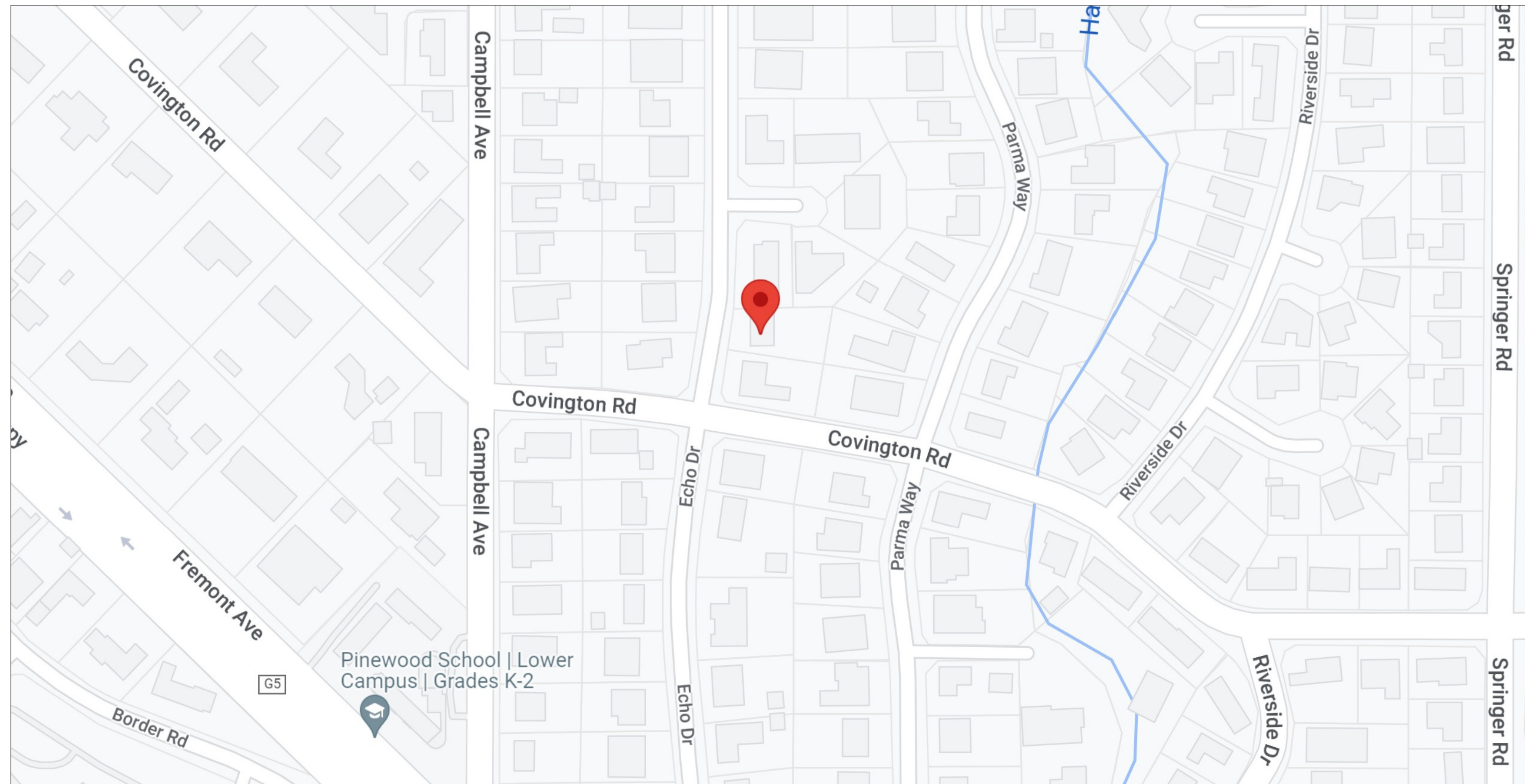




COLORED RENDERING



VICINITY MAP

PROPERTY DESCRIPTION

OWNER ROHAN & NAVPREET PURI
 ADDRESS 925 ECHO DRIVE
 LOS ALTOS, CA 94024
 PARCEL 189-41-068
 ACREAGE 0.298
 ZONING R1-10
 OCCUPANCY R-3/U
 CONSTR. TYPE V-B
 PROJECT DESCRIPTION 4TWO STORY RESIDENCE WITH
 BEDROOMS, 4-1/2 BATH, BASEMENT
 AND SUNKEN PATIO

CONSULTANT DIRECTORY

SURVEYOR DODGE ASSOCIATES, SURVEYING
 20652 CHAPARRAL CIRCLE
 PENN VALLEY, CA 95946
 (650) 432-5219
 SOILS ENGINEER
 CIVIL ENGINEER GREEN CIVIL ENGINEERING
 1900 S. NORFOLK ST. # 350
 SAN MATEO, CA 94403
 (510) 368-9863
 STRUCTURAL ENGINEER T.B.D.
 ENERGY CONSULTANT T.B.D.
 LANDSCAPE ARCHITECT W. JEFFREY HEID, LANDSCAPE ARCHITECT
 617 ONELDA DRIVE
 SAN JOSE, CA 95123

SHEET INDEX

- ARCHITECTURAL SHEETS**
- A0.0 COVER SHEET
 - A1.0 SITE PLAN
 - A1.1 FLOOR DIAGRAM & AREA CALCULATIONS
 - A1.2 NEIGHBORHOOD CONTEXT MAP
 - A1.3 STREETScape
 - A2.0 PROPOSED BASEMENT PLAN
 - A2.1 PROPOSED MAIN FLOOR PLAN
 - A2.2 PROPOSED UPPER FLOOR PLAN
 - A2.3 PROPOSED ROOF PLAN
 - A3.0 FRONT & REAR ELEVATIONS
 - A3.1 RIGHT & LEFT SIDE ELEVATIONS
 - A3.2 Architectural Details
 - A4.0 CROSS SECTIONS "A-A" & "B-B"
 - A4.1 CROSS SECTIONS "C-C" & "D-D"
 - A4.2 CROSS SECTIONS "E-E" & "F-F"
- CIVIL SHEETS**
- C1 GRADING & DRAINAGE
- LAND SURVEY SHEET**
- T-1 TOPOGRAPHIC SURVEY
- LANDSCAPING SHEETS**
- L-1 MASTER PLAN
 - L-2 PLANTING PLAN

APPLICABLE CODES

THIS PROJECT SHALL COMPLY (AS REQUIRED) WITH THE:

- 2019 CALIFORNIA BUILDING CODE
- 2019 CALIFORNIA RESIDENTIAL CODE
- 2019 CALIFORNIA MECHANICAL CODE
- 2019 CALIFORNIA ELECTRICAL CODE
- 2019 CALIFORNIA PLUMBING CODE
- 2019 CALIFORNIA FIRE CODE
- 2019 CALIFORNIA ENERGY CODE
- 2019 CALIFORNIA GREEN BUILDING

NOTE
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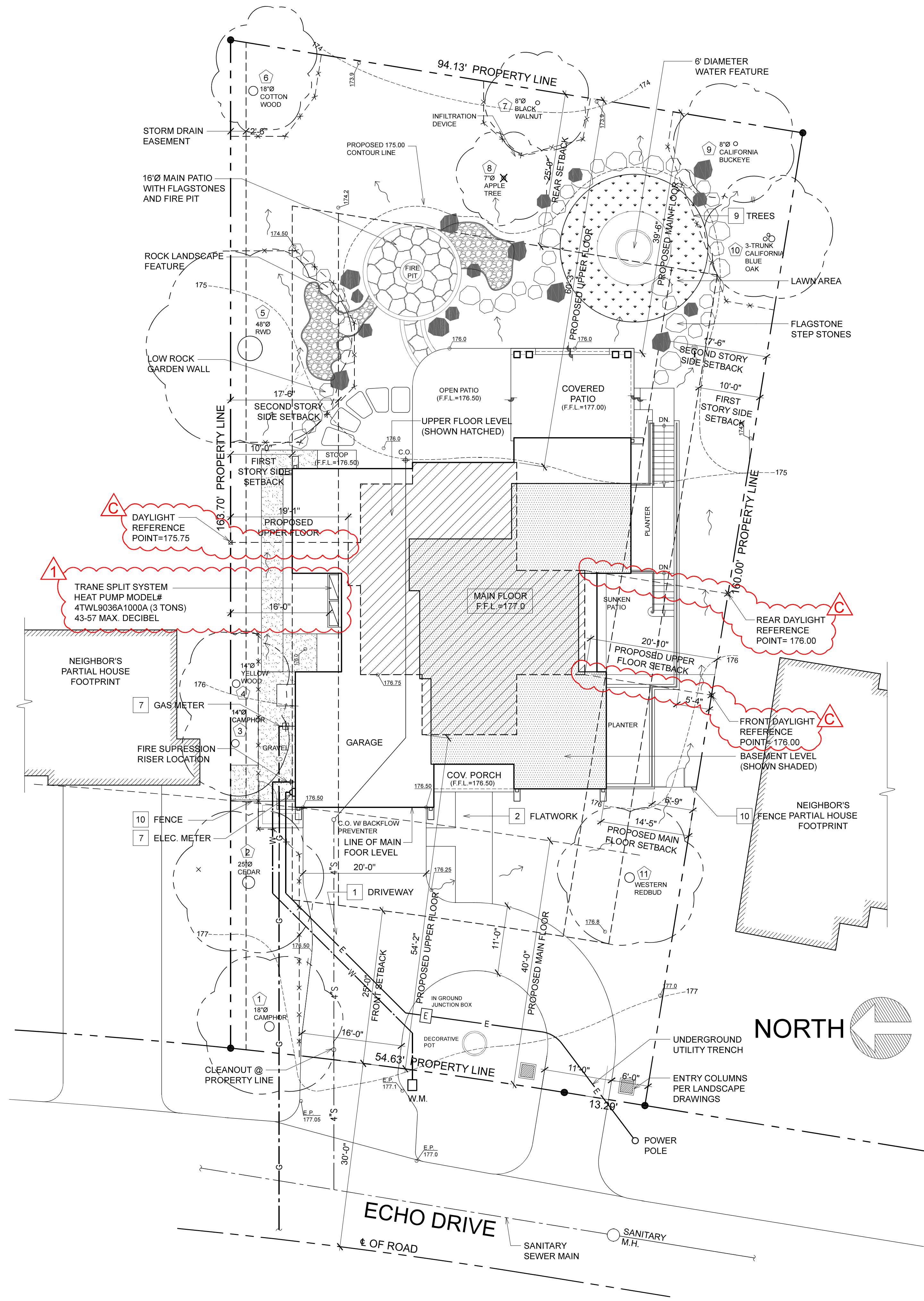
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 PURI RESIDENCE
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JOB SITE ADDRESS
 925 ECHO DRIVE
 LOS ALTOS, CA 94024

W. Chapman

CHAPMAN
 DESIGN
 ASSOCIATES
 620 S. EL MONTE AVENUE
 LOS ALTOS, CA 94022 (650) 941-8890

SHEET
 A0.0



SITE PLAN

1" = 10'-0"

TREE SCHEDULE		REMOVE	
NO.	TYPE	YES	NO
1	18" Ø CAMPHOR TREE		✓
2	25" Ø CEDAR TREE		✓
3	14" Ø CAMPHOR TREE		✓
4	14" Ø YELLOW WOOD TREE		✓
5	48" Ø REDWOOD TREE		✓
6	18" Ø COTTON WOOD TREE		✓
7	8" Ø BLACK WALNUT TREE		✓
8	7" Ø APPLE TREE	✓	
9	8" Ø CALIFORNIA BUCKEYE TREE		✓
10	3-TRUNK CALIFORNIA BLUE OAK TREE		✓
11	36" BOX LOW WESTERN REDBUD TREE		✓

	EXISTING	PROPOSED	ALLOWED / REQUIRED
LOT COVERAGE: (land area covered by all structures that are over 6 feet in height)	1952.48 s.f. (15.00 %)	3,038.67 s.f. (23.35 %)	3,903.48 (30.00%)
FLOOR AREA	1,869.56 s.f. (14.36 %)	3,913.65 s.f. (30.07 %)	4,051.16 s.f. (31.13%)
SETBACKS:			
Front (1st / 2nd)	34.67 feet / N/A	40.00 feet / 54.17 feet	25.00 feet
Rear (1st / 2nd)	77.75 feet / N/A	39.50 feet / 60.25 feet	25.00 feet
Right Side (1st / 2nd)	10.00 feet / N/A	14.42 feet / 19.83 feet	10.00 feet / 17.50 feet
Left Side (1st / 2nd)	12.18 feet / N/A	10.00 feet / 19.08 feet	10.00 feet / 20.00 feet
HEIGHT:	(s) 12'-6"	(s) 24'-7"	27'-0"

SQUARE FOOTAGE BREAKDOWN			
	EXISTING	CHANGE IN	TOTAL PROPOSED
HABITABLE LIVING AREA: Includes habitable basement areas	1212.36 sq. ft.	(+) 3,648.50 sq. ft.	4,860.86 sq. ft.
NON-HABITABLE AREA: Does not include covered porches or open structures	457.20 sq. ft.	(+) 116.80 sq. ft.	574.00 sq. ft.
TOTAL PROPOSED FLOOR AREA: 5,434.86 sq. ft.			

LOT CALCULATIONS	
NET LOT AREA:	13,011.61 square feet
FRONT YARD HARDSCAPE AREA: Hardscape area in the front yard setback shall not exceed 50%	869.27 (49.72 %)
LANDSCAPING BREAKDOWN:	
Total hardscape area (existing & proposed):	2,163.46 sq. ft.
Existing softscape (undisturbed area):	0 sq. ft.
New softscape area:	7,809.49 sq. ft.
Building footprint w/ all porches:	3,038.67 sq. ft.
Total (Net size of lot)	13,011.61 sq. ft.

GENERAL NOTES

- A VERIFICATION CONTRACTOR & ALL SUBCONTRACTORS SHALL VERIFY ALL GRADES, DIMENSIONS & CONDITIONS PRIOR TO START OF WORK
- B DIMENSIONS DO NOT SCALE THESE DRAWINGS. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DRAWINGS
- C DISCREPANCIES MINOR DISCREPANCIES BETWEEN DRAWINGS & ACTUAL CONDITIONS ARE TO BE EXPECTED. CONDITIONS REQUIRING CLARIFICATION SHALL BE BROUGHT TO THE ATTENTION OF C.D.A. IMMEDIATELY
- D CONTRACT DOCUMENTS CONSTRUCTION DOCUMENTS TO POST DATE JOB COPY. VERIFY DOCUMENT DATE WITH C.D.A. PRIOR TO START OF WORK. CONTRACTOR TO ENSURE THAT ANY REVISED DOCUMENTS SHALL BE PROVIDED TO SUBCONTRACTORS IMMEDIATELY

SITE PLAN NOTES

- 1 DRIVEWAY 2" ASPHALT
- 2 FLATWORK CONCRETE (SALT FINISH)
- 3 GRADING SEE CIVIL ENGINEERING DRAWINGS
- 4 DRAINAGE SEE CIVIL ENGINEERING DRAWINGS
- 5 STORM DRAINAGE SEE CIVIL ENGINEERING DRAWINGS
- 6 SEWER LATERAL CONNECT TO CITY SERVICE LATERAL PROVIDE C.O. AT PROPERTY LINE
- 7 GAS & ELEC SERVICE NEW GAS METER AS SHOWN
- 8 SETBACKS AS PER PLAN
- 9 TREES PROTECT EXISTING DURING CONSTRUCTION WITH CHAIN LINK FENCE
- 10 FENCES NEW FENCE & GATES AT SIDE YARD ENTRANCE - BOUNDARY FENCES TO BE DETERMINED
- 11 LANDSCAPE SEE LANDSCAPE PLAN

TABULATIONS

UPPER FLOOR AREA	= 1,228.23 SQ. FT.
MAIN FLOOR AREA	= 2,190.42 SQ. FT.
	3,418.65 SQ. FT.
NON - HABITABLE	
GARAGE	= 495.00 SQ. FT.
TOTAL FLOOR AREA	= 3,913.65 SQ. FT.
COVERAGE	
COV. PORCH & PATIO	= 318.00 SQ. FT.
BALCONIES	= 35.25 SQ. FT.
	= 353.25 SQ. FT.
HOUSE FOOTPRINT	= 2,685.42 SQ. FT.
TOTAL COVERAGE	= 3,038.67 SQ. FT.
HABITABLE BASEMENT	= 1,713.22 SQ. FT.
MECHANICAL ROOM	= 79.00 SQ. FT.
TOTAL BASEMENT	= 1,792.22 SQ. FT.

COVERAGE & F.A.R.

SITE PLAN	13,011.61	SQ. FT. = 0.298 AC.
COV. ALLOWABLE	3,903.48	SQ. FT. = 30.00 %
EXISTING	1,952.61	SQ. FT. = 15.00 %
PROPOSED	3,038.67	SQ. FT. = 23.35 %
FAR. ALLOWABLE	4,051.16	SQ. FT. = 31.13 %
EXISTING	1,869.56	SQ. FT. = 14.36 %
PROPOSED	3,913.65	SQ. FT. = 30.07 %

NOTE
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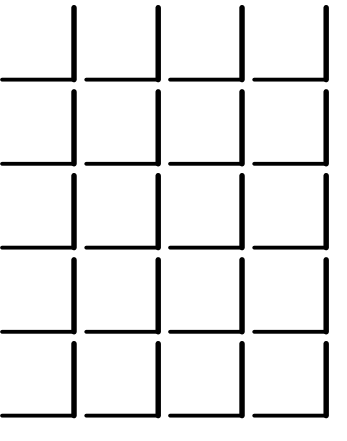
NO.	REVISION
1	PLANNING COMMENTS
2	CODE COMPLIANCE

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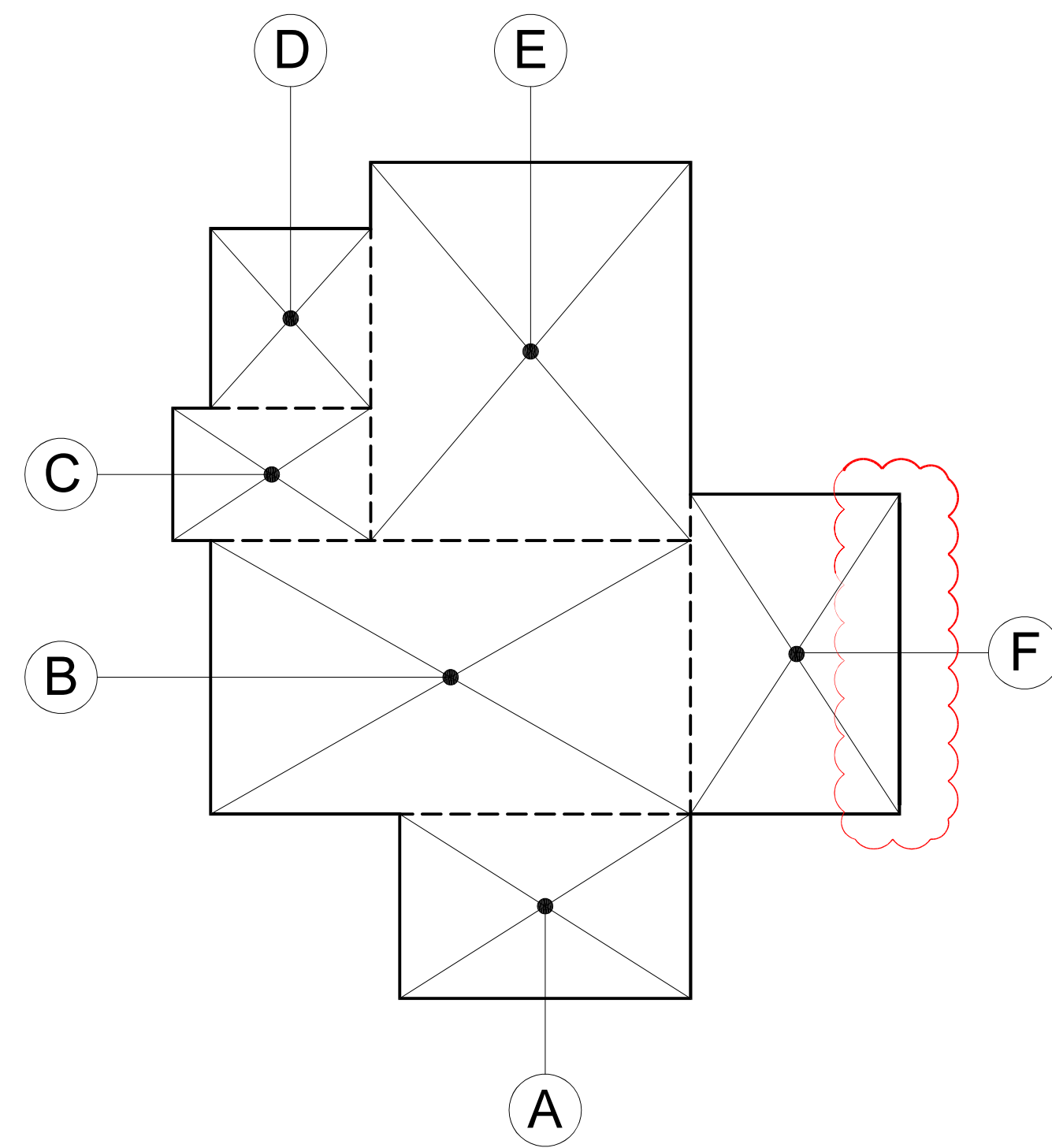
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SHEET

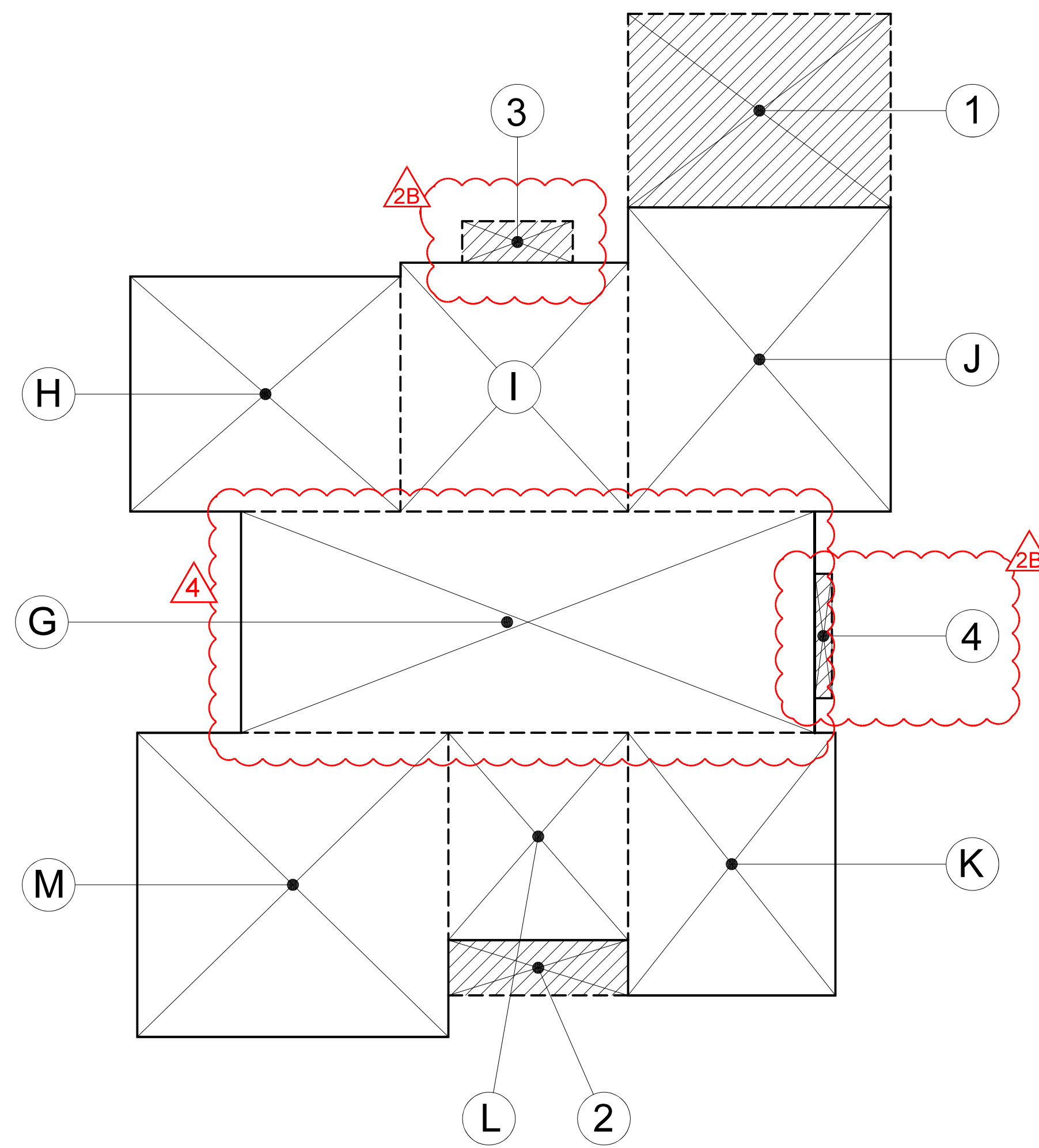
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UPPER FLOOR AREA DIAGRAM

FLOOR AREA CALCULATIONS

A	9.75' X 15.375'	149.90 S.F.
B	14.458' X 25.375'	366.87 S.F.
C	7.00' X 10.458'	73.20 S.F.
D	8.458' X 9.50'	80.35 S.F.
E	16.916' X 20.00'	338.32 S.F.
F	11.041' X 16.916'	187.77 S.F.
		1,228.23 S.F.



MAIN FLOOR AREA DIAGRAM

FLOOR AREA CALCULATIONS

G	16.00' X 41.50'	664.00 S.F.
H	17.00' X 19.54'	332.18 S.F.
I	16.458' X 18.00'	296.24 S.F.
J	19.00' X 22.00'	418.00 S.F.
K	15.00' X 19.00'	285.00 S.F.
L	13.00' X 15.00'	195.00 S.F.
		2,190.42 S.F.
NON-HABITABLE		
M	22.00' X 22.50' (GARAGE)	495.00 S.F.
U	7.58' X 10.29' + 1.00 (BASEMENT)	79.00 S.F.
TOTAL		574.00 S.F.

BASEMENT AREA DIAGRAM
(NOT COUNTED AS F.A.R.)

FLOOR AREA CALCULATIONS

N	13.458' X 13.875'	186.73 S.F.
O	15.125' X 15.29'	231.26 S.F.
P	6.22' X 7.58'	47.15 S.F.
Q	9.00' X 19.375'	418.00 S.F.
R	5.583' X 19.00'	106.07 S.F.
S	10.50' X 16.00'	168.00 S.F.
T	15.00' X 19.00'	285.00 S.F.
		1,442.21 S.F.

COVERAGE

1	14.00' X 19.00'	266.00 S.F.
2	4.00' X 13.00'	52.00 S.F.
3	3.00' X 8.00'	24.00 S.F.
4	1.25' X 9.00'	11.25 S.F.
SUB TOTAL		353.25 S.F.
HOUSE FOOTPRINT		2,685.42 S.F.
TOTAL COVERAGE		3,038.67 S.F.

FLOOR DIAGRAM & AREA CALCULATIONS

1/8" = 1'-0"

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DATE	REVISIONS
2-28-23	PLANNING COMMENTS

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SHEET

A1.1



911 ECHO DRIVE



594 AVON WAY



922 PARMA WAY



932 PARMA WAY



607 COVINGTON ROAD



875 ECHO DRIVE



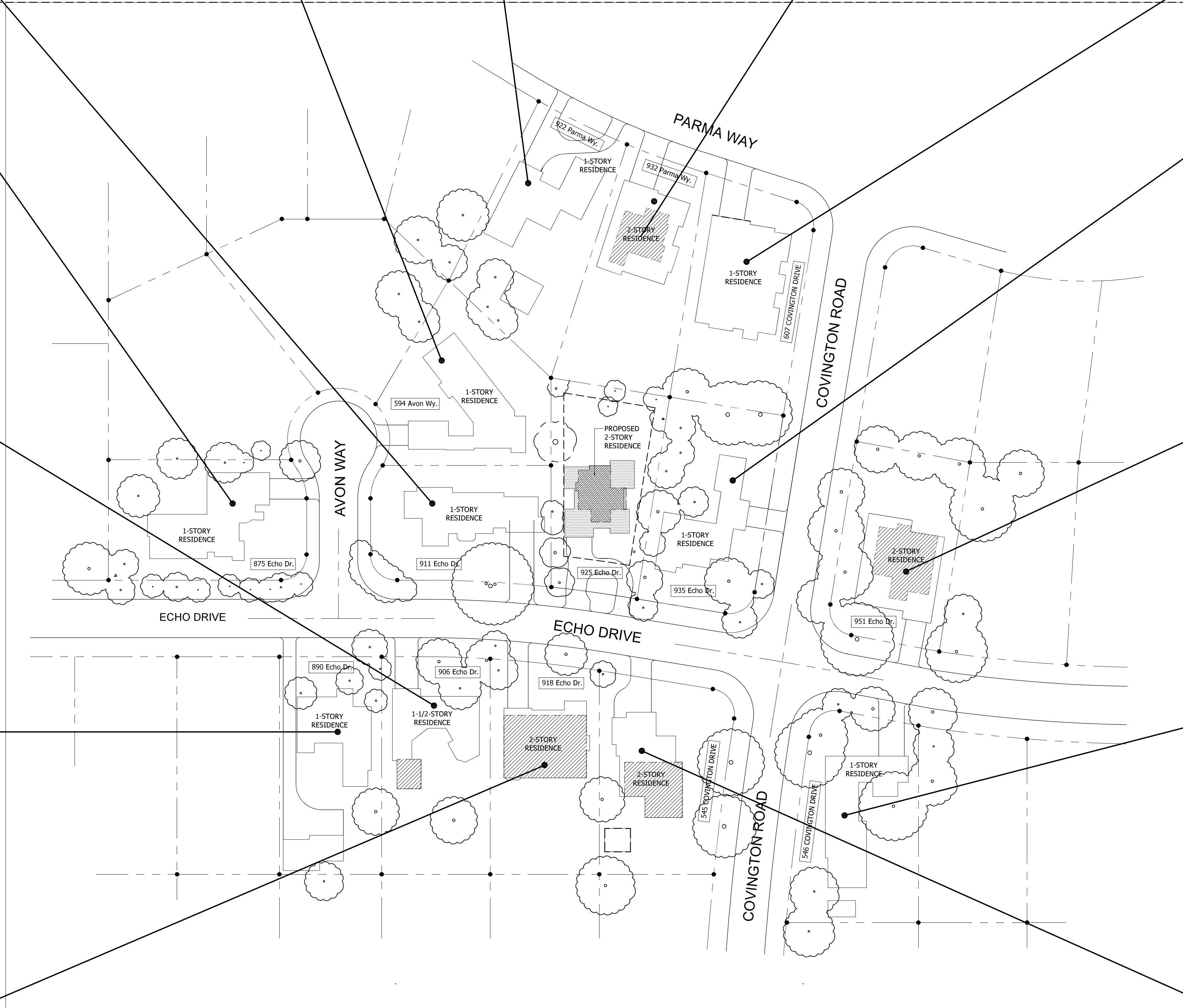
906 ECHO DRIVE



890 ECHO DRIVE



918 ECHO DRIVE



NEIGHBORHOOD CONTEXT MAP

1" = 50'-0"



935 ECHO DRIVE



951 ECHO DRIVE



546 COVINGTON ROAD



545 COVINGTON ROAD

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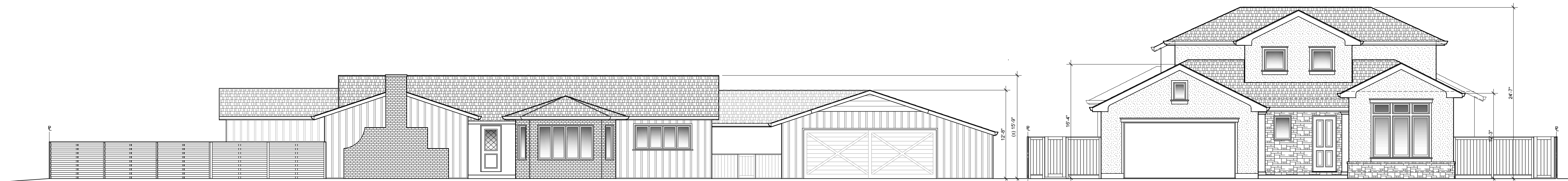
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SHEET

A1.2

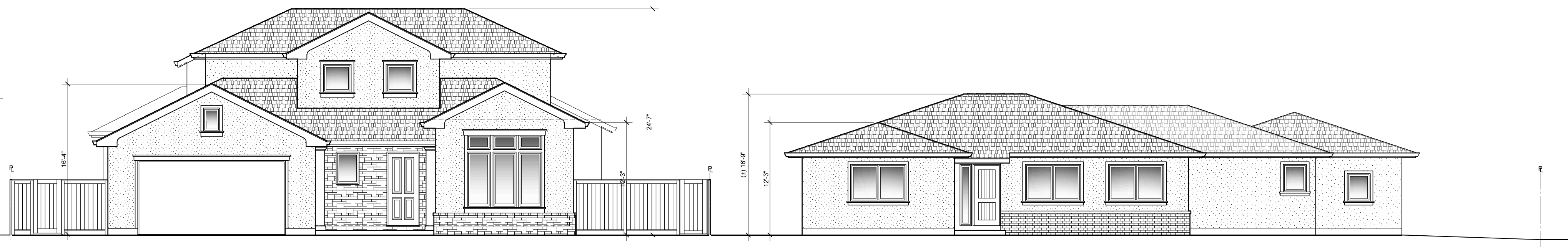


911 ECHO DRIVE

925 ECHO DRIVE
(PROPOSED 2-STORY RESIDENCE)

STREETSCAPE

1/8" = 1'-0"



925 ECHO DRIVE
(PROPOSED 2-STORY RESIDENCE)

935 ECHO DRIVE

STREETSCAPE

1/8" = 1'-0"

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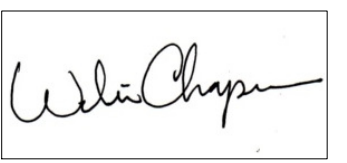
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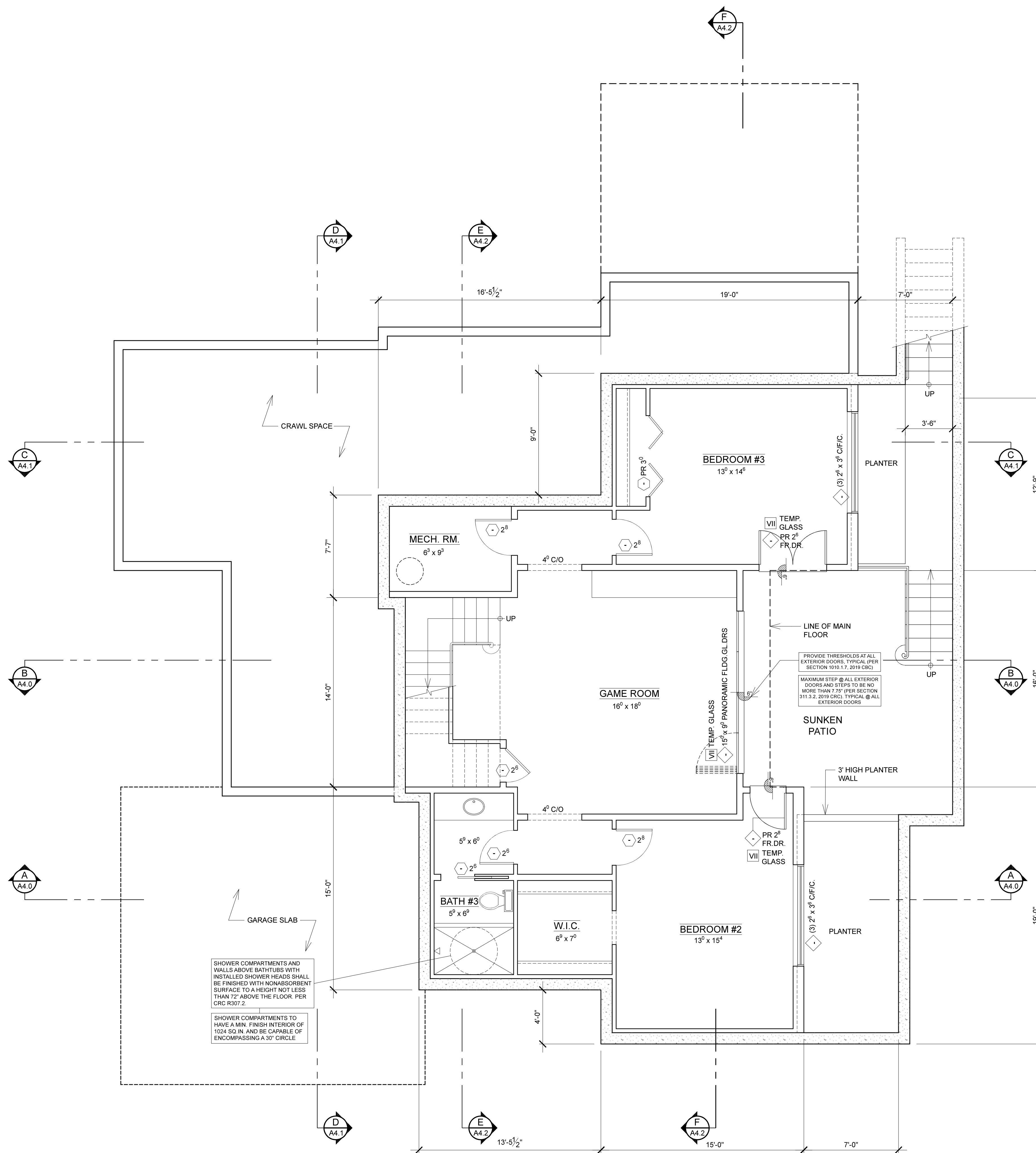
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SHEET

A1.3



PROPOSED BASEMENT PLAN

1/4" = 1'-0"

GENERAL NOTES

- I EGRESS** ALL BEDROOMS TO HAVE WINDOWS MEETING EGRESS REQUIREMENTS PER SEC. 310 & 311 CRC 2019
 - MIN. NET CLEAR OPENABLE AREA = 5.7 S.F.
 - MIN. NET CLEAR OPENABLE WIDTH = 20"
 - MIN. NET CLEAR OPENABLE HEIGHT = 24"
- II GARAGE COMMON WALL** GARAGE SHALL BE SEPARATED FROM THE DWELLING UNIT AND ITS ATTIC AREA BY MEANS OF MIN. 1/2" GYPSUM BOARD (5/8" MIN. @ ATTIC) APPLIED TO THE GARAGE SIDE PER CRC SEC. R302.588. DOOR OPENINGS BETWEEN A PRIVATE GARAGE AND DWELLING UNIT SHALL BE EQUIPPED WITH EITHER SOLID WOOD DOORS OR SOLID / HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1 3/4" THICK & SHALL BE SELF-CLOSING & SELF-LATCHING
- III STAIRWAYS** DESIGN SHALL CONFORM TO SEC. R311.7 CRC 2019. USABLE SPACE UNDER STAIR TO BE 1 HR. RATED CONSTRUCTION. 6'-8" MIN. HEADROOM CLEARANCE FROM TREAD NOSING TO SOFFIT ABOVE. STYLE & FINISH PER OWNER'S SPECIFICATIONS
 - 36" MINIMUM CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT (PROJECTION OF HANDRAIL INTO STAIRWAY TO BE 4.5" MAXIMUM ON EITHER SIDE)
- IV GUARDRAILS** DESIGN SHALL CONFORM TO SEC. R312.2 CRC 2019. GUARDRAIL IS REQUIRED ON THE OPEN SIDE OF THE STAIR LANDINGS AT 42" HIGH, WITH INTERMEDIATE RAILS AT 34"-38" HIGH
- V STAIR & HANDRAILS** DESIGN SHALL CONFORM TO SEC. R311.7.7 & R311.8.3 CRC 2019. STYLE AND FINISH PER OWNER SPECIFICATIONS
- VI FIREPLACE** DESIGN SHALL CONFORM TO CH. 10 CRC 2019, WITH NON-COMBUSTIBLE FACE & HEARTH. SEE SEC. R1001.9 CRC 2019 FOR FURTHER INFORMATION REGARDING THE HEARTH. SEE INTERIOR ELEVATIONS FOR SPECIFICATIONS
- VII TEMPERED GLASS** PROVIDE TEMPERED SAFETY GLASS AT HAZARDOUS LOCATIONS PER SEC. R308.4 CRC 2019
- VIII FIRE BLOCKS** PROVIDE FIRE BLOCKING IN ALL AREAS AS DESCRIBED, OUTLINED & DEFINED IN SEC. R302.11, R302.8 & R1001.12 CRC 2019
- IX WATER CLOSETS** PROVIDE 24" MIN. CLEARANCE IN FRONT OF WATER CLOSET BOWL AND 30" MIN. CLEAR WIDTH FOR WATER CLOSET SPACE (SEC. 407.6 2019 CPC)
- X SHOWERS** ALL SHOWERS SHALL CONFORM TO SECTION R307 2019 CRC
 - ALL GLASS SHOWER ENCLOSURE TO BE OF TEMPERED GLASS
 - ALL SHOWER DOORS SHALL OPEN SO AS TO MAINTAIN NOT LESS THAN 22 INCHES UNOBSTRUCTED OPENING FOR EGRESS (2019 CPC 408.5)
- XI WATER CONSERVING FIXTURES** ALL (N) PLUMBING FIXTURES (AS OUTLINED IN SEC. 402, 2019 CPC) SHALL CONFORM TO SEC. 402, 2019 CPC
 - WATER CLOSETS TO HAVE A MAXIMUM WATER USE OF 1.28 GPF
 - SHOWERHEADS TO HAVE A MAXIMUM FLOW USE OF 1.8 GPM @ 80 psi
 - BATHROOM FAUCETS TO HAVE A MAXIMUM FLOW USE OF 1.2 GPM @ 80 psi
 - KITCHEN SINK FAUCETS TO HAVE A MAXIMUM FLOW USE OF 1.8 GPM @ 80 psi

ROOM FINISH SCHEDULE

SEE ARCHITECTURAL SPECIFICATIONS SHEET FOR ABBREVIATIONS

ROOM NAME	FLOOR	BASEBOARD	WALLS	CEILING	RE-MARKS

LEGEND

- # WINDOW - SEE "WINDOW SCHEDULE" ON SHEET A - FOR FURTHER SPECIFICATIONS
- # DOOR - SEE "DOOR SCHEDULE" ON SHEET A - FOR FURTHER SPECIFICATIONS
- ||| 2x6 WALLS
- ||| 2x4 WALLS
- ||| CONCRETE RETAINING WALLS
- (N) NEW
- Ⓡ RELOCATED

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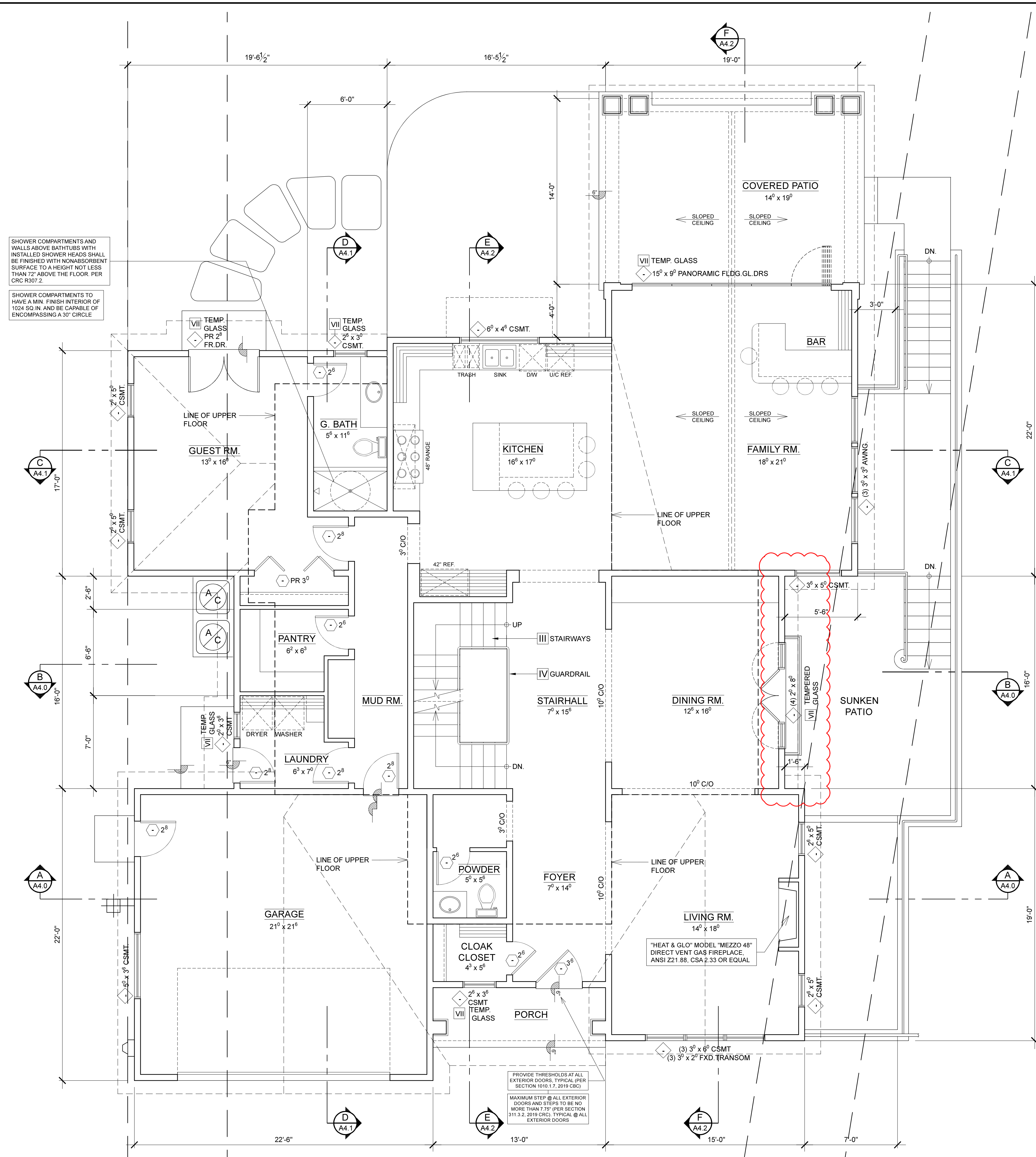
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W. Chapman

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620 S. EL MONTE AVENUE
LOS ALTOS, CA 94022 (650) 941-8890

SHEET

A2.0



PROPOSED MAIN FLOOR PLAN

1/4" = 1'-0"

GENERAL NOTES

- I EGRESS** ALL BEDROOMS TO HAVE WINDOWS MEETING EGRESS REQUIREMENTS PER SEC. 310 & 311 CRC 2019
 - MIN. NET CLEAR OPENABLE AREA = 7.5 S.F.
 - MIN. NET CLEAR OPENABLE WIDTH = 20"
 - MIN. NET CLEAR OPENABLE HEIGHT = 24"
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- X SHOWERS** ALL SHOWERS SHALL CONFORM TO SECTION R307 2019 CRC
 - ALL GLASS SHOWER ENCLOSURE TO BE OF TEMPERED GLASS
 - ALL SHOWER DOORS SHALL OPEN SO AS TO MAINTAIN NOT LESS THAN 22 INCHES UNOBSTRUCTED OPENING FOR EGRESS (2019 CPC 408.5)
- XI WATER CONSERVING FIXTURES** ALL (N) PLUMBING FIXTURES (AS OUTLINED IN SEC. 402, 2019 CPC) SHALL CONFORM TO SEC. 402, 2019 CPC
 - WATER CLOSETS TO HAVE A MAXIMUM WATER USE OF 1.28 GPF
 - SHOWERHEADS TO HAVE A MAXIMUM FLOW USE OF 1.8 GPM @ 80 psi
 - BATHROOM FAUCETS TO HAVE A MAXIMUM FLOW USE OF 1.2 GPM @ 80 psi
 - KITCHEN SINK FAUCETS TO HAVE A MAXIMUM FLOW USE OF 1.8 GPM @ 80 psi

ROOM FINISH SCHEDULE

SEE ARCHITECTURAL SPECIFICATIONS SHEET FOR ABBREVIATIONS

ROOM NAME	FLOOR	BASEBOARD	WALLS	CEILING	RE-MARKS

LEGEND

- ◊ WINDOW - SEE "WINDOW SCHEDULE" ON SHEET A - FOR FURTHER SPECIFICATIONS
- ◻ DOOR - SEE "DOOR SCHEDULE" ON SHEET A - FOR FURTHER SPECIFICATIONS
- ▬▬▬ 2x6 WALLS
- ▬▬▬ 2x4 WALLS
- (E) EXISTING
- (N) NEW
- Ⓡ RELOCATED

NOTE
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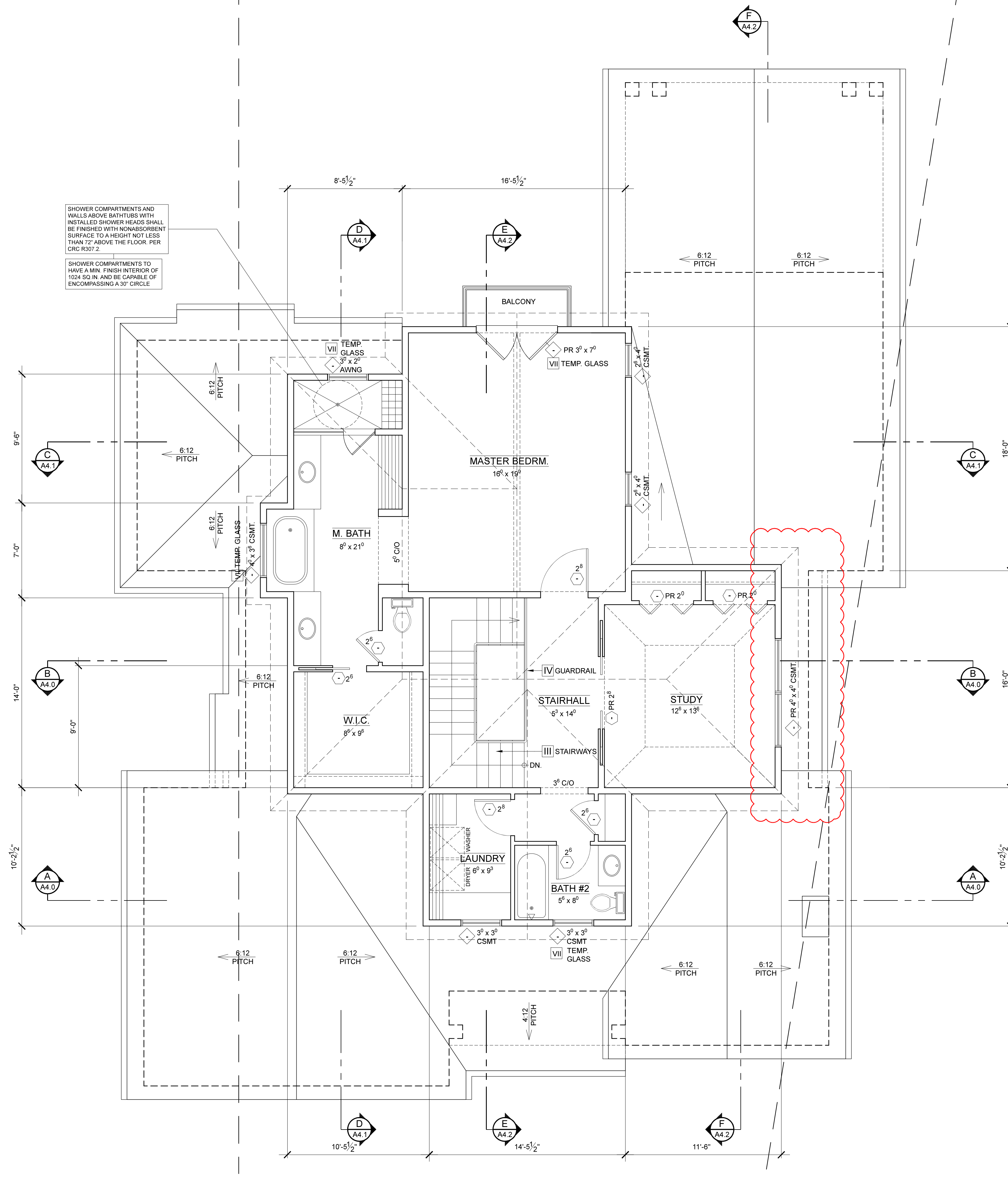
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SHEET

A2.1



PROPOSED UPPER FLOOR PLAN

1/4" = 1'-0"

GENERAL NOTES

- I EGRESS** ALL BEDROOMS TO HAVE WINDOWS MEETING EGRESS REQUIREMENTS PER SEC. 310 & 311 CRC 2019
 - MIN. NET CLEAR OPENABLE AREA 5.7 S.F.
 - MIN. NET CLEAR OPENABLE WIDTH = 20"
 - MIN. NET CLEAR OPENABLE HEIGHT = 24"
- II GARAGE COMMON WALL** GARAGE SHALL BE SEPARATED FROM THE DWELLING UNIT AND ITS ATTIC AREA BY MEANS OF MIN. 1/2" GYPSUM BOARD (5/8" MIN. @ ATTIC) APPLIED TO THE GARAGE SIDE PER CRC SEC. R302.588. DOOR OPENINGS BETWEEN A PRIVATE GARAGE AND DWELLING UNIT SHALL BE EQUIPPED WITH EITHER SOLID WOOD DOORS OR SOLID / HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1 1/2" THICK & SHALL BE SELF-CLOSING & SELF-LATCHING
- III STAIRWAYS** DESIGN SHALL CONFORM TO SEC. R311.7 CRC 2019. USABLE SPACE UNDER STAIR TO BE 1 HR. RATED CONSTRUCTION. 6'-8" MIN. HEADROOM CLEARANCE FROM TREAD NOSING TO SOFFIT ABOVE. STYLE & FINISH PER OWNER'S SPECIFICATIONS
 - 36" MINIMUM CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT (PROJECTION OF HANDRAIL INTO STAIRWAY TO BE 4.5" MAXIMUM ON EITHER SIDE)
- IV GUARDRAILS** DESIGN SHALL CONFORM TO SEC. R312.2 CRC 2019. GUARDRAIL IS REQUIRED ON THE OPEN SIDE OF THE STAIR LANDINGS AT 42" HIGH, WITH INTERMEDIATE RAILS AT 34"-38" HIGH
- V STAIR & HANDRAILS** DESIGN SHALL CONFORM TO SEC. R311.7.7 & R311.8.3 CRC 2019. STYLE AND FINISH PER OWNER SPECIFICATIONS
- VI FIREPLACE** DESIGN SHALL CONFORM TO CH. 10 CRC 2019, WITH NON-COMBUSTIBLE FACE & HEARTH. SEE SEC. R1001.9 CRC 2019 FOR FURTHER INFORMATION REGARDING THE HEARTH. SEE INTERIOR ELEVATIONS FOR SPECIFICATIONS
- VII TEMPERED GLASS** PROVIDE TEMPERED SAFETY GLASS AT HAZARDOUS LOCATIONS PER SEC. R308.4 CRC 2019
- VIII FIRE BLOCKS** PROVIDE FIRE BLOCKING IN ALL AREAS AS DESCRIBED, OUTLINED & DEFINED IN SEC. R302.11, R302.8 & R1001.12 CRC 2019
- IX WATER CLOSETS** PROVIDE 24" MIN. CLEARANCE IN FRONT OF WATER CLOSET BOWL AND 30" MIN. CLEAR WIDTH FOR WATER CLOSET SPACE (SEC. 407.6 2019 CPC)
- X SHOWERS** ALL SHOWERS SHALL CONFORM TO SECTION R307 2019 CRC
 - ALL GLASS SHOWER ENCLOSURE TO BE OF TEMPERED GLASS
 - ALL SHOWER DOORS SHALL OPEN SO AS TO MAINTAIN NOT LESS THAN 22 INCHES UNOBSTRUCTED OPENING FOR EGRESS (2019 CPC 408.5)
- XI WATER CONSERVING FIXTURES** ALL (N) PLUMBING FIXTURES (AS OUTLINED IN SEC. 402, 2019 CPC) SHALL CONFORM TO SEC. 402, 2019 CPC
 - WATER CLOSETS TO HAVE A MAXIMUM WATER USE OF 1.28 GPF
 - SHOWERHEADS TO HAVE A MAXIMUM FLOW USE OF 1.8 GPM @ 80 psi
 - BATHROOM FAUCETS TO HAVE A MAXIMUM FLOW USE OF 1.2 GPM @ 80 psi
 - KITCHEN SINK FAUCETS TO HAVE A MAXIMUM FLOW USE OF 1.8 GPM @ 80 psi

ROOM FINISH SCHEDULE

SEE ARCHITECTURAL SPECIFICATIONS SHEET FOR ABBREVIATIONS

ROOM NAME	FLOOR	BASEBOARD	WALLS	CEILING	RE-MARKS

LEGEND

- ◊ WINDOW - SEE "WINDOW SCHEDULE" ON SHEET A - FOR FURTHER SPECIFICATIONS
- ⊕ DOOR - SEE "DOOR SCHEDULE" ON SHEET A - FOR FURTHER SPECIFICATIONS
- ▬▬▬ 2x6 WALLS
- ▬▬▬ 2x4 WALLS
- (E) EXISTING
- (N) NEW
- Ⓡ RELOCATED

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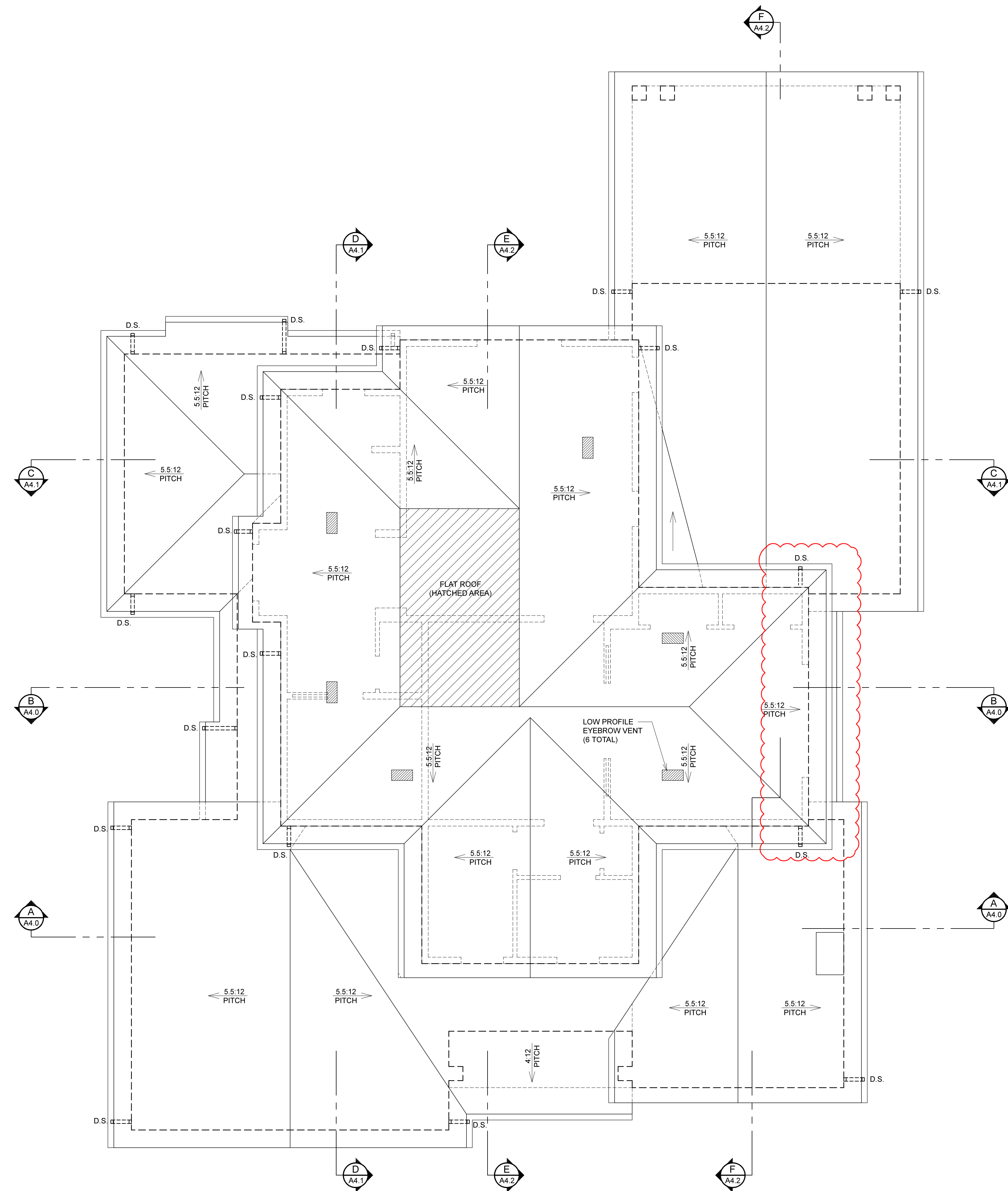
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SHEET

A2.2



PROPOSED ROOF PLAN

1/4" = 1'-0"

GENERAL NOTES

- I ROOF JACKS WHENEVER POSSIBLE, LOCATE ROOF JACKS WHERE THEY ARE NOT VISIBLE
- II VALLEY FLASHING 24 GA. G.I. "L" FLASHING @ ALL VALLEYS
- III CRICKET FLASHING 24 GA. G.I. OVER 1/2" D.F. CDX PLYWOOD (OR BETTER) - 3/4" MIN. SLOPE
- IV ATTIC VENTILATION AS OUTLINED IN SEC. R806.2, 2019 CRC
- V FIREPLACE & CHIMNEY DESIGN AND CONSTRUCTION TO FOLLOW PARAMETERS AS OUTLINED IN CHAPTER 10 OF THE 2019 CRC

ROOF PLAN NOTES

- 1 ROOFING HEAVY COMPOSITION SHINGLES
- 2 GUTTERS PROFILE GUTTER
- 3 DOWN SPOUTS RECTANGULAR DOWNSPOUTS
- 4 SKYLIGHTS N/A

ATTIC VENT CALCULATIONS

AREA = 1,212.32 SQ. FT. (UPPER ROOF ATTIC SPACE)
 150
 = 8.08 SQ. FT. (REQ'D. VENTING AREA)
 PROPOSED VENTING
 = 0.73 SQ. FT. (LOW PROFILE RECT. EYEBROW VENT)
 X 6 (NFVA = 0.73 S.F./VENT)
 = 4.38 SQ. FT.
 = .493 SQ. FT. (22.25" X 5.5" RECT. EAVE VENT)
 X 8 (NFVA = 0.493 S.F./VENT)
 = 3.94 SQ. FT.
 = 8.32 SQ. FT. (PROPOSED ATTIC VENTING AREA)

AREA = 337.10 SQ. FT. (LOWER ROOF ATTIC)
 (OVER LIVING RM & FOYER)
 = 2.25 SQ. FT. (REQ'D. VENTING AREA)
 PROPOSED VENTING
 = .493 SQ. FT. (22.25" X 5.5" RECT. EAVE VENT)
 X 5 (NFVA = 0.493 S.F./VENT)
 = 2.46 SQ. FT. (PROPOSED ATTIC VENTING AREA)

AREA = 404.23 SQ. FT. (LOWER ROOF ATTIC)
 (OVER FAMILY ROOM)
 = 2.69 SQ. FT. (REQ'D. VENTING AREA)
 PROPOSED VENTING
 = .493 SQ. FT. (22.25" X 5.5" RECT. EAVE VENT)
 X 6 (NFVA = 0.493 S.F./VENT)
 = 2.96 SQ. FT. (PROPOSED ATTIC VENTING AREA)

AREA = 245.00 SQ. FT. (LOWER ROOF ATTIC)
 (OVER GUEST, PANTRY & LAUNDRY)
 = 1.63 SQ. FT. (REQ'D. VENTING AREA)
 PROPOSED VENTING
 = .493 SQ. FT. (22.25" X 5.5" RECT. EAVE VENT)
 X 5 (NFVA = 0.493 S.F./VENT)
 = 2.46 SQ. FT. (PROPOSED ATTIC VENTING AREA)

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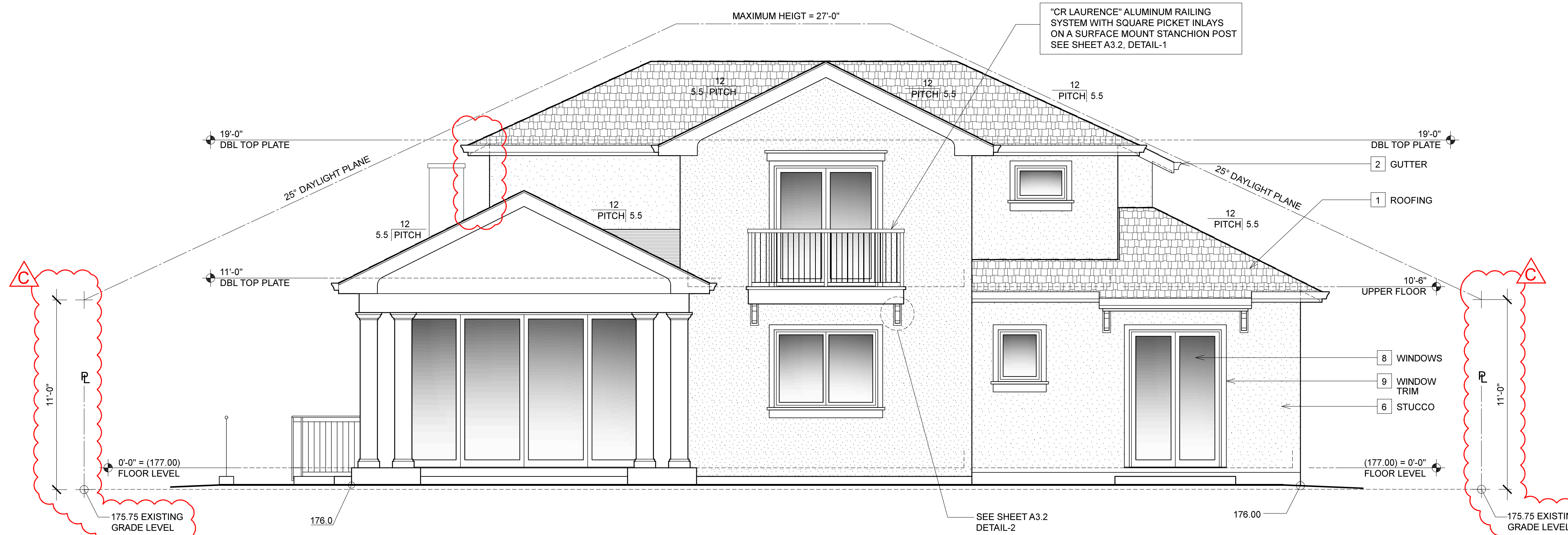
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FRONT ELEVATION

1/4" = 1'-0"



REAR ELEVATION

1/4" = 1'-0"

GENERAL NOTES

- I STUCCO REQUIREMENTS: 1) 3-COAT & 1/2" MIN. THICK 2) HAS 2 LAYERS OF GRADE D BUILDING PAPER 3) 26 GA. GALVANIZED WEEP SCREED AT FOUNDATION PLATE LINE AT LEAST 4" ABOVE GRADE OR 2" ABOVE CONCRETE OR PAVING (SEC. 2512.11, 2510.6 & 2512.1.2 CBC 2019)
- II FLUE CLEARANCE AS PER SECTION R1003.18 CRC 2019. 2'-0" ABOVE COMBUSTIBLE CONSTRUCTION @ 10'-0" AWAY
- III CHIMNEY BRACING AS PER CH. 10 CRC 2019
- IV SPARK ARRESTOR PROVIDE AS PER SEC. R1003.4.1 CRC 2019
- V TEMPERED GLASS PROVIDE TEMPERED SAFETY GLASS @ HAZARDOUS LOCATIONS PER SEC. R308.4 CRC 2019

EXT. MATERIAL NOTES

- 1 ROOFING HEAVY COMPOSITION SHINGLES
- 2 GUTTER PROFILE GUTTER
- 3 DOWN SPOUTS RECTANGULAR DOWNSPOUTS
- 4 SIDING N/A
- 5 TRIM N/A
- 6 STUCCO LIFGHT SAND FINISH
- 7 VENEER APPLIED THIN CUT STONE (WITHOUT WEEP SCREED)
- 8 WINDOWS ALUMINUM CLAD DUAL GLAZED WOOD CASEMENTS & AWNING WINDOWS
- 9 WINDOW TRIM KILN DRY 2x HEADER, JAMBS AND SILLS WITH APRONS
- 10 SKYLIGHTS N/A
- 11 CHIMNEY STUCCO OVER WOOD FRAME

LEGEND

- # WINDOW - SEE "WINDOW SCHEDULE" ON SHEET A - FOR FURTHER SPECIFICATIONS
- # DOOR - SEE "DOOR SCHEDULE" ON SHEET A - FOR FURTHER SPECIFICATIONS

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2-28-23	CODE COMPLIANCE

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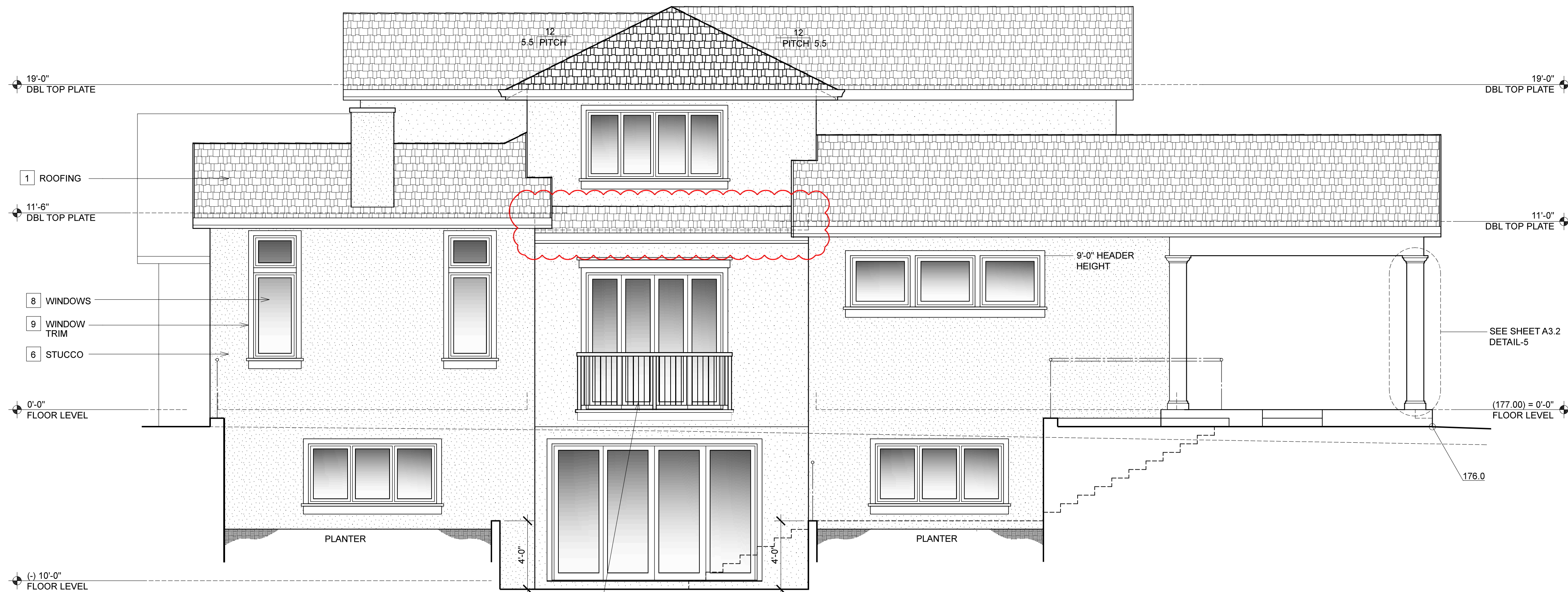
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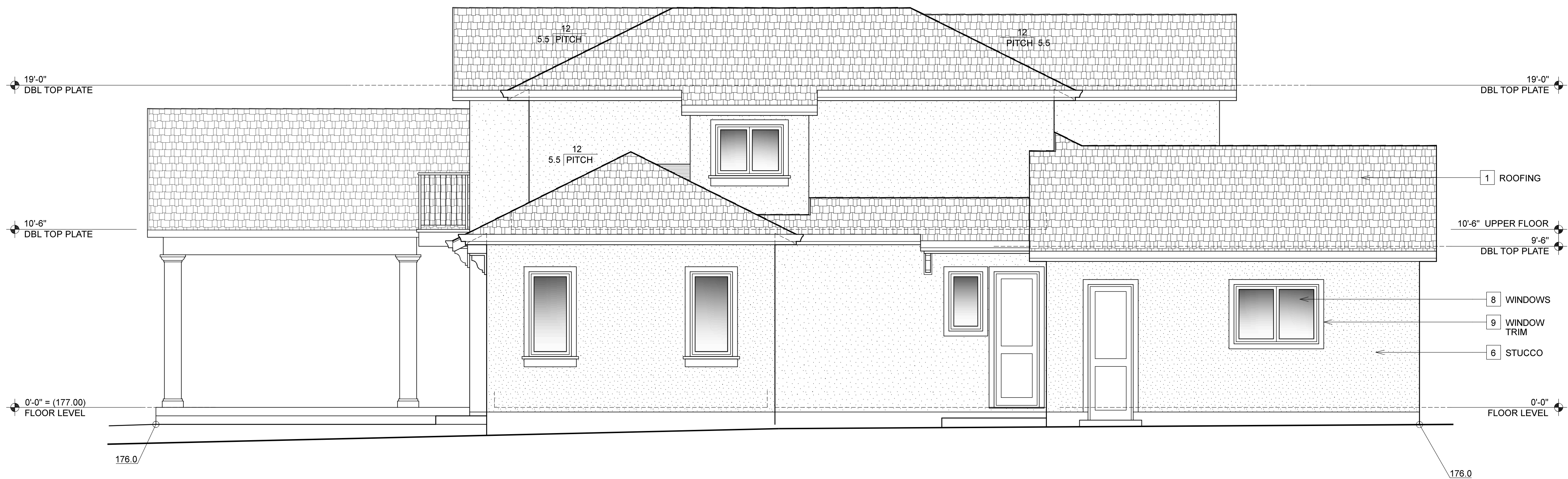
A3.0



"CR LAURENCE" ALUMINUM RAILING SYSTEM WITH SQUARE PICKET INLAYS ON A SURFACE MOUNT STANCHION POST SEE SHEET A3.2, DETAIL-1

RIGHT SIDE ELEVATION

1/4" = 1'-0"



LEFT SIDE ELEVATION

1/4" = 1'-0"

GENERAL NOTES

- I STUCCO REQUIREMENTS: 1) 3-COAT & 1/2" MIN. THICK 2) HAS 2 LAYERS OF GRADE D BUILDING PAPER 3) 26 GA. GALVANIZED WEEP SCREED AT FOUNDATION PLATE LINE AT LEAST 4" ABOVE GRADE OR 2" ABOVE CONCRETE OR PAVING (SEC. 2512.11, 2510.6 & 2512.1.2 CBC 2019)
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- IV TEMPERED GLASS PROVIDE TEMPERED SAFETY GLASS @ HAZARDOUS LOCATIONS PER SEC. R308.4 CRC 2019

EXT. MATERIAL NOTES

- 1 ROOFING HEAVY COMPOSITION SHINGLES
- 2 GUTTER PROFILE GUTTER
- 3 DOWN SPOUTS RECTANGULAR DOWNSPOUTS
- 4 SIDING N/A
- 5 TRIM N/A
- 6 STUCCO LIGHT SAND FINISH
- 7 VENEER APPLIED THIN CUT STONE (WITHOUT WEEP SCREED)
- 8 WINDOWS ALUMINUM CLAD DUAL GLAZED WOOD CASEMENTS & AWNING WINDOWS
- 9 WINDOW TRIM KILN DRY 2x HEADER, JAMBS AND SILLS WITH APRONS
- 10 SKYLIGHTS N/A
- 11 CHIMNEY STUCCO OVER WOOD FRAME

LEGEND

- # WINDOW - SEE "WINDOW SCHEDULE" ON SHEET A - FOR FURTHER SPECIFICATIONS
- # DOOR - SEE "DOOR SCHEDULE" ON SHEET A - FOR FURTHER SPECIFICATIONS

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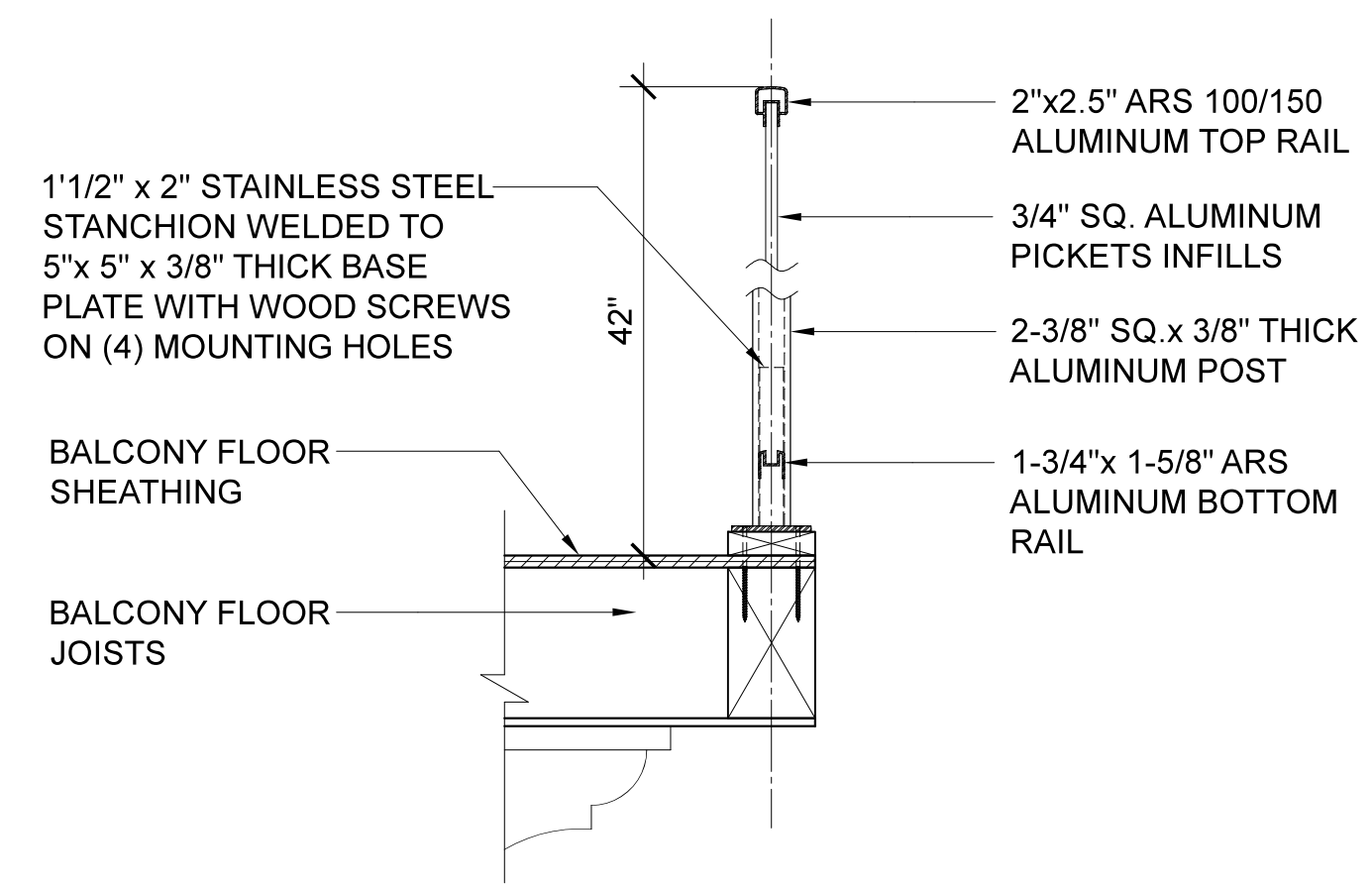
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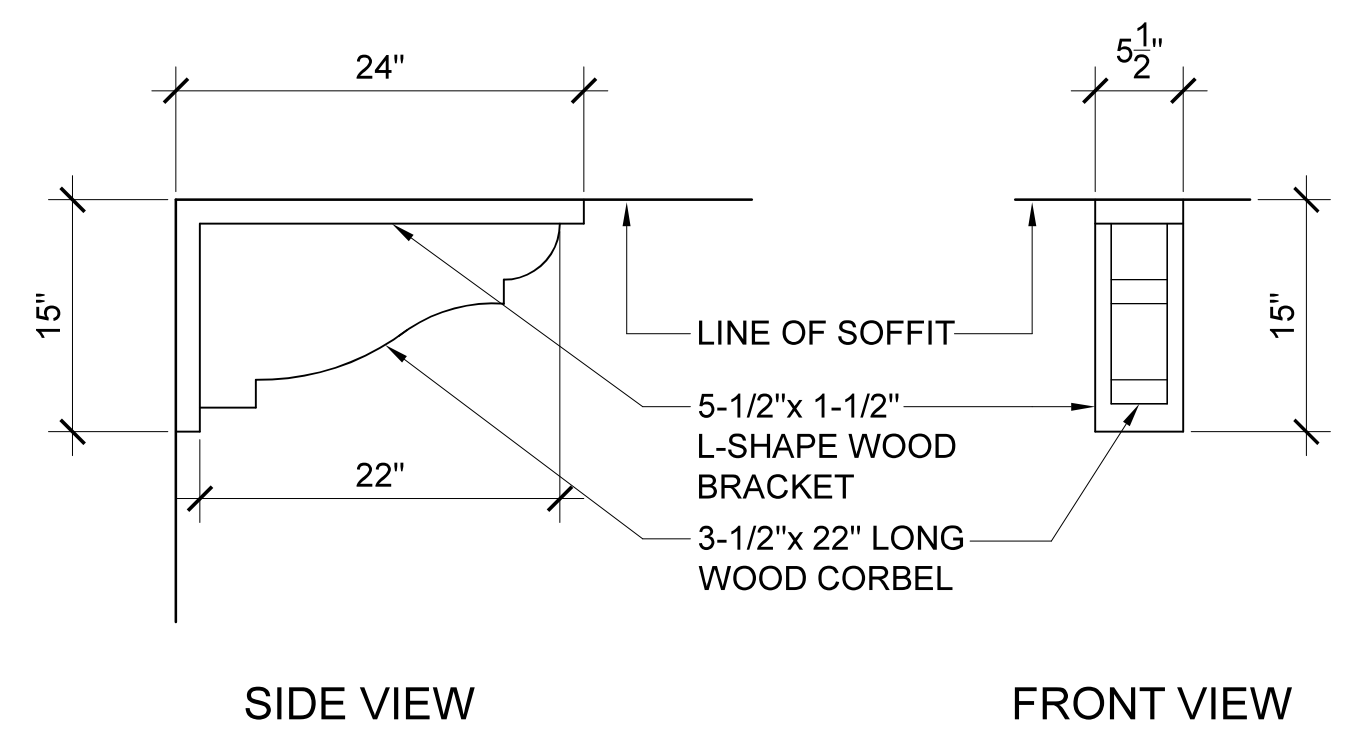
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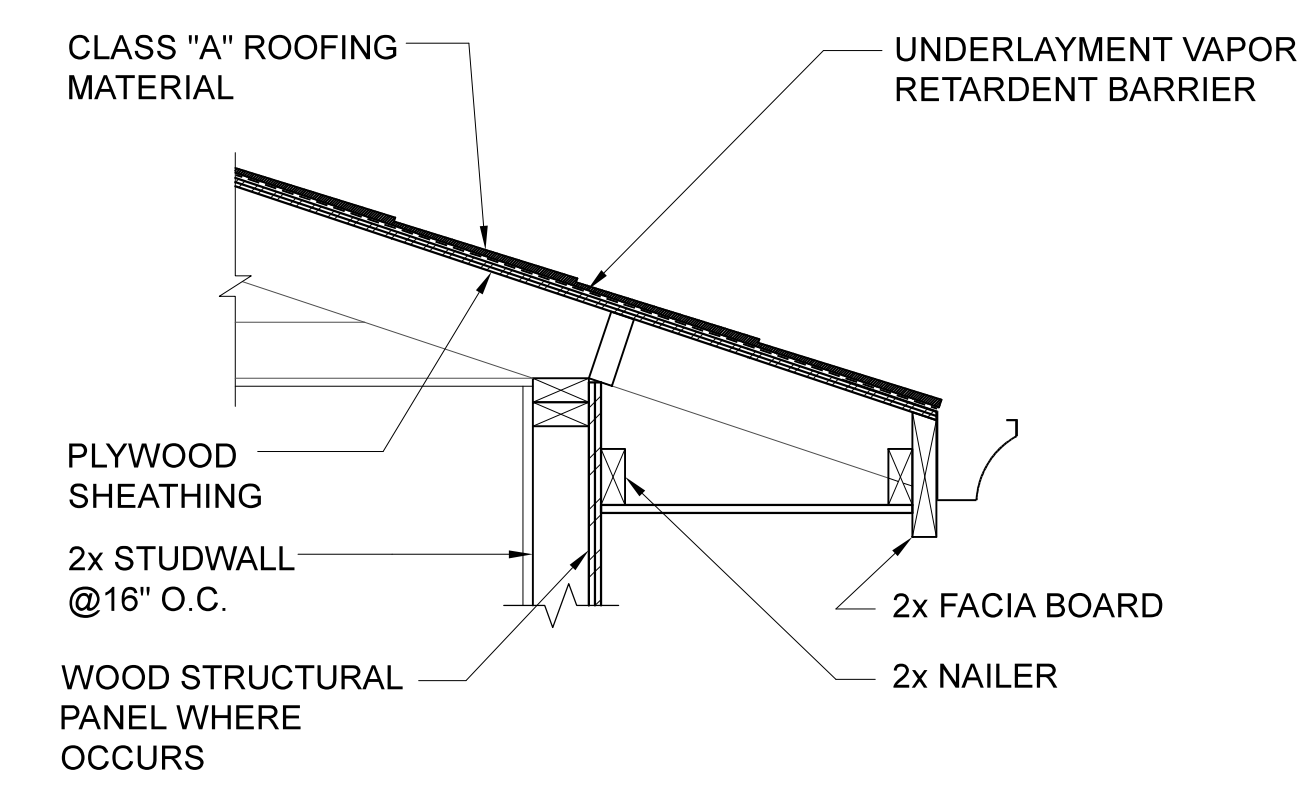
SHEET
A3.1



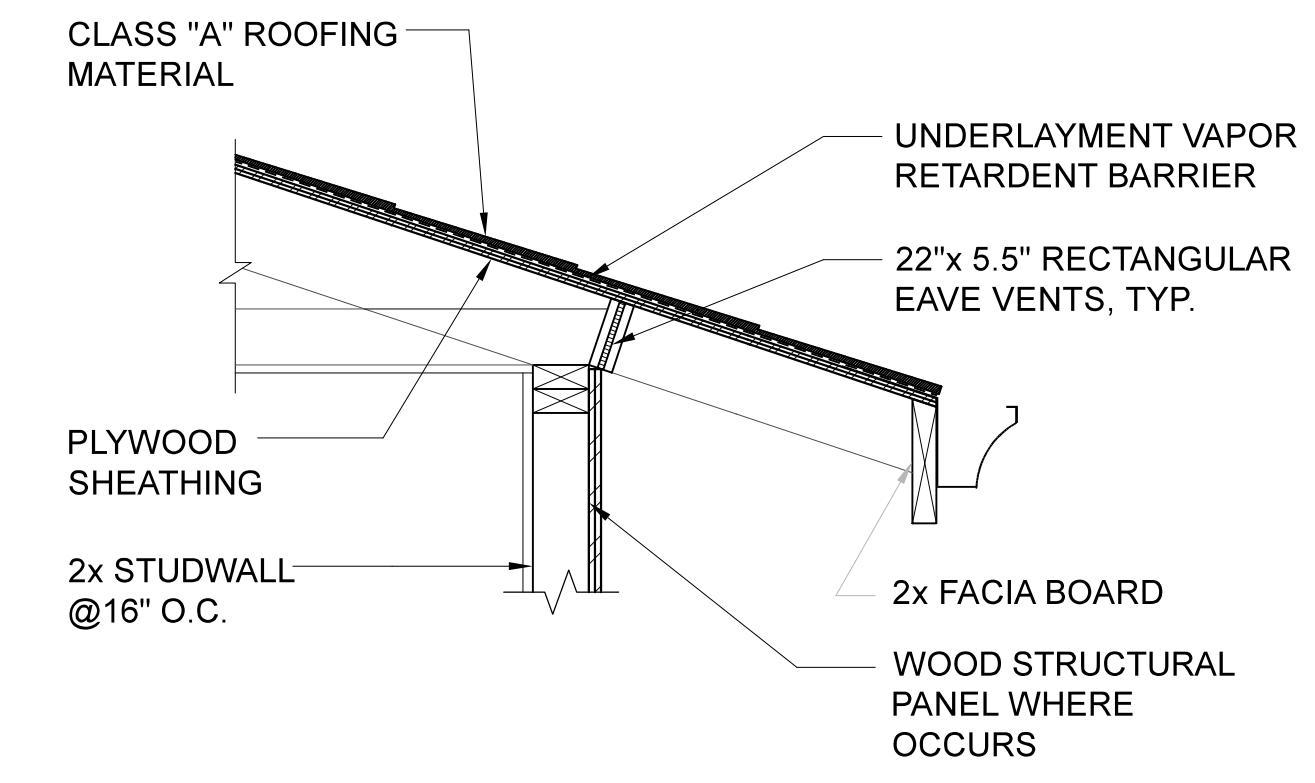
1 GUARDRAIL DETAILS



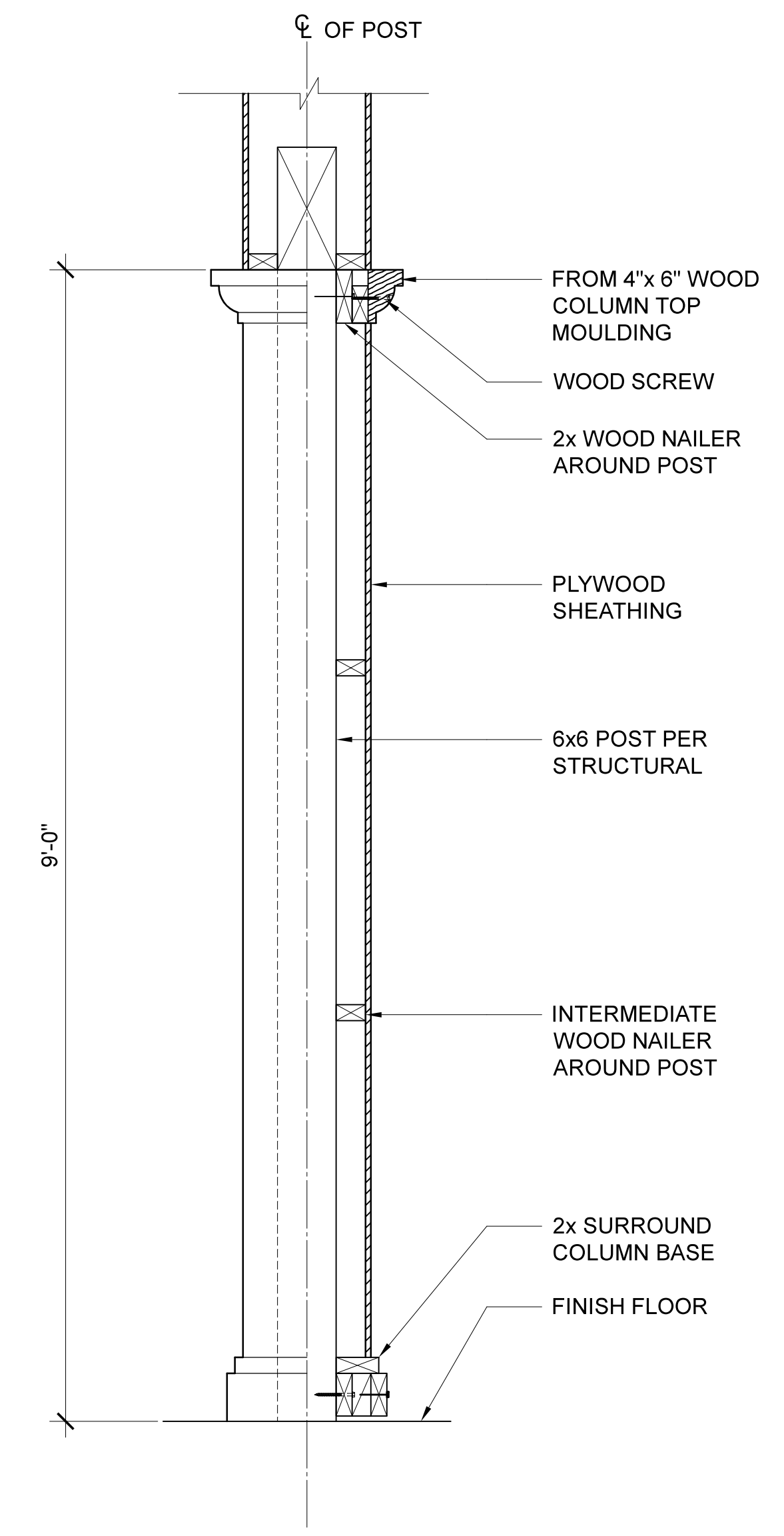
2 WOOD CORBEL DETAIL



3 SOFFITED EAVE DETAIL



4 STANDARD EAVE DETAIL



5 COLUMN DETAIL

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1	1

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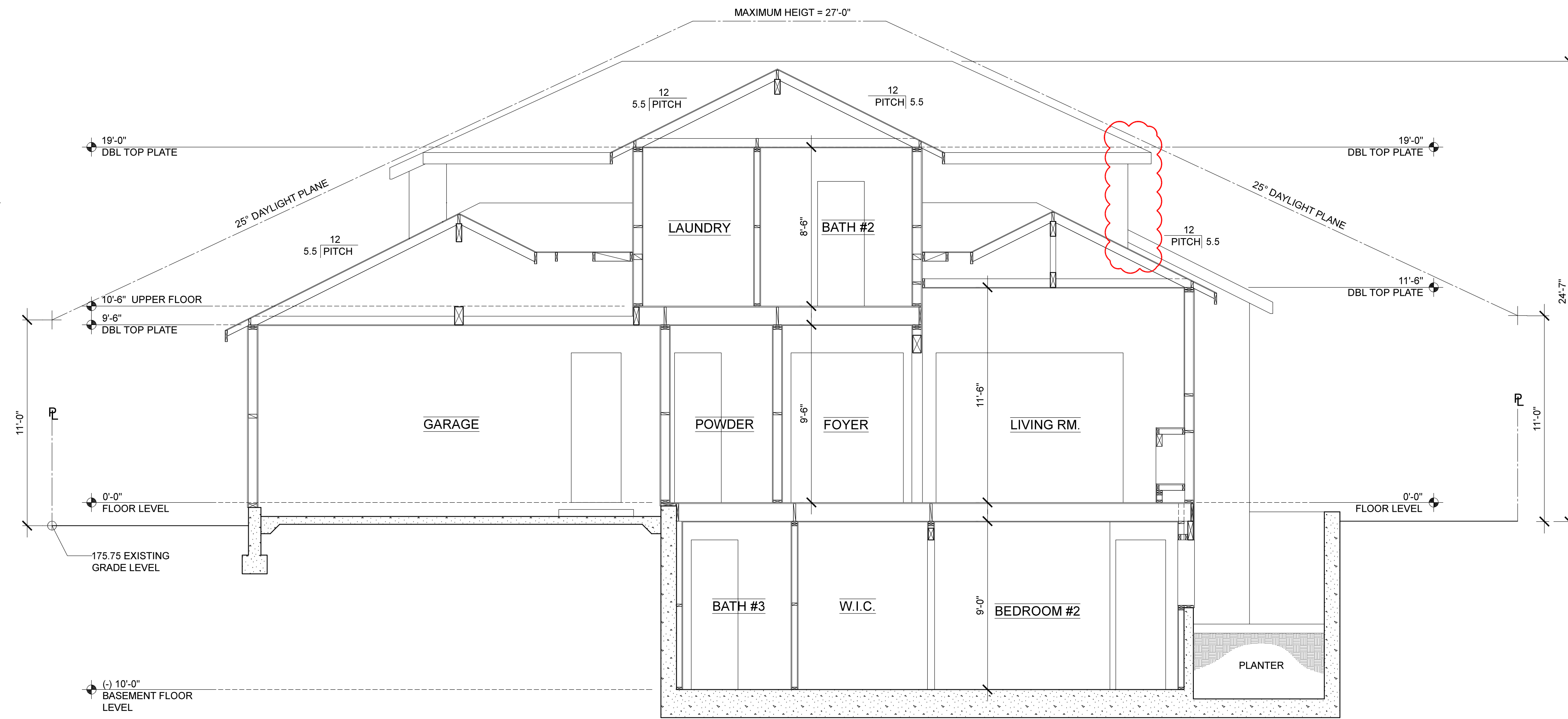
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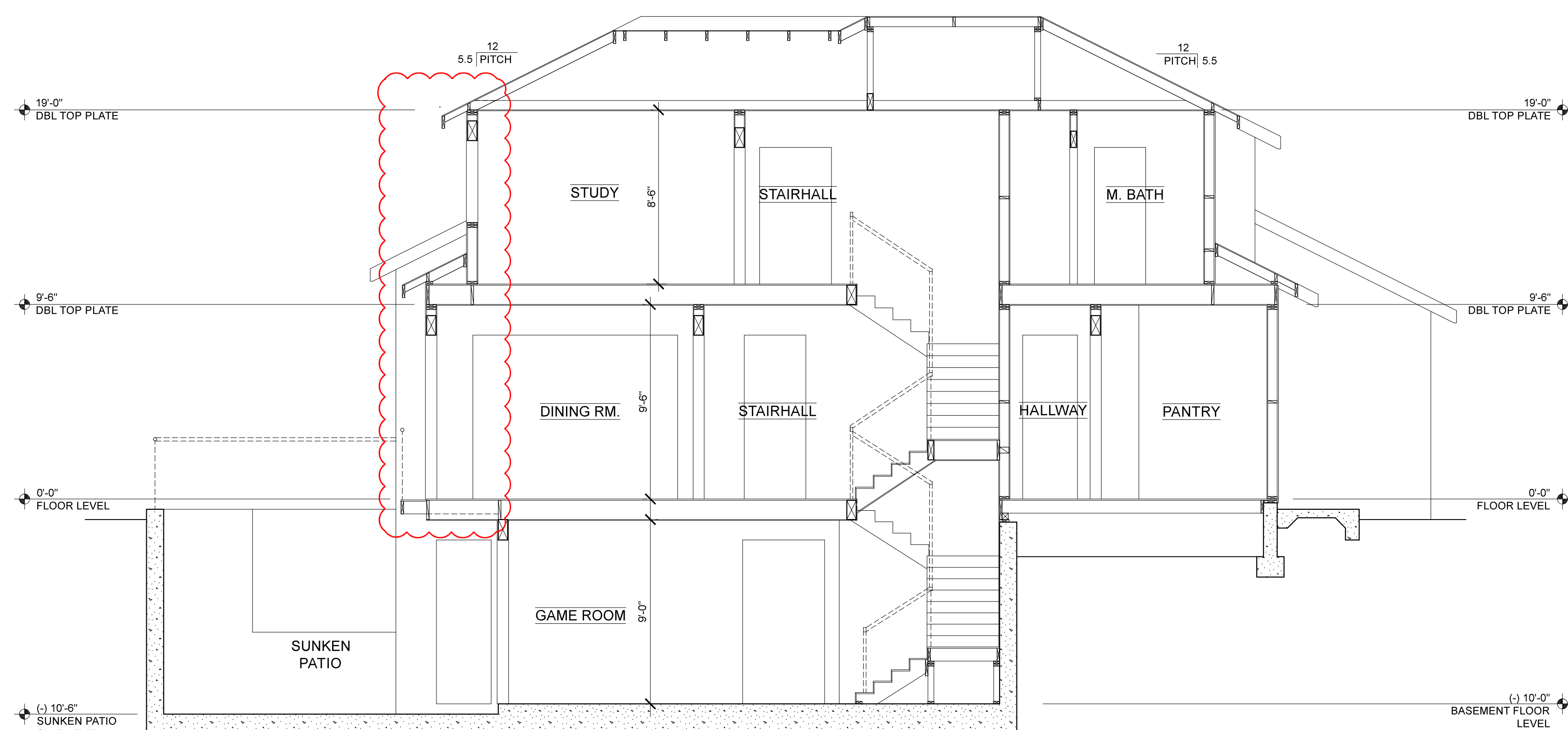
SHEET

A3.2



CROSS SECTION "A - A"

1/4" = 1'-0"



CROSS SECTION "B - B"

1/4" = 1'-0"

SECTION NOTES

- 1 ROOF ROOF MATERIAL (SEE ROOF PLAN FOR TYPE) O/ 30# UNDERLAYMENT O/ SHEATHING (SEE SHEATHING SCHEDULE FOR TYPE) O/ RAFTERS (SEE ROOF PLAN AND/OR ROOF FRAMING SCHEDULE FOR TYPE/SIZE & SPACING). TYPICAL U.O.N.
- 2 CEILING @ ATTIC CEILING JOISTS (SEE FRAMING PLAN AND/OR FLOOR/CEILING FRAMING SCHEDULE FOR TYPE/SIZE & SPACING) w/ 1/2" SHETROCK. TYPICAL U.O.N.
- 3 EXTERIOR WALL EXTERIOR FINISH (SEE EXTERIOR ELEVATIONS FOR TYPE) O/ 2 LAYERS CLASS "D" BUILDING PAPER O/ SHEATHING (SEE SHEATHING SCHEDULE FOR TYPE) O/ 2x4 STUDS @ 16"o.c. (2x6 STUDS @ MAIN PLUMBING WALLS) W/ DOUBLE 2x4 TOP PLATE & 2x4 SOLE PLATE W/ 1/2" SHEET ROCK @ INSIDE FACE. TYPICAL U.O.N.
- 4 INTERIOR WALL 2x4 STUDS @ 16"o.c. (2x6 STUDS @ MAIN PLUMBING WALLS) W/ DOUBLE 2x4 TOP PLATE & 2x4 SOLE PLATE W/ 1/2" SHEET ROCK BOTH SIDES. TYPICAL U.O.N.
- 5 FLOOR FLOOR SHEATHING (SEE SHEATHING SCHEDULE FOR TYPE) O/ FLOOR JOISTS (SEE FRAMING PLAN AND/OR FLOOR/CEILING FRAMING SCHEDULE FOR TYPE/SIZE & SPACING). TYPICAL U.O.N.
- 6 FLOOR w/ CEILING FLOOR SHEATHING (SEE SHEATHING SCHEDULE FOR TYPE) O/ FLOOR JOISTS (SEE FRAMING PLAN AND/OR FLOOR/CEILING FRAMING SCHEDULE FOR TYPE/SIZE & SPACING) W/ 1/2" SHEET ROCK. TYPICAL U.O.N.
- 7 CRAWL SPACE SLAB 16" CONCRETE SLAB w/ #5 @ 6" O.C. EA. WAY @ BOTTOM & #5 @ 10" O.C. @ TOP of APPROVED WATER PROOF MEMBRANE of 4" CRUSHED ROCK
- 8 CONCRETE SLAB 5" CONCRETE SLAB w/ #4 BARS @ 18" O.C. of 8" CLASS II CLEAN CRUSHED ROCK
- 9 GARAGE SLAB 5" CONCRETE SLAB w/ #4 BARS @ 18" O.C. of 15 mil VISQ of 8" CLASS II CLEAN CRUSHED ROCK
- 10 INSULATION ATTIC INSULATION R -
EXTERIOR WALL INSULATION R -
RAISED FLOOR INSULATION R -

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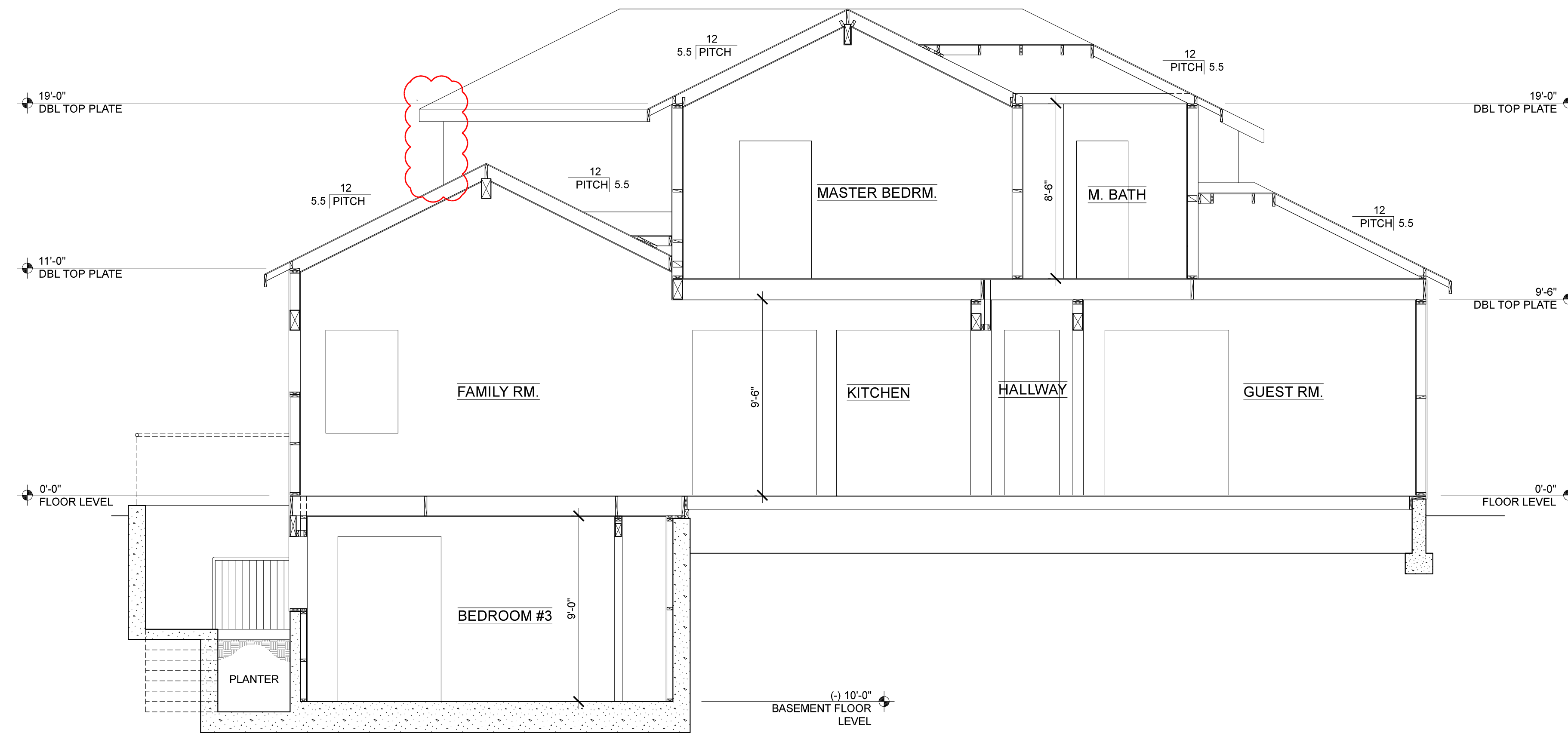
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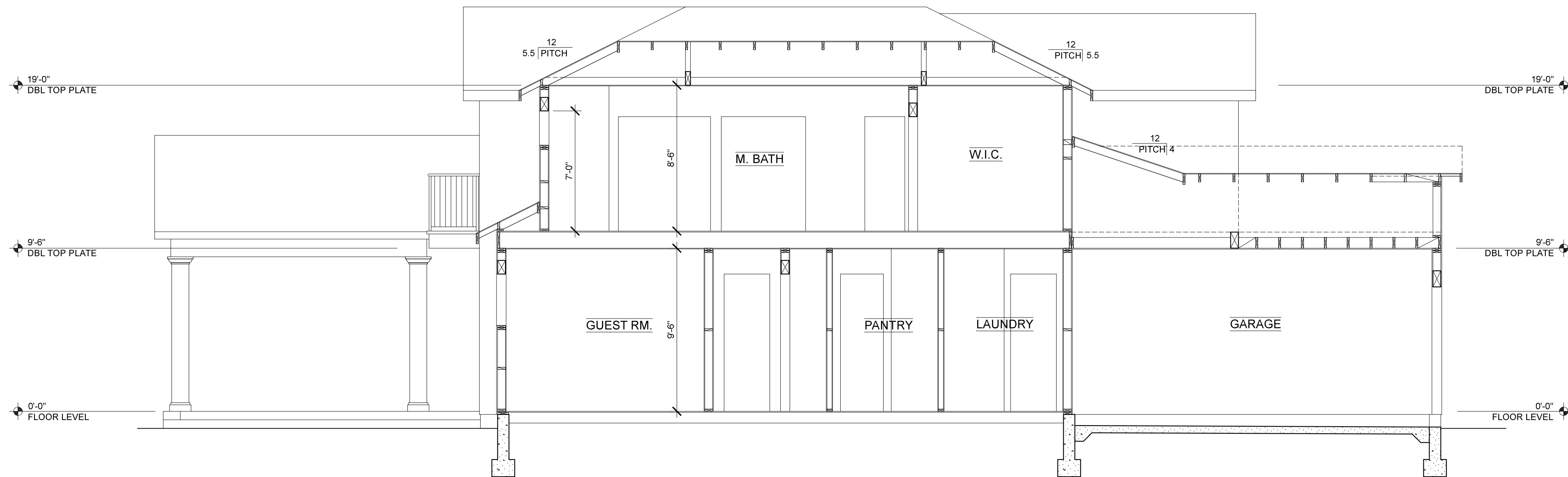
SHEET

A4.0



CROSS SECTION "C - C"

1/4" = 1'-0"



CROSS SECTION "D - D"

1/4" = 1'-0"

SECTION NOTES

- 1 ROOF ROOF MATERIAL (SEE ROOF PLAN FOR TYPE) O/ 30# UNDERLAYMENT O/ SHEATHING (SEE SHEATHING SCHEDULE FOR TYPE) O/ RAFTERS (SEE ROOF PLAN AND/OR ROOF FRAMING SCHEDULE FOR TYPE/SIZE & SPACING). TYPICAL U.O.N.
- 2 CEILING @ ATTIC CEILING JOISTS (SEE FRAMING PLAN AND/OR FLOOR/CEILING FRAMING SCHEDULE FOR TYPE/SIZE & SPACING) w/ 1/2" SHEETROCK. TYPICAL U.O.N.
- 3 EXTERIOR WALL EXTERIOR FINISH (SEE EXTERIOR ELEVATIONS FOR TYPE) O/ 2 LAYERS CLASS "D" BUILDING PAPER O/ SHEATHING (SEE SHEATHING SCHEDULE FOR TYPE) O/ 2x4 STUDS @ 16" o.c. (2x6 STUDS @ MAIN PLUMBING WALLS) W/ DOUBLE 2x4 TOP PLATE & 2x4 SOLE PLATE W/ 1/2" SHEET ROCK @ INSIDE FACE. TYPICAL U.O.N.
- 4 INTERIOR WALL 2x4 STUDS @ 16" o.c. (2x6 STUDS @ MAIN PLUMBING WALLS) W/ DOUBLE 2x4 TOP PLATE & 2x4 SOLE PLATE W/ 1/2" SHEET ROCK BOTH SIDES. TYPICAL U.O.N.
- 5 FLOOR FLOOR SHEATHING (SEE SHEATHING SCHEDULE FOR TYPE) O/ FLOOR JOISTS (SEE FRAMING PLAN AND/OR FLOOR/CEILING FRAMING SCHEDULE FOR TYPE/SIZE & SPACING). TYPICAL U.O.N.
- 6 FLOOR w/ CEILING FLOOR SHEATHING (SEE SHEATHING SCHEDULE FOR TYPE) O/ FLOOR JOISTS (SEE FRAMING PLAN AND/OR FLOOR/CEILING FRAMING SCHEDULE FOR TYPE/SIZE & SPACING) W/ 1/2" SHEET ROCK. TYPICAL U.O.N.
- 7 CRAWL SPACE SLAB 16" CONCRETE SLAB w/ #5 @ 6" O.C. EA. WAY @ BOTTOM & #5 @ 10" O.C. @ TOP of APPROVED WATER PROOF MEMBRANE of 4" CRUSHED ROCK
- 8 CONCRETE SLAB 5" CONCRETE SLAB w/ #4 BARS @ 18" O.C. of 8" CLASS II CLEAN CRUSHED ROCK
- 9 GARAGE SLAB 5" CONCRETE SLAB w/ #4 BARS @ 18" O.C. of 15 mil VISQ or 8" CLASS II CLEAN CRUSHED ROCK
- 10 INSULATION ATTIC INSULATION R -
EXTERIOR WALL INSULATION R -
RAISED FLOOR INSULATION R -

NOTE
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LOS ALITOS, CA 94024

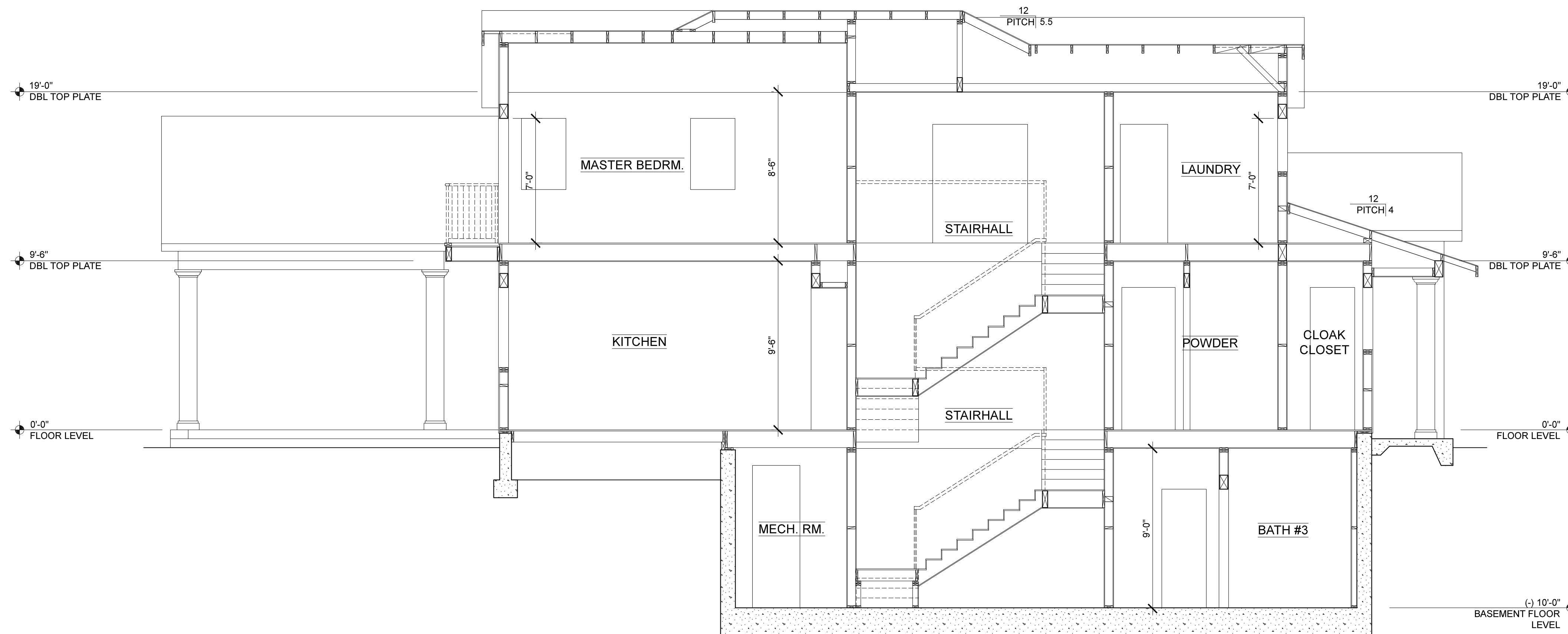
CLIENT (JOB No. 22216)
PURI RESIDENCE
MAILING ADDRESS
866 CANOAS CREEK CIRCLE, SAN JOSE, CA 94022
PHONE No. (650) 814-5941

W. Chapman

CHAPMAN DESIGN ASSOCIATES
620 S. EL MONTE AVENUE
LOS ALITOS, CA 94022 (650) 941-8890

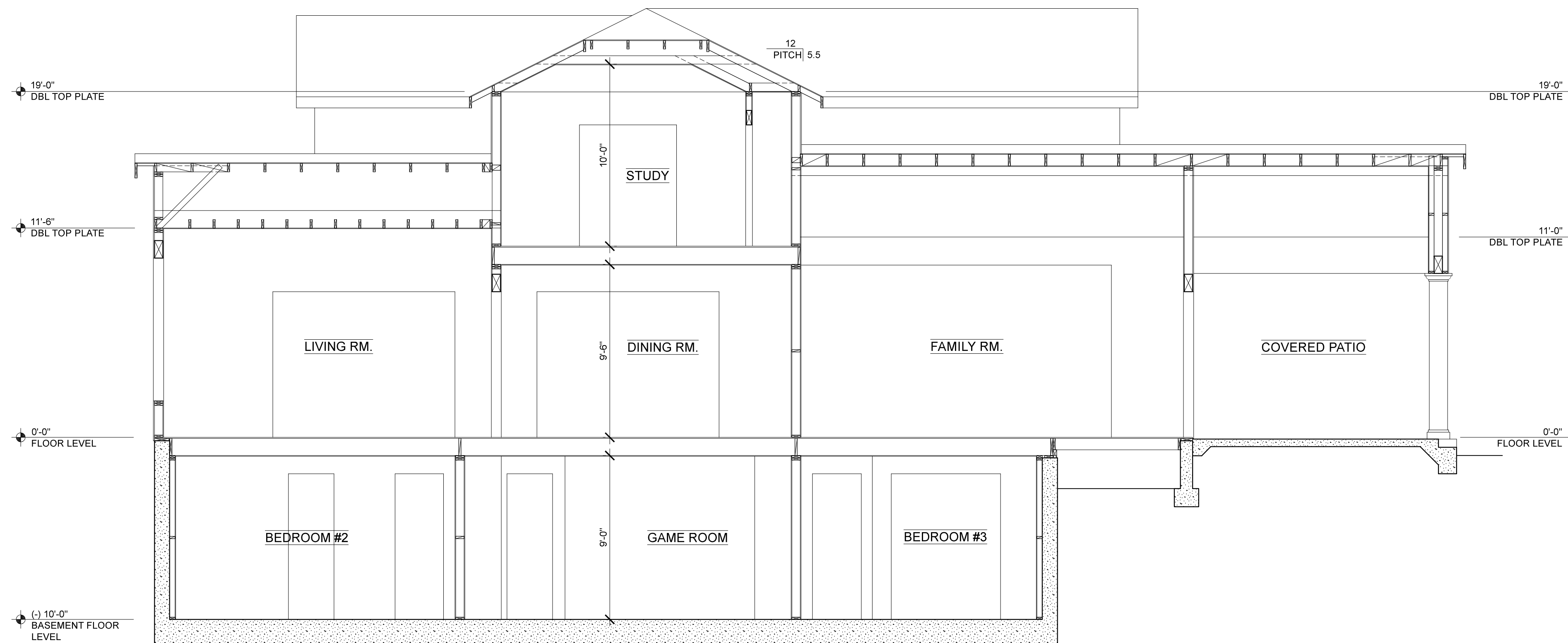
SHEET

A4.1



CROSS SECTION "E - E"

1/4" = 1'-0"



CROSS SECTION "F - F"

1/4" = 1'-0"

SECTION NOTES

- 1 ROOF ROOF MATERIAL (SEE ROOF PLAN FOR TYPE) O/ 30# UNDERLAYMENT O/ SHEATHING (SEE SHEATHING SCHEDULE FOR TYPE) O/ RAFTERS (SEE ROOF PLAN AND/OR ROOF FRAMING SCHEDULE FOR TYPE/SIZE & SPACING), TYPICAL U.O.N.
- 2 CEILING @ ATTIC CEILING JOISTS (SEE FRAMING PLAN AND/OR FLOOR/CEILING FRAMING SCHEDULE FOR TYPE/SIZE & SPACING) w/ 1/2" SHETROCK, TYPICAL U.O.N.
- 3 EXTERIOR WALL EXTERIOR FINISH (SEE EXTERIOR ELEVATIONS FOR TYPE) O/ 2 LAYERS CLASS "D" BUILDING PAPER O/ SHEATHING (SEE SHEATHING SCHEDULE FOR TYPE) O/ 2x4 STUDS @ 16"o.c. (2x6 STUDS @ MAIN PLUMBING WALLS) W/ DOUBLE 2x4 TOP PLATE & 2x4 SOLE PLATE W/ 1/2" SHEET ROCK @ INSIDE FACE, TYPICAL U.O.N.
- 4 INTERIOR WALL 2x4 STUDS @ 16"o.c. (2x6 STUDS @ MAIN PLUMBING WALLS) W/ DOUBLE 2x4 TOP PLATE & 2x4 SOLE PLATE W/ 1/2" SHEET ROCK BOTH SIDES, TYPICAL U.O.N.
- 5 FLOOR FLOOR SHEATHING (SEE SHEATHING SCHEDULE FOR TYPE) O/ FLOOR JOISTS (SEE FRAMING PLAN AND/OR FLOOR/CEILING FRAMING SCHEDULE FOR TYPE/SIZE & SPACING), TYPICAL U.O.N.
- 6 FLOOR w/ CEILING FLOOR SHEATHING (SEE SHEATHING SCHEDULE FOR TYPE) O/ FLOOR JOISTS (SEE FRAMING PLAN AND/OR FLOOR/CEILING FRAMING SCHEDULE FOR TYPE/SIZE & SPACING) W/ 1/2" SHEET ROCK, TYPICAL U.O.N.
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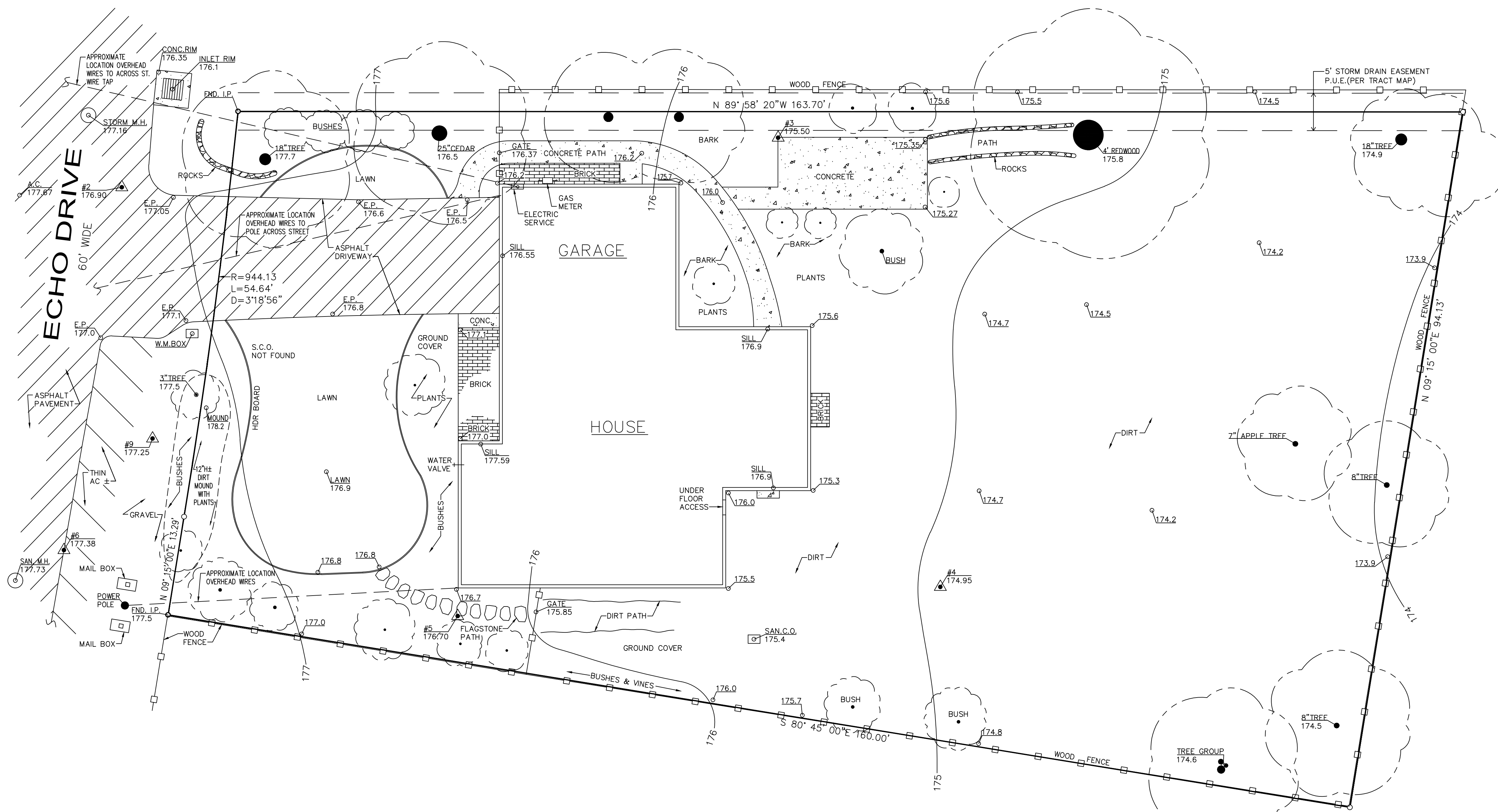
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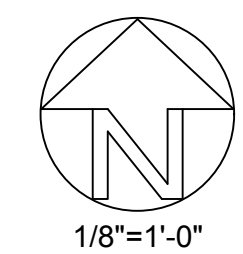
SHEET

A4.2



TOPOGRAPHY
OF LANDS OF
ROHAN PURI & NAVPREET BAWA
925 ECHO DRIVE - LOS ALTOS, CA 94024 - 07-08-2022

ROGER E. DODGE, LS 3295
DODGE ASSOC. SURVEYING
20652 CHAPARRAL CIRCLE
PENN VALLEY, CA 95946
(530)432-5212



NOTE:
THIS IS A TOPOGRAPHIC MAP NOT A BOUNDARY SURVEY. LINES SHOWN ARE DERIVED FROM RECORD DATA, AND MAY VARY SOMEWHAT FROM ABSOLUTE BOUNDARY LOCATIONS.

NOTE:
NOT ALL UNDERGROUND UTILITY LINES MAY BE SHOWN ON THIS MAP. U.S.A. MUST BE CONTACTED TO DETERMINE LOCATIONS OF ALL UTILITY LINES PRIOR TO ANY DIGGING.

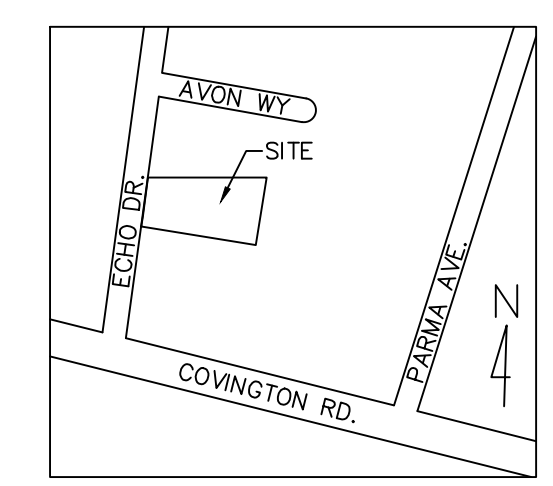
NOTE:
EASEMENTS, PLAN LINES, SETBACK LINES AND GEOLOGIC CONDITIONS, IF ANY, AND UNLESS SHOWN, NOT SHOWN.

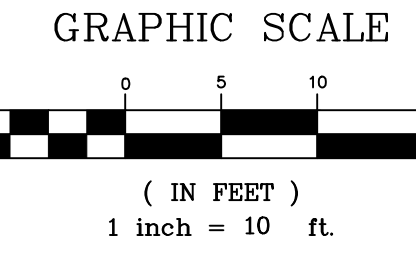
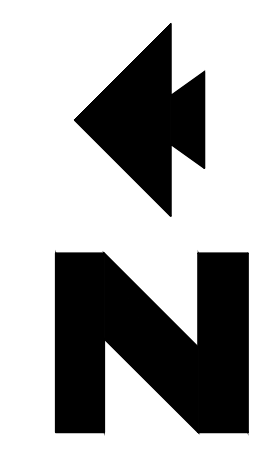
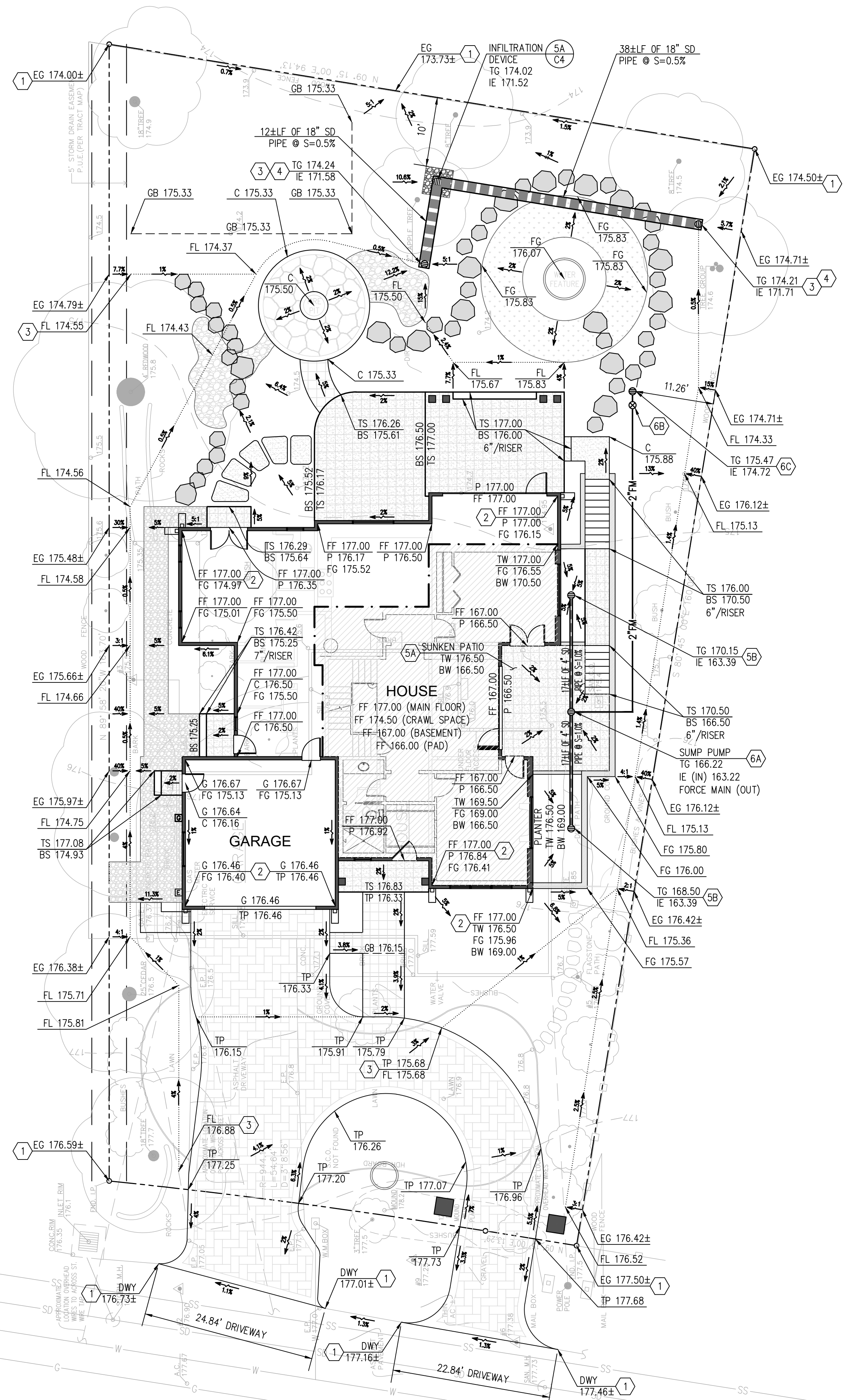
LEGEND
S.C.O. = SANITARY CLEAN OUT
P.U.E. = PUBLIC UTILITY EASEMENT
#1 = SURVEY CONTROL POINT
= CONCRETE
○ = APPROX. TREE DRIP LINE

NOTE:
SITE BENCH MARK IS CONTROL POINT #6 (SHOWN) ELEVATION 177.38

ELEVATION DATUM:
GOOGLE EARTH RESOURCE WAS USED TO PROVIDE ALL ELEVATIONS SHOWN ON THIS MAP-1988 NAVD-NOT EXACT SEA LEVEL DATUM.

SITE DATA:
- ASSEC. PARCEL NO. 189-41-068
- LOT 10 OF BLOCK 5, TRACT 354 (1947)
- AREA: 13,011 SQ.FT. (0.30 ACRES)





PRE & POST DEVELOPMENT PERVIOUS/IMPERVIOUS AREAS:

AREA TYPE	EXISTING (SF)	PROPOSED (SF)
LOT AREA	13,012 SF	13,012 SF
	0.299 ACRE	0.299 ACRE
HOUSE (ROOF)	1,870	3,403*
LIGHTWELL	N/A	355
PATIO/HARDSCAPE/PAVEMENT	568	982
DRIVEWAY	584	1,242
TOTAL IMPERVIOUS AREA	3,022	5,982
NET IMPERVIOUS AREA INCREASED:		2,960
LAWN	N/A	339
GRAVEL	N/A	487
PERVIOUS AREA	9,990	6,024
TOTAL PERVIOUS AREA	9,990	7,030

* INCLUDES BUILDING ROOF OVERHANG AREA

EARTHWORK VOLUME:
(INCLUDES BUILDING PAD, BASEMENT & POOL)

EARTHWORK QUANTITIES:	VOLUME (CUBIC YARD)
FILL	170
COMPACTION RATE: 15%	170 x 0.15 = 25.5
TOTAL FILL	197 (ROUND UP)
CUT	730
TOTAL EARTHWORK	533 (HAUL OFF *)

CONTRACTOR SHALL ESTIMATE THEIR EARTHWORK QUANTITIES WHEN BIDDING ON THIS PROJECT

* ALL EXCESS DIRT SHALL BE OFF-HAULED FROM THE SITE AND SHALL NOT BE USED AS FILL MATERIAL UNLESS APPROVED BY THE BUILDING AND PLANNING DIVISIONS.

STORM DRAIN VOLUME CALCULATION:

TIME OF CONCENTRATION = 5 MIN
INTENSITY = 10 YEAR = 2.57 IN/HR
IMPERVIOUS AREA INCREASED = 2,960 SF = 0.068 ACRE

PRE-CONDITION	VOLUME REQUIRED:
Q=CIA C=0.35	V=1.5(Q POST - Q PRE) X 10 MIN
Q=0.35 X 2.57 X 0.068	Q=1.5(0.157 - 0.061) X 600
Q=0.061 CFS	Q=86.4 CF

POST-CONDITION	VOLUME PROVIDED:
Q=CIA	V=50 LF X 18" SD STORAGE PIPE
Q=0.90 X 2.57 X 0.068	V=88.5 CF (TOTAL)
Q=0.157 CFS	

- GENERAL NOTES:**
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
 - CONTRACTOR SHALL PROTECT ALL PROPERTY CORNERS.
 - CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
 - CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
 - CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDING FOR ALL NATURAL AND PAVED AREAS.
 - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
 - THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
 - UTILITY VAULTS, TRANSFORMERS, UTILITY CABINETS, CONCRETE BASES, OR OTHER STRUCTURES CANNOT BE PLACED OVER WATER MAINS/SERVICES. MAINTAIN 1" HORIZONTAL CLEAR SEPARATION FROM THE VAULTS, CABINETS & CONCRETE BASES TO EXISTING UTILITIES AS FOUND IN THE FIELD. IF THERE IS CONFLICT WITH EXISTING UTILITIES, CABINETS, VAULTS & BASES SHALL BE RELOCATED FROM THE PLAN LOCATION AS NEEDED TO MEET FIELD CONDITIONS. TREES MAY NOT BE PLANTED WITHIN 10' OF EXISTING WATER MAINS/SERVICES OR METERS. MAINTAIN 10' BETWEEN TREES AND WATER SERVICES, MAINS & METERS.
 - CONTRACTOR SHALL REFER TO ARCH. PLANS FOR EXACT LOCATIONS OF UTILITIES SERVICES TO NEW BUILDING. COORDINATE WITH LOCAL UTILITIES COMPANIES FOR SERVICE CONNECTIONS.
 - ANY DAMAGED RIGHT-OF-WAY INFRASTRUCTURES AND OTHERWISE DISPLACED CURB AND GUTTER SHALL BE REMOVED AND REPLACED AS DIRECTED BY THE CITY ENGINEER OR HIS DESIGNEE. CONTRACTOR SHALL COORDINATE WITH PUBLIC WORKS DEPARTMENT AT (650) 947-2680.
 - GROUND COVER IS PROVIDED IN AREAS WHERE THERE IS EXPOSED SOIL.
 - PRIOR TO THE COMMENCEMENT OF ANY WORK DONE IN THE PUBLIC RIGHT-OF-WAY, A PERMIT TO OPEN STREET AND/OR AN ENCROACHMENT PERMIT WILL BE REQUIRED.

- LEGEND**
- = PROPERTY LINE
 - = STREET CENTER LINE
 - = EX. ROLLED CURB
 - + 50.0 = EX. SPOT ELEVATION
 - = FLOW DIRECTION
 - - - = GRADE BREAK
 - - - = FLOW LINE
 - [Symbol] = INFILTRATION DEVICE
 - [Symbol] = AREA INLET
 - [Symbol] = LIGHTWELL SUMP PUMP
 - [Symbol] = STORM DRAIN PIPE
 - [Symbol] = CONCRETE SPLASH PAD
 - [Symbol] = STORM DRAIN PIPE
 - [Symbol] = LIMIT OF BASEMENT

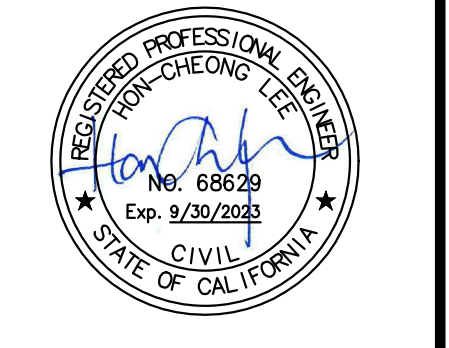
- ABBREVIATIONS:**
- | | | |
|---------------------|-----------------------|-----------------------|
| BS = BOTTOM OF STEP | GB = GARAGE | SD = STORM DRAIN |
| BOW = BACK OF WALK | GB = GRADE BREAK | SR = STRAW ROLL |
| BW = BOTTOM OF WALL | IE = INVERT ELEVATION | TC = TOP OF CURB |
| C = CONCRETE | L = LAWN | TG = TOP OF GRATE |
| DWY = DRIVEWAY | LF = LINEAL FOOT | TP = TOP OF PAVEMENT |
| EG = EXISTING GRADE | LP = LOW POINT | TS = TOP OF STEP |
| EX = EXISTING | N = NEW | TW = TOP OF WALL |
| FF = FINISHED FLOOR | P = PATIO OR PORCH | R.O.W. = RIGHT-OF-WAY |
| FG = FINISHED GRADE | FL = FLOW LINE | S = SLOPE |
| FL = FLOW LINE | | |

- GRADING NOTES**
- MATCH EXISTING ELEVATION. GRADING LIMIT IS TO PROPERTY LINE. NO GRADING ALLOWED ON ADJACENT PROPERTIES
 - DOWNSPOUT WITH CONCRETE SPLASH PAD PER DETAIL #1A/C4
 - BEGIN/END SWALE PER DETAIL #2A/C4
 - DRAIN INLET PER DETAIL #3A/C4
 - SUNKEN PATIO OR LIGHTWELL. PROVIDE MINIMUM OF 2% SLOPE TOWARDS AREA DRAIN.
 - AREA DRAIN AT SUNKEN PATIO PLANTER. COORDINATE WITH PROJECT ARCHITECT FOR TYPE OF DRAIN INLET. SEE SHEET C2, UTILITY PLAN FOR PIPE CONTINUATION TO SUMP PUMP
 - SUNKEN PATIO SUMP PUMP PER DETAIL #5/C5; THE LOCATION OF THE SUMP PUMP SHALL COMPLY WITH SECTION 314.1 TRENCHES. TRENCHES DEEPER THAN THE FOOTING OF A BUILDING OR STRUCTURE, AND PARALLELING THE SAME, SHALL BE LOCATED NOT LESS THAN 45 DEGREES FROM THE BOTTOM EXTERIOR EDGE OF THE FOOTING, OR AS APPROVED IN ACCORDANCE WITH SECTION 314.1 CPC.
 - INSTALL BACKFLOW PREVENTION VALVE
 - FLOW REDUCTION BOX AT LANDSCAPE AREA PER DETAIL #4B/C4

REV.	DATE	DESCRIPTION

GRADING AND DRAINAGE PLAN
PURI RESIDENCE
 925 ECHO DRIVE
 LOS ALTOS, CA 94024

GREEN
 CIVIL ENGINEERING, INC
 INFO@GREEN-CE.COM
 1900 S. NORFOLK ST. SUITE #350
 SAN MATEO, CA 94403



SCALE

VERTICAL: 1" = AS SHOWN
 HORIZONTAL: 1" = AS SHOWN

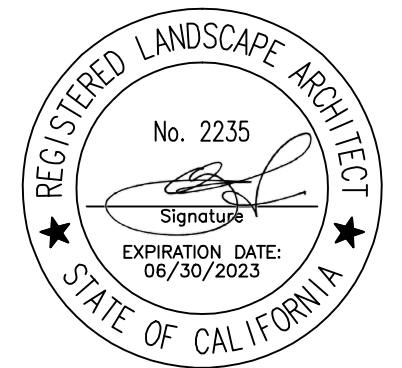
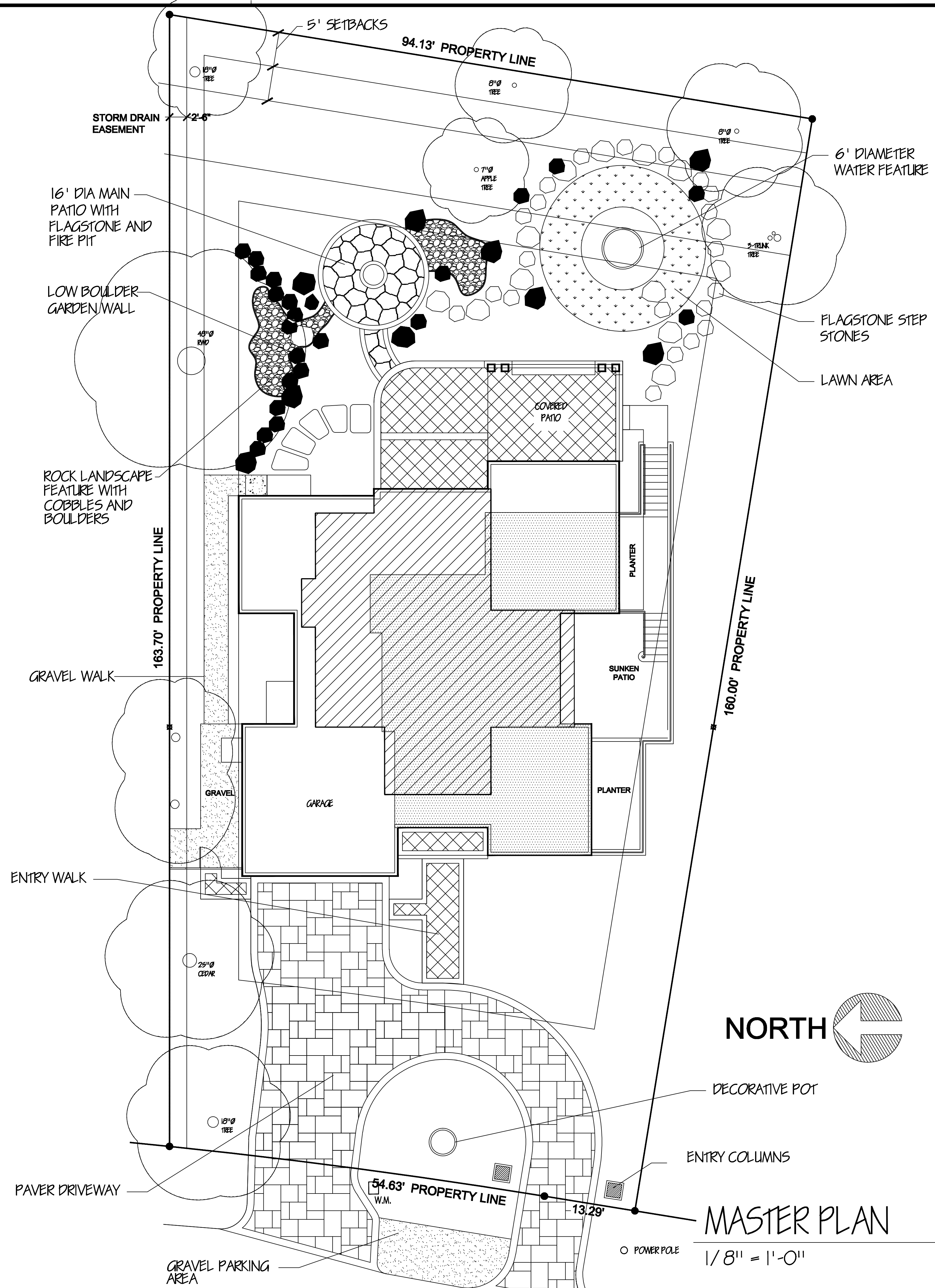
DATE:	01/18/2023
DESIGNED:	HCL
DRAWN:	BL
REVIEWED:	HCL
JOB NO.:	20220023

W. Jeffrey Heid
Landscape Architect
C-2235

1465 Winzer Place
Gilroy, Ca. 95020
tel 408 691-9207
email wjeidasia@gmail.com

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REVISED 1/19/23
REVISED 1/22/23
REVISED 1/23/23



PURI RESIDENCE

for:
ROHAN AND NAVPREET PURI
925 ECHO DRIVE
LOS ALTOS, CA. 94024

MASTER PLAN

date: 12/31/22
scale: NOTED
drawn by: WJH
job no. 202269
sheet

1 |
of sheets

MASTER PLAN

PLANT LEGEND AND NOTES

Symbol	Species	Size	Water	WUCOLS
	Sod lawn 100% dwarf fescue		high	.7
	Achillea Moonshine/ Yarrow @ 24" oc	1 gallon	low	.3
	Ceanothus horizontalis Carmel Creeper @ 48" oc	1 gallon	low	.2
	Juniperus conferta/ Shore Juniper @ 24" oc	1 gallon	low	.3
	Lomandra Little Breeze @ 24" oc	1 gallon	low	.3
	Teucrium prostrata @ 18" oc	1 gallon	low	.3
A	Yucca Color Guard	5 gallon	low	.3
B	Lavandula Munstead/ Lavender	5 gallon	low	.3
C	Cotinus Golden Spirit/ Smoke Tree	15 gallon	low	.3
D	Cistus purpureus dwarf/ Rockrose	5 gallon	low	.3
E	Arctostaphylos Howard McMinn/ Manzanita	5 gallon	low	.2
F	Salvia Little Night/ Sage	5 gallon	low	.3
G	Myrica californica/ Pacific Wax Myrtle	15 gallon	low	.2
H	Loropetalum Suzanne	5 gallon	low	.3
T1	Cercis occidentalis std./ Western Redbud	36" boxlow		.2



ACHILLEA CEANOETHUS JUNIPERUS LOMANDRA TEUCRIUM



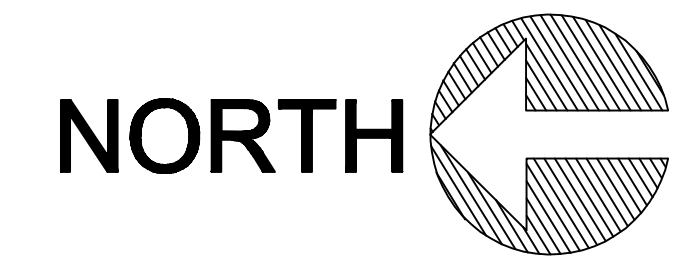
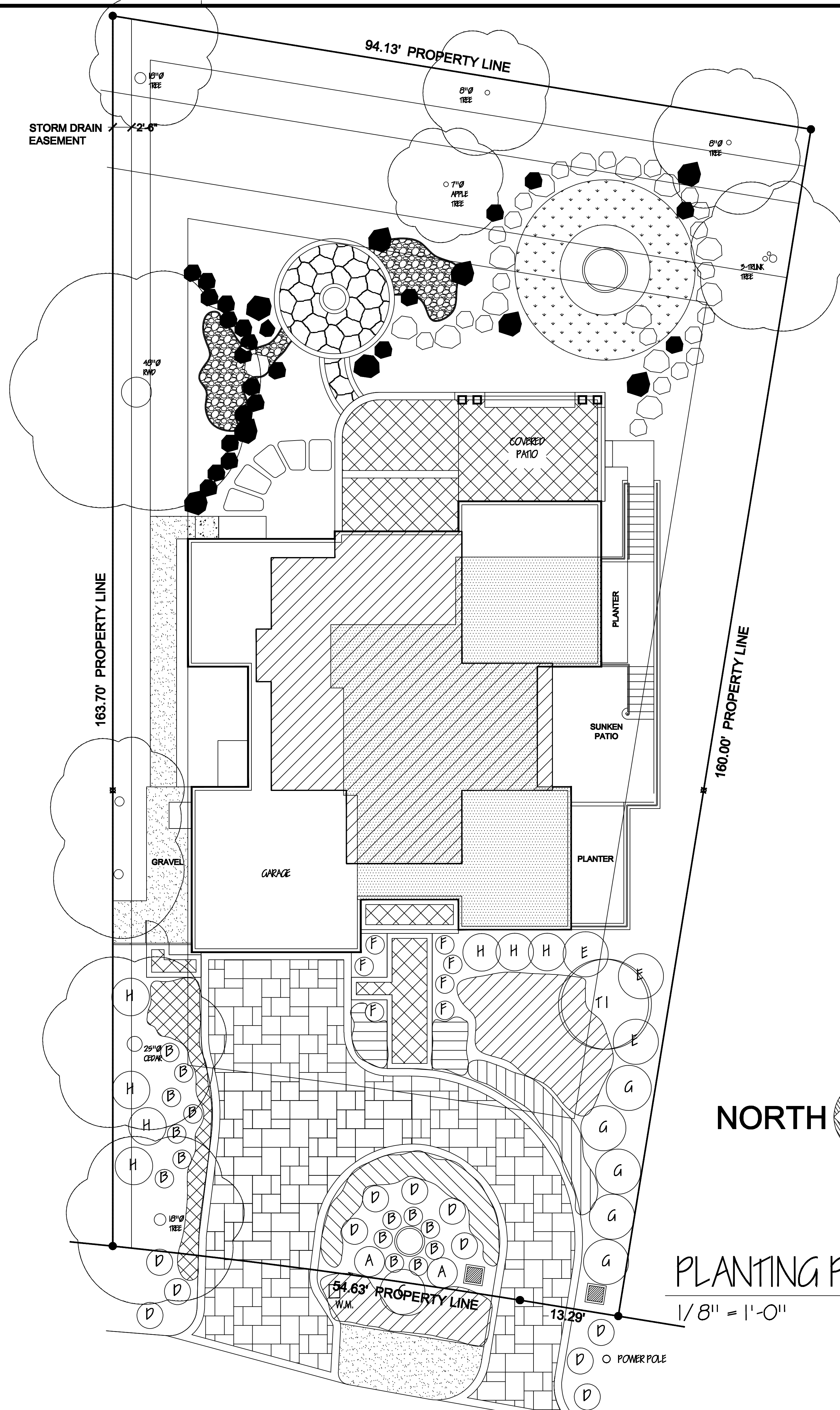
YUCCA LAVANDULA COTINUS CISTUS



ARCTOSTAPHYLOS SALVIA MYRICA LOROPETALUM



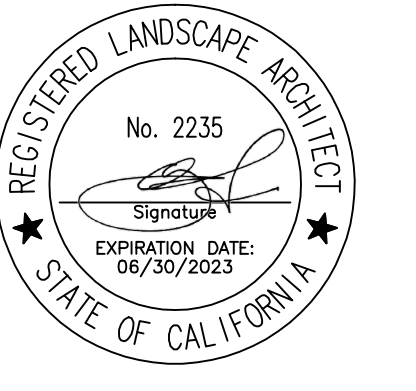
CERCIS



PLANTING PLAN
1/8" = 1'-0"

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PURI RESIDENCE

for:
ROHAN AND NAVPREET PURI
925 ECHO DRIVE
LOS ALTOS, CA. 94024

PLANTING PLAN

date: 1/22/23
scale: NOTED
drawn by: WJH
job no. 202269
sheet

L 2
of sheets