as an instrument of service for the preparation of plans and specifications for construction on the site shown on the map. The information shown hereon shall not be used in whole or in part for any other project without written authority of Wilson Land Surveys.

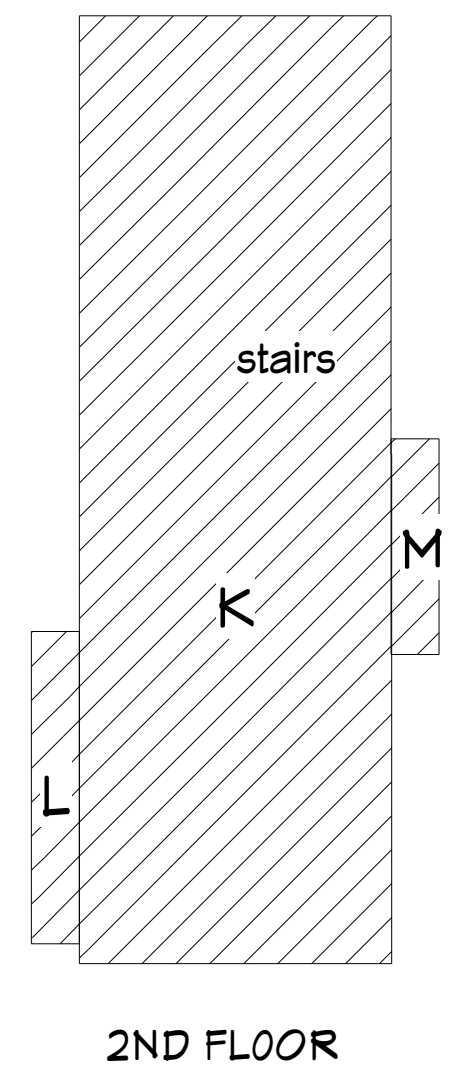
Copyright © 2022 Kenneth D. Wilson, Wilson Land Surveys Inc. All rights reserved. Copies of this drawing shall have this notice. Any drawing using the information on this map shall contain the following: "Topographic Survey by Wilson Land Surveys, Los Altos, CA"



TOPOGRAPHIC SURVEY			
AS REQUESTED BY: <b>JOHN YU</b>			
LEGAL DESCRIPTION: LOT 9 TRACT 5315 316 M 15 CITY OF LOS ALTOS, COUNTY OF SANTA CLARA, STATE OF CALIFORNIA			
APN: 342-38-022			
DATE: 2/7/22			
SITE ADDRESS: 1180 ST. CHARLES COURT LOS ALTOS, CA 94024			
DRAWN BY: IMD	SCALE 1"=10'	JOB NUMBER N-009	PROJECT N-009
		SHEET 1 OF 1	

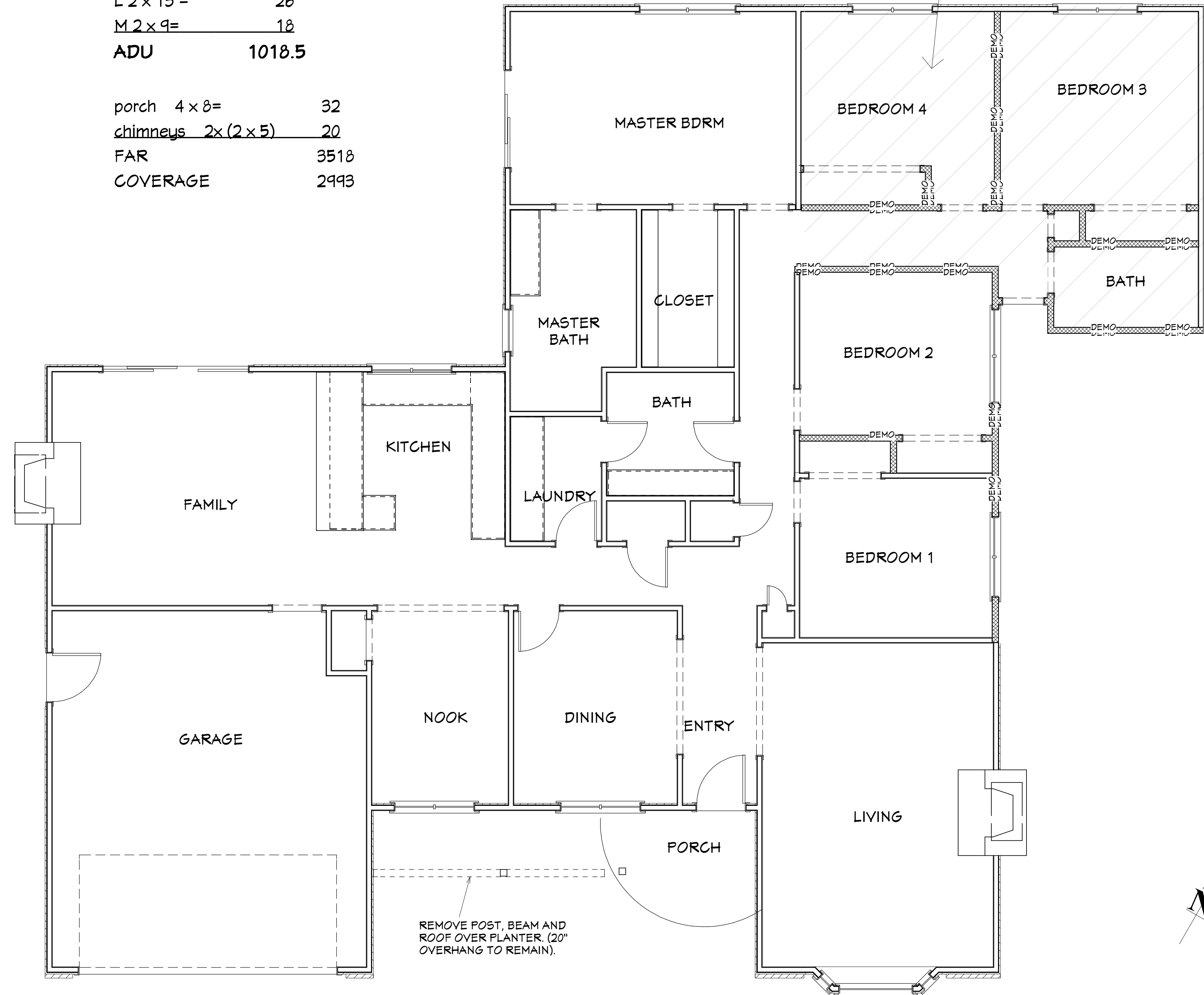


SQUARE FOOTAGE DIAGRAM  
1/8"=1'-0"



**Floor Area Calculations**

A	20' x 23' =	447.5 (gara
B	20' x 14.5' =	290+12.5'
C	8.2' x 27.8' =	228
D	15 x 50' =	750
E	45 x 15.25' =	686.25
F	3' x 15.5' =	46.5
G	4' x 10' =	40
<b>MAIN HOUSE</b>		<b>2052.75</b>
H	15.5 x 12 =	186
I	18.6 x 13 =	241
J	8.75 x 4 =	34
K	13 x 39.5 =	513.5
L	2 x 13 =	26
M	2 x 9 =	18
<b>ADU</b>		<b>1018.5</b>
porch	4 x 8 =	32
chimneys	2x(2 x 5)	20
<b>FAR</b>		<b>3518</b>
<b>COVERAGE</b>		<b>2493</b>



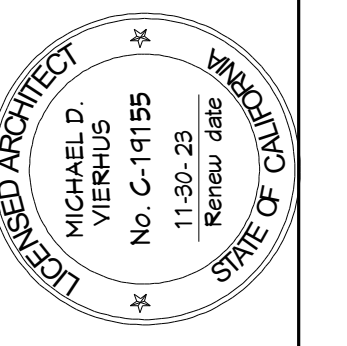
DEMOPLAN  
1/4"=1'-0"

These documents are the property of Michael Vierhus, Architect and shall not be used or reproduced in anyway without his consent.

Michael Vierhus  
**ARCHITECT**  
P.O.Box 1098 Los Gatos CA 95031  
408.867.5808



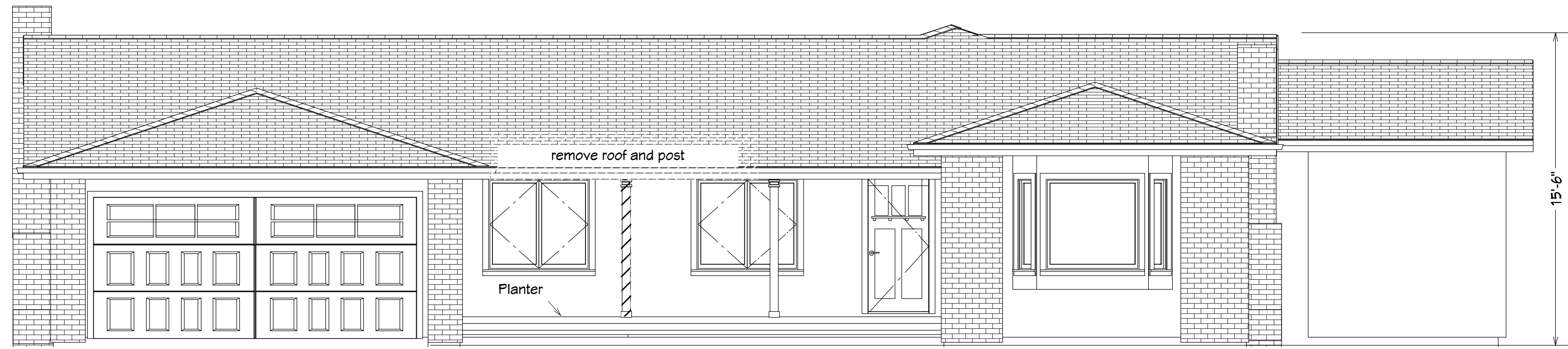
Michael Vierhus



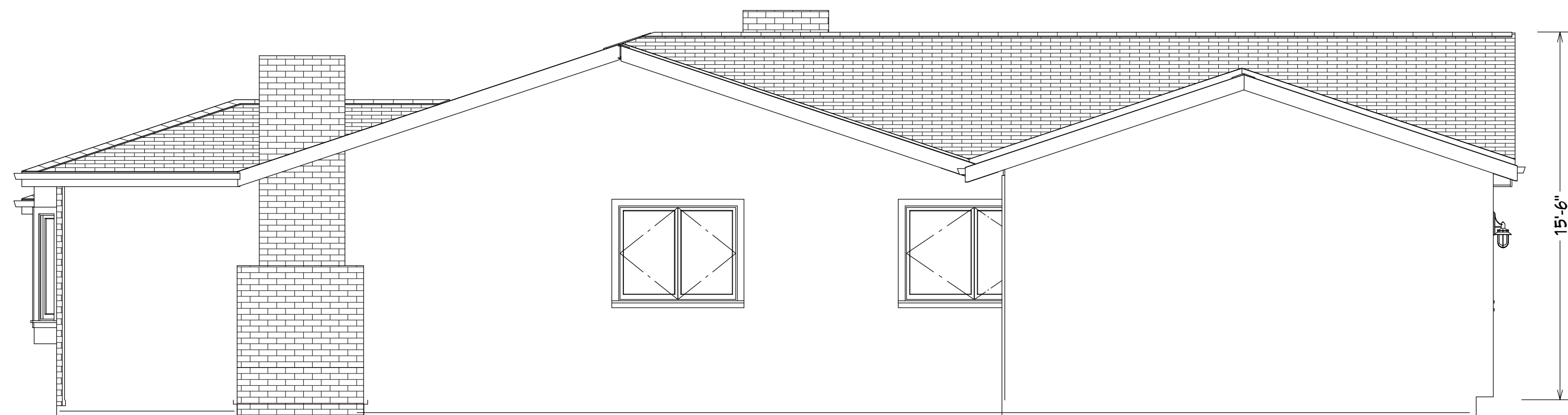
ADU ADDITION FOR:  
**YU RESIDENCE**  
1180 ST. CHARLES COURT LOS ALTOS CA

printed 8/22/2022  
revisions

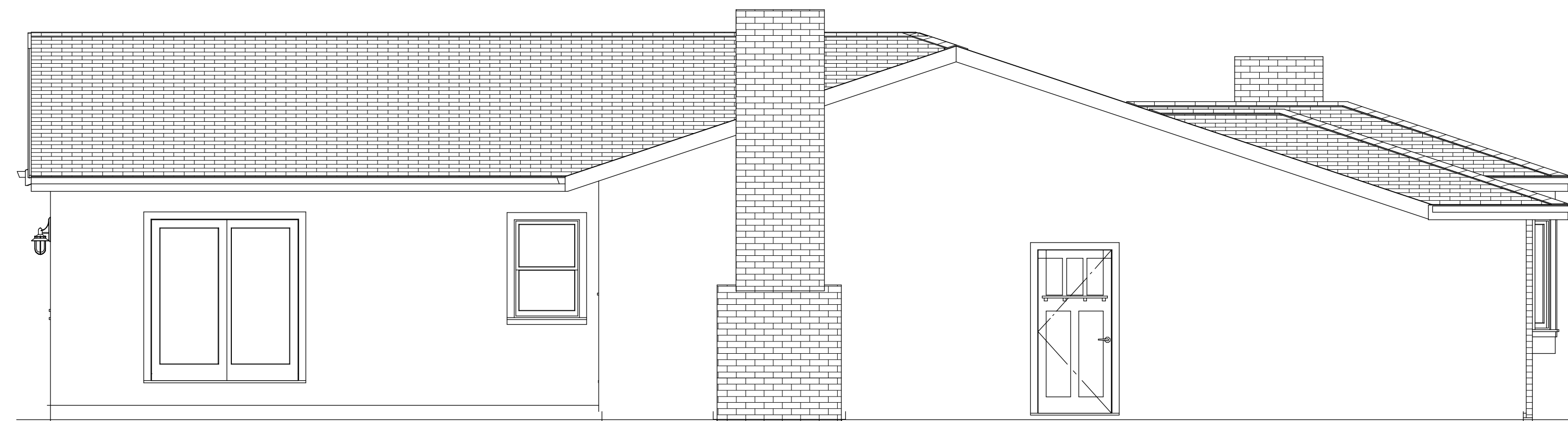
sheet  
**A-3**



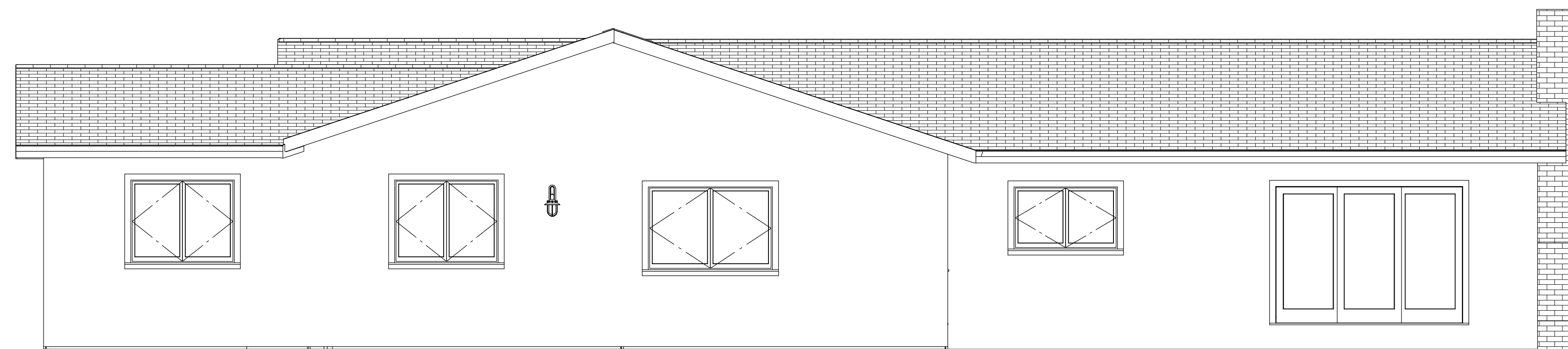
FRONT



SIDE



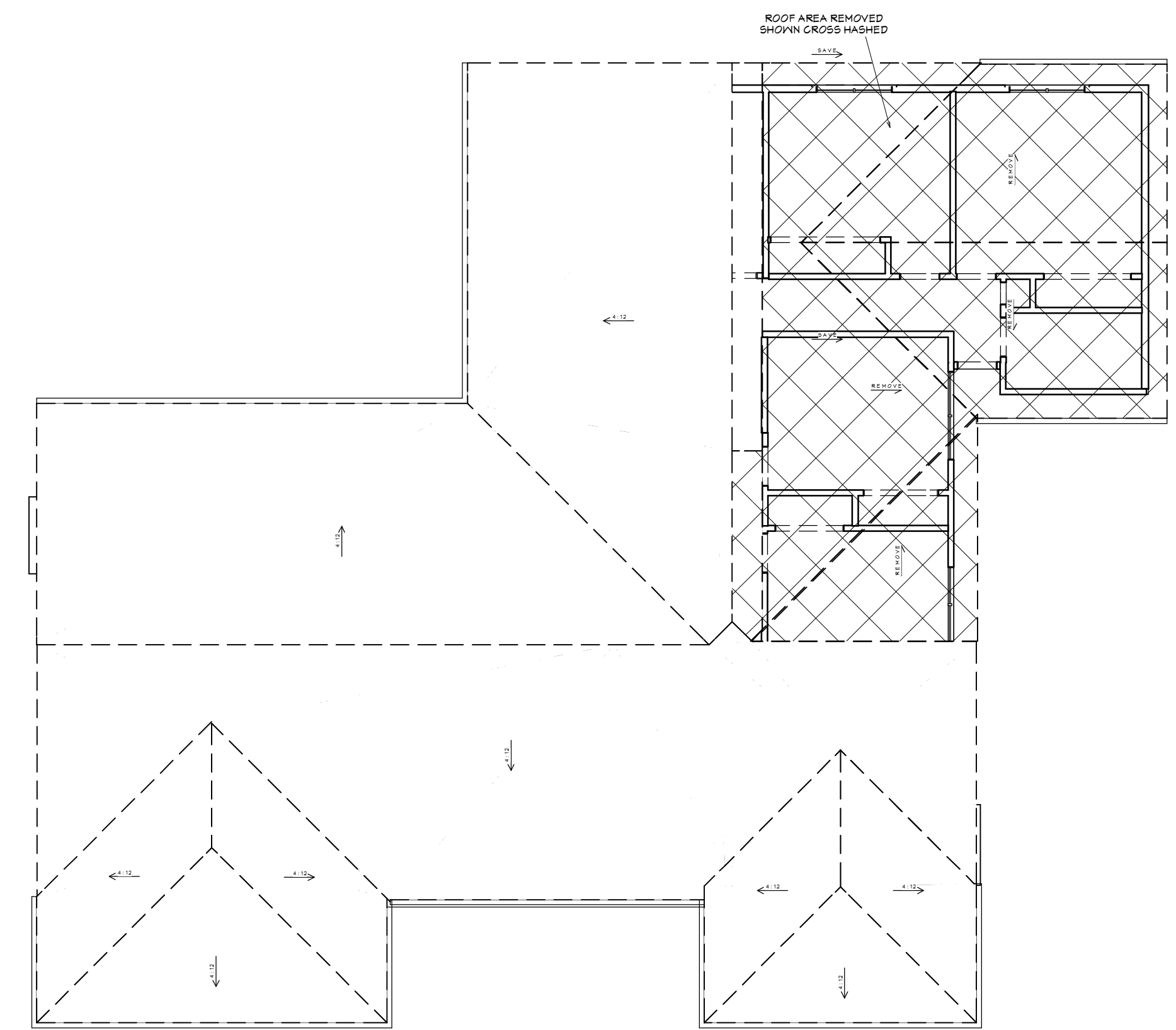
SIDE



BACK

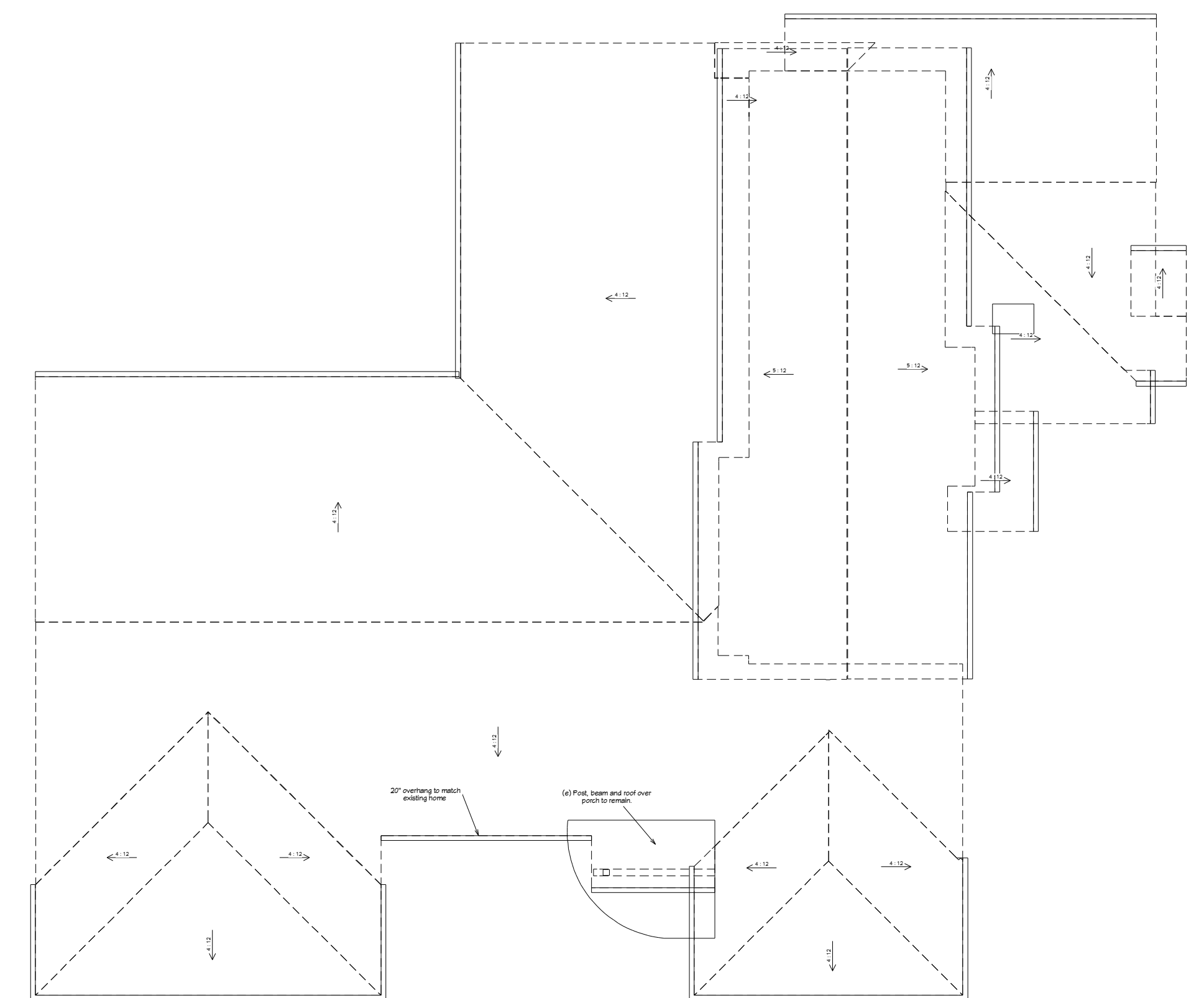
EXISTING ELEVATIONS

1/4"=1'-0"



ROOF DEMO PLAN

1/8"=1'-0"



PROPOSED ROOF PLAN

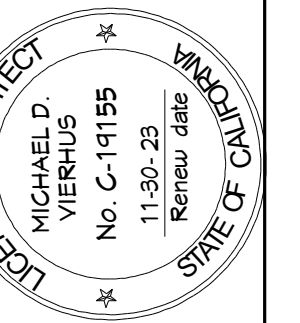
1/8"=1'-0"

These documents are the property of Michael Vierhus, Architect and shall not be used or reproduced in anyway without his consent.

Michael Vierhus  
**ARCHITECT**  
 P.O.Box 1098 Los Gatos CA 95031  
 408.867.5808



Michael Vierhus



ADU ADDITION FOR:

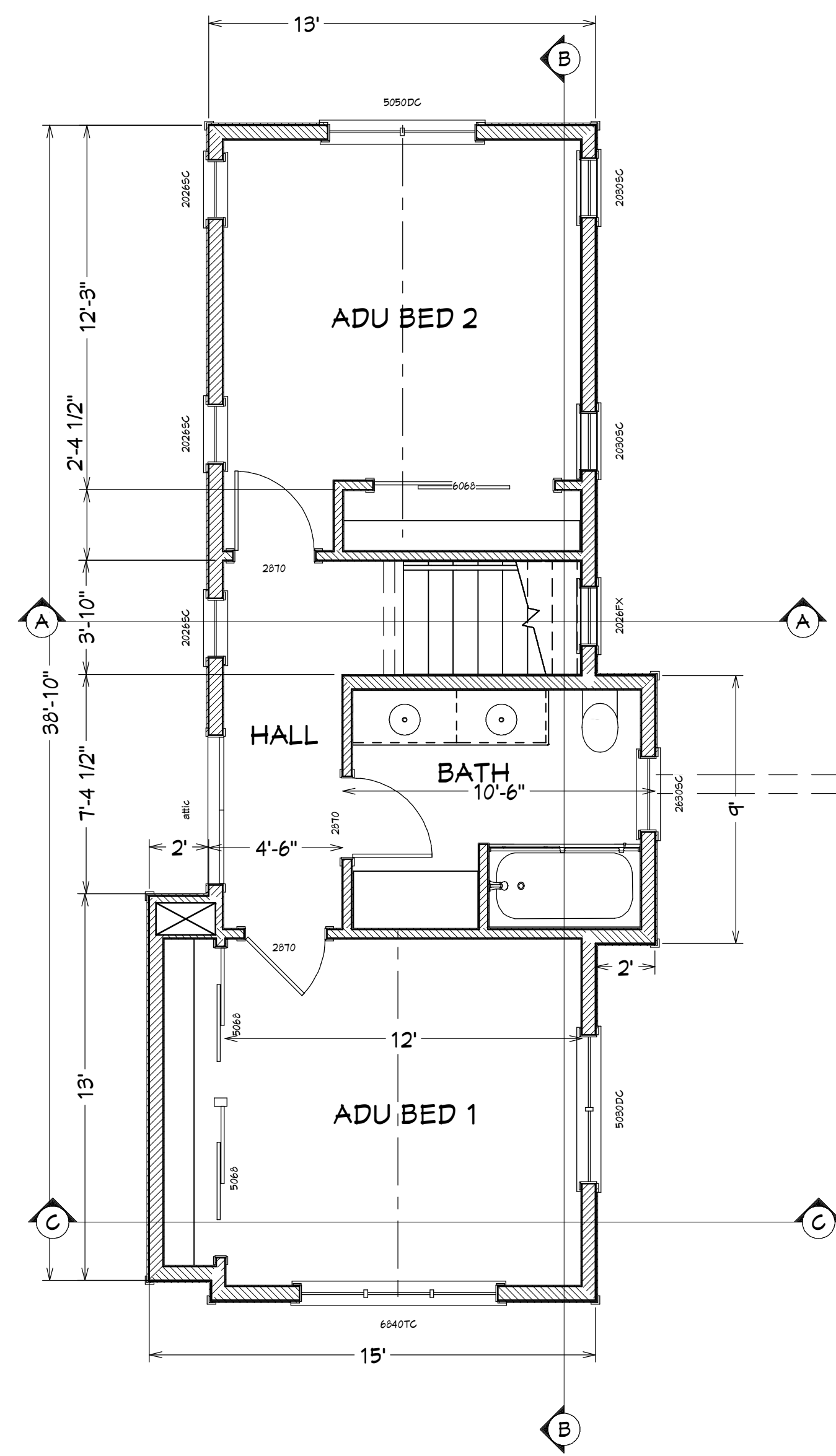
**YU RESIDENCE**

1180 ST. CHARLES COURT LOS ALTOS CA

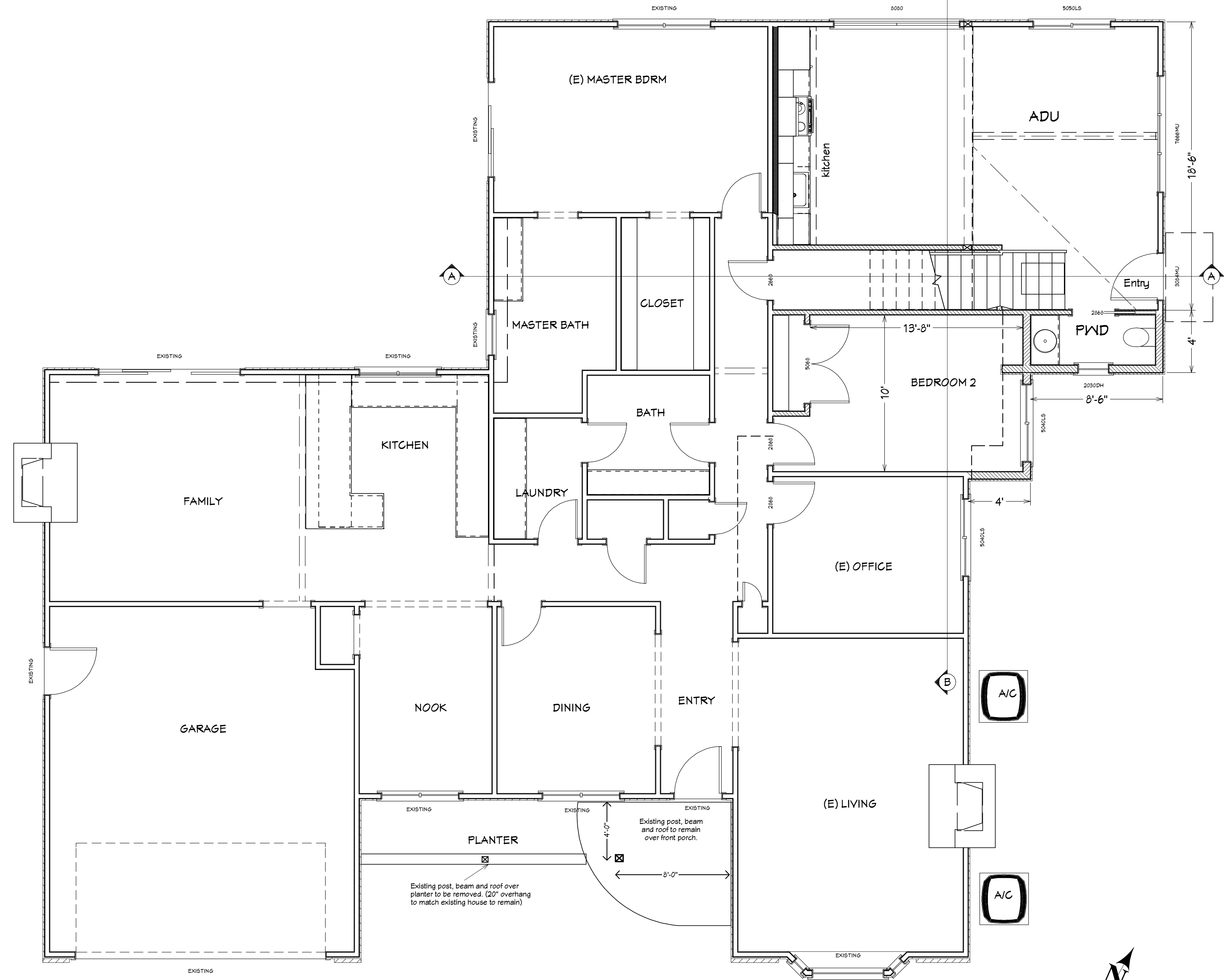
printed 8/22/2022  
 revisions

sheet

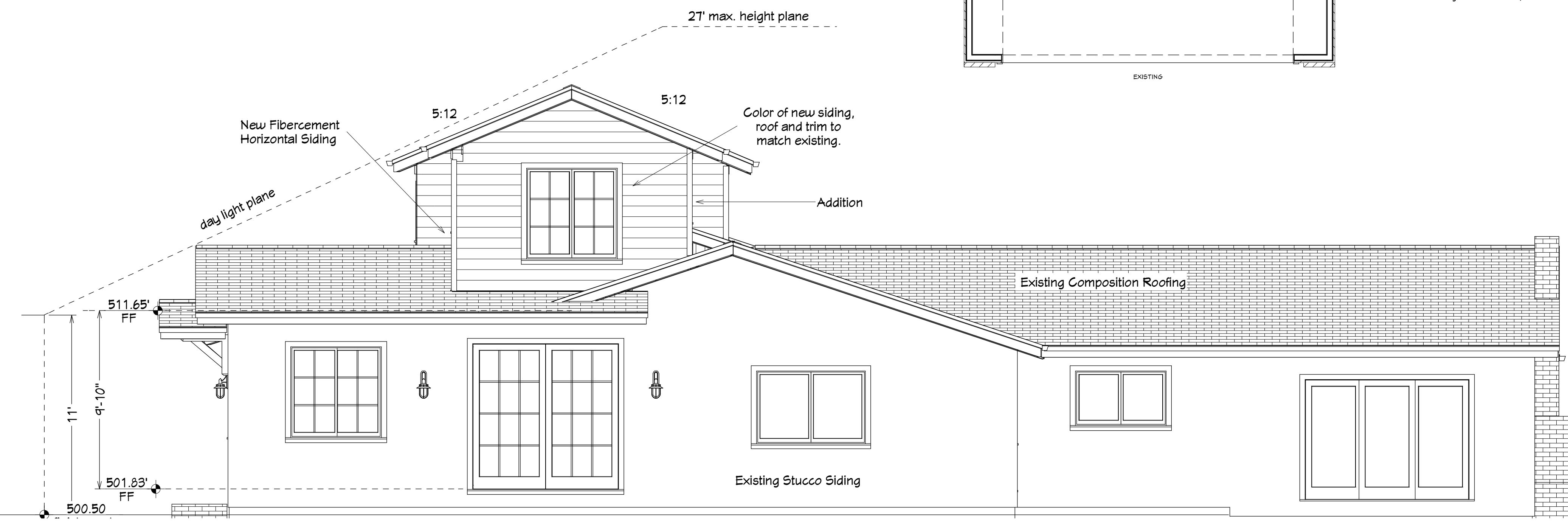
**A-4**



**NEW SECOND FLOOR**  
1/4"=1'-0"



**NEW FIRST FLOOR**  
1/4"=1'-0"



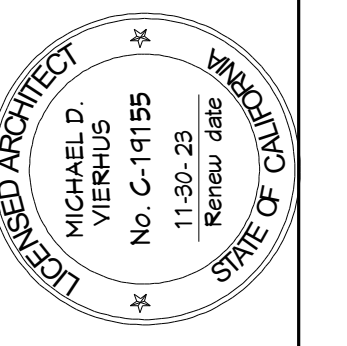
**NORTH REAR ELEVATION**  
1/4"=1'-0"

These documents are the property of Michael Vierhus, Architect and shall not be used or reproduced in any way without his consent.

**Michael Vierhus ARCHITECT**  
P.O. Box 1098 Los Gatos CA 95031  
408.867.5808



*Michael Vierhus*

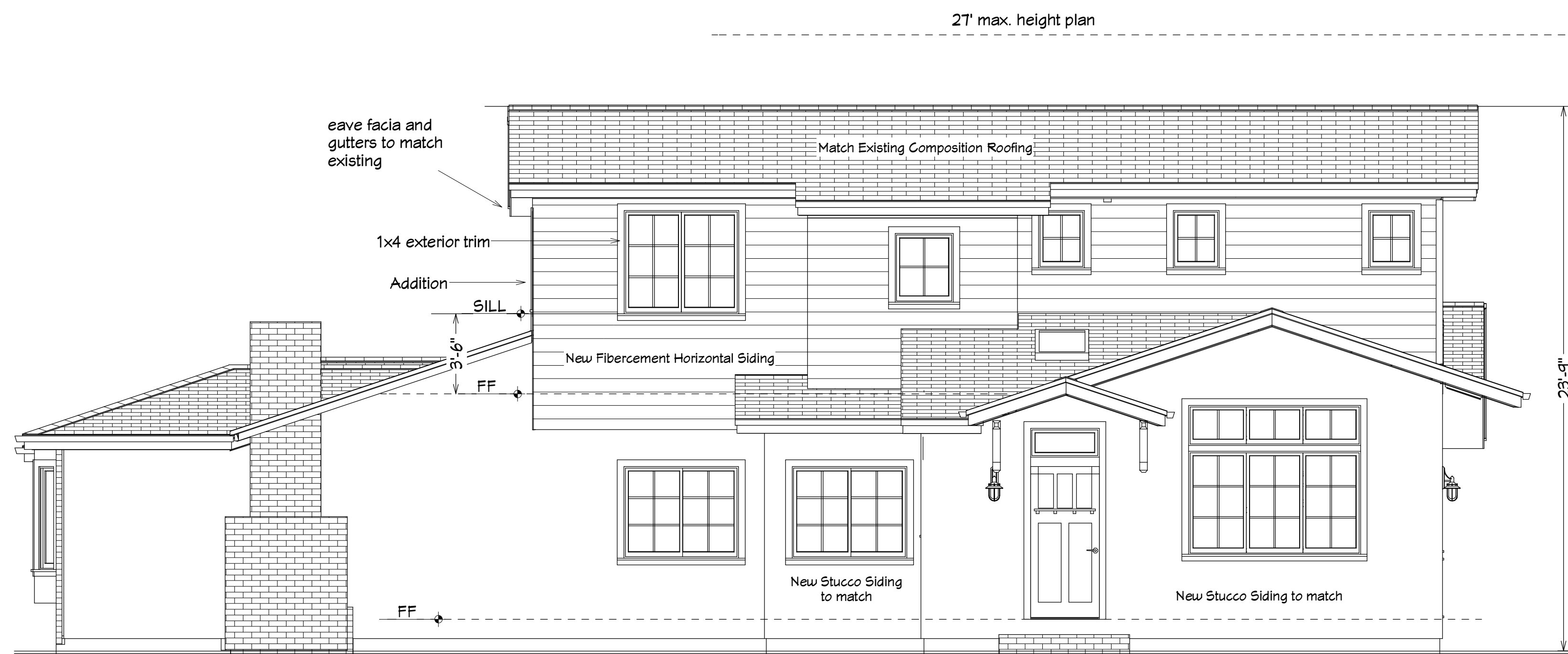


ADU ADDITION FOR:  
**YU RESIDENCE**  
1180 ST. CHARLES COURT LOS ALTOS CA

printed 8/22/2022  
revisions

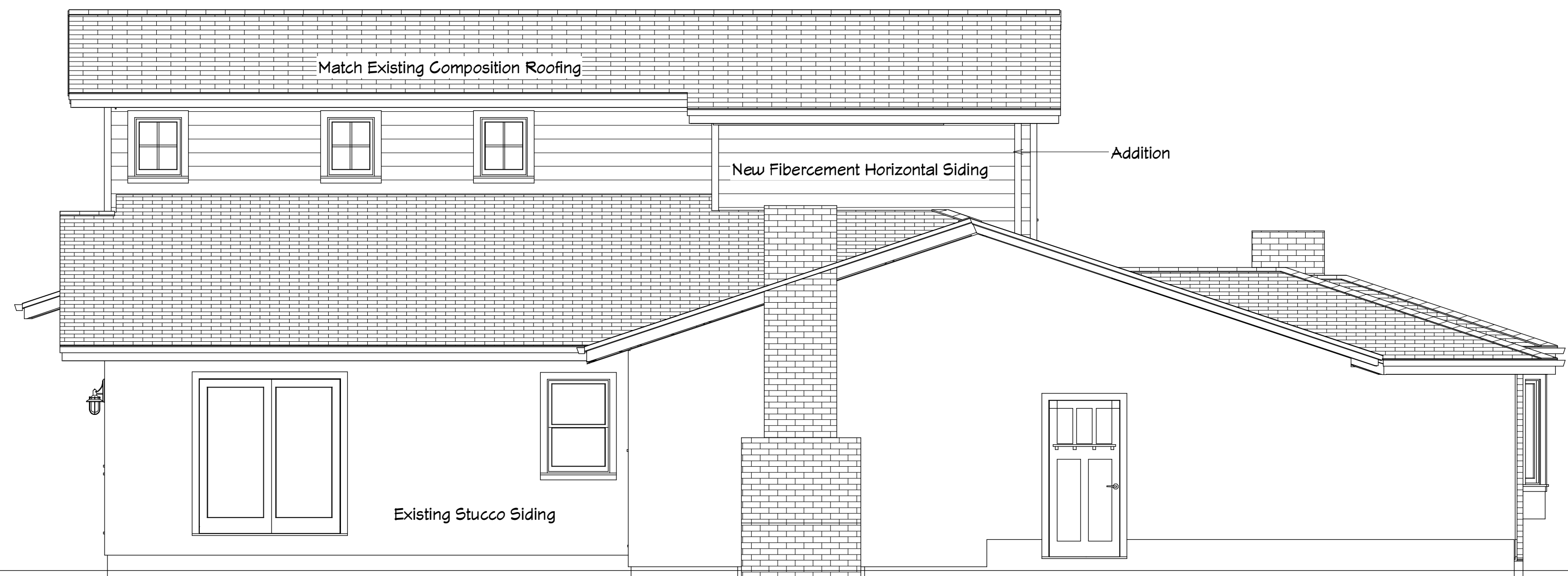
sheet  
**A-5**





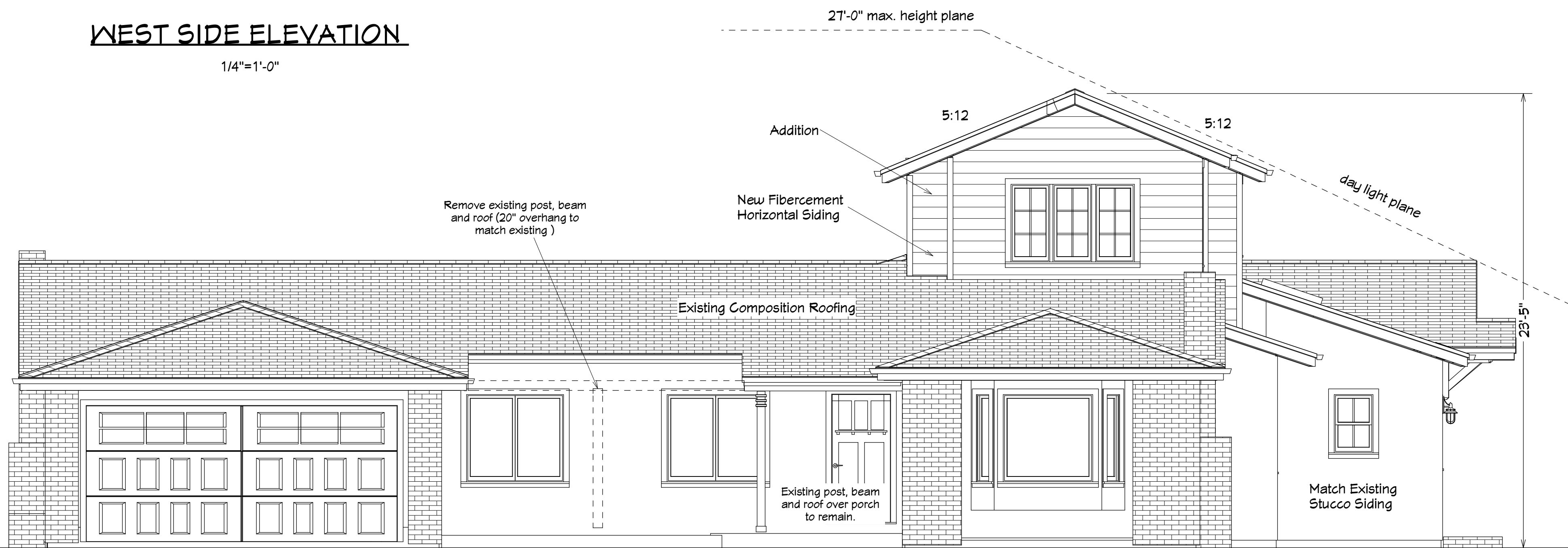
**EAST SIDE ELEVATION**

1/4"=1'-0"



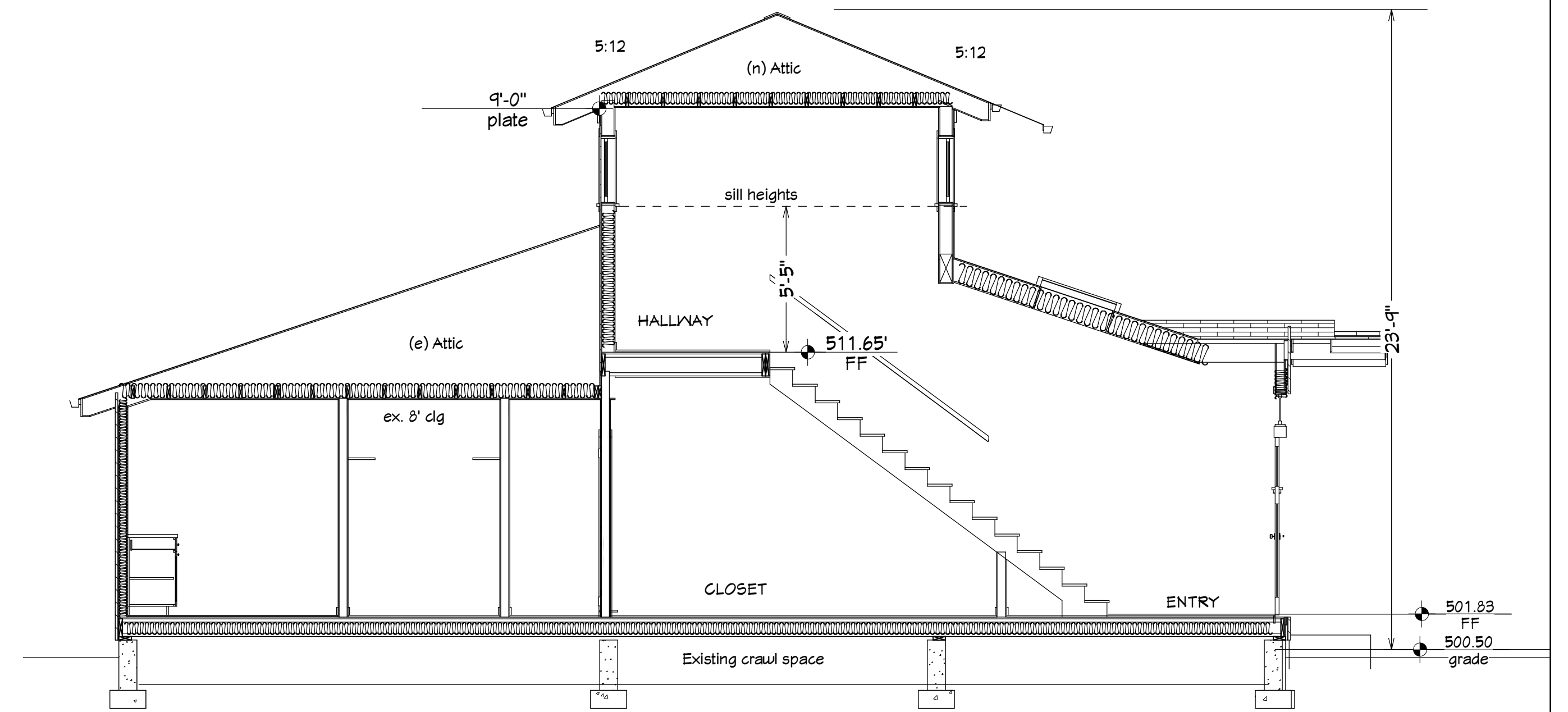
**WEST SIDE ELEVATION**

1/4"=1'-0"



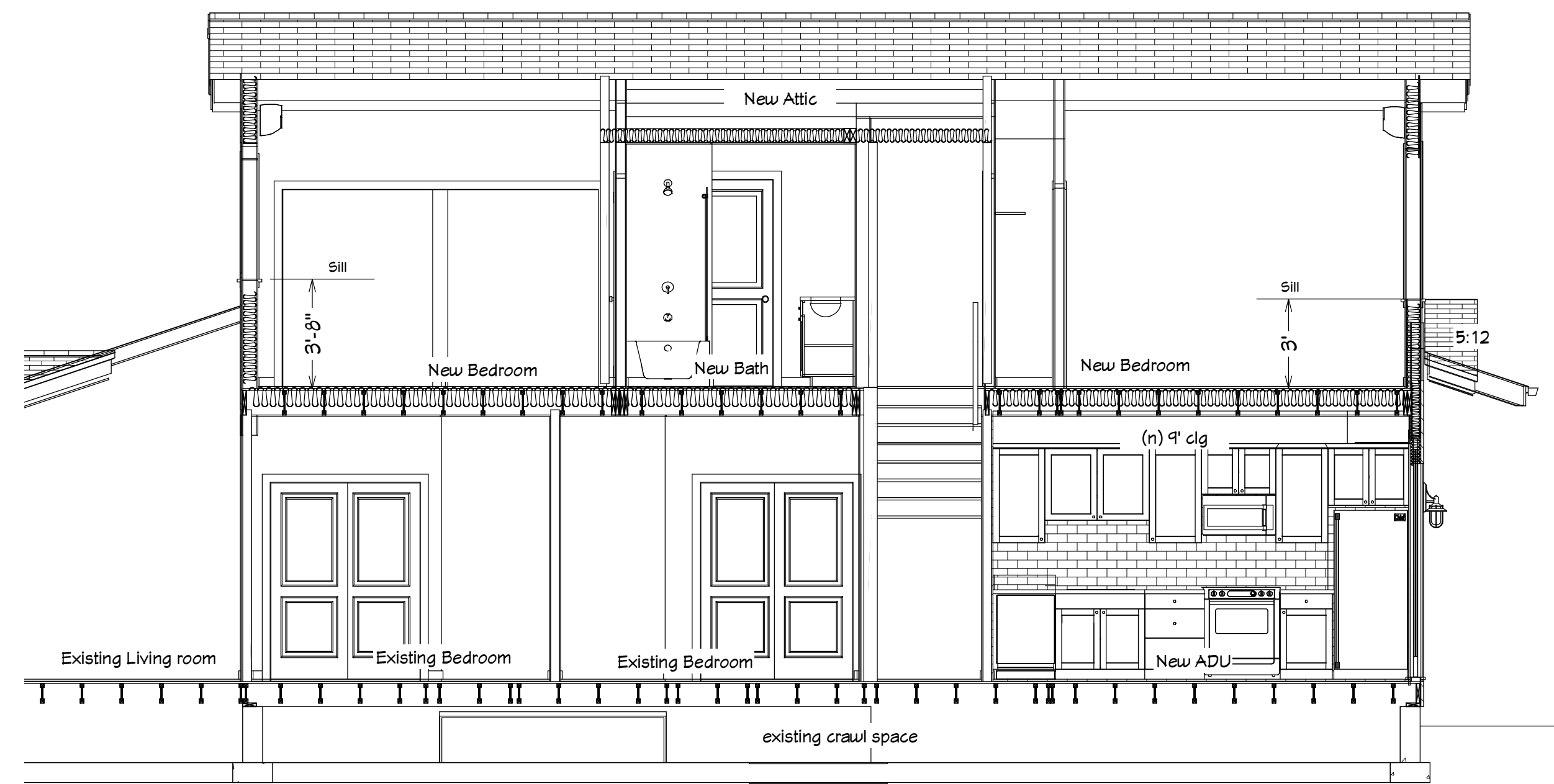
**SOUTH FRONT ELEVATION**

1/4"=1'-0"



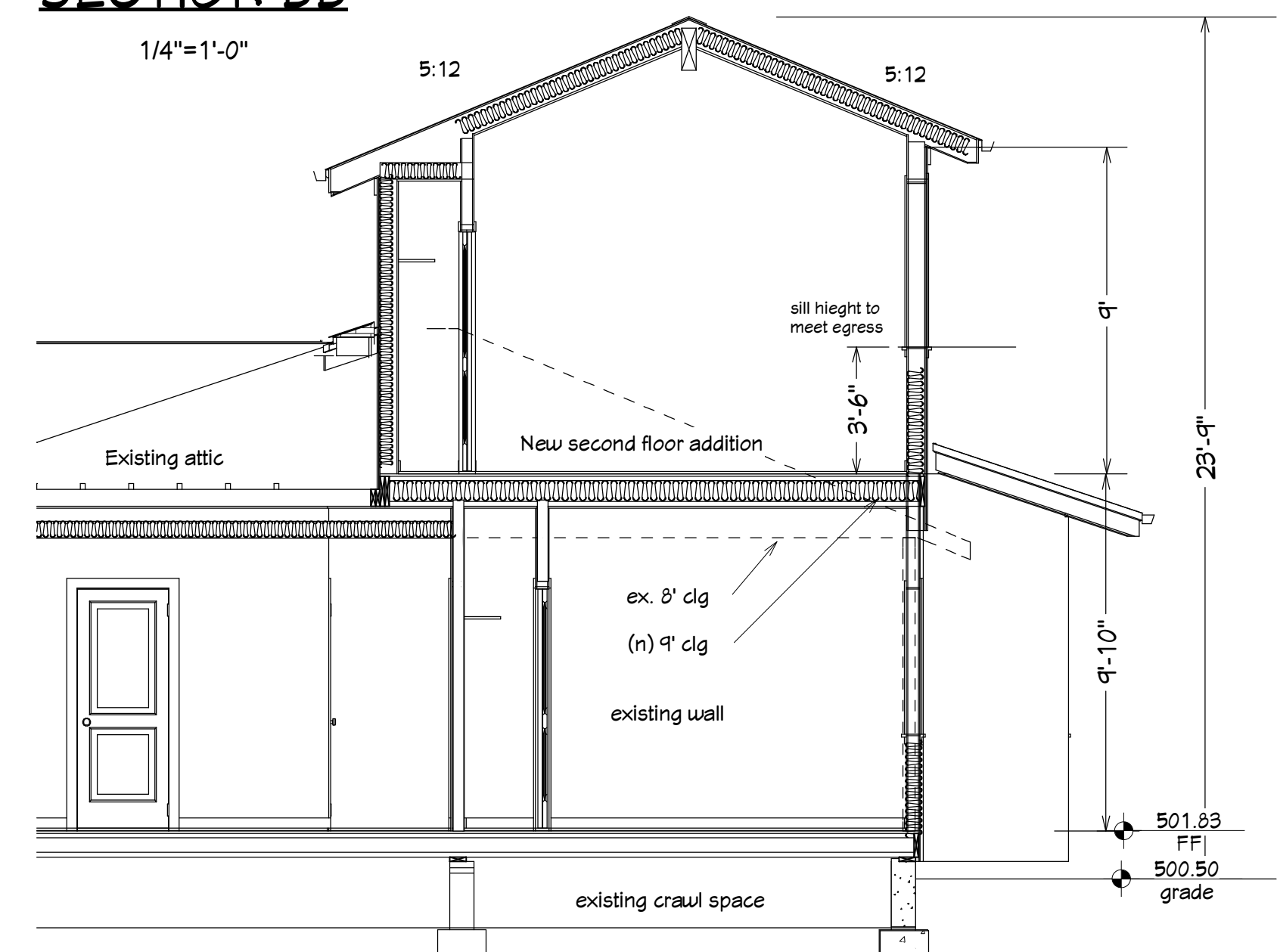
**SECTION AA**

1/4"=1'-0"



**SECTION BB**

1/4"=1'-0"



**SECTION CC**

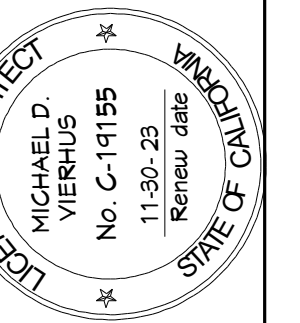
1/4"=1'-0"

These documents are the property of Michael Vierhus, Architect and shall not be used or reproduced in anyway without his consent.

**Michael Vierhus ARCHITECT**  
P.O.Box 1098 Los Gatos CA 95031  
408.867.5808



Michael Vierhus



ADU ADDITION FOR:

**YU RESIDENCE**

1180 ST. CHARLES COURT LOS ALTOS CA

printed 8/22/2022  
revisions

sheet

**A-6**

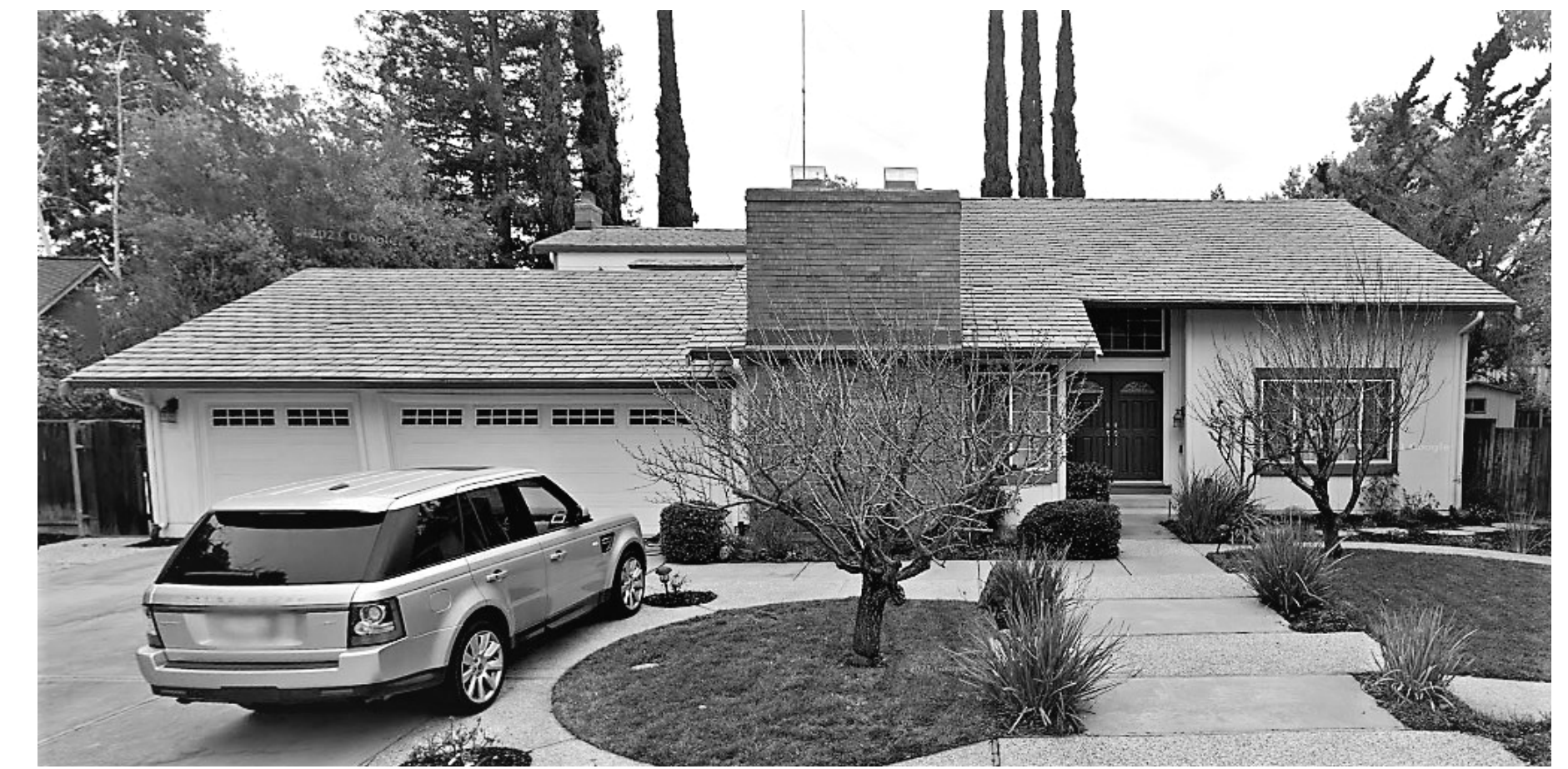




1196 St Charles Court



1192 St Charles Court



1188 St Charles Court



1184 St Charles Court



1180 St Charles Court- Project Address



1176 St Charles Court



1173 St Charles Court



1181 St Charles Court



1185 St Charles Court



1191 St Charles Court



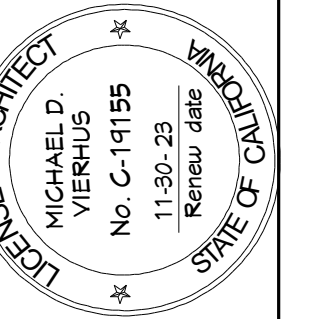
1195 St Charles Court

These documents are the property of Michael Vierhus, Architect and shall not be used or reproduced in anyway without his consent.

Michael Vierhus  
**ARCHITECT**  
P.O. Box 1098 Los Gatos CA 95031  
408.867.5808



Michael Vierhus



ADU ADDITION FOR:

**YU RESIDENCE**

1180 ST. CHARLES COURT LOS ALTOS CA

printed 8/22/2022  
revisions  
▲

sheet

**A-7**