

BUSCHER SINGLE FAMILY RESIDENCE

707 BENVENUE AVENUE

LOS ALTOS, CALIFORNIA 94024



FLOOR AREA EXCEPTIONS:

CITY OF LOS ALTOS MUNICIPAL CODE - $\triangle 1$ $\triangle 2$
 LAMC SECTION 14.15.060
 - EXCEPTION WILL BE APPLIED TO ACCESSORY STRUCTURE - ARBOR LOCATED AT THE REAR OF THE BUILDING FOR THE FOLLOWING CONDITION:
 - 1. OPEN ON ALL SIDES
 - 2. AREA IS LESS THAN 200 SQUARE FEET



MAbad ARCHITECT SIGNATURE

MOBILE 650-353-0273	WEBSITE MINEVA-ABAD-PROJECTS@SQUARESPACE.COM
ADDRESS 4255 PACIFIC AVE, STE 2-8, STOCKTON, CA 95207	EMAIL msd.design@icloud.com

PROPERTY ADDRESS 707 BENVENUE AVENUE LOS ALTOS, CA 94024
PROPERTY OWNERS GEORG AND LING BUSCHER
ASSESSOR PARCEL NO. 193-38-019

REVISIONS BY:	DATE	COMMENT BY:
\triangle	06-26-24	PLANNING-C1
\triangle	09-08-24	PLANNING-C2

DATE	03-01-24
JOB NO.	A-24001
SCALE:	AS NOTED
DRAWN BY:	MA
CHECKED BY:	MSD

CONTENT:

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CONSULTANTS

SOILS ENGINEER:	ELECT/PLUMBING / MECHANICAL ENGINEER:
ROMIG ENGINEERS COLEMAN K NG, P.E. 1390 EL CAMINO REAL, SECOND FLOOR SAN CARLOS, CA. 94020 650-591-5224 - www.romigengineers.com	
SURVEYOR: LEA and BRAZE Engineering, Inc 2495 Industrial Parkway West Hayward, Ca. 94545 510-887-4086 www.leabraze.com	
CIVIL ENGINEER: Jing Deng jing_d2004@yahoo.com	STRUCTURAL ENGINEER
LANDSCAPE ARCHITECT: ANYI LANDSCAPE STUDIO anylandscape.com 650-533-0107	TITLE 24
ARBORIST: BO FIRESTONE TREES & GARDENS 2150 LACEY DR., MILPITAS, CA 95035 E: INFO@BOFIRESTONE.COM C: (618) 698-3051 WWW.BOFIRESTONE.COM	GREEN RATER:

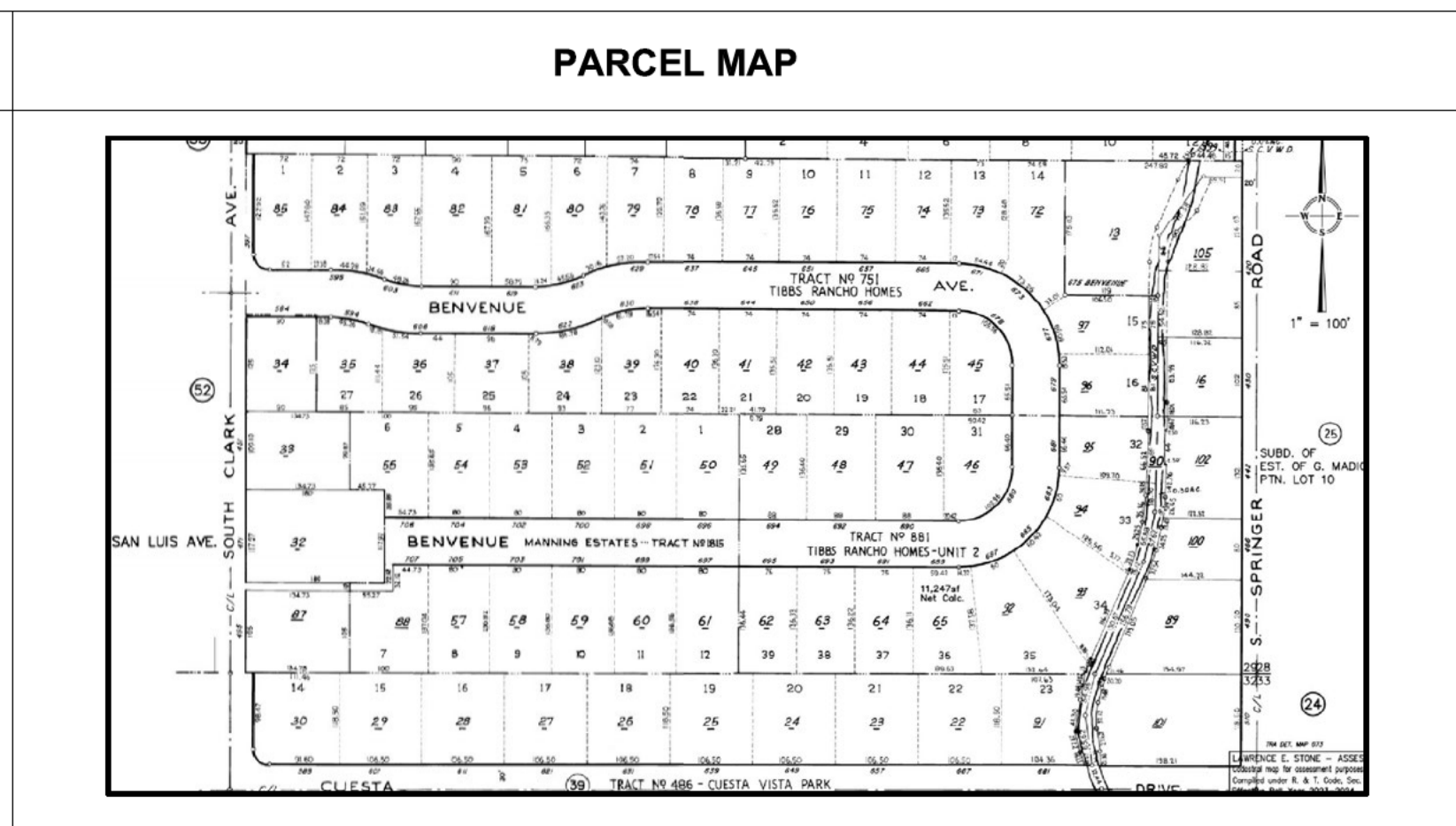
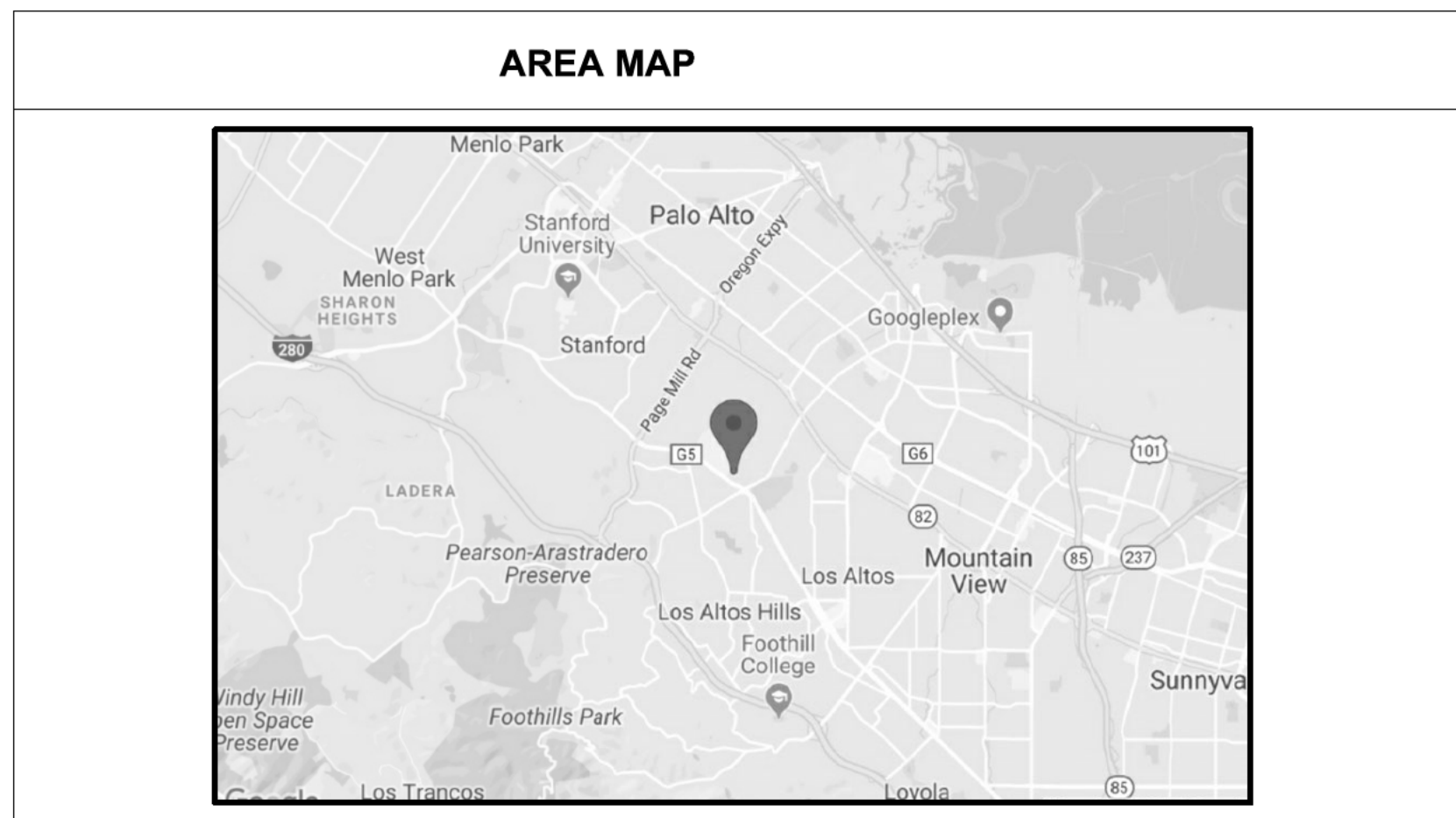
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TITLE PAGE

SHEET NUMBER

A-1.1

APPROVAL STAMP



CITY OF LOS ALTOS MUNICIPAL CODE EXCEPTIONS:

CITY OF LOS ALTOS MUNICIPAL CODE - LAMC SECTION 14.15.060
 - EXCEPTION WILL BE APPLIED TO ACCESSORY STRUCTURE - ARBOR LOCATED AT THE REAR OF THE BUILDING.

CITY OF LOS ALTOS MUNICIPAL CODE - LAMC SECTION 14.06.120
 - EXCEPTION WILL BE APPLIED TO ACCESSORY STRUCTURE - POOL EQUIPMENT SHED

SCOPE OF WORK

THE DEMOLITION OF AN EXISTING ONE STORY RESIDENTIAL STRUCTURE AND THE CONSTRUCTION OF A NEW TWO STORY RESIDENCE THAT WILL HOUSE 4 BEDROOMS, 4 FULL BATHS, 1 FULL BATH FOR POOL, POWDER ROOM, 2 HOME OFFICE, LIVING, DINING, KITCHEN, PANTRY, LAUNDRY AND AN ATTACHED ACCESSORY DWELLING UNIT THAT WILL HAVE ONE BEDROOM, ONE WORKSPACE, KITCHEN, LIVING, DINING AND LAUNDRY CLOSET. THE STRUCTURE EXTERIOR FINISH SHALL BE STUCCO WALLS ACCENTED WITH STONE VENEER AND CONCRETE TILE ROOF.

COUNTY OF SANTA CLARA FIRE DEPARTMENT REQUIREMENTS:

1. ADDRESS IDENTIFICATION: NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONT THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, WHERE REQUIRED BY THE FIRE CODE OFFICIAL. ADDRESS NUMBERS SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MINIMUM OF 6 INCHES (101.6 MM) HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 (12.7 MM). WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS NUMBERS SHALL BE MAINTAINED. CFC Sec.505.1
2. CONSTRUCTION SITE FIRE SAFETY: ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 33 AND OUR STANDARD DETAIL AND SPECIFICATION S1-7. PROVIDE APPROPRIATE NOTATIONS ON SUBSEQUENT PLAN SUBMITTALS, AS APPROPRIATE TO THE PROJECT. CFC Chp.33.
3. WATER SUPPLY REQUIREMENTS: POTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION WATER SUPPLIES. IT IS THE RESPONSIBILITY OF THE APPLICANT AND ANY CONTRACTORS AND SUBCONTRACTORS TO CONTACT THE WATER PURVEYOR SUPPLYING THE SITE OF SUCH PROJECT, AND TO COMPLY WITH THE REQUIREMENTS OF THAT PURVEYOR. SUCH REQUIREMENTS SHALL BE INCORPORATED INTO THE DESIGN OF ANY SYSTEMS OR STORAGE CONTAINERS THAT MAY BE PHYSICALLY CONNECTED IN ANY MANNER TO AN APPLIANCE CAPABLE OF CAUSING CONTAMINATION OF THE POTABLE WATER SUPPLY OF THE PURVEYOR OF RECORD. FINAL APPROVAL OF THE SYSTEM(S) UNDER CONSIDERATION WILL NOT BE GRANTED BY THIS OFFICE UNTIL COMPLIANCE WITH THE REQUIREMENTS OF THE WATER PURVEYOR OF RECORD ARE DOCUMENTED BY THAT PURVEYOR AS HAVING BEEN MET BY THE APPLICANT(S) 2022 CFC Sec. 903.3.5 AND HEALTH AND SAFETY CODE 13114.7

CODE COMPLIANCE:

CITY OF LOS ALTOS MUNICIPAL CODE
 2022 CA. RESIDENTIAL CODE
 2022 CA. BUILDING CODE
 2022 CA. ELECTRICAL CODE
 2022 CA. MECHANICAL CODE
 2022 CA. PLUMBING CODE
 2022 CA. ENERGY EFFICIENCY STANDARDS
 2022 CA. GREEN BUILDING STANDARDS CODES
 2022 CA. FIRE CODE

PROJECT SITE INFORMATION:

PROJECT ADDRESS:
 707 BENVENUE AVENUE
 LOS ALTOS, CALIFORNIA

OWNER'S NAME(S):
 GEORG AND LING BUSCHER

A.P.N.: 193-38-019

BUILDING DATA SUMMARY:

ZONING DISTRICT: R1-10
 SINGLE FAMILY DISTRICT

SPRINKLER SYSTEM: DEFERRED SUBMITTAL

TYPE OF CONSTRUCTION: V-B

LOT AREA: 11,935.0 SQUARE FEET

NUMBER OF STORIES: TWO

BUILDING OCCUPANCY GROUP: R3/U

FLOOD ZONE: NO

ZONING COMPLIANCE			
	Existing	Proposed	Allowed/Required
LOT COVERAGE: <i>Land area covered by all structures that are over 6 feet in height</i>	2874.17 square feet (24.08 %)	3453.54 (MAIN) + 856.90 (ADU) 4310.44 SF square feet (36.11 %)	3580.5 square feet (30.0 %)
FLOOR AREA: <i>Measured to the outside surfaces of exterior walls</i>	1st Flr: 2874.17 sq ft 2nd Flr: sq ft Total: 2874.17 sq ft (24.08 %)	3941.22 (MAIN) + 841.80 (ADU) 1st Flr: 3415.29 sq ft 2nd Flr: 1367.73 sq ft Total: 4783.91 sq ft (40.0 %)	3943.5 square feet (33 %)
SETBACKS:			
Front	59'-1" feet	36'-10" feet	25'-0" feet
Rear	39'-5" feet	39'-5" feet	25'-0" feet
Right side (1st/2nd)	26'-11 1/2" feet / 18' feet	12'-6" feet / 10'-1" feet	10'-0" feet / 17'-6" feet
Left side (1st/2nd)	9'-10" feet / 18' feet	10'-2" feet / 12'-6" feet	10'0" feet / 17'-6" feet
HEIGHT:	14.5 feet	23'-7 1/2" feet	27.0 feet
SQUARE FOOTAGE BREAKDOWN			
	Existing	Change in	Total Proposed
HABITABLE LIVING AREA: <i>Includes habitable basement areas</i>	2414.52 square feet	-1836.49 square feet	3410.10 (MAIN) + 840.91 (ADU) 4251.01 square feet
NON- HABITABLE AREA: <i>Does not include covered porches or open structures</i>	459.65 square feet	-71.47 square feet	531.12 square feet
LOT CALCULATIONS			
NET LOT AREA:	11,935.0 square feet		
FRONT YARD HARDSCAPE AREA: <i>Hardscape area in the front yard setback shall not exceed 50%</i>	552.0 square feet (49 %)		
LANDSCAPING BREAKDOWN:	Total hardscape area (existing and proposed): 6567.39 sq ft Existing softscape (undisturbed) area: 4562.62 sq ft New softscape (new or replaced landscaping) area: 804.89 sq ft <i>Sum of all three should equal the site's net lot area</i>		



MABAD ARCHITECTURE SIGNATURE

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PROPERTY ADDRESS

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PROPERTY OWNERS

GEORG AND LING BUSCHER

ASSESSOR PARCEL NO.
 193-38-019

REVISIONS BY:

REV.#	DATE	COMMENT BY:
1	06-26-24	PLANNING-C1
2	08-28-24	PLANNING-C2

DATE: 03-01-24

JOB NO.: A-24001

SCALE: AS NOTED

DRAWN BY: MA

CHECKED BY: MSD

CONTENT:

PROJECT DATA

SHEET NUMBER

A-1.2

APPROVAL STAMP

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COMMUNITY OUTREACH:



706 BENVENUE AVE.
ONE STORY
MATERIAL: STUCCO WALL AND STANDING BEAM METAL ROOF
GARAGE: 2 CAR / FACING SIDE



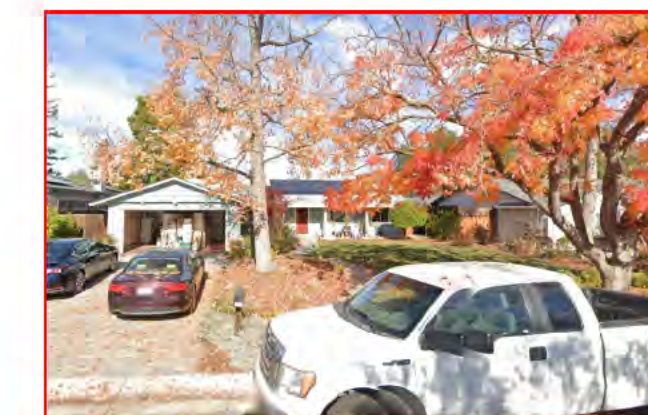
704 BENVENUE AVE.
ONE STORY
MATERIAL: SHINGLE WALL AND COMPOSITION SHINGLE ROOF
GARAGE: 2 CAR / PROJECTING FROM FRONT OF HOUSE FACE



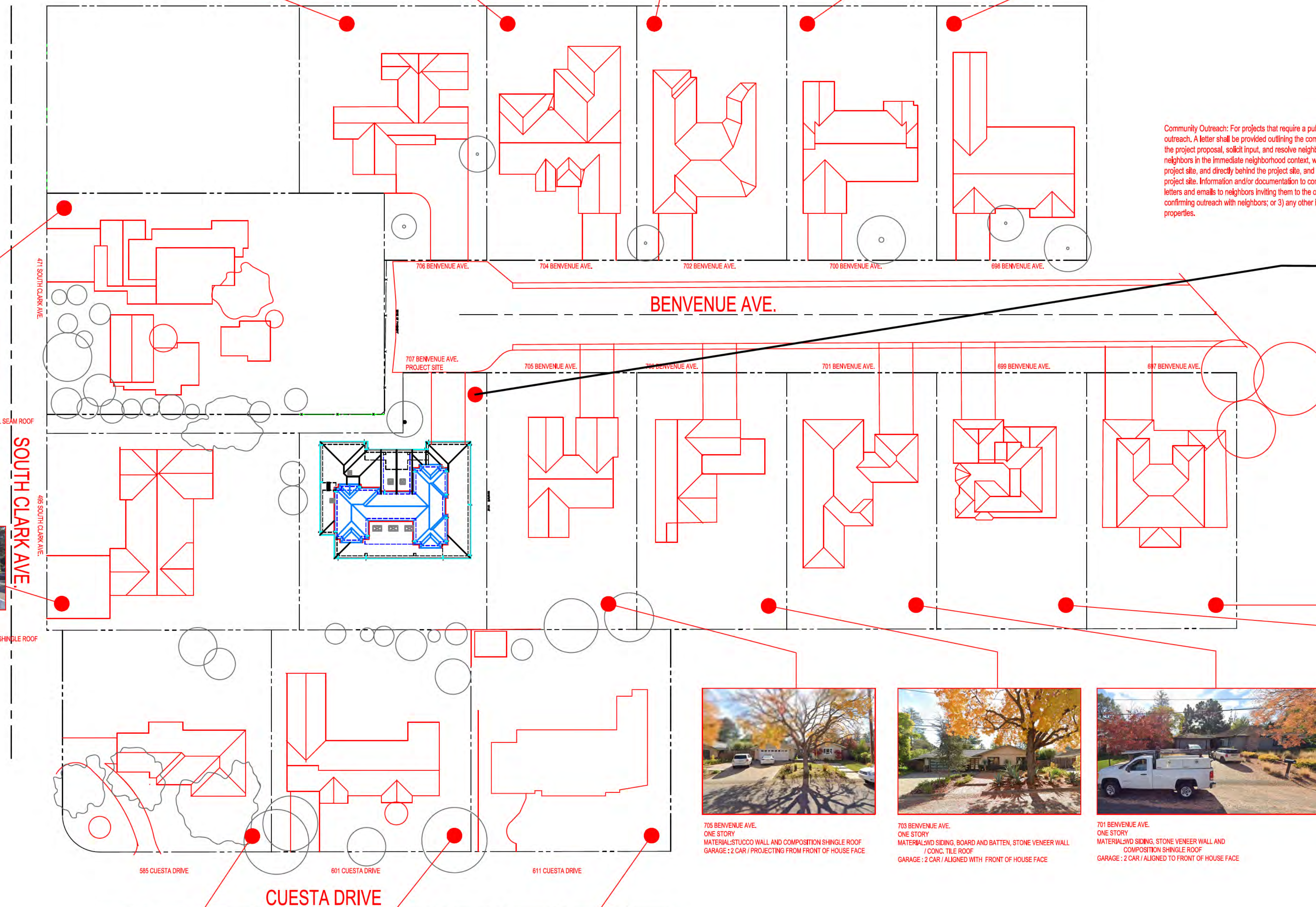
702 BENVENUE AVE.
TWO STORY
MATERIAL: STUCCO & STONE VENEER WALL AND COMPOSITION SHINGLE ROOF
GARAGE: 2 CAR / PROJECTING FROM FRONT OF HOUSE FACE



700 BENVENUE AVE.
ONE STORY
MATERIAL: STUCCO AND CONCRETE TILE ROOF
GARAGE: 2 CAR / PROJECTING FROM FRONT OF HOUSE FACE



700 BENVENUE AVE.
ONE STORY
MATERIAL: BOARD AND BATTEN WALL AND COMPOSITION SHINGLE ROOF
GARAGE: 2 CAR / PROJECTING FROM FRONT OF HOUSE FACE



Community Outreach: For projects that require a public hearing, provide documentation of neighborhood outreach. A letter shall be provided outlining the community outreach conducted with neighbors to distribute the project proposal, solicit input, and resolve neighbor concerns. Community outreach shall occur with neighbors in the immediate neighborhood context, which is the two contiguous houses on either side of the project site, and directly behind the project site, and the five to six houses directly across the street from the project site. Information and/or documentation to confirm outreach with neighbors may include: 1) copies of letters and emails to neighbors inviting them to the outreach meeting; 2) correspondence with neighbors confirming outreach with neighbors; or 3) any other information that confirms outreach to the above listed properties.



471 SOUTH CLARK AVENUE
ONE STORY
MATERIAL: STUCCO, WD SIDING WALL AND STANDING METAL BEAM ROOF
GARAGE: 2 CAR / RECESSED FROM HOUSE FRONT FACE



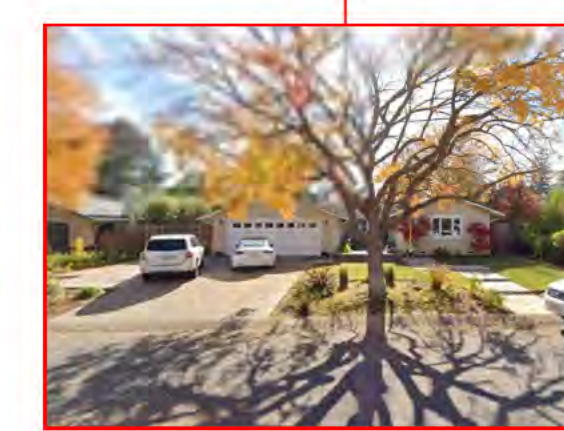
466 SOUTH CLARK AVENUE
ONE STORY
MATERIAL: STUCCO, WD SIDING WALL AND COMPOSITION SHINGLE ROOF
GARAGE: 2 CAR / RECESSED FROM HOUSE FRONT FACE



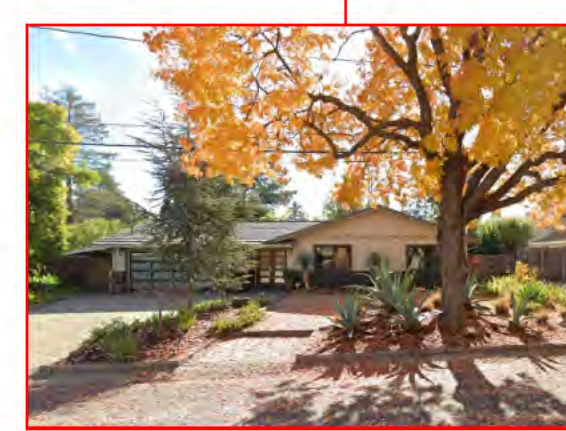
707 BENVENUE AVE.
PROJECT SITE EXISTING



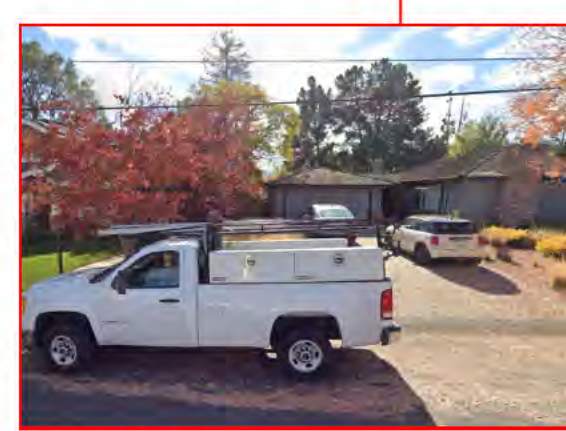
707 BENVENUE AVE.
PROJECT SITE PROPOSED



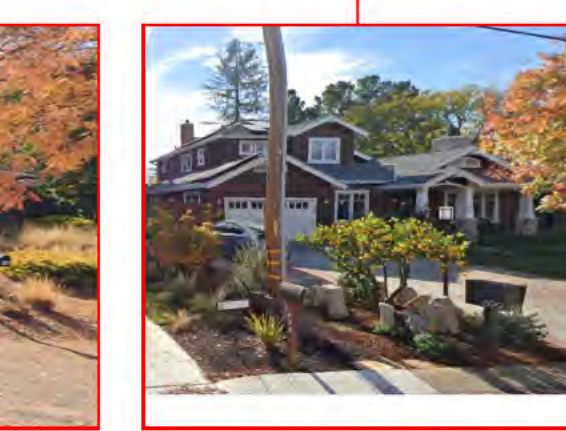
705 BENVENUE AVE.
ONE STORY
MATERIAL: STUCCO WALL AND COMPOSITION SHINGLE ROOF
GARAGE: 2 CAR / PROJECTING FROM FRONT OF HOUSE FACE



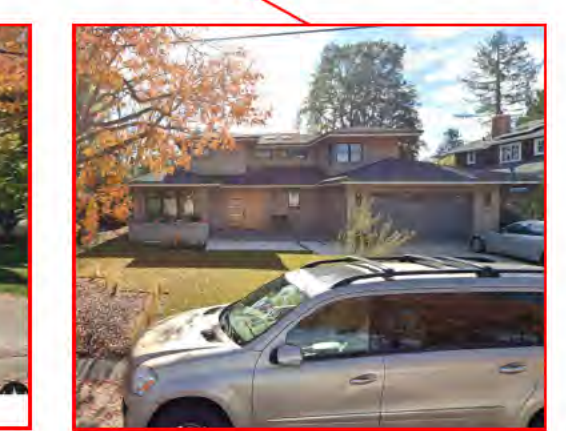
703 BENVENUE AVE.
ONE STORY
MATERIAL: WD SIDING, BOARD AND BATTEN, STONE VENEER WALL / CONC. TILE ROOF
GARAGE: 2 CAR / ALIGNED WITH FRONT OF HOUSE FACE



701 BENVENUE AVE.
ONE STORY
MATERIAL: WD SIDING, STONE VENEER WALL AND COMPOSITION SHINGLE ROOF
GARAGE: 2 CAR / ALIGNED TO FRONT OF HOUSE FACE



699 BENVENUE AVE.
TWO STORY
MATERIAL: WD SIDING, STONE VENEER WALL AND COMPOSITION SHINGLE ROOF
GARAGE: 2 CAR / PROJECTING FROM FRONT OF HOUSE FACE



697 BENVENUE AVE.
TWO STORY
MATERIAL: STUCCO WALL AND COMPOSITION SHINGLE ROOF
GARAGE: 2 CAR / PROJECTING FROM FRONT OF HOUSE FACE



806 CUESTA DRIVE
ONE STORY
MATERIAL: STUCCO WALL AND COMPOSITION SHINGLE ROOF
HORSESHOE DRIVEWAY - NO COVERED GARAGE



801 CUESTA DRIVE
ONE STORY
MATERIAL: STUCCO WALL AND COMPOSITION SHINGLE ROOF
GARAGE: 2 CAR / RECESSED FROM HOUSE FRONT FACE



811 CUESTA DRIVE
ONE STORY
MATERIAL: STUCCO WALL AND TPO FLAT ROOF
GARAGE: 2 CAR / RECESSED FROM HOUSE FRONT FACE

CONTEXTUAL SITE PLAN

SCALE: $\frac{1}{32}'' = 1'-0''$



MABAD
SIGNATURE

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LOS ALTOS, CA 94024

PROPERTY OWNERS
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ASSESSOR PARCEL NO.
193-38-019

REV #	DATE	COMMENT BY:
1	06-26-24	PLANNING-C1
2	09-08-24	PLANNING-C2

DATE: 03-01-24
JOB NO.: A-24001
SCALE: AS NOTED
DRAWN BY: MA
CHECKED BY: MSD

CONTENT:

CONTEXTUAL SITE PLAN

SHEET NUMBER

A-2.1

APPROVAL STAMP



Mabad
SIGNATURE

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ASSESSOR PARCEL NO.

193-38-019

REVISIONS BY:

REV # DATE COMMENT BY:

06-26-24 PLANNING-C1

09-26-24 PLANNING-C2

DATE: 03-01-24

JOB NO.: A-2401

SCALE: AS NOTED

DRAWN BY: MA

CHECKED BY: MSD

CONTENT:

SITE IMPROVEMENT PLAN

SHEET NUMBER

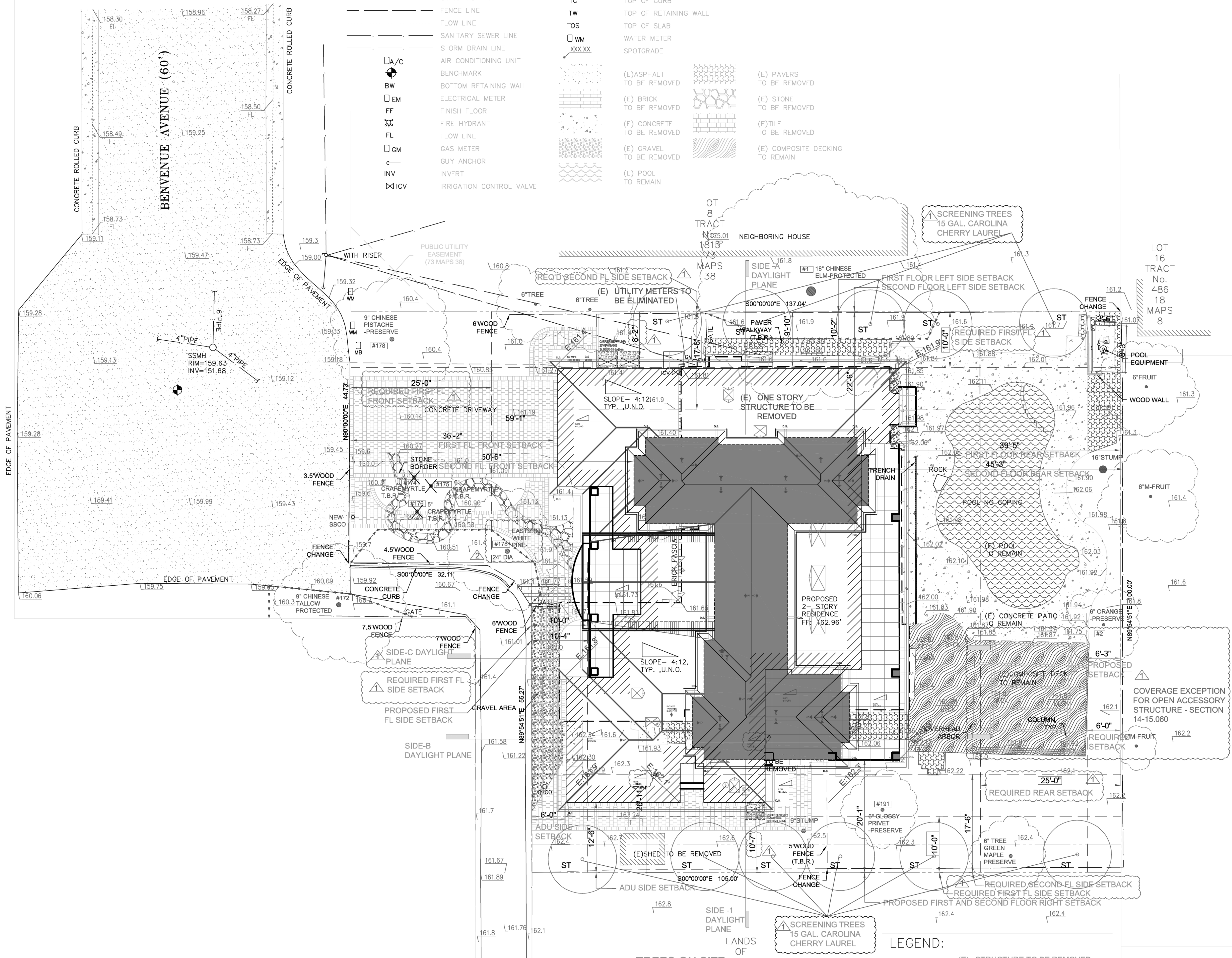
A-2.2

APPROVAL STAMP

LEGEND AND NOTES

- BOUNDARY LINE
- - - BUILDING OVERHANG LINE
- ELECTRICAL LINE
- OVERHEAD LINE
- ELECTRICAL/TELEPHONE/CABLE TV OVERHEAD LINE
- TELEPHONE/CABLE TV OVERHEAD LINE
- FENCE LINE
- FLOW LINE
- SANITARY SEWER LINE
- STORM DRAIN LINE
- AIR CONDITIONING UNIT
- BENCHMARK
- BOTTOM RETAINING WALL
- ELECTRICAL METER
- FINISH FLOOR
- FIRE HYDRANT
- FLOW LINE
- GAS METER
- GUY ANCHOR
- INVERT
- IRRIGATION CONTROL VALVE
- JOINT POLE
- MAILBOX
- MULTI-TRUNK TREE
- PILLAR, OR SIMILAR
- ROOF PEAK
- SANITARY SEWER CLEAN-OUT
- SANITARY SEWER MAINTENANCE HOLE
- TOP OF CURB
- TOP OF RETAINING WALL
- TOP OF SLAB
- WATER METER
- SPOTGRADE

- (E) ASPHALT TO BE REMOVED
- (E) BRICK TO BE REMOVED
- (E) CONCRETE TO BE REMOVED
- (E) GRAVEL TO BE REMOVED
- (E) POOL TO REMAIN
- (E) PAVERS TO BE REMOVED
- (E) STONE TO BE REMOVED
- (E) TILE TO BE REMOVED
- (E) COMPOSITE DECKING TO REMAIN

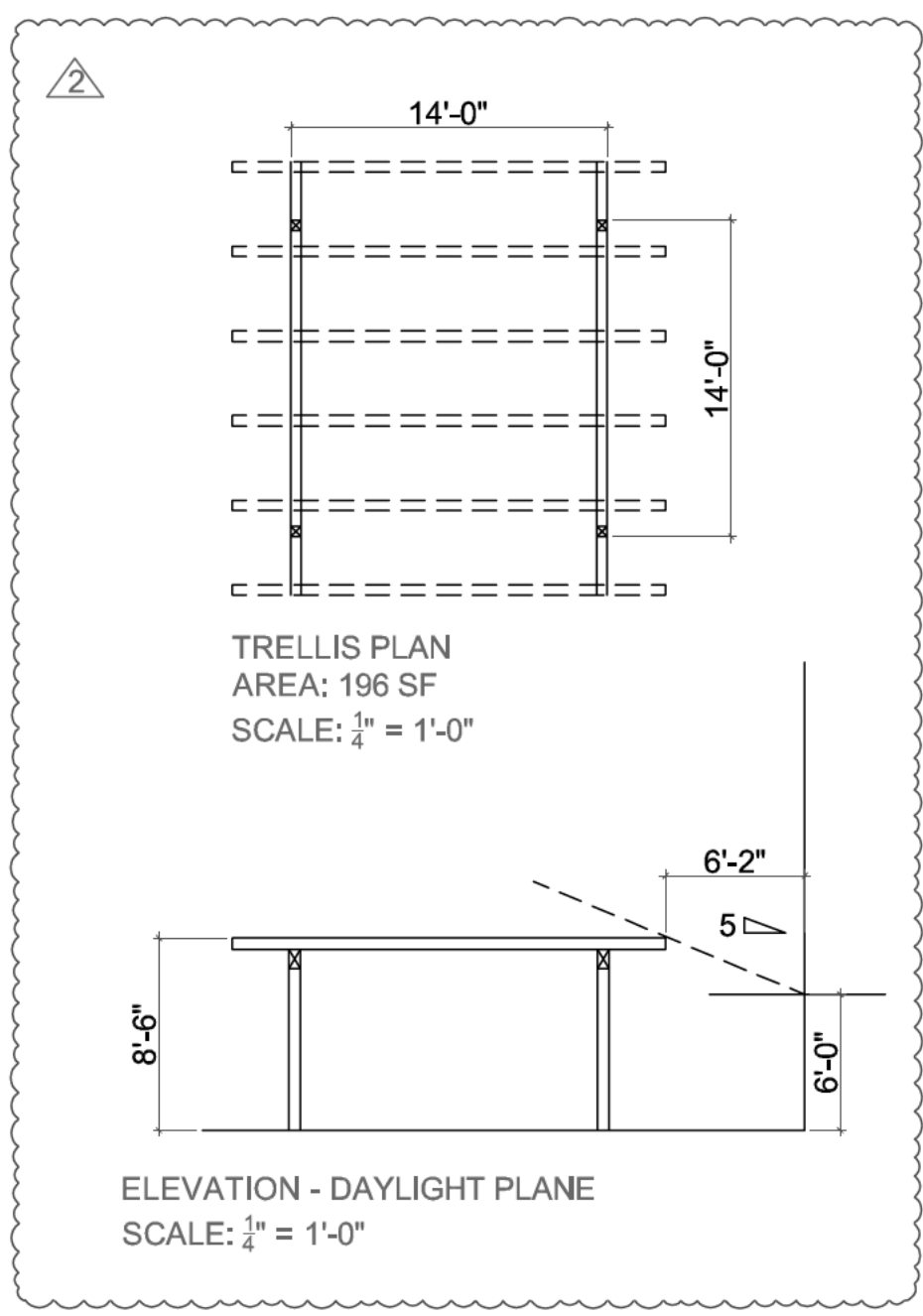


SITE IMPROVEMENT PLAN
SCALE: 1/8" = 1'-0"

TREES ON SITE

#	SIZE	DESCRIPTION	STATUS	PRESERVE	REMOVE
1	18" DIA	CHINESE ELM	PROTECTED	●	
2	4" DIA	ORANGE	NOT PROTECTED		●
172	9" DIA	CHINESE TALLOW	STREET	●	
173	10"	CHINESE PISTACHE	NOT PROTECTED		●
174	3"	CRAPEMYRTLE	NOT PROTECTED		●
175	6"	CRAPEMYRTLE	NOT PROTECTED		●
176	5"	CRAPEMYRTLE	NOT PROTECTED		●
178	24"	EASTERN WHITE PINE	PROTECTED	●	
191	6"	GLOSSY PRIVET	NOT PROTECTED		●
192	6"	GREEN MAPLE	NOT PROTECTED		●

- LEGEND:**
- (E) STRUCTURE TO BE REMOVED
 - NEW STRUCTURE - FIRST FLOOR BLDG FOOTPRINT
 - NEW STRUCTURE - SECOND FLOOR BLDG FOOTPRINT
 - NEW FIRST FLOOR COVERED PORCH/PATIO
 - REQUIRED PROTECTION FENCE



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SANTA CLARA COUNTY FIRE DEPARTMENT
1810 Woodward Blvd., Los Altos, CA 94024 | (415) 948-2000 | www.sccfd.com

STANDARD DETAILS & SPECIFICATIONS
SUBJECT: Specifications for Driveways, Turnarounds and Turn Out Servicing up to Two (2) Single Family Dwellings
Spec No: D-1
Rev. Date: 04/22/21
Rev. Date: 05/26/21
Approved By: [Signature]
Page 1 of 4

SCOPE
This standard is applicable to driveways serving up to two (2) single family dwellings where any portion of the driveway is greater than 200 feet from the center line of a public roadway. The specifications contained in this standard apply only to properties located within the incorporated city services areas of the Santa Clara County Fire Department. Fire department access for dwellings in unincorporated County areas shall conform to County of Santa Clara driveway/roadway standards.

AUTHORITY
California Fire Code (C.F.C.), Applicable Municipal/Town Codes and Standards

DEFINITIONS
Driveway: A vehicular access roadway less than 20 feet in width and serving no more than two single family dwellings.
Roadway: A vehicular access roadway greater than or equal to 20 feet in width serving more than two single family dwellings.

REQUIREMENTS
I. DRIVEWAY WIDTH
A. For Campbell, Cupertino, Los Gatos, Monte Sereno, and Los Altos Hills: A 12-foot-wide paved surface.
B. For Los Altos: A 14-foot-wide paved surface.
C. For Saratoga: A 14-foot-wide paved surface.

II. VERTICAL CLEARANCE
A. The vertical clearance above the entire length of the driveway shall be in accordance with the C.F.C., 13 feet 6 inches.

III. GRADE
NOTE: When approved by the Fire Code official, grades up to 20% may be allowed. In no case shall the portion of driveway exceeding 15% gradient be longer than 300 feet in length. For longer driveways, there shall be at least 100-foot of driveway at 15% or less gradient between each 300-foot section that exceeds 15%.

IV. GATES
The installation of gates or other barricades across driveways shall comply with Santa Clara County Fire Department's Standard G-1.

V. PAVEMENT SURFACE
Driveways shall be an all-weather surface of either asphalt, concrete or another engineered surface acceptable to the fire department. The surface shall be approved by a civil engineer and be able to support apparatus weighing at least 75,000 pounds.
NOTE: For alternative roadway surfaces such as "Turf Block" or other materials that blend into landscaping and/or that do not readily appear to be driving surfaces, the boundary edges of the alternative material shall be delineated as approved by the fire code official. Delineation shall be by concrete curbs, borders, posts, or other means that clearly identify the location and extent of the driving surface.

VI. BRIDGES AND CULVERTS
A. Where a bridge or an elevated surface is part of a fire apparatus access road, the bridge shall be constructed and maintained in accordance with AASHTO HB-17.
B. All bridges, elevated surfaces and culverts shall be designed for a live load sufficient to carry the imposed load of a fire apparatus weighing at least 75,000 pounds. Vehicle load limits shall be posted at the entrance to the bridge. Additional signs may be required by the fire code official. Where elevated surfaces designed for emergency vehicle use are adjacent to surfaces which are not designed for such use, approved barriers, approved signs or both shall be installed and maintained when required by the fire code official.

III. TURNAROUNDS:
Turnarounds are required for all driveways with a length in excess of 150 feet.

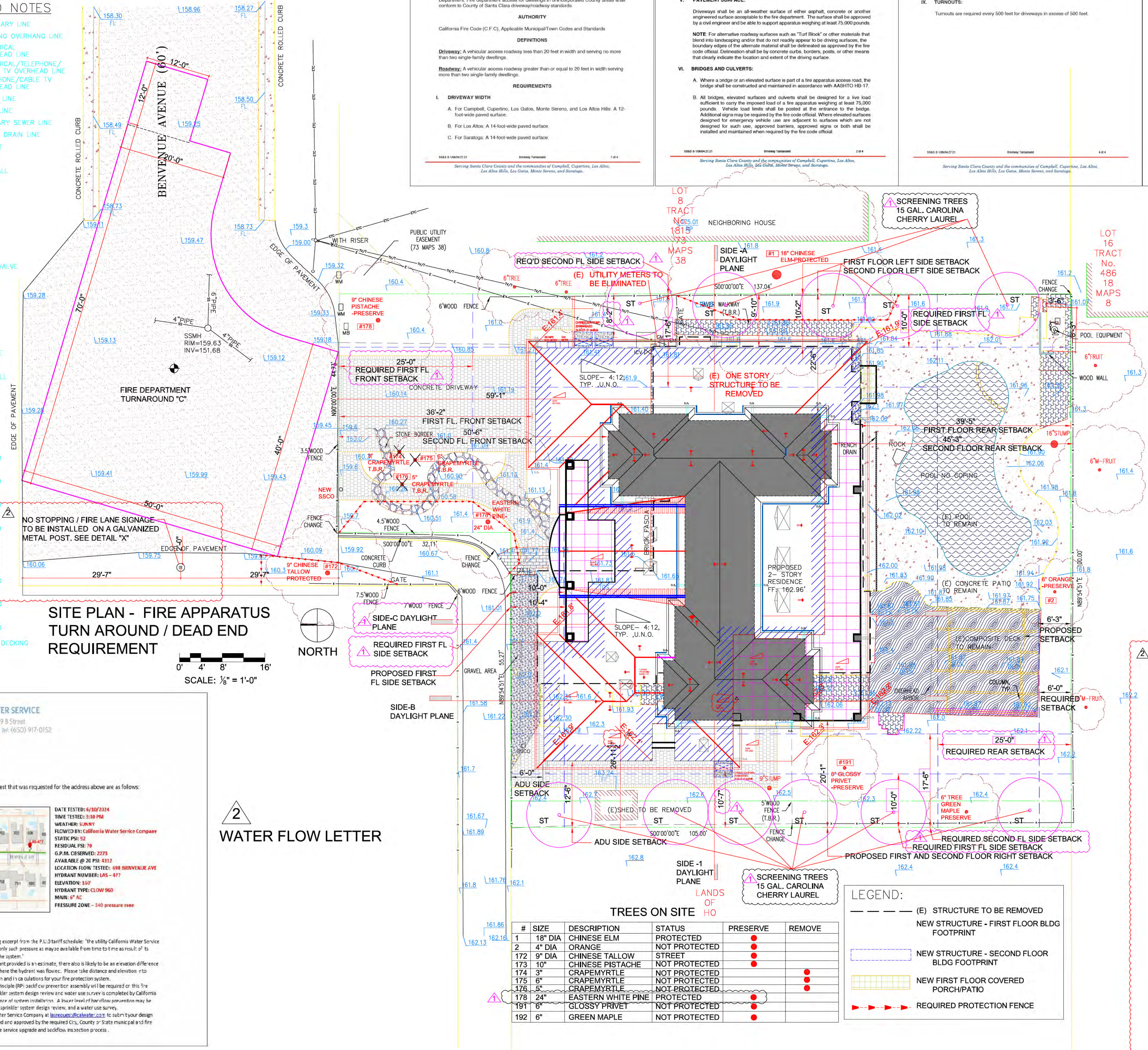
VI. ANGLES OF APPROACH AND DEPARTURE:
For driveways sloping upward from the access roadway, the angles of approach and departure shall be as approved by the fire code official.

VIII. TURNING RADIUS:
The minimum outside turning radius is 40 feet, unless otherwise specified.
Exception: Modified turning radius may be allowed by the fire code official in cases where conditions acceptable under the CFC allow for such deviation. Requests for such modifications must be made in writing to the fire code official for review.

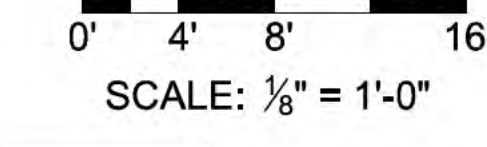
IX. TURNOUTS:
Turnouts are required every 500 feet for driveways in excess of 500 feet.

LEGEND AND NOTES

- BOUNDARY LINE
- BUILDING OVERHANG LINE
- ELECTRICAL OVERHEAD LINE
- ELECTRICAL/TELEPHONE/CABLE TV OVERHEAD LINE
- TELEPHONE/CABLE TV OVERHEAD LINE
- FENCE LINE
- FLOW LINE
- SANITARY SEWER LINE
- STORM DRAIN LINE
- A/C AIR CONDITIONING UNIT
- BENCHMARK
- BW BOTTOM RETAINING WALL
- EM ELECTRICAL METER
- FF FINISH FLOOR
- FH FIRE HYDRANT
- FL FLOW LINE
- GM GAS METER
- GUY ANCHOR
- INV INVERT
- ICV IRRIGATION CONTROL VALVE
- JOINT POLE
- MB MAILBOX
- M MULT-TRUNK TREE
- P PILLAR, OR SIMILAR
- RP ROOF PEAK
- SSCO SS CLEAN-OUT
- SSMH SS MAINTENANCE HOLE
- TC TOP OF CURB
- TW TOP OF RETAINING WALL
- TOS TOP OF SLAB
- WM WATER METER
- XXXX SPOTGRADE
- (E) ASPHALT TO BE REMOVED
- (E) BRICK TO BE REMOVED
- (E) CONCRETE TO BE REMOVED
- (E) GRAVEL TO BE REMOVED
- (E) POOL TO REMAIN
- (E) PAVERS TO BE REMOVED
- (E) STONE TO BE REMOVED
- (E) TILE TO BE REMOVED
- (E) COMPOSITE DECKING TO REMAIN



SITE PLAN - FIRE APPARATUS TURN AROUND / DEAD END REQUIREMENT



CALIFORNIA WATER SERVICE
Los Altos District 949 B Street
Los Altos, CA 94024 Tel: (650) 917-0152

LING BUSCHER
707 BENVENUE AVE
LOS ALTOS, 94024

The results of the fire flow test that was requested for the address above are as follows:



- NOTES:**
- stated in the following excerpt from the P.U.D. tariff schedule: "the utility California Water Service Company will supply only such pressure as may be available from time to time as a result of normal operation of the system."
 - The elevation at hydrant provided is an estimate; there also is likely to be an elevation difference from your case to where the hydrant was flowed. Please take distance and elevation into consideration in design and in calculations for your fire protection system.
 - A reduced pressure principle (RPP) backflow preventer assembly will be required on this fire service, unless a sprinkler system design review and water use survey is completed by California Water Service as a condition of system installation. A backflow preventer assembly may be permitted based on a sprinkler system design review and a water use survey.
 - Contact California Water Service Company at customerservice@calwater.com to submit your design that has been reviewed and approved by the required City, County or State municipal and fire agency as to initiate the service upgrade and backflow inspection process.

2 WATER FLOW LETTER

TREES ON SITE

#	SIZE	DESCRIPTION	STATUS	PRESERVE	REMOVE
1	18" DIA	CHINESE ELM	PROTECTED	●	
2	4" DIA	ORANGE	NOT PROTECTED		●
172	9" DIA	CHINESE TALLOW	STREET	●	
173	10"	CHINESE PISTACHE	NOT PROTECTED		●
174	3"	CRAPEMYRTLE	NOT PROTECTED		●
175	6"	CRAPEMYRTLE	NOT PROTECTED		●
176	5"	CRAPEMYRTLE	NOT PROTECTED		●
177	24"	EASTERN WHITE PINE	PROTECTED	●	
191	6"	GLASSY PRIVET	NOT PROTECTED		●
192	6"	GREEN MAPLE	NOT PROTECTED		●

- LEGEND:**
- (E) STRUCTURE TO BE REMOVED
 - NEW STRUCTURE - FIRST FLOOR BLDG FOOTPRINT
 - NEW STRUCTURE - SECOND FLOOR BLDG FOOTPRINT
 - NEW FIRST FLOOR COVERED PORCH/PATIO
 - REQUIRED PROTECTION FENCE

SIGNAGE DETAIL: DETAIL "X"
N.T.S.

GENERAL NOTES:

- Except for posts, clamps, nut and bolts, all components shall be pre-qualified. A list of pre-qualified vendors may be obtained from the T-DOIT Material Producer List web page. The website address is: <http://www.tdoit.com/business/producers.html>. All materials shall conform to the following:
 - 1. 1 1/2" galvanized square pipe square post
 - 2. 2" galvanized end cap
 - 3. 60,000 PSI minimum yield strength
 - 4. VMS minimum shall be 4,000
 - 5. Sign posts shall be manufactured from hot-dipped galvanized steel conforming to ASTM A563, G90 Structural Quality, Grade 50, Class L
3. Sign markings shall be the sizes and shapes shown on the plans.
4. Sign anchor nuts or sign post shall not be welded.
5. The bottom of the lowest sign shall be 70" from finished grade.
6. Anchor nuts shall be 12 gauge 8 hole 2" galvanized square tubing 30" length with the part number 795176 from Albed Tube or approved equal.
7. Parallel nut cap shall be 2" galvanized steel or stainless steel with the part number ARC200 from Albed Tube or approved equal.

ANCHOR SYSTEM INSTALLATION PROCEDURE:

- Dig foundation hole to a minimum depth of 30" and 30" if not in bedrock.
- Pour concrete into hole and it is approximately 2" from the ground. Concrete shall be Class A.
- Insert square anchor into concrete and top of socket is approximately 2" above the concrete footing.
- Place the socket above a minimum 4" deep for concrete to set, unless otherwise directed by Engineer.
- Attach the sign to the sign post.
- Insert the sign post into socket and sign post face with roadway.
- Secure post to 30" to anchor stud (12 gauge).

MSD DESIGN
ARCHITECTURE • INTERIOR DESIGN

Mabad SIGNATURE

MOBILE: 650-363-4273 WEBSITE: MNERVA-MABAD-PROJECTS@GMAIL.COM
ADDRESS: 4256 PACIFIC AVE., STE 246, STOCKTON, CA 95227 EMAIL: msd.design0821@gmail.com
PROPERTY ADDRESS: 707 BENVENUE AVENUE, LOS ALTOS, CA 94024
PROPERTY OWNERS: GEORG AND LING BUSCHER
ASSESSOR PARCEL NO.: 153-38-019
REVISIONS BY: DATE COMMENT BY:
REV # DATE COMMENT BY:
06-26-24 PLANNING-C1
08-26-24 PLANNING-C2

DATE: 03-01-24
JOB NO.: A-2401
SCALE: AS NOTED
DRAWN BY: MA
CHECKED BY: MSD
CONTENT:
SITE PLAN - FIRE DEPT REQUIREMENTS
SHEET NUMBER: A-2.3
APPROVAL STAMP:

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**FIRE DEPARTMENT
SANTA CLARA COUNTY**14700 Winchester Blvd., Los Gatos, CA 95032-1818
(408) 378-4010 • (408) 378-9342 (fax) • www.sccfd.orgInternationally Accredited
Agency**STANDARD DETAILS & SPECIFICATIONS**

SUBJECT: Construction Site Fire Safety

Spec No	SI-7
Rev. Date	04/30/09
Eff. Date	12/17/02
Approved By	_____
Page	1 of 9

SCOPE

This Standard is intended to prescribe minimum safeguards for new building construction, demolition or significant building alteration projects in order to provide a reasonable degree of safety to life and property from fire. This Standard is based on the provisions for fire safety during building construction or demolitions as set forth in the 2007 California Fire Code Chapter 14 and National Fire Protection Association Standard 241. This Standard shall not be construed to be in lieu of other applicable State or Federal laws and regulations related to construction site safety. The general contractor (or other designee of the building owner) shall be responsible for compliance with the provisions of this Standard. When the term "shall" is used in this Standard, it means a mandatory requirement.

REQUIREMENTS**I. Fire Protection Plan**

A written Fire Protection Plan shall be developed for significant or complex construction projects at the discretion of the fire department. The plan shall be approved by the fire department prior to proceeding past foundation work for new buildings or commencement of demolition work in alteration projects. The written plan shall be consistent with the fire safety precautions as specified in this Standard. The general contractor is responsible for carrying out the provisions of the Fire Protection Plan and communicating it to all subcontractors. Additionally, the Fire Marshal shall be notified of any change affecting the utilization of information contained in the Fire Protection plan. The Fire Protection Plan shall include the following:

- A. Procedures for reporting emergencies to the Fire department.
- B. Procedures for emergency notification, evacuation and/or relocation of all persons in the building under construction and on the site.
- C. Procedures for hot work operations, management of hazardous materials and removal of combustible debris and maintenance of emergency access roads.
- D. Floor plans identifying the locations of exits, exit stairs, exit routes and portable fire extinguishers.
- E. Site plans identifying the designated exterior assembly areas for each evacuation route.
- F. Site plans identifying required fire apparatus access roadways and on-site fire hydrants.

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*Serving Santa Clara County and the communities of Campbell, Cupertino, Los Altos, Los Altos Hills, Los Gatos, Monte Sereno, Morgan Hill, and Saratoga.***IV. Means of Egress Requirements**

A. **Minimum number of Exits:** All new buildings under construction shall have a least one unobstructed exit. All exits shall be identified on the Fire Protection Plan.

B. **Multi-Story Buildings:** Each level above the first story in new multi-story buildings shall be provided with at least two usable exit stairs after the floor decking is installed. The stairways shall be continuous and discharge to grade level. Stairways serving more than two floor levels shall be enclosed (with openings adequately protected) after exterior walls/windows are in place. Exit stairs in new and in existing, occupied buildings shall be lighted and maintained clear of debris and construction materials at all times.

Exception: For new multi-story buildings, one of the required exit stairs may be obstructed on not more than two contiguous floor levels for the purposes of stairway construction (i.e., installation of gypsum board, painting, flooring, etc.).

C. **Assembly Points:** Designated exterior assembly points shall be established for all construction personnel to relocate to upon evacuation. The assembly points shall also be identified in the Fire Protection Plan.

V. Area Separation Walls

When area separation walls are required, the wall construction shall be completed (with all openings protected) immediately after the building is sufficiently weather-protected at the location of the wall(s).

VI. Special Operation Requirements

A. **Hot Works:** Hot work includes any work involving operations capable of initiating fires or explosions, including cutting, welding, brazing, soldering, grinding, thermal spraying, thawing pipe, torch applied roofing, or any other similar activity. The use of hot work equipment shall be in accordance with the following guidelines, including a pre-site inspection, fire watch and post inspection procedures.

- 1. **Pre-site Inspection:** An inspection of the hot work site shall be conducted by the General Contractor or his/her designee prior to hot work operations to ensure:

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- G. The name and contact phone number of the person(s) responsible for compliance with the Fire Protection Plan.

II. General Safety Requirements

A. **Fire Department Access Roadways:** All construction sites shall be accessible by fire department apparatus by means of roadways having an all-weather driving service of not less than 20ft. of unobstructed width. The roads shall have the ability to withstand the live loads of fire apparatus and have a minimum 13ft. 6 in. of vertical clearance. Dead end fire access roads in excess of 150 ft. in length shall be provided with approved turnarounds.

When approved by the Chief, temporary access roadways may be utilized until such time that the permanent roadways are installed. As a minimum, the roadway shall consist of a compacted sub base and six (6) inches of road base material (Class 2 aggregate base rock) both compacted to a minimum 95%. The perimeter edges of the roadway shall be contained and delineated by curb and gutter or other approved method. The use of geotextile reinforcing fabric underlayment or soils lime-treatment may be required if so determined by the project civil engineer. Provisions for surface drainage shall also be provided where necessary. The integrity of the roadway shall be maintained at all times.

Key boxes: Key boxes and/or approved padlocks shall be required when necessary for access through locked gates or structures.

B. **Fire hydrants:** Where underground water mains and hydrants are required for the building(s) under construction, they shall be installed, completed, and in service prior to combustible construction materials accumulating on site.

C. **Telephone service:** Provisions shall be provided at the construction site for emergency notification of the fire department via telephone. The street address of the construction site shall be posted adjacent to the telephone, along with the number for the public safety answering point.

D. **Premises identification:** The address numbers of the property or project location shall be plainly visible and legible from the street or road fronting the property at the fire apparatus access point or as otherwise approved.

E. **Combustible debris:** Wood, cardboard, packing material, form lumber and similar combustible debris shall not be accumulated within buildings. Such debris, rubbish and waste material shall be removed from buildings on a daily basis.

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- F. **Oily rags:** Oily rags and similar material shall be stored in metal or other approved containers equipped with tight-fitting covers.

G. **Temporary heating equipment:** Temporary heaters, such as those that are LPG fueled, shall be listed and shall be installed, used, and maintained in accordance with the manufacturer's instructions (See LPG storage and use requirements below). Heating devices shall be secured properly and kept clear from combustible materials. Refueling operations shall be conducted in an approved manner.

H. **Smoking:** Smoking is prohibited anywhere inside or on the roof of new buildings under construction or in the project work area of buildings undergoing alteration. A suitable number of "No Smoking" signs shall be posted to ensure that smoking is controlled.

I. **Vehicle parking:** All vehicles shall be parked a minimum of 20 feet from new buildings under construction.

- Exceptions:**
 - 1. Vehicles that are temporarily parked for loading/unloading or other construction related operations. Such vehicles shall not be left unattended.
 - 2. Private vehicles may be parked in parking garages of Type I construction if the automatic fire sprinkler system is in service and vertical openings are protected.

J. **Combustible material storage:** Combustible construction materials shall be stored a minimum of 20 feet from buildings under construction or undergoing remodel.

- Exceptions:**
 - 1. Materials that are staged for installation on a floor level.
 - 2. When approved by the Fire Department, materials may be stored in parking garages of Type I construction if the automatic fire sprinkler system is in service and vertical openings are protected.

III. Fire Protection Systems

A. **Fire Sprinkler Systems:** Where automatic fire sprinkler systems are required to be installed in new buildings, the system shall be placed in service as soon possible. Immediately upon the completion of sprinkler pipe installation on each floor level, the piping shall be hydrostatically tested and inspected. After inspection approval from the Fire department, each floor level of sprinkler piping shall be connected to the system supply riser and placed into service with all sprinkler heads uncovered. Protective caps may be

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- 3) Equipment shall not be refueled while in operation.
- 4) Fuel for equipment shall be stored in an approved area outside of the building.

(Ref: CFC Articles 87 & 13 – also 49, 79 and 11)

VII. Hazardous Materials

A. **Liquefied Petroleum Gas (LP-Gas)** - Storage and use shall comply with the following:

- 1. Propane containers may be used in buildings under construction or undergoing major renovation as a fuel source for temporary heating for curing concrete, drying plaster and similar applications in accordance with the following:
 - (a) Heating elements (other than integral heater-container units) shall be located at least 6 feet from any LP-Gas container.
 - (b) Integral heater-container units specifically designed for the attachment of the heater to the container, or to a supporting standard attached to the container, may be used provided they are designed and installed so as to prevent direct or radiant heat application to the LP-Gas container.
 - (c) Blower and radiant type units shall not be directed toward any LP-Gas container within 20 feet.
 - (d) Heat producing equipment shall be installed with clearance to the combustibles in accordance with the manufacturer's installation instructions.
 - (e) Cylinders shall comply with DOT cylinder specifications and shall be secured in an upright position.
 - (f) Regulators shall be approved for use with LP-Gas. Fittings shall be designed for at least 250 psig service pressure.
 - (g) Hoses shall be designed for a working pressure of at least 350 psig (unless limited to 5 psig) and shall be a maximum of 6 feet in length.
 - (h) Portable heaters shall be equipped with an approved automatic device to shut off the flow of gas to the main burner and to the pilot in the event of flame extinguishment or combustion failure. Portable heaters with an input of more than 50,000 Btu/hr shall be equipped with either a pilot that must be proved before the main burner can be turned on or an approved electronic ignition system.

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installed on the active sprinklers during the installation of drywall, texturing and painting, but shall be removed immediately after this work is completed. For system activation notification, an exterior alarm bell can be installed and connected to the sprinkler waterflow device prior to installation of the monitoring system.

For buildings equipped with fire sprinkler systems that are undergoing alterations, the sprinkler system(s) shall remain in service at all times except when system modifications are necessary. Fire sprinkler systems undergoing modifications shall be returned to service at the end of each workday unless otherwise approved by the fire department. The General contractor or his/her designee shall check the sprinkler control valve(s) at the end of each workday to confirm that the system has been restored to service.

B. **Standpipes:** Where standpipes are required, the standpipes shall be installed when the progress of construction is not more than 35 ft. in height above the lowest level of the fire department access. Standpipes shall be provided with fire department hose connections and outlets at accessible locations adjacent to usable stairs. The standpipe system shall be extended as construction progresses to within one floor of the highest point of construction having secured decking or flooring. Each floor shall be provided a 2 1/2-inch valve outlet for fire department use. Where construction height requires installation of a Class III standpipe, fire pumps and water main connections shall be provided to serve the standpipe.

C. **Fire Extinguishers:** Portable fire extinguishers shall be provided and shall be mounted on a wall or post at each usable stairway and such that the travel distance to any extinguisher does not exceed 75 ft. Mounting height to the top of the extinguisher shall not exceed 5 feet. Extinguishers shall not have less than a 2A10BC rating or as otherwise directed by the fire department. The general contractor shall ensure that an adequate number of individuals are trained in the proper use of portable fire extinguishers. Fire extinguishers shall also be located in storage sheds and contractor trailers.

D. **Fire Alarm Systems:** Fire alarm systems shall be maintained operational at all times during building alterations. When an alteration requires modification to a portion of the fire alarm system, the portion of the system requiring work shall be isolated and the remainder of the system shall be kept in service whenever practical. When it is necessary to shut down an entire fire alarm system a fire watch or other mitigation approved by the fire department shall be implemented by the general contractor until the system is returned to full service.

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- 2. In addition to the above, for LPG storage/use in buildings undergoing alteration and that are fully or partially occupied, the following shall also apply:

- (a) Specific approval must be obtained from the fire department prior to bringing LP-Gas containers on-site.
- (b) The maximum water capacity of individual containers shall be 5-gallon water capacity and the number of containers in the building shall not exceed the number of workers assigned to using the LP-Gas.
- (c) Containers having a water capacity greater than 2 1/2 lb. [1 quart] shall not be left unattended.

H. Storage, Use and Dispensing of Flammable and Combustible Liquids

- 1. Storage areas for flammable and combustible liquids shall be kept free of weeds and extraneous combustible material. Open flames and smoking are prohibited in flammable or combustible liquid storage areas.
- 2. Tanks and containers shall be marked with the name of the product and PLACEMARKER (UP (U) OR (D) AND (L) AWAY. Tanks/containers in excess of 60 gallons) shall also be labeled K (LP 50 (11)) FROM BUILDINGS.
- 3. Metal containers for Class I or II liquids shall be in accordance with DOT requirements or shall be of an approved design. Discharge devices shall not cause an internal pressure on the container. Individual containers shall not be interconnected and shall be kept closed when not in use.
- 4. Secondary containment or a means of spill control, drainage control, and diking is required for large containers (such as 55 gallon drums) and tanks as approved by the fire department.
- 5. Plans for the installation/use of any aboveground storage tank (containers greater than 60 gallons) shall be submitted to the fire department for review and permit prior to the proposed tank arriving at the site.

C. Compressed Gases

- 1. Gas cylinders shall be marked with the name of the contents.
- 2. Gas cylinders shall be stored upright and secured to prevent falling.
- 3. When not in use, valve protective caps shall be in place.
- 4. Gas cylinders shall be protected against physical damage.
- 5. When stored, gas cylinders shall be separated from each other based on their hazard classes.
- 6. Combustible materials shall be kept a minimum of 10 feet from gas containers.
- 7. Gas cylinders shall not be placed near elevators, unprotected platform edges or other areas where they would drop more than 2 feet.

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Serving Santa Clara County and the communities of Campbell, Cupertino, Los Altos, Los Altos Hills, Los Gatos, Monte Sereno, Morgan Hill, and Saratoga.**Mabad** REGISTERED ARCHITECT
SIGNATUREMOBILE: 650-365-6273 WEBSITE: MINERVA-MABAD-PROJECTS@SQUARESPACE.COM
ADDRESS: 4266 PACIFIC AVE., STE 248, STOCKTON, CA 95207 E-MAIL: mbad.design0821@gmail.com**PROPERTY ADDRESS**707 BENAVENUE AVENUE
LOS ALTOS, CA 94024**PROPERTY OWNERS**

GEORG AND LING BUSCHER

ASSESSOR PARCEL NO.

193-38-019

REVISIONS BY:

REV #	DATE	COMMENT BY:
1	06-26-24	PLANNING-C1

DATE

03-01-24

JOB NO.

A-24001

SCALE:

AS NOTED

DRAWN BY:

MA

CHECKED BY:

MSD

CONTENT:FIRE DEPT
STANDARD
DETAILS AND
SPECIFICATIONS**SHEET NUMBER**

A-2.4

APPROVAL STAMP



MABAD ARCHITECTURE SIGNATURE

MOBILE: 650-353-0273 WEBSITE: MINEVA-MABAD-PROJECTS@SQUARESPACE.COM
ADDRESS: 4266 PACIFIC AVE., STE 2-8, STOCKTON, CA 95207 EMAIL: mab.ad@psd1@gmail.com

PROPERTY ADDRESS

707 BENIVENE AVENUE
LOS ALTOS, CA 94024

PROPERTY OWNERS

GEORG AND LING BUSCHER

ASSESSOR PARCEL NO.

193-38-019

REVISIONS BY:

DATE COMMENT BY:

06-26-24 PLANNING-C1

09-08-24 PLANNING-C2

DATE: 03-01-24

JOB NO.: A-2401

SCALE: AS NOTED

DRAWN BY: MA

CHECKED BY: MSD

CONTENT:

FIRST FLOOR PLAN

SHEET NUMBER

A-3.1

APPROVAL STAMP

1. ADDRESS IDENTIFICATION NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONT THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, WHERE REQUIRED BY THE FIRE CODE OFFICIAL. ADDRESS NUMBERS SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MINIMUM OF 6 INCHES (152.4 MM) HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 (12.7 MM). WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MARK SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS NUMBERS SHALL BE MAINTAINED. CFC Sec.595.1.

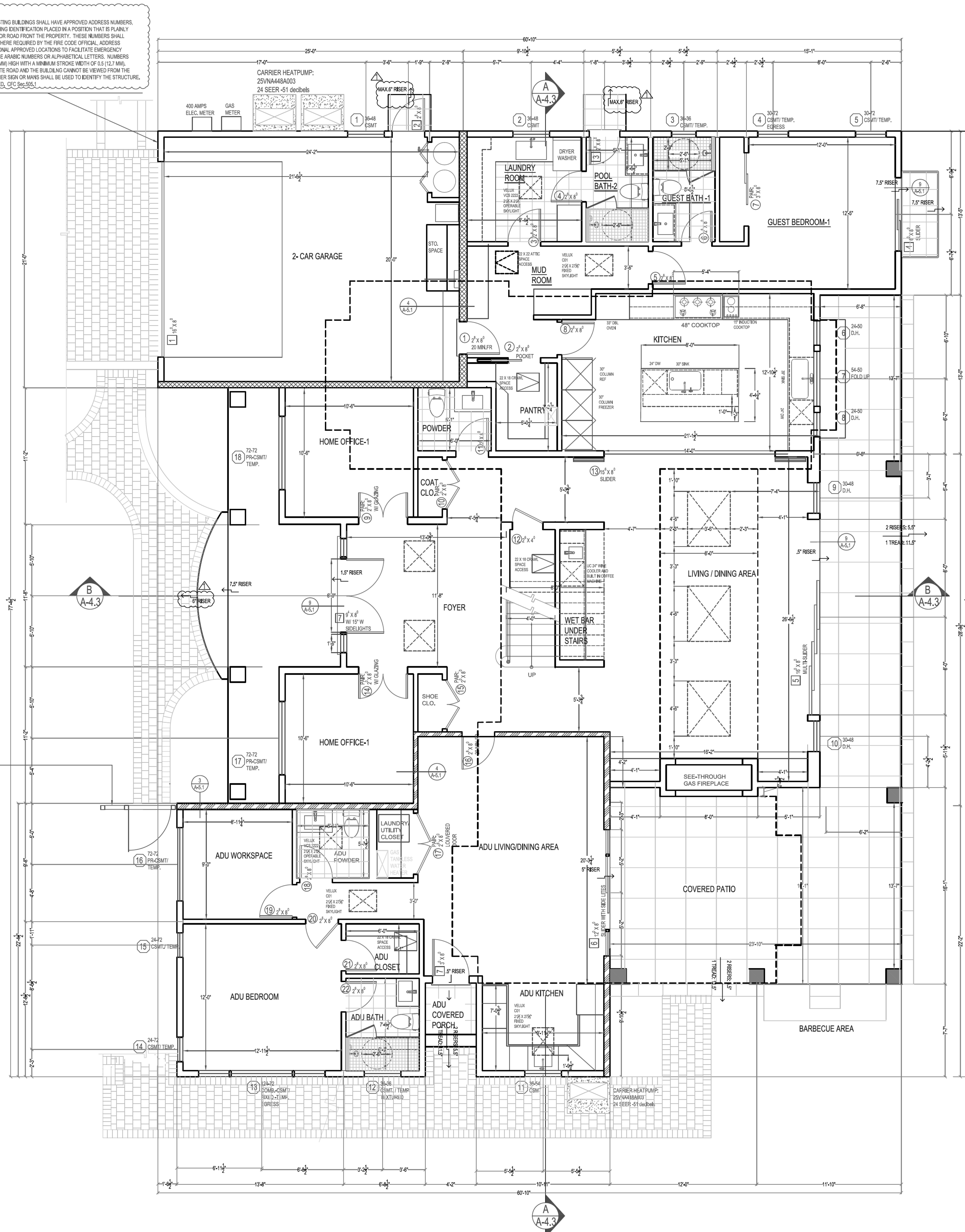
LOCATION OF ADU ADDRESS
1. ADDRESS IDENTIFICATION NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONT THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, WHERE REQUIRED BY THE FIRE CODE OFFICIAL. ADDRESS NUMBERS SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MINIMUM OF 6 INCHES (152.4 MM) HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 (12.7 MM). WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MARK SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS NUMBERS SHALL BE MAINTAINED. CFC Sec.595.1.

PLUMBING REQUIREMENTS:
Hot Water Requirements:
• The entry into a shower (including over a tub) shall be pressure balancing set at a minimum 120° F. The water heater thermostat shall have a temperature limiting device set at a maximum of 120° F. The water heater thermostat control shall be used to meet these provisions. (CFC 403.4, 409.4)
• New or reconfigured shower stalls shall be a minimum finished interior of 1.04 square inches, be capable of encompassing a 30 inch diameter circle. Any doors shall swing out of the enclosure have a clear opening of 22 inches minimum. (CFC 408.5, 408.6)
• Shower stalls and bathtubs with shower heads installed, shall have walls finished with a nonabsorbent surface for a minimum of 6 feet above the floor. (CFC 1209 and CFC R307.2)
• Hydro-massage tubs (i.e. Jacuzzi tubs) shall have access to the motor, be supplied by a GFCI protected dedicated circuit, and be listed by a recognized testing agency (i.e. UL 44 metal castles, fittings, piping, or other metal surfaces, with 5 feet of the bubble wall of the hydro-massage tub shall be properly bonded. Hydro-massage tubs shall be bonded with a minimum #8 AWG bare copper wire and the bonding shall be accessible. (CEC 680.70)
• Underlayment material used as backers for wall tile or solid surface material in tub and shower enclosures shall be glass mat/fiber-reinforced gypsum backing panels (i.e. DensShield, Dens Armor Plus), non-ventilated fiber-cement/fiber mat back board (i.e. Hardboard, cement board). All materials shall be installed in accordance with the manufacturer's recommendations. Water-resistant gypsum board (i.e. purple board) may be used when attached directly to studs, overlaid with minimum Grade B building paper and vinyl lath. The lath shall be attached to the wire lath. (CFC 2509 and CFC R702.4)
• Shower floors shall be listed with an approved shower pan or an on-site built waterproof approved listing (i.e. hot mop). On-site built shower floors shall extend a minimum of 3 inches vertically up the wall and shall be sloped 1/4" per foot to weep holes. (CFC 408.7)
• When a curb is provided at a shower, it shall be a minimum of 1 inch above the shower floor and between 2 inches and 6 inches above the top of the drain. A waterproofing flange that extends a minimum of 1 inch high shall be installed where the shower floor meets the vertical surface of the shower compartment. The finished floor of the shower compartment shall be uniformly sloped between 1/4" and 1/2" per foot toward the drain. (CFC 408.5)
• Where a curb is not provided at the shower compartment, the entire bathroom shall be considered a wet location. The flooring in the entire bathroom shall comply with the waterproofing Rev. 11-2019 requirements described above for shower floors (previous bullet) and all lighting fixtures shall be approved for wet locations.
• If building a tub next to an existing tiled wall (i.e. between apartment units or townhomes, etc.) the integrity of the tiled wall construction shall be maintained (i.e. the backing shall be installed in the wall cavity per R302.11 and R302.11.1 of the CRC and shall be constructed per CRC 302.10. The finished wall construction shall be full height from floor to ceiling, etc.)
• Laundry sinks require a minimum of 24 inches front clearance (CFC 402.5)
• Showers require a minimum 2 inch drain and trap (CFC Table 702.1)
• All piping 1/2 inch or more in diameter and all hot water pipes associated with the recirculation system shall be insulated with min. 1 inch thick insulation. Existing inaccessible piping does not require insulation (CFC 155.0/02)
• Newly installed plumbing fixtures shall be water-conserving in compliance with the California Plumbing Code and Green Building Standards. All existing plumbing fixtures not included in the scope of new work shall be replaced if necessary to comply with 2024/2022 Plumbing Fixtures Replacement requirements.

MECHANICAL REQUIREMENTS:
CLOTHES DRYERS IN CLOSETS REQUIRE A MINIMUM OF 100 CFM OF MAKEUP AIR, WHICH CAN BE SUPPLIED BY LOUVERS OR UNDERCUTTING THE DOOR (CFC 504.4.1).
Dryer ducts must be smooth-walled metal (i.e. diameter and not more than 14 feet in length, with an allowance of 2 90 degree bends in excess of 2 (CFC 504.4.2.1)
Ducts may not pass through plenums or be shared with other systems or vents. They cannot be connected with screens that penetrate the duct interior (CFC 504.4)
Dryer ducts must terminate on the building exterior in a backdraft damper. Screens or louvers cannot be installed (CFC 504.4)
Flexible transition ducts (connectors) between the dryer and the metal duct are allowed in lengths up to 6 feet and cannot be concealed within construction (CFC 504.4.2.2 exception). They must be UL listed and labeled (i.e. as dryer transition ducts, and cannot be plastic.

Water Closet Requirements:
• The water closet shall have a clearance of 30 inches wide (15 inches on center) and 24 inches in front. (CFC 402.5)
• Where the water closet (or other plumbing fixture) comes into contact with the wall or floor, the joint shall be caulked and sealed to be watertight. (CFC 402.3)
Tempered Glazing (CFC 2408.4, 2405.1 and CFC 308.1, R308.4)
Tempered glazing shall be installed in the locations listed below. Tempered glazing shall be permanently identified by a manufacturer marking that is permanently applied and cannot be removed without being destroyed (e.g. sand blasted, acid etched, ceramic fired, laser etched, or embossed).
• Within a portion of wall enclosing a tub/shower where the bottom exposed edge of the glazing is less than 60 inches above the standing surface and drain inlet.
• Within 60 inches of a tub/shower where the glazing is less than 60 inches above the walking surface.
• Glazing within 24 inches of either side of the door in the plane of the door in a closed position.
• Glazing on the hinge-side of an in-swinging door that is installed perpendicular to a door in a closed position and within 24 inches of the door.

MECHANICAL REQUIREMENTS:
Mechanical ventilation is required in all bathrooms with tubs or showers. The fan must move a minimum 50 CFM of air and be separately switched from the lighting. Fans that operate continuously can be 20 CFM. The duct must terminate on the exterior not less than 3 feet from the openings into the building (CFC 502.2.1)
Baths with no tub or shower (half baths) do not require mechanical ventilation if they are provided with a window at least 3 sq. ft. half of which is operable (CFC R302.3)



PROPOSED FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



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PROPERTY OWNERS: GEORG AND LING BUSCHER

ASSESSOR PARCEL NO.: 193-38-019

REVISIONS BY:	DATE	COMMENT BY:
REV#	06-26-24	PLANNING-C1
REV#	09-08-24	PLANNING-C2

DATE: 03-01-24
JOB NO.: A-2401
SCALE: AS NOTED
DRAWN BY: MA
CHECKED BY: MSD

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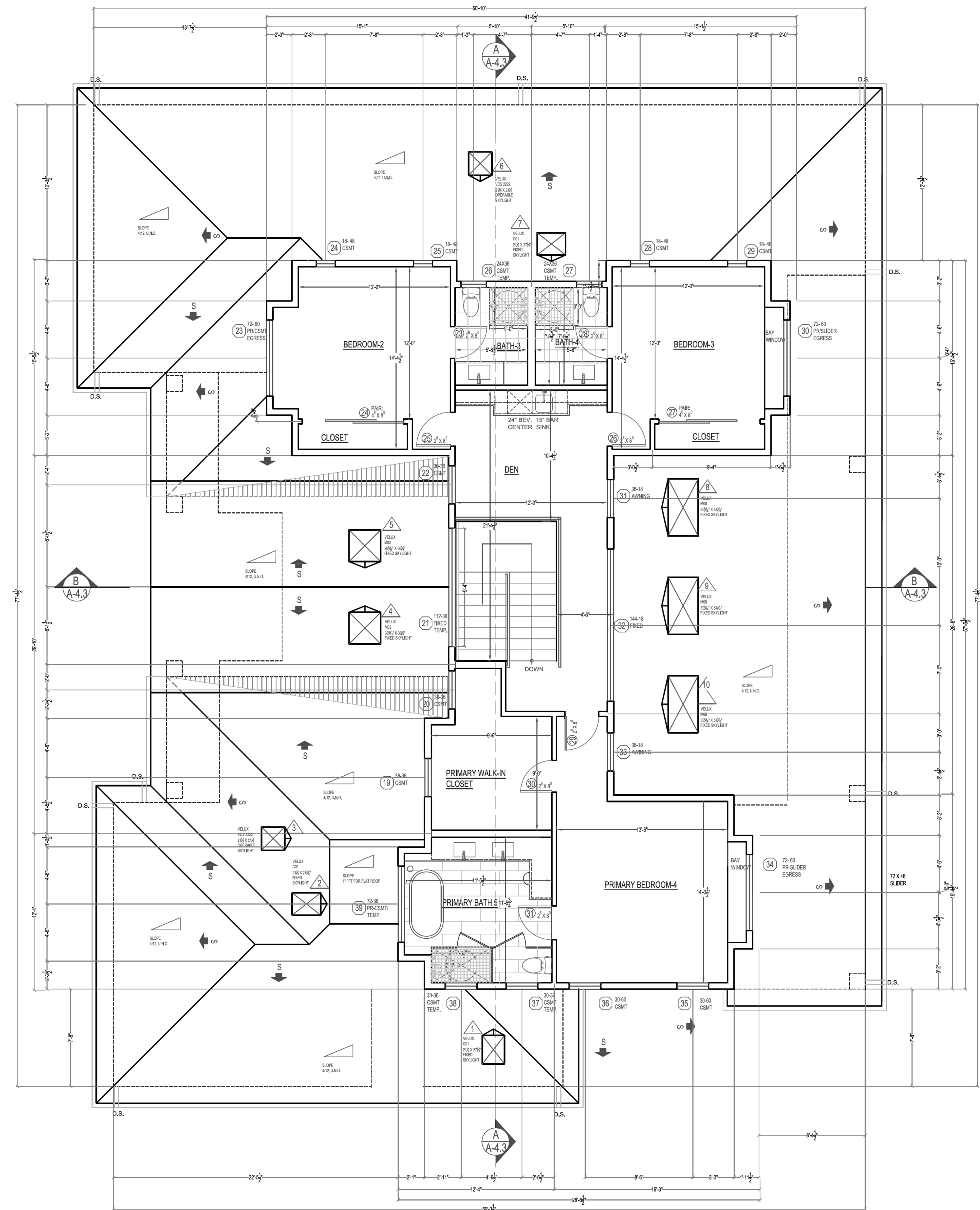
SECOND FLOOR PLAN AND FIRST FLOOR ROOF PLAN

SHEET NUMBER

A-3.2

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APPROVAL STAMP



GENERAL NOTES: PLUMBING REQUIREMENTS: LADDER REQUIREMENTS

*The main water valve in a shower (including over a tub) shall be pressure balancing set at a maximum 102°F. The water filter valve in tub/showerheads shall have a temperature limiting device set at a maximum of 120°F. The water heater thermostat cannot be used to meet these provisions. (CPC 408.3, 409.4)
*New or retrofitted shower stalls shall be a minimum finished interior of 1.024 square inches, be capable of encompassing a 30 inch diameter drain. Any doors shall swing out of the enclosure have a clear opening of 22 inches minimum. (CPC 408.5, 408.6)
*Shower stalls and bathtubs with shower heads installed, shall have walls finished with a nonabsorbent surface for a minimum of 6 feet above the floor. (CPC 1209 and CPC 1207.2)
*Hydro-massage tubs (i.e. Jacuzzi tubs) shall have access to the motor, be supplied by a GFCI protected dedicated circuit, and be listed by a recognized testing agency (i.e. UL, IAPMO, etc.)
*Underlayment material used as backers for wall tile or rock surface material in tubs and shower enclosures shall be either glass mat/interfused gypsum backing panels (i.e. DensShield, Dens Armor Plus), non-absorbent fiber-reinforced gypsum backing panels (i.e. Hardbacker, cement board). All materials shall be installed in accordance with the manufacturer's recommendations.
*Water-resistant gypsum board (i.e. purple board) may be used when attached directly to studs, covered with minimum Grade 50 building paper and wire mesh. This shall be attached to the wire mesh. (CPC 2509 and CPC 2702.4)
*Shower floors shall be lined with an approved shower pan or an on-site built waterproof approved lining (i.e. foot mat). On-site built shower linings shall extend a minimum of 3 inches vertically up the wall and shall be sloped 1/4" per foot to weep holes. (CPC 408.7)
*When a curb is provided at a shower, it shall be a minimum of 1 inch above the shower floor and between 2 inches and 8 inches above the top of the drain. A waterproofing membrane that extends a minimum of 1 inch high shall be installed where the shower floor meets the vertical surface of the shower compartment. The finished floor of the shower compartment shall be uniformly sloped between 1/4" and 1/2" per foot towards the drain. (CPC 408.8)
Where a curb is not provided at the shower compartment, the entire bathroom shall be considered a wet location. The flooring in the entire bathroom shall comply with the waterproofing floor. (CPC 1209 requirements described above for shower floors/gypsum tubs) and all lighting fixtures shall be approved for wet locations.
*If installing a tub next to an existing tiled wall/wall, i.e. between apartment units or townhomes, etc., the integrity of the tile rated wall/wall construction shall be maintained (i.e. no remodeling shall be installed in the wall/wall per R302.11 and R302.11.1 of the CBC and shall be constructed per CBC 302 Fire-Resistant Construction. Continuity of such fire-resistance-rated wall/wall shall be per R302.2.3 of the CBC. (i.e., continuity of protection shall be full height from floor to ceiling, etc.)
Lavatory sinks require a minimum of 24 inches front clearance (CPC 402.5).
Showers require a minimum 2 inch drain and trap (CPC Table 702.1)
All piping 1/2 inch or more in diameter and all hot water pipes associated with the recirculation system use be insulated with min. 1-inch thick insulation. Existing inaccessible piping does not require insulation (CPC 150.0.0.0.0)
Newly installed plumbing fixtures shall be water-conserving in accordance with the California Plumbing Code and Green Building Standards. All existing plumbing fixtures not included in the scope of new work shall be replaced if necessary to comply with SSP47 Plumbing Fixtures Replacement requirements.
Water Efficient Plumbing Fixtures (CALGreen 301.1.1, 4.03)
All plumbing fixtures (based on water efficiency) throughout the house shall meet the following table:

Plumbing Fixture	Fixture Required Water-Conserving Plumbing Fixture (Maximum Flow/Liters)
Water Closet (Toilet)	1.6 gallons/flush
Showers/bath	1.4 gallons/minute at 80 psi
Faucet, Bathroom	1.2 gallons/minute at 80 psi
Faucet, Kitchen	1.2 gallons/minute at 80 psi (aerators)

Smoke and Carbon Monoxide Alarms (CBC 907.2.10, CBC 314 and 315)
Smoke alarms shall be installed on the ceiling or wall (between 4" and 12" of the ceiling) in all sleeping rooms, each area/hallway adjacent to sleeping rooms, each story of the building, and in any basement. Smoke alarms shall be replaced 10 years after the date of manufacture listed on the alarm (if no date is listed the alarm shall be replaced). Newly installed smoke alarms shall have a 10-year battery. Carbon monoxide (CO) alarms shall be installed on the ceiling or wall (above the door header) in each area/hallway adjacent to sleeping rooms, each occupiable story, and within a bedroom if the bedroom or attached bathroom contains a fuel-burning appliance. CO alarms are not required if there is no fuel-burning appliance or fireplace in the house and where the garage is detached from the house.

Tempered Glazing (CBC 2406.4, 2403.1 and CBC 308.1, R308.4)

*Tempered glazing shall be installed in the locations listed below. Tempered glazing shall be permanently identified by a manufacturer marking that is permanently applied and cannot be removed without being destroyed (e.g. sand blasted, acid etched, ceramic fired, laser etched, or embossed).
*When a portion of wall enclosing a tub/shower where the bottom exposed edge of the glazing is less than 60 inches above the standing surface and drain flint.
*Within 60 inches of a tub/shower where the glazing is less than 60 inches above the walking surface.
*Glazing within 24 inches of either side of the door in the plane of the door in a closed position.
*Glazing on the hinge-side of an in-swinging door that is installed perpendicular to a door in a closed position and within 24 inches of the door.

MECHANICAL REQUIREMENTS:

Mechanical ventilation is required in all bathrooms with tubs or showers. The fan must move a minimum 50 CFM of air and be separately exhausted from the building. Fans that operate continuously can be 20 CFM. The duct must terminate on the exterior not less than 3 feet from the openings into the building (CAC 502.2.1)
Baths with no tub or shower (half baths) do not require mechanical ventilation if they are provided with a window at least 3 sq. ft. half of which is operable (CPC 700.3)

Water Closet Requirements

*The water closet shall have a clearance of 30 inches wide (15 inches on center) and 24 inches in height (CPC 402.5).
*When the water closet (or other plumbing fixture) comes into contact with the wall or floor, the joint shall be caulked and sealed to be waterproof. (CPC 402.2)

LAUNDRY REQUIREMENTS:

Clothes washer standpipes must be 2-inch diameter. The weel of the trap must be roughed in 6-18 inches above the floor; the standpipe must be a minimum of 18 and a maximum of 30 inches above the trap (CPC 504.1).
MECHANICAL REQUIREMENTS:
CLOTHES DRYERS IN CLOSETS REQUIRE A MINIMUM OF 100 SQ. IN. OF MAKEUP AIR, WHICH CAN BE SUPPLIED BY LOUVERS OR UNDERCUTTING THE DOOR (CPC 504.1).
Dryer ducts must be smooth-walled metal 4 inch diameter and not more than 14 feet in length, with an allowance of 1/80 degree bend in excess of 2 (CAC 504.2.1).
Ducts may not pass through plenums or be shared with other systems or vents. They cannot be connected with screens that penetrate the duct interior (CPC 504.4).
Dryer ducts must terminate on the building exterior in a backdraft damper. Screens or louvers cannot be installed (CAC 504.4).
Flexible transition ducts (connectors) between the dryer and the metal duct are allowed in lengths up to 6 feet and cannot be concealed within construction (CAC 504.4.2.2 exception). They must be UL listed and labeled (L) as dryer transition ducts, and cannot be plastic.

FIRE PROTECTION NOTES:

Smoke and Carbon Monoxide Alarms (CBC 907.2.10, CBC 314 and 315)
Smoke alarms shall be installed on the ceiling or wall (between 4" and 12" of the ceiling) in all sleeping rooms, each area/hallway adjacent to sleeping rooms, each story of the building, and in any basement. Smoke alarms shall be replaced 10 years after the date of manufacture listed on the alarm (if no date is listed the alarm shall be replaced). Newly installed smoke alarms shall have a 10-year battery. Carbon monoxide (CO) alarms shall be installed on the ceiling or wall (above the door header) in each area/hallway adjacent to sleeping rooms, each occupiable story, and within a bedroom if the bedroom or attached bathroom contains a fuel-burning appliance. CO alarms are not required if there is no fuel-burning appliance or fireplace in the house and where the garage is detached from the house.

PROPOSED FIRST FLOOR ROOF PLAN / SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



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ASSESSOR PARCEL NO.

193-38-019

REVISIONS BY:

REV.#	DATE	COMMENT BY:
1	06-26-24	PLANNING-C1
2	09-08-24	PLANNING-C2

DATE	03-01-24
JOB NO.	A-2401
SCALE:	AS NOTED
DRAWN BY:	MA
CHECKED BY:	MSD

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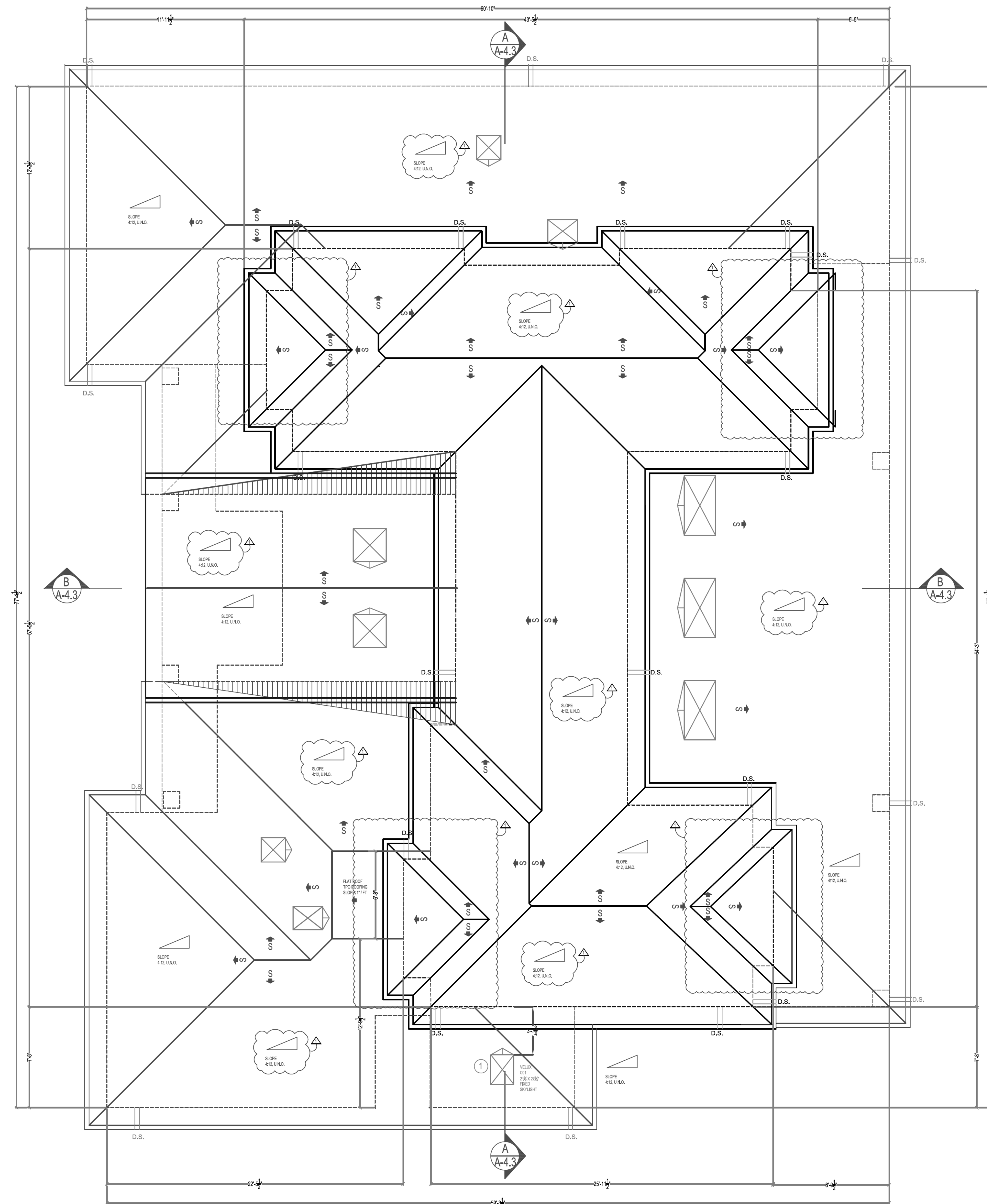
SECOND FLOOR
ROOF PLAN

SHEET NUMBER

A-3.3

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APPROVAL STAMP



ELEVATION NOTES:

- A** ROOF MATERIAL: CLASS 'A' CONCRETE TILE ROOF BY EAGLE ROOFING OR EQUAL. INSTALLATION OF ROOF MATERIAL PER CODE AND MANUFACTURER REQUIREMENTS AND INSTALLATION INSTRUCTIONS. ROOF PITCH - 4:12, u/l.d.
- B** ATTIC VENT: LOW PROFILE AND EAVE VENT COMBINATION
- C** DOWNSPOUT: 2X4 RECT. PAINTED ALUMINUM
- D** GUTTER: 5" 26 GA G.I. PROFILE CUTTER OVER 2X4 SPRUCE FASCIA BOARD.
- E** SKYLIGHT: CURB MOUNT BY VELUX OR EQUAL. TYPE OF UNIT PER PLAN.

PROPOSED SECOND FLOOR ROOF PLAN

SCALE: 3/4" = 1'-0"



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REVISIONS BY:

REV # DATE COMMENT BY:

06-26-24 PLANNING-C1

09-08-24 PLANNING-C2

DATE: 03-01-24

JOB NO.: A-24001

SCALE: AS NOTED

DRAWN BY: MA

CHECKED BY: MSD

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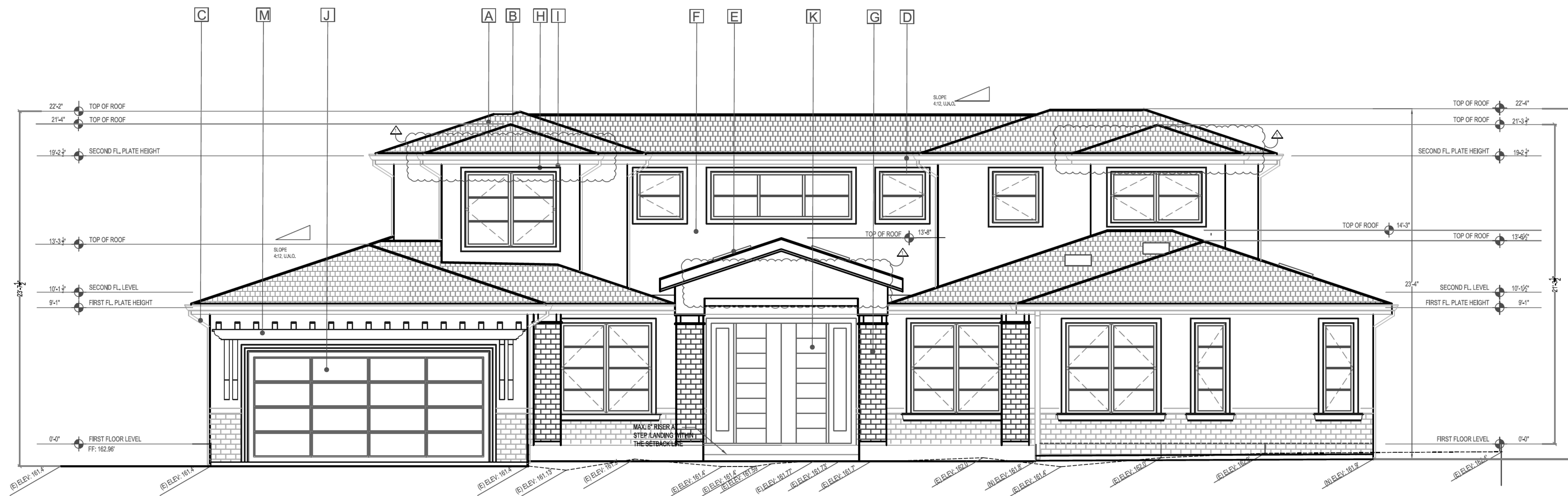
FRONT/ NORTH
ELEVATION AND
RIGHT SIDE/ WEST
ELEVATION

SHEET NUMBER

A-4.1

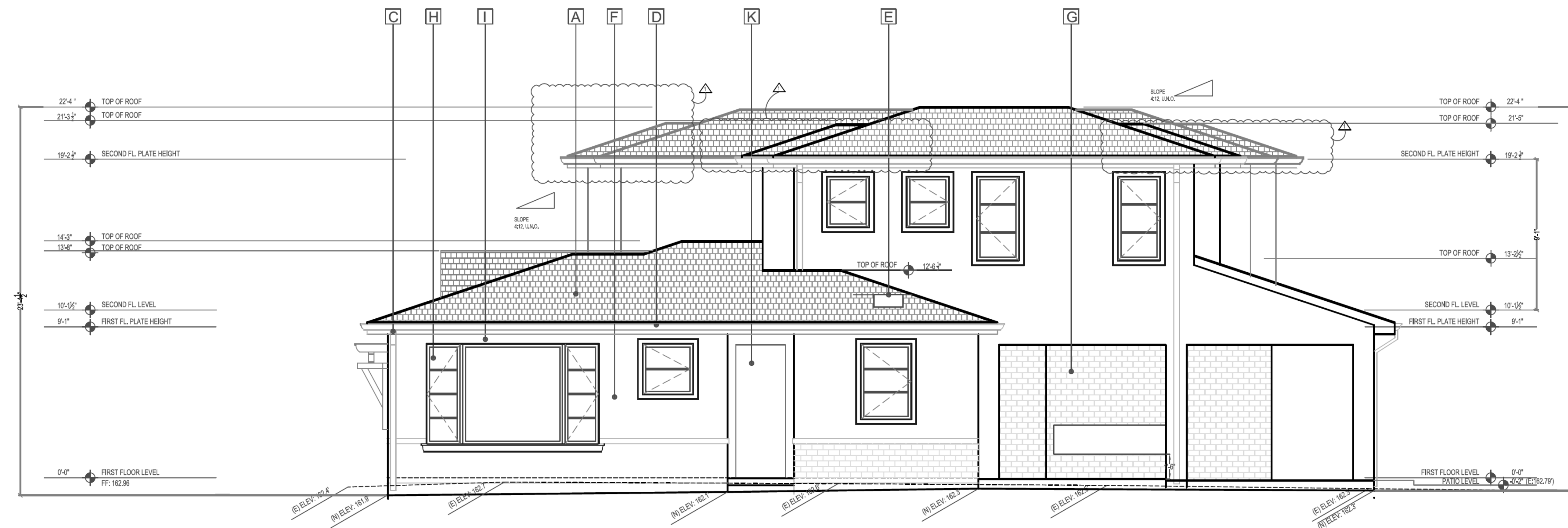
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APPROVAL STAMP



PROPOSED FRONT - NORTH ELEVATION
SCALE: 1/4" = 1'-0"

ELEVATION NOTES:		
A ROOF MATERIAL: CLASS 'A' CONCRETE TILE ROOF BY EAGLE ROOFING OR EQUAL. INSTALLATION OF ROOF MATERIAL PER CODE AND MANUFACTURER REQUIREMENTS AND INSTALLATION INSTRUCTIONS. ROOF FITCH PER PLAN.	G EXTERIOR WALL-2: STONE VENEER BY ELDORADO STONE - WHITE BARK CLIFFSTONE OR EQUAL. INSTALLATION PER MANUF. SPECIFICATIONS.	I WINDOW AND DOOR TRIMS: 2X PAINTED WOOD.
B ATTIC VENT: LOW PROFILE AND EAVE VENT COMBINATION	H WINDOWS: DOUBLE PANE, VINYL CLAD BY MILGUARD OR SIM. FRAME COLOR: BLACK. EGRESS WINDOW SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT MORE THAN 44" ABOVE THE FLOOR. CBC SECTION 1026.	J GARAGE DOORS: FIBERGLASS ROLL UP DOOR
C DOWNSPOUT: 2X4 RECT. PAINTED ALUMINUM	NOTE: OBSCURED GLAZING SHALL BE PERMANENT IN NATURE AND SHALL REMAIN FOR THE LIFE OF THE STRUCTURE. OBSCURE GLAZING IS EITHER DECORATIVE GLAZING THAT DOES NOT ALLOW VIEWS THOUGH PLACED INTO THE WINDOW FRAME OR ACID ETCHED OR SIMILAR PERMANENT ALTERATION OF THE GLASS. FILMS OR LIKE ADDITIONS TO CLEAR GLASS ARE NOT PERMITTED WHERE OBSCURE GLAZING IS SHOWN. OBSCURE GLAZING SHALL NOT BE ALTERED IN THE FUTURE AND SHALL BE REPLACED WITH LIKE MATERIALS IF DAMAGED.	K ENTRY DOOR: FIBERGLASS DOOR
D GUTTER: 5" 26 GA. G.L. PROFILE CUTTER OVER 2X4 SPRUCE FASCIA BOARD.		L CRAWL SPACE VENT: 8X16 SCREENED VENT
E SKYLIGHT: CURB MOUNT BY VELLUX OR EQUAL. TYPE OF UNIT PER PLAN.		M WOOD TRELLIS
F EXTERIOR WALL-1: STUCCO - SMOOTH FINISH		



PROPOSED RIGHT SIDE - WEST ELEVATION
SCALE: 1/4" = 1'-0"



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REVISIONS BY:

REV #	DATE	COMMENT BY:
1	06-26-24	PLANNING-C1

DATE 03-01-24

JOB NO. A-24001

SCALE: AS NOTED

DRAWN BY: MA

CHECKED BY: MSD

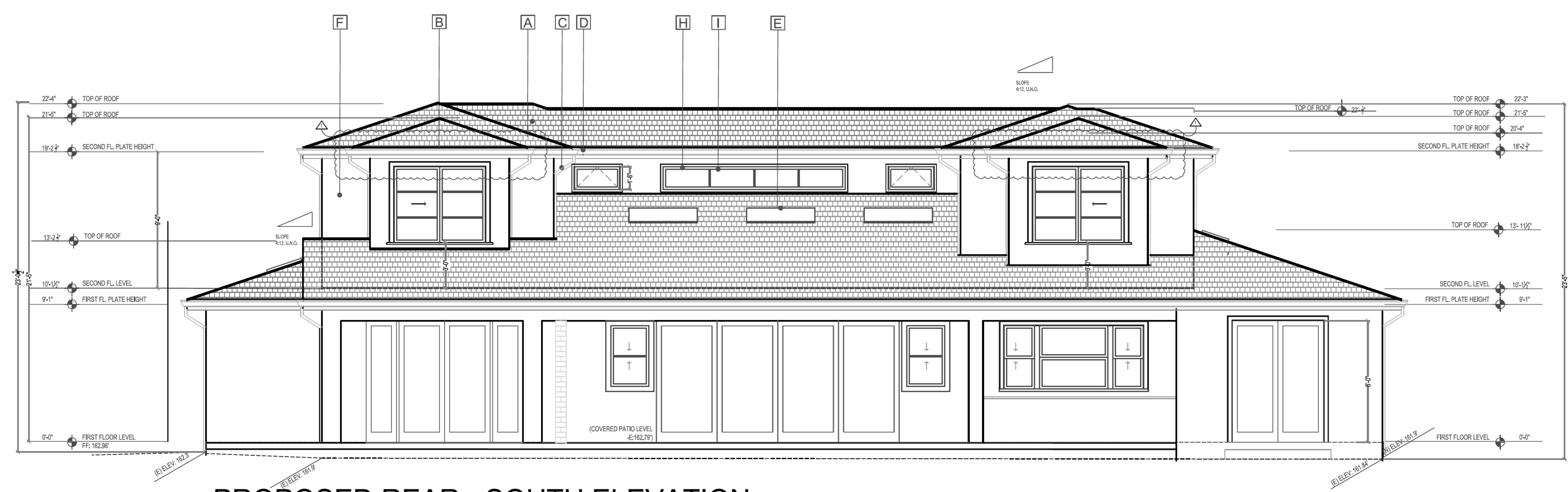
CONTENT:

REAR-SOUTH
ELEVATION AND
LEFTSIDE- EAST
ELEVATION

SHEET NUMBER

A-4.2

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PROPOSED REAR - SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

ELEVATION NOTES:		
<p>A ROOF MATERIAL: CLASS 'X' CONCRETE TILE ROOF BY EAGLE ROOFING OR EQUAL. INSTALLATION OF ROOF MATERIAL PER CODE AND MANUFACTURER REQUIREMENTS AND INSTALLATION INSTRUCTIONS. ROOF PITCH PER PLAN.</p> <p>B ATTIC VENT: LOW PROFILE AND EAVE VENT COMBINATION</p> <p>C DOWNSPOUT: 2X4 RECT. PAINTED ALUMINUM</p> <p>D GUTTER: 5" 26 GA G.L. PROFILE CUTTER OVER 2X4 SPRUCE FASCIA BOARD.</p> <p>E SKYLIGHT: CURB MOUNT BY VELLUX OR EQUAL. TYPE OF UNIT PER PLAN.</p> <p>F EXTERIOR WALL-1: STUCCO-SMOOTH FINISH</p>	<p>G EXTERIOR WALL-2: STONE VENEER BY ELDORADO STONE - WHITE BARK CLIFFSTONE OR EQUAL. INSTALLATION PER MANUF. SPECIFICATIONS.</p> <p>H WINDOWS: DOUBLE PANEL VINYL CLAD BY MILGLARD OR SIM. FRAME COLOR: BLACK EGRESS WINDOW SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT MORE THAN 44" ABOVE THE FLOOR. CBC SECTION 1026</p> <p>NOTE: OBSCURED GLAZING SHALL BE PERMANENT IN NATURE AND SHALL REMAIN FOR THE LIFE OF THE STRUCTURE. OBSCURE GLAZING IS EITHER DECORATIVE GLAZING THAT DOES NOT ALLOW VIEWS THOUGH PLACED INTO THE WINDOW FRAME OR ACID ETCHED OR SIMILAR PERMANENT ALTERATION OF THE GLASS. FILMS OR LIKE ADDITIONS TO CLEAR GLASS ARE NOT PERMITTED WHERE OBSCURE GLAZING IS SHOWN. OBSCURE GLAZING SHALL NOT BE ALTERED IN THE FUTURE AND SHALL BE REPLACED WITH LIKE MATERIALS IF DAMAGED.</p>	<p>I WINDOW AND DOOR TRIMS: 2X PAINTED WOOD.</p> <p>J GARAGE DOORS: FIBERGLASS ROLL UP DOOR</p> <p>K ENTRY DOOR: FIBERGLASS DOOR</p> <p>L CRAWL SPACE VENT: 8X16 SCREENED VENT</p>



PROPOSED LEFT SIDE - EAST ELEVATION
SCALE: 1/4" = 1'-0"

APPROVAL STAMP



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ASSESSOR PARCEL NO.
 193-38-019

REV.#	DATE	COMMENT BY:
1	06-26-24	PLANNING-C1
2	09-28-24	PLANNING-C2

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DATE: 03-01-24
 JOB NO.: A-24001
 SCALE: AS NOTED
 DRAWN BY: MA
 CHECKED BY: MSD

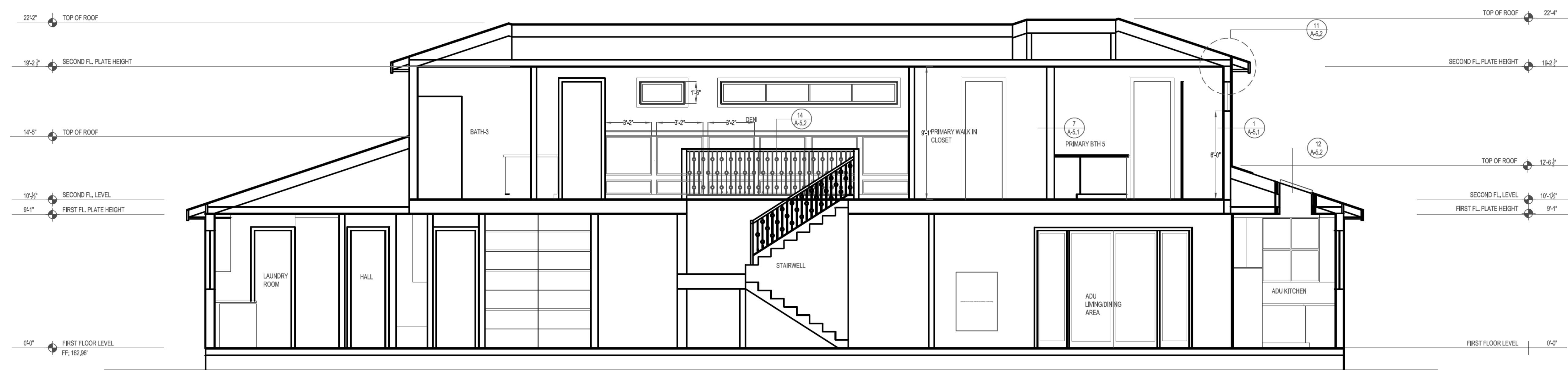
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BUILDING SECTIONS

SHEET NUMBER

A-4.3

APPROVAL STAMP



BUILDING SECTION A-A
 SCALE: 1/4" = 1'-0"



BUILDING SECTION B-B
 SCALE: 1/4" = 1'-0"



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REVISIONS BY:

REV #	DATE	COMMENT BY:
1	06-26-24	PLANNING-C1
2	09-28-24	PLANNING-C2

DATE: 03-01-24

JOB NO.: A-24001

SCALE: AS NOTED

DRAWN BY: MA

CHECKED BY: MSD

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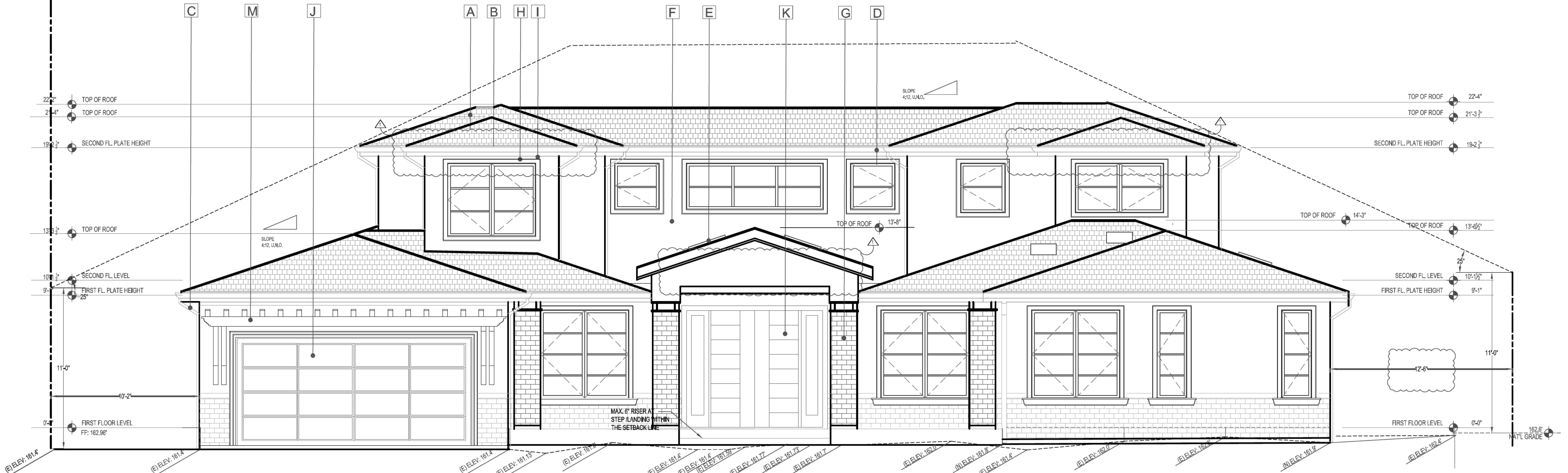
DAYLIGHT PLANE
FOR
MAIN HOUSE
AND ADU

SHEET NUMBER

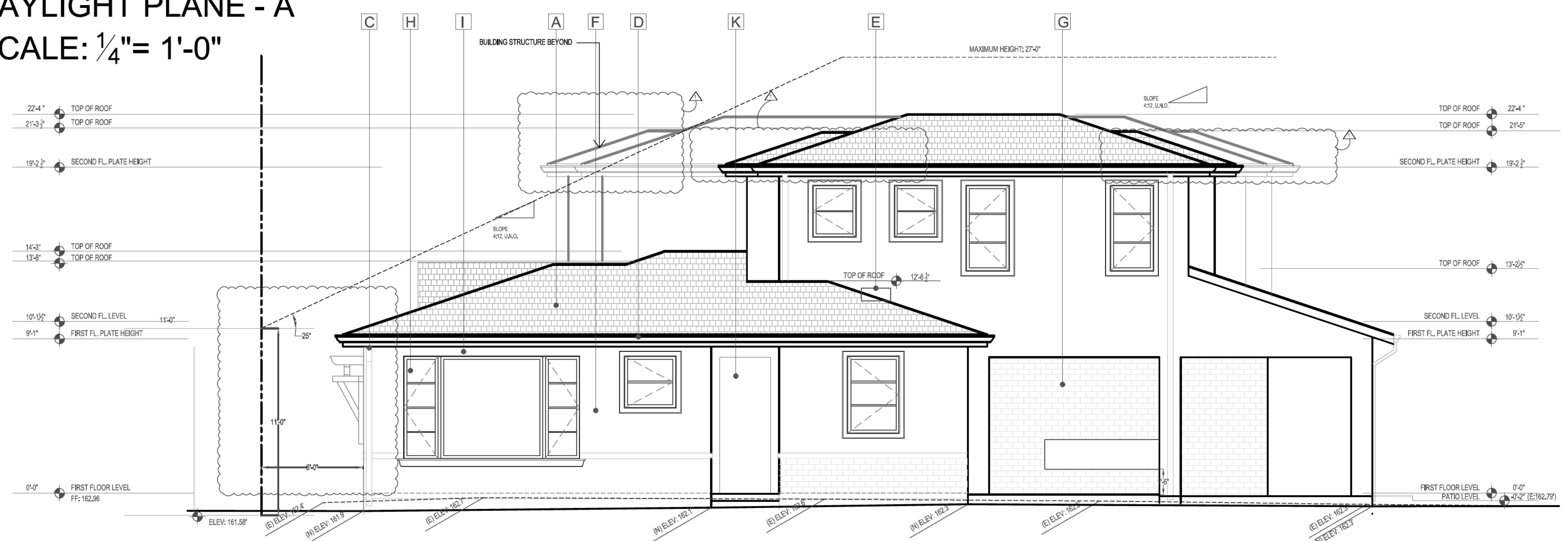
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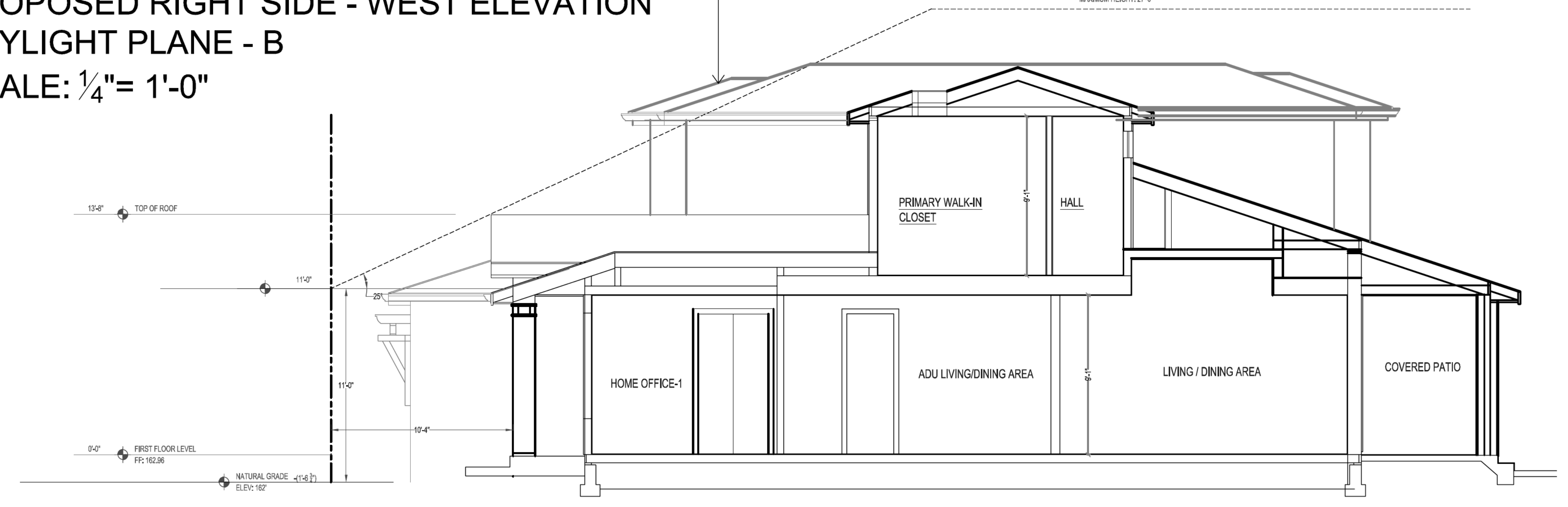
APPROVAL STAMP



**PROPOSED FRONT - NORTH ELEVATION
DAYLIGHT PLANE - A
SCALE: 1/4" = 1'-0"**



**PROPOSED RIGHT SIDE - WEST ELEVATION
DAYLIGHT PLANE - B
SCALE: 1/4" = 1'-0"**



**BUILDING SECTION
DAYLIGHT PLANE -C
SCALE: 1/4" = 1'-0"**



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PROPERTY ADDRESS

707 BENEFIT AVENUE
 LOS ALTOS, CA 94024

PROPERTY OWNERS

GEORG AND LING BUSCHER

ASSESSOR PARCEL NO.

193-38-019

REVISIONS BY:

REV # DATE COMMENT BY:

06-26-24 PLANNING-C1

09-28-24 PLANNING-C2

DATE: 03-01-24

JOB NO.: A-24001

SCALE: AS NOTED

DRAWN BY: MA

CHECKED BY: MSD

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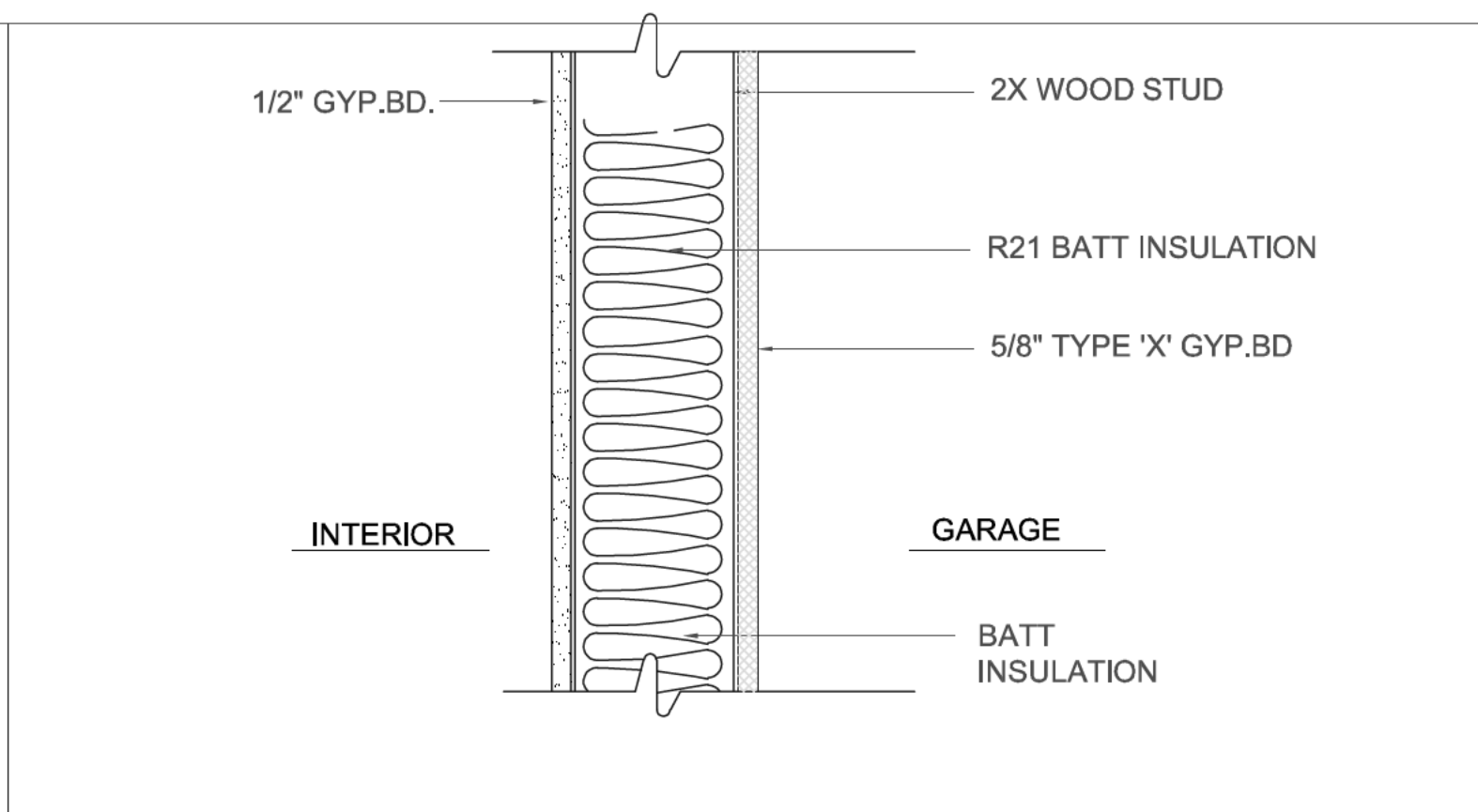
ARCHITECTURAL DETAILS

SHEET NUMBER

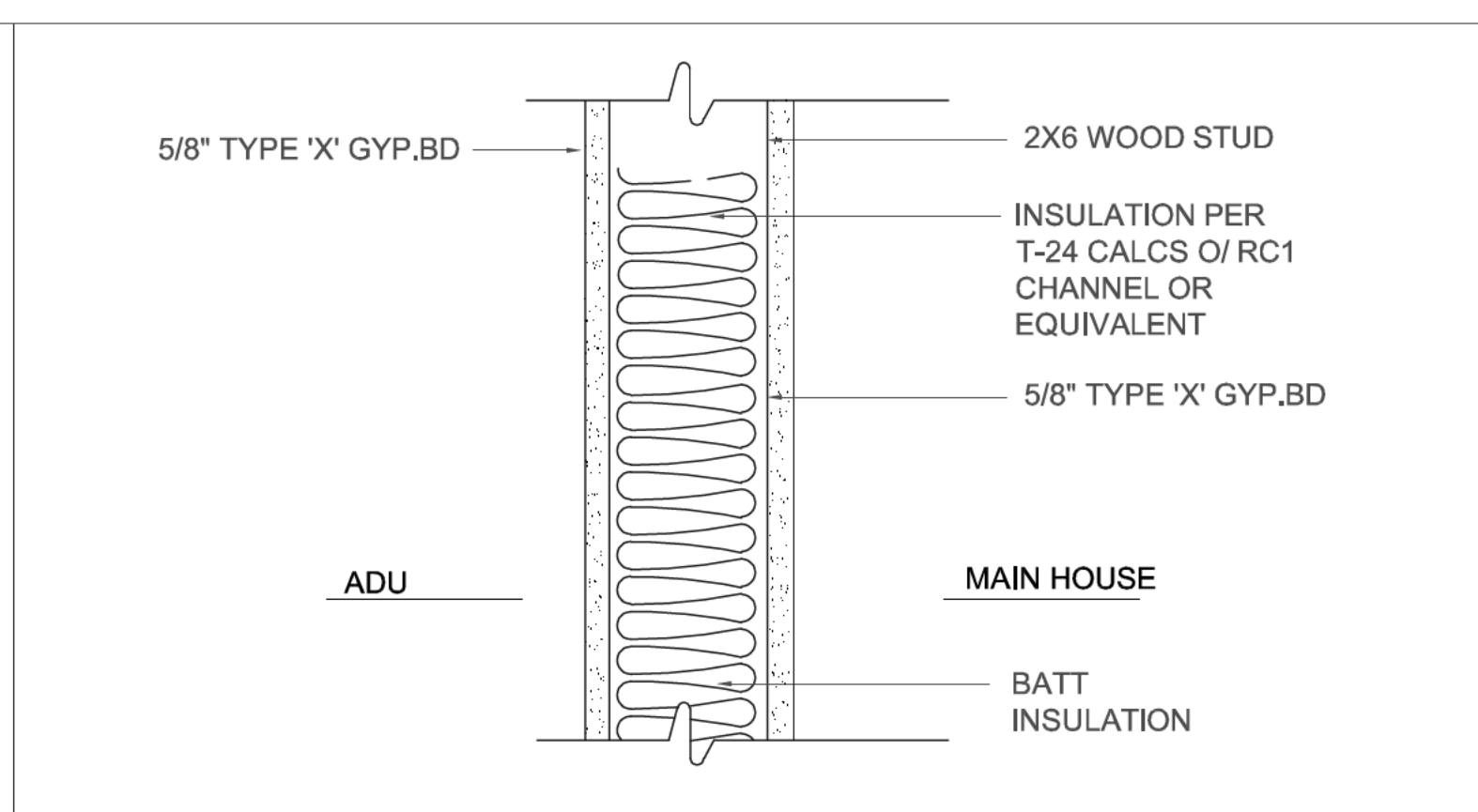
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APPROVAL STAMP

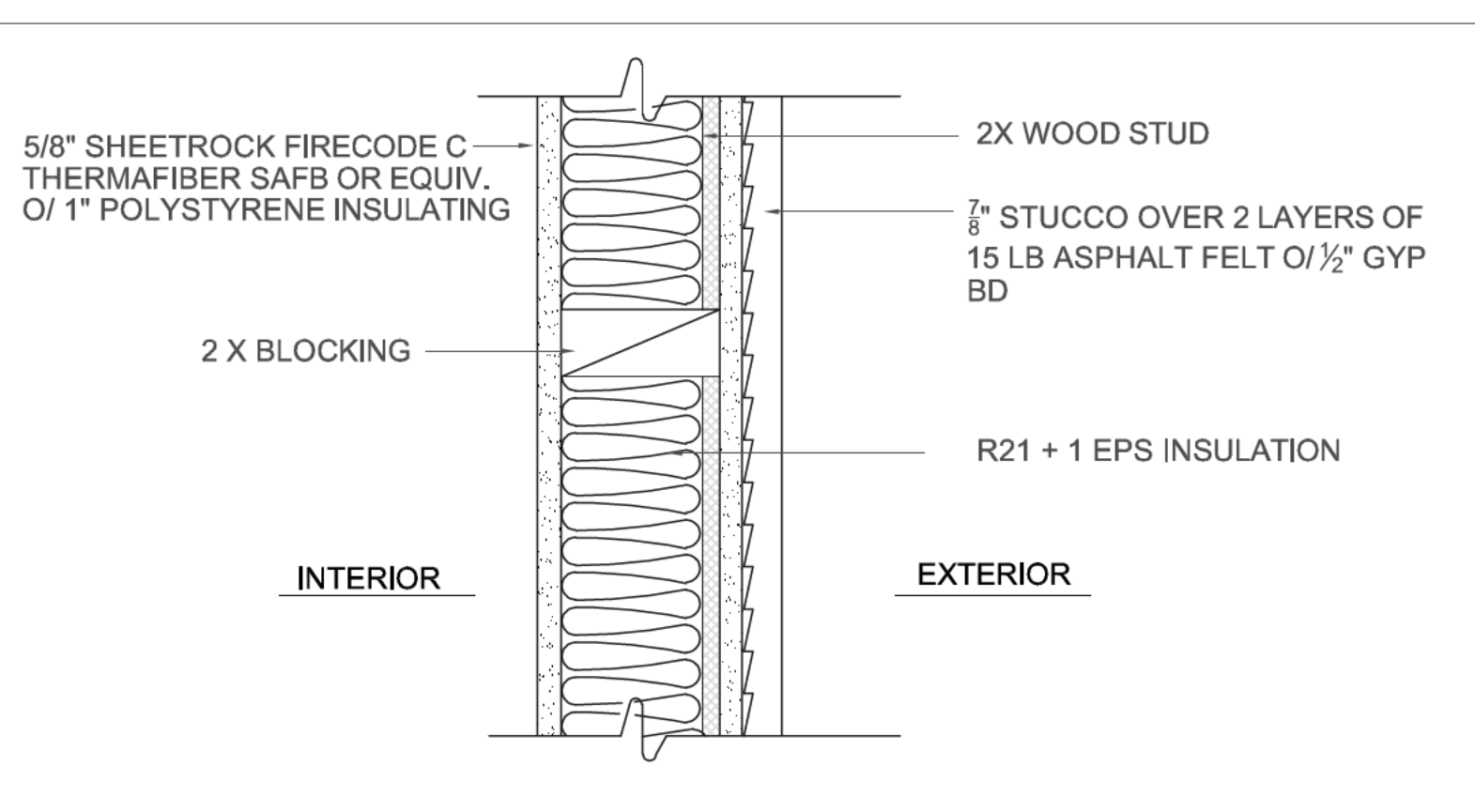
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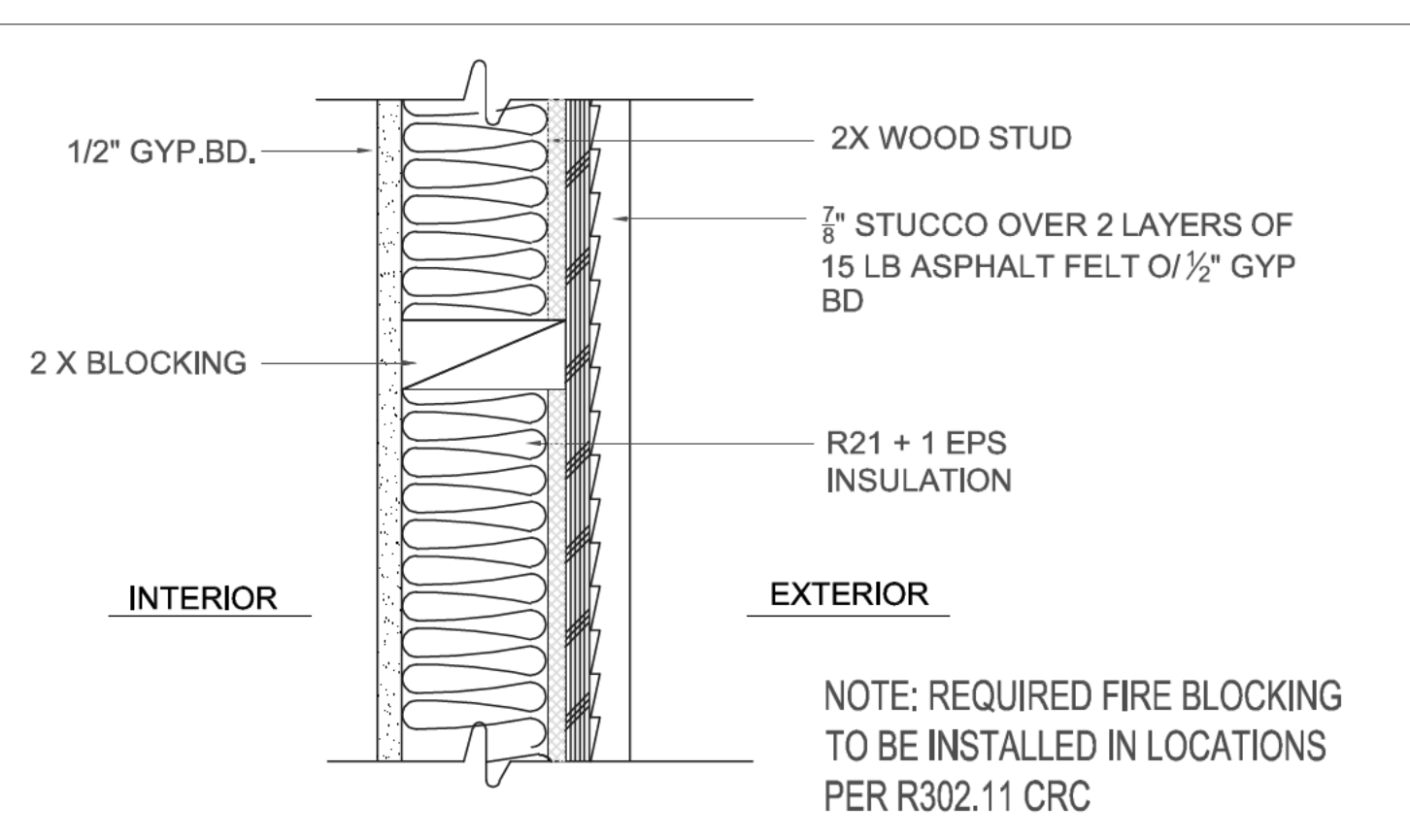
4 PARTITION WALL: 2X6 WALL-4 DETAIL N.T.S.



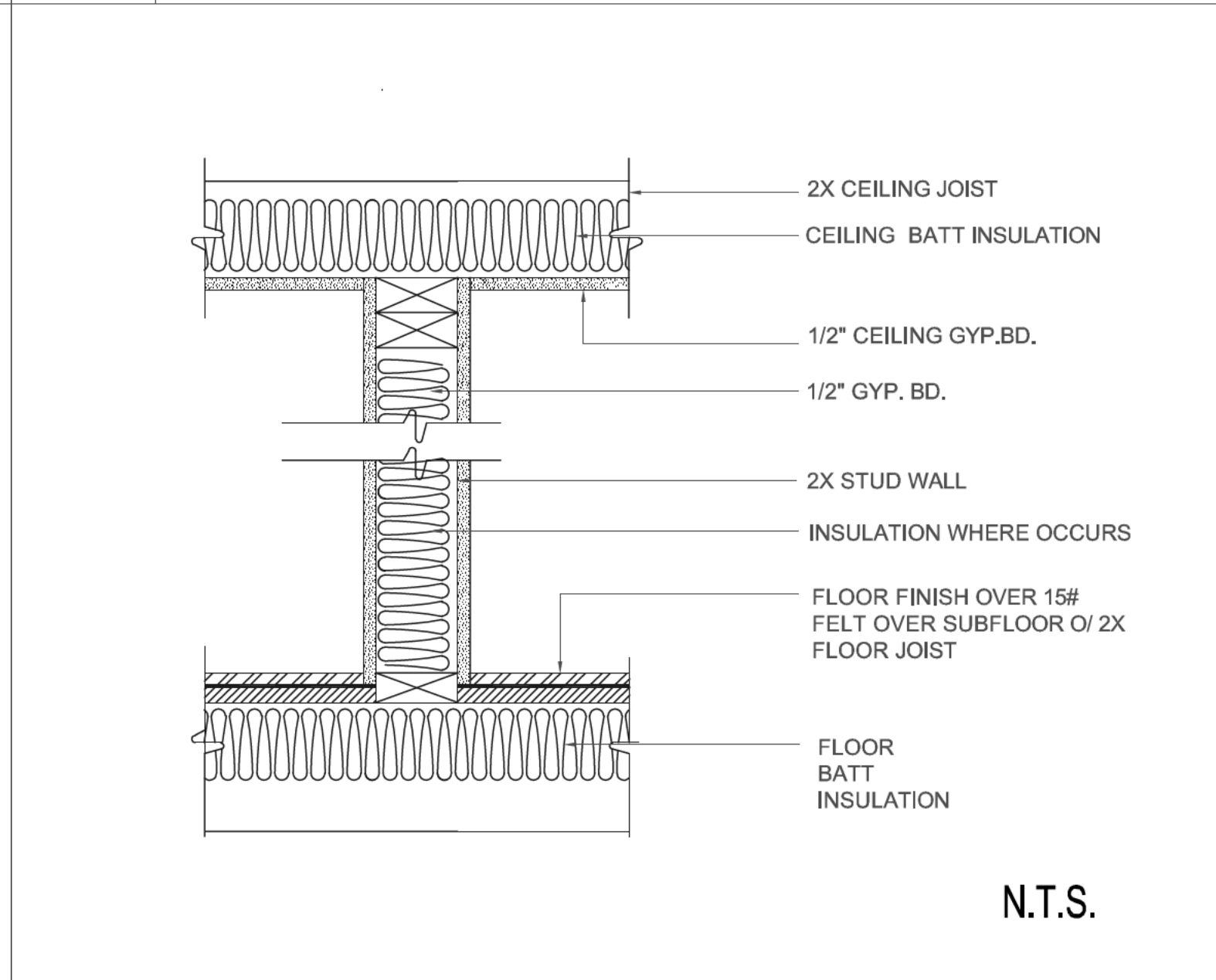
3 FIRE-RATED INTERIOR WALL: 2X6 UL DES 327 WALL-3 DETAIL N.T.S.



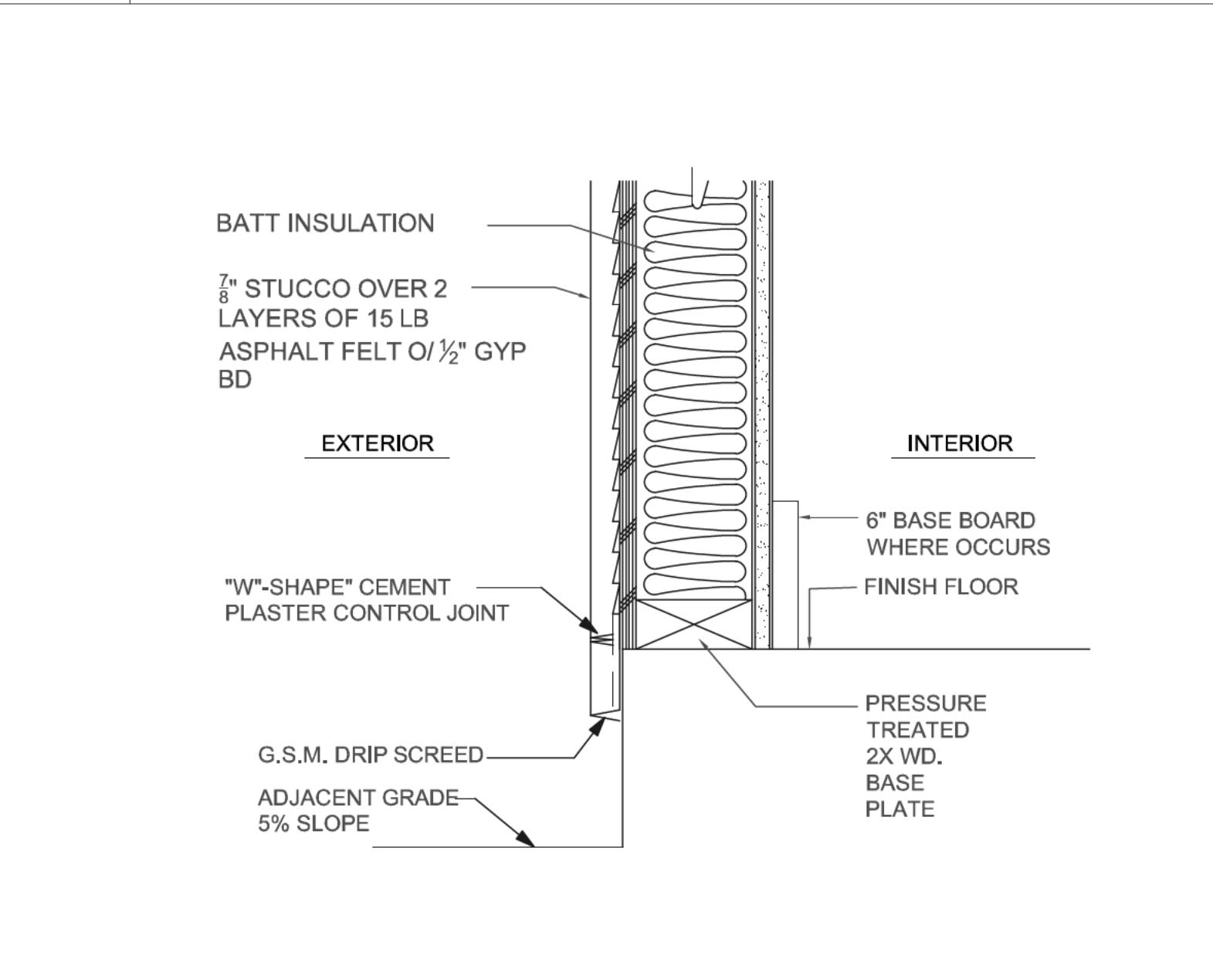
2 FIRE RATED EXT. WALL: 2X6 UL DES U330 WALL-2 DETAIL N.T.S.



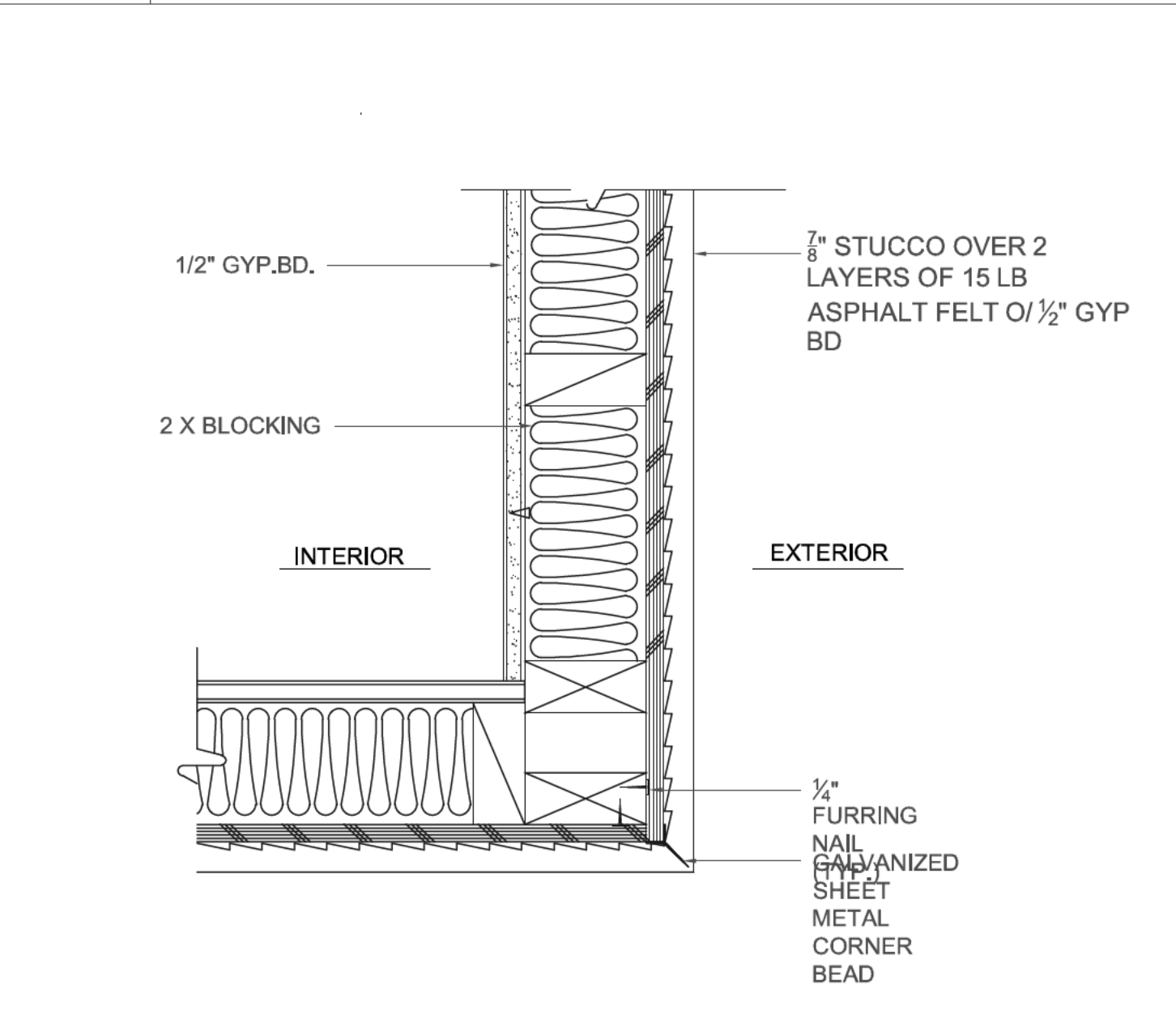
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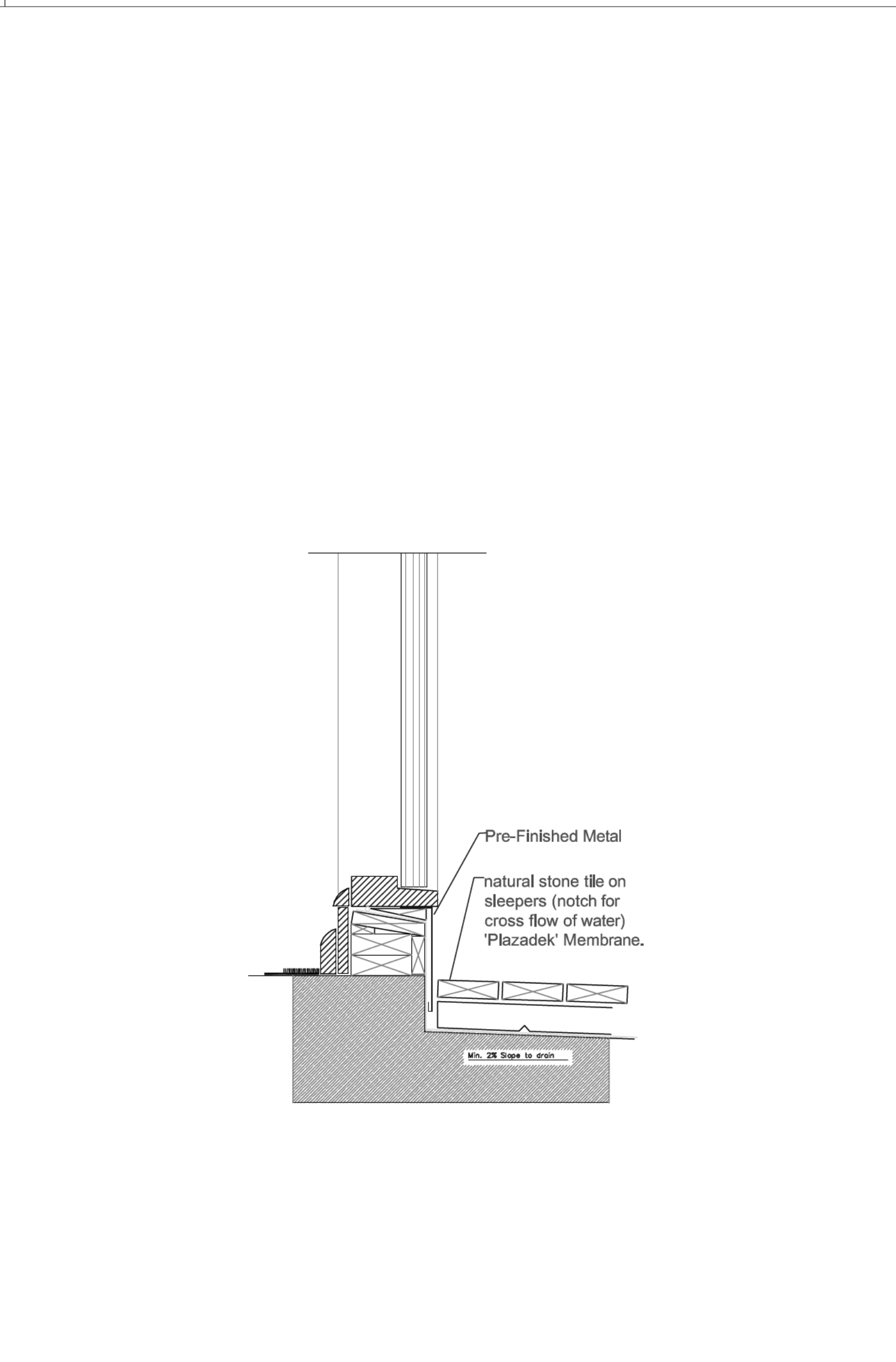
7 INTERIOR WALL DETAIL N.T.S.



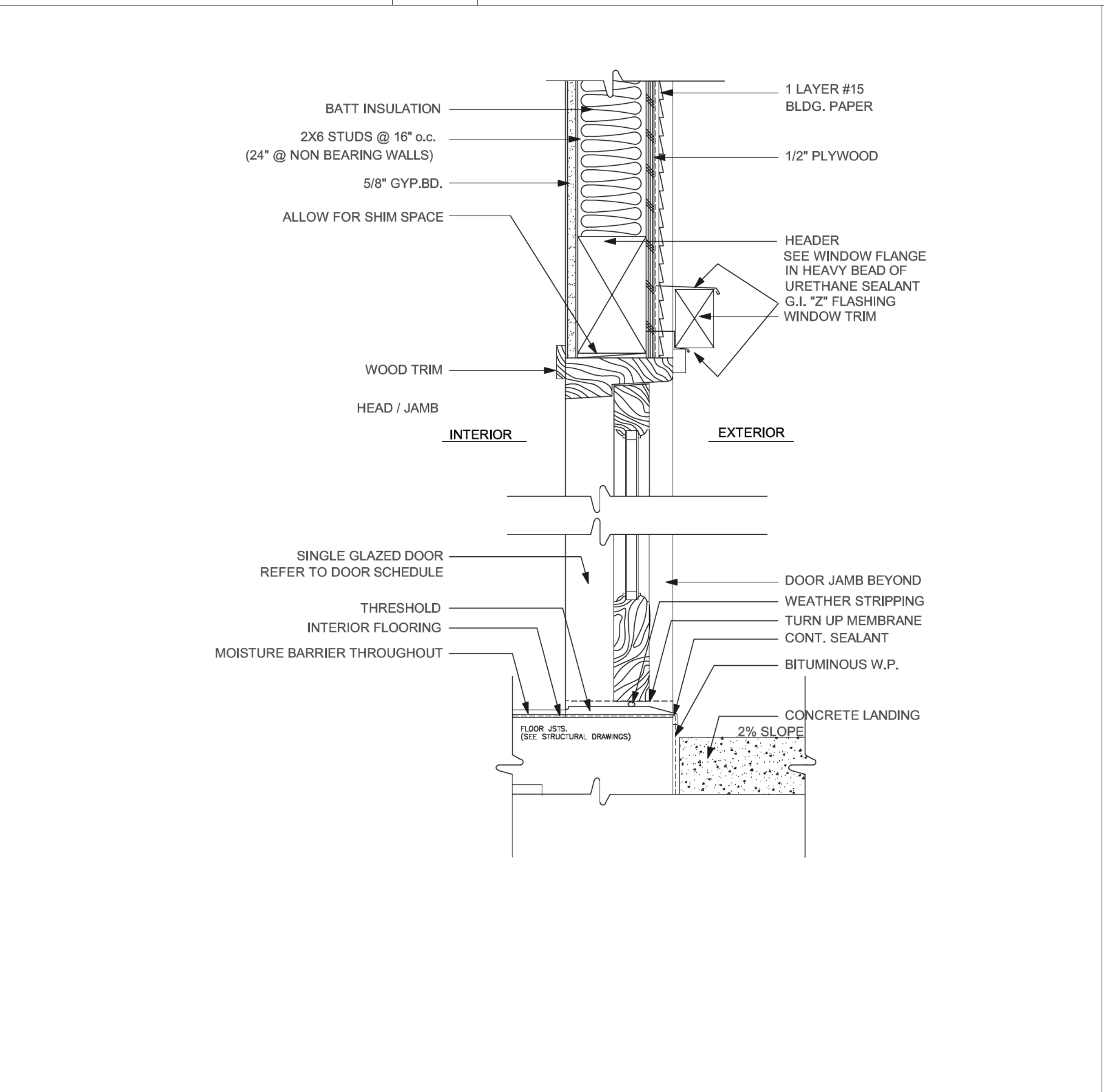
6 EXTERIOR WALL DETAIL N.T.S.



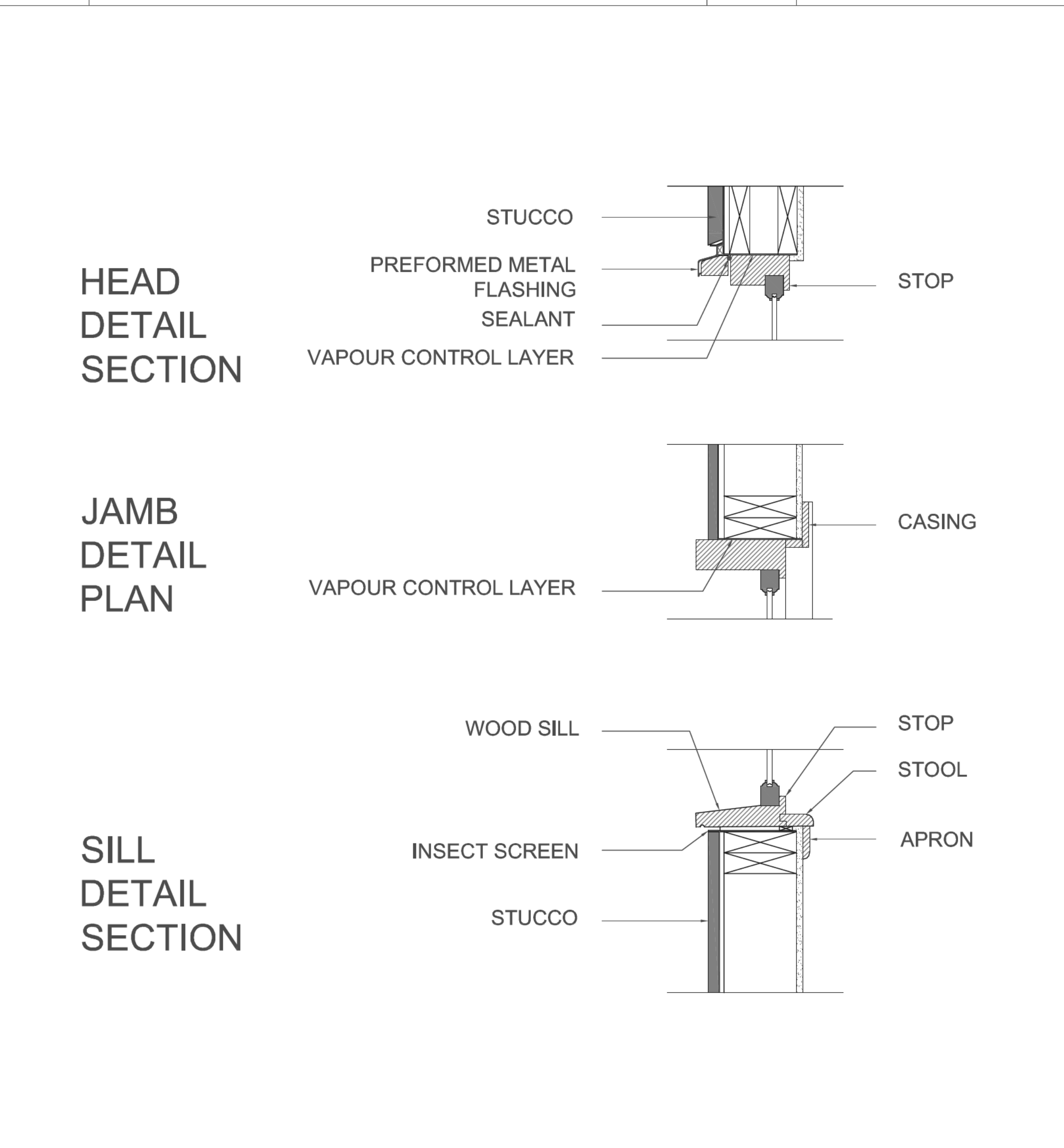
5 EXTERIOR WALL DETAIL N.T.S.



10 FLASHING DETAIL @ THRESHOLD N.T.S.



9 EXTERIOR DOOR DETAIL N.T.S.



8 WINDOW SECTION DETAIL N.T.S.



Mabad SIGNATURE

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 EMAIL: msd.design0821@gmail.com

PROPERTY ADDRESS
 707 BENEFIT AVENUE
 LOS ALTOS, CA 94024

PROPERTY OWNERS
 GEORG AND LING BUSCHER

ASSESSOR PARCEL NO.
 183-38-019

REVISIONS BY:	DATE	COMMENT BY:
△	06-26-24	PLANNING-C1
△	09-28-24	PLANNING-C2

DATE: 03-01-24
 JOB NO.: A-24001
 SCALE: AS NOTED
 DRAWN BY: MA
 CHECKED BY: MSD

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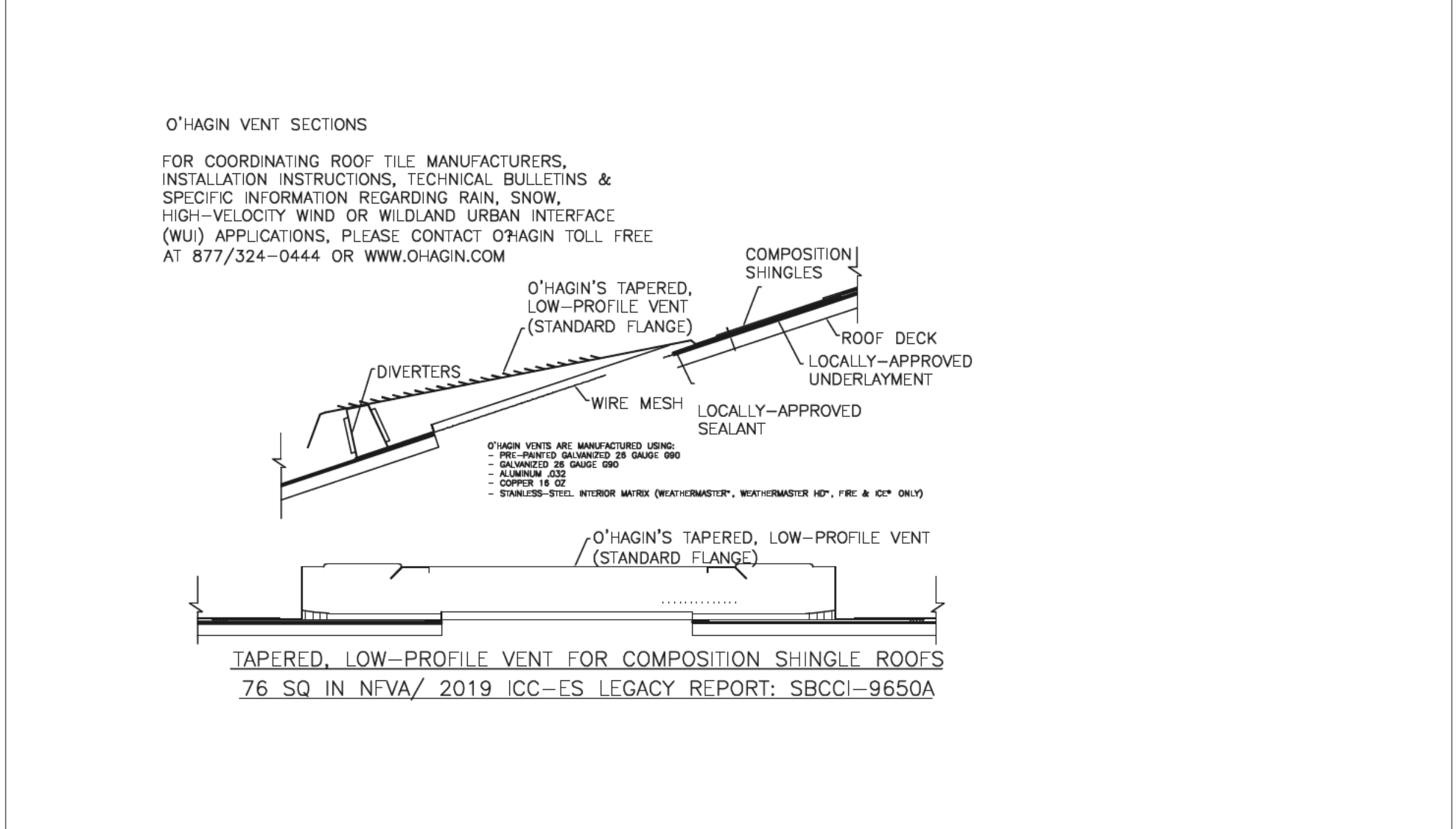
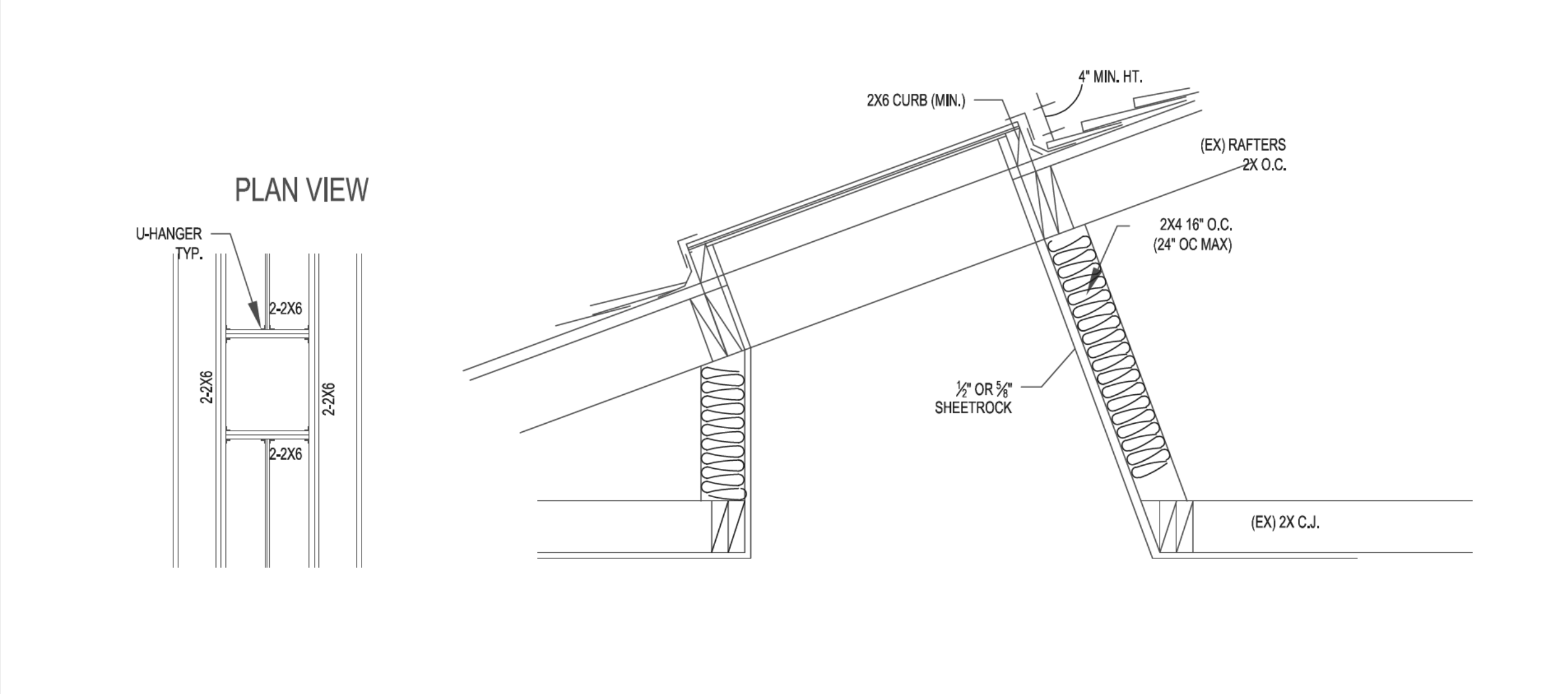
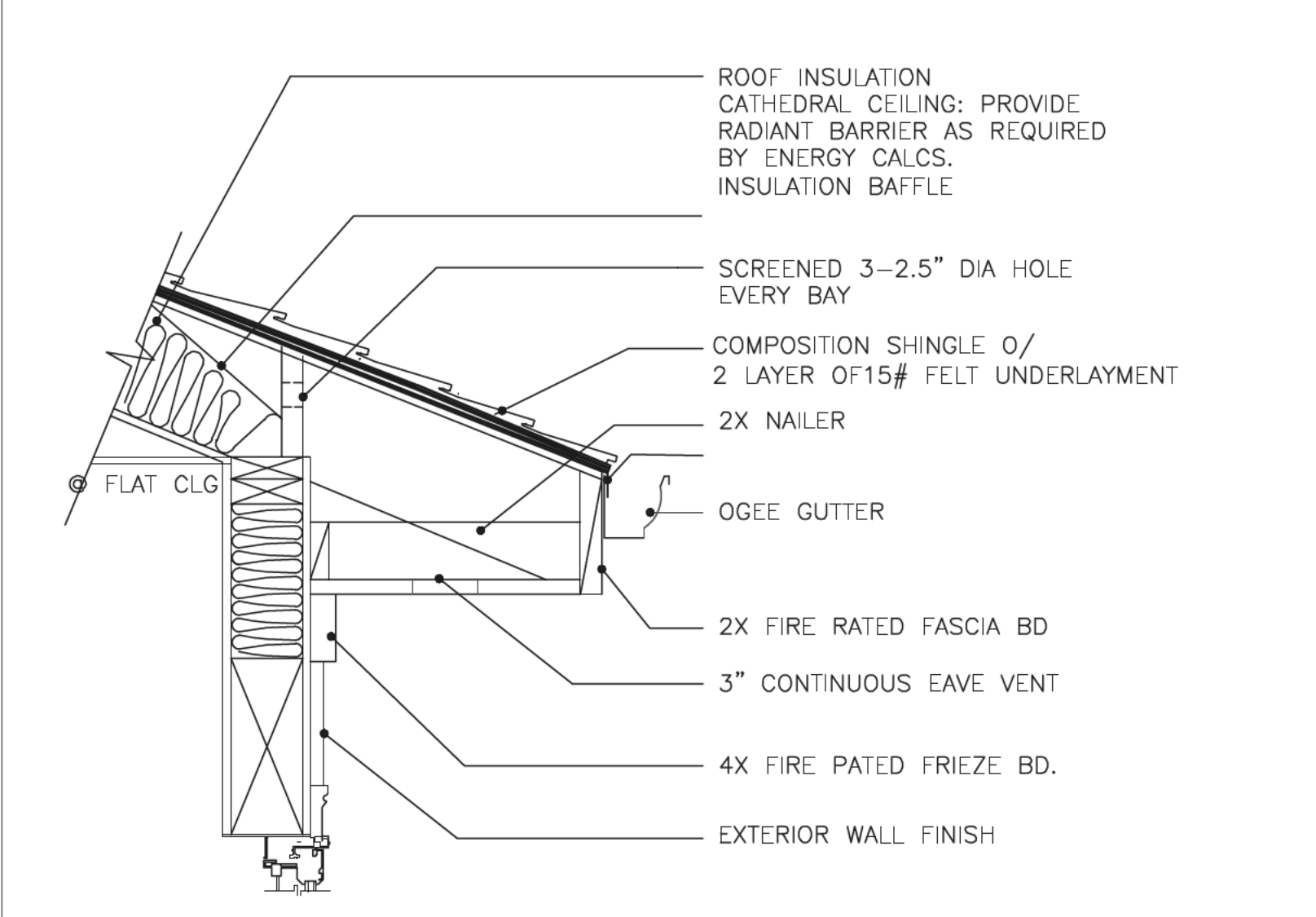
ARCHITECTURAL DETAILS

SHEET NUMBER

A-5.2

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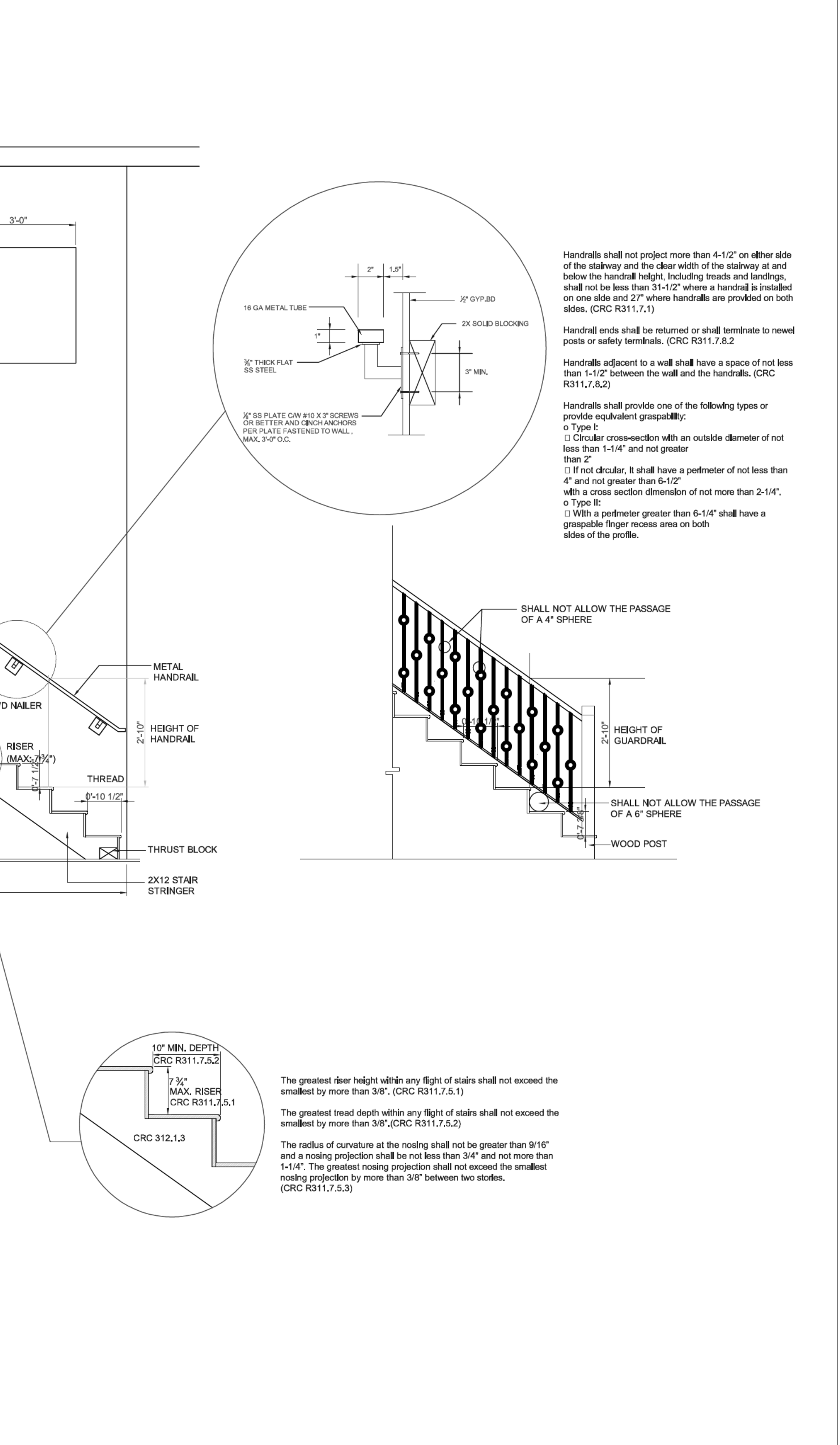
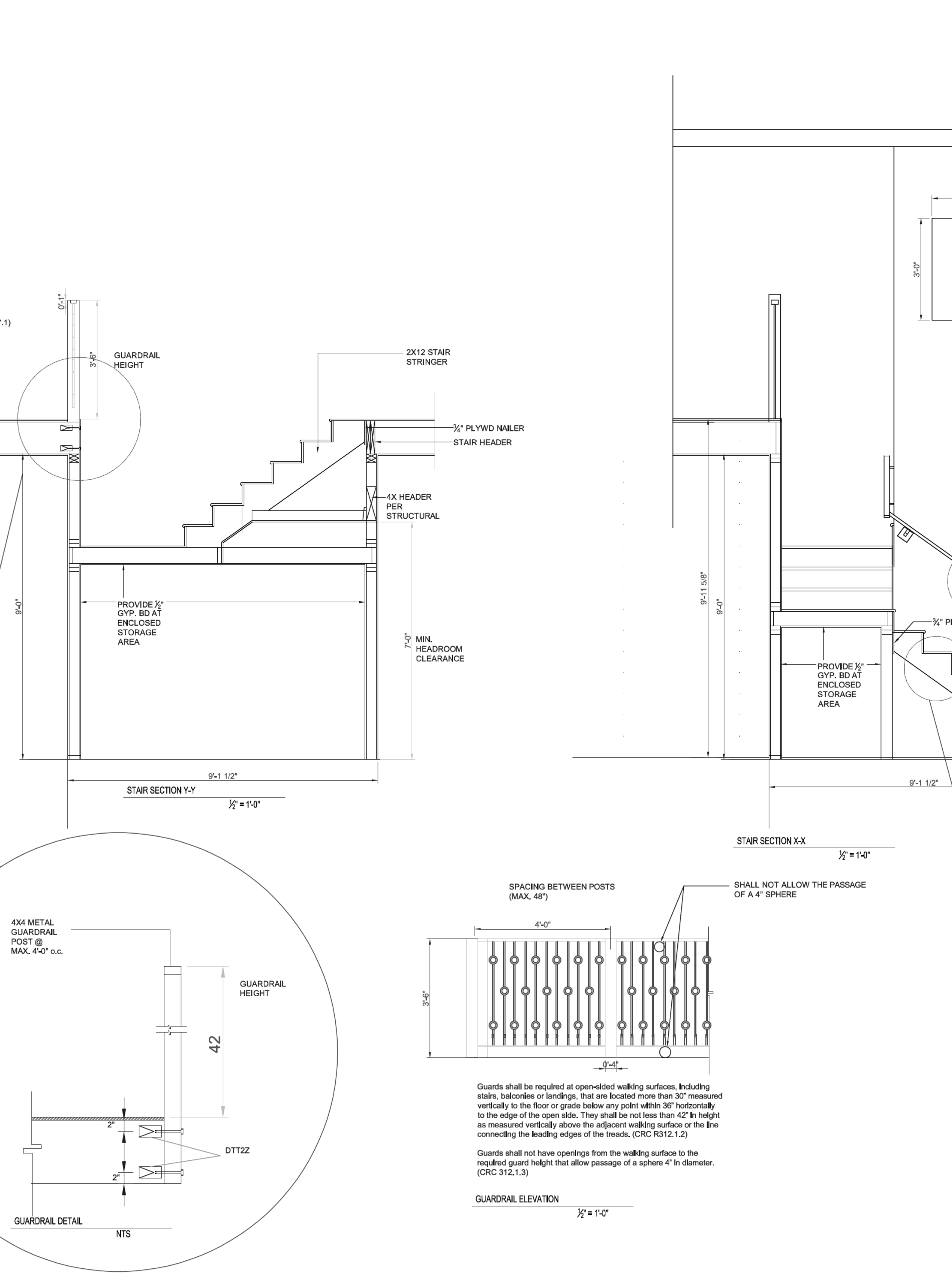
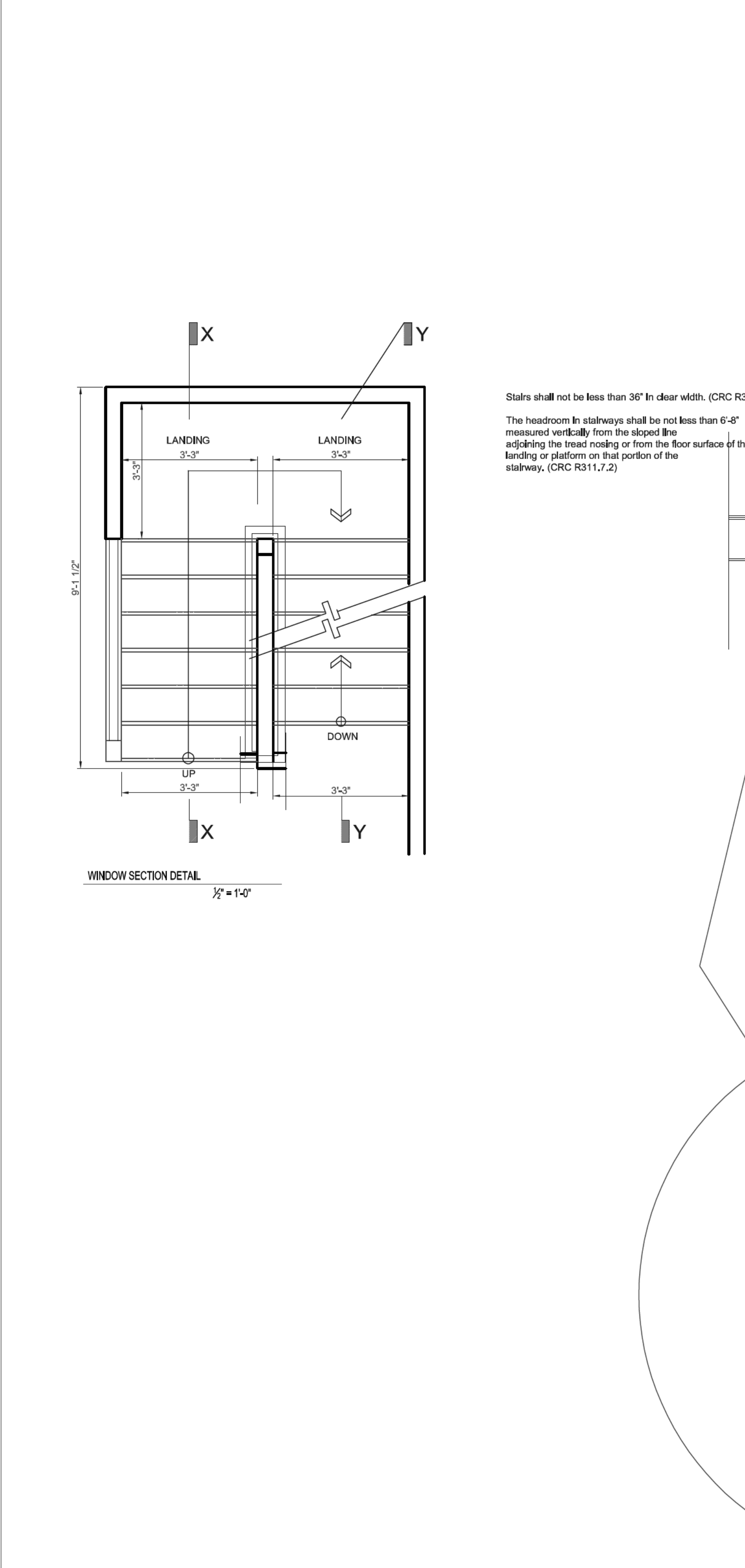
CRC R312.1.3



11 FIRE RATED TYP. ROOF EAVE DETAIL N.T.S.

12 SKYLIGHT DETAIL N.T.S.

13 LOW PROFILE ROOF VENT N.T.S.



14 INTERIOR STAIR DETAILS

14 INTERIOR STAIR DETAILS

14 INTERIOR STAIR DETAILS

APPROVAL STAMP



MAbad
SIGNATURE

MOBILE: 650-353-6273 WEBSITE: MNERVA-ABAD PROJECTS@SQUARESPACE.COM
ADDRESS: 4256 PACIFIC AVE., STE 2-8, STOCKTON, CA 95207 EMAIL: msd.design@icloud.com

PROPERTY ADDRESS

707 BENEFICENT AVENUE
LOS ALTOS, CA 94024

PROPERTY OWNERS
GEORG AND LING BUSCHER

ASSESSOR PARCEL NO.
193-38-019

REVISIONS BY:
REV # DATE COMMENT BY:
06-26-24 PLANNING-C1
09-08-24 PLANNING-C2

DATE: 03-01-24
JOB NO.: A-2401
SCALE: AS NOTED
DRAWN BY: MA
CHECKED BY: MSD

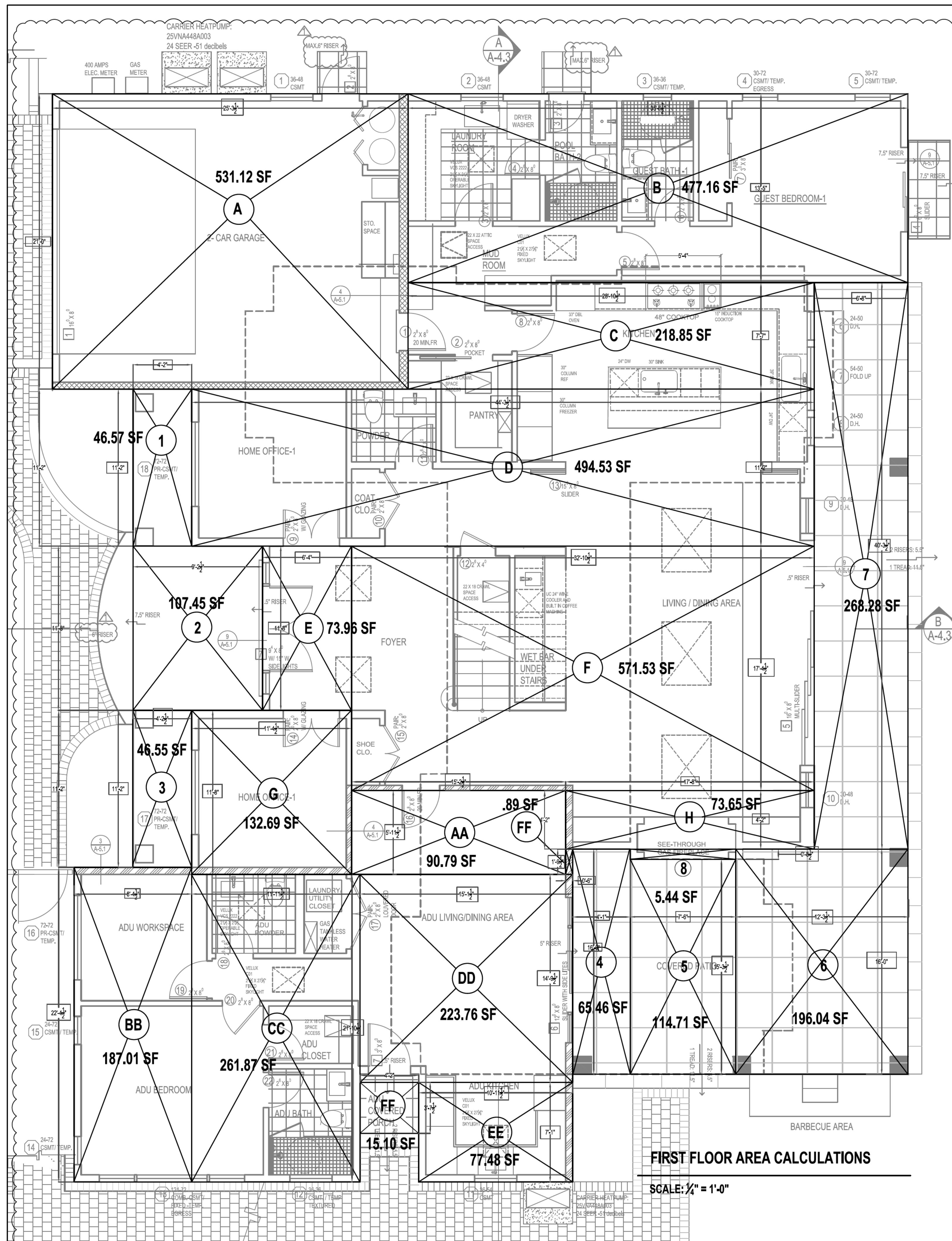
CONTENT:

FIRST AND SECOND
FLOOR AREA
CALCULATIONS

SHEET NUMBER

A-6.1

APPROVAL STAMP



FIRST FLOOR AREA CALCULATIONS

SCALE: 1/4" = 1'-0"

LOT COVERAGE:	PROPOSED	REQUIRED	FLOOR AREA RATIO	PROPOSED	REQUIRED
FIRST FLOOR LIVING SPACE	2,573.49 SF		GARAGE	531.12 SF	
FIRST FLOOR COVERED PORCHES AND FIREPLACE	850.50 SF		FIRST FLOOR LIVING SPACE	2042.37 SF	
POOL EQUIPMENT SHED	29.55 SF		SECOND FLOOR LIVING SPACE	1,367.73 SF	
SUB-TOTAL	3453.54 SF	3580.5 SF	SUB-TOTAL	3,941.22 SF	3943.5 SF
ADU LIVING SPACE	841.80 SF		ADU LIVING SPACE	841.80 SF	
ADU COVERED PORCH	15.10 SF		TOTAL	4783.02 SF	
SUB-TOTAL	856.90 SF				
TOTAL	4310.44 SF				

AREA CALCULATIONS :

FIRST FLOOR:				SECOND FLOOR:			
REFERENCE	DIMENSIONS	AREA		REFERENCE	DIMENSIONS	AREA	
	WIDTH	LENGTH			WIDTH	LENGTH	
A	25'-3 1/2"	21'-0"	531.12 SF	K	13'-0"	15'-4 1/2"	199.84 SF
B	35'-6 1/2"	13'-5"	477.16 SF	L	11'-9 1/2"	13'-9"	162.13 SF
C	28'-10 1/2"	7'-7"	218.85 SF	M	13'-0"	15'-4 1/2"	199.84 SF
D	44'-3 1/2"	11'-2"	494.53 SF	N	13'-0"	20'-7 1/2"	269.26 SF
E	6'-4"	11'-8"	73.96 SF	O	14'-11"	6'-0 1/2"	90.35 SF
F	32'-10 1/2"	17'-4 1/2"	571.53 SF	P	2'-1"	9'-0"	18.75 SF
G	11'-4 1/2"	11'-8"	132.69 SF	Q	24'-5"	15'-3 1/2"	373.56 SF
H	17'-8"	4'-2"	73.65 SF	R	2'-0"	9'-0"	18.0 SF
				S	2'-0"	9'-0"	18.0 SF
				T	2'-0"	9'-0"	18.0 SF
TOTAL AREA:			2573.49 SF				1,367.73 SF

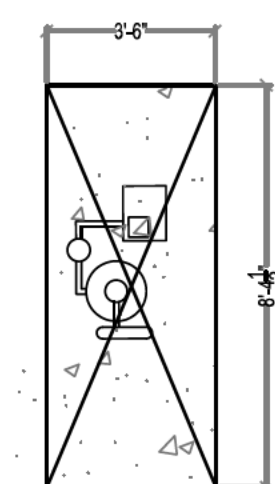
FIRST FLOOR COVERED PORCHES				ACCESSORY DWELLING UNIT			
REFERENCE	DIMENSIONS	AREA		REFERENCE	DIMENSIONS	AREA	
	WIDTH	LENGTH			WIDTH	LENGTH	
1	4'-2"	11'-2"	46.57 SF	AA	15'-2 1/2"	15'-11 1/2"	90.79 SF
2	9'-2 1/2"	11'-8"	107.45 SF	BB	8'-4 1/2"	22'-4 1/2"	187.01 SF
3	4'-2 1/2"	11'-2"	46.55 SF	CC	11'-11 1/2"	21'-10 1/2"	261.87 SF
4	4'-1"	16'-0"	65.46 SF	DD	15'-1 1/2"	14'-9 1/2"	223.76 SF
5	7'-6"	15'-3 1/2"	114.71 SF	EE	10'-11 1/2"	7'-1"	77.48 SF
6	12'-3 1/2"	16'-0"	196.04 SF	FF	0'-6"	1'-9 1/2"	.89 SF
7	6'-8"	40'-3 1/2"	268.28 SF	TOTAL			841.80 SF
8	7'-6"	0'-8 1/2"	5.44 SF				
			850.50 SF				
				ADU COVERED PORCH			
				FF	4'-2"	3'-7 1/2"	15.10 SF

TRELLIS PLAN

AREA: 196 SF

SCALE: 1/4" = 1'-0"

- CITY OF LOS ALTOS MUNICIPAL CODE - LAMC SECTION 14.15.069 - EXCEPTION WILL BE APPLIED TO ACCESSORY STRUCTURE - ARBOR LOCATED AT THE REAR OF THE BUILDING FOR THE FOLLOWING CONDITIONS:
- 1. OPEN ON ALL SIDES
 - 2. SOLID ROOF TO BE REPLACED WITH TRELLIS
 - 3. LESS THAN 200 SQUARE FEET IN AREA

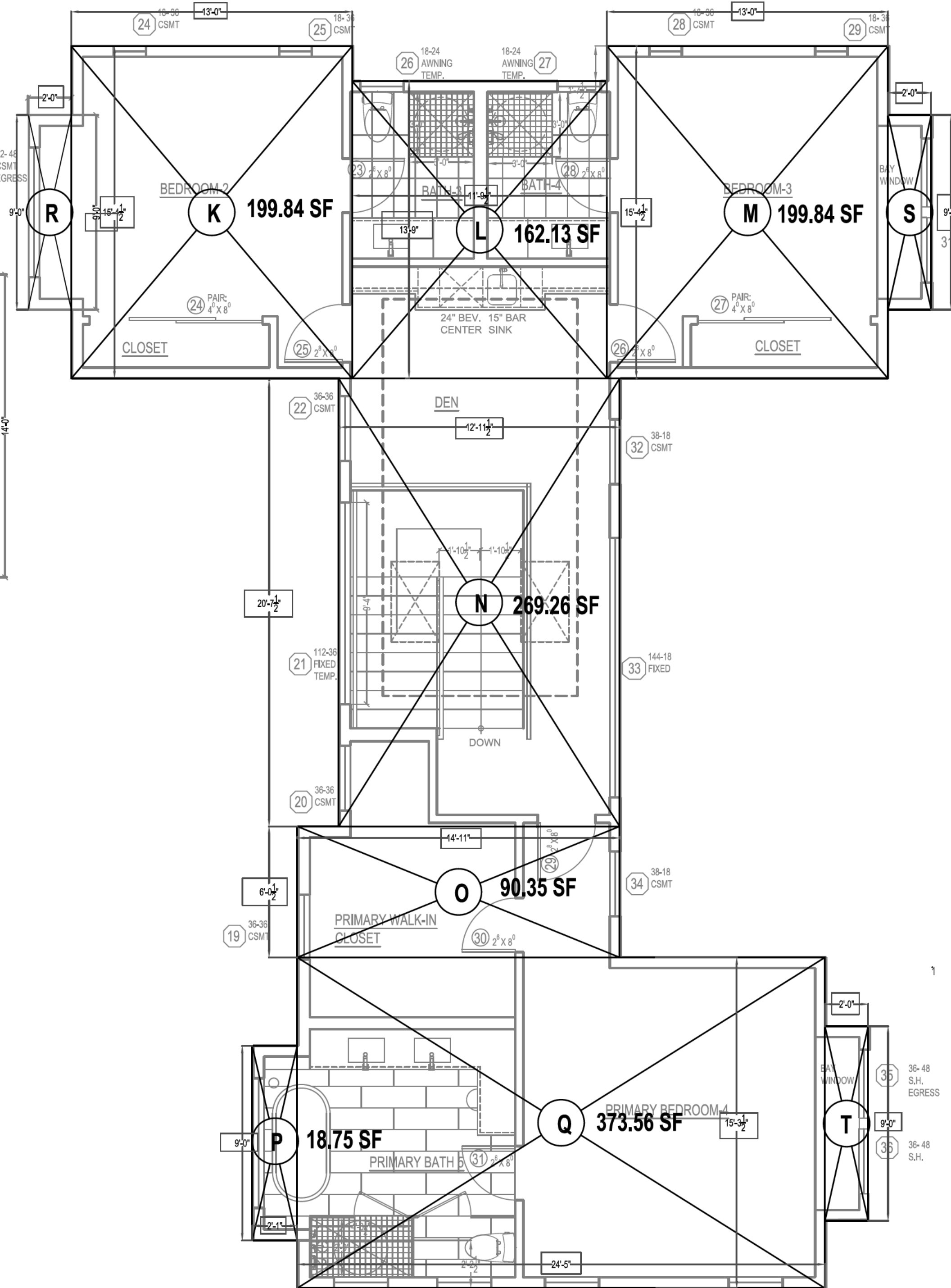
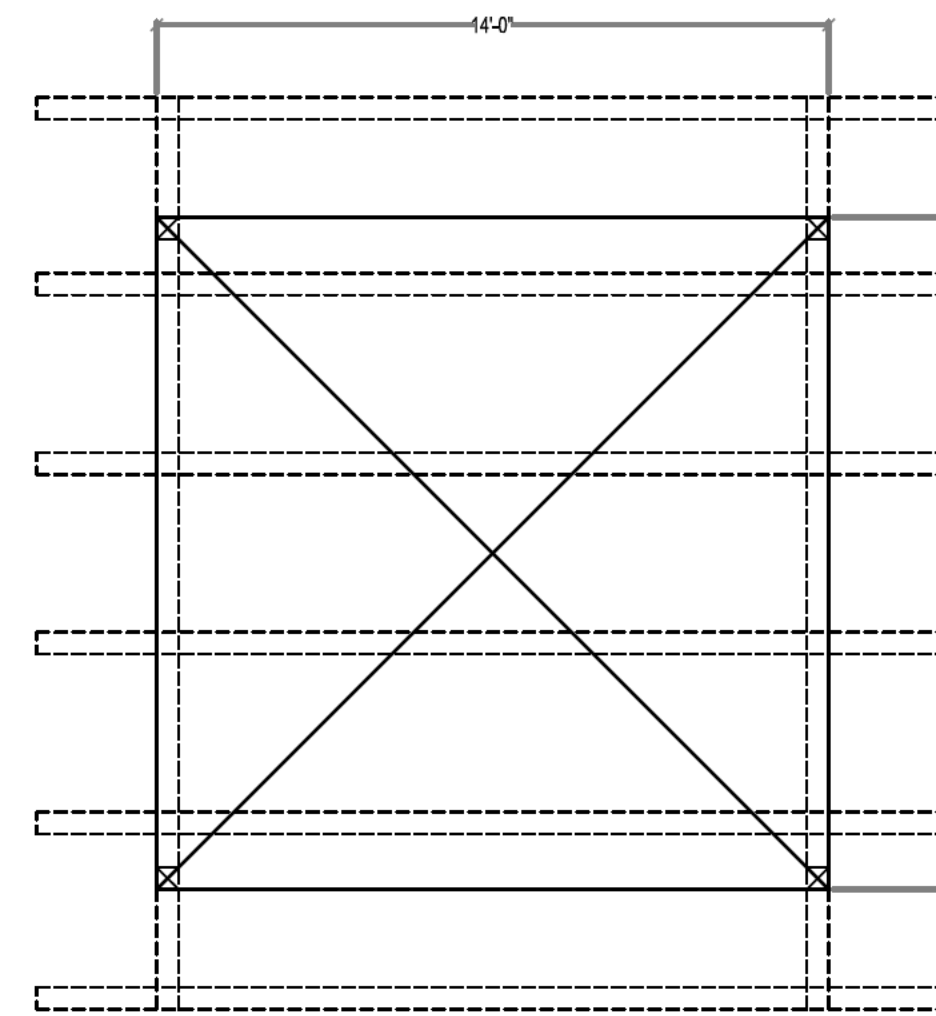


(E) POOL EQUIPMENT

AREA: 29.55 SF

SCALE: 1/4" = 1'-0"

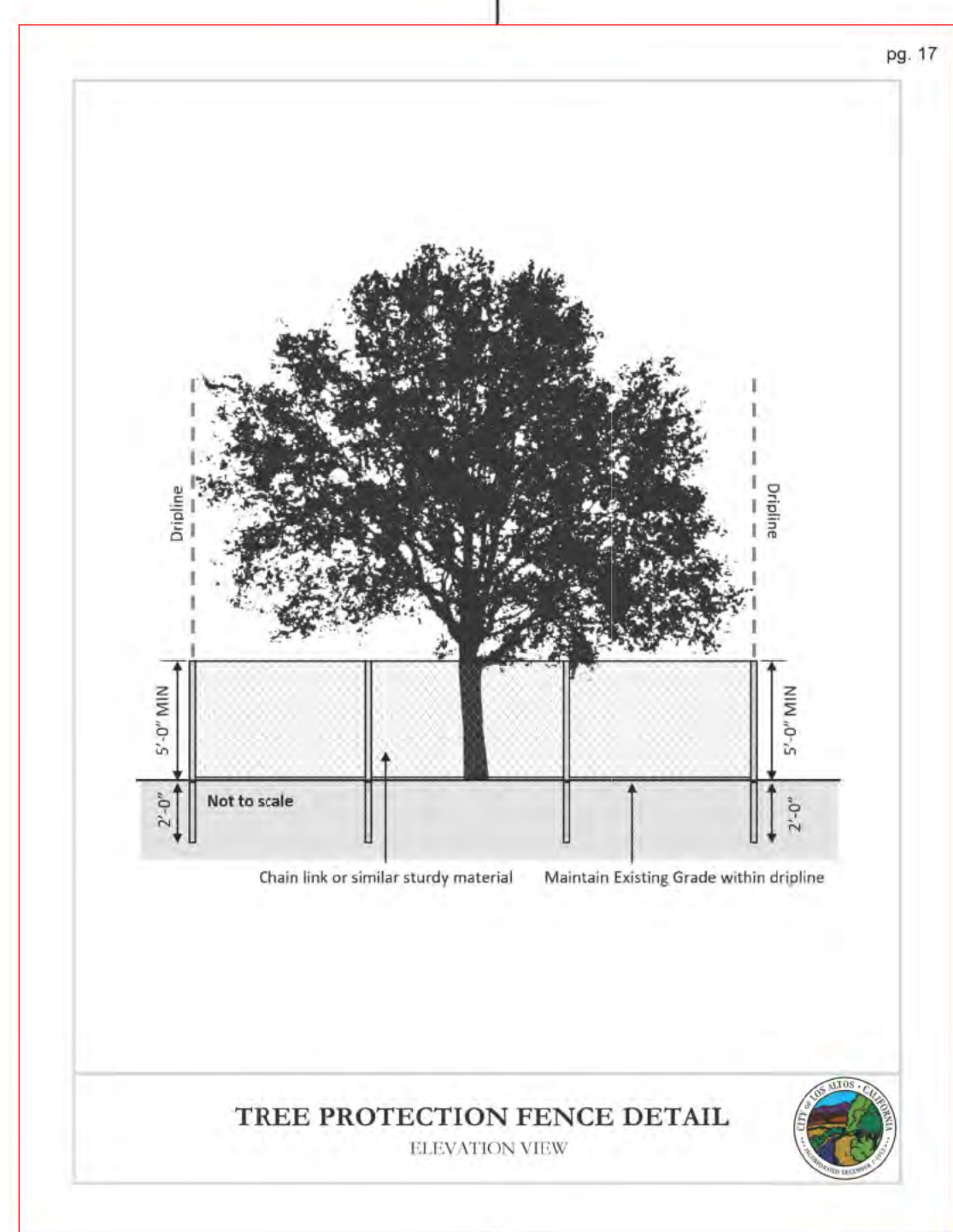
18 SF



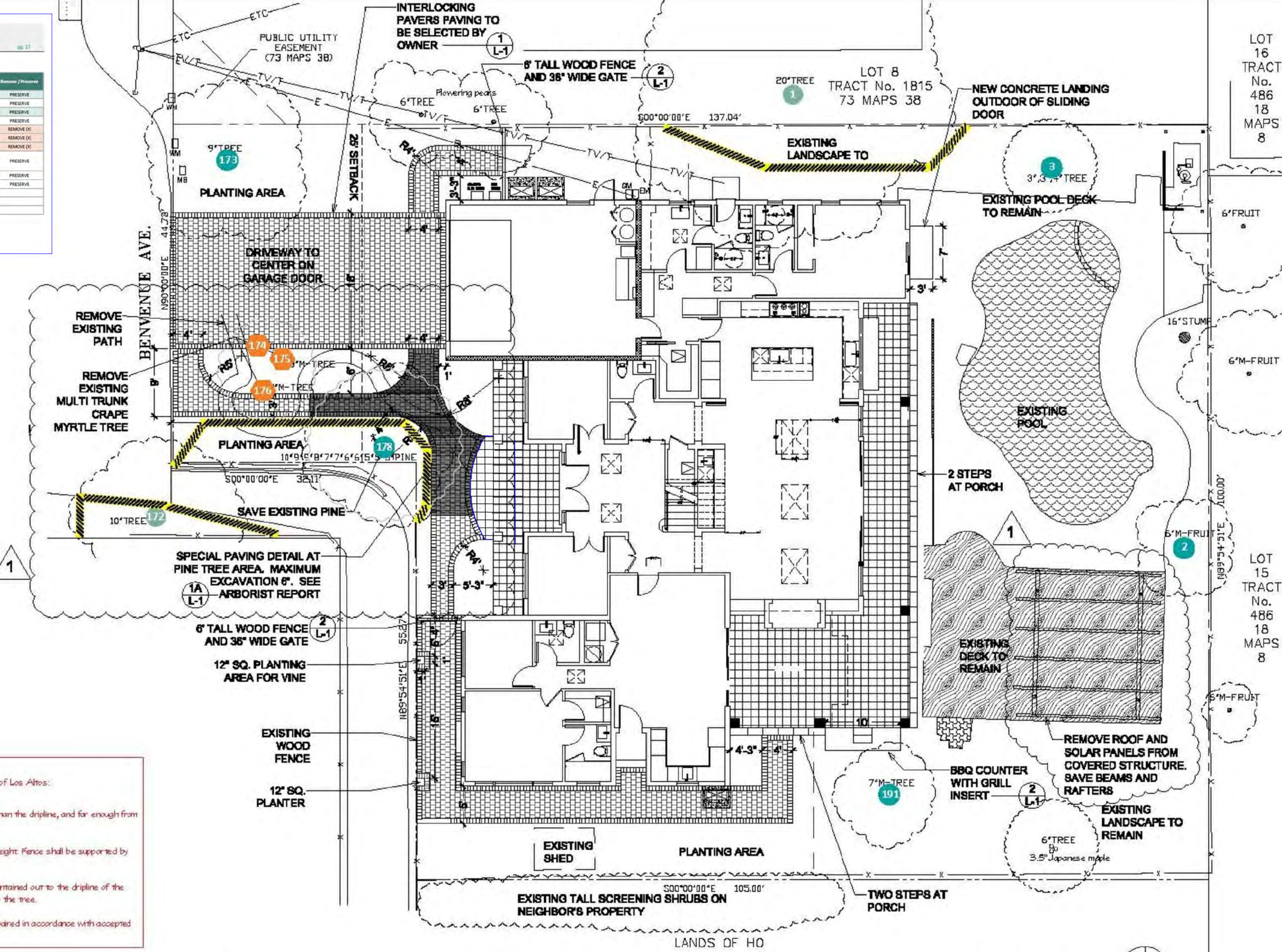
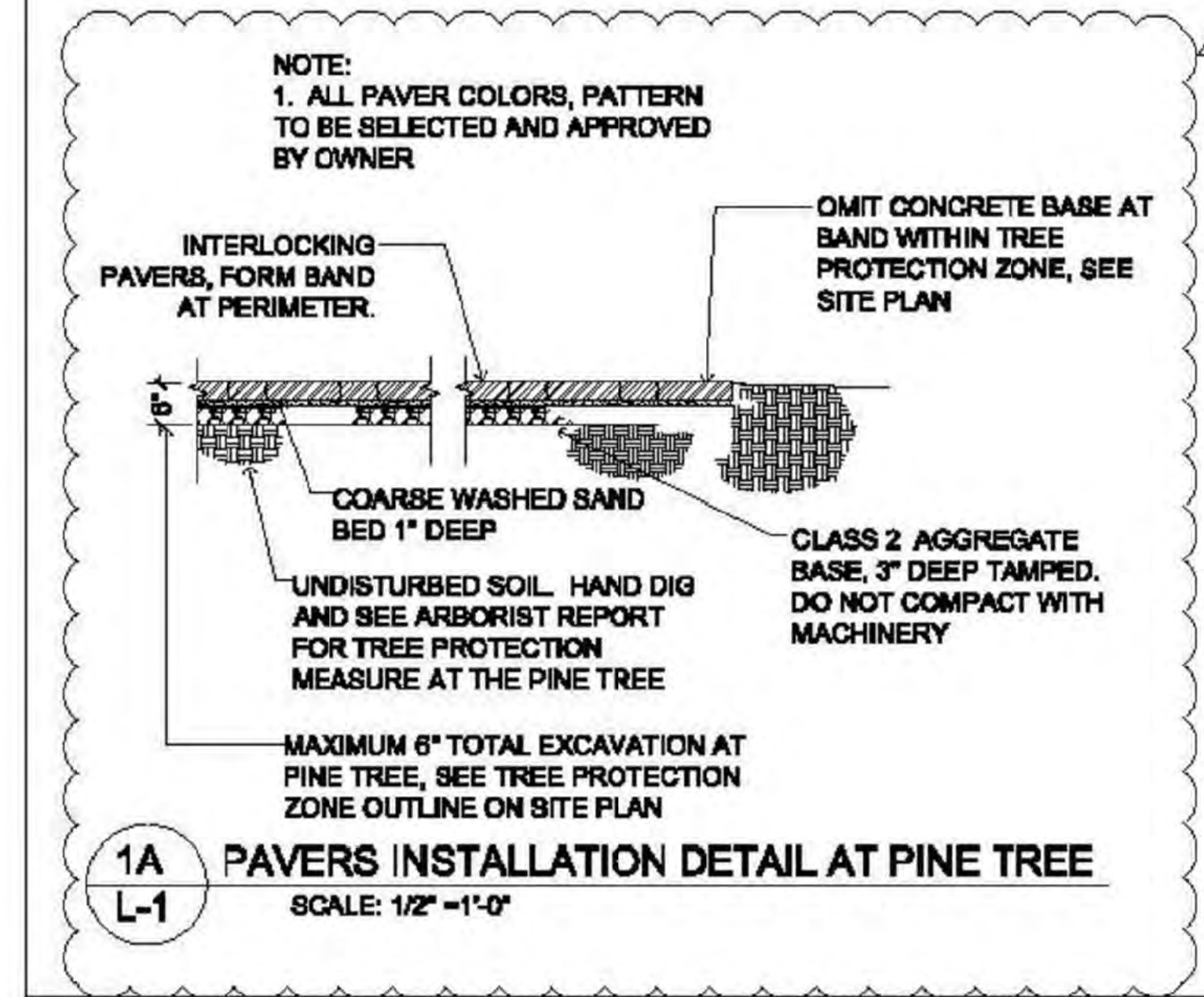
SECOND FLOOR AREA CALCULATIONS

SCALE: 1/4" = 1'-0"

Number	Common Name	Botanical Name	DBH (in)	Height (ft)	Spread (ft)	Condition	Age	Special	Category	Tier	Priority	Recommendation	Special Notes	Additional Info	Remarks/Status
1	Chinese Elm	Ulmus parvifolius	4.0	25	15	Good	Fair	Mature	Moderate	12	3	Low	Low	Preserve	
2	Orange	Citrus sinensis	3.2	11	4	Good	Young	Mature	Moderate	12	4	Very Low	Low	Preserve	
10	Orange Tree	Thunbergia albertiana	9	9	20	Good	Young	Mature	Moderate	12	9	Very Low	High	Preserve	
12	Orange Tree	Protea chinensis	10	10	20	Good	Young	Mature	Moderate	12	10	Moderate	High	Preserve	
13	Orange Tree	Agave americana	17	17	12	Good	Young	Mature	Moderate	12	2	Secure	Low	Remove (1)	
13A	Orange Tree	Agave americana	16	16	15	Good	Young	Mature	Moderate	12	5	Secure	Low	Remove (1)	
13B	Orange Tree	Agave americana	10	10	10	Good	Young	Mature	Moderate	12	5	Secure	Low	Remove (1)	
13C	Orange Tree	Agave americana	10	10	10	Good	Young	Mature	Moderate	12	5	Secure	Low	Remove (1)	
13D	Orange Tree	Agave americana	10	10	10	Good	Young	Mature	Moderate	12	5	Secure	Low	Remove (1)	
13E	Orange Tree	Agave americana	10	10	10	Good	Young	Mature	Moderate	12	5	Secure	Low	Remove (1)	
13F	Orange Tree	Agave americana	10	10	10	Good	Young	Mature	Moderate	12	5	Secure	Low	Remove (1)	
13G	Orange Tree	Agave americana	10	10	10	Good	Young	Mature	Moderate	12	5	Secure	Low	Remove (1)	
13H	Orange Tree	Agave americana	10	10	10	Good	Young	Mature	Moderate	12	5	Secure	Low	Remove (1)	
13I	Orange Tree	Agave americana	10	10	10	Good	Young	Mature	Moderate	12	5	Secure	Low	Remove (1)	
13J	Orange Tree	Agave americana	10	10	10	Good	Young	Mature	Moderate	12	5	Secure	Low	Remove (1)	
13K	Orange Tree	Agave americana	10	10	10	Good	Young	Mature	Moderate	12	5	Secure	Low	Remove (1)	
13L	Orange Tree	Agave americana	10	10	10	Good	Young	Mature	Moderate	12	5	Secure	Low	Remove (1)	
13M	Orange Tree	Agave americana	10	10	10	Good	Young	Mature	Moderate	12	5	Secure	Low	Remove (1)	
13N	Orange Tree	Agave americana	10	10	10	Good	Young	Mature	Moderate	12	5	Secure	Low	Remove (1)	
13O	Orange Tree	Agave americana	10	10	10	Good	Young	Mature	Moderate	12	5	Secure	Low	Remove (1)	
13P	Orange Tree	Agave americana	10	10	10	Good	Young	Mature	Moderate	12	5	Secure	Low	Remove (1)	
13Q	Orange Tree	Agave americana	10	10	10	Good	Young	Mature	Moderate	12	5	Secure	Low	Remove (1)	
13R	Orange Tree	Agave americana	10	10	10	Good	Young	Mature	Moderate	12	5	Secure	Low	Remove (1)	
13S	Orange Tree	Agave americana	10	10	10	Good	Young	Mature	Moderate	12	5	Secure	Low	Remove (1)	
13T	Orange Tree	Agave americana	10	10	10	Good	Young	Mature	Moderate	12	5	Secure	Low	Remove (1)	
13U	Orange Tree	Agave americana	10	10	10	Good	Young	Mature	Moderate	12	5	Secure	Low	Remove (1)	
13V	Orange Tree	Agave americana	10	10	10	Good	Young	Mature	Moderate	12	5	Secure	Low	Remove (1)	
13W	Orange Tree	Agave americana	10	10	10	Good	Young	Mature	Moderate	12	5	Secure	Low	Remove (1)	
13X	Orange Tree	Agave americana	10	10	10	Good	Young	Mature	Moderate	12	5	Secure	Low	Remove (1)	
13Y	Orange Tree	Agave americana	10	10	10	Good	Young	Mature	Moderate	12	5	Secure	Low	Remove (1)	
13Z	Orange Tree	Agave americana	10	10	10	Good	Young	Mature	Moderate	12	5	Secure	Low	Remove (1)	



- Tree protection fencing requirements as required by the City of Los Altos:
1. Protective fencing shall be installed no closer to the trunk than the dripline, and far enough from the trunk to protect the integrity of the tree.
 2. The fence shall be chain-link and a minimum of five feet in height. Fence shall be supported by vertical posts driven 2 feet (min) into the ground.
 3. The existing grade level around a tree shall normally be maintained out to the dripline of the tree. No signs, wires, or any other object shall be attached to the tree.
 4. Trees that have been damaged by construction shall be repaired in accordance with accepted arboriculture methods.



TREE PROTECTION ZONE MAP
707 BENVENUE AVE, LOS ALTOS, CA



DATE:
REV. 07/19/24

TPZ ELEMENTS DRAWN:
K. MEYER
ISA-CERTIFIED ARBORIST
#WE-14992A

BASE MAP, SITE PLAN L-1.0
BY ANY1 LANDSCAPE STUDIO
(07/15/2024)

ARBORIST REPORT
PG. 18



PROJECT INFORMATION

PROJECT ADDRESS: 707 BENVENUE AVE
LOS ALTOS, CA 94024

TOTAL LANDSCAPE AREA: 993 SF
PROJECT TYPE: RESIDENTIAL NEW LANDSCAPE
WATER SUPPLY TYPE: POTABLE WATER

I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE.

APPLICANT SIGNATURE _____ DATE: _____

I HAVE COMPLIED WITH THE CRITERIA OF THE WATER CONSERVATION IN LANDSCAPING ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

Anyi Huang DATE: 6/24/2024
ANYI HUANG
LANDSCAPE ARCHITECT
CA LIC. # 4987

LANDSCAPE DESIGN PLAN (TITLE 23, CHAPTER 2.7):

RECIRCULATING WATER SYSTEMS SHALL BE USED FOR WATER FEATURES

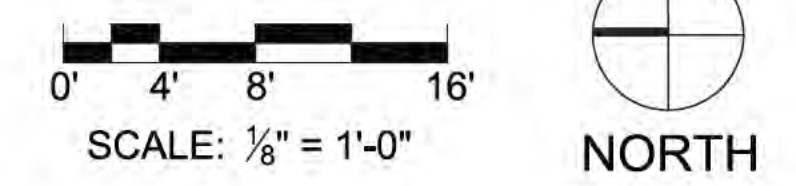
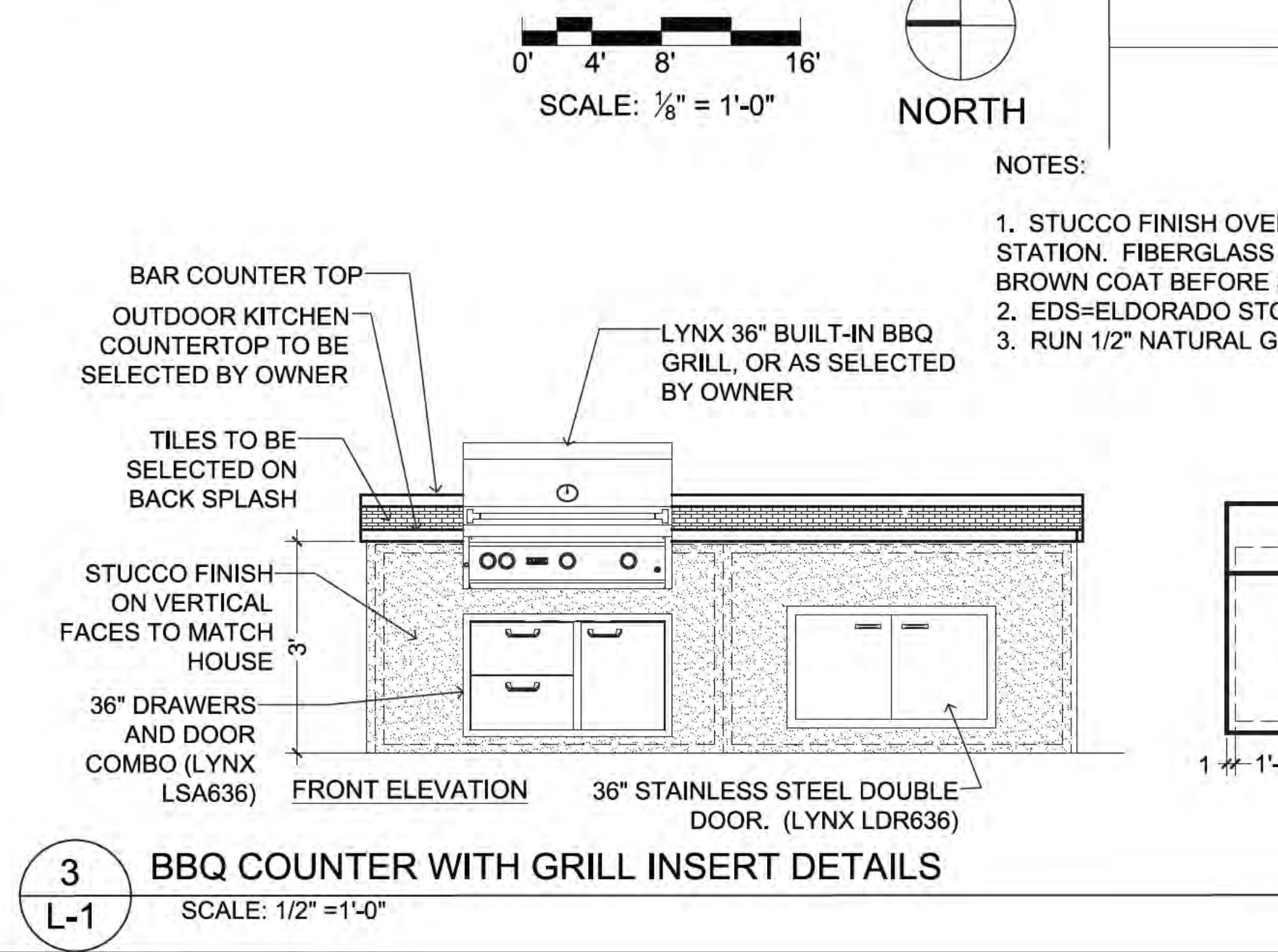
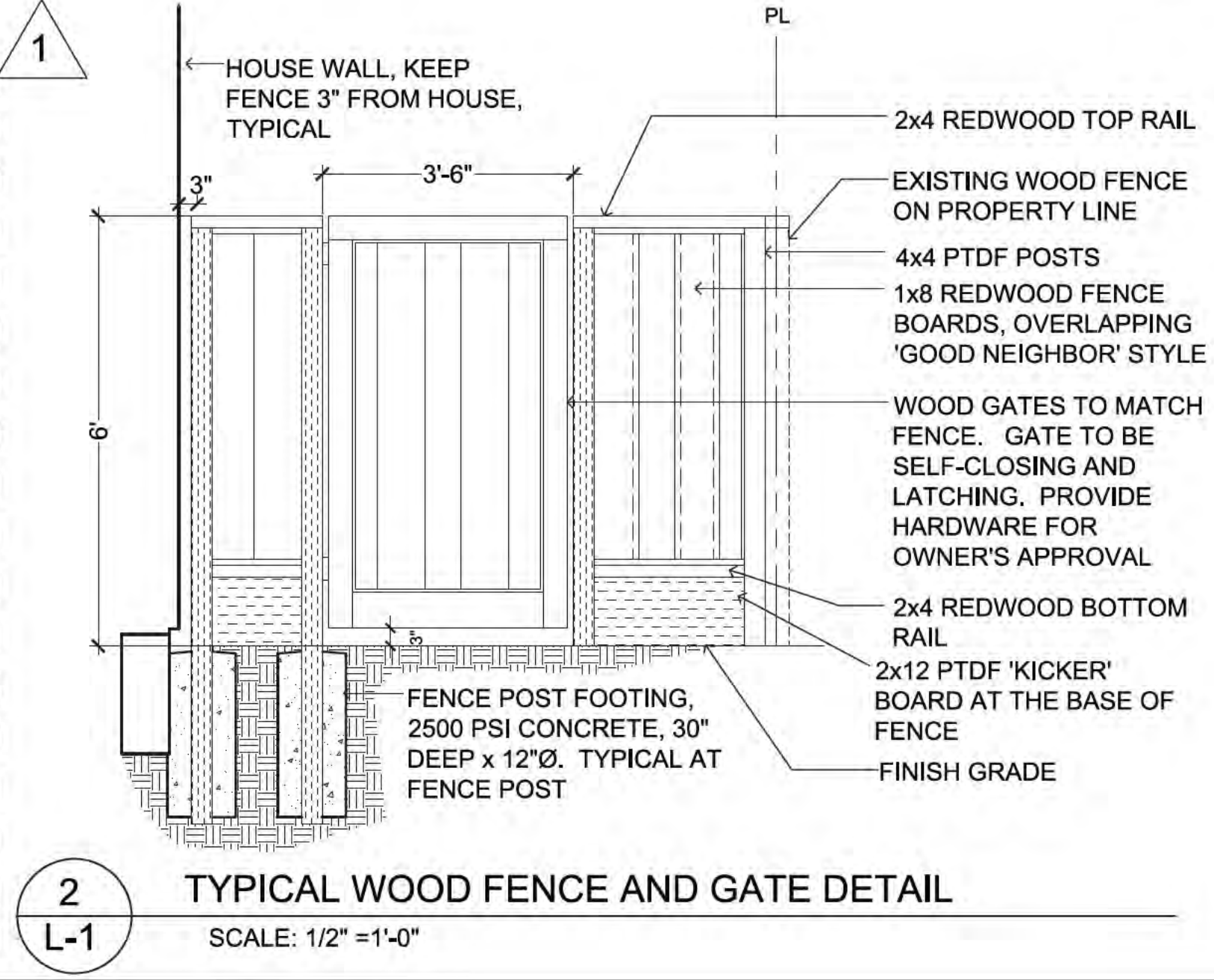
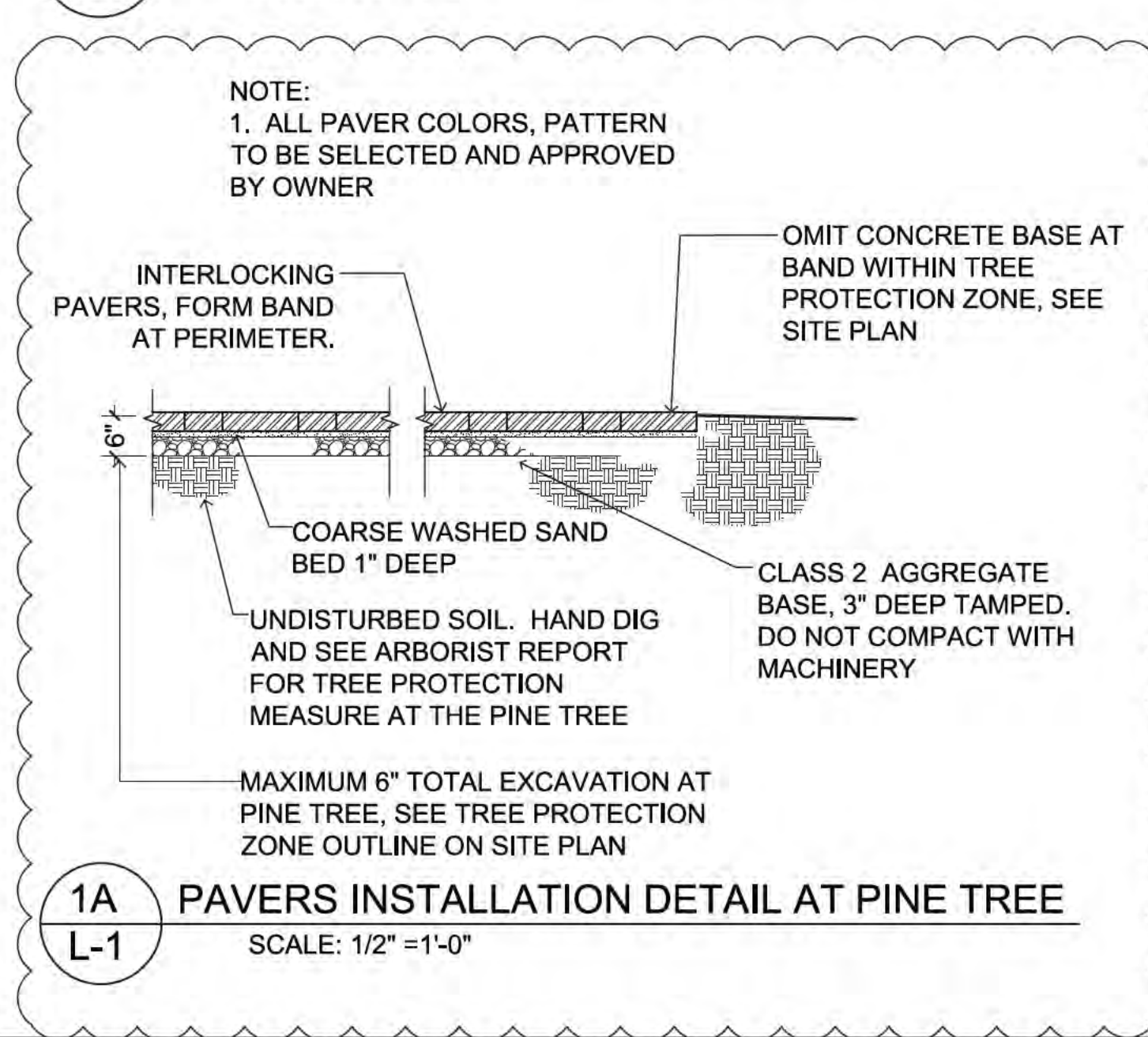
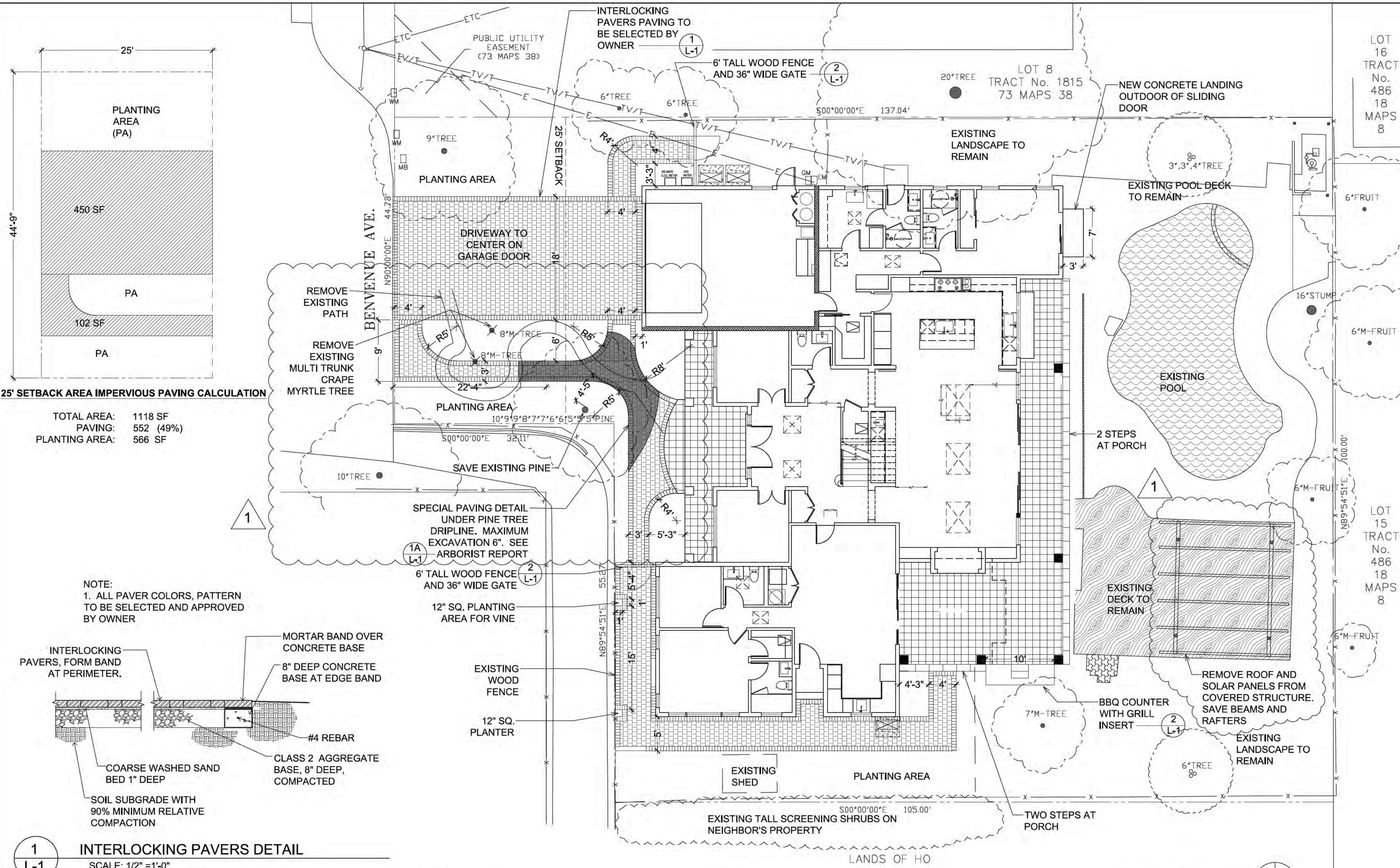
A MINIMUM 3-INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.

FOR SOIL LESS THAN 6% ORGANIC MATTER IN THE TOP 6 INCHES OF SOIL, COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES IN TO THE SOIL.

AT THE TIME OF FINAL INSPECTION, THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE AND A SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE.

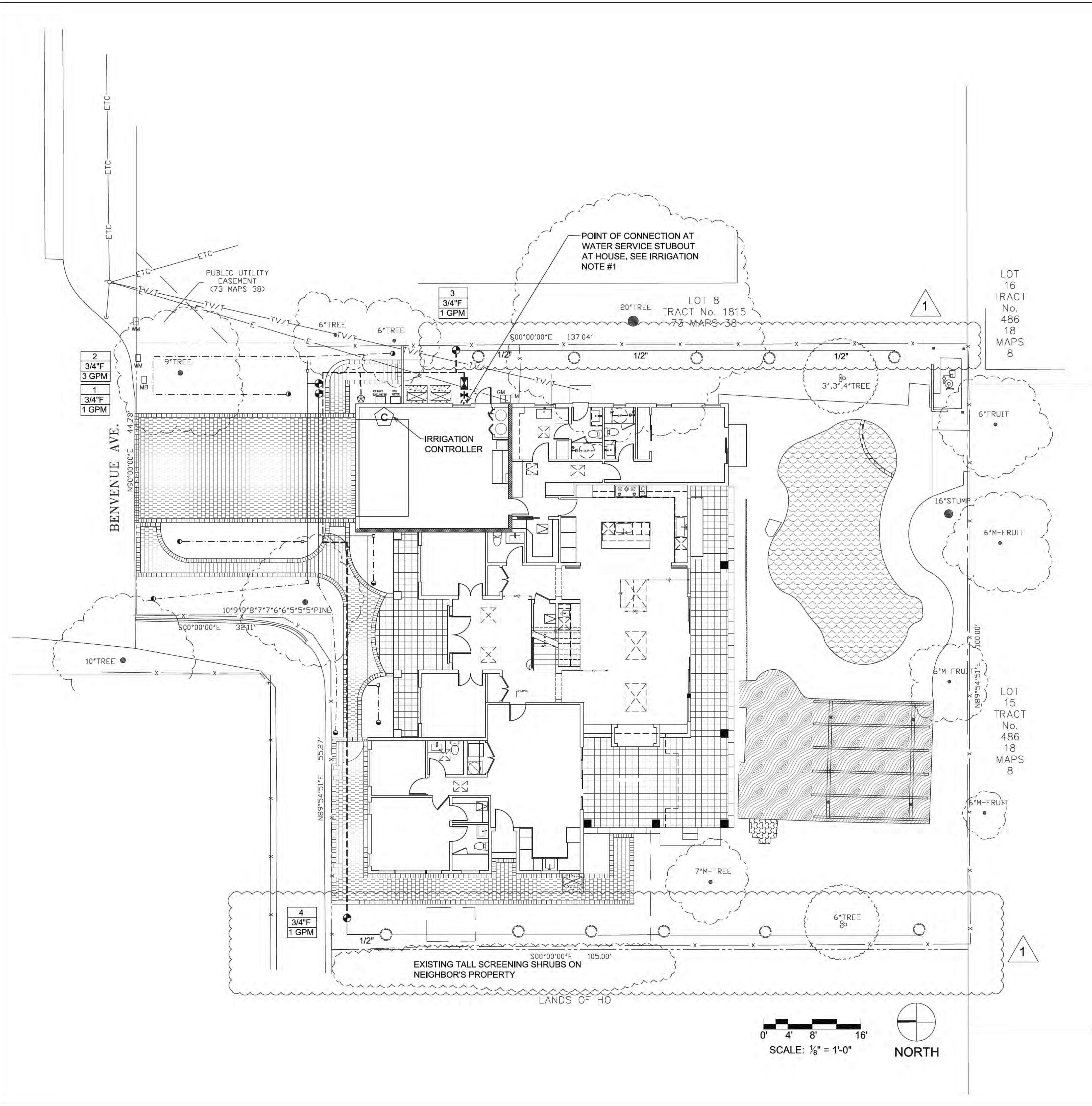
SHEET INDEX:
L-1 LANDSCAPE CONSTRUCTION LAYOUT
L-2 LANDSCAPE IRRIGATION PLAN
L-3 LANDSCAPE PLANTING PLAN
L-4 HYDROZONE MAP AND WELO WORKSHEET

UNDERGROUND SERVICE ALERT (USA) - 800-227-2600
CALL BEFORE YOU DIG.
CONTRACTOR TO CALL USA 2 DAYS BEFORE EXCAVATION TO LOCATE UNDERGROUND UTILITIES.



NOTES:

1. STUCCO FINISH OVER ELDORADO STONE CABINET BBQ STATION. FIBERGLASS TAPE AT ALL JOINTS AND APPLY BROWN COAT BEFORE STUCCO. PAINTED TO MATCH HOUSE.
2. EDS=ELDORADO STONE eldoradostone.com
3. RUN 1/2" NATURAL GAS LINE FROM HOUSE.



IRRIGATION LEGEND

SYMBOL	DESCRIPTION
	1/2" POLYETHYLENE DISTRIBUTION TUBING (RAINBIRD XT-700). SECURE IN PLACE WITH GALVANIZED TIE-DOWN STAKE EVERY 4', UNDER MULCH. USE RAINBIRD XERI-BUG EMITTERS XB-05PC (0.5 GPH) FOR 1 GALLON PLANTS, XB-10PC (1 GPH) FOR 5 GALLON PLANTS, AND 2-XB-10PC FOR EACH 15 GALLON PLANT. INSTALL 1/2" TUBING WITH STAKE AND DIFFUSER BUG CAP TO EACH PLANT. INSTALL FLUSH CAP (RAINBIRD MDCFCAP) AT THE END OF XT-700 TUBING.
	RAINBIRD XFD ON SURFACE DRIPLINE, 0.9 GPH, 12" SPACE (XFD-09-12), 24"Ø CIRCLE AROUND TREE TRUNK (ALLOW 3 EMITTERS PER RING). SECURE DRIPLINE WITH LANDSCAPE STAPLES
	1" DIAMETER SCHEDULE 40 PVC IRRIGATION MAIN LINE, BURY 18" DEEP.
	CLASS 200 PVC LATERAL LINE, 1/2" PIPE UNLESS NOTED OTHERWISE. BURY 12" MINIMUM.
	FEBCO 765 PRESSURE VACUUM BREAKER INSTALLED ON COPPER RISER 12" ABOVE GRADE.
	RAINBIRD XZC-075 (VALVE FOR DRIP SYSTEM INSTALL 3/4" PR RBY FILTER AFTER VALVE). LOCATE IN VALVE BOX BELOW GRADE.
	INDICATES IRRIGATION CONTROLLER AND STATION NUMBER
	INDICATES VALVE SIZE, F = HY-FILTER INDICATES FLOW RATE (GALLON PER MINUTE)
	3/4" BRASS HOSE BIB ON COPPER RISER. MOUNT ON WALL
	RACHIO 3 SMART CONTROLLER, 8 ZONES. INSTALL INSIDE GARAGE.
	MANUAL SHUT OFF VALVE

IRRIGATION NOTES:

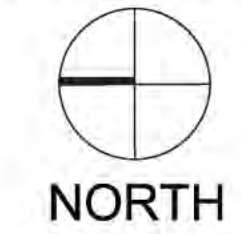
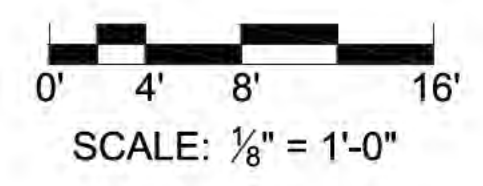
- CONTRACTOR TO LOCATE WATER SERVICE STUB OUT FROM HOUSE. TEST WATER SUPPLY FOR AVAILABILITY OF 35 GPM AND MINIMUM STATIC WATER PRESSURE OF 55 PSI AT POINT OF CONNECTION. INSTALL PRESSURE REGULATOR IF WATER PRESSURE IS ABOVE OR BELOW SYSTEM DESIGN
- TEST PIPES FOR LEAKS BEFORE BACKFILL.
- INSTALL 4" PVC SLEEVE UNDER PAVING, COORDINATE WITH OTHER CONTRACTORS.
- INSTALL PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICES.
- MAINLINE IS SHOWN DIAGRAMMATICALLY AND SHALL BE PLACED IN PLANTING AREAS WHENEVER POSSIBLE.
- LOCATE ALL VALVES IN CLOSE PROXIMITY TO THE LOCATION SHOWN ON THE PLAN IN A PLANTED AREA.
- PVC LATERALS AND FLEX RISERS FOR DRIP IRRIGATION ARE SHOWN DIAGRAMMATICALLY AND SHOULD ALWAYS BE LOCATED IN A PLANTING AREA WHENEVER POSSIBLE.

IRRIGATION STATIONS INFORMATION

HYDROZONE VALVE #	VALVE SIZE	FLOW RATE (GPM)	APPLICATION TYPE / RATE (IN/HR)	DESIGN OPERATION PRESSURE (PSI)	HYDROZONE / PLANT TYPES
1	3/4"F	1	DRIP/ N/A	30 PSI	Moderate / shrubs
2	3/4"F	3	DRIP/ N/A	30 PSI	Low / shrubs
3	3/4"F	1	DRIP/ N/A	30 PSI	Low / trees
4	3/4"F	1	DRIP/ N/A	30 PSI	Low / trees

* F = 'WYE' FILTER, INSTALL AFTER VALVE

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS.



UNDERGROUND SERVICE ALERT (USA) - 800-227-2600
CALL BEFORE YOU DIG.
CONTRACTOR TO CALL USA 2 DAYS BEFORE EXCAVATION TO LOCATE UNDERGROUND UTILITIES.



PLANTING LIST

SYMBOL	BOTANICAL NAME - COMMON NAME	QTY	SIZE	WUCOLS	Mature Size (HxW)
TREES					
T1	Prunus caroliniana - Carolina Cherry Laurel (standard form)	11	15 gallon	L	30' x 15'
SHRUBS / PERENNIALS					
Aa	Agave attenuata - Fox Tail Agave	8	5 gallon	L	4'x5'
Ac	Acacia cognata 'Cousin Itt' - Cousin Itt Acacia	10	5 gallon	L	2'x4'
AH	Arctostaphylos 'Howard McMinn' - Manzanita	2	5 gallon	L	4'x5'
Ak	Anigozanthos 'Big Red' - Red kangaroo paw	12	1 gallon	L	3'x2'
cm	Clivia Miniata - Clivia (by owner)	9	1 gallon	M	2'x2'
CY	Camellia 'japonica' - to be selected by owner	6	5 gallon	M	5'x4'
ir	Iris - Bearded irises	5	1 gallon	M	2'x2'
Ls	Leucadendron salignum 'Jester' - Conebush	10	5 gallon	L	4'x4'
Os	Osmanthus fragrans - Sweet Osmanthus	2	5 gallon	M	8'x6'
Sm	Salvia microphylla 'Hot Lips' - Salvia	2	1 gallon	L	3'x4'
Sv	Santolina chamaecyparissus - Lavender Cotton	10	1 gallon	L	2'x3'
Succulents					
ec	Echeveria 'After Glow' - After Glow Echeveria	5	1 gallon	L	1' x 1'
sa	Sedum 'Autumn Joy' - Autumn Joy Sedum	19	1 gallon	L	1' x 2'
s	Sedum reflexum 'Blue Spruce' - Jenny's Stonecrop	9	1 gallon	L	6" x 1'
Vine					
V1	Lonicera Semperirens - Honeysuckle	2	5 gallon	M	
V2	Wisteria Sinensis - Chinese Wisteria	2	5 gallon	M	

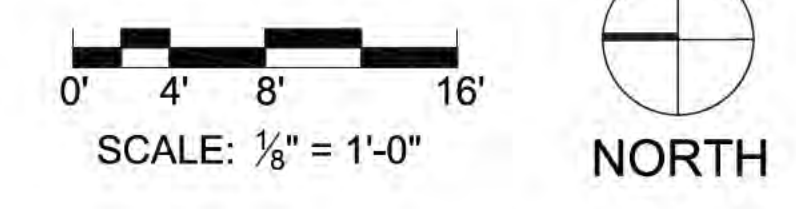
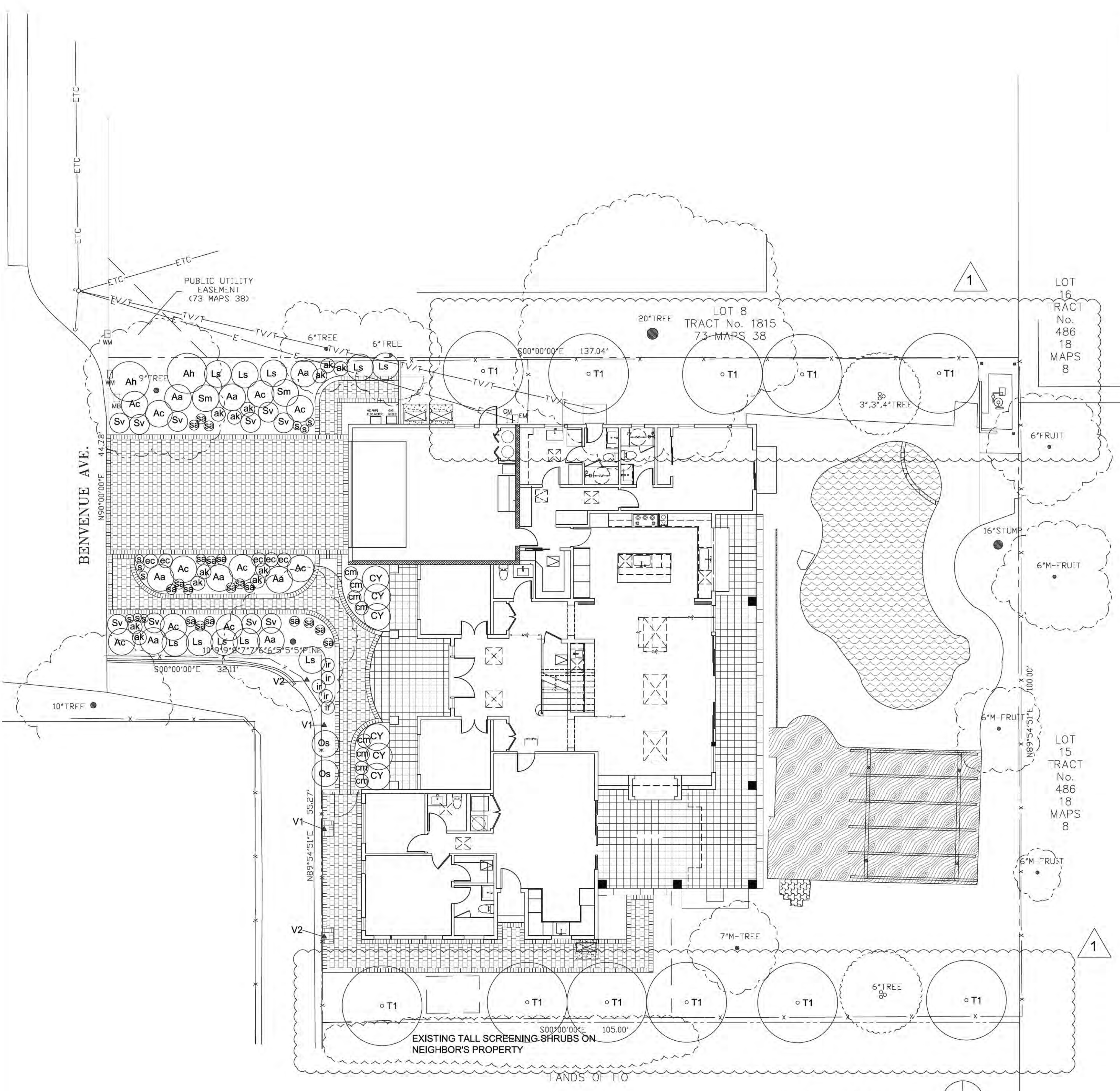
* Plant matured size sourced from Sunset Western Garden Book, Monrovia Plant Caterlog, www.selectree.calpoly.edu
** WUCOLS rating: H= High water use, M = Moderate water use, L= low water use, VL = very low water use

PLANTING NOTES

- Before planting till the following materials into the top 6" of soil (for each 1,000 S.F.):
 - 4 cubic nitrogen fortified organic yards compost
 - 10 LB fertilizer (N16/P6/K8) w/ 2% iron
 - 5 LB sulfate of ammonia
- Areas within the drip line of existing trees and shrubs to remain shall be prepared by hand digging to prevent damage to any roots.
- Mulch all planted areas with a 3" thick layer of medium recycled wood chips, color 'Dark Brown'.
- The Landscape Architect and the Owner reserve the right to reject any or all plant material, if such material does not meet the American Standards for Nursery Stock (ANSI). Plant materials shall be guaranteed against latent defects, injuries, pests, diseases or death of plants due to improper planting. Trees missing central leader will be rejected. The Contractor shall promptly replace plants that have died or are not in a vigorous, healthy condition with plants of the same kind and size as originally specified at no expense to the Owner.
- Plant locations are diagrammatic, and are subject to change in the field by the Landscape Architect. The Landscape Architect and the Owner reserve the right to make substitutions, additions and deletions in planting schedule while the work is in progress. Such changes shall be accompanied by equitable adjustments in the contract price, if and when necessary.
- Landscape Architect to approve plant locations prior to planting.
- The Contractor shall be responsible for the adequate protection of the improvements during construction. Damaged areas, such as sprinkler heads or plant materials, shall be replaced or repaired at no additional expense to the Owner.

I HAVE COMPLIED WITH THE CRITERIA OF THE WATER CONSERVATION IN LANDSCAPING ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

A MINIMUM 3-INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.



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REVISION DATE	NO.
7/15/2024	1

HYDROZONE MAP AND WELW WORKSHEET

SHEET TITLE:



PROJECT ADDRESS:
NEW RESIDENCE
707 BENVENUE AVE
LOS ALTOS, CA 94024

DATE:
3/26/2024

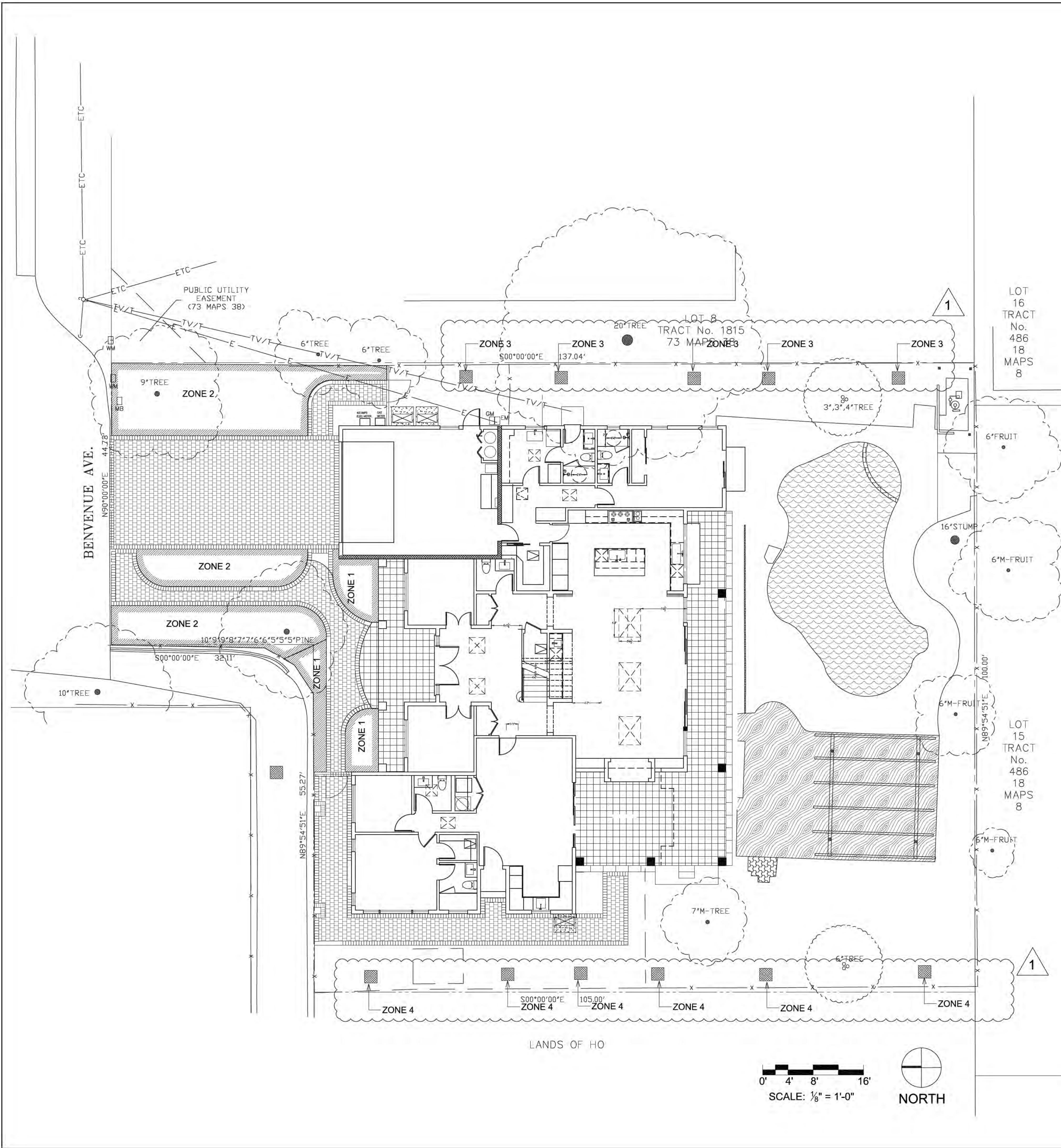
SCALE:
1/8" = 1'-0"

DRAWN BY:
AH

PROJECT #
24018

SHEET
L - 4

TOTAL SHEETS: 5



JOB ADDRESS: 707 BENVENUE AVE. LOS ALTO, CA 94024

WATER EFFICIENT LANDSCAPE WORKSHEET
Reference Evapotranspiration (ET_o) 43

Hydrozone # /Planting Description	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU)
Regular Landscape Areas							
1 / moderate water use shrubs	0.5	drip	0.81	0.62	171	105.56	2814.11
2 / low water use shrubs	0.3	drip	0.81	0.37	778	288.15	7682.03
3 / low water use trees	0.3	drip	0.81	0.37	20	7.41	0.00
4 / low water use trees	0.3	drip	0.81	0.37	24	8.89	236.96
Totals					993	410.00	

Special Landscape Areas							
					1	0	0.00
Totals					0	0	0.00
ETWU Total							10733.12
Maximum Allowed Water Allowance (MAWA)							14560.36

Hydrozone #/Planting Description
Eg
1.) front lawn
2.) low water use plantings
3.) medium water use planting

Irrigation Method
overhead spray
or drip

Irrigation Efficiency
0.75 for spray head
0.81 for drip

ETWU (Annual Gallons Required) = $ET_o \times 0.62 \times ETAF \times Area$
where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year

MAWA (Annual Gallons Allowed) = $(E_{to})(0.62)(ETAF \times LA) + ((1-ETAF) \times SLA)$
where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot, SLA is the total special landscape area in square feet, and ETAF is .55 for residential areas and 0.45 for non-residential areas.

ETAF Calculations
Regular Landscape Areas

Total ETAF x Area	410.00
Total Area	993.00
Average ETAF	0.41

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas

All Landscape Areas	
Total ETAF x Area	410.00
Total Area	993.00
Site-wide ETAF	0.41

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LEA & BRAZE ENGINEERING, INC.
 CIVIL ENGINEERS & LAND SURVEYORS

REGIONAL OFFICES:
 OAKVILLE, OHIO
 SAN JOSE, CALIFORNIA
 SAN LUIS OBISPO, CALIFORNIA

WWW.LEABRAZE.COM

707 BENVENUE AVENUE
 LOS ALTOS
 CALIFORNIA

SANTA CLARA COUNTY
 APN: 189-38-088

TOPOGRAPHIC SURVEY

REVISIONS	BY

JOB NO: 2231352
 DATE: 8-18-23
 SCALE: 1"=8'
 FIELD BY: RM
 DRAWN BY: ZB
 SHEET NO:

SU1
 1 OF 1 SHEETS

UTILITY NOTE

ALL UNDERGROUND PIPE TYPES, SIZES AND LOCATION SHOWN ON THIS SURVEY ARE BASED ON VISUAL OBSERVATION. ANY USE OF THIS INFORMATION SHOULD BE VERIFIED, BEFORE ITS USE, WITH THE CONTROLLING MUNICIPALITY OR UTILITY PROVIDER. THIS SURVEY MAKES NO GUARANTEE OF THE INSTALLED ACTUAL LOCATION, DEPTHS OR SIZE.

TREE NOTE

TREE SIZE, TYPE AND DRIFLINES ARE BASED ON A VISUAL OBSERVATION. FINAL DETERMINATION SHOULD BE MADE BY THE PROJECT ARBORIST.

FEMA FLOOD NOTE

PROPERTY COMPLETELY OUT OF SPECIAL FLOOD HAZARD AREA (SFHA)
 FLOOD INSURANCE RATE MAP No.: 06085C0201H
 EFFECTIVE DATE: MAY 18, 2009

BENCHMARK

SANTA CLARA VALLEY WATER DISTRICT BENCHMARK BENCHMARK ID: BM204 BRASS DISK IN TOP OF CURB AT THE NORTHWESTERLY CORNER OF ENTRANCE ROAD BRIDGE TO ST. FRANCIS HIGH SCHOOL OVER PERMANENTE CREEK. STATION IS ON THE EAST SIDE OF MIRAMONTE AVENUE. ELEVATION = 158.69' (NAVD 88)

SITE BENCHMARK

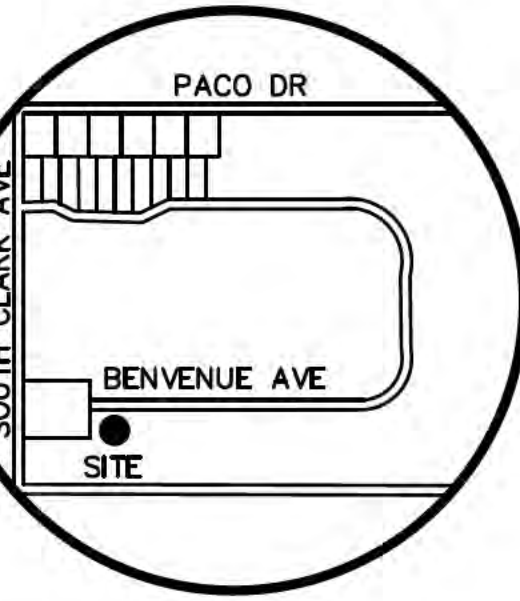
SURVEY CONTROL POINT
 MAG AND SHINER SET IN ASPHALT
 ELEVATION = 159.82' (NAVD 88 DATUM)

NOTES

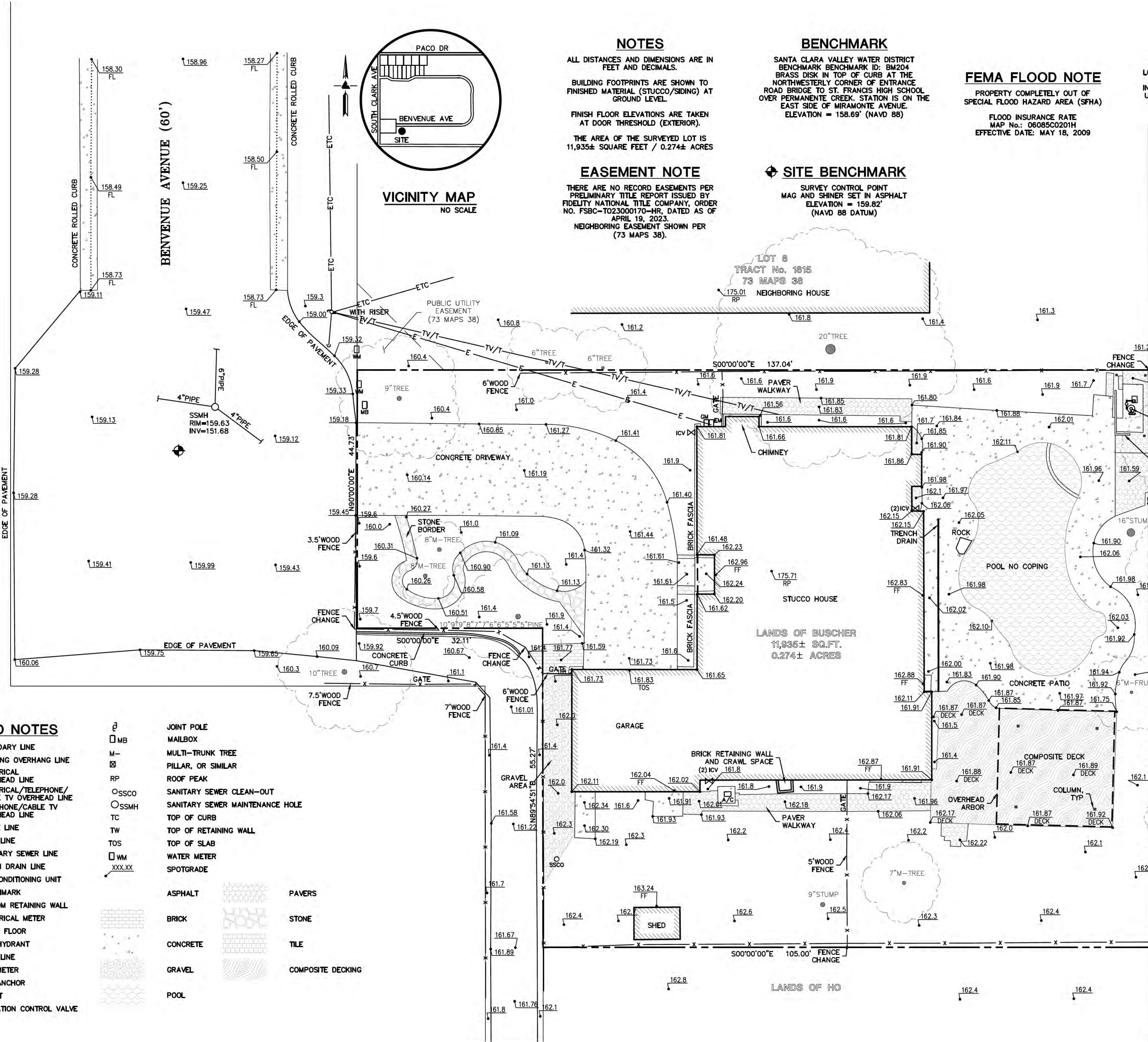
ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.
 BUILDING FOOTPRINTS ARE SHOWN TO FINISHED MATERIAL (STUCCO/SIDING) AT GROUND LEVEL.
 FINISH FLOOR ELEVATIONS ARE TAKEN AT DOOR THRESHOLD (EXTERIOR).
 THE AREA OF THE SURVEYED LOT IS 11,935± SQUARE FEET / 0.274± ACRES

EASEMENT NOTE

THERE ARE NO RECORD EASEMENTS PER PRELIMINARY TITLE REPORT ISSUED BY FIDELITY NATIONAL TITLE COMPANY, ORDER NO. FSBC-T023000170-HR, DATED AS OF APRIL 19, 2023.
 NEIGHBORING EASEMENT SHOWN PER (73 MAPS 38).

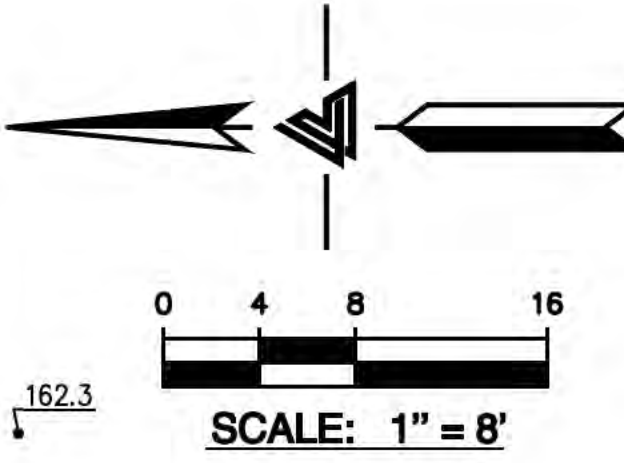


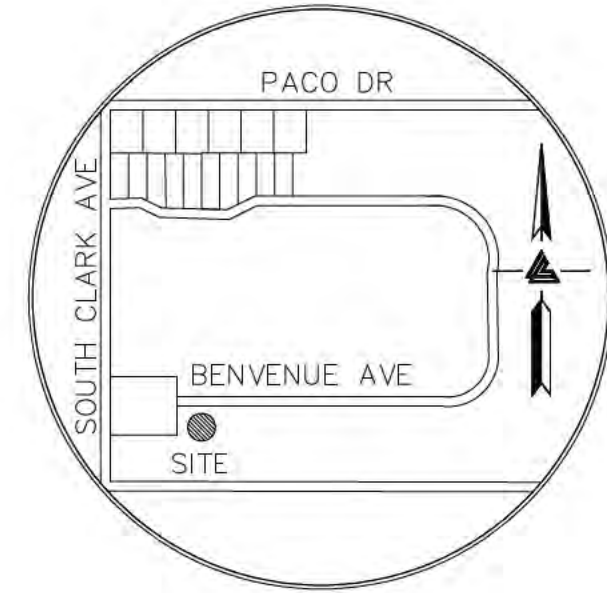
VICINITY MAP
 NO SCALE



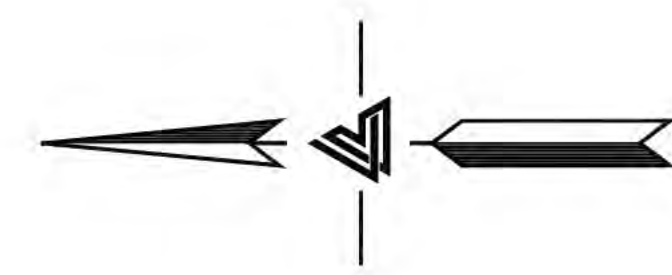
LEGEND AND NOTES

- | | | | |
|------|---|----------|---------------------------------|
| --- | BOUNDARY LINE | MB | JOINT POLE MAILBOX |
| --- | BUILDING OVERHANG LINE | M- | MULTI-TRUNK TREE |
| E | ELECTRICAL OVERHEAD LINE | RP | PILLAR, OR SIMILAR ROOF PEAK |
| ETC | ELECTRICAL/TELEPHONE/CABLE TV OVERHEAD LINE | SSCO | SANITARY SEWER CLEAN-OUT |
| TV/T | TELEPHONE/CABLE TV OVERHEAD LINE | SSMH | SANITARY SEWER MAINTENANCE HOLE |
| x | FENCE LINE | TC | TOP OF CURB |
| --- | FLOW LINE | TW | TOP OF RETAINING WALL |
| SS | SANITARY SEWER LINE | TOS | TOP OF SLAB |
| SD | STORM DRAIN LINE | WM | WATER METER |
| A/C | AIR CONDITIONING UNIT | XXX.XX | SPOTGRADE |
| + | BENCHMARK | | |
| BW | BOTTOM RETAINING WALL | | |
| EM | ELECTRICAL METER | | |
| FF | FINISH FLOOR | | |
| FL | FIRE HYDRANT | | |
| GM | GAS METER | | |
| INV | GUY ANCHOR | | |
| ICV | IRRIGATION CONTROL VALVE | | |
| | | ASPHALT | PAVERS |
| | | BRICK | STONE |
| | | CONCRETE | TILE |
| | | GRAVEL | COMPOSITE DECKING |
| | | POOL | |





VICINITY MAP
NO SCALE



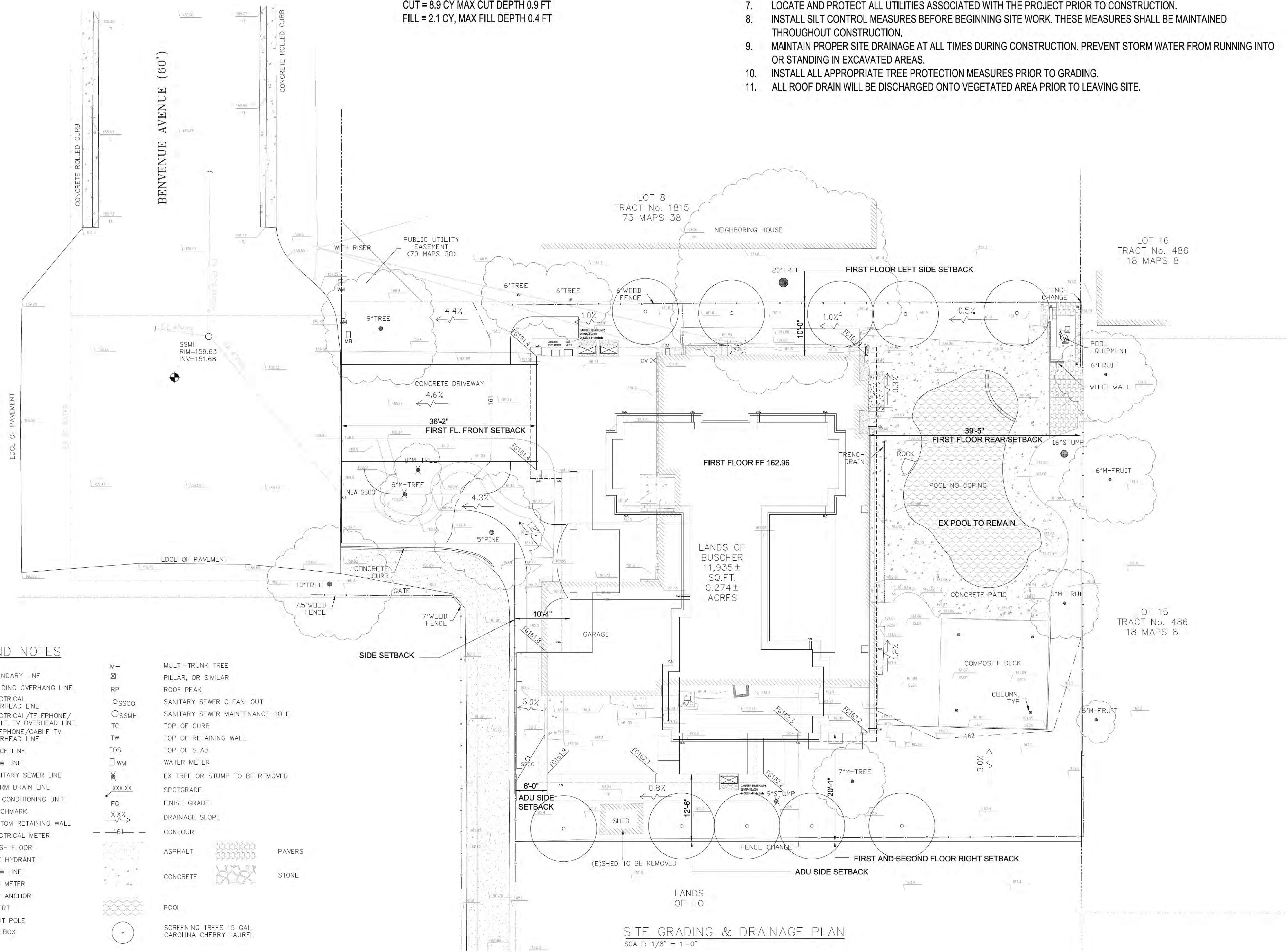
STORMWATER COMPLIANCE NOTES:

1. THE PROJECT CREATES AND/OR REPLACES LESS THAN 5,000SF OF IMPERVIOUS SURFACES.
2. THE FOLLOWING SITE DESIGN MEASURES ARE PROPOSED:
 - PROTECT EXISTING TREES AND SOIL.
 - DIRECT ROOF RUNOFF ONTO VEGETATED AREA
3. THE FOLLOWING SOURCE CONTROL MEASURES ARE PROPOSED:
 - DROUGHT TOLERANT LANDSCAPING
 - USE WATER EFFICIENT IRRIGATION SYSTEM

EARTHWORK QUANTITY ESTIMATE:
CUT = 8.9 CY MAX CUT DEPTH 0.9 FT
FILL = 2.1 CY, MAX FILL DEPTH 0.4 FT

GENERAL GRADING NOTES

1. ALL GRADING AND SITE PREPARATION SHALL CONFORM WITH THE SOIL ENGINEER'S RECOMMENDATION.
2. ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE TO THE COUNTY LATEST CONSTRUCTION SPECIFICATIONS AND DETAILS
3. PRIOR TO ANY EXCAVATION OF THE PROJECT SITE, THE OPERATOR SHALL NOTIFY THE COUNTY 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
4. THE CONTRACTOR SHALL CAREFULLY PRESERVE BENCHMARKS, REFERENCE POINTS AND STAKES.
5. ALL INDICATED ELEVATIONS ARE FINISHED ELEVATIONS.
6. FIELD VERIFY LOCATIONS, SIZES AND IF APPLICABLE INVERTS OF EXISTING UTILITIES FOR PROPOSED CONNECTIONS PRIOR TO CONSTRUCTION.
7. LOCATE AND PROTECT ALL UTILITIES ASSOCIATED WITH THE PROJECT PRIOR TO CONSTRUCTION.
8. INSTALL SILT CONTROL MEASURES BEFORE BEGINNING SITE WORK. THESE MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
9. MAINTAIN PROPER SITE DRAINAGE AT ALL TIMES DURING CONSTRUCTION. PREVENT STORM WATER FROM RUNNING INTO OR STANDING IN EXCAVATED AREAS.
10. INSTALL ALL APPROPRIATE TREE PROTECTION MEASURES PRIOR TO GRADING.
11. ALL ROOF DRAIN WILL BE DISCHARGED ONTO VEGETATED AREA PRIOR TO LEAVING SITE.



LEGEND AND NOTES

—	BOUNDARY LINE	M—	MULTI-TRUNK TREE
- - -	BUILDING OVERHANG LINE	RP	PILLAR, OR SIMILAR
—	ELECTRICAL OVERHEAD LINE	ROOF PEAK	
—	ELECTRICAL/TELEPHONE/CABLE TV OVERHEAD LINE	OSSCO	SANITARY SEWER CLEAN-OUT
—	TELEPHONE/CABLE TV OVERHEAD LINE	OSSMH	SANITARY SEWER MAINTENANCE HOLE
—	FENCE LINE	TC	TOP OF CURB
—	FLOW LINE	TW	TOP OF RETAINING WALL
—	SANITARY SEWER LINE	TOS	TOP OF SLAB
—	STORM DRAIN LINE	WM	WATER METER
□ A/C	AIR CONDITIONING UNIT	X	EX TREE OR STUMP TO BE REMOVED
⊕	BENCHMARK	xxx.xx	SPOTGRADE
BW	BOTTOM RETAINING WALL	FG	FINISH GRADE
EM	ELECTRICAL METER	X.XX	DRAINAGE SLOPE
FF	FINISH FLOOR	-161-	CONTOUR
⊕	FIRE HYDRANT	ASPHALT	ASPHALT
FL	FLOW LINE	CONCRETE	CONCRETE
GM	GAS METER	PAVERS	PAVERS
INVT	GUY ANCHOR	STONE	STONE
⊕	JOINT POLE	POOL	POOL
MB	MAILBOX	SCREENING TREES 15 GAL. CAROLINA CHERRY LAUREL	

SITE GRADING & DRAINAGE PLAN
SCALE: 1/8" = 1'-0"

ADDRESS	EMAIL
PROPERTY ADDRESS	
707 BENVENUE AVENUE LOS ALTOS, CA 94024	
PROPERTY OWNERS	
GEDRG AND LING BUSCHER	
ASSESSOR PARCEL NO.	
189-38-088	
REVISIONS BY: JD	
REVISION DATE	#
8/1/24	1
DATE	07-29-24
JOB NO.	
SCALE:	AS NOTED
DRAWN BY:	JD
CHECKED BY:	JD
APPLIES TO ALL PLANS	
NORTH ARROW	
CONTENT:	
CONCEPTUAL GRADING & DRAINAGE PLAN	
SHEET NUMBER	
C-1.0	

