

# NEW SINGLE FAMILY RESIDENCE + ATTACHED ADU

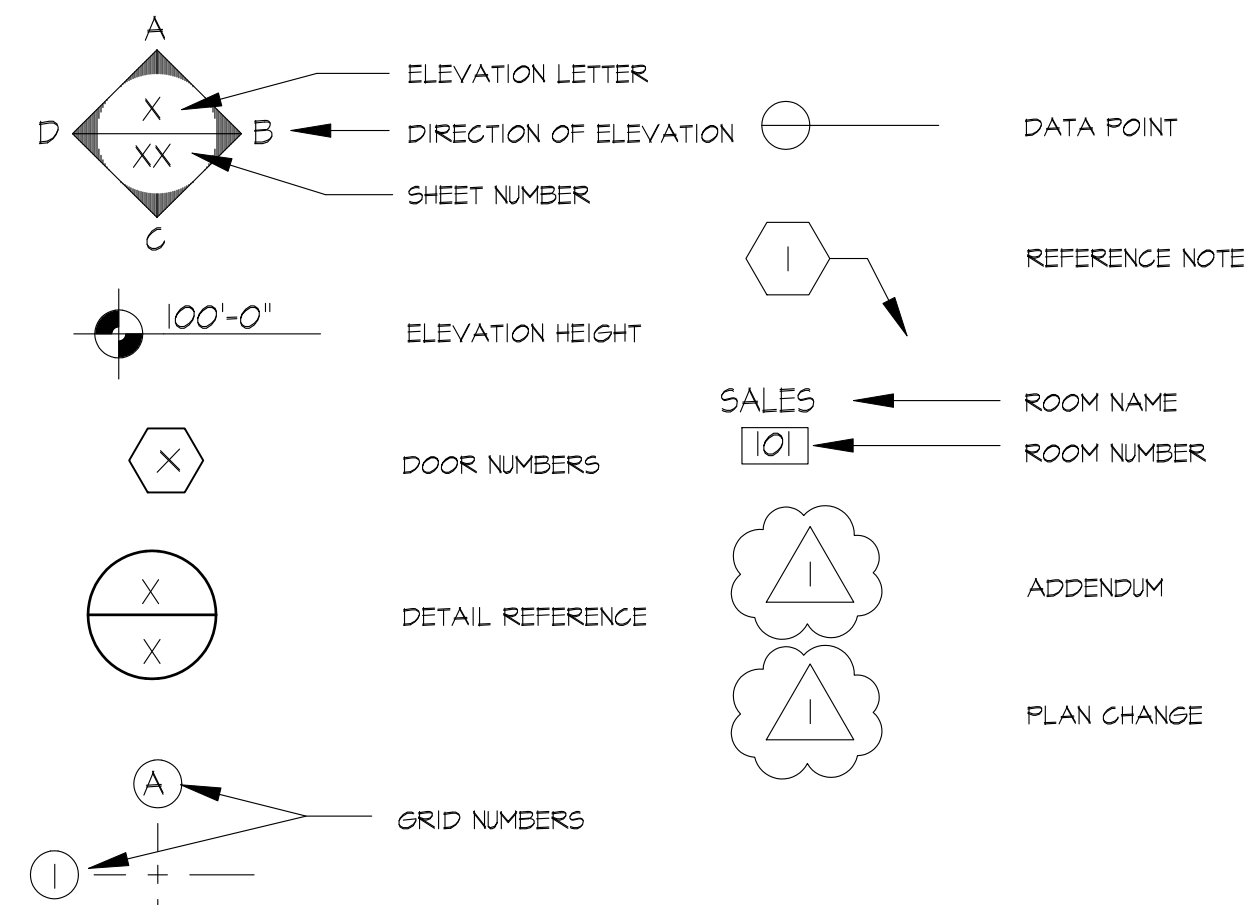
1219 PORTLAND AVENUE  
LOS ALTOS, CA 94024

APN: 193-33-028

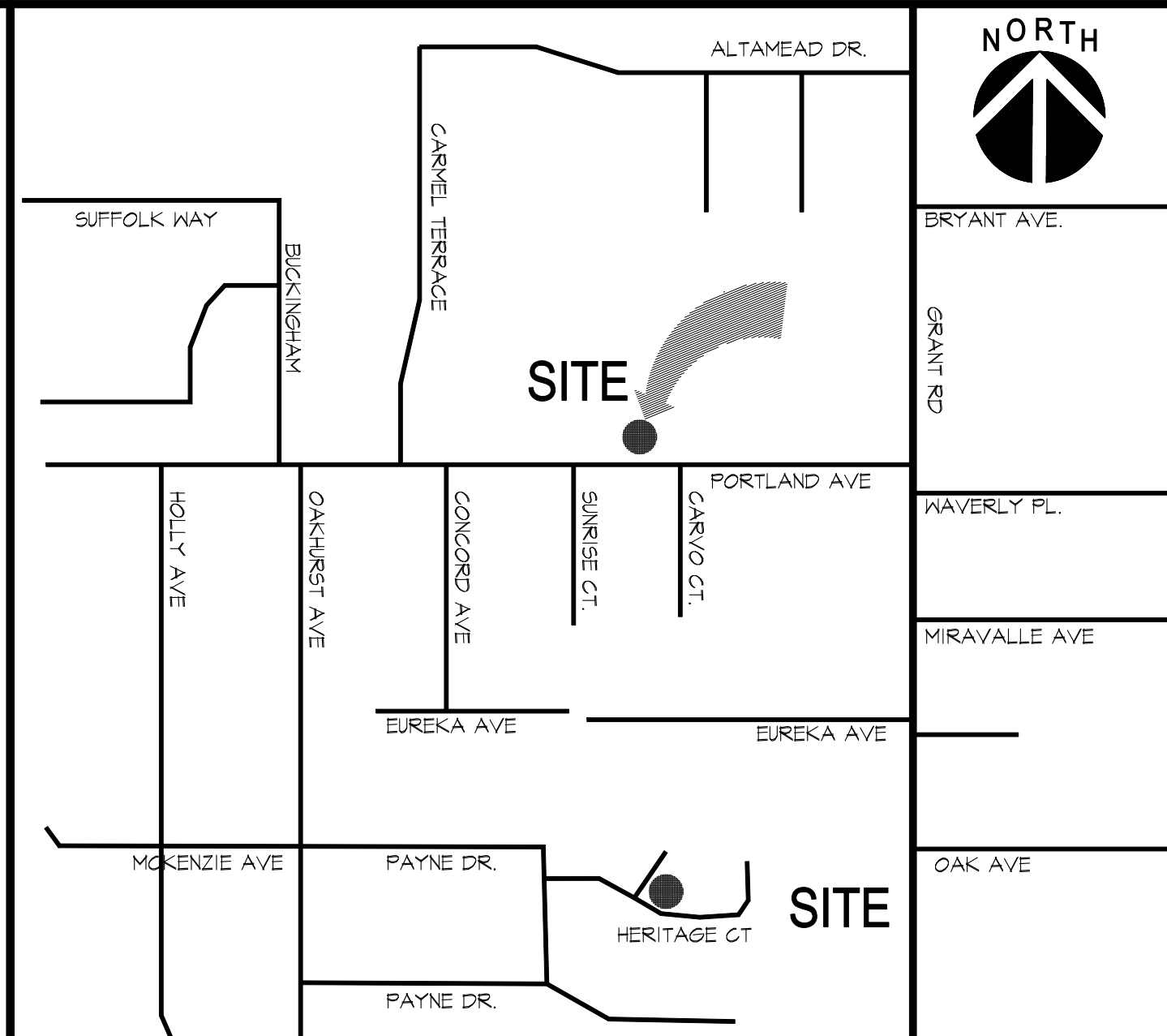


REVISIONS


## SYMBOL / LEGEND



## LOCATION MAP



## PROJECT CONTACT

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## PROJECT SUMMARY TABLE

ZONING COMPLIANCE			
	EXISTING	PROPOSED	ALLOWED/ REQUIRED
<b>LOT COVERAGE:</b> <small>LAND AREA COVERED BY ALL STRUCTURES THAT ARE OVER 8 FEET IN HEIGHT</small>	2,266.1 (14.2%)	2,879 S.F. (24.2%)	3,567.3 S.F. (30.0%)
<b>FLOOR AREA:</b> <small>MEASURED TO THE OUTSIDE SURFACES OF EXTERIOR WALLS</small>	2,266.4 S.F. (19.1%)	3,938.0 S.F. (33.1%)	3,894.1 S.F. (33.0%)(11,000+(10%*891))
<b>SETBACKS:</b>		<b>GRD. FLR.</b>	<b>GRD. FLR.</b>
FRONT	58'-10"	44'-5 1/2"	25'-0"
REAR	25'-5"	25'-0"	25'-0"
RIGHT SIDE	8'-4"	11'-10" / 24'-6 1/2"	10'-0" / 17'-6"
LEFT SIDE	10'-0"	10'-0" / 22'-0"	10'-0" / 17'-6"
<b>HEIGHT:</b>	16'-9"	25'-9"	27'-0"
SQUARE FOOTAGE BREAKDOWN			
	EXISTING	CHANGE IN	TOTAL PROPOSED
<b>HABITABLE LIVING AREA:</b> <small>INCLUDES HABITABLE BASEMENT AREAS</small>	1,875.8 S.F.	1,645.75 F.	3,519.5 S.F.
<b>NON-HABITABLE AREA:</b> <small>(DOES NOT INCLUDE COVERED PORCHES OR OPEN STRUCTURES)</small>	410.3 S.F.	8.2 S.F.	418.5 S.F.
LOT CALCULATION			
<b>NET LOT AREA</b>	11,891 S.F.		
<b>FRONT YARD HARDSCAPE AREA:</b> <small>HARDSCAPE AREA IN THE FRONT YARD SETBACK SHALL NOT EXCEED 50%</small>	288.6 S.F. (12.5%)		
<b>LANDSCAPING BREAKDOWN</b>	TOTAL HARDSCAPE AREA (EXISTING AND PROPOSED): 544.6 S.F. EXISTING SOFTSCAPE (UNDISTURBED) AREA: 9,248.2 S.F. NEW SOFTSCAPE AREA: 120.2 S.F. SUM OF ALL THREE SHOULD EQUAL THE SITE'S NET LOT AREA		

## DRAWING INDEX

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## PROJECT SUMMARY

APN:	193-33-028
USE:	SINGLE FAMILY RESIDENCE
ZONING DISTRICT:	R1-10
TYPE OF CONSTRUCTION:	V-B
OCCUPANCY GROUP:	R3/U
SIZE OF LOT:	+/-11,891 S.F.
ALLOWABLE LOT COVERAGE:	3,567 S.F.
PROPOSED LOT COVERAGE:	2,879 S.F.
MAX. ALLOWABLE FLOOR AREA: (11,000 S.F. X 35%+ 891 S.F. X10%)	3,939 S.F.
<b>FLOOR AREAS OF STRUCTURE</b>	
ATTACHED GARAGE GROUND FLOOR AREA	418.5 S.F.
2ND FLOOR AREA:	2,014.8 S.F.
<b>TOTAL FLOOR AREA:</b>	<b>3,433.3 S.F.</b>
ATTACHED ADU:	654.3 S.F.
MAXIMUM BUILDING HEIGHT:	27'-0"
PROPOSED BUILDING HEIGHT:	25'-9"
REQUIRED PARKING:	2
PARKING PROVIDED:	2

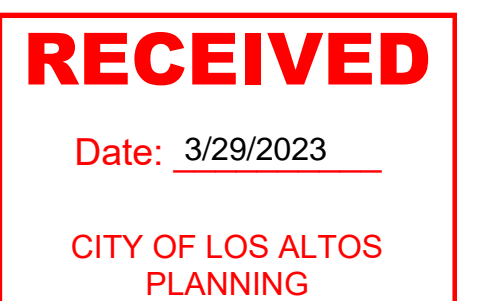
## APPLICABLE CODES

2022 CRC, CBC (FOR STRUCTURAL), CFC, CMC, CEC, CALIFORNIA ENERGY CODE AND CITY OF LOS ALTOS ORDINANCES

## PROJECT SCOPE

- DEMOLISH EXISTING DETACHED GARAGE 410 S.F., EXISTING SINGLE STORY HOUSE, 1876 S.F.
- NEW CONSTRUCTION OF A 3438 S.F. SINGLE STORY HOUSE (INCLUDING AN ATTACHED 2-CAR GARAGE), AND AN ATTACHED 654 S.F. ADU. MAIN EXTERIOR BUILDING MATERIALS ARE CEMENT PLASTER & WOOD SIDING FINISH, AND FLAT CONCRETE TILE ROOF

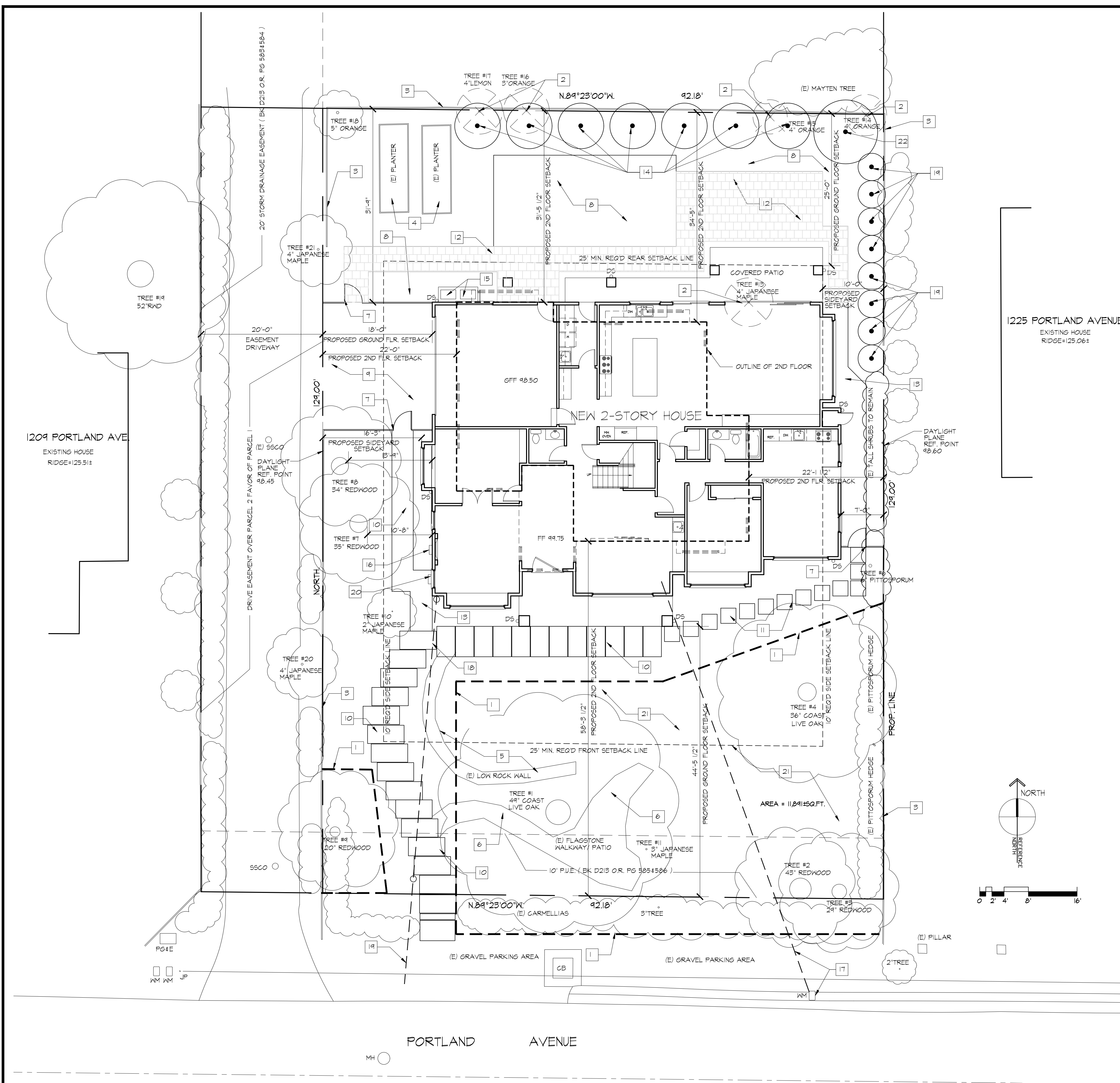
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TITLE SHEET

A1.0



---	PROPERTY LINE	□ EM	(N) ELEG. METER/ PANEL (400 AMP)
---	TREE PROTECTION FENCING (MIN. 5 FT. TALL, W/ POSTS DRIVEN TO GROUND)	□ GM	(N) GAS METER
○	(E) TREE TO REMAIN	○ (N) SESCO	(N) SANITARY SEWER CLEAN OUT
○	(N) TREES & PLANTS SEE LANDSCAPE DRAWINGS	○ DS	(N) DOWNSPOUT LOCATION W/ SPLASH BLOCK SEE CIVIL DRAWING
⊗	(E) TREE TO BE REMOVED SEE TREE TABLE & ARBORIST REPORT		

**LEGEND**

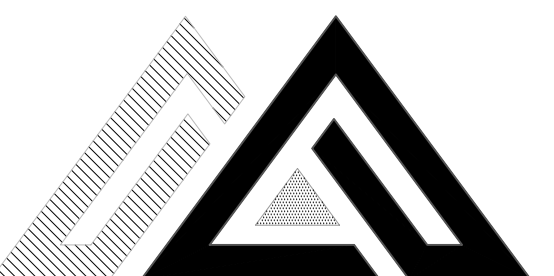
A. BUILDING SETBACK VERIFICATION: PRIOR TO FOUNDATION INSPECTION BY THE CITY, THE LLS OF RECORD SHALL PROVIDE A WRITTEN CERTIFICATION THAT ALL BUILDING SETBACKS ARE PER THE APPROVED PLANS.  
 B. ALL REMAINING EXISTING LANDSCAPE TO BE PROTECTED FROM DAMAGE DURING CONSTRUCTION, TYPICAL.  
 C. REMOVE EXISTING LANDSCAPE WHERE NEW CONSTRUCTION OCCURRED, VERIFY WITH OWNER FOR ITEM TO BE SAVED AND REUSED.  
 D. REMOVE EXISTING FENCE WHERE NEW CONSTRUCTION OCCURRED.  
 E. SEE SOIL REPORT FOR SITE & FOUNDATION COMPACTION & GRADING REQUIREMENTS.  
 F. ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY MUST HAVE AN APPROVED PERMIT FOR CONSTRUCTION IN THE PUBLIC STREET PRIOR TO COMMENCEMENT OF WORK. APPLY FOR THIS PERMIT AT THE PUBLIC WORKS ENGINEERING (PWE) DIVISION. **THE PERFORMANCE OF THIS WORK IS NOT AUTHORIZED BY THE BUILDING PERMIT ISSUANCE BUT SHOWN ON THE BUILDING PERMIT FOR INFORMATION ONLY.**  
 G. REFER TO SHT. C-1 FOR DOWNSPOUT/ SPLASH BLOCK LOCATIONS.  
 H. REMOVE ALL (E) ONSITE SUBGRADE SEWER LINE & REPLACE WITH NEW.  
 I. HARDSCAPE WITH MORE THAN SIX-FOOT ENCROACHMENT INTO THE REQUIRED REAR YARD SHALL BE NO GREATER THAN SIX INCHES IN HEIGHT.

- GENERAL NOTES**
- PROVIDE TREE PROTECTION PER CITY STANDARDS. SEE ARBORIST REPORT.
  - NOT USED.
  - (E) WD. FENCE TO REMAIN.
  - (E) PLANTER TO REMAIN.
  - (E) LOW ROCK WALL & BERM TO REMAIN.
  - (E) PAVED WALKWAY AND PATIO TO REMAIN.
  - (N) 6' HT. WD. FENCE & GATES
  - (N) LANDSCAPING. SEE LANDSCAPING PLANS.
  - (N) CONG. DRIVEWAY
  - (N) CONG. WALKWAY & PATIO
  - (N) CONG. STEPPING STONE
  - (N) PAVER WALKWAY & PATIO
  - (N) GRAVEL WALKWAY
  - (N) 24" BOX SCREENING TREES. SEE LANDSCAPE PLANS
  - (2) HEAT PUMP UNITS ON MINIMUM 3" CONG. PAD. CARRIER MODEL 30MER HEAT PUMP, MAX. 64 GEA. LOCATION SHALL MEET CITY'S NOISE CONTROL ORDINANCE & SETBACK REQUIREMENTS.
  - (N) ELEG. METER. COORDINATE WITH PG & E.
  - NEW WATER METER & 2" WATER LINE. COORDINATE WITH WATER COMPANY.
  - NEW 4" SANITARY SEWER LINE.
  - (N) PLANTED 24 GALLON PITTOSPORUM TENUIFOLIUM SCREENING SHRUBS. SEE LANDSCAPE PLANS
  - (N) GAS METER. COORDINATE WITH PG & E.
  - (E) TURF/ LANDSCAPING TO REMAIN. SEE LANDSCAPE DRAWINGS.
  - (N) 24" BOX AUSTRALIAN WILLOW. REPLACEMENT TREE (CATEGORY II EVERGREEN FROM THE CITY'S TREE LIST)

**KEYNOTES**

EXISTING	SPECIES	DBH	HEIGHT	RETAINED OR REMOVED
1	COAST LIVE OAK	49"	+/-50'	RETAINED
2	REDWOOD	45"	+/-10'	RETAINED
3	REDWOOD	28"	+/-10'	RETAINED
4	COAST LIVE OAK	36"	+/-55'	RETAINED
5	COAST LIVE OAK	31"	+/-45'	ALREADY REMOVED DUE TO DISEASE
6	PITTOSPORUM	6"	+/-10'	RETAINED
7	REDWOOD	36"	+/-10'	RETAINED
8	REDWOOD	34"	+/-10'	RETAINED
9	REDWOOD	20"	+/-40'	RETAINED
10	JAPANESE MAPLE	2"	+/-10'	RETAINED
11	JAPANESE MAPLE	3"	+/-14'	RETAINED
12	PITTOSPORUM HEDGE	4"	+/-12'	RETAINED
13	JAPANESE MAPLE	4"	+/-15'	REMOVED
14	ORANGE	9"	+/-8'	REMOVED
15	ORANGE	4"	+/-8'	REMOVED
16	ORANGE	4"	+/-8'	REMOVED
17	LEMON	3"	+/-8'	REMOVED
18	ORANGE	4"	+/-10'	RETAINED
19	REDWOOD	52"	+/-45'	RETAINED
20	JAPANESE MAPLE	4"	+/-12'	RETAINED
21	JAPANESE MAPLE	4"	+/-12'	RETAINED
22	JAPANESE MAPLE	4"	+/-12'	RETAINED

SEE ARBORIST REPORT FOR DETAILED INFORMATION



**March DESIGN**  
 ARCHITECTURE | INTERIOR | PLANNING  
 111 MAIN STREET, SUITE J3  
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 650.302.1987  
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REVISIONS

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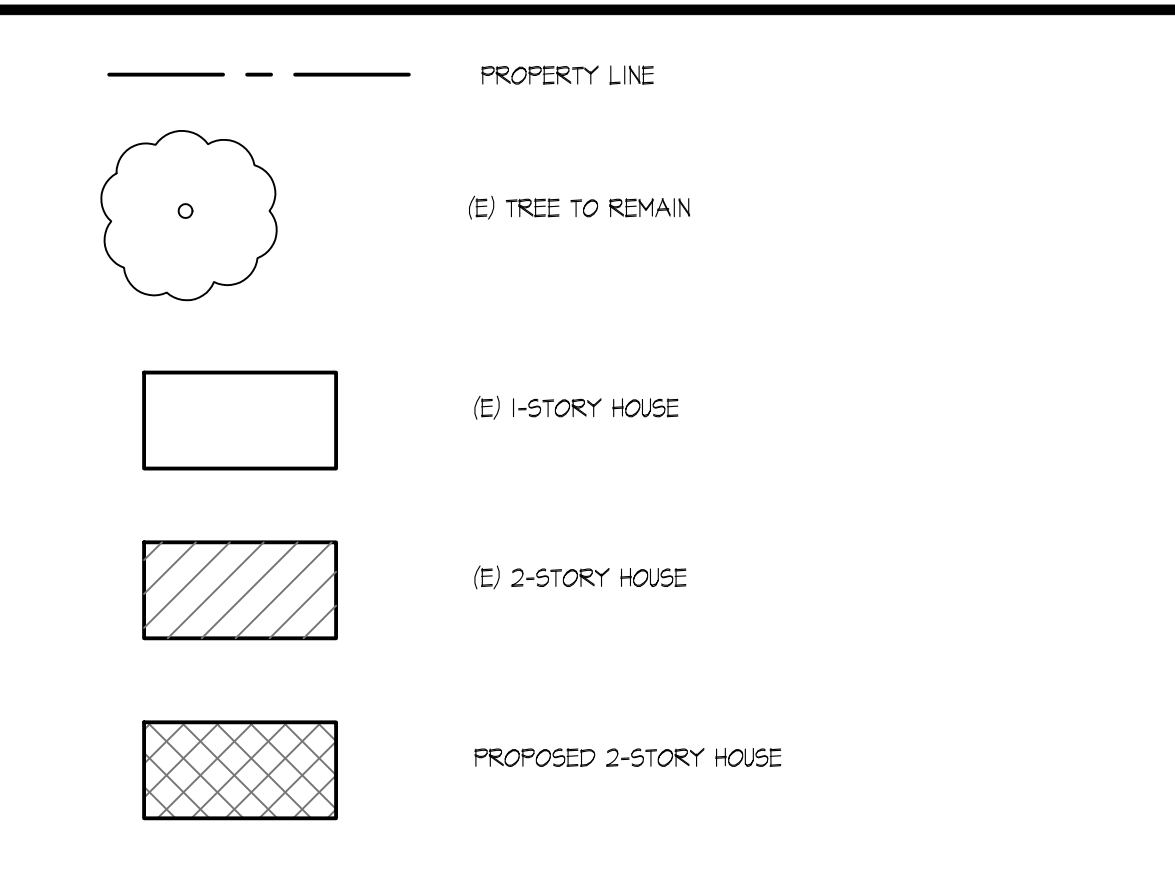
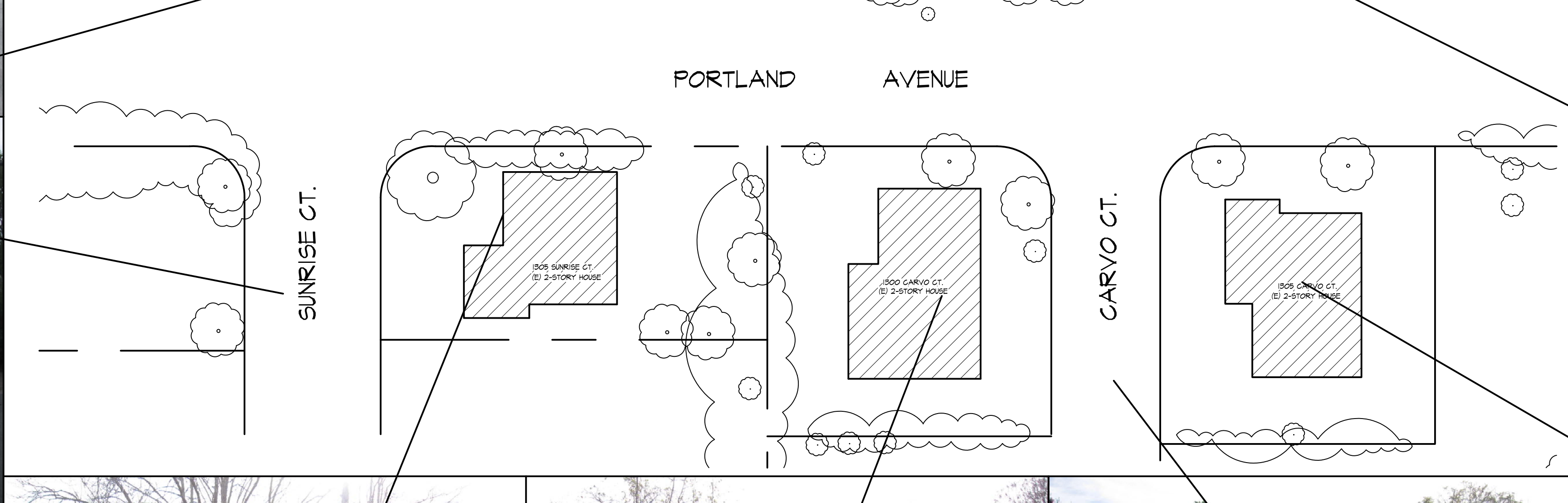
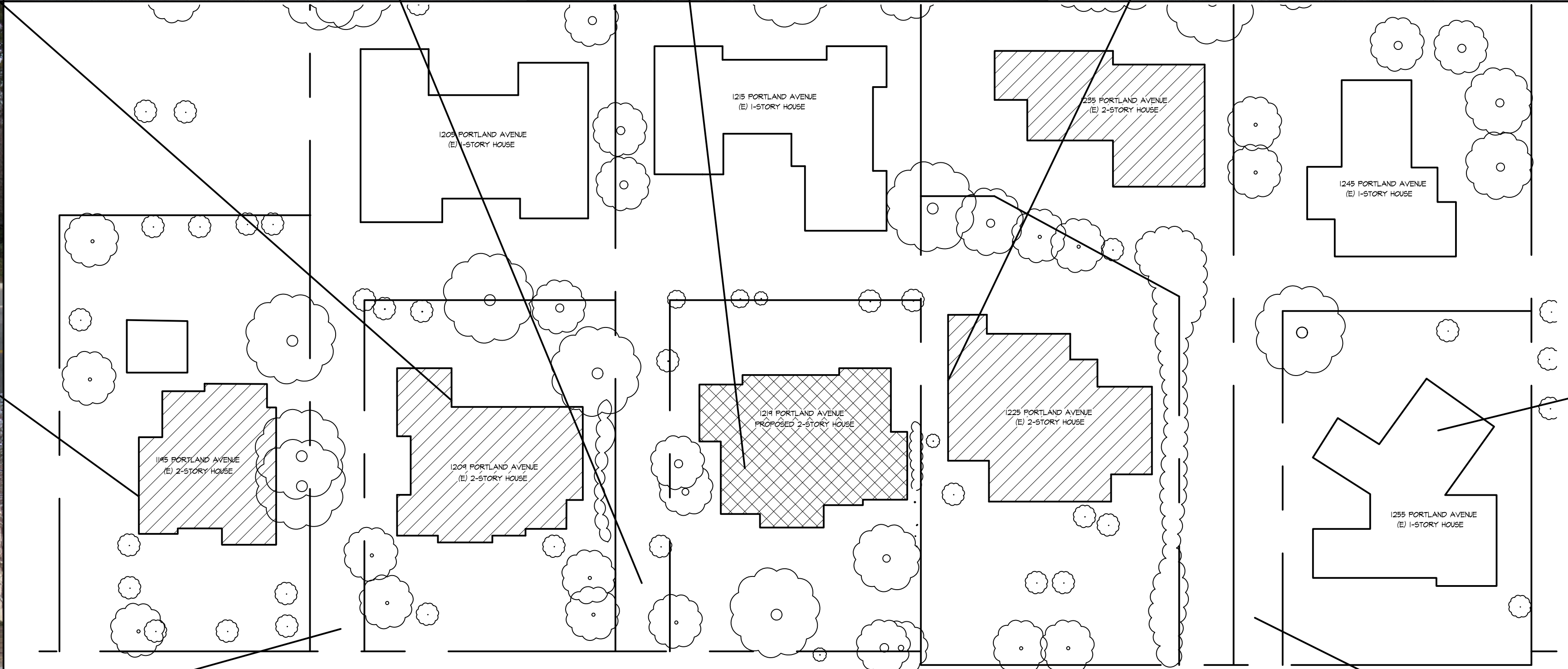
**PROPOSED SITE PLAN**

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**A1.1**

1 PROPOSED SITE PLAN

1/8"=1'-0" TREE TABLE (EXISTING TREES)



LEGEND



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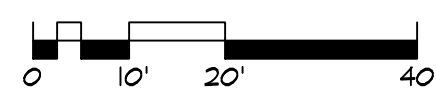
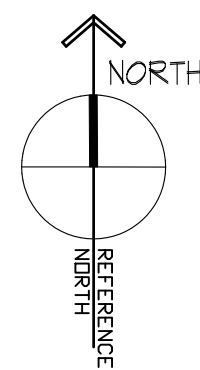
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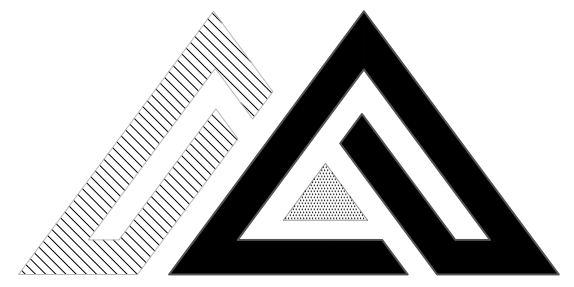
**SITE CONTEXT**

**A1.2**



① SITE CONTEXT

1/20"=1'-0"



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⑦ VIEW TO LEFT SIDE FROM PROPOSED BALCONY



④ VIEW TO FRONT FROM PROPOSED BALCONY



① VIEW TO RIGHT SIDE FROM PROPOSED BALCONY



⑧ VIEW AT EXISTING FRONT YARD



⑤ VIEW AT EXISTING FRONT YARD



② VIEW AT EXISTING FRONT YARD



⑨ VIEW AT EXISTING REAR YARD



⑥ VIEW FROM STREET TO EASEMENT DRIVEWAY



③ VIEW FRONT STREET TO FRONT YARD

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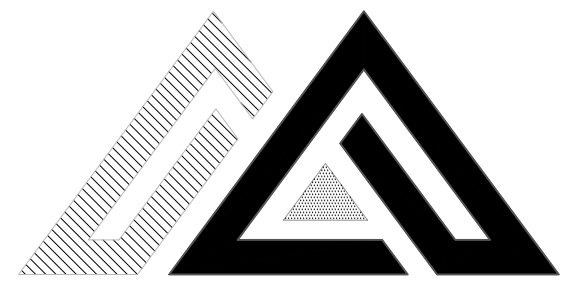
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SITE  
PHOTOS

A1.3



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① VIEW FROM LEFT CORNER OF FRONT YARD



② VIEW FROM RIGHT CORNER OF FRONT YARD

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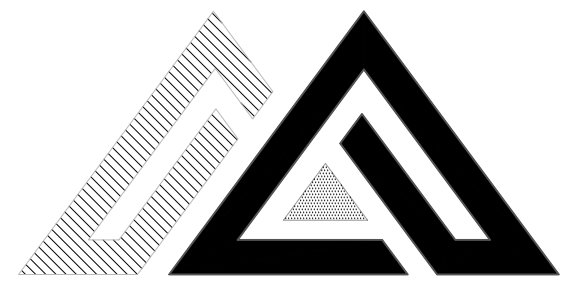
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**RENDERINGS**

**A1.4**



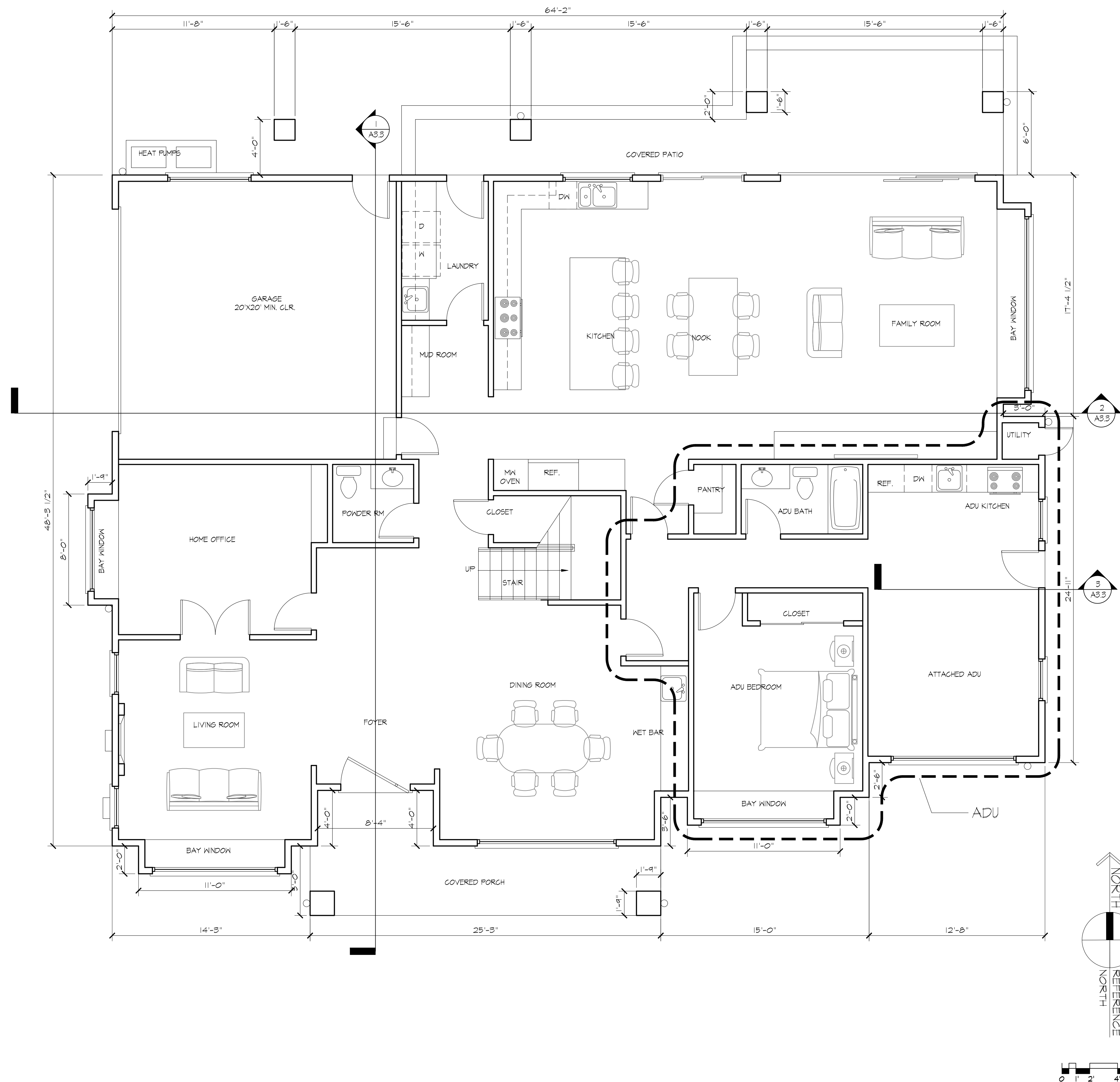
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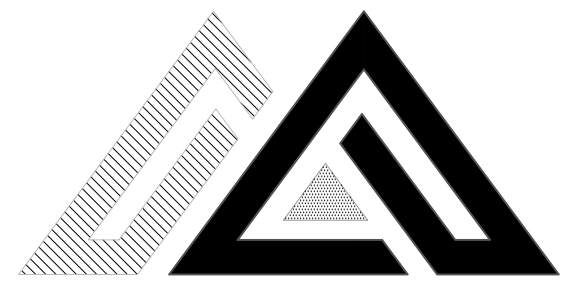
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PROPOSED  
GROUND  
FLOOR PLAN



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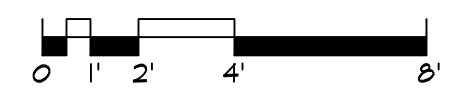
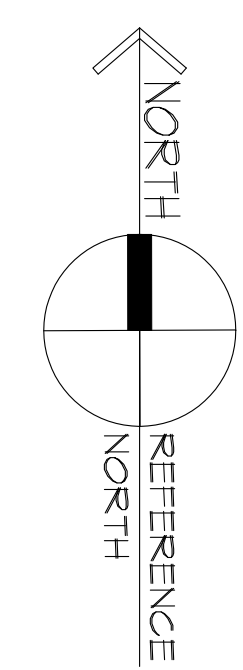
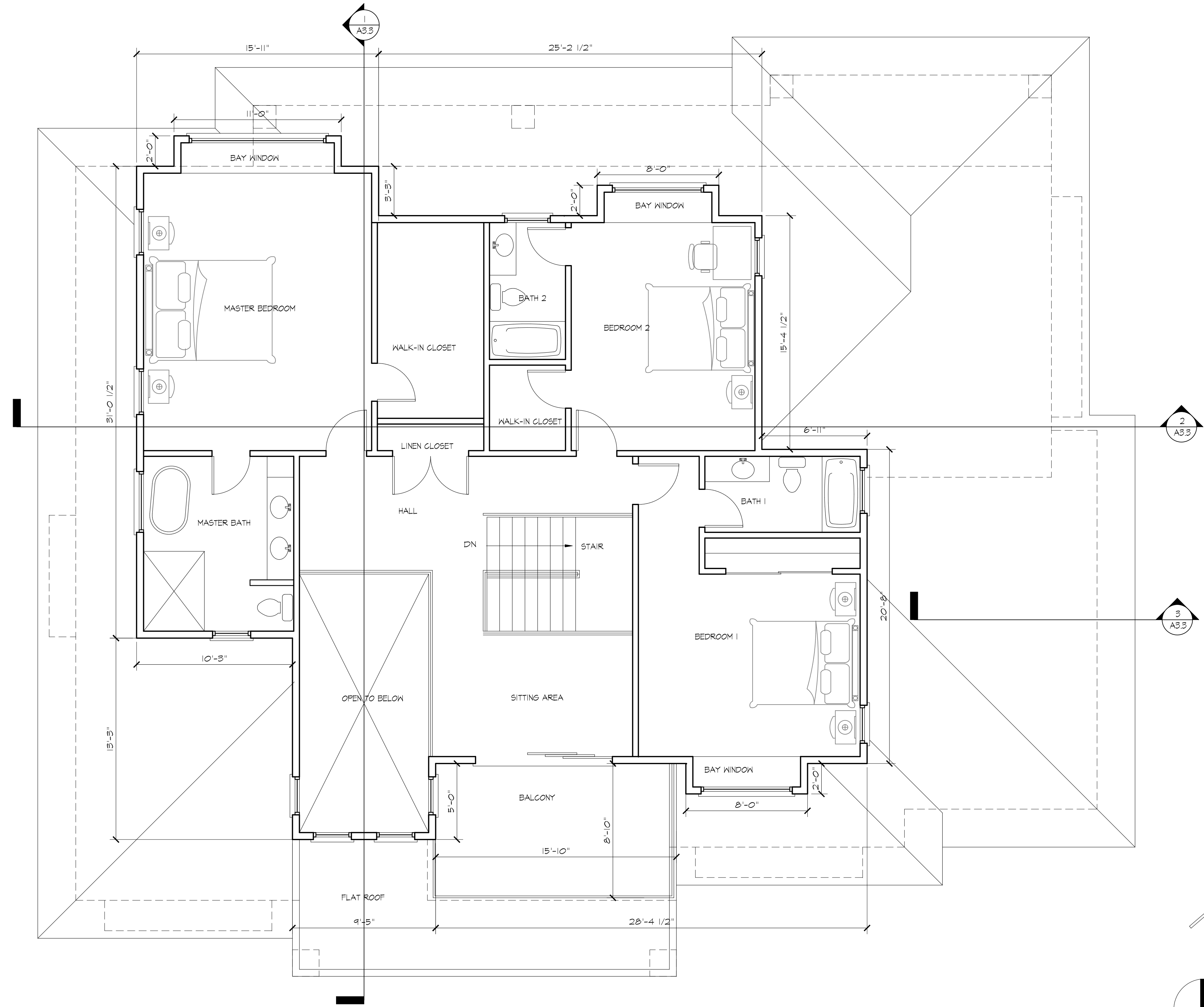
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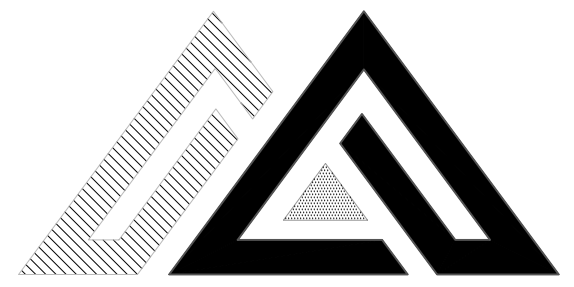
1 PROPOSED SECOND FLOOR PLAN

1/4" = 1'-0"

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**PROPOSED  
SECOND  
FLOOR PLAN**

**A2.2**



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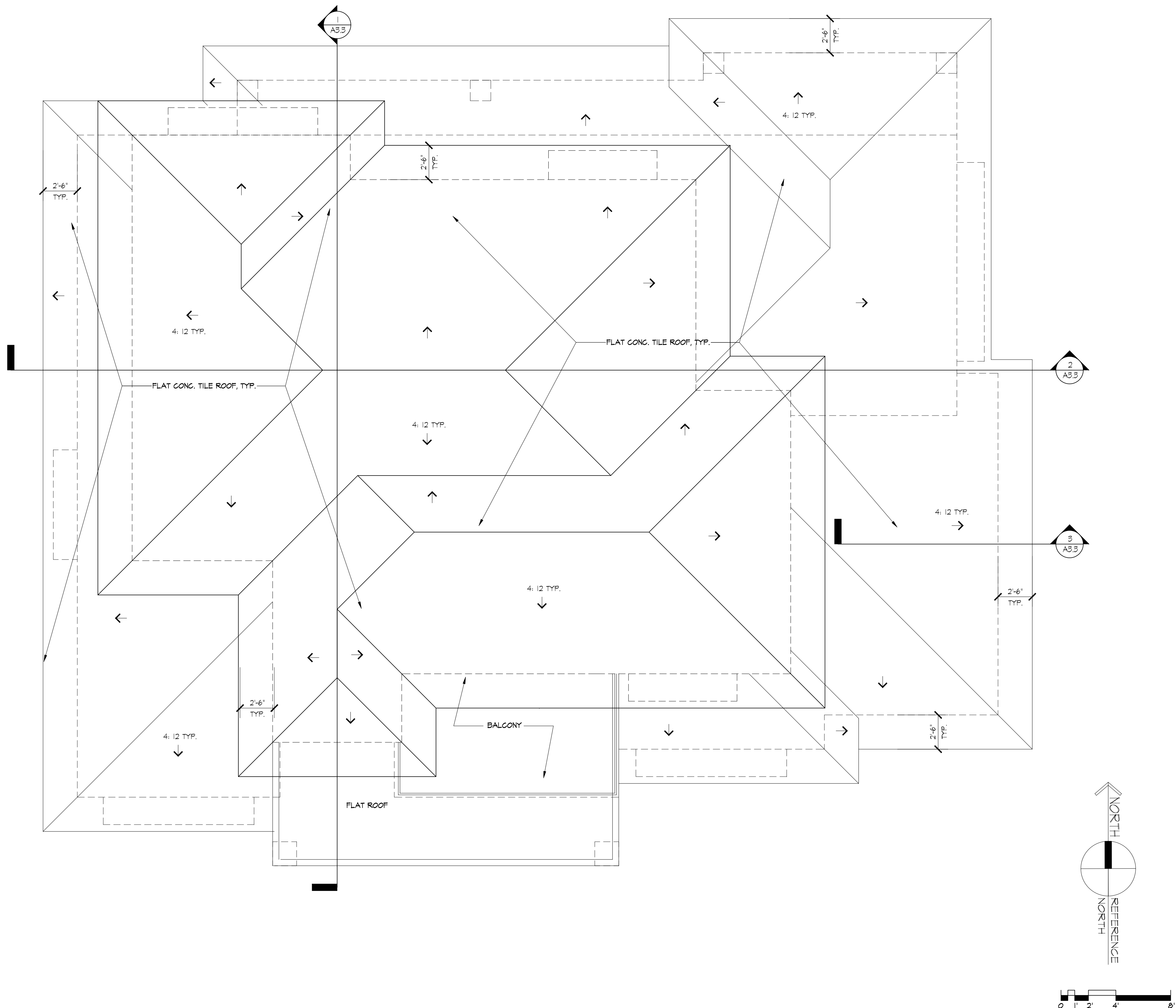
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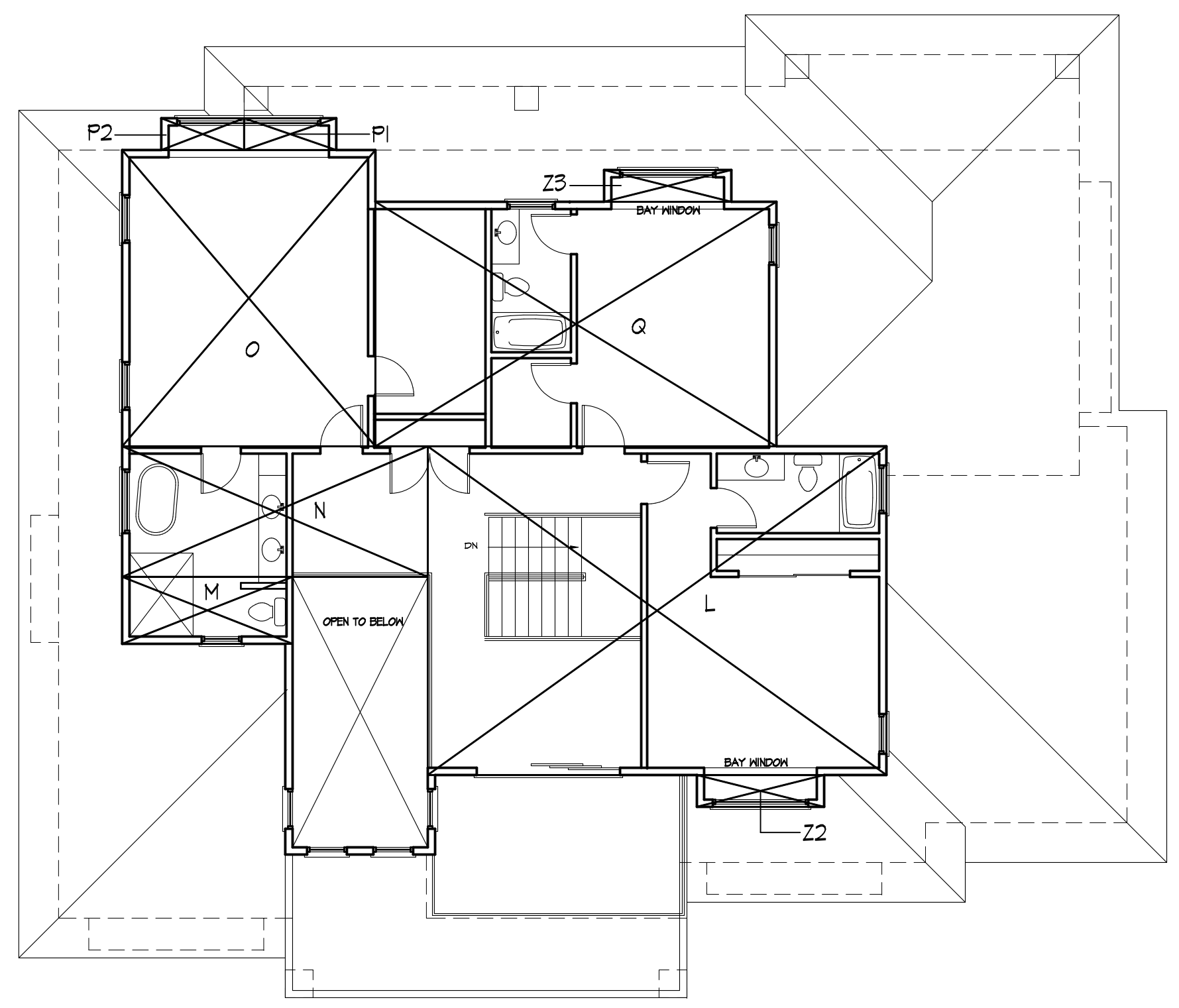
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**PROPOSED  
ROOF PLAN**

**A2.3**







FLOOR AREA CALCULATION

FIRST FLOOR

SECTION	DIMENSIONS	AREA
A	20'-5 1/2" X 20'-5 1/2"	418.5
B	11'-0" X 2'-0"	22.0
C	14'-9" X 4'-0"	59.2
D	23'-1 1/2" X 23'-10"	551.1
E	1'-9" X 8'-0"	14.0
F	16'-4 1/2" X 3'-6"	57.3
G	18'-3 1/2" X 9'-5 1/2"	173.0
H	13'-6" X 9'-6"	128.3
I	21'-9 1/2" X 5'-4 1/2"	117.1
J	43'-3" X 3'-1"	133.4
K	43'-8 1/2" X 17'-4 1/2"	759.4
<b>SUBTOTAL</b>		<b>2433.3</b>

SECOND FLOOR

SECTION	DIMENSIONS	AREA
L	28'-10" X 20'-8"	595.9
M	10'-8 1/2" X 4'-2 1/2"	45.1
N	19'-2 1/2" X 8'-2 1/2"	157.7
O	15'-11" X 18'-7 1/2"	296.4
P1	5'-9 1/2" X 2'-0"	11.6
P2	5'-2 1/2" X 2'-0"	10.4
Q	25'-2 1/2" X 15'-4 1/2"	387.6
<b>SUBTOTAL</b>		<b>1504.7</b>

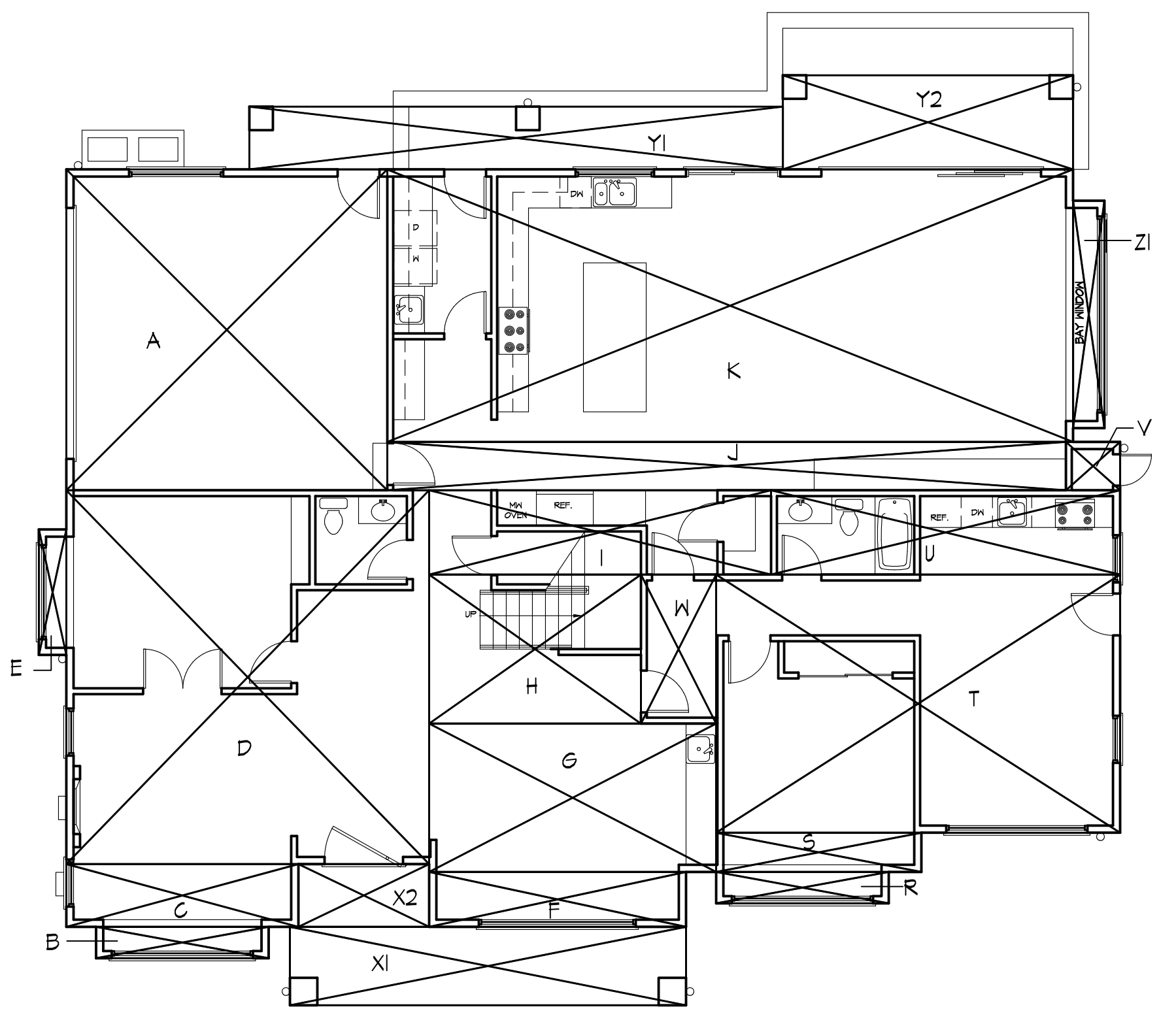
TOTAL FLOOR AREA 3938.0 SF < 3939 SF

ATTACHED ADU

SECTION	DIMENSIONS	AREA
R	11'-0" X 2'-0"	22.0
S	13'-1" X 2'-6"	32.7
T	25'-9" X 16'-5 1/2"	423.8
U	22'-3" X 5'-4 1/2"	119.6
V	3'-5 1/2" X 3'-1"	10.7
W	4'-9 1/2" X 9'-6"	45.5
<b>SUBTOTAL</b>		<b>654.3</b>

1 SECOND FLOOR AREA CALCULATION

1/8"=1'-0"



FLOOR COVERAGE CALCULATION

SECTION	DIMENSIONS	AREA
GROUND FLOOR AREA		2433.3
P2	5'-2 1/2" X 2'-0"	10.4
X1	25'-3" X 5'-0"	126.3
X2	8'-4" X 4'-0"	33.3
Y1	34'-0" X 4'-0"	136.0
Y2	18'-6" X 6'-0"	111.0
Z1	2'-0" X 14'-6"	29.0
<b>TOTAL</b>		<b>2874.3</b>

NOTE: 2 BAY WINDOWS ON 2ND FLOOR (Z2 & Z3) DO NOT COUNT TOWARD FLOOR AREA OR COVERAGE.

TOTAL COVERAGE 2874.3 SF < 3567.0 SF

2 GROUND FLOOR AREA CALCULATION

1/8"=1'-0"



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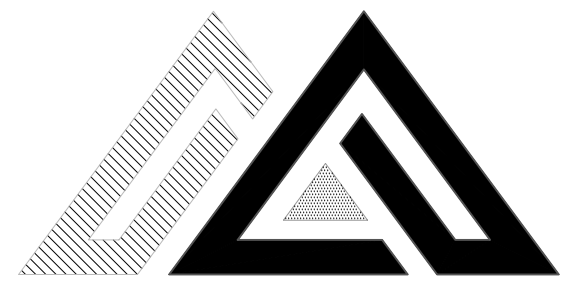
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FLOOR & COVERAGE AREA CALCULATIONS

A2.4

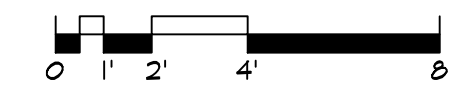
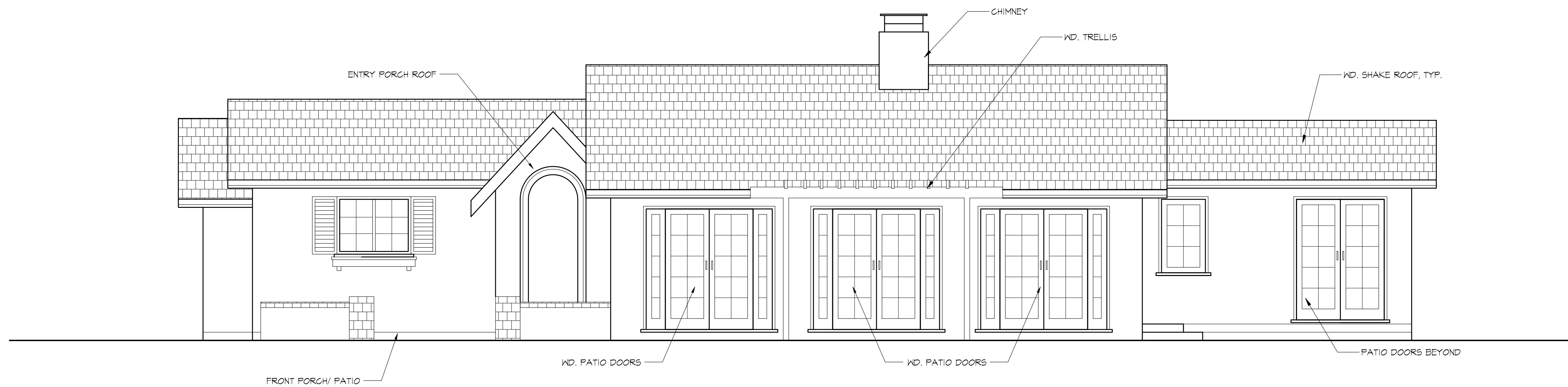


March  
DESIGN

ARCHITECTURE | INTERIOR | PLANNING

111 MAIN STREET, SUITE J3  
LOS ALTOS, CA 94022  
650. 902. 1987  
mike@march.design

REVISIONS

1/4" = 1'-0"

1 EXISTING STREET ELEVATION (WEST)



2 STREETScape

1/16" = 1'-0"

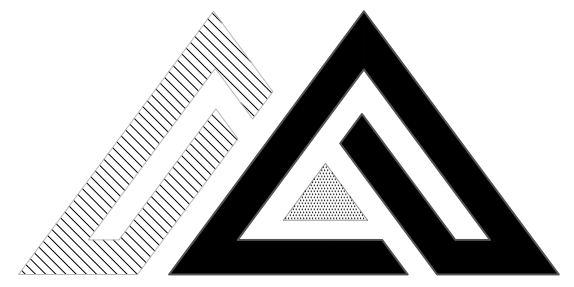
NEW SINGLE FAMILY RESIDENCE + ATTACHED ADU  
1219 PORTLAND AVENUE  
LOS ALTOS, CA 94024  
APN: 193-33-028

DATE	01/30/23
CHECKED	
DRAWN	MM
JOB NO.	

(E) & PROPOSED  
STREET  
ELEVATIONS

A3.0



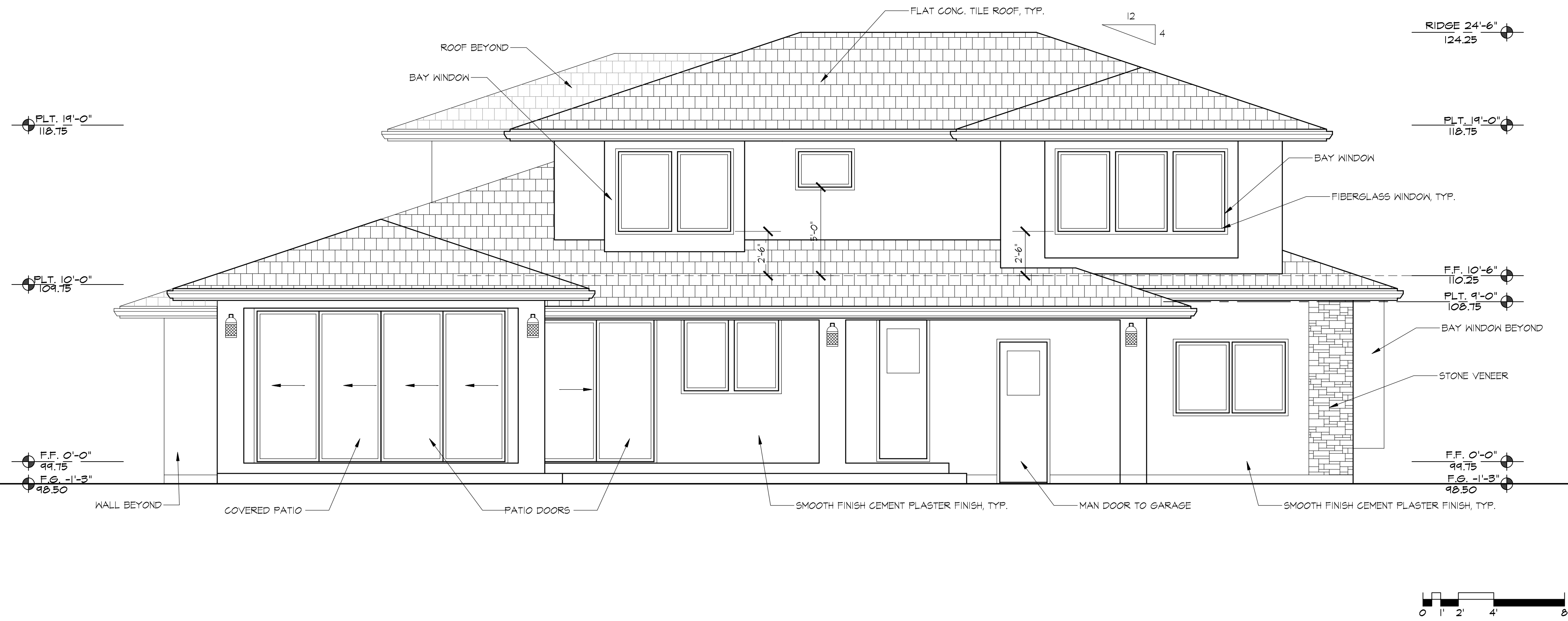
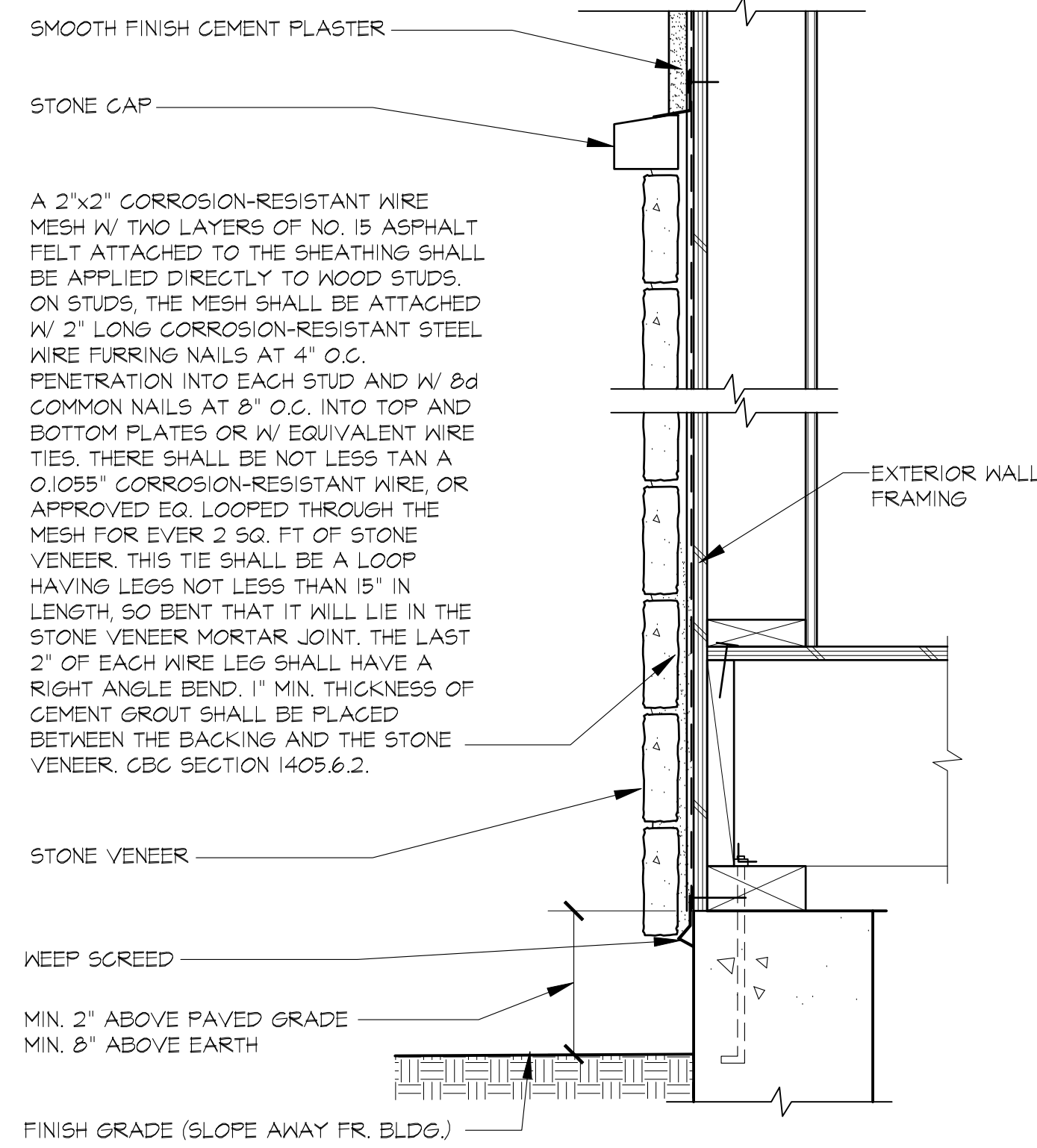


**March**  
DESIGN

ARCHITECTURE | INTERIOR | PLANNING  
111 MAIN STREET, SUITE J3  
LOS ALTOS, CA 94022  
650.302.1987  
mike@march.design

NO.	REVISIONS

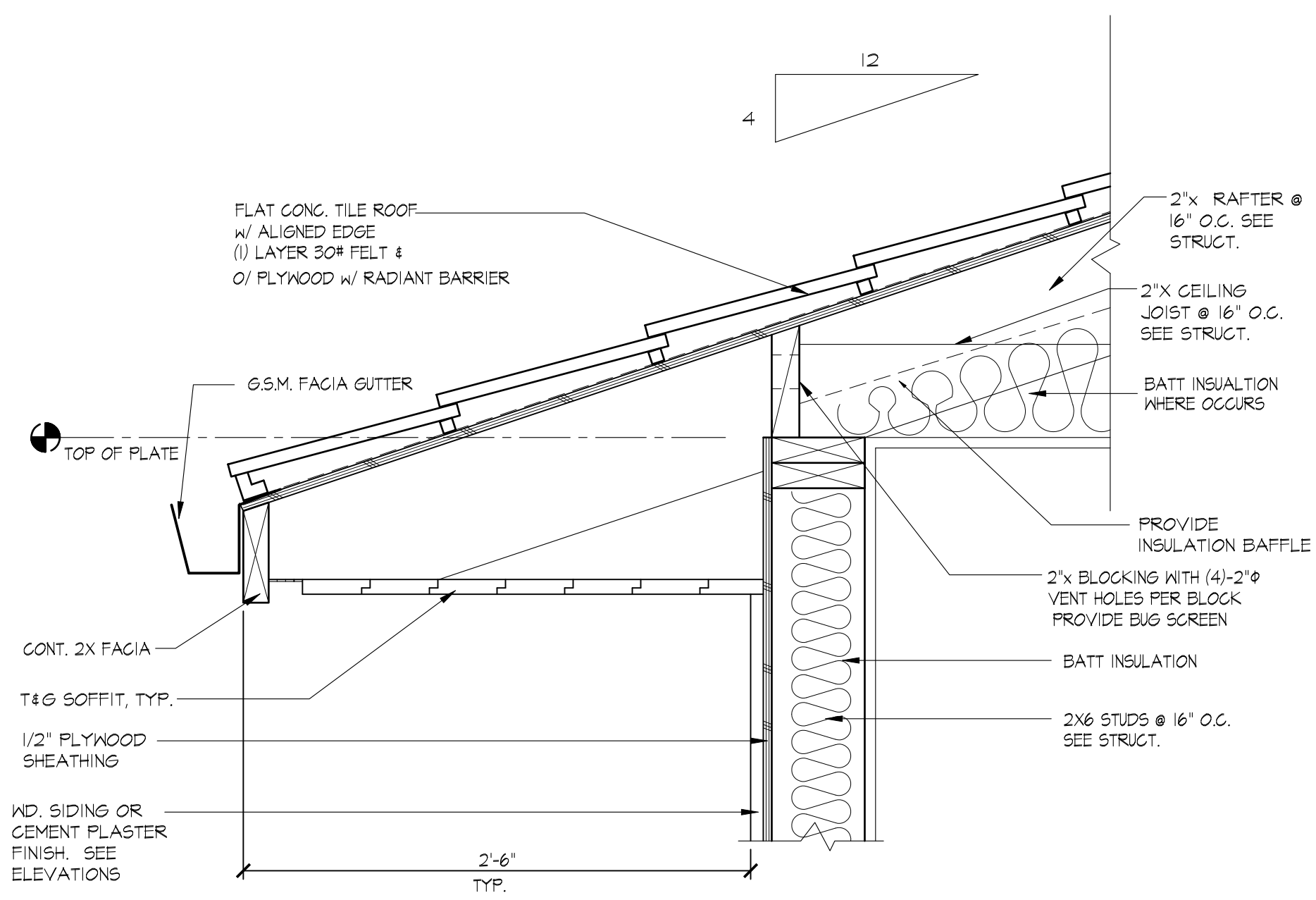
**NEW SINGLE FAMILY RESIDENCE + ATTACHED ADU**  
1219 PORTLAND AVENUE  
LOS ALTOS, CA 94024  
APN: 193-33-028



③ STONE VENEER BASE DETAIL

1 1/2" = 1'-0"

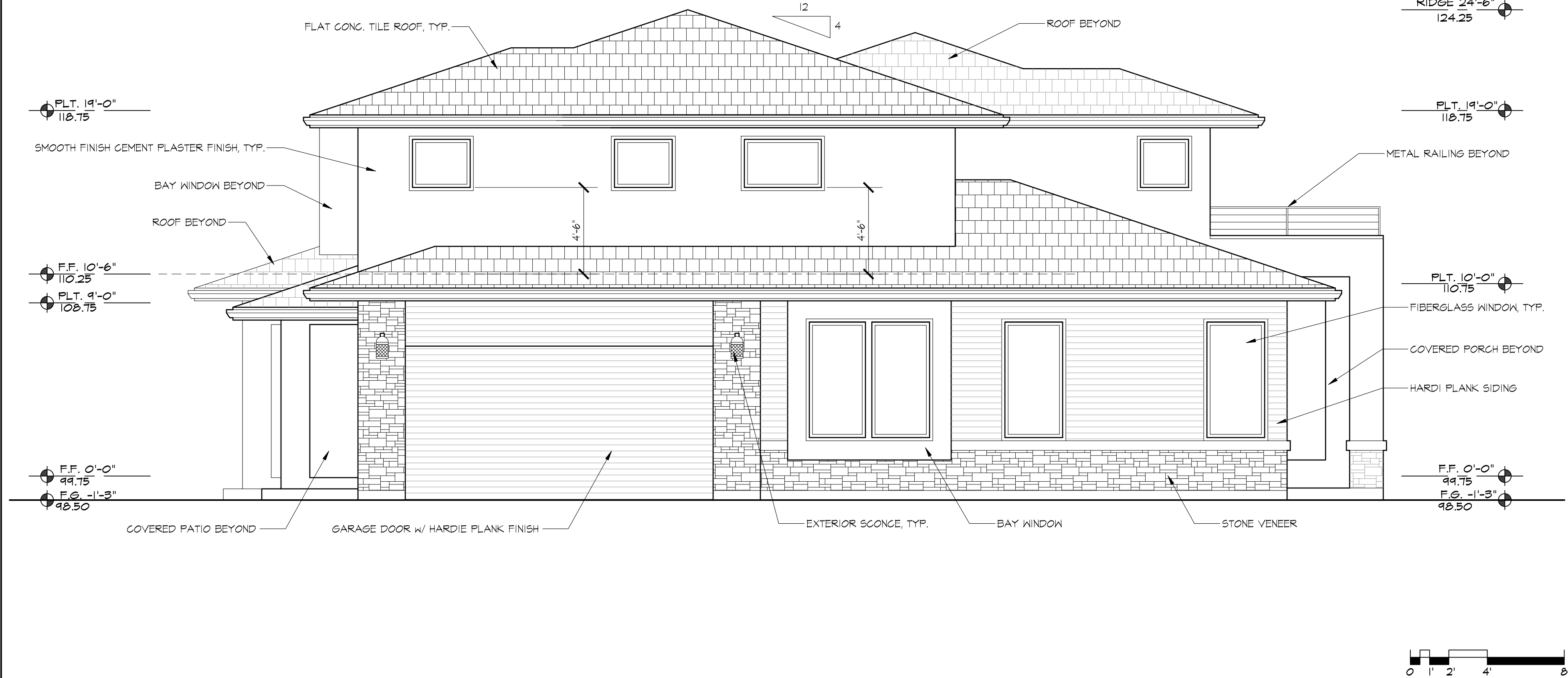
① PROPOSED REAR ELEVATION (NORTH)



④ TYPICAL EAVE DETAIL

1 1/2" = 1'-0"

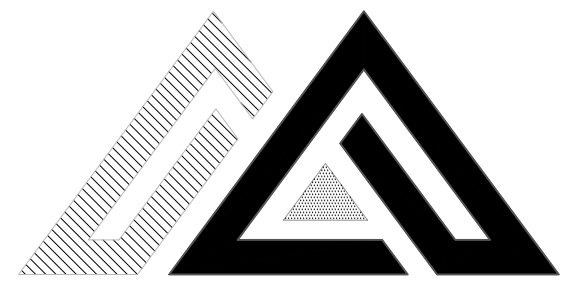
② PROPOSED LEFT SIDE ELEVATION (WEST)



DATE 01/30/23  
CHECKED  
DRAWN MM  
JOB NO.

**PROPOSED EXTERIOR ELEVATIONS**

**A3.2**



**March**  
DESIGN

ARCHITECTURE | INTERIOR | PLANNING  
111 MAIN STREET, SUITE J3  
LOS ALTOS, CA 94022  
650.302.1987  
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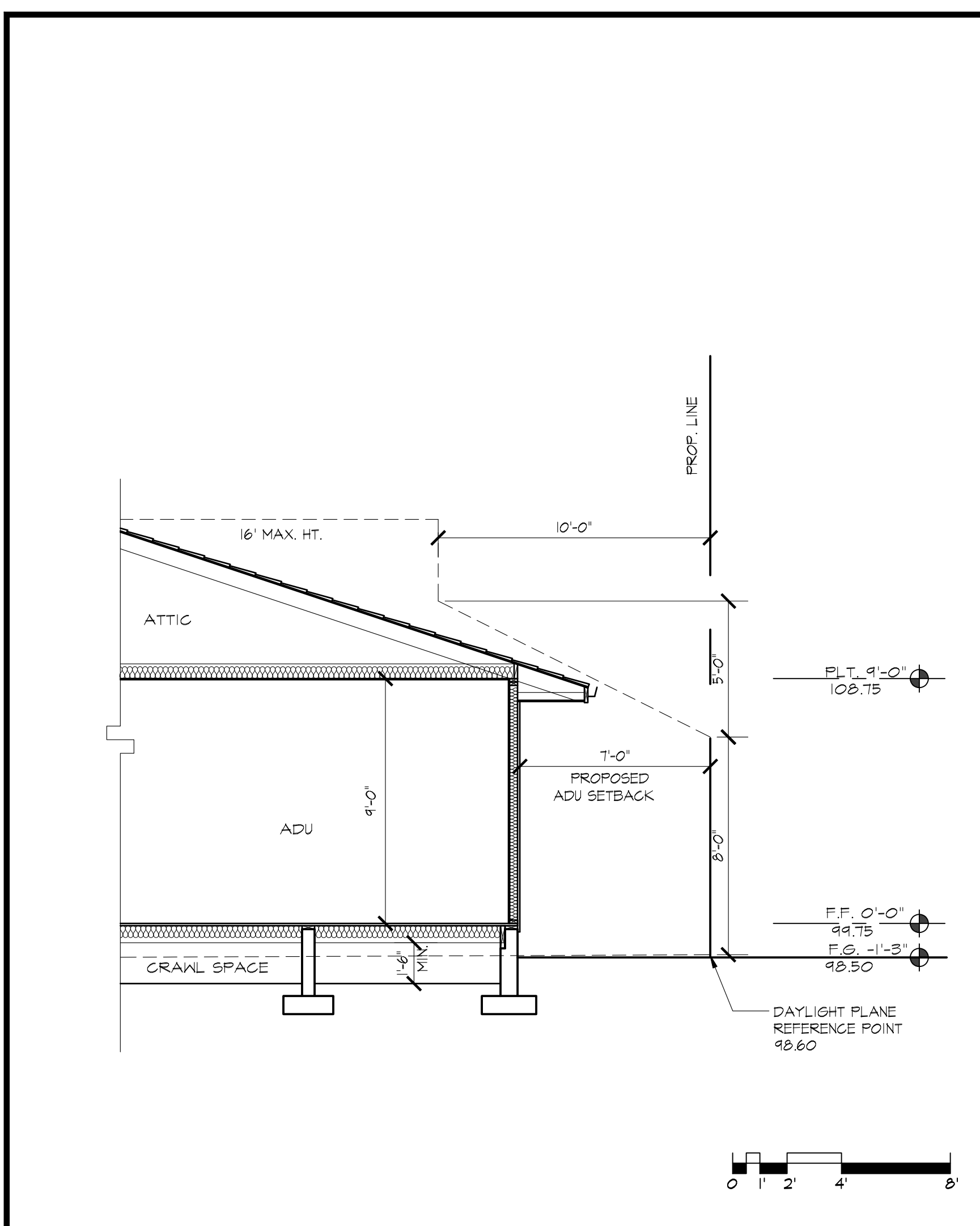
NO.	REVISIONS

**NEW SINGLE FAMILY RESIDENCE + ATTACHED ADU**  
1219 PORTLAND AVENUE  
LOS ALTOS, CA 94024  
APN: 193-33-028

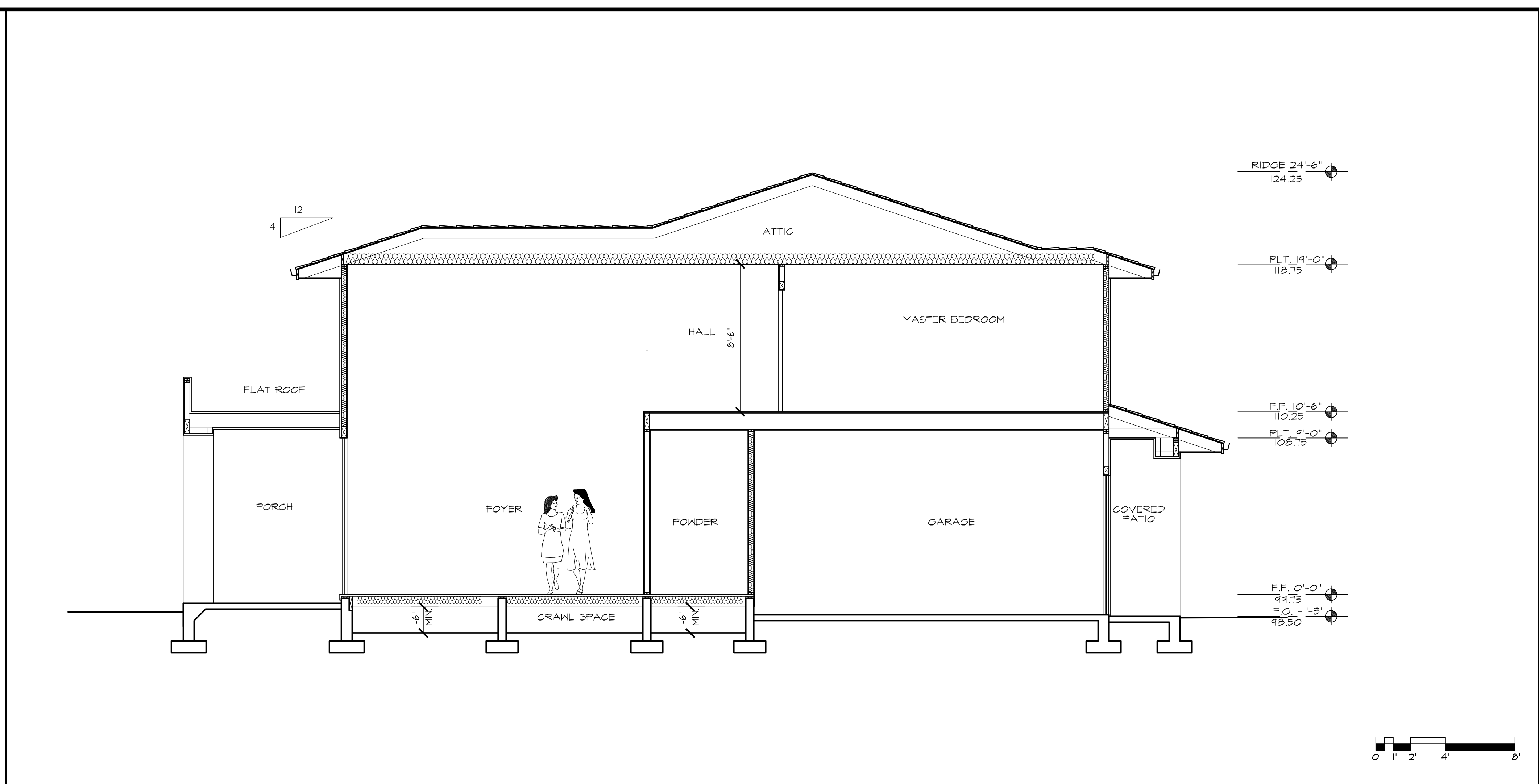
DATE	01/30/23
CHECKED	
DRAWN	
JOB NO.	

**BUILDING SECTIONS**

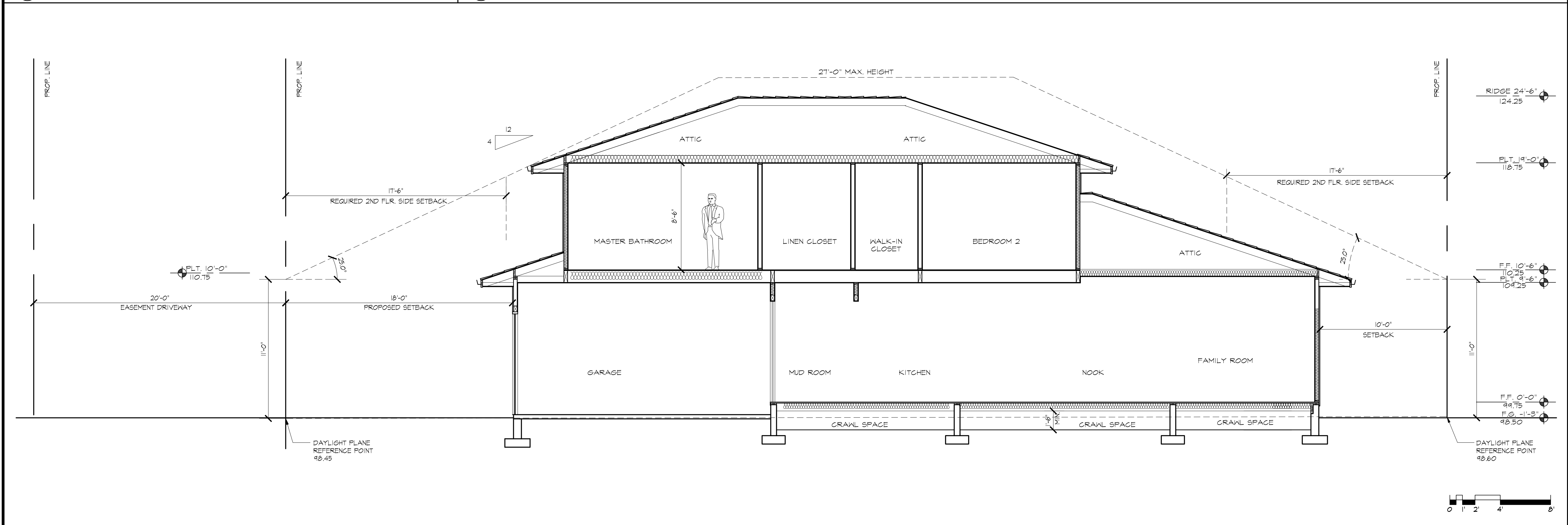
**A3.3**



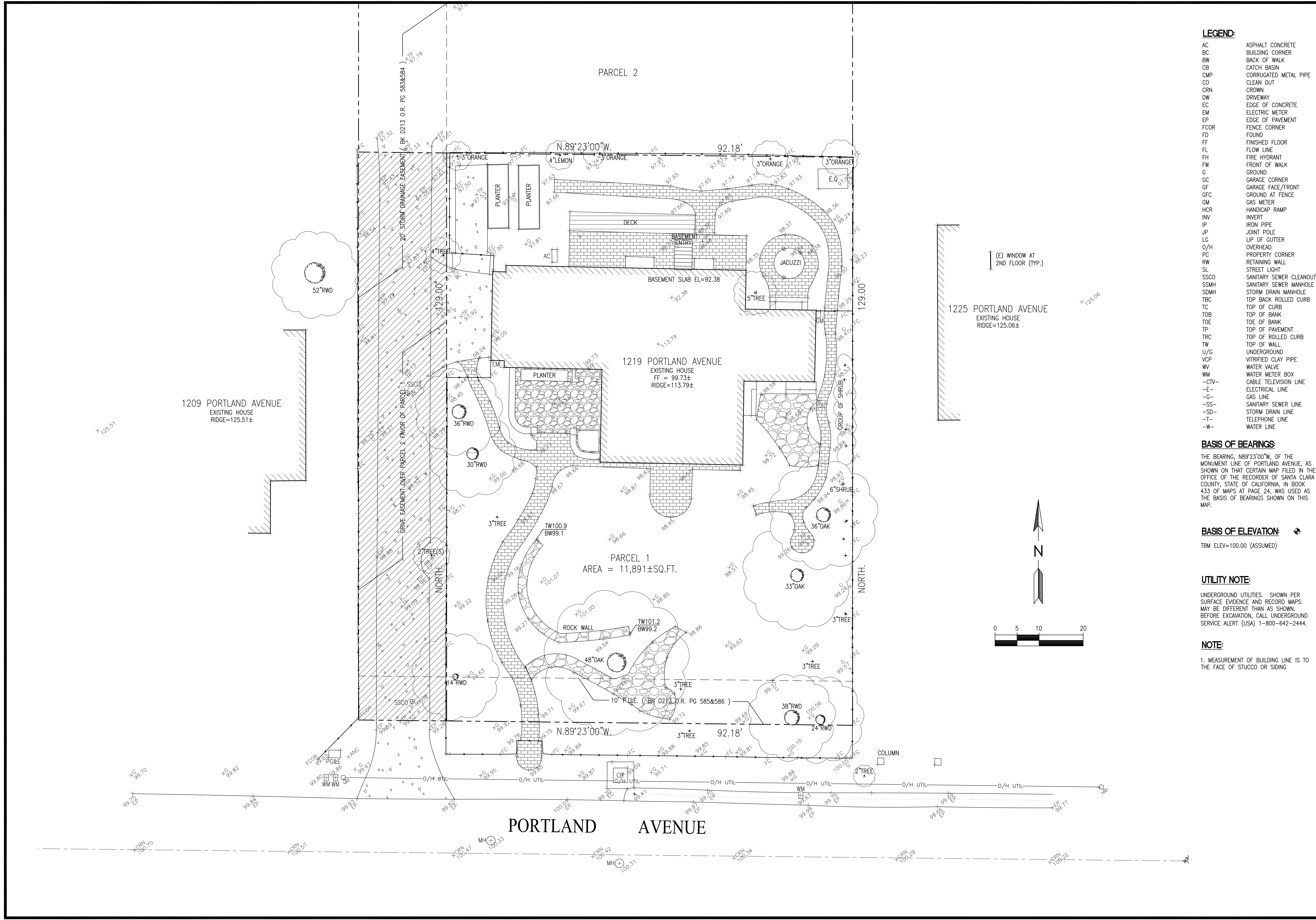
③ SECTION AT ADU (ADU DAYLIGHT PLANE) 1/4" = 1'-0"



① SECTION 1/4" = 1'-0"



② SECTION 1/4" = 1'-0"



# NEW RESIDENCE

1219 PORTLAND AVENUE  
LOS ALTOS, CA  
APN: 193-33-028



2625 MIDDLEFIELD RD #658  
PALO ALTO, CA 94306  
TEL: (650) 823-6466  
FAX: (650) 887-1294

LICENSE STAMPS AND SIGNATURE



ISSUED

No.	Description	Date

DATE: DEC 20, 2022  
SCALE: 1"=10'  
DRAWN: BG  
JOB: 10078

SHEET TITLE:

## TOPOGRAPHIC SURVEY

SHEET NO.

# C.0



REVISIONS	BY



**KAREN AITKEN & ASSOCIATES**  
**LANDSCAPE ARCHITECTS**  
 8262 Rancho Real Gentry Ca. 95020  
 Calif. Reg. #2239 (408) 842-0245  
 karen@kaa.design

**NEW RESIDENCE**  
 1219 Portland Ave, Los Altos, CA.  
**PLANTING & LIGHTING PLAN**



DATE 12-21-22  
 SCALE 1/8"=1'-0"  
 DRAWN SL  
 JOB PORTLAND

**L-1**

**Low Voltage Lights- by Alliance**

Symbol	Manufacturer / Model / Description	Qty.
	Alliance iT150 Transformer	01
	Path Light - AL250-LED Hat 7.75" Diameter. Order code: AL250, Brass, (AB) Aged Brass, ALSTEM24 LBIPIN-200lm, 2.5W/3.75VA, 2700K.	07



**PLANT LEGEND**

BOTANICAL	COMMON	QTY	SIZE	WATER	REMARKS
<b>Tree</b>					
Geijera parviflora	Australian Willow	1	24" Box	Low	Replacement Tree
Podocarpus gracilior	African Fern Pine	7	24" Box	Low	
<b>Shrub</b>					
Buxus 'Green Gem'	Green Gem Boxwood	7	1 Gallon	Medium	
Loropetalum chinense 'Rubrum'	Red Fringe Flower	3	5 Gallon	Medium	
Nandina domestica	Nandina, Heavenly Bamboo	3	5 Gallon	Low	
Pittosporum tenuifolium	Blackstem Pittosporum	8	5 Gallon	Medium	
Pittosporum tenuifolium 'Golf Ball'	Golf Ball Kohuhu	10	1 Gallon	Low	
Salvia 'Waverly'	Waverly Sage	3	5 Gallon	Low	
Salvia greggii	Autumn Sage	5	1 Gallon	Low	
<b>Perennial</b>					
Nepeta x faassenii 'Blue Wonder'	Blue Wonder Catmint	5	1 Gallon	Low	
Zauschneria californica	California Fuchsia	6	1 Gallon	Low	
<b>Grass</b>					
Bouteloua gracilis 'Blonde Ambition'	Blonde Ambition Blue Grama	7	1 Gallon	Low	
<b>Fern</b>					
Woodwardia fimbriata	Giant Chain Fern	5	5 Gallon	Medium	

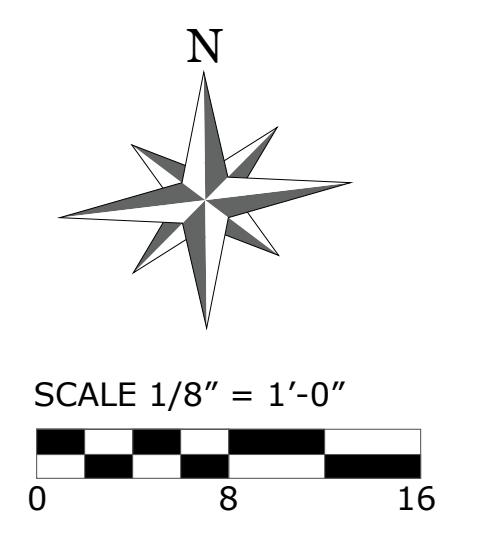


"I agree to comply with the requirements of the water efficient landscape ordinance and submit a complete Landscape Documentation Package"

"I have complied with the criteria of the Water Conservation in Landscaping Ordinance and applied them for the efficient use of water in the Landscape Design Plan."

*Karen Aitken*

**A minimum three (3) inch layer of bark mulch shall be applied on all exposed soil surfaces of planting areas.**



\* NOTES (E) = Existing



Karen Aitken & Associates



REVISIONS	BY



**KAREN AITKEN & ASSOCIATES**  
**LANDSCAPE ARCHITECTS**  
 8262 Rancho Real Gilroy Ca. 95020  
 Calif. Reg. #2239 (408) 842-0245  
 karen@kaa.design

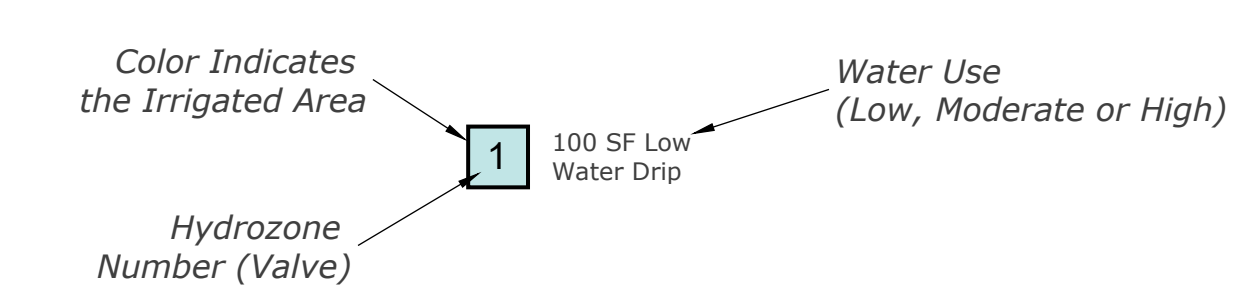
**NEW RESIDENCE**  
 1219 Portland Ave, Los Altos, CA.  
**IRRIGATION PLAN**



DATE 12-21-22  
 SCALE 1/8"=1'-0"  
 DRAWN SL  
 JOB PORTLAND

**L-2**

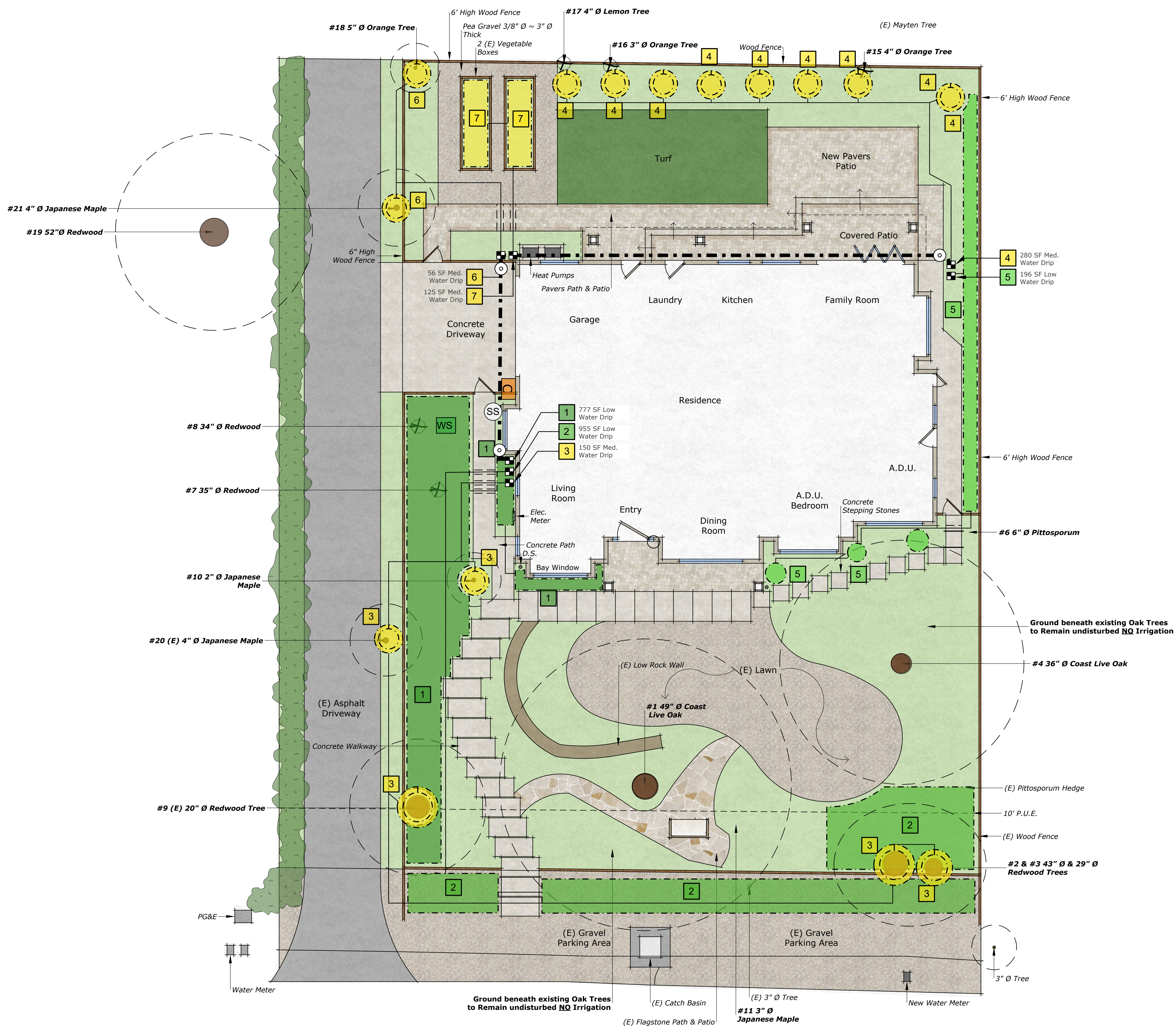
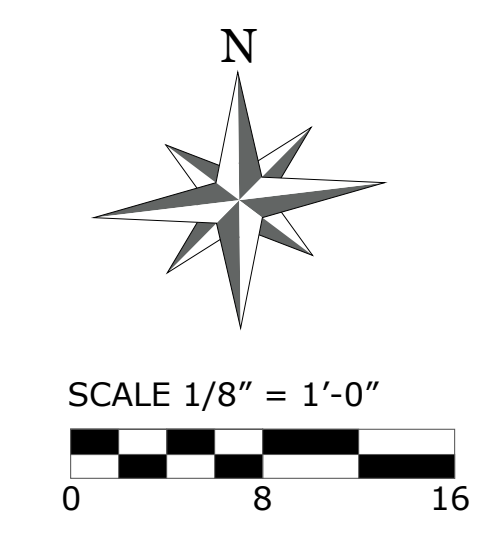
IRRIGATION KEY	
	Irrigation Lateral Line: 1 in. PVC Class 200
	Irrigation Mainline: 2 in. PVC Schedule 40
	Pipe Sleeve: PVC Class 200 Typical pipe sleeve for irrigation pipe. Pipe sleeve size shall allow for irrigation piping and their related couplings to easily slide through sleeving material. Extend sleeves 18 inches beyond edges of paving or construction.
	<b>Hunter ICZ-101-25-LF</b> Drip Control Zone Kit. 1" ICV Globe Valve with 1" HY100 filter system. Pressure Regulation: 25psi. Flow Range: .5-15 GPM. 150 mesh stainless steel screen.
	<b>Hunter Dripline HDL-06-12-CV</b> Hunter Dripline w/ 0.9 GPH emitters every 18 in. Dripline laterals spaced at 18" apart. Install with Hunter PLD barbed or PLD-LOC fittings.
	Tree Ring Irrigation Dripline w/ 0.9 drip emitters placed every 12 in. Inner ring 12" from plant. Outer ring 30" from plant. Place tie down every 4' in loam and 5' in clay.
	<b>Hunter ACC-1200</b> 12 to 42 Station Outdoor Modular Controller. No Module Required. High-End Commercial Use. Metal Cabinet.
	<b>Hunter SOIL-CLIK</b> The Soil-Clík probe uses proven technology to measure moisture within the root zone. When the probe senses that the soil has reached its desired moisture level, it will shut down irrigation, preventing water waste.
	<b>Hunter Solar-Sync</b> Solar, rain freeze sensor with outdoor interface, connects to Hunter PCC, Pro-C, and I-Core Controllers, install as noted. Includes 10 year lithium battery and rubber module cover, and gutter mount bracket. Wired.
	<b>Hunter HFS-150</b> Flow Sensor for use with ACC controller, 1-1/2" Schedule 40 Sensor Body, 24 VAC, 2 amp.



"I have complied with the criteria of the Water Conservation in Landscaping Ordinance and applied them accordingly for the efficient use of water in the Irrigation Design Plan."

*Karen Aitken*

**Refer to L-3 for Water Calculations & Irrigation Details**



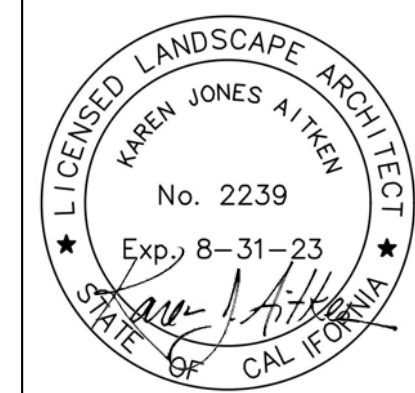
These drawings are instruments of service, issued for a one-time single use by the owner. The entire contents of these drawings is copyright Karen Aitken & Associates. Landscape Architect retains all rights and title. No part may be reproduced in any fashion or medium without the express written approval of the landscape architect. The proper electronic transfer of data shall be the user's responsibility without liability to the landscape architect. Owner shall assume responsibility for compliance with all easements, setback requirements and property lines. Owner shall acquire all necessary permits required to perform work shown on plans. Base information has been provided by the owner. Karen Aitken & Associates assumes no liability for the accuracy of said property line boundaries, fence lines or property corners.

\* NOTES (E) = Existing



**KAREN AITKEN & ASSOCIATES**  
**LANDSCAPE ARCHITECTS**  
 8262 Rancho Real Gentry Ca. 95020  
 Calif. Reg. #2239 (408) 842-0245  
 karen@kaa.design

**NEW RESIDENCE**  
 1219 Portland Ave, Los Altos, CA.  
**IRRIGATION DETAILS**



DATE 12-21-22  
 SCALE 1/8" = 1'-0"  
 DRAWN SL  
 JOB PORTLAND

**MAWA EPPT and ETWU Calculations**

Project Name: New Residence  
 Project Location: 1219 Portland Ave., Los Altos, CA.  
 Total Landscape Area: 2,539.0 sq. ft.  
 Date: 12/12/2022

**MAWA CALCULATION**

MAWA = (Eto)(.62)(.0.55(LA)) + (1-ETAF x SLA)

MAWA = Maximum Applied Water Allowance (gallons per year)  
 Eto = Reference Evapotranspiration (inches per year)  
 .62 = Conversion Factor (to gallons)  
 .0.55 = ET Adjustment Factor (ETAF)  
 LA = Landscape Area including SLA (square feet)  
 .0.45 = Additional Water Allowance for SLA  
 SLA = Special Landscape Area (square feet)

Eto =	43
Conversion	0.62
ETAF	0.55
LA =	2,539
SLA =	0
MAWA =	37,229.4 gallons per year
	4,317.7 cubic feet per year

**MAWA with EPPT**

MAWA = (Eto-Eppta)(.62)(.0.55(LA)) + (1-ETAF x SLA)

Eppta = 25% of Annual Precipitation 16.40

Eto =	43
Eppta =	4.1
ETAF =	0.55
LA =	2,539
SLA =	0
MAWA w/ EPPT =	33,703.7 gallons per year
	4,005.9 cubic feet

**ETWU CALCULATION**

ETWU = (Eto)(.62)(PF)(E)(LA)

ETWU = Estimated Total Water Use Per Year (gallons)  
 Eto = Reference Evapotranspiration  
 PF = Plant Factor from WUCOLS (Region 2, Water Use: H 0.7 - 0.9, M 0.4 - 0.6, L 0.1 - 0.3, VL < 0.1, All Turf 0.8)  
 LA = Landscape Area (High, Medium, and low water use areas) (square feet)  
 .62 = Conversion Factor  
 E = Irrigation Efficiency (rip spray and bubblers .81, sub surface .81, spray sprinklers .75)  
 ET Adjustment Factor (ETAF) .55 for Residential and .45 for Non Residential

Reference Evapotranspiration (Eto)	43	Los Altos, Ca
------------------------------------	----	---------------

**REGULAR LANDSCAPE AREAS**

Hydrozone #/ Plant Description	Irrigation Method	Plant Factor (PF)	Irrigation Efficiency (IE)	ETAF (PF)(IE)	Landscape Area (sq. ft.)	ETAF x Area	ETWU
1) Low Water Use / Shrubs	Drip	0.3	0.81	0.37037037	177.0	287.8	7,572.2
2) Low Water Use / Shrubs	Drip	0.3	0.81	0.37037037	955.0	353.7	9,429.7
3) Med. Water Use / Trees	Drip	0.4	0.81	0.49382716	150.0	74.1	1,974.8
4) Med. Water Use / Trees	Drip	0.4	0.81	0.49382716	230.0	136.3	3,636.3
5) Low Water Use / Shrubs	Drip	0.3	0.81	0.37037037	156.0	72.8	1,935.3
6) Med. Water Use / Trees	Drip	0.4	0.81	0.49382716	56.0	27.7	737.3
7) Med. Water Use / Vesa. Box	Drip	0.4	0.81	0.49382716	125.0	61.7	1,645.7
Totals					2,539.0	1,015.8	27,081.3

**SPECIAL LANDSCAPE AREAS**

Hydrozone #/ Plant Description	Irrigation Method	Plant Factor (PF)	Irrigation Efficiency (IE)	ETAF (PF)(IE)	Landscape Area (sq. ft.)	ETAF x Area	ETWU
				1	0	0	0.0
Totals					0	0	0.0
ETWU TOTAL							27,081.3
MAWA							37,229.4

**ETAF CALCULATIONS**

**Regular Landscape Areas**

Total ETAF x Area	1,015.8
Total Area	2,539.0
Average ETAF	0.40

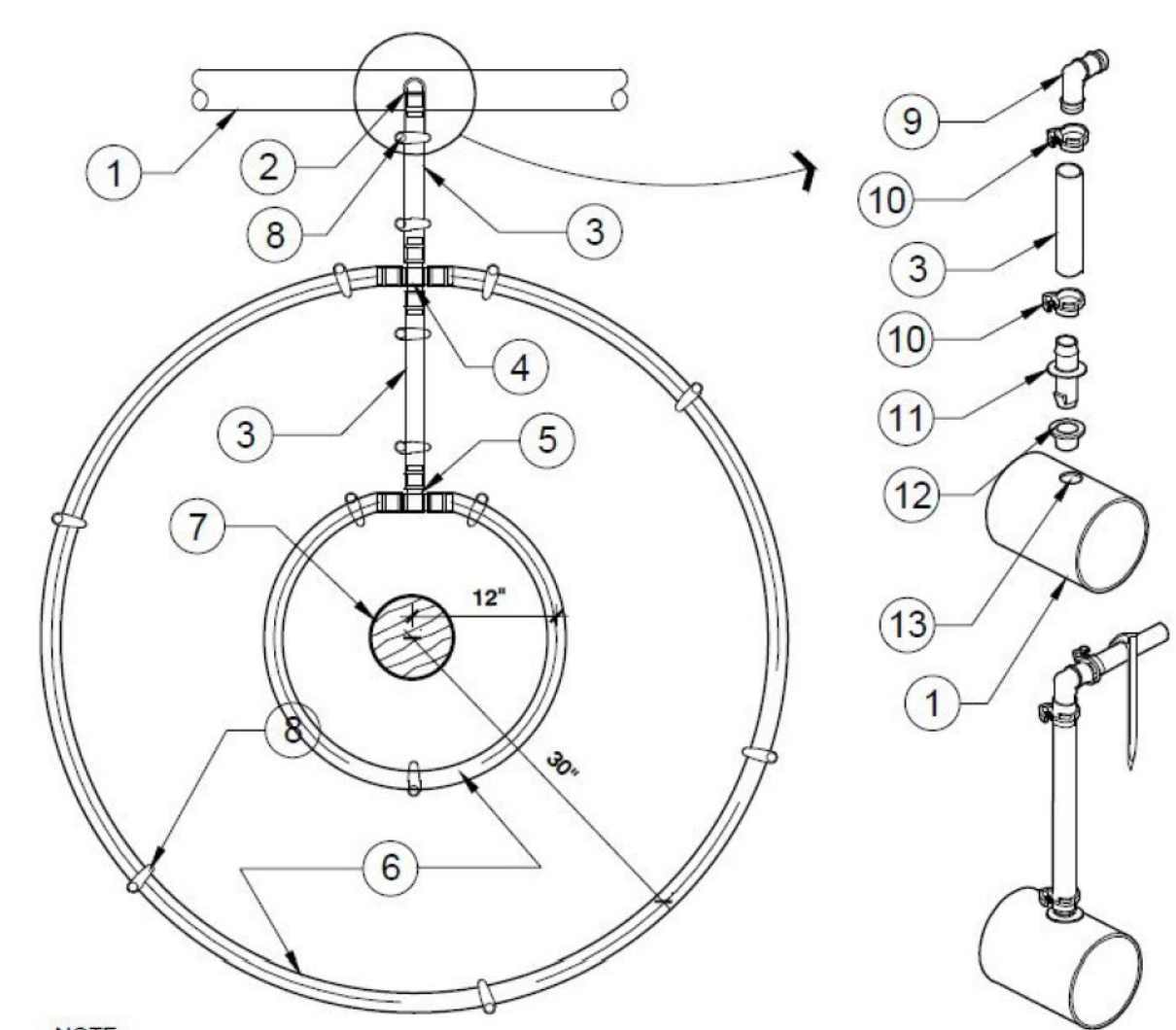
**Special Landscape Areas**

Total ETAF x Area	1,015.8
Total Area	2,539.0
Site-wide ETAF	0.4

Average ETAF for Regular Landscape Areas must be .55 or below for residential areas, and .45 or below for non residential areas.

**IRRIGATION NOTES**

1. THE IRRIGATION SYSTEM IS TO BE INSTALLED IN CONFORMANCE WITH ALL LOCAL CODES.
2. THIS IRRIGATION DESIGN IS DIAGRAMMATIC IN NATURE AND DOES NOT REPRESENT AN EXACT LAYOUT. THE CONTRACTOR SHALL MAKE MINOR ADJUSTMENTS IN HEAD, VALVE, AND PIPING LAYOUT. FOR GRAPHIC CLARITY, PIPING MAY BE SHOWN OUTSIDE OF PLANTING AREAS BUT SHOULD BE INSTALLED IN BEDS WHENEVER POSSIBLE.
3. REMOTE CONTROL VALVES SHALL BE INSTALLED FLUSH WITH FINISH GRADE AND SHOULD BE INSTALLED IN PLANTING AREAS ONLY. USE EXISTING VALVE BOXES WHEN POSSIBLE.
4. WHERE PIPE PASSES UNDER DRIVING SURFACES, AND WALKS PROVIDE PVC SLEEVES AS NOTED ON PLANS. CONTRACTOR TO USE EXISTING SLEEVING WHEN POSSIBLE AND IS TO LOCATE ON SITE.
5. CONTRACTOR TO CONFIRM THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND STRUCTURES PRIOR TO EXCAVATION OF TRENCHES. CONTRACTOR TO REPAIR ANY DAMAGES CAUSED BY, OR DURING THE PERFORMANCE OF HIS WORK AT NO EXTRA COST TO THE OWNER.

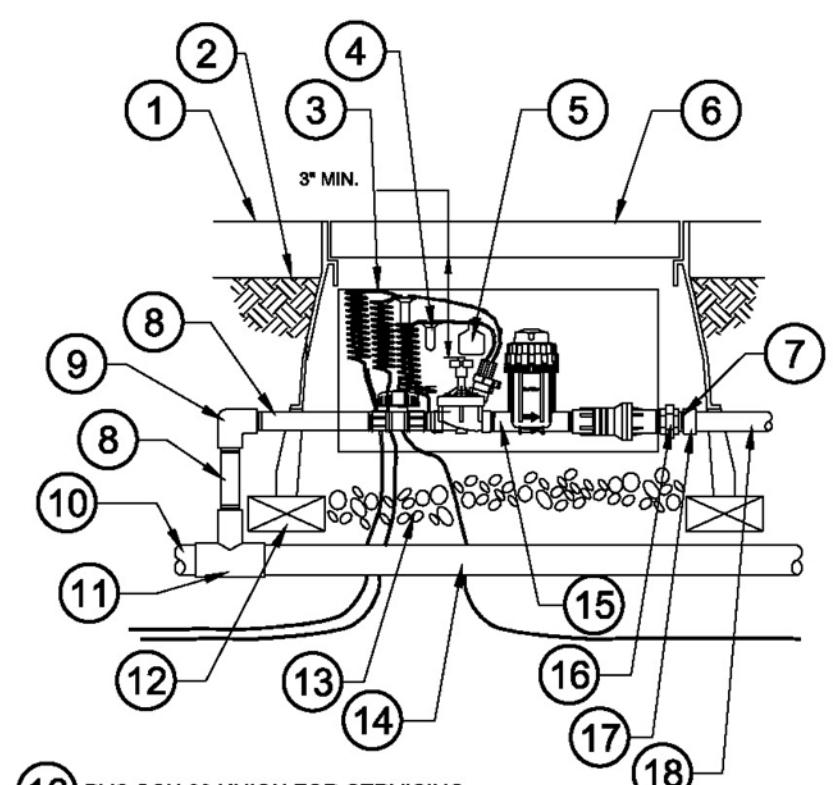


NOTE: PLACE TIE DOWN STAKES EVERY 3 FT. IN SAND, 4 FT. IN LOAM, AND 5 FT. IN CLAY, AS WELL AS AT ALL CHANGE OF DIRECTION SUCH AS AT TEES OR ELLS.  
 DRIPLINE TO LATERAL "XPANDO" ADAPTER CONNECTION DETAIL.

20 GPH DRIPLINE RING-0.9 GPH @ 12" O.C.

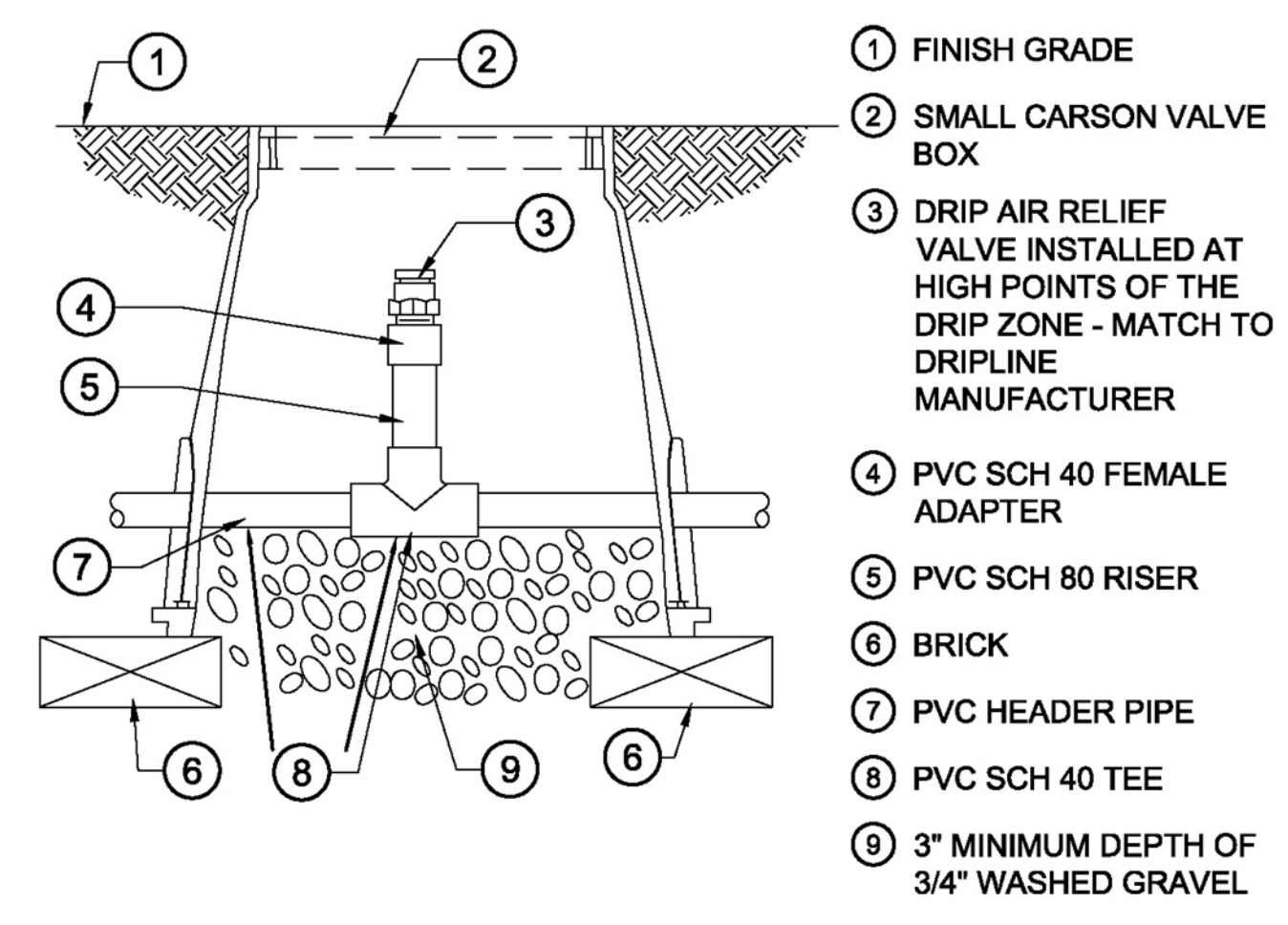
- 1 PVC LATERAL SUPPLY PIPE, SIZE AS PER PLAN WITH MINIMUM SIZE 1 1/2" DIAMETER.
- 2 DRIPLINE CONNECTION TO BELOW GRADE LATERAL PIPE, SEE DRIPLINE TO LATERAL "XPANDO" ADAPTER CONNECTION DETAIL.
- 3 1/2" POLYETHYLENE BLANK TUBING, AS REQUIRED.
- 4 BARB CROSS INSERT FITTING.
- 5 BARB TEE INSERT FITTING.
- 6 AT-GRADE DRIPLINE, INNER RING 12" FROM PLANT, OUTER RING 30" FROM PLANT. DRIPLINE TO BE 0.9GPH EMITTERS AT 12" O.C.
- 7 PLANT TRUNK.
- 8 TYPICAL ANTELCO ASTA TIE-DOWN STAKE, SEE NOTES.
- 9 DRIPLINE BARBED INSERT ELL.
- 10 RATCHET CLAMP AT ALL BARBED CONNECTIONS ANTELCO PART NO. 44345.
- 11 INSERT ADAPTER, ANTELCO "XPANDO" 13MM X 14MM, PART NO. 45595.
- 12 13MM ANTELCO "CAPO": RUBBER GROMMET, NO. 45735.
- 13 DRILL 5/8" HOLE IN PVC LATERAL PIPE WHERE REQUIRED. YOU MUST USE A "FORSTNER" DRILL BIT FOR DRILLING INTO PVC. REMOVE ANY EXCESS BURRS OR ROUGH EDGES.

- 1 TOP OF MULCH
- 2 FINISH GRADE
- 3 30-INCH LINEAR LENGTH OF WIRE, COILED
- 4 WATERPROOF CONNECTION (1 OF 2)
- 5 ID TAG
- 6 JUMBO VALVE BOX WITH COVER (TAN IN COLOR)
- 7 PVC SCH 80 NIPPLE, CLOSE (1 OF 3)
- 8 PVC SCH 80 NIPPLE (LENGTH AS REQUIRED)
- 9 PVC SCH 40 ELL
- 10 PVC SCH 80 NIPPLE (2-INCH LENGTH, HIDDEN) AND PVC SCH 40 ELL
- 11 PVC SCH 40 TEE OR ELL
- 12 BRICK (1 OF 4)
- 13 3-INCH MINIMUM DEPTH OF 3/4-INCH WASHED GRAVEL
- 14 PVC MAINLINE
- 15 DRIP CONTROL ZONE KIT (SEE IRRIGATION SCHEDULE)
- 16 PVC SCH 80 UNION FOR SERVICING ASSEMBLY
- 17 PVC SCH 40 MALE ADAPTER
- 18 PVC LATERAL SUPPLY LINE



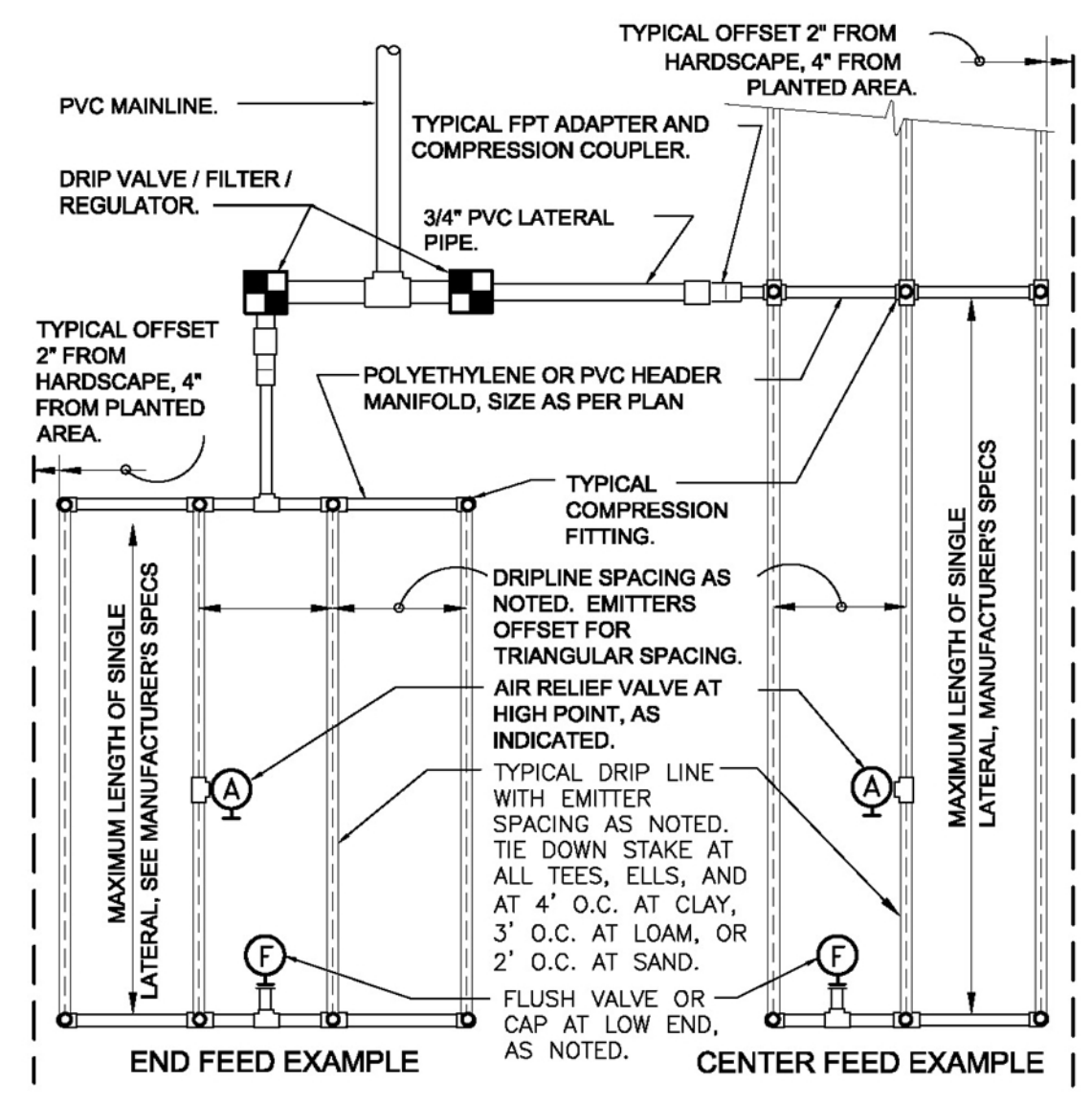
DRIP CONTROL ZONE

NTS 328413.46-11



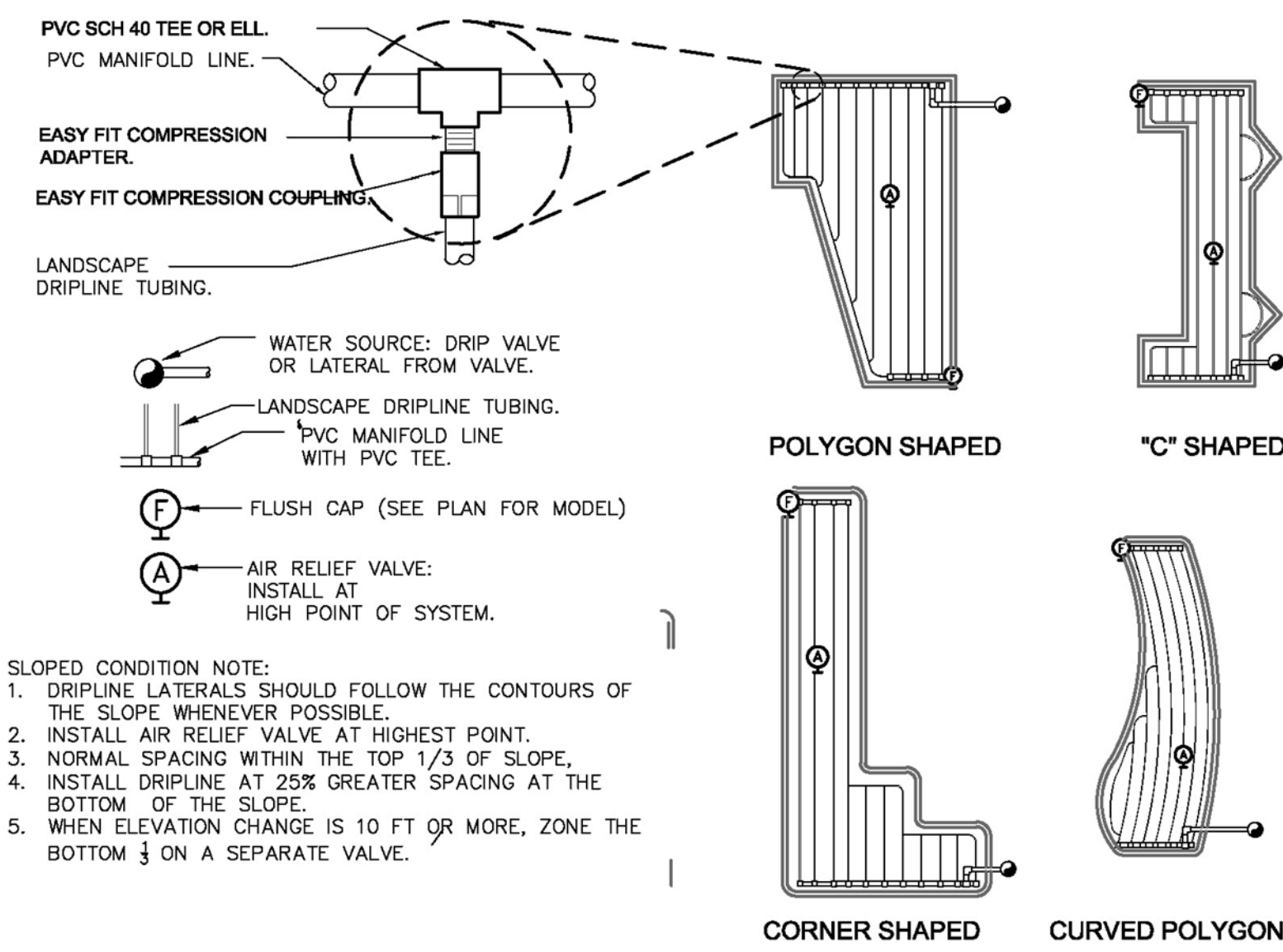
AIR RELIEF VALVE IN PVC HEADER

NTS 328413.53-04



TYPICAL DRIPLINE LAYOUT

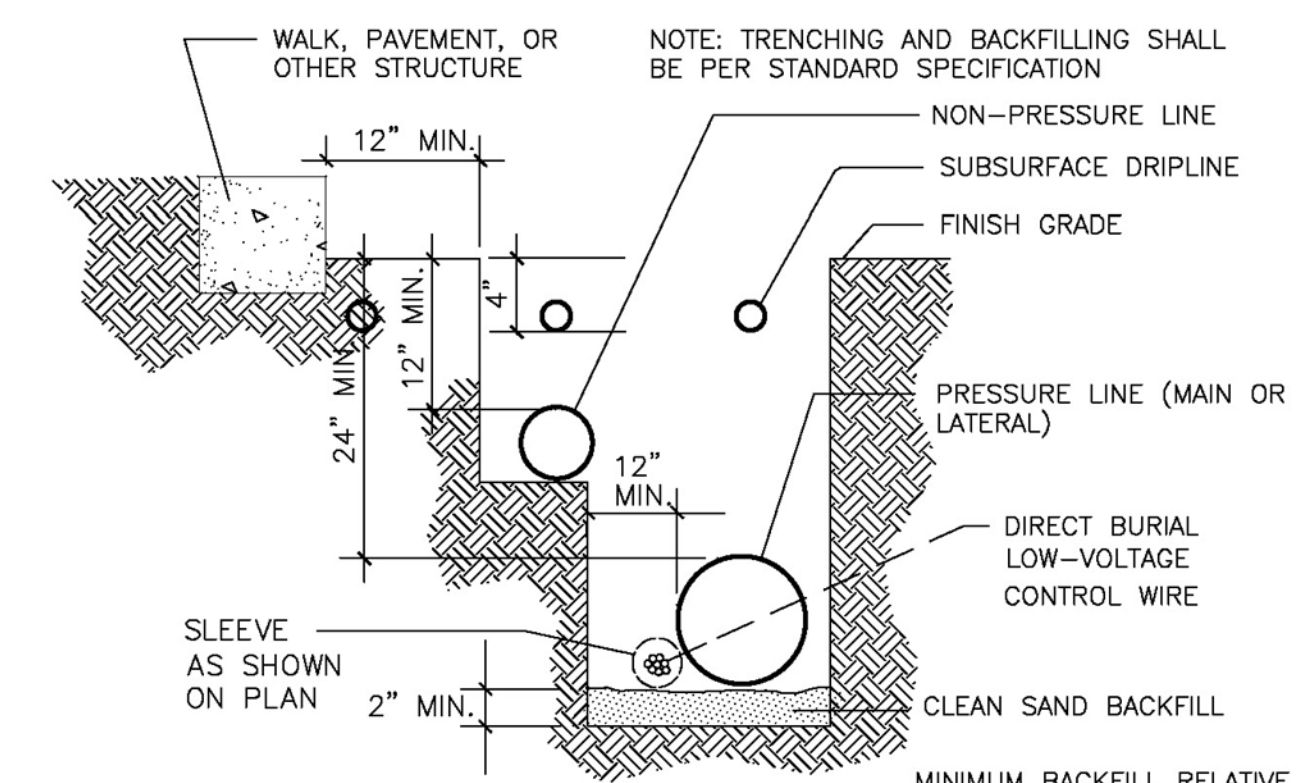
NTS



- SLOPED CONDITION NOTE:
1. DRIPLINE LATERALS SHOULD FOLLOW THE CONTOURS OF THE SLOPE WHENEVER POSSIBLE.
  2. INSTALL AIR RELIEF VALVE AT HIGHEST POINT.
  3. NORMAL SPACING WITHIN THE TOP 1/3 OF SLOPE.
  4. INSTALL DRIPLINE AT 25% GREATER SPACING AT THE BOTTOM OF THE SLOPE.
  5. WHEN ELEVATION CHANGE IS 10 FT OR MORE, ZONE THE BOTTOM 1/3 ON A SEPARATE VALVE.

TYPICAL DRIPLINE LAYOUT

NTS 328413.56-06



**NOTE:**

1. ALL PLASTIC PIPING TO BE SNAKED IN TRENCHES
2. BUNDLE & TAPE WIRING AT 10' INTERVALS
3. TIE A LOOSE 20" LOOP IN WIRING AT CHANGE OF DIRECTION GREATER THAN 30 DEGREES. UNTIE ALL LOOPS AFTER ALL CONNECTIONS HAVE BEEN MADE.
4. INSTALL ALL CONTROL WIRE ON THE UNDERSIDE OF THE MAINLINE PIPE.
5. SEE IRRIGATION SPECIFICATIONS FOR BACKFILL AND COMPACTION REQUIREMENTS.
6. PIPE DEPTH FOR 2, 1/2" AND LARGER SHALL BE 36" MINIMUM.
7. PIPE DEPTH FOR 2" AND SMALLER SHALL BE 24" MINIMUM.
8. PIPE DEPTH FOR NON-PRESSURE LATERAL LINES SHALL BE 12" MINIMUM.
9. PIPE DEPTH FOR ALL LINES UNDER PAVEMENT SHALL BE 36" MINIMUM.

TRENCHING DETAILS

328489.76-07