

NEW SINGLE FAMILY HOUSE FOR  
**TAWARI'S**  
705 Vista Grande, Los Altos, CA 94024-3159



NOTES:

SITE DIRECTION



SCOPE OF WORK

DEMOLITION OF 3,126 SF OF EXISTING RESIDENCE STRUCTURE, NEW CONSTRUCTION OF 3,827 SF MAIN HOUSE AND 757 SF ATTACHED ADU TWO STORY SINGLE FAMILY RESIDENCE OVER LOT 12,166 SF.

ZONING COMPLIANCE

THE PROJECT SHALL COMPLY WITH 2019 CALIFORNIA BUILDING CODE (CBC) 2019 CALIFORNIA RESIDENTIAL CODE 2019 CALIFORNIA MECHANICAL CODE 2019 CALIFORNIA PLUMBING CODE 2019 CALIFORNIA ELECTRICAL CODE 2019 CALIFORNIA ENERGY CODE 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE

CITY OF LOS ALTOS  
APN : 189-58-070

TYPE OF CONSTRUCTION :  
SECTION 1.1.3.1  
ZONE: R-1-10

LOT AREA: 12,166 SF  
HISTORICAL: NO

**NEW STRUCTURE**  
NEW TWO STORY ALLOWABLE FLOOR  
AREA : 5,160.9 SF

TOTAL FLOOR AREA

MAIN HOUSE LIVING AREA : 3744 SF  
ADU LIVING AREA : 757 SF

TOTAL COUNTABLE AREA : 4,501 SF

FRONT YARD SETBACK CALCULATIONS  
FRONTYARD AREA = 2,307 SF  
HARDSCAPE AREA = 890 SF  
TOTAL SOFTSCAPE AREA = 1,417 SF  
TOTAL SOFTSCAPE AREA (%) = 61.4%

PROJECT DIRECTORY

OWNER :	SANDESH TAWARI & SHIKHA TAWARI
ARCHITECT:	LIVIO BUILDING SYSTEMS
CIVIL ENGINEER /LAND SURVEYOR:	RW ENGINEERING 408-262-1899
LANDSCAPE ARCHITECT:	PVMLA LANDSCAPE ARCHITECTURE 650-270-0966 info@pvmla.com

SITE ANALYSIS

	EXISTING	PROPOSED	ALLOWED
<b>LOT COVERAGE</b> <small>LAND AREA COVERED BY ALL STRUCTURES THAT ARE OVER 6FT IN HEIGHT</small>	3126 SF (25.70%)	3,634 SF (29.87%)	3,650 SF (30%)
<b>FLOOR AREA</b> <small>MEASURED TO THE OUTSIDE SURFACE OF EXTERIOR WALLS</small>	3126 SF (25.70 %)	3827 SF (31.45%)	3860.9 SF (32.55 %)
		FIRST LEVEL = 2222 SF SECOND LEVEL = 1522 SF COVERED PORCH = 83 SF TOTAL = 3827 SF ADU = 757 SF	

SETBACKS

	EXISTING	PROPOSED	ALLOWED
FRONT (FIRST/SECOND)	20' 0"	25' / 34' 6 1/2"	25' 0' / 25' 0"
REAR (FIRST/SECOND)	2' 0"	29' 8 1/2" / 44' 6 1/2"	25' 0' / 25' 0"
RIGHT- EXTERIOR STREET SIDE (FIRST/SECOND)	12' 0"	20' / 24' 11 1/2"	20' 0' / 20' 0"
LEFT (FIRST/SECOND)	7' 11"	30' 4 1/2' / 30' 4 1/2"	10' 0' / 17' 6"
ADU	-	5' 6"	4'
HEIGHT OF THE BUILDING	14' 0"	26' 8 1/2"	27' 0"

SQUARE FOOTAGE BREAKDOWN

	EXISTING	CHANGE IN	PROPOSED
<b>HABITABLE AREA</b>	1003 SF	4041 SF	4041 SF
<b>NON-HABITABLE AREA</b> <small>DOES NOT INCLUDE COVERED PORCHES OR OPEN STRUCTURES</small>	696 SF	460 SF GARAGE = 460 SF	460 SF

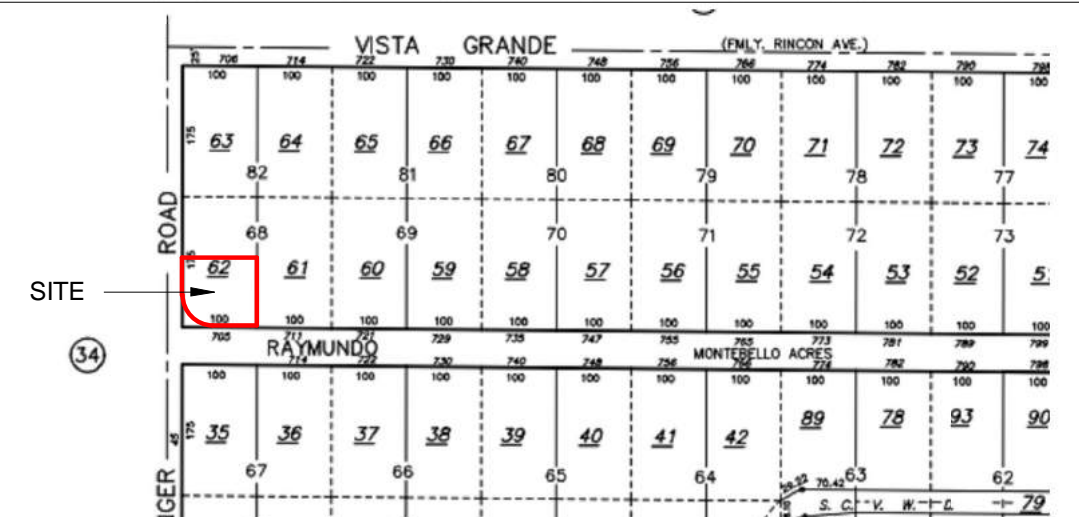
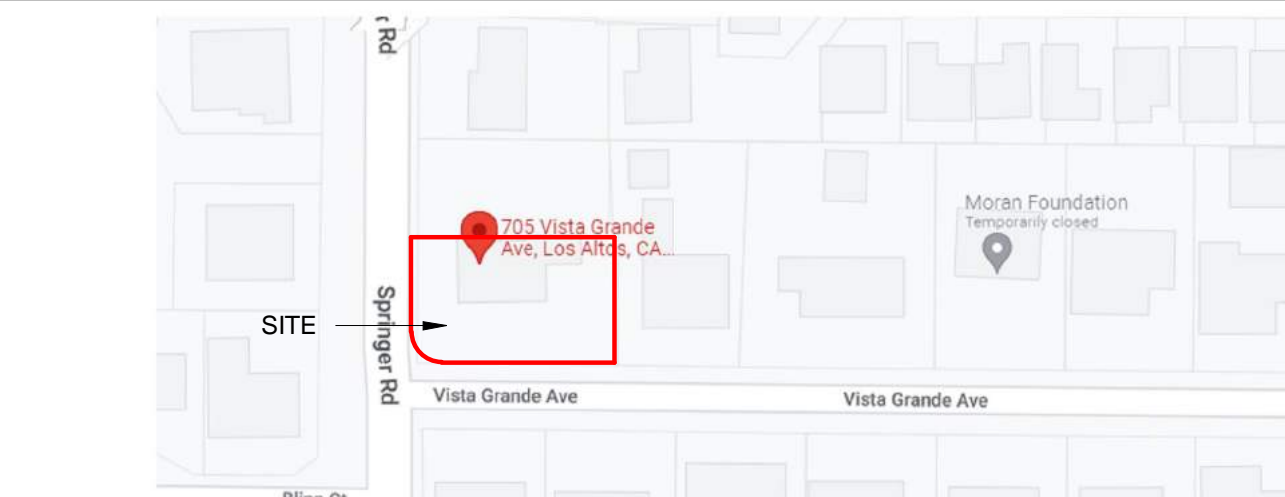
DEFERRED SUBMITTALS

FIRE SPRINKLERS IN ACCORDANCE WITH NFPA 13D AND STATE AND LOCAL REQUIREMENTS NOTE THAT PER CRC 313.3.7, A SIGN OR VALVE TAG SHALL BE INSTALLED AT THE MAIN SHUTOFF VALVE TO THE WATER DISTRIBUTION SYSTEM STATING THE FOLLOWING: WARNING, THE WATER SYSTEM FOR THIS HOME SUPPLIES FIRE SPRINKLERS THAT REQUIRE CERTAIN FLOWS AND PRESSURES TO FIGHT A FIRE. DEVICES THAT RESTRICT THE FLOW OR DECREASE THE PRESSURE OR AUTOMATICALLY SHUT OFF THE WATER TO THE FIRE SPRINKLER SYSTEM, SUCH AS WATER SOFTENERS, FILTRATION SYSTEMS AND AUTOMATIC SHUTOFF VALVES, SHALL NOT BE ADDED TO THIS SYSTEM WITHOUT A REVIEW OF THE FIRE SPRINKLER SYSTEM BY A FIRE PROTECTION SPECIALIST. DO NOT REMOVE THIS SIGN.

GENERAL NOTES

- HERS VERIFICATION REQUIRED FOR THE HVAC COOLING, HVAC DISTRIBUTION SYSTEM FAN SYSTEMS, AND IAQ (INDOOR AIR QUALITY). PROVIDE EVIDENCE OF THIRD PARTY VERIFICATION (HERS) TO PROJECT BUILDING INSPECTOR, PRIOR TO FINAL INSPECTION.
- AT FINAL INSPECTION, A MANUAL, COMPACT DISC, WEB-BASED REFERENCE, OR OTHER ACCEPTABLE MEDIA INCLUDING ITEMS 1 THROUGH 10 IN ACCORDANCE WITH CGBC SECTION 4.410.1 SHALL BE PLACED IN THE BUILDING.
- ALL ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS, AND AEROSOL PAINT CONTAINERS MUST REMAIN ON THE SITE FOR FIELD VERIFICATION BY THE BUILDING INSPECTOR.
- PRIOR TO ENCLOSING THE WALL AND FLOOR FRAMING, CONFIRMATION MUST BE PROVIDED TO THE BUILDING INSPECTOR SHOWING THE FRAMING MEMBERS DO NOT EXCEED 19% MOISTURE CONTENT.
- PRIOR TO OCCUPANCY OF THE BUILDING, PROVIDE A LETTER FROM THE CERTIFIED GREENPOINT RATER THAT VERIFIES COMPLIANCE WITH THE CHECKLIST AND THE MINIMUM REQUIRED POINTS WERE ACHIEVED.
- PROPERTY LINE SURVEY WILL BE COMPLETED BY LICENSED SURVEYOR AND PROVIDED TO THE BUILDING INSPECTOR PRIOR TO FOUNDATION INSPECTION
- BUILDING HEIGHT VERIFICATION WILL BE COMPLETED BY LICENSED SURVEYOR AND PROVIDED TO THE BUILDING INSPECTOR PRIOR TO FRAMING INSPECTION
- INSTALLATION INSTRUCTIONS FOR ALL LISTED EQUIPMENT SHALL BE PROVIDED TO THE BUILDING INSPECTOR AT ROUGH INSPECTION

VICINITY MAP N.T.S



DRAWING INDEX

SHEET NUMBER	DRAWING NAME	ISSUE DATE
A-1.001	TITLE SHEET	02-16-2023
A-1.002	SITE CONTEXT MAP	02-16-2023
A-1.003	NEIGHBOURHOOD CONTEXT	02-16-2023
A-1.004	SITE LAYOUT	02-16-2023
A-1.005	SITE DEMOLITION LAYOUT	02-16-2023
A-1.006	TREE PROTECTION PLAN	02-16-2023
A-2.001	FIRST FLOOR PLAN	02-16-2023
A-2.002	SECOND FLOOR PLAN	02-16-2023
A-2.003	ROOF PLAN	02-16-2023
A-3.001	FRONT AND REAR ELEVATION	02-16-2023
A-3.002	LEFT AND RIGHT ELEVATION	02-16-2023
A-4.001	SECTION A-A AND B-B	02-16-2023
A-4.002	SECTION C-C	02-16-2023
A-5.001	DOOR SCHEDULE	02-16-2023
A-5.002	WINDOW SCHEDULE	02-16-2023
A-6.001	AREA CALCULATION	02-16-2023
A-7.001	TYPICAL DETAILS	02-16-2023
A-7.002	MATERIAL BOARD	02-16-2023
C-1	GRADING AND DRAINAGE PLAN	02-16-2023
C-2	DETAILS	02-16-2023
C-3	EROSION CONTROL PLAN	02-16-2023
C-4	STANDARD DETAILS	02-16-2023
L-1	COVER SHEET	02-16-2023
L-2	LANDSCAPE LAYOUT	02-16-2023
L-3	PLANTING PLAN	02-16-2023
SU-1	TOPOGRAPHIC MAP	02-16-2023
SU-2	TENTATIVE MAP	02-16-2023
U-1	UTILITY PLAN	02-16-2023

REVISIONS :

REV.	DESCRIPTION	DATE	REV BY
Δ	REVISED AS PER PLANNER'S COMMENTS	12-16-2022	SAGAR
Δ	REVISED AS PER PLANNER'S COMMENTS	02-16-2022	SAGAR

NOTES:

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PROJECT : 705 VISTA GRANDE AVE-LOT B, LOS ALTOS, CA

TITLE SHEET

DATE: 02-16-2023

DRAWN BY: SAGAR

CHECKED BY: SUBHENDU

SCALE: 1/4" = 1'-0"

SHEET NO:

**A-1.001**

ADDRESS : 329 S San Antonio Road Suite #4, Los Altos, CA 94022

CONTACT : 650-209-6500

EMAIL : team@golivio.com



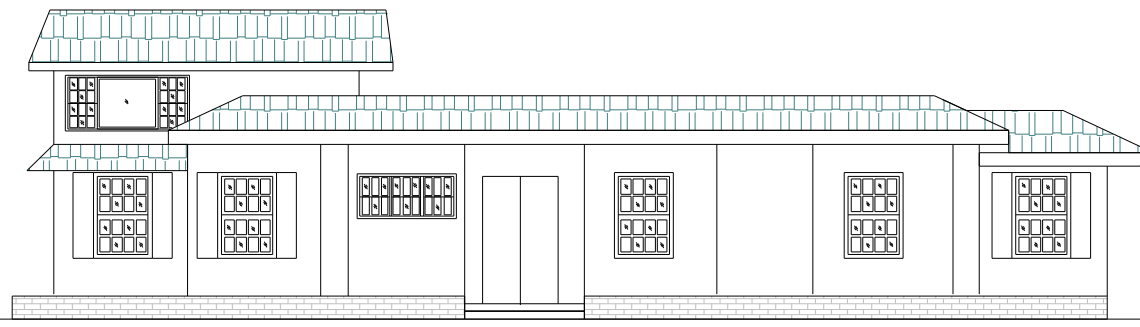




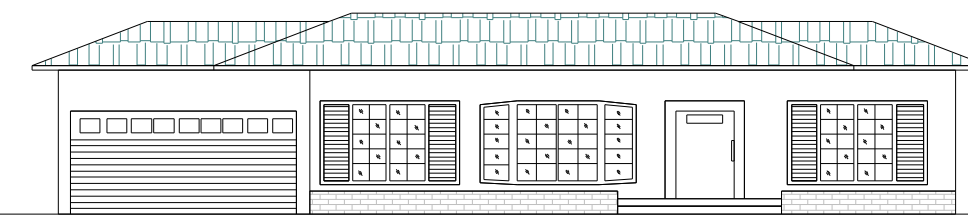
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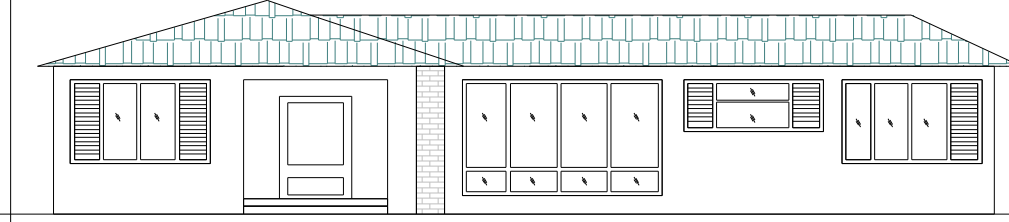
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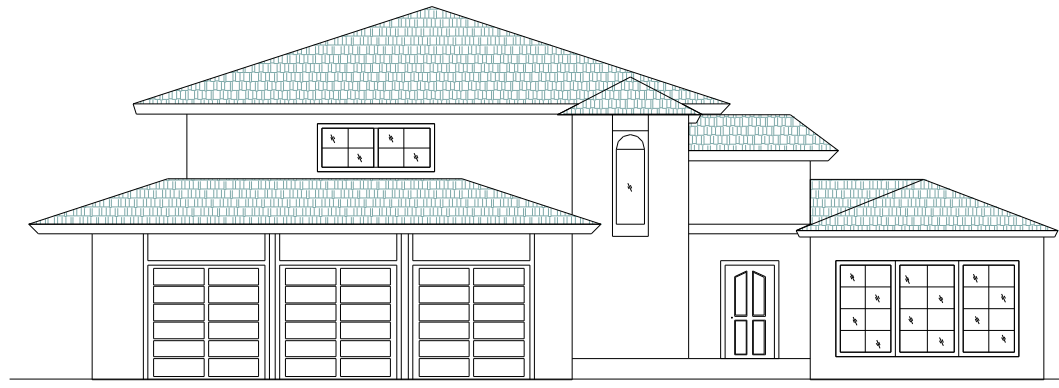


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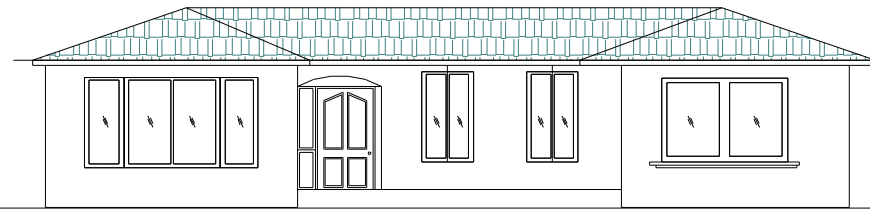


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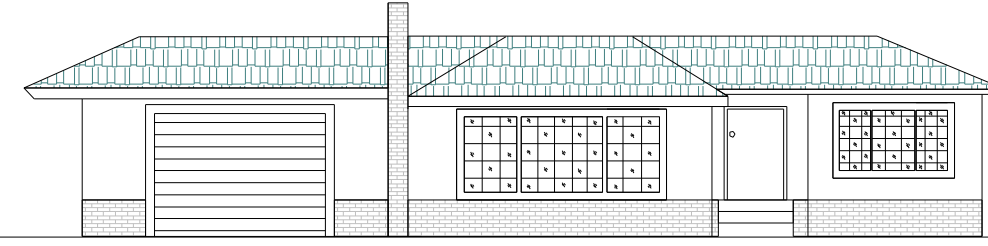
VISTA GRANDE AVE



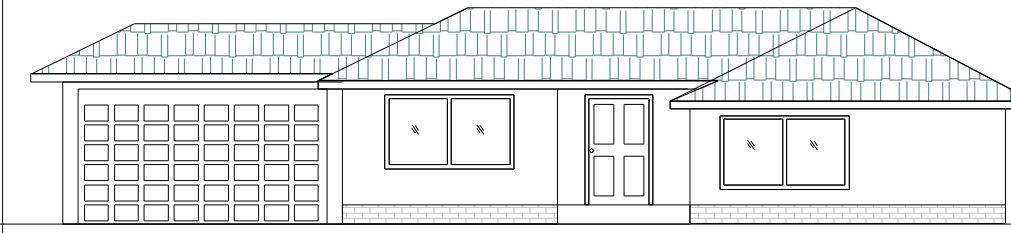
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184



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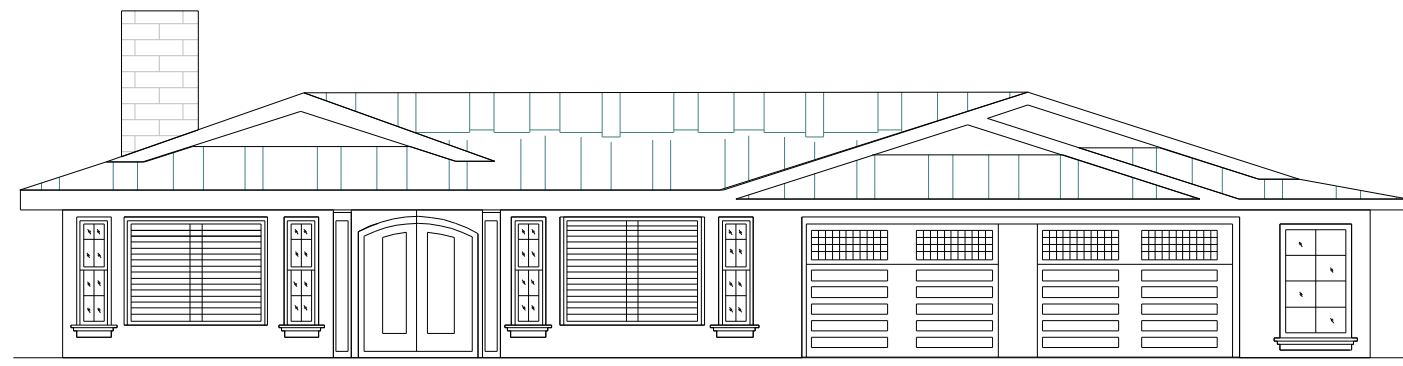


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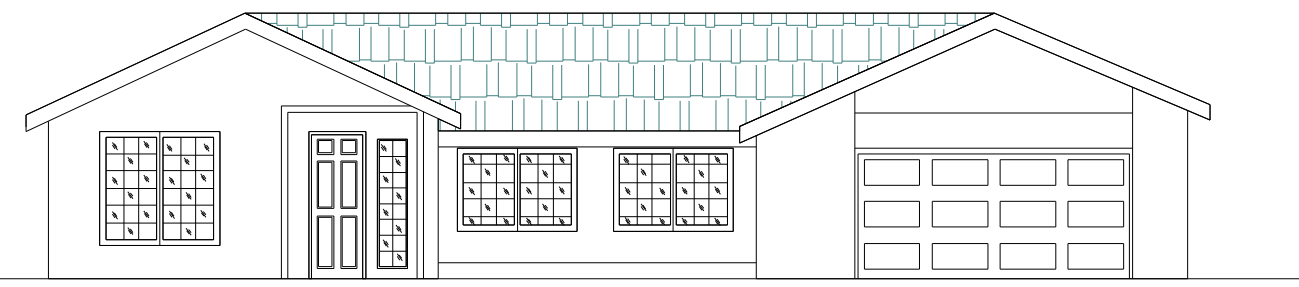


706 LOT A

SPRINGER RD

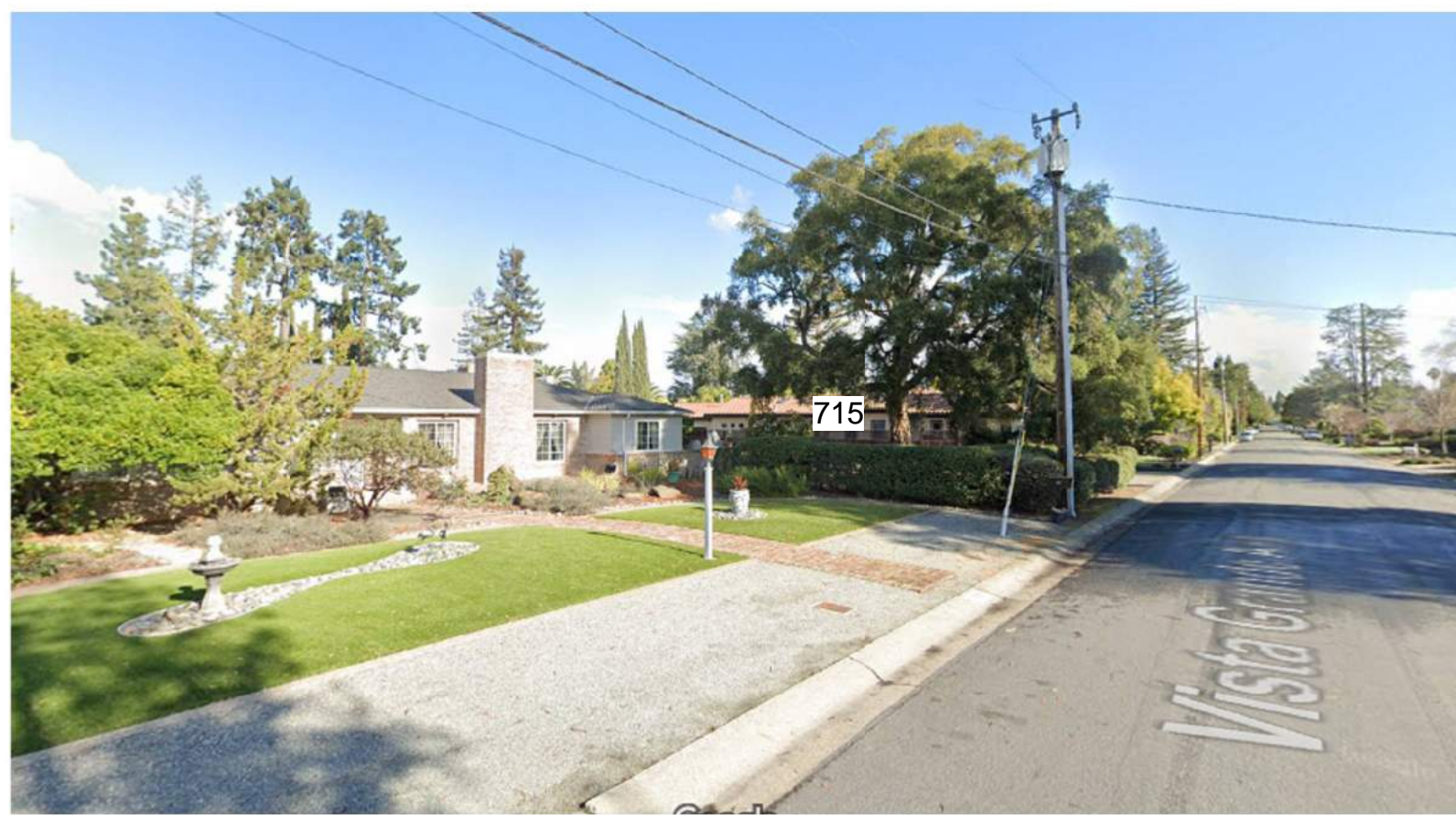


685



690

BLINN CT



VIEW LOOKING OF 705 VISTA GRANDE LOT B EXISTING HOUSE



Site Map  
1/2" = 1'-0"

NOTES:



REVISIONS :

REV.	DESCRIPTION	DATE	REV BY
1	REVISED AS PER PLANNER'S COMMENTS	12-16-2022	SAGAR
2	REVISED AS PER PLANNER'S COMMENTS	02-16-2022	SAGAR

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PROJECT : 705 VISTA GRANDE AVE-LOT B, LOS ALTOS, CA

SITE CONTEXT MAP

DATE: 02-16-2023

DRAWN BY: SAGAR

CHECKED BY: SUBHENDU

SCALE: As indicated

SHEET NO:

A-1.002

ADDRESS : 329 S San Antonio Road Suite #4, Los Altos, CA 94022

CONTACT : 650-209-6500

EMAIL : team@golivio.com





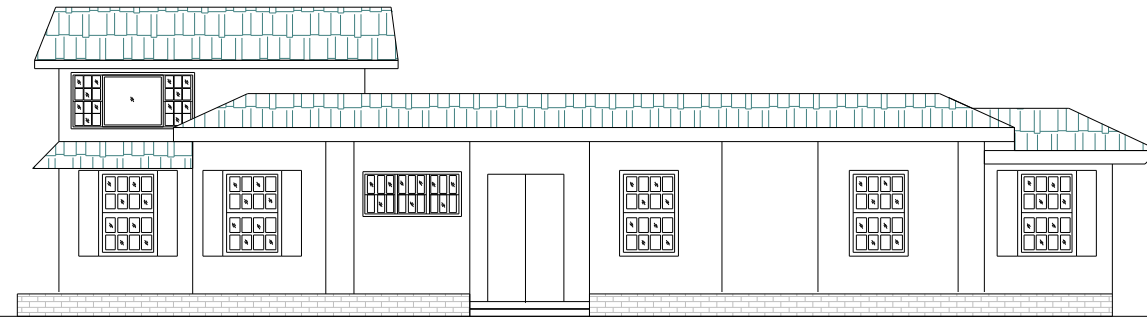
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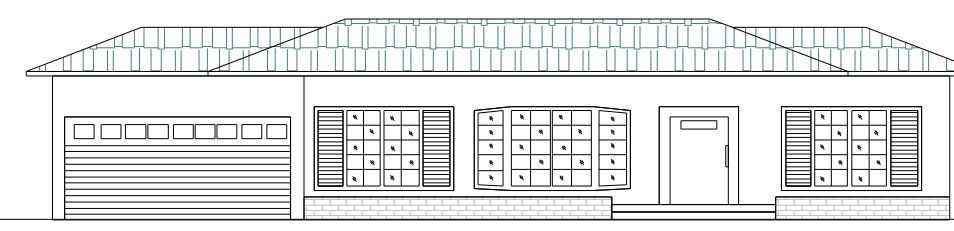
**705 VISTA GRANDE AVE**  
TWO STORY, HIP AND GABLE ROOF



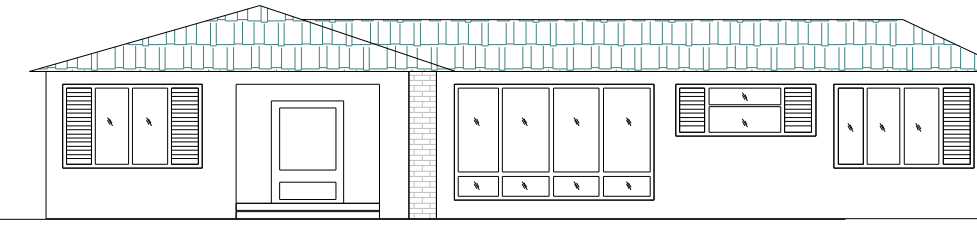
**715**  
ONE STORY, HIP ROOF



**729**  
TWO STORY, HIP AND GABLE ROOF



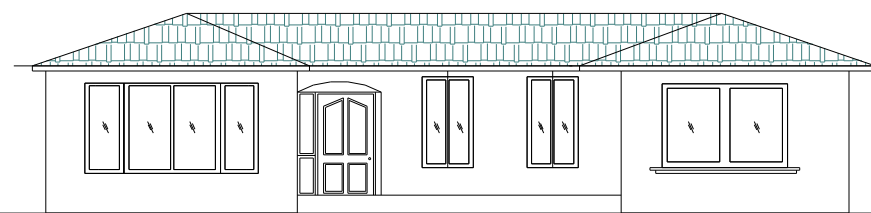
**714**  
ONE STORY, HIP ROOF



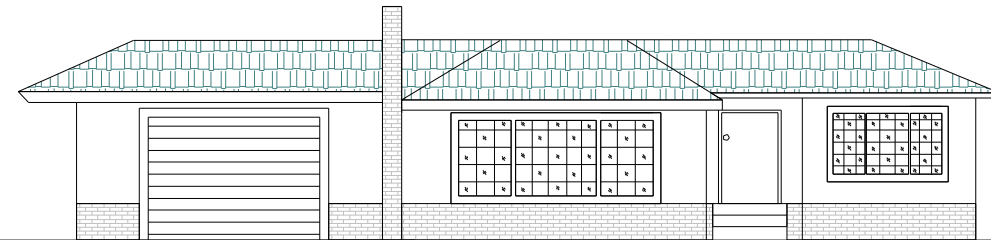
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ONE STORY, HIP ROOF



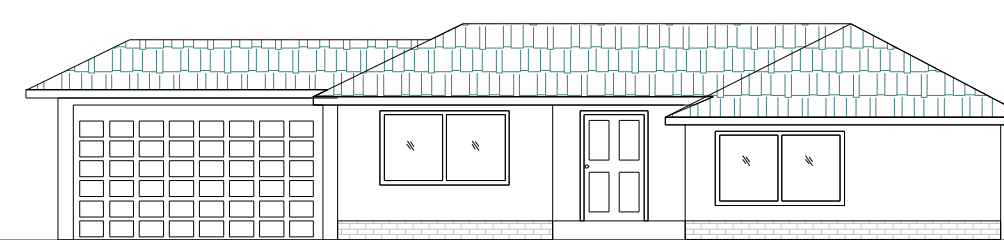
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TWO STORY, HIP ROOF



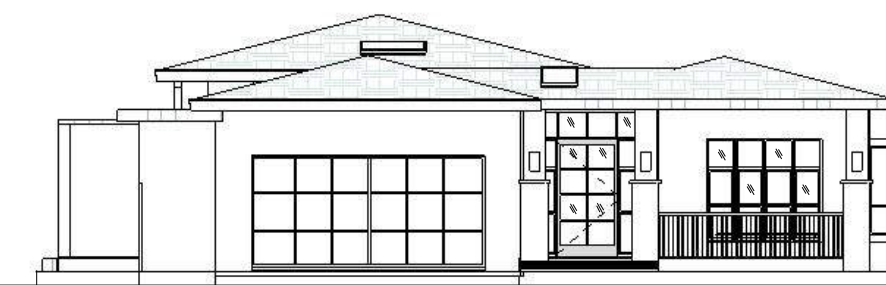
**184**  
ONE STORY, HIP ROOF



**206**  
ONE STORY, HIP ROOF



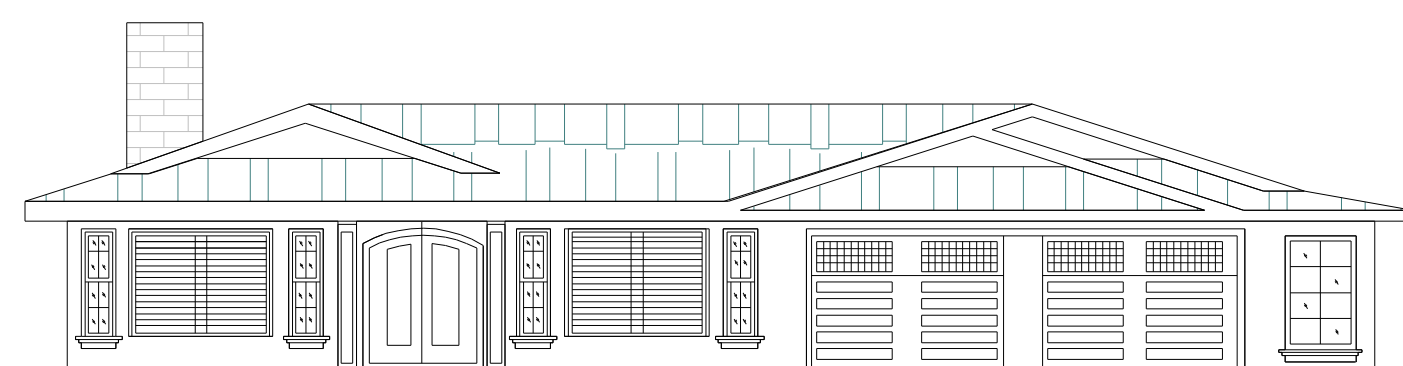
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ONE STORY, HIP ROOF



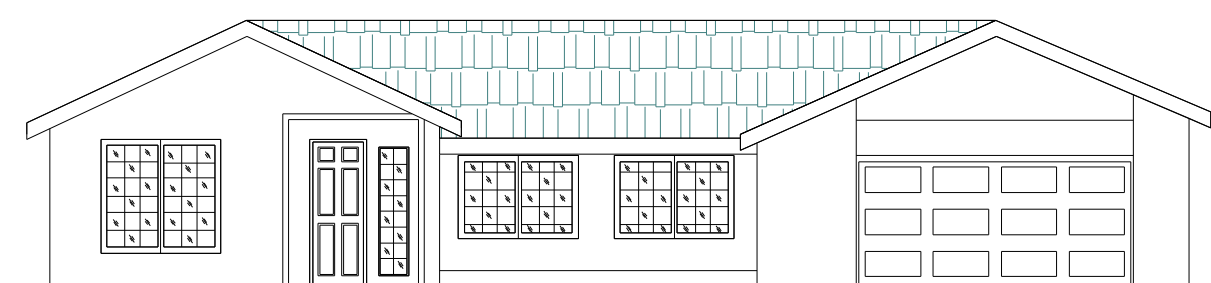
**706 LOT A**  
ONE STORY, HIP ROOF



**SPRINGER RD**

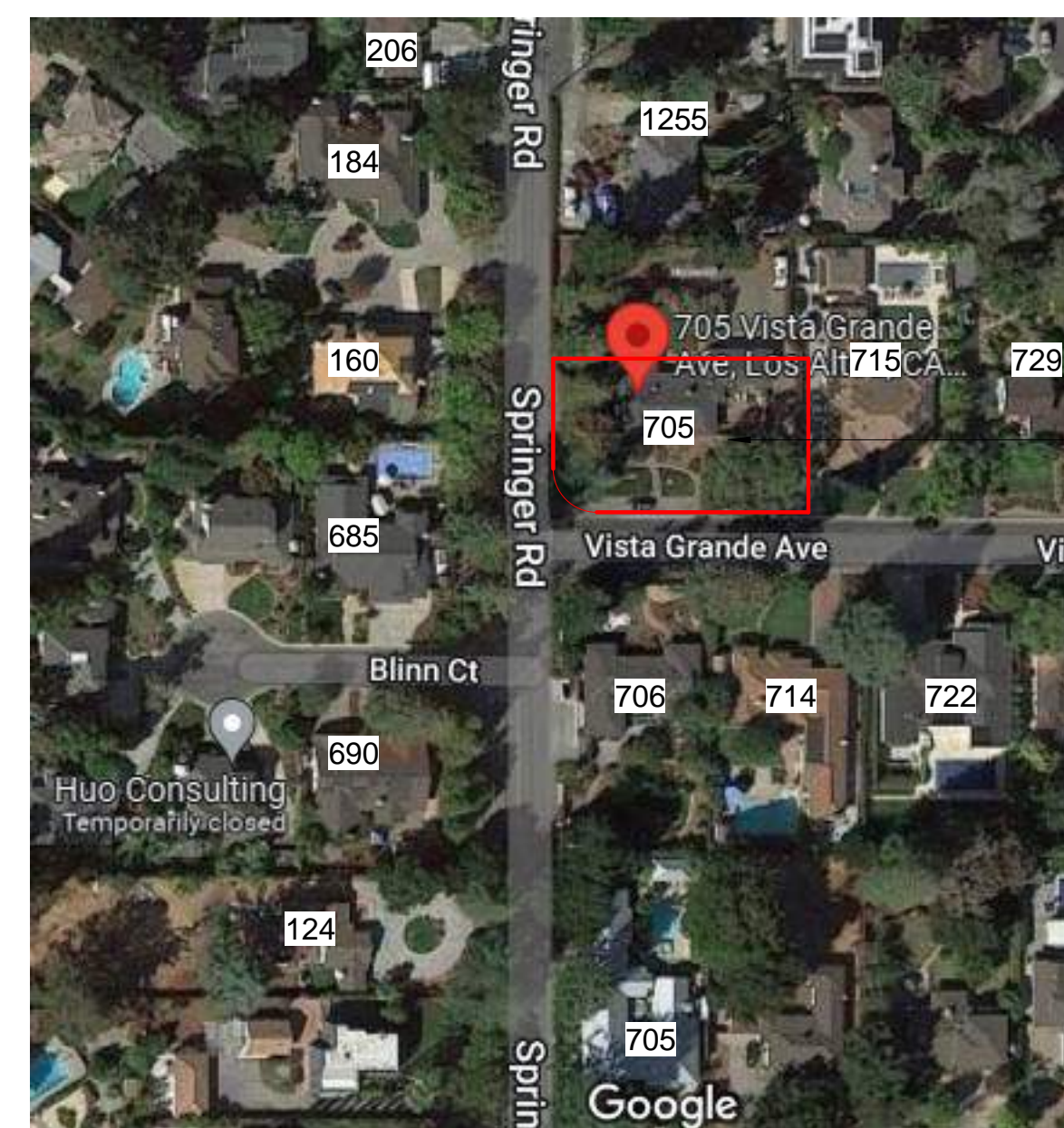


**685**  
ONE STORY, HIP AND GABLE ROOF



**690**  
ONE STORY, HIP AND GABLE ROOF

**BLINN CT**



CONTEXT MAP

REVISIONS :

REV.	DESCRIPTION	DATE	REV BY
1	REVISED AS PER PLANNER'S COMMENTS	12-16-2022	SAGAR
2	REVISED AS PER PLANNER'S COMMENTS	02-16-2022	SAGAR

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PROJECT : 705 VISTA GRANDE AVE-LOT B, LOS ALTOS, CA

NEIGHBOURHOOD CONTEXT

DATE: 02-16-2023

DRAWN BY: SAGAR

CHECKED BY: SUBHENDU

SCALE: As indicated

SHEET NO:  
**A-1.003**

ADDRESS : 329 S San Antonio Road Suite #4, Los Altos, CA 94022  
CONTACT : 650-209-6500  
EMAIL : team@golivio.com





**SITE BENCHMARK**

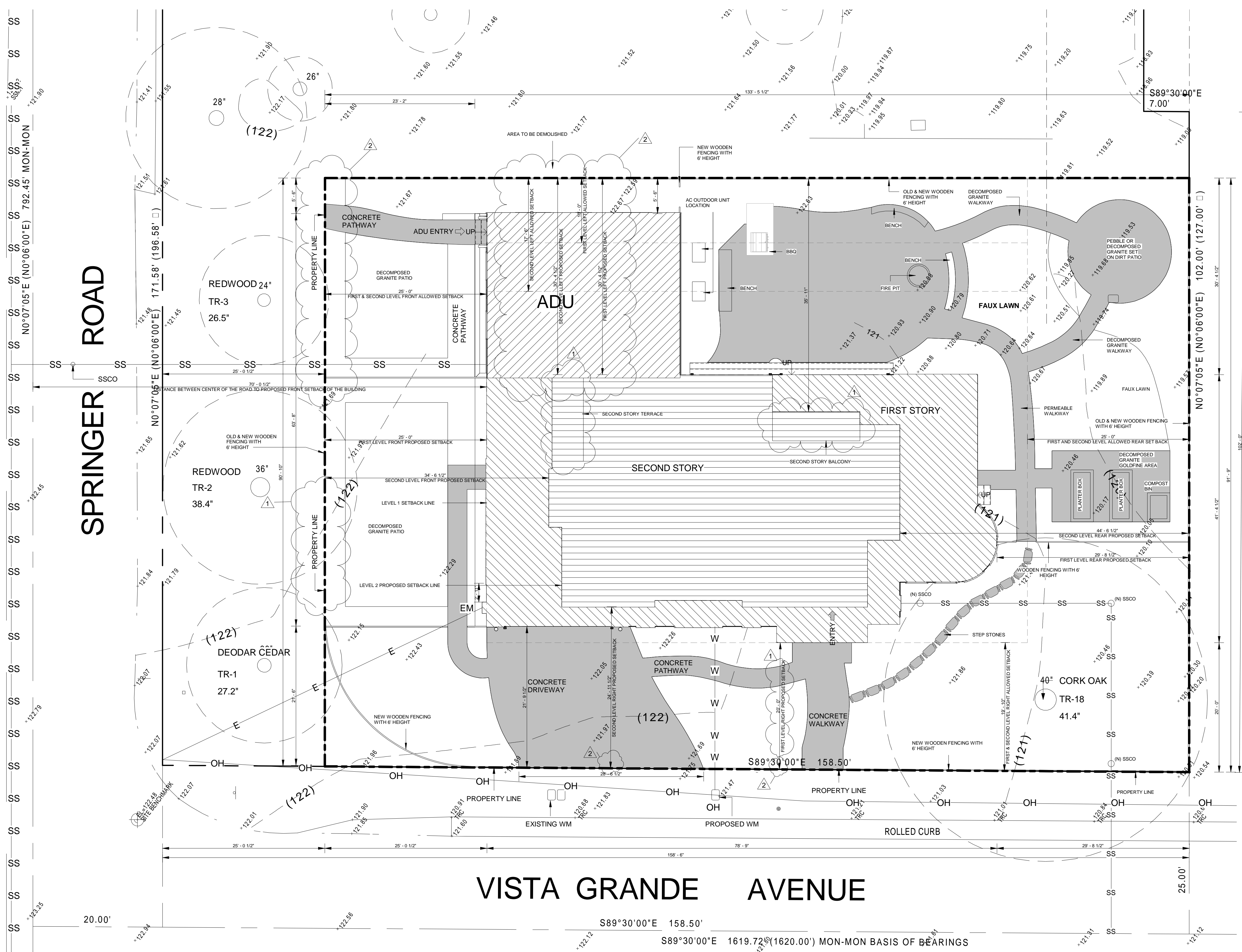
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NAVD 1988 DATUM

**BASIS OF BEARINGS**

THE BEARING S89°30'00"E OF CENTERLINE OF ARROYO ROAD AS SHOWN ON MAP OF SUBDIVISION OF MONTEBELLO ACRES FILED IN BOOK "X" OF MAPS AT PAGE 1-3, SANTA CLARA COUNTY RECORDS.

**SITE DATA**

705 VISTA GRANDE  
LOS ALTOS, CA  
APN: 189-58-070  
AREA=12,177 S.F.



1 SITE PLAN  
1/8" = 1'-0"

**NOTES:**

**SITE LEGENDS**

- AREA TO BE DEMOLISHED
- PROPOSED MAIN HOUSE
- SECOND STOREY FOOTPRINT
- SETBACK LINE
- PROPERTY LINE
- OVERHEAD LINE
- JOINT TRENCH
- SANITARY SEWER
- WATER LINE
- FIRST STOREY
- ADU
- TREE PROTECTION FENCING
- SECOND STORY



**REVISIONS :**

REV.	DESCRIPTION	DATE	REV BY
1	REVISED AS PER PLANNER'S COMMENTS	12-16-2022	SAGAR
2	REVISED AS PER PLANNER'S COMMENTS	02-16-2022	SAGAR

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PROJECT : 705 VISTA GRANDE AVE-LOT B, LOS ALTOS, CA

**SITE LAYOUT**

DATE: 02-16-2023

DRAWN BY: JUNED

CHECKED BY: SUBHENDU

SCALE: As indicated

SHEET NO: A-1.004

ADDRESS : 329 S San Antonio Road Suite #4, Los Altos, CA 94022  
CONTACT : 650-209-6500  
EMAIL : team@golivio.com



**SITE BENCHMARK**

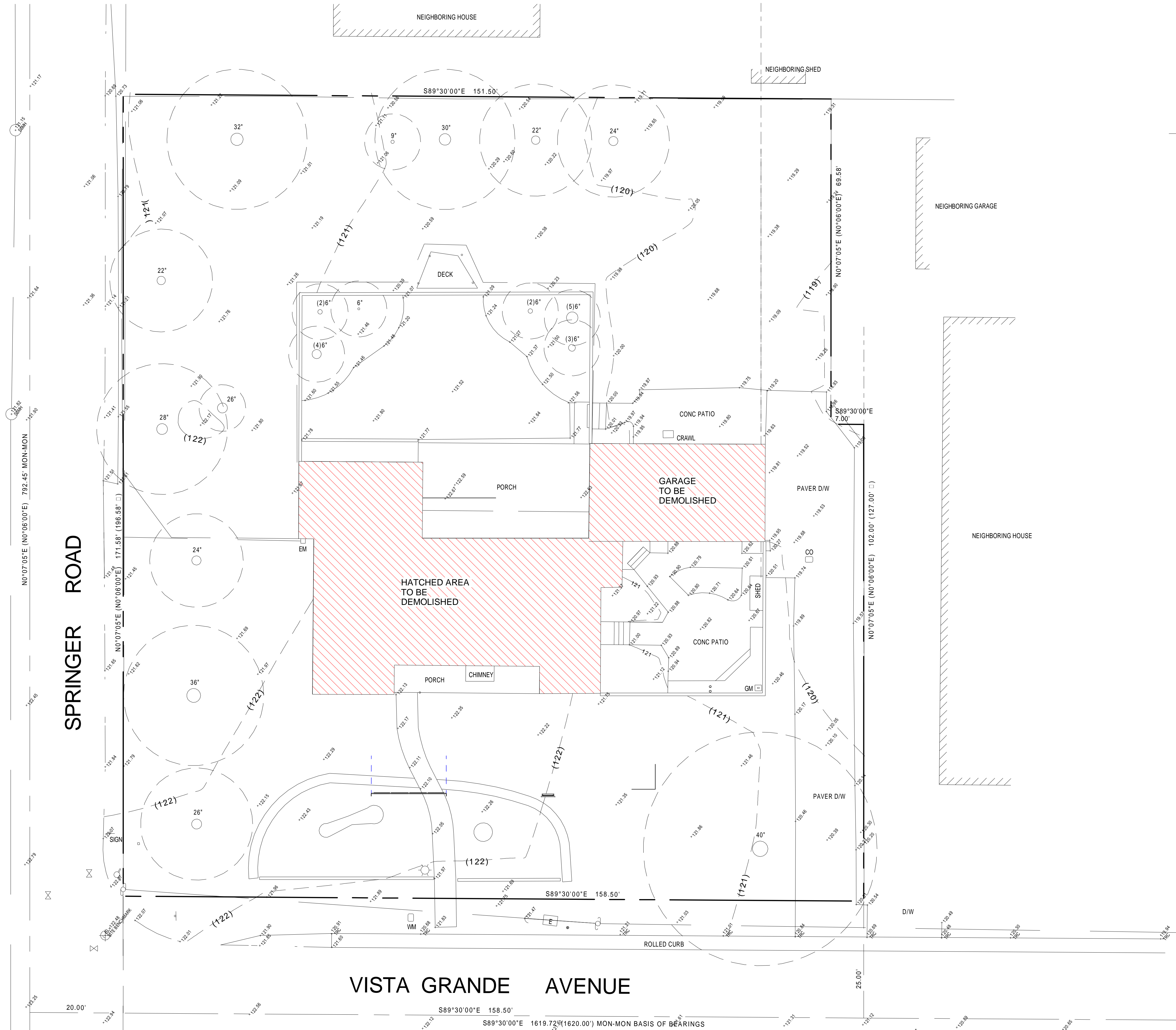
SET NAIL ELEVATION=122.48  
NAVD 1988 DATUM

**BASIS OF BEARINGS**

THE BEARING S89°30'00"E OF CENTERLINE OF ARROYO ROAD AS SHOWN ON MAP OF SUBDIVISION OF MONTEBELLO ACRES FILED IN BOOK "X" OF MAPS AT PAGE 1-3, SANTA CLARA COUNTY RECORDS.

**SITE DATA**

705 VISTA GRANDE  
LOS ALTOS, CA  
APN: 189-58-070  
AREA=12,109 S.F.



NOTES:



REVISIONS :

REV.	DESCRIPTION	DATE	REV BY
1	REVISED AS PER PLANNER'S COMMENTS	12-16-2022	SAGAR
2	REVISED AS PER PLANNER'S COMMENTS	02-16-2022	SAGAR

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PROJECT : 705 VISTA GRANDE AVE-LOT B, LOS ALTOS, CA

SITE DEMOLITION LAYOUT

DATE:	02-16-2023
DRAWN BY:	SAGAR
CHECKED BY:	SUBHENDU
SCALE:	3/32" = 1'-0"
SHEET NO:	A-1.005
ADDRESS:	329 S San Antonio Road Suite #4, Los Altos, CA 94022
CONTACT:	650-209-6500
EMAIL:	team@golivio.com

1 SITE DEMOLITION  
3/32" = 1'-0"





NOTES:



**SITE DATA**

705 VISTA GRANDE AVE,  
LOS ALTOS, CA  
APN : 189-58-070  
AREA : 12,177 SF

**REVISIONS :**

REV.	DESCRIPTION	DATE	REV BY
1	REVISED AS PER PLANNER'S COMMENTS	12-16-2022	SAGAR
2	REVISED AS PER PLANNER'S COMMENTS	02-16-2022	SAGAR

**NOTES:**

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PROJECT : 705 VISTA GRANDE AVE-LOT B, LOS ALTOS, CA

**TREE PROTECTION PLAN**

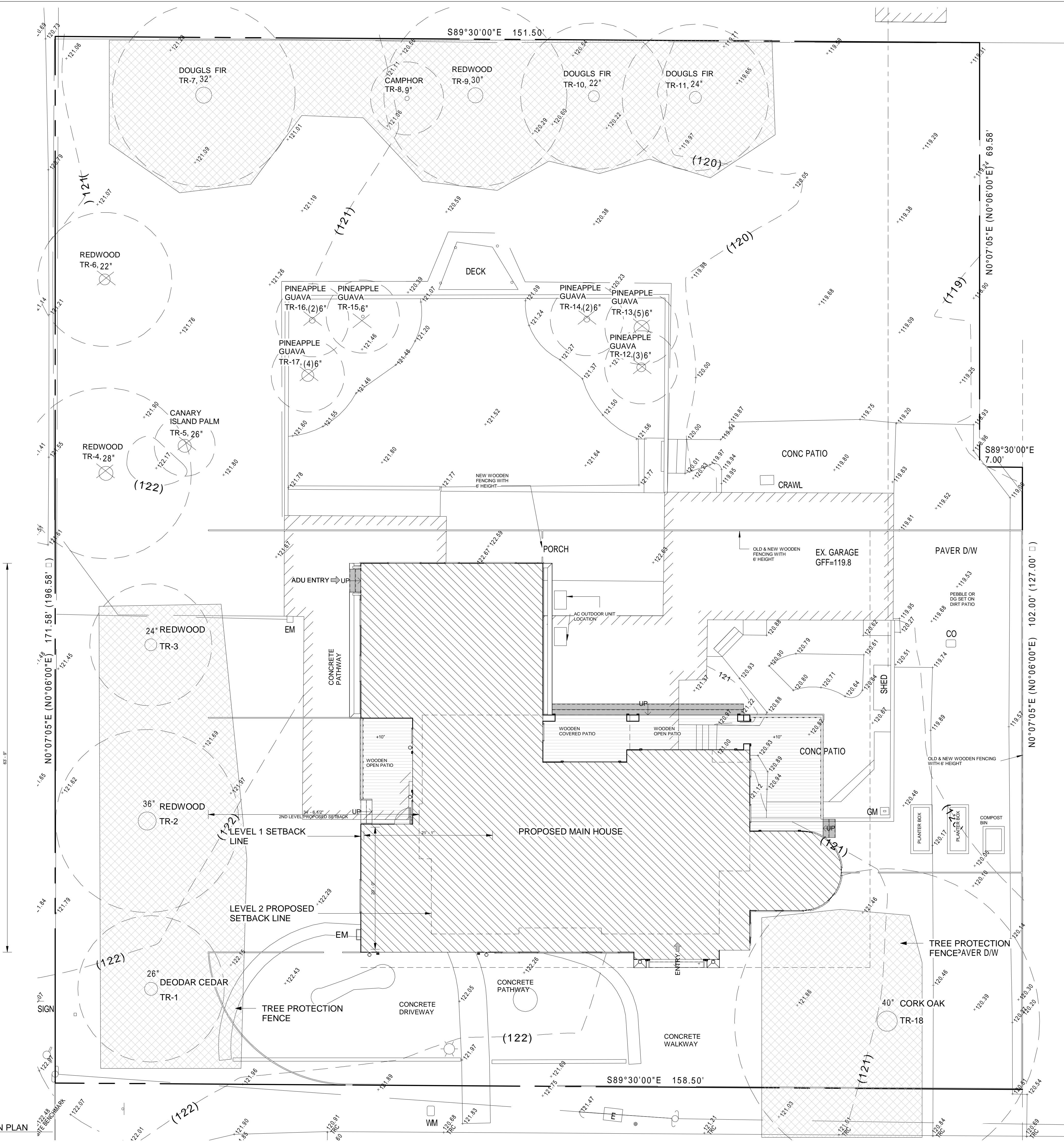
DATE: 02-16-2023  
DRAWN BY: SAGAR  
CHECKED BY: SUBHENDU  
SCALE: As indicated



SHEET NO: **A-1.006**  
ADDRESS : 329 S San Antonio Road Suite #4, Los Altos, CA 94022  
CONTACT : 650-209-6500  
EMAIL : team@golivio.com

TREE	NAME OF TREE	SIZE	NOTE
TR-1	DEODAR CEDAR	26"	PROTECTED
TR-2	REDWOOD	36"	PROTECTED
TR-3	REDWOOD	24"	PROTECTED
TR-4	REDWOOD	28"	REMOVAL
TR-5	CANARY ISLAND PALM	26"	REMOVAL
TR-6	REDWOOD	22"	REMOVAL
TR-7	DOUGLS FIR	32"	PROTECTED
TR-8	CAMPHOR	9"	PROTECTED
TR-9	REDWOOD	30"	PROTECTED
TR-10	DOUGLS FIR	22"	PROTECTED
TR-11	DOUGLS FIR	24"	PROTECTED
TR-12	PINEAPPLE GUAVA	6"	REMOVAL
TR-13	PINEAPPLE GUAVA	6"	REMOVAL
TR-14	PINEAPPLE GUAVA	6"	REMOVAL
TR-15	PINEAPPLE GUAVA	6"	REMOVAL
TR-16	PINEAPPLE GUAVA	6"	REMOVAL
TR-17	PINEAPPLE GUAVA	6"	REMOVAL
TR-18	CORK OAK	40"	PROTECTED

TOTAL NUMBER OF TREES EXISTED AT SITE - 18 NOS  
TREE PROTECTION NOTE : TREE PROTECTION FENCING AROUND TREES NO. 1,2,3,7,8,9,10,11, & 18 (DRIP LINE) SHALL BE CHAIN LINK AND A MINIMUM OF FIVE FEET IN HEIGHT WITH POSTS DRIVEN INTO THE GROUND."

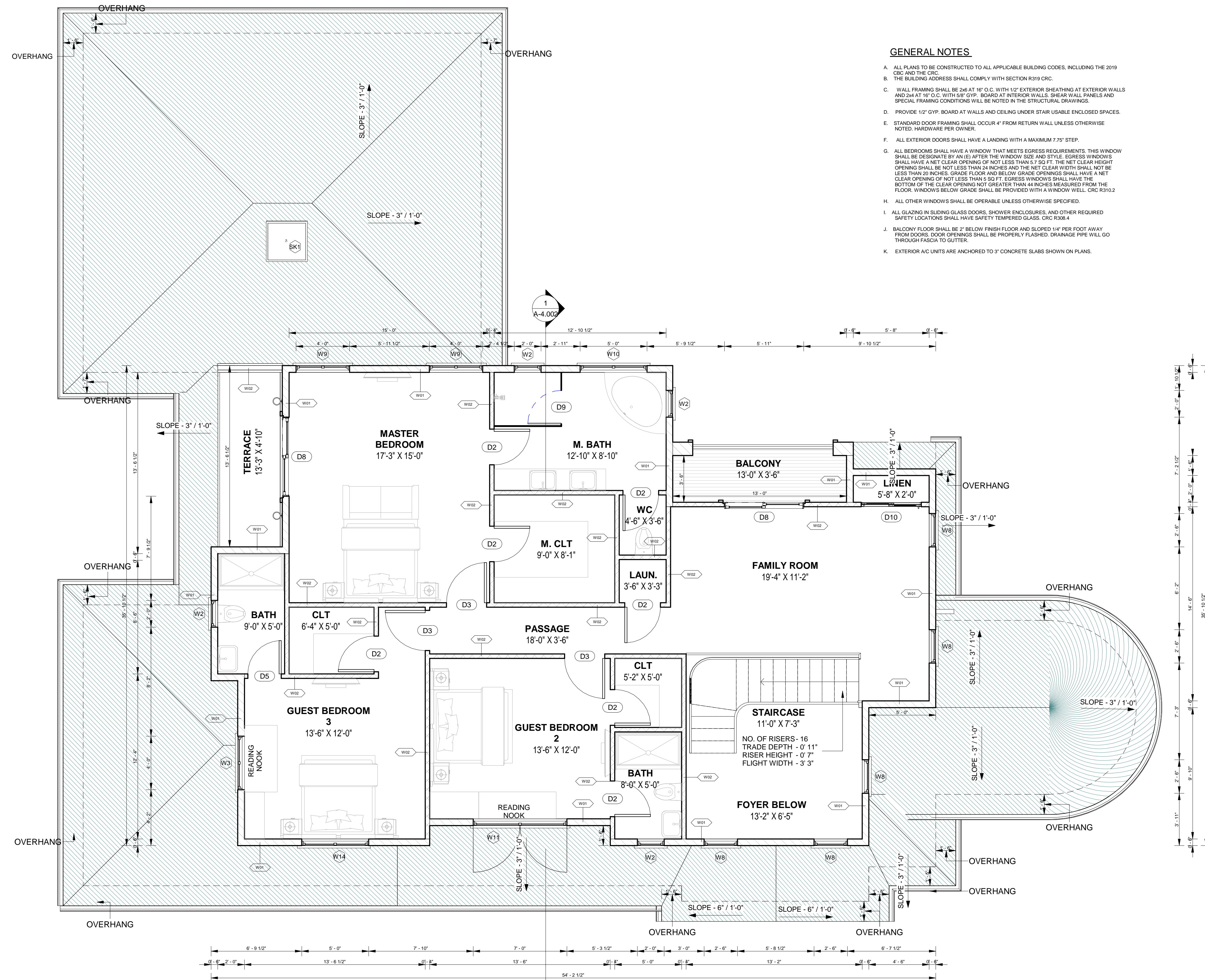


1 TREE PROTECTION PLAN  
1/8" = 1'-0"









**GENERAL NOTES**

- A. ALL PLANS TO BE CONSTRUCTED TO ALL APPLICABLE BUILDING CODES, INCLUDING THE 2019 CBC AND THE CRC.
- B. THE BUILDING ADDRESS SHALL COMPLY WITH SECTION R319 CRC.
- C. WALL FRAMING SHALL BE 2x6 AT 16" O.C. WITH 1/2" EXTERIOR SHEATHING AT EXTERIOR WALLS AND 2x4 AT 16" O.C. WITH 5/8" GYP. BOARD AT INTERIOR WALLS. SHEAR WALL PANELS AND SPECIAL FRAMING CONDITIONS WILL BE NOTED IN THE STRUCTURAL DRAWINGS.
- D. PROVIDE 1/2" GYP. BOARD AT WALLS AND CEILING UNDER STAIR USABLE ENCLOSED SPACES.
- E. STANDARD DOOR FRAMING SHALL OCCUR 4" FROM RETURN WALL UNLESS OTHERWISE NOTED. HARDWARE PER OWNER.
- F. ALL EXTERIOR DOORS SHALL HAVE A LANDING WITH A MAXIMUM 7.75" STEP.
- G. ALL BEDROOMS SHALL HAVE A WINDOW THAT MEETS EGRESS REQUIREMENTS. THIS WINDOW SHALL BE DESIGNATED BY AN (E) AFTER THE WINDOW SIZE AND STYLE. EGRESS WINDOWS SHALL HAVE A NET CLEAR OPENING OF NOT LESS THAN 5.7 SQ FT. THE NET CLEAR HEIGHT OPENING SHALL BE NOT LESS THAN 24 INCHES AND THE NET CLEAR WIDTH SHALL NOT BE LESS THAN 20 INCHES. GRADE FLOOR AND BELOW GRADE OPENINGS SHALL HAVE A NET CLEAR OPENING OF NOT LESS THAN 5.7 SQ FT. EGRESS WINDOWS SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44 INCHES MEASURED FROM THE FLOOR. WINDOWS BELOW GRADE SHALL BE PROVIDED WITH A WINDOW WELL. CRC R310.2
- H. ALL OTHER WINDOWS SHALL BE OPERABLE UNLESS OTHERWISE SPECIFIED.
- I. ALL GLAZING IN SLIDING GLASS DOORS, SHOWER ENCLOSURES, AND OTHER REQUIRED SAFETY LOCATIONS SHALL HAVE SAFETY TEMPERED GLASS. CRC R308.4
- J. BALCONY FLOOR SHALL BE 2" BELOW FINISH FLOOR AND SLOPED 1/4" PER FOOT AWAY FROM DOORS. DOOR OPENINGS SHALL BE PROPERLY FLASHED. DRAINAGE PIPE WILL GO THROUGH FASCIA TO GUTTER.
- K. EXTERIOR AC UNITS ARE ANCHORED TO 3" CONCRETE SLABS SHOWN ON PLANS.

NOTES:

**WALL LEGEND (SECOND FLOOR)**

- BASIC WALL : INT WALL 4"
- BASIC WALL : GENERIC 6"



**REVISIONS :**

REV.	DESCRIPTION	DATE	REV BY
1	REVISED AS PER PLANNER'S COMMENTS	12-16-2022	SAGAR
2	REVISED AS PER PLANNER'S COMMENTS	02-16-2022	SAGAR

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PROJECT : 705 VISTA GRANDE AVE-LOT B, LOS ALTOS, CA

**SECOND FLOOR PLAN**

DATE: 02-16-2023

DRAWN BY: SAGAR

CHECKED BY: SUBHENDU

SCALE: 1/4" = 1'-0"

SHEET NO: A-2.002

ADDRESS : 329 S San Antonio Road Suite #4, Los Altos, CA 94022

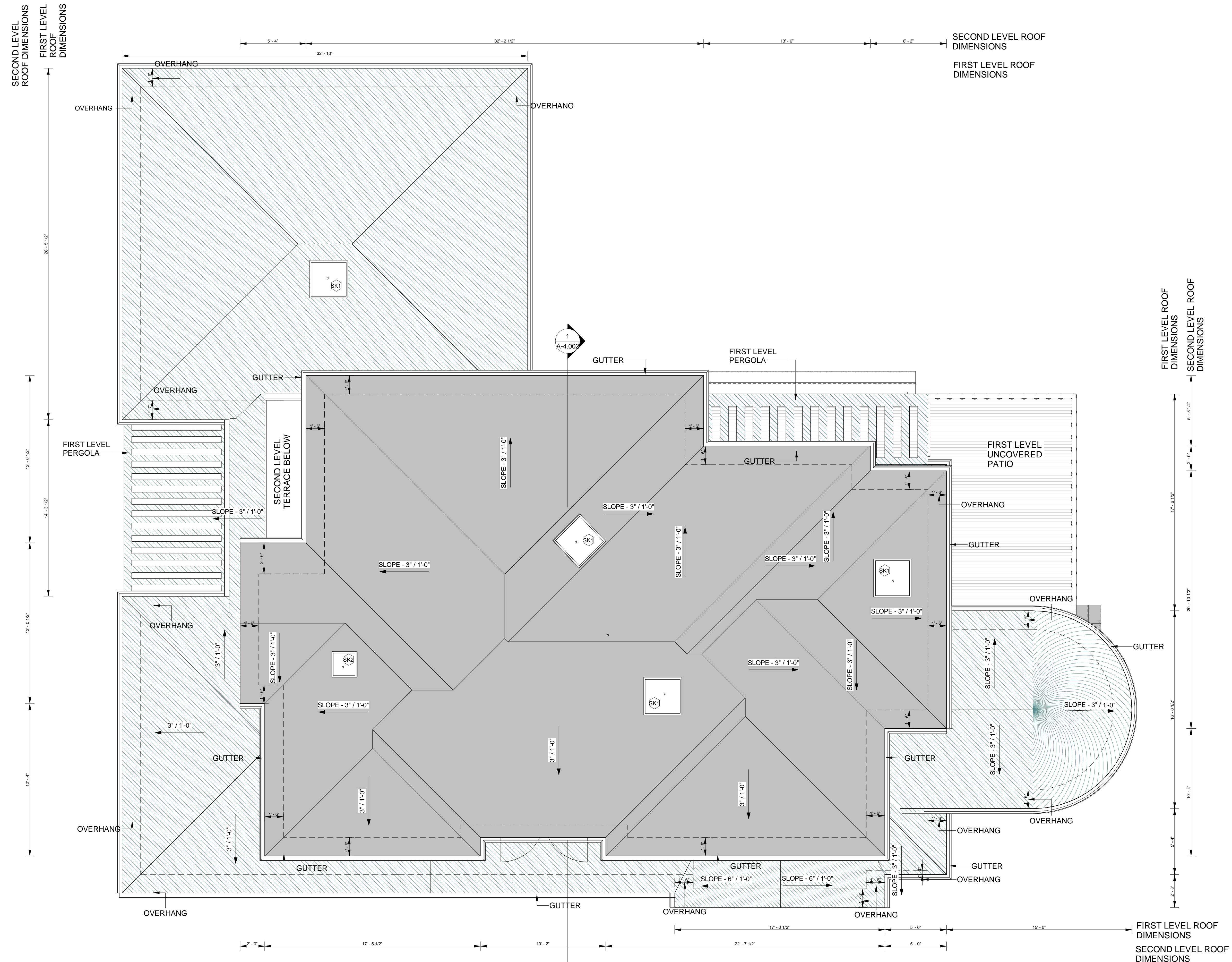
CONTACT : 650-209-6500

EMAIL : team@golivio.com



1 SECOND FLOOR PLAN  
1/4" = 1'-0"





NOTES:

REVISIONS :

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1	REVISED AS PER PLANNER'S COMMENTS	12-16-2022	SAGAR
2	REVISED AS PER PLANNER'S COMMENTS	02-16-2022	SAGAR

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PROJECT : 705 VISTA GRANDE AVE-LOT B, LOS ALTOS, CA

ROOF PLAN

DATE: 02-16-2023  
 DRAWN BY: SAGAR  
 CHECKED BY: SUBHENDU  
 SCALE: 1/4" = 1'-0"

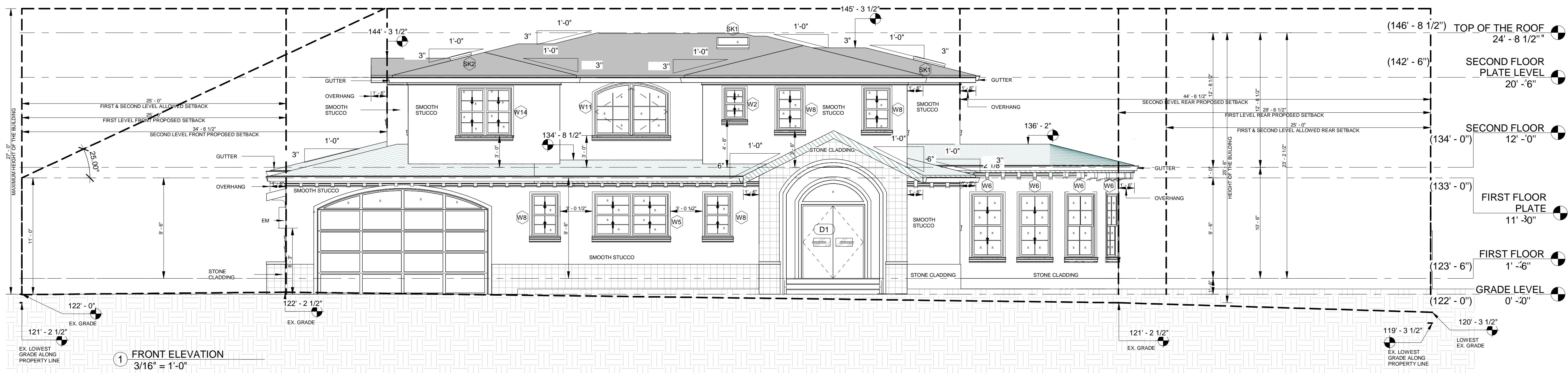


SHEET NO: A-2.003  
 ADDRESS : 329 S San Antonio Road Suite #4, Los Altos, CA 94022  
 CONTACT : 650-209-6500  
 EMAIL : team@golivio.com

1 TOP ROOF  
 1/4" = 1'-0"



NOTES:



1 FRONT ELEVATION  
3/16" = 1'-0"



2 REAR ELEVATION  
3/16" = 1'-0"

REVISIONS :

REV.	DESCRIPTION	DATE	REV BY
A	REVISED AS PER PLANNER'S COMMENTS	12-16-2022	SAGAR
B	REVISED AS PER PLANNER'S COMMENTS	02-16-2022	SAGAR

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PROJECT : 705 VISTA GRANDE AVE-LOT B, LOS ALTOS, CA

FRONT AND REAR ELEVATION

DATE: 02-16-2023

DRAWN BY: SAGAR

CHECKED BY: SUBHENDU

SCALE: 3/16" = 1'-0"

SHEET NO:

A-3.001

ADDRESS : 329 S San Antonio Road Suite #4, Los Altos, CA 94022

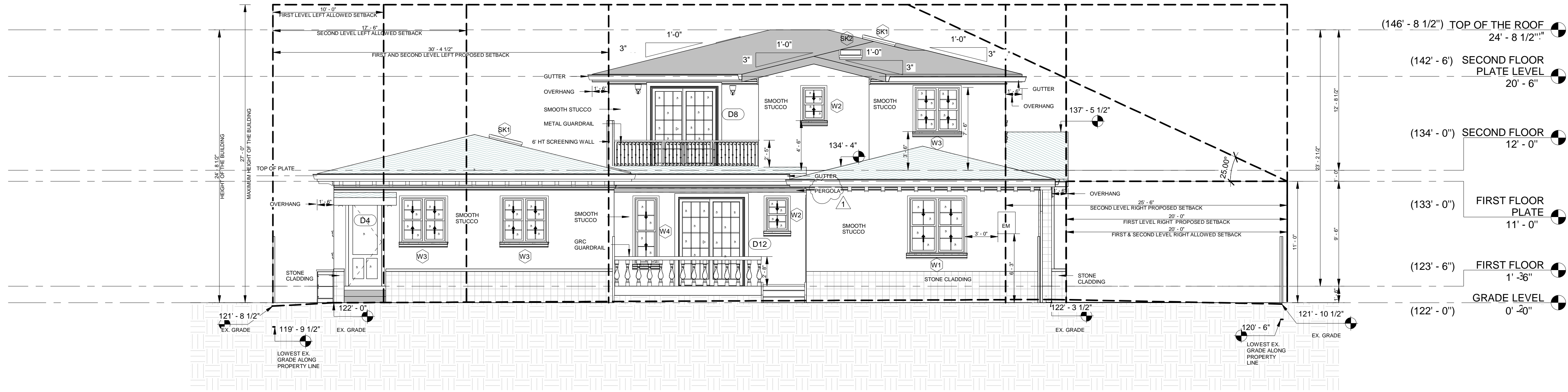
CONTACT : 650-209-6500

EMAIL : team@golivio.com

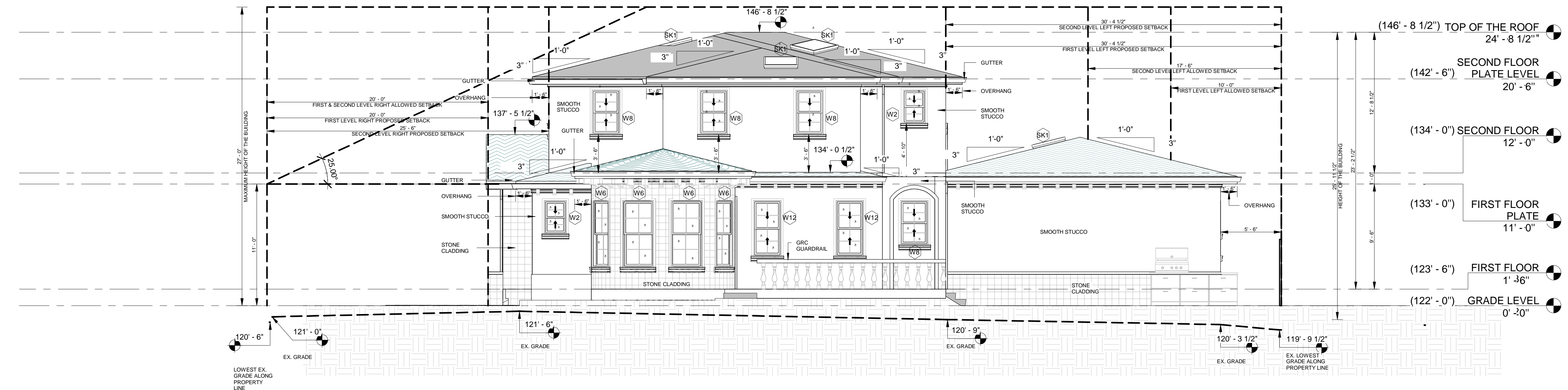




NOTES:



2 EXTERIOR (STREET) SIDE ELEVATION  
3/16" = 1'-0"



1 RIGHT ELEVATION  
3/16" = 1'-0"

REVISIONS :

REV.	DESCRIPTION	DATE	REV BY
A	REVISED AS PER PLANNER'S COMMENTS	12-16-2022	SAGAR
B	REVISED AS PER PLANNER'S COMMENTS	02-16-2022	SAGAR

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LEFT AND RIGHT ELEVATION

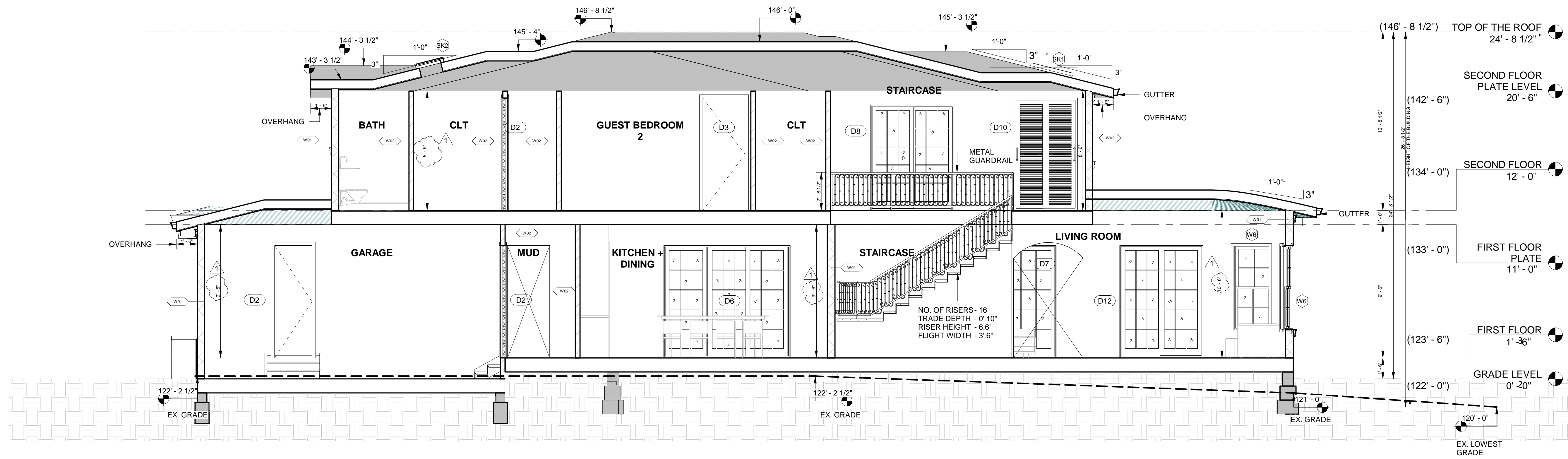
DATE: 02-16-2023  
DRAWN BY: SAGAR  
CHECKED BY: SUBHENDU  
SCALE: 3/16" = 1'-0"



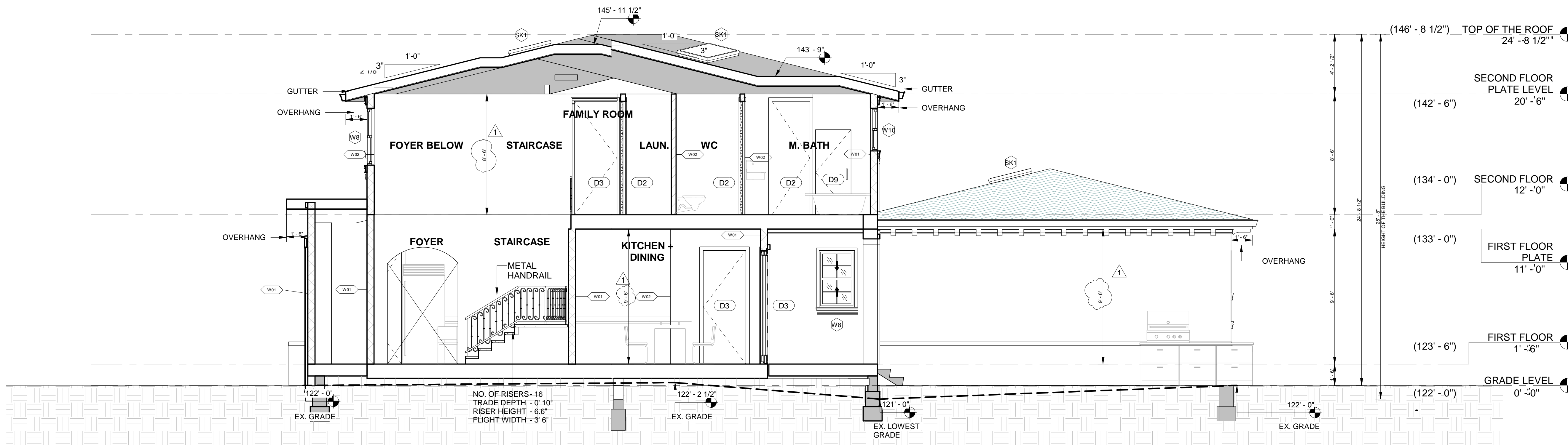
SHEET NO: A-3.002  
ADDRESS: 329 S San Antonio Road Suite #4, Los Altos, CA 94022  
CONTACT: 650-209-6500  
EMAIL: team@golivio.com



NOTES:



1 SECTION A-A  
1/4" = 1'-0"



2 SECTION B-B  
1/4" = 1'-0"

REVISIONS :

REV.	DESCRIPTION	DATE	REV BY
A	REVISED AS PER PLANNER'S COMMENTS	12-16-2022	SAGAR
B	REVISED AS PER PLANNER'S COMMENTS	02-16-2022	SAGAR

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PROJECT : 705 VISTA GRANDE AVE-LOT B, LOS ALTOS, CA

SECTION A-A AND B-B

DATE: 02-16-2023

DRAWN BY: SAGAR

CHECKED BY: SUBHENDU

SCALE: 1/4" = 1'-0"

SHEET NO:

A-4.001

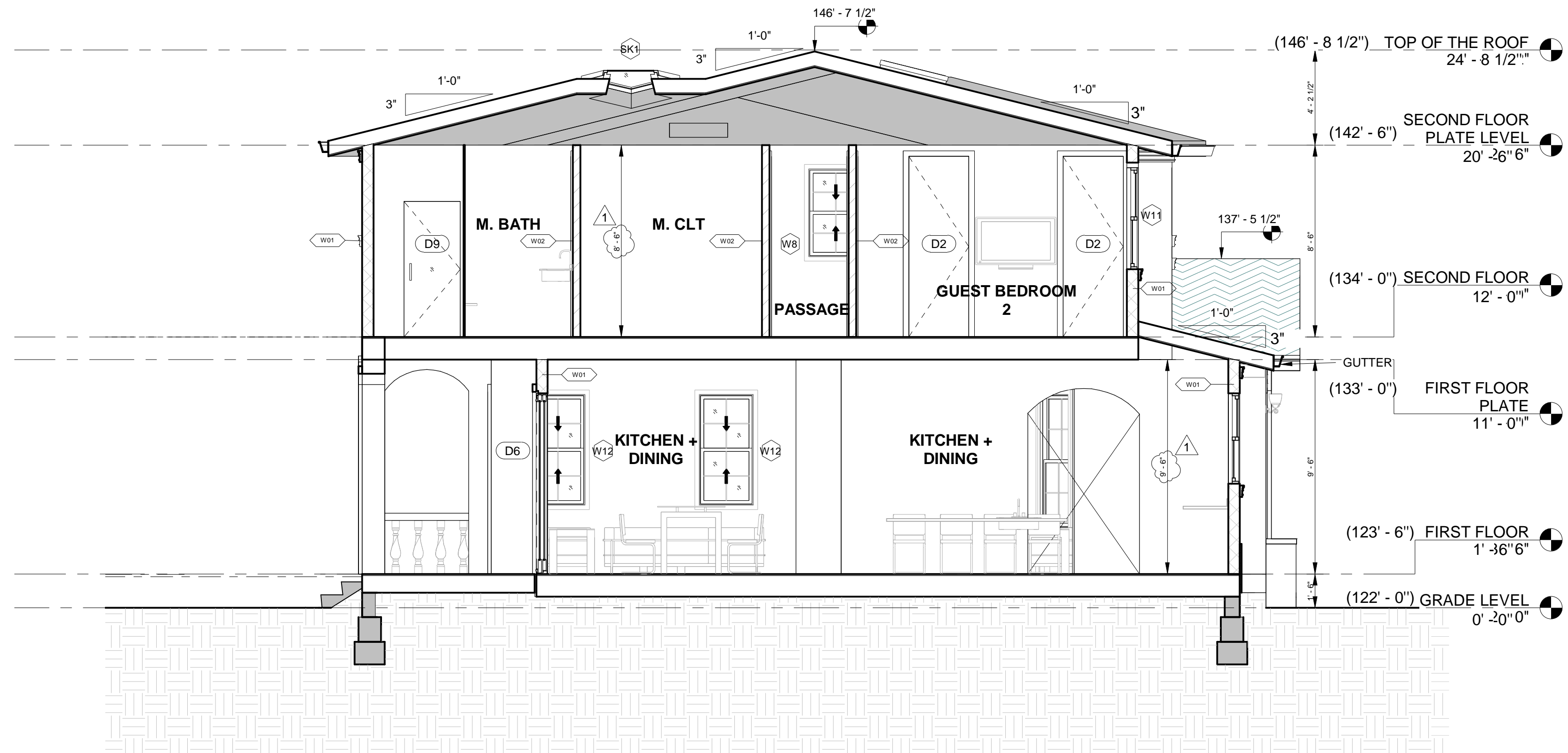
ADDRESS : 329 S San Antonio Road Suite #4, Los Altos, CA 94022

CONTACT : 650-209-6500

EMAIL : team@golivio.com







SECTION C-C  
1/4" = 1'-0"

NOTES:

REVISIONS :

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A	REVISED AS PER PLANNER'S COMMENTS	12-16-2022	SAGAR
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PROJECT : 705 VISTA GRANDE AVE-LOT B, LOS ALTOS, CA

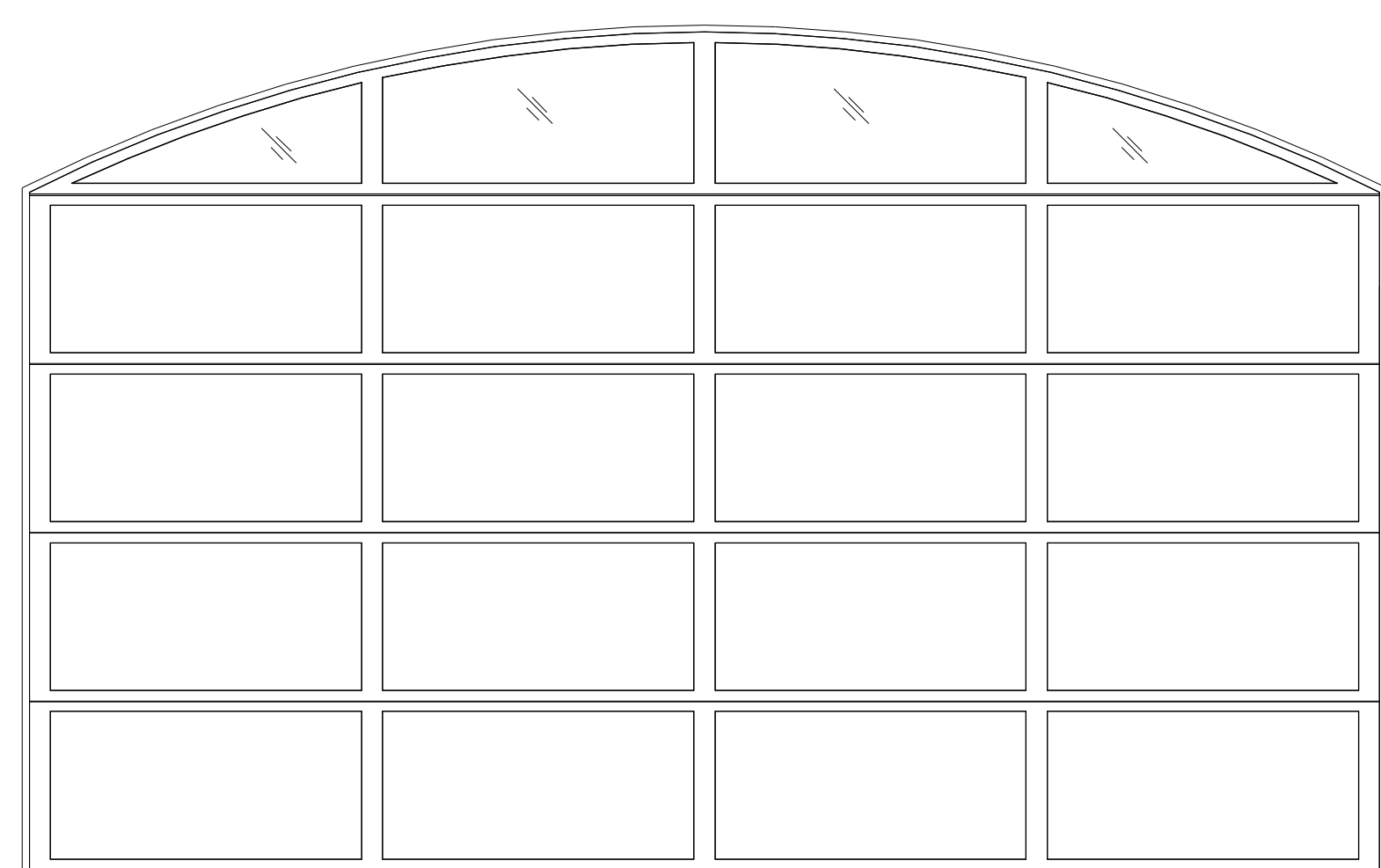
SECTION C-C

DATE: 02-16-2023  
DRAWN BY: SAGAR  
CHECKED BY: SUBHENDU  
SCALE: 1/4" = 1'-0"

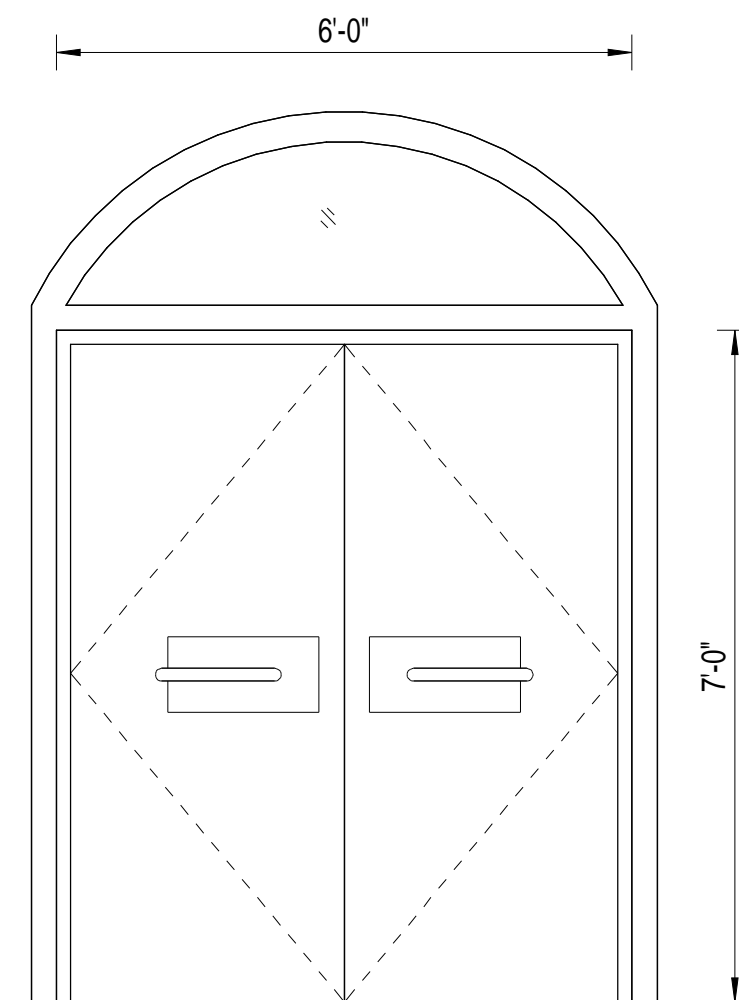


SHEET NO: A-4.002  
ADDRESS : 329 S San Antonio Road Suite #4, Los Altos, CA 94022  
CONTACT : 650-209-6500  
EMAIL : team@golivio.com

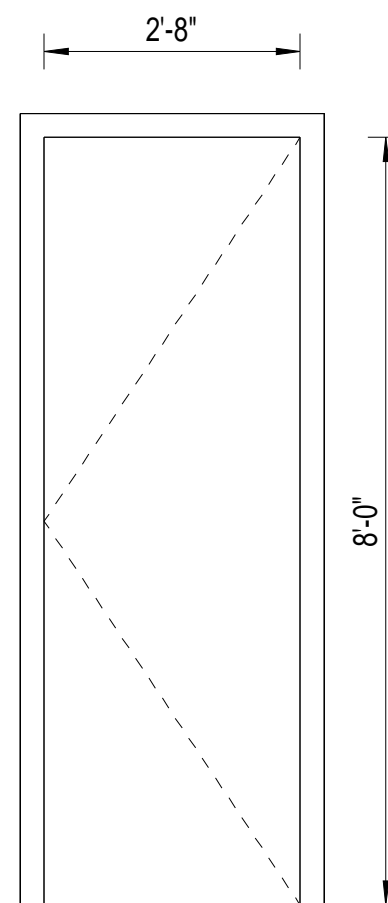




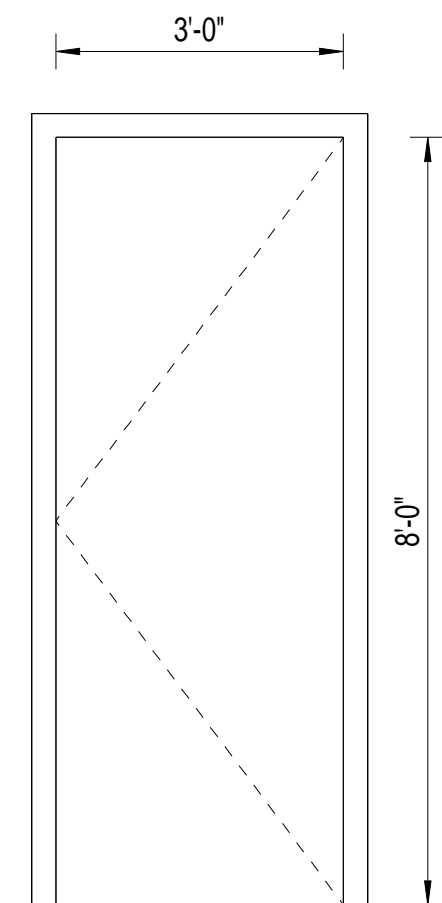
GD



D1

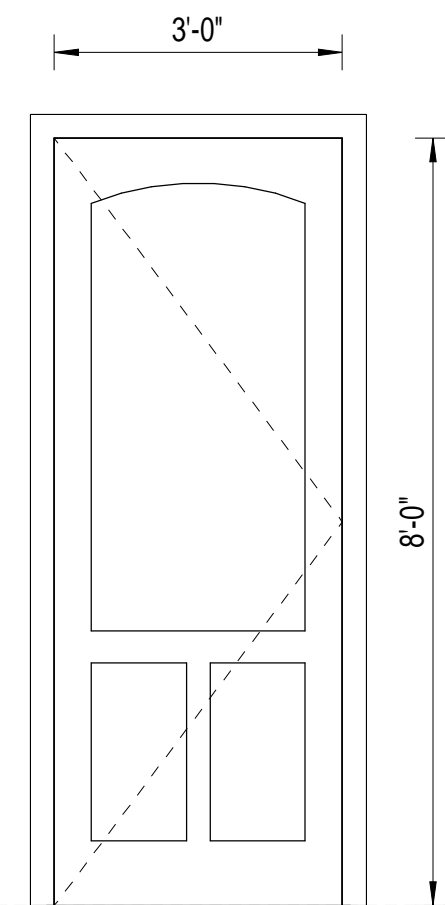


D2

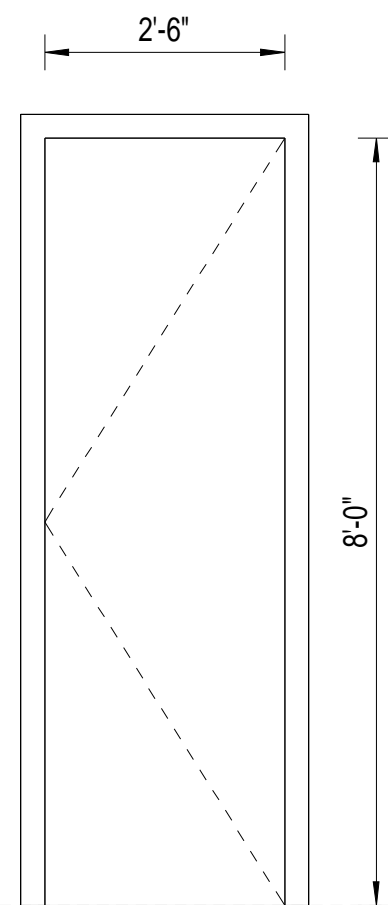


D3

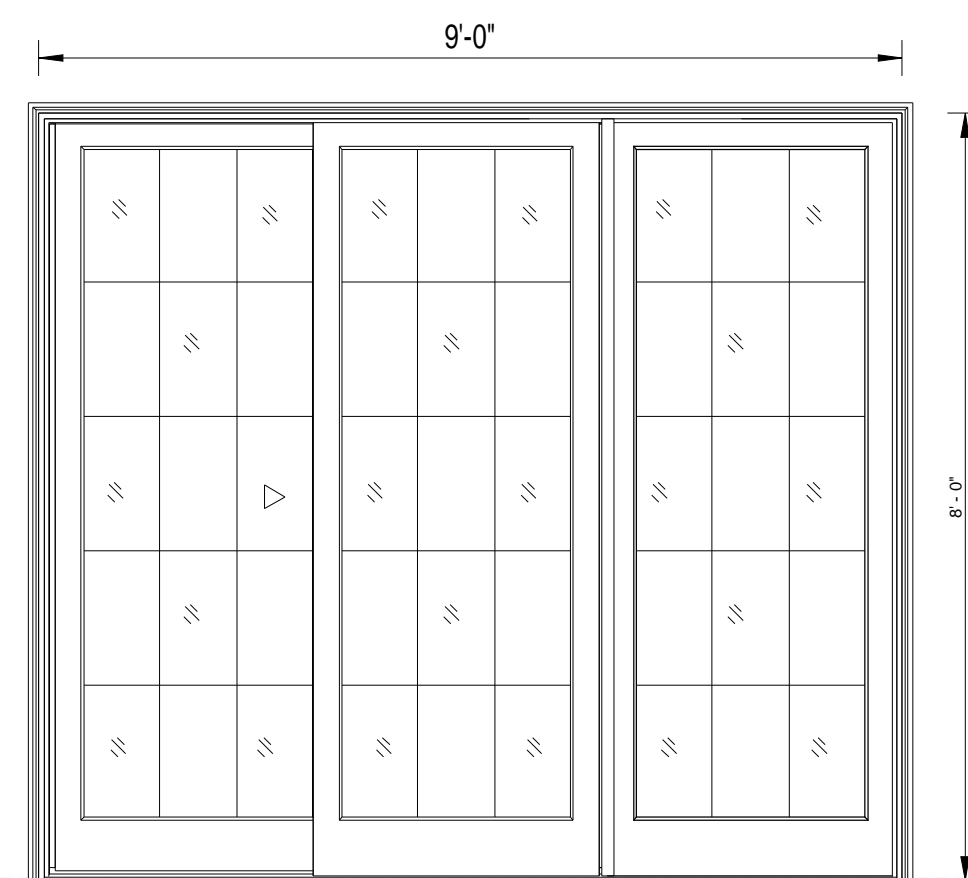
Door Schedule				
Mark	Count	Width	Height	Head Height
D1	1	6' - 0"	7' - 0"	7' - 0"
D2	12	2' - 8"	8' - 0"	8' - 0"
D3	6	3' - 0"	8' - 0"	8' - 0"
D4	1	3' - 0"	8' - 0"	8' - 0"
D5	4	2' - 6"	8' - 0"	8' - 0"
D6	1	9' - 0"	8' - 0"	8' - 0"
D7	1	15' - 0"	8' - 0"	8' - 0"
D8	2	5' - 11"	7' - 6"	7' - 6"
D9	1	2' - 6"	6' - 0"	6' - 0"
D10	1	4' - 6"	8' - 0"	8' - 0"
D11	1	3' - 6"	8' - 0"	8' - 0"
D12	2	5' - 11"	8' - 0"	8' - 0"
GD	1	16' - 0"	8' - 0"	8' - 0"



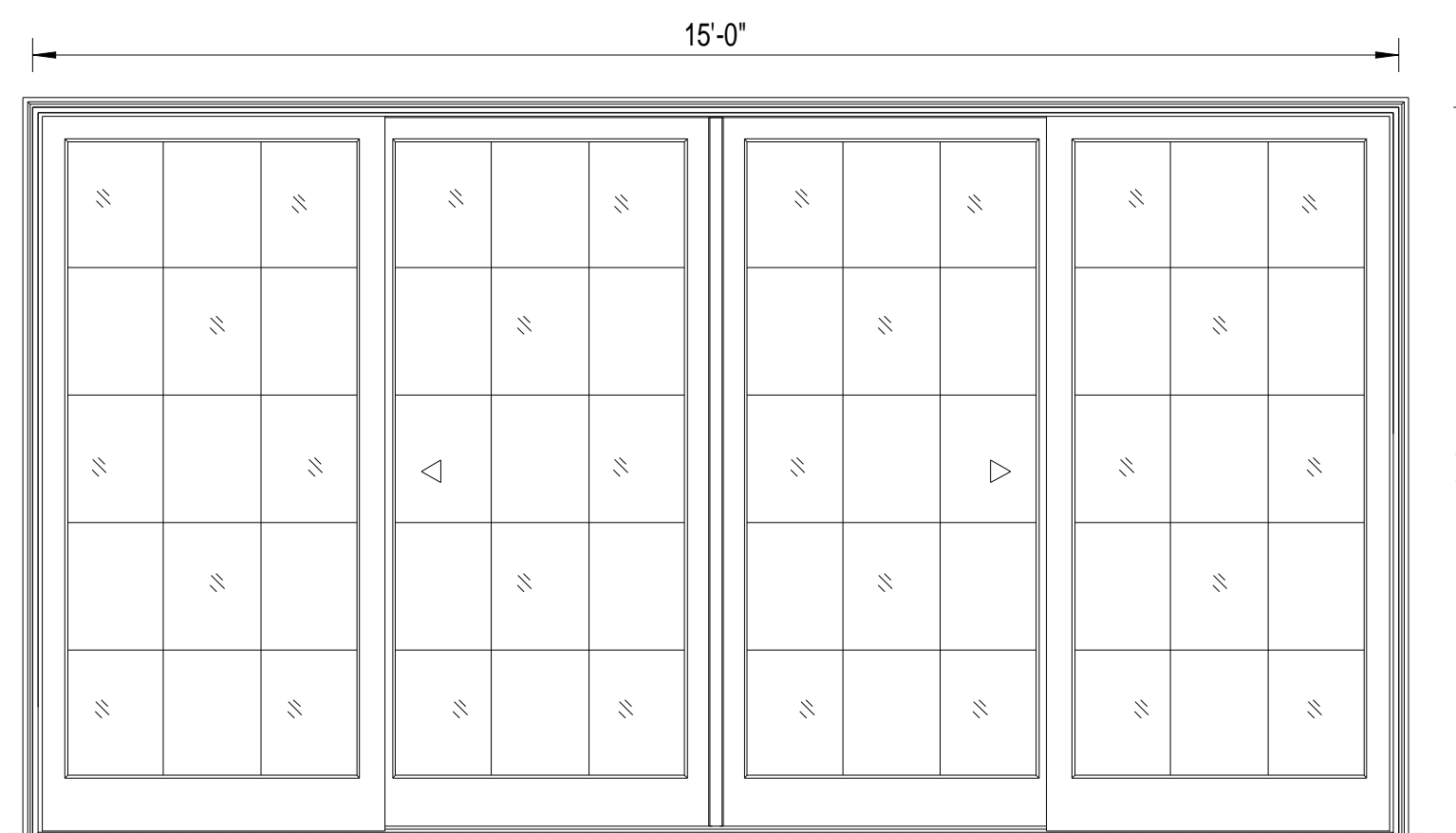
D4



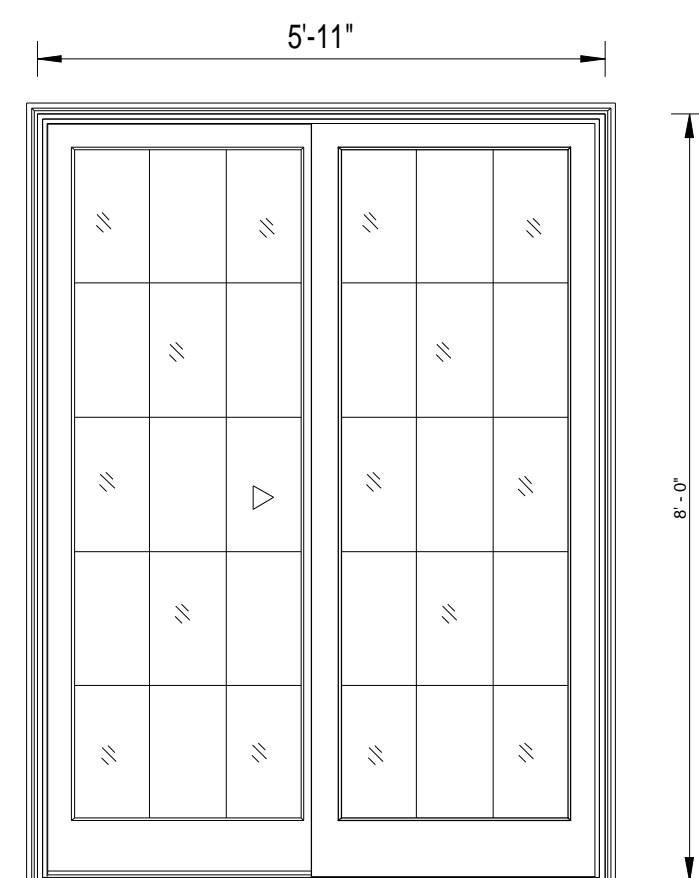
D5



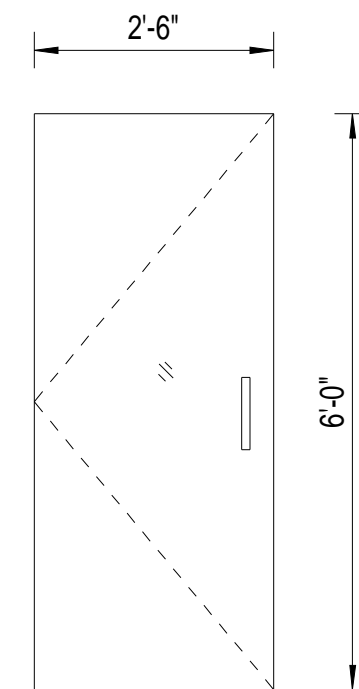
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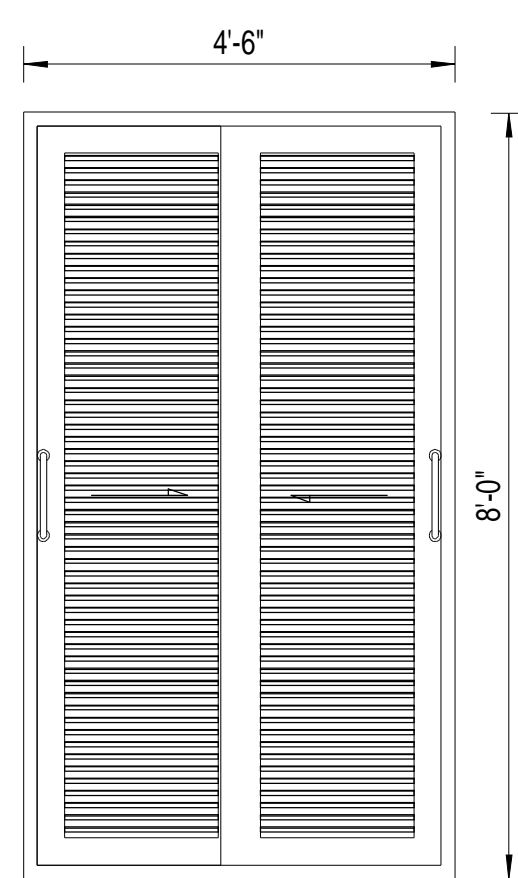
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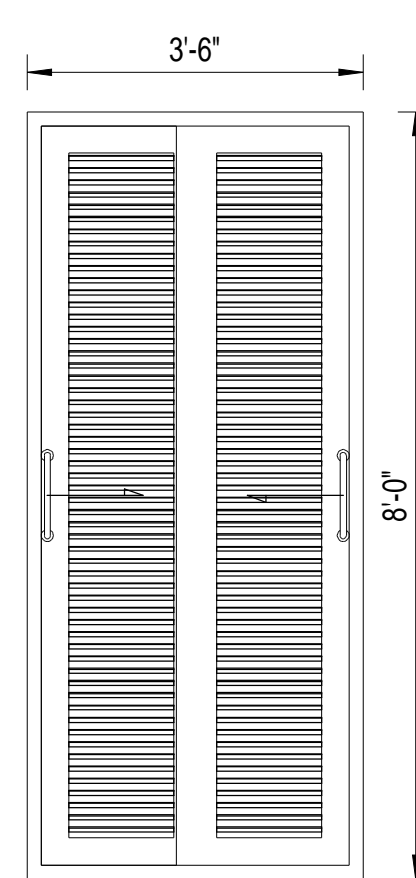
D8



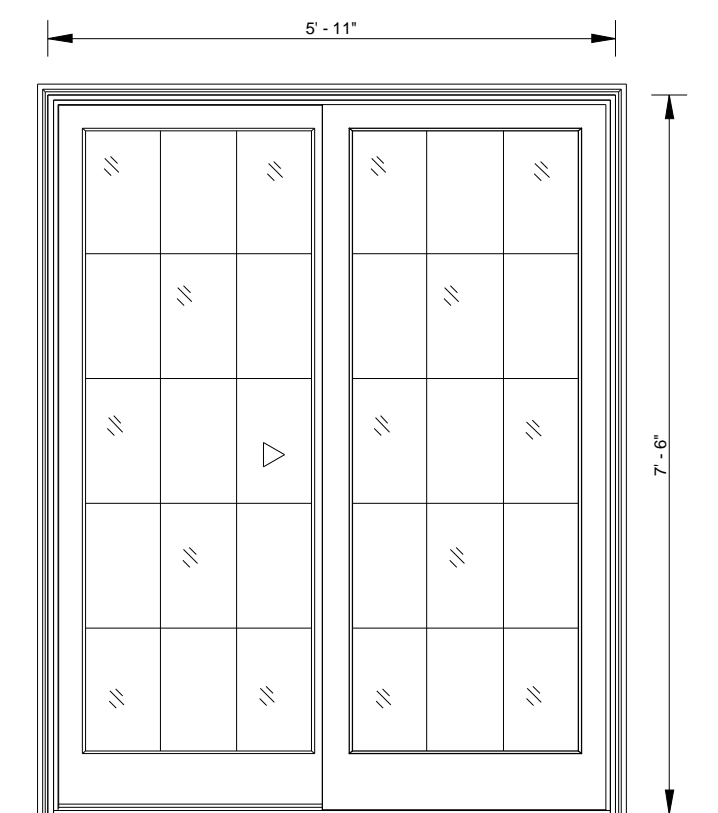
D9



D10



D11



D12

DOOR SCHEDULE  
1/2" = 1'-0"

NOTES:

REVISIONS :

REV.	DESCRIPTION	DATE	REV BY
A	REVISED AS PER PLANNER'S COMMENTS	12-16-2022	SAGAR
B	REVISED AS PER PLANNER'S COMMENTS	02-16-2022	SAGAR

NOTES:

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PROJECT : 705 VISTA GRANDE AVE-LOT B, LOS ALTOS, CA

DOOR SCHEDULE

DATE: 02-16-2023

DRAWN BY: SAGAR

CHECKED BY: SUBHENDU

SCALE: 1/2" = 1'-0"

SHEET NO:

A-5.001

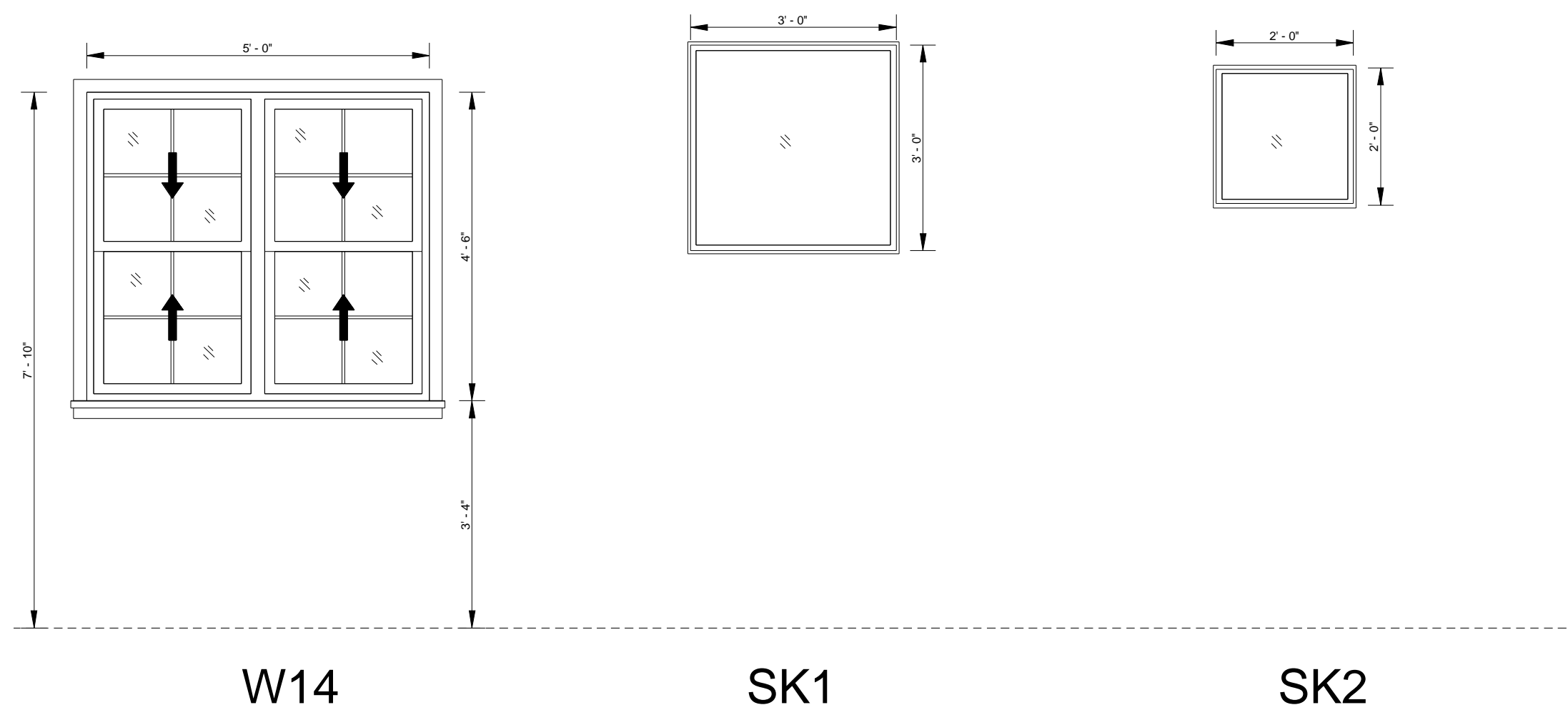
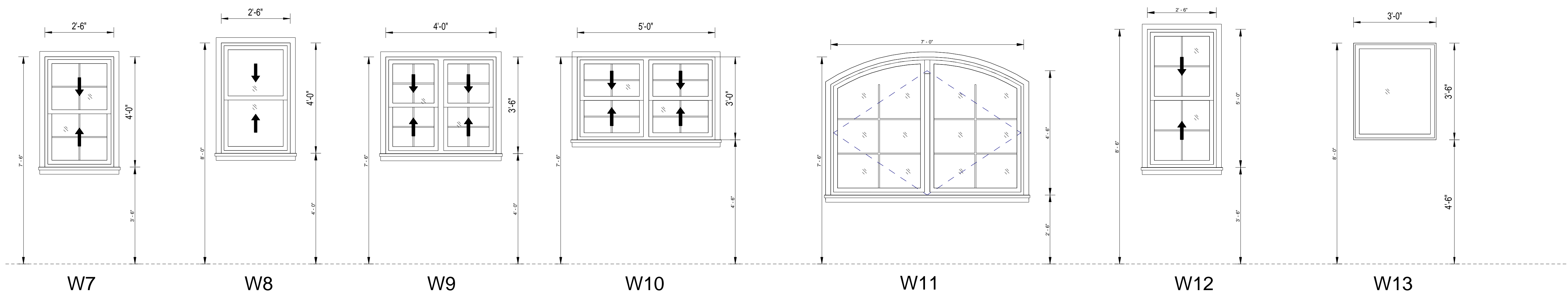
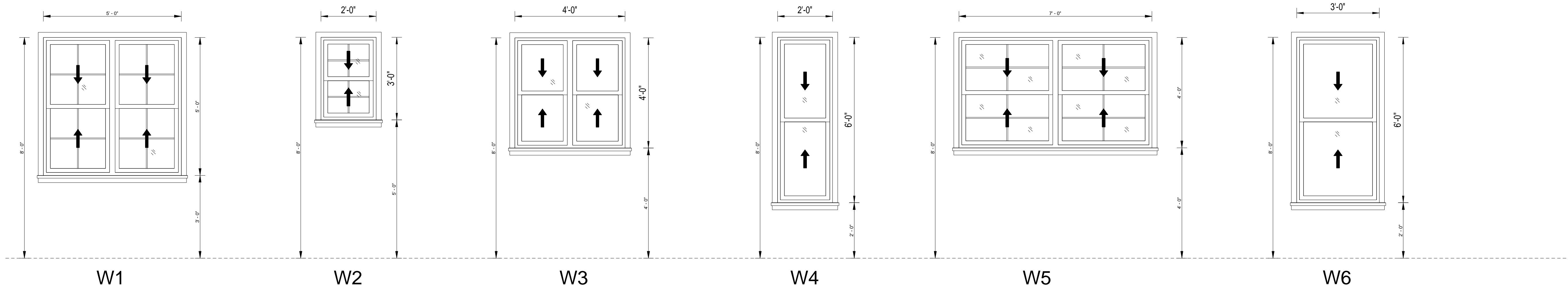
ADDRESS : 329 S San Antonio Road Suite #4, Los Altos, CA 94022

CONTACT : 650-209-6500

EMAIL : team@golivio.com







WINDOW SCHEDULE  
1/2" = 1'-0"

WINDOW SCHEDULE				
Mark	Count	Width	Height	Head Height
SK1	4	3' - 0"	3' - 0"	
SK2	1	2' - 0"	2' - 0"	
W1	3	5' - 0"	5' - 0"	8' - 0"
W2	7	2' - 0"	3' - 0"	
W3	3	4' - 0"	4' - 0"	
W4	1	2' - 0"	6' - 0"	8' - 0"
W5	1	7' - 0"	4' - 0"	8' - 0"
W6	6	3' - 0"	6' - 0"	8' - 0"
W7	1	2' - 6"	4' - 0"	7' - 6"
W8	7	2' - 6"	4' - 0"	
W9	2	4' - 0"	3' - 6"	7' - 6"
W10	1	5' - 0"	3' - 0"	7' - 6"
W11	1	7' - 0"	4' - 6"	7' - 6"
W12	2	2' - 6"	5' - 0"	8' - 0"
W13	1	3' - 0"	3' - 6"	8' - 0"
W14	1	5' - 0"	4' - 6"	7' - 6"

NOTES:

REVISIONS :

REV.	DESCRIPTION	DATE	REV BY
1	REVISED AS PER PLANNER'S COMMENTS	12-16-2022	SAGAR
2	REVISED AS PER PLANNER'S COMMENTS	02-16-2022	SAGAR

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PROJECT : 705 VISTA GRANDE AVE-LOT B, LOS ALTOS, CA

WINDOW SCHEDULE

DATE: 02-16-2023

DRAWN BY: SAGAR

CHECKED BY: SUBHENDU

SCALE: 1/2" = 1'-0"

SHEET NO:

A-5.002

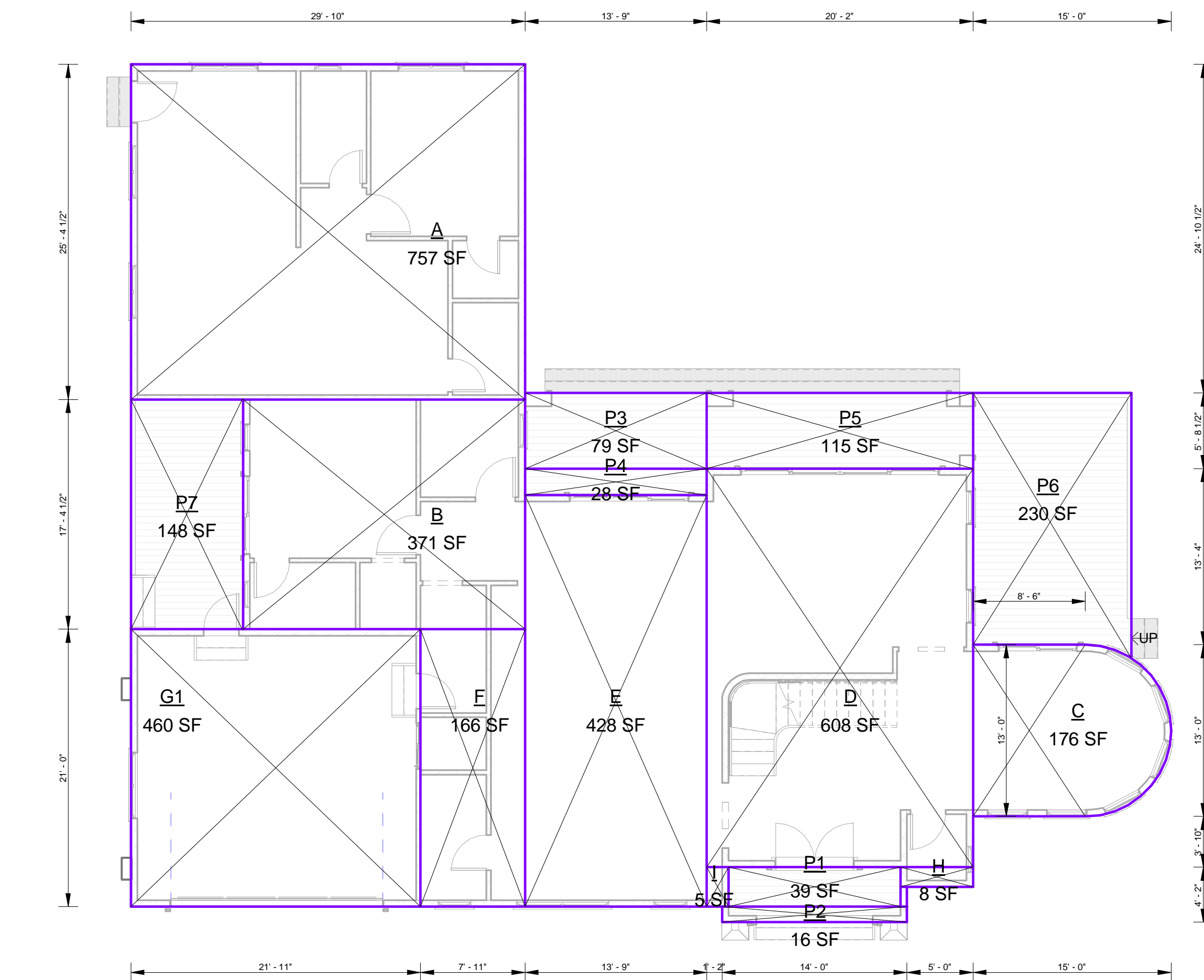
ADDRESS : 329 S San Antonio Road Suite #4, Los Altos, CA 94022

CONTACT : 650-209-6500

EMAIL : team@golivio.com







1 FIRST FLOOR  
1/8" = 1'-0"

# FIRST LEVEL

FIRST FLOOR AREA CALCULATION			
Name	AREA LENGTH	AREA WIDTH	Area
B	21' - 4"	17' - 4 1/2"	371 SF
C	-	-	176 SF
D	30' - 2"	20' - 2"	608 SF
E	31' - 2"	13' - 9"	428 SF
F	21' - 0"	7' - 11"	166 SF
G1	21' - 11"	21' - 0"	460 SF
H	5' - 6"	1' - 6"	8 SF
I	3' - 0"	1' - 8"	5 SF
Grand total:	8		2222 SF

### CALCULATIONS FOR C

AREA = SQUARE + HALF CIRCLE  
 AREA = 110 + 66  
 AREA = 176 SF

ADU FLOOR AREA CALCULATION			
Name	AREA LENGTH	AREA WIDTH	Area
A	29' - 10"	25' - 4 1/2"	757 SF
Grand total:	1		757 SF

PATIO AND PORCH AREA CALCULATION			
Name	AREA LENGTH	AREA WIDTH	Area
P1	13' - 0"	3' - 0"	39 SF
P2	14' - 0"	1' - 2"	16 SF
P3	13' - 9"	5' - 8 1/2"	79 SF
P4	13' - 9"	2' - 0"	28 SF
P5	20' - 2"	5' - 8 1/2"	115 SF
P6	20' - 5"	11' - 3"	230 SF
P7	17' - 4 1/2"	8' - 6"	148 SF
Grand total:	7		655 SF

# CALCULATIONS

**TOTAL FLOOR AREA = FIRST LEVEL AREA + SECOND LEVEL AREA + COVERED PORCH (P1 + P2 + P4)**

**TOTAL FLOOR AREA = 2,222 + 1,522 + 83**

**TOTAL FLOOR AREA = 3,827 SF**

**ADU FLOOR AREA = 757 SF**

**ALLOWABLE FLOOR AREA = 3,960.9 SF**

**ALLOWABLE ADU = 1200 SF**

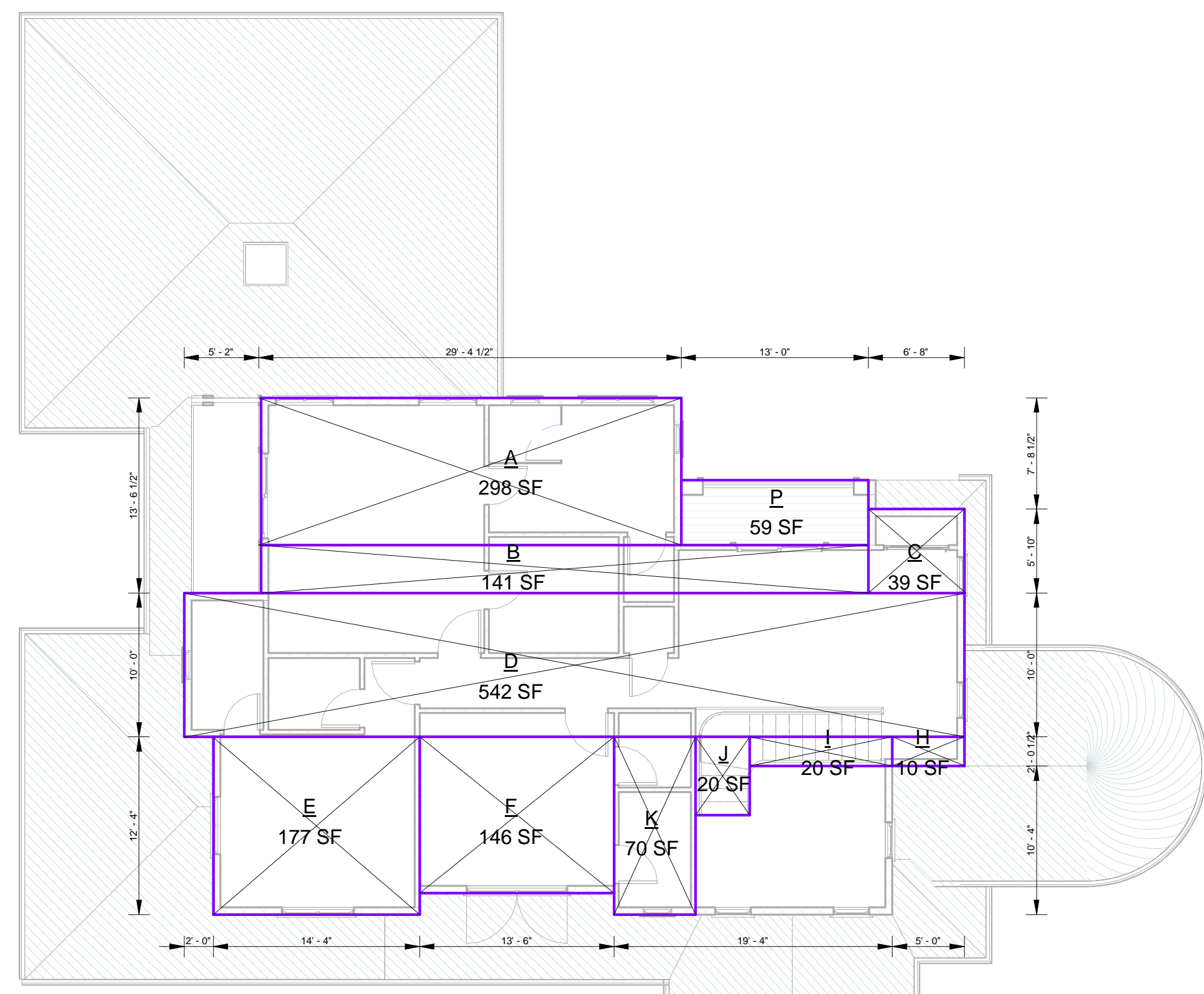
**TOTAL LOT COVERAGE AREA = FIRST LEVEL AREA + PATIO AREA (P1 + P2 + P3 + P4 + P5 + P6 + P7) + ADU**

**TOTAL LOT COVERAGE AREA = 2,222 + 655 + 757**

**TOTAL LOT COVERAGE AREA = 3,634 SF**

**ALLOWABLE LOT COVERAGE AREA = 3,649.8 SF**

# SECOND LEVEL



2 SECOND FLOOR  
1/8" = 1'-0"

SECOND FLOOR AREA CALCULATION			
Name	AREA LENGTH	AREA WIDTH	Area
A	29' - 2 1/2"	10' - 2 1/2"	298 SF
B	42' - 2 1/2"	3' - 4"	141 SF
C	6' - 8"	5' - 10"	39 SF
D	54' - 2 1/2"	10' - 0"	542 SF
E	14' - 4"	12' - 4"	177 SF
F	13' - 6"	10' - 10"	146 SF
H	5' - 0"	2' - 0 1/2"	10 SF
I	9' - 11"	2' - 0 1/2"	20 SF
J	5' - 5"	3' - 9"	20 SF
K	12' - 4"	5' - 8"	70 SF
P	13' - 0"	4' - 6"	59 SF
Grand total:	11		1522 SF

**NET LOT AREA = 1,2166 SF (WITHOUT EASEMENT)**

**GROSS LOT AREA = 1,2166 SF (WITH EASEMENT)**

**ALLOWED ADU = 1,200 SF**

**ALLOWED FLOOR AREA (EX. ADU) = 3,960.9 SF**

**ALLOWED TOTAL FLOOR AREA (INC. ADU) = 3,960.9 + 1,200 = 5,160.9 SF**

**ALLOWED LOT COVERAGE = 3,649.8 SF**

NOTES:

### REVISIONS :

REV.	DESCRIPTION	DATE	REV BY
1	REVISED AS PER PLANNER'S COMMENTS	12-16-2022	SAGAR
2	REVISED AS PER PLANNER'S COMMENTS	02-16-2022	SAGAR

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PROJECT : 705 VISTA GRANDE AVE-LOT B, LOS ALTOS, CA

### AREA CALCULATION

DATE: 02-16-2023

DRAWN BY: SAGAR

CHECKED BY: SUBHENDU

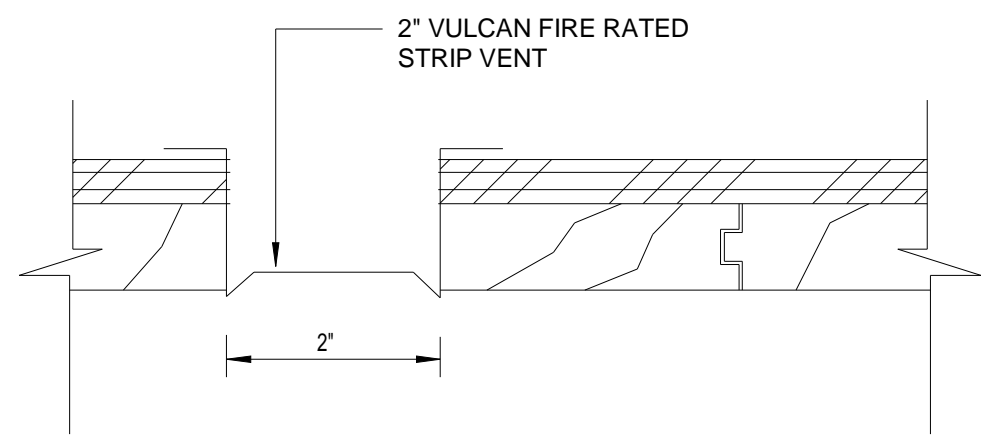
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SHEET NO:  
**A-6.001**

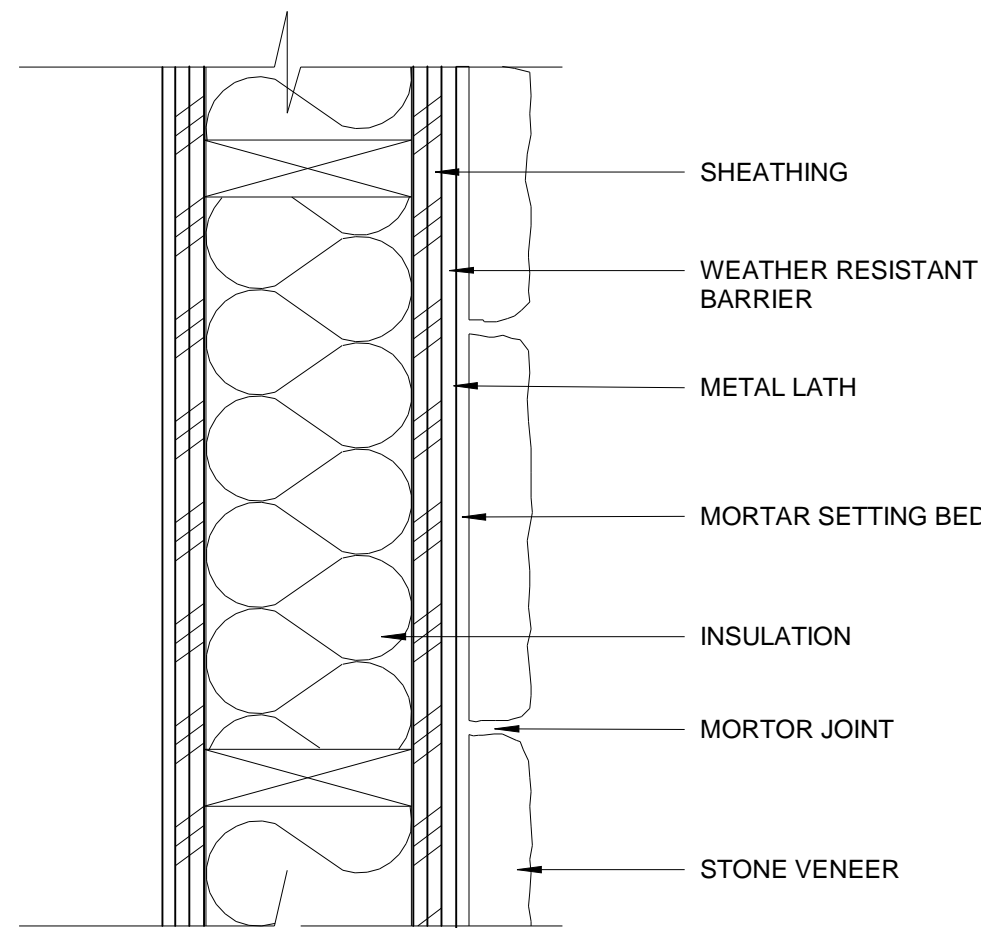
ADDRESS : 329 S San Antonio Road Suite #4, Los Altos, CA 94022  
 CONTACT : 650-209-6500  
 EMAIL : team@golivio.com



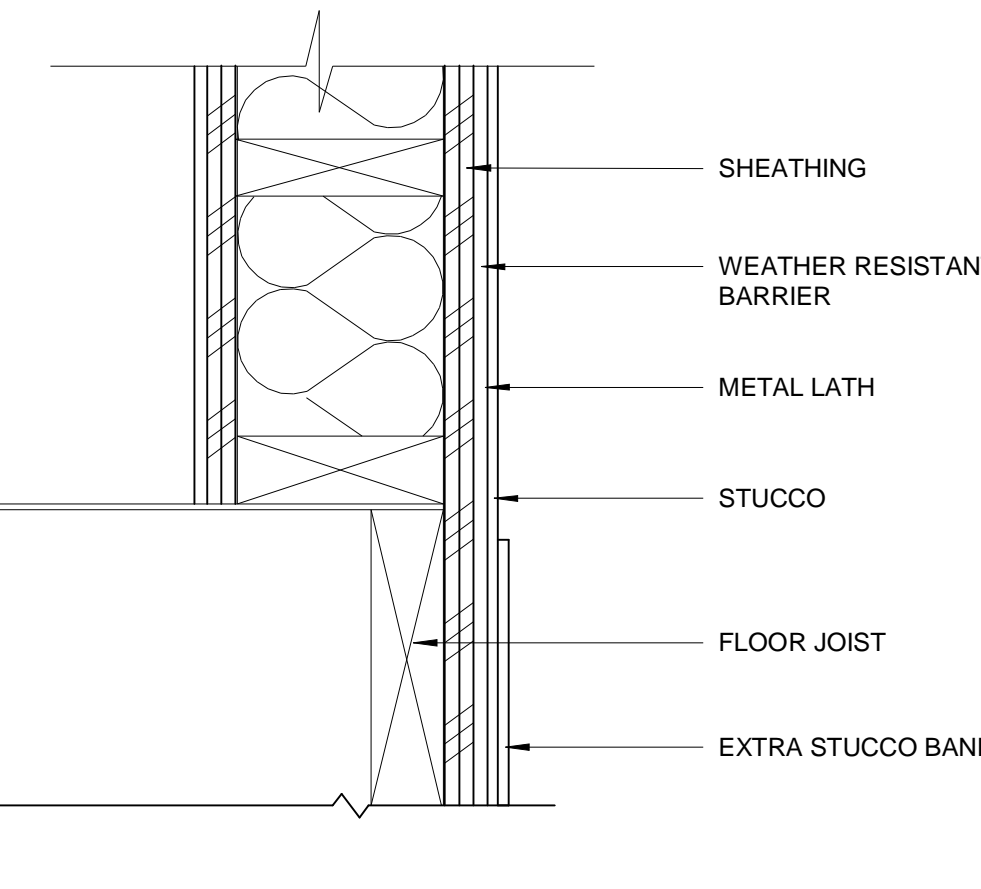




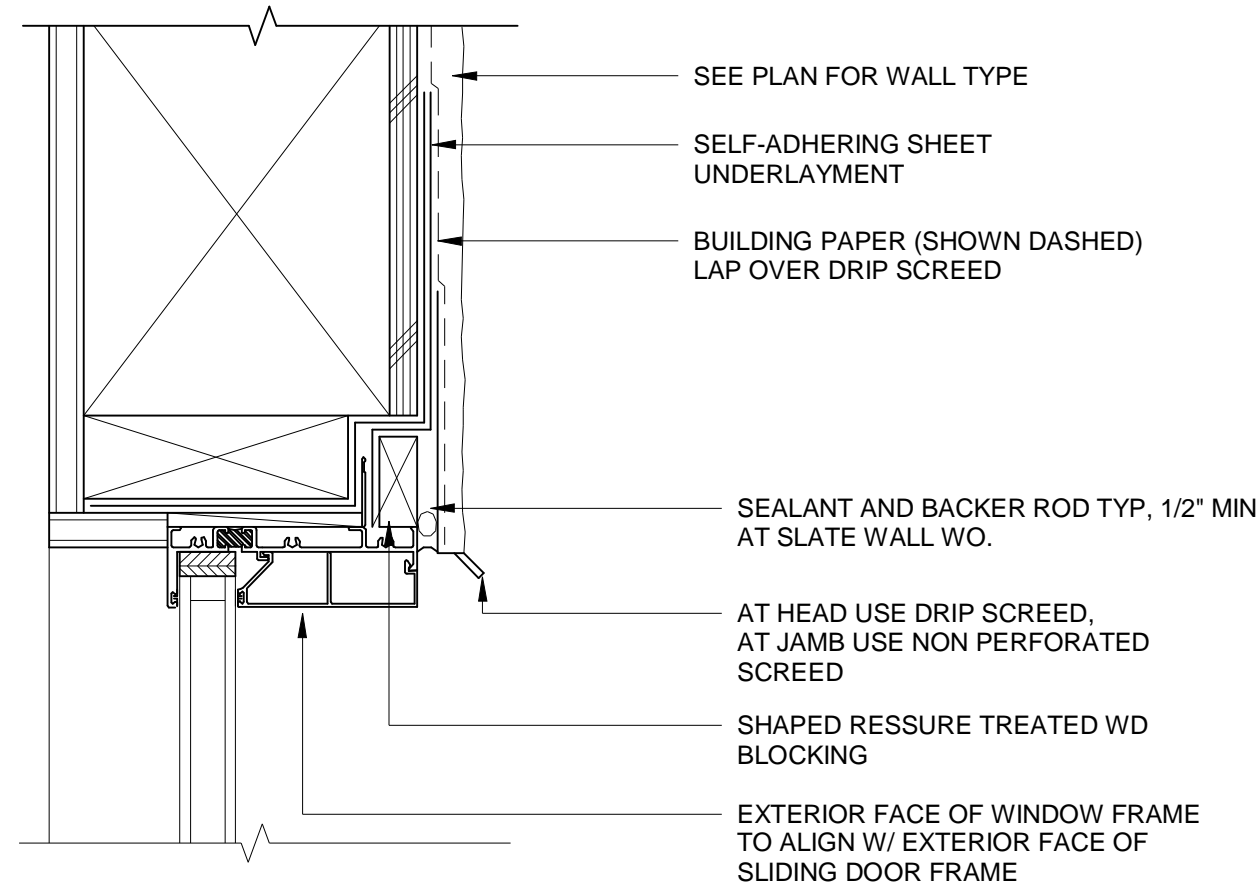
SOFFIT VENT  
1/2" = 1'-0"



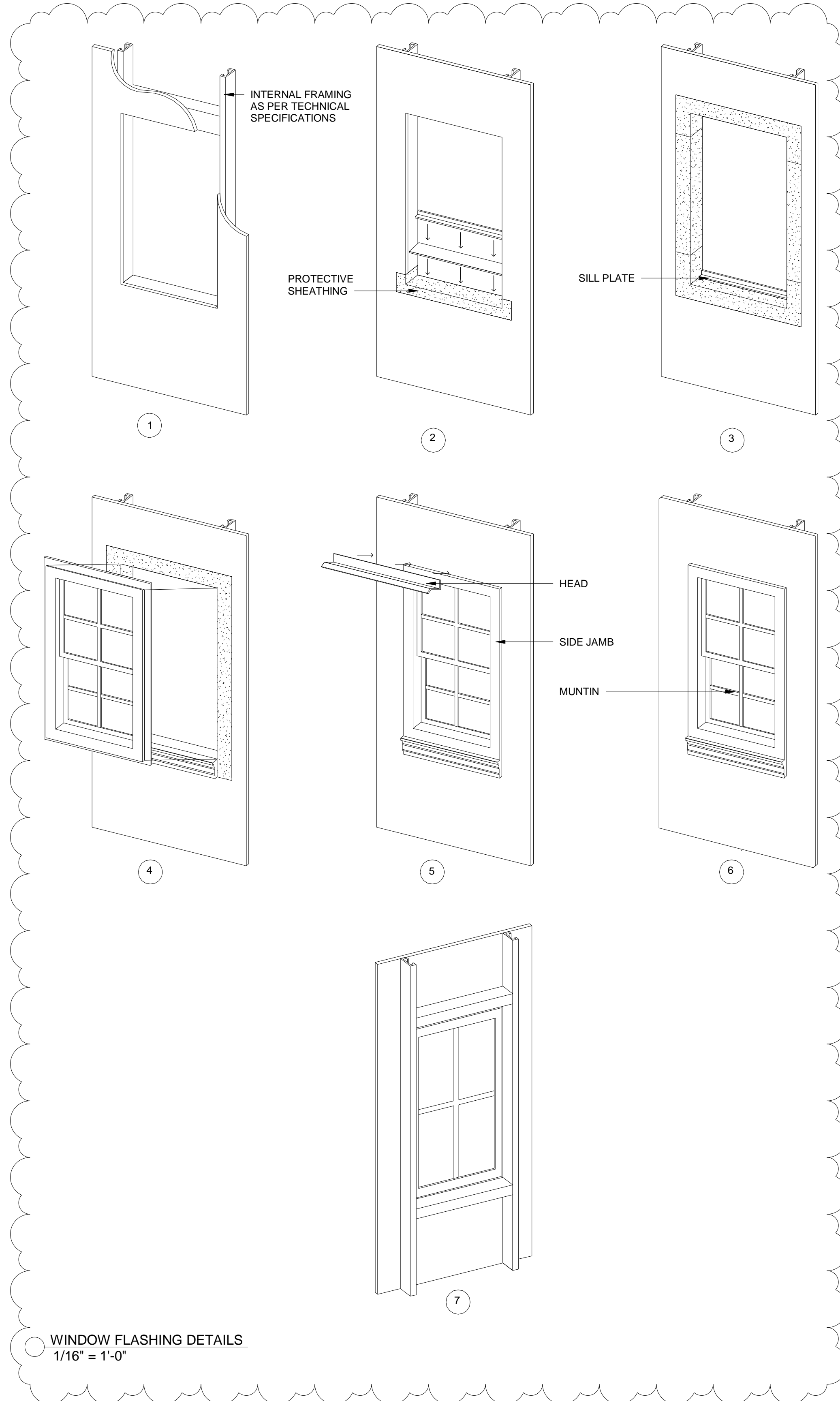
STONE VENEER  
3/4" = 1'-0"



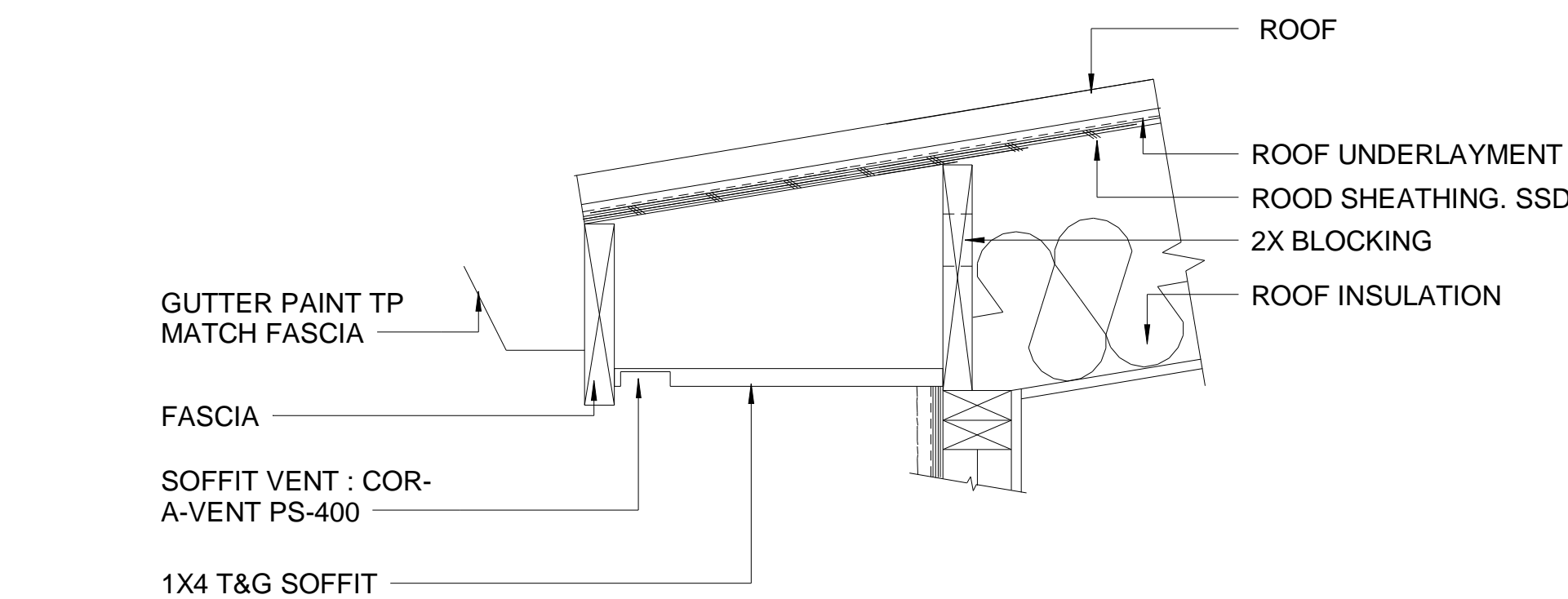
STUCCO BAND DETAILS  
3/4" = 1'-0"



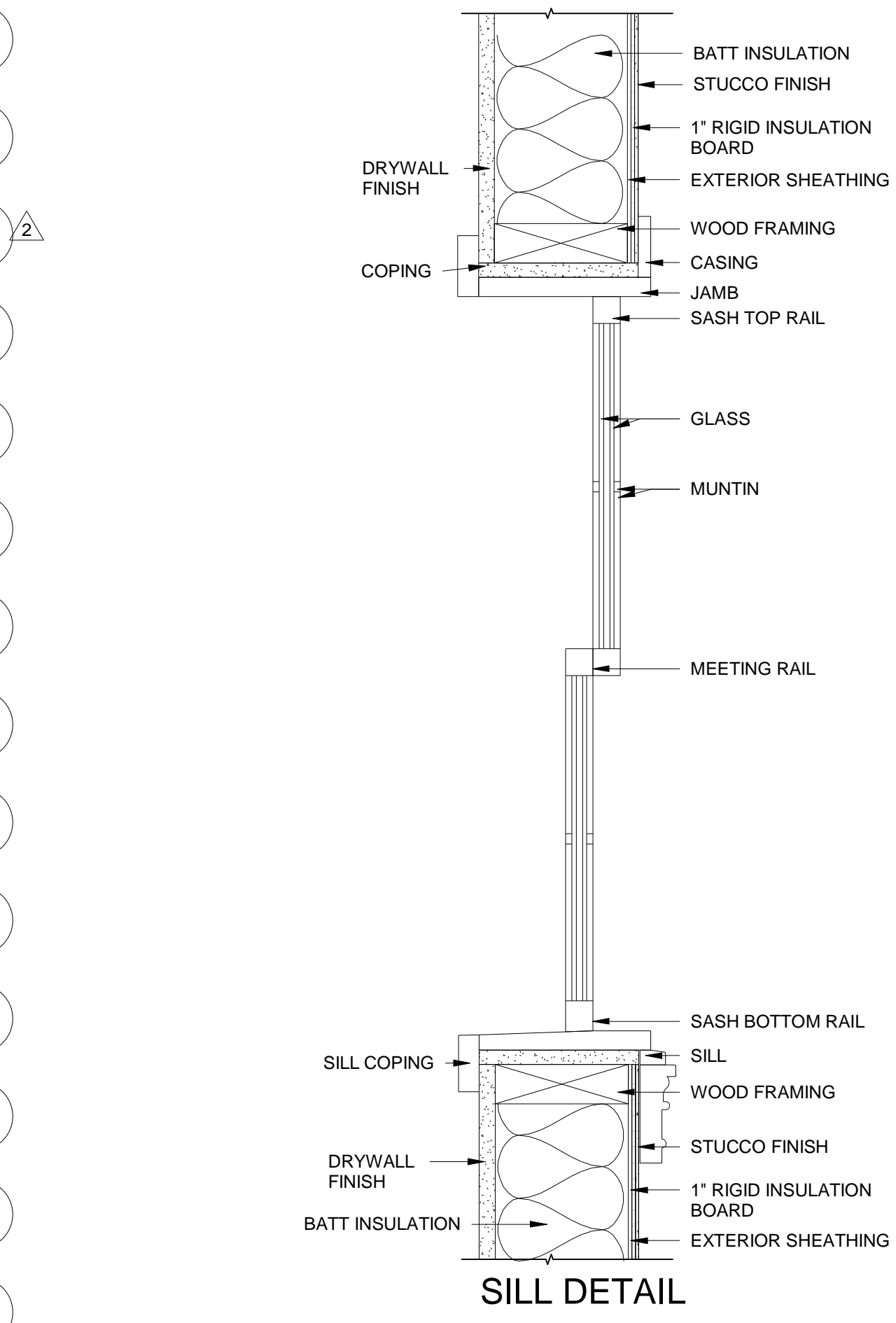
TYPICAL WINDOW JAMB  
3" = 1'-0"



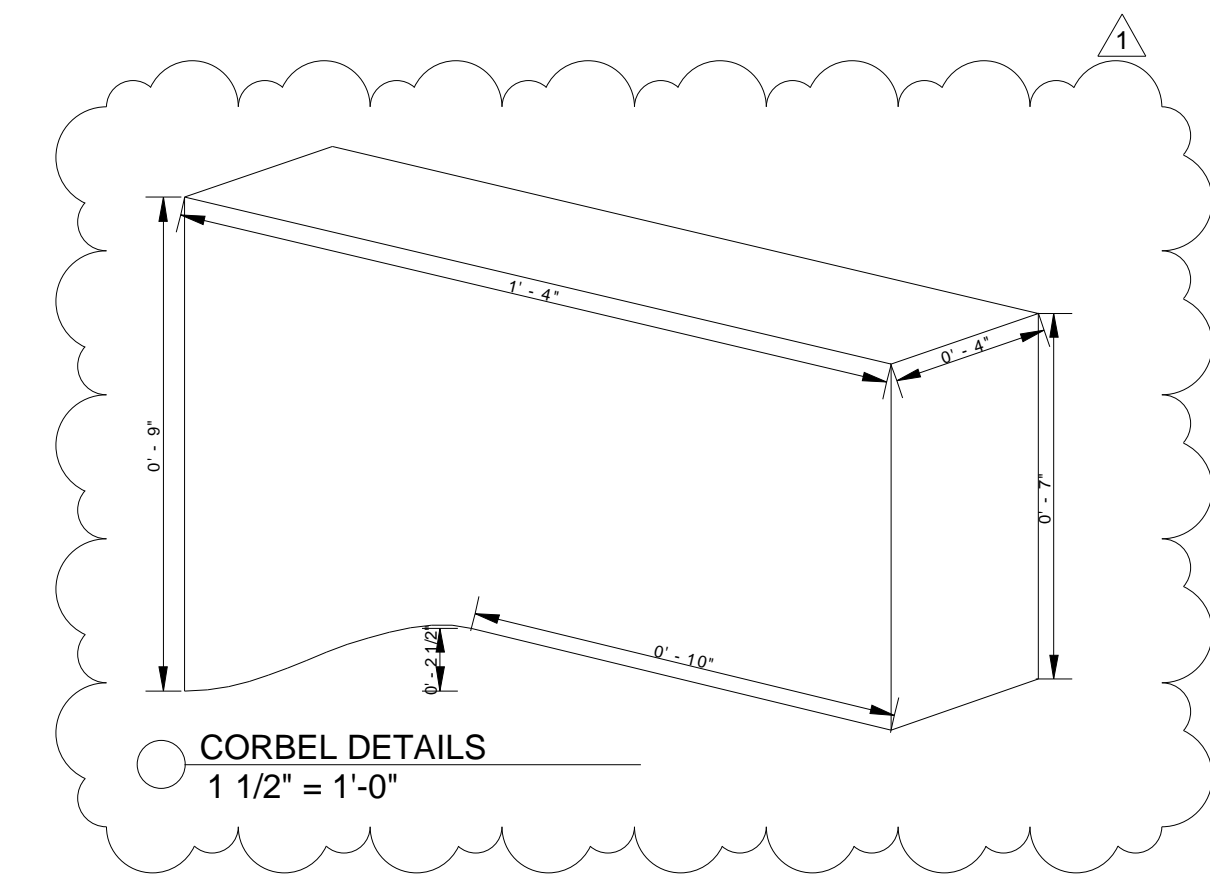
WINDOW FLASHING DETAILS  
1/16" = 1'-0"



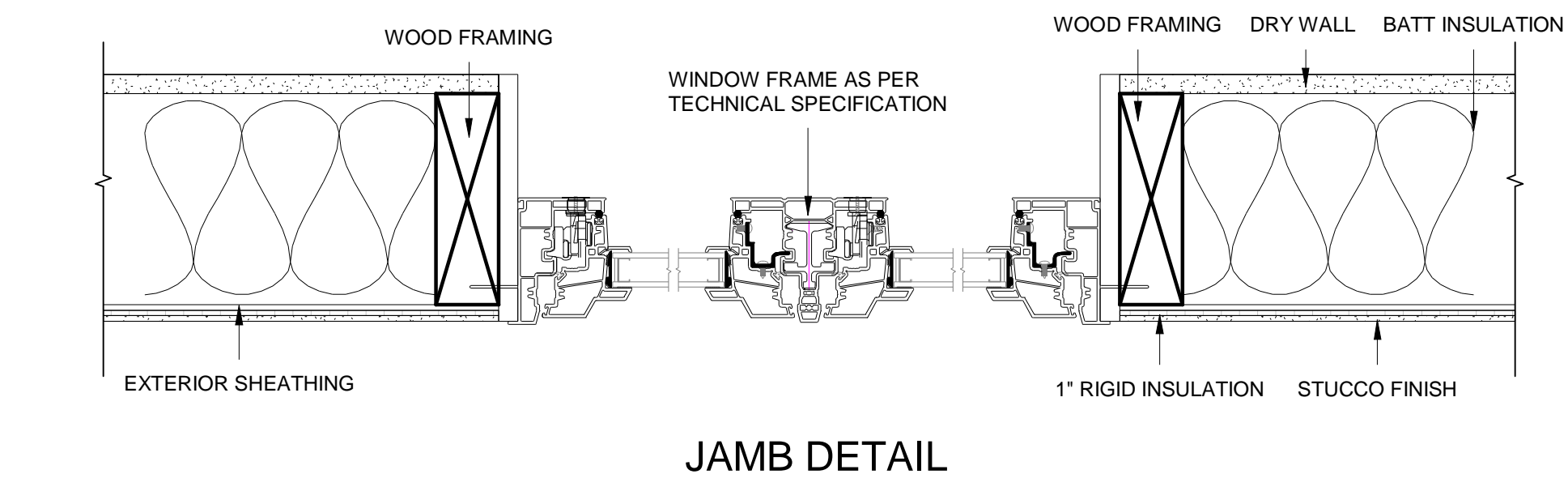
EAVE SOFFIT  
6" = 1'-0"



WINDOW SECTION  
3/16" = 1'-0"



CORBEL DETAILS  
1 1/2" = 1'-0"



JAMB DETAIL  
3" = 1'-0"

NOTES:

REVISIONS :

REV.	DESCRIPTION	DATE	REV BY
A	REVISED AS PER PLANNER'S COMMENTS	12-16-2022	SAGAR
B	REVISED AS PER PLANNER'S COMMENTS	02-16-2022	SAGAR

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PROJECT : 705 VISTA GRANDE AVE-LOT B, LOS ALTOS, CA

TYPICAL DETAILS

DATE: 02-16-2023  
 DRAWN BY: SAGAR  
 CHECKED BY: SUBHENDU  
 SCALE: As indicated

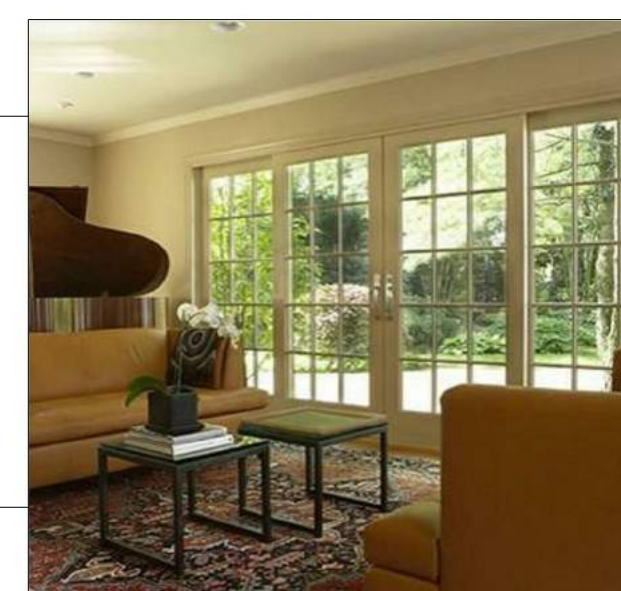


SHEET NO: A-7.001  
 ADDRESS : 329 S San Antonio Road Suite #4, Los Altos, CA 94022  
 CONTACT : 650-209-6500  
 EMAIL : team@golivio.com





**MISCELLANEOUS**



DOUBLE SLIDING DOOR



METAL HAND RAIL

**MATERIAL BOARD**

**EXTERIOR COLOR / MATERIAL SCHEDULE**

ROOF	MATERIAL / APPLICATION	COLOR	MANUFACTURE
	CLAY TILES ROOFING	BROWN	GAF OR EQ
WALL	SMOOTH STUCCO	BEIGE	NA
	RUSTIC RUBBLE STONE CLADDING		NA
MISC.	WOODEN GARAGE DOOR	BROWN	STERLING OR EQ
	METAL WINDOW FRAMES	BROWN	JELWEN OR EQ
	DOUBLE SLIDING GLASS DOOR	BROWN	JELWEN OR EQ
	METAL GUARDRAIL	BLACK	STAIRSUPPLIES OR EQ
	CONCRETE WALKWAY	GREY	NA

\* NOTES: EXACT COLORS TO BE VERIFIED WITH OWNER & ARCHITECT

NOTES:

**REVISIONS :**

REV.	DESCRIPTION	DATE	REV BY
△	REVISED AS PER PLANNER'S COMMENTS	12-16-2022	SAGAR
△	REVISED AS PER PLANNER'S COMMENTS	02-16-2022	SAGAR

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PROJECT : 705 VISTA GRANDE AVE-LOT B, LOS ALTOS, CA

**MATERIAL BOARD**

DATE: 02-16-2023

DRAWN BY: SAGAR

CHECKED BY: SUBHENDU

SCALE: 12" = 1'-0"

SHEET NO:

**A-7.002**

ADDRESS : 329 S San Antonio Road Suite #4, Los Altos, CA 94022

CONTACT : 650-209-6500

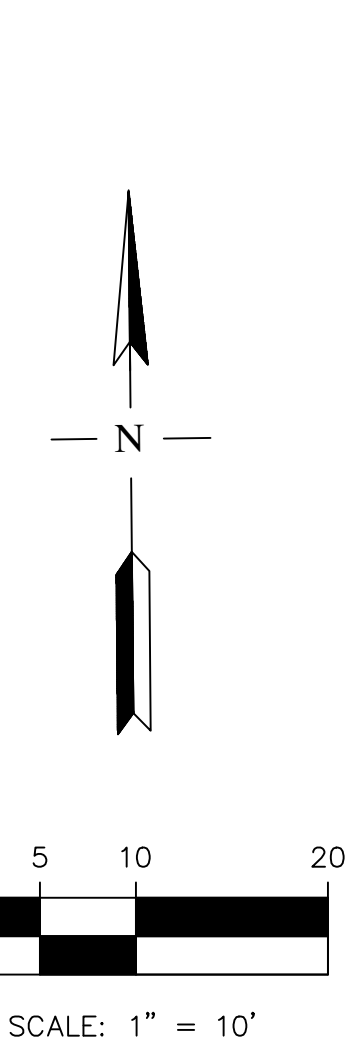
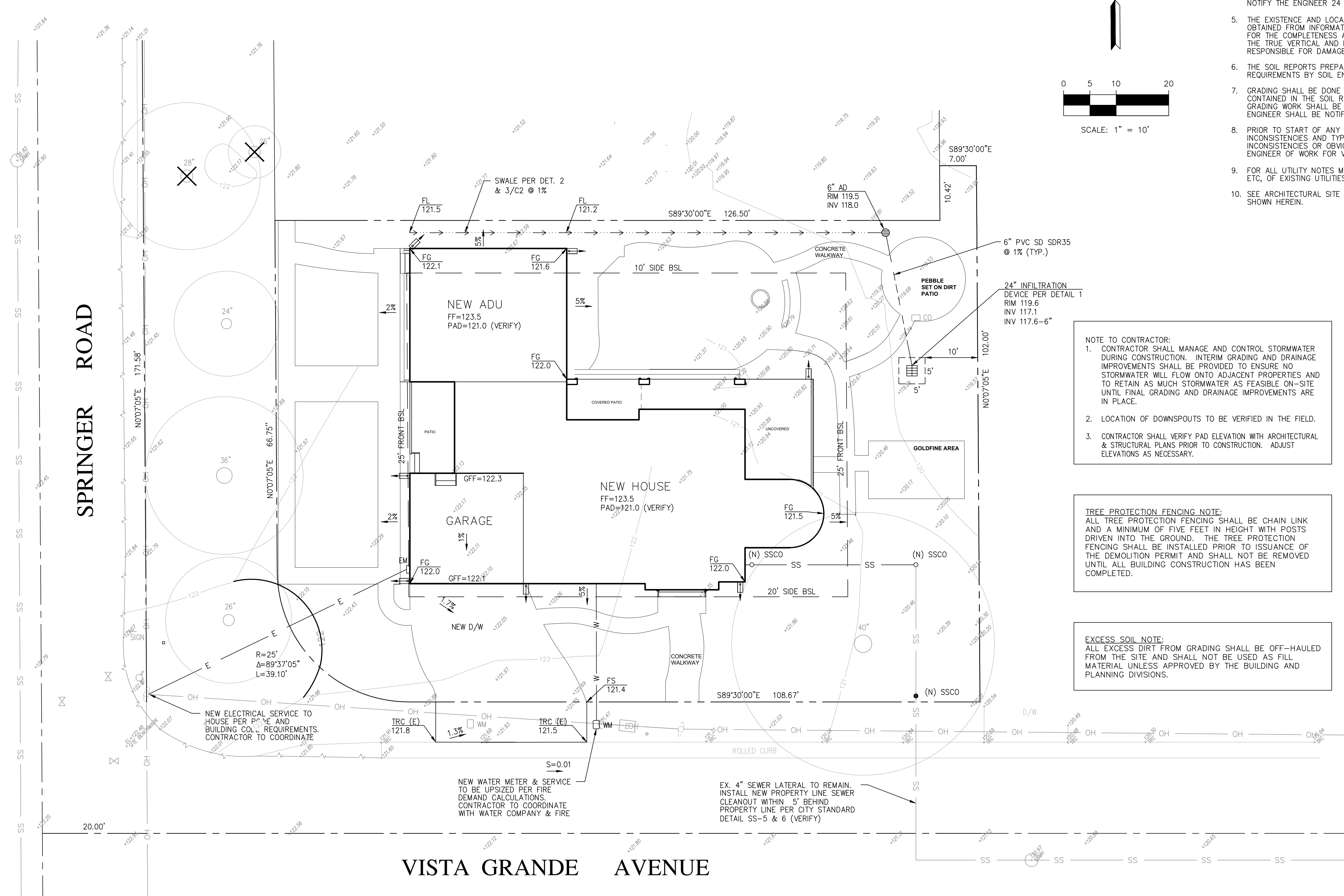
EMAIL : team@golivio.com





SPRINGER ROAD

VISTA GRANDE AVENUE



GRADING NOTES:

- ALL MATERIAL AND WORKMANSHIP SHALL CONFORM TO GENERAL AND SPECIFIC PROVISIONS, STANDARD DRAWINGS, AND REQUIREMENT OF THE CITY OF LOS ALTOS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENFORCING SAFETY MEASURES AND REGULATIONS. THE CONTRACTOR MUST DESIGN, CONSTRUCT, INSTALL, AND MAINTAIN ALL SAFETY DEVICES, INCLUDING SHORING, AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE, AND FEDERAL SAFETY AND HEALTH STANDARDS, LAW AND REGULATIONS.
- PRIOR TO START OF CONSTRUCTION, CONTRACTOR MUST VERIFY ALL JOINT/CROSSING LOCATIONS, ELEVATIONS, CURB, GUTTER, SIDEWALK, FLOW LINES, PAVEMENT, STREETS, AND ALL GRADE JOINTS. IF DISCREPANCY IS FOUND, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER AND NOT PROCEED WITH ANY CONSTRUCTION UNTIL VERIFICATION AND REVISION (IF NECESSARY) IS COMPLETED BY THE SAID ENGINEER.
- CONTRACTOR TO EXPOSE EXISTING SEWERS AND CHECK INVERTS BEFORE CONSTRUCTING NEW SEWERS. NOTIFY THE ENGINEER 24 HOURS PRIOR TO EXPOSING SEWERS.
- THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES/STRUCTURES SHOWN HEREON WERE OBTAINED FROM INFORMATION FURNISHED BY OTHERS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE COMPLETENESS AND ACCURACY OF SAID INFORMATION. THE CONTRACTOR MUST ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF THOSE TO BE USED AND SHALL BE RESPONSIBLE FOR DAMAGE TO ANY PUBLIC OR PRIVATE UTILITIES SHOWN OR NOT SHOWN HEREON.
- THE SOIL REPORTS PREPARED FOR THE PROJECT IS A PART OF THIS PLAN. THE MOST STRINGENT REQUIREMENTS BY SOIL ENGINEER OR GOVERNING AGENCIES SHALL PREVAIL.
- GRADING SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS AND RECOMMENDATIONS CONTAINED IN THE SOIL REPORT FOR THIS SITE TOGETHER WITH ANY SUPPLEMENTS THERETO. ALL GRADING WORK SHALL BE DONE UNDER THE OBSERVATION OF THE SOILS ENGINEER. THE SOIL ENGINEER SHALL BE NOTIFIED 48 HOURS BEFORE THE START OF ANY GRADING.
- PRIOR TO START OF ANY WORK, CONTRACTOR MUST REVIEW THE PLANS FOR DESIGN INCONSISTENCIES AND TYPES SUCH AS ELEVATIONS, CURB HEIGHT, DIMENSIONS, SLOPES, ETC. IF INCONSISTENCIES OR OBVIOUS TYPES ARE FOUND, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF WORK FOR VERIFICATION BEFORE PROCEEDING WITH ANY WORK.
- FOR ALL UTILITY NOTES MARKED "VERIFY", CONTRACTOR SHALL VERIFY LOCATION, SIZE, MATERIAL, ETC. OF EXISTING UTILITIES, SUCH AS WATER, GAS SEWER, ETC., PRIOR TO STARTING CONSTRUCTION.
- SEE ARCHITECTURAL SITE PLAN AND LANDSCAPE PLAN FOR SITE INFORMATION AND NOTES NOT SHOWN HEREIN.

LEGEND

- PROPERTY LINE
- CENTERLINE
- UTILITY LINE—TYPE AS NOTED
- STREET LIGHT
- UTILITY BOX—TYPE AS NOTED
- WM WATER METER
- WV WATER VALVE
- CB CATCH BASIN
- FH FIRE HYDRANT
- MH MANHOLE—TYPE AS NOTED
- CO SANITARY SEWER CLEANOUT
- PP POWER POLE W/ OVERHEAD WIRE
- BENCHMARK
- MON MONUMENT
- 200 CONTOUR LINE
- SWALE
- SURFACE FLOW DIRECTION
- DS DOWNSPOUT WITH SPLASH-BLOCK
- 12" TREE—TRUNK DIAMETER IN INCHES SPECIES NOTED WHEN KNOWN

**NOTE TO CONTRACTOR:**

- CONTRACTOR SHALL MANAGE AND CONTROL STORMWATER DURING CONSTRUCTION. INTERIM GRADING AND DRAINAGE IMPROVEMENTS SHALL BE PROVIDED TO ENSURE NO STORMWATER WILL FLOW ONTO ADJACENT PROPERTIES AND TO RETAIN AS MUCH STORMWATER AS FEASIBLE ON-SITE UNTIL FINAL GRADING AND DRAINAGE IMPROVEMENTS ARE IN PLACE.
- LOCATION OF DOWNSPOUTS TO BE VERIFIED IN THE FIELD.
- CONTRACTOR SHALL VERIFY PAD ELEVATION WITH ARCHITECTURAL & STRUCTURAL PLANS PRIOR TO CONSTRUCTION. ADJUST ELEVATIONS AS NECESSARY.

**TREE PROTECTION FENCING NOTE:**  
ALL TREE PROTECTION FENCING SHALL BE CHAIN LINK AND A MINIMUM OF FIVE FEET IN HEIGHT WITH POSTS DRIVEN INTO THE GROUND. THE TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ISSUANCE OF THE DEMOLITION PERMIT AND SHALL NOT BE REMOVED UNTIL ALL BUILDING CONSTRUCTION HAS BEEN COMPLETED.

**EXCESS SOIL NOTE:**  
ALL EXCESS DIRT FROM GRADING SHALL BE OFF-HAULED FROM THE SITE AND SHALL NOT BE USED AS FILL MATERIAL UNLESS APPROVED BY THE BUILDING AND PLANNING DIVISIONS.

ABBREVIATION

- AC ASPHALT CONCRETE
- AD AREA DRAIN
- CONC CONCRETE
- C/G CURB & GUTTER
- DI DRAIN INLET
- DS DOWNSPOUT
- EX EXISTING
- OFF GARAGE FINISH GRADE
- FF FINISH FLOOR GRADE
- FL FLOW LINE GRADE
- H.P. HIGH POINT
- PUE PUBLIC UTILITY EASEMENT
- PVC POLYVINYL CHLORIDE
- SW SIDEWALK
- TC TOP OF CURB

EARTHWORK TABLE

LOCATION	CUT (CY)	FILL (CY)	EXPORT (CY)
DRIVEWAY & SITE	10	0	
HOUSE (PAD)	60	0	
<b>TOTAL</b>	<b>70</b>	<b>70</b>	<b>70</b>

NOTE: EARTHWORK QUANTITIES ON THIS TABLE ARE FOR INFORMATION ONLY. CONTRACTORS ARE TO PERFORM THEIR OWN QUANTITIES TAKE-OFF.

**RIGHT-OF-WAY NOTES:**

- PRIOR TO THE COMMENCEMENT OF ANY WORK DONE IN THE PUBLIC RIGHT-OF-WAY, A PERMIT TO OPEN STREET AND/OR AN ENCROACHMENT PERMIT WILL BE REQUIRED.
- ANY DAMAGED RIGHT-OF-WAY INFRASTRUCTURES AND OTHERWISE DISPLACED CURB AND GUTTER SHALL BE REMOVED AND REPLACED AS DIRECTED BY THE CITY ENGINEER OR HIS DESIGNEE. CONTRACTOR SHALL COORDINATE WITH PUBLIC WORKS DEPARTMENT AT (650) 947-2680.

NO.	REVISION	DATE	BY

**RW ENGINEERING, INC.**  
 CIVIL ENGINEERS • LAND SURVEYORS  
 505 ALTIMONT DRIVE  
 MILPITAS, CA 95035  
 (P) (408) 262-1899  
 (FAX) (408) 824-5556  
 rwengineering@gmail.com

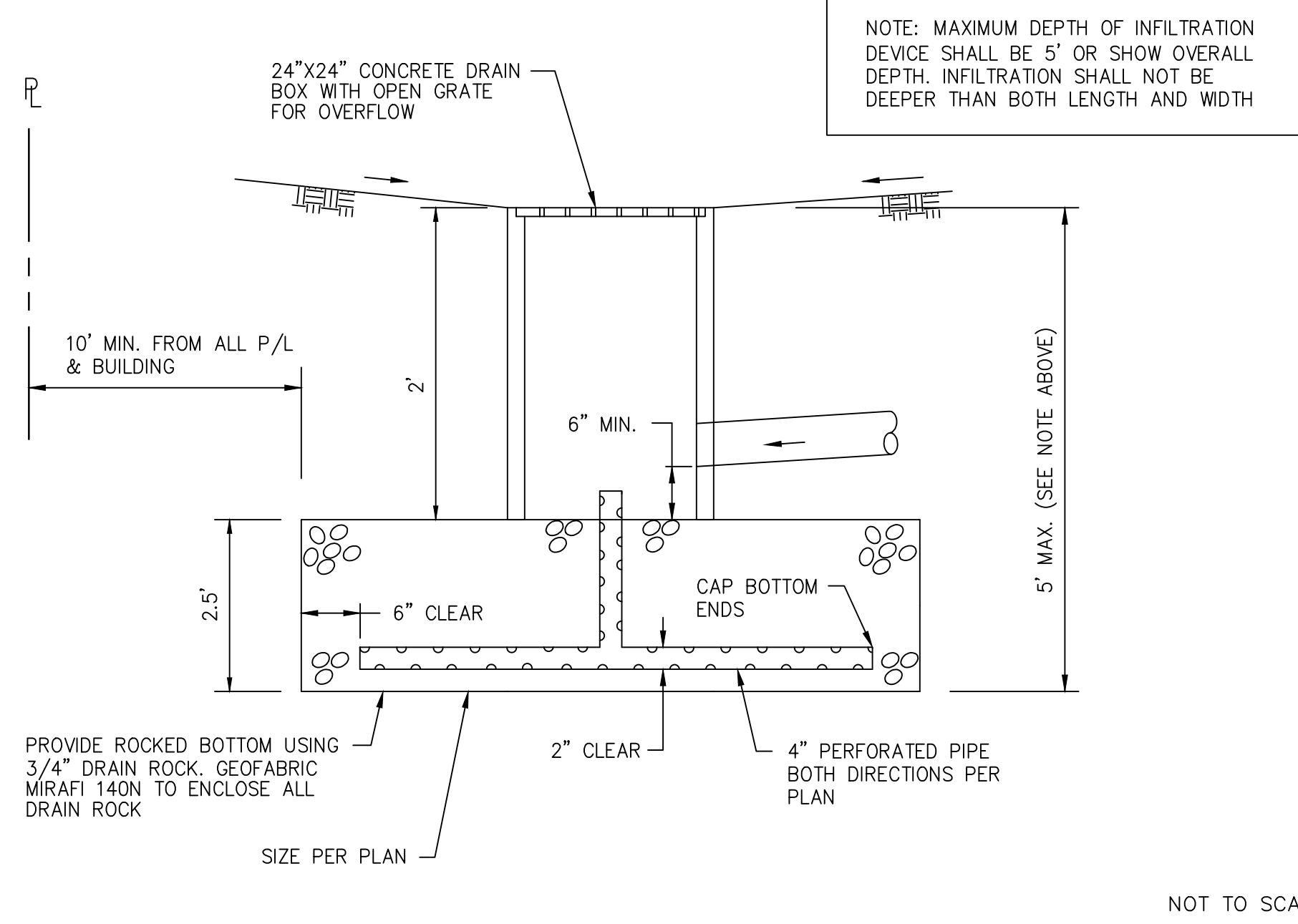
**NEW RESIDENCE (PARCEL B)**  
**705 VISTA GRANDE AVENUE**  
**LOS ALTOS, CA**  
 SANTA CLARA COUNTY  
 APN: 189-59-070

**GRADING AND DRAINAGE PLAN**

DATE: 7/10/2022  
 SCALE: AS NOTED  
 DESIGNED BY: RW  
 DRAWN BY: RW  
 SHEET NO.

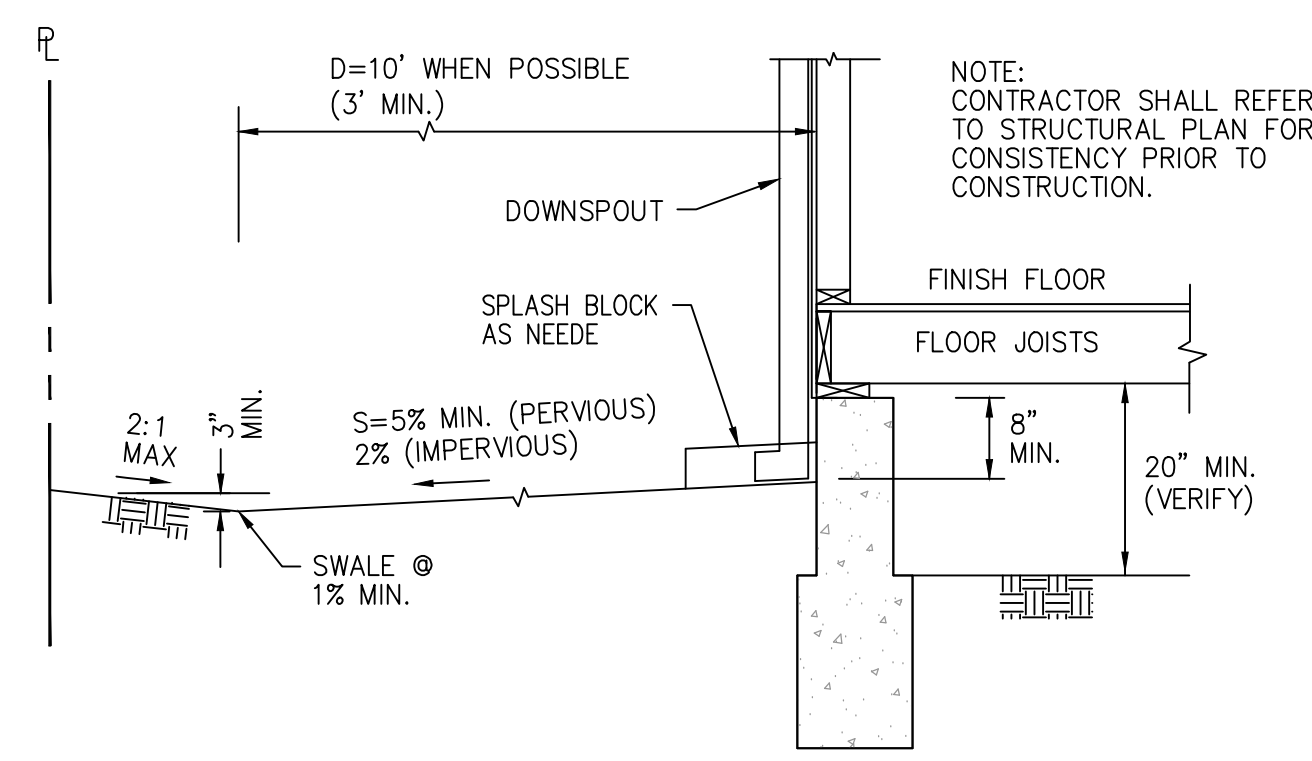
**C-1**  
 OF 4 SHEETS





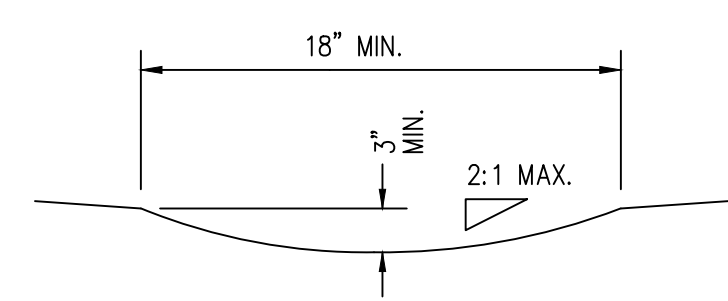
NOTE: MAXIMUM DEPTH OF INFILTRATION DEVICE SHALL BE 5' OR SHOW OVERALL DEPTH. INFILTRATION SHALL NOT BE DEEPER THAN BOTH LENGTH AND WIDTH

NOT TO SCALE



NOTE: CONTRACTOR SHALL REFER TO STRUCTURAL PLAN FOR CONSISTENCY PRIOR TO CONSTRUCTION.

NOT TO SCALE



NOT TO SCALE

1	STORMWATER INFILTRATION BOX	2	TYPICAL GRADING AROUND FOUNDATION	3	SWALE
---	-----------------------------	---	-----------------------------------	---	-------

NO.	REVISION	DATE	BY

**RW** ENGINEERING, INC.  
 CIVIL ENGINEERS • LAND SURVEYORS  
 505 ALTAMONT DRIVE  
 MILPITAS, CA 95035  
 (P) (408) 262-1899  
 (FAX) (408) 824-5556  
 rweengineering@gmail.com



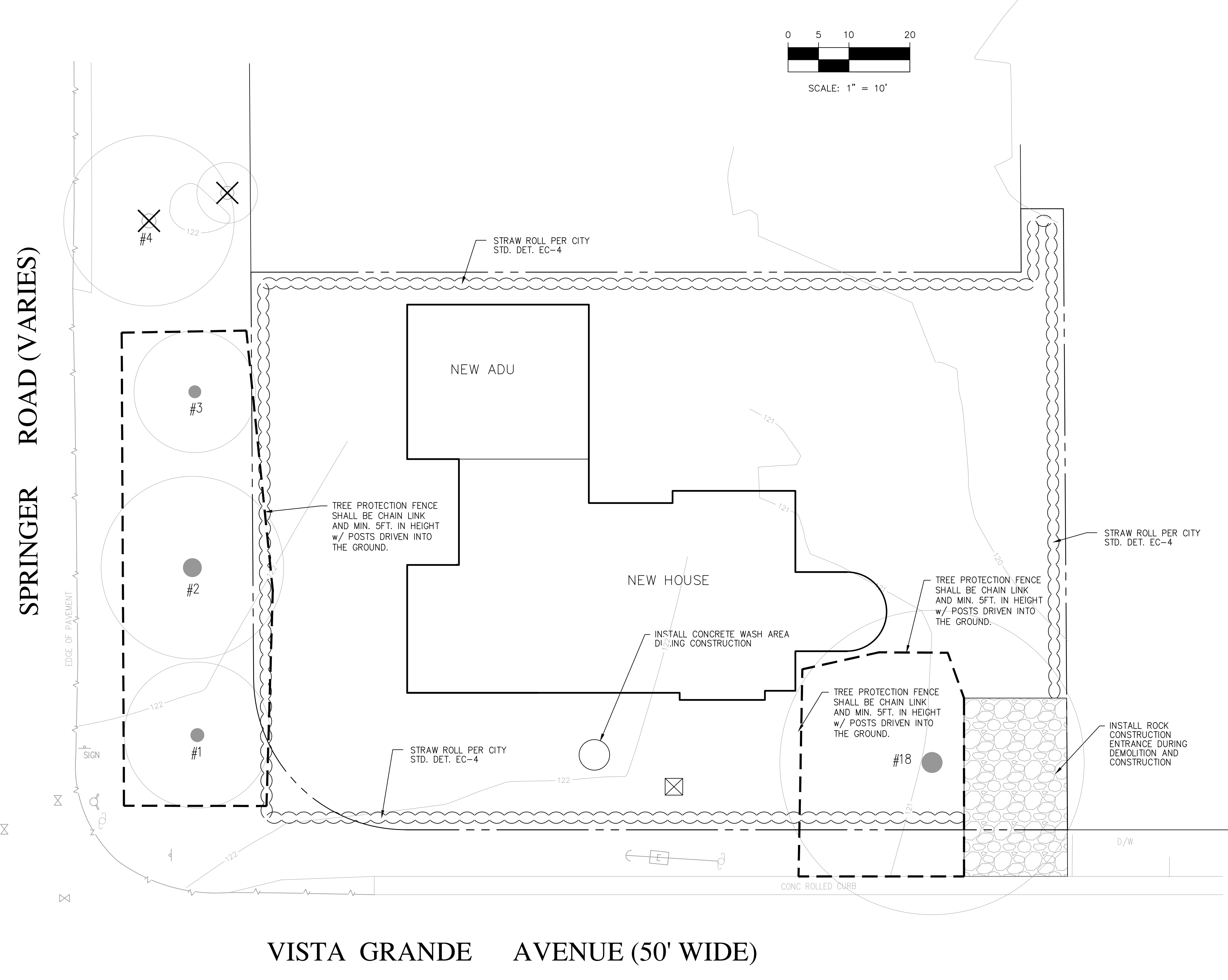
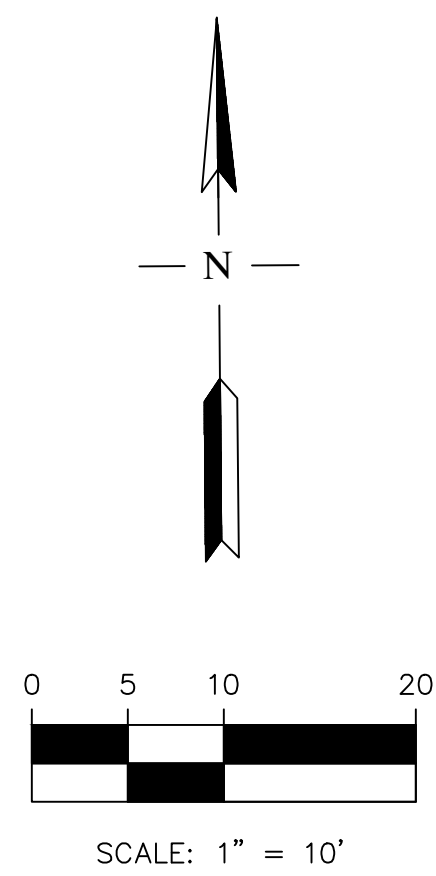
NEW RESIDENCE (PARCEL B)  
 705 VISTA GRANDE AVENUE  
 LOS ALTOS, CA  
 APN: 189-58-070 SANTA CLARA COUNTY

DETAILS

DATE: 7/10/2022  
 SCALE: AS NOTED  
 DESIGNED BY: RW  
 DRAWN BY: RW  
 SHEET NO.



TREE INVENTORY			
NO.	SPECIES	DBH	STATUS
1	DEODAR CEDAR	27.2"	TO BE PROTECTED
2	REDWOOD	26.5"	TO BE PROTECTED
3	REDWOOD	13.7"	TO BE PROTECTED
4	REDWOOD	26.1"	TO BE REMOVED
5	CANARY ISLAND PALM	26"	TO BE REMOVED
6	REDWOOD	23.9"	TO BE REMOVED
7	DOUGLAS FIR	34.3"	TO BE PROTECTED
8	CAMPHOR	9.1"	TO BE KEPT
9	REDWOOD	25.1"	TO BE PROTECTED
10	DOUGLAS FIR	24.4"	TO BE PROTECTED
11	DOUGLAS FIR	25.8"	TO BE PROTECTED
12	PINEAPPLE GUAVA	MULTI	TO BE REMOVED
13	PINEAPPLE GUAVA	MULTI	TO BE REMOVED
14	PINEAPPLE GUAVA	MULTI	TO BE REMOVED
15	PINEAPPLE GUAVA	MULTI	TO BE REMOVED
16	PINEAPPLE GUAVA	MULTI	TO BE REMOVED
17	PINEAPPLE GUAVA	MULTI	TO BE REMOVED
18	CORK OAK	41.4"	TO BE PROTECTED



**GENERAL EROSION AND SEDIMENT CONTROL NOTES:**

1. THIS PLAN IS INTENDED TO BE USED FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY AND IS NOT TO BE USED FOR FINAL ELEVATIONS OR PERMANENT IMPROVEMENTS.
2. OWNER/ CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL MEASURES PRIOR, DURING, AND AFTER STORM EVENTS.
3. REASONABLE CARE SHALL BE TAKEN WHEN HAULING ANY EARTH, SAND, GRAVEL, STONE, DEBRIS, PAPER OR ANY OTHER SUBSTANCE OVER ANY PUBLIC STREET, ALLEY OR OTHER PUBLIC PLACE. SHOULD ANY BLOW, SPILL, OR TRACK OVER AND UPON SAID PUBLIC OR ADJACENT PRIVATE PROPERTY, IMMEDIATE REMEDY SHALL OCCUR.
4. SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE.
5. DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEM, INCLUDING EXISTING DRAINAGE SWALES AND WATER COURSES.
6. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED. STATE AND LOCAL LAWS CONCERNING POLLUTION ABATEMENT SHALL BE COMPLIED WITH.
7. CONTRACTOR SHALL PROVIDE DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE, AND LOCAL AGENCY REQUIREMENTS.

**EROSION AND SEDIMENT CONTROL MEASURES**

1. THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 15 TO APRIL 15. FACILITIES ARE TO BE OPERABLE PRIOR TO OCTOBER 1 OF ANY YEAR. GRADING OPERATIONS DURING THE RAINY SEASON WHICH LEAVE DENUDED SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES.
2. THIS PLAN COVERS ONLY THE FIRST WINTER FOLLOWING GRADING WITH ASSUMED SITE CONDITIONS AS SHOWN ON THE EROSION CONTROL PLAN. PRIOR TO SEPTEMBER 15, THE COMPLETION OF SITE IMPROVEMENT SHALL BE EVALUATED AND REVISIONS MADE TO THIS PLAN AS NECESSARY WITH THE APPROVAL OF THE CITY ENGINEER. PLANS ARE TO BE RESUBMITTED FOR CITY APPROVAL PRIOR TO SEPTEMBER 1 OF EACH SUBSEQUENT YEAR UNTIL SITE IMPROVEMENTS ARE ACCEPTED BY THE CITY AND COUNTY.
3. CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF GRADING. ALL CONSTRUCTION TRAFFIC ENTERING ONTO THE PAVED ROADS MUST CROSS THE STABILIZED CONSTRUCTION ENTRANCE WAYS. (ALSO INCLUDE THIS NOTE ON GRADING PLANS.)
4. CONTRACTOR SHALL MAINTAIN STABILIZED ENTRANCE AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS. ANY MUD OR DEBRIS TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED DAILY AND AS REQUIRED BY THE CITY AND COUNTY.
5. IF HYDROSEEDING IS NOT USED OR IS NOT EFFECTIVE BY 10/10, THEN OTHER IMMEDIATE METHODS SHALL BE IMPLEMENTED, SUCH AS EROSION CONTROL BLANKETS, OR A THREE-STEP APPLICATION OF 1) SEED, MULCH, FERTILIZER 2) BLOWN STRAW 3) TACKIFIER AND MULCH.
6. INLET PROTECTION SHALL BE INSTALLED AT OPEN INLETS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL ARE TO BE BLOCKED TO PREVENT ENTRY OF SEDIMENT.
7. LOTS WITH HOUSES UNDER CONSTRUCTION WILL NOT BE HYDROSEEDED. EROSION PROTECTION FOR EACH LOT WITH A HOUSE UNDER CONSTRUCTION SHALL CONFORM TO THE TYPICAL LOT EROSION CONTROL DETAIL SHOWN ON THIS SHEET.
8. THIS EROSION AND SEDIMENT CONTROL PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN IN THE FIELD. NOTIFY THE CITY REPRESENTATIVE OF ANY FIELD CHANGES.

**MAINTENANCE NOTES**

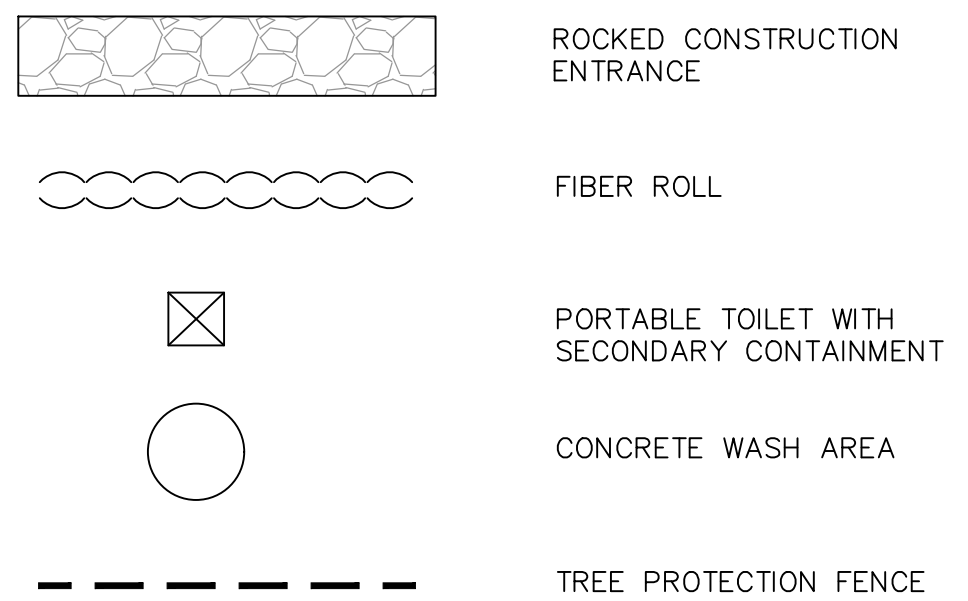
1. MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:
  - A. REPAIR DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION AT THE END OF EACH WORKING DAY.
  - B. SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.
  - C. SEDIMENT TRAPS, BERMS, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED.
  - D. SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF 1 FOOT.
  - E. SEDIMENT REMOVED FROM TRAP SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
  - F. RILLS AND GULLIES MUST BE REPAIRED.
2. ROCK BAG INLET PROTECTION SHALL BE CLEANED OUT WHENEVER SEDIMENT DEPTH IS ONE HALF THE HEIGHT OF ONE ROCK BAG.

**HYDROSEEDING:**

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS, CALTRANS STANDARD SPECIFICATIONS, AND UNDER THE DIRECTION OF THE SOIL ENGINEER IN THE FIELD.
2. ALL AREAS SPECIFIED FOR HYDROSEEDING SHALL BE NOZZLE PLANTED WITH STABILIZATION MATERIAL CONSISTING OF FIBER, SEED, FERTILIZER AND WATER, MIXED AND APPLIED IN THE FOLLOWING PROPORTIONS AVAILABLE FROM PACIFIC COAST SEED, LIVERMORE (925) 373-4417:
 

FIBER (HYDROSTRAW AND TACK MULCH)	2500 LBS/ACRE
COLOR (GREEN TO GOLD)	55 LBS/ACRE
FERTILIZER (16-20-0)	350 LBS/ACRE
M-BINDER	125 LB/ACRE
WATER, AS REQUIRED FOR APPLICATION	

**LEGEND**



**TREE PROTECTION FENCING NOTE:**  
 ALL TREE PROTECTION FENCING SHALL BE CHAIN LINK AND A MINIMUM OF FIVE FEET IN HEIGHT WITH POSTS DRIVEN INTO THE GROUND. THE TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ISSUANCE OF THE DEMOLITION PERMIT AND SHALL NOT BE REMOVED UNTIL ALL BUILDING CONSTRUCTION HAS BEEN COMPLETED.

NO.	REVISION	DATE	BY

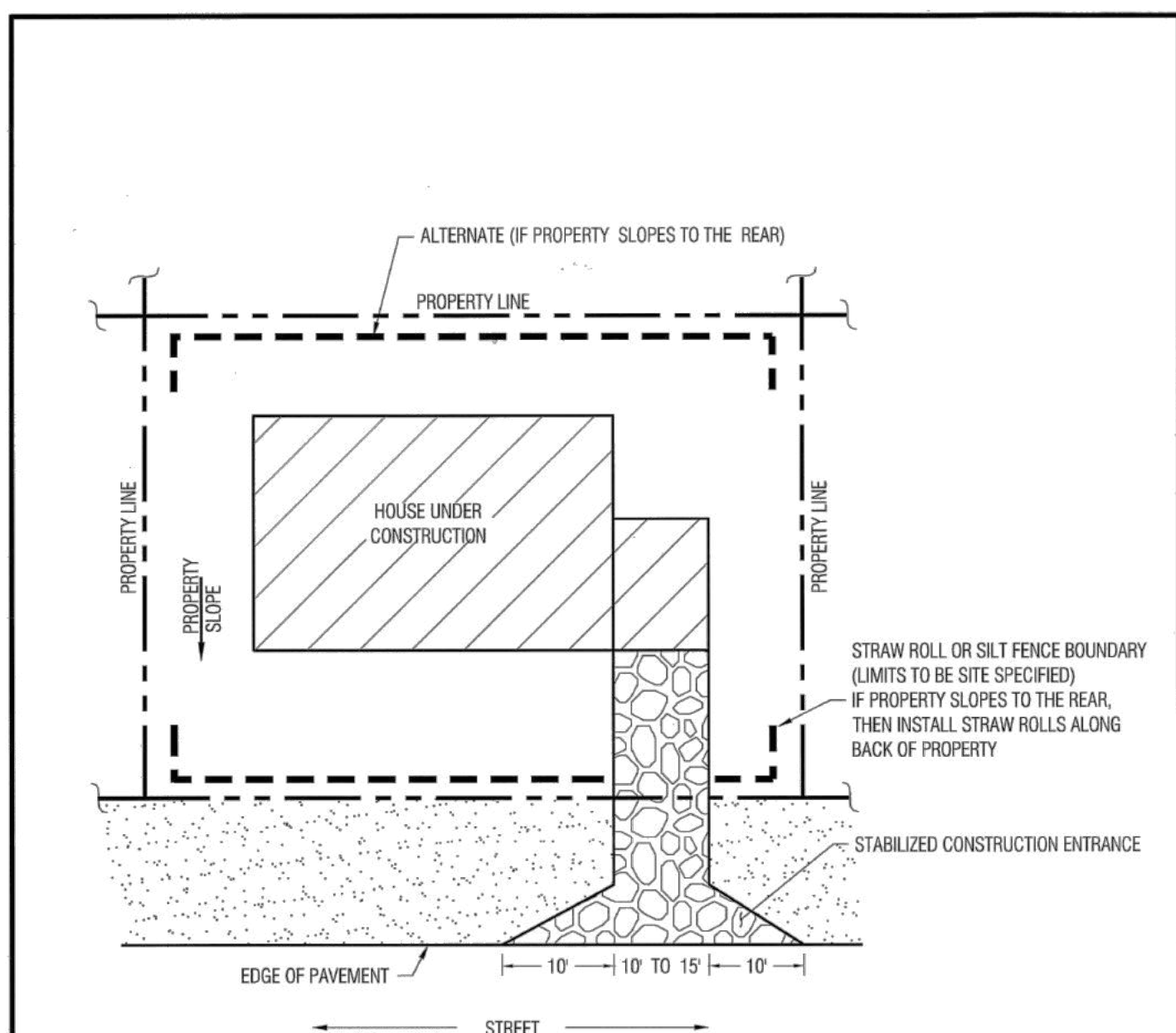
**RW ENGINEERING, INC.**  
 CIVIL ENGINEERS • LAND SURVEYORS  
 505 ALTAMONT DRIVE  
 MILPITAS, CA 95035  
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**NEW RESIDENCE (PARCEL B)**  
**705 VISTA GRANDE AVENUE**  
**LOS ALTOS, CA**  
 APN: 189-59-070 SANTA CLARA COUNTY

**EROSION CONTROL & TREE PROTECTION PLAN**

DATE: 7/10/2022  
 SCALE: AS NOTED  
 DESIGNED BY: RW  
 DRAWN BY: RW  
 SHEET NO.

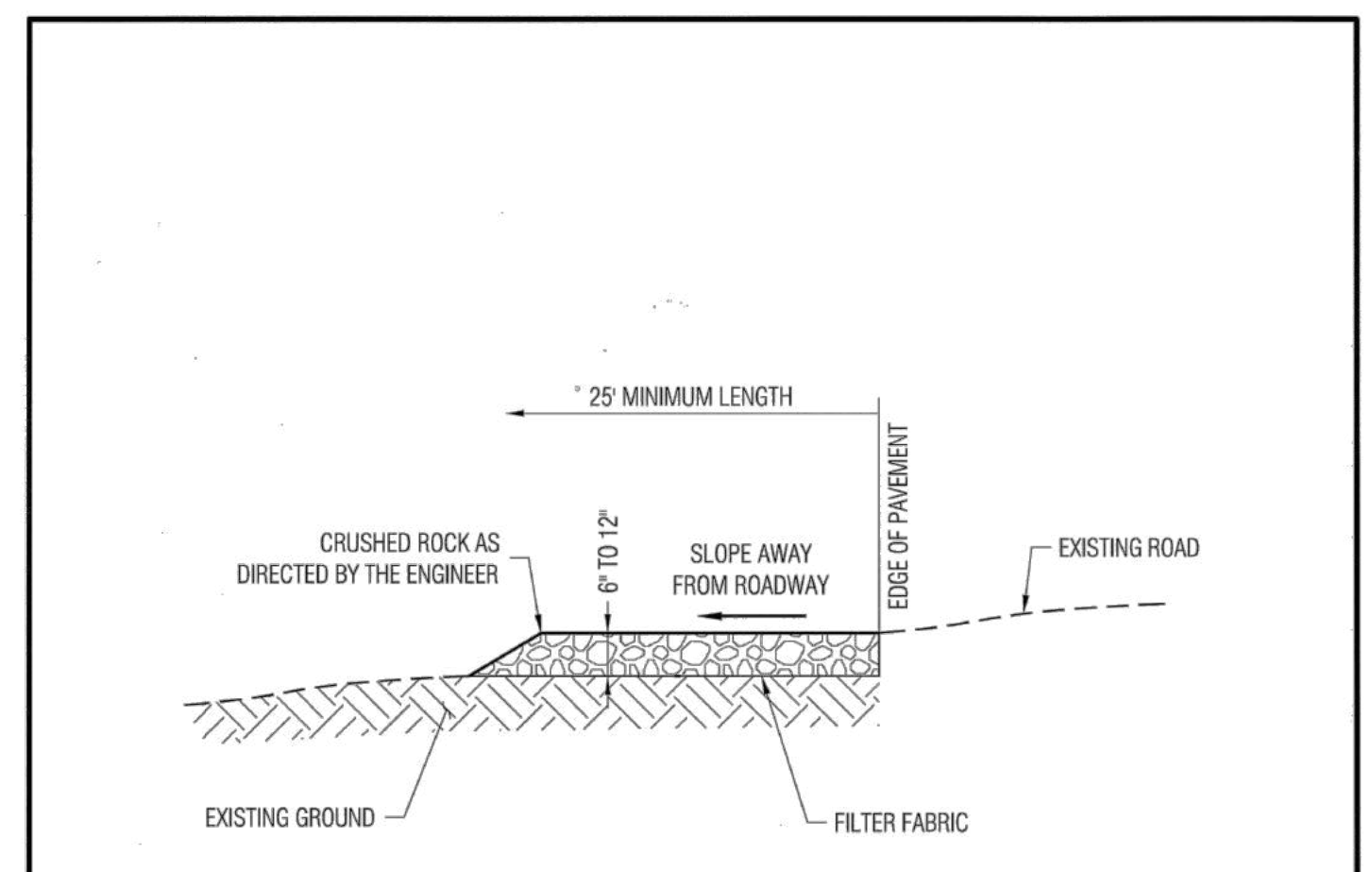




**GENERIC CONSTRUCTION SITE PLAN**

Approved:  1/4/10 City Engineer		<b>ENGINEERING DIVISION</b>	
<b>REVISION</b>		<b>TYPICAL EROSION AND SEDIMENT CONTROL AT SINGLE FAMILY CONSTRUCTION SITE</b>	<b>EC-1</b>
Description	Date		

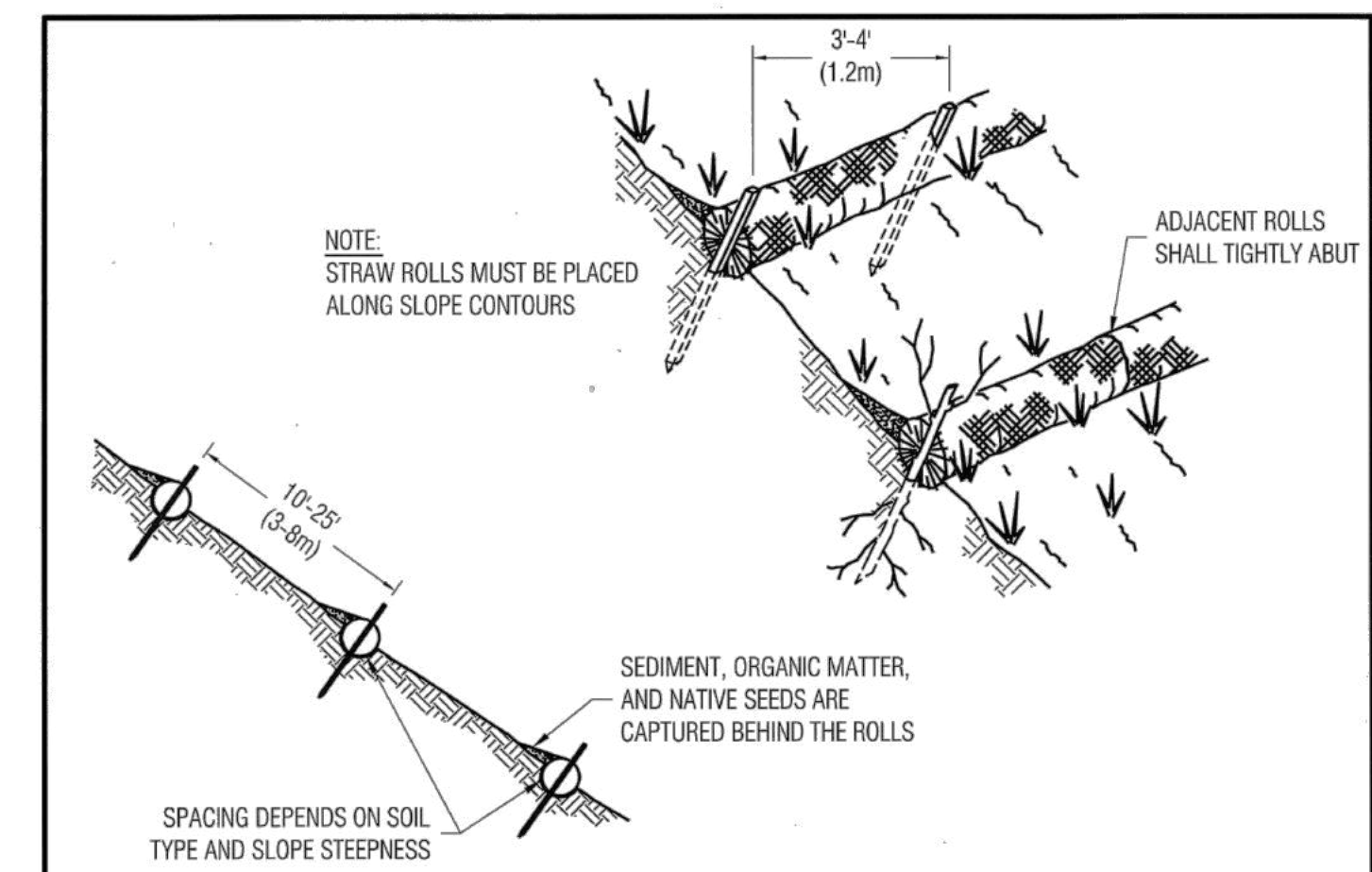
STANDARD DETAILS MAY 2010



- NOTES:**
1. PROVIDE A FANDED STABILIZED CONSTRUCTION ENTRANCE TO ACCOMMODATE THE TURNING RADIUS OF CONSTRUCTION EQUIPMENT ON AND OFF THE PUBLIC STREET
  2. INSTALL STABILIZED CONSTRUCTION ENTRANCE ALONG NEW DRIVEWAY CORRIDOR FOR THE FULL PROPOSED WIDTH

Approved:  1/4/10 City Engineer		<b>ENGINEERING DIVISION</b>	
<b>REVISION</b>		<b>STABILIZED CONSTRUCTION SITE ENTRANCE</b>	<b>EC-2</b>
Description	Date		

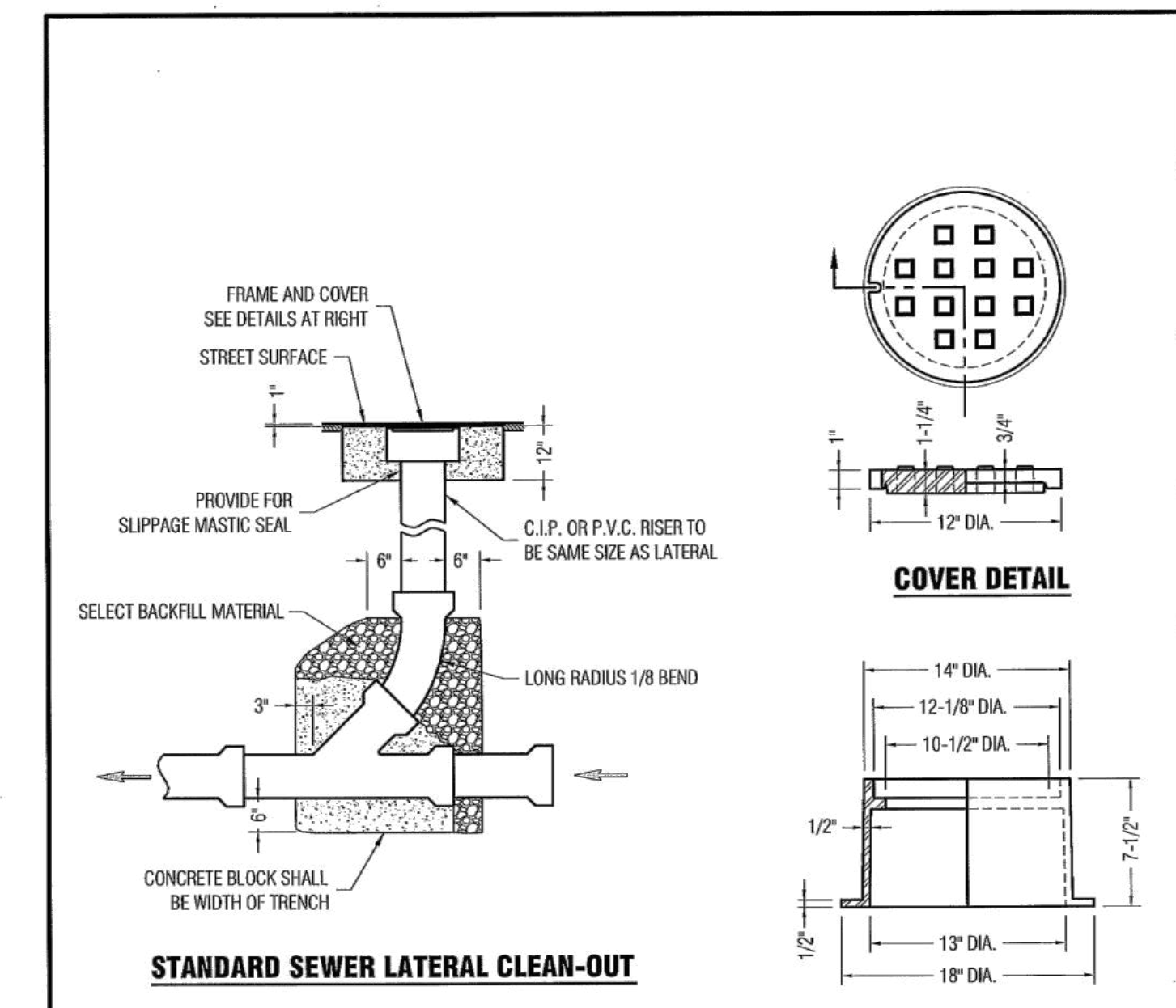
STANDARD DETAILS MAY 2010



- NOTES:**
1. STRAW ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE ROLL IN A TRENCH, 3'-5' (75-125mm) DEEP, DUG ON CONTOUR. RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND ROLL
  2. VERTICAL SPACING FOR SLOPE INSTALLATIONS
    - 1:1 SLOPES = 10 FEET APART
    - 2:1 SLOPES = 20 FEET APART
    - 3:1 SLOPES = 30 FEET APART
    - 4:1 SLOPES = 40 FEET APART
    - <4:1 SLOPE = ONE ROW AT LOW POINT
  3. REMOVED SEDIMENT SHALL BE DEPOSITED IN AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT TO RUN OFF-SITE AND CAN BE PERMANENTLY STABILIZED

Approved:  1/4/10 City Engineer		<b>ENGINEERING DIVISION</b>	
<b>REVISION</b>		<b>STRAW ROLLS</b>	<b>EC-4</b>
Description	Date		

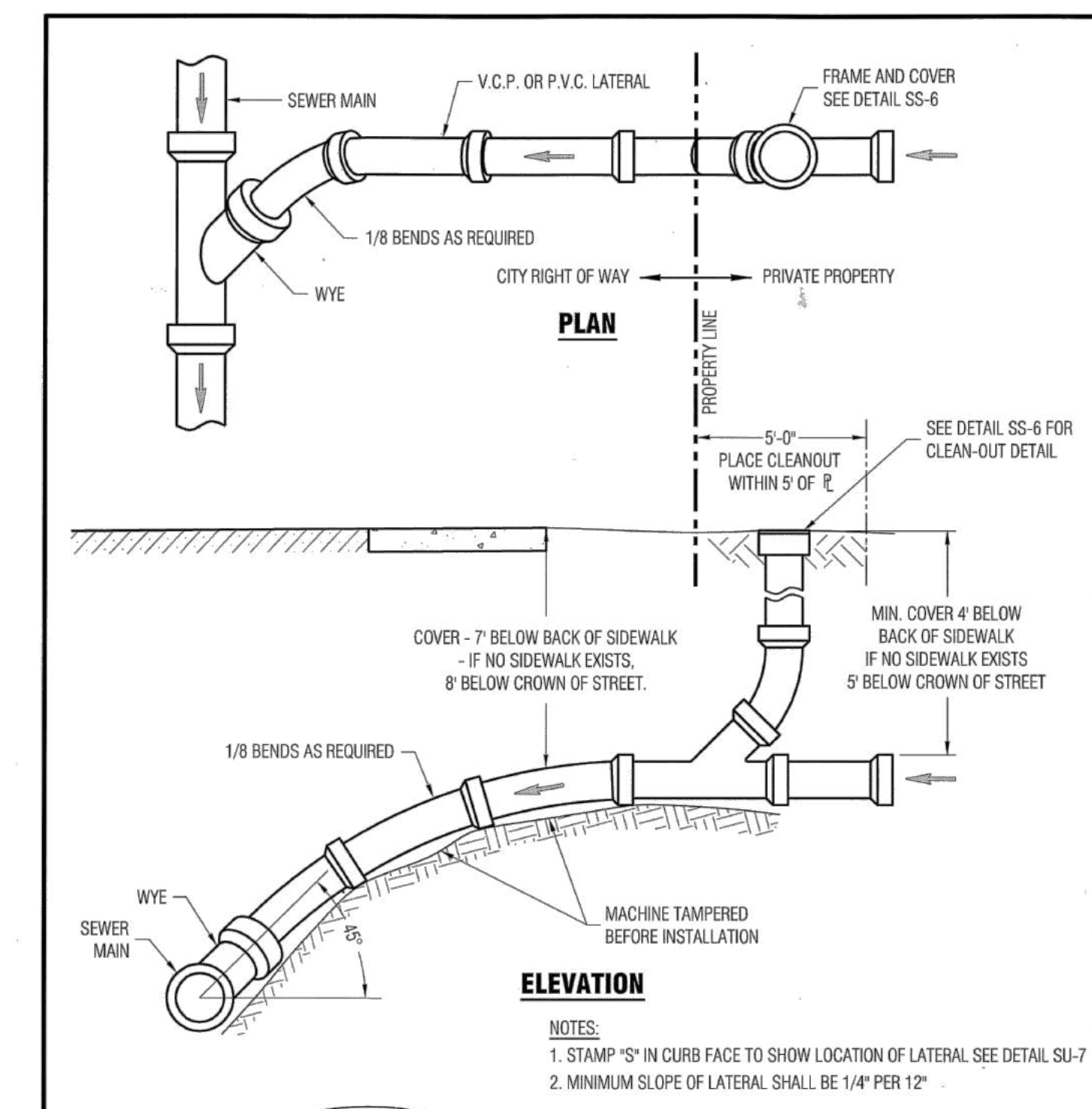
STANDARD DETAILS MAY 2010



**STANDARD SEWER LATERAL CLEAN-OUT**

Approved:  1/4/10 City Engineer		<b>ENGINEERING DIVISION</b>	
<b>REVISION</b>		<b>SEWER LATERAL CLEAN-OUT</b>	<b>SS-6</b>
Description	Date		
Changed Detail Title	02/16/12		

STANDARD DETAILS MAY 2010



- NOTES:**
1. STAMP "S" IN CURB FACE TO SHOW LOCATION OF LATERAL SEE DETAIL SU-7
  2. MINIMUM SLOPE OF LATERAL SHALL BE 1/4" PER 12"

Approved:  1/4/10 City Engineer		<b>ENGINEERING DIVISION</b>	
<b>REVISION</b>		<b>SEWER LATERAL AND SEWER RISER</b>	<b>SS-5</b>
Description	Date		

STANDARD DETAILS MAY 2010

NO.	REVISION	DATE	BY

**RW ENGINEERING, INC.**  
 CIVIL ENGINEERS • LAND SURVEYORS  
 505 ALTAMONT DRIVE  
 MILPITAS, CA 95035  
 (P) (408) 262-1899  
 (FAX) (408) 824-5556  
 rweengineering@gmail.com

**RW**

REGISTERED PROFESSIONAL ENGINEER  
 ROBERT Y. WANG  
 50541  
 Expires: 06-30-23  
 CIVIL  
 STATE OF CALIFORNIA

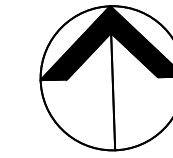
**NEW RESIDENCE (PARCEL B)**  
**705 VISTA GRANDE AVENUE**  
**LOS ALTOS, CA**  
 APN: 189-59-070  
 SANTA CLARA COUNTY

**STANDARD DETAILS**

DATE: 7/10/2022  
 SCALE: AS NOTED  
 DESIGNED BY: RW  
 DRAWN BY: RW  
 SHEET NO.

**C-4**  
 OF 4 SHEETS





### PROJECT DATA

APN: 104-58-070  
 PROJECT ADDRESS: 705 VISTA GRANDE AVE  
 OWNER: SANDESH & SHIKHA TAVARI  
 ZONING: NEM/LANDSCAPE  
 OCCUPANCY GROUP: 3032 SQ. FT.  
 TOTAL LANDSCAPE SF: NEM/LANDSCAPE  
 PROJECT TYPE: POTABLE WATER  
 WATER SUPPLY: POTABLE WATER

**SCOPE OF WORK**  
 1. INSTALL NEW LANDSCAPE FRONT AND BACK  
 2. INSTALL NEW DRIP IRRIGATION SYSTEM  
 3. COMPLY WITH CITY WATER ORDINANCE

ARCHITECT: LIVIO  
 884 SAN ANTONIO RD, SUITE 110  
 LOS ALTOS, CA 94022 650-380-0644  
 TEAM@SOLIVIO.COM  
 ENGINEER: RY ENGINEERING INC  
 505 ALTAGONT DR  
 MILPITAS, CA 95035  
 408-262-1899  
 ARBORIST: Kieley Arborist Services LLC  
 Certified Arborist: KNE0476A  
 P.O. Box 6127  
 San Mateo, CA 94403  
 650-515-4783

STATEMENT: I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE

### NOTES

#### STANDARDS FOR TREE PROTECTION OF TREES DURING GRADING AND CONSTRUCTION OPERATIONS

THE PURPOSE OF THIS APPENDIX IS TO OUTLINE STANDARDS PERTAINING TO THE PROTECTION OF TREES DESCRIBED IN SECTION 14.18.200 OF CHAPTER 14.18. THE STANDARDS ARE BRAD, A LICENSED LANDSCAPE ARCHITECT OR INTERNATIONAL SOCIETY OF ARBORICULTURE CERTIFIED ARBORIST SHALL BE RETAINED TO CERTIFY THE APPLICABILITY OF THE STANDARDS AND DEVELOP ADDITIONAL STANDARDS AS NECESSARY TO ENSURE THE PROPERTY CARE, MAINTENANCE, AND SURVIVAL OF TREES DESIGNATED FOR PROTECTION.

#### STANDARDS

1. A PLOT PLAN SHALL BE PREPARED DESCRIBING THE RELATIONSHIP OF PROPOSED GRADING AND UTILITY TRENCHING TO THE TREES DESIGNATED FOR PRESERVATION. CONSTRUCTION AND GRADING SHOULD NOT SIGNIFICANTLY RAISE OR LOWER THE GROUND LEVEL BENEATH TREE DRIP LINES, IF THE GROUND LEVEL IS PROPOSED FOR MODIFICATION BENEATH THE DRIP LINE, THE ARCHITECT/ARBORIST SHALL ADDRESS AND MITIGATE THE IMPACT TO THE TREE (S)
2. ALL TREES TO BE PRESERVED ON THE PROPERTY AND ALL TREES ADJACENT TO THE PROPERTY SHALL BE PROTECTED AGAINST DAMAGE DURING CONSTRUCTION OPERATIONS BY CONSTRUCTION A FOUR FEET HIGH FENCE AROUND THE DRIP LINE, AND ARMOR AS NEEDED. THE EXTENT OF FENCING AND ARMORING SHALL BE DETERMINED BY THE LANDSCAPE ARCHITECT. THE TREE PROTECTION SHALL BE PLACED BEFORE ANY EXCAVATION OR GRADING IS BEGUN AND SHALL BE MAINTAINED IN REPAIR FOR THE DURATION OF THE CONSTRUCTION WORK.
3. NO CONSTRUCTION OPERATIONS SHALL BE CARRIED ON WITHIN THE DRIP LINE AREA OF ANY TREE DESIGNATED TO BE SAVED EXCEPT AS IS AUTHORIZED BY THE DIRECTOR OF COMMUNITY DEVELOPMENT.
4. IF TRENCHING IS REQUIRED TO PENETRATE THE PROTECTION BARRIER OF THE TREE, THE SECTION OF TRENCH IN THE DRIP LINE SHALL BE HAND DUG 50 AS TO PRECLUDE THE CUTTING OF ROOTS. PRIOR TO INITIATING ANY TRENCHING WITHIN THE BARRIER APPROVAL BY STAFF WITH CONSULTATION OF AN ARBORIST SHALL BE COMPLETED.
5. TREES WHICH REQUIRE ANY DEGREE OF FILL AROUND THE NATURAL GRADE SHALL BE GUARDED BY RECOGNIZED STANDARDS OF TREE PROTECTION AND DESIGN OF TREE WELLS.
6. THE AREA UNDER THE DRIP LINE OF THE TREE SHALL BE KEPT CLEAN. NO CONSTRUCTION MATERIALS NOR CHEMICALS SOLVENTS SHALL BE STORED OR DUMPED UNDER THE TREE.
7. FIRES FOR ANY REASON SHALL NOT BE MADE WITHIN FIFTY FEET OF ANY TREE SELECTED TO REMAIN AND SHALL BE LIMITED IN SEE AND KEPT UNDER CONSTANT SURVEILLANCE.
8. THE GENERAL CONTRACTOR SHALL USE A TREE SERVICE LICENSEE, AS DEFINED BY THE CALIFORNIA BUSINESS AND PROFESSIONAL CODE, TO PRUNE AND CUT OF THE BRANCHES THAT MUST BE REMOVED DURING THE GRADING OR CONSTRUCTION. NO BRANCHES OR ROOTS SHALL BE CUT UNLESS AT FIRST REVIEWED BY THE LANDSCAPE ARCHITECT/ARBORIST WITH APPROVAL OF STAFF.
9. ANY DAMAGE TO EXISTING TREE CROWNS OR ROOT SYSTEMS SHALL BE REPAIRED IMMEDIATELY BY AN APPROVED TREE SURGEON.
10. NO STORAGE OF CONSTRUCTION MATERIALS OR PARKING SHALL BE PERMITTED WITHIN THE DRIP LINE AREA OF ANY TREE DESIGNATED TO BE SAVED.
11. TREE PROTECTION REGULATIONS SHALL BE POSTED ON PROTECTIVE FENCING AROUND TREES TO BE PROTECTED.

### GENERAL NOTES

PROJECT SHALL BE EXECUTED BY A CLASS "B" OR CLASS "C-2" CONTRACTOR. HE OR SHE SHALL BE RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS AS WELL AS TO CONTACT USA UNDERGROUND SERVICE ALERT AT 1800-642-2444 PRIOR TO CONSTRUCTION. CHANGES IN LAYOUT DESIGN SHALL BE APPROVED BY ARCHITECT AND OWNER PRIOR TO CONSTRUCTION. DRAINAGE SHALL BE KEPT POSITIVE AT ALL TIMES (AWAY FROM STRUCTURES, DRAINED TO A DISCHARGE POINT. SEE DRAINAGE PLANS) CONTRACTOR SHALL BE RESPONSIBLE FOR ITEMS DAMAGED WHILE CONSTRUCTION. ACCESSIBILITY TO SITE PROVIDED BY OWNER. THIS IS NOT A SURVEYORS DOCUMENT. VERIFY GRADING ON SITE ALL WORK TO BE PERFORMED ACCORDING TO CITY AND STATE BUILDING CODES. CONTACT ARCHITECT FOR ANY CHANGES OR DISCREPANCIES VERIFY PLANTING MATERIAL QUANTITY AND LOCATION

### VICINITY MAP



### SHEET INDEX

L-1 COVER SHEET / (E) TREES  
 L-2 LANDSCAPE LAYOUT  
 PLANTING PLAN / CONCEPTUAL PLANTING



0' 8' 16' SCALE 3/2"

General Notes Revision/Issue

No.

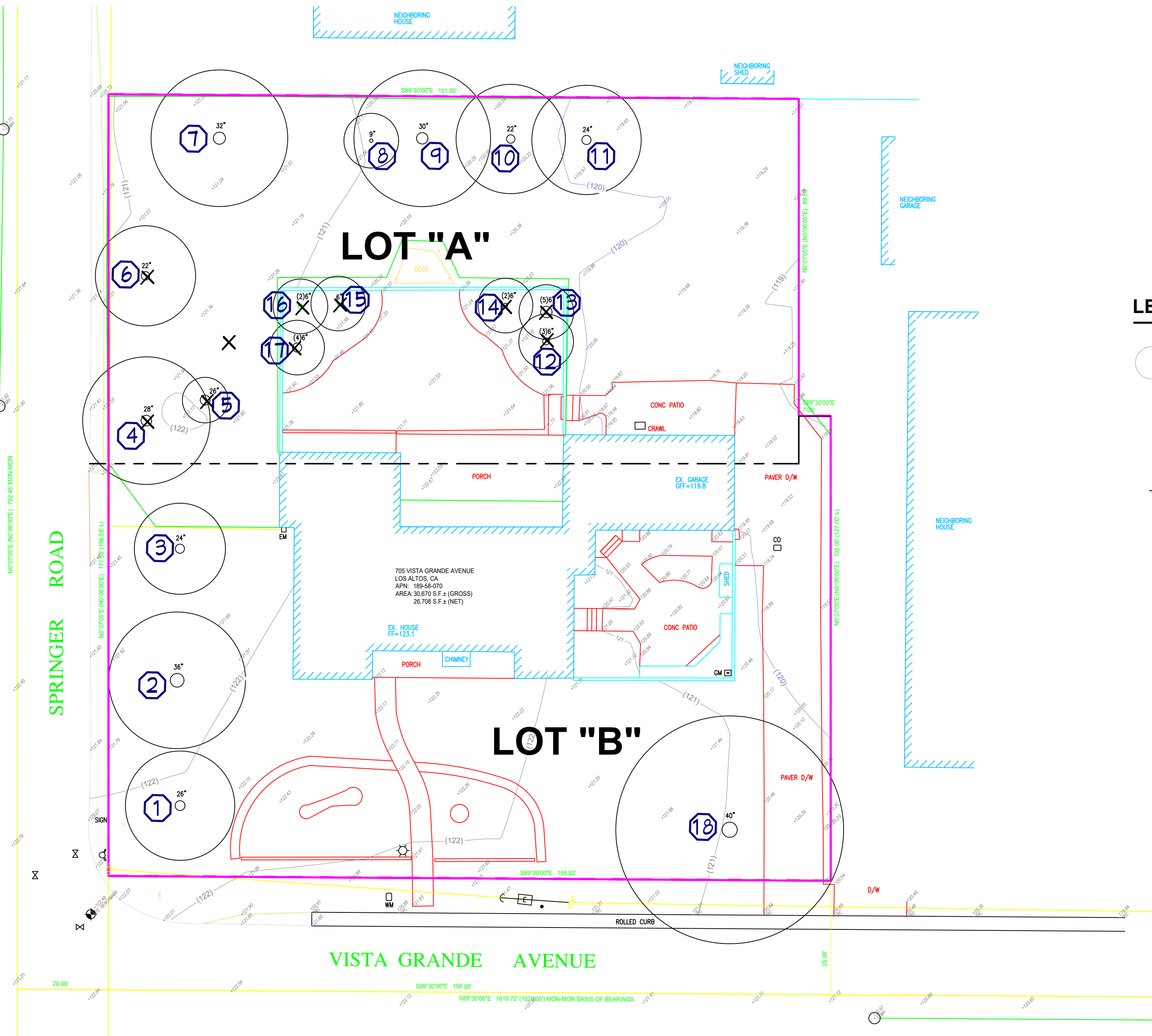
PVMLA  
 LANDSCAPE  
 ARCHITECTURE  
 650-270-0966 Lic. #5418  
 www.pvmla.com

EXISTING TREES  
 LOT A & B

SANDESH & SHIKHA  
 TAVARI  
 705 VISTA GRANDE AVE  
 LOS ALTOS, CA 94024

LOT - B  
 L-1

Project Name: TAVARI SANDESH  
 Drawn By: PM  
 Date: 06-01-22  
 Scale: AS SHOWN



### LEGEND

- (Circle with number) EXISTING TREE CANOPY, TYPICAL
  - (Circle with X) TREES TO REMOVE, TYPICAL
  - (Dashed line) TREE PROTECTION FENCING; REFER TO ARBORIST REPORT ALL REMAINING TREES
- SEE ENGINEERING DRAWINGS SHEETS FOR LOT DESCRIPTION AS WELL AS GRADING INFORMATION
- SEE ARBORIST REPORT FOR TREE REMOVAL INFORMATION

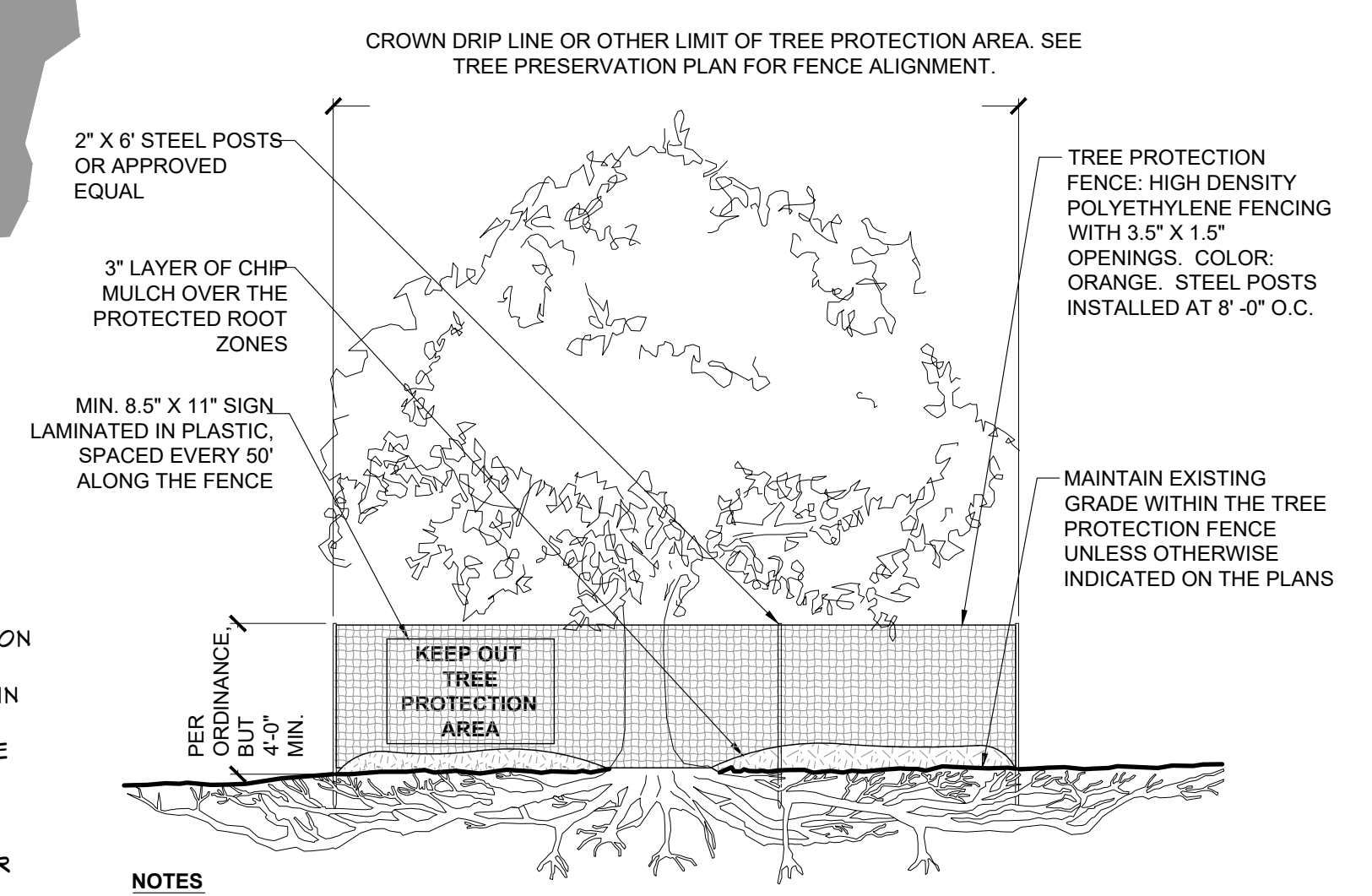
### PLANTING SCHEDULE

SYMBOL	QTY	SIZE	BOTANICAL NAME	COMMON NAME	NOTES
(1)	1	27" dia	CEDRUS DEODARA	DEODAR CEDAR	EXISTING / PROTECT
(2)	1	38" dia	SEQUOIA SEMPERVIRENS	REDWOOD	EXISTING / PROTECT
(3)	1	26" dia	SEQUOIA SEMPERVIRENS	REDWOOD	EXISTING / PROTECT
(4)	1	26" dia	SEQUOIA SEMPERVIRENS	REDWOOD	REMOVE
(5)	1	26" dia	PHOENIX CANARIENSIS	CANARY ISLAND PALM	REMOVE
(6)	1	23" dia	SEQUOIA SEMPERVIRENS	REDWOOD	REMOVE
(7)	1	34" dia	PSEUDOTSUGA MENZIESII	DOUGLAS FIR	EXISTING / PROTECT
(8)	1	4" dia	CINNAMOMUM CAMPHORA	CAMPHOR TREE	EXISTING / PROTECT
(9)	1	25" dia	SEQUOIA SEMPERVIRENS	REDWOOD	EXISTING / PROTECT
(10)	1	24" dia	PSEUDOTSUGA MENZIESII	DOUGLAS FIR	EXISTING / PROTECT
(11)	1	25" dia	PSEUDOTSUGA MENZIESII	DOUGLAS FIR	EXISTING / PROTECT
(12)	1	7" dia	ACCA SELLOWIANA	PINEAPPLE GUAYE	REMOVE
(13)	1	7" dia	ACCA SELLOWIANA	PINEAPPLE GUAYE	REMOVE
(14)	1	8" dia	ACCA SELLOWIANA	PINEAPPLE GUAYE	REMOVE
(15)	1	7" dia	ACCA SELLOWIANA	PINEAPPLE GUAYE	REMOVE
(16)	1	6" dia	ACCA SELLOWIANA	PINEAPPLE GUAYE	REMOVE
(17)	1	7" dia	ACCA SELLOWIANA	PINEAPPLE GUAYE	REMOVE
(18)	1	41" dia	QUERCUS SUBER	CORK OAK	EXISTING / PROTECT



DROUGHT TOLERANT CONCEPTUAL PLANTING SCHEDULE					
SYMBOL	QTY	SIZE	BOTANICAL NAME	COMMON NAME	NOTES
	1		GEANOTHUS HORIZONTALIS	CARMEL GREEFER	
	1		MIMULUS AURANTIACUS	STICKY MONKEY FLOWER	
	1		SALVIA GREGGII	ASSORTED	
	1		ARCTOSTAPHYLOS HOOKERY	HOKKERI MANZANITA	
	1		SALVIA PEROVSKIA	BLUE SPIRE RUSSIAN SAGE	
	1		MIMULUS AURANTIACUS	STICKY MONKEY FLOWER	
	1		ARCTOSTAPHYLOS	EMERALD CARPET	
	1		CISTUS SALVIFOLIUS PROSTATUS	SAGELEAF ROCKROSE	
	1		ALYOGYNE HUEGELII	BLUE HIBISCUS	
	1		CISTUS X SKANBERGII	PINK ROCKROSE	
	1		ACACIA GREGGII	WAIT A MINUTE BUSH	
	1		SALVIA LEUCANTHA	MEXICAN BUSH SAGE	
	1		VERBENA BONARIENSIS	VERBENA	
	1		LONICERA HISPIDULA	CALIFORNIA HONEYSUCKLE	
	1		LAVANDULA STOECHALBA	SPANISH LAVANDER	
	1		ATRIFLEX	SALT BUSH	
	1		LOROPETALUM CHINENSE RUBRUM	RED FRINGE FLOWER	
	1		DODONEA VISCOSA	HOPSEED BUSH	
	1		RHAMNUS CALIFORNICA LEATHERLEAF	COFFEEBERRY	
	1		SALVIA PEROVSKIA	SALVIA	
	1		SUCCULENTS / ASSORTED	SUCCULENTS	
	1		KALANCHOE CALANDIVA / AND OR BLOSSFELDIANA	KALANCHOE	
	1		EUPHORBIA TIRUCALLI	FIRE STICKS	
			FAUX LAWN		

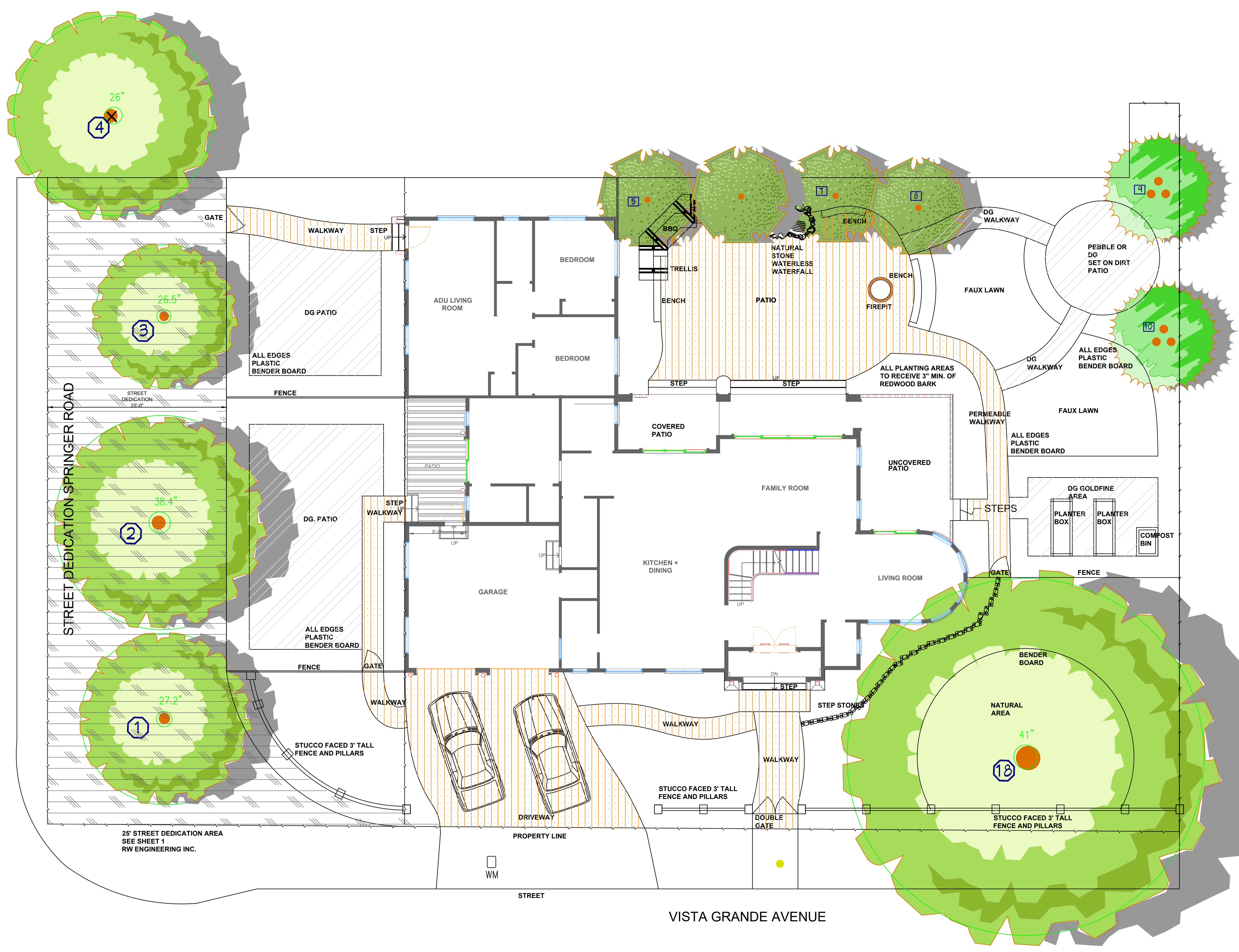
ALL PLANTING MATERIAL TO MEET WATER ORDINANCE, MUST BE WATER TOLERANT OR DROUGHT RESISTANT ALL PLANTING AREAS SHALL RECEIVE 3" MIN OF BARK. OVER A FILTER WEEED FABRIC BARRIER ALL IRRIGATION SYSTEM SHALL BE A DRIP SYSTEM WITH A WATERING SCHEDULE THAT MEET THE CITY REQUIREMENTS FOR WATER ALLOWANCE AND SCHEDULE. AREAS INSIDE THE FRONT OAK # 18, # 1, #2, # 3 TREES TO REMAIN AS IS ALL EXISTING TREES MUST BE PROTECTED WITH A PERIMETER FENCE. SEE DETAIL THIS PAGE



- NOTES
- SEE ARBORIST REPORT FOR ADDITIONAL PROTECTION REQUIREMENTS. COMPLY WITH ALL TREE PROTECTION REQUIREMENTS PER JURISDICTION.
  - IRRIGATE AS NEEDED TO MAINTAIN HEALTH OF TREE.
  - KEEP EXPOSED ROOTS MOIST.
  - NO PRUNING SHALL BE PERFORMED EXCEPT UNDER THE DIRECTION OF APPROVED ARBORIST.
  - NO EQUIPMENT SHALL OPERATE INSIDE THE PROTECTIVE FENCING INCLUDING DURING FENCE INSTALLATION AND REMOVAL.
  - NO MATERIALS SHALL BE STORED INSIDE FENCE.

1 TREE PROTECTION FENCING  
NOT TO SCALE

NOTE: \* I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.



LANDSCAPE ELEMENTS SCHEDULE / AREA COVERAGE		
LANDSCAPE ELEMENTS	SQ. FT.	OTHER
PLANTING AREAS (MINUS STREET DEDICATION 6860-2492 SF)	4,368	
PERMEABLE CALSTONE PAVERS WALKS, DRIVEWAY, PATIOS	1,941	
DECOMPOSED GRANITE AREAS	1,135	
FAUX LAWN	509	
WATERLESS WATERFALL AND POND	56	
RAISED BACK YARD DECK AREA NOT COVERED	364	
STONE PATH FRONT YARD	75	
LOT SIZE (DOES NOT INCLUDE DEDICATION AREA)	12,166	
HOUSE (LEVEL 1 + ADU 2224+751+2486 SF + LEVEL 2 1655 SF)	4641	
PLANTING AREAS	4,368	
STREET DEDICATION DO NOT DISTURB BY SPRINGER RD SIDE		-2,442
DO NOT DISTURB NATURAL AREA UNDER # 18 OAK DRIP LINE		-1,336
PROPOSED TOTAL LANDSCAPED AREAS	3,032	

ALL PLANTING AND IRRIGATION MATERIAL TO COMPLY WITH CITY ORDINANCES

TREE PLANTING SCHEDULE					
SYMBOL	QTY	SIZE	BOTANICAL NAME	COMMON NAME	NOTES
1	1	27" dia	CEDRUS DEODARA	DEODAR CEDAR	EXISTING / PROTECT
2	1	38" dia	SEQUOIA SEMPERVIRENS	REDWOOD	EXISTING / PROTECT
3	1	26" dia	SEQUOIA SEMPERVIRENS	REDWOOD	EXISTING / PROTECT
4	1	26" dia	SEQUOIA SEMPERVIRENS	REDWOOD	REMOVE
18	1	41" dia	QUERCUS SUBER	CORK OAK	EXISTING / PROTECT
15	1	24" box	DIOSPYRUS KAKI	JAPANESE PERSIMMON	
16	1	24" box	PISTACIA CHINENSIS	CHINESE PISTACHE	PRIVACY TREE
17	1	36" box	PISTACIA CHINENSIS	CHINESE PISTACHE	PRIVACY TREE
18	1	24" box	PISTACIA CHINENSIS	CHINESE PISTACHE	PRIVACY TREE
9	1	24" box	ARBUTUS MARINA	STRAWBERRY TREE	
10	1	24" box	ARBUTUS MARINA	STRAWBERRY TREE	

PERVIOUS / IMPERVIOUS COVERAGE	
FRONT YARD	2,307 SQ. FT.
IMPERVIOUS PAVERS	780 SQ. FT.
IMPERVIOUS 3" FENCE	35 SQ. FT.
STONE PATH	75 SQ. FT.
TOTAL IMPERVIOUS	840 SQ. FT.
% PERVIOUS	34%

NOTE:  
REUSE EXISTING ON SITE PAVERS IN LOT "B"  
SAVE PAVERS FROM BEING HAULED AWAY AT DEMOLITION

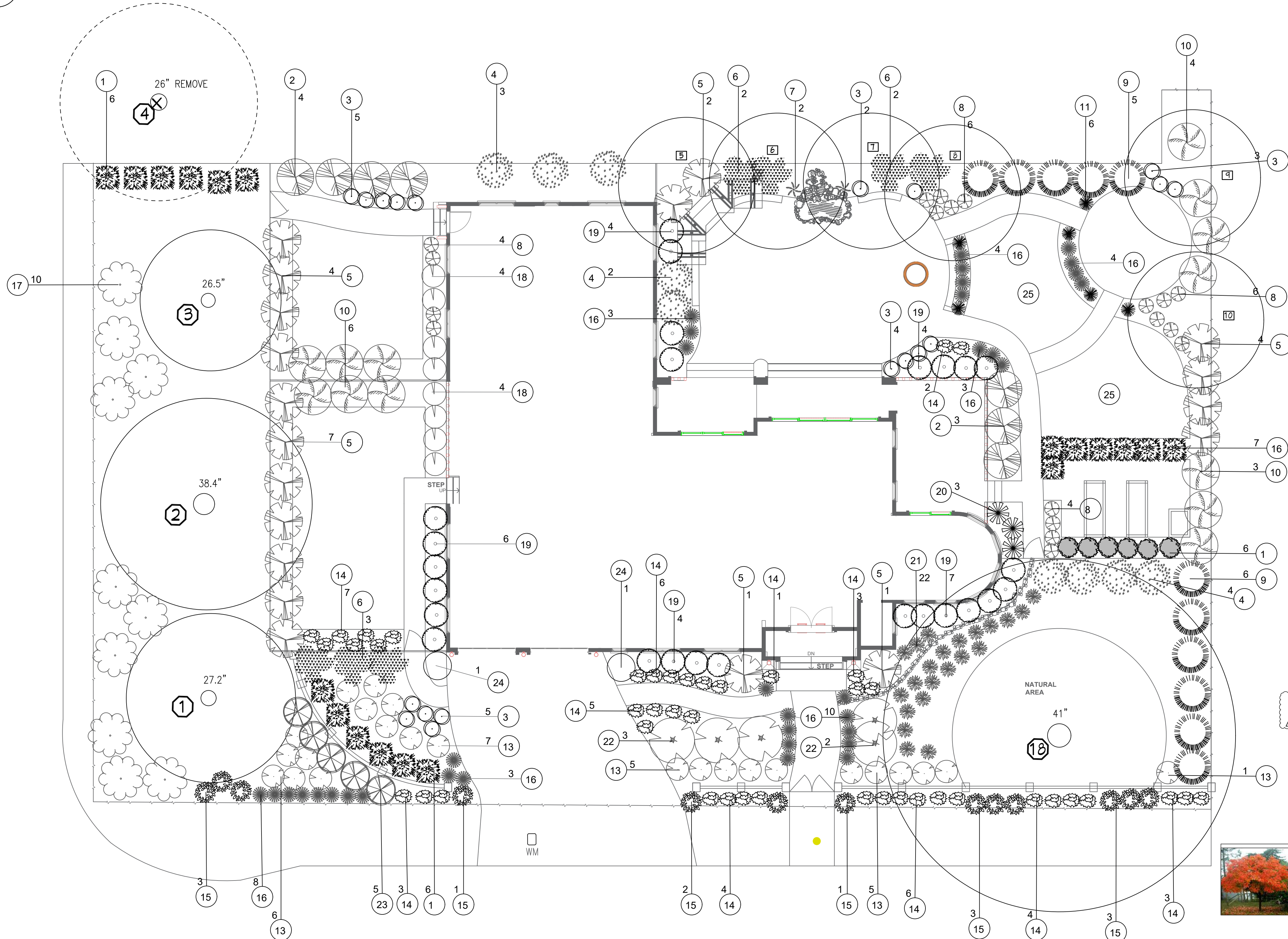
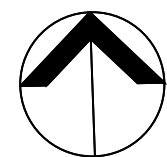
WELLO IRRIGATION NOTES

- AUTOMATIC IRRIGATION CONTROLLERS ARE REQUIRED AND MUST USE EVAPOTRANSPIRATION OR SOIL MOISTURE SENSOR DATA AND UTILIZE A RAIN SENSOR
- IRRIGATION CONTROLLERS SHALL BE A TYPE WHICH DOES NOT LOSE PROGRAMMING DATA IN THE EVENT THE PRIMARY POWER SOURCE IS INTERRUPTED.
- PRESSURE REGULATORS SHALL BE INSTALLED ON THE IRRIGATION SYSTEM TO ENSURE THE DYNAMIC PRESSURE OF THE SYSTEM IS WITHIN THE MANUFACTURER'S RECOMMENDED PRESSURE RANGE.
- MANUAL SHUT-OFF VALVES (SUCH AS A GATE VALVE, BALL VALVE, OR BUTTERFLY VALVE) SHALL BE INSTALLED AS CLOSE TO POSSIBLE TO THE POINT OF CONNECTION OF THE WATER SUPPLY.
- ALL IRRIGATION EMISSION DEVICES MUST MEET THE REQUIREMENTS SET IN THE ANSI STANDARD, ASABE/ICC 802-2014 "LANDSCAPE IRRIGATION SPRINKLER AND EMITTER STANDARD." ALL SPRINKLER HEADS INSTALLED IN THE LANDSCAPE MUST DOCUMENT A DISTRIBUTION UNIFORMITY LOW QUARTER OF 0.65 OR HIGHER USING THE PROTOCOL DEFINED IN ASABE/ICC 802-2014
- DEDICATED IRRIGATION METERS ARE REQUIRED FOR NON-RESIDENTIAL PROJECTS WITH MORE THAN 1,000 SQ. FT. OF LANDSCAPE AREA.

REQUIRED PRIOR TO FINAL INSPECTION:

- CERTIFICATE OF COMPLETION AND CERTIFICATE OF INSTALLATION, FOLLOWING INSTALLATION OF LANDSCAPING MATERIALS AND IRRIGATION HARDWARE
- IRRIGATION SCHEDULE
- LANDSCAPE AND IRRIGATION MAINTENANCE SCHEDULE
- LANDSCAPE AND IRRIGATION INSTALLATION REPORT
- LANDSCAPE MAINTENANCE AGREEMENT



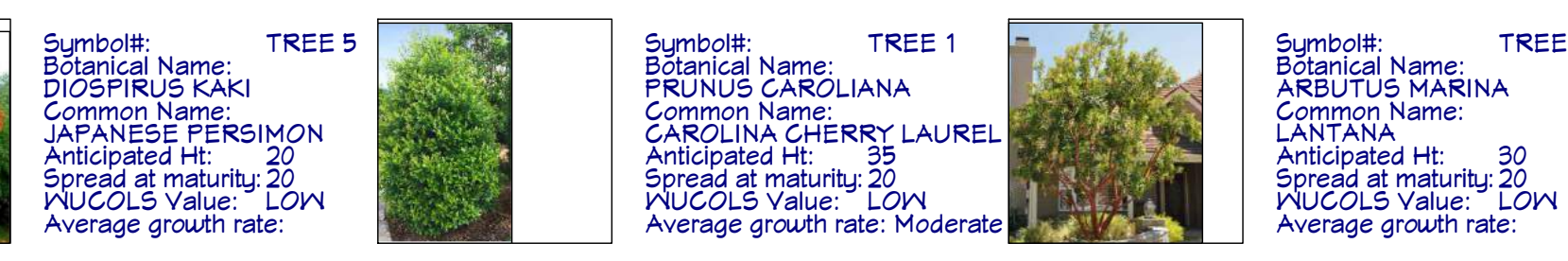


PLANTING SCHEDULE				
SYMBOL	QTY	SIZE	BOTANICAL NAME	COMMON NAME
1	14	5	MIMULUS AURANTIACUS	STICKY MONKEY FLOWER
2	7	5	RHUS INTEGRIFOLIA	LEMONADE BERRY
3	14	5	EUPHORBIA TIRUGALLI	FIRE STICKS
4	8	5	RHUS OVATA	SUGAR BUSH
5	14	5	RHAMNUS CALIFORNICA	LEATHERLEAF
6	7	5	FRANGULA CALIFORNICA	CALIFORNIA COFFEEBERRY
7	2	5	MUHLEBERGIA RIGENS	DEER GRASS
8	14	5	LONICERA HISPIDULA	CALIFORNIA HONEYSUCKLE
9	11	5	DODONEA VISCOSA	HOPSEED BUSH
10	13	5	ATRIPLEX	SALT BUSH
11	6	5	BOUTELOUA GRACILIS	BLUE GRAMA
12	6	5	ARTEMISIA CALIFORNICA	CALIFORNIA SAGEBRUSH
13	24	5	ARCTOSTAPHYLOS	EMERALD CARPET
14	44	5	SALVIA GREGGII	SALVIA ASSORTED COLOR
15	13	5	FESTUCA CALIFORNICA	CALIFORNIA FESCUE
16	27	5	LAVANDULA STOECHALBA	SPANISH LAVENDER
17	10	5	CEANOTHUS HORIZONTALIS	CARMEL CREEPER
18	8	5	CISTUS SALVIFOLIUS PROSTATUS	SAGELEAF ROCKROSE
19	25	5	ARCTOSTAPHYLOS HOOKERI	HOOKERS MANZANITA
20	3	5	BACCHARIS GENTENIAL	GENTENIAL BACCHARIS
21	22	5	ARCTOSTAPHYLOS UVA URSI	BEAR BERRY
22	5	5	LANTANA CAMARA	LANTANA
23	5	5	SALVIA PEROVSKIA	BLUE SPIRE RUSIAN SAGE
24	2	5	SALVIA APIANA	WHITE SAGE
25			FAUX LAWN OWNER TO SELECT	

TREE PLANTING SCHEDULE					
SYMBOL	QTY	SIZE	BOTANICAL NAME	COMMON NAME	NOTES
1	1	27"	CEDRUS DEODARA	DEODAR CEDAR	EXISTING / PROTECT
2	1	38"	SEQUOIA SEMPERVIRENS	REDWOOD	EXISTING / PROTECT
3	1	26"	SEQUOIA SEMPERVIRENS	REDWOOD	EXISTING / PROTECT
4	1	26"	SEQUOIA SEMPERVIRENS	REDWOOD	REMOVE
5	1	41"	QUERCUS SUBER	CORK OAK	EXISTING / PROTECT
6	1	24" bot	DIOSPYRUS KAKI	JAPANESE PERSIMMON	
7	1	24" bot	PRUNUS CAROLIANA	CAROLINA CHERRY LAUREL	PRIVACY TREE
8	1	36" bot	PRUNUS CAROLIANA	CAROLINA CHERRY LAUREL	PRIVACY TREE
9	1	24" bot	PRUNUS CAROLIANA	CAROLINA CHERRY LAUREL	PRIVACY TREE
10	1	24" bot	ARBUSUTUS MARINA	STRAWBERRY TREE	
11	1	24" bot	ARBUSUTUS MARINA	STRAWBERRY TREE	

NOTE: THE NATURAL LANDSCAPE WILL BE PRESERVED IN SO FAR AS PRACTICABLE BY MINIMIZING TREE AND SOIL REMOVAL; GRADE CHANGES SHALL BE MINIMIZED AND WILL BE IN KEEPING WITH THE GENERAL APPEARANCE OF NEIGHBORING DEVELOPED AREAS.

KEY NUMBER  
1 NUMBER OF PLANTS



Symbol: 1 Botanical Name: MIMULUS AURANTIACUS Common Name: STICKY MONKEY FLOWER Anticipated Ht: 3' Spread at maturity: 3' NUGOLS Value: LOW Average growth rate:	Symbol: 4 Botanical Name: RHUS OVATA Common Name: SUGAR BUSH Anticipated Ht: 6' Spread at maturity: 6' NUGOLS Value: LOW Average growth rate:	Symbol: 7 Botanical Name: MUHLEBERGIA RIGENS Common Name: DEER GRASS Anticipated Ht: 4' Spread at maturity: 5' NUGOLS Value: LOW Average growth rate:	Symbol: 10 Botanical Name: ATRIPLEX CANESCENS Common Name: SALT BUSH Anticipated Ht: 5' Spread at maturity: 5' NUGOLS Value: LOW Average growth rate:	Symbol: 13 Botanical Name: ARTEMISIA CALIFORNICA Common Name: CALIFORNIA SAGEBRUSH Anticipated Ht: 1' Spread at maturity: 2' NUGOLS Value: LOW Average growth rate:	Symbol: 16 Botanical Name: LAVANDULA STOECHA ALBA Common Name: SPANISH LAVENDER Anticipated Ht: 2' Spread at maturity: 6' NUGOLS Value: LOW Average growth rate:	Symbol: 19 Botanical Name: ARCTOSTAPHYLOS HOOKERI Common Name: HOOKERS MANZANITA Anticipated Ht: 1' Spread at maturity: 2' NUGOLS Value: LOW Average growth rate:	Symbol: 22 Botanical Name: LANTANA CAMARA Common Name: LANTANA Anticipated Ht: 3' Spread at maturity: 20' NUGOLS Value: LOW Average growth rate:	Symbol: 23 Botanical Name: SALVIA PEROVSKIA Common Name: BLUE SPIRE RUSIAN SAGE Anticipated Ht: 100' Spread at maturity: 40' NUGOLS Value: LOW Average growth rate:	Symbol: 24 Botanical Name: SALVIA APIANA Common Name: WHITE SAGE Anticipated Ht: 70' Spread at maturity: 70' NUGOLS Value: LOW Average growth rate:
Symbol: 2 Botanical Name: RHUS INTEGRIFOLIA Common Name: LEMONADE BERRY Anticipated Ht: 6' Spread at maturity: 6' NUGOLS Value: LOW Average growth rate:	Symbol: 5 Botanical Name: RHAMNUS CALIFORNICA Common Name: LEATHER LEAF COFFEEBERRY Anticipated Ht: 6' Spread at maturity: 6' NUGOLS Value: LOW Average growth rate:	Symbol: 8 Botanical Name: LONICERA HISPIDULA Common Name: CALIFORNIA HONEYSUCKLE Anticipated Ht: 4' Spread at maturity: 6' NUGOLS Value: LOW Average growth rate:	Symbol: 11 Botanical Name: BOUTELOUA GRACILIS Common Name: BLUE GRAMA Anticipated Ht: 2' Spread at maturity: 2' NUGOLS Value: LOW Average growth rate:	Symbol: 14 Botanical Name: SALVIA GREGGII Common Name: EMERALD CARPET Anticipated Ht: 2' Spread at maturity: 2' NUGOLS Value: LOW Average growth rate:	Symbol: 17 Botanical Name: CEANOTHUS HORIZONTALIS Common Name: CARMEL CREEPER Anticipated Ht: 1' Spread at maturity: 6' NUGOLS Value: LOW Average growth rate:	Symbol: 20 Botanical Name: BACCHARIS GENTENIAL Common Name: GENTENIAL BACCHARIS Anticipated Ht: 4' Spread at maturity: 4' NUGOLS Value: LOW Average growth rate:	Symbol: 21 Botanical Name: ARCTOSTAPHYLOS UVA URSI Common Name: BEAR BERRY Anticipated Ht: 1' Spread at maturity: 5' NUGOLS Value: LOW Average growth rate:	Symbol: 25 Botanical Name: FAUX LAWN Common Name: OWNER TO SELECT Anticipated Ht: 10' Spread at maturity: 10' NUGOLS Value: LOW Average growth rate:	Symbol: 3 Botanical Name: EUPHORBIA TIRUGALLI Common Name: FIRE STICKS Anticipated Ht: 3' Spread at maturity: 3' NUGOLS Value: LOW Average growth rate:
Symbol: 6 Botanical Name: FRANGULA CALIFORNICA Common Name: CALIFORNIA COFFEE BERRY Anticipated Ht: 5' Spread at maturity: 6' NUGOLS Value: LOW Average growth rate:	Symbol: 9 Botanical Name: DODONEA VISCOSA Common Name: HOPSEED BUSH Anticipated Ht: 3' Spread at maturity: 3' NUGOLS Value: LOW Average growth rate:	Symbol: 12 Botanical Name: ARTEMISIA CALIFORNICA Common Name: CALIFORNIA SAGEBRUSH Anticipated Ht: 3' Spread at maturity: 3' NUGOLS Value: LOW Average growth rate:	Symbol: 15 Botanical Name: FESTUCA CALIFORNICA Common Name: CALIFORNIA FESCUE Anticipated Ht: 3' Spread at maturity: 3' NUGOLS Value: LOW Average growth rate:	Symbol: 18 Botanical Name: QUERCUS SUBER Common Name: CORK OAK Anticipated Ht: 70' Spread at maturity: 70' NUGOLS Value: LOW Average growth rate:	Symbol: TREE 2, 3, 4 (Existing) Botanical Name: CEDRUS DEODARA Common Name: DEODAR CEDAR Anticipated Ht: 50' Spread at maturity: 20' NUGOLS Value: LOW Average growth rate:	Symbol: TREE 2, 3, 4 (Existing) Botanical Name: SEQUOIA SEMPERVIRENS Common Name: REDWOOD Anticipated Ht: 100' Spread at maturity: 40' NUGOLS Value: LOW Average growth rate:	Symbol: TREE 10 (Exist) Botanical Name: ARBUSUTUS MARINA Common Name: STRAWBERRY TREE Anticipated Ht: 70' Spread at maturity: 70' NUGOLS Value: LOW Average growth rate:		

Date: 11-1-22  
Project Name: PLANTING PLAN / PLANTING IMAGES  
Sheet: PLANTING PLAN  
Scale: AS SHOWN  
Project Name: SANDESH & SHIKHA TAWARI  
Address: 705 VISTA GRANDE AVE LOS ALTOS, CA 94024  
Logo: LOT-B L-3  
Professional Seal: LICENSED LANDSCAPE ARCHITECT, State of California, No. 180000048, 08-30-2024, 02-10-25  
Scale: 1" = 4'



**NOTES:**

1. THIS ELECTRONIC FILE IS SOLELY FOR THE USE OF THE ARCHITECT FOR THE DEVELOPMENT OF HIS/HER ARCHITECTURAL DRAWINGS TO OBTAIN BUILDING PERMITS.
2. THE DELIVERY OF THIS MAP IN AN ELECTRONIC FILE DOES NOT CONSTITUTE THE DELIVERY OF ANY PROFESSIONAL WORK PRODUCT. THE SIGNED PAPER PRINT IS PROVIDED TO THE CLIENT AS AN INSTRUMENT OF SERVICE. IN EVENT THE ELECTRONIC FILE IS ALTERED, THE SAID PAPER PRINT MUST BE REFERRED TO FOR THE ORIGINAL AND CORRECT SURVEY INFORMATION. RW ENGINEERING, INC. SHALL NOT BE RESPONSIBLE FOR ANY MODIFICATIONS MADE, BY OTHERS, TO THE ELECTRONIC FILE, OR ANY PRODUCTS DERIVED FROM THE ELECTRONIC FILE.
3. THIS MAP REPRESENTS TOPOGRAPHY OF THE SURFACE FEATURES ONLY AT THE TIME THE SURVEY WORK WAS COMPLETED.
4. UNLESS SPECIFIED ON THIS MAP, LOCATIONS OF THE UNDERGROUND AND OVERHEAD UTILITIES ARE NEITHER INTENDED NOR IMPLIED. FOR THE LOCATIONS OF UNDERGROUND UTILITIES CALL "USA" (1-800-642-2440).
5. ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.
6. BUILDING FOOTPRINTS ARE SHOWN AT GROUND LEVEL.
7. FINISH FLOOR ELEVATION TAKEN AT DOOR THRESHOLD (EXTERIOR).
8. A TITLE REPORT FOR THE SUBJECT PROPERTY HAS NOT BEEN EXAMINED BY RW ENGINEERING, INC.. OTHER EASEMENTS OF RECORD MAY EXIST THAT ARE NOT SHOWN ON THIS MAP.

**SITE BENCHMARK:**

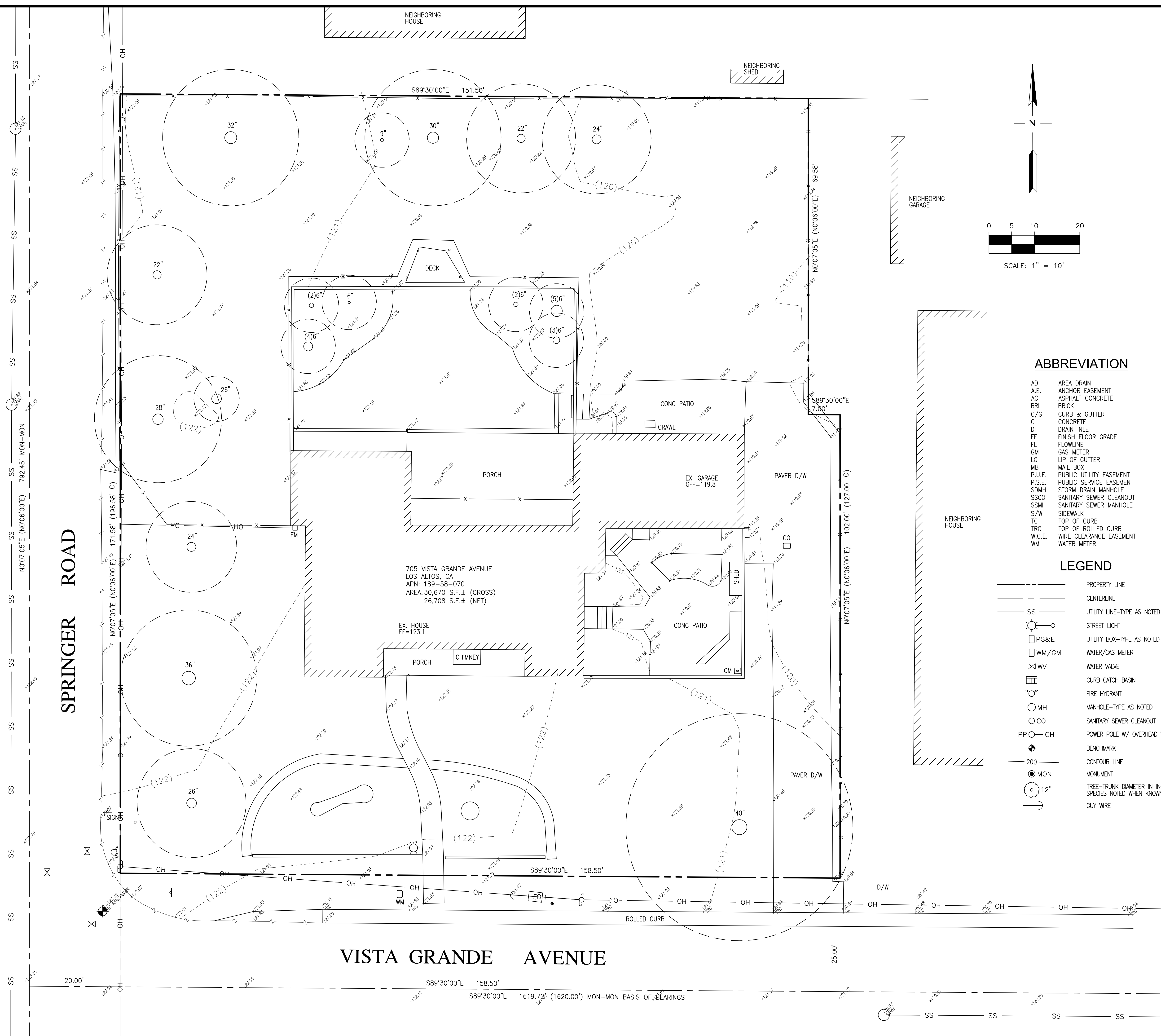
SET NAIL  
ELEVATION=122.48 NAVD 1988 DATUM

**BASIS OF BEARINGS:**

THE BEARING S89°30'00"E OF CENTERLINE OF ARROYO ROAD AS SHOWN ON MAP OF SUBDIVISION OF MONTEBELLO ACRES FILED IN BOOK "X" OF MAPS AT PAGE 1-3, SANTA CLARA COUNTY RECORDS.

**SITE DATA:**

705 VISTA GRANDE AVENUE  
LOS ALTOS, CA  
APN: 189-58-070  
AREA: 30,670 S.F.± (GROSS)  
26,708 S.F.± (NET)



**ABBREVIATION**

- AD AREA DRAIN
- A.E. ANCHOR EASEMENT
- AC ASPHALT CONCRETE
- BRI BRICK
- C/G CURB & GUTTER
- C CONCRETE
- DI DRAIN INLET
- FF FINISH FLOOR GRADE
- FL FLOWLINE
- GM GAS METER
- LG LIP OF GUTTER
- MB MAIL BOX
- P.U.E. PUBLIC UTILITY EASEMENT
- P.S.E. PUBLIC SERVICE EASEMENT
- SDMH STORM DRAIN MANHOLE
- SSCO SANITARY SEWER CLEANOUT
- SSMH SANITARY SEWER MANHOLE
- S/W SIDEWALK
- TC TOP OF CURB
- TRC TOP OF ROLLED CURB
- W.C.E. WIRE CLEARANCE EASEMENT
- WM WATER METER

**LEGEND**

- PROPERTY LINE
- CENTERLINE
- SS UTILITY LINE-TYPE AS NOTED
- STREET LIGHT
- PG&E UTILITY BOX-TYPE AS NOTED
- WM/GM WATER/GAS METER
- ⊗ WV WATER VALVE
- ⊠ CURB CATCH BASIN
- FIRE HYDRANT
- MH MANHOLE-TYPE AS NOTED
- CO SANITARY SEWER CLEANOUT
- PP-OH POWER POLE W/ OVERHEAD WIRE
- ◆ BENCHMARK
- 200 CONTOUR LINE
- MON MONUMENT
- 12" TREE-TRUNK DIAMETER IN INCHES SPECIES NOTED WHEN KNOWN
- ↖ GUY WIRE

NO.	REVISION	DATE	BY

**RW ENGINEERING, INC.**  
CIVIL ENGINEERS • LAND SURVEYORS  
505 ALAMONT DRIVE  
MILPITAS, CA 95035  
(P) (408) 262-1899  
(FAX) (408) 824-5556  
rweengineering@gmail.com

**705 VISTA GRANDE AVENUE  
LOS ALTOS, CA**  
SANTA CLARA COUNTY  
APN: 189-58-070

**TOPOGRAPHIC MAP**

DATE: 6/25/2021  
SCALE: AS NOTED  
DESIGNED BY: RW  
DRAWN BY: RW  
SHEET NO.  
**SU-1**  
OF 1 SHEETS



**BASIS OF BEARINGS**

THE BEARING SOUTH 89°30'00" EAST OF THE CENTERLINE OF ARROYO ROAD AS SHOWN ON THAT MAP FILED FOR RECORD IN BOOK "X" OF MAPS AT PAGES 1-3, SANTA CLARA COUNTY RECORDS, WAS TAKEN AS THE BASIS OF BEARINGS SHOWN UPON THIS MAP.

**REFERENCES**

- (R1) MAP OF SUBD. OF MOTEHELLO ACRES ("X" M 1-3)
- (R2) GRANT DEED DN. 24964088
- (R3) ROS (348 M 36)
- (R4) ROS (462 M 33)
- (R5) TRACT 7643 (537 M 38-39)
- (R6) CERTIFICATE OF CORRECTION (DN. 8450086)

**PARCEL MAP**

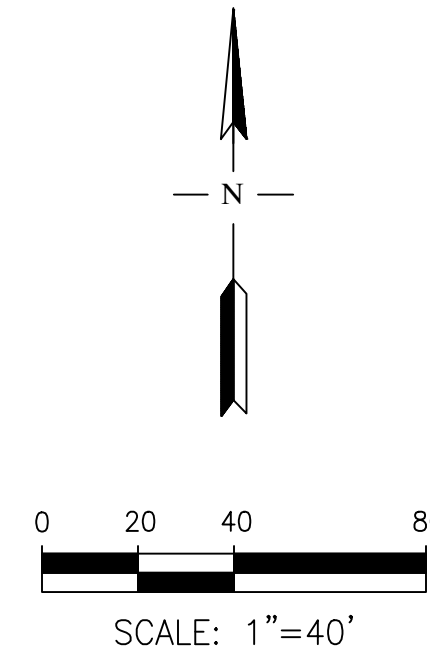
CONSISTING OF TWO (2) SHEETS

BEING A SUBDIVISION OF LOT 83, MAP OF SUBDIVISION OF MONTEBELLO ACRES, FILED FOR RECORD IN BOOK "X" OF MAPS, AT PAGES 1, 2, & 3, SANTA CLARA COUNTY RECORDS, AND LYING ENTIRELY WITHIN THE

CITY OF LOS ALTOS  
SANTA CLARA COUNTY CALIFORNIA

MAY, 2022

**RW** RW ENGINEERING, INC.  
505 ALTAMONT DRIVE  
MILPITAS, CA 95035

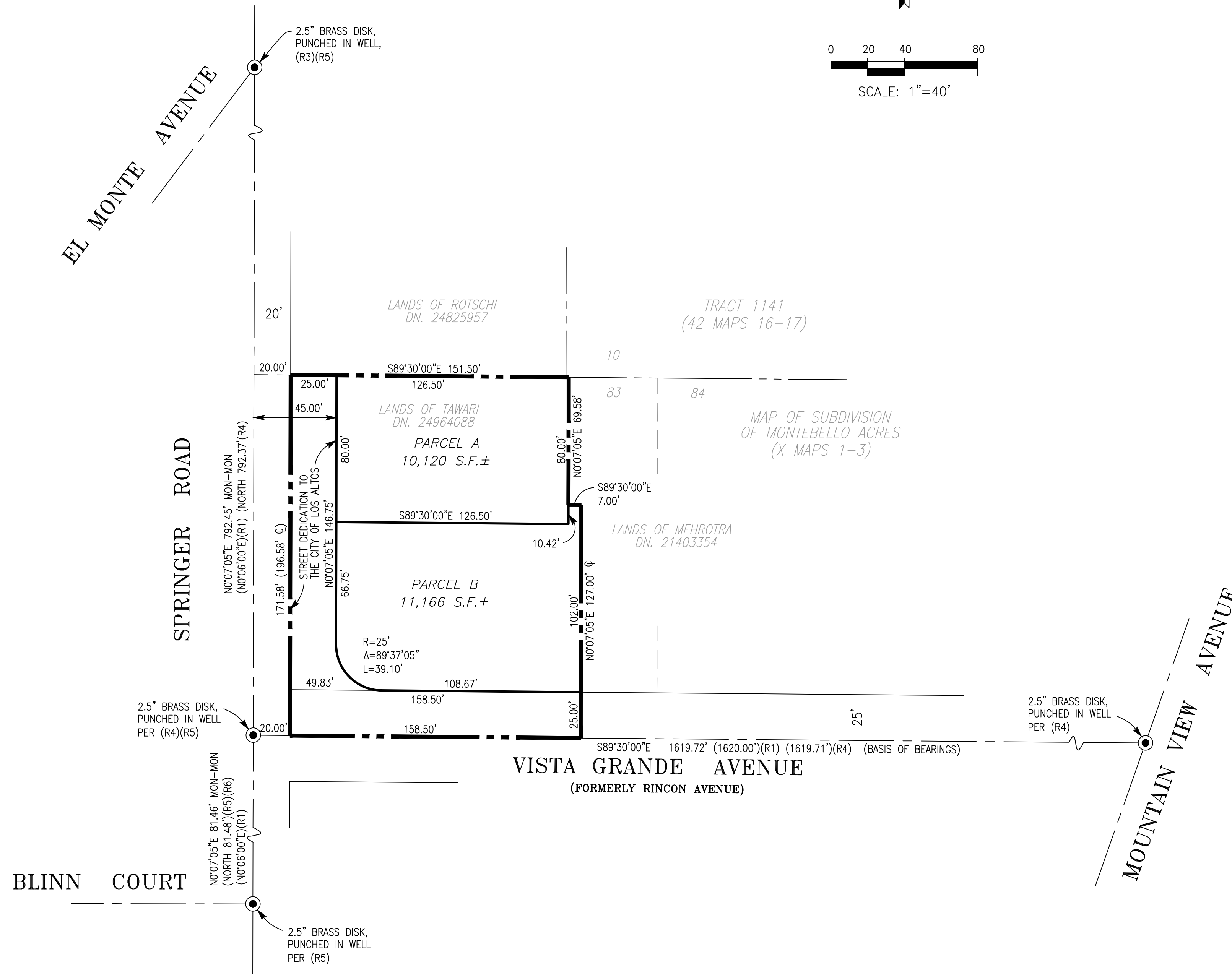


**LEGEND**

- DISTINCTIVE BORDER AND BOUNDARY
- ADJACENT PROPERTY LINE
- CENTERLINE OR MONUMENT LINE
- NEW PARCEL LINE
- TIE LINE
- SET 3/4" IRON PIPE WITH PLASTIC PLUG & TACK, TAGGED LS 8931
- MONUMENT FOUND AS NOTED
- RECORD DATA AS NOTED
- CENTERLINE
- P.O.B. POINT OF BEGINNING

**NOTES**

1. ALL DISTANCES AND DIMENSIONS SHOWN ARE IN FEET AND DECIMALS THEREOF.
2. THE AREA WITHIN THE DISTINCTIVE BORDER IS 0.704 ACRE, MORE OR LESS.
3. THE DISTINCTIVE BORDER LINE DENOTES THE BOUNDARY OF THE SUBDIVISION.





**SITE BENCHMARK**

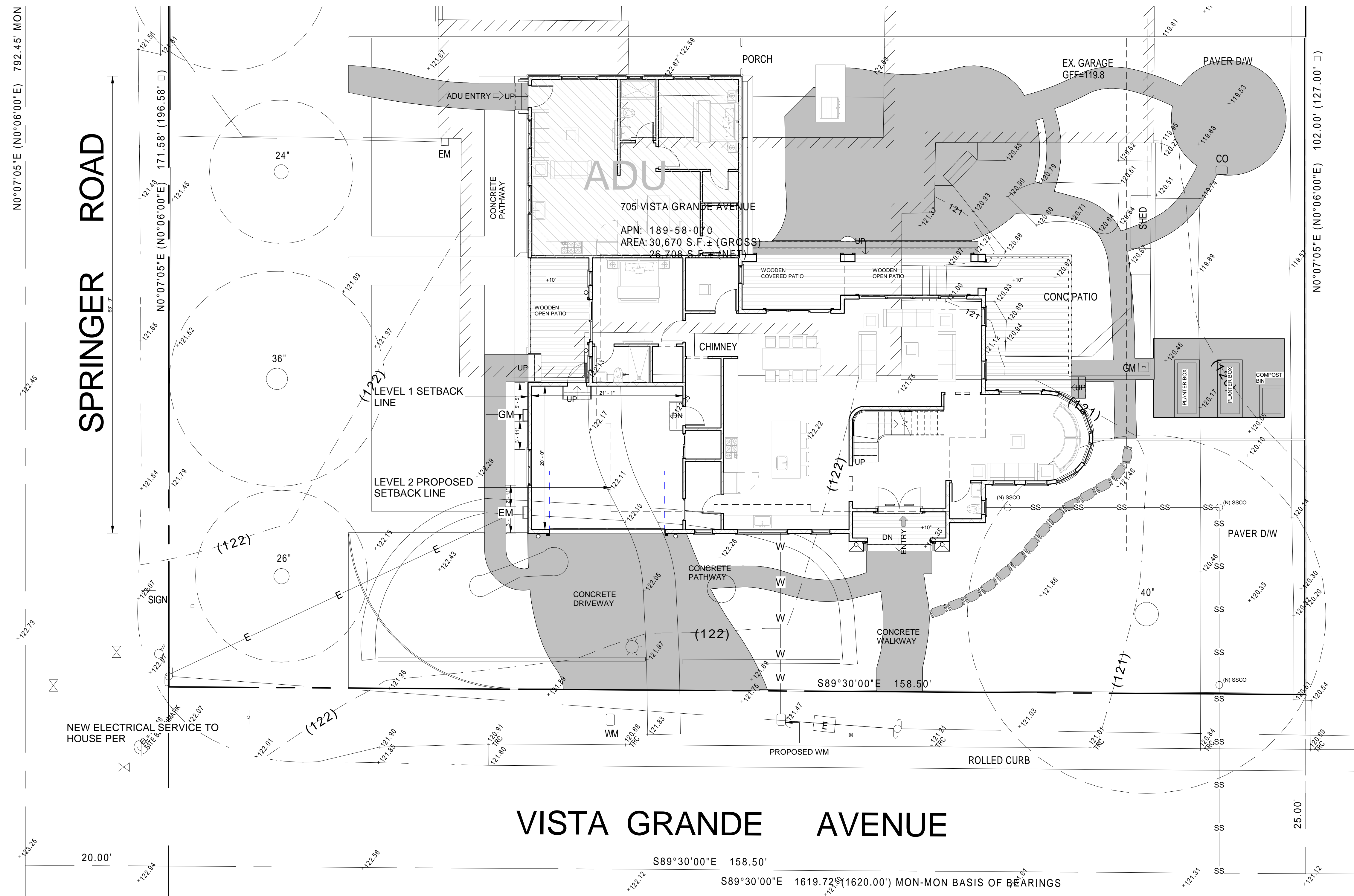
SET NAIL ELEVATION=122.48  
NAVD 1988 DATUM

**BASIS OF BEARINGS**

THE BEARING S89°30'00"E OF CENTERLINE OF ARROYO ROAD AS SHOWN ON MAP OF SUBDIVISION OF MONTEBELLO ACRES FILED IN BOOK "X" OF MAPS AT PAGE 1-3, SANTA CLARA COUNTY RECORDS.

**SITE DATA**

705 VISTA GRANDE  
LOS ALTOS, CA  
APN: 189-58-070  
AREA=12,109 S.F.



NOTES:

UTILITY LEGENDS

- W—W—W— WATER LINE
- JT—JT—JT— JOINT TRENCH



REVISIONS :

REV.	DESCRIPTION	DATE	REV BY
1	REVISED AS PER PLANNER'S COMMENTS	12-16-2022	SAGAR
2	REVISED AS PER PLANNER'S COMMENTS	02-16-2022	SAGAR

NOTES:

- ALL DIMENSIONS ARE IN FEET AND INCHES.
- DRAWING SHALL NOT BE SCALED AND ONLY WRITTEN DIMENSIONS SHALL BE FOLLOWED.
- ALL CENTERLINES ARE FROM THE CENTER OF COLUMN/ WALL AND THE DIMENSIONS GIVEN ARE CENTERLINE DIMENSIONS- -UNLESS OTHERWISE MENTIONED.
- IN CASE OF ANY DISCREPANCY FOUND IN DRAWINGS AND DETAILS, IT SHALL BE BROUGHT TO THE NOTICE OF THE ARCHITECT, AND RECTIFIED, PRIOR TO ITS EXECUTION.
- THIS DRAWING IS ISSUED STRICTLY WITH AN UNDERSTANDING THAT IT WILL BE USED ONLY FOR THE PURPOSE MENTIONED AND SHALL BE RETURNED AFTER COMPLETION.
- -LARGER SCALE DRAWINGS AND DETAILS SUPERCEDE THE SMALLER SCALE DRAWINGS AND DETAILS.
- THIS DRAWING SHALL BE REFERRED ONLY FOR THE PURPOSE MENTIONED IN ITS TITLE (FLOORING PATTERN, FALSE CEILING, SHUTTERING PATTERN, ELECTRICAL, PLUMBING, ETC.)

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PROJECT : 705 VISTA GRANDE AVE-LOT B, LOS ALTOS, CA

UTILITY PLAN

DATE: 02-16-2023

DRAWN BY: SAGAR

CHECKED BY: SUBHENDU

SCALE: 1/8" = 1'-0"

SHEET NO: U-1

ADDRESS : 329 S San Antonio Road Suite #4, Los Altos, CA 94022

CONTACT : 650-209-6500

EMAIL : team@golivio.com

1 UTILITY PLAN  
1/8" = 1'-0"