

# BHARGAVE RESIDENCE

**RECEIVED**  
 Date: 2/21/2023  
 CITY OF LOS ALTOS  
 PLANNING



*JF Building Design*

P.O. Box 2818  
 Cupertino, Ca. 95015  
 (408) 489-3029



THE PLANS, IDEAS AND DESIGNS SHOWN ON THESE DRAWINGS ARE THE PROPERTY OF THE DESIGNER. DESIGNED SOLELY FOR THIS PROJECT. PLANS SHALL NOT BE USED, WHOLE OR IN PART, FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER.  
 JF BUILDING DESIGN

REVISIONS	BY

*A New 2-Story Residence For:*  
**Akshay Bhargava & Devina Prasad**  
*on the grounds at*  
 1210 Altamead Dr., Los Altos, Ca 94024

DRAWN  
 JF  
 CHECKED  
 JF  
 DATE  
 1 NOV. 21  
 SCALE  
 AS NOTED  
 JOB NO.  
 2129  
 SHEET

**AO**



# BHARGAVA RESIDENCE

PLANNING DEPARTMENT    
 PRELIMINARY (NOT FOR CONSTRUCTION)    
 DESIGN REVIEW SUBMITTAL    
 BUILDING DEPARTMENT    
 PLAN CHECK SUBMITTAL    
 APPROVED FOR CONSTRUCTION

## ZONING COMPLIANCE

	Existing	Proposed	Allowed/Required
<b>LOT COVERAGE:</b> <i>Land area covered by all structures that are over 6 feet in height</i>	3,199 square feet (31%)	2,456 square feet (24%)	3,571 square feet (35%)
<b>FLOOR AREA:</b> <i>Measured to the outside surfaces of exterior walls</i>	1st Flr. 3,199 sq ft 2nd Flr. 720 sq ft Total: 3,919 sq ft (38%)	1st Flr. 2,456 sq ft 2nd Flr. 1,106 sq ft Total: 3,562 sq ft (34.9%)	3,571 square feet (35%)
<b>SETBACKS:</b>			
Front	23.10' feet	43'-6" feet	25' feet
Rear	8.64' feet	25' feet	20' feet
Right side (1st/2nd)	10' feet / 40' feet	20' feet / 22' feet	16'-6" feet / 20' feet
Left side (1st/2nd)	15.77' feet / 15.91' feet	16'-6" feet / 22' feet	10' feet / 11'-8" feet
<b>HEIGHT:</b>	22'-9" feet	23'-8" feet	27' feet

## SQUARE FOOTAGE BREAKDOWN

	Existing	Change in	Total Proposed
<b>HABITABLE LIVING AREA:</b> <i>Includes detached accessory areas</i>	3,203 square feet	-193 square feet	3,010 square feet
<b>NON-HABITABLE AREA:</b> <i>Does not include covered porches or open spaces</i>	616 square feet	-155 square feet	461 square feet

## LOT CALCULATIONS

<b>NET LOT AREA:</b>	10,205 square feet
<b>FRONT YARD HARDSCAPE AREA:</b> <i>Hardscape area in the front yard setback shall not exceed 50%</i>	86 square feet (4.4%)
<b>LANDSCAPING BREAKDOWN:</b>	Total hardscape area (existing and proposed): 4,628 sq ft Existing softscape (undisturbed) area: N/A sq ft New softscape (new or replace landscaping) area: 5,571 sq ft None of all three should equal the site's net lot area

## ANALYSIS

**GENERAL INFORMATION:**

NUMBER OF STORIES:	2-STORY
ASSESSOR'S PARCEL #:	193-32-002
ZONING DESIGNATION:	R1-10
TYPE OF CONSTRUCTION:	V-B
OCCUPANCY GROUP:	R-3
LOT GROSS AREA:	10,205 SF.

## INDEX

A1	INDEX - VICINITY MAP - ANALYSIS - PERSONAE - NOTES
TP	TOPO
C1	GRADING & DRAINAGE NOTES
C2	GRADING & DRAINAGE PLAN
C3	EROSION CONTROL
C4	EROSION CONTROL DETAILS
C5	BLUE PRINT FOR A CLEAN BAY
A1.1	AREA CALC - EXISTING & PROPOSED
A2	PROPOSED SITE PLAN
A2.1	EXISTING SITE - DEMO PLAN
A3	PROPOSED LOWER FLOOR PLAN
A4	PROPOSED UPPER FLOOR PLAN
A5	EXTERIOR ELEVATIONS
A6	EXTERIOR ELEVATIONS
A7	SECTIONS
A8	SECTION - ROOF PLAN
A8.1	STREETSCAPE
A9	NEIGHBORHOOD CONTEXT MAP
A10	EXISTING HOUSE PHOTOS
L6	LANDSCAPE PLAN
IG	IRRIGATION PLAN
CB	MATERIAL - COLOR BOARD

**JF Building Design**  
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 JF BUILDING DESIGN

REVISIONS	BY

PREPARED BY: Jon C. Freel    DATE: 5 March 22

A New 2-Story Residence For:  
**Akshay Bhargave & Devina Prasad**  
 on the grounds at  
 1210 Altamead Dr., Los Altos, Ca 94024

DRAWN	JF
CHECKED	JF
DATE	1 NOV. 21
SCALE	AS NOTED
JOB NO.	219
SHEET	

**A1**

OF SHEETS

## NOTES

SCOPE OF WORK:  
 NEW 2-STORY RESIDENCE W/2-CAR GARAGE COVERED ENTRY.  
 DEFERRED ITEMS:  
 REQUIRED AUTOMATIC FIRE SPRINKLER IN WHOLE HOUSE & GARAGE:  
 A) AN AUTOMATIC FIRE SPRINKLER SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH N.E.P.A. 19D 1989.  
 B) FAST RESPONSE SPRINKLER HEADS SHALL BE INSTALLED IN THE WHOLE HOUSE & GARAGES AREAS.  
 C) THE SUPPRESSION CONTRACTOR SHALL PROVIDE TWO (2) COPIES OF WORKING DRAWINGS & CALC TO FIRE DISTRICT.  
 D) THE FIRE DISTRICT SHALL ISSUE A PERMIT PRIOR TO THE INSTALLATION OF THE FIRE SPRINKLER SYSTEM.  
 E) THE SPRINKLER CONTRACTOR SHALL HAVE A CITY BUSINESS LICENSE AND WORKERS COMP. CERTIFICATE ON FILE WITH THE CITY OF SUNNYVALE BUILDING DIVISION.  
 \* NOTE TO CONTRACTOR \*  
 THE CONTRACTOR AND/OR SUPPLIER OF MATERIALS SHALL NOT SCALE ANY DIMENSIONS FOR CONSTRUCTION PURPOSES. IN THE EVENT A DIMENSION IS REQUIRED THAT DOES NOT OCCUR ON THE DRAWINGS AND/OR A DIMENSION ERROR IS FOUND ON THE DRAWINGS, THE CONTRACTOR AND/OR SUPPLIER OF MATERIALS SHALL NOTIFY THE OFFICE OF JF BUILDING DESIGN AND REQUEST ASSISTANCE AS SOON AS POSSIBLE. THE CONTRACTOR AND/OR SUPPLIER OF MATERIALS SHALL BE SOLELY RESPONSIBLE FOR THE RESULTS OF ERRORS, DISCREPANCIES AND OMISSIONS WHICH THE CONTRACTOR AND/OR SUPPLIER FAILED TO NOTIFY THE OFFICE OF JF BUILDING DESIGN PRIOR TO CONSTRUCTION AND/OR FABRICATION OF THE WORK. NO DEVIATION FROM THE PLANS IN ANY WAY SHALL BE MADE WITHOUT THE WRITTEN CONSENT OF JF BUILDING DESIGN. APPROVAL BY THE CITY INSPECTOR DOES NOT CONSTITUTE AUTHORITY TO DEVIATE FROM THE PLANS OR OTHER DOCUMENTS PROVIDED BY THE OFFICE OF JF BUILDING DESIGN.

## NOTES

GENERAL NOTES:  
 ALL WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF JF BUILDING DESIGN PRIOR TO CONSTRUCTION.  
 VERIFY LOCATION OF UTILITIES AND EXISTING CONDITIONS AT SITE PRIOR TO CONSTRUCTION AND BEING.  
 CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR METHOD AND PATTERN OF CONSTRUCTION AND FOR ALL JOB SITE SAFETY DURING CONSTRUCTION.  
 SLOPE ALL TRENCH DROPPES IN A 3:1 RATIO AGAIN FROM STRUCTURE FOR POSITIVE DRAINAGE & LANDSCAPED AREA & SLOPE GRACE IN FIN. & PAVED AREAS.  
 ALL WORK, APPLIANCES AND EQUIPMENT SHALL COMPLY WITH C.E.C. TITLE 24 RESIDENTIAL ENERGY STANDARDS.  
 NO CONSTRUCTION EQUIPMENT OR PRIVATE VEHICLES SHALL PARK OR BE STORED WITHIN THE DRIFLINE OF ANY ORDNANCE PROTECTED TREES ON SITE.  
 ADDRESS NUMBERS ON BUILDING SHALL BE CLEARLY VISIBLE FROM STREET OR ROAD FRONTING THE PROPERTY.

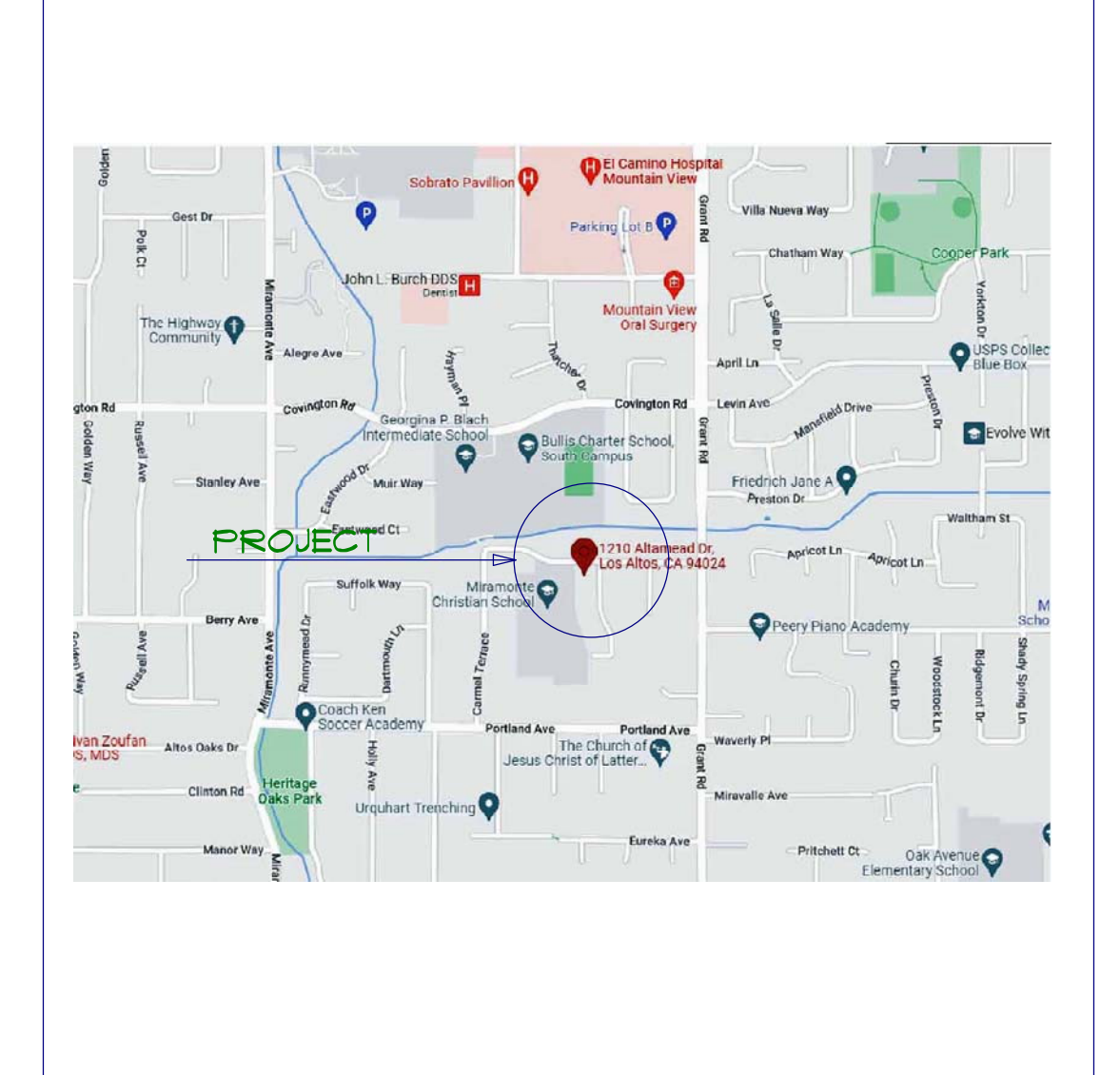
## NOTES

1.) ALL CONSTRUCTION SHALL COMPLY WITH:  
 A) CALIF. BUILDING CODE 2019 EDITION  
 B) CALIF. FIRE CODE 2019 EDITION  
 C) CALIF. RESIDENTIAL CODE 2019 EDITION  
 D) CALIF. MECH. CODE 2019 EDITION  
 E) CALIF. PLUMB'G CODE 2019 EDITION  
 F) CALIF. ELEC. CODE 2019 EDITION  
 G) CALIF. ENERGY CODE SHALL COMPLY WITH ALL T24 DOCUMENT  
 H) CALIF. GREEN BLDG CODE (AS PER CITY REQUIREMENTS) 2019 EDITION  
 I) ANY OTHER APPLICABLE LOCAL & STATE LAWS & REGULATIONS.  
 2.) ALL MECHANICAL, PLUMBING, ELECTRICAL AND SIMILAR PENETRATIONS OF THE FLOOR OR TOP FLATES SHALL BE CAULKED WITH A RESIDENTIAL RATED FIRE CAULK WITH AN ASTM E136 RATING.

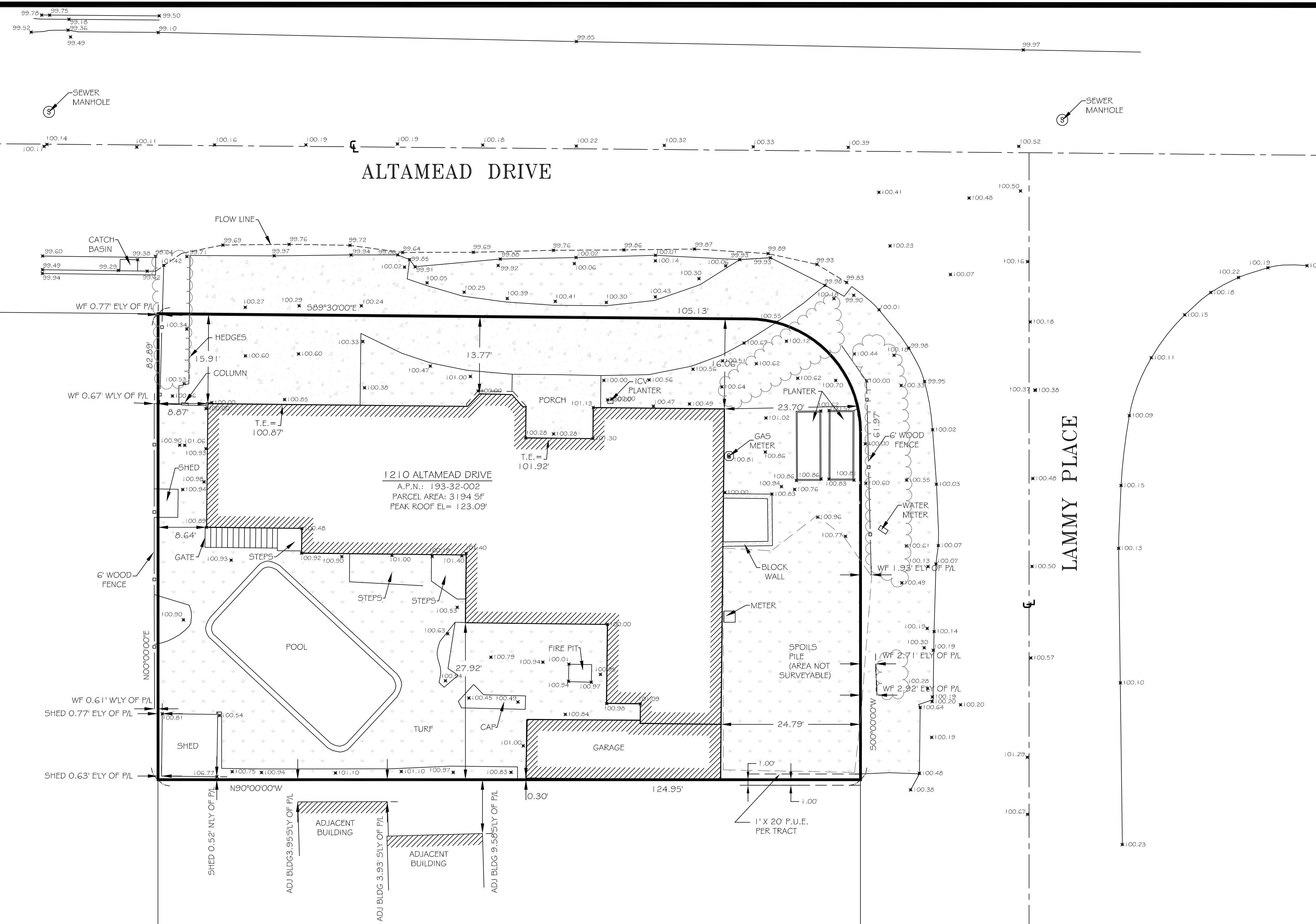
## PERSONAE

**OWNER:**  
 AKSHAY BHARGAVE & DEVINA PRASAD  
 1210 ALTAMEAD DR.  
 LOS ALTOS, CA. 94024  
 (408) 887-1160  
**DESIGNER & CONSULTANT:**  
 JF BUILDING DESIGN:  
 JON C FREEL  
 P.O. BOX 2818  
 CUPERTINO, CA. 95015  
 (408) 489-3029  
**LAND SURVEYORS:**  
 CHRISTENSEN & PLOUFF  
 101 CHURCH STREET  
 LOS GATOS, CA. 95030  
 (408) 755-9184  
**LANDSCAPE DESIGN:**  
 SARAH LOVGREN  
 LEAF ON A BRANCH DESIGNS, LLC  
 (408) 605-1526  
**BAY LAND CONSULTING:**  
 CIVIL ENGINEERS  
 PO BOX 299  
 SANTA CLARA, CA. 95052  
 (408) 236-6000

## LOCATION MAP







**LEGEND:**

	PROPERTY LINE
	WOOD FENCE
	CHAINLINK FENCE
	METAL/WIRE FENCE
	OVERHEAD WIRES
	BUILDING
	WALL
	CONCRETE
	PAVEMENT
	BRICK
	SLATE / STONE
	GRASSY / NATURAL GROUND
	SPOT ELEVATION
	TREE TRUNK, APPROXIMATE DIAMETER IN INCHES
	TREE DRIPLINE
	T. E. THRESHOLD ELEVATION

**ABBREVIATIONS**

AD	AREA DRAIN
ADJ	ADJACENT
AC	AIR CONDITIONING
BLDG	BUILDING
BW	BOTTOM OF WALL
CL	CENTERLINE
CLF	CHAIN-LINK FENCE
CONC	CONCRETE
E'LY	EASTERLY
EL	ELEVATION
FOW	FACE OF WALL
ICV	IRRIGATION CONTROL VALVE
LND	LANDING
N'LY	NORTHERLY
N'E'LY	NORTHEASTERLY
N'W'LY	NORTHWESTERLY
OH	OVERHANG
P/L	PROPERTY LINE
PLTR	PLANTER
RET	RETAINING
S'LY	SOUTHERLY
S'E'LY	SOUTHEASTERLY
S'W'LY	SOUTHWESTERLY
STP	STOOP
TW	TOP OF WALL
TYP	TYPICAL
W'LY	WESTERLY
WF	WOOD FENCE

**LEGAL DESCRIPTION**  
LOT 23 OF TRACT #1015 AS RECORDED IN BOOK 36 PAGE 47 OF SANTA CLARA COUNTY RECORDS.

- SURVEYOR'S NOTES**
- PROJECT BENCHMARK: ELEVATIONS ARE ON ASSUMED DATUM.
  - ONLY TREES 6" AND ABOVE WERE LOCATED ON THIS SURVEY, SMALLER TREES AND SHRUBS ARE NOT SHOWN.
  - DISTANCES SHOWN HEREON AREA EXPRESSED IN FEET AND DECIMALS THEREOF.

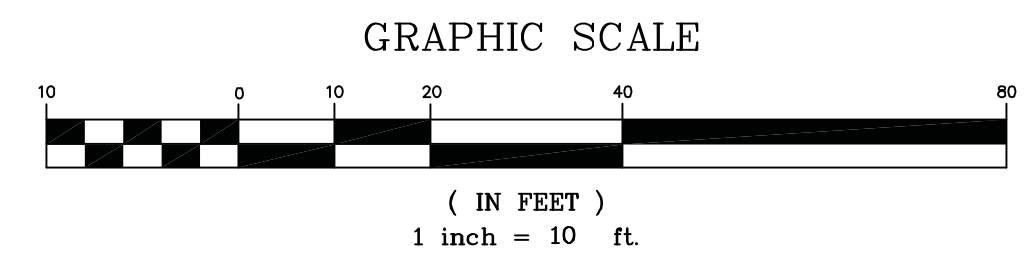
**SURVEYOR'S CERTIFICATE**  
I, KACIE A. PLOUFF, CERTIFY THAT I AM LICENSED AS A PROFESSIONAL LAND SURVEYOR IN THE STATE OF CALIFORNIA (REF. NO. 9013) I FURTHER CERTIFY THAT THIS PLAT REPRESENTS THE RESULTS OF A TOPOGRAPHIC SURVEY CONDUCTED UNDER MY SUPERVISION AT THE REQUEST OF THE CLIENT.



KACIE A. PLOUFF, PLS 9013



VICINITY MAP  
NOT TO SCALE



**CHRISTENSEN & PLOUFF**  
**LAND SURVEYING**  
 2500 BEE CANYON ROAD SUITE 1A  
 VALAJO, CA 94386  
 661-445-8800  
 www.christensenplouff.com

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DATE: 12/29/2021  
 DRAWING SCALE: 1" = 10'  
 PREPARED BY: KACIE PLOUFF  
 APPROVED BY: KACIE PLOUFF  
 NCA-21-191-1210 ALTAMEAD LOS ALTOS\_T001

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**1210 ALTAMEAD DRIVE, LOS ALTOS**  
**COUNTY OF LOS ANGELES**  
**STATE OF CALIFORNIA**  
**APN: 193-32-002**

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**TOPOGRAPHIC SURVEY**

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PROJECT NO.  
**NCA-21-191**

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SHEET NO.  
**1 OF 1**

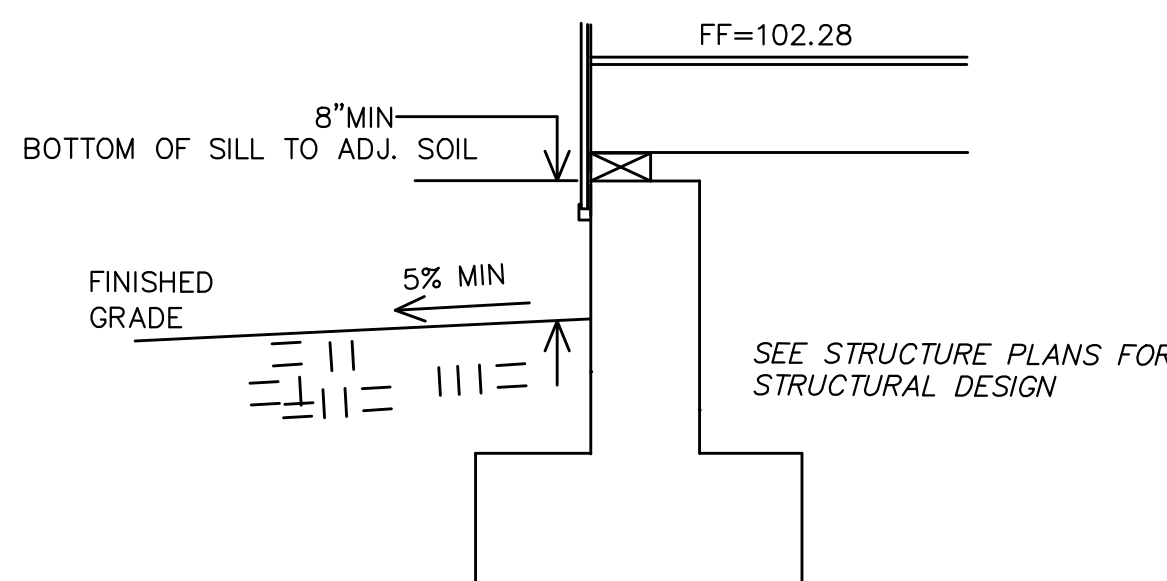


**GENERAL NOTES**

- ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE GENERAL AND SPECIFIC PROVISIONS, STANDARD DRAWINGS, AND REQUIREMENTS OF THE CITY OF LOS ALTOS.
  - IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES WITH THE APPROPRIATE UTILITY AGENCIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. CONTRACTOR SHALL NOTIFY ALL PUBLIC AND PRIVATE UTILITY OWNERS 48 HOURS PRIOR TO COMMENCEMENT OF WORK ADJACENT TO THE UTILITY CONTACT UNDERGROUND SERVICE ALERT (USA) AT 800/642-2444.
  - EXISTING UTILITIES SHOWN ARE BASED UPON RECORD INFORMATION AND ARE APPROXIMATE IN LOCATION AND DEPTH. THE CONTRACTOR SHALL POTHOLE ALL EXISTING UTILITIES THAT MAY BE AFFECTED BY NEW FACILITIES IN THIS CONTRACT. VERIFY ACTUAL LOCATION AND DEPTH, AND REPORT POTENTIAL CONFLICTS TO THE ENGINEER PRIOR TO EXCAVATION FOR NEW FACILITIES.
- IT IS THE CONTRACTORS RESPONSIBILITY TO REPLACE ALL STREET MONUMENTS, LOT CORNER PIPES, AND GRADE STAKES DISTURBED DURING THE PROCESS OF CONSTRUCTION AT THE REGULAR ENGINEER'S FEE.
- PROVIDE CONCRETE PROTECTION BETWEEN UNDERGROUND PIPE CROSSINGS WITH 12" OR LESS VERTICAL CLEARANCE.
- ALL SURPLUS AND UNSUITABLE MATERIAL SHALL BE REMOVED FROM PROJECT SITE AND FROM PUBLIC RIGHT-OF-WAY.
- CONTRACTOR SHALL PROVIDE ADEQUATE DUST CONTROL AND KEEP MUD AND DEBRIS OFF THE PUBLIC RIGHT-OF-WAY AT ALL TIMES.
- ALL TRENCHES AND EXCAVATIONS SHALL BE CONSTRUCTED IN STRICT COMPLIANCE WITH THE APPLICABLE SECTIONS OF CALIFORNIA AND FEDERAL O.S.H.A. REQUIREMENTS AND OTHER APPLICABLE SAFETY ORDINANCES. CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR TRENCH SHORING DESIGN AND INSTALLATION.
- GRADE BREAKS ON CURBS AND SIDEWALKS ARE TO BE ROUNDED OFF ON FORM WORK AND FINISHED SURFACING.
- CONTRACTOR SHALL PERFORM HIS CONSTRUCTION AND OPERATION IN MANNER WHICH WILL NOT ALLOW HARMFUL POLLUTANTS TO ENTER THE STORM DRAIN SYSTEM. TO ENSURE COMPLIANCE, THE CONTRACTOR SHALL IMPLEMENT THE APPROPRIATE BEST MANAGEMENT PRACTICE (BMP) AS OUTLINED IN THE BROCHURES ENTITLED BEST MANAGEMENT PRACTICES FOR THE CONSTRUCTION INDUSTRY" ISSUED BY THE SAN MATEO COUNTYWIDE STORM WATER POLLUTION PREVENTION PROGRAM, TO SUIT THE CONSTRUCTION SITE AND JOB CONDITION, THE CONTRACTOR SHALL PRESENT HIS PROPOSED BMP AT THE PRECONSTRUCTION MEETING FOR DISCUSSION AND APPROVAL.
  - OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT IN THE STREET RIGHT-OF-WAY SHALL NOT BE PERMITTED, EXCEPT AT LOCATION(S) APPROVED BY THE CITY TRAFFIC ENGINEER.

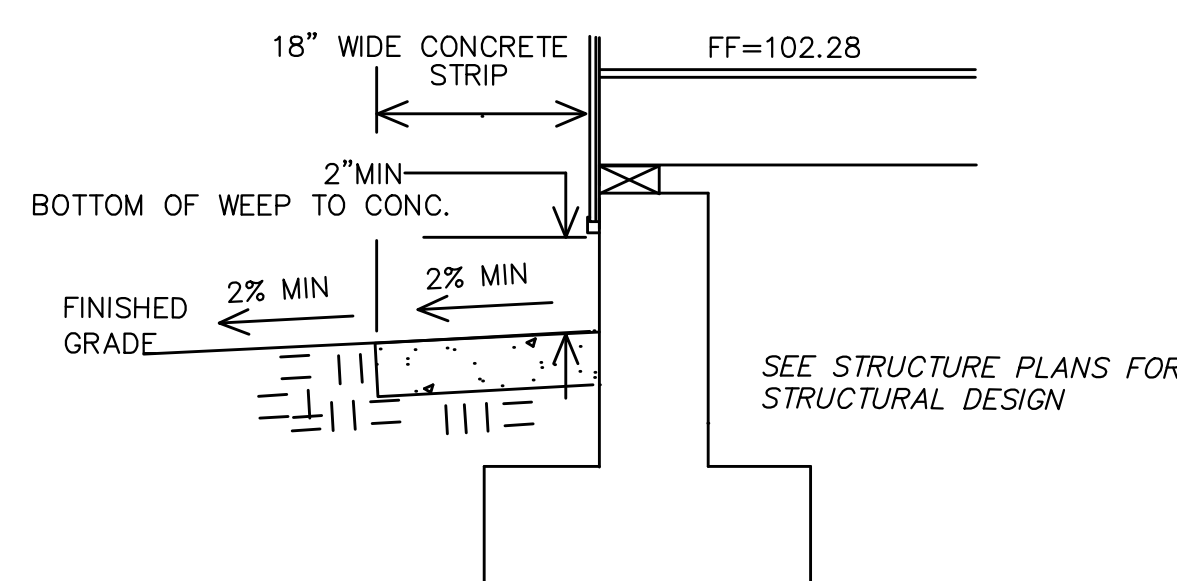
**GRADING NOTES**

- DATE OF SURVEY: DECEMBER, 2021
- FINISHED GRADES ALONG THE PERIMETER OF THE FOUNDATION TO BE SLOPED AT A MINIMUM OF 5% FOR FIRST 10 FEET.
- ALL CONCRETE SHALL BE CLASS "A" CONFORMING TO SECTION 90 OF CALTRANS SPECIFICATIONS AND SHALL DEVELOP A COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS PER CALIFORNIA TEST METHOD NO. 521.
- ON-SITE UTILITY TRENCHES SHALL BE BACKFILLED WITH COMPACTED ENGINEERED FILL. THE FILL MATERIAL SHALL BE PLACED IN LIFTS NOT TO EXCEED EIGHT (8) INCHES IN UNCOMPACTED THICKNESS AND SHALL BE MECHANICALLY COMPACTED TO AT LEAST 90% RELATIVE COMPACTION.
- LOCATION OF TREES SHOWN HEREON ARE TAKEN AT A POINT THAT THE TREE ENTERS THE GROUND. SIZES OF TREES SHOWN HEREON ARE TAKEN AT DBH (DIAMETER AT BREST HEIGHT)
- LOCATION OF METERS ARE AS NOTED. COORDINATE ALL SUCH WORK WITH THE UTILITY COMPANY HAVING JURISDICTION.
- CONTRACTOR SHALL BARRICADE AND PROTECT ALL EXISTING SITE FEATURES INCLUDING TREES, FENCES, GATES, UTILITIES, ETC.
- ALL ON-SITE STORM DRAINAGE AND SANITARY SEWER PIPE TO BE PVC SCHEDULE 40.



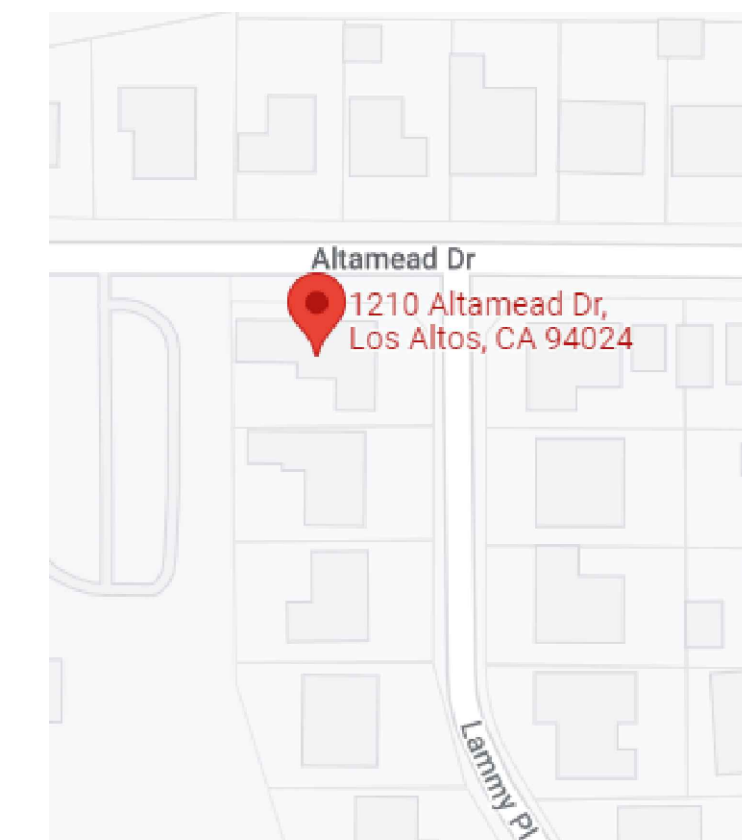
CONCEPTUAL PERIMETER FOOTING-TYPE 1  
CLEARANCE FROM ADJACENT SOIL  
SEE STR. & ARCH. PLANS

ON-SITE ONLY SCALE: N.T.S. 1

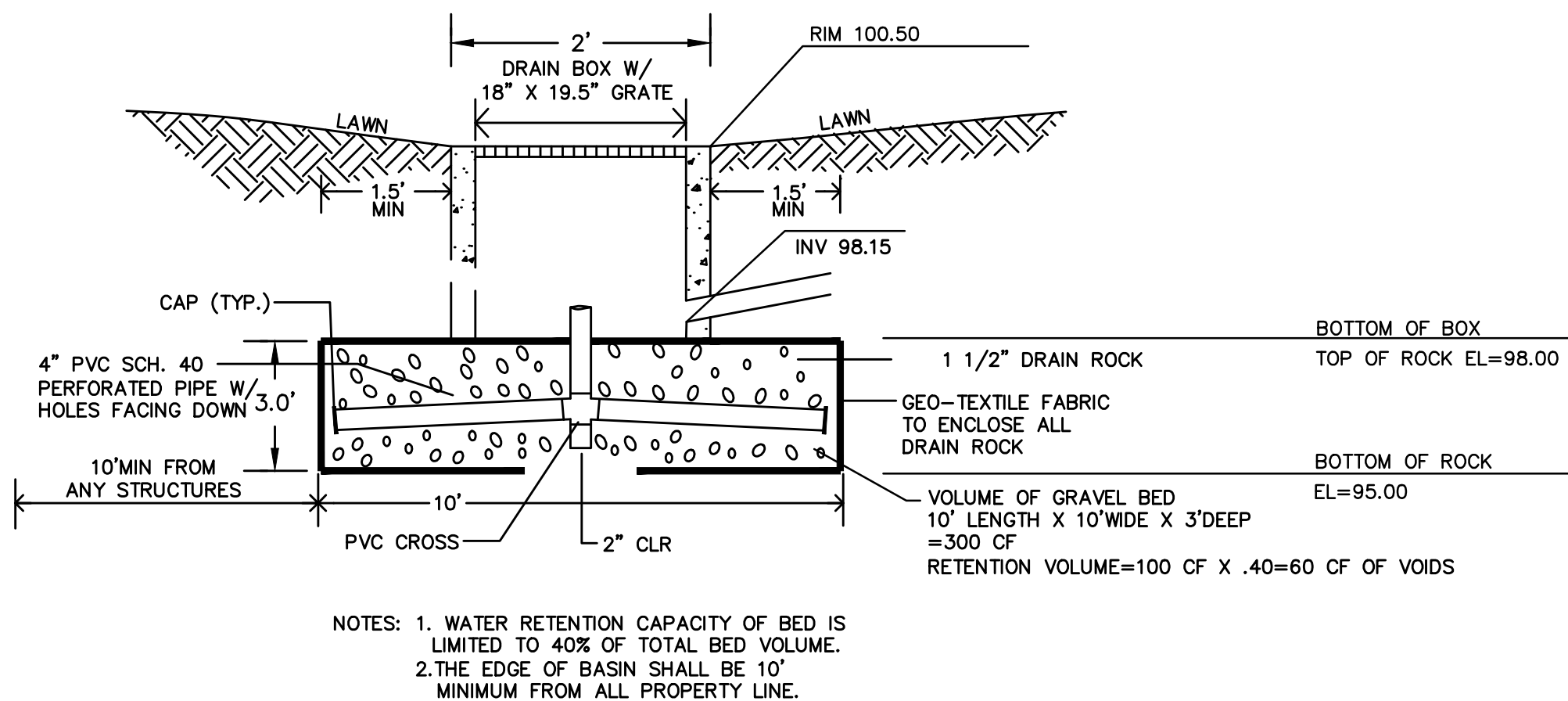


CONCEPTUAL PERIMETER FOOTING-TYPE 2  
CLEARANCE WITH CONCRETE APRON  
SEE STR. & ARCH. PLANS

ON-SITE ONLY SCALE: N.T.S. 2



VICINITY MAP  
NTS



NOTES: 1. WATER RETENTION CAPACITY OF BED IS LIMITED TO 40% OF TOTAL BED VOLUME.  
2. THE EDGE OF BASIN SHALL BE 10' MINIMUM FROM ALL PROPERTY LINE.

SHALLOW GRAVEL BASIN(CB#1)

ON-SITE ONLY SCALE: NTS 3

**SURVEY-LEGEND**

	PROPERTY LINE
	WOOD FENCE
	CHAINLINK FENCE
	METAL/ WIRE FENCE
	OVERHEAD WIRES
	BUILDING
	WALL
	CONCRETE
	PAVEMENT
	BRICK
	SLATE / STONE
	GRASS/ NATURAL GROUND
	SPOT ELEVATION
	TREE TRUNK, APPROXIMATE DIAMETER IN INCHES
	TREE DRIPLINE
	T. E. THRESHOLD ELEVATION

**GRADING PLAN LEGEND**

EXISTING	PROPOSED	DESCRIPTION
		PROPERTY LINE
		CENTERLINE
		FENCE LINE
		STORM DRAIN
		SANITARY SEWER
		GAS
		WATER
		VERTICAL CURB
		VERTICAL CURB AND GUTTER
		TEMPORARY TREE PROTECTION FENCE
		DS O DOWN SPOUT
		UTILITY BOX -AS NOTED
		CATCH BASIN (CB)
		AREA DRAIN (AD)
		PAVEMENT
		LAWN
		FIBER ROLL
		TREE DRIP LINE
		REMOVE EXISTING TREE

**CITY REQUIREMENTS FOR CERTIFICATES OF SURVEY BY A LICENSED CIVIL SURVEYOR OR CIVIL ENGINEER**

- AT THE TIME OF FOUNDATION AND/ OR FOOTING PRE-POUR INSPECTION TO VERIFY BUILDING SETBACKS FROM PROPERTY LINES, BUILDING DIMENSIONS AND FINISHED FLOOR ELEVATION.
- AT ROOF NAIL TO VERIFY COMPLIANCE WITH THE DAYLIGHT PLANE, AVERAGE HEIGHT AND TOTAL HEIGHT BASED ON THE JOB SITE PLANS AND SPECIFICATIONS.
- AT FINAL INSPECTION TO VERIFY COMPLIANCE WITH GRADING AND DRAINAGE PLAN.

**UNDERGROUND UTILITY NOTES**

- CONTRACTOR SHALL CONTACT U.S.A. AT LEAST 48 HOURS PRIOR TO EXCAVATING IN ANY AREA WHERE UNDERGROUND FACILITIES ARE LOCATED. PHONE (800)642-2444.
- THE EXISTENCE, LOCATION AND ELEVATION OF ANY UNDERGROUND UTILITIES ARE SHOWN IN A GENERAL WAY ONLY. IT WILL BE THE RESPONSIBILITY AND DUTY OF THE CONTRACTOR TO MAKE FINAL DETERMINATIONS AS TO THE EXISTENCE, LOCATION AND ELEVATION OF ALL UTILITIES.

**LEGAL DESCRIPTION**  
LOT 23 OF TRACT #1015 AS RECORDED IN BOOK 38 PAGE 47 OF SANTA CLARA COUNTY RECORDS.

**LOT AREA**  
10,204.9 SQ. FT. ±

**SURVEYOR'S NOTES**

- PROJECT BENCHMARK: ELEVATIONS ARE ON ASSUMED DATUM.
- ONLY TREES 6" AND ABOVE WERE LOCATED ON THIS SURVEY, SMALLER TREES AND SHRUBS ARE NOT SHOWN.
- DISTANCES SHOWN HEREON AREA EXPRESSED IN FEET AND DECIMALS THEREOF.

**SURVEYOR OF RECORD**  
**CHRISTENSEN & PLOUFF**  
LAND SURVEYING  
25570 RYE CANYON ROAD, SUITE A - VALENCIA, CA 91355  
951 945-9289  
www.eplansurveying.com

**SURVEY ABBREVIATIONS**

AD	AREA DRAIN
ADJ	ADJACENT
A/C	AIR CONDITIONING
BLDG	BUILDING
BW	BOTTOM OF WALL
C/L	CENTERLINE
CLF	CHAIN-LINK FENCE
CONC	CONCRETE
E'LY	EASTERLY
EL	ELEVATION
FOW	FACE OF WALL
ICV	IRRIGATION CONTROL
VALVE	VALVE
LND	LANDING
N'LY	NORTHERLY
NE'LY	NORTHEASTERLY
NW'LY	NORTHWESTERLY
OH	OVERHANG
P/L	PROPERTY LINE
PLTR	PLANTER
RET	RETAINING
S'LY	SOUTHERLY
SE'LY	SOUTHEASTERLY
SW'LY	SOUTHWESTERLY
STP	STOOP
TW	TOP OF WALL
TYP	TYPICAL
W'LY	WESTERLY
WF	WOOD FENCE

**ABBREVIATIONS**

AB	AGGREGATE BASE	MH	MAN HOLE
AC	ASPHALT CONCRETE	MON	MONUMENT
APN	ASSESSORS PARCEL NUMBER	N	NEW
BLD	BUILDING	OHW	OVERHEAD WIRE
CB	CATCH BASIN	PL	PROPERTY LINE
CO	CLEAN OUT	PM	PARCEL MAP
CONC	CONCRETE	P.U.E.	PUBLIC UTILITY EASEMENT
CP	CONTROL POINT	PVMT	PAVEMENT
DS	DOWN SPOUT	RD	ROOF DRAIN
DWY	DRIVEWAY	RIM	TOP OF GRATE
EX	EXISTING	SD	STORM DRAIN
EM	ELECTRICAL METER	SDMH	STORM DRAIN MANHOLE
FC	FACE OF CURB	SS	SANITARY SEWER
FF	FINISH FLOOR	SSCO	SANITARY SEWER CLEANOUT
FG	FINISH GRADE	S/W	SIDEWALK
FH	FIRE HYDRANT	TBM	TEMPORARY BENCH MARK
FS	FINISH SURFACE	VG	VALLEY GUTTER
GM	GAS METER	W	WATER
INV	PIPE INVERT	WDF	WOOD FENCE
JP	JOINT POLE	WM	WATER METER
		WV	WATER VALVE

**SITE GRADING QUANTITIES**  
CUT 10± CY  
FILL 10± CY  
CUT/FILL QUANTITIES ARE ESTIMATES ONLY. CONTRACTOR TO MAKE OWN ESTIMATES AS TO REQUIRED CUT AND FILL QUANTITIES.

**SHEET INDEX**  
SHEET C1 GRADING AND DRAINAGE NOTES & DETAILS  
SHEET C2 GRADING & DRAINAGE



FOR PLANNING APPROVAL ONLY-NOT FOR CONSTRUCTION

**BAY LAND CONSULTING**  
CIVIL ENGINEERS  
P.O. BOX 299  
Santa Clara, California 95052  
Ph: (408) 296-6000  
SERVING THE BAY AREA

GRADING AND DRAINAGE NOTES AND DETAILS  
1210 ALTAMEAD DRIVE, LOS ALTOS  
APN: 193-32-002  
SANTA CLARA COUNTY

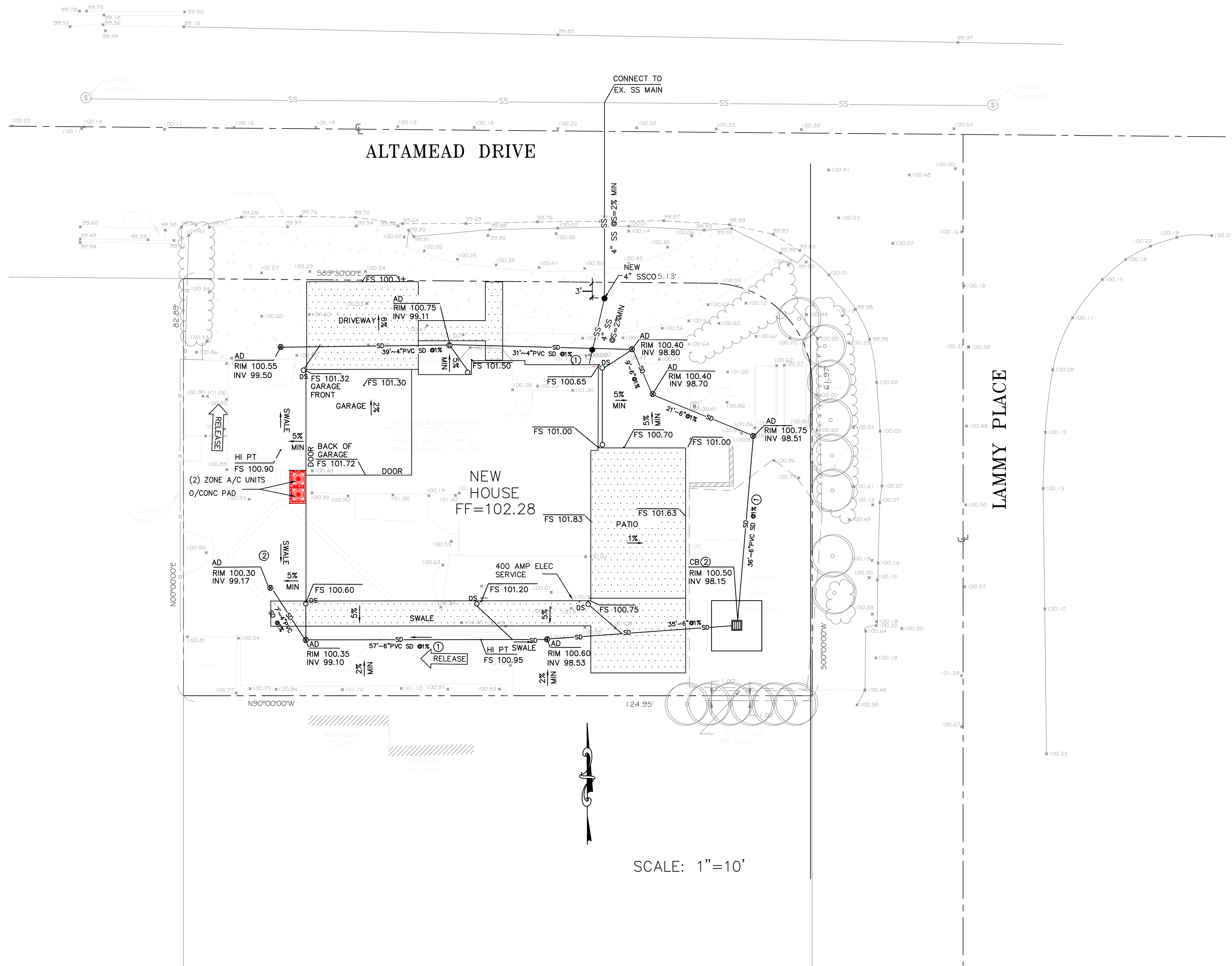
**REVISIONS**

DATE	DESCRIPTION
△	
△	
△	
△	

JOB NO.	22059
SCALE:	N.T.S.
DWN:	YC/SH
DATE:	10/24/22

SHEET  
**C1**  
OF 2 SHEETS





**NOTES**

- ① STORM DRAINAGE PIPING SHOWN TO BE 4" PVC SCH.40 OR GREATER
- ② SEE DETAIL 3, SHEET C1 FOR SHALLOW GRAVEL BASIN
- ③ EXISTING POOL TO BE REMOVED

**WORK IN RIGHT-OF-WAY NOTES**

- a. ANY DAMAGED RIGHT-OF-WAY INFRASTRUCTURES AND OTHERWISE DISPLACED CURB AND GUTTER SHALL BE REMOVED AND REPLACED AS DIRECTED BY THE CITY ENGINEER OR HIS DESIGNEE. CONTRACTOR SHALL COORDINATE WITH PUBLIC WORKS DEPARTMENT AT (650)947-2680.
- b. PRIOR TO COMMENCEMENT OF ANY WORK DONE IN THE PUBLIC RIGHT-OF-WAY, A PERMIT TO OPEN STREET AND/OR AN ENCROACHMENT PERMIT WILL BE REQUIRED.

FOR PLANNING APPROVAL ONLY—NOT FOR CONSTRUCTION



**BAY LAND CONSULTING**  
 CIVIL ENGINEERS  
 P.O. BOX 299  
 Santa Clara, California 95052  
 Ph: (408) 296-6000  
 SERVING THE BAY AREA

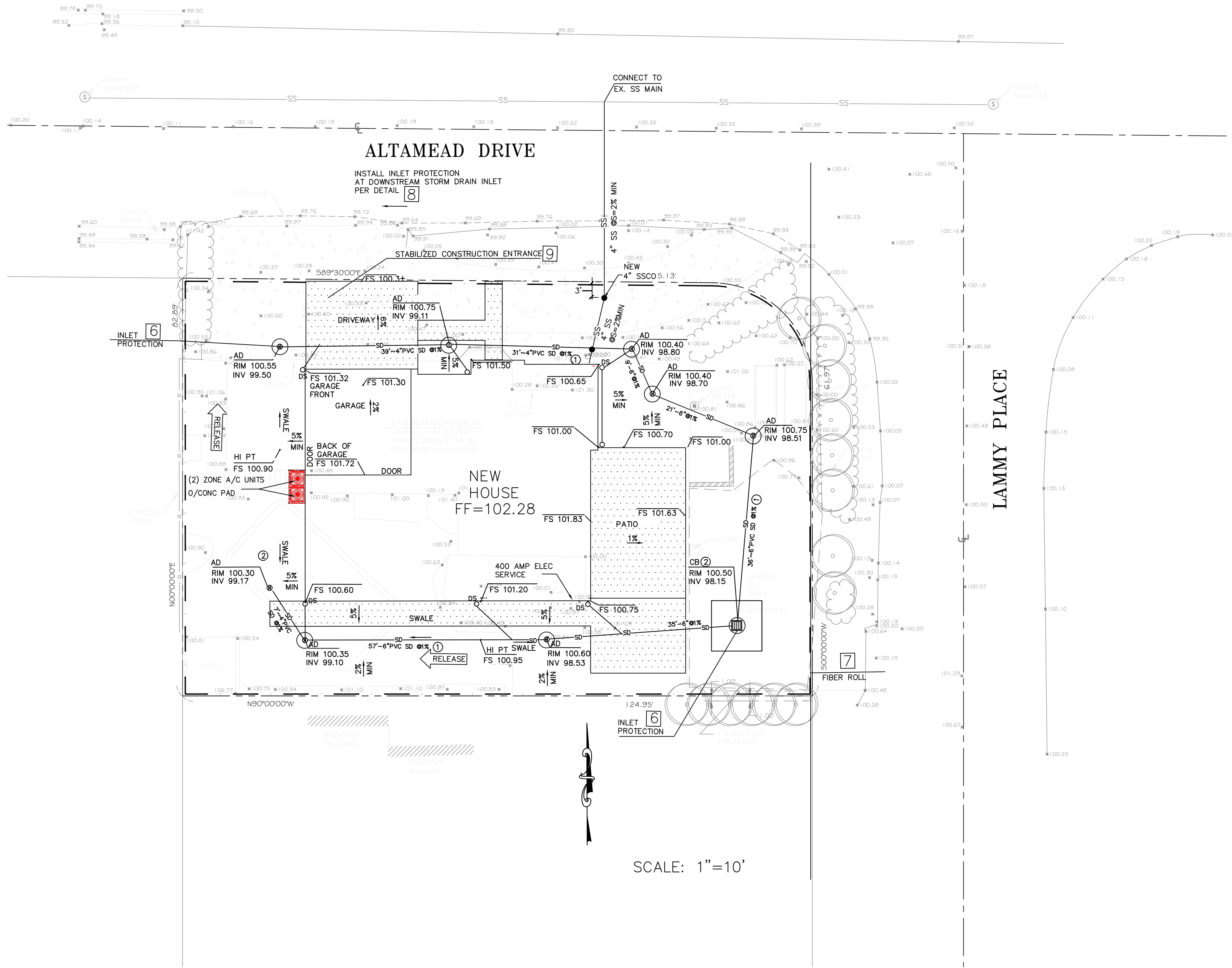
**GRADING AND DRAINAGE PLAN**  
 1210 ALTAMEAD DRIVE, LOS ALTOS  
 APN: 193-32-002  
 SANTA CLARA COUNTY

REVISIONS	
DATE	DESCRIPTION
△	
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JOB NO.	22059
SCALE:	N.T.S.
DWN:	YC/SH
DATE:	10/24/22

SHEET  
**C2**  
 OF 2 SHEETS





SCALE: 1"=10'



**BAY LAND CONSULTING**  
 CIVIL ENGINEERS  
 P.O. BOX 299  
 Santa Clara, California 95052  
 Ph: (408) 296-6000  
 SERVING THE BAY AREA

**EROSION CONTROL PLAN**  
 1210 ALTAMEAD DRIVE, LOS ALTOS  
 APN: 193-32-002  
 SANTA CLARA COUNTY

REVISIONS	
DATE	DESCRIPTION
△	
△	
△	
△	

JOB NO. 22059  
 SCALE: N.T.S.  
 DWN: YC/SH  
 DATE: 10/24/22

SHEET  
**C3**  
 OF 2 SHEETS



GENERAL EROSION AND SEDIMENT CONTROL NOTES:

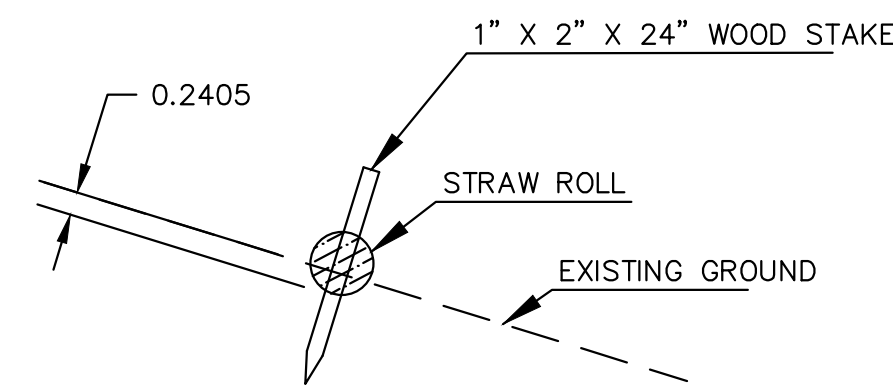
- Contractor/Owner: \_\_\_\_\_  
It shall be the owner's responsibility to maintain control of the entire construction operation and to keep the entire site in compliance with the soil erosion control measures.
- Civil Engineer: Bay Land Consulting, 2005 De La Cruz Blvd. Ste 230, Santa Clara, CA Ph: 408-296-6000.
- Construction Superintendent: \_\_\_\_\_  
Contractor: \_\_\_\_\_
- Owner/contractor shall be responsible for monitoring erosion and sediment control measures prior, during, and after storm events.
- Reasonable care shall be taken when hauling any earth, sand, gravel, stone, debris, paper or any other substance over any public street, alley or other public place. Should any blow, spill, or track over and upon said public or adjacent private property, immediate remedy shall occur.
- Sanitary facilities shall be maintained on the site.
- During the rainy season, all paved areas shall be kept clear of earth material and debris. The site shall be maintained so as to minimize sediment laden runoff to any storm drainage system, including existing drainage swales and water courses.
- Construction operations shall be carried out in such a manner that erosion and water pollution will be minimized. State and local laws concerning pollution abatement shall be complied with.
- Contractor shall provide dust control as required by the appropriate federal, state and local agency requirements.

EROSION AND SEDIMENT CONTROL MEASURES

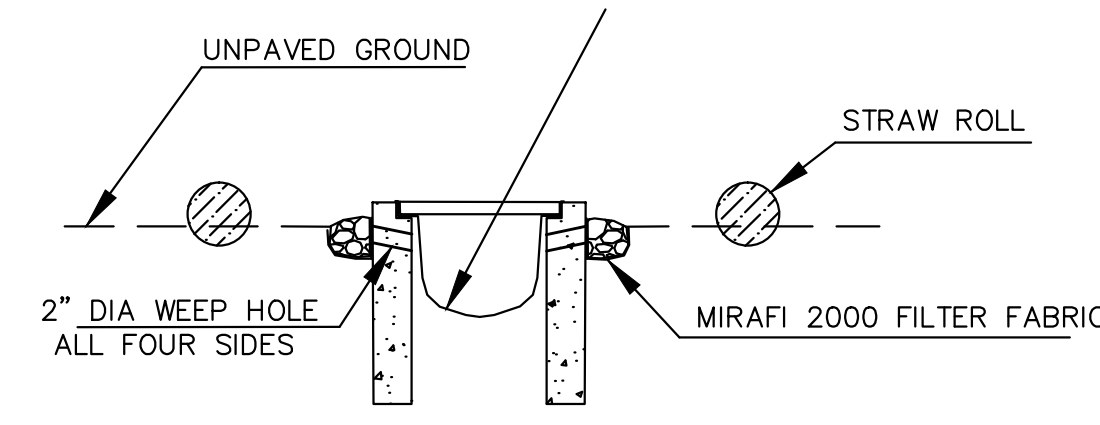
- The facilities shown on this plan are designed to control erosion and sediment during the rainy season, October 15 to April 15. Facilities are to be operable prior to October 1 of any year. Grading operations during the rainy season which leave denuded slopes shall be protected with erosion control measures immediately following grading on the slopes. During the non-rainy season Best Management Practices (BMPs) must be implemented during construction which includes, but is not limited to: stabilized construction entrance, tire wash area and inlet protection.
- Construction entrances shall be installed prior to commencement of grading. All construction traffic entering onto the paved roads must cross the stabilized construction entrance ways. (Also include this note on grading plans.)
- Contractor shall maintain stabilized entrance at each vehicle access point to existing paved streets. Any mud or debris tracked onto public streets shall be removed daily and as required by the City.
- If hydroseeding is not used or is not effective by 10/10, then other immediate methods shall be implemented, such as Erosion control Blankets, or a three-step application of 1) seed, mulch, fertilizer 2) blown straw 3) tackifier and mulch.
- Inlet protection shall be installed at open inlets to prevent sediment from entering the storm drain system. Inlets not used in conjunction with erosion control are to be blocked to prevent entry of sediment.
- Lots with houses under construction will not be hydroseeded. Erosion protection for each lot with a house under construction shall conform to the Typical Lot Erosion Control Detail shown on this sheet.
- This erosion and sediment control plan may not cover all the situations that may arise during construction due to unanticipated field conditions. Variations and additions may be made to this plan in the field. Notify the City Representative of any field changes.

Maintenance Notes

- Maintenance is to be performed as follows:
  - Repair damages caused by soil erosion or construction at the end of each working day.
  - Swales shall be inspected periodically and maintained as needed.
  - Sediment traps, berms, and swales are to be inspected after each storm and repairs made as needed.
  - Sediment shall be removed and sediment trap restored to its original dimensions when sediment has accumulated to a depth of 1 foot.
  - Sediment removed from trap shall be deposited in a suitable area and in such a manner that it will not erode.
  - Rills and gullies must be repaired.
- Sand bag inlet protection shall be cleaned out whenever sediment depth is one half the height of one sand bag.



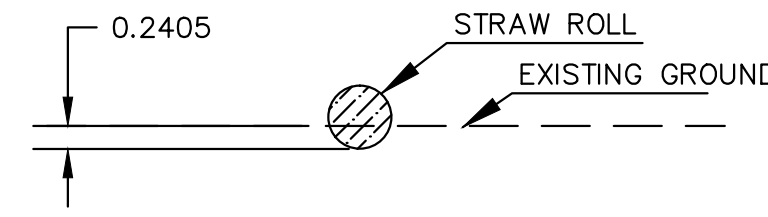
ON SLOPES



SECTION IPU-1  
NOT TO SCALE

NOTE: MAX. DEPTH OF BED IS LIMITED TO 2FT & BED MUST BE LOCATED AT LEAST 10FT AWAY FROM NEAREST PROPERTY LINE & TREE.

EST. DIMENSIONS OF GRAVEL BED:  
WIDTH = 4FT  
LENGTH = 4FT  
DEPTH = 2 FT  
PER DETAIL BELOW

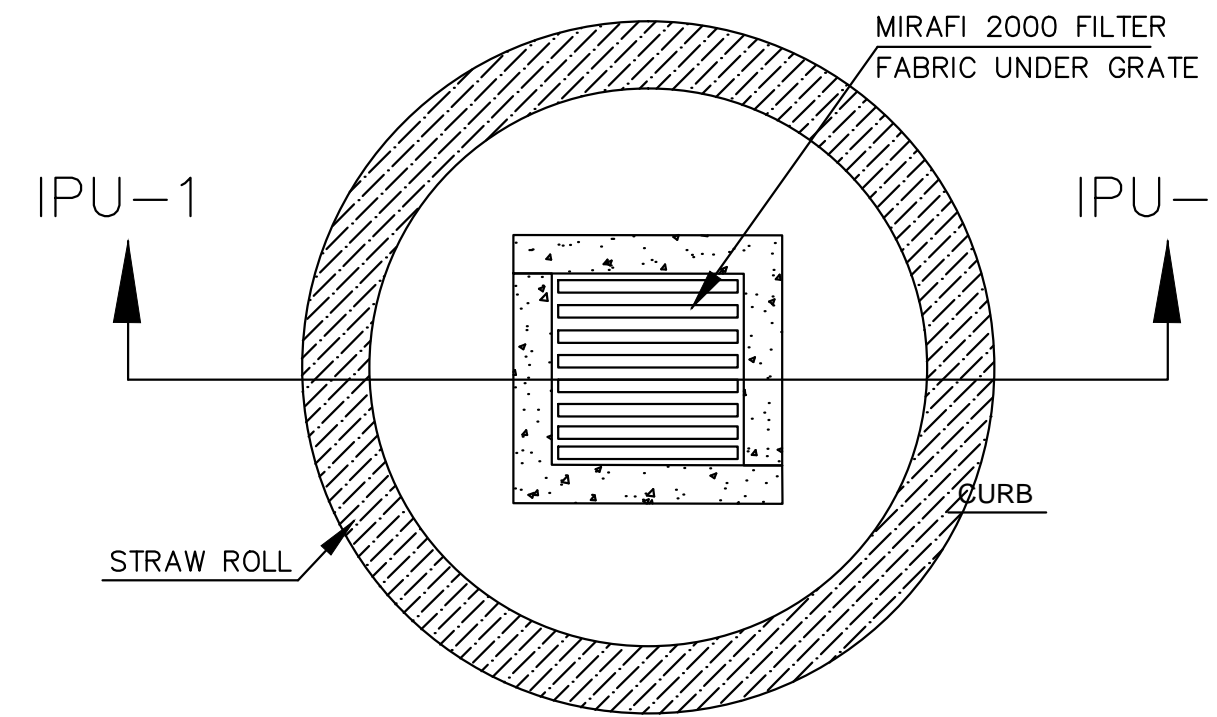


ON LEVEL GROUND

- PLACE STRAW ROLL IN TRENCH EXCAVATED 3" (0.024') INTO GROUND ALONG CONTOUR. RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND ROLL.
- ON SLOPES PLACE ROLL TO FOLLOW THE CONTOUR AS CLOSELY AS POSSIBLE. CURVE ENDS UPHILL AT THE ENDS.
- ABUT ADJACENT ROLLS TIGHTLY.

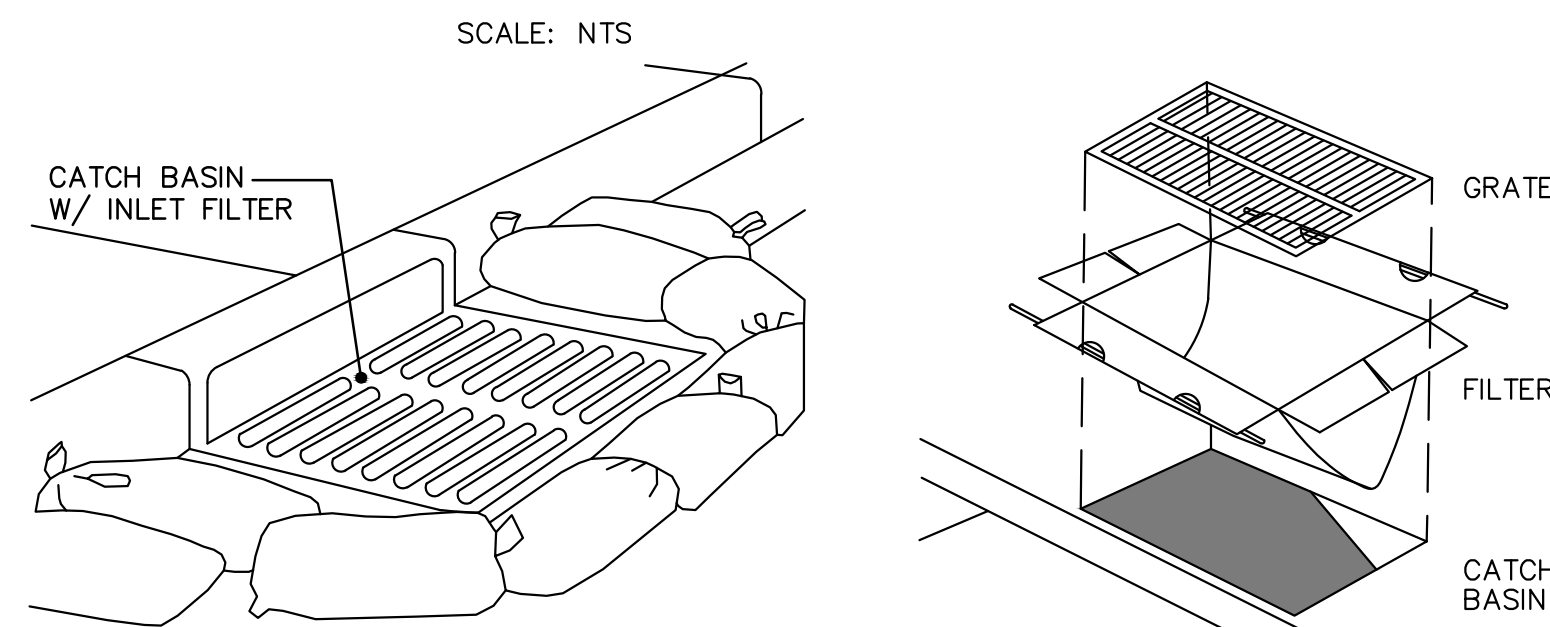
STRAW ROLL OR FIBER ROLL

SCALE: NTS



INLET PROTECTION IN UNPAVED AREAS

SCALE: NTS



NOTES:  
BRING THE DISTURBED AREA TO THE GRADE OF THE DROP INLET AND SMOOTH AND COMPACT IT. APPROXIMATELY STABILIZE ALL BARE AREAS AROUND THE INLET.

PROPERLY DISPOSE OF ACCUMULATED SEDIMENT

INSPECT ALL INLET PROTECTION DEVICES BEFORE AND AFTER RAINFALL EVENTS, AND WEEKLY THROUGHOUT THE RAIN SEASON. DURING EXTENDED RAINFALL EVENTS, INSPECT INLET PROTECTION DEVICES AT LEAST ONCE EVERY 24 HOURS.

REMOVE ALL INLET PROTECTION DEVICES WITHIN THIRTY DAYS AFTER THE SITE IS STABILIZED, OR WHEN INLET PROTECTIONS IS NO LONGER REQUIRED.

CATCH BASIN INLET FILTER

INSTALLATION  
REMOVE DRAIN GRATE

INSERT CATCH BASIN FILTER INTO BASIN LEAVING 3" FLAP EXPOSED

REPLACE GRATE TO BASIN THEREBY PINCHING FABRIC BETWEEN GRATE AND CATCH BASIN AND HOLDING FILTER IN PLACE

INSPECTION AND MAINTENANCE  
INSPECT CATCH BASIN FILTERS WEEKLY AND AFTER EVERY RAIN EVENT

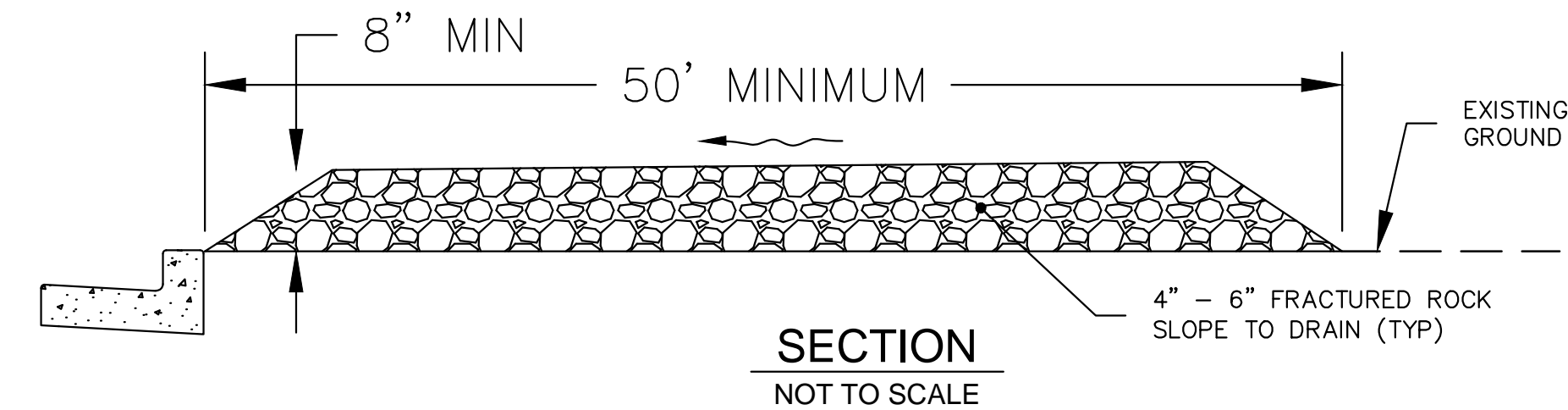
EMPTY CATCH BASIN FILTERS WHEN FILTERS APPEAR TO BE HALF FULL

DISPOSE OF TRAPPED SEDIMENT IN ACCORDANCE WITH LOCAL REQUIREMENTS

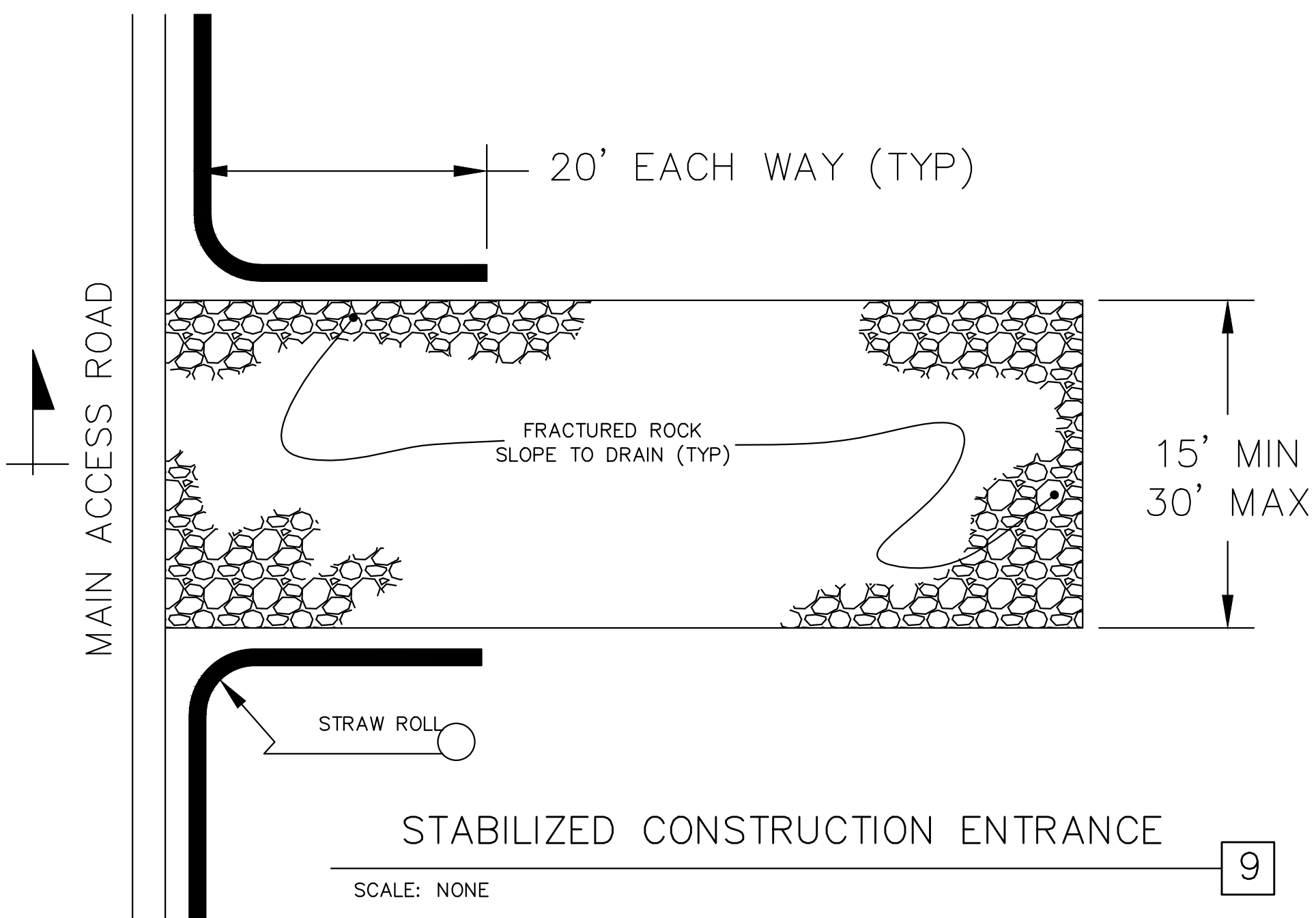
CLEAN AND REUSE INLET FILTERS OR DISCARD AND REPLACE AS NECESSARY

STORM DRAIN INLET PROTECTION PUBLIC STREET

SCALE: NONE



SECTION  
NOT TO SCALE



SCALE: NONE



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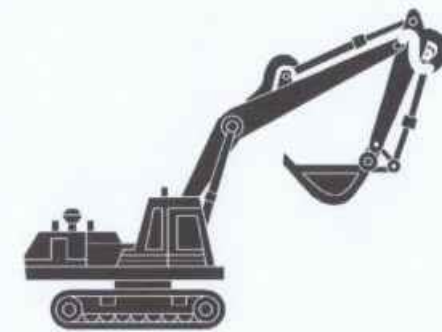


SHEET  
C4  
OF 2 SHEETS



## Heavy Equipment Operation

Best Management Practices for the Construction Industry



Best Management Practices for the

- Vehicle and equipment operators
- Site supervisors
- General contractors
- Home builders
- Developers

### Doing The Job Right

Site Planning and Preventive Vehicle Maintenance

- Maintain all vehicles and heavy equipment. Inspect frequently for and repair leaks.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site where cleanup is easier.
- If you must drain and replace motor oil, radiator coolant, or other fluids on site, use drip pans or drop cloths to catch drips and spills. Collect all spent fluids, store in separate containers, and properly dispose as hazardous waste (recycle whenever possible).
- Do not use diesel oil to lubricate equipment parts, or clean equipment. Use only water for any onsite cleaning.
- Cover exposed fifth wheel hitch and other oily or greasy equipment during rain events.

### Storm Water Pollution from Heavy Equipment on Construction Sites

Poorly maintained vehicles and heavy equipment that leak fuel, oil, antifreeze or other fluids on the construction site are common sources of storm drain pollution. Prevent spills and leaks by isolating equipment from runoff channels, and by watching for leaks and other maintenance problems. Remove construction equipment from the site as soon as possible.

### Spill Cleanup

- Clean up spills immediately when they happen.
- Never hose down "dirty" pavement or impermeable surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, or sawdust) whenever possible and properly dispose of absorbent materials.
- Sweep up spilled dry materials immediately. Never attempt to "wash them away" with water, or bury them.
- Use as little water as possible for dust control. Ensure water used doesn't leave silt or discharge to storm drains.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills to the appropriate local spill response agencies immediately.
- If the spill poses a significant hazard to human health and safety, property or the environment, you must also report it to the State Office of Emergency Services.

## Roadwork and Paving

Best Management Practices for the Construction Industry



Best Management Practices for the

- Road crews
- Driveway/sidewalk/parking lot construction crews
- Seal coat contractors
- Operators of grading equipment, paving machines, dump trucks, concrete mixers
- Construction inspectors
- General contractors
- Home builders
- Developers

### Doing The Job Right

General Business Practices

- Develop and implement erosion/sediment control plans for roadway embankments.
- Schedule excavation and grading work during dry weather.
- Check for and repair leaking equipment.
- Perform major equipment repairs at designated areas in your maintenance yard, where cleanup is easier. Avoid performing equipment repairs at construction sites.
- When refueling or when vehicle/equipment maintenance must be done on site, designate a location away from storm drains and creeks.
- Do not use diesel oil to lubricate equipment parts or clean equipment.
- Recycle used oil, concrete, broken asphalt, etc. whenever possible, or dispose of properly.

During Construction

- Avoid paving and seal coating in wet weather, or when rain is forecast, to prevent fresh materials from contacting stormwater runoff.
- Cover and seal catch basins and manholes when applying seal coat, slurry seal, fog seal, or similar materials.
- Protect drainage ways by using earth dikes, sand bags, or other controls to divert or trap and filter runoff.

### Storm Drain Pollution from Roadwork

Road paving, surfacing, and pavement removal happen right at the street, where there are numerous opportunities for asphalt, seal-coat slurry, or excavated material to illegally enter storm drains. Extra planning is required to store and dispose of materials properly and guard against pollution of storm drains, creeks, and the Bay.

### Doing The Job Right

General Business Practices

- Never wash excess material from exposed aggregate concrete or similar treatments into a street or storm drain. Collect and recycle, or dispose to dirt area.
- Cover stockpiles (asphalt, sand, etc.) and other construction materials with plastic tarps. Protect from rainfall and prevent runoff with temporary berms or plastic sheets and berms.
- Park paving machines over drip pans or absorbent material (coth, rags, etc.) to catch drips when not in use.
- Clean up all spills and leaks using "dry" methods (with absorbent materials and/or rags) or dig up, remove, and properly dispose of contaminated soil.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand.
- Avoid over-application by water trucks for dust control.

Asphalt/Concrete Removal

- Avoid creating excess dust when breaking asphalt or concrete.
- After breaking up old pavement, be sure to remove all chunks and pieces. Make sure broken pavement does not come in contact with rainfall or runoff.
- When making saw cuts, use as little water as possible. Shovel or vacuum saw-cut slurry and remove from the site. Cover or protect storm drain inlets during saw-cutting. Sweep up and properly dispose of all residues.
- Sweep, never hose down streets to clean up tracked dirt. Use a street sweeper or vacuum truck. Do not dump vacuumed liquid in storm drains.

## Fresh Concrete and Mortar Application

Best Management Practices for the Construction Industry



Best Management Practices for the

- Masons and bricklayers
- Sidewalk construction crews
- Patio construction workers
- Construction inspectors
- General contractors
- Home builders
- Developers
- Concrete delivery/pumping workers

### Doing The Job Right

General Business Practices

- Wash out concrete mixers only in designated wash-out areas in your yard, away from storm drains and waterways, where the water will flow into a temporary waste pit in a dirt area. Let water percolate through soil and dispose of settled, hardened concrete as garbage. Whenever possible, recycle washout by pumping back into mixers for reuse.
- Wash out chutes onto dirt areas at site that do not flow to streets or drains.
- Always store both dry and wet materials under cover, protected from rainfall and runoff and away from storm drains or waterways. Protect dry materials from wind.
- Secure bags of cement after they are open. Be sure to keep wind-blown cement powder away from streets, gutters, storm drains, rainfall, and runoff.
- Do not use diesel fuel as a lubricant on concrete forms, tools, or trailers.

### Storm Drain Pollution from Fresh Concrete and Mortar Applications

Fresh concrete and cement-related mortars that wash into lakes, streams, or estuaries are toxic to fish and the aquatic environment. Disposing of these materials to the storm drains or creeks can block storm drains, cause serious problems, and is prohibited by law.

### During Construction

- Don't mix up more fresh concrete or cement than you will use in a two-hour period.
- Set up and operate small mixers on tarps or heavy plastic drop cloths.
- When cleaning up after driveway or sidewalk construction, wash fines onto dirt areas, not down the driveway or into the street or storm drain.
- Protect applications of fresh concrete and mortar from rainfall and runoff until the material has dried.
- Wash down exposed aggregate concrete only when the wash water can (1) flow onto a dirt area, (2) drain onto a bermed surface from which it can be pumped and disposed of properly, or (3) be vacuumed from a catchment created by blocking a storm drain inlet. If necessary, divert runoff with temporary berms. Make sure runoff does not reach gutters or storm drains.
- When breaking up pavement, be sure to pick up all the pieces and dispose of properly. Recycle large chunks of broken concrete at landfill.
- Never bury waste material. Dispose of small amounts of excess dry concrete, grout, and mortar in the trash.
- Never dispose of washout into the street, storm drains, drainage ditches, or streams.

## Preventing Pollution: It's Up to Us

In the Santa Clara Valley, storm drains transport water directly to local creeks and San Francisco Bay without treatment. Storm water pollution is a serious problem for wildlife dependent on our waterways and for the people who live near polluted streams or bay lands. Some common sources of this pollution include spilled oil, fuel, and fluids from vehicles and heavy equipment; construction debris; sediment created by erosion; landscaping runoff containing pesticides or weed killers; and materials such as used motor oil, antifreeze, and paint products that people pour or spill into a street or storm drain. Thirteen valley municipalities have joined together with Santa Clara County and the Santa Clara Valley Water District to educate local residents and businesses and fight storm water pollution. TO comply with this program, contractors must comply with the practices described in this drawing sheet.

### Spill Response Agencies

DIAL 9-1-1  
State Office of Emergency Services Warning Center (24 hours): 800-852-7550  
Santa Clara County Environmental Health Services: (408) 299-6930

### Local Pollution Control Agencies

County of Santa Clara Pollution Prevention Program: (408) 441-1195  
County of Santa Clara Integrated Waste Management Program: (408) 441-1198  
County of Santa Clara District Attorney Environmental Crimes Hotline: (408) 299-TIPS

Santa Clara County Recycling Hotline: 1-800-533-8414  
Santa Clara Valley Water District: (408) 265-2600  
Santa Clara Valley Water District Pollution Hotline: 1-888-510-5151

Regional Water Quality Control Board San Francisco Bay Region: (510) 622-2300  
Palo Alto Regional Water Quality Control Plant: (650) 329-2598  
Serving East Palo Alto Sanitary District, Los Altos, Los Altos Hills, Mountain View, Palo Alto, Stanford

City of Los Altos  
Building Department: (650) 947-2752  
Engineering Department: (650) 947-2780

## Landscaping, Gardening, and Pool Maintenance

Best Management Practices for the Construction Industry



Best Management Practices for the

- Landscapers
- Gardeners
- Swimming pool/spa service and repair workers
- General contractors
- Home builders
- Developers
- Homeowners

### Doing The Right Job

General Business Practices

- Protect stockpiles and landscaping materials from wind and rain by storing them under tarps or secured plastic sheeting.
- Store pesticides, fertilizers, and other chemicals indoors or in a shed or storage cabinet.
- Schedule grading and excavation projects during dry weather.
- Use temporary check dams or ditches to divert runoff away from storm drains.
- Protect storm drains with sandbags or other sediment controls.
- Re-vegetation is an excellent form of erosion control for any site.

Landscaping/Garden Maintenance

- Use pesticides sparingly, according to instructions on the label. Rinse empty containers, and use rinse water as product. Dispose of unused pesticides as hazardous waste.
- Collect lawn and garden clippings, pruning waste, and tree trimmings. Chip if necessary, and compost.
- In communities with curbside pick-up of yard waste, place clippings and pruning waste at the curb in approved bags or containers. Or, take to a landfill that composts yard waste. No curbside pickup of yard waste is available for commercial properties.

### Storm Drain Pollution from Landscaping and Swimming Pool Maintenance

Many landscaping activities expose soils and increase the likelihood that earth and garden chemicals will run off into storm drains during irrigation or when it rains. Swimming pool water containing chlorine and copper-based algaecides should never be discharged to storm drains. These chemicals are toxic to aquatic life.

### Doing The Right Job

General Business Practices

- Do not blow or rake leaves, etc. into the street, or place yard waste in gutters or on dirt shoulders, unless you are going them for recycling (allowed by San Jose and unincorporated County only). Sweep up any leaves, litter or residue in gutters or on street.
- In San Jose, leave yard waste for curbside recycling pickup in place in the street, 18 inches from the curb and completely out of the flow line to any storm drain.

Pool/Fountain/Spa Maintenance

- Never discharge pool or spa water to a street or storm drain, discharge to a sanitary sewer cleanout.
- If possible, when emptying a pool or spa, let chlorine dissipate for a few days and then recycle/reuse water by draining it gradually onto a landscaped area.
- Do not use copper-based algaecides. Control algae with chlorine or other alternatives, such as sodium bromide.

Filter Cleaning

- Never clean a filter in the street or near a storm drain. Clean filters at a dedicated diatomaceous earth filterer into a dirt area, and spade filter residue into soil. Dispose of spent diatomaceous earth in the garbage.
- If there is no suitable dirt area, call your local wastewater treatment plant for instructions on discharging filter backwash or rinse water to the sanitary sewer.

## Painting and Application of Solvents and Adhesives

Best Management Practices for the Construction Industry



Best Management Practices for the

- Homeowners
- Painters
- Paperhangers
- Plasterers
- Graphic artists
- Dry wall crews
- Floor covering installers
- General contractors
- Home builders
- Developers

### Doing The Job Right

Handling Paint Products

- Keep all liquid paint products and wastes away from the gutter, street, and storm drains. Liquid residues from paints, thinners, solvents, glues, and cleaning fluids are hazardous wastes and must be disposed of at a hazardous waste collection facility (contact your local stormwater program listed on the back of this brochure).
- When thoroughly dry, empty paint cans, used brushes, rags, and drop cloths may be disposed of as garbage in a sanitary landfill. Empty, dry paint cans also may be recycled as metal.

Paint Removal

- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints and paints containing lead, mercury or tributyl tin must be disposed of as hazardous wastes. Empty, dry paint cans also may be recycled as metal.
- If there is loose paint on the building, or if the paint tests positive for lead, block storm drains. Check with the wastewater treatment plant to determine whether you may discharge water to the sanitary sewer, or if you must send it offsite for disposal as hazardous waste.

### Storm Drain Pollution from Paints, Solvents, and Adhesives

Paints, solvents, and adhesives contain chemicals that are harmful to wildlife in local creeks, San Francisco Bay, and the Pacific Ocean. Toxic chemicals may come from liquid or solid products or from cleaning residue or rags. Paint materials and wastes, adhesives and cleaning fluids should be recycled when possible or disposed properly to prevent these materials from flowing into storm drains and waterways.

## General Construction And Site Supervision

Best Management Practices For Construction



Best Management Practices for the

- General contractors
- Site supervisors
- Inspectors
- Home builders
- Developers

### Storm Drain Pollution from Construction Activities

Construction sites are common sources of storm water pollution. Materials and wastes that blow or wash into a storm drain, gutter, or street have a direct impact on local creeks and the Bay. As a contractor, or site supervisor, owner or operator of a site, you may be responsible for any environmental damage caused by your subcontractors or employees.

### Doing The Job Right

General Principles

- Keep an orderly site and ensure good housekeeping practices are used.
- Maintain equipment properly.
- Cover materials when they are not in use.
- Keep materials away from streets, storm drains and drainage channels.
- Ensure dust control water doesn't leave site or discharge to storm drains.

Advance Planning To Prevent Pollution

- Schedule excavation and grading activities for dry weather periods. To reduce soil erosion, plant temporary vegetation or install temporary erosion controls before rain begins. Use the Erosion and Sediment Control Manual, available from the Regional Water Quality Control Board, as a reference.
- Control the amount of runoff crossing your site (especially during excavation) by using berms or temporary or permanent drainage ditches to divert water flow around the site. Reduce storm water runoff velocities by constructing temporary check dams or berms where appropriate.
- Train your employees and subcontractors. Make these best management practices available to everyone who works on the construction site. Inform subcontractors about the storm water requirements and their own responsibilities.

Good Housekeeping Practices

- Designate one area of the site for auto parking, vehicle refueling, and routine equipment maintenance. The designated area should be well away from streams or storm drain inlets, berms if necessary. Make major repairs off site.
- Keep materials out of the rain - prevent runoff contamination at the source. Cover exposed piles of soil or construction materials with plastic sheeting or temporary roofs. Before it rains, sweep and remove materials from surfaces that drain to storm drains, creeks, or channels.
- Keep pollutants off exposed surfaces. Place trashcans and recycling receptacles around the site to minimize litter.

### Doing The Job Right

General Business Practices

- Clean up leaks, drips and other spills immediately so they do not contaminate soil or groundwater or leave residue on paved surfaces. Use dry cleanup methods whenever possible. If you must use water, use just enough to keep the spill down.
- Cover and maintain dumpsters. Check frequently for leaks. Place dumpsters under roofs or cover with tarps or plastic sheeting secured around the outside of the dumpster. Never clean out a dumpster by hosing it down on the construction site.
- Practice Source Reduction - minimize waste when you order materials. Order only the amount you need to finish the job.
- Use recyclable materials whenever possible. Arrange for pick-up of recyclable materials such as concrete, asphalt, scrap metal, solvents, degreasers, cleaned vegetation, paper, rock, and vehicle maintenance materials such as used oil, antifreeze, batteries, and tires.
- Dispose of all wastes properly. Many construction materials and wastes, including solvents, water-based paints, vehicle fluids, broken asphalt and concrete, wood, and cleaned vegetation can be recycled. Materials that cannot be recycled must be taken to an appropriate landfill or buried waste materials or leave them in the street or near a creek or stream bed.
- Permits
- In addition to local building permits, you will need to obtain coverage under the State's General Construction Activity Storm Water Permit if your construction site disturbs one acre or more. Obtain information from the Regional Water Quality Control Board.

## Earth-Moving And Dewatering Activities

Best Management Practices for the Construction Industry



Best Management Practices for the

- Bulldozer, back hoe, and grading machine operators
- Dump truck drivers
- Site supervisors
- General contractors
- Home builders
- Developers

### Doing The Job Right

General Business Practices

- Schedule excavation and grading work during dry weather.
- Perform major equipment repairs away from the job site.
- When refueling or vehicle/equipment maintenance must be done on site, designate a location away from storm drains.
- Do not use diesel oil to lubricate equipment parts, or clean equipment.

Practices During Construction

- Remove existing vegetation only when absolutely necessary. Plant temporary vegetation for erosion control on slopes or where construction is not immediately planned.
- Protect down slope drainage courses, streams, and storm drains with wattles, or temporary drainage swales. Use check dams or ditches to divert runoff around excavations. Refer to the Regional Water Quality Control Board's Erosion and Sediment Control Field Manual for proper erosion and sediment control measures.

### Storm Drain Pollution from Earth-Moving Activities and Dewatering

Soil excavation and grading operations loosen large amounts of soil that can flow or blow into storm drains when handled improperly. Sediments in runoff can clog storm drains, smother aquatic life, and destroy habitats in creeks and the Bay. Effective erosion control practices reduce the amount of runoff carrying sediment-laden water to the street or stream. Contaminated groundwater is a common problem in the Santa Clara Valley. Depending on soil types and site history, groundwater pumped from construction sites may be contaminated with toxic (such as oil or solvents) laden with sediments. Any of these pollutants can harm wildlife in creeks or the Bay, or interfere with wastewater treatment plant operation. Discharging sediment-laden water from a dewatering site into any water of the state without treatment is prohibited.

### Doing The Job Right

General Business Practices

- Cover stockpiles and excavated soil with secured tarps or plastic sheeting.
- Check for Toxic Pollutants
- Check for odors, discoloration, or an oily sheen on groundwater.
- Call your local wastewater treatment agency and ask whether the groundwater must be tested.
- Contamination is suspected, have the water tested by a certified laboratory.
- Depending on the test results, you may be allowed to discharge pumped groundwater to the storm drain (if no sediments present) or sanitary sewer. OR, you may be required to collect and haul pumped groundwater offsite for treatment and disposal at an appropriate treatment facility.

2. Check for Sediment Levels

- If the water is clear, the pumping time is less than 24 hours, and the flow rate is less than 20 gallons per minute, you may pump water to the street or storm drain.
- If the pumping time is more than 24 hours and the flow rate greater than 20 gpm, call your local wastewater treatment plant for guidance.
- If the water is not clear, solids must be filtered or settled out by pumping to a settling tank prior to discharge. Options for filtering include:
  - Pumping through a perforated pipe sunk part way into a small pit filled with gravel.
  - Pumping from a bucket placed below water level using a submersible pump.
  - Pumping through a filtering device such as a swimming pool filter or filter fabric wrapped around end of suction pipe.

- When discharging to a storm drain, protect the inlet using a barrier of burlap bags filled with drain rock, or cover inlet with filter fabric anchored under the grate. OR pump water through a grassy swale prior to discharge.

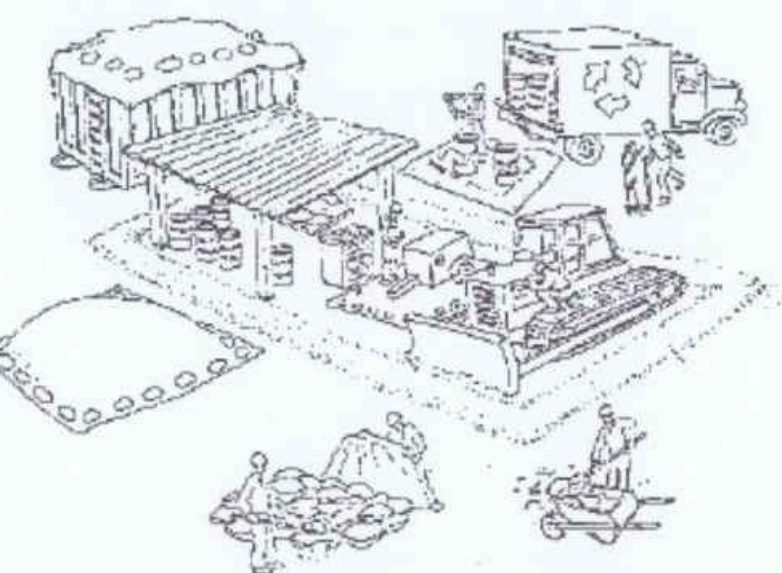
# Blueprint for a Clean Bay

Remember: The property owner and the contractor share ultimate responsibility for the activities that occur on a construction site. You may be held responsible for any environmental damage caused by your subcontractors or employees.

## Best Management Practices for the Construction Industry



### Santa Clara Urban Runoff Pollution Prevention Program



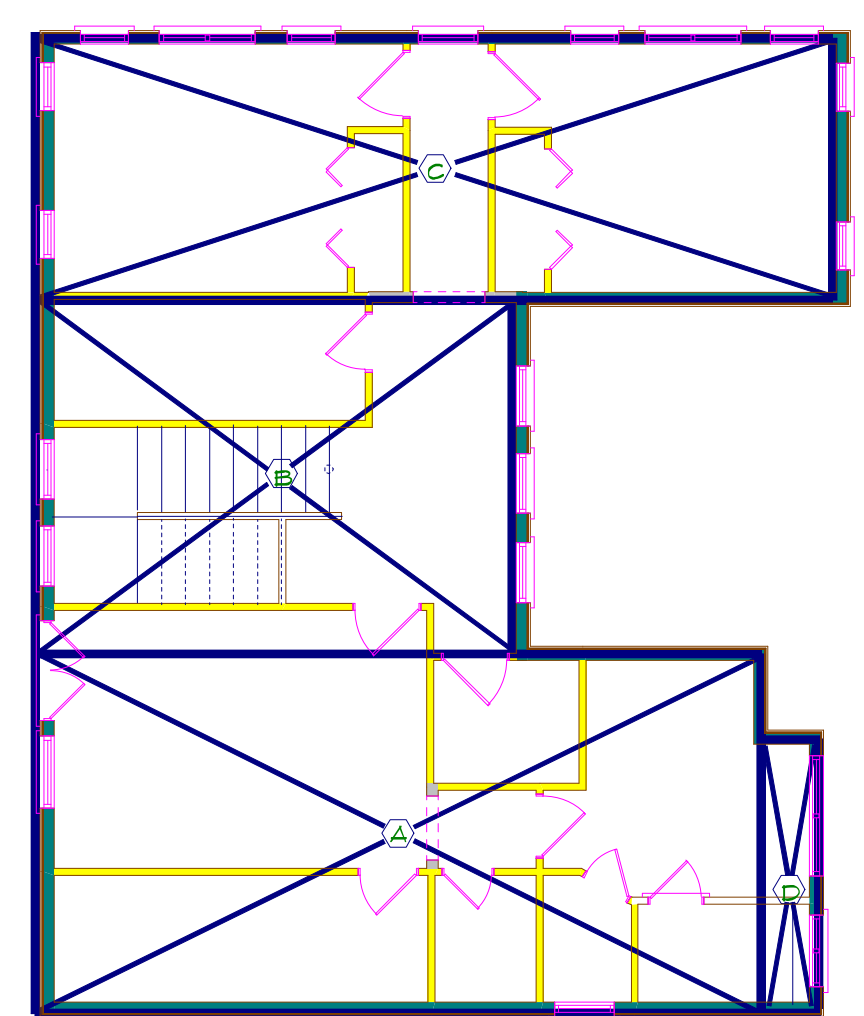
DESIGNED BY: LARRY LIND	APPROVED BY: 	CITY OF LOS ALTOS	DATE: OCTOBER, 2003
DRAWN BY: VICTOR CHEN	CITY ENGINEER	48056	SCALE: N.T.S.
CHECKED BY: JIM GUSTAFSON	SHEET	OF	SHEETS
			DRAWING NO:

REVISIONS	
DATE	DESCRIPTION
△	
△	
△	
△	

JOB NO.	22059	SHEET	
SCALE:	N.T.S.	C5	OF 2 SHEETS
DWN:	YC/SH		
DATE:	10/24/22		



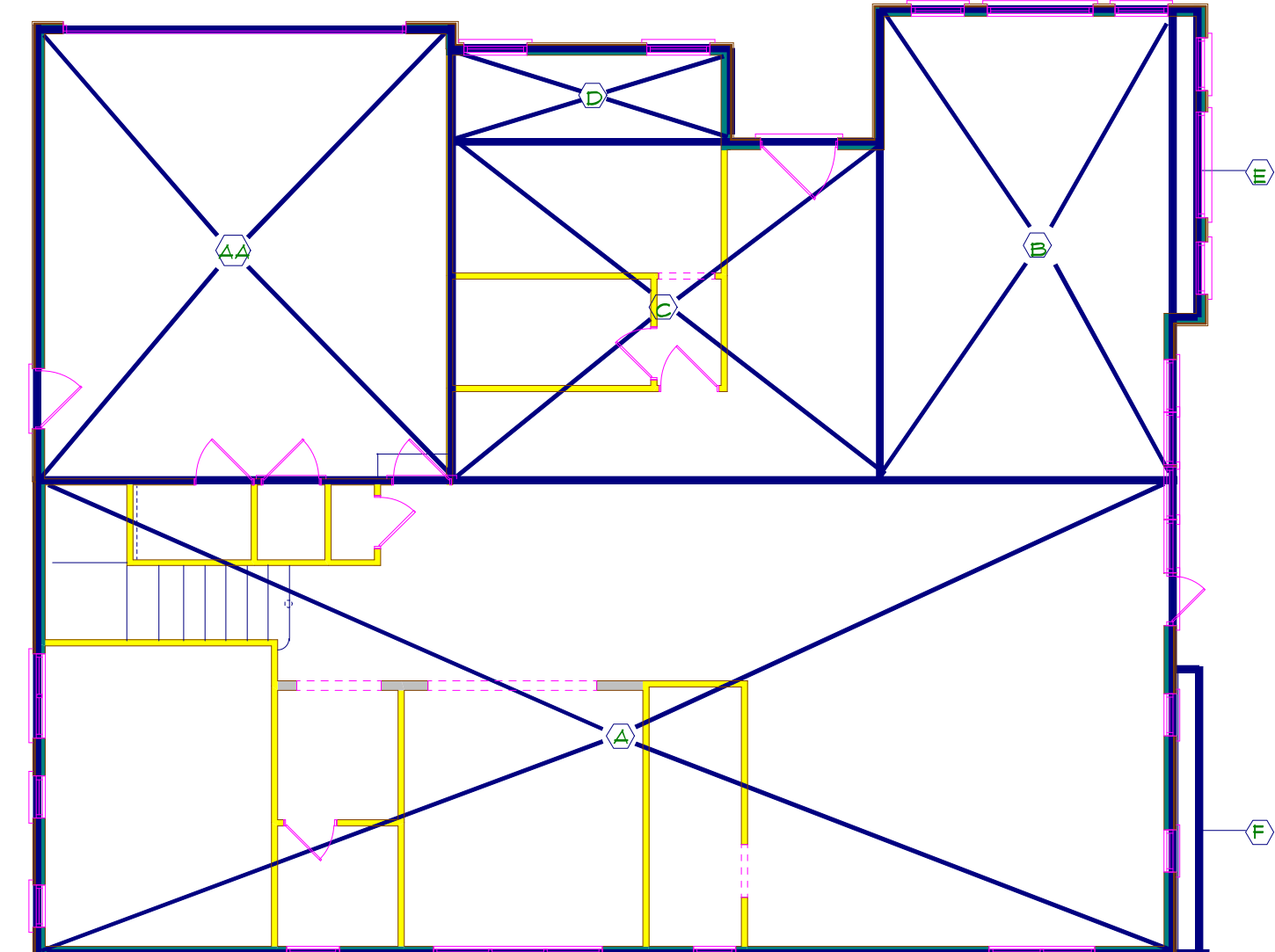
**\* NOTE TO CONTRACTOR \***  
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(N) UPPER FLOOR

- A 15.16 X 30.61 = 465
- B 11.66 X 19.66 = 229
- C 11.33 X 34 = 385
- D 2.33 X 11.66 = 27

1106 UPPER LIVING



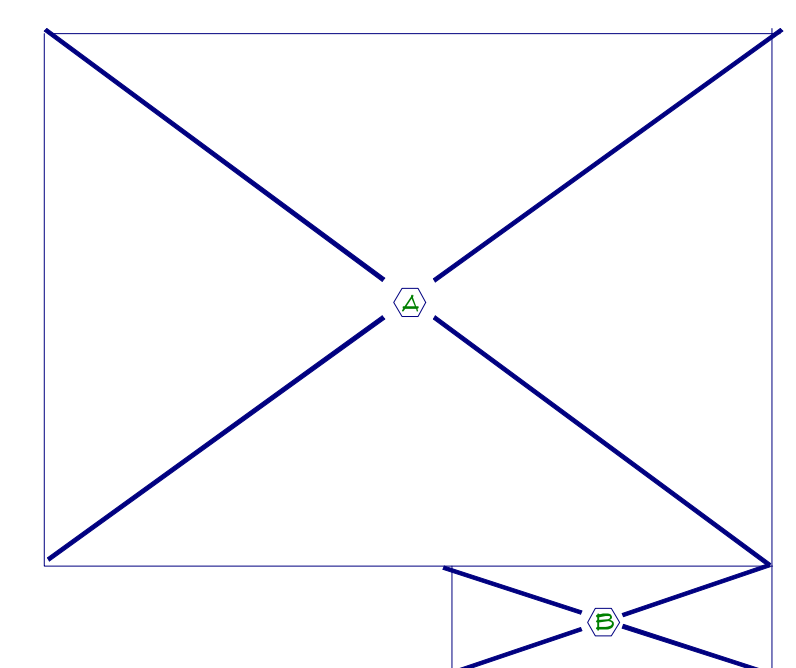
(N) LOWER FLOOR

- A 23 X 55 = 1265
- B 15 X 22.66 = 340
- C 16.13 X 20.13 = 324.6
- D 4.5 X 13.5 = 61
- E 1.16 X 15 = 17.4
- F 1.16 X 14.33 = 16.62

2025 LOWER LIVING  
 1106 UPPER LIVING  
 431 GARAGE

3562 TOTAL

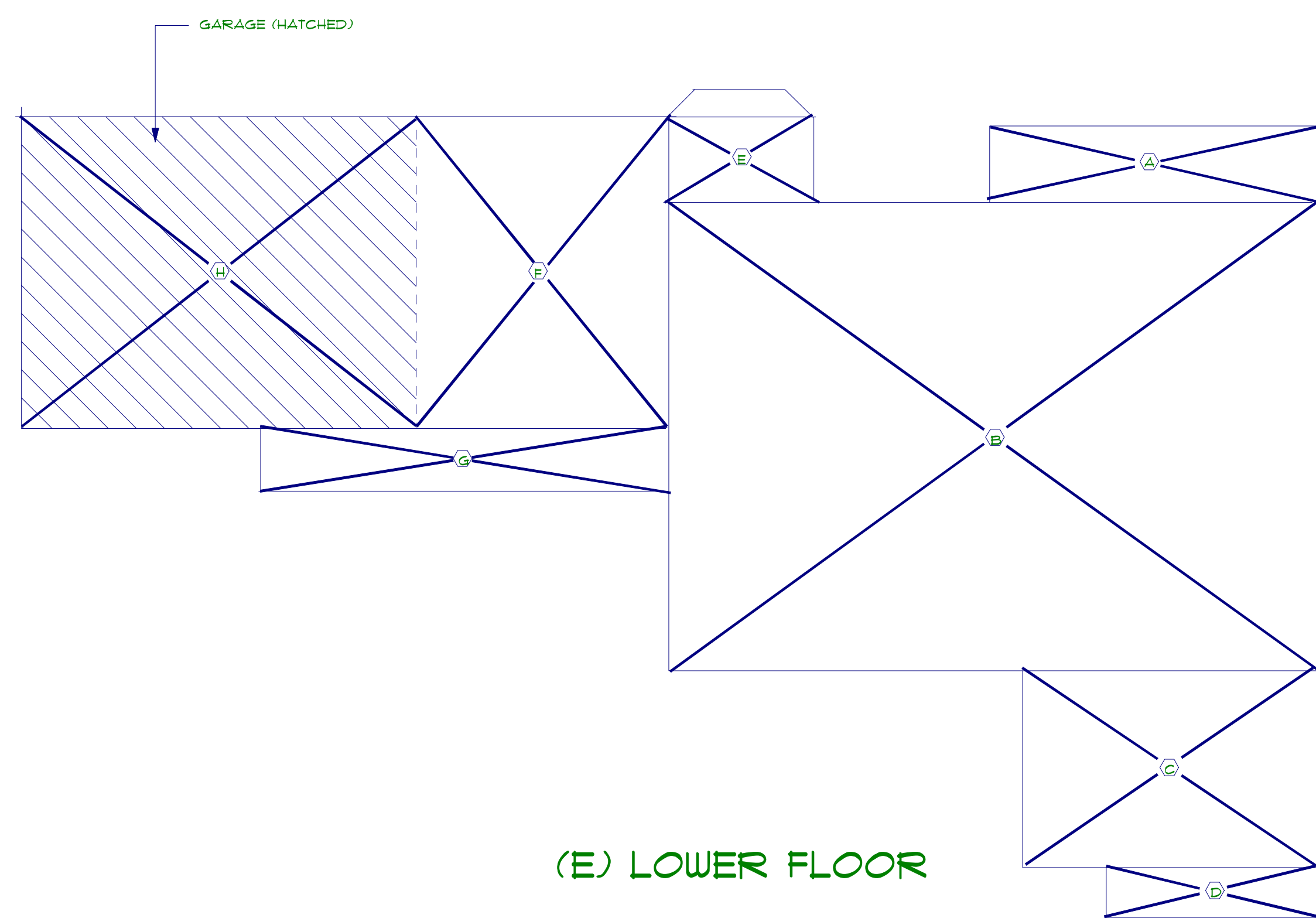
1/8" NEW HOUSE AREA CALCS



(E) UPPER FLOOR

- A 22 X 30 = 660
- B 4.5 X 13.33 = 60

720 UPPER LIVING



(E) LOWER FLOOR

- A 5.5 X 23.33 = 128
- B 33 X 46 = 1518
- C 14 X 21 = 294
- D 3.5 X 15 = 53
- E 6.25 X 10 = 63
- F 18 X 22 = 396
- G 4.5 X 29 = 131

2583 LOWER LIVING  
 616 GARAGE  
 720 UPPER LIVING  
 3919 TOTAL

1/8" EXISTING HOUSE DEMO AREA CALCS

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 Cupertino, Ca. 95015  
 (408) 459-3029



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 JF BUILDING DESIGN

REVISIONS	BY

PREPARED BY: *Jonv. C. Freese* DATE: *9 Nov. 22*  
 A New 2-Story Residence For:  
**Akshay Bhargava & Devina Prasad**  
 on the grounds at  
 1210 Altamead Dr., Los Altos, Ca 94024

DRAWN  
 JF  
 CHECKED  
 JF  
 DATE  
 1 NOV. 21  
 SCALE  
 AS NOTED  
 JOB NO.  
 2128  
 SHEET



LOT INFO	
GENERAL INFORMATION:	
NUMBER OF STORIES:	2-STORY
ASSESSOR'S PARCEL #:	193-32-002
ZONING DESIGNATION:	R-10
TYPE OF CONSTRUCTION:	V-B
OCCUPANCY GROUP:	R-3
LOT GROSS AREA:	10,205 SF.
LOT NET AREA:	10,205 SF.
MAXIMUM F.A.R.: (35%)	3,571 S.F.
MAXIMUM COVERAGE:	3,571 S.F.

**NOTE TO CONTRACTOR**

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JF BUILDING DESIGN

REVISIONS	BY
3 JUNE 22	JF

--	--

**A New 2-story Residence for:**  
**Akshay Bhargava & Devina Prasad**  
 on the grounds at  
 1210 Altamead Dr., Los Altos, Ca 94024

DRAWN	JF
CHECKED	JF
DATE	1 NOV. 21
SCALE	AS NOTED
JOB NO.	212
SHEET	

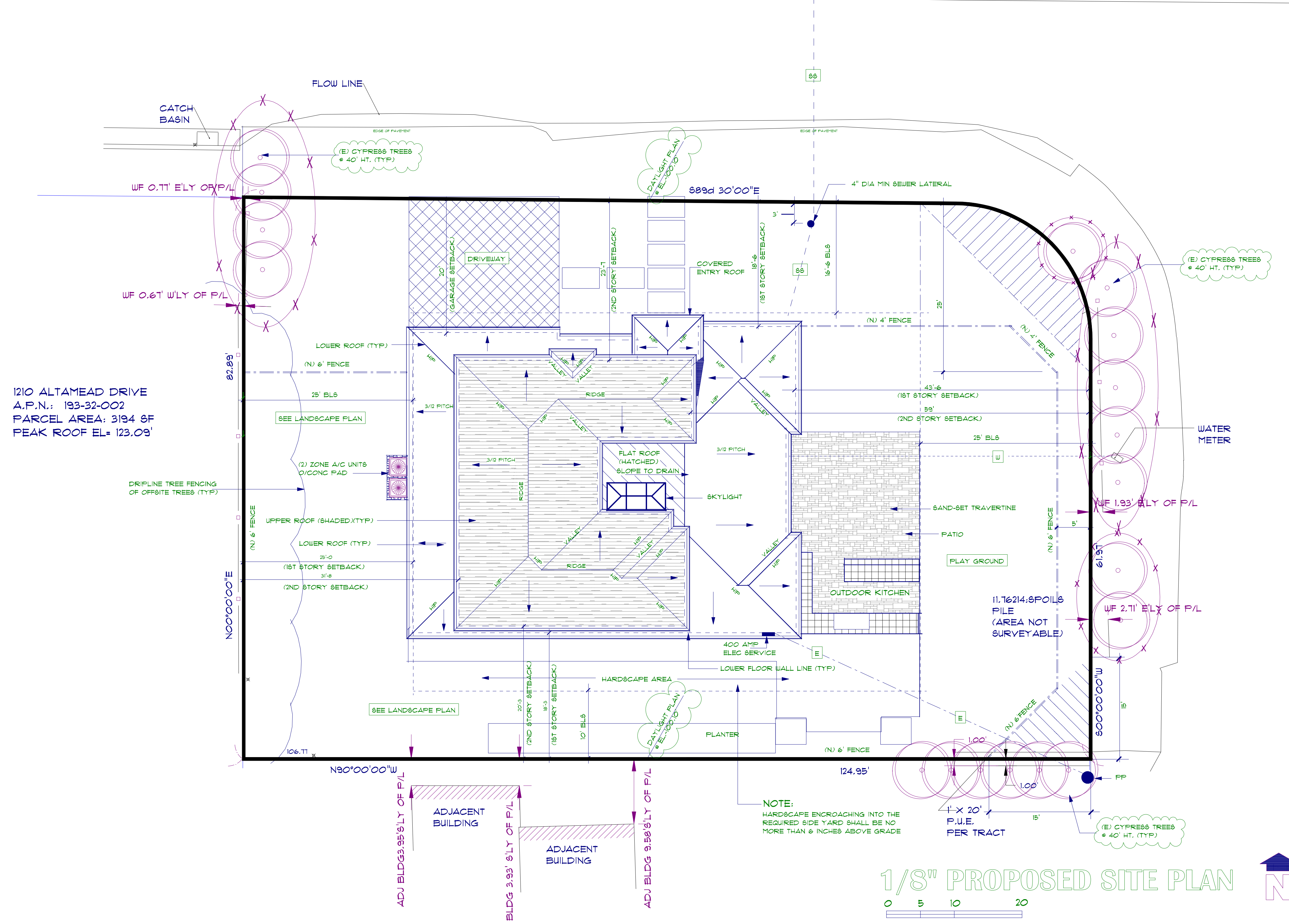
**A2**

OF SHEETS

SEWER MANHOLE

**1210 ALTAMEAD DRIVE**

SEWER MANHOLE



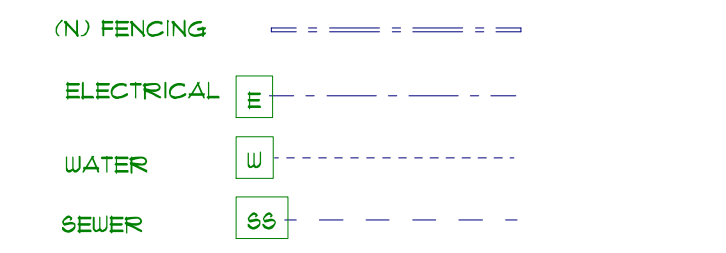
1210 ALTAMEAD DRIVE  
 A.P.N.: 193-32-002  
 PARCEL AREA: 3194 SF  
 PEAK ROOF EL: 123.09'

**GENERAL NOTES:**

- ALL WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF JF BUILDING DESIGN PRIOR TO COMMENCING.
- VERIFY LOCATION OF UTILITIES AND EXISTING CONDITIONS AT SITE PRIOR TO CONSTRUCTION AND BIDDING.
- CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR METHOD AND MANNER OF CONSTRUCTION AND FOR ALL JOB SITE SAFETY DURING CONSTRUCTION.
- SLOPE ALL FINISH GRADES IN 5% 5'-0" AWAY FROM STRUCTURE FOR POSITIVE DRAINAGE. LANDSCAPED AREA 4 SLOPE GRADE 2% MIN. PAVED AREAS.
- ALL WORK APPLIANCES AND EQUIPMENT SHALL COMPLY WITH C.E.C. TITLE 24 RESIDENTIAL ENERGY STANDARDS.
- NO CONSTRUCTION EQUIPMENT OR PRIVATE VEHICLES SHALL PARK OR BE STORED WITHIN THE DRIPLINE OF ANY ORDINANCE PROTECTED TREES ON SITE.
- ADDRESS NUMBERS ON BUILDING SHALL BE CLEARLY VISIBLE FROM STREET OR ROAD FRONTING THE PROPERTY.

**SITE NOTES:**

- CONTACT PUBLIC WORKS FOR DRAINAGE AND FINAL GRADE INSPECTION, WHICH INCLUDES DRAIN LINES & ROOF DRAINS/DOWN SPOUTS.
- CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL & INSURING THE AREA ADJACENT TO THE WORK IS LEFT IN A CLEAN CONDITION.
- THE CONTRACTOR SHALL REVIEW STD. DETAILS ON TREE PROTECTION PRIOR TO ACCOMPLISHING ANY WORK OR REMOVING ANY TREES.
- UTILIZE BEST MANAGEMENT PRACTICES (BMP'S), AS REQUIRED BY THE STATE WATER RESOURCE CONTROL BOARD, FOR ANY ACTIVITY, WHICH DISTURBS SOIL.
- ALL ROOF DRAINS AND/OR DOWN SPOUTS SHALL BE DRAIN SHEET FLOW 2% AWAY FROM THE BUILDING & MAYBE COLLECTED BY DRAIN INLET CONNECTED TO PUBLIC STORM DRAIN FACILITY. IF AND ONLY IF THE DRAIN IS IN THE HILLSIDE AREA CAN THE WATER BE DIRECTLY CONNECTED TO THE PUBLIC STORM DRAIN.
- PG&E SERVICE TO BE UNDERGROUND.
- SEWER LATERAL TO BE 4" DIA. MIN.
- CHAIN LINK TREE PROTECTIVE FENCING TO BE INSTALLED PRIOR TO BEGINNING CONSTRUCTION & TO REMAIN IN PLACE THROUGHOUT CONSTRUCTION.
- NO CONSTRUCTION EQUIPMENT OR PRIVATE VEHICLES SHALL PARK OR BE STORED WITHIN THE DRIPLINE OF ANY ORDINANCE PROTECTED TREES ON SITE.
- TRENCHING FOR UTILITIES SHALL BE LOCATED AS MUCH AS POSSIBLE OUTSIDE THE DRIPLINES OF THE PROTECTED TREES.
- NO SOIL TO BE CUT BENEATH CANOPIES OF PROTECTED TREES.
- ALL EXISTING FENCING TO BE REPLACED WITH NEW. ALL NEW FENCING IS TO COMPLY WITH CITY OF LOS ALTOS FENCE STANDARDS ACCORDINGLY.
- THE NEW HARDSCAPE SHALL BE NO MORE THAN SIX INCHES ABOVE GRADE AS PER SECTION (14.66.210 C).
- THE NEW FRONT YARD FENCE IS SUBJECT TO THE FENCE REGULATIONS HANDOUT.



**1/8" PROPOSED SITE PLAN**

0 5 10 20

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PREPARED BY: Jonn C. Freese DATE: 14 Feb. 23



**GENERAL NOTES:**

1. THE CONTRACTOR AND/OR SUPPLIER OF MATERIALS SHALL NOT SCALE ANY DIMENSIONS FOR CONSTRUCTION PURPOSES. IN THE EVENT A DIMENSION IS REQUIRED THAT DOES NOT OCCUR ON THE DRAWINGS AND/OR A DIMENSION ERROR IS FOUND ON THE DRAWINGS, THE CONTRACTOR AND/OR SUPPLIER OF MATERIALS WILL NOTIFY THE OFFICE OF JF BUILDING DESIGN, AND REQUEST ASSISTANCE AS SOON AS POSSIBLE. THE CONTRACTOR AND/OR SUPPLIER OF MATERIALS SHALL BE SOLELY RESPONSIBLE FOR THE RESULTS OF ERRORS, DISCREPANCIES AND OMISSIONS WHICH THE CONTRACTOR AND/OR MATERIAL SUPPLIER FAILED TO NOTIFY THE OFFICE OF JF BUILDING DESIGN. PRIOR TO CONSTRUCTION AND/OR FABRICATION OF THE WORK, NO DEVIATION FROM THE PLANS IN ANY WAY SHALL BE MADE WITHOUT THE WRITTEN CONSENT OF JF BUILDING DESIGN. APPROVAL BY THE CITY INSPECTOR DOES NOT CONSTITUTE AUTHORITY TO DEVIATE FROM THE PLANS OR OTHER DOCUMENTS PROVIDED BY THE OFFICE OF JF BUILDING DESIGN.

2. SHOULD CONTRACTORS AT ANY TIME DISCOVER AN ERROR IN A DRAWING OR SPECIFICATION OR DISCREPANCY OR VARIATION BETWEEN DIMENSIONS OR OTHER INFORMATION, HE SHALL REPORT AT ONCE TO THE JF BUILDING DESIGN, FOR CLARIFICATION AND SHALL NOT PROCEED WITH THE WORK AFFECTED UNTIL CLARIFICATION HAS BEEN MADE. IF WORK PROCEEDS WITHOUT NOTIFICATION, THE OWNER AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSEQUENCES. DIMENSIONS FIGURED ON DRAWINGS SHALL BE FOLLOWED IN EVERY CASE IN PREFERENCE TO SCALED DIMENSIONS. IN GENERAL, DETAIL DRAWINGS TAKE PRECEDENCE OVER DRAWINGS OF SMALLER SCALE.

3. CONTRACTOR SHALL VERIFY ON-SITE ALL GRADES, EXISTING IMPROVEMENTS, PROPERTY LINES, EASEMENTS, SETBACKS, UTILITIES, AND SUB-STRUCTURES, WHERE DISCREPANCIES OCCUR, CONTACT JF BUILDING DESIGN.

4. THESE PLANS ARE FOR GENERAL CONSTRUCTION PURPOSES ONLY. THEY ARE NOT EXHAUSTIVELY DETAILED NOR FULLY SPECIFIED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SELECT, VERIFY, AND AND RESOLVE AND INSTALL ALL THE MATERIALS AND EQUIPMENT.

5. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE QUALITY CONTROL AND CONSTRUCTION STANDARDS FOR THIS PROJECT.

6. THE CONTRACTOR SHALL VERIFY AND COORDINATE INSTALLATION OF SEWER, LATERAL GAS METER AND WITH APPLICABLE UTILITY COMPANY AND PUBLIC WORK DEPARTMENT AND BE IN CONFORMANCE WITH LOCAL CODES AND ORDINANCES.

7. CONTRACTOR SHALL BE RESPONSIBLE AT HIS OWN EXPENSE FOR ANY DAMAGE TO PUBLIC OR ADJOINING PRIVATE PROPERTY DUE TO HIS WORK.

8. CONTRACTOR SHALL PATCH AND REPAIR ALL DAMAGED SIDEWALKS AND CURBING PER LOCAL STANDARDS.

9. PROVIDE EXPANSION AND CONTROL JOINTS IN ALL EXTERIOR CONCRETE SLABS. SPACING SHALL BE PER INDUSTRY STANDARDS.

10. RESPONSIBILITY: THE CONTRACTOR SHALL BE RESPONSIBLE WITH THE COORDINATION OF THE ENTIRE WORK AND FOR THE COMPLIANCE WITH ALL CODES AND LAWS. HE SHALL ALSO BE RESPONSIBLE FOR SEEING THAT ALL SUB-CONTRACTORS WORK CONFORM TO JOB CONDITION.

**NOTE TO CONTRACTOR**

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CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR METHOD AND MANNER OF DEMOLITION AND FOR ALL JOB SITE SAFETY DURING DEMOLITION

NO CONSTRUCTION EQUIPMENT OR PRIVATE VEHICLES SHALL PARK OR BE STORED WITHIN THE DRIFLINE OF ANY ORDINANCE PROTECTED TREES ON SITE.

**NOTES:**

- 1) ALL BUILDING & GARAGES TO BE DEMOLISHED AND REMOVED.
- 2) ALL DRIVEWAYS, PATIOS & CONCRETE WALKWAYS TO BE REMOVED.
- 3) ALL HERITAGE TREES TO BE PROTECTED AS PER CITY REQUIREMENTS.
- 4) ALL FENCES & PROPERTY LINES TO REMAIN.

**ANALYSIS**

GENERAL INFORMATION:	
NUMBER OF STORIES:	2-STORY
ASSESSOR'S PARCEL #	193-32-002
ZONING DESIGNATION:	R1-10
TYPE OF CONSTRUCTION:	V-B
OCCUPANCY GROUP:	R-3
LOT GROSS AREA:	10,205 SF.
LOT NET AREA:	10,205 SF.
MAXIMUM F.A.R.: (35%)	3,571 S.F.
MAXIMUM COVERAGE:	3,571 S.F.
<b>EXISTING FAR:</b>	
(E) 2-STORY RESIDENCE	2,711 S.F.
(E) 3-CAR GARAGE	600 S.F.
(E) DETACHED GARAGE	340 S.F.
<b>TOTAL (E) TO BE REMOVED:</b>	<b>3,711 S.F.</b>
<b>(E) SHEDS TO BE REMOVED:</b>	<b>125 S.F.</b>

**LAMMY PLACE**

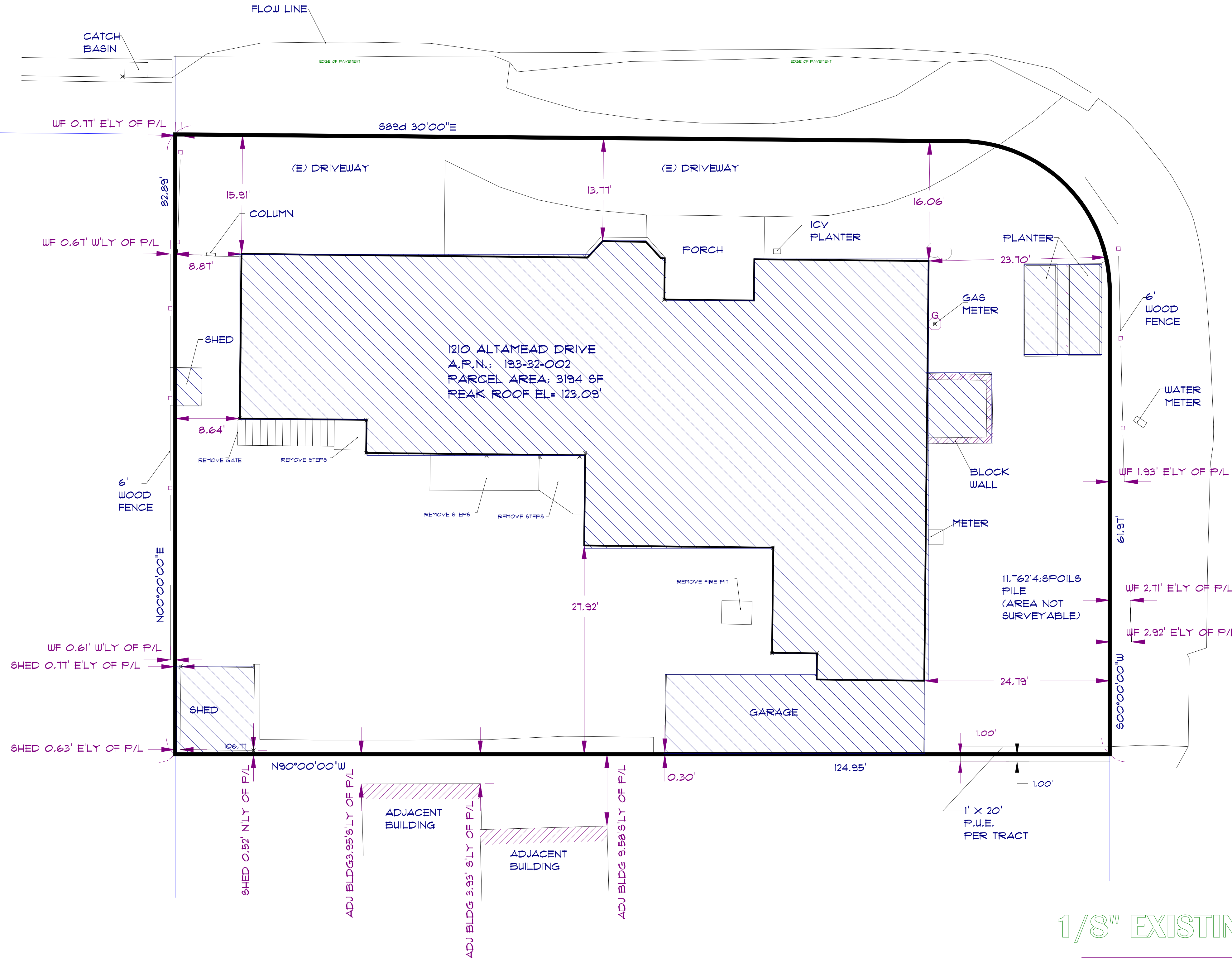
STRUCTURES TO BE REMOVED

100.20

SEWER MANHOLE

SEWER MANHOLE

**1210 ALTAMEAD DRIVE**



**1/8" EXISTING SITE - DEMO PLAN**



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 (408) 489-3029

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JF BUILDING DESIGN

REVISIONS	BY

A New 2-Story Residence For:  
**Akshay Bhargave & Devina Prasad**  
 on the grounds at  
 1210 Altamead Dr., Los Altos, Ca 94024

DRAWN	JF
CHECKED	JF
DATE	1 NOV. 21
SCALE	AS NOTED
JOB NO.	208
SHEET	8-SHEET

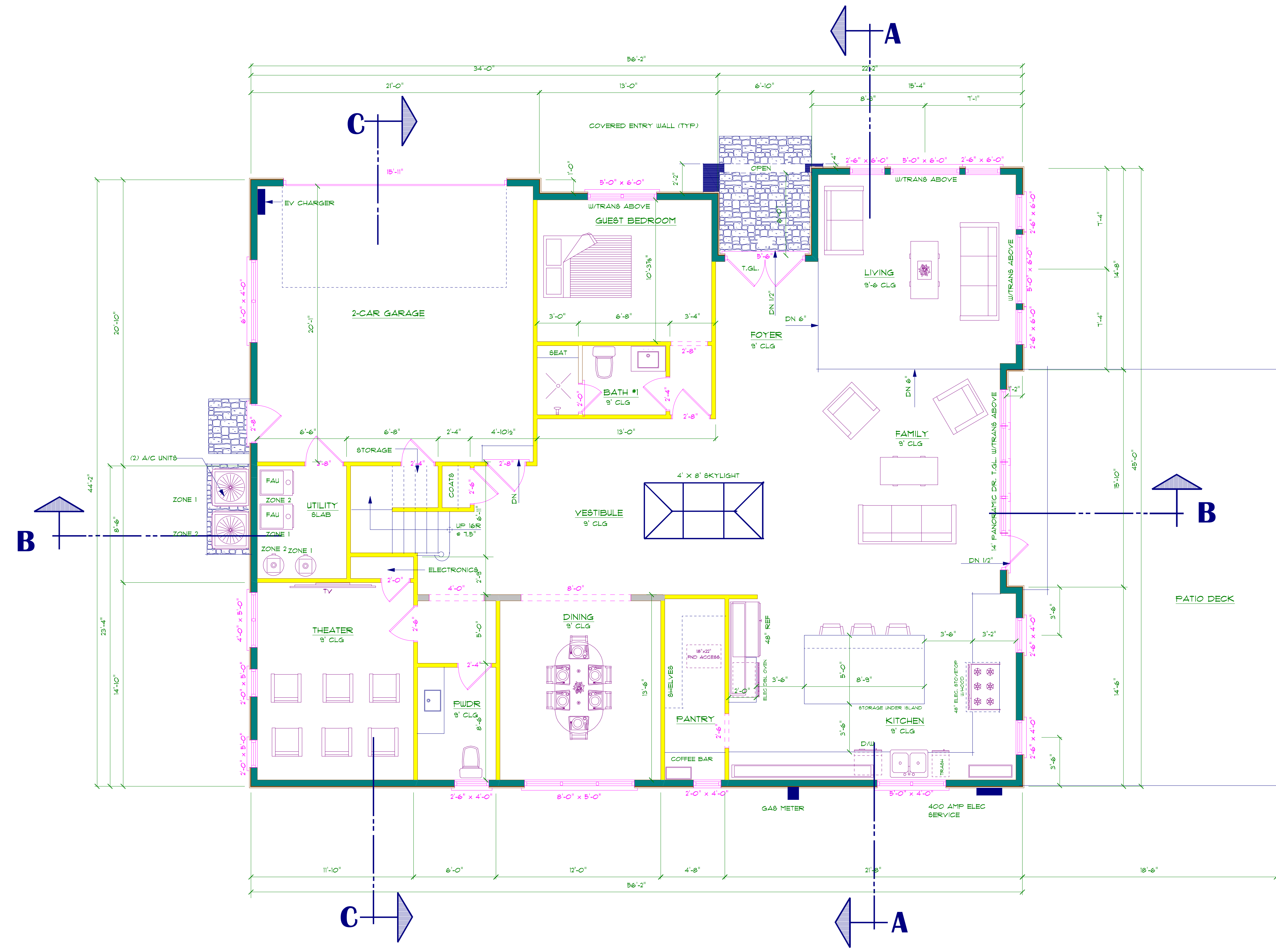
**A2.1**

OF 8-SHEETS

PREPARED BY: Jon C. Freed DATE: 2 April 22



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- 2x6 EXTERIOR WALLS
- 2x4 INTERIOR WALLS
- 2x6 INTERIOR WALLS

1/4" PROPOSED LOWER FLOOR PLAN N

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 JF BUILDING DESIGN

REVISIONS	BY

*A New 2-story Residence For:*  
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 1210 Altamead Dr., Los Altos, Ca 94024

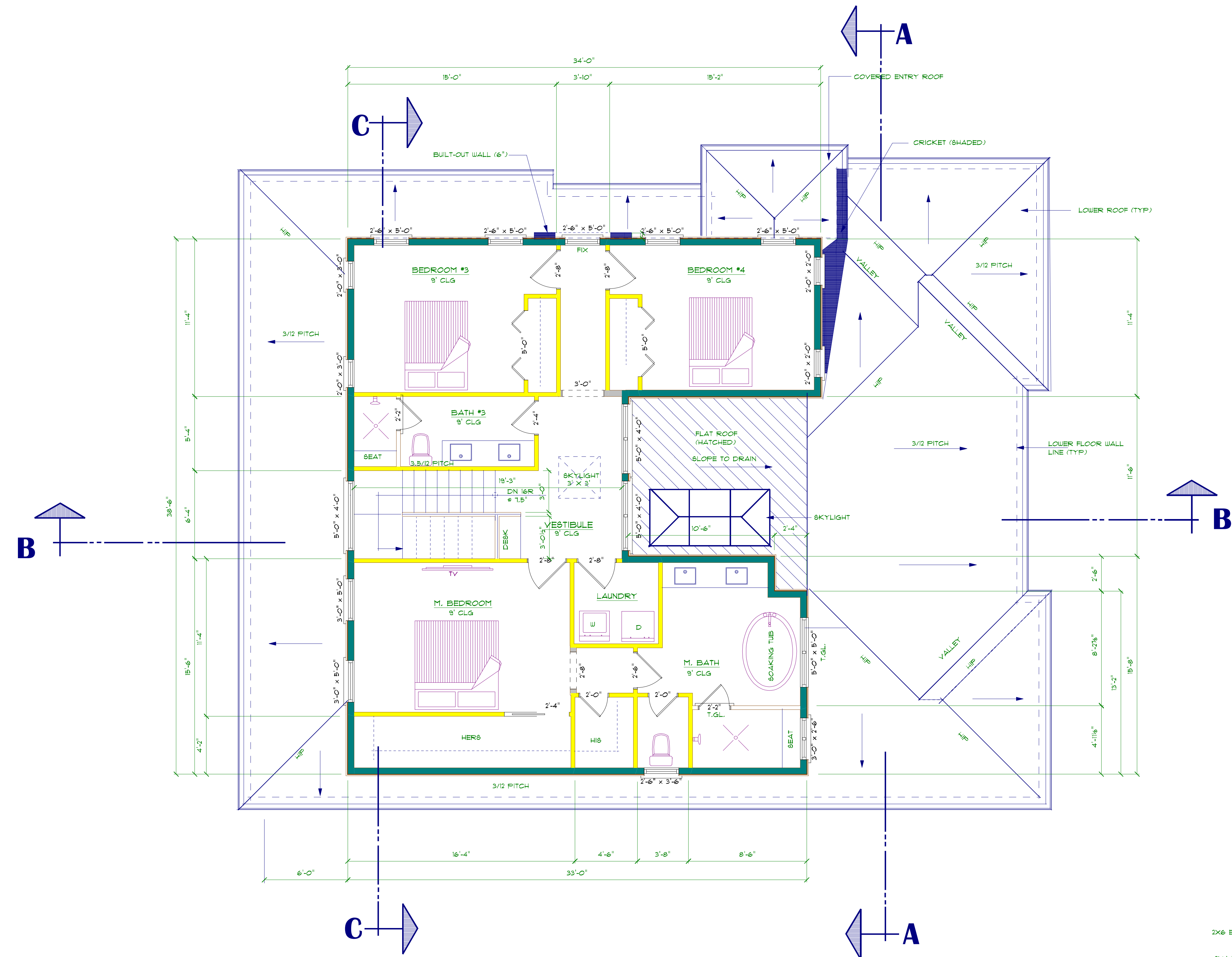
PREPARED BY: Jon C. Freed. DATE: 9 NOV. 22

DRAWN	JF
CHECKED	JF
DATE	1 NOV. 21
SCALE	AS NOTED
JOB NO.	209
SHEET	8-SHEET

**A3**  
 OF 8 SHEETS



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- 2X6 EXTERIOR WALLS
- 2X4 INTERIOR WALLS
- 2X6 INTERIOR WALLS
- W.I. GUARD RAIL
- PARAPET

1/4" PROPOSED UPPER FLOOR PLAN

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 (408) 489-3029



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 JF BUILDING DESIGN

REVISIONS	BY

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DRAWN	JF
CHECKED	JF
DATE	1 NOV. 21
SCALE	AS NOTED
JOB NO.	209
SHEET	8-SHEET

A4  
 OF 8 SHEETS

PREPARED BY: Jon C. Freed. DATE: 9 NOV. 22



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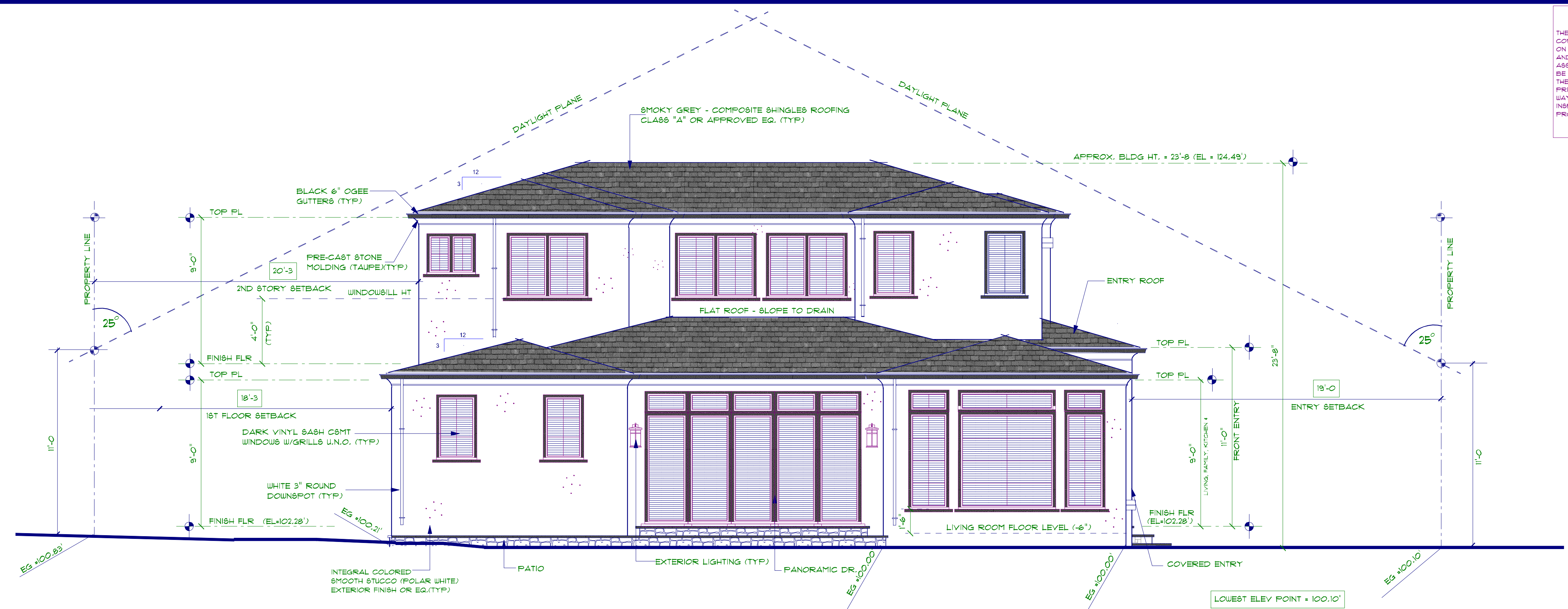
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 JF BUILDING DESIGN

REVISIONS	BY
1-25-22	JF
8-29-22	JF

Prepared by: **Jovv C. Freed** DATE: 14 Feb. 23

A New 2-Story Residence For:  
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 on the grounds at  
 1210 Altamead Dr., Los Altos, Ca 94024

DRAWN	JF
CHECKED	JF
DATE	1 NOV. 21
SCALE	AS NOTED
JOB NO.	2128
SHEET	



**1/4" FRONT ELEVATION - EAST**

ALL EXTERIOR WINDOWS & DOOR HEADER HT @ 7'-10"

**Exterior Elevation Notes:**

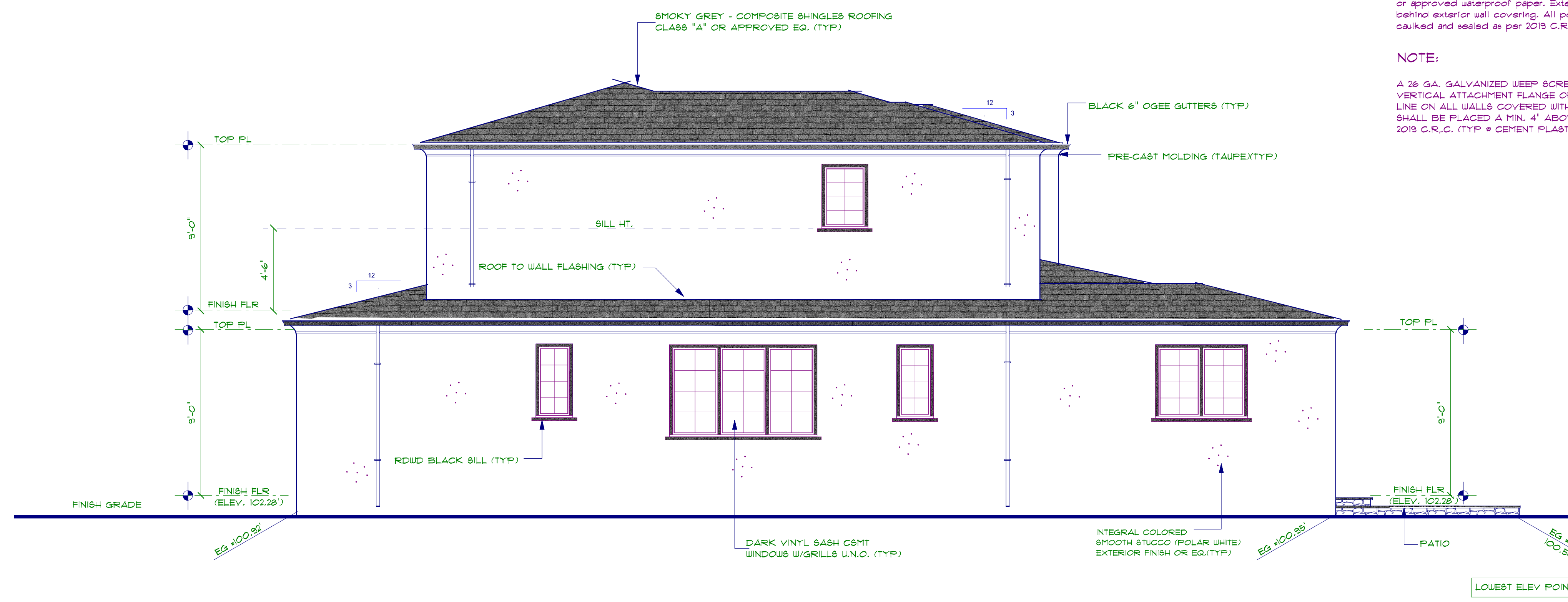
All Weather Exposed Surfaces shall have a weather-resistant barrier to protect the interior wall covering. Such barrier shall be equal to that provided for the 2019 C.R.C. standards and applied directly over studs or sheathing. Barriers shall be installed horizontally, weatherboard fashion, with upper layer over lower layer not less than 2 inches where vertical joints occur. Lap barrier not less than 6 inches as per 2019 C.R.C.

Exterior finish, where applicable, shall minimum 1/8" standard 3 coat application cement plaster (stucco) over layer of paper back metal or wire lath with drip screed at base. Weather-resistant barriers shall be installed under described lath as described above, and when applied over wood base sheathing shall include 2 layers of grade D Paper. As per 2019 C.R.C. Note: Paperback stucco wire is equivalent to 1 layer of grade D paper

Flash all exterior openings exposed to the weather with sheet metal or approved waterproof paper. Extend at least 3" under building paper behind exterior wall covering. All penetrations shall be thoroughly caulked and sealed as per 2019 C.R.C.

**NOTE:**

A 26 GA. GALVANIZED WEEP SCREED SHALL BE PROVIDED WITH A VERTICAL ATTACHMENT FLANGE OF 3 1/2 INCHES @ THE FOUNDATION PLATE LINE ON ALL WALLS COVERED WITH EXTERIOR PLASTER. THE SCREED SHALL BE PLACED A MIN. 4" ABOVE EARTH OR 2" ABOVE PAVED AREAS. 2019 C.R.C. (TYP) @ CEMENT PLASTER

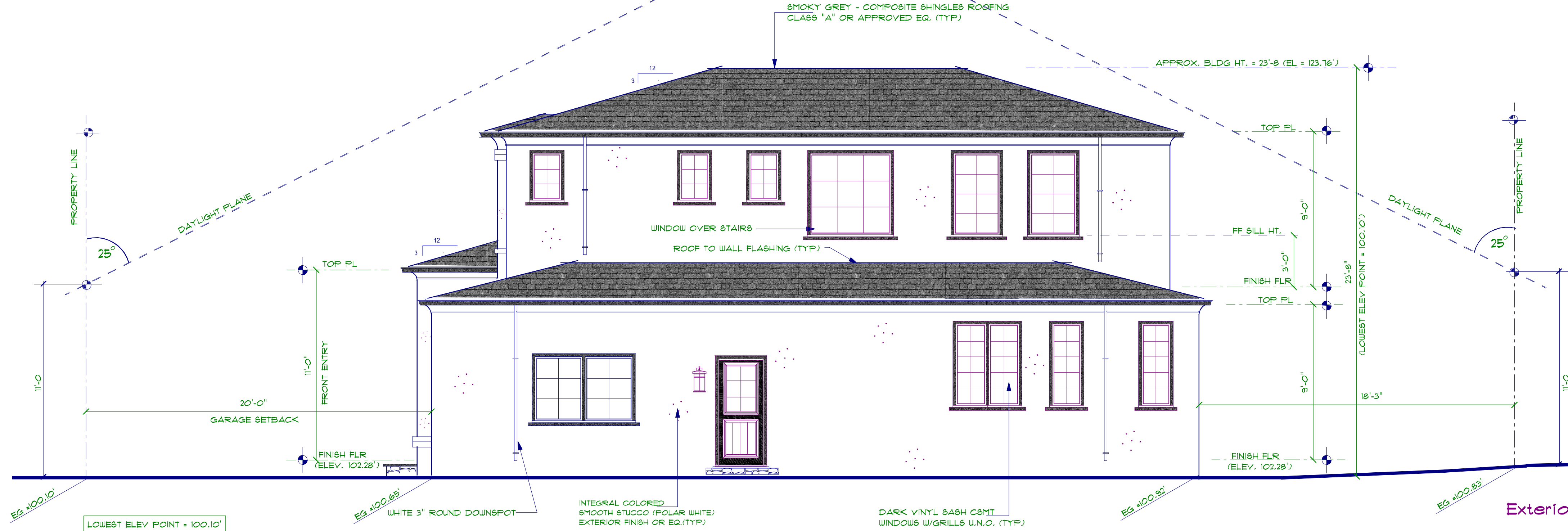


**1/4" LEFT SIDE ELEVATION - SOUTH**

ALL EXTERIOR WINDOWS & DOOR HEADER HT @ 7'-10"



**\* NOTE TO CONTRACTOR \***  
 THE CONTRACTOR AND/OR SUPPLIER OF MATERIALS SHALL NOT SCALE ANY DIMENSIONS FOR CONSTRUCTION PURPOSES. IN THE EVENT A DIMENSION IS REQUIRED THAT DOES NOT OCCUR ON THE DRAWINGS AND/OR A DIMENSION ERROR IS FOUND ON THE DRAWINGS, THE CONTRACTOR AND/OR SUPPLIER OF MATERIALS WILL NOTIFY THE OFFICE OF JF BUILDING DESIGN AND REQUESTS ASSISTANCE AS SOON AS POSSIBLE. THE CONTRACTOR AND/OR SUPPLIER OF MATERIALS SHALL BE SOLELY RESPONSIBLE FOR THE RESULTS OF ERRORS, DISCREPANCIES AND OMISSIONS WHICH THE CONTRACTOR AND/OR MATERIAL SUPPLIER FAILED TO NOTIFY THE OFFICE OF JF BUILDING DESIGN PRIOR TO CONSTRUCTION AND/OR FABRICATION OF THE WORK. NO DEVIATION FROM THE PLANS IN ANY WAY SHALL BE MADE WITHOUT THE WRITTEN CONSENT OF JF BUILDING DESIGN. APPROVAL BY THE CITY INSPECTOR DOES NOT CONSTITUTE AUTHORITY TO DEVIATE FROM THE PLANS OR OTHER DOCUMENTS PROVIDED BY THE OFFICE OF JF BUILDING DESIGN.



**1/4" REAR ELEVATION - WEST**

ALL EXTERIOR WINDOWS & DOOR HEADER HT @ 7'-10"

**Exterior Elevation Notes:**

All Weather Exposed Surfaces shall have a weather-resistant barrier to protect the interior wall covering. Such barrier shall be equal to that provided for the 2019 C.R.C. standards and applied directly over studs or sheathing. Barriers shall be installed horizontally, weatherboard fashion, with upper layer over lower layer not less than 2 inches where vertical joints occur lap barrier not less than 6 inches as per 2019 C.R.C.

Exterior finish, where applicable, shall minimum 1/8" standard 3 coat application cement plaster (stucco) over layer of paper back metal or wire lath with drip screed at base. Weather-resistant barriers shall be installed under described lath as described above, and when applied over wood base sheathing shall include 2 layers of grade D Paper. As per 2019 C.R.C. Note: Paperback stucco wire is equivalent to 1 layer of grade d paper

Flash all exterior openings exposed to the weather with sheet metal or approved waterproof paper. Extend at least 3" under building paper behind exterior wall covering. All penetrations shall be thoroughly caulked and sealed as per 2019 C.R.C.

**NOTE:**

A 26 GA. GALVANIZED WEEP SCREED SHALL BE PROVIDED WITH A VERTICAL ATTACHMENT FLANGE OF 3 1/2 INCHES @ THE FOUNDATION PLATE LINE ON ALL WALLS COVERED WITH EXTERIOR PLASTER. THE SCREED SHALL BE PLACED A MIN. 4" ABOVE EARTH OR 2" ABOVE PAVED AREAS. 2019 C.R.C. (TYP) @ CEMENT PLASTER)



**1/4" RIGHT SIDE ELEVATION - NORTH**

ALL EXTERIOR WINDOWS & DOOR HEADER HT @ 7'-10"

**JF Building Design**  
 P.O. Box 2818  
 Cupertino, Ca. 95015  
 (408) 489-3029



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 JF BUILDING DESIGN

REVISIONS	BY
1-25-22	JF
8-29-22	JF

Prepared By: **Joy C. Freel** DATE: 14 Feb. 23

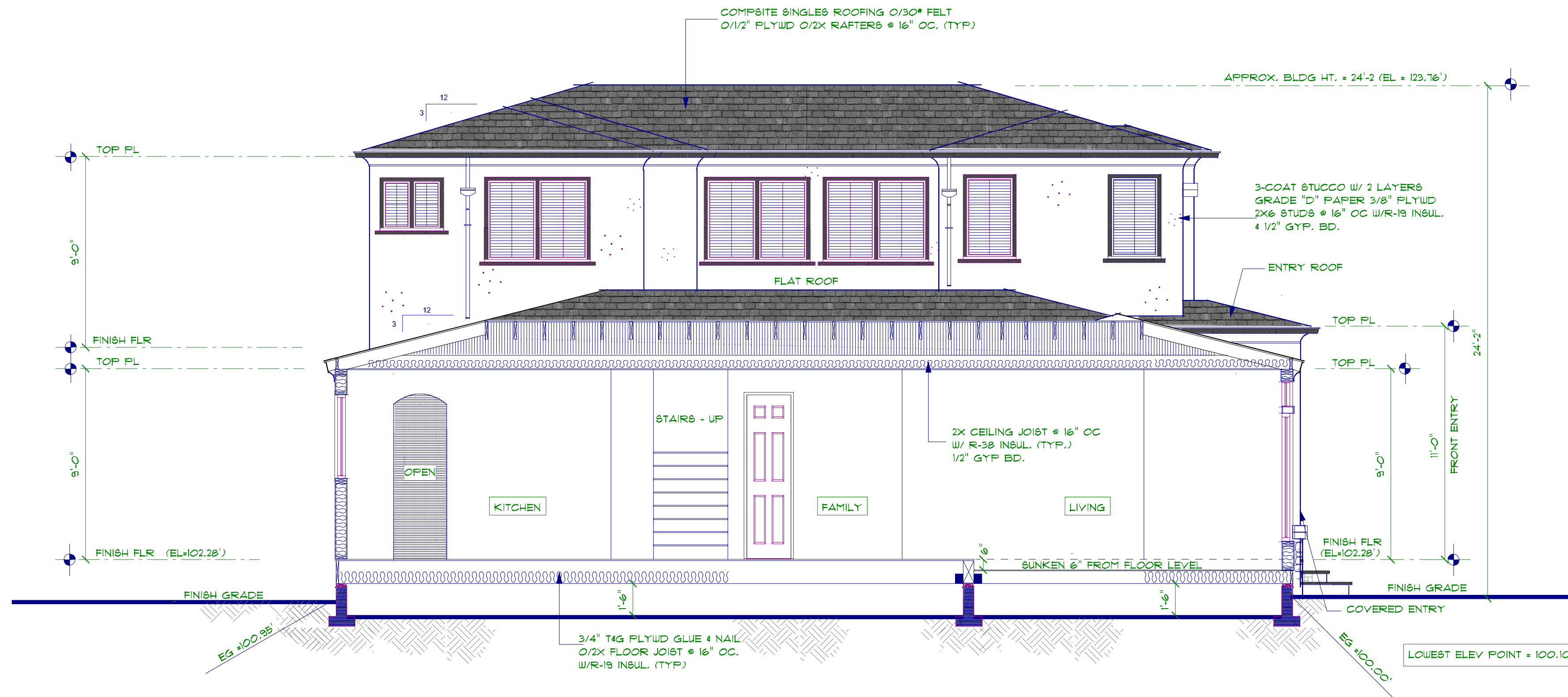
A New 2-Story Residence For:  
**Akshay Bhargave & Devina Prasad**  
 on the grounds at  
 1210 Altamead Dr., Los Altos, Ca 94024

DRAWN	JF
CHECKED	JF
DATE	1 NOV. 21
SCALE	AS NOTED
JOB NO.	202
SHEET	

**A6**  
 OF SHEETS

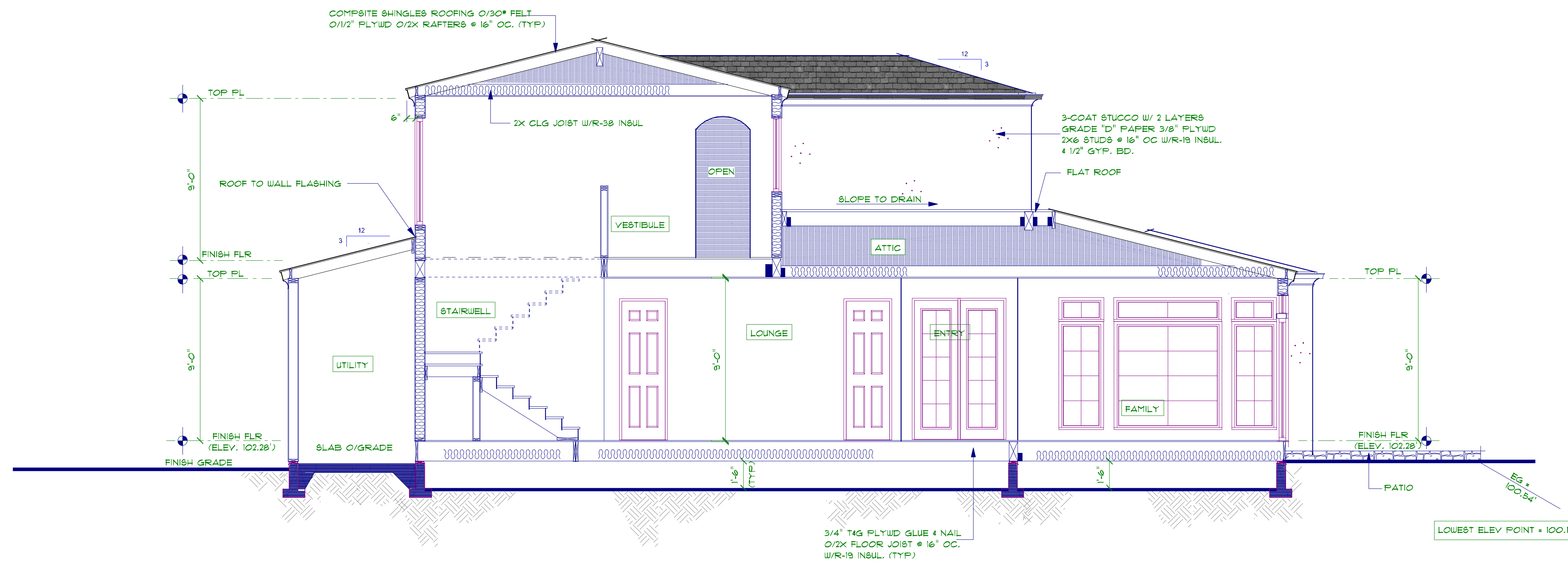


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1/4" SECTION A

SECTIONS ARE FOR DIAGRAMATIC PURPOSES ONLY. SEE CONSTRUCTION/STRUCTURAL DRAWINGS FOR ALL MATERIALS, FRAMING AND CONNECTIONS



1/4" SECTION B

SECTIONS ARE FOR DIAGRAMATIC PURPOSES ONLY. SEE CONSTRUCTION/STRUCTURAL DRAWINGS FOR ALL MATERIALS, FRAMING AND CONNECTIONS

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JF BUILDING DESIGN

REVISIONS	BY
1-25-22	JF
8-29-22	JF

PREPARED BY: Jonn C. Freed DATE: 9 Nov. 22

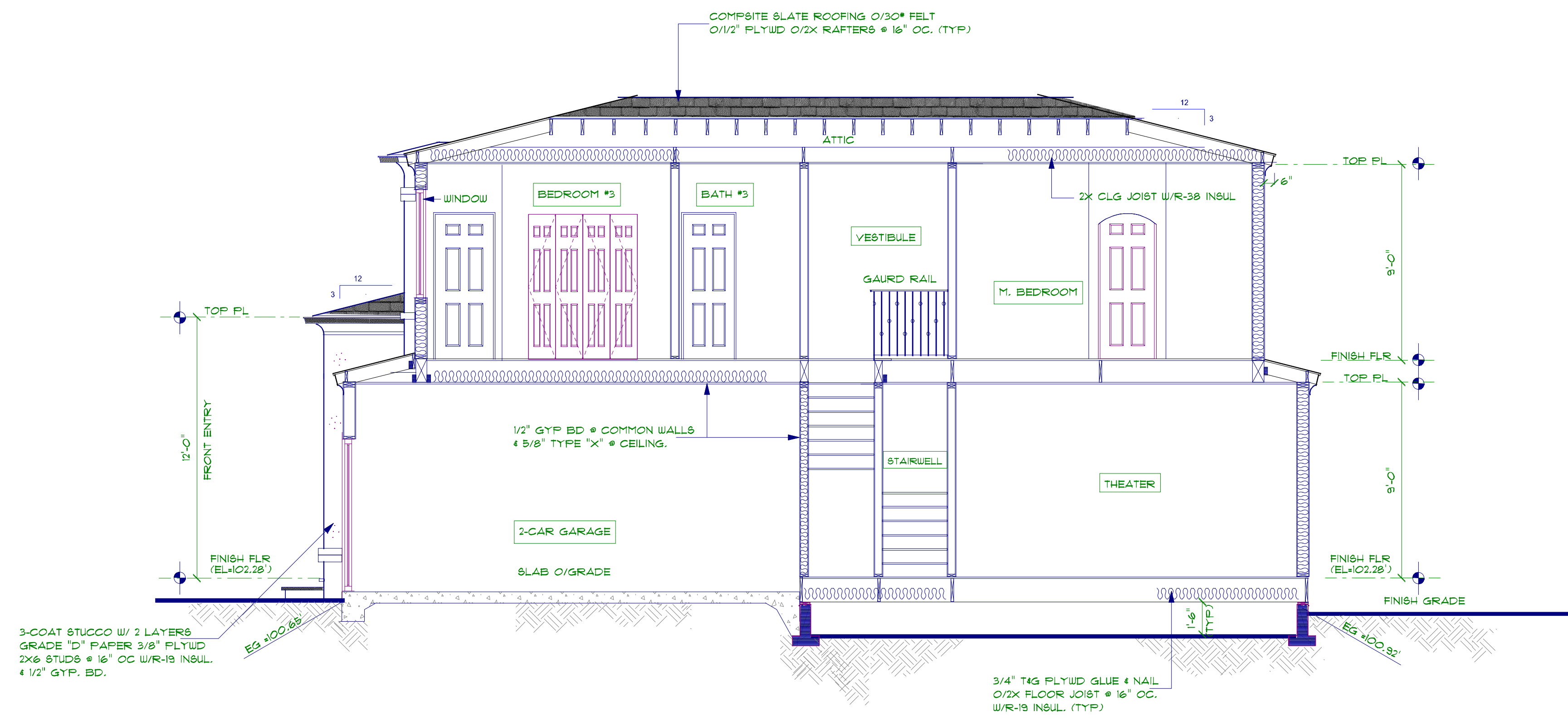
A New 2-Story Residence for:  
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 1210 Altamead Dr., Los Altos, Ca 94024

DRAWN	JF
CHECKED	JF
DATE	1 NOV. 21
SCALE	AS NOTED
JOB NO.	208
SHEET	

A7

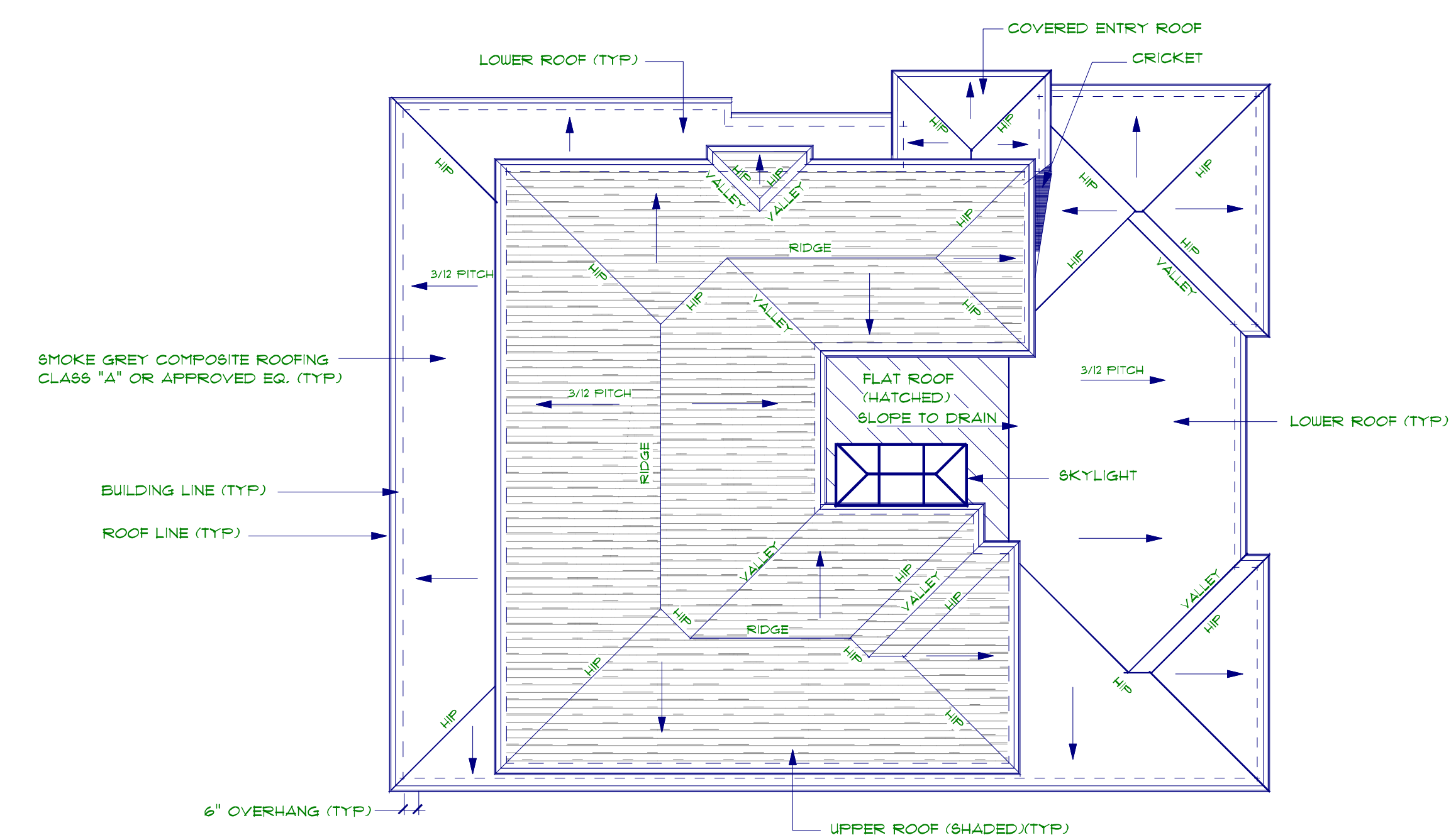


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1/4" SECTION C

SECTIONS ARE FOR DIAGRAMATIC PURPOSES ONLY. SEE CONSTRUCTION/STRUCTURAL DRAWINGS FOR ALL MATERIALS, FRAMING AND CONNECTIONS



1/8" PROPOSED ROOF PLAN N

**ROOF PLAN NOTES:**

- ROOFING:**  
 DARK COMPOSITE SLATE ROOFING CLASS "A" SELECTED BY OWNER. OVER TYPE 30 ROOFING FELT. INSTALL PER MANUF. 18PECS.
- FLASHING & COUNTERFLASHING:**  
 26 GAUGE STEEL U.O.N., AS REQUIRED AT JUNCTURE OF ROOF AND VERTICAL SURFACES. SEE SHEET METAL NOTES ON SHEET 8P.
- VALLEY FLASHING:**  
 26 GAUGE GALV. STEEL OVER 15 LB. FELT. CRICKETS SIMILAR.
- DOWNSPOUTS:**  
 2 1/4" DIA ROUND GALV. STEEL DOWN SPOUTS. PROVIDE BASKET STRAINER AND FLASH-BLOCK AT EACH DOWNSPOUT.
- GUTTERS:**  
 5" GALV. STEEL OGEE GUTTER

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REVISIONS	BY
1-25-22	JF
8-29-22	JF

PREPARED BY: *Joty C. Freed* DATE: 9 Nov. 22

A New 2-Story Residence For:  
**Akshay Bhargava & Devina Prasad**  
 on the grounds at  
 1210 Altamead Dr., Los Altos, Ca 94024

DRAWN	JF
CHECKED	JF
DATE	1 NOV. 21
SCALE	AS NOTED
JOB NO.	228
SHEET	8



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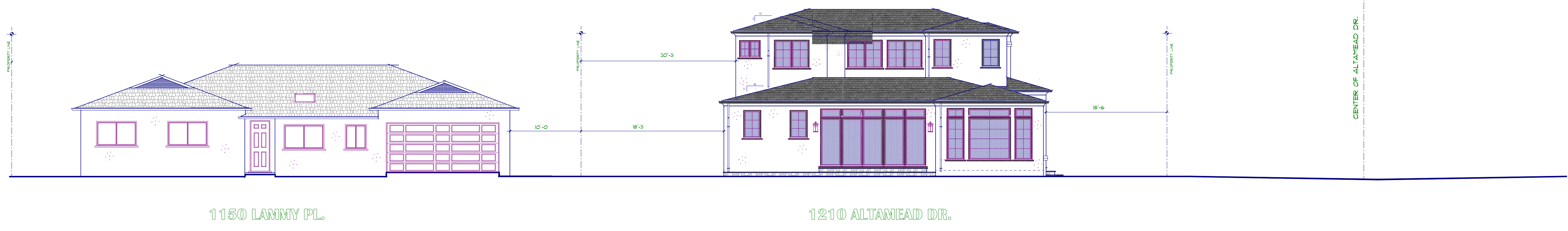
REVISIONS	BY
7-25-22	JF
8-25-22	JF

PREPARED BY: *Jon C. Freel*, DATE: 9 / Nov. 22

A New 2-Story Residence For:  
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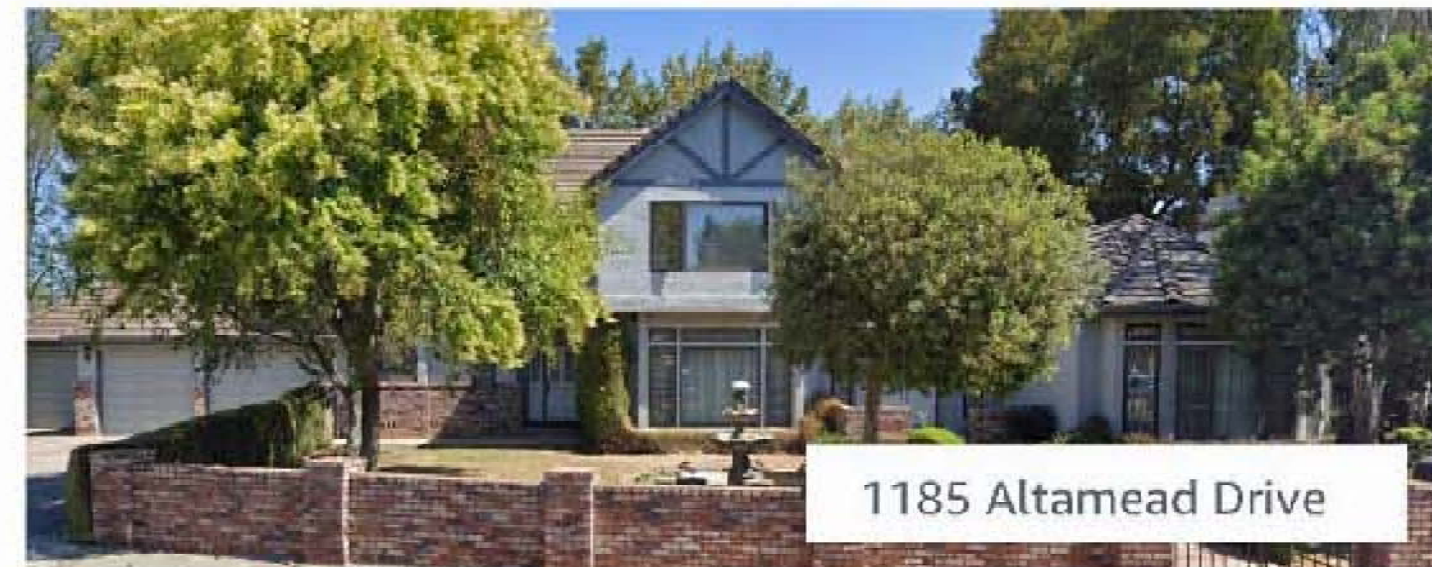
DRAWN	JF
CHECKED	JF
DATE	1 NOV. 21
SCALE	AS NOTED
JOB NO.	208
SHEET	

**A8.1**  
 OF SHEETS



1/8" STREETScape





1185 Altamead Drive



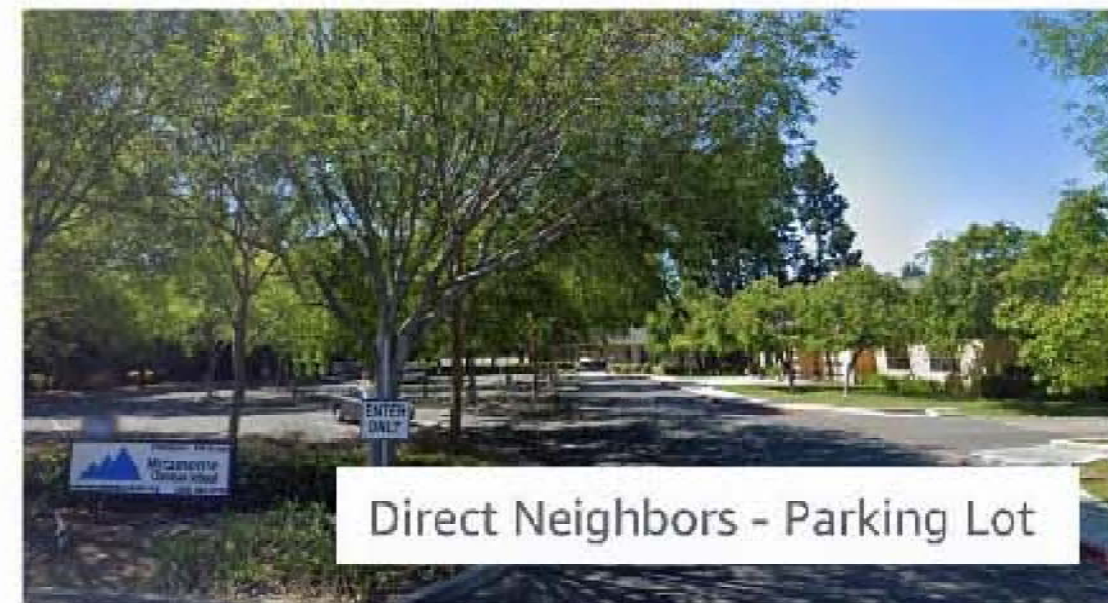
1195 Altamead Drive



1215 Altamead Drive



1225 Altamead Drive



Direct Neighbors - Parking Lot



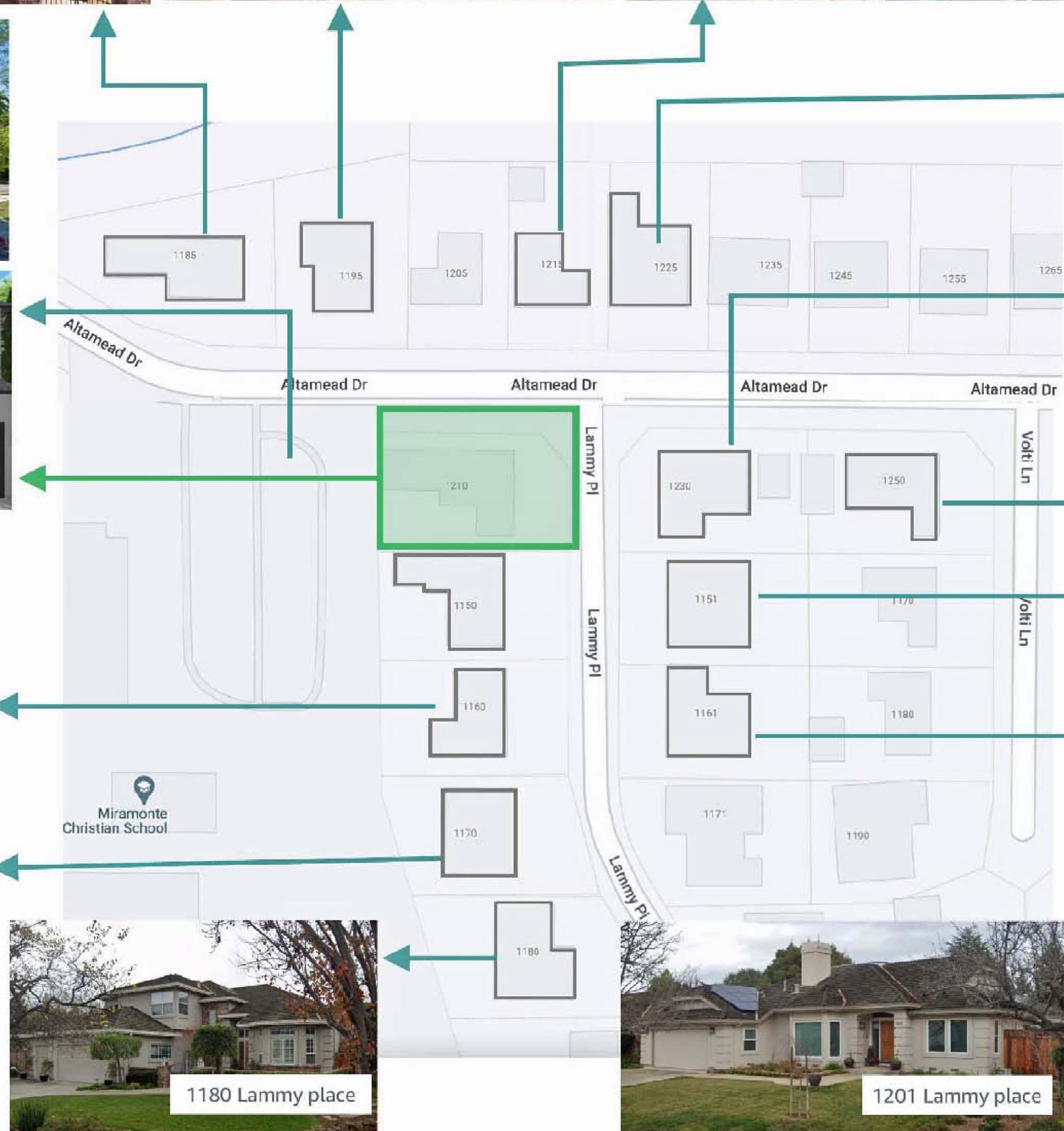
1210 Altamead Drive



1160 Lammy place



1170 Lammy place



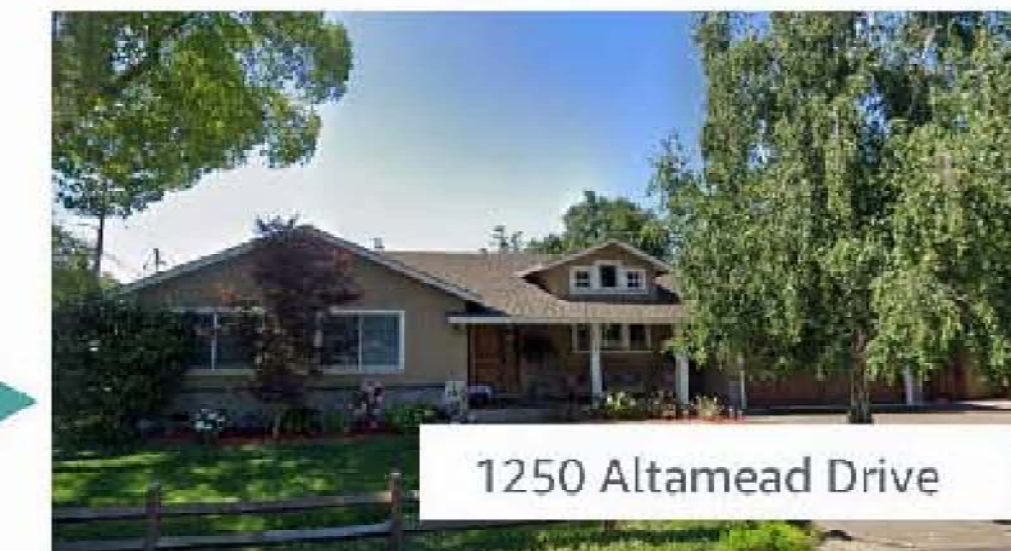
1180 Lammy place



1201 Lammy place



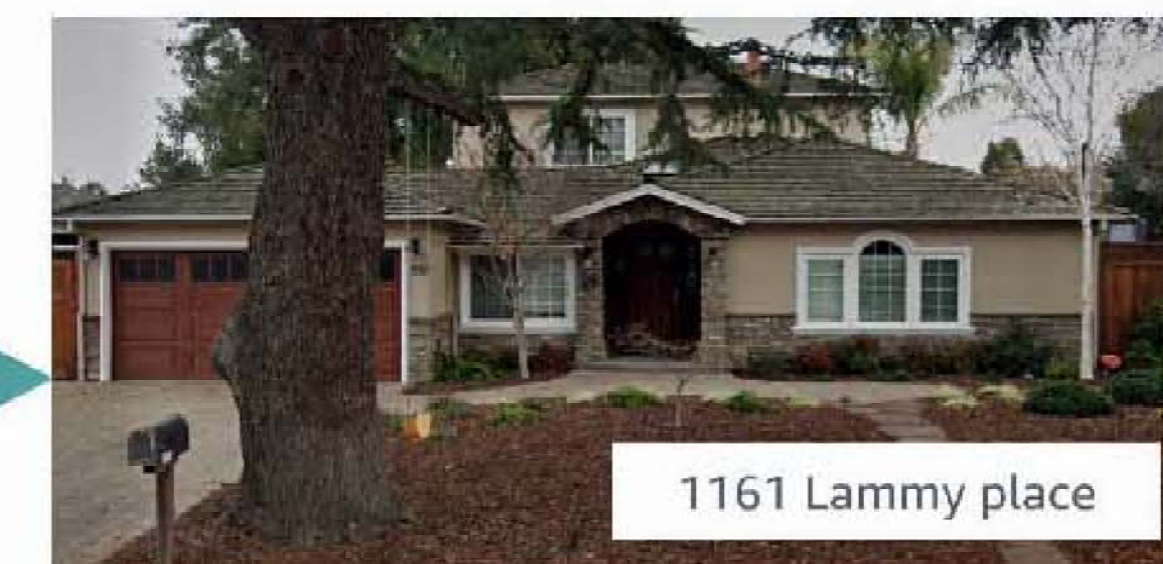
1230 Altamead Drive



1250 Altamead Drive



1151 Lammy place



1161 Lammy place

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 (408) 489-3029

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 JF BUILDING DESIGN

REVISIONS	BY

A New 2-Story Residence For:  
**Akshay Bhargava & Devina Prasad**  
 on the grounds at  
 1210 Altamead Dr., Los Altos, Ca 94024

DRAWN	JF
CHECKED	JF
DATE	1 NOV. 21
SCALE	AS NOTED
JOB NO.	209
SHEET	

NEIGHBORHOOD CONTEXT MAP





REAR



FRONT



RIGHT SIDE



REAR



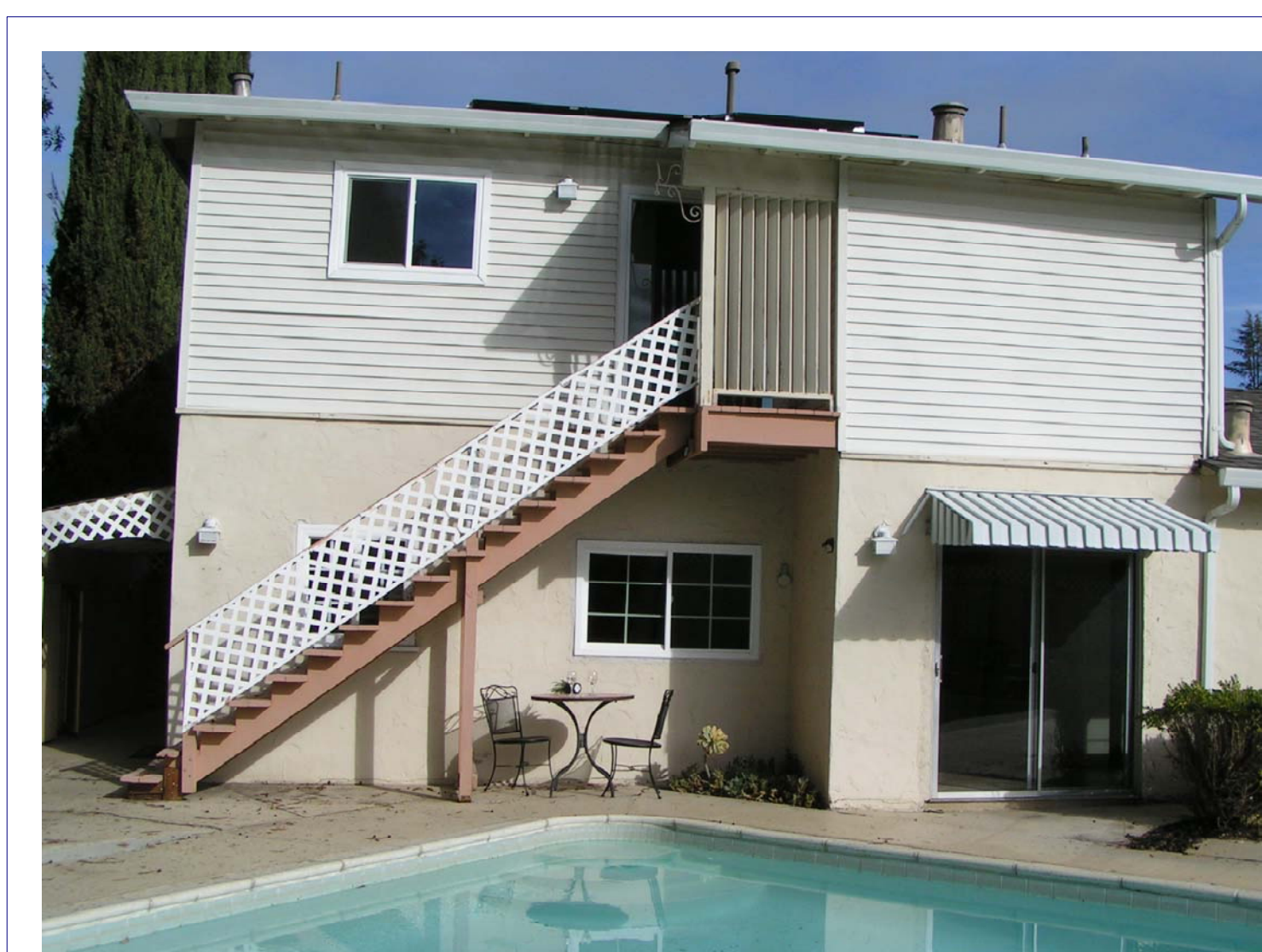
FRONT



RIGHT SIDE



REAR



REAR



FRONT

EXISTING HOUSE LAYOUT

*JF Building Design*  
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 JF BUILDING DESIGN

REVISIONS	BY

*A New 2-Story Residence For:*  
**Akshay Bhargava & Devina Prasad**  
 on the grounds at  
 1210 Altamead Dr., Los Altos, Ca 94024

PREPARED BY: Jonv C. Freel DATE: 2 April 22

DRAWN	JF
CHECKED	JF
DATE	1 NOV. 21
SCALE	AS NOTED
JOB NO.	219
SHEET	

**A10**  
 OF 8 SHEETS

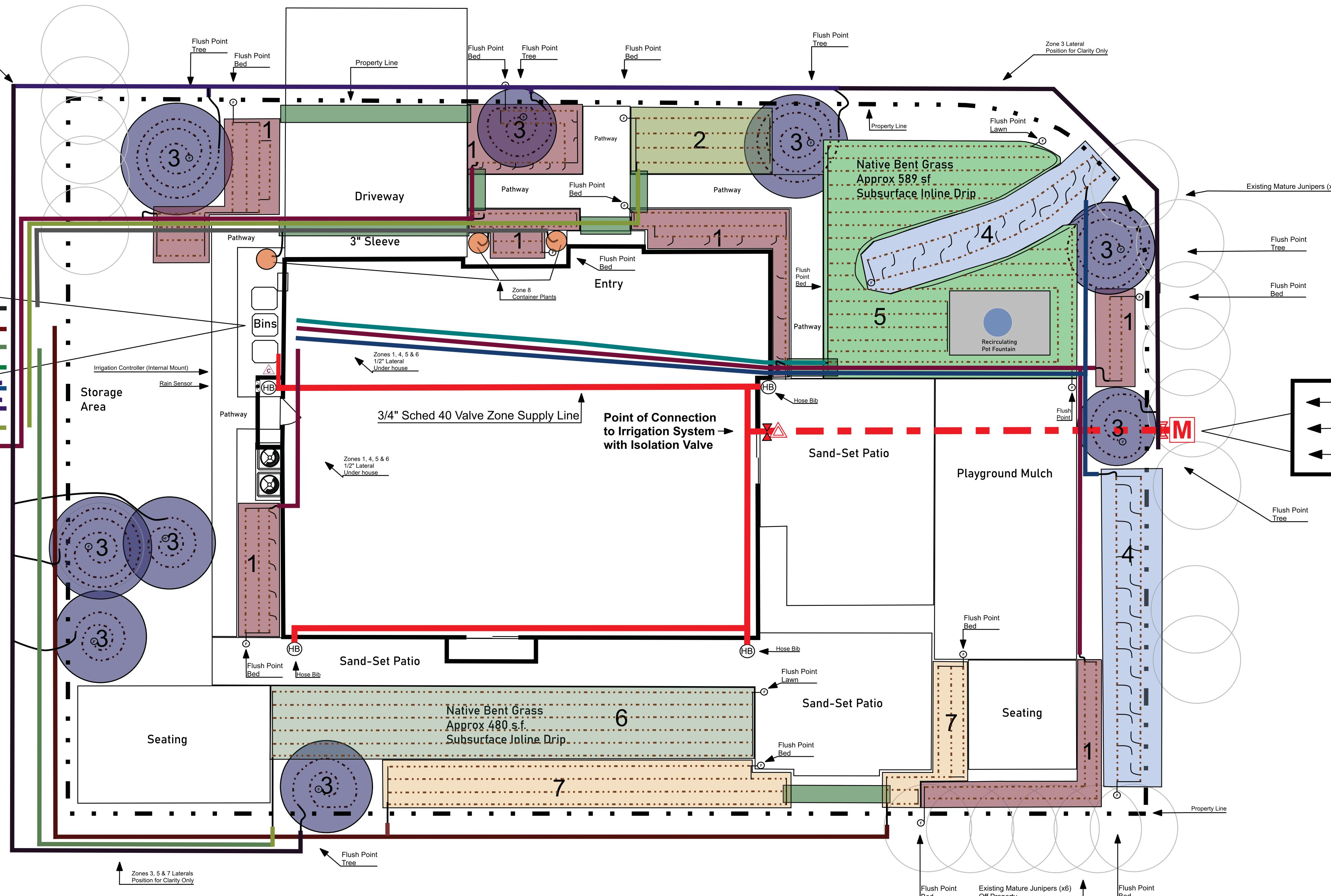
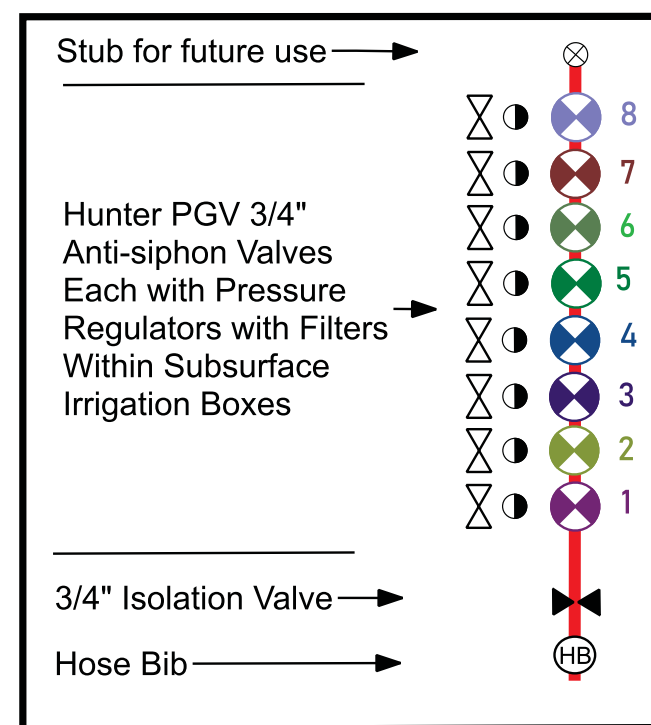






# Altamead Drive

Manifold and Pipe details placed away from install location for clarity.



<b>Zone 1</b> Inline Drip: Low 610 sq. ft. 325 lin. ft. tubing 9.0 gpm	<b>Zone 2</b> Inline Drip: Mod 125 sq. ft. 63 lin. ft. tubing 0.4 gpm
<b>Zone 3</b> Inline Drip: Mod 774 sq. ft. 390 lin. ft. tubing 3.0 gpm	<b>Zone 4</b> Inline Drip: Low 460 sq. ft. 130 lin. ft. tubing 0.9 gpm
<b>Zone 5</b> Lawn Inline Drip: Mod 589 sq. ft. 360 lin. ft. tubing 2.3 gpm	<b>Zone 6</b> Lawn Inline Drip: Mod 480 sq. ft. 335 lin. ft. tubing 2.3 gpm
<b>Zone 7</b> Succulents Inline Drip: Low 330 sq. ft. 235 lin. ft. 1.5 gpm	<b>Zone 8</b> Pots Inline Drip: Mod 6 sq. ft. 10 lin. ft. 3.0 gpm

5/8" Water Meter  
1" Isolation Valve  
1" PVC Main Delivery Line

## Irrigation

Quantity	Symbol	Description	Part Number
<b>Meter</b>			
1		5/8 inch meter	
<b>Control Valves</b>			
8		Hunter ICV-101G 1" Inline Globe	ICV-101G
8		Hunter Filter and Pres. Reg. 3/4" 30 PSI	HFR-075-40
1		Stub for future extensions	
<b>Mainline Pipe</b>			
26 ft		Residence Main Line: Schedule 40 1"	
185 ft		Irrigation Feed Line: Schedule 40 3/4"	
<b>Lateral Line Pipe</b>			
747 ft		Schedule 40 1/2": Color coded per zone	
<b>Sleeving</b>			
80 ft		3" Class 200 PVC	
<b>Drip Tubing</b>			
1835 ft		Netafim TLCV6-18	TLCV6-18
175 ft		1/2" Blank Polyethylene Tubing	
56 ft		Netafim 1/4" Micro Tubing	EDTube Black
See Details Page Netafim Fittings			

Quantity	Symbol	Description	Part Number
<b>Irrigation Accessories</b>			
1		Hunter Pro-C Hydrowise Controller	PC-400
2		3-Station Extension Plug-in module	PCM-300
10 ft		18/8 Irrigation Wire	
1		Hunter WR-CLIK Wireless Rain Sensor	WR-CLIK
15		Round Valve Boxes (Small, not inside raised beds)	
15		Flush Points in Round Valve Boxes	
17		1/2" Isolation valve	
1		3/4" Isolation valve	
1		1" Isolation valve	
1		Point of Connection	
4		Hose Bib	
See Details Page PVC Fittings			

Irrigation Notes	
<b>Drip</b>	<ol style="list-style-type: none"> <li>All low-water planted areas are dripped with inline Netafim TLCV6-12 at 18" row spacing. Planting areas are configured with grid patterns. All drip lines are fed by blank 17mm poly.</li> <li>Trees are to be positioned in rings specific to the plant's establishment and mature root areas. Each ring within a plant sequence is to be connected by 17mm blank poly tubing.</li> <li>Ensure that all plants have at least 2 emitters on the root ball. If necessary install 1/4" inline extensions to each side of the root ball. Use a Netafim Micro Tubing Adaptor plugged into a nearby Netafim Inline emitter, and run 1/4" tube onto the root ball, and stake down. These lines are specifically to get the plant established and to be moved from the base of the plant within 2 years. Ensure there is no irrigation closer than 2" from any mature tree base.</li> <li>The drip zones have dashed lines drawn in marking the positions of all the drip tubing.</li> </ol>
<b>Valves</b>	<ol style="list-style-type: none"> <li>Drip zones have Hunter ICV inline globe valves. Specific valve with flow range of 0.2 to 40 gpm. 30 PSI pressure regulators and drip filters are to be installed after each valve. All are all to be installed per installation detail. Filters may need to be located in adjoining box.</li> <li>Valve manifolds have an isolation valve directly upstream.</li> <li>Valves are to be installed within at surface irrigation boxes.</li> </ol>
<b>Pipes</b>	<ol style="list-style-type: none"> <li>The main pipe from the water meter to the point of connection is 1" schedule 40 PVC. The supply line to the irrigation system is 3/4" from POC to each valve manifold. Connection to the city water supply is shown on plan.</li> </ol>

General Notes	
<ol style="list-style-type: none"> <li>A 3" layer of mulch shall be applied to all exposed planting surfaces.</li> <li>A diagram of the hydrozone plan shall be kept with the Irrigation controller for subsequent management purposes</li> <li>A Certificate of Completion shall be filled out and certified by either the signer of the landscape plans, the signer of the irrigation plans, or the licensed Landscape Contractor for the project</li> <li>An irrigation audit report shall be completed at the time of final inspection.</li> <li>Irrigation water supply is city supplied potable water from the existing water meter located at the parkway.</li> <li>At the time of final inspection, the permit application must provide the owner of the property with a Certificate of Completion, Certificate of Installation, Irrigation Schedule, schedule of landscape maintenance, and a schedule of irrigation maintenance.</li> </ol>	<ol style="list-style-type: none"> <li>All zones are color coded with 1/2" PVC running directly from the valve to where the zone begins. PVC is connected to drip line by either blank 17mm polyethylene tubing or directly to the Netafim. It is very important that the blank tubing be 17mm to ensure a tight fit. These individual sizes are clearly marked on this plan. Be sure to install the correct size pipe or tubing, as they are designed to handle the maximum flow of each zone.</li> <li>On the edges of the drip zone, position the emitter line no more than 4" from the hardscaping edge.</li> <li>The supply and exhaust headers for each sub-line consist of a 1/2" blank polyethylene tubing.</li> <li>Each drip zone has a flush point at the hydraulic opposite end of the supply header. Install in dedicated valve boxes per detail instructions.</li> <li>Temporarily plug any emitters that will not be needed with Netafim plug. This plug can be removed once the roots have reached that area.</li> </ol>

Water Source	
Meter Size	5/8" Meter
Static Pressure	78 psi
Elevation Change	0

Service Line Information	
Pipe Category	Metal
Pipe Size	5/8"
Length	Approx 20'
Velocity	6.7 gpm

Recommendations	
Maximum Recommended Flow	6.5 gpm
Available Working Pressure	68 psi

Landscape Area	
Landscape area:	3,374 sq. ft.
Soil type:	Clay Loam
Static pressure:	63 PSI
Elevation Change:	0
Netafim TLCV6-18	17mm Drip
Drip emitter flow:	0.6 gph
Drip emitter spacing:	12"
Drip row spacing:	18"

Ginny Babbitt  
Irrigation Design  
408-394-4467

**SHEET DESCRIPTION:**  
Irrigation Plan Master Sheet  
Print Sgl Sheet Color 11" x 17"

**PROJECT:**  
Bhargava/Prasad Residence  
1210 Altamead Drive  
Los Altos, CA 94024

**REVISIONS:**  
V1.0 4.5.22

**DATE:**  
April 5, 2022

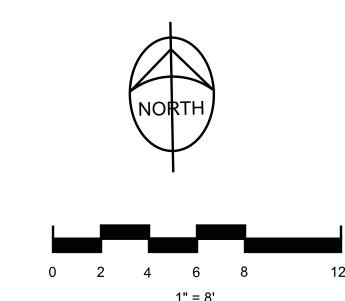
**JOB NUMBER:**  
1-1210

**DRAWN BY:**  
Ginny Babbitt

**CHECKED BY:**  
John Smith

**SCALE:**  
1" = 8'

**SHEET:**  
L1 of 6

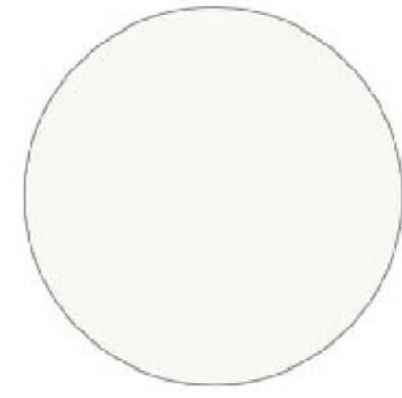


Designer's Statement  
This plan complies with the criteria of the Water Efficient Landscaping Ordinance and applies them accordingly for the efficient use of water in this irrigation design plan.  
*Ginny Babbitt*  
Ginny Babbitt  
Certified Irrigation Auditor  
CWA # 27-0099  
408-394-4467  
April 5, 2022



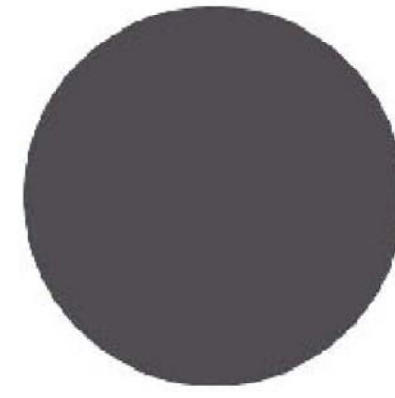
SHERWIN-WILLIAMS - EXTERIOR PAINT  
 ACRYLIC LATEX - SATIN  
 SMOOTH STUCCO FINISH

EXTERIOR



Smooth Stucco Finish  
 PURE WHITE SW 7005  
 Sherwin Williams

EXTERIOR TRIM



Trim Acrylic Latex - Satin  
 PERLE NOIR SW 9154  
 Sherwin Williams

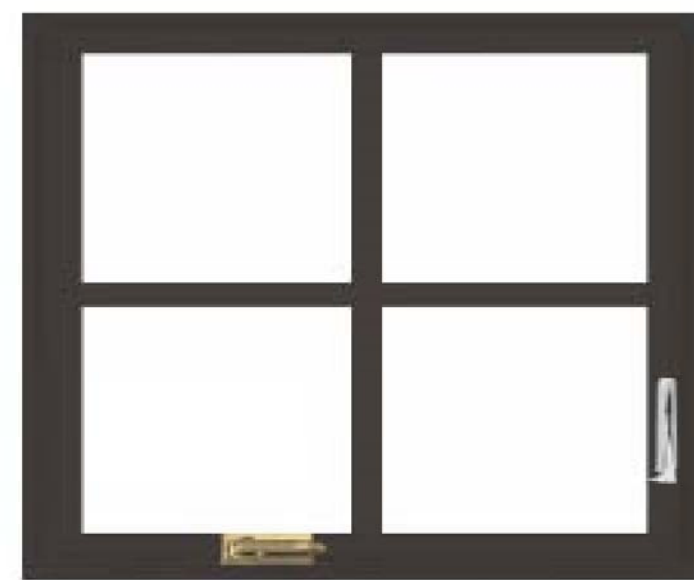


QUOIZEL MAREN 18" TALL OUTDOOR  
 LED OUTDOOR WALL SCONCE, MATT BLACK  
 MODEL # MAE8408MBK

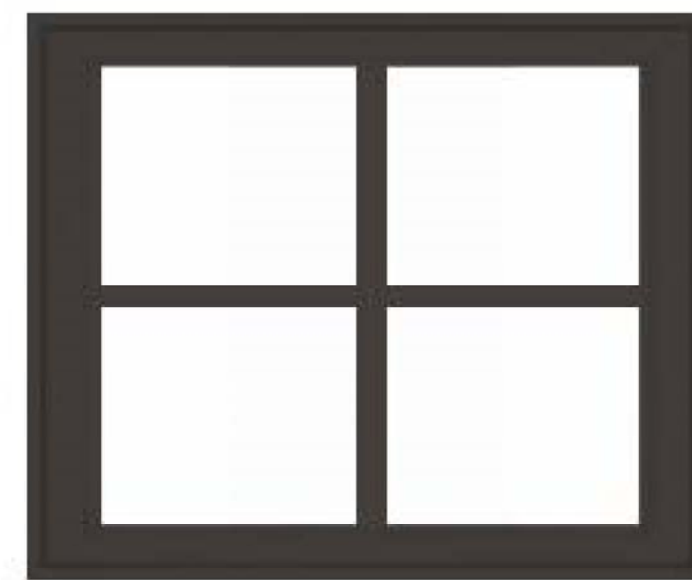


WAYNE DALTON O.H. GARAGE DR - BROWN  
 CLASSIC STEEL MODEL #9100, - STEEL

400 SERIES CASEMENT WINDOW



Interior  
 WOOD



Exterior  
 RIGID VINYL ENCASES  
 ALUMINUM CLAD

ANDERSON - 400 SERIES - DARK BRONZE  
 CASEMENT WINDOWS

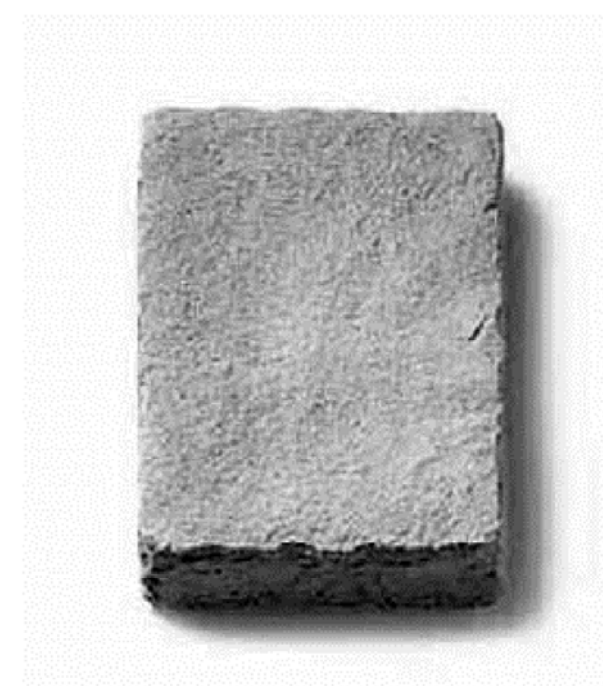


GAF-TIMBERLINE HDZ RS COMP ROOFING SHINGLES,  
 MEETS GREEN BUILDING STANDARDS. (SMOKEY GREY)



OGEE 6" BLACK ALUMINIUM GUTTER SYSTEM WITH  
 LOW GLOSS WHITE 3" ROUND DOWNSPOTS

PANEL STYLE #194 STRAIGHTLINE GLASS PANEL



CULTURED STONE - TRIM STONE - TAUPE

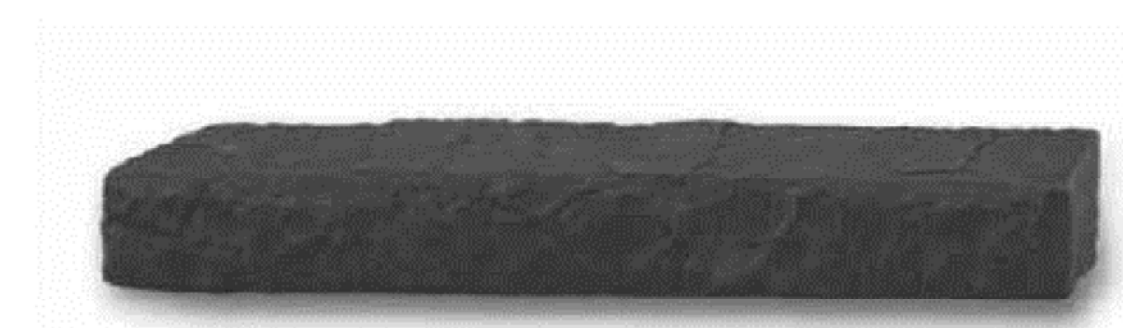


Interior  
 WOOD

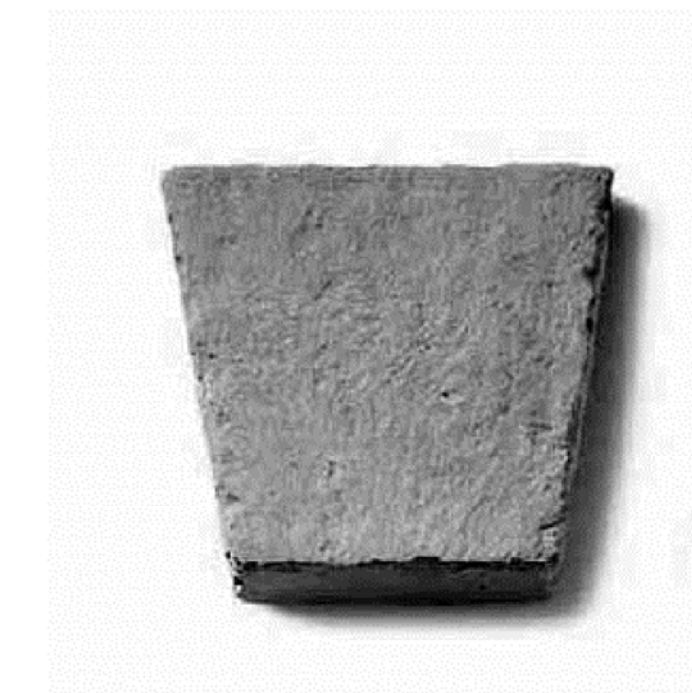


Exterior  
 ALUMINUM

ANDERSON PANEL FRONT DOOR - STYLE #194  
 STRAIGHTLINE GLASS PANEL SIERRA BRONZE



REDWOOD - WATERTABLE WINDOW SILL - NIGHTFALL



CULTURED STONE - KEYSTONE - TAUPE

MATERIALS AND COLOR BOARD

JF Building Design  
 P.O. Box 2818  
 Cupertino, Ca. 95015  
 (408) 489-3029

THE PLANS, IDEAS AND DESIGNS SHOWN ON THESE DRAWINGS ARE THE PROPERTY OF THE DESIGNER. DEvised SOLELY FOR THIS PROJECT. PLANS SHALL NOT BE USED, WHOLE OR IN PART, FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER.  
 JF BUILDING DESIGN

REVISIONS	BY

A New 2-Story Residence For:  
 Akshay Bhargava & Devina Prasad  
 on the grounds at  
 1210 Altamead Dr., Los Altos, Ca 94024

PREPARED BY: Jon C. Freel DATE: 14 Feb. 23  
 DRAWN: JF  
 CHECKED: JF  
 DATE: 1 NOV. 21  
 SCALE: AS NOTED  
 JOB NO.: 209  
 SHEET

CB  
 OF SHEETS