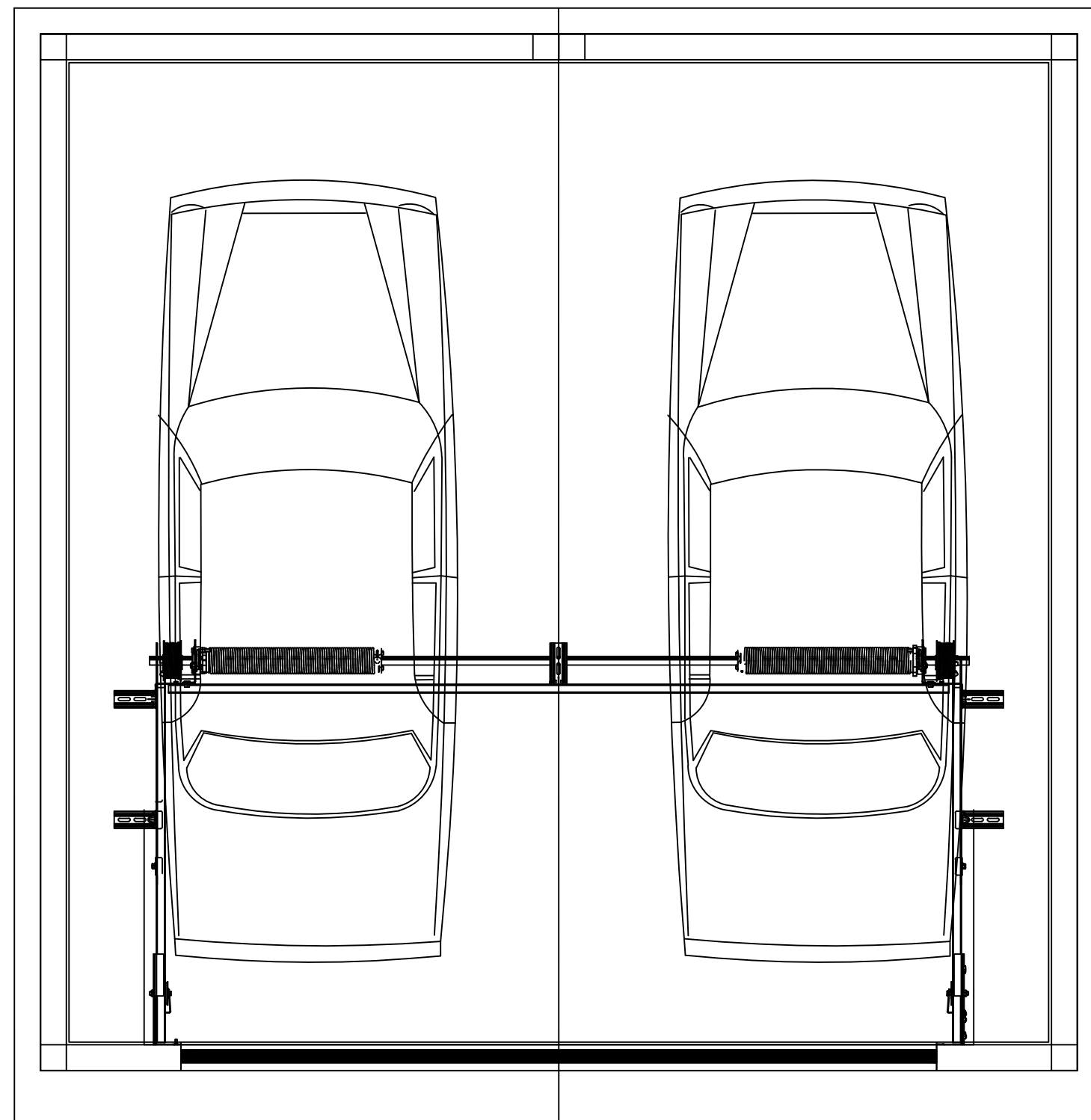
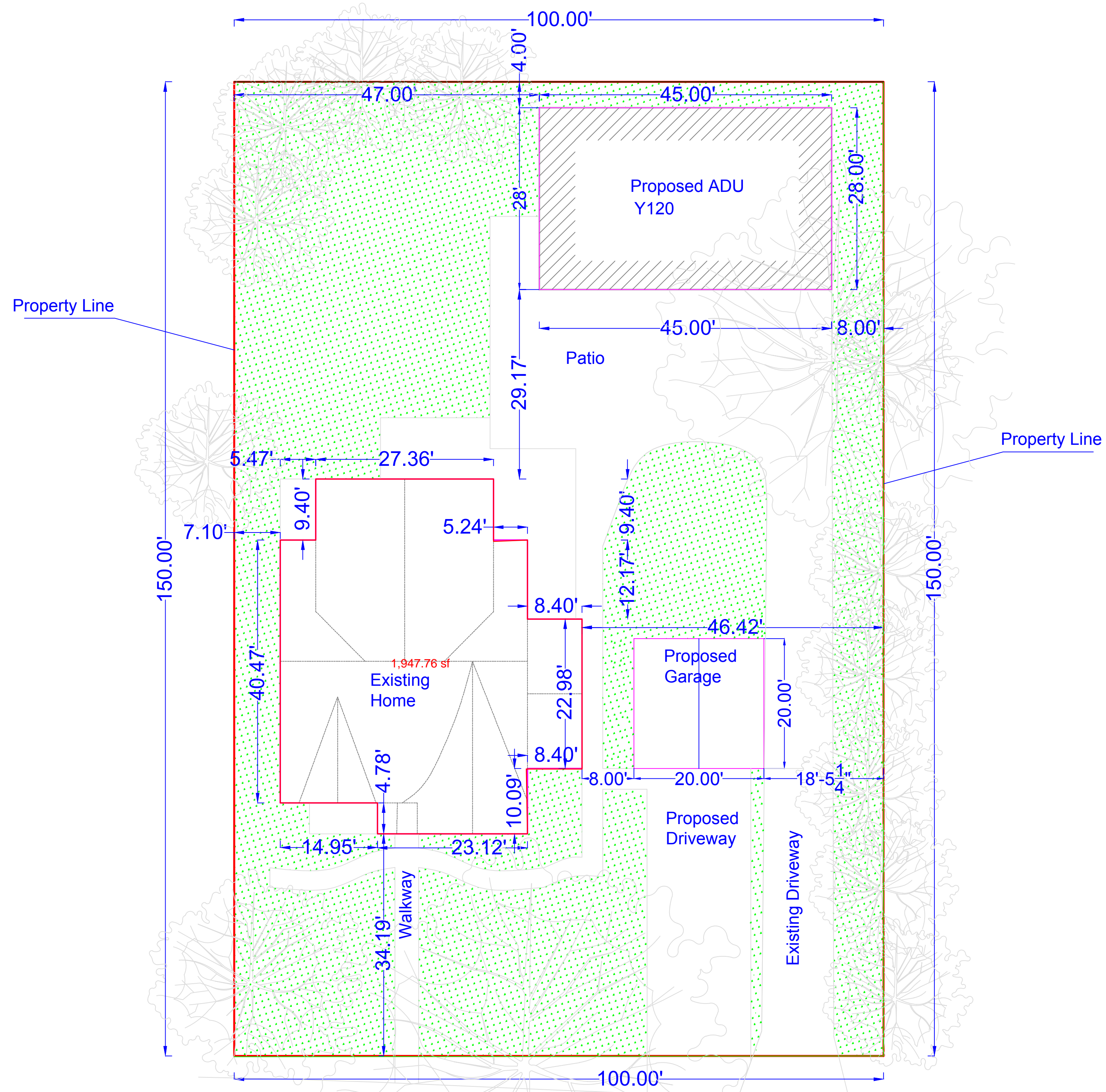


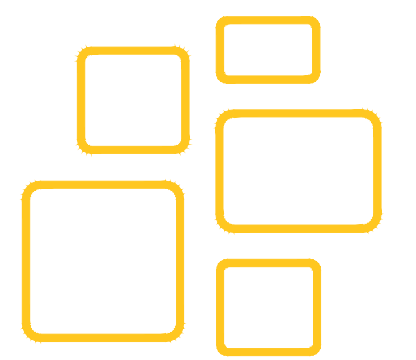
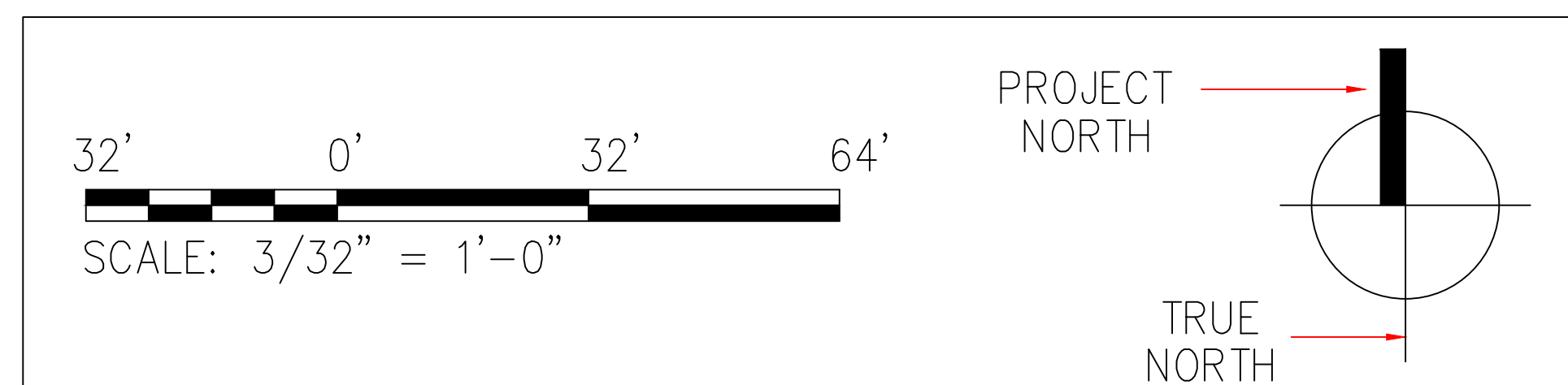
Adding a factory built Garage to the property.



3 FLOOR PLAN - PLAN VIEW

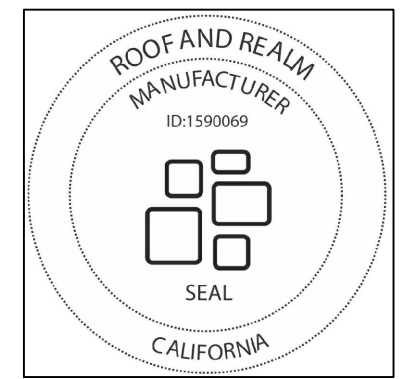
Hawthorne Ave

1 SITE PLAN
SCALE: 3/32" = 1'-0"



ROOF AND REALM

Manufacture ID: 1590069
2245 Via De Mercados
Concord, CA 94520
Telephone: (866) 404-1148



Corporate Officer Signature

Sebastian Malano

Project

Roof & Realm
A New Garage for
The Tallam Family
41 Hawthorne Ave Los
Altos, Ca 94022
APN: 17041036
Zoning: R1

Number Date Description

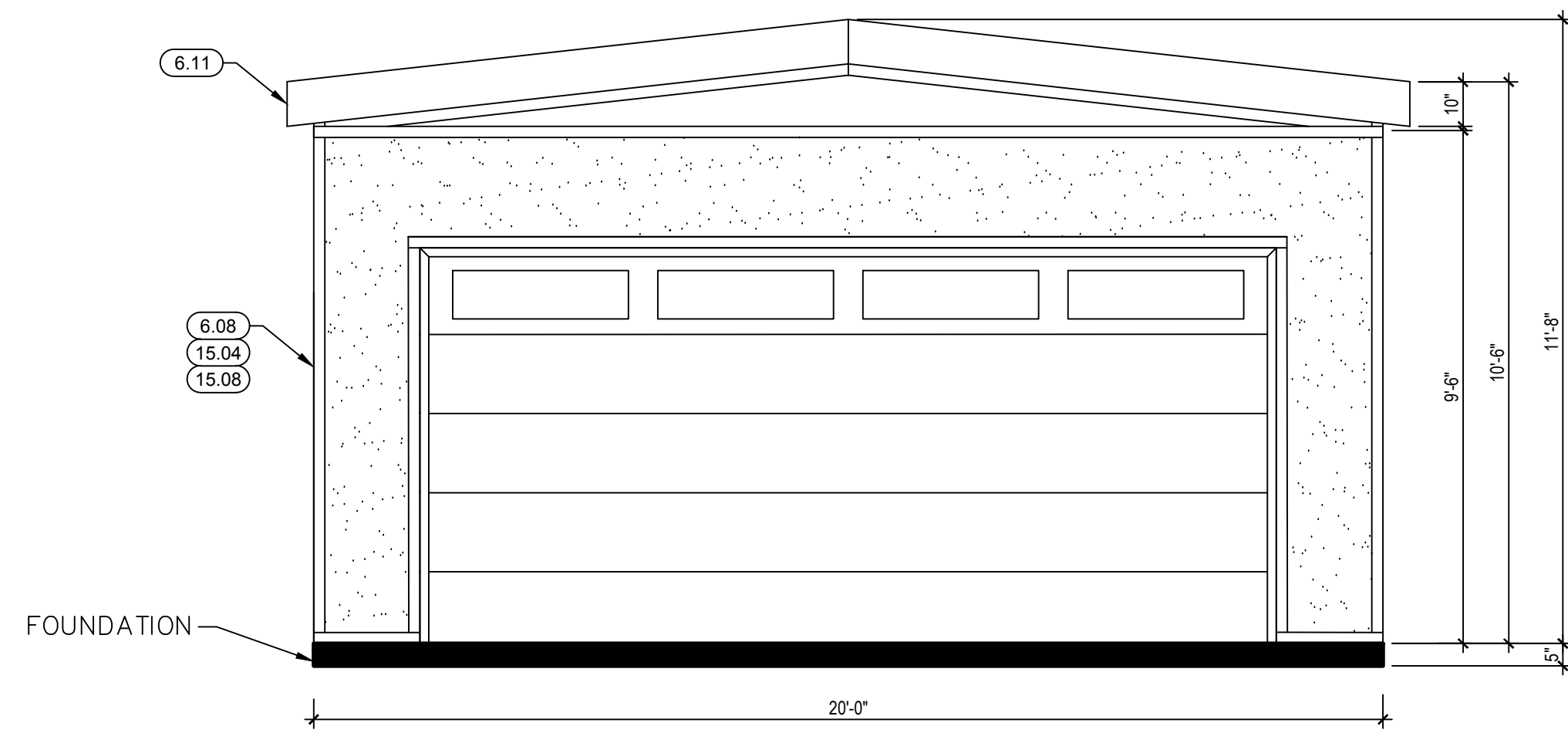
Revisions

Issue Date 10/24/2023

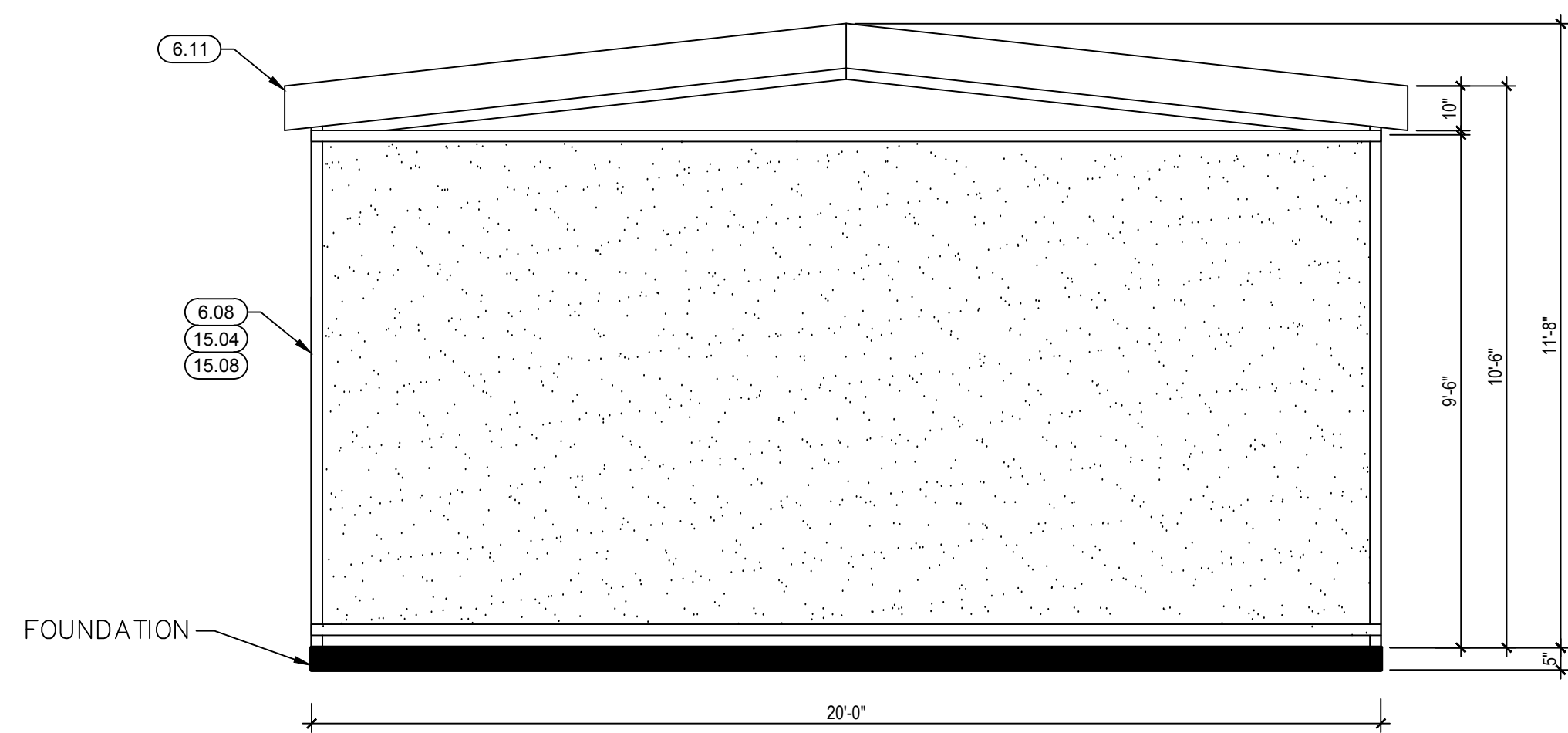
Plot Date 10/24/2023

A1

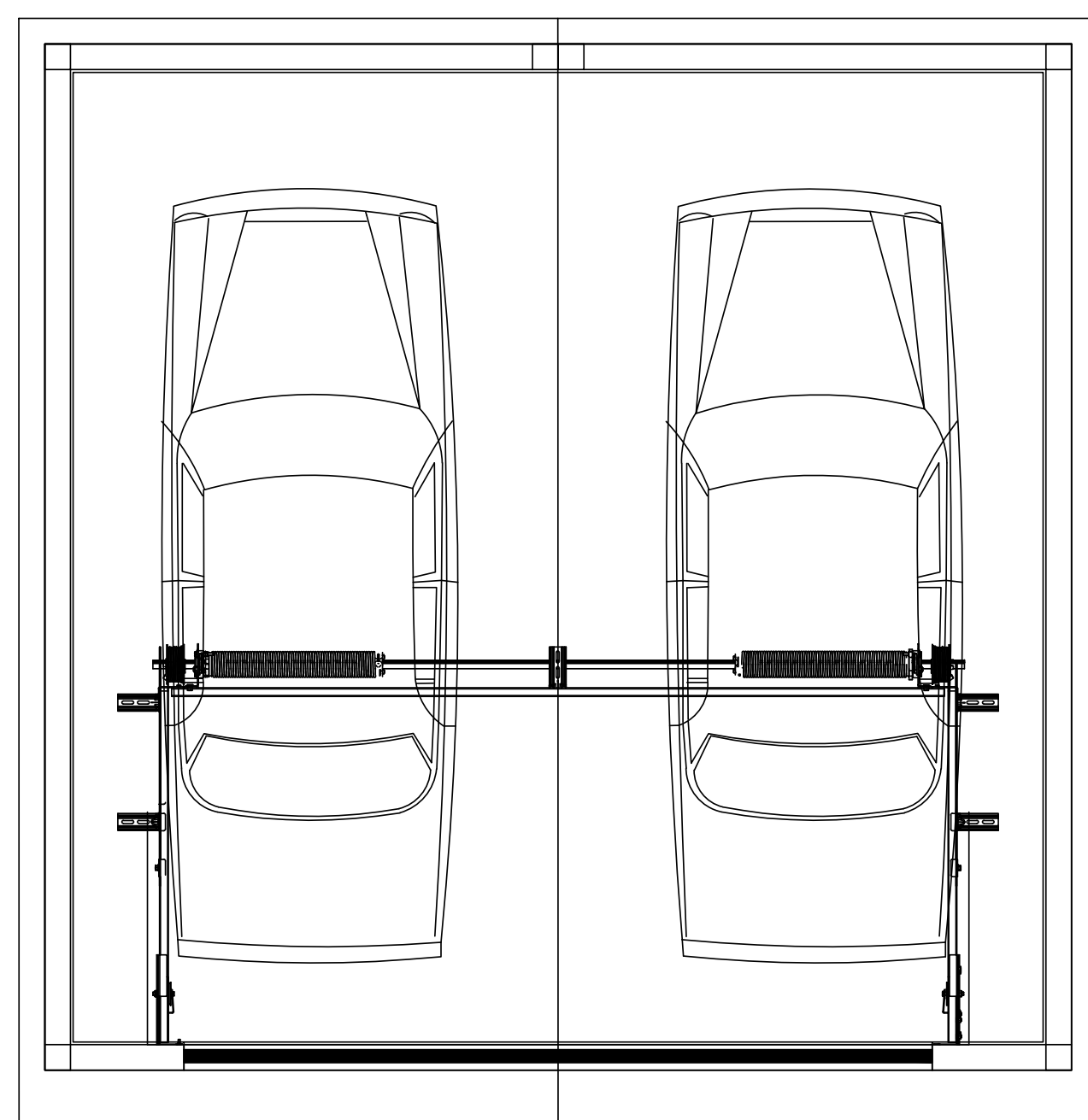
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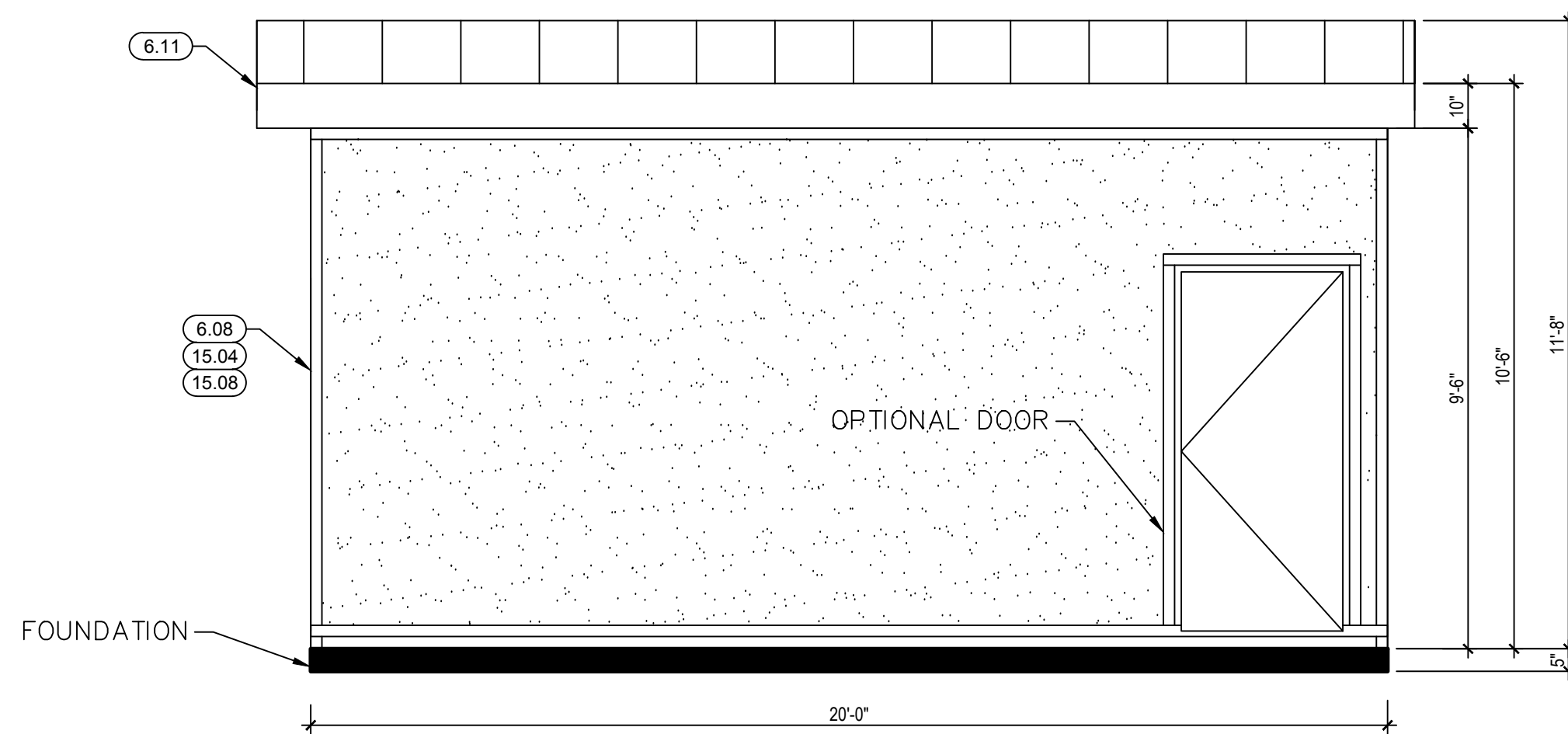
1 FRONT ELEVATION - GABLE
SCALE: 3/8" = 1'-0"



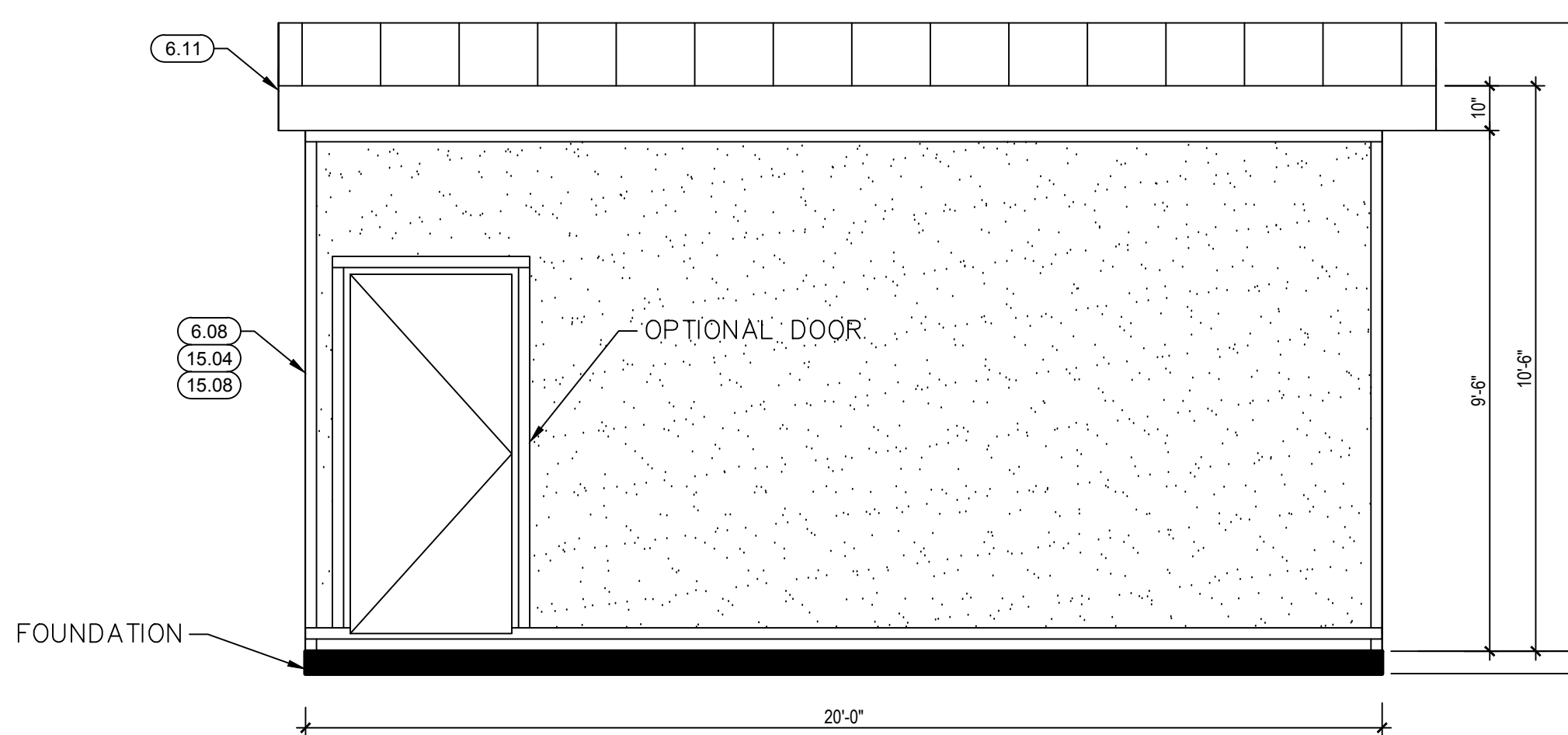
3 REAR ELEVATION - GABLE
SCALE: 3/8" = 1'-0"



3 FLOOR PLAN - PLAN VIEW



2 LEFT ELEVATION - GABLE
SCALE: 3/8" = 1'-0"



4 RIGHT ELEVATION - GABLE
SCALE: 3/8" = 1'-0"

Garage Materials:

Siding- Client request
3 coat cement stucco



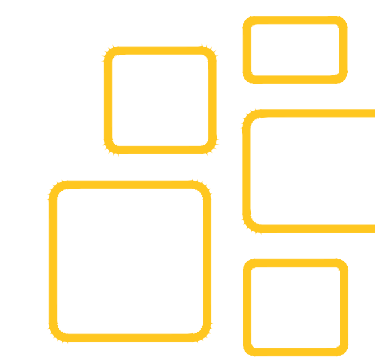
Roof- Composite Shingle



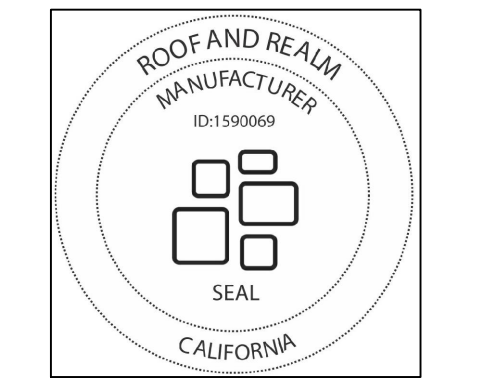
Paint to match existing house &
trim designated by Owner | Builder



Garage door (or similar to the below)



ROOF AND REALM
Manufacture ID: 1590069
2245 Via De Mercados
Concord, CA 94520
Telephone: (866) 404-1148



Corporate Officer Signature

Sebastian Malano
Sebastian Malano

Project

Roof & Realm
**A New Garage for
The Tallam Family**
41 Hawthorne Ave Los
Altos, Ca 94022
APN: 17041036
Zoning: R1

Number Date Description

Revisions
Issue Date 10/24/2023
Plot Date 10/24/2023

A1.1

Sheet

A New Garage for The Tallam Family 41 Hawthorne Ave Los Altos, CA 94022 APN: 17041036 Zoning: R1

MODEL G-40 - RESIDENTIAL BUILDING DESIGN FOR **ROOF AND REALM**

**2245 Via De Mercados
Concord, CA 94520**

**Attachment A
Project Summary Table Template**

ZONING COMPLIANCE			
	Existing	Proposed	Allowed/Required
LOT COVERAGE: <i>Land area covered by all structures that are over 6 feet in height</i>	2308 square feet (15.6 %)	2348 square feet (15.9 %)	4443 square feet (30 %)
FLOOR AREA: <i>Measured to the outside surfaces of exterior walls</i>	1st Flr: 2308 sq ft 2nd Flr: 1365.85 sq ft Total: 3673.85 sq ft (23 %)	1st Flr: 2348 sq ft 2nd Flr: 1365.85 sq ft Total: 3713.85 sq ft (25 %)	4231 square feet (28.5 %)
SETBACKS:			
Front	38.97 feet	39 feet	25 feet
Rear	61.17 feet	78.74 feet	25 feet
Right side (1 st /2 nd)	54.82 feet/feet	26.42 feet/feet	10 feet/feet
Left side (1 st /2 nd)	7.10 feet/feet	8.40 feet/feet	10 feet/feet
HEIGHT:	feet	12 feet	12 feet
SQUARE FOOTAGE BREAKDOWN			
	Existing	Change in	Total Proposed
HABITABLE LIVING AREA: <i>Includes habitable basement areas</i>	3313.85 square feet	3313.85 square feet	3313.85 square feet
NON-HABITABLE AREA: <i>Does not include covered porches or open structures</i>	360 square feet	400 square feet	400 square feet
LOT CALCULATIONS			
NET LOT AREA:	14810.40 square feet		
FRONT YARD HARDSCAPE AREA: <i>Hardscape area in the front yard setback shall not exceed 50%</i>	square feet (%) our project does not change the existing front yard hard scape		
LANDSCAPING BREAKDOWN:	Total hardscape area (existing and proposed): _____ sq ft Existing softscape (undisturbed) area: _____ sq ft New softscape (new or replaced landscaping) area: _____ sq ft <i>Sum of all three should equal the site's net lot area</i>		

GENERAL NOTE:
HANDRAILS TO BE 42" MINIMUM HEIGHT, WITH CALIFORNIA BUILDING STANDARDS CODE-COMPLIANT GLASS PANELS IN LIEU OF RAILS, SUCH THAT ANY GAP BETWEEN PANELS AND/OR POSTS SHALL NOT ALLOW THE PASSAGE OF A 4" DIAMETER SPHERE.
STAIR PLACEMENT SHALL COMPLY WITH EGRESS REQUIREMENTS, AND IS SUBJECT TO CHANGE PER SITE PLAN, SITE STAIRS AND ATTACHMENT TO DECK SHALL BE SUBJECT TO APPROVAL BY LOCAL JURISDICTION.

NOTES:

- This building shall comply with Wildland Urban Interface (WUI) requirements. WUI compliance is detailed on W1.
- This building shall comply with fire separation distance requirements closer than 5 feet from property lines.
- The Structural Engineer-of-Record shall complete and submit the site/City specific special Inspection Form for review.
- Roof, Floor, Wall Assemblies shall be inspected by HERS Inspector and shall comply to T24 Report insulation requirements.

BY-OTHERS SCOPE OF WORK

The following pages, details and construction shall be performed on Site Specific building sites under the local City/County Building dept. jurisdiction, submitted by Roof and Realm:

Additional Information:

- Site Plan, Grading Plan, Setbacks, Utility Connections,
- Exterior Hardscape, Landscape, Exterior Electrical and Lighting.
- Structural package and pages shall include site specific foundation design, calculations and plan. Foundation details.

Utility Connections:

- Duct layout to be finished and connected on-site.
- Electrical to be finished and connected on-site.
- Rough Gas layout to be finished and connected on-site.
- Rough Plumbing layout to be finished and connected on-site.
- Rough Waste layout to be finished and connected on-site.

PROJECT OWNER: Roof and Realm
2245 Via De Mercados
Concord, CA 94520
408-610-8748

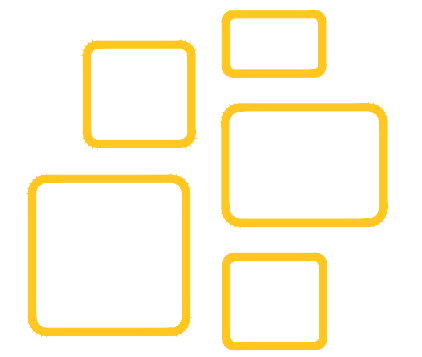
PROJECT SCOPE: New Modular Residential Building Design.
Model No: G-40

DESIGNER: Roof & Realm
Sebastian Malano, Lead Designer
2245 Via De Mercados
Concord, CA 94520
866-404-1148
operations@roofandrealm.com

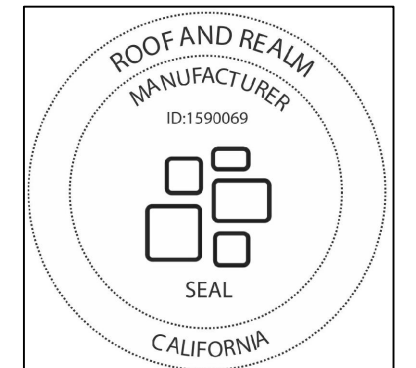
STRUCTURAL CONSULTANTS:

M.E.P. CONSULTANT:

PROJECT CODE NOTES: 2022 CBC, CEC, CMC, CPC
2022 California Green Building Code
2022 California Residential Code
2022 T24 B.E.E.S. (Energy)
All other state and local code and ordinances.



ROOF AND REALM
Manufacture ID: 1590069
2245 Via De Mercados
Concord, CA 94520
Telephone: (866) 404-1148



Corporate Officer Signature

Sebastian Malano

Project

SHEET INDEX:

- No. Description
- A1 Site Plan
- CS Cover Sheet
- A2.0 Notes & Specifications
- A2.1 Notes & Specifications
- A3.0 Modular Substructure Assumption
- A3.1 Floor Plan
- A3.2 Lighting Plan
- ~~A4.0 Cube Elevations~~
- ~~A4.1 Low Slope Elevations~~
- A4.2 Gable Elevations
- A5.0 Building Sections
- A6.0 Wall Details
- A6.1 Wall Details
- A7.0 Roof Details
- A8.0 Window & Door Details
- A9.0 Exterior Details

**Roof & Realm
A New ADU - G40
Residential Building Design**

Number	Date	Description
1	1/2/24	REVISION

Revisions

Issue Date **1/2/2024**

Plot Date **1/2/2024**

Cover Sheet

CS

Sheet

Notes and Specifications:

1 Design Criteria

- 1.01 Refer to structural for the design criteria.
 1.02 Refer to Title 24 Energy Analysis for Climate Zone Criteria.
 1.03 Refer to WUI guidelines as needed

2 Applicable Codes

- 2.01 Administrative 2022 California Administrative Code
 2.02 Building Code 2022 California Building Code Part 1 & 2
 2.03 Residential Code 2022 California Residential Code
 2.04 Electrical 2022 California Electrical Code
 2.05 Mechanical 2022 California Mechanical Code
 2.06 Plumbing 2022 California Plumbing Code
 2.07 Energy 2022 California Energy Code
 2.08 Fire 2022 California Fire Code
 2.09 Green Building 2022 California Green Building Code
 2.10 Reference Standards 2022 California Reference Standards Code & California Title 24
 2.11 Local Amendments Applicable to site specific application.
 2.12 Solar Equipment Solar as per mandate

3 General Notes

- 3.01 Construction Type Steel Volumetric Modular Building.
 3.02 Module Size See Drawings
 3.03 Shop Drawings All shop drawings shall meet the included Product Guide and ensure Manufacturer Designs are achieved, substitutions require signature and approval by Manufacturer.
 3.04 Material Installation All Installations shall be consistent with the plans and applicable to the applicable Building Code of California, any variation from the Product Guide requires approval.
 3.05 Work Performed All work performed must be performed in tradesman like fashion and conform to industries best standards and practices and code compliance.
 3.06 Dimensions and Conversion All printed dimension shall take precedence over scaled plan dimensions all conversions must meet or exceed client specification
 3.07 Submittals All Finish materials shall be approved, and samples are to be provided to Manufacturer.
 3.08 Third-party All plans and modular units are to be reviewed, inspected, and approved by a third-party agency that is authorized to inspected on behalf of the State of California or local building department of units installation.
 3.09 City Inspections City shall inspect work completed on-site including foundation, connection points where modules meet or where Sewer is connected from ground to module.
 3.10 Utility Connections and Drainage All site-specific utility connections and drainage should be coordinated with site and be identified and ready for connection. Additionally, Engineers and Architects shall ensure all connection points are simple for manufacturing to site connection for modular design.
 3.11 Material Certifications All materials and fixtures are to be listed and approved by CBC in the IRC recognize quality control agencies.
 3.12 Material Sources All material sources and approvals must be provided to Designer in writing.
 3.13 Appliances Electrical appliances (standard)/Optional gas appliances

4 Architectural

- 4.01 Exterior Wall Boarding Water and Mold Resistive $\frac{1}{8}$ " material with Air and Water Membrane.
 4.02 Interior Wall Boarding Material Gypsum wallboard, $\frac{1}{2}$ " where required by (CBC) California Building Code.
 4.03 Interior Bathroom Wall Boarding Material $\frac{1}{8}$ " moisture and mold resistant gypsum wallboard.
 4.04 Door Offset A minimum of 3 inches from center of jam to face of finish exterior wall.
 4.05 Baseboard Trim Baseboard trim shall be $\frac{3}{2}$ " min 4-3/4" Height Trim
 4.06 Bathroom Cabinets Shaker Cabinet Design - Owner | Builder. To be placed in interiors
 4.07 Door, Window Jam & Sills Nominal 1x3 MDF
 4.08 Door Plinth Nominal 1x3 MDF
 4.09 Door & Window Header Casing Nominal 1x3 MDF
 4.10 Window Header Height Match doors so the trim aligns.
 4.11 Door Height 6'-8" Interior/ Exterior as per plan
 4.12 Interior Wall Corners Caulk after baseboard with miter cuts
 4.13 Door Material Shaker Cabinet Design - Modular Kits
 4.14 Cabinet Carcass Material Shaker Cabinet Design - Modular Kits
 4.15 Cabinet Door Hinges Shaker Cabinet Design - Modular Kits
 4.16 Cabinet Drawer Glides Shaker Cabinet Design - Modular Kits
 4.17 Cabinet Door & Drawer Bumpers Shaker Cabinet Design - Modular Kits
 4.18 Countertop Quartz SLAB with 1.5" square edge. Color TBD. See product Guide. Client will specify with coordinating grout
 4.19 Backsplash Quartz SLAB 4" high, optional full height under cabinet. Color TBD . See product Guide. Client will specify with coordinating grout
 4.20 Surrounds Quartz TILE or optional SLAB full height. Color TBD . See product Guide. Client will specify with coordinating grout. Shampoo Niches Standard in each Shower (14"w x 24"h x 5"d)
 4.21 Water Heater Door Louvered when required(See Manufacturer Specifications)
 4.22 Cabinet Hardware Finish To match other hardware selected. See client specification Nickel, Black, or (Gold Optional)
 4.23 Cabinet Interior Finish Per client specification.
 4.24 Roof Pitch Refer to structural and client selected change order.
 4.25 Roof Finish Refer to client selected change order or product guide.

- 4.27 Base Bathroom Cabinet Shaker Bathroom Cabinet 21" Deep
 4.28 Medicine Cabinet Mirror inset. One location

5 Interior Finish

- 5.01 Interior Swinging Door Styles Square edge style interior hollow-core doors to open with handle to match hardware color selection.
 5.02 Interior Barn Door Style Square edge hollow core flat panel barn door with rail hardware and handle to match.
 5.03 Interior Swinging Door Finish Primed & painted Client Selected Colors to match trim color
 5.04 Interior Swinging Door Handle Type Knobs or Handle option Manufacture Selected and designated. . See client specification
 5.05 Interior Door Hardware Finish Knobs and Handles option Manufacture Selected and designated. . See client specification
 5.06 Interior Wall Texture Interior Walls Orange peel finish.
 5.07 Interior Wall Finish Primed & Painted, off-white "Swiss Coffee". See Client's specification
 5.08 Interior Ceiling Texture Interior Walls Orange peel finish.
 5.09 Interior Ceiling Finish Primed & Painted, Same as trim. See Client's specification.
 5.10 Kitchen Flooring See Client's specification
 5.11 Living Room Flooring See Client's specification
 5.12 Family Room Flooring See Client's specification
 5.13 Hallway Flooring See Client's specification
 5.14 Bedroom Flooring See Client's specification
 5.15 Closet Flooring See Client's specification
 5.16 Bathroom Flooring See Client's specification
 5.17 Entry Flooring See Client's specification
 5.18 Closet Shelves Wire and Rod
 5.19 Closet Rod Steel 1 1/4" diameter with steel supports, Color - White.
 5.20 Kitchen Sink 490SF & Below - Under-mount sink see Product Guide 19" or as available 490SF & Above - Under-mount sink see Product Guide 24" or as available
 5.21 Bathroom Sink Under-mount sink see Product Guide
 5.22 Tub & Shower Surrounds Quartz Slab or Marble Slab, color,TBD. Tub only in SFH units or by options. Shower should match kitchen unless otherwise specified
 5.23 Shower Head Height Shower head shall be placed 80" above shower pan.
 5.24 Bathroom Mirrors Non Standard when installed shall match hardware.
 5.25 Shower Niches Builder selected minimum 14"w x 24"h x 5"d.
 5.26 Toilet Paper Holder Wall mounted toilet paper holder. See Client's specification.

6 Exterior Finish

- 6.01 Windows Dual pane, Low-E, Argon filled glazing. Colors-White interior. Bronze exterior. See Title 24 requirements. See Client's specification
 6.02A Standard Sliding Door System Standard Sliding Door System
 6.02B Pocket or Bi Fold Option Optional System Manufacturer Selected.
 6.03 Siding-01 HardiePanelTM Vertical Siding 1 x 3 fiber composite and/or fiber cement, with one layer water resistant air barrier membrane. (Board and Batten). See Client's specification. WUI Listing No. 8140-2026.0005
 6.04 Siding-02 4'-0" x 10'-0" James Hardie Fiber cement stucco board with 1/4" vertical gaps. All vertical seem to align top to bottom. One-layer water resistant air barrier membrane. Color See Client's specification WUI Listing No. 8140-2026.0501
 6.05 Siding-03 HardiePlankTM Fiber Composite Lap siding. One-layer water resistant air barrier membrane in combination with other elevation materials. Refer to manufacturer's installation instructions and product data sheets. WUI Listing No. 8140-2026.0005
 6.06 Siding-04 "AZEK Deck" - Composite deck board, all colors $\frac{3}{8}$ " Thick x 5.5 Width - 1" Thick x 3.5" Width or 5.5" Width. Class B Frame Spread Rating WUI Listing No. 8110-2042.0500, 8110-2044.0001 Refer to manufacturer's installation instructions and product data sheets
 6.07 Siding -05 Metal Siding or Cladding
 6.08 Exterior Wall Assembly 1 Hour Rated Fire Wall - Steel framing as per structural plans. Sheathing as per structural plans with Moisture barrier building wrap or equal. Refer to customer order for selected exterior finish material.
 6.09 Roofing-01/ All slope roof conditions Presidential shingle by default or Standing seam metal on sloped roof with one-layer of weather barrier membrane per client specification.
 6.10 Roofing-02 all flat roof conditions Self-sealing water shield leak barrier 891705 or equal. Option composite roof with one layer of barrier membrane and roof sheathing.
 6.11 Fascia/Corner/Joint Metal clad. Cladding to be Paint Match to Trim designated by Owner | Builder with on-sight clamping system designed to fit and adhere quickly. Color-Dark Gray or Black.
 6.12 Entry Door Smooth fiberglass. Same as exterior trim. (Landings or finished floors at the required egress door shall be not more than 1 $\frac{1}{2}$ " inches (38 mm) lower than the top of the threshold.)
 6.13 Soffit Flat metal clad to match metal clad fascia.
 6.14 Exterior Utility Access Builder selected or client change order.
 6.15 Panelize Shower Screen-01 Builder selected or client change order.
 6.16 Panelize Shower Deck Builder selected or client change order.
 6.17 Panelize Deck Builder selected or client change order.
 6.18 Entertainer Door Builder selected or client change order.
 6.19 Trim-01 3" fiber cement trim. Color TBD.
 6.20 Trim-02 Flat metal clad, snap screw track mechanism in place.
 6.21 Trim-03 1 x 2 trim board, pin at top. Caulk bottom joint.

- 6.22 Bottom of Modular Unit Galvanized Steel
 6.23 Sheathing Material All exterior walls and top of roof will have Densglass - OSB sheathing for Roof material.

7 Site

- 7.01 Grade See site specific foundation or grading plans for factory built housing.

8 Foundation

- 8.01 Raised Spread Footing Traditional stem-wall with modular, welded in place. See site specific foundation plans
 8.02 Flat Slab on Grade Refer to structural foundation plans and details for design. See site specific foundation plans
 8.03 Vapor Barrier Minimum of 6 mil poly vapor barrier to be installed. See Foundation Plans
 8.04 Below Floor Ventilation Refer to site specific structural foundation plans and details for specifications and requirements as per California Building Code requirements (CBC).
 8.05 Stem Wall Footing Refer to site specific structural foundation plans and details for specifications and requirements as per California Building Code requirements (CBC).
 8.06 Slab Footing Refer to site specific structural foundation plans and details for specifications and requirements as per California Building Code requirements (CBC).
 8.07 NOT APPLICABLE
 8.08 Crib Wall Refer to site specific structural foundation plans and details for specifications and requirements as per California Building Code requirements (CBC).
 8.09 Hardscape 3' x 3' x 4" thick minimum stoop at landings. See client specification. (Opening width)
 8.10 Inset Form Inset Form that is left in place for Sewer and Vent connections under subfloor when available

9 Structural

- 9.01 Hardware All hardware to be Simpson hardware installed per manufacturers instructions to achieve the highest listed load values or similar approved by Structural Engineer.
 9.02 Fire Blocking Fire blocking in interior and exterior walls as required by the California Building Code (CBC).
 9.03 Floor Decking Minimum of 3/4 or 23/32 thickness and meets or exceeds PS2 Standards.
 9.04 Blocking All elements fastened to the walls including toilet paper holders, towel bars, mirrors, robe hooks, shelves, closet rods, cabinets, etc. must be securely anchored to the solid blocking, sufficient to prevent pull out.
 9.05 Exterior Wall Assembly Per manufacture specs to be approved by R & R via shop plan review. Thickness should allow for concealment of structural container elements including beams and posts.
 9.06 Interior Wall Assembly Per manufacture specs to be approved by R & R via shop plan review. Thickness should allow for concealment of structural container elements including beams and posts.
 9.07 Interior Plumbing Wall Assembly Per manufacture specs to be approved by R & R via shop plan review. Thickness should allow for concealment of structural container elements including beams and posts.
 9.08 Ceiling Assembly Per manufacture specs to be approved by R & R via shop plan review. Thickness should allow for concealment of structural container elements including beams and posts.
 9.09 Floor Assembly Per manufacture specs to be approved by R & R via shop plan review. Thickness should allow for concealment of structural container elements including beams and posts.
 9.10 Roof Assembly Assumed as per manufacture specs, to be approved by R&R via shop plan review, light gauge steel frame structure as per structural plans with 1/2" radiant barrier sheeting on the exterior side and 5/8" gypsum wallboard on the ceiling side. Thickness should allow for concealment of structural container elements including beams and posts. Roof Section assembly shall be shipped seperately.
 9.11 Vaulted and Transom Walls Vaulted walls to be light gauge steel framing as per structural plans with boarding and finishes to match walls below as per plan.
 9.12 Roof assembly- flat roof Gypsum Board as per T24
 9.13 Roof assembly- flat roof TPO roofing membrane, 0.45 mil, 10 foot width. Class "A" rated. Water Proof
 9.14 NOT APPLICABLE
 9.15 Interior Transom Wall Soffit Shelf.
 9.16 Upper Deck Handrail Handrail assembly with 1/4" tempered glass pr metal rail per client Specifications refer to structural for design and specifications.
 9.17 Stair Assembly Refer to structural plans for staircase assembly as per code
 9.18 Floor Joist See Structural.
 9.19 Wall Framing See Structural.
 9.20 Roof Rafters See Structural.
 9.21 Ceiling Joists See Structural.
 10.01 Bathroom All bathrooms shall be mechanically vented as per California Building Code (CBC).
 10.02 Laundry Space Laundry space to have provisions for make-up air for gas burning appliances when selected.
 10.03 Water Heater Door Heatpump or Tankless when allowed per Code
 10.04 HRV/ERV As required.
 10.05 NOT APPLICABLE
 10.06 Heating As Per T24
 10.07 Cooling As Per T24
 10.08 Mechanical forced air system As Per T24

11 Electrical

- 11.01 Solar Equipment Refer to electrical plan for Solar ready requirements, provide required roof load as required. Chasers, PV panel sizing and conduit as per PV plans.
 11.02 NOT APPLICABLE
 11.03 Kitchen Ceiling lights Recessed LED
 11.04 NOT APPLICABLE
 11.05 Lights Recessed LED
 11.06 Walk-in Closet Lights Recessed LED
 11.07 Master Bedroom Lights Recessed LED
 11.08 Bedroom Lights Recessed LED
 11.09 Bathroom Lights Recessed LED
 11.10 NOT APPLICABLE
 11.11 NOT APPLICABLE
 11.12 Door Lights Recessed LED
 11.13 Integrated USB Receptacles Optional
 11.14 Switches Decora style, Color: White on the walls.
 11.15 Receptacles Decora style, Color: White on the walls and backsplashes.
 11.16 Electrical Meter As per MEP
 11.17 Exterior Wall Light As per plan
 11.18 General Lighting As per plan
 11.19 Ceiling Fan Fan with light. Prep as per Plan
 11.20 Breaker Panel To meet California Electrical Code Requirement. See electrical plan for details.

12 Plumbing

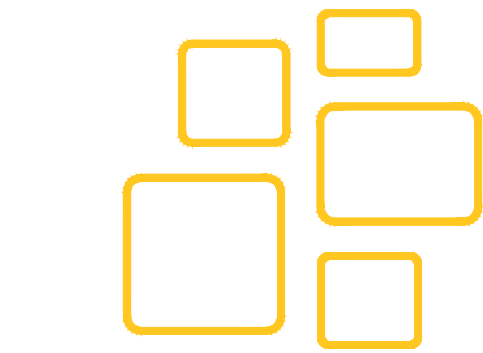
- 12.01 DWV System As per plan.
 12.02 Water System As per plan.
 12.03 Toilets Elongated
 12.04 Master Bath Toilet Elongated
 12.05 Outdoor Shower Optional Outdoor Shower behind existing plumbing.
 12.06 Hosebibbs As per plan.
 12.07 Refrigerator As per plan.

13 Fire Suppression (Not Applicable)

14 Wildland Urban Interface (WUI Compliance)

- 14.01 WUI Compliance Client shall specify in writing if home is WUI compliant. Otherwise rigid foamboard insulation shall be installed and be considered combustible
 15.01 Radiant Barrier Roof - refer to client order specifications.
 15.02 NOT APPLICABLE
 15.03 Ceiling Insulation Refer to Title 24 Doc for specifications.
 15.04 Wall Insulation Refer to Title 24 Doc for specifications.
 15.05 Floor Insulation Refer to Title 24 Doc for specifications.
 15.06 Roof Insulation Refer to Title 24 Doc for specifications.
 15.07 Rain Screen Water drainage system must be installed between siding and sheathing per manufacturer recommendations
 15.07 Building Wrap Water resistant air barrier membrane compound fluid or membrane
 15.08 Window Flashing Match building wrap tape system and add additional pan flashing at head of each window if windows do not come with drip flashing.
 15.09 Door Flashing Match building wrap tape system and add additional of each window if windows do not come with drip flashing.

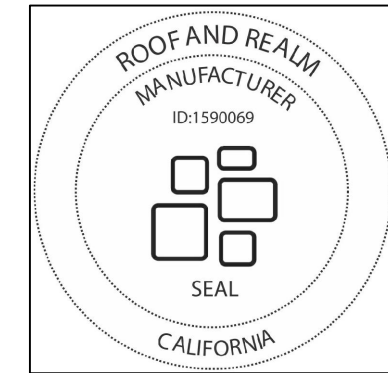
15 Thermal



ROOF AND REALM

Manufacture ID: 1590069

2245 Via De Mercados
 Concord, CA 94520
 Telephone: (866) 404- 1148



Corporate Officer Signature

Sebastian Malano

Project

Roof & Realm
 A New ADU - G40
 Residential Building Design

Number	Date	Description
1	1/2/24	REVISION

Revisions

Issue Date **1/2/2024**

Plot Date **1/2/2024**

Notes & Specifications

A2.0

Sheet

Scope of Work Matrix 2 Module Unit

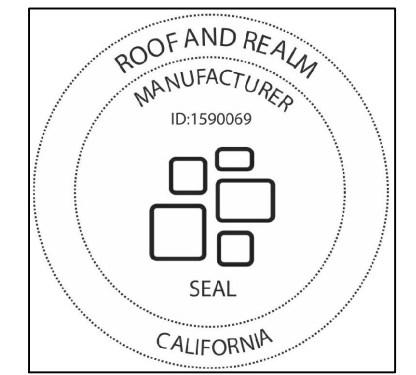
16 Appliances & Equipment

16.01 Dishwasher	Standard 18" or Drawer product as required for space
16.02 Range	Cook-Top as per Product Guide
16.03 Range Hood	Range hood as per Product Guide or Client selected Option.
16.04 Clothes Washer	Ventless. See client specification
16.05 Clothes Dryer	Ventless. See client specification
16.06 Stackable Washer and Dryer	Ventless. See client specification
16.07 Garbage Disposal	Standard.
16.08 Appliance Color	Option stainless steel, Black or Similar.
16.09 Refrigerator	See Product Guide
16.10 Microwave	Micro Range Hood as needed
16.11 Sink	18" Sink with disposal

17 Smart Home & Entertainment

17.01 Internet Connectivity	Optional
17.02 Cameras	Optional
17.03 Audio Video	Optional
17.04 Carbon Monoxide Detectors	Standard Wire
17.05 Tech Package Dual Outlets	Optional
17.06 Smart Hub	Optional

	Item #	Description	HCD Review	In-Factory Inspections	AHJ Review	On-Site Inspections
Main Frame		Structural				
	1	Concrete Foundation and Structural Connections			X	X
	2	Imbed Plates	X	X		
	3	Structural Steel Frame	X	X		
	4	Welding Rust Inhibitor	X	X		
	5	Metal Frame(Walls, Floor, Ceiling, and Roof)	X	X		
	6	Sub-floor Sheathing	X	X		
	8	Structural Steel Frame(Bolting, Welding of Seams)	X			X
Exterior Com		Architectural				
	1	Interior Drywall (Installation, Tape and Mud)	X	X		
	2	Insulation (Subfloor, Wall, and Ceiling	X	X		
	3	Windows and Exterior Doors	X	X		
	4	Counters/Vanity	X	X		
	5	Finish Trim	X	X		
	6	Interior Drywall (at Seams of Pods)	X			X
	7	Exterior Insulation	X	X		
	8	Exterior Sheathing	X	X		
	9	Water Resistive Barrier	X	X		
	10	Flooring Underlayment	X			X
	11	Exterior Cladding	X	X		
	12	Exterior Cladding - Modern Cladding	X	X		
	13	Exterior Cladding - Skirting Trim	X			
14	Shower Pan Connection to Sewer	X			X	
Mechanical						
	1	Hood Vent Install	X	X		
	2	Hood Vent Connection at Roof	X			X
	3	Bathroom Fan Installs	X	X		
	4	Bathroom Fan Connections at Roof	X			X
	5	Mini Split Rough	X	X		
	6	Mini Split Connection Start Up	X			X
Electrical						
	1	Rough Connections and J Box		X		
	2	Electrical Panel Install w Circuits	X	X		
	3	Electrical Fixtures	X	X		
	4	Electrical Feeder Line			X	X
	5	Electrical Panel Start Up and Circuits	X			X
	6	J Box Connections	X			X
Plumbing						
	1	Rough Water Supply System	X	X		
	2	Water Supply System - Connection to Public System			X	X
	3	Rough Drain - Waste - Vent	X	X		
	4	Drain-Waste - Connection to Public System			X	X
	5	Plumbing Fixtures (Toilet, lavatory, Sink, Faucets	X	X		
	6	Water Heater	X	X		
	7	Laundry - Dryer - Rough	X	X		
	8	Water Pressure Test		X		
	9	Sewer Connection			X	X
	10	Water Heater Rough Connections/Plumbings	X	X		
	11	Water Heater Start Up				X
Fire		IF APPLICABLE				
	1	Fire Sprinkler System - Rough Pipe Installation	X			
	2	Fire Sprinkler System - Inspection and Test		X		
	3	Fire Alarm System		X		
Roofing						
	1	Sheathing	X	X		
	2	Sheathing Seam	X			X
	3	Membrane	X			X
	4	Roof Finish Material	X			X
	5	Downspouts	X			X
	6	Rain Gutters	X	X		
T-24's						
	1	T24	X	X		
	2	QII		X		
	3	HERS				X



Corporate Officer Signature

Sebastian Malano

Project

Roof & Realm
A New ADU - G40
Residential Building Design

Number	Date	Description
1	1/2/24	REVISION

Revisions

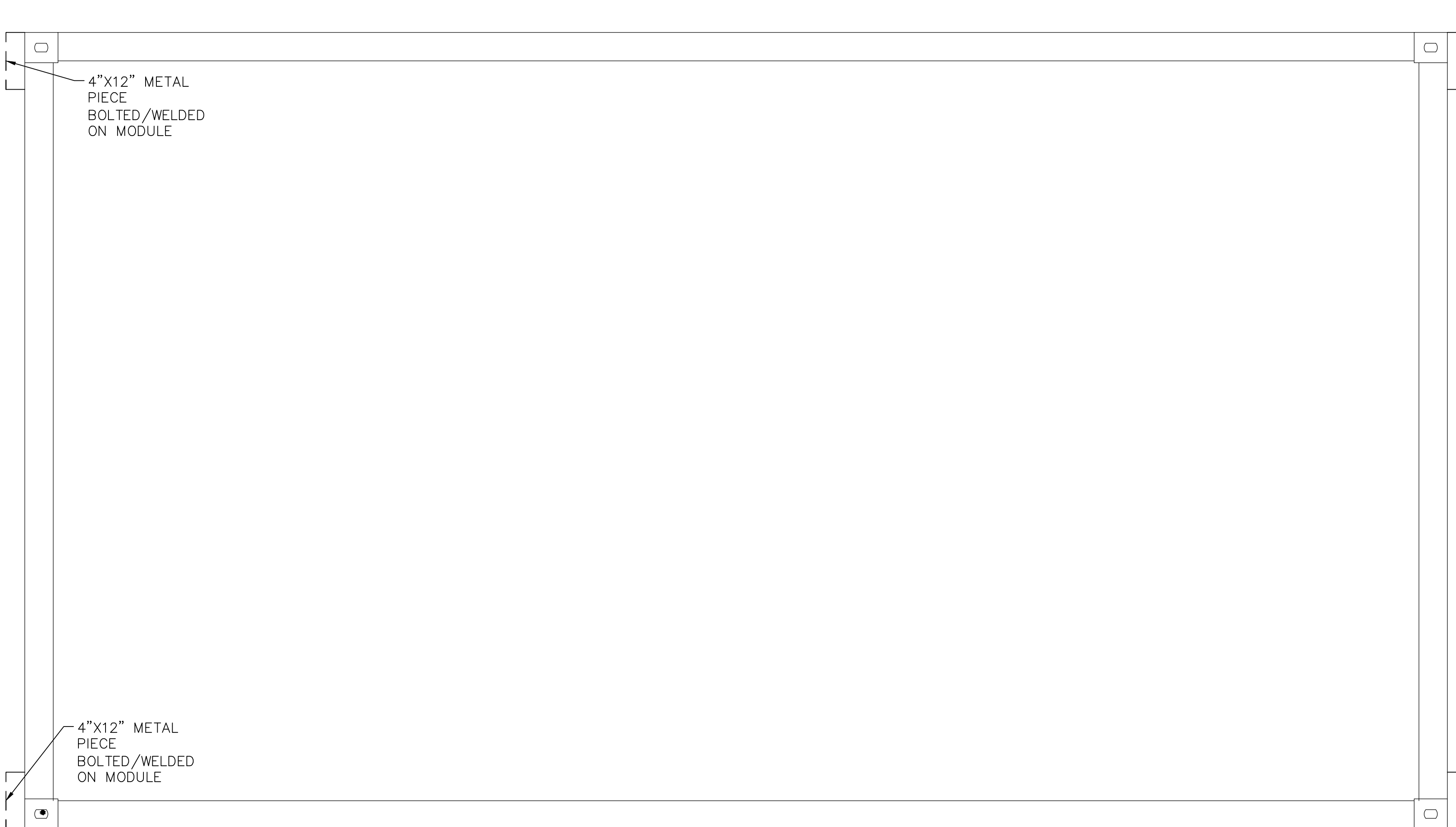
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Plot Date **1/2/2024**

Notes & Specifications

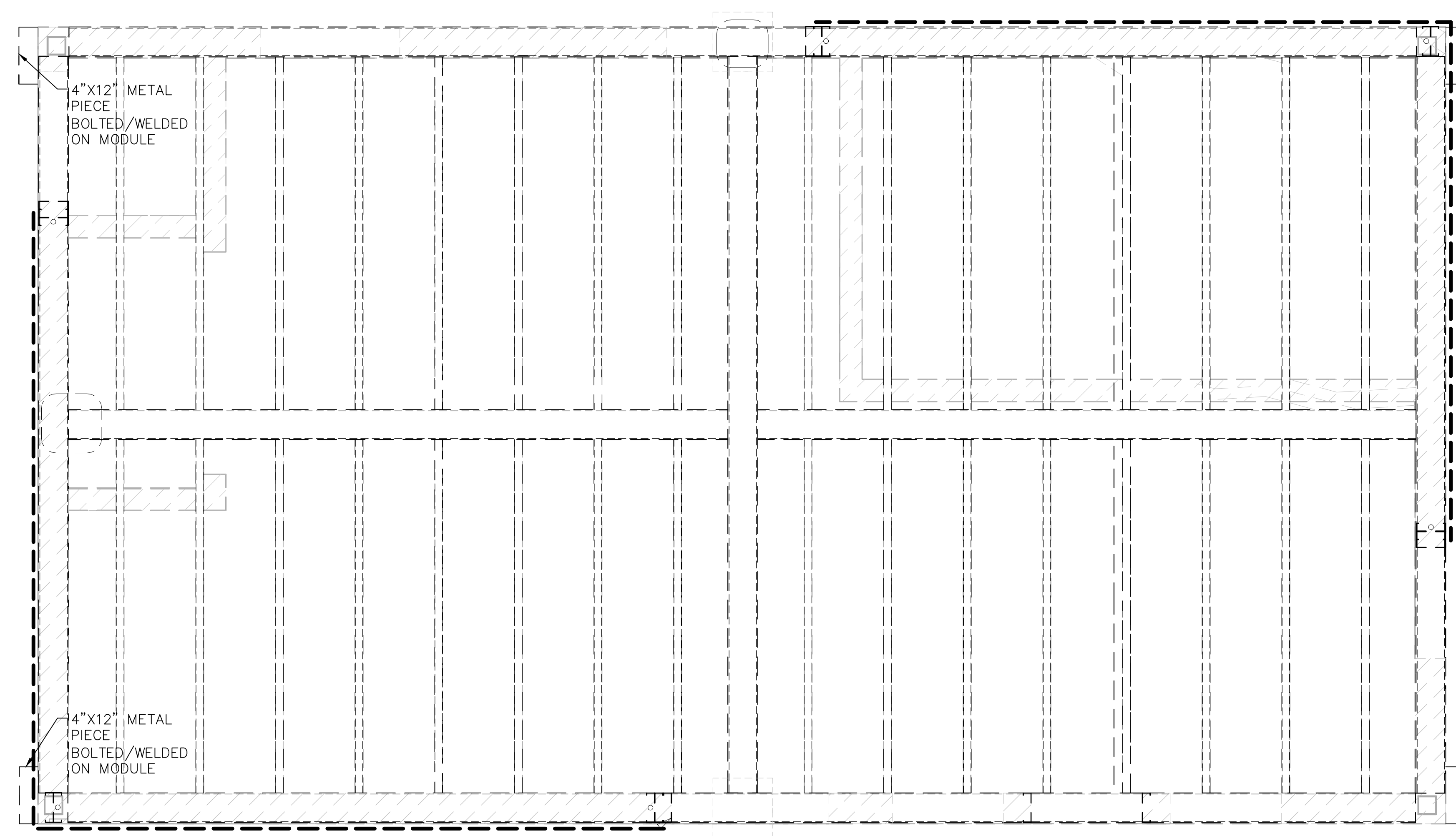
A2.1

Sheet



MODULE PLAN VIEW

SCALE : 3/4" = 1'-0"



FLOOR PLAN VIEW

SCALE : 3/4" = 1'-0"

4"x12" METAL
PIECE
BOLTED/WELDED
ON MODULE

4"x12" METAL
PIECE
BOLTED/WELDED
ON MODULE

4"x12" METAL
PIECE
BOLTED/WELDED
ON MODULE

4"x12" METAL
PIECE
BOLTED/WELDED
ON MODULE

4"x12" METAL
PIECE
BOLTED/WELDED
ON MODULE

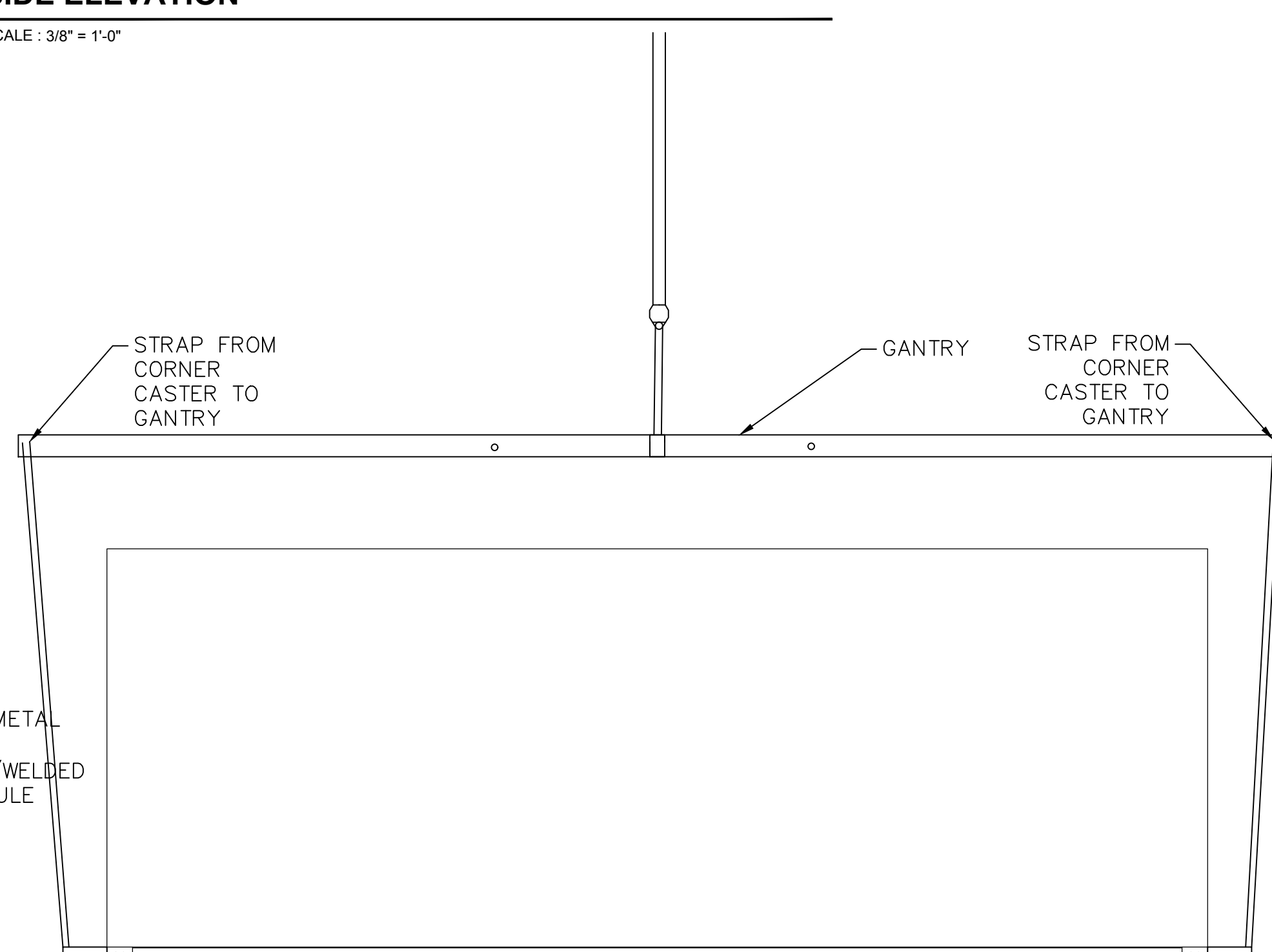
4"x12" METAL
PIECE
BOLTED/WELDED
ON MODULE

4"x12" METAL
PIECE
BOLTED/WELDED
ON MODULE



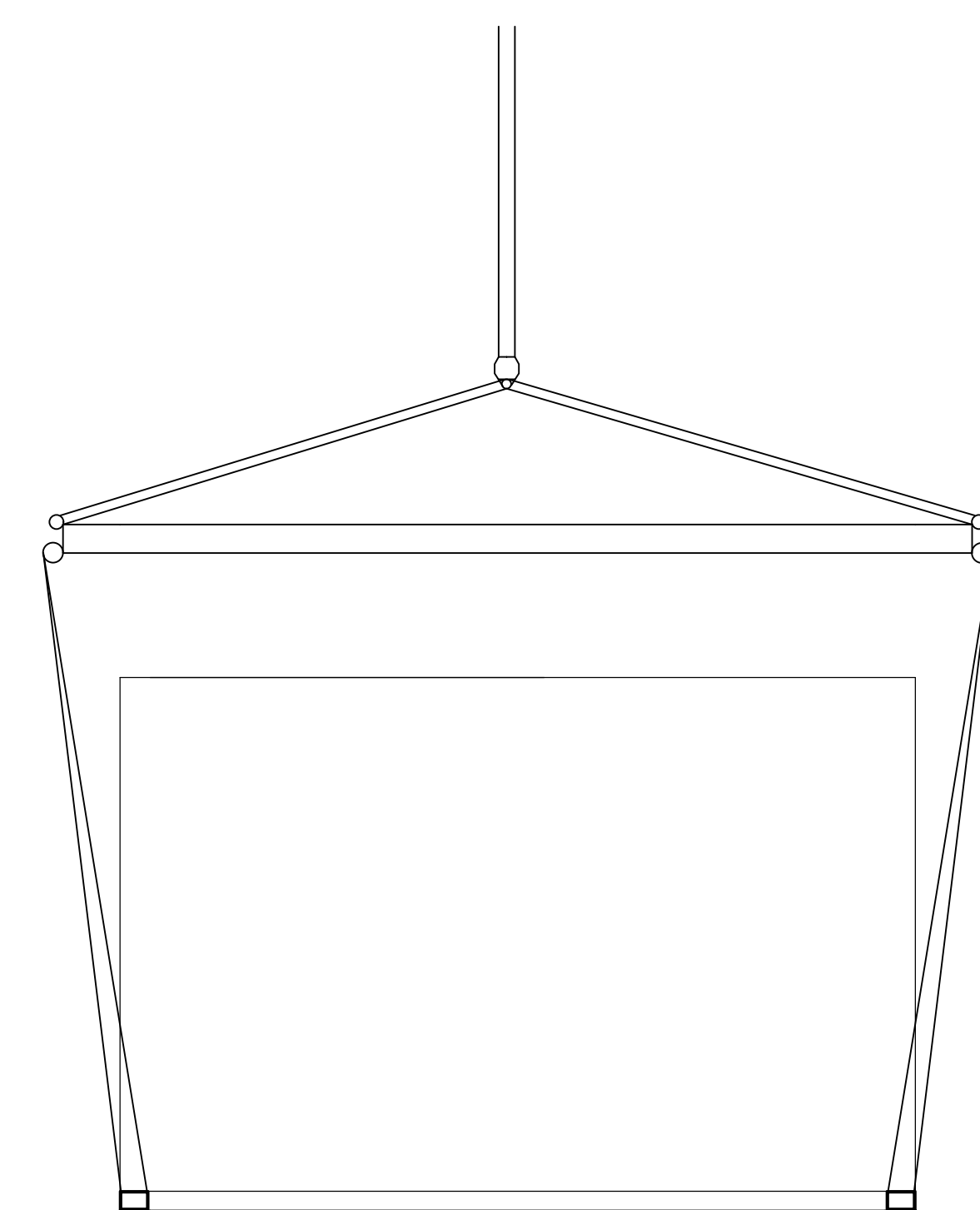
SIDE ELEVATION

SCALE : 3/8" = 1'-0"



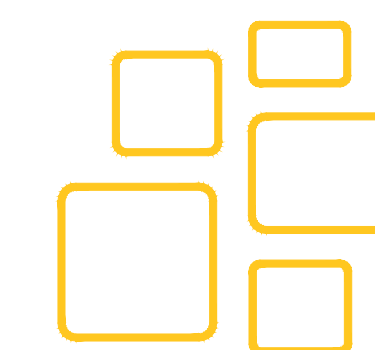
SIDE ELEVATION CRANE

SCALE : 3/8" = 1'-0"



FRONT ELEVATION CRANE

SCALE : 3/8" = 1'-0"

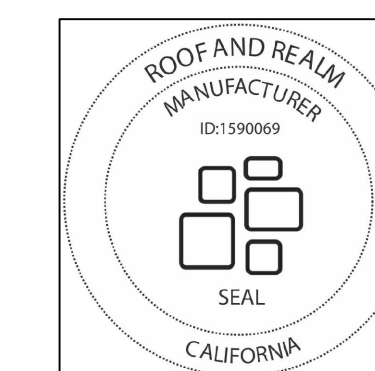


ROOF AND REALM

Manufacture ID: 1590069

2245 Via De Mercados
Concord, CA 94520
Telephone: (866) 404- 1148

PICKUP POINTS
FOR WIRE



Corporate Officer Signature

Sebastian Malano
Sebastian Malano

Project

Roof & Realm
A New ADU - G40
Residential Building Design

Number	Date	Description
1	1/2/24	REVISION

Revisions

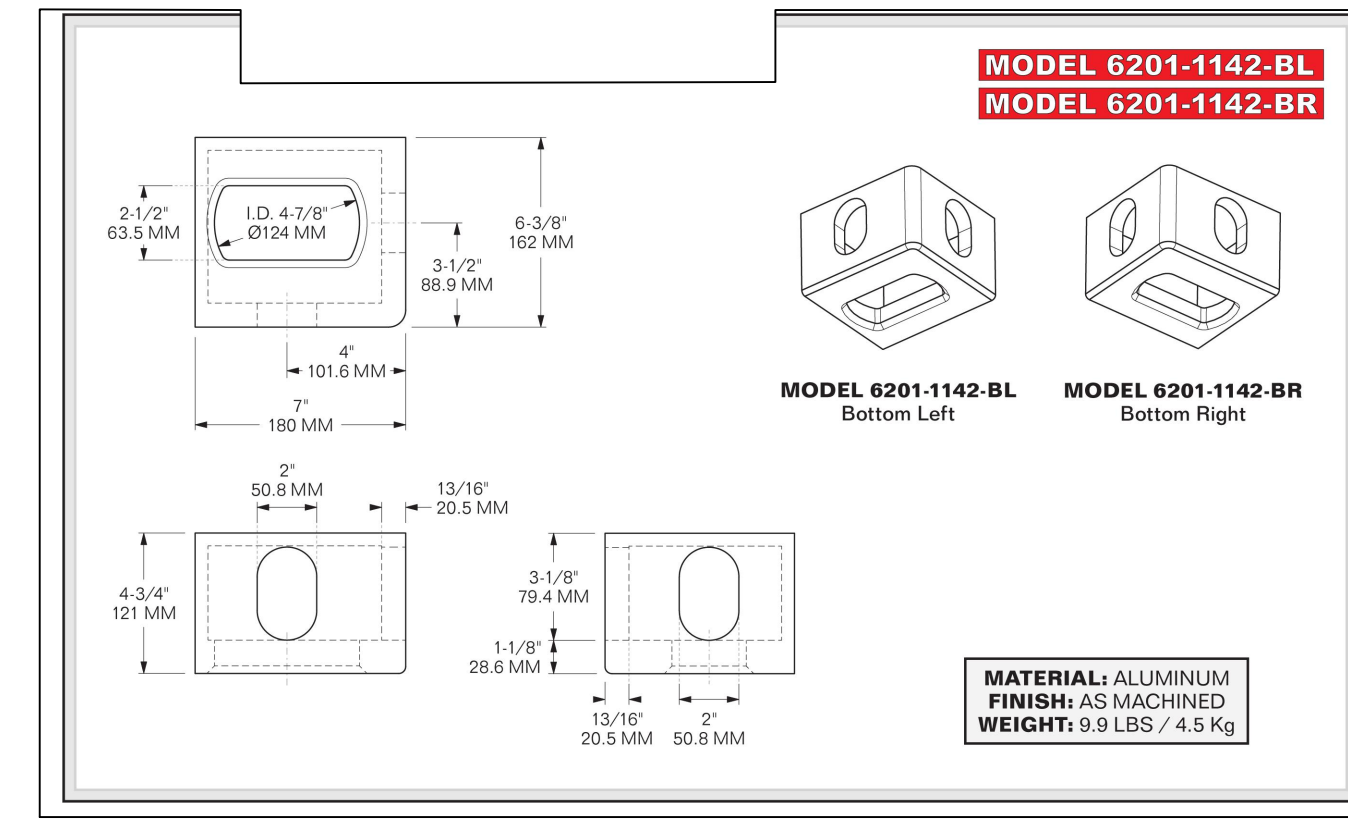
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Plot Date **1/2/2024**

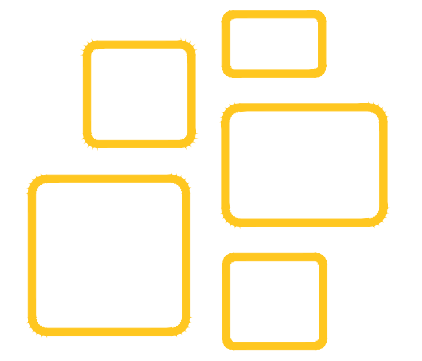
Pick Plan

Sheet

A2.2



NOTE:
EXTERIOR DIMENSIONS ARE TO THE FACE OF STRUCTURAL COLUMN BASED ON TYPICAL ISO 20'-0" HIGH CUBE SHIPPING CONTAINER LAYOUT AND DO NOT INCLUDE EXTERIOR FINISHES.



ROOF AND REALM

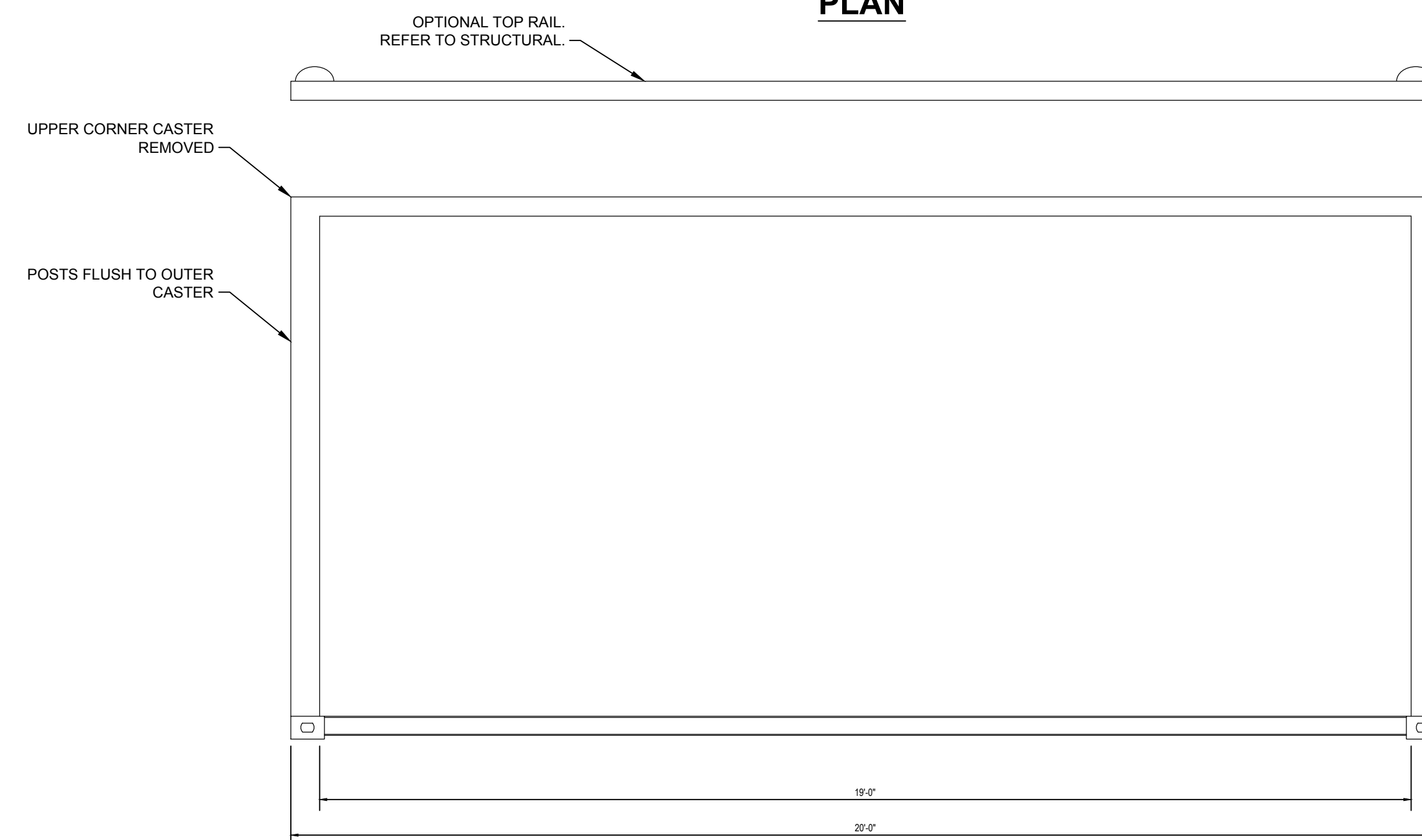
Manufacture ID: 1590069

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Concord, CA 94520
Telephone: (866) 404- 1148

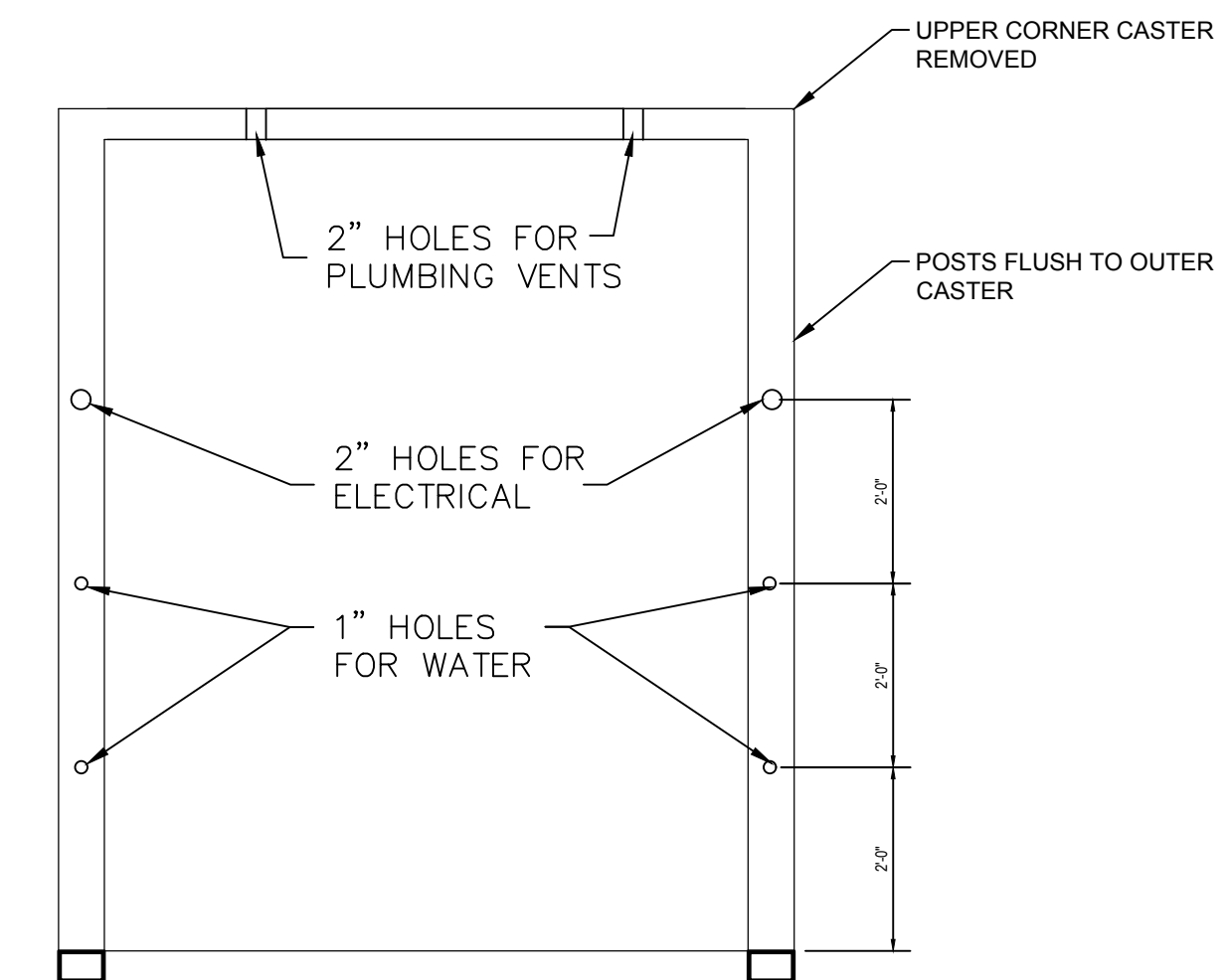
1 ISO BOTTOM CORNER FITTING
SCALE : NOT TO SCALE



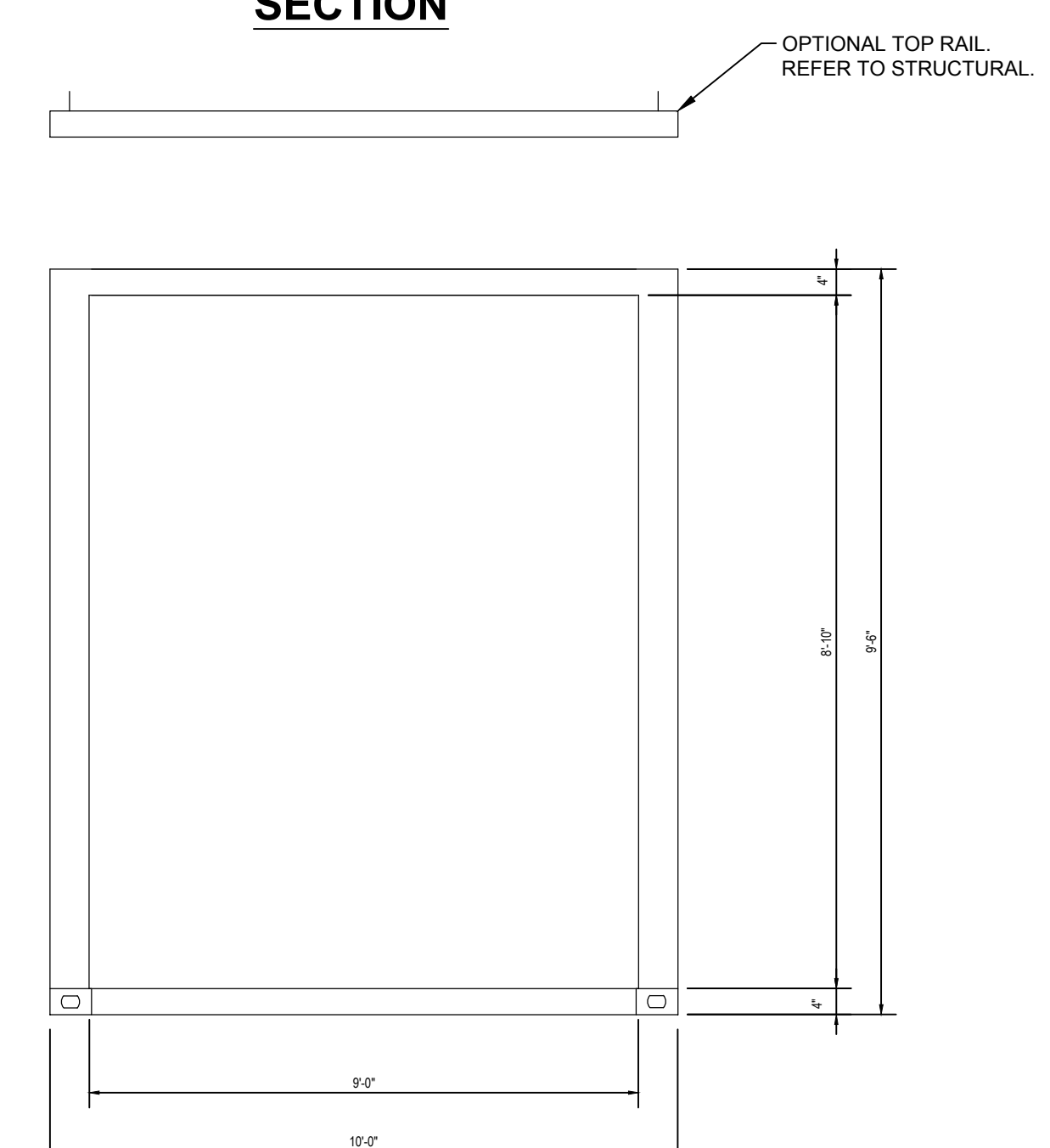
PLAN



SIDE ELEVATION



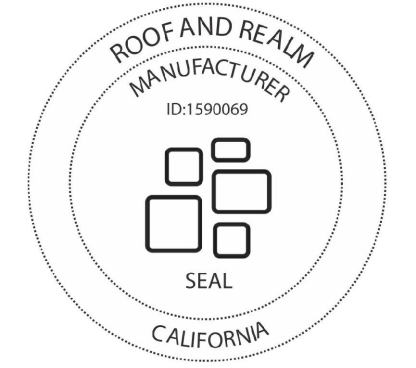
SECTION



END ELEVATION

20'-0" LONG MODULAR HIGH CUBE

SCALE : 1/2" = 1'-0"



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A New ADU - G40
Residential Building Design

Number	Date	Description
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Revisions

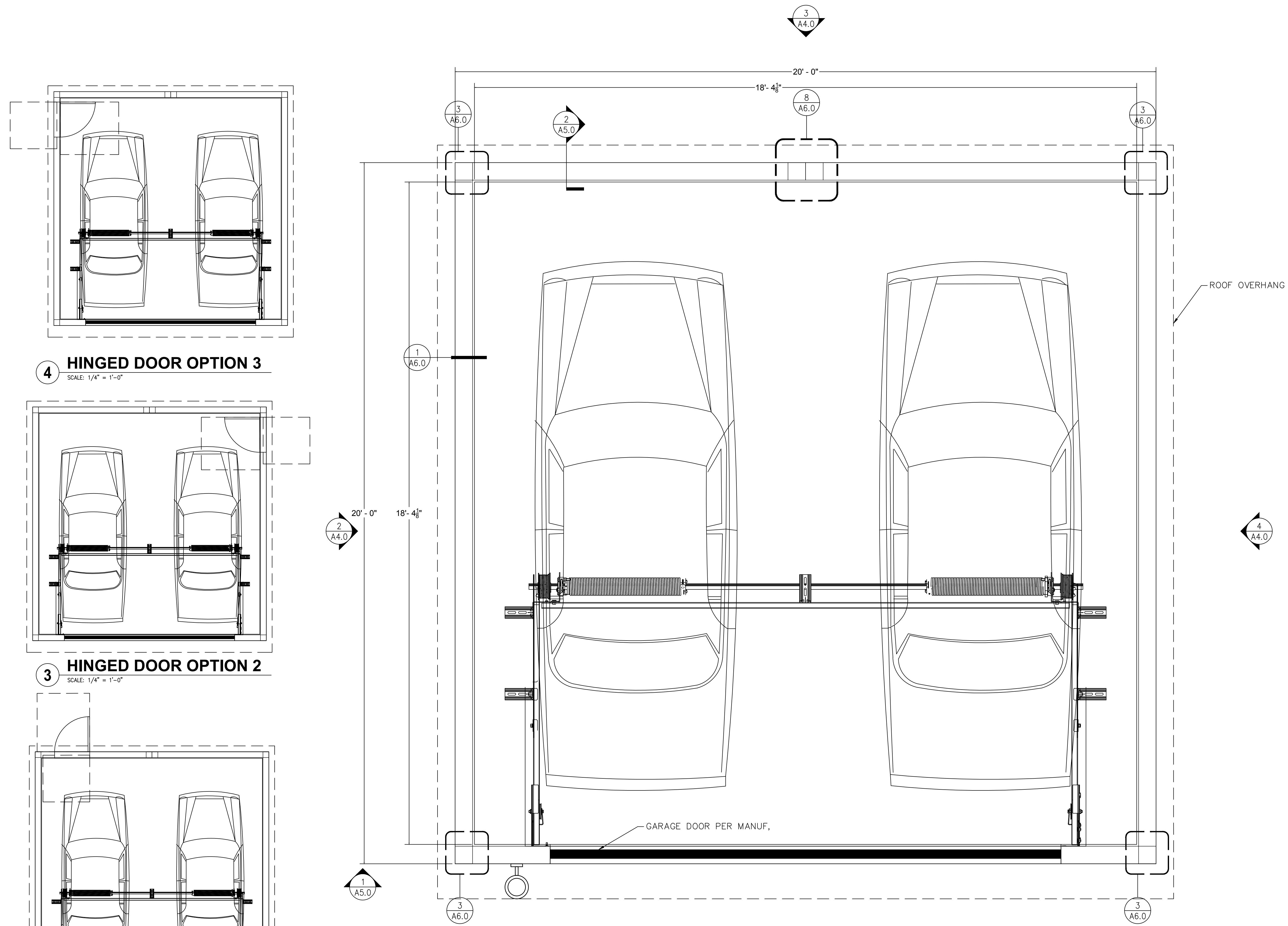
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Plot Date **1/2/2024**

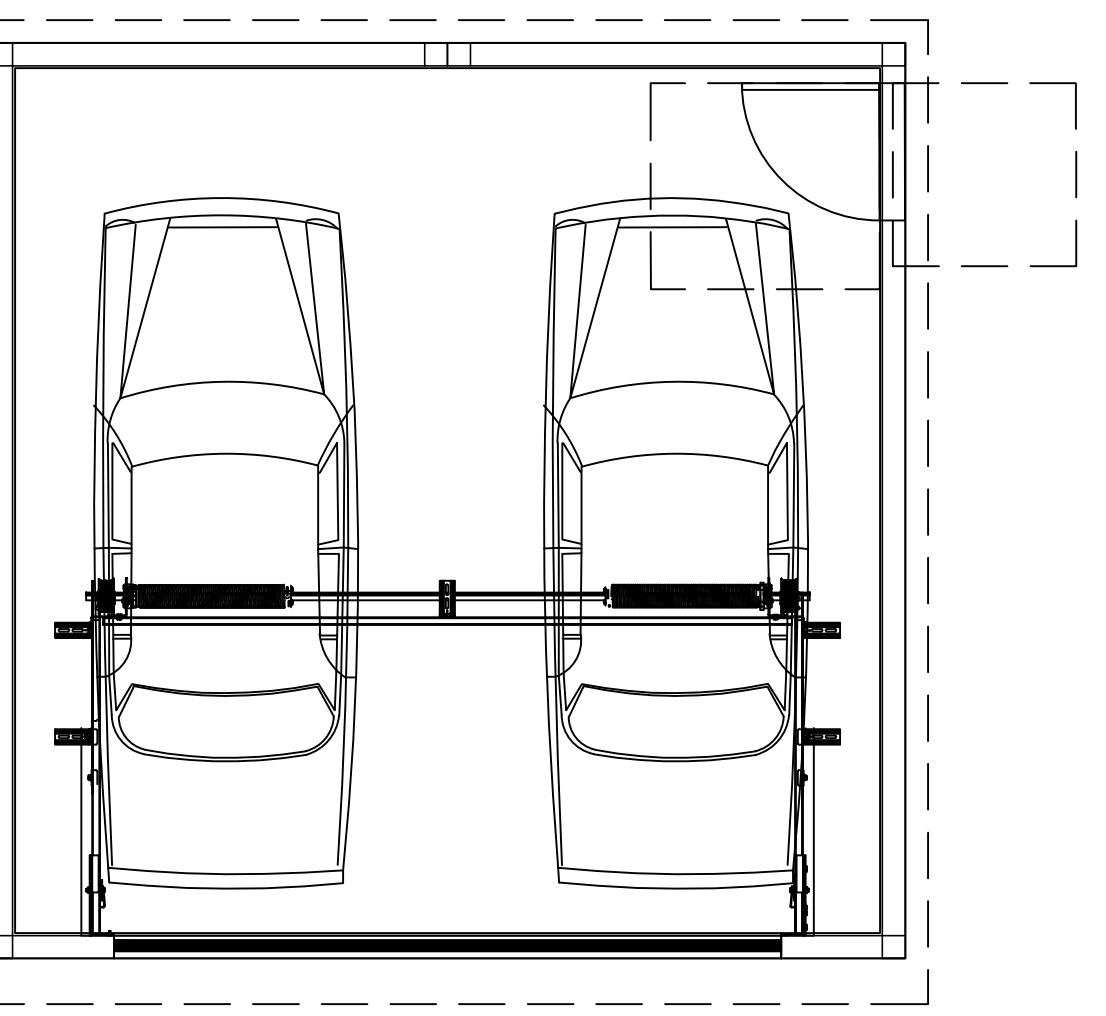
Modular Substructure Assumption

A3.0

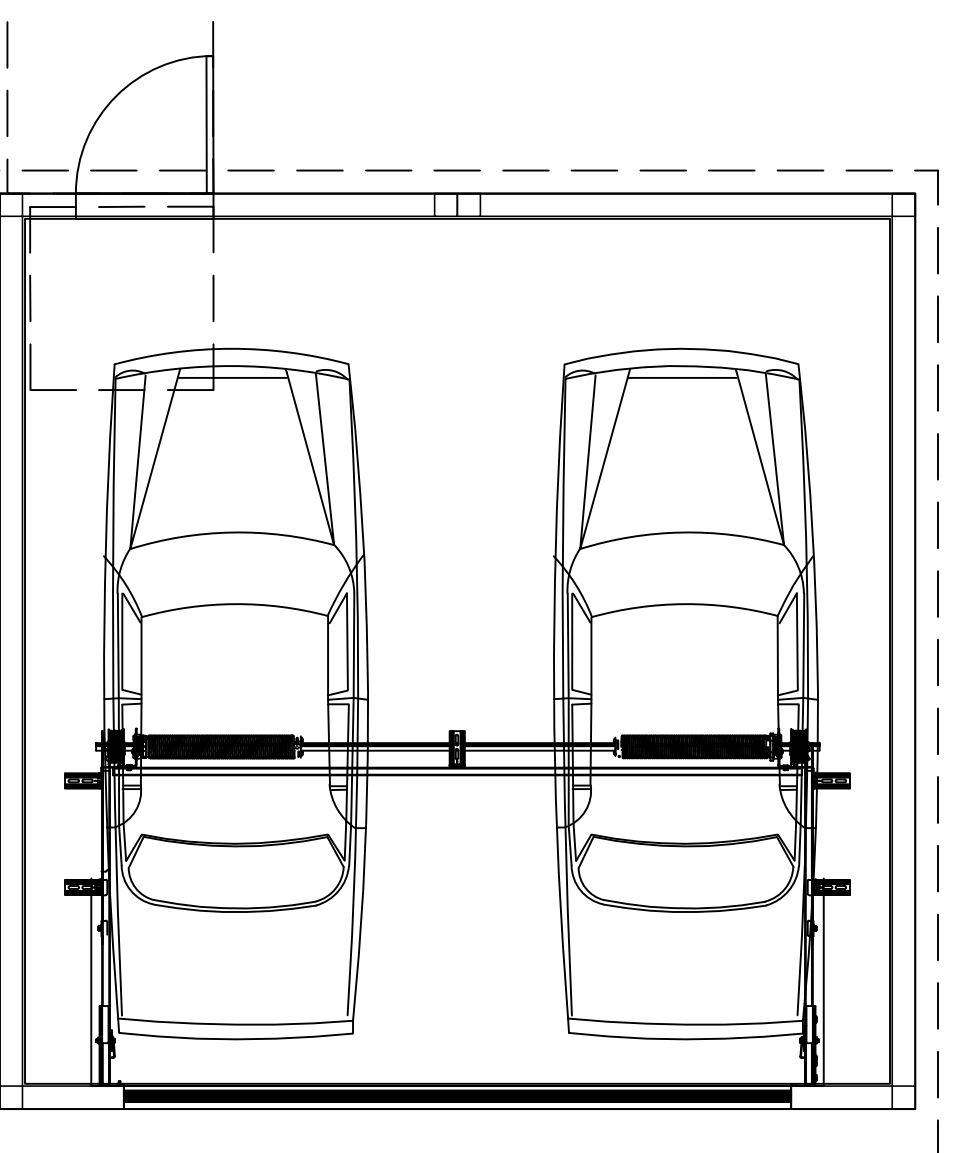
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4 HINGED DOOR OPTION 3
SCALE: 1/4" = 1'-0"



3 HINGED DOOR OPTION 2
SCALE: 1/4" = 1'-0"



2 HINGED DOOR OPTION 1
SCALE: 1/4" = 1'-0"

1 FLOOR PLAN
SCALE: 3/4" = 1'-0"

SPECIFICATIONS

Area Specification Symbol:
The area specification calls out applicable notes & description for that area. See specification list below.

General Specifications
 Section 9 Structural
 Section 13 Fire
 Section 14 Thermal
 Section 16 Smart Home
 Manufacturers to refer to sections 9-16 of specification sheet for general notes and specifications.

A Living Area / Bedrooms Specifications
 Section 4 4.01 Wall Boarding Material
 4.02 Wall Boarding Material Wet Areas
 4.04 Baseboard Trim
 4.06 Door, Window Jam & Sills
 4.07 Door Plinth
 4.08 Door & Window Header Casing
 Windows:
 4.09 Minimum net clear opening of 24 inches
 Minimum net clear opening of 20 inches
 Bottom of the clear opening not greater than 44 inches above the floor
 Doors:
 Operational from inside of the room without the use of keys, tools, or special knowledge.
 4.10 Minimum net clear opening of 5.7 square feet (5 square feet permitted for grade floor openings)
 Interior Wall Corners
 Section 5 5.09 Interior Ceiling Texture
 5.10 Interior Ceiling Finish
 5.19 Closet Shelves
 5.20 Closet Rod
 Section 10 10.05 Not Applicable
 10.06 Hybrid Electric 40-50gal Water Heater
 20" - 22"
 10.07 Cooling
 10.09 Thermostats
 Section 11 11.12 Door Lights
 11.13 Integrated USB Receptacles
 11.14 Switches
 11.15 Receptacles
 11.18 General Lighting
 11.19 Ceiling Fan Prep
 11.20 Breaker Panel
 11.21 2-Port HDMI Power Outlet

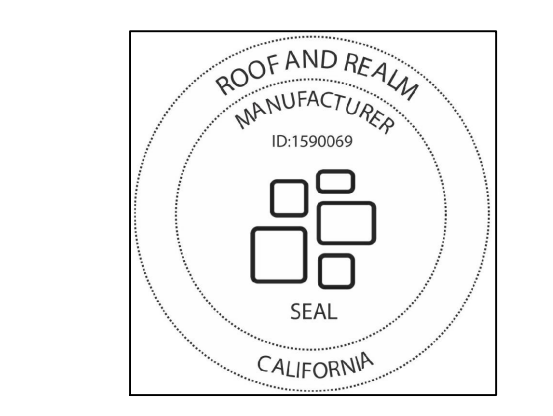
B Kitchenette Area Specifications
 Section 4 4.01 Wall Boarding Material
 4.02 Wall Boarding Material Wet Areas
 4.04 Baseboard Trim
 4.12 Door Material
 4.13 Cabinet Carcass Material
 4.14 Cabinet Door Hinges
 4.15 Cabinet Drawer Glides
 4.16 Cabinet Door & Drawer Bumpers
 4.17 Countertop
 4.18 Backsplash
 4.21 Water Connection for Fridge
 Vented Louver Door and venting for Hybrid Heat Pump
 4.22
 Section 5 5.07 Interior Wall Texture
 5.08 Interior Wall Finish
 5.10 Interior Ceiling Finish
 5.21 Kitchen Sink 19"
 Section 11 11.03 Kitchen Ceiling lights
 11.13 Integrated USB Receptacles
 11.14 Switches
 11.15 Receptacles
 Section 15 15.03 Range
 15.04 Range Hood
 15.05 Micro hood over Range
 15.08 Garbage Disposal
 15.09 Appliance Color
 15.10 Refrigerator (Optional Water line)
 15.11 2 Top Stove Burner 3.38"x11.88"x19.7"
 15.12 18" Dishwasher

C Bathroom Area Specifications
 Section 4 4.02 Wall Boarding Material Wet Areas
 4.05 Bathroom Cabinets
 4.06 Door, Window Jam & Sills
 4.07 Door Plinth
 4.08 Door & Window Header Casing
 4.18 Backsplash
 4.19 Cabinet Door & Drawer Style
 4.20 Cabinet Door & Drawer Pulls
 4.29 Medicine Cabinet RO 13" x 24"
 Section 5 5.07 Interior Wall Texture
 5.08 Interior Wall Finish
 5.09 Interior Ceiling Texture
 5.10 Interior Ceiling Finish
 5.22 Bathroom Sink 16" - 24"
 5.23 Tub & Shower Surrounds
 5.24 Shower Head Height
 5.25 Bathroom Mirrors
 5.26 Shower Niches 16"W x 24"H x 6" D
 5.27 Toilet Paper Holder
 5.28 Shower Bench 21"H Width varies
 5.29 Shower Door 7' Height Width varies
 Shower Curb 2-3/4" Width with Tile ready Shower Pan 4' Width Otherwise 3 1/2" Height
 5.30

Section 10 10.01 Bathroom
 10.02 Laundry Space
 10.03 Washer & Dryer Vented 25"x23 1/2" (Stackable & Ventless Option)
 Section 11 11.09 Bathroom Lights
 11.14 Switches
 Section 12 12.03 Elongated Toilet
 12.04 Master Bath Toilet
 12.08 Access Panel - Water In
 Access Panel - Plumbing Access
 12.09

D Flooring Specifications
 Section 5 5.11 Kitchen Flooring
 5.12 Living Room Flooring
 5.13 Family Room Flooring
 5.14 Hallway Flooring
 5.15 Bedroom Flooring
 5.16 Closet Flooring
 5.17 Bathroom Flooring
 5.18 Entry Flooring

Miscellaneous Specifications
 Section 11 11.01 Junction Box
 11.02 Access Panel
 11.20 Breaker Panel
 Section 12 12.02 Water System
 12.06 Hosebibs



Corporate Officer Signature
Sebastian Malano
 Sebastian Malano

Project

Number	Date	Description
1	1/2/24	REVISION

Revisions

Issue Date **1/2/2024**

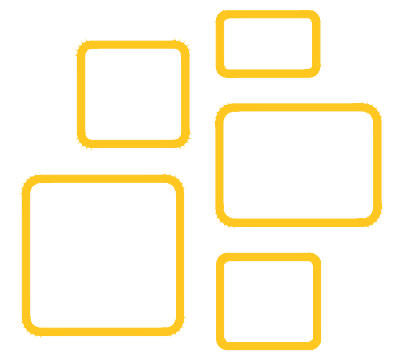
Plot Date **1/2/2024**

Floor Plan Option

A3.1

Sheet

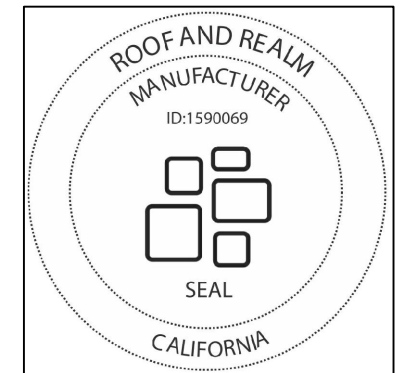
Roof & Realm
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 Residential Building Design



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Manufacture ID: 1590069

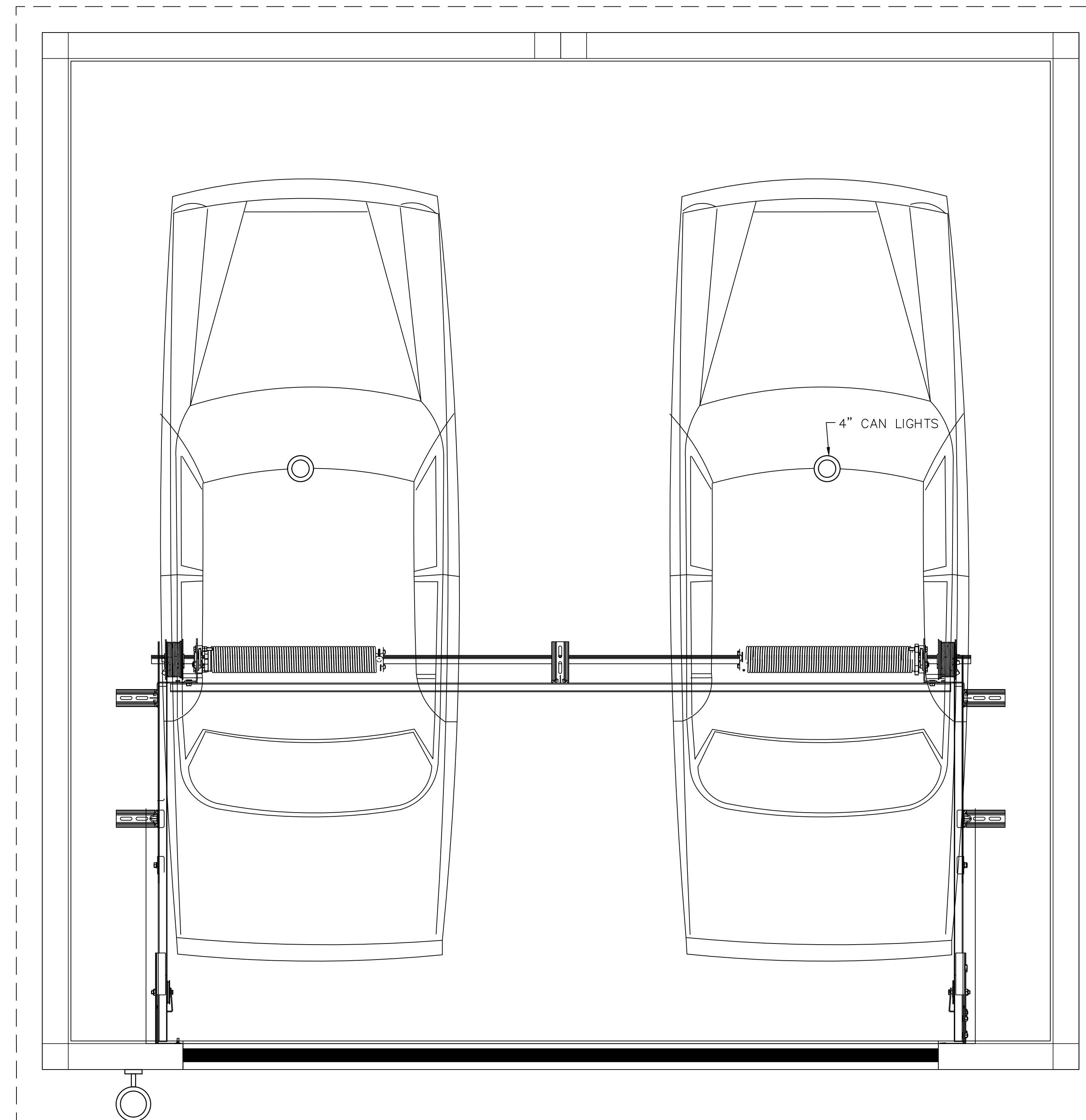
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Concord, CA 94520
Telephone: (866) 404-1148



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Sebastian Malano
Sebastian Malano

Project



ROOF LINE

SCONCES OPTIONAL

1 FLOOR PLAN
SCALE: 3/4" = 1'-0"

Number	Date	Description
1	1/2/24	REVISION

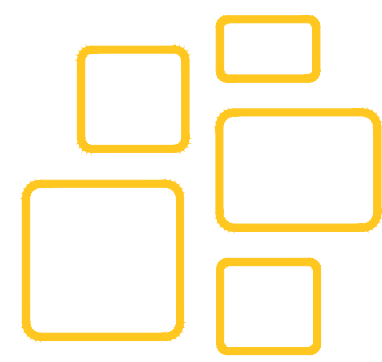
Revisions
Issue Date **1/2/2024**
Plot Date **1/2/2024**

Lighting Plan

A3.2

Sheet

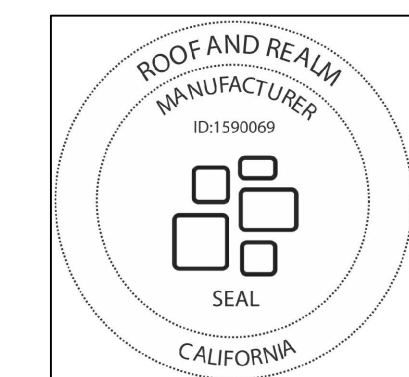
Roof & Realm
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ROOF AND REALM

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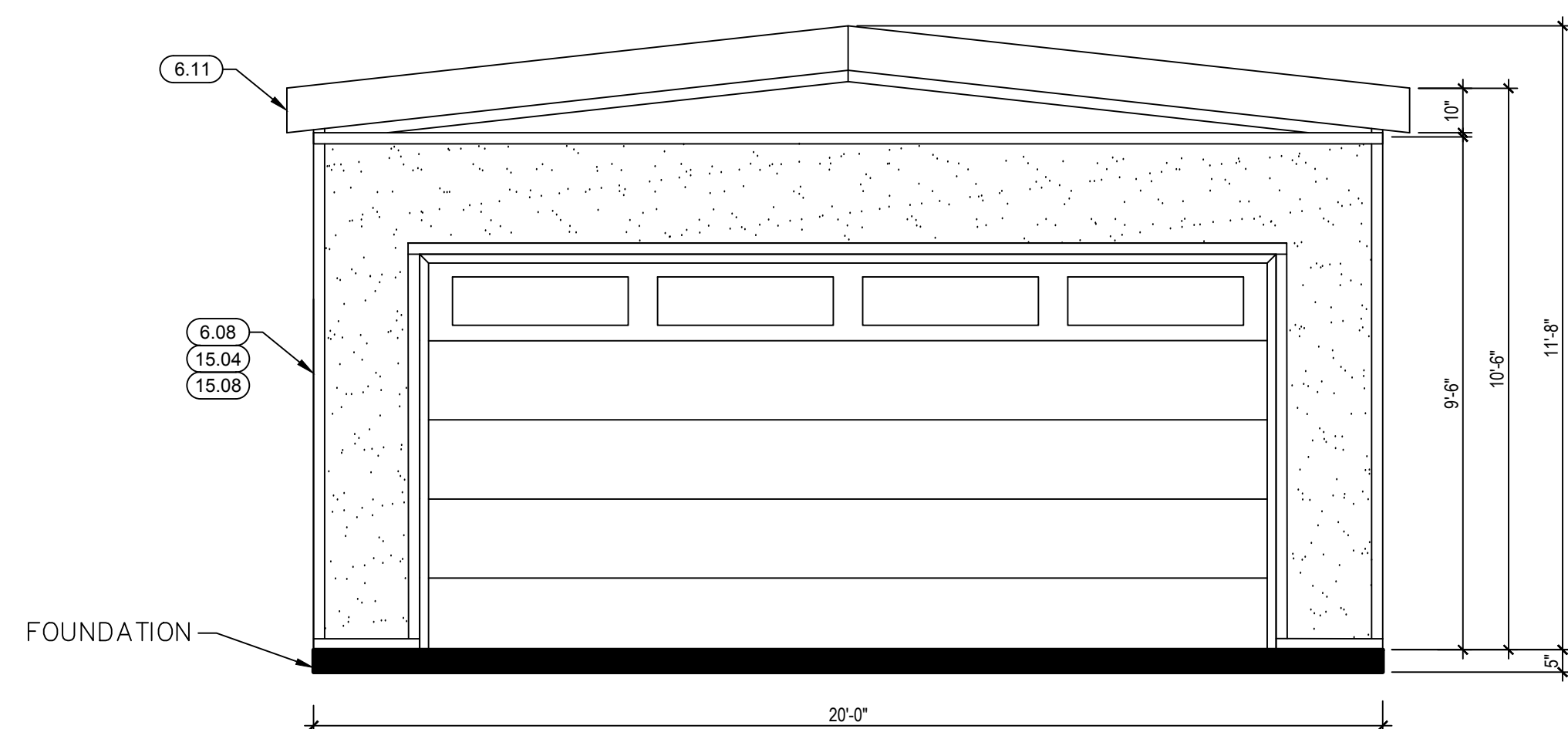


Corporate Officer Signature

Sebastian Malano

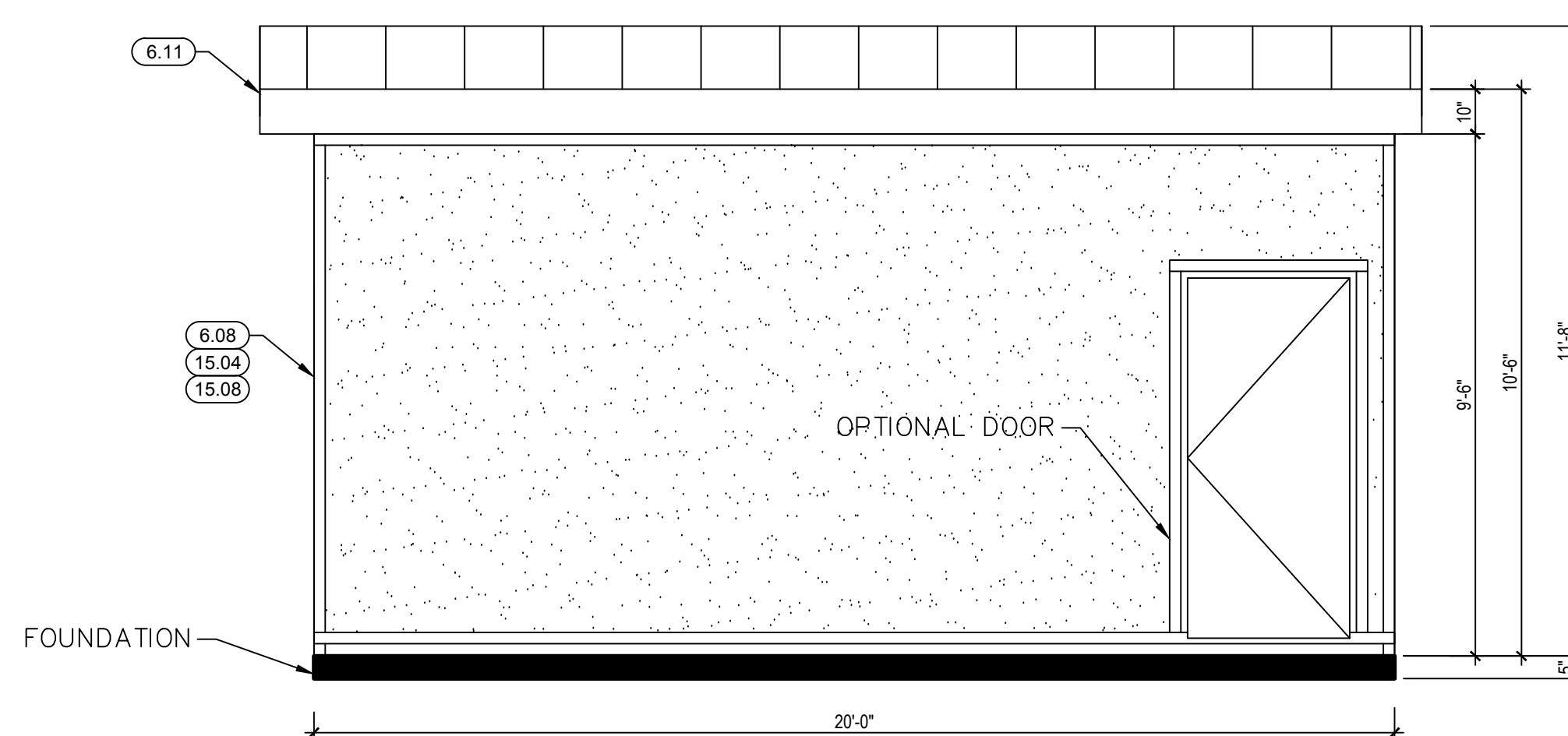
Project

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 Residential Building Design



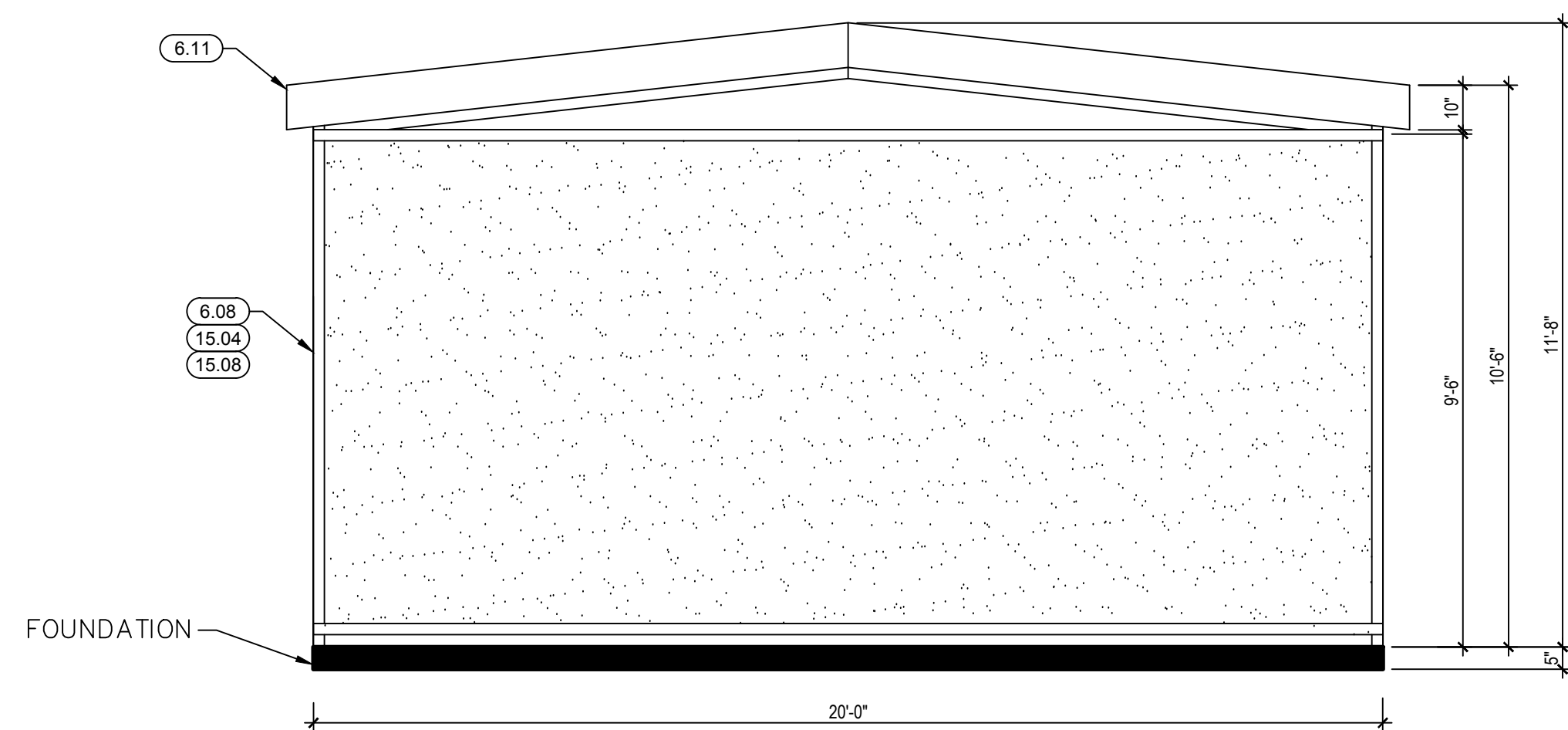
1 FRONT ELEVATION - GABLE

SCALE: 3/8" = 1'-0"



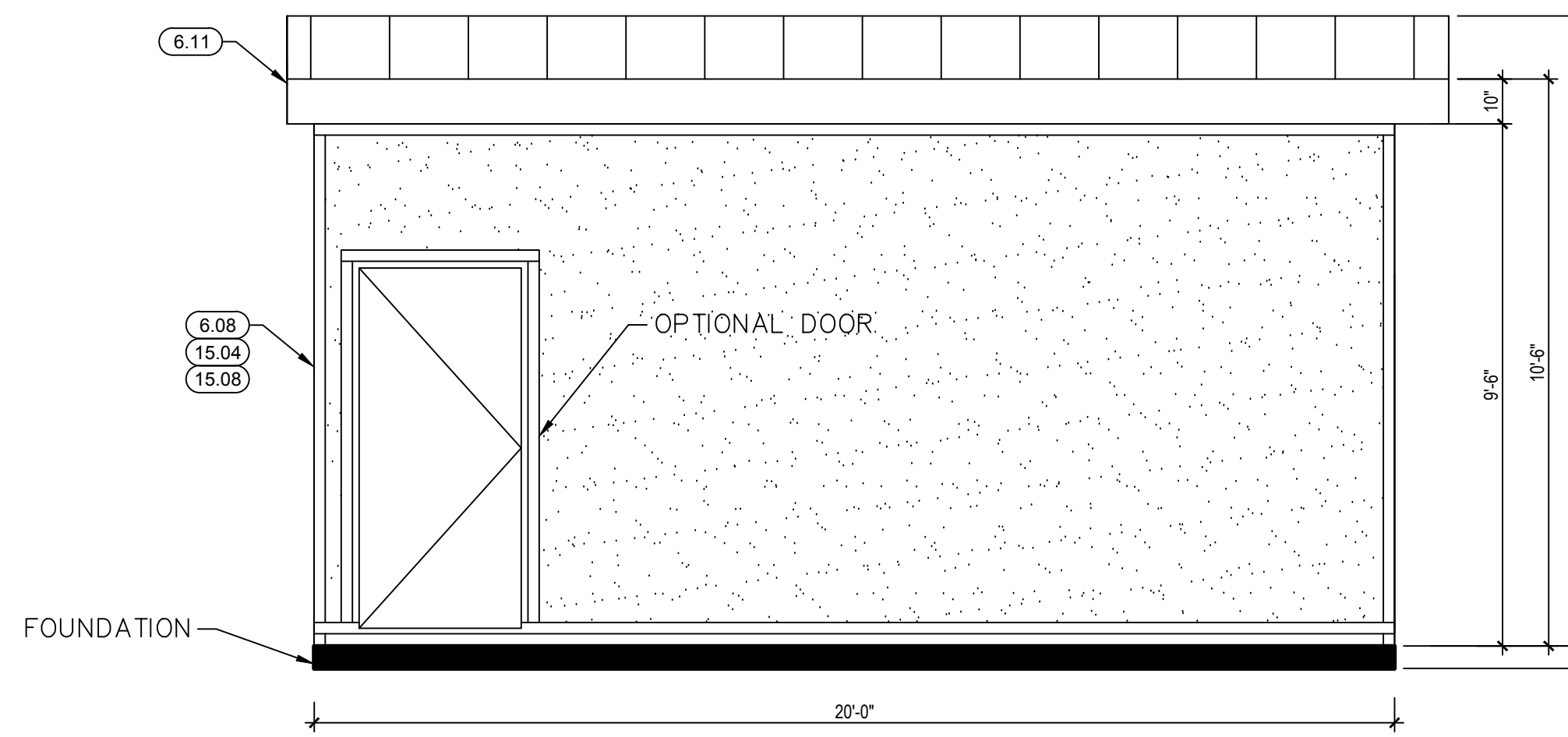
2 LEFT ELEVATION - GABLE

SCALE: 3/8" = 1'-0"



3 REAR ELEVATION - GABLE

SCALE: 3/8" = 1'-0"



4 RIGHT ELEVATION - GABLE

SCALE: 3/8" = 1'-0"

6 Exterior Finish

- 6.01 Windows Dual pane, Low-E, Argon filled glazing. Colors-White interior, Bronze exterior. See Title 24 requirements. See Client's specification
- 6.02A Standard Sliding Door System Standard Sliding Door System
- 6.02B Pocket or Bi Fold Option Optional System Manufacturer Selected.
- 6.03 Siding-01 HardiePanel™ Vertical Siding 1 x 3 fiber composite and/or fiber cement, with one layer water resistant air barrier membrane. (Board and Batten). See Client's specification. WUI Listing No. 8140-2026.0005
- 6.04 Siding-02 4'-0" x 10'-0" James Hardie Fiber cement stucco board with 1/4" vertical gaps. All vertical seem to align top to bottom. One-layer water resistant air barrier membrane. Color See Client's specification WUI Listing No. 8140-2026.0501
- 6.05 Siding-03 HardiePlank™ Fiber Composite Lap siding. One-layer water resistant air barrier membrane in combination with other elevation materials. Refer to manufacturer's installation instructions and product data sheets. WUI Listing No. 8140-2026.0005
- 6.06 Siding-04 *AZEK Deck* - Composite deck board, all colors 1/2" Thick x 5.5 Width - 1" Thick x 3.5" Width or 5.5" Width. Class B Frame Spread Rating WUI Listing No. 8110-2042.0500, 8110-2044.0001 Refer to manufacturer's installation instructions and product data sheets
- 6.07 Siding -05 Metal Siding or Cladding
- 6.08 Exterior Wall Assembly 1 Hour Rated Fire Wall - Steel framing as per structural plans. Sheathing as per structural plans with Moisture barrier building wrap or equal. Refer to customer order for selected exterior finish material.
- 6.09 Roofing-01/ All slope roof conditions Presidential shingle by default or Standing seam metal on sloped roof with one-layer of weather barrier membrane per client specification.
- 6.10 Roofing-02 all flat roof conditions Self-sealing water shield leak barrier 891705 or equal. Option composite roof with one layer of barrier membrane and roof sheathing.
- 6.11 Fascia/Corner/Join Metal clad. Cladding to be Paint Match to Trim designated by Owner I Builder with on-sight clamping system designed to fit and adhere quickly. Color-Dark Gray or Black.
- 6.12 Entry Door Smooth fiberglass. Same as exterior trim. (Landings or finished floors at the required egress door shall be not more than 1/2" inches (38 mm) lower than the top of the threshold.)
- 6.13 Soffit Flat metal clad to match metal clad fascia.
- 6.14 Exterior Utility Access Builder selected or client change order.
- 6.15 Panelize Shower Screen-01 Builder selected or client change order.
- 6.16 Panelize Shower Deck Builder selected or client change order.
- 6.17 Panelize Deck Builder selected or client change order.
- 6.18 Entertainer Door Builder selected or client change order.
- 6.19 Trim-01 3" fiber cement trim. Color TBD.
- 6.20 Trim-02 Flat metal clad, snap screw track mechanism in place.
- 6.21 Trim-03 1 x 2 trim board, pin at top. Caulk bottom joint.

13 Fire Suppression (Not Applicable)

14 Wildland Urban Interface (WUI Compliance)

- 14.01 WUI Compliance Client shall specify in writing if home is WUI compliant. Otherwise rigid foambord insulation shall be installed and be considered combustible

15 Thermal

- 15.01 Radiant Barrier Roof - refer to client order specifications.
- 15.02 NOT APPLICABLE
- 15.03 Ceiling Insulation Refer to Title 24 Doc for specifications.
- 15.04 Wall Insulation Refer to Title 24 Doc for specifications.
- 15.05 Floor Insulation Refer to Title 24 Doc for specifications.
- 15.06 Roof Insulation Refer to Title 24 Doc for specifications.
- 15.07 Rain Screen Water drainage system must be installed between siding and sheathing per manufacturer recommendations
- 15.07 Building Wrap Water resistant air barrier membrane compound fluid or membrane
- 15.08 Window Flashing Match building wrap tape system and add additional pan flashing at head of each window if windows do not come with drip flashing.
- 15.09 Door Flashing Match building wrap tape system and add additional of each window if windows do not come with drip flashing.

Number	Date	Description
1	1/2/24	REVISION

Revisions

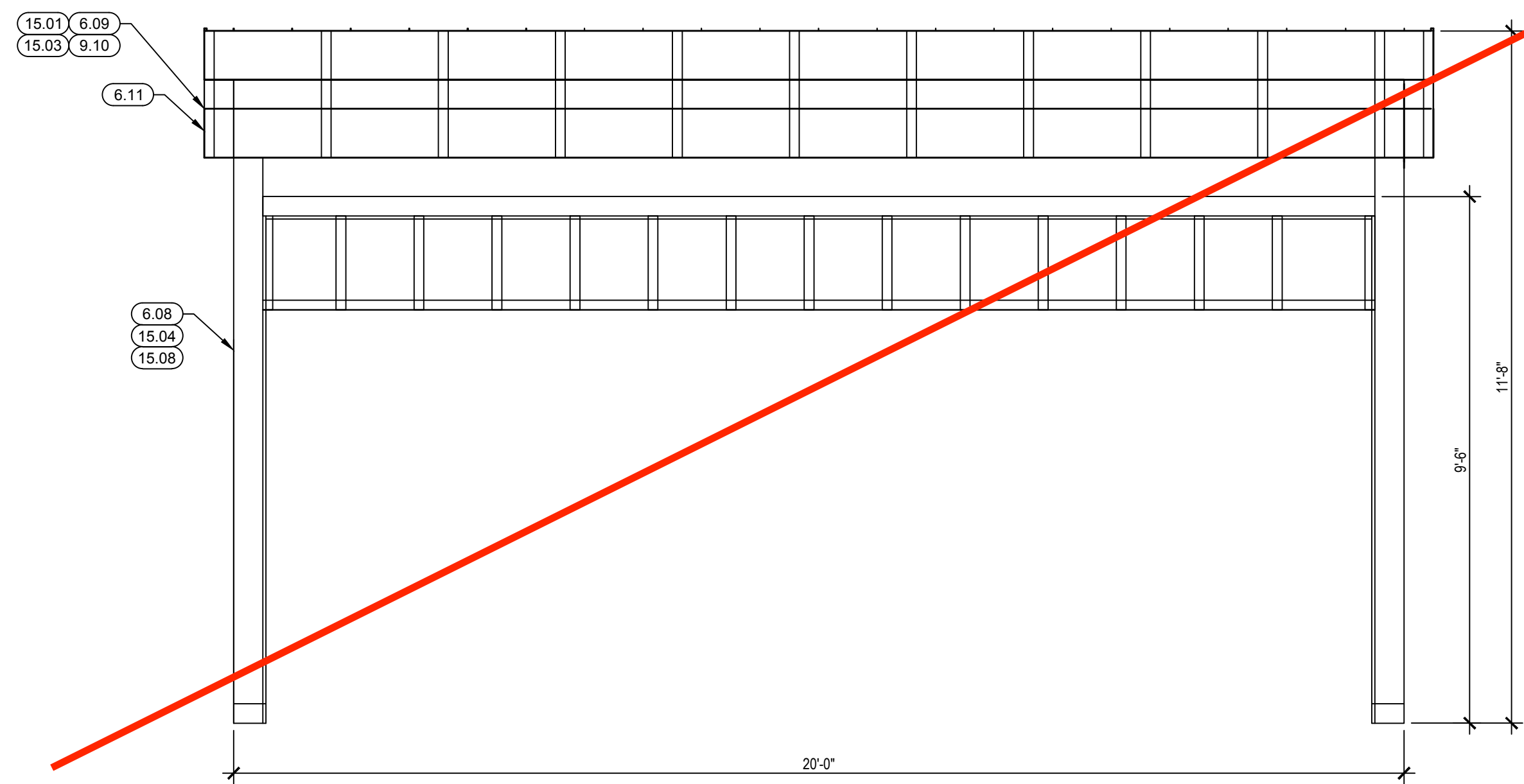
Issue Date **1/2/2024**

Plot Date **1/2/2024**

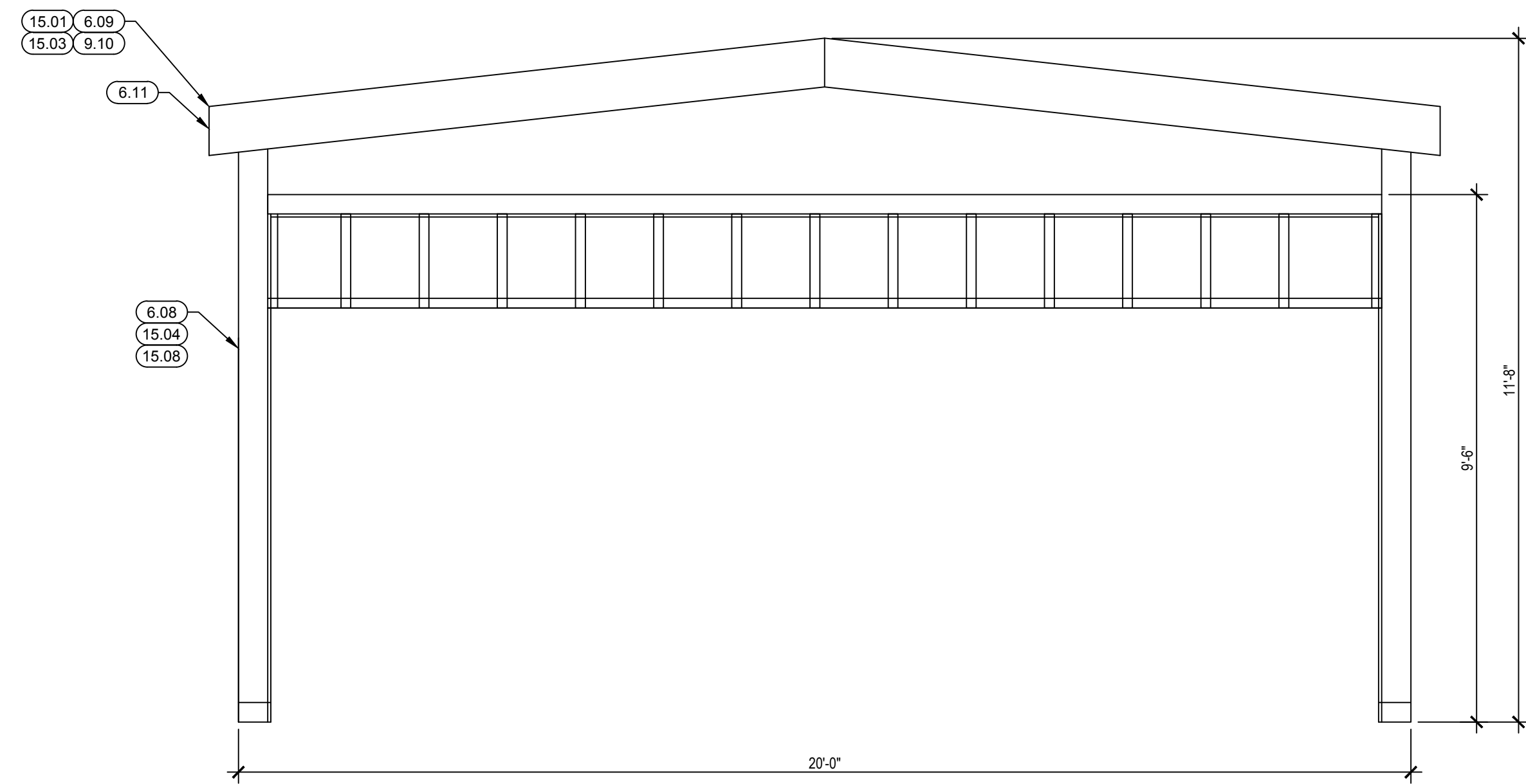
Gable Elevation

A4.2

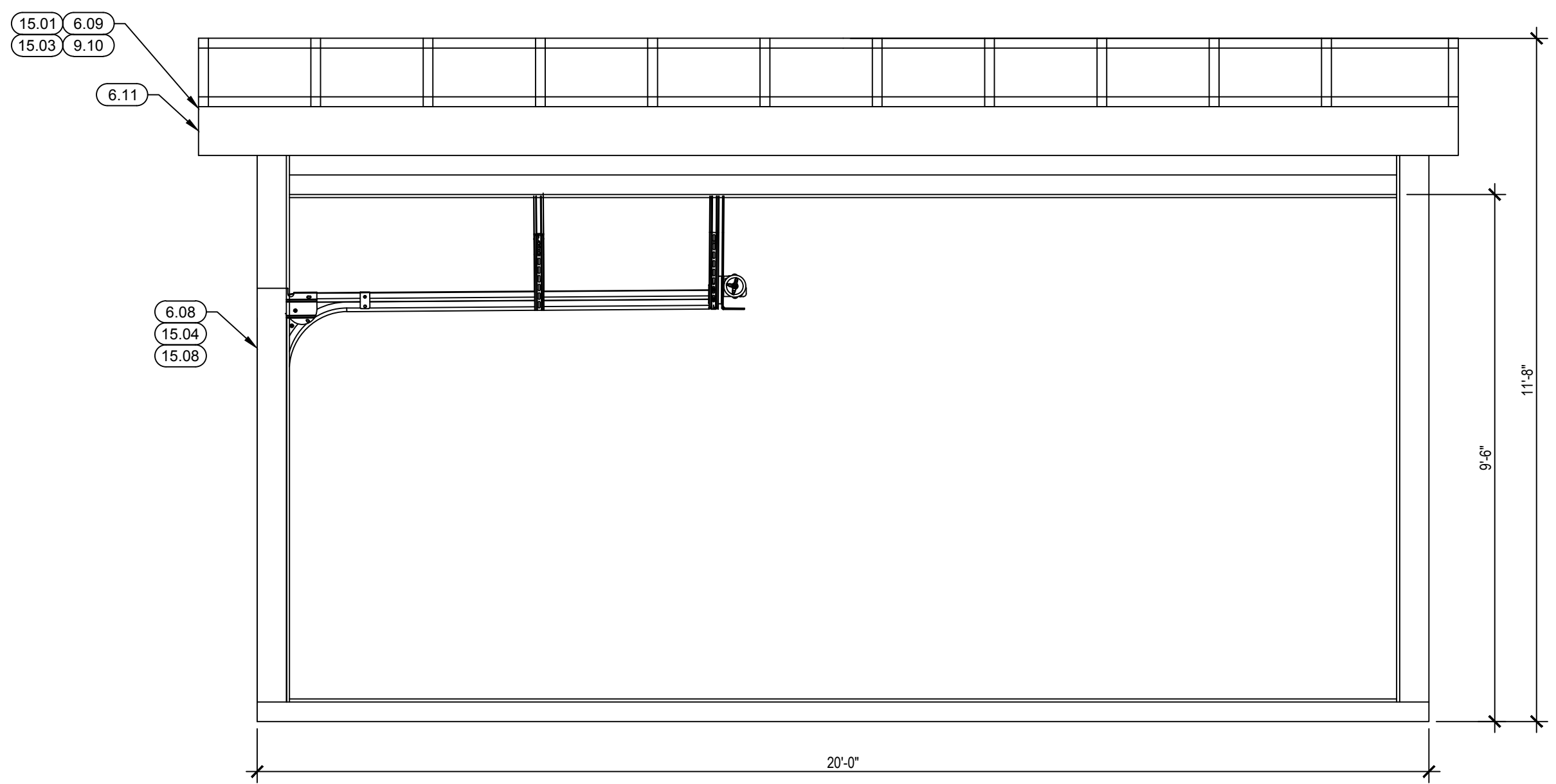
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3 FRONT SECTION VIEW - LOW SLOPE
SCALE: 1/2" = 1'-0"

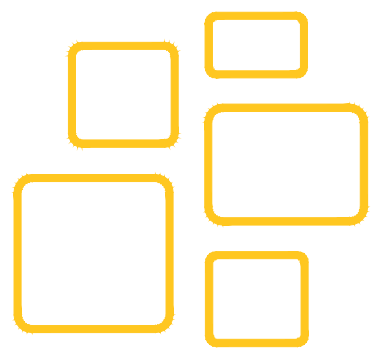


2 FRONT SECTION VIEW - GABLE
SCALE: 1/2" = 1'-0"

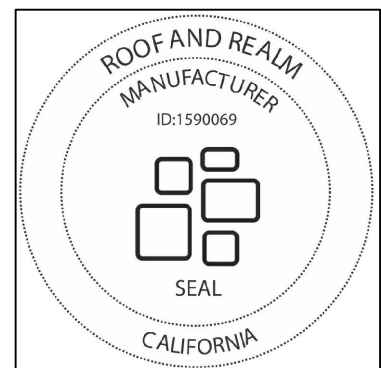


1 SIDE SECTION VIEW - GABLE
SCALE: 1/2" = 1'-0"

<p>4 Architectural</p> <p>3.13 Appliances Electrical appliances (standard)/Optional gas appliances</p> <p>4.01 Exterior Wall Boarding Water and Mold Resistant $\frac{1}{2}$" material with Air and Water Membrane.</p> <p>4.02 Interior Wall Boarding Material Gypsum wallboard, $\frac{1}{2}$" where required by (CBC) California Building Code.</p> <p>4.03 Interior Bathroom Wall Boarding Material $\frac{1}{2}$" moisture and mold resistant gypsum wallboard.</p> <p>4.04 Door Offset A minimum of 3 inches from center of jam to face of finish exterior wall.</p> <p>4.05 Baseboard Trim Baseboard trim shall be $\frac{1}{2}$" min 4-3/4" Height Trim</p> <p>4.06 Bathroom Cabinets Shaker Cabinet Design - Owner Builder. To be placed in interiors</p> <p>4.07 Door, Window Jam & Sills Nominal 1x3 MDF</p> <p>4.08 Door Plinth Nominal 1x3 MDF</p> <p>4.09 Door & Window Header Casing Nominal 1x3 MDF</p> <p>4.10 Window Header Height Match doors so the trim aligns.</p> <p>4.11 Door Height 6'-8" Interior/ Exterior as per plan</p> <p>4.12 Interior Wall Corners Caulk after baseboard with miter cuts</p> <p>4.13 Door Material Shaker Cabinet Design - Modular Kits</p> <p>4.14 Cabinet Carcass Material Shaker Cabinet Design - Modular Kits</p> <p>4.15 Cabinet Door Hinges Shaker Cabinet Design - Modular Kits</p> <p>4.16 Cabinet Drawer Glides Shaker Cabinet Design - Modular Kits</p> <p>4.17 Cabinet Door & Drawer Bumpers Shaker Cabinet Design - Modular Kits</p> <p>4.18 Countertop Quartz SLAB with 1.5" square edge. Color TBD. See product Guide. Client will specify with coordinating grout.</p> <p>4.19 Backsplash Quartz SLAB 4" high, optional full height under cabinet. Color TBD. See product Guide. Client will specify with coordinating grout.</p> <p>4.20 Surrounds Quartz TILE or optional SLAB full height. Color TBD. See product Guide. Client will specify with coordinating grout. Shampoo Niches Standard in each Shower (14" w x 24" h x 5" d)</p> <p>4.21 Water Heater Door Louvered when required (See Manufacturer Specifications)</p> <p>4.22 Cabinet Hardware Finish To match other hardware selected. See client specification Nickel, Black, or (Gold Optional)</p> <p>4.23 Cabinet Interior Finish Per client specification.</p> <p>4.24 Roof Pitch Refer to structural and client selected change order.</p> <p>4.25 Roof Finish Refer to client selected change order or product guide.</p> <p>5 Interior Finish</p> <p>5.01 Interior Swinging Door Styles Square edge style interior hollow-core doors to open with handle to match hardware color selection.</p> <p>5.02 Interior Barn Door Style Square edge hollow core flat panel barn door with rail hardware and handle to match.</p> <p>5.03 Interior Swinging Door Finish Primed & painted Client Selected Colors to match trim color</p> <p>5.04 Interior Swinging Door Handle Type Knobs or Handle option Manufacture Selected and designated. See client specification</p> <p>5.05 Interior Door Hardware Finish Knobs and Handles option Manufacture Selected and designated. See client specification</p> <p>5.06 Interior Wall Texture Interior Walls Orange peel finish.</p> <p>5.07 Interior Wall Finish Primed & Painted, off-white "Swiss Coffee". See Client's specification</p> <p>5.08 Interior Ceiling Texture Interior Walls Orange peel finish.</p> <p>5.09 Interior Ceiling Finish Primed & Painted, Same as trim. See Client's specification.</p> <p>5.10 Kitchen Flooring See Client's specification</p> <p>5.11 Living Room Flooring See Client's specification</p> <p>5.12 Family Room Flooring See Client's specification</p> <p>5.13 Hallway Flooring See Client's specification</p> <p>5.14 Bedroom Flooring See Client's specification</p> <p>5.15 Closet Flooring See Client's specification</p> <p>5.16 Bathroom Flooring See Client's specification</p> <p>5.17 Entry Flooring See Client's specification</p> <p>5.18 Closet Shelves Wire and Rod</p> <p>5.19 Closet Rod Steel 1 1/4" diameter with steel supports. Color - White.</p> <p>5.20 Kitchen Sink 490SF & Below - Under-mount sink see Product Guide 19" or as available 490SF & Above - Under-mount sink see Product Guide 24" or as available Under-mount sink see Product Guide</p> <p>5.21 Bathroom Sink Under-mount sink see Product Guide</p> <p>5.22 Tub & Shower Surrounds Quartz Slab or Marble Slab, Color TBD. Tub only in SFH units or by options. Shower should match kitchen unless otherwise specified</p> <p>5.23 Shower Head Height Shower head shall be placed 80" above shower pan.</p> <p>5.24 Bathroom Mirrors Non Standard when installed shall match hardware.</p> <p>5.25 Shower Niches Builder selected minimum 14" w x 24" h x 5" d.</p> <p>5.26 Toilet Paper Holder Wall mounted toilet paper holder. See Client's specification.</p> <p>6 Exterior Finish</p> <p>6.01 Windows Dual pane, Low-E, Argon filled glazing. Colors-White interior, Bronze exterior. See Title 24 requirements. See Client's specification</p> <p>6.02A Standard Sliding Door System Standard Sliding Door System</p> <p>6.02B Pocket or Bi Fold Option Optional System Manufacturer Selected.</p> <p>6.03 Siding-01 HardiePanel™ Vertical Siding 1 x 3 fiber composite and/or fiber cement, with one layer water resistant air barrier membrane (Board and Batten). See Client's specification. WUI Listing No. 8140-2026-0005</p> <p>6.04 Siding-02 4'-0" x 10'-0" James Hardie Fiber cement stucco board with 1/4" vertical gaps. All vertical seem to align top to bottom. One-layer water resistant air barrier membrane. Color See Client's specification WUI Listing No. 8140-2026-0501</p> <p>6.05 Siding-03 HardiePlank™ Fiber Composite Lap siding. One-layer water resistant air barrier membrane in combination with other elevation materials. Refer to manufacturer's installation instructions and product data sheets. WUI Listing No. 8140-2026-0005</p> <p>6.06 Siding-04 "AZEK Deck" - Composite deck board, all colors $\frac{1}{2}$" Thick x 5.5 Width - 1" Thick x 3.9" Width or 5.9" Width. Class B Frame Spread Rating WUI Listing No. 8110-2042-0500, 8110-2044-0001 Refer to manufacturer's installation instructions and product data sheets</p> <p>6.07 Siding-05 Metal Siding or Cladding</p> <p>6.08 Exterior Wall Assembly 1 Hour Rated Fire Wall - Steel framing as per structural plans. Sheathing as per structural plans with Moisture barrier, building wrap or equal. Refer to customer order for selected exterior finish material.</p> <p>6.09 Roofing-01 All slope roof conditions Presidential shingle by default or Standing seam metal on sloped roof with one-layer of weather barrier membrane per client specification.</p> <p>6.10 Roofing-02 all flat roof conditions Self-sealing water shield leak barrier 891705 or equal. Option composite roof with one layer of barrier membrane and roof sheathing.</p> <p>6.11 Fascia/Corner/Joint Metal clad. Cladding to be Paint Match to Trim designated by Owner Builder with on-sight clamping system designed to fit and adhere quickly. Color-Dark Gray or Black.</p> <p>6.12 Entry Door Smooth fiberglass. Same as exterior trim. (Landings or finished floors at the required egress door shall be not more than 1 1/2" inches (38 mm) lower than the top of the threshold.)</p> <p>6.13 Soffit Flat metal clad to match metal clad fascia.</p> <p>6.14 Exterior Utility Access Builder selected or client change order.</p> <p>6.15 Panelize Shower Screen-01 Builder selected or client change order.</p> <p>6.16 Panelize Shower Deck Builder selected or client change order.</p> <p>6.17 Panelize Deck Builder selected or client change order.</p> <p>9.01 Hardware All hardware to be Simpson hardware installed per manufacturers instructions to achieve the highest listed load values or similar approved by Structural Engineer.</p> <p>9.02 Fire Blocking Fire blocking in interior and exterior walls as required by the California Building Code (CBC).</p> <p>9.03 Floor Decking Minimum of 3/4 or 2/3/2 thickness and meets or exceeds PS2 Standards.</p> <p>9.04 Blocking All elements fastened to the walls including toilet paper holders, towel bars, mirrors, robe hooks, shelves, closet rods, cabinets, etc. must be securely anchored to the solid blocking, sufficient to prevent pull out.</p> <p>9.05 Exterior Wall Assembly Per manufacture specs to be approved by R & R via shop plan review. Thickness should allow for concealment of structural container elements including beams and posts.</p> <p>9.06 Interior Wall Assembly Per manufacture specs to be approved by R & R via shop plan review. Thickness should allow for concealment of structural container elements including beams and posts.</p> <p>9.07 Interior Plumbing Wall Assembly Per manufacture specs to be approved by R & R via shop plan review. Thickness should allow for concealment of structural container elements including beams and posts.</p> <p>9.08 Ceiling Assembly Per manufacture specs to be approved by R & R via shop plan review. Thickness should allow for concealment of structural container elements including beams and posts.</p> <p>9.09 Floor Assembly Per manufacture specs to be approved by R & R via shop plan review. Thickness should allow for concealment of structural container elements including beams and posts.</p> <p>9.10 Roof Assembly Assumed as per manufacture specs, to be approved by R&R via shop plan review, light gauge steel frame structure as per structural plans with 1/2" radiant barrier sheathing on the exterior side and 5/8" gypsum wallboard on the ceiling side. Thickness should allow for concealment of structural container elements including beams and posts. Roof Section assembly shall be shipped separately.</p> <p>9.11 Vaulted and Transom Walls Vaulted walls to be light gauge steel framing as per structural plans with boarding and finishes to match walls below as per plan.</p> <p>9.12 Roof assembly- flat roof Gypsum Board as per T24</p> <p>9.13 Roof assembly- flat roof TPO roofing membrane, 0.45 mil, 10 foot width, Class "A" rated, Water Proof</p> <p>9.14 NOT APPLICABLE</p> <p>9.15 Interior Transom Wall Soffit Shelf.</p> <p>9.16 Upper Deck Handrail Handrail assembly with 1/4" tempered glass pr metal rail per client Specifications refer to structural for design and specifications.</p> <p>9.17 Stair Assembly Refer to structural plans for staircase assembly as per code</p> <p>12 Plumbing</p> <p>12.01 DWV System As per plan.</p> <p>12.02 Water System As per plan.</p> <p>12.03 Toilets Elongated</p> <p>12.04 Master Bath Toilet Elongated</p> <p>12.05 Outdoor Shower Optional Outdoor Shower behind existing plumbing.</p> <p>12.06 Hosebibbs As per plan.</p> <p>12.07 Refrigerator As per plan.</p> <p>13 Fire Suppression (Not Applicable)</p> <p>14 Wildland Urban Interface (WUI Compliance)</p> <p>14.01 WUI Compliance Client shall specify in writing if home is WUI compliant. Otherwise rigid foambord insulation shall be installed and be considered combustible</p> <p>15 Thermal</p> <p>15.01 Radiant Barrier Roof - refer to client order specifications.</p> <p>15.02 NOT APPLICABLE</p> <p>15.03 Ceiling Insulation Refer to Title 24 Doc for specifications.</p> <p>15.04 Wall Insulation Refer to Title 24 Doc for specifications.</p> <p>15.05 Floor Insulation Refer to Title 24 Doc for specifications.</p> <p>15.06 Roof Insulation Refer to Title 24 Doc for specifications.</p> <p>15.07 Rain Screen Water drainage system must be installed between siding and sheathing per manufacturer recommendations</p> <p>15.07 Building Wrap Water resistant air barrier membrane compound fluid or membrane</p> <p>15.08 Window Flashing Match building wrap tape system and add additional pan flashing at head of each window. If windows do not come with drip flashing.</p> <p>15.09 Door Flashing Match building wrap tape system and add additional of each window if windows do not come with drip flashing.</p>	<p>ROOF AND REALM MANUFACTURER ID:1590669 SEAL CALIFORNIA</p> <p>Corporate Officer Signature <i>Sebastian Malano</i> Project</p> <p>Roof & Realm A New ADU - G40 Residential Building Design</p> <table border="1"> <thead> <tr> <th>Number</th> <th>Date</th> <th>Description</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>1/2/24</td> <td>REVISION</td> </tr> </tbody> </table> <p>Revisions Issue Date 1/2/2024 Plot Date 1/2/2024</p> <p>Building Sections</p> <p>Sheet A5.0</p>	Number	Date	Description	1	1/2/24	REVISION
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Concord, CA 94520
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Corporate Officer Signature
Sebastian Malano
Project

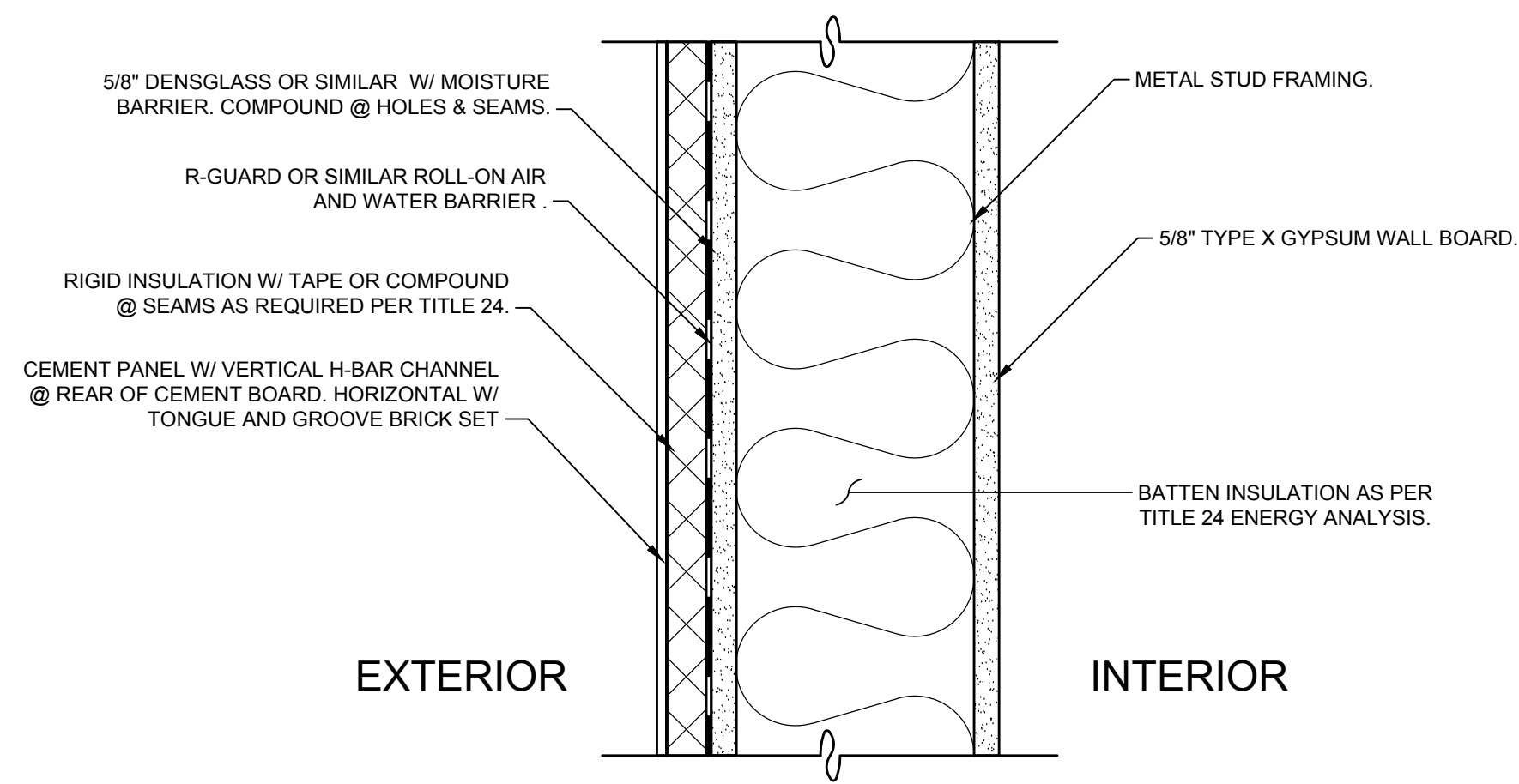
Roof & Realm
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Residential Building Design

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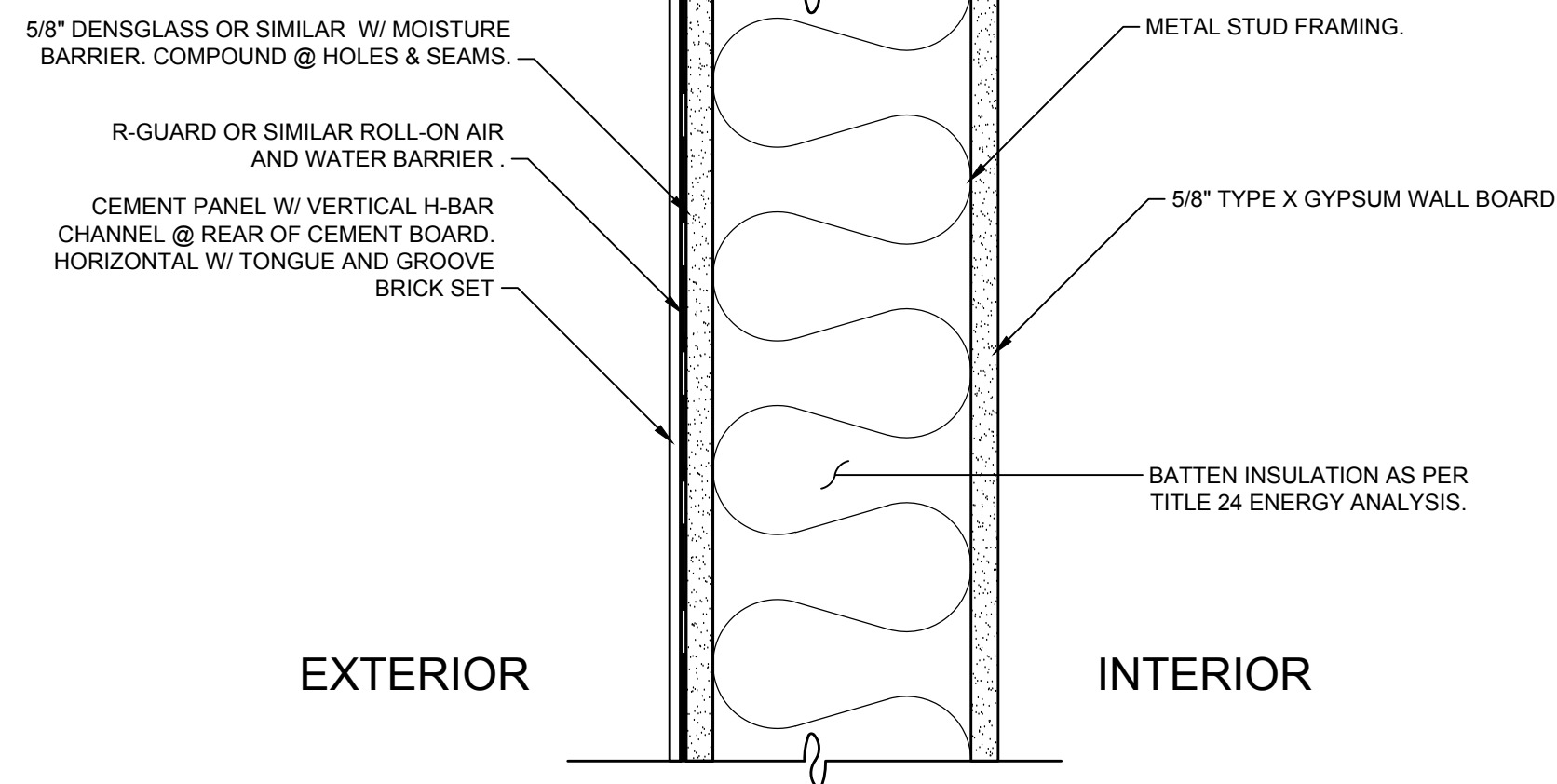
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Building Sections

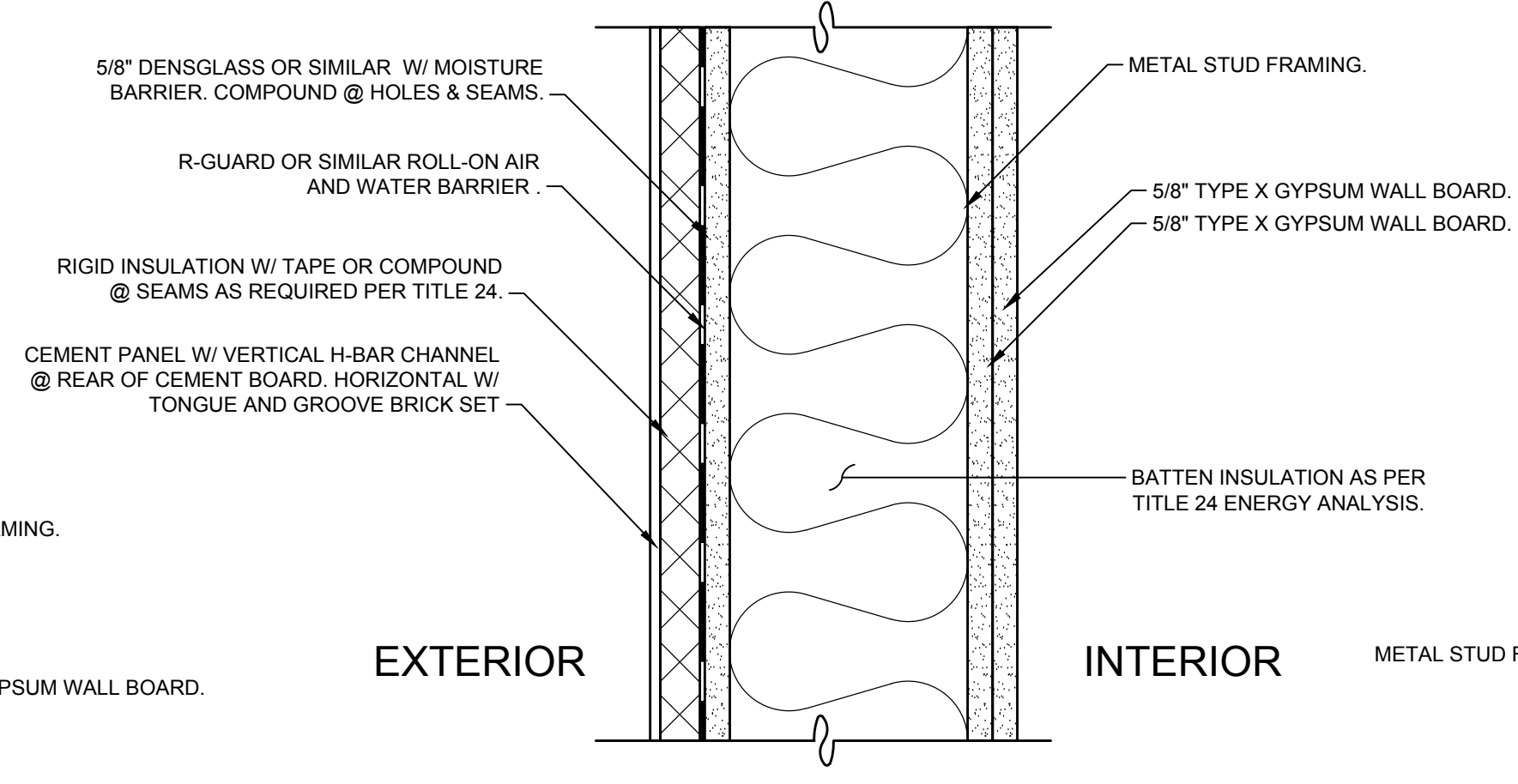
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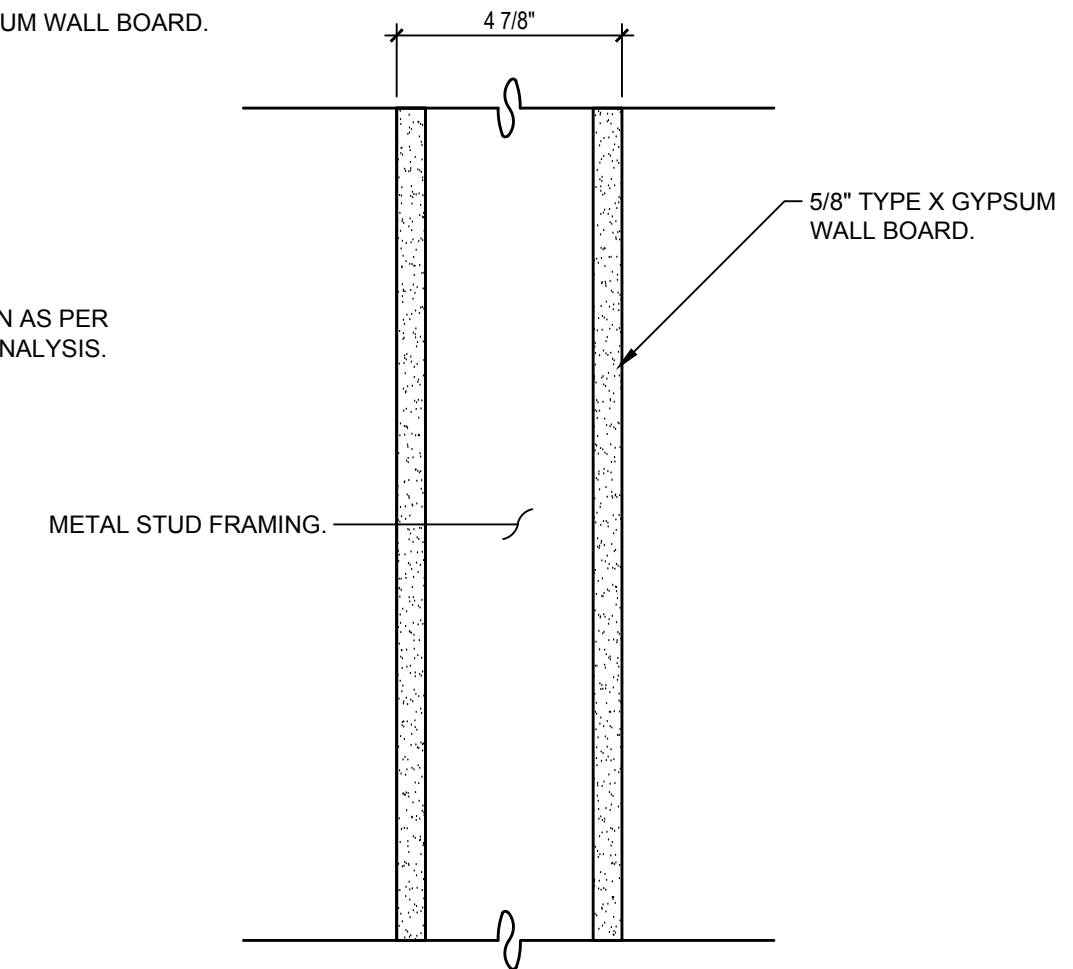
1 EXTERIOR WALL ASSEMBLY 1 HOUR
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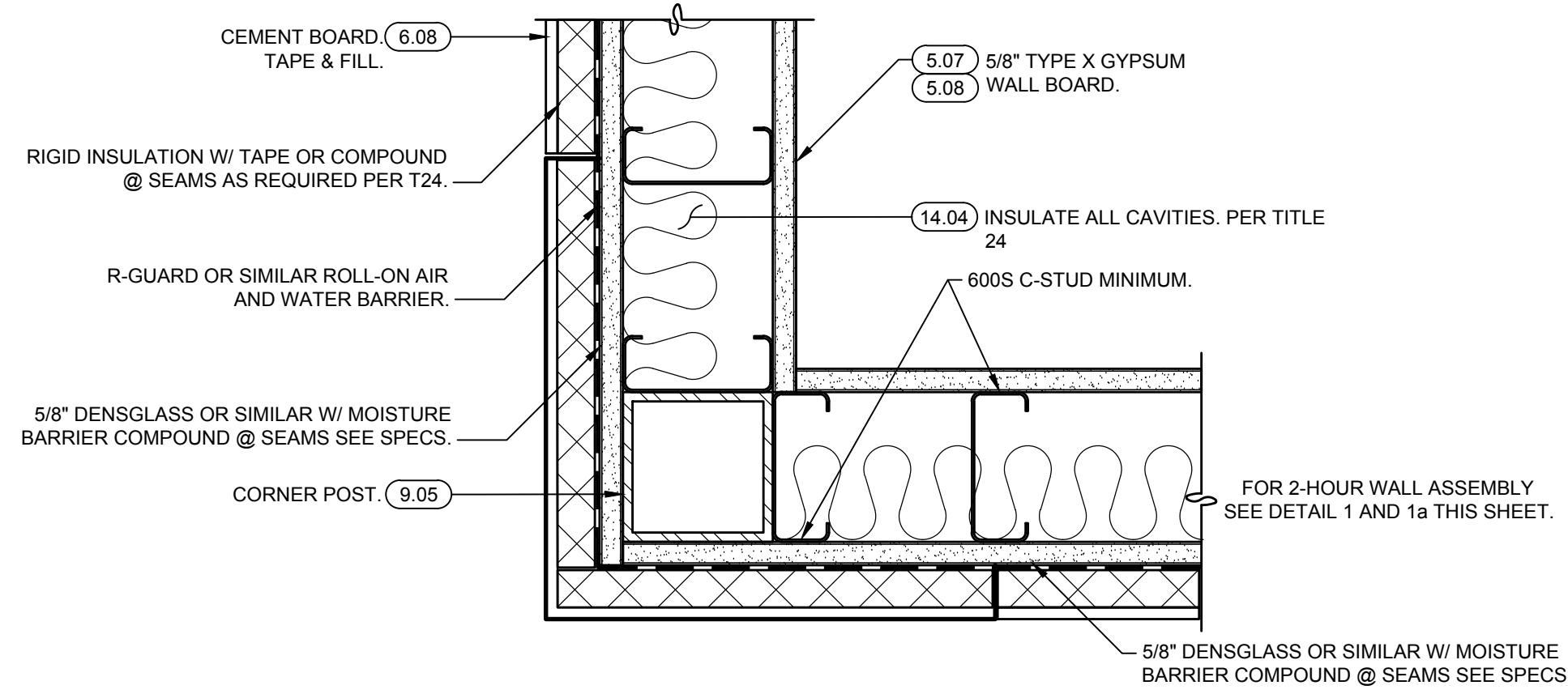
1a EXTERIOR WALL ASSEMBLY / NO RIGID INSULATION
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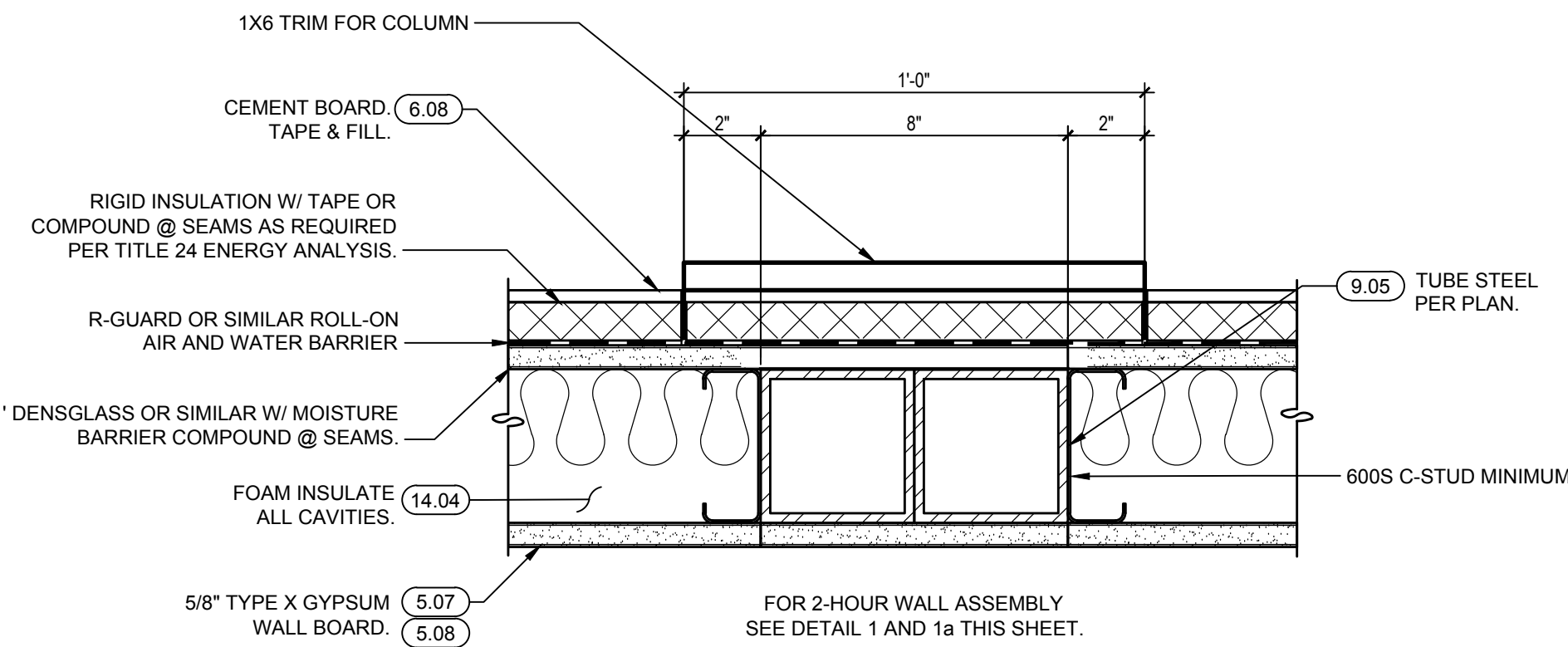
1b EXTERIOR WALL ASSEMBLY 2 HOUR
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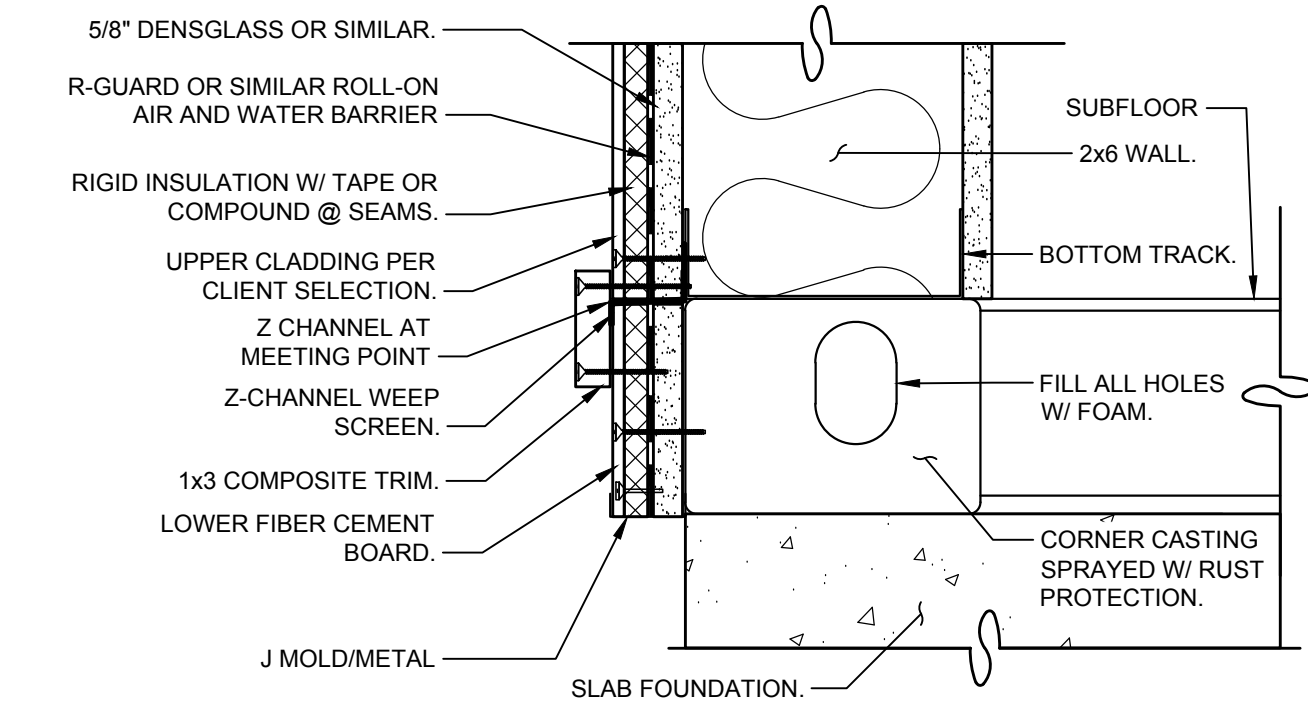
2 INTERIOR WALL ASSEMBLY / DOOR JAMB WIDTH
SCALE: 3" = 1'-0"



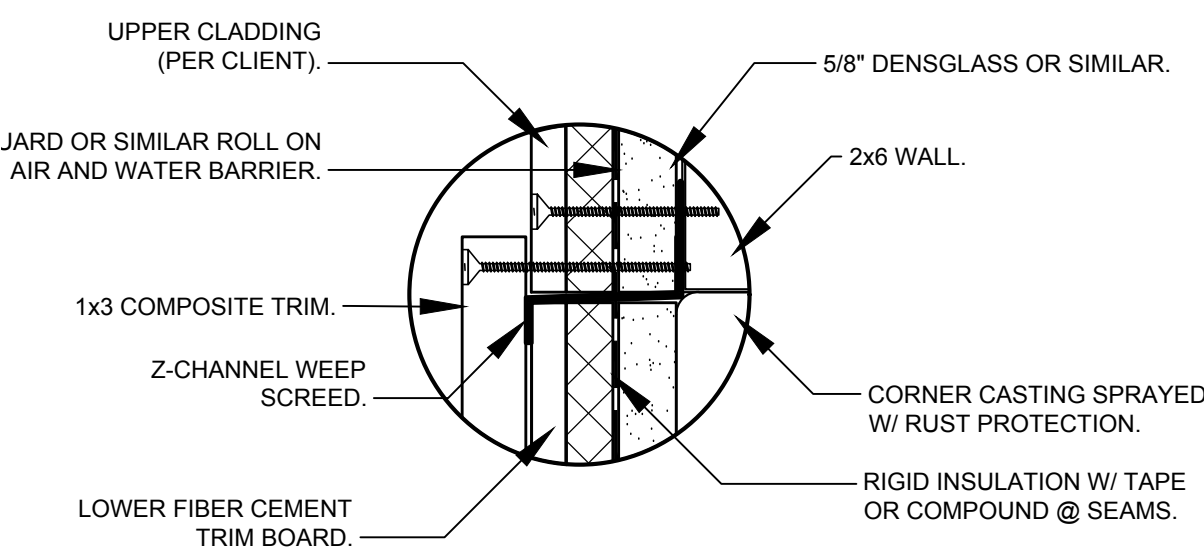
3 TYPICAL CORNER POST (PLAN VIEW)
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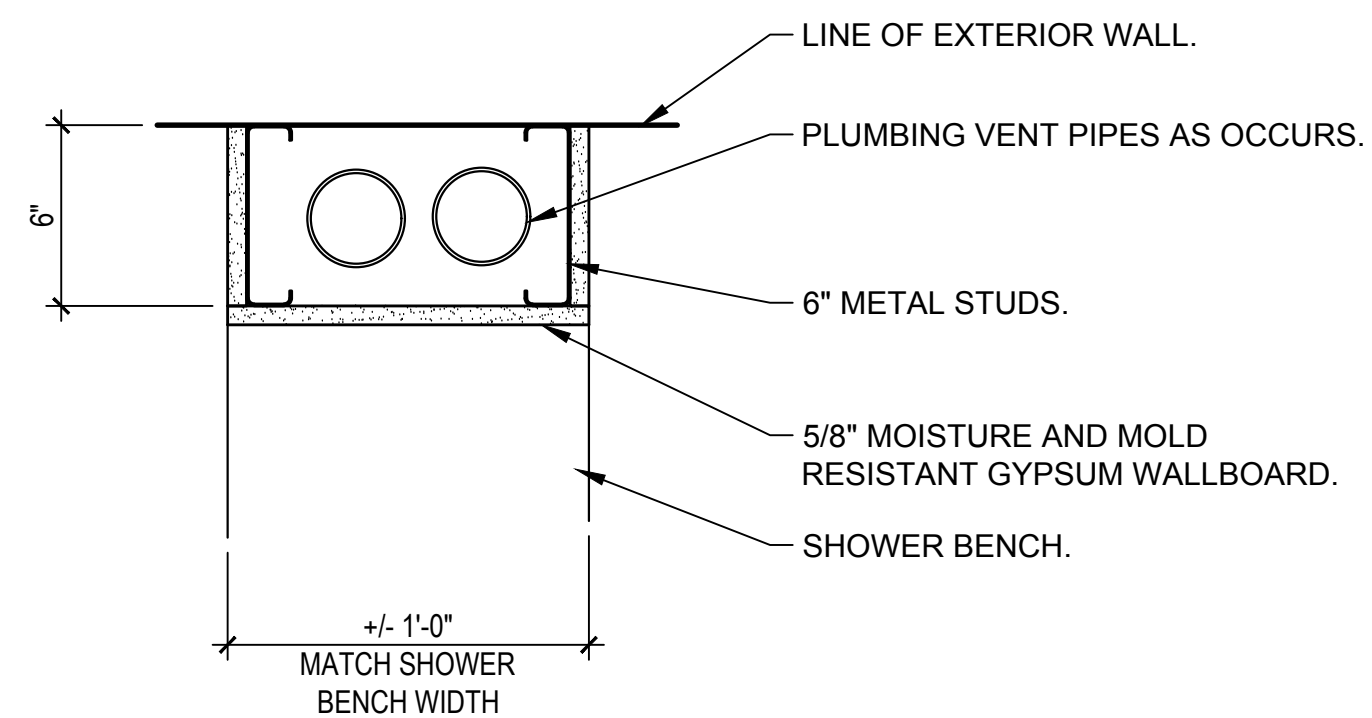
4 TYPICAL INTERMEDIATE POST (PLAN VIEW)
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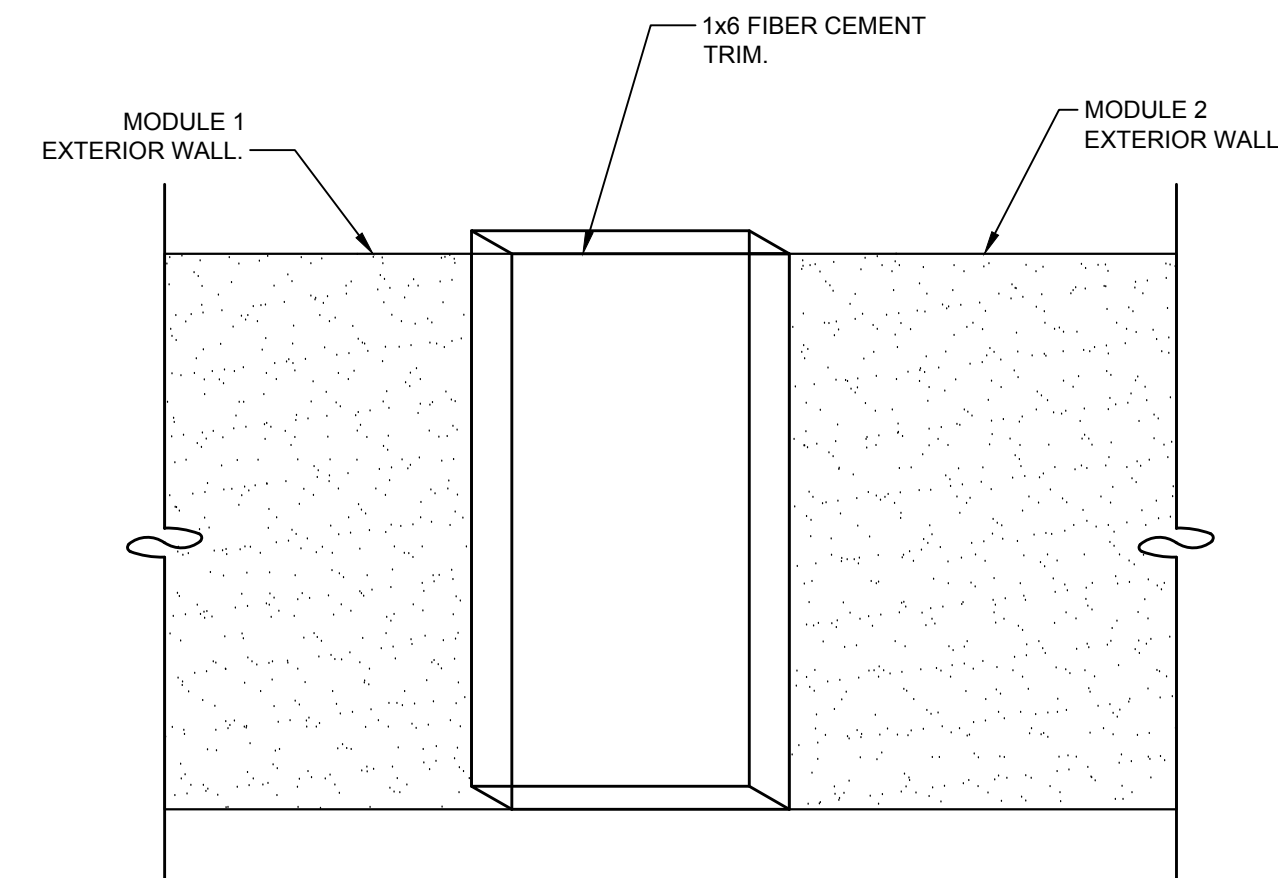
5 SKIRTING
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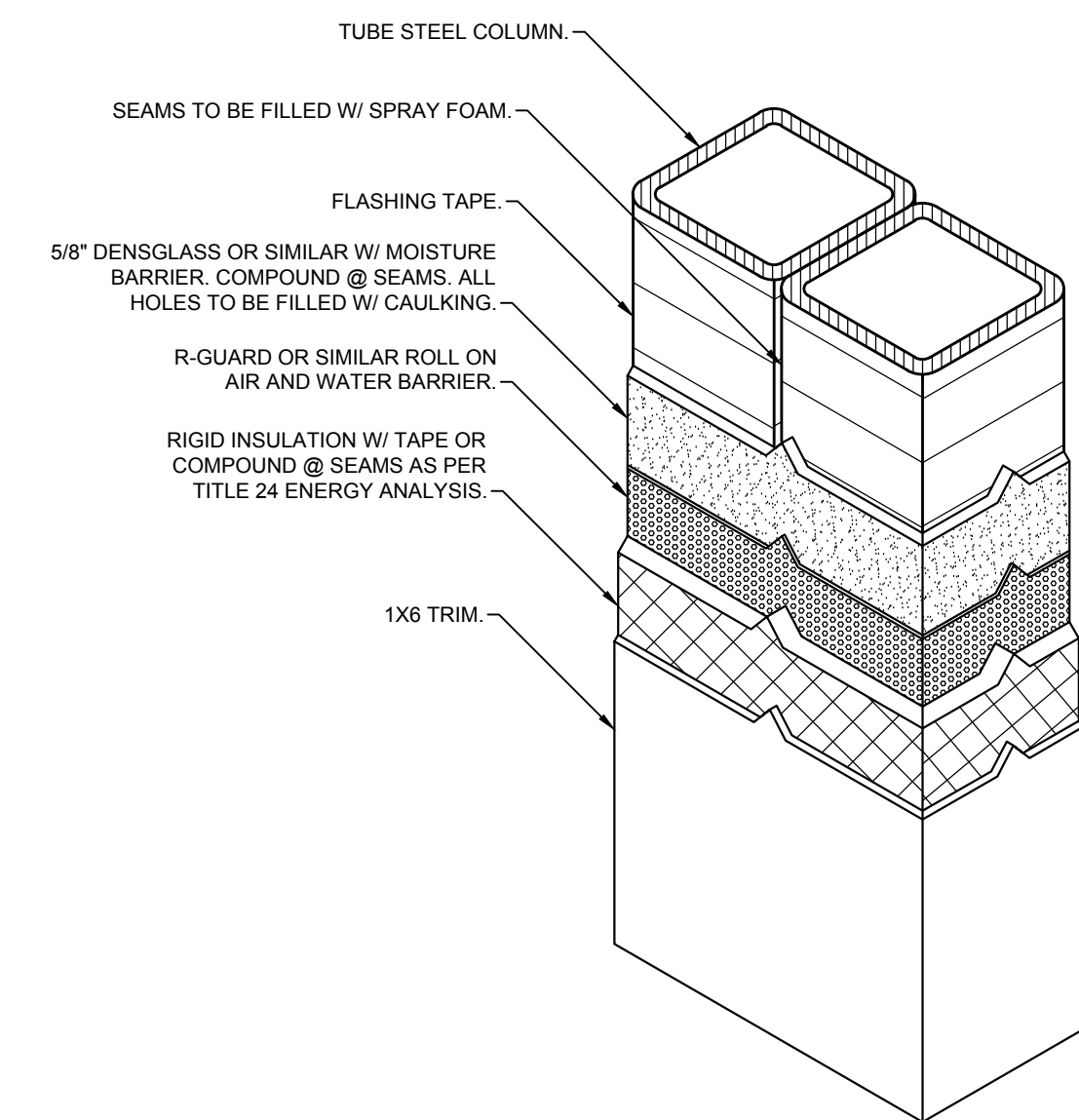
5a SKIRTING ATTACHMENT
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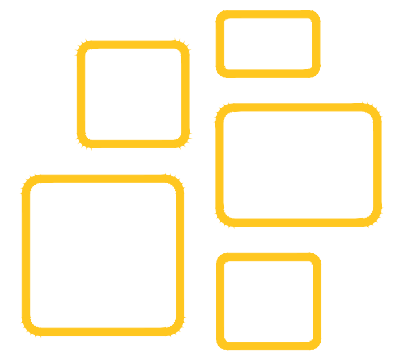
6 PLUMBING VENT CHASE
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7 COLUMN CLADDING
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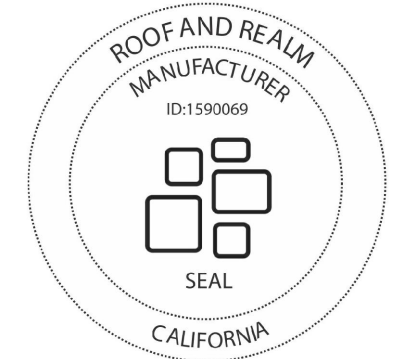


8 COLUMN SEAM
SCALE: 2" = 1'-0"



ROOF AND REALM

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Corporate Officer Signature

Sebastian Malano

Project

Roof & Realm
A New ADU - G40
Residential Building Design

Number	Date	Description
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Revisions

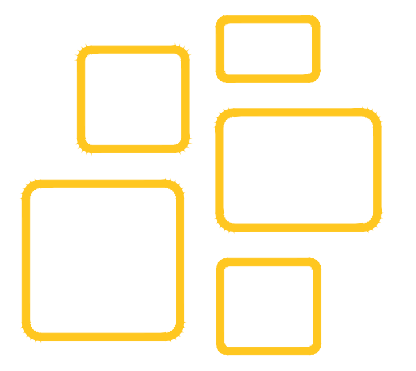
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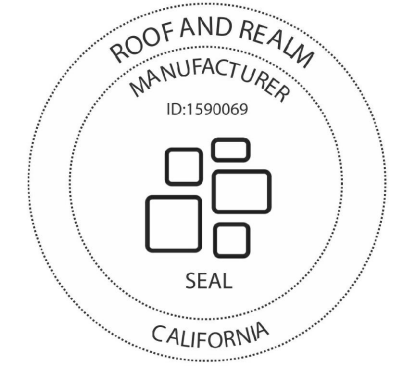
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Sheet



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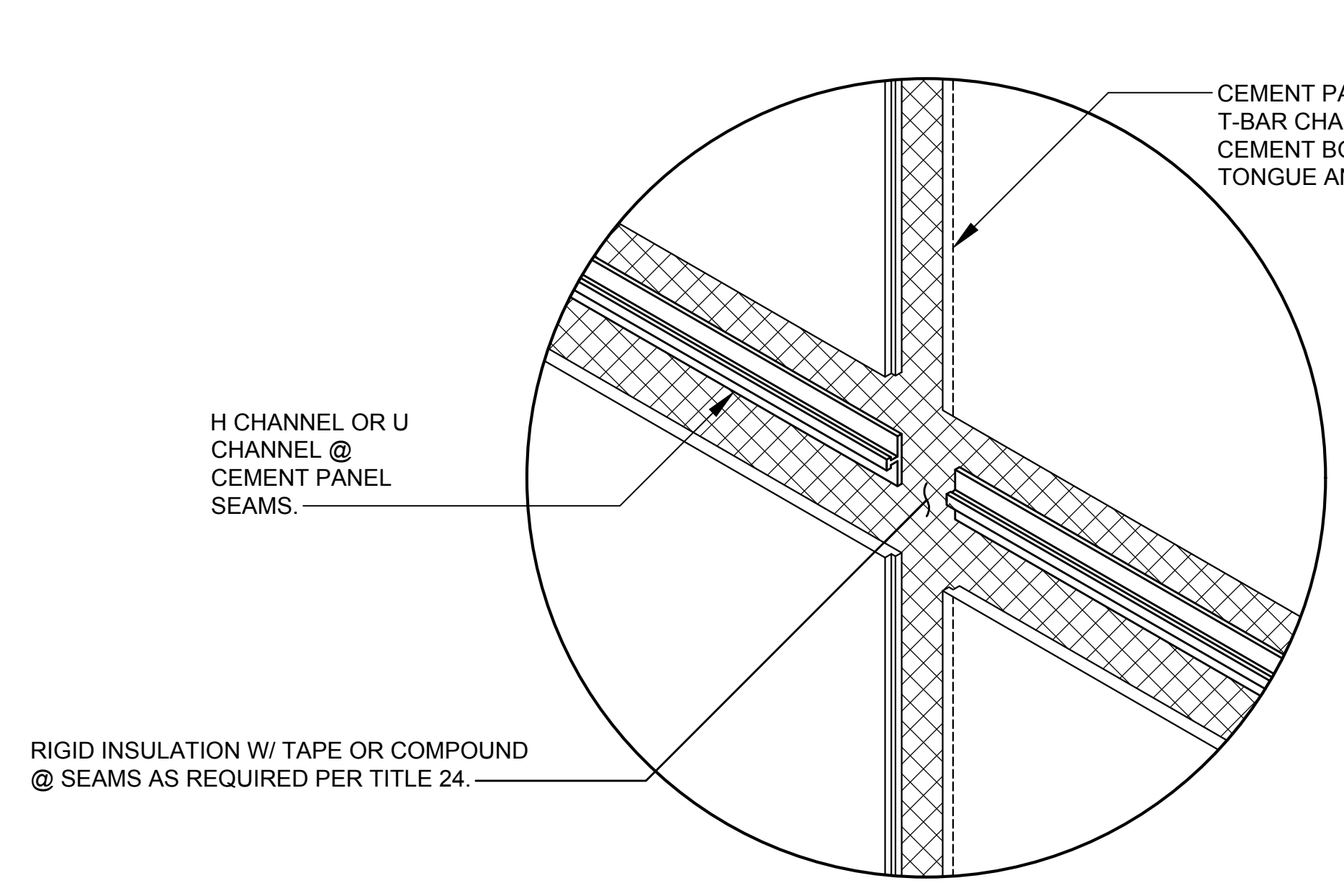
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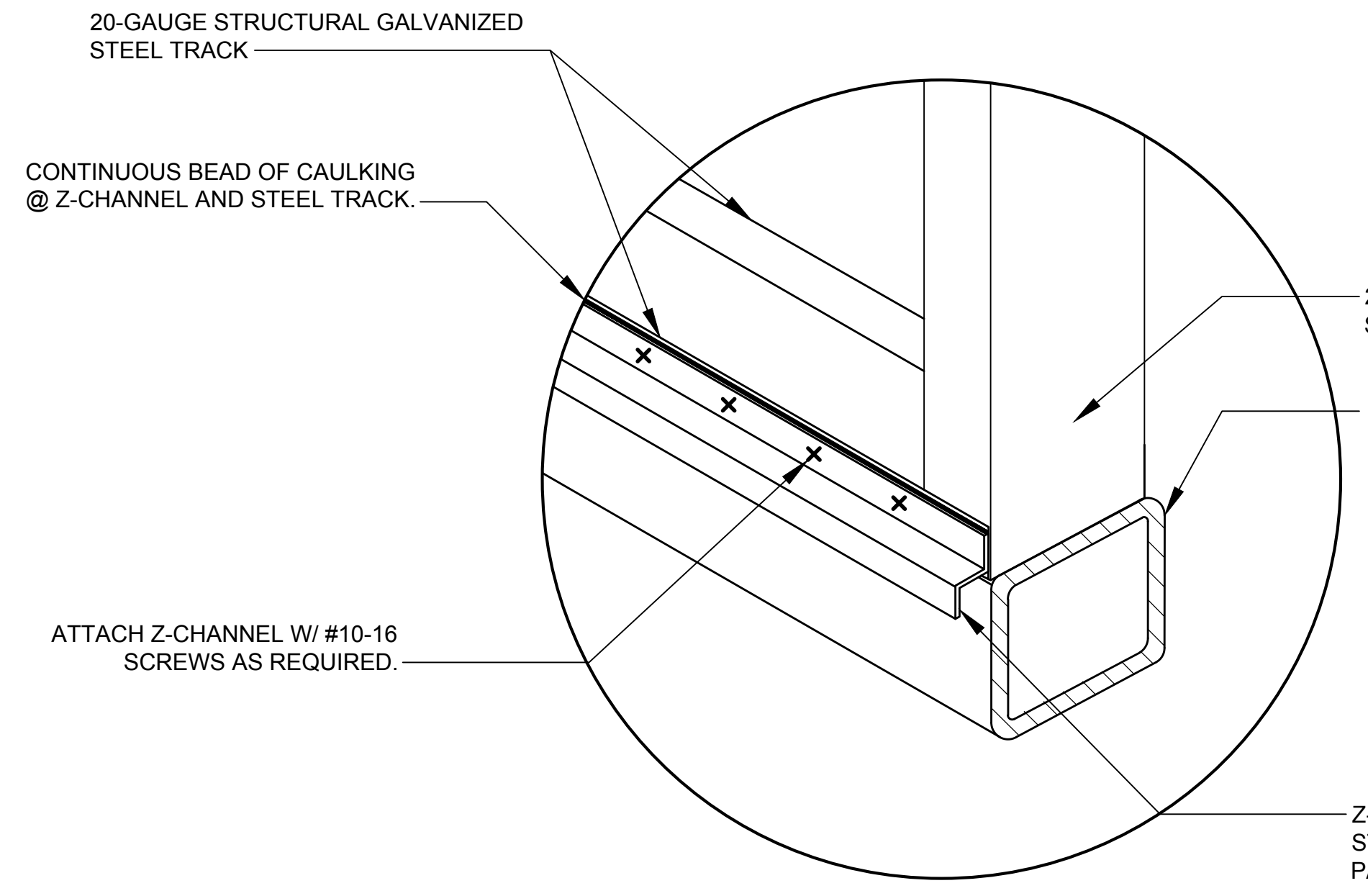
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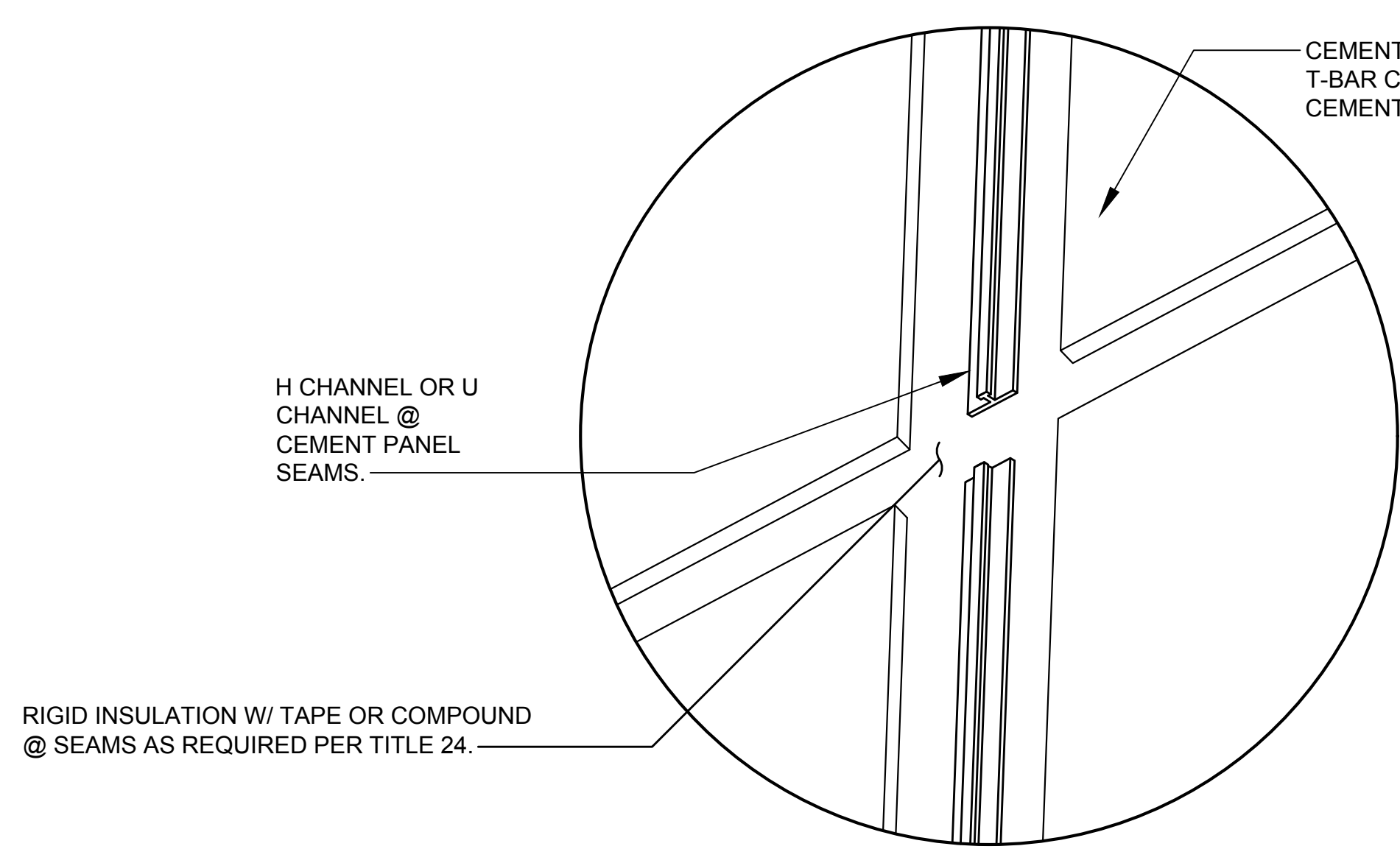
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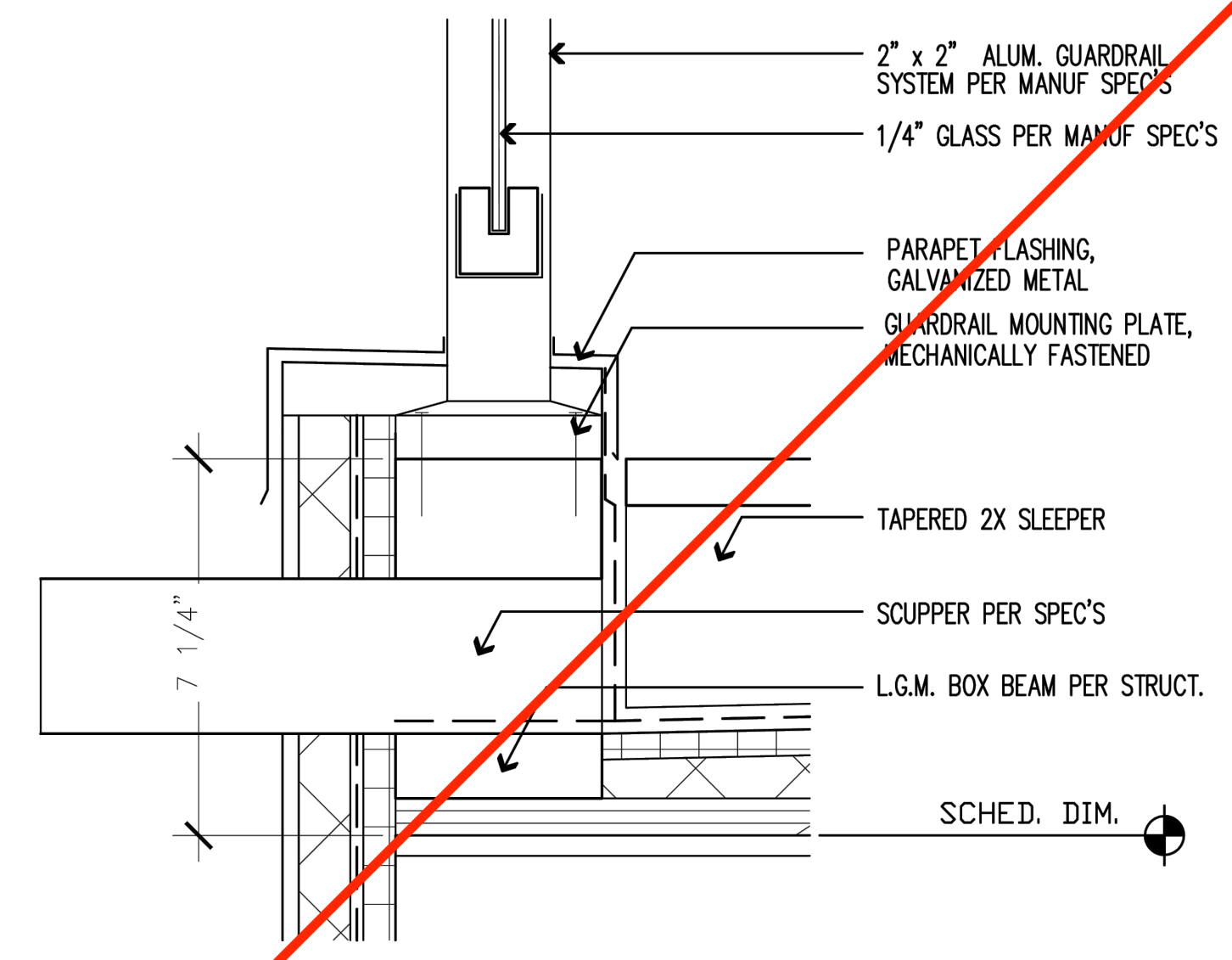
1 H-CHANNEL @ CEMENT PANEL SEAMS (STUCCO)
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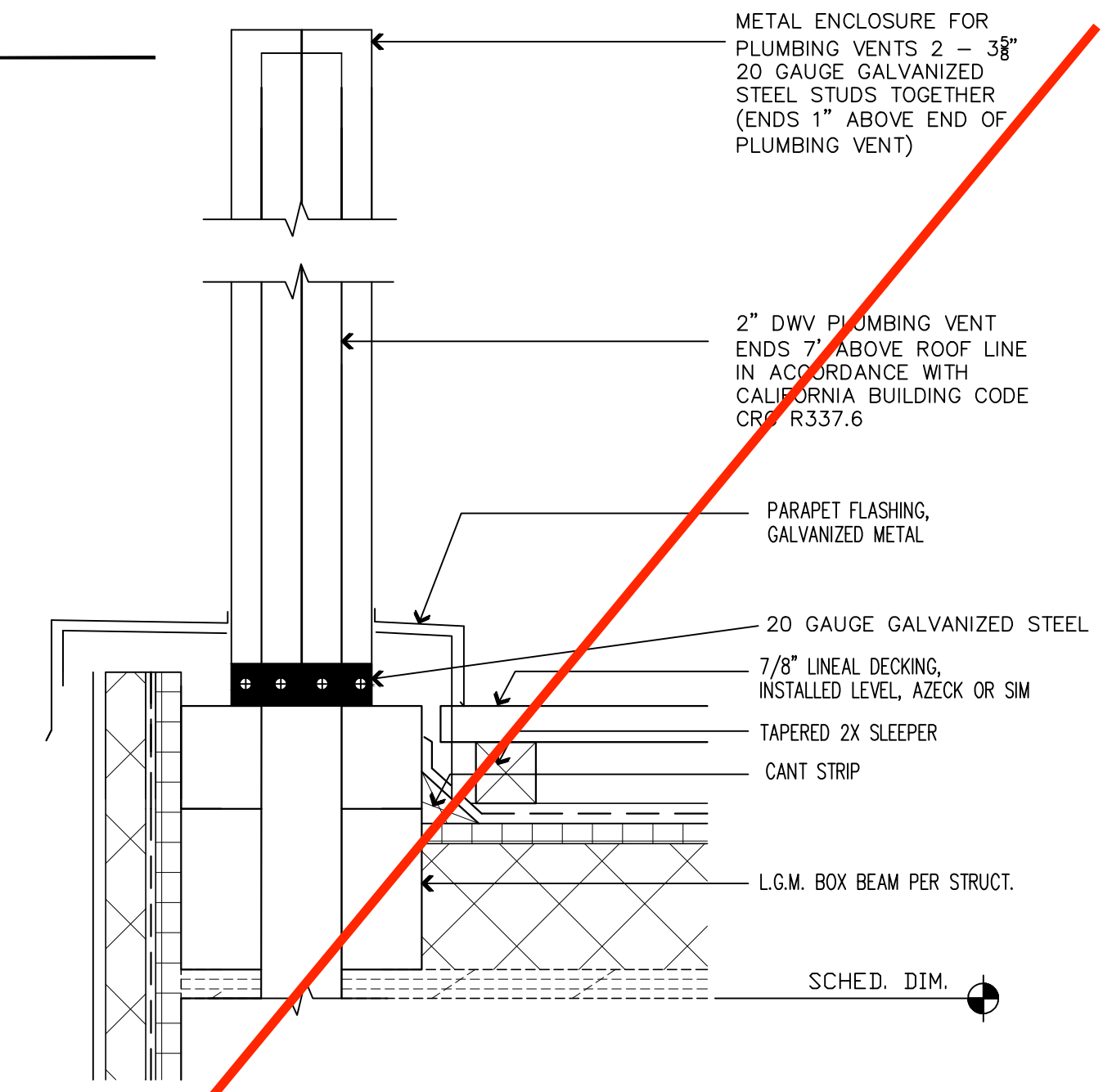
2 Z-CHANNEL @ BOTTOM OF CEMENT PANEL
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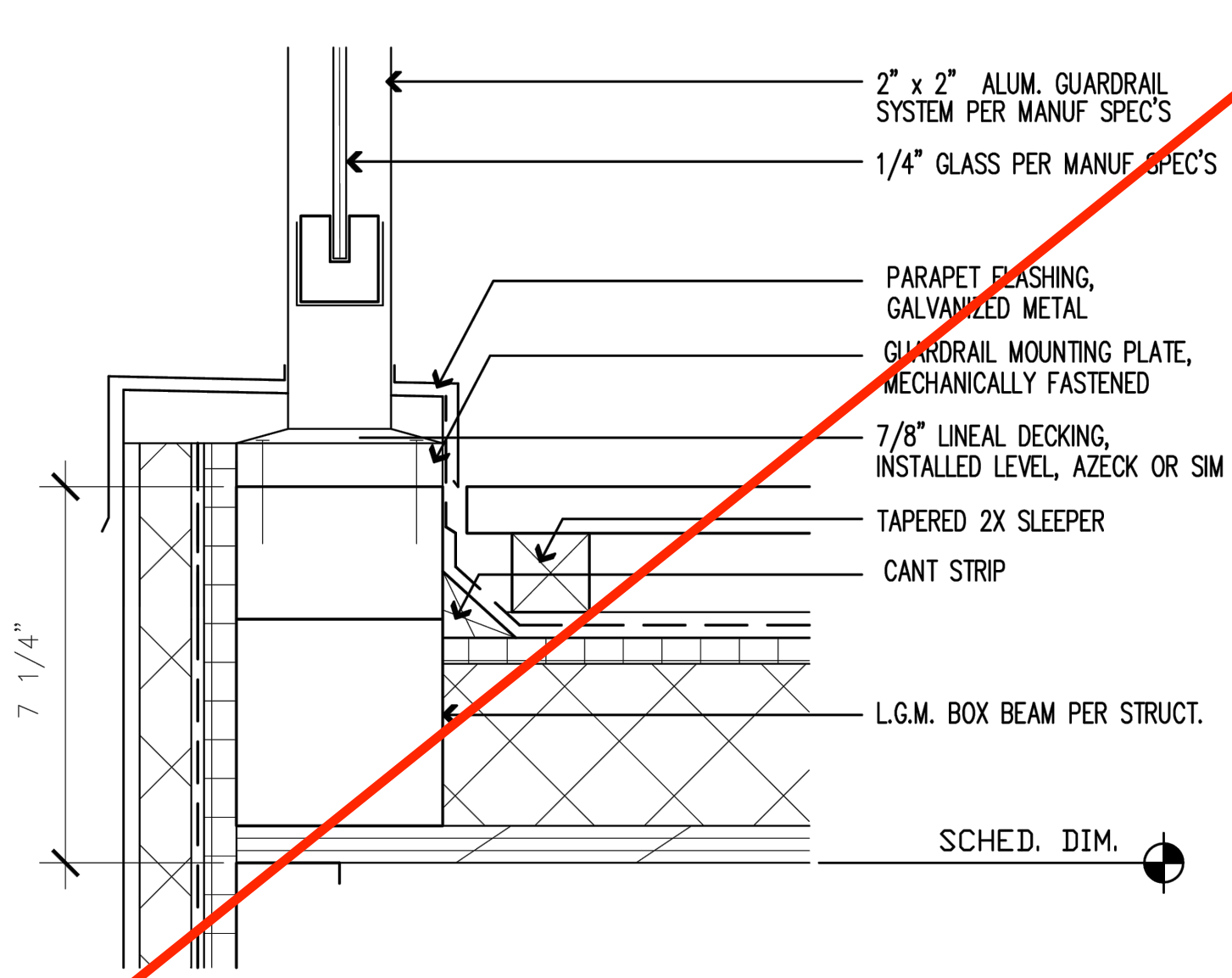
3 H-CHANNEL @ CEMENT PANEL SEAMS (SMOOTH)
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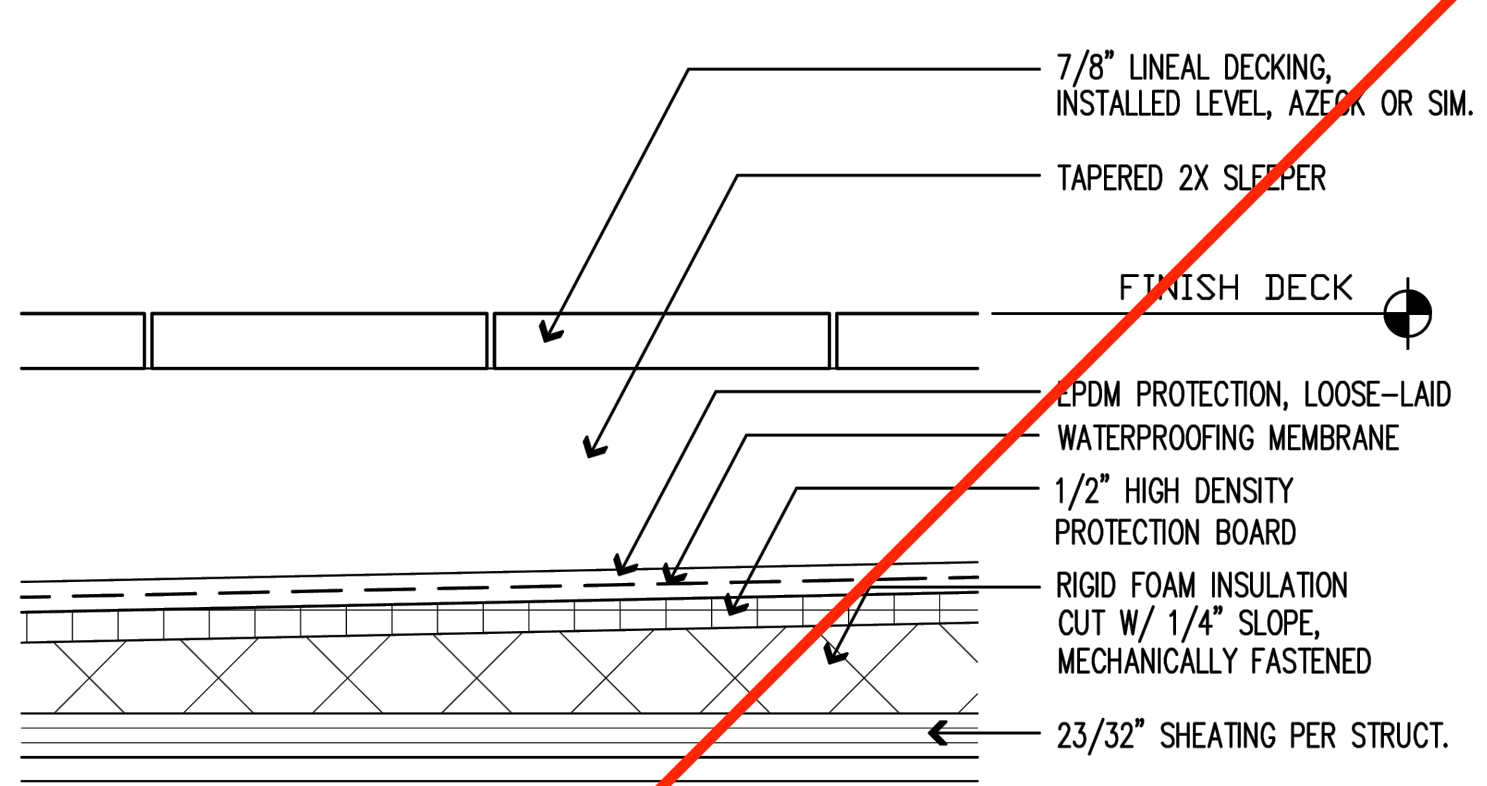
4 ROOF DECK DETAIL - GAURDRAIL
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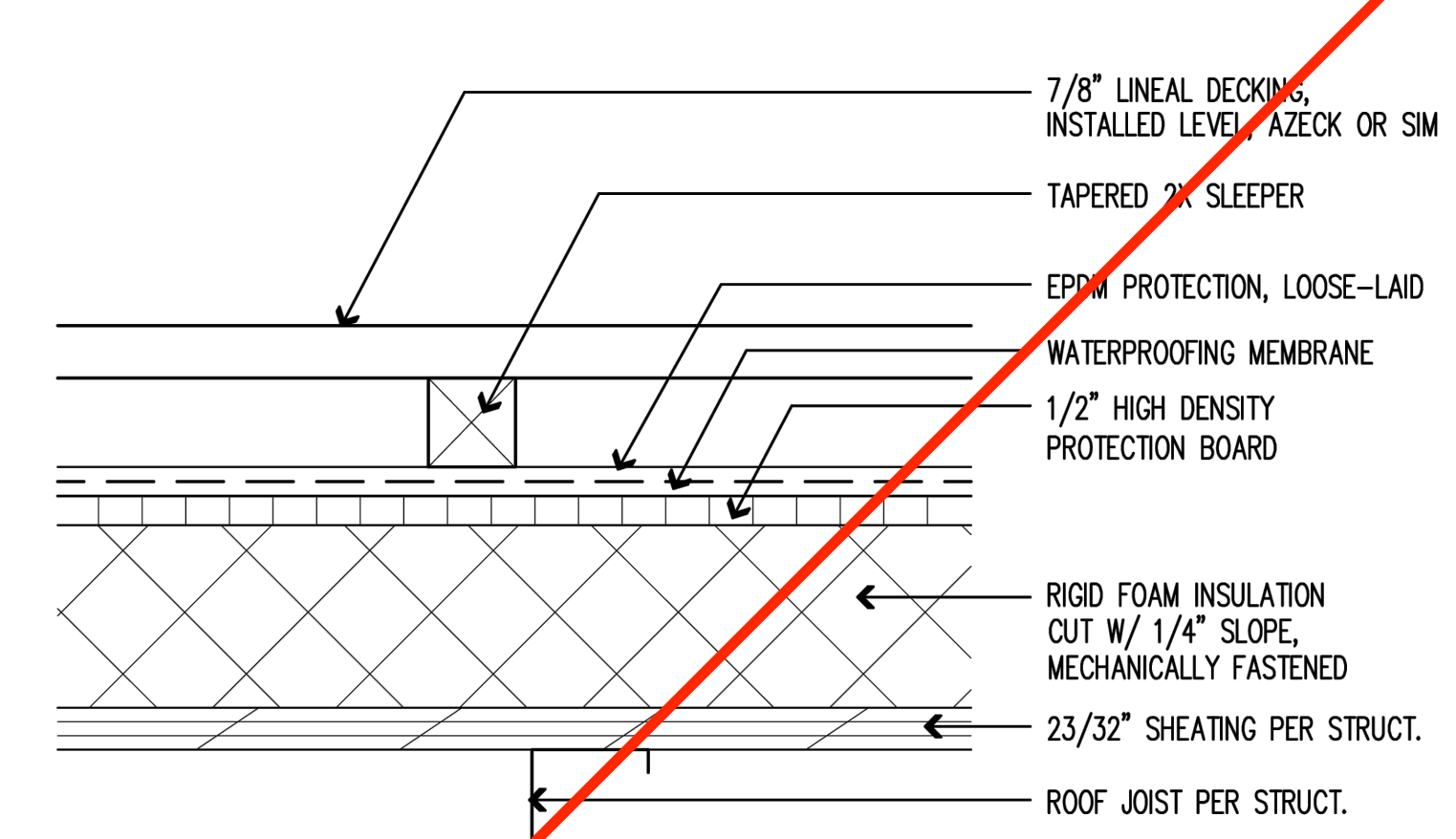
5 ROOF DECK DETAIL - PLUMBING VENTS
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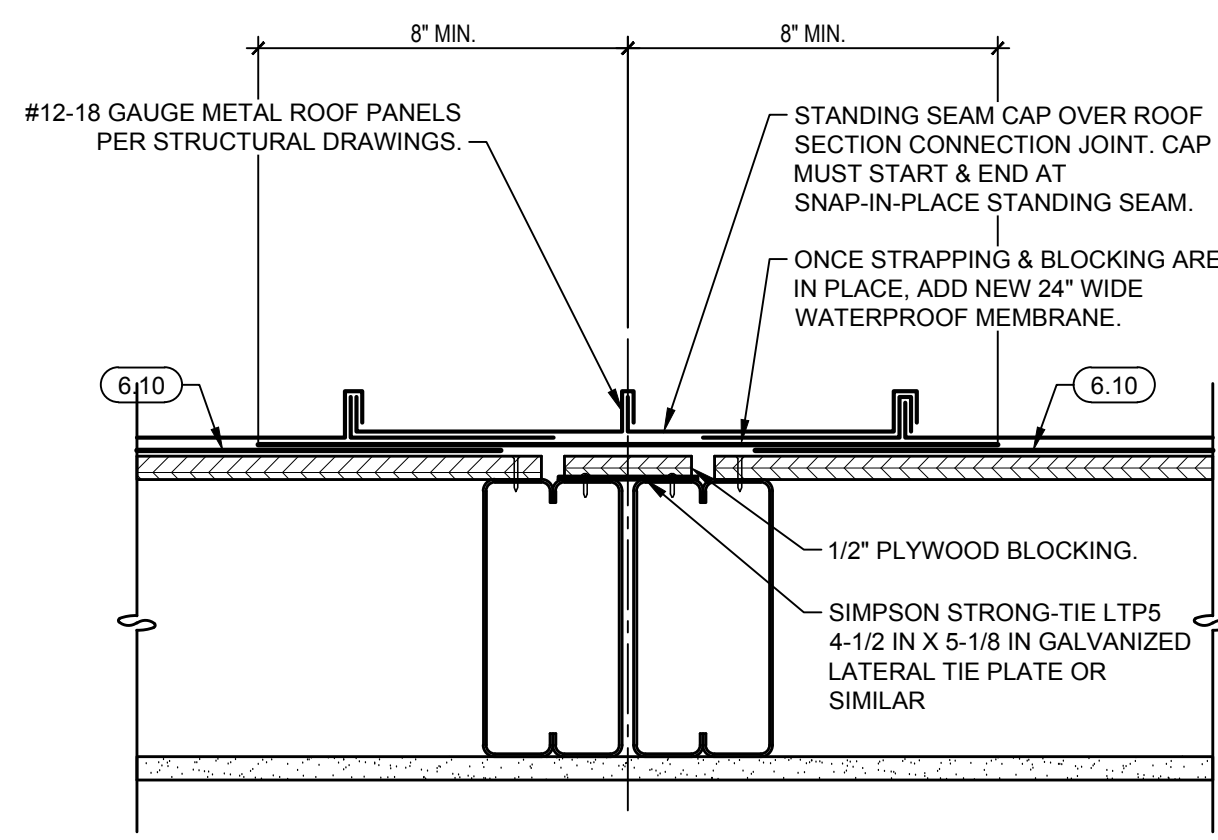
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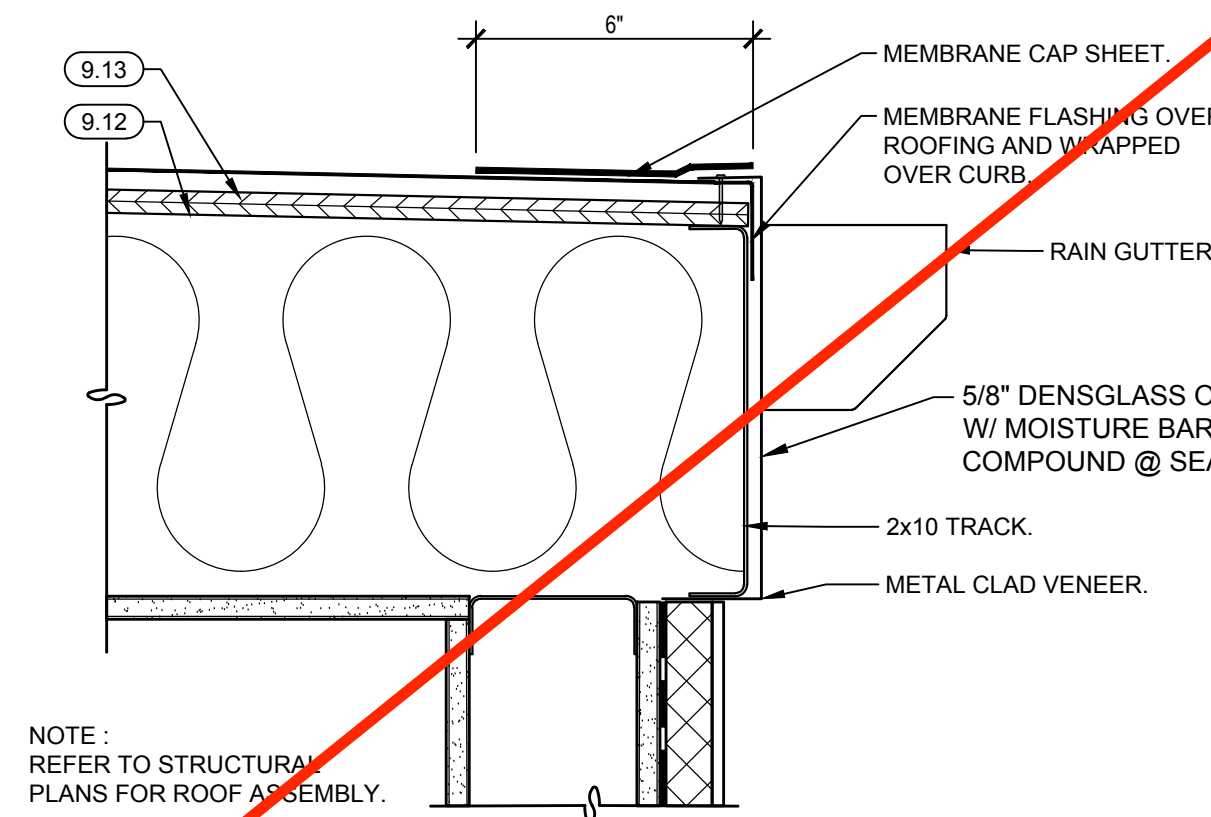
7 ROOF DECK DETAIL - MATERIAL
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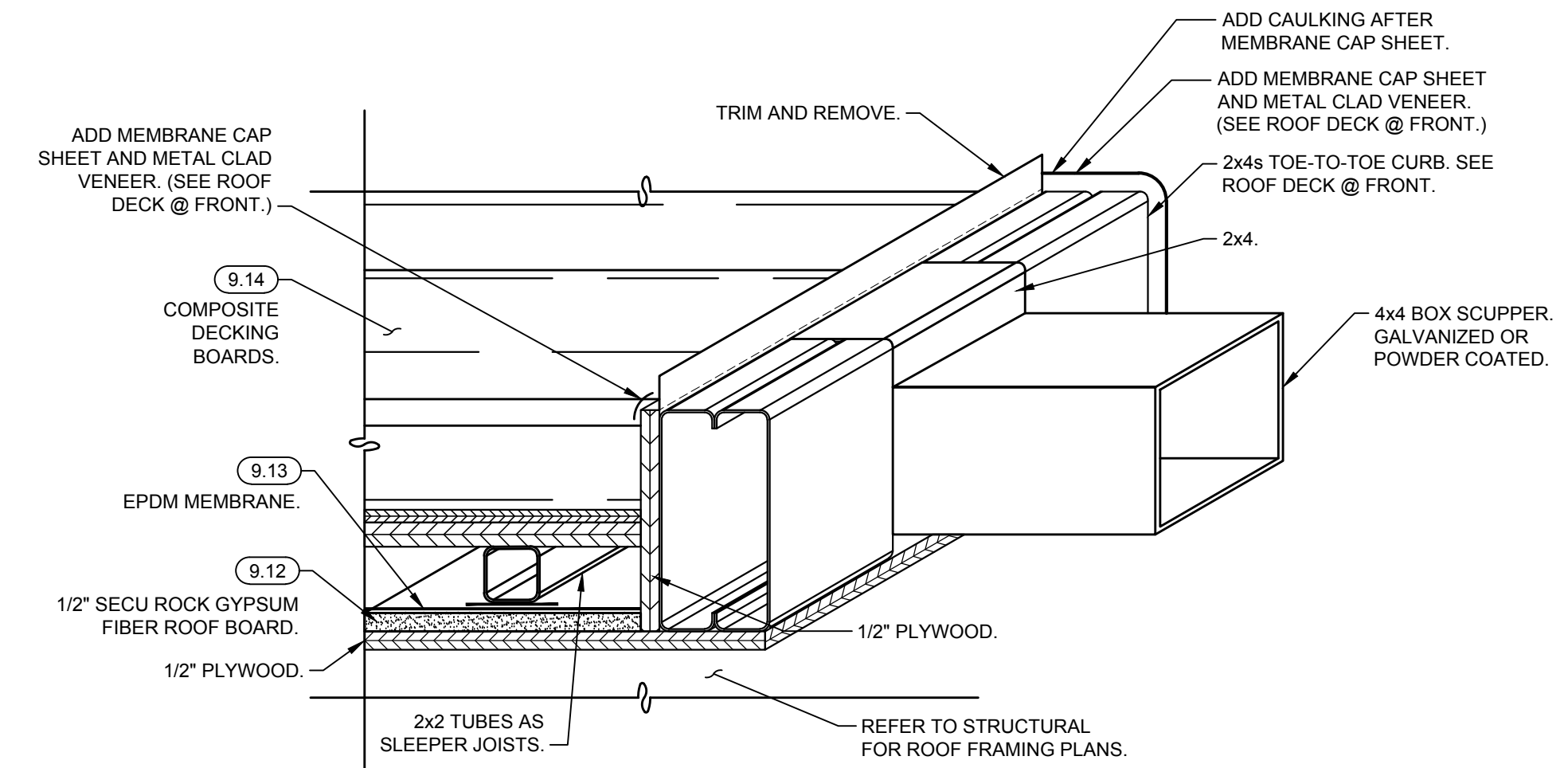
8 ROOF DECK DETAIL - MATERIAL
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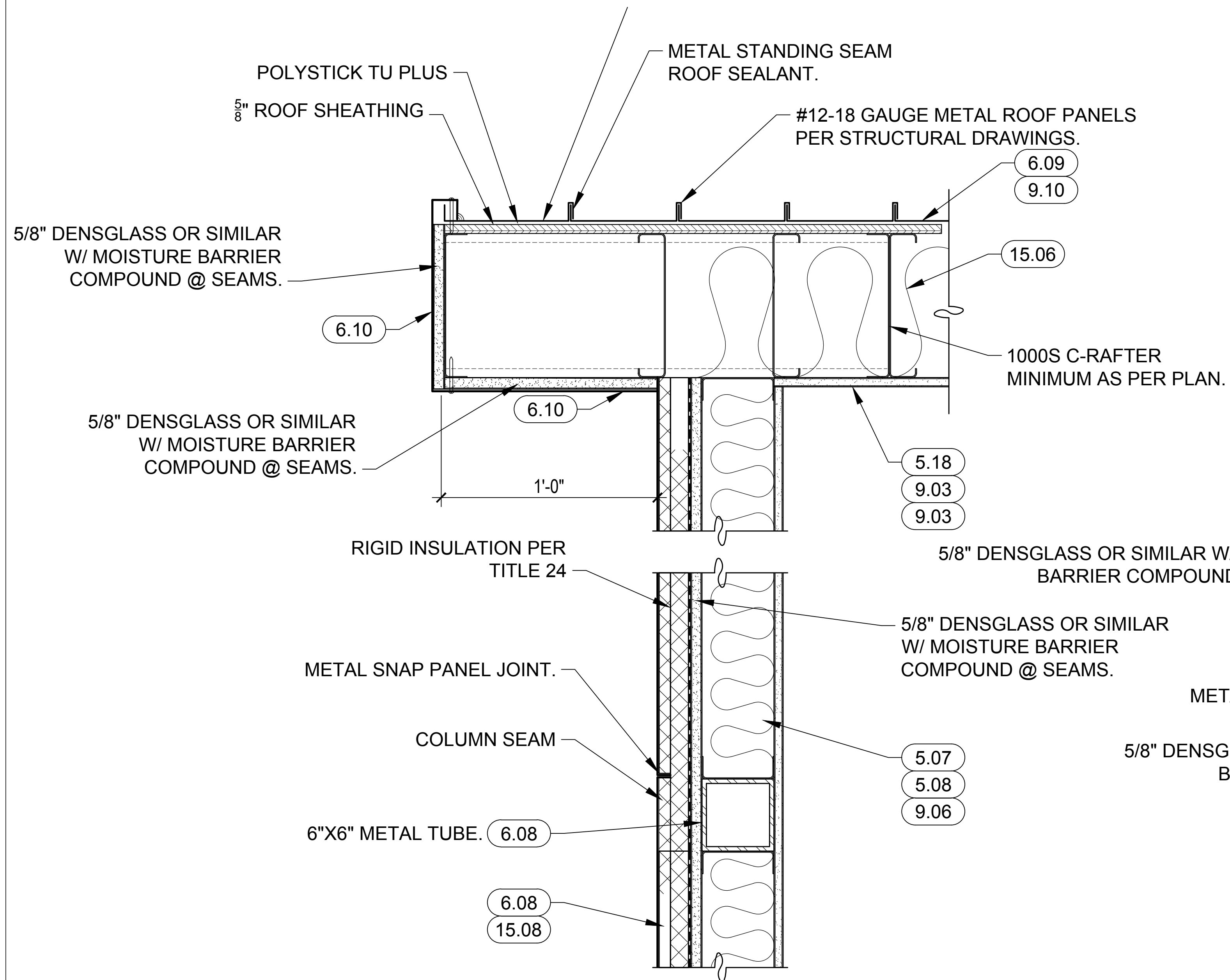
1 STANDING SEAM ROOF JOINT
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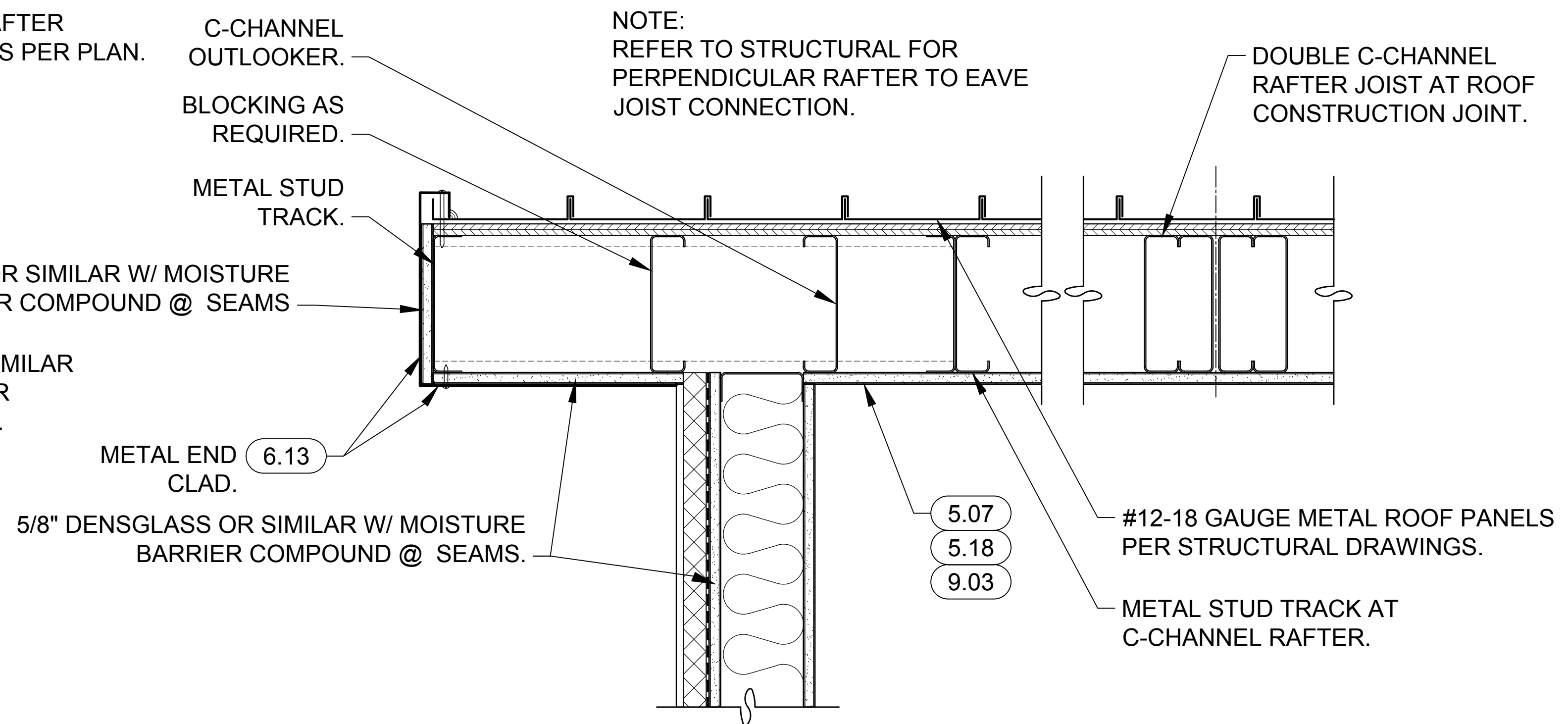
2 CUBE ROOF AT REAR
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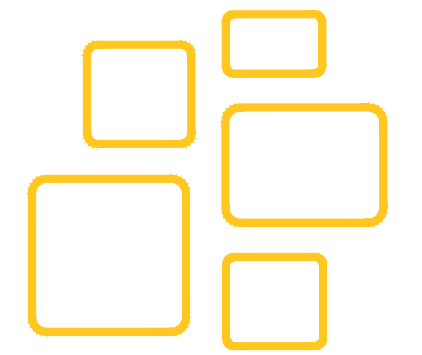
3 TYPICAL SCUPPER
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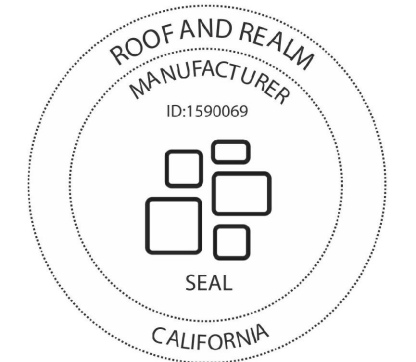
4 SLOPE ROOF TO WALL CONNECTION
SCALE: 3" = 1'-0"



5 END ROOF SECTION
SCALE: 3" = 1'-0"



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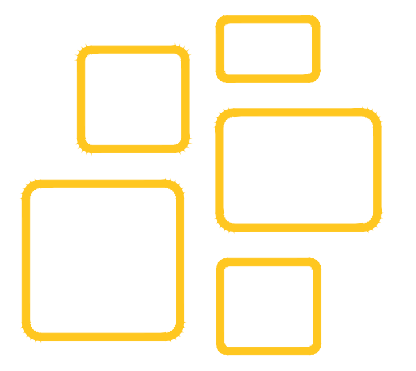
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Roof Details

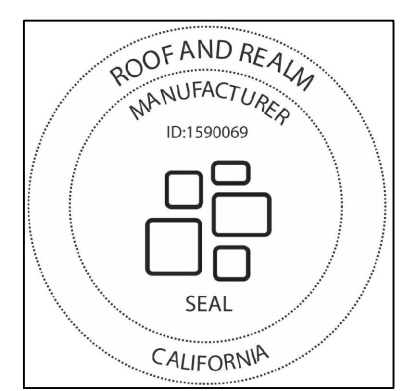
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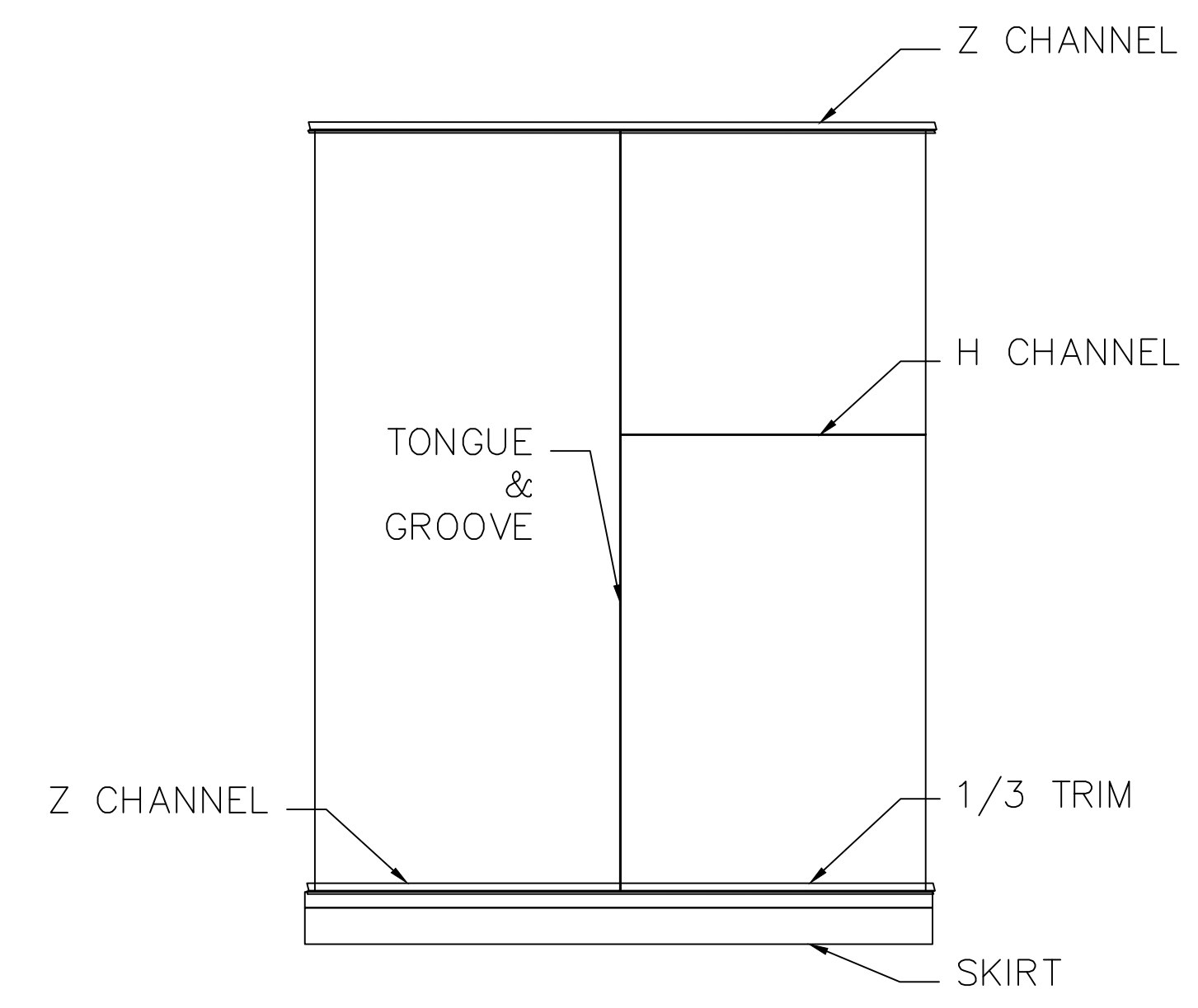
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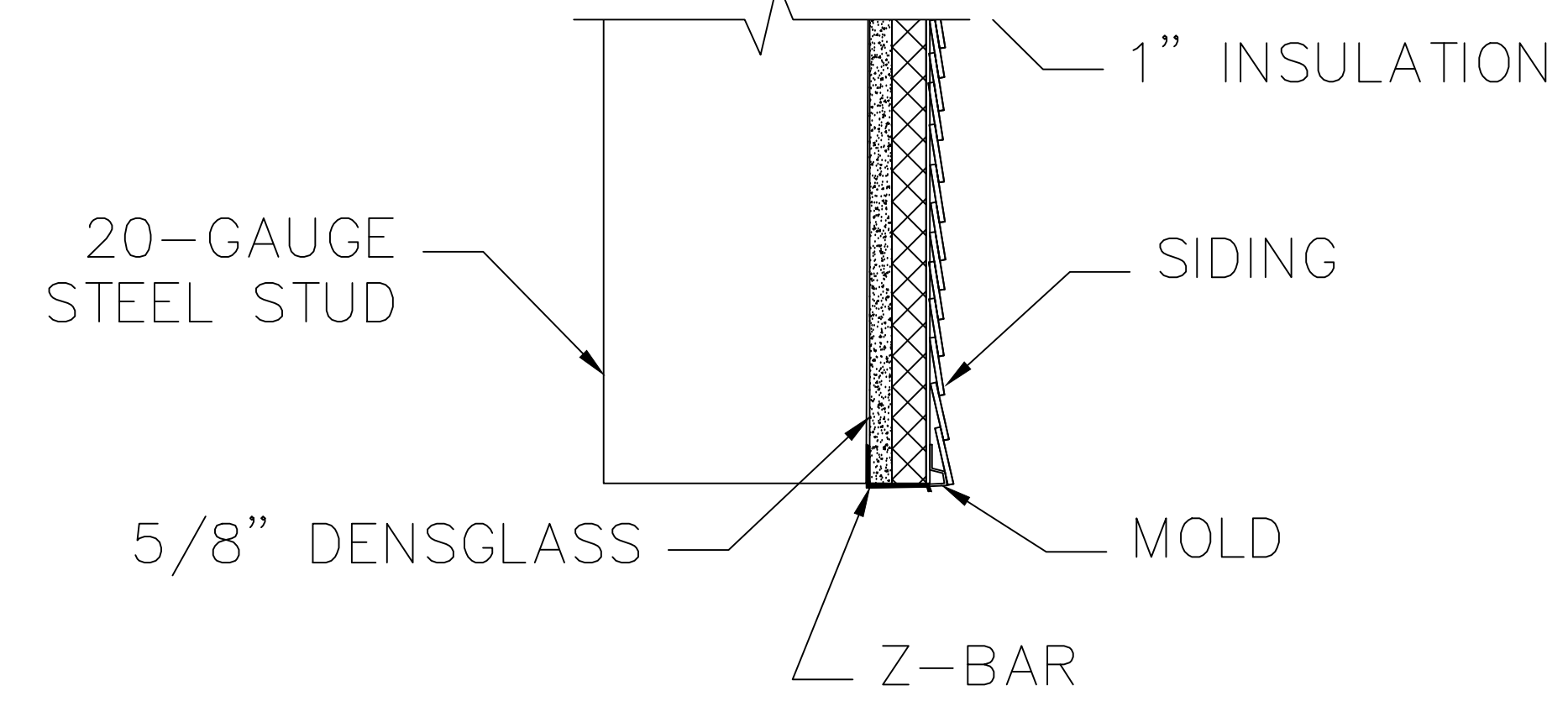
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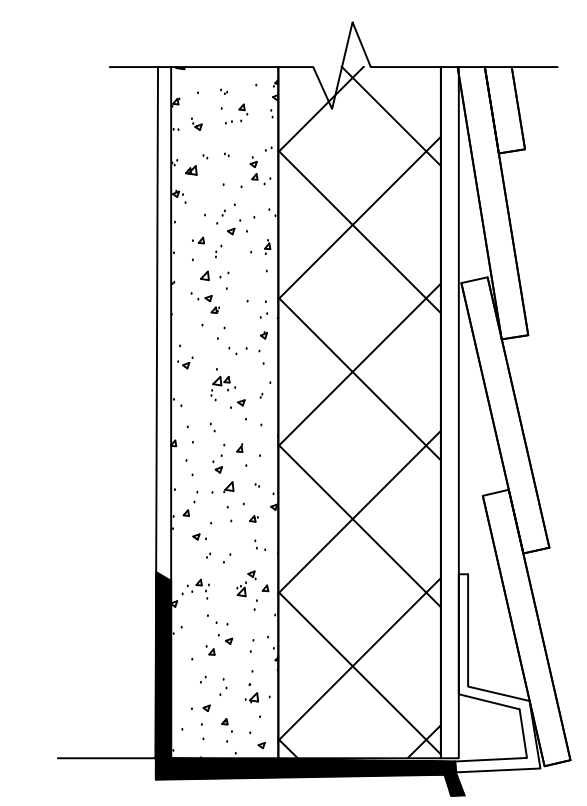
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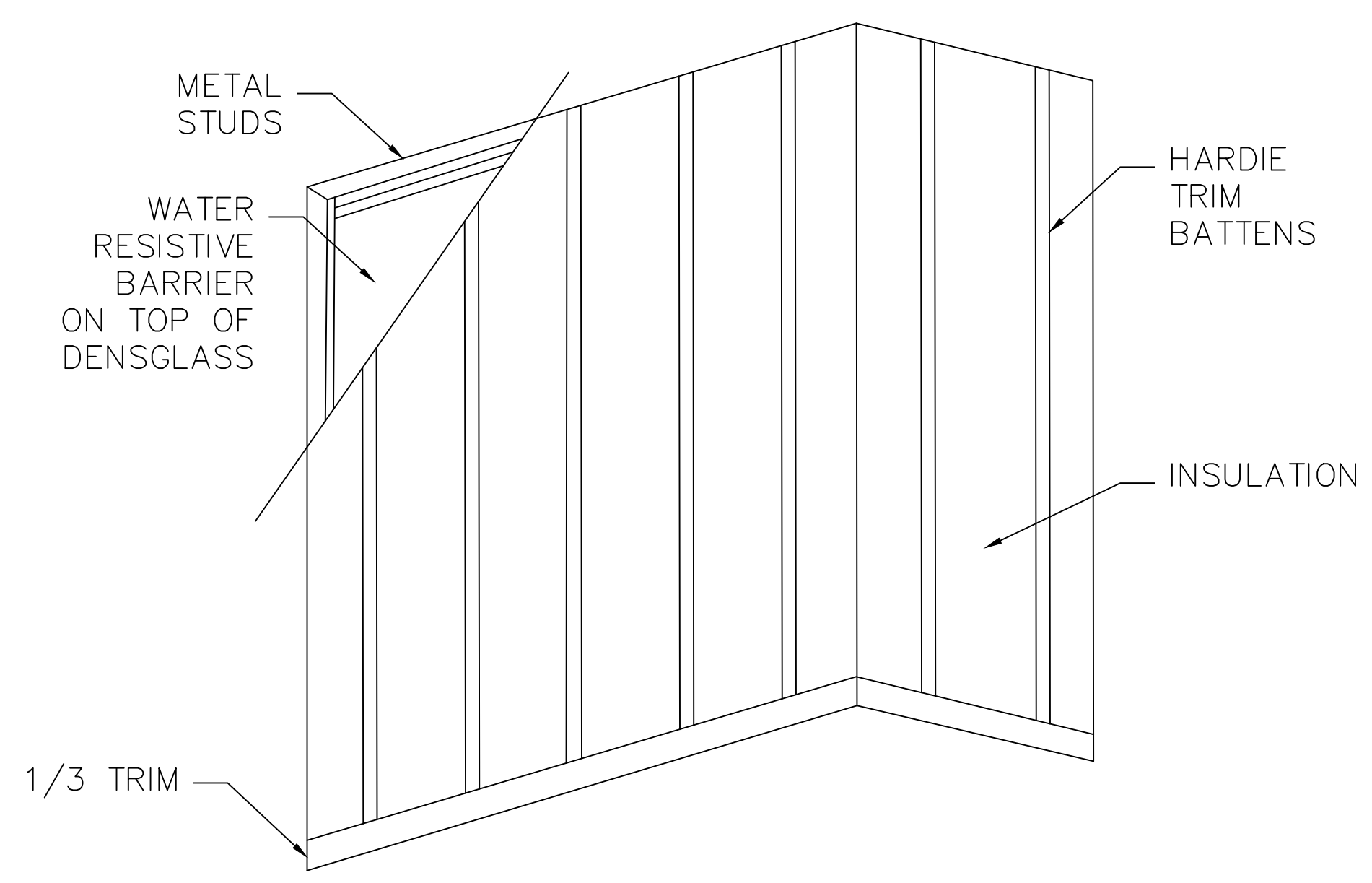
1 STUCCO BOARD
 SCALE: 1/2" = 1'-0"



2 LAP SIDING
 SCALE: 1/2" = 1'-0"



2a LAP SIDING ENLARGED
 SCALE: 3" = 1'-0"



3 BOARD & BATTEN
 SCALE: 1/2" = 1'-0"

Roof & Realm
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 Residential Building Design

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Exterior Details

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