



3D RENDERING (FACING TWELVE ACRES DR.)



3D RENDERING (FACING LEAF COURT)

**PROPERTY DESCRIPTION**

OWNER FERNANDO & GAYLE MUJICA  
 ADDRESS 632 LEAF COURT  
 LOS ALTOS, CA 94022  
 PARCEL 167-25-031  
 ACREAGE 0.259  
 ZONING R1-10  
 OCCUPANCY R-3/U  
 CONSTR. TYPE V-B  
 PROJECT DESCRIPTION

**CONSULTANT DIRECTORY**

SURVEYOR DODGE ASSOCIATES, SURVEYING  
 20652 CHAPARRA CIRCLE  
 PENN VALLEY, CA 95946  
 (530) 432-5212  
 SOILS GEOFORENSICS INC.  
 303 VINTAGE PARK DRIVE, STE. 220  
 FOSTER CITY, CA 94404  
 (650) 349-3369  
 CIVIL ENGINEER GREEN CIVIL ENGINEERING  
 1905 S. NORFOLK ST., SUITE #350  
 SAN MATEO, CA 94403  
 STRUCTURAL ENGINEER N/A  
 ENERGY CONSULTANT N/A  
 LANDSCAPE ARCHITECT W. JEFFREY HEID, LANDSCAPE ARCHITECT  
 617 ONELDA DRIVE  
 SAN JOSE, CA 95123  
 (408) 691-5207

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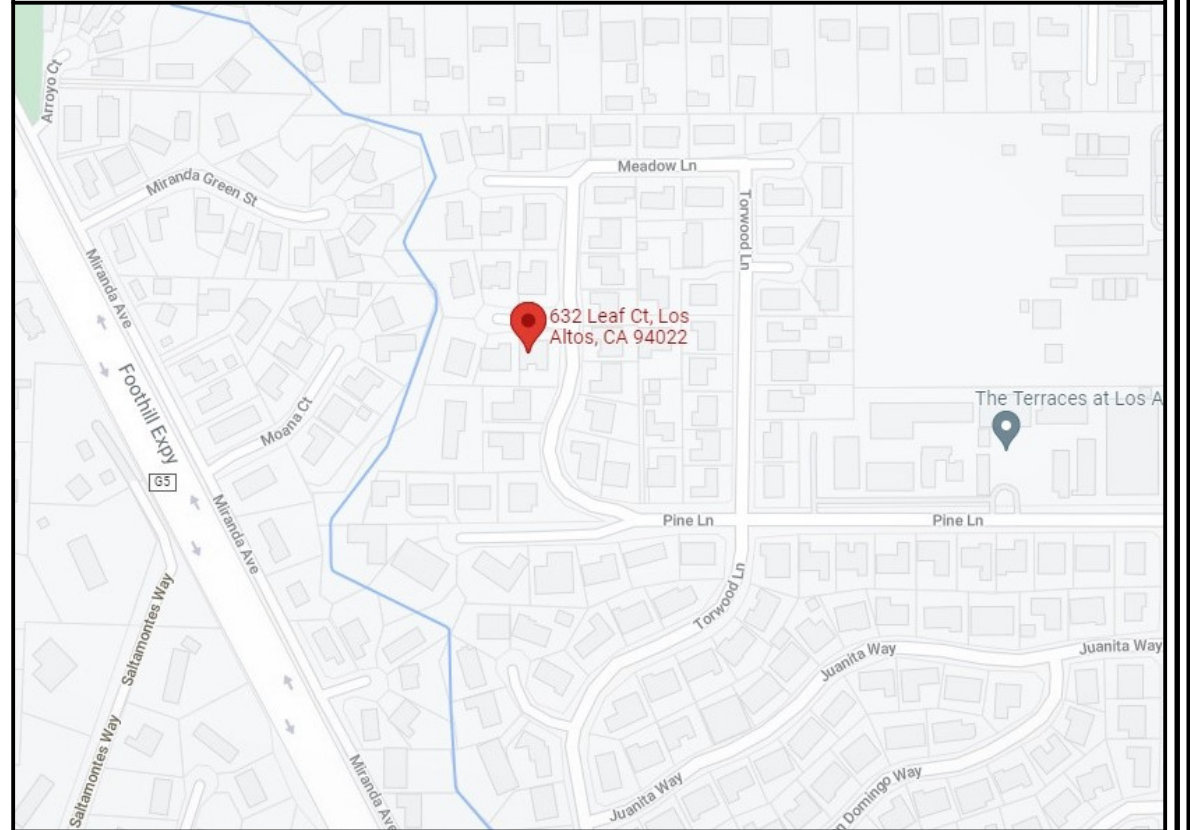
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(MASTER PLANTING PLAN)

**APPLICABLE CODES**

THIS PROJECT SHALL COMPLY (AS REQUIRED) WITH THE:  
 2019 CALIFORNIA BUILDING CODE  
 2019 CALIFORNIA RESIDENTIAL CODE  
 2019 CALIFORNIA MECHANICAL CODE  
 2019 CALIFORNIA ELECTRICAL CODE  
 2019 CALIFORNIA PLUMBING CODE  
 2019 CALIFORNIA FIRE CODE  
 2019 CALIFORNIA ENERGY CODE  
 2019 CALIFORNIA GREEN BUILDING

**VICINITY MAP**



**NOTE**  
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1	1

**CLIENT (JOB No. 22124)**  
 MUJICA RESIDENCE  
 Mailing Address  
 632 LEAF COURT, LOS ALTOS, CA, 94022  
 PHONE No. (214) 726-6789

**JOB SITE ADDRESS**  
 632 LEAF COURT  
 LOS ALTOS, CA 94022

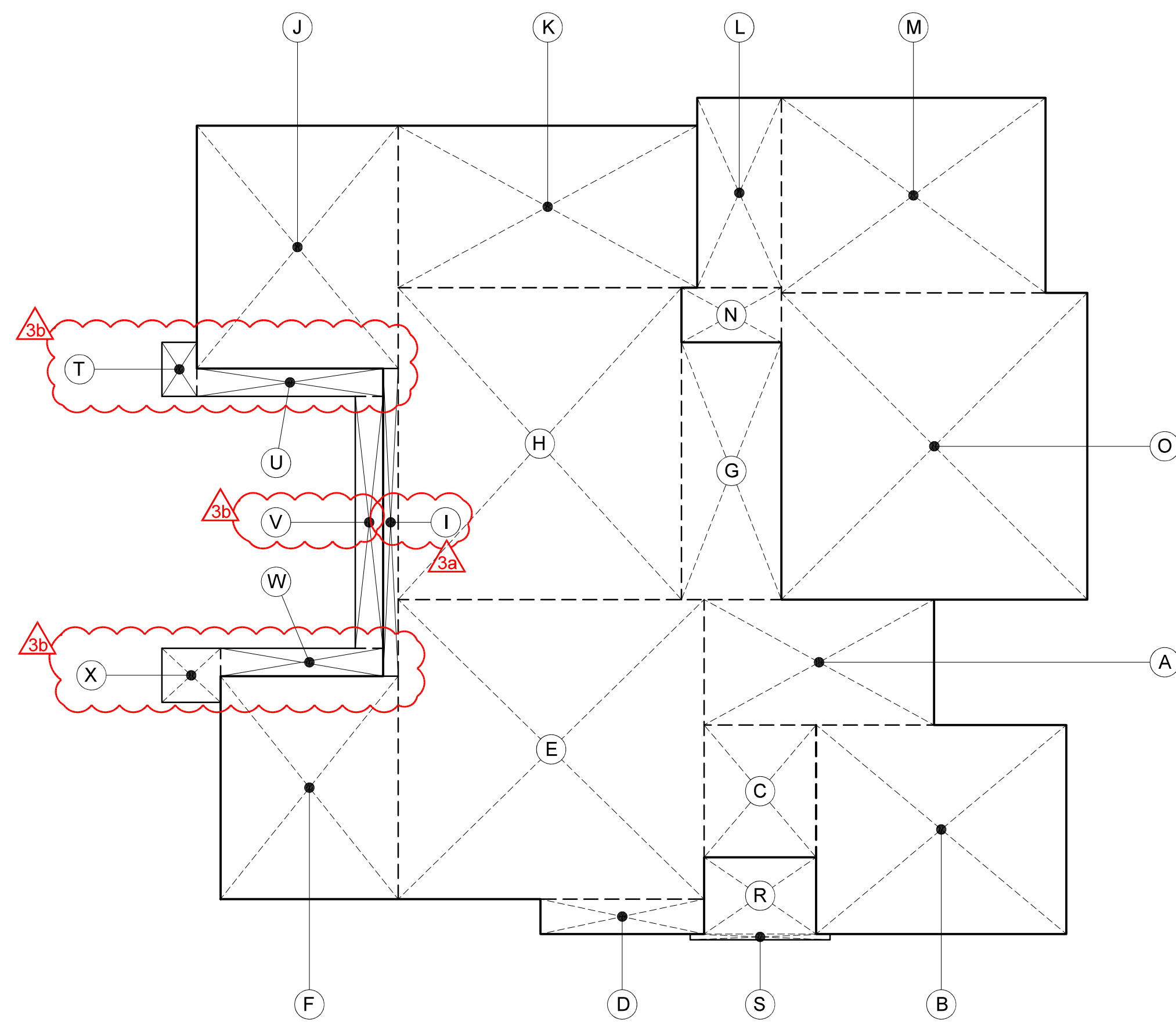
**CHAPMAN DESIGN ASSOCIATES**  
 620 S. EL MONTE AVENUE  
 LOS ALTOS, CA 94022 (650) 941-6890


**SHEET**  
 A0.0

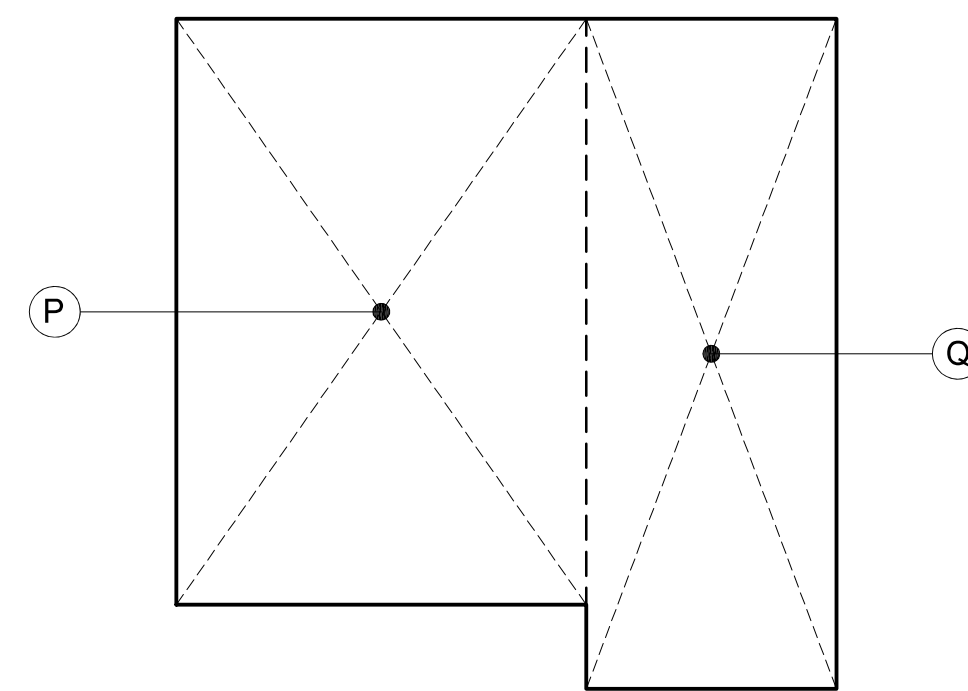




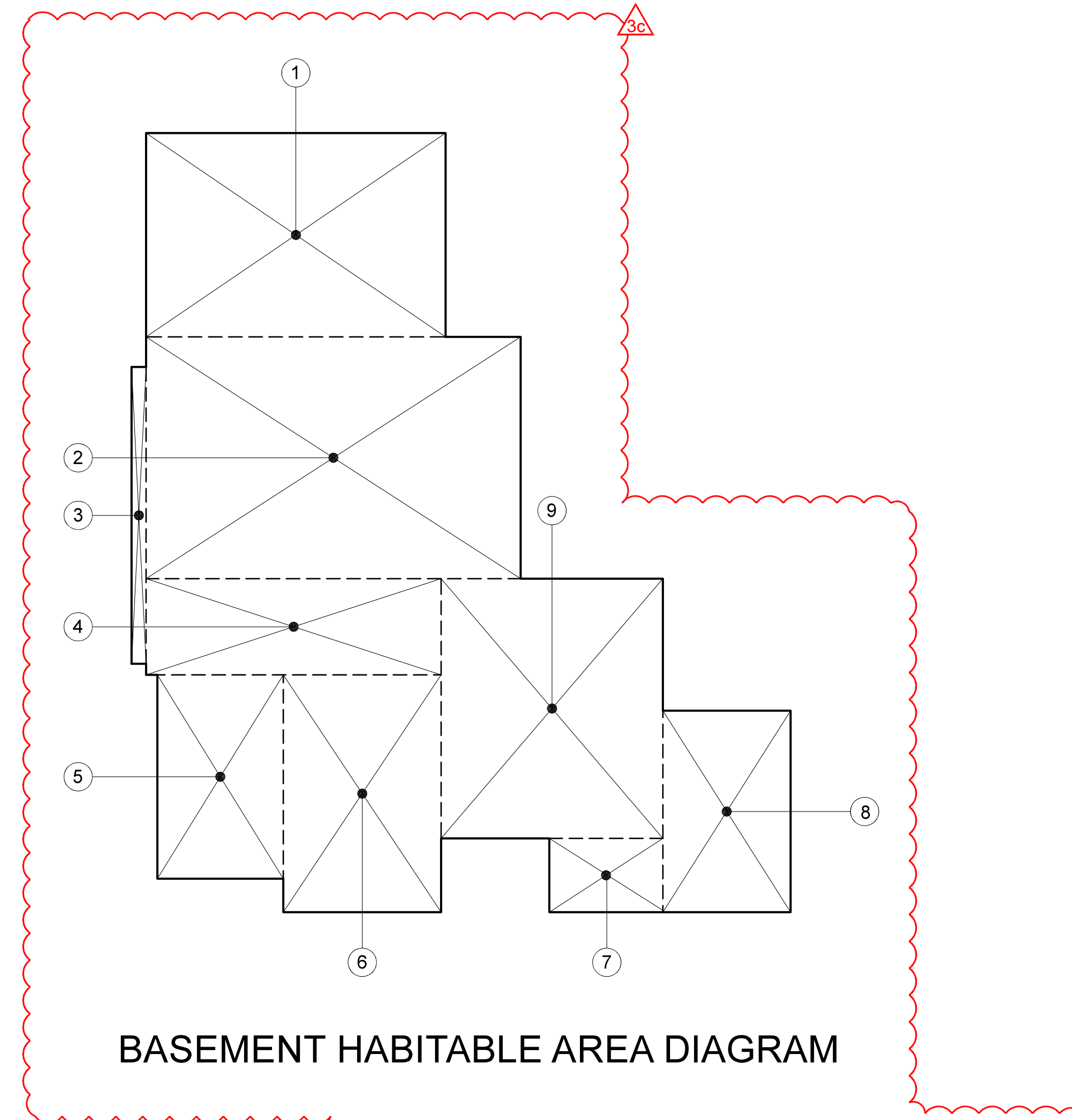




MAIN FLOOR AREA DIAGRAM



UPPER FLOOR AREA DIAGRAM



BASEMENT HABITABLE AREA DIAGRAM

FLOOR AREA CALCULATIONS

PROPOSED MAIN FLOOR

A	9.00' X 16.50'	148.50 S.F.
B	15.00' X 17.96'	269.40 S.F.
C	8.04' X 9.50'	76.38 S.F.
D	2.50' X 11.75'	29.37 S.F.
E	21.50' X 21.96'	472.14 S.F.
F	12.75' X 16.00'	204.00 S.F.
G	7.16' X 18.46'	132.17 S.F.
H	20.33' X 22.375'	454.88 S.F.
I	1.08' X 22.08'	23.84 S.F.
J	14.46' X 17.41'	251.75 S.F.
K	11.62' X 21.46'	249.36 S.F.
		<b>2,311.79 S.F.</b>

GARAGE :

L	6.04' X 13.62'	82.26 S.F.
M	14.00' X 18.96'	265.44 S.F.
N	3.91' X 7.16'	27.99 S.F.
O	22.00' X 21.96'	483.12 S.F.
		<b>858.81 S.F.</b>

FLOOR AREA CALCULATIONS

PROPOSED UPPER FLOOR :

P	17.08' X 24.41'	416.92 S.F.
Q	10.41' X 27.91'	290.54 S.F.
		<b>707.46 S.F.</b>
<b>TOTAL PROPOSED</b>		<b>3,878.06 S.F.</b>

COVERAGE:

R	5.50' X 8.04'	44.22 S.F.
S	0.41' X 10.04'	4.11 S.F.
T	2.50' X 3.87'	9.67 S.F.
U	2.00' X 13.37'	27.74 S.F.
V	2.00' X 18.08'	36.16 S.F.
W	2.00' X 11.66'	23.32 S.F.
X	3.87' X 4.21'	16.29 S.F.
		<b>161.51 S.F.</b>
<b>TOTAL PROPOSED COVERAGE</b>		<b>3,332.11 S.F.</b>

BASEMENT HABITABLE (NOT COUNTED AS F.A.R. OR COVERAGE)

1	15.16' X 22.29'	337.91 S.F.
2	18.00' X 27.875'	501.75 S.F.
3	1.08' X 22.08'	23.84 S.F.
4	7.16' X 21.958'	157.22 S.F.
5	9.375' X 15.16'	142.12 S.F.
6	11.75' X 17.66'	207.50 S.F.
7	5.50' X 8.458'	46.52 S.F.
8	9.50' X 15.00'	142.50 S.F.
9	16.50' X 19.33'	318.94 S.F.
		<b>1,878.30 S.F.</b>

FLOOR DIAGRAM & AREA CALCULATIONS

1/8" = 1'-0"

**NOTE**  
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NO.	DATE	CITY PLAN CHECK COMMENTS

**CLIENT (JOB No. 22124)**  
**MUJICA RESIDENCE**  
MAILING ADDRESS  
632 LEAF COURT, LOS ALTOS, CA, 94022  
PHONE No. (214) 726-6789

**JOB SITE ADDRESS**  
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LOS ALTOS, CA 94022

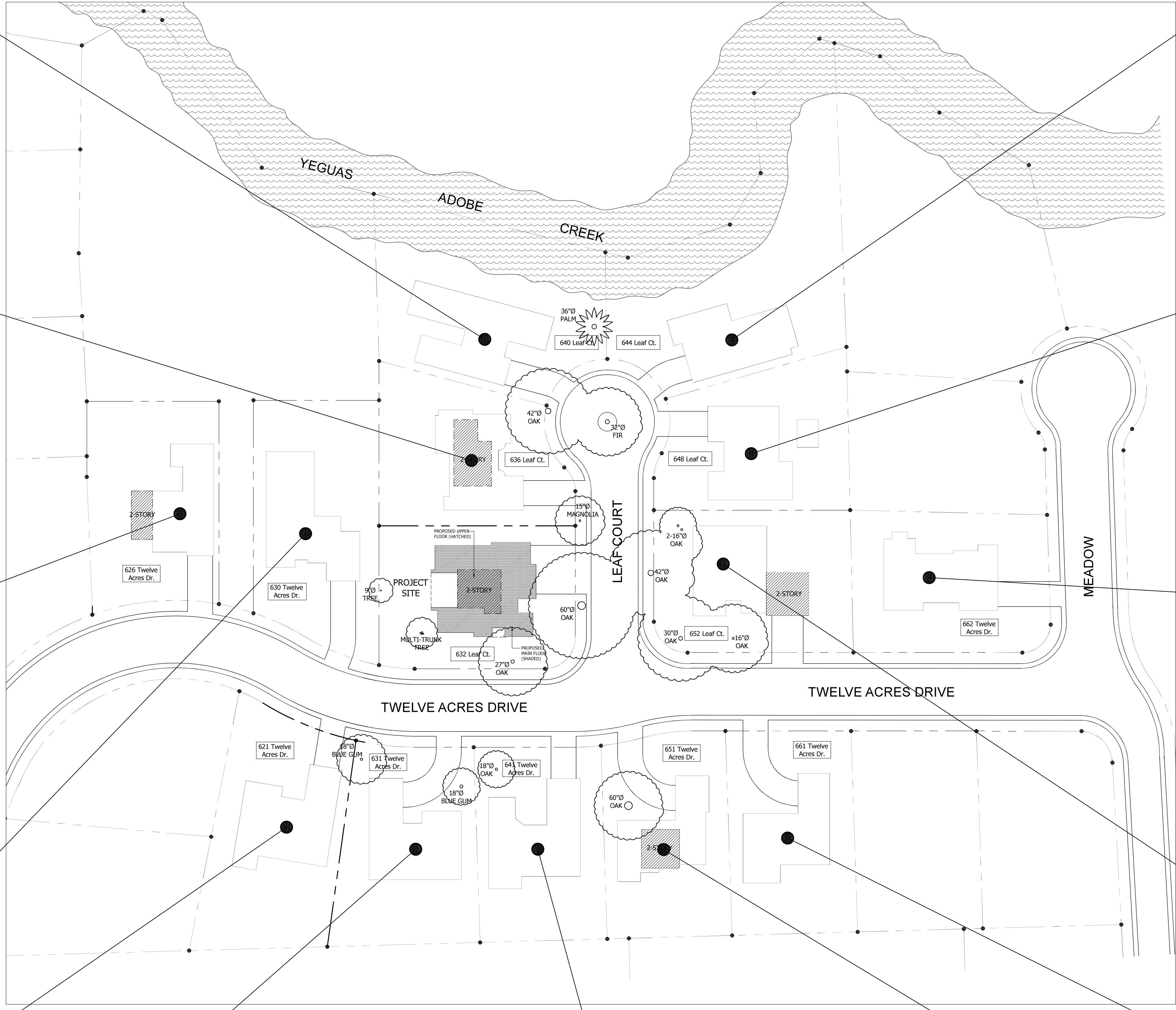
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**SHEET**  
**A1.1**



# NEIGHBORHOOD CONTEXT MAP

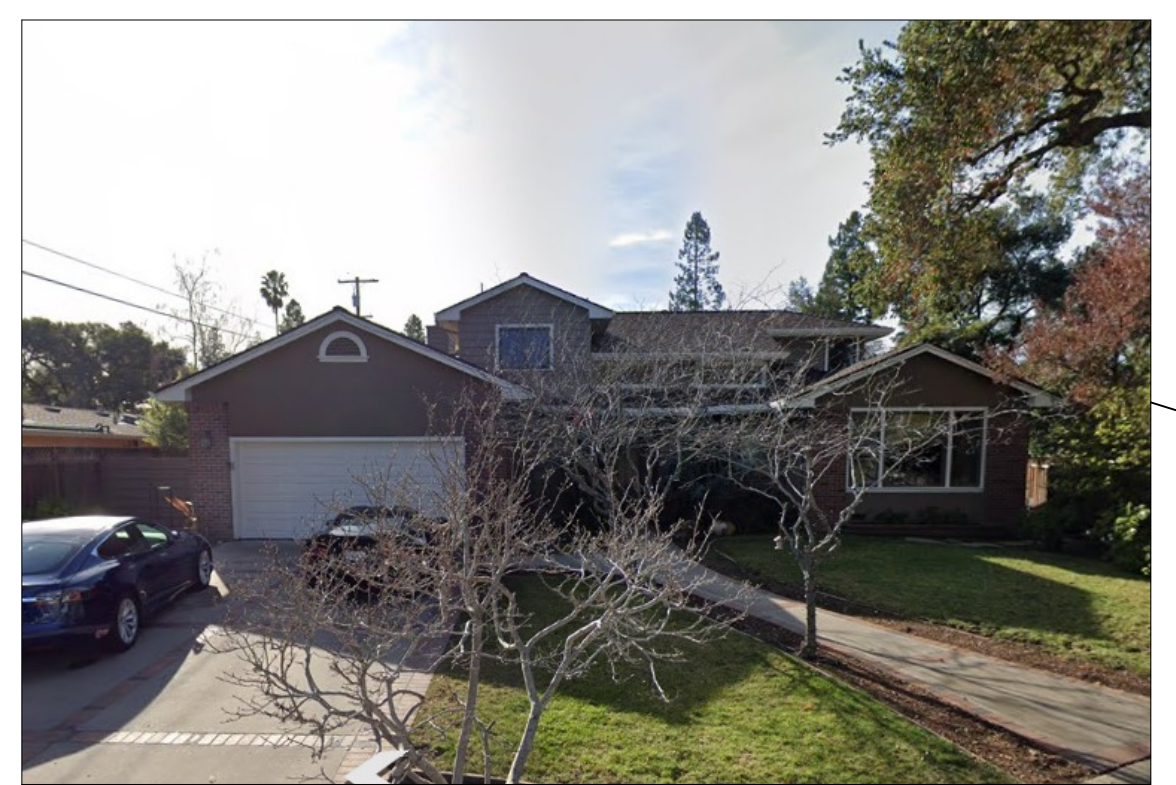
1" = 40'-0"



640 LEAF COURT



644 LEAF COURT



636 LEAF COURT



648 LEAF COURT



626 TWELVE ACRES DRIVE



662 TWELVE ACRES DRIVE



630 TWELVE ACRES DRIVE



652 LEAF COURT



621 TWELVE ACRES DRIVE



631 TWELVE ACRES DRIVE



641 TWELVE ACRES DRIVE



651 TWELVE ACRES DRIVE



661 TWELVE ACRES DRIVE

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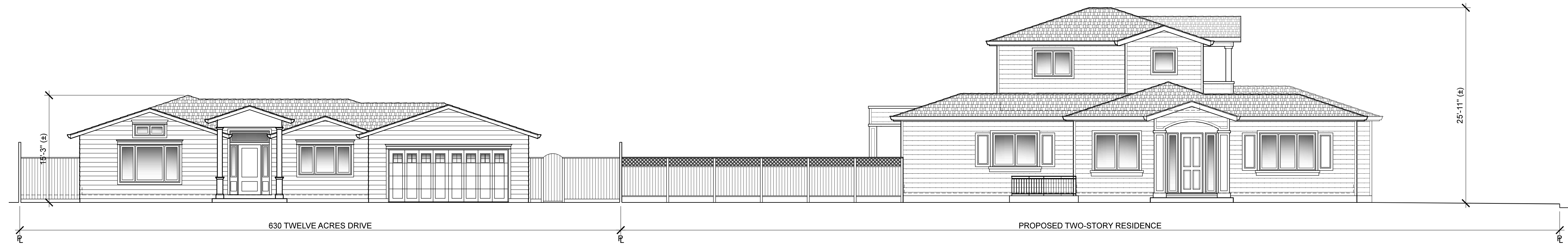

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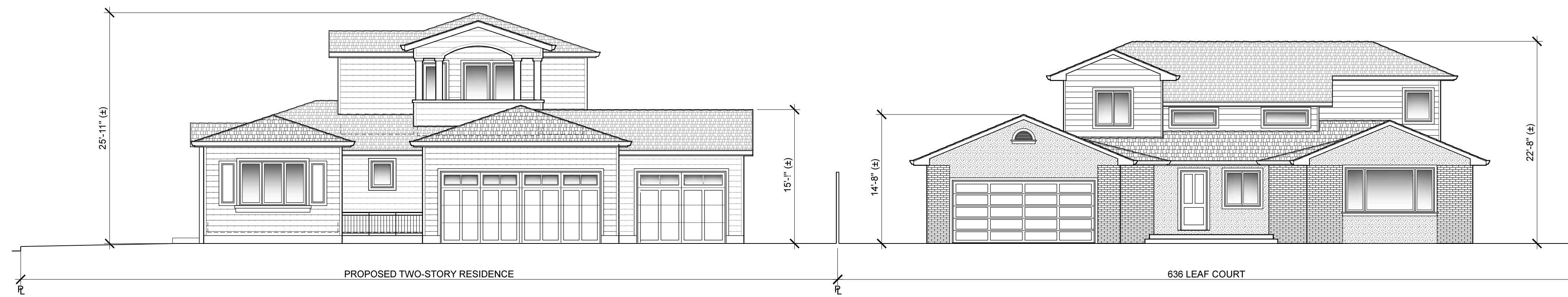
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**SHEET**  
**A1.2**





STREETSCAPE  
(TWELVE ACRES DRIVE)



STREETSCAPE  
(LEAF COURT)

STREETSCAPE

1/8" = 1'-0"

**NOTE**  
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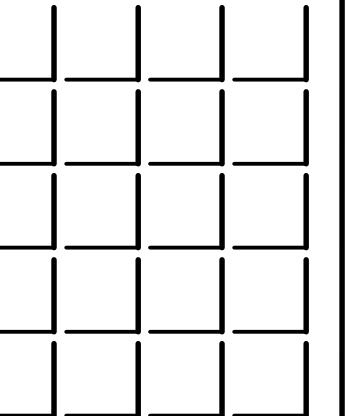
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ASSOCIATES  
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SHEET

A1.3

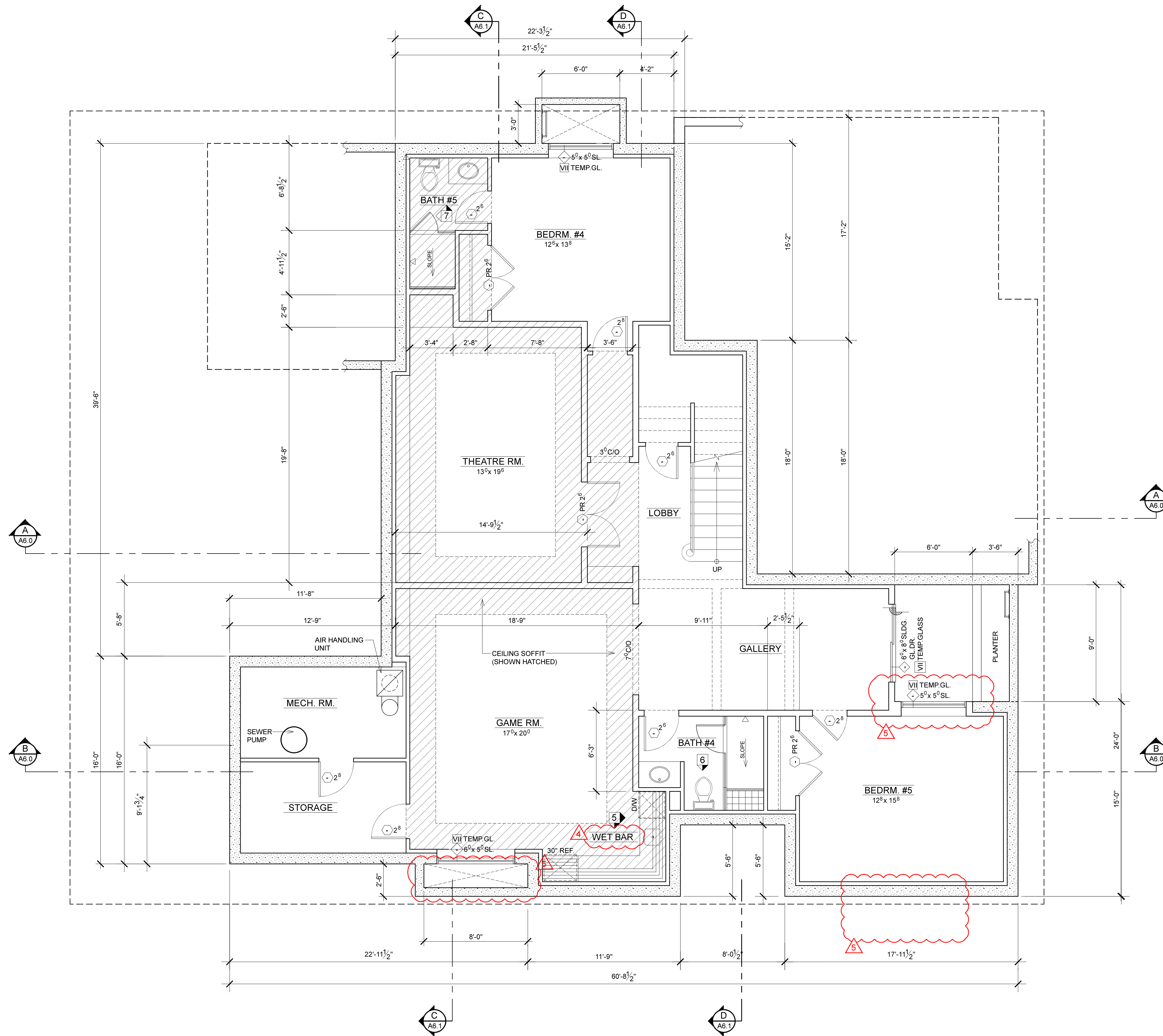
JOB SITE ADDRESS

632 LEAF COURT  
LOS ALTOS, CA 94022









**PROPOSED BASEMENT PLAN**

1/4" = 1'-0"

**GENERAL NOTES**

- I EGRESS** ALL BEDROOMS TO HAVE WINDOWS MEETING EGRESS REQUIREMENTS PER SEC. 310 & 311 CRC 2019
  - MIN. NET CLEAR OPENABLE AREA 5.7 S.F.
  - MIN. NET CLEAR OPENABLE WIDTH = 20"
  - MIN. NET CLEAR OPENABLE HEIGHT = 24"
- II GARAGE COMMON WALL** GARAGE SHALL BE SEPARATED FROM THE DWELLING UNIT AND ITS ATTIC AREA BY MEANS OF MIN. 1/2" GYPSUM BOARD (5/8" MIN. @ ATTIC) APPLIED TO THE GARAGE SIDE PER CRC SEC. R302.588. DOOR OPENINGS BETWEEN A PRIVATE GARAGE AND DWELLING UNIT SHALL BE EQUIPPED WITH EITHER SOLID WOOD DOORS OR SOLID / HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1 1/2" THICK & SHALL BE SELF-CLOSING & SELF-LATCHING
- III STAIRWAYS** DESIGN SHALL CONFORM TO SEC. R311.7 CRC 2019. USABLE SPACE UNDER STAIR TO BE 1 HR. RATED CONSTRUCTION. 6'-8" MIN. HEADROOM CLEARANCE FROM TREAD NOSING TO SOFFIT ABOVE. STYLE & FINISH PER OWNER'S SPECIFICATIONS
  - 36" MINIMUM CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT (PROJECTION OF HANDRAIL INTO STAIRWAY TO BE 4.5" MAXIMUM ON EITHER SIDE)
- IV GUARDRAILS** DESIGN SHALL CONFORM TO SEC. R312.2 CRC 2019. GUARDRAIL IS REQUIRED ON THE OPEN SIDE OF THE STAIR LANDINGS AT 42" HIGH, WITH INTERMEDIATE RAILS AT 34"-38" HIGH
- V STAIR & HANDRAILS** DESIGN SHALL CONFORM TO SEC. R311.7.7 & R311.8.3 CRC 2019. STYLE AND FINISH PER OWNER SPECIFICATIONS
- VI FIREPLACE** DESIGN SHALL CONFORM TO CH. 10 CRC 2019, WITH NON-COMBUSTIBLE FACE & HEARTH. SEE SEC. R1001.9 CRC 2019 FOR FURTHER INFORMATION REGARDING THE HEARTH. SEE INTERIOR ELEVATIONS FOR SPECIFICATIONS
- VII TEMPERED GLASS** PROVIDE TEMPERED SAFETY GLASS AT HAZARDOUS LOCATIONS PER SEC. R308.4 CRC 2019
- VIII FIRE BLOCKS** PROVIDE FIRE BLOCKING IN ALL AREAS AS DESCRIBED, OUTLINED & DEFINED IN SEC. R302.11, R302.8 & R1001.12 CRC 2019
- IX WATER CLOSETS** PROVIDE 24" MIN. CLEARANCE IN FRONT OF WATER CLOSET BOWL AND 30" MIN. CLEAR WIDTH FOR WATER CLOSET SPACE (SEC. 407.6 2019 CPC)
- X SHOWERS** ALL SHOWERS SHALL CONFORM TO SECTION R307 2019 CRC
  - ALL GLASS SHOWER ENCLOSURE TO BE OF TEMPERED GLASS
  - ALL SHOWER DOORS SHALL OPEN SO AS TO MAINTAIN NOT LESS THAN 22 INCHES UNOBSTRUCTED OPENING FOR EGRESS (2019 CPC 408.5)
- XI WATER CONSERVING FIXTURES** ALL (N) PLUMBING FIXTURES (AS OUTLINED IN SEC. 402, 2019 CPC) SHALL CONFORM TO SEC. 402, 2019 CPC
  - WATER CLOSETS TO HAVE A MAXIMUM WATER USE OF 1.28 GPF
  - SHOWERHEADS TO HAVE A MAXIMUM FLOW USE OF 1.8 GPM @ 80 psi
  - BATHROOM FAUCETS TO HAVE A MAXIMUM FLOW USE OF 1.2 GPM @ 80 psi
  - KITCHEN SINK FAUCETS TO HAVE A MAXIMUM FLOW USE OF 1.8 GPM @ 80 psi

**ROOM FINISH SCHEDULE**

SEE ARCHITECTURAL SPECIFICATIONS SHEET FOR ABBREVIATIONS

ROOM NAME	FLOOR	BASEBOARD	WALLS	CEILING	RE-MARKS

**LEGEND**

- WINDOW - SEE "WINDOW SCHEDULE" ON SHEET A - FOR FURTHER SPECIFICATIONS
- DOOR - SEE "DOOR SCHEDULE" ON SHEET A - FOR FURTHER SPECIFICATIONS
- EXISTING WALLS TO REMAIN
- NEW WALLS
- (E) EXISTING
- (N) NEW
- RELOCATED

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NO.	DESCRIPTION	CITY PLAN CHECK	COMMENTS

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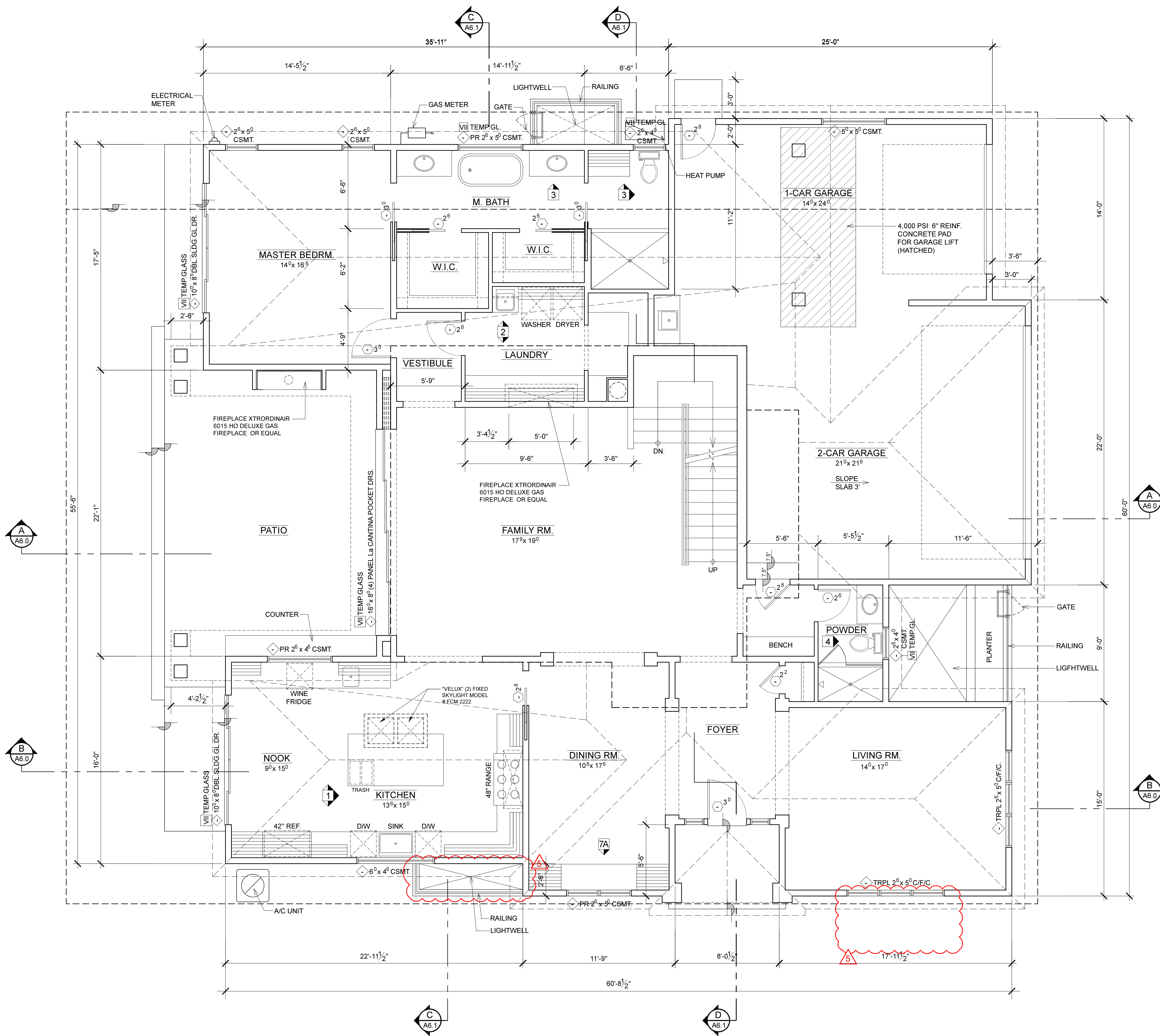
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**CHAPMAN DESIGN ASSOCIATES**  
 620 S. EL MONTE AVENUE  
 LOS ALTOS, CA 94022 (650) 941-8890

**SHEET**

**A3.0**





**PROPOSED MAIN FLOOR PLAN**

1/4" = 1'-0"

**GENERAL NOTES**

- I EGRESS** ALL BEDROOMS TO HAVE WINDOWS MEETING EGRESS REQUIREMENTS PER SEC. 310 & 311 CRC 2019
  - MIN. NET CLEAR OPENABLE AREA = 5.7 S.F.
  - MIN. NET CLEAR OPENABLE WIDTH = 20"
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- III STAIRWAYS** DESIGN SHALL CONFORM TO SEC. R311.7 CRC 2019. USABLE SPACE UNDER STAIR TO BE 1 HR. RATED CONSTRUCTION. 6'-8" MIN. HEADROOM CLEARANCE FROM TREAD NOSING TO SOFFIT ABOVE. STYLE & FINISH PER OWNER'S SPECIFICATIONS.
  - 36" MINIMUM CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT (PROJECTION OF HANDRAIL INTO STAIRWAY TO BE 4.5" MAXIMUM ON EITHER SIDE)
- IV GUARDRAILS** DESIGN SHALL CONFORM TO SEC. R312.2 CRC 2019. GUARDRAIL IS REQUIRED ON THE OPEN SIDE OF THE STAIR LANDINGS AT 42" HIGH, WITH INTERMEDIATE RAILS AT 34"-38" HIGH
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 \* CITY PLAN CHECK

NO.	REVISION	DATE

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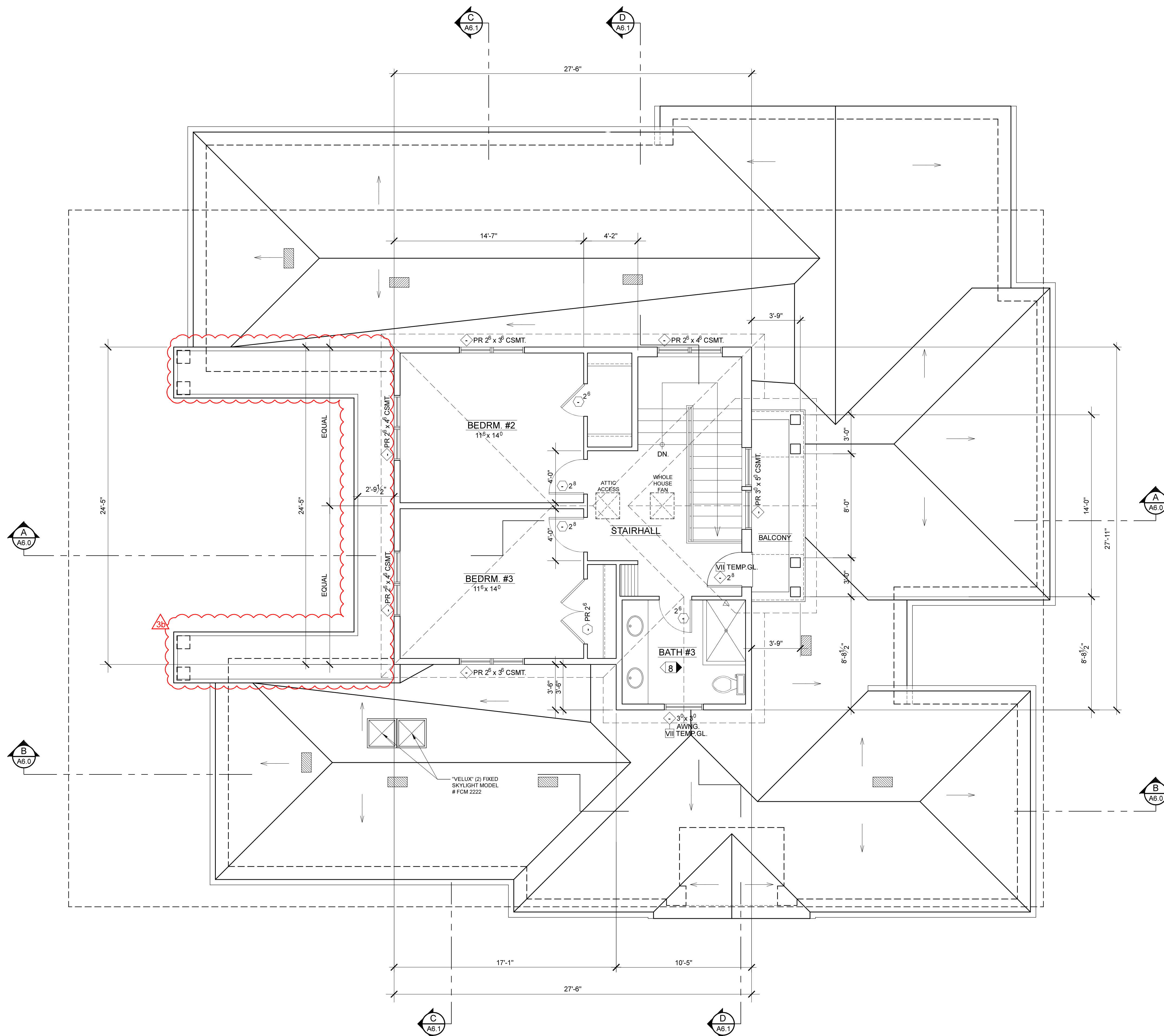
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**SHEET**

**A3.1**





**PROPOSED UPPER FLOOR PLAN**

1/4" = 1'-0"

**GENERAL NOTES**

- I EGRESS** ALL BEDROOMS TO HAVE WINDOWS MEETING EGRESS REQUIREMENTS PER SEC. 310 & 311 CRC 2019
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- XI WATER CONSERVING FIXTURES** ALL (N) PLUMBING FIXTURES (AS OUTLINED IN SEC. 402, 2019 CPC) SHALL CONFORM TO SEC. 402, 2019 CPC
  - WATER CLOSETS TO HAVE A MAXIMUM WATER USE OF 1.28 GPF
  - SHOWERHEADS TO HAVE A MAXIMUM FLOW USE OF 1.8 GPM @ 80 psi
  - BATHROOM FAUCETS TO HAVE A MAXIMUM FLOW USE OF 1.2 GPM @ 80 psi
  - KITCHEN SINK FAUCETS TO HAVE A MAXIMUM FLOW USE OF 1.8 GPM @ 80 psi

**ROOM FINISH SCHEDULE**

SEE ARCHITECTURAL SPECIFICATIONS SHEET FOR ABBREVIATIONS

ROOM NAME	FLOOR	BASEBOARD	WALLS	CEILING	RE-MARKS

**LEGEND**

- WINDOW - SEE "WINDOW SCHEDULE" ON SHEET A - FOR FURTHER SPECIFICATIONS
- DOOR - SEE "DOOR SCHEDULE" ON SHEET A - FOR FURTHER SPECIFICATIONS
- EXISTING WALLS TO REMAIN
- NEW WALLS
- (E) EXISTING
- (N) NEW
- RELOCATED

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 CHAPMAN DESIGN ASSOCIATES, INC.  
 620 S. EL MONTE AVENUE  
 LOS ALTOS, CA 94022 (650) 941-8890

NO.	DESCRIPTION	CITY PLAN CHECK COMMENTS

**CLIENT (JOB No. 22124)**  
**MUJICA RESIDENCE**  
 MAILING ADDRESS  
 632 LEAF COURT, LOS ALTOS, CA, 94022  
 PHONE No. (214) 726-6789

**JOB SITE ADDRESS**  
 632 LEAF COURT  
 LOS ALTOS, CA 94022

**CHAPMAN DESIGN ASSOCIATES**  
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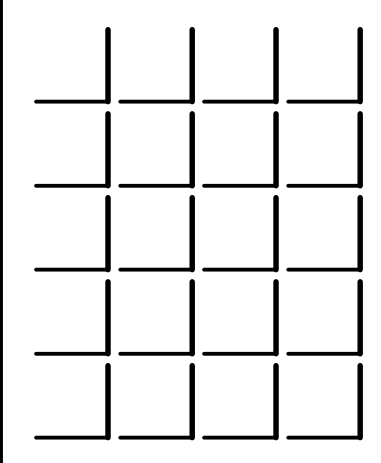
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NO.	DESCRIPTION	DATE
1	CITY PLAN CHECK	

**JOB SITE ADDRESS**  
 632 LEAF COURT  
 LOS ALTOS, CA 94022

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**SHEET**

**A3.3**

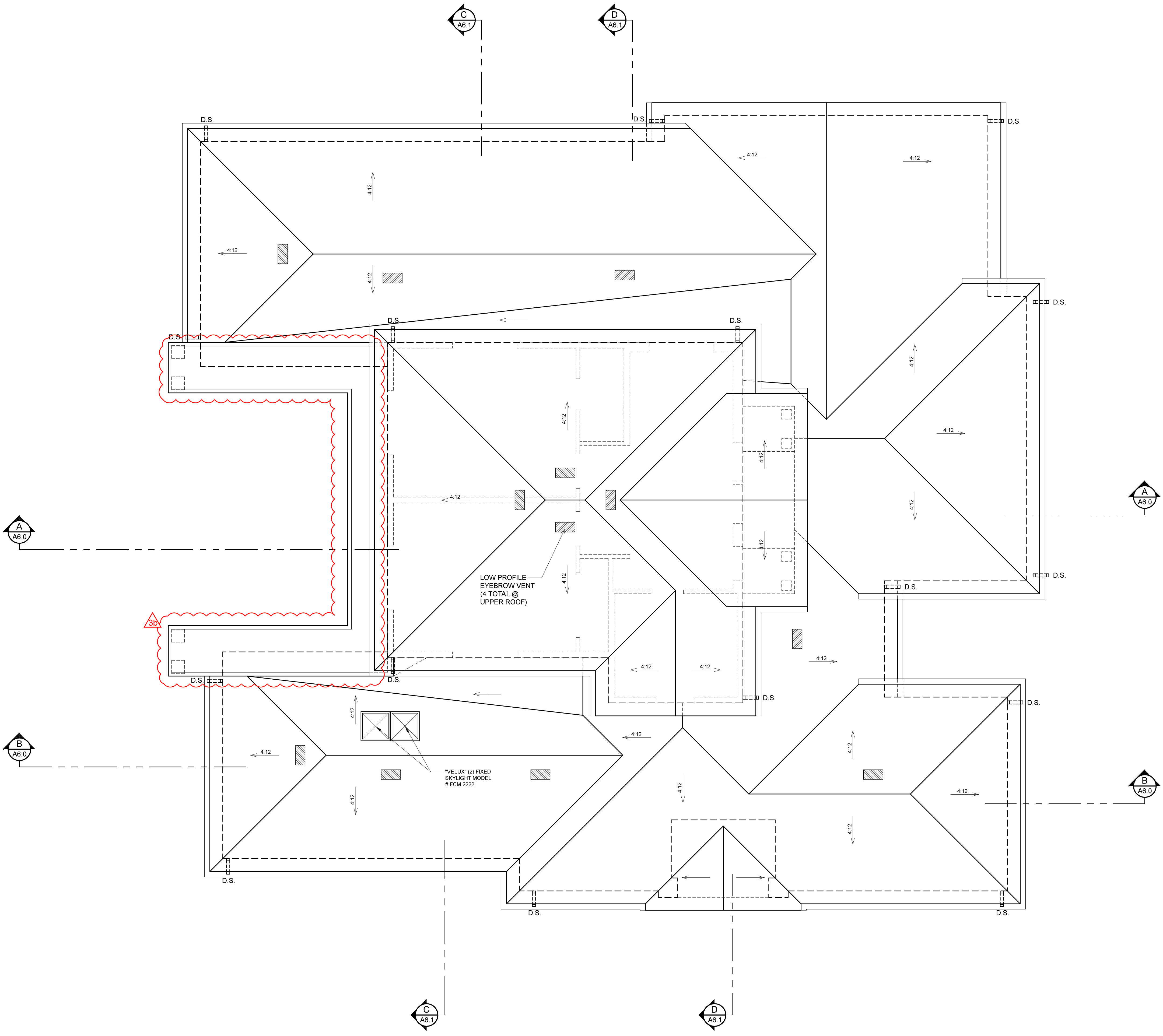
**GENERAL NOTES**

- I** ROOF JACKS WHENEVER POSSIBLE, LOCATE ROOF JACKS WHERE THEY ARE NOT VISIBLE
- II** VALLEY FLASHING 24 GA. G.I. "L" FLASHING @ ALL VALLEYS
- III** CRICKET FLASHING 24 GA. G.I. OVER 1/2" D.F. CDX PLYWOOD (OR BETTER) - 3/4" MIN. SLOPE
- IV** ATTIC VENTILATION PROVIDE ATTIC VENTILATION AS OUTLINED IN SEC. R806.2, 2019 CRC
- V** FIREPLACE & CHIMNEY DESIGN AND CONSTRUCTION TO FOLLOW PARAMETERS AS OUTLINED IN CHAPTER 10 OF THE 2019 CRC

**ROOF PLAN NOTES**

- 1** ROOFING COMPOSITION SHINGLE
- 2** GUTTERS OGEE GUTTER
- 3** DOWN SPOUTS ROUND DOWNSPOUTS
- 4** SKYLIGHTS "VELUX", WDMA HALLMARK CERTIFICATION 426 (IAMPO UES 0199) OR EQUIVALENT

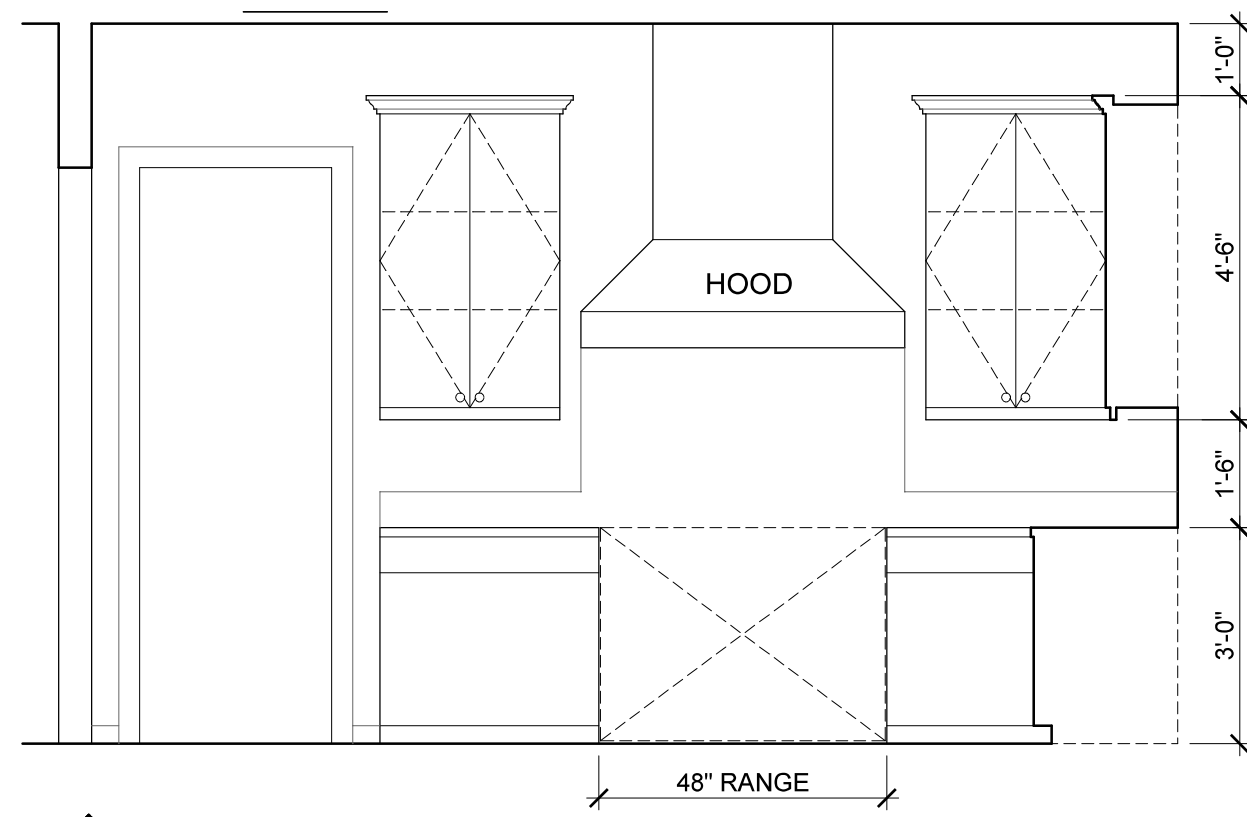
ATTIC VENT CALCULATIONS	
AREA = 707.46 SQ. FT.	(UPPER ROOF ATTIC SPACE)
= 150	
= 4.71 SQ. FT.	(REQ'D. VENTING AREA)
PROPOSED VENTING	
= 0.73 SQ. FT.	(LOW PROFILE RECT. EYEBROW VENT)
X 4	(NFVA = 0.73 S.F./VENT)
= 2.92 SQ. FT.	
= .493 SQ. FT.	(22.25" X 5.5" RECT. EAVE VENT)
X 6	(NFVA = 0.493 S.F./VENT)
= 2.96 SQ. FT.	
= 5.88 SQ. FT.	(TOTAL PROPOSED VENTING AREA)
AREA = 558.20 SQ. FT.	(LOWER ROOF ATTIC SPACE OVER MASTER BEDRM & BATH)
= 150	
= 3.72 SQ. FT.	(REQ'D. VENTING AREA)
PROPOSED VENTING	
= 0.73 SQ. FT.	(LOW PROFILE RECT. EYEBROW VENT)
X 2	(NFVA = 0.73 S.F./VENT)
= 1.46 SQ. FT.	
= .493 SQ. FT.	(22.25" X 5.5" RECT. EAVE VENT)
X 5	(NFVA = 0.493 S.F./VENT)
= 2.46 SQ. FT.	
= 3.92 SQ. FT.	(PROPOSED VENTING AREA)
AREA = 1,000.11 SQ. FT.	(LOWER ROOF ATTIC SPACE OVER LIVING, DINING, KITCHEN & POWDER)
= 150	
= 6.67 SQ. FT.	(REQ'D. VENTING AREA)
PROPOSED VENTING	
= 0.73 SQ. FT.	(LOW PROFILE RECT. EYEBROW VENT)
X 4	(NFVA = 0.73 S.F./VENT)
= 2.92 SQ. FT.	
= .493 SQ. FT.	(22.25" X 5.5" RECT. EAVE VENT)
X 8	(NFVA = 0.493 S.F./VENT)
= 3.94 SQ. FT.	
= 6.86 SQ. FT.	(PROPOSED VENTING AREA)



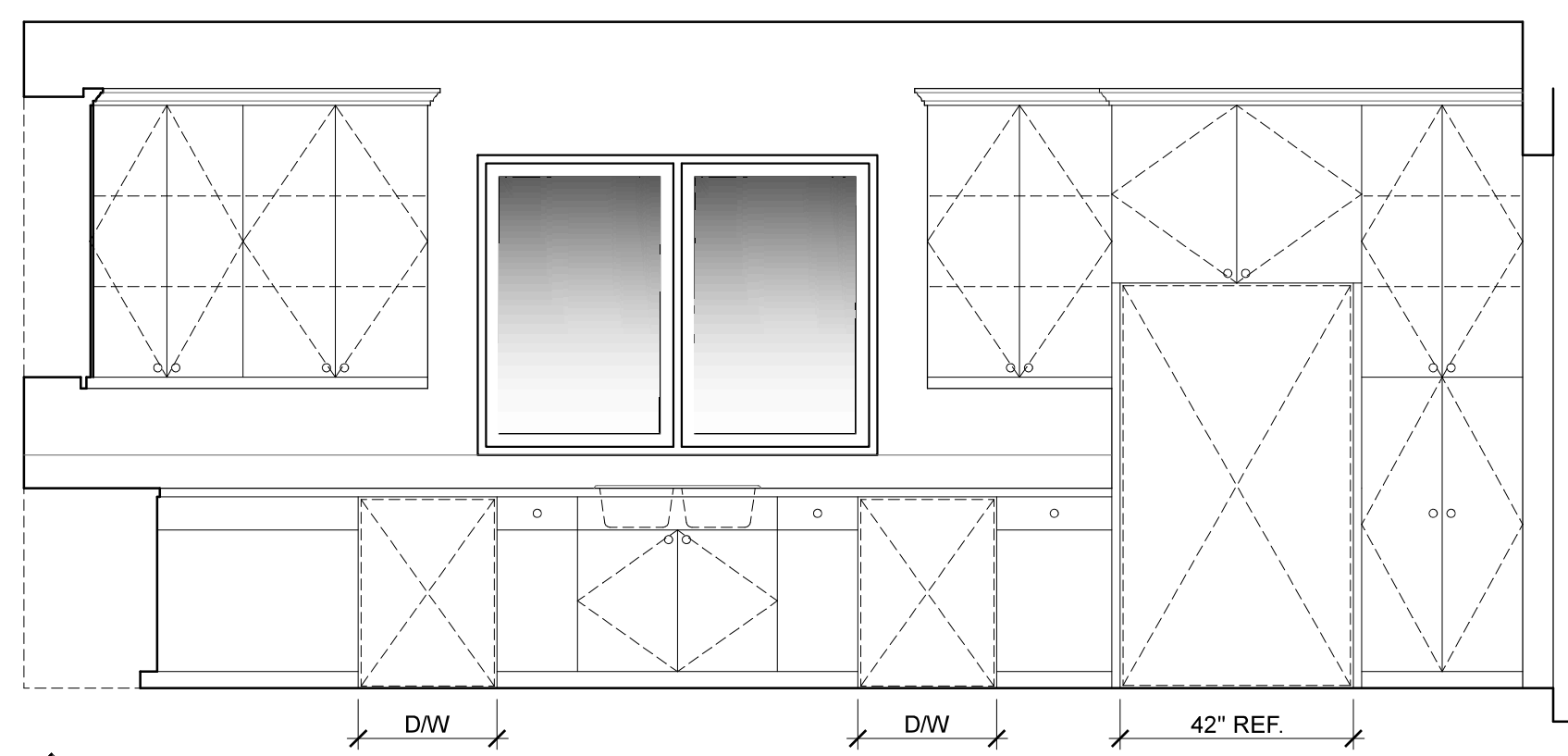
**PROPOSED ROOF PLAN**

1/4" = 1'-0"



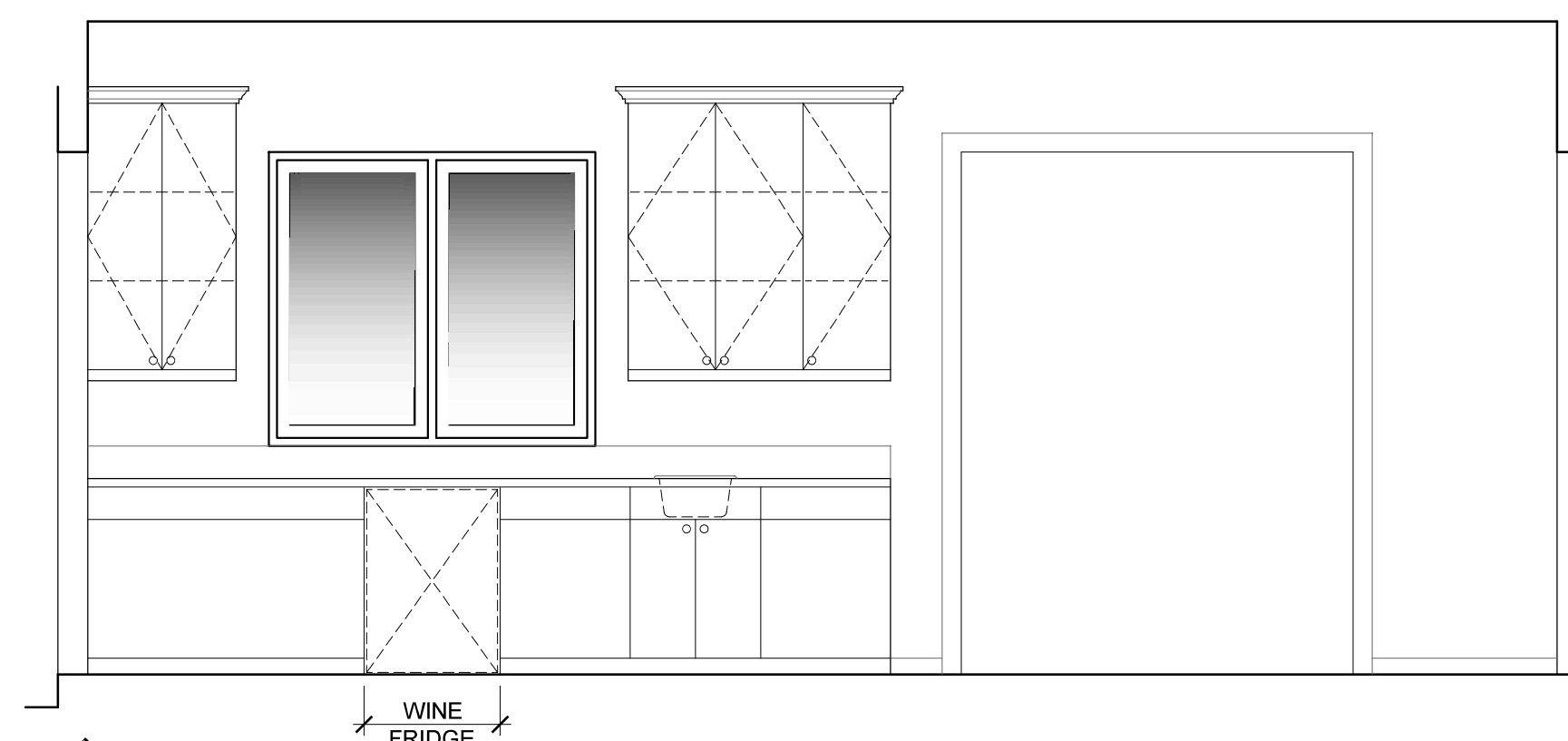


1 KITCHEN

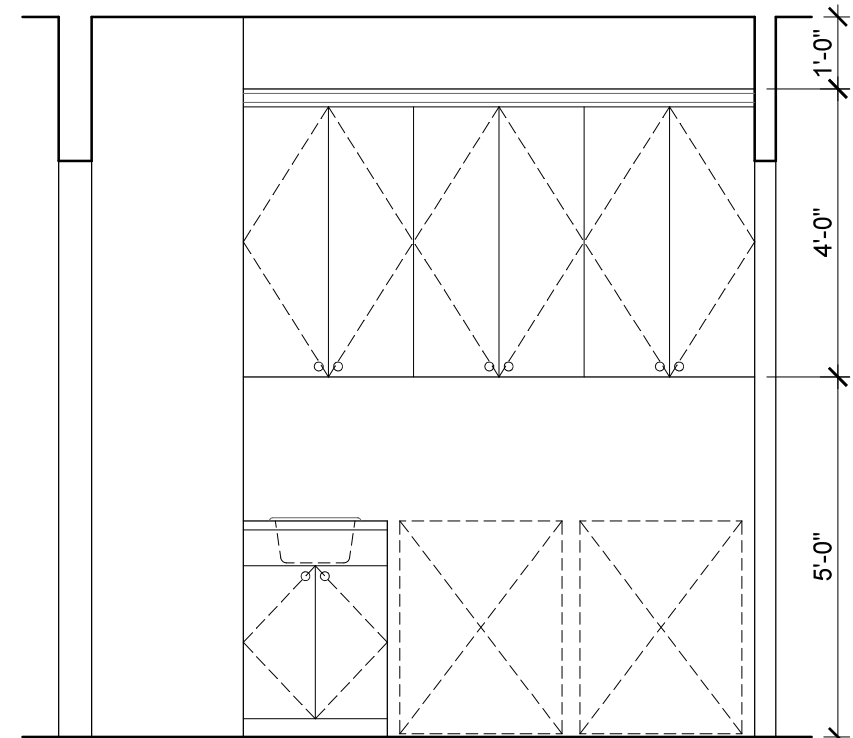


1 KITCHEN

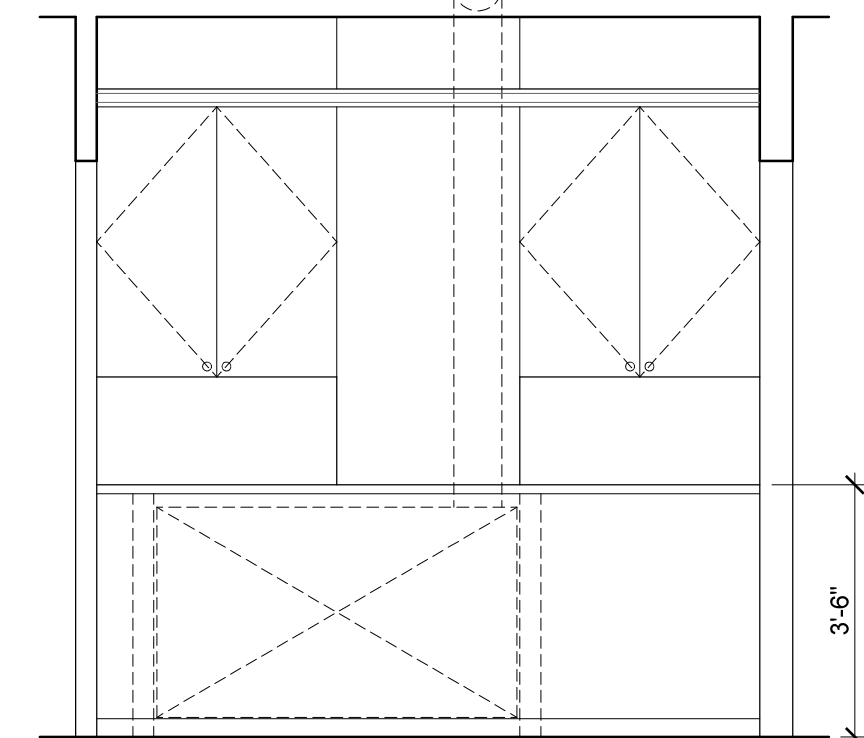
NOOK



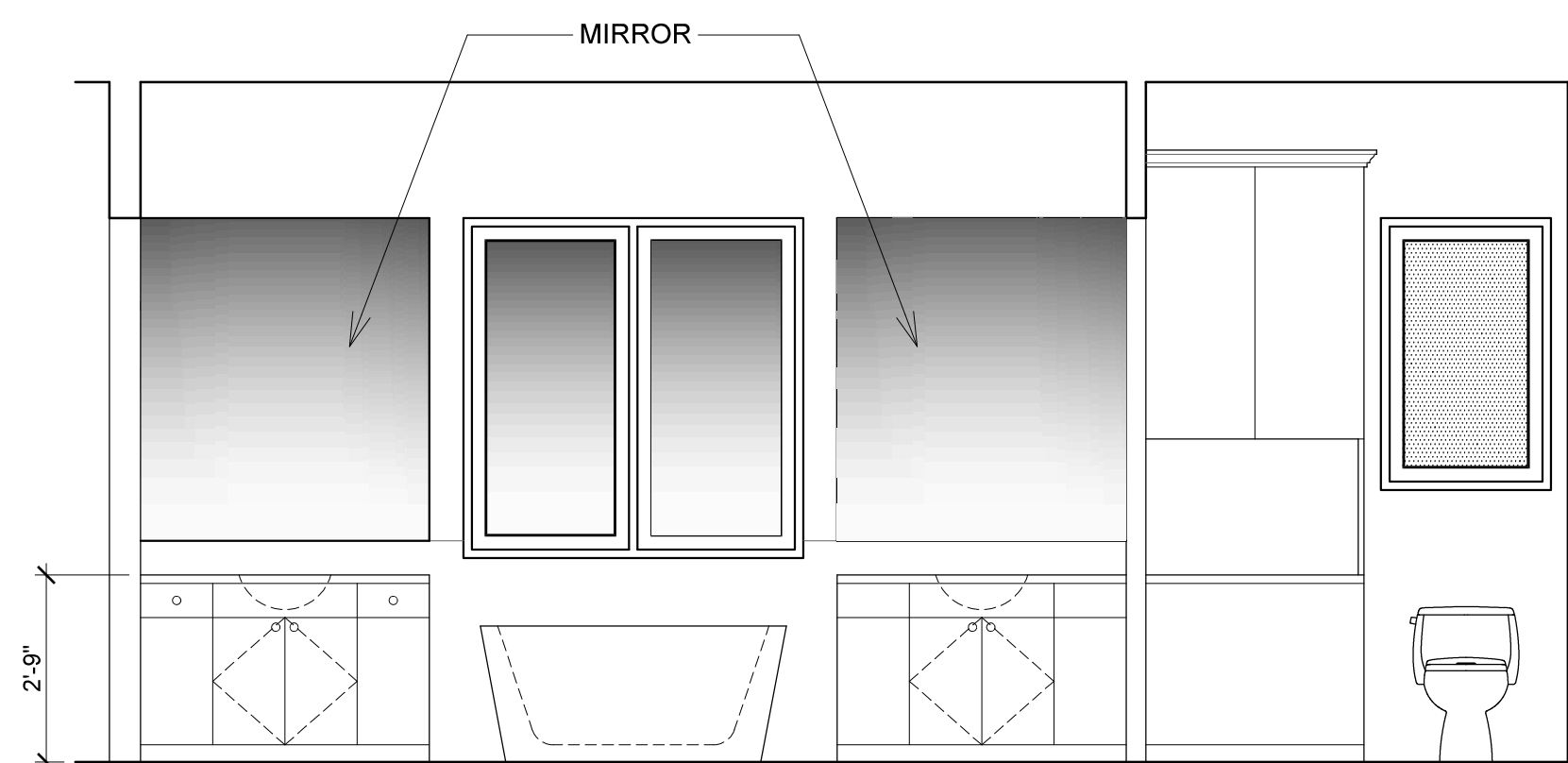
1 NOOK



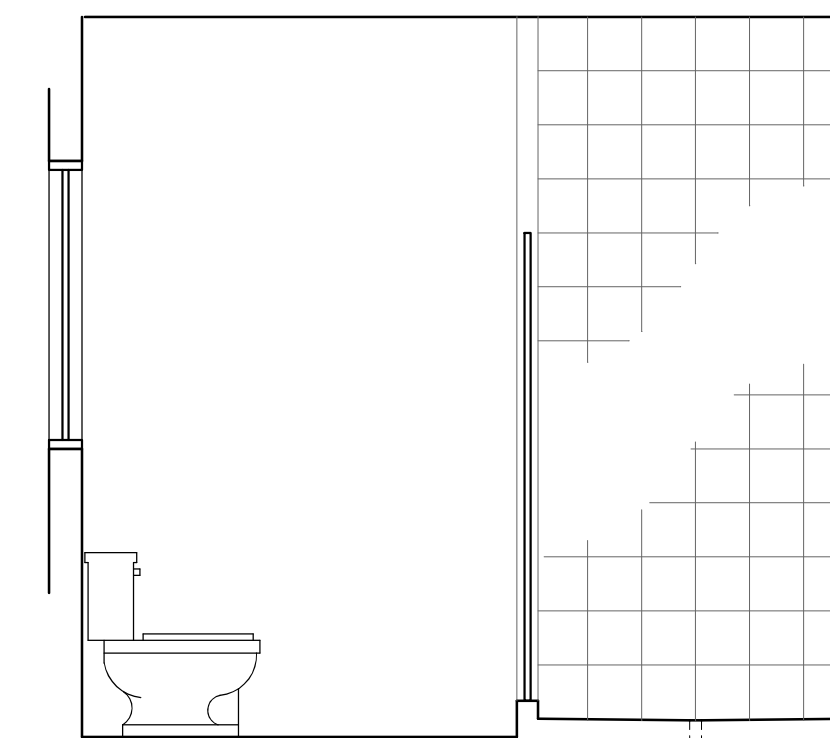
2 LAUNDRY



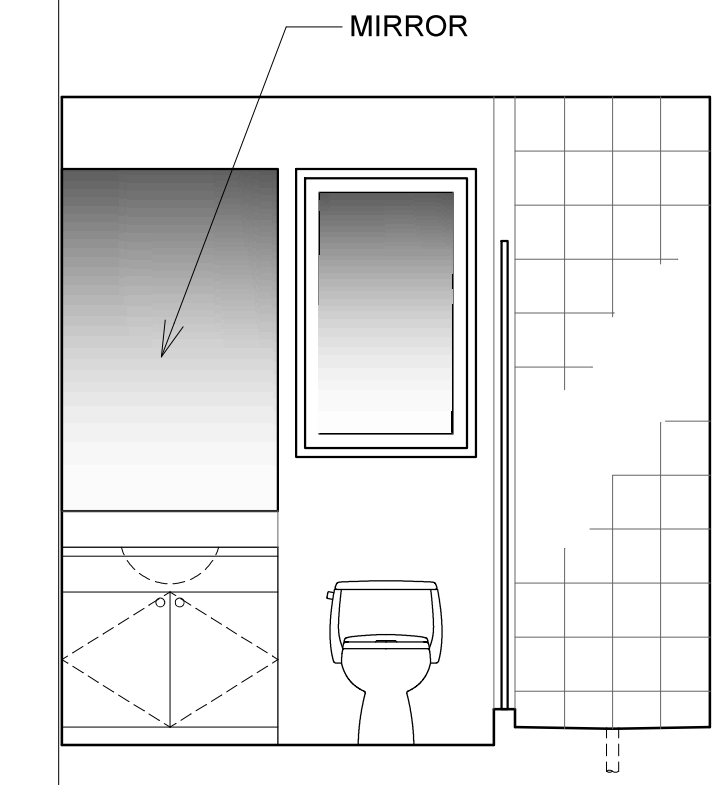
2 LAUNDRY



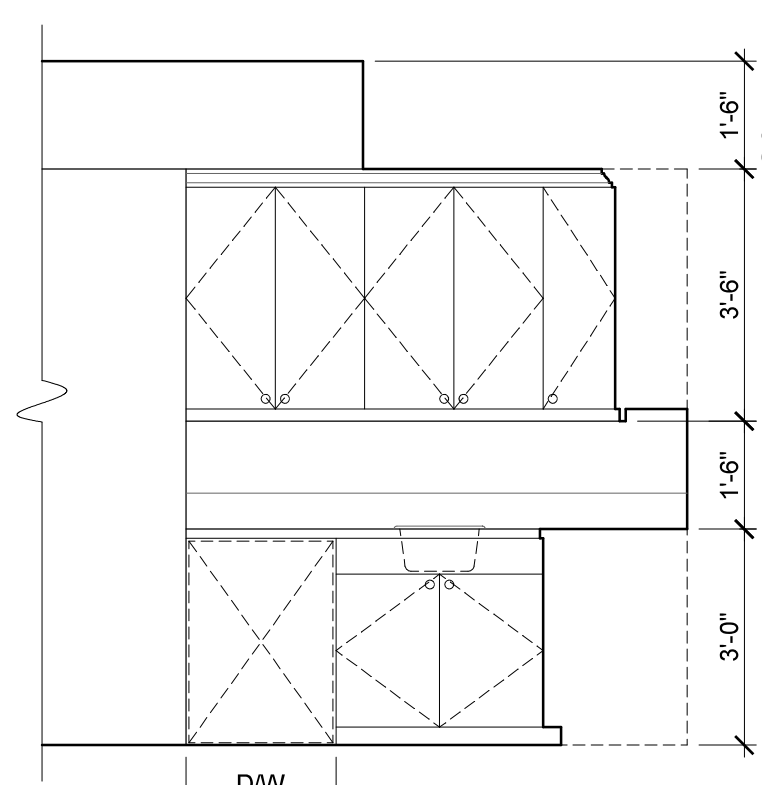
3 MASTER BATH



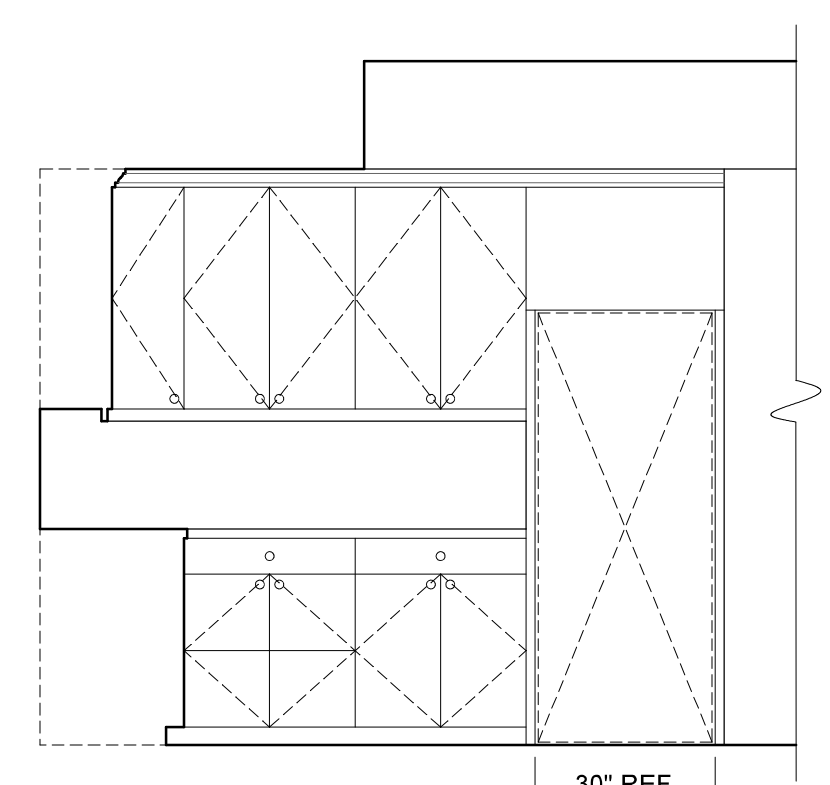
3 MASTER BATH



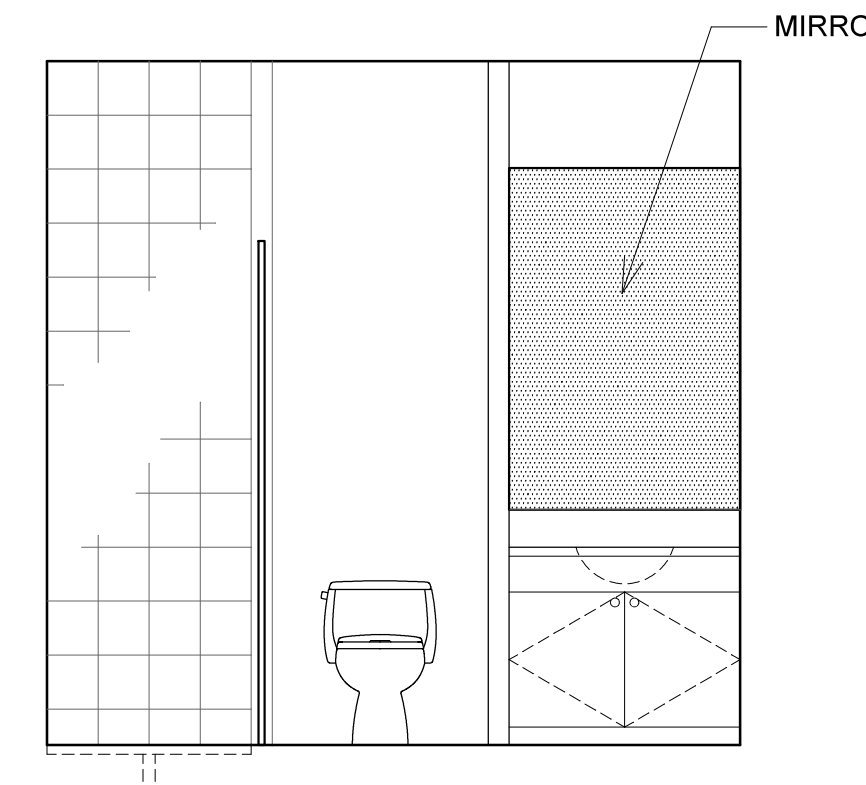
4 POWDER ROOM



5 GAME ROOM



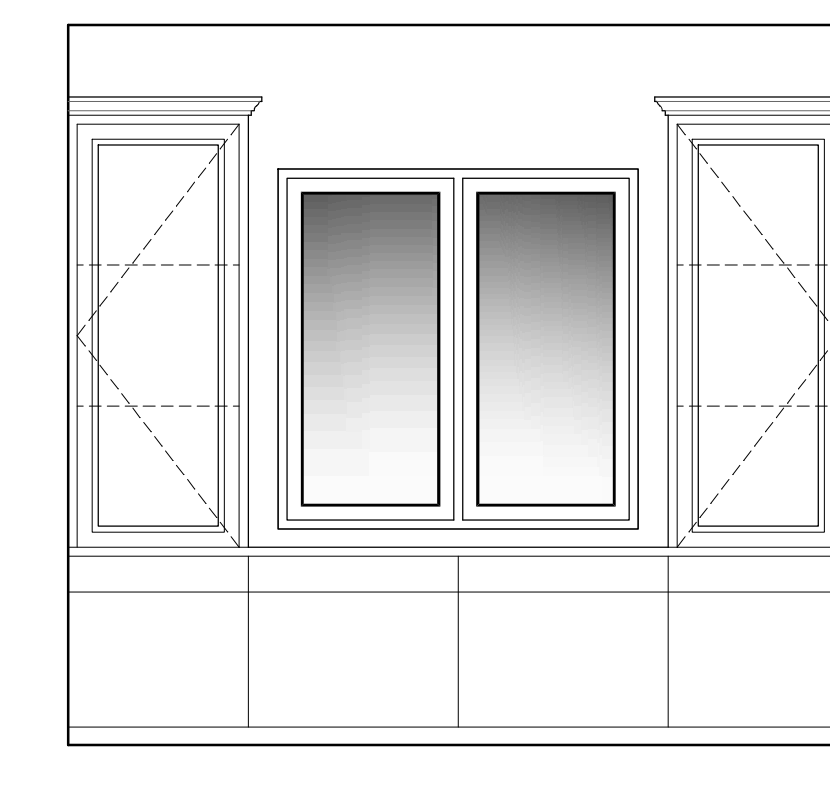
5 GAME ROOM



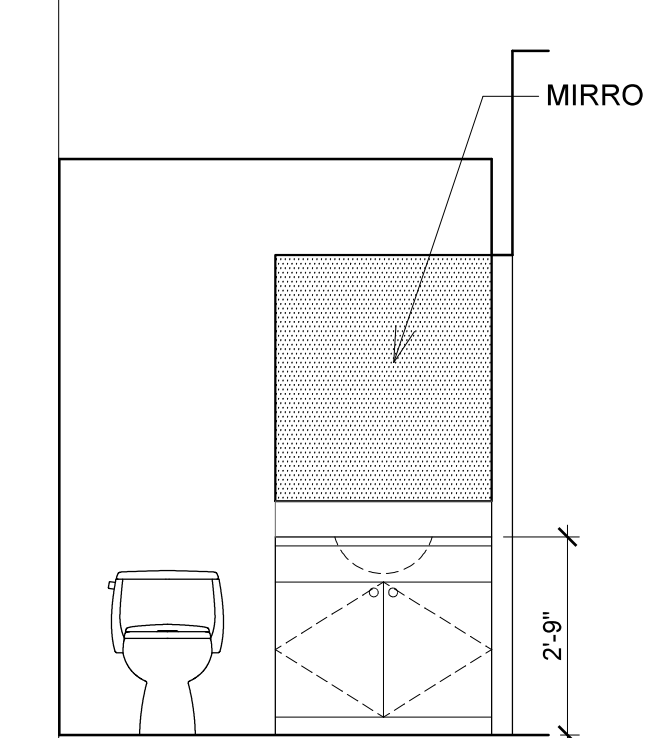
6 BATH #4



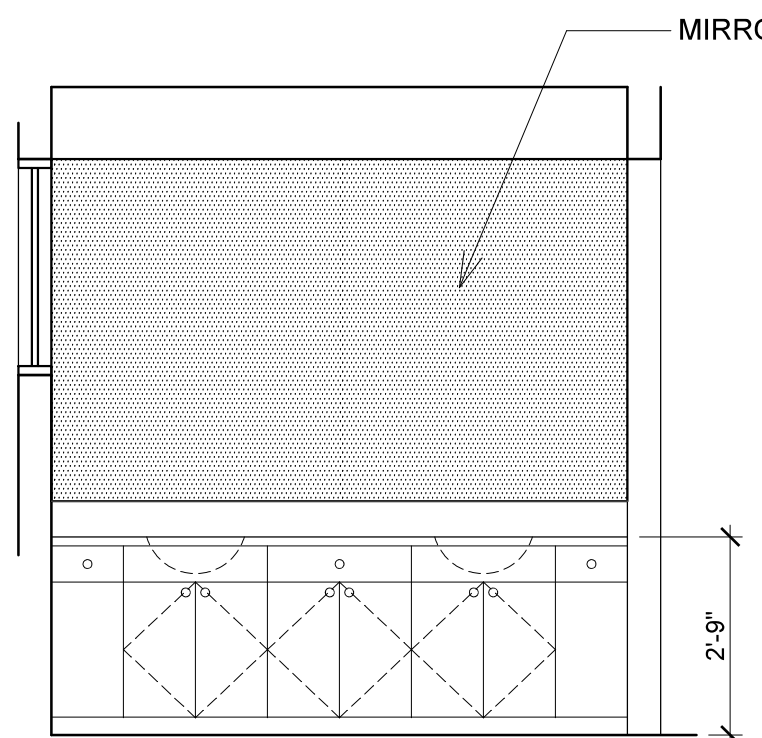
7 BATH #5



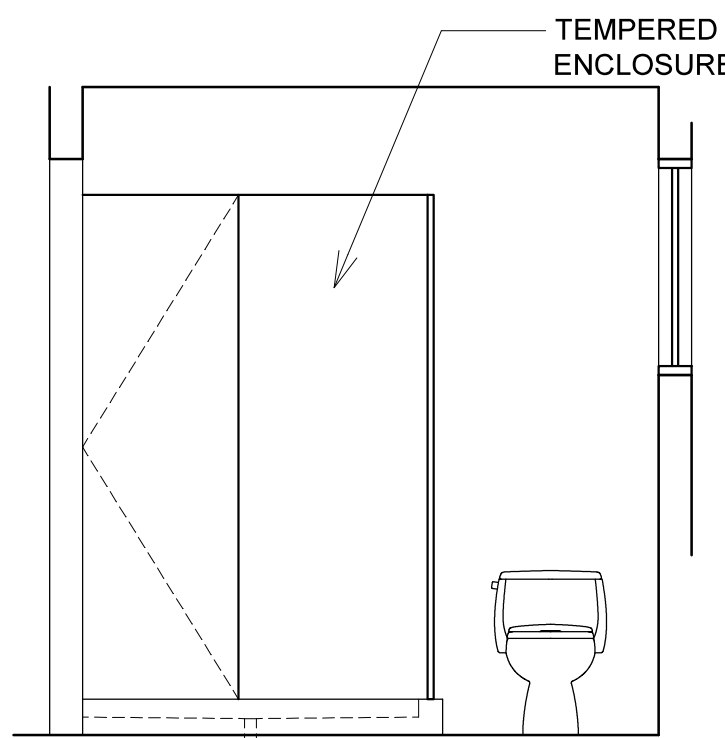
7A DINING ROOM



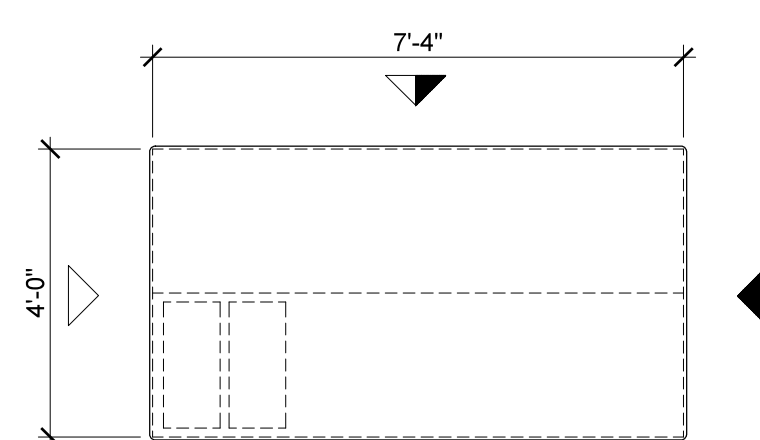
7 BATH #5



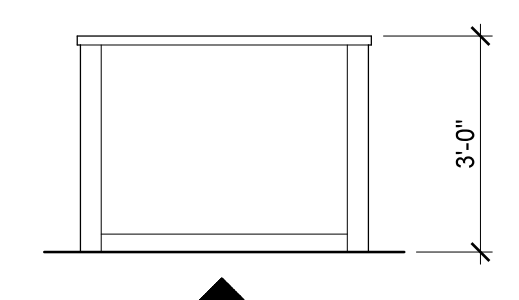
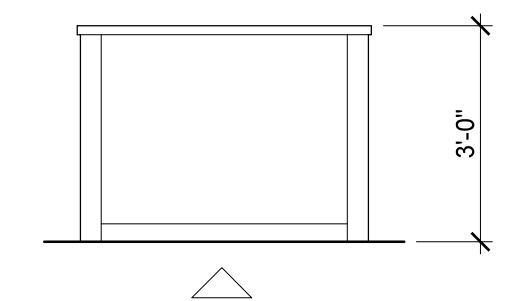
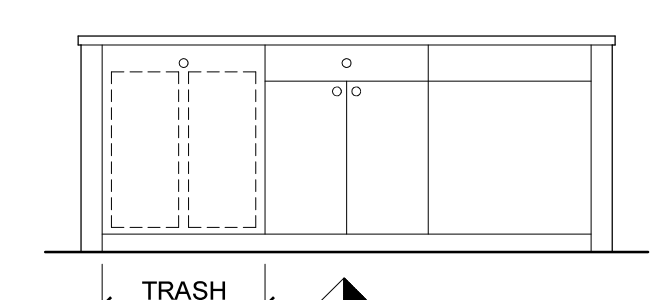
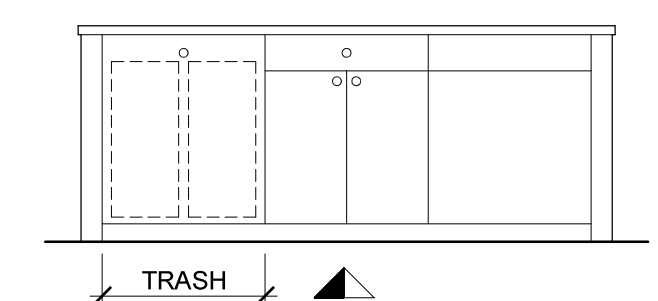
8 BATH #3



8 BATH #3



KITCHEN ISLAND



**GENERAL NOTES**

- I WALLS/ CEILING 1/2\"/>
- II CORNER BEAD ALUMINUM CORNER BEAD, U.O.N.
- III CASED OPENINGS STANDARD CASINGS, U.O.N.
- IV WINDOW CASINGS STANDARD CASINGS, U.O.N.
- V FINISHES SEE "ROOM FINISH SCHEDULE" ON FLOOR PLAN(S)
- VI CABINETRY CONTRACTOR & CABINET MAKER TO VERIFY ALL ROOM DIMENSIONS & ROUGH OPENINGS FOR APPLIANCES PRIOR TO FABRICATION
- VII APPLIANCES SEE SCHEDULE ON SHEET FOR MANUFACTURER/MODEL # AND SPECIFICATIONS

**INTERIOR NOTES**

- 1 BATHTUB
- 2 TUB/ SHOWER
- 3 SHOWER
- 4 FIREPLACE

**CABINETRY NOTES**

COLORS & FINISHES PER OWNER'S SPECIFICATIONS

- A CABINET TYPE . . . . . DOOR(S) . . . . . EXTERIOR . . . . . INTERIOR . . . . . HARDWARE . . . . . PULLS . . . . .
- B CABINET TYPE . . . . . DOOR(S) . . . . . EXTERIOR . . . . . INTERIOR . . . . . HARDWARE . . . . . PULLS . . . . .
- C CABINET TYPE . . . . . DOOR(S) . . . . . EXTERIOR . . . . . INTERIOR . . . . . HARDWARE . . . . . PULLS . . . . .

**SURFACE MATERIALS**

COLORS & FINISHES PER OWNER'S SPECIFICATIONS

- F TILE
- G GRANITE
- H MARBLE
- J CORIAN
- K FORMICA/ LAMINATE
- L WOOD TOP

NOTE: ALL CABINET MEASUREMENTS MUST BE FIELD VERIFIED PRIOR TO THE ORDERING OR BUILDING OF CABINETS

**INTERIOR ELEVATIONS**

3/8" = 1'-0"

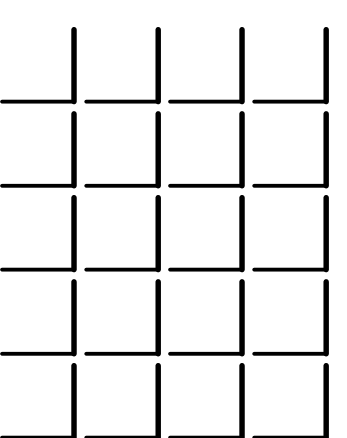
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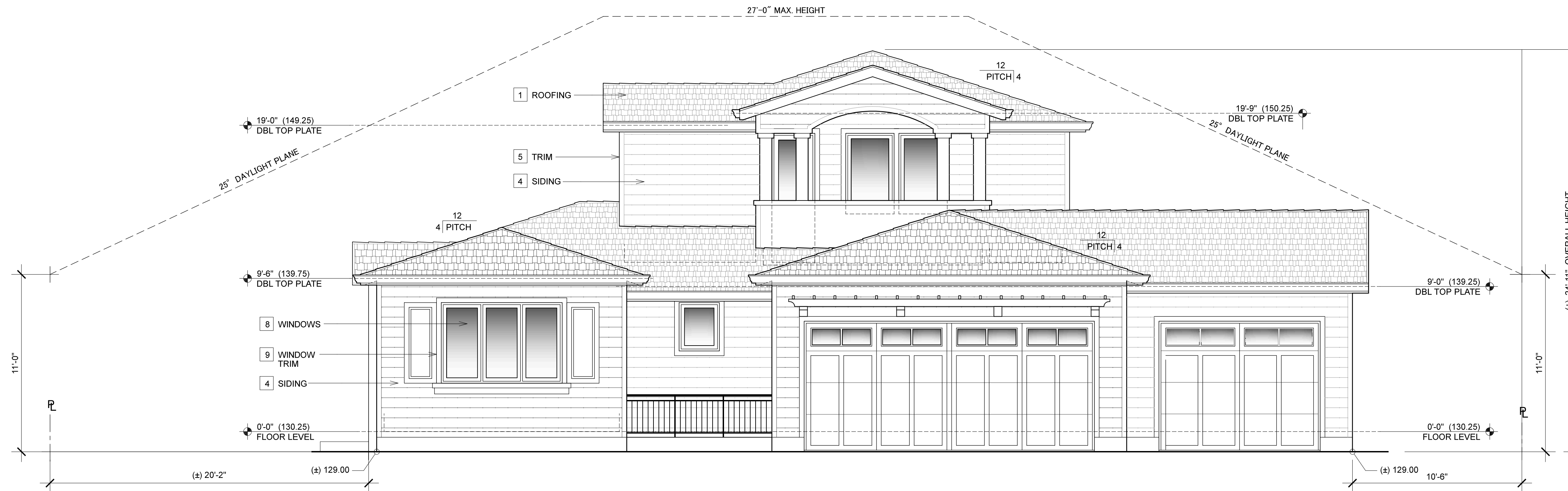


SHEET

A4.0

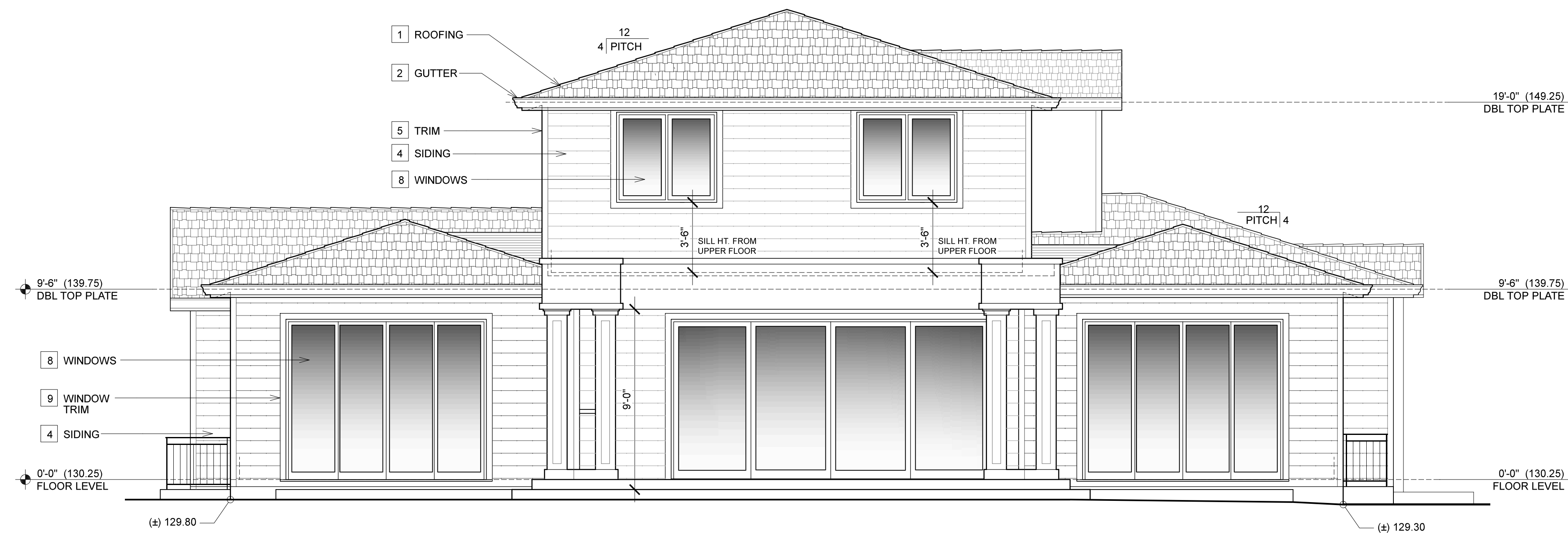
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620 S. EL MONTE AVENUE  
LOS ALTOS, CA 94022 (650) 941-8890





**FRONT ELEVATION - (NORTH)**

1/4" = 1'-0"



**REAR ELEVATION - (SOUTH)**

1/4" = 1'-0"

**GENERAL NOTES**

- I STUCCO REQUIREMENTS: 1) 3-COAT & 1/2" MIN. THICK 2) HAS 2 LAYERS OF GRADE D BUILDING PAPER 3) 26 GA. GALVANIZED WEEP SCREED AT FOUNDATION PLATE LINE AT LEAST 4" ABOVE GRADE OR 2" ABOVE CONCRETE OR PAVING (SEC. 2512.11, 2510.6 & 2512.1.2 CBC 2019)
- II FLUE CLEARANCE AS PER SECTION R1003.18 CRC 2019. 2'-0" ABOVE COMBUSTIBLE CONSTRUCTION @ 10'-0" AWAY
- III CHIMNEY BRACING AS PER CH. 10 CRC 2019
- IV SPARK ARRESTOR PROVIDE AS PER SEC. R1003.4.1 CRC 2019
- V TEMPERED GLASS PROVIDE TEMPERED SAFETY GLASS @ HAZARDOUS LOCATIONS PER SEC. R308.4 CRC 2019

**EXT. MATERIAL NOTES**

- 1 ROOFING COMPOSITION SHINGLE
- 2 GUTTER OGEE GUTTER
- 3 DOWN SPOUTS ROUND DOWNSPOUTS
- 4 SIDING HARDI PLANK
- 5 TRIM 2x4 K.D. MATERIAL
- 6 STUCCO N/A
- 7 VENEER N/A
- 8 WINDOWS DUAL GLAZED WOOD CASEMENTS AND AWNINGS
- 9 WINDOW TRIM FRONT AND LEFT ELEVATIONS LOWER FLOOR TO HAVE SILL & APRON - UPPER FLOOR PICTURE FRAME
- 10 SKYLIGHTS "VELUX", WDMA HALLMARK CERTIFICATION 426 (IAMPO UES 0199) OR EQUIVALENT
- 11 CHIMNEY N/A

**LEGEND**

- # WINDOW - SEE "WINDOW SCHEDULE" ON SHEET A - FOR FURTHER SPECIFICATIONS
- # DOOR - SEE "DOOR SCHEDULE" ON SHEET A - FOR FURTHER SPECIFICATIONS

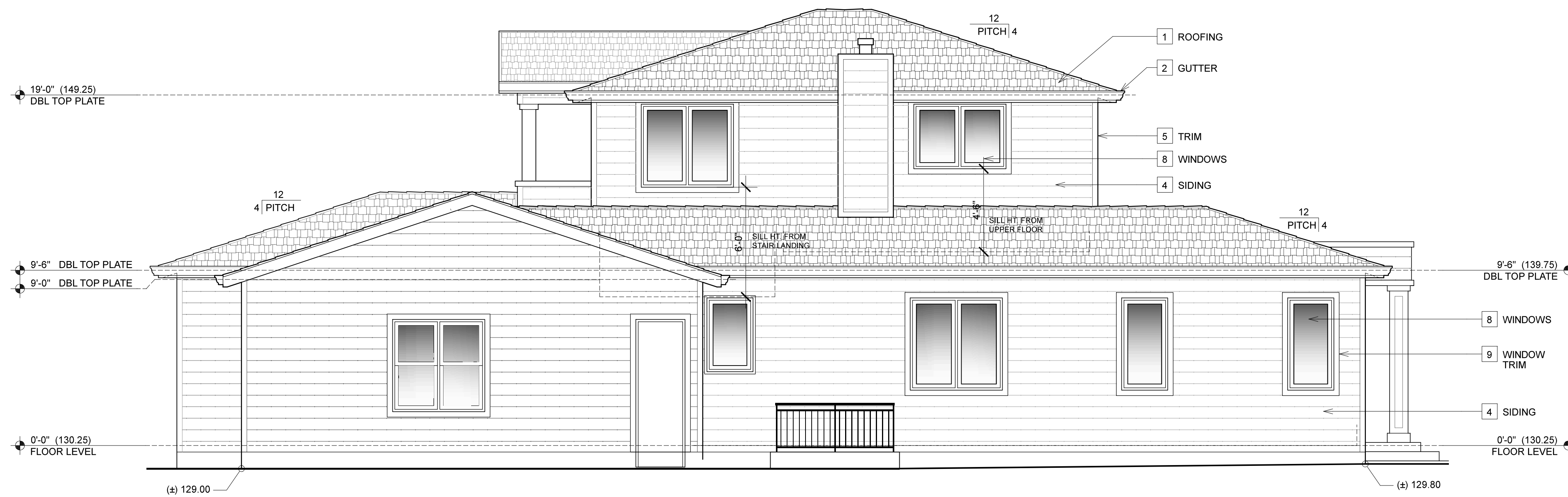
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 620 S. EL MONTE AVENUE  
 LOS ALTOS, CA 94022 (650) 941-8890





**RIGHT SIDE ELEVATION - (EAST)**

1/4" = 1'-0"



**LEFT SIDE ELEVATION - (WEST)**

1/4" = 1'-0"

**GENERAL NOTES**

- I STUCCO REQUIREMENTS: 1) 3-COAT & 1/2" MIN. THICK 2) HAS 2 LAYERS OF GRADE D BUILDING PAPER 3) 26 GA. GALVANIZED WEEP SCREED AT FOUNDATION PLATE LINE AT LEAST 4" ABOVE GRADE OR 2" ABOVE CONCRETE OR PAVING (SEC. 2512.11, 2510.6 & 2512.1.2 CBC 2019)
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- 6 STUCCO N/A
- 7 VENEER N/A
- 8 WINDOWS DUAL GLAZED WOOD CASEMENTS AND AWNINGS
- 9 WINDOW TRIM FRONT AND LEFT ELEVATIONS LOWER FLOOR TO HAVE SILL & APRON - UPPER FLOOR PICTURE FRAME
- 10 SKYLIGHTS "VELUX", WDMA HALLMARK CERTIFICATION 426 (IAMPO UES 0199) OR EQUIVALENT
- 11 CHIMNEY N/A

**LEGEND**

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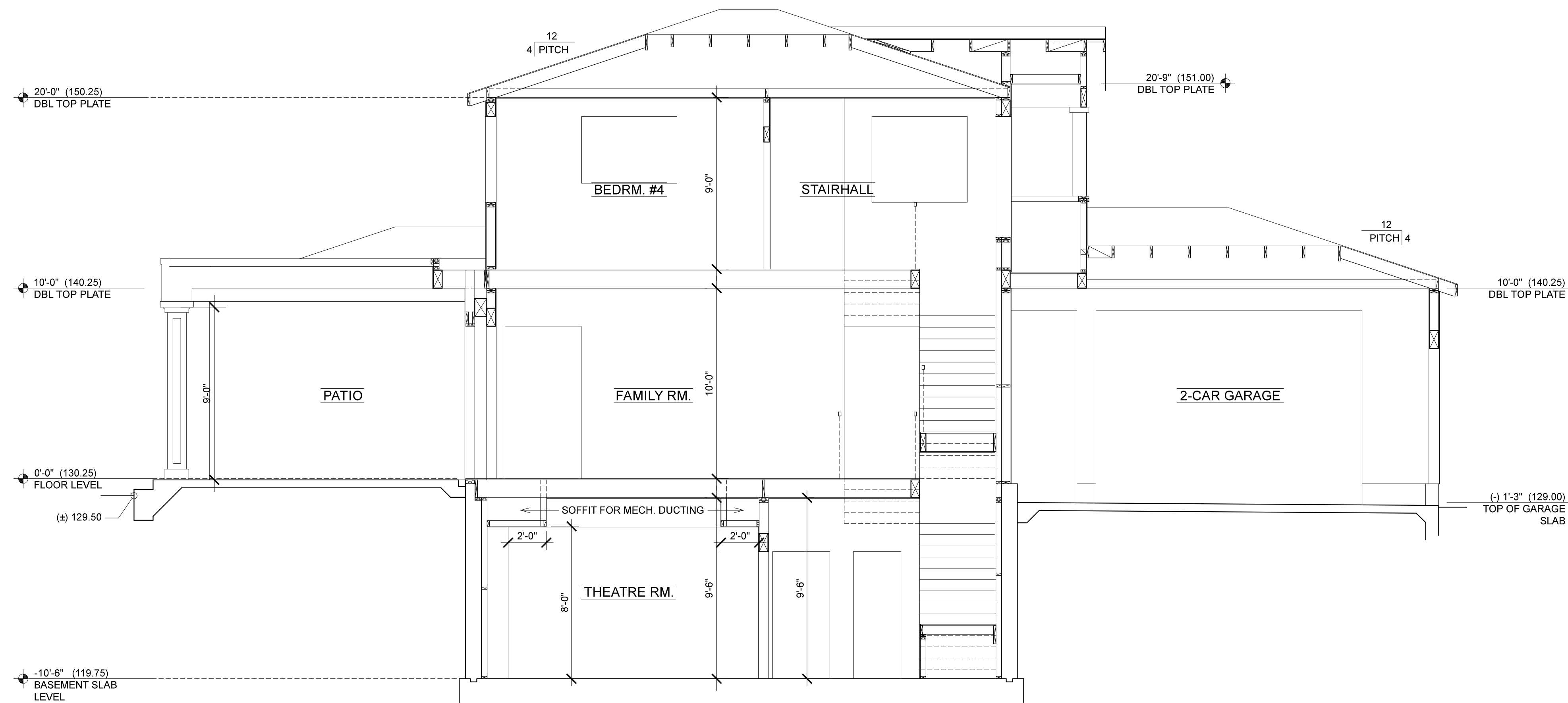
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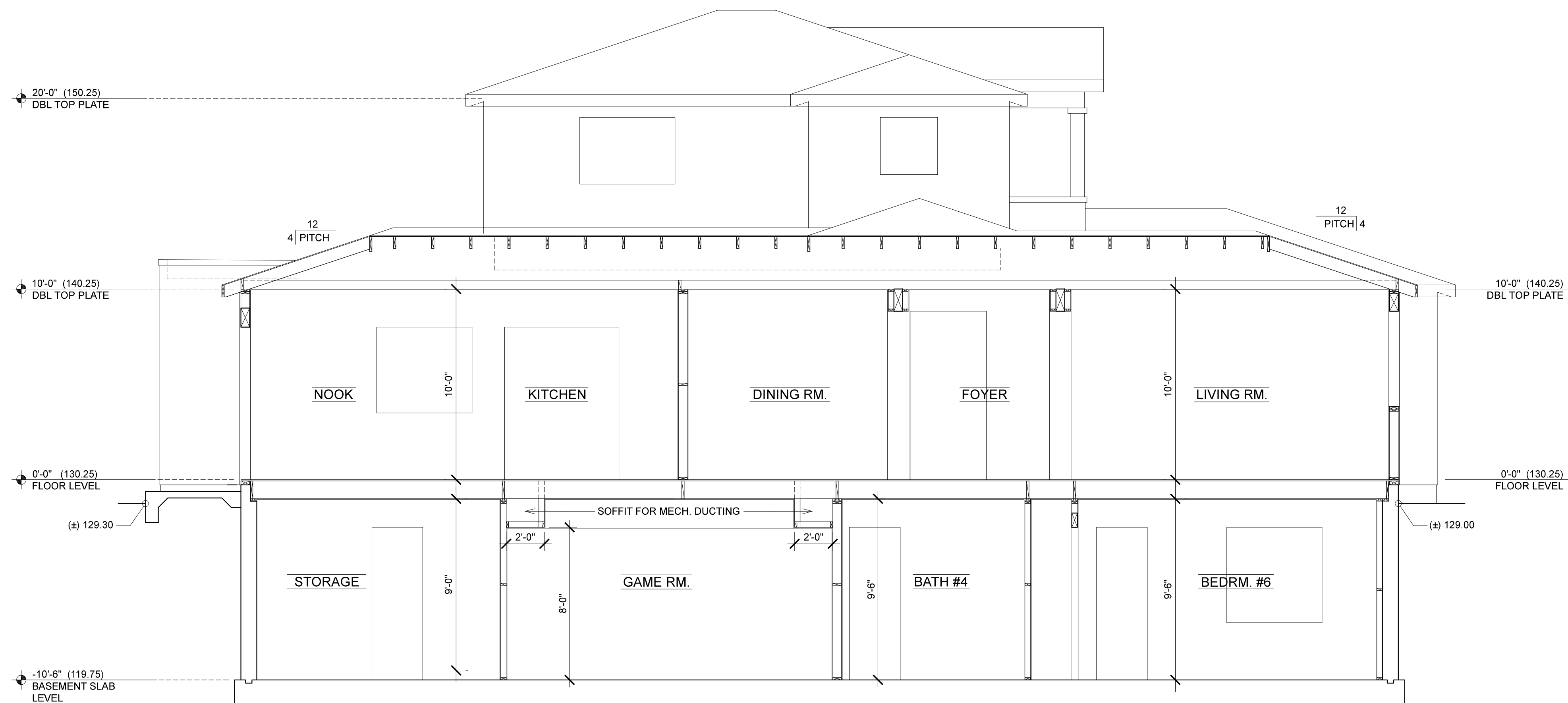
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 LOS ALTOS, CA 94022 (650) 941-8890





**CROSS SECTION A-A**

1/4" = 1'-0"



**CROSS SECTION B-B**

1/4" = 1'-0"

**SECTION NOTES**

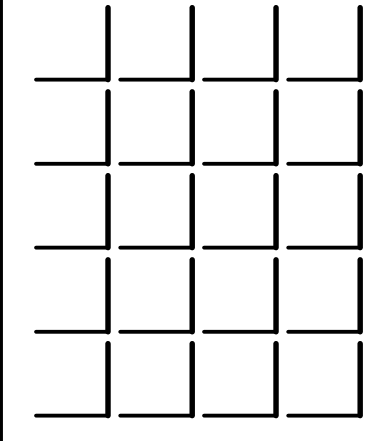
- 1 ROOF ROOF MATERIAL (SEE ROOF PLAN FOR TYPE) O/ 30# UNDERLAYMENT O/ SHEATHING (SEE SHEATHING SCHEDULE FOR TYPE) O/ RAFTERS (SEE ROOF PLAN AND/OR ROOF FRAMING SCHEDULE FOR TYPE/SIZE & SPACING), TYPICAL U.O.N.
- 2 CEILING @ ATTIC CEILING JOISTS (SEE FRAMING PLAN AND/OR FLOOR/CEILING FRAMING SCHEDULE FOR TYPE/SIZE & SPACING) w/ 1/2" SHETROCK, TYPICAL U.O.N.
- 3 EXTERIOR WALL EXTERIOR FINISH (SEE EXTERIOR ELEVATIONS FOR TYPE) O/ 2 LAYERS CLASS "D" BUILDING PAPER O/ SHEATHING (SEE SHEATHING SCHEDULE FOR TYPE) O/ 2x4 STUDS @ 16"o.c. (2x6 STUDS @ MAIN PLUMBING WALLS) W/ DOUBLE 2x4 TOP PLATE & 2x4 SOLE PLATE W/ 1/2" SHEET ROCK @ INSIDE FACE, TYPICAL U.O.N.
- 4 INTERIOR WALL 2x4 STUDS @ 16"o.c. (2x6 STUDS @ MAIN PLUMBING WALLS) W/ DOUBLE 2x4 TOP PLATE & 2x4 SOLE PLATE W/ 1/2" SHEET ROCK BOTH SIDES, TYPICAL U.O.N.
- 5 FLOOR FLOOR SHEATHING (SEE SHEATHING SCHEDULE FOR TYPE) O/ FLOOR JOISTS (SEE FRAMING PLAN AND/OR FLOOR/CEILING FRAMING SCHEDULE FOR TYPE/SIZE & SPACING), TYPICAL U.O.N.
- 6 FLOOR w/ CEILING FLOOR SHEATHING (SEE SHEATHING SCHEDULE FOR TYPE) O/ FLOOR JOISTS (SEE FRAMING PLAN AND/OR FLOOR/CEILING FRAMING SCHEDULE FOR TYPE/SIZE & SPACING) W/ 1/2" SHEET ROCK, TYPICAL U.O.N.
- 7 CRAWL SPACE SLAB 16" CONCRETE SLAB w/ #5 @ 6" O.C. EA. WAY @ BOTTOM & #5 @ 10" O.C. @ TOP of APPROVED WATER PROOF MEMBRANE of 4" CRUSHED ROCK
- 8 CONCRETE SLAB 5" CONCRETE SLAB w/ #4 BARS @ 18" O.C. of 8" CLASS II CLEAN CRUSHED ROCK
- 9 GARAGE SLAB 5" CONCRETE SLAB w/ #4 BARS @ 18" O.C. of 15 mil VISQ of 8" CLASS II CLEAN CRUSHED ROCK
- 10 INSULATION ATTIC INSULATION R -  
EXTERIOR WALL INSULATION R -  
RAISED FLOOR INSULATION R -

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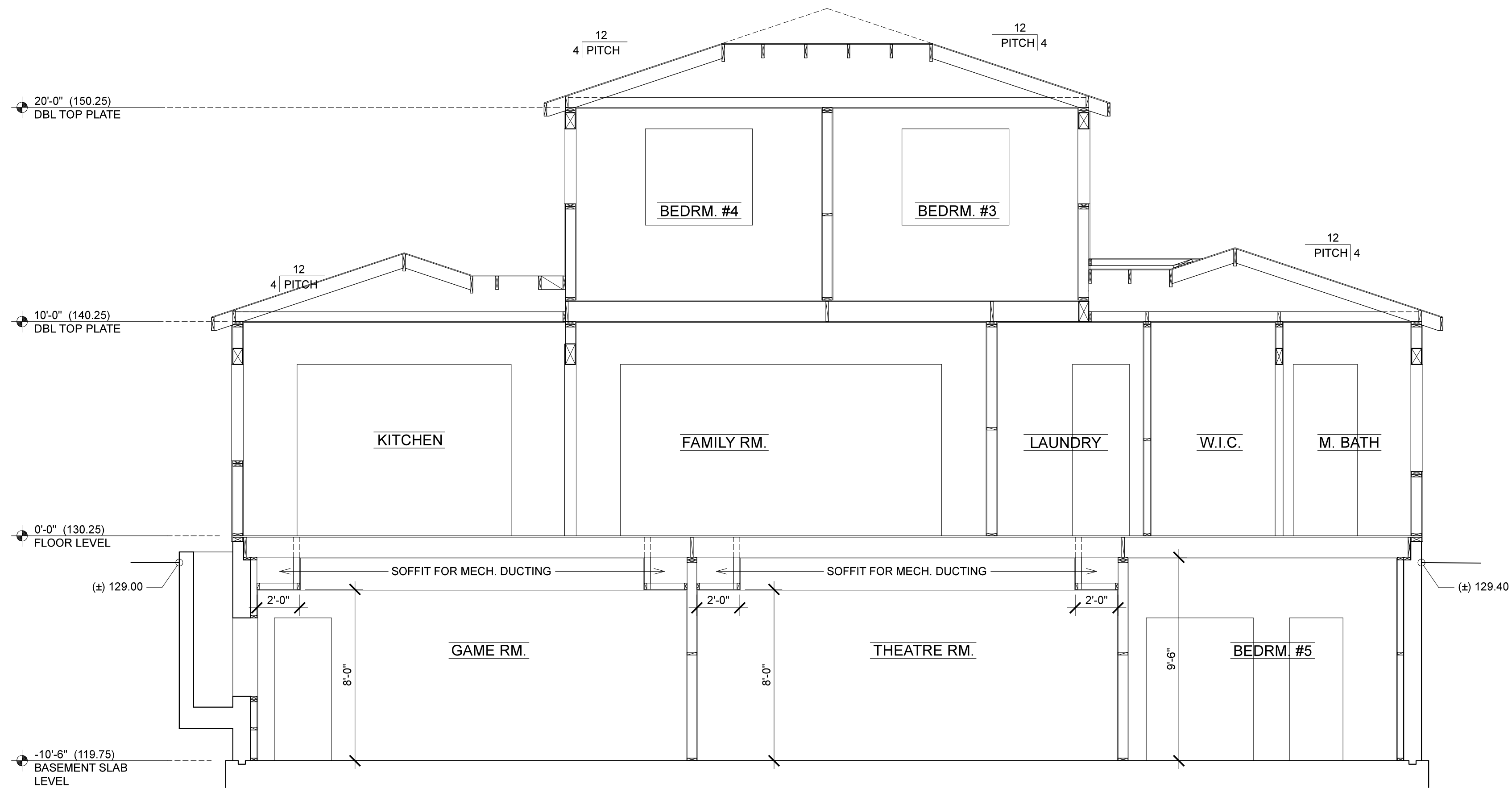

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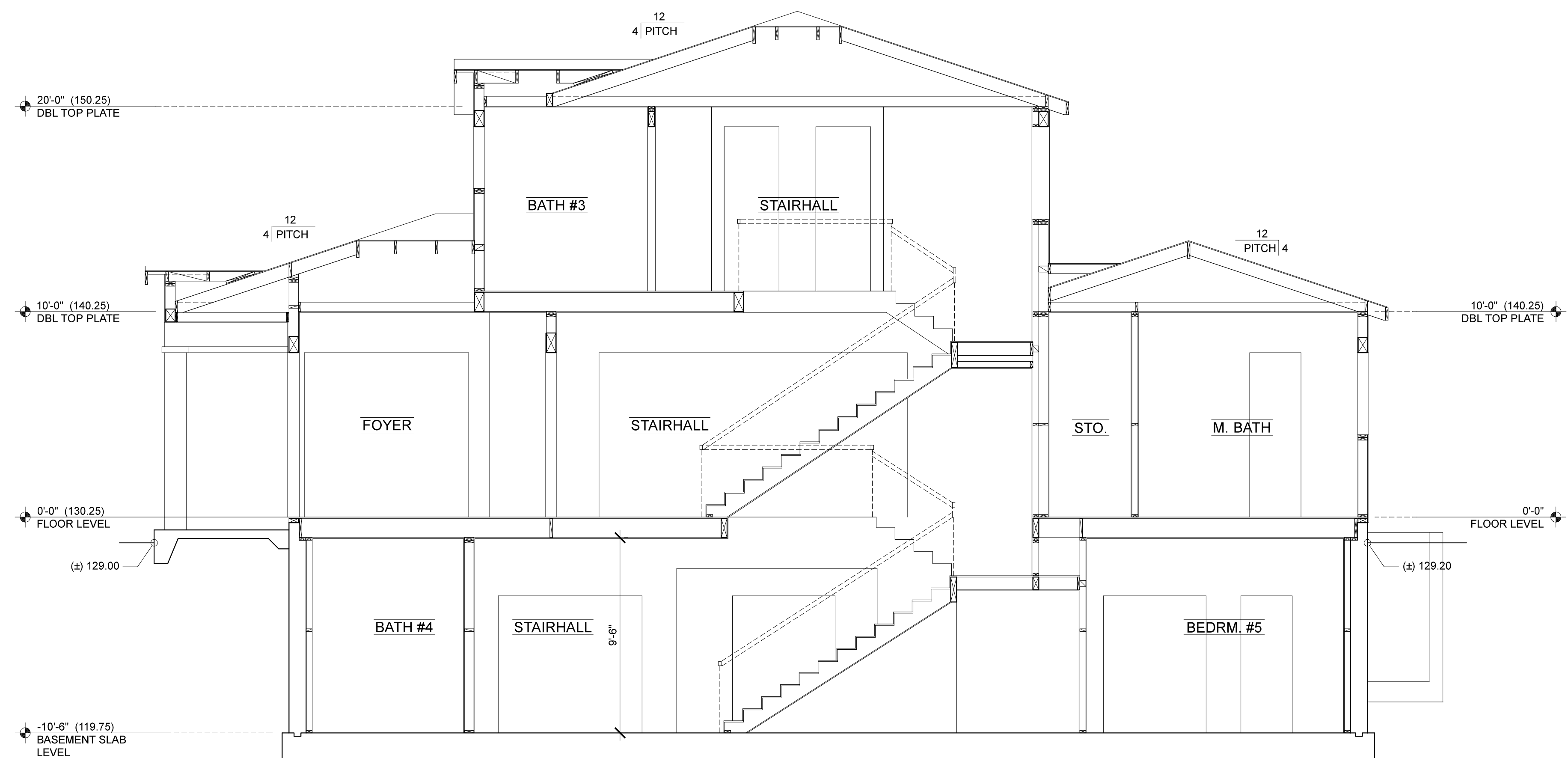






**CROSS SECTION C-C**

1/4" = 1'-0"



**CROSS SECTION D-D**

1/4" = 1'-0"

**SECTION NOTES**

- 1 ROOF ROOF MATERIAL (SEE ROOF PLAN FOR TYPE) O/ 30# UNDERLAYMENT O/ SHEATHING (SEE SHEATHING SCHEDULE FOR TYPE) O/ RAFTERS (SEE ROOF PLAN AND/OR ROOF FRAMING SCHEDULE FOR TYPE/SIZE & SPACING). TYPICAL U.O.N.
- 2 CEILING @ ATTIC CEILING JOISTS (SEE FRAMING PLAN AND/OR FLOOR/CEILING FRAMING SCHEDULE FOR TYPE/SIZE & SPACING) w/ 1/2" SHETROCK. TYPICAL U.O.N.
- 3 EXTERIOR WALL EXTERIOR FINISH (SEE EXTERIOR ELEVATIONS FOR TYPE) O/ 2 LAYERS CLASS "D" BUILDING PAPER O/ SHEATHING (SEE SHEATHING SCHEDULE FOR TYPE) O/ 2x4 STUDS @ 16"o.c. (2x6 STUDS @ MAIN PLUMBING WALLS) W/ DOUBLE 2x4 TOP PLATE & 2x4 SOLE PLATE W/ 1/2" SHEET ROCK @ INSIDE FACE. TYPICAL U.O.N.
- 4 INTERIOR WALL 2x4 STUDS @ 16"o.c. (2x6 STUDS @ MAIN PLUMBING WALLS) W/ DOUBLE 2x4 TOP PLATE & 2x4 SOLE PLATE W/ 1/2" SHEET ROCK BOTH SIDES. TYPICAL U.O.N.
- 5 FLOOR FLOOR SHEATHING (SEE SHEATHING SCHEDULE FOR TYPE) O/ FLOOR JOISTS (SEE FRAMING PLAN AND/OR FLOOR/CEILING FRAMING SCHEDULE FOR TYPE/SIZE & SPACING). TYPICAL U.O.N.
- 6 FLOOR w/ CEILING FLOOR SHEATHING (SEE SHEATHING SCHEDULE FOR TYPE) O/ FLOOR JOISTS (SEE FRAMING PLAN AND/OR FLOOR/CEILING FRAMING SCHEDULE FOR TYPE/SIZE & SPACING) W/ 1/2" SHEET ROCK. TYPICAL U.O.N.
- 7 CRAWL SPACE SLAB 16" CONCRETE SLAB w/ #5 @ 6" O.C. EA. WAY @ BOTTOM & #5 @ 10" O.C. @ TOP of APPROVED WATER PROOF MEMBRANE of 4" CRUSHED ROCK
- 8 CONCRETE SLAB 5" CONCRETE SLAB w/ #4 BARS @ 18" O.C. of 8" CLASS II CLEAN CRUSHED ROCK
- 9 GARAGE SLAB 5" CONCRETE SLAB w/ #4 BARS @ 18" O.C. of 15 mil VISQ or 8" CLASS II CLEAN CRUSHED ROCK
- 10 INSULATION ATTIC INSULATION R -  
EXTERIOR WALL INSULATION R -  
RAISED FLOOR INSULATION R -

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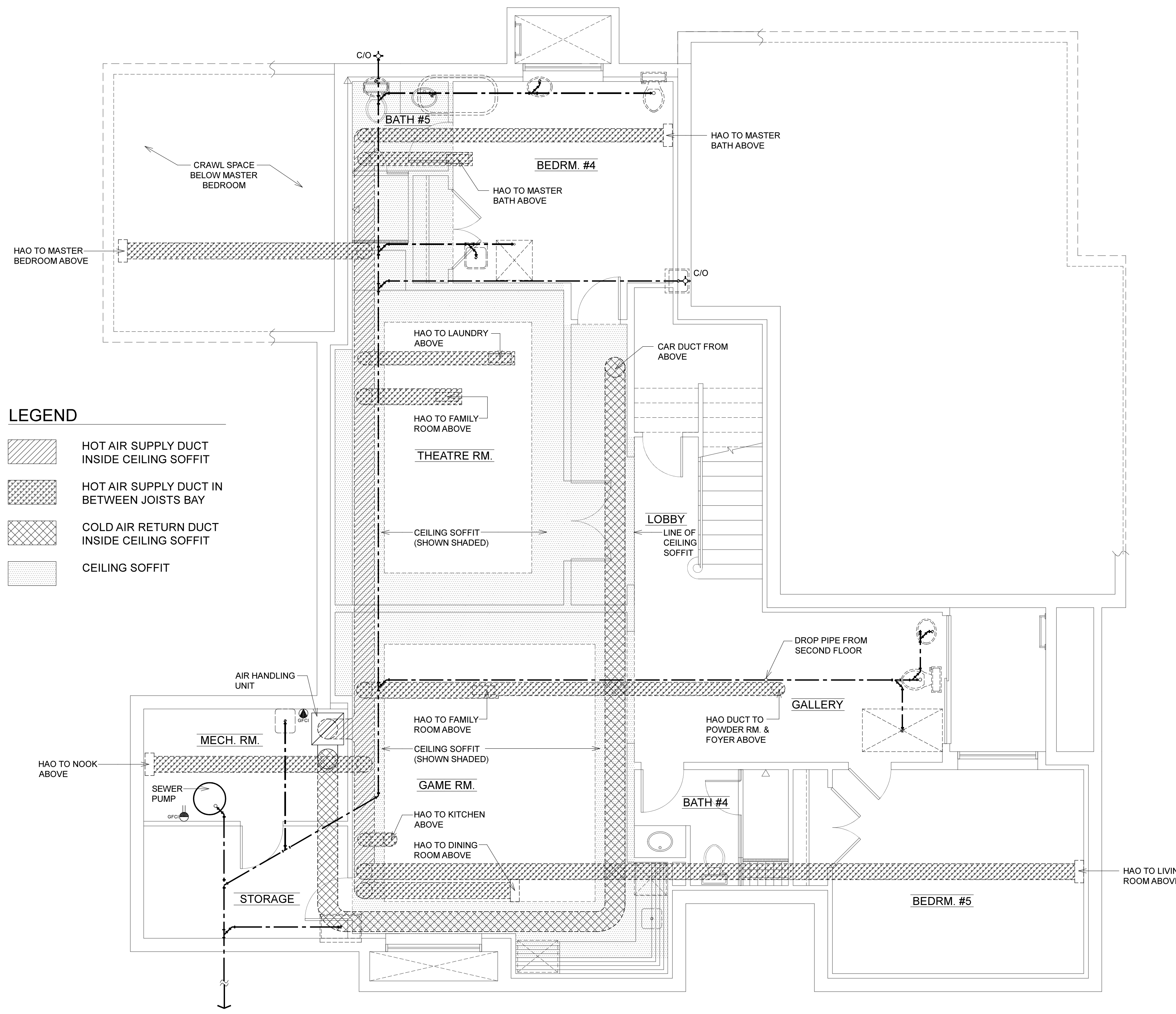
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**SHEET**

**A6.1**





- LEGEND**
- HOT AIR SUPPLY DUCT INSIDE CEILING SOFFIT
  - HOT AIR SUPPLY DUCT IN BETWEEN JOISTS BAY
  - COLD AIR RETURN DUCT INSIDE CEILING SOFFIT
  - CEILING SOFFIT

**MECHANICAL NOTES**

- A** CODES 2019 C.M.C.
  - B** COMBUSTION AIR PROVIDE COMBUSTION AIR @ FURNACE(S) AND WATER HEATER(S) PER CH. 7, C.M.C. 2019
  - C** DRYER EXHAUST PROVIDE DRYER EXHAUST VENT (4"Ø MIN. & WITH BACK DRAFT DAMPER) TO EXTERIOR. DRYER MOISTURE EXHAUST DUCT VENT SHALL HAVE A MAX. COMBINED HORIZONTAL & VERTICAL LENGTH OF 14'-0" INCLUDING TWO 90-DEGREE ELBOWS (CMC 504.3.1.2, 2019) OR PER MANUFACTURER'S SPECIFICATIONS
  - D** BATHROOM EXHAUST FAN BATHROOM EXHAUST FANS SHALL BE "ENERGY STAR" COMPLIANT AND PROVIDED W/ HUMIDITY CONTROL. CMC SEC. 402.5 & CGBC SEC 4.506.1
  - E** ELEC. DRYERS & RANGES ELECTRIC CLOTHES DRYERS & RANGES SHALL HAVE A 4-WIRE GROUNDED ELECTRICAL OUTLET PER ARTICLE 250.140, C.E.C. 2019
- NOTE: MAKEUP AIR SHALL BE PROVIDED FOR CLOTHES DRYERS IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS
- F** F.A.U. IN ATTIC ALL ATTIC FURNACES SHALL COMPLY w/ SECTION 904.11 & CH. 3, C.M.C. 2019. PROVIDE COMBUSTION AIR PER CH. 7, C.M.C. 2019
- NOTES: - TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS SHALL BE A MIN. 3'-0" FROM ANY OPENINGS INTO THE BUILDING AND 3'-0" FROM PROPERTY LINE. 2019 CMC SECTION 604.5  
 - THE MINIMUM EXHAUST RATE OF THE KITCHEN FAN SHALL BE 100 cfm  
 - THE MINIMUM EXHAUST RATE OF THE BATHROOMS FANS SHALL BE 500 cfm  
 - DUCTS IN THE GARAGE & DUCTS PENETRATING WALLS OR CEILINGS SEPARATING THE GARAGE FROM THE DWELLING SHALL BE CONSTRUCTED OF MINIMUM 26-GAUGE SHEETS METAL & SHALL HAVE NO OPENINGS INTO THE GARAGE
- NOTE: ALL DUCTS SHOWN ARE SCHEMATIC ONLY. ACTUAL LAYOUT TO BE DETERMINED BY HVAC CONTRACTOR. PROVIDE MINIMUM CLEARANCES AS REQUIRED BY CODE FOR CRAWL SPACE ACCESS

**PLUMBING NOTES**

- G** CODES 2019 C.P.C.
  - H** WASTE & DRAIN PIPE MINIMUM 4"Ø DRAINAGE PIPE SHALL BE REQUIRED FOR FOUR OR MORE WATER CLOSET FIXTURES ON THE SAME HORIZONTAL BRANCH OF DRAIN. CPC TABLE 703.2 footnote#4  
 SEWER CLEANOUTS SHALL BE INSTALLED PER SEC.707 & 719 CPC.  
 a. EVERY 100'-0" OF DEVELOPED DRAINAGE LINES and  
 b. AT EACH AGGREGATE HORIZONTAL CHANGE OF DIRECTION EXCEEDING 135°
  - J** VENT PIPE ABS PIPE  
 PLUMBING WASTE VENTS SHALL TERMINATE NOT LESS THAN 10'-0" FROM OR NOT LESS THAN 3'-0" ABOVE AN OPERABLE WINDOW, DOOR OPENING, AIR INTAKE OR VENT SHAFT OR NOT LESS THAN 3'-0" IN EVERY DIRECTION FROM A LOT LINE, ALLEY OR STREET (SEC. 906.2, 2019 CPC)
  - K** HOT & COLD WATER PIPE COPPER - INSULATE HOT WATER LINES
  - L** CONTROL VALVES PROVIDE INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC OR COMBINATION PRESSURE BALANCE / THERMOSTATIC MIXING VALVE TYPE @ ALL SHOWER & TUB / SHOWERS PER SECTION 418.0, CPC 2019
  - M** HOSE BIBBS PROVIDE NON-REMOVABLE BACK FLOW PREVENTER PER SECTION 603.2, C.P.C. 2019
- ALL PLUMBING AND FITTINGS SHALL MEET THE STANDARDS REFERENCED IN TABLE 1701.1 OF THE 2019 CALIFORNIA PLUMBING CODE. CGBCS SECTION 4.203.2  
 ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLE / BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY, OR SIMILAR ACCEPTABLE METHODS. CGBCS 4.406.1
- NOTE: ALL PLUMBING SHOWN IS SCHEMATIC ONLY. ACTUAL LAYOUT TO BE DETERMINED BY PLUMBING CONTRACTOR

**LEGEND**

- HAO DUCTING
- CAR DUCTING
- HAO HOT AIR OUTLET (FLOOR)
- HAO HOT AIR OUTLET (CEILING)
- CAR COLD AIR RETURN (CEILING)
- HAO HOT AIR OUTLET (WALL)
- CAR COLD AIR RETURN (WALL)
- ELECTRONIC SOLENOID DAMPER CONTROLLER
- GROUND FAULT CIRCUIT INTERRUPTER
- 110 V. ELEC. DUPLEX OUTLET (WALL)
- 110 V. ELEC. DUPLEX OUTLET (WALL) +66"
- FUEL GAS

**BASEMENT MECHANICAL & PLUMBING PLAN**

1/4" = 1'-0"

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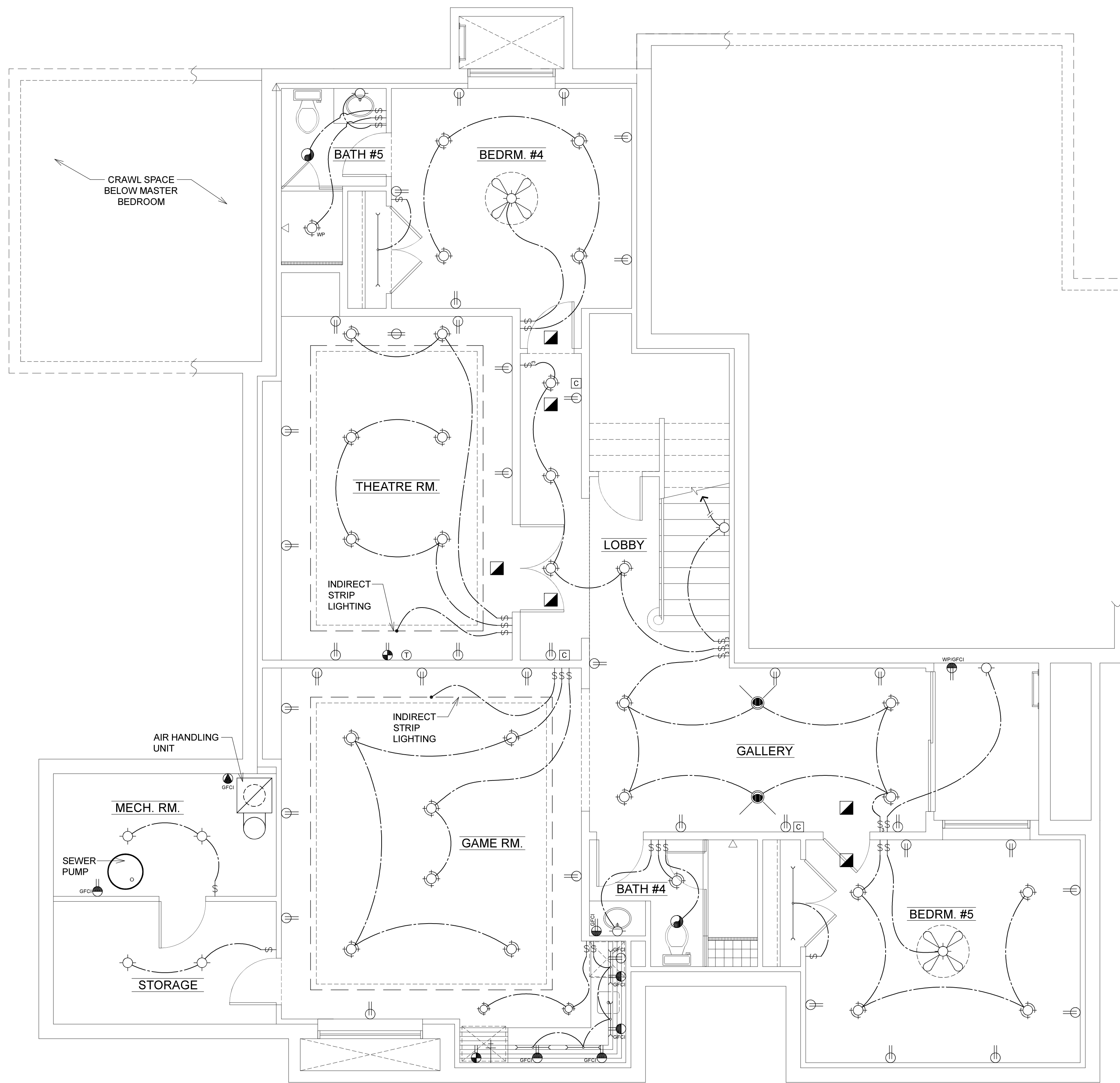
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**SHEET**  
 A7.0





### LEGEND

ALL LIGHTING TO BE HIGH EFFICACY (SEE NOTES ABOVE)

110 V. ELEC. DUPLEX OUTLET (WALL)	WALL FIXTURE	THERMOSTAT
110 V. ELEC. DUPLEX OUTLET (WALL) +36"	OVERHEAD FIXTURE	AC/DC SMOKE ALARM
110 V. ELEC. DUPLEX OUTLET (WALL) +44"	EXISTING FIXTURE	ETHERNET
110 V. ELEC. DUPLEX OUTLET (WALL) +66"	MINI CAN LIGHT	TELEVISION
110 V. ELEC. DUPLEX OUTLET (7/2 HOOT)	STANDARD CAN LIGHT	TELEPHONE
110 V. ELEC. DUO OUTLET (WALL)	WATERPROOF CAN LIGHT	CARBON MONOXIDE
GROUND FAULT CIRCUIT INTERRUPTER	RECESSED SPOT LIGHT	FUEL GAS
ARC FAULT CIRCUIT INTERRUPTER	SWITCH	HOSE BIBB
WATER PROOF G.F.I. DUPLEX OUTLET	3-WAY SWITCH	70 CFM FAN W/ HUMIDISTAT
OUTLET (FLOOR)	DIMMER SWITCH	MOTION SENSOR SWITCH w/ TEMP. OVERRIDE (6 HRS MAX)
220 V. ELEC. OUTLET	VACANCY SENSOR SWITCH	FLOODLIGHT
FAN LIGHT COMBO	HEAT LAMP	HEAT LAMP FAN COMBO

### BASEMENT ELECTRICAL PLAN

1/4" = 1'-0"

### ELECTRICAL NOTES

- I** CODES 2019 C.E.C.
  - II** GROUND THE INSTALLATION OF A PERMITTED GROUNDING ELECTRODE TYPE AS LISTED IN SEC. 250.52, 2019 CEC, IS REQUIRED
  - III** GFCI INSTALL GROUND FAULT CIRCUIT INTERRUPTER OUTLETS @ ALL LOCATIONS AS SPECIFIED IN ARTICLE 210.8(A)(6) C.E.C. 2019
  - IV** SERVICE PANEL ELECTRICAL CONTRACTOR TO VERIFY SIZE & LOAD OF EXISTING SERVICE PANEL - UPGRADE IF NECESSARY AND/OR REQUIRED
  - V** WIRING ROMEX (OR EQUIVALENT) PER CODE
  - VI** SMOKE ALARM INSTALL PER SECTION R314, C.R.C. 2019 - NEW SMOKE ALARMS SHALL BE INTERCONNECTED (SEC. R314.4), RECEIVE THEIR PRIMARY POWER FROM BUILDING WIRING (R314.6) AND SHALL BE EQUIPPED W/ BATTERY BACKUP.
    - THE SMOKE ALARMS SHALL BE LISTED AS COMPLYING WITH UL 217 & INSTALLED ACCORDING TO THE PROVISIONS OF THE CODE AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72
  - VII** ARC-FAULT CIRCUIT INTERRUPTER ALL BRANCH CIRCUITS THAT SUPPLY OUTLETS INSTALLED IN DWELLING UNIT KITCHEN, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY AN ARC FAULT CIRCUIT INTERRUPTER. CEC 210.12
  - VIII** DEDICATED BRANCH CIRCUIT ALL NEW/REMODELED BATHROOMS AND LAUNDRY ROOMS TO HAVE A DEDICATED BRANCH CIRCUIT PER ARTICLE 550.12(E), C.E.C. 2019
  - IX** CARBON MONOXIDE ALARMS INSTALL PER SECTION R315.1.2, C.R.C. 2019. NEW CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM BUILDING WIRING AND SHALL BE EQUIPPED W/ BATTERY BACKUP.
    - CARBON MONOXIDE DETECTORS SHALL BE LISTED AS COMPLYING WITH UL 2034 & INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE MFG'S INSTRUCTIONS (SEC. R315.1.1, 2019 C.R.C.)
  - X** TAMPERS RESISTANT RECEPTS PER ARTICLE 406.11, C.E.C. 2019. PROVIDE TAMPERS RESISTANT RECEPTS IN ALL AREAS SPECIFIED IN ARTICLE 210.52, C.E.C. 2019
  - XI** KITCHEN RECEPTACLES AT WALL COUNTER SPACES, PROVIDE A GFCI RECEPTACLE EVERY 4'-0" SO THAT NO POINT ALONG THE WALL LINE IS MORE THAN 24" FROM A RECEPTACLE OUTLET
- NOTES:**
1. AT LEAST TWO (2) SMALL APPLIANCE BRANCH CIRCUITS SHALL BE PROVIDED TO SERVE ALL OF THE WALL & FLOOR RECEPTACLE OUTLETS IN KITCHENS, PANTRIES, BREAKFAST ROOMS, DINING ROOMS OR OTHER SIMILAR AREAS
  2. SMOKE ALARMS INSTALLED WITHIN 20 FT. OF KITCHEN, BATHROOM OR ROOM CONTAINING A FIREPLACE OR WOOD BURNING STOVE SHALL BE OF THE PHOTOELECTRIC TYPE ONLY
  3. SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING, BE EQUIPPED WITH BATTERY BACKUP AND BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS
  4. FOR PLACEMENT OF SMOKE ALARMS AND CARBON MONOXIDE DETECTORS IN ROOMS WITH VARIATIONS IN CEILING HEIGHT (SLOPED, PITCHED, ETC.), REFER TO THE MANUFACTURERS GUIDELINES FOR PROPER PLACEMENT

### LIGHTING REQUIREMENTS

- XII** GENERAL LIGHTING ALL LIGHTING AS HIGH EFFICACY (i.e. PIN-BASED CFL, PULSE-START MH, HPS, GU-24 SOCKETS OTHER THAN LEDs, LED LUMINAIRES WITH INTEGRAL SOURCE, etc.) CEC 150.0-A
 

**NOTE:** SCREW-BASED PERMANENTLY INSTALLED LIGHT FIXTURES MUST CONTAIN SCREW-BASED J48 (JOINT APPENDIX B) COMPLIANT LAMPS. J48 COMPLIANT LIGHT SOURCES MUST BE MARKED AS "J48-2016" OR "J48-2016-E" "J48-2016-E" LUMINAIRES ARE DEEMED APPROPRIATE FOR USE IN ENCLOSED LUMINAIRES CEC 150.0(K)

**NOTE:** ALL J48 COMPLIANT LIGHT SOURCES IN THE FOLLOWING LOCATIONS ARE CONTROLLED BY VACANCY SENSORS OR DIMMERS (EXCEPTION: CLOSETS LESS THAN 70 S.F. AND HALLWAYS): CEC 150.0(K)(2)

    - i. CEILING RECESSED DOWNLIGHT LUMINAIRES.
    - ii. LED LUMINAIRES WITH INTEGRAL SOURCES.
    - iii. PIN-BASED LED LAMPS (i.e. MR16, AR-11, etc.)
    - iv. GU-24 BASED LED LIGHT SOURCES
  - XIII** BATHROOM LIGHTING PROVIDE AT LEAST ONE FIXTURE IN EACH BATHROOM CONTROLLED BY VACANCY SENSOR. CEC 150.0(K)(2)
  - XIV** LAUNDRY & UTILITY ROOM LIGHTING PROVIDE AT LEAST ONE FIXTURE IN EACH ROOM CONTROLLED BY VACANCY SENSOR. CEC 150.0(K)(2)
  - XV** OUTDOOR LIGHTING ALL OUTDOOR LIGHTING TO BE HIGH EFFICACY & MEET THE REQ'S IN 1 BELOW & THE REQ'S IN EITHER a OR b BELOW
    1. CONTROLLED BY A MANUAL ON & OFF SWITCH THAT DOES NOT OVERRIDE TO "ON" FROM ONE OF THE FOLLOWING
      - a. CONTROLLED BY PHOTOCELL & MOTION SENSOR
      - b. CONTROLS THAT OVERRIDE TO "ON" SHALL NOT BE ALLOWED UNLESS THE OVERRIDE AUTOMATICALLY REACTIVATES THE MOTION SENSOR WITHIN 6 HOURS) OR
    2. CONTROLLED BY ONE OF THE FOLLOWING
      - i. PHOTOCONTROL & AUTOMATIC TIME SWITCH CONTROL
      - ii. ASTRONOMICAL TIME CLOCK
      - iii. ENERGY MANAGEMENT CONTROL SYSTEM

- ALL EXTERIOR LUMINAIRES SHALL BE LABELED "SUITABLE FOR WET LOCATIONS" (SEC. 410.10(A), 2019 CEC)

**NOTE:** ALL CAN LIGHTS TO BE IC AT RATED

**NOTE:** ALL SMOKE & CARBON MONOXIDE ALARMS ARE TO BE INTERCONNECTED
  - XVI** GARAGE & CARPORT LIGHTING PROVIDE AT LEAST ONE FIXTURE IN EACH BATHROOM CONTROLLED BY VACANCY SENSOR. CEC 150.0(K)(2)
- NOTES:**
1. RECESSED LUMINAIRES - LUMINAIRES/LIGHT SOURCES MUST BE MARKED "J48-2016-E" COMPLIANT, BE LISTED AS IC & AT RATED, ACCESSIBLE FROM BELOW BY THE CEILING & CANNOT CONTAIN A SCREW BASED SOCKET (SEC. 150.0(K)(1C), 2019 CA ENERGY CODE)
  2. ADDITIONAL AREAS IN THE HOME (i.e. BEDROOMS, HALLWAYS, STAIRS, DINING ROOMS, ETC.) SHALL HAVE HIGH EFFICACY LIGHTING, OR BE PROVIDED WITH A MANUAL-ON MOTION SENSOR OR DIMMER SWITCH. THE MANUAL-ON MOTION SENSOR MUST TURN OFF AUTOMATICALLY WHEN NO ONE IS PRESENT WITHIN THE ROOM AND BE CAPABLE OF BEING TURNED ON MANUALLY WITH A SWITCH (EXCEPTION: CLOSETS SMALLER THAN 70 S.F. ARE EXEMPT)

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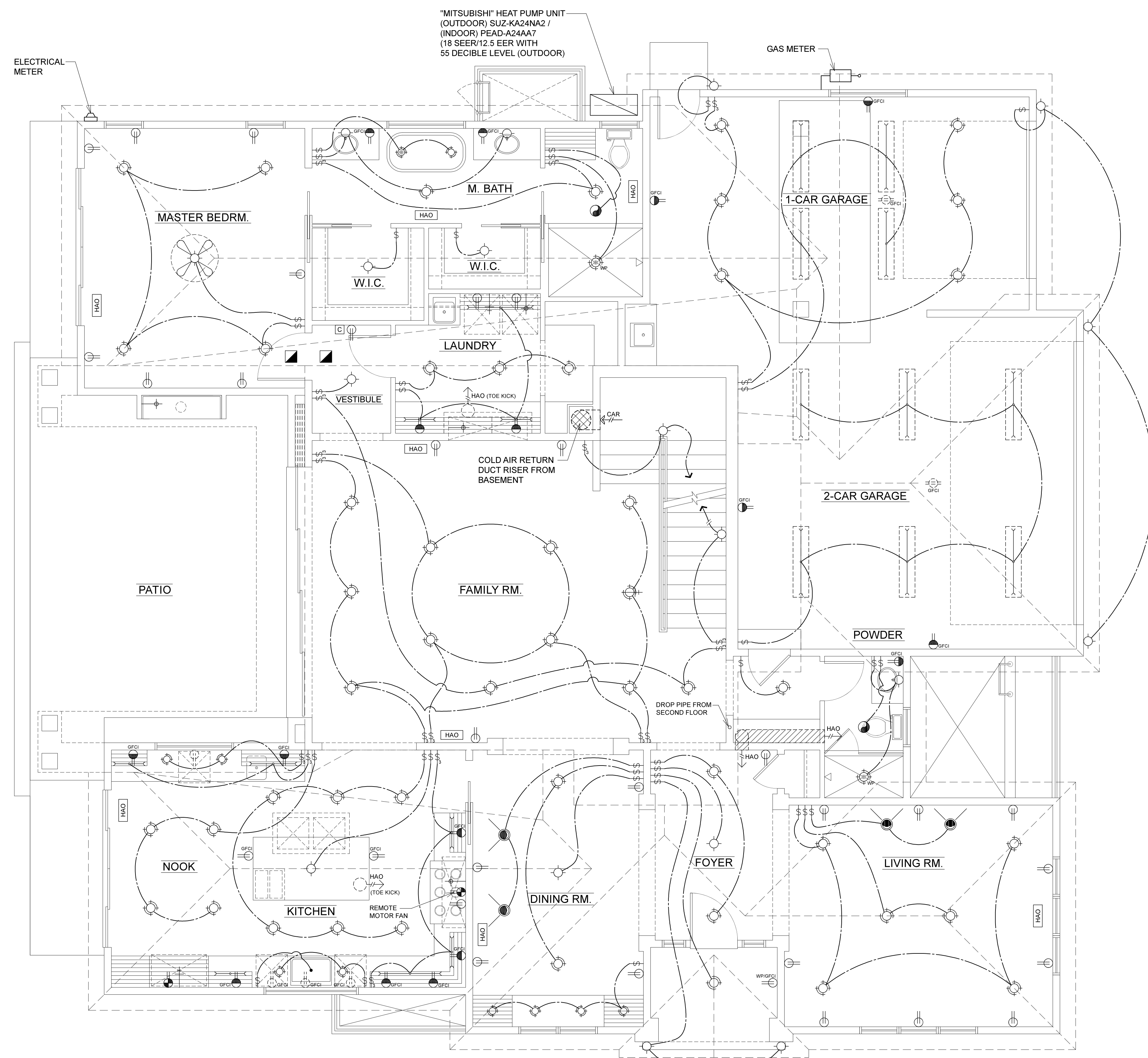
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**SHEET**

**A7.1**





**MAIN FLOOR ELECTRICAL / MECHANICAL PLAN**

1/4" = 1'-0"

**MECHANICAL NOTES**

- A** CODES 2019 C.M.C.
- B** COMBUSTION AIR PROVIDE COMBUSTION AIR @ FURNACE(S) AND WATER HEATER(S) PER CH. 7, C.M.C. 2019
- C** DRYER EXHAUST PROVIDE DRYER EXHAUST VENT (4"Ø MIN. & WITH BACK DRAFT DAMPER) TO EXTERIOR. DRYER MOISTURE EXHAUST DUCT VENT SHALL HAVE A MAX. COMBINED HORIZONTAL & VERTICAL LENGTH OF 14'-0" INCLUDING TWO 90-DEGREE ELBOWS (CMC 504.3.1.2, 2019) OR PER MANUFACTURER'S SPECIFICATIONS
- D** BATHROOM EXHAUST FAN BATHROOM EXHAUST FANS SHALL BE "ENERGY STAR" COMPLIANT AND PROVIDED W/ HUMIDITY CONTROL. CMC SEC. 402.5 & CGBSC SEC 4.506.1
- E** ELEC. DRYERS & RANGES ELECTRIC CLOTHES DRYERS & RANGES SHALL HAVE A 4-WIRE GROUNDED ELECTRICAL OUTLET PER ARTICLE 250.140, C.E.C. 2019

- F** F.A.U. IN ATTIC ALL ATTIC FURNACES SHALL COMPLY W/ SECTION 904.11 & CH. 3, C.M.C. 2019. PROVIDE COMBUSTION AIR PER CH. 7, C.M.C. 2019

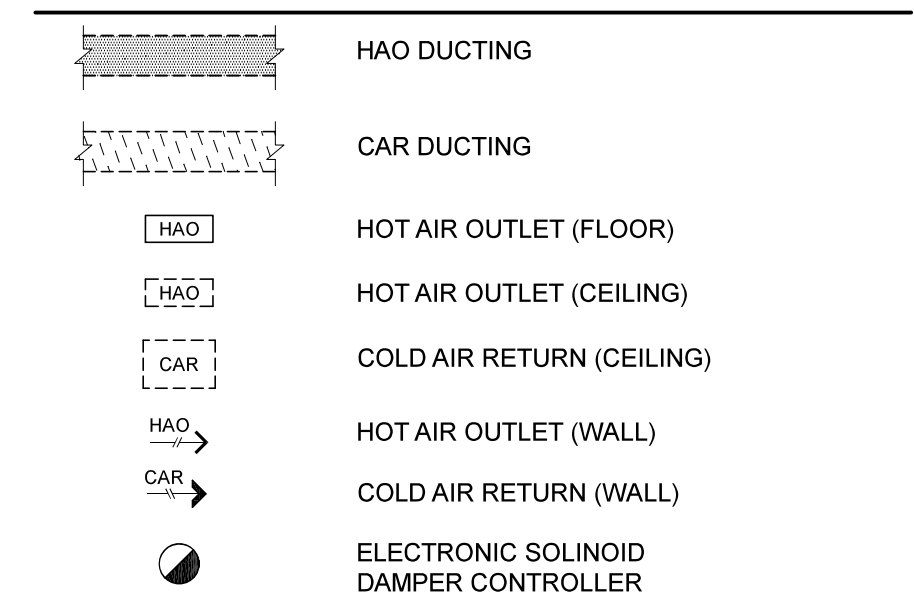
**PLUMBING NOTES**

- G** CODES 2019 C.P.C.
- H** WASTE & DRAIN PIPE MINIMUM 4"Ø DRAINAGE PIPE SHALL BE REQUIRED FOR FOUR OR MORE WATER CLOSET FIXTURES ON THE SAME HORIZONTAL BRANCH OF DRAIN. CPC TABLE 703.2 footnoted#4
- J** VENT PIPE ABS PIPE
- K** HOT & COLD WATER PIPE COPPER - INSULATE HOT WATER LINES
- L** CONTROL VALVES PROVIDE INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC OR COMBINATION PRESSURE BALANCE / THERMOSTATIC MIXING VALVE TYPE @ ALL SHOWER & TUB / SHOWERS PER SECTION 418.0, CPC 2019

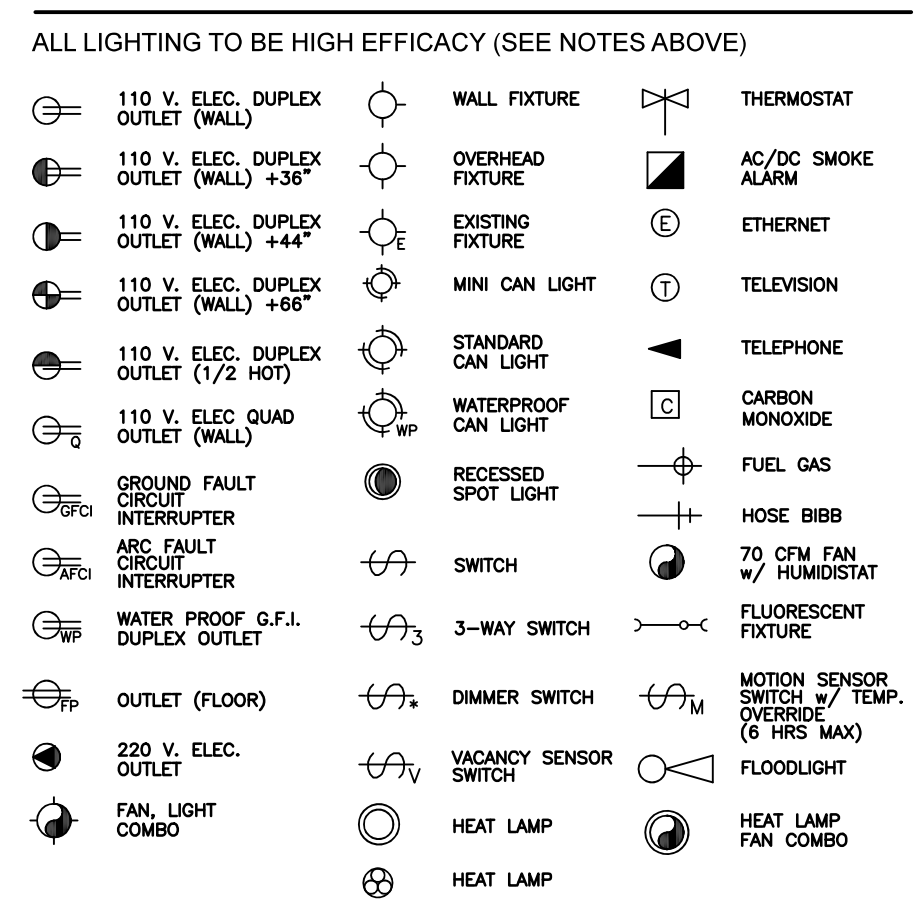
- M** HOSE BIBBS PROVIDE NON-REMOVABLE BACK FLOW PREVENTER PER SECTION 603.2, C.P.C. 2019

NOTE: ALL PLUMBING SHOWN IS SCHEMATIC ONLY. ACTUAL LAYOUT TO BE DETERMINED BY PLUMBING CONTRACTOR

**MECHANICAL LEGEND**



**ELECTRICAL LEGEND**



**ELECTRICAL NOTES**

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- II** GROUND THE INSTALLATION OF A PERMITTED GROUNDING ELECTRODE TYPE AS LISTED IN SEC. 250.52, 2019 CEC, IS REQUIRED
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- VI** SMOKE ALARM INSTALL PER SECTION R314, C.R.C. 2019 - NEW SMOKE ALARMS SHALL BE INTERCONNECTED (SEC. R314.4), RECEIVE THEIR PRIMARY POWER FROM BUILDING WIRING (R314.6) AND SHALL BE EQUIPPED W/ BATTERY BACKUP
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- VIII** DEDICATED BRANCH CIRCUIT ALL NEW/REMODELED BATHROOMS AND LAUNDRY ROOMS TO HAVE A DEDICATED BRANCH CIRCUIT PER ARTICLE 550.12(E), C.E.C. 2019
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  - SMOKE ALARMS INSTALLED WITHIN 20 FT. OF KITCHEN, BATHROOM OR ROOM CONTAINING A FIREPLACE OR WOOD BURNING STOVE SHALL BE OF THE PHOTOELECTRIC TYPE ONLY
  - SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM BUILDING WIRING, BE EQUIPPED WITH BATTERY BACKUP AND BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS
  - FOR PLACEMENT OF SMOKE ALARMS AND CARBON MONOXIDE DETECTORS IN ROOMS WITH VARIATIONS IN CEILING HEIGHT (SLOPED, PITCHED, ETC.), REFER TO THE MANUFACTURERS GUIDELINES FOR PROPER PLACEMENT

**LIGHTING REQUIREMENTS**

- XII** GENERAL LIGHTING ALL LIGHTING AS HIGH EFFICACY (i.e. PIN-BASED CFL, PULSE-START MH, HPS, GU-24 SOCKETS OTHER THAN LEDs, LED LUMINAIRES WITH INTEGRAL SOURCE, etc.) CEC 150.0-A
- XIII** BATHROOM LIGHTING PROVIDE AT LEAST ONE FIXTURE IN EACH BATHROOM CONTROLLED BY VACANCY SENSOR. CEC 150.0(K)2J
- XIV** LAUNDRY & UTILITY ROOM LIGHTING PROVIDE AT LEAST ONE FIXTURE IN EACH ROOM CONTROLLED BY VACANCY SENSOR. CEC 150.0(K)2J
- XV** OUTDOOR LIGHTING ALL OUTDOOR LIGHTING TO BE HIGH EFFICACY & MEET THE REQ'S IN 1 BELOW & THE REQ'S IN EITHER A OR B BELOW

- NOTES:**
  - RECESSED LUMINAIRES - LUMINAIRES/LIGHT SOURCES MUST BE MARKED "JAB-2016" COMPLIANT. BE LISTED AS IC & AT RATED. ACCESSIBLE FROM BELOW THE CEILING & CANNOT CONTAIN A SCREW BASED SOCKET (SEC. 150.0(K)1C, 2019 CA ENERGY CODE)
  - ADDITIONAL AREAS IN THE HOME (i.e. BEDROOMS, HALLWAYS, STAIRS, DINING ROOMS, ETC.) SHALL HAVE HIGH EFFICACY LIGHTING, OR BE PROVIDED WITH A MANUAL-ON MOTION SENSOR OR DIMMER SWITCH. THE MANUAL-ON MOTION SENSOR MUST TURN OFF AUTOMATICALLY WHEN NO ONE IS PRESENT WITHIN THE ROOM AND BE CAPABLE OF BEING TURNED ON MANUALLY WITH A SWITCH (EXCEPTION: CLOSETS SMALLER THAN 70 s.f. ARE EXEMPT)

**NOTE**

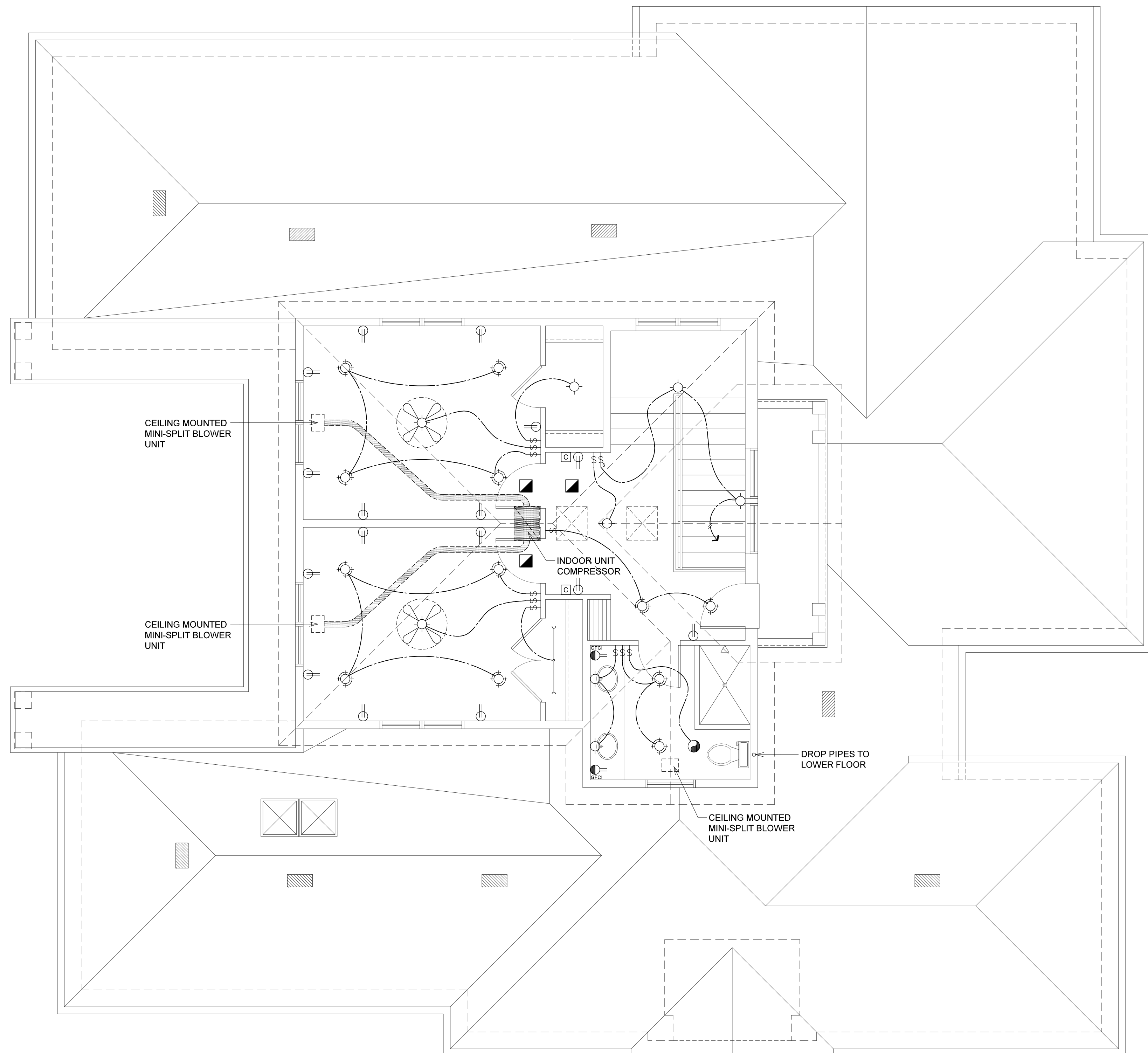
**CLIENT (JOB No. 22124)**

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 620 S. EL MONTE AVENUE  
 LOS ALTOS, CA 94022 (650) 941-8890

**SHEET**  
**A7.2**





**UPPER FLOOR ELECTRICAL & MECHANICAL PLAN**

1/4" = 1'-0"

**MECHANICAL NOTES**

- A** CODES 2019 C.M.C.
- B** COMBUSTION AIR PROVIDE COMBUSTION AIR @ FURNACE(S) AND WATER HEATER(S) PER CH. 7, C.M.C. 2019
- C** DRYER EXHAUST PROVIDE DRYER EXHAUST VENT (4"Ø MIN. & WITH BACK DRAFT DAMPER) TO EXTERIOR. DRYER MOISTURE EXHAUST DUCT VENT SHALL HAVE A MAX. COMBINED HORIZONTAL & VERTICAL LENGTH OF 14'-0" INCLUDING TWO 90-DEGREE ELBOWS (CMC 504.3.1.2, 2019) OR PER MANUFACTURER'S SPECIFICATIONS
- D** BATHROOM EXHAUST FAN BATHROOM EXHAUST FANS SHALL BE "ENERGY STAR" COMPLIANT AND PROVIDED W/ HUMIDITY CONTROL. CMC SEC. 402.5 & CGSBC SEC 4.506.1
- E** ELEC. DRYERS & RANGES ELECTRIC CLOTHES DRYERS & RANGES SHALL HAVE A 4-WIRE GROUNDED ELECTRICAL OUTLET PER ARTICLE 250.140, C.E.C. 2019
- F** F.A.U. IN ATTIC ALL ATTIC FURNACES SHALL COMPLY W/ SECTION 904.11 & CH. 3, C.M.C. 2019. PROVIDE COMBUSTION AIR PER CH. 7, C.M.C. 2019

NOTE: MAKEUP AIR SHALL BE PROVIDED FOR CLOTHES DRYERS IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS

NOTES: - TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS SHALL BE A MIN. 3'-0" FROM ANY OPENINGS INTO THE BUILDING AND 3'-0" FROM PROPERTY LINE. 2019 CMC SECTION 504.5  
 - THE MINIMUM EXHAUST RATE OF THE KITCHEN FAN SHALL BE 100 cfm  
 - THE MINIMUM EXHAUST RATE OF THE BATHROOMS FANS SHALL BE 500 cfm  
 - DUCTS IN THE GARAGE & DUCTS PENETRATING WALLS OR CEILINGS SEPARATING THE GARAGE FROM THE DWELLING SHALL BE CONSTRUCTED OF MINIMUM 26-GAUGE SHEETS METAL & SHALL HAVE NO OPENINGS INTO THE GARAGE

NOTE: ALL DUCTS SHOWN ARE SCHEMATIC ONLY. ACTUAL LAYOUT TO BE DETERMINED BY HVAC CONTRACTOR. PROVIDE MINIMUM CLEARANCES AS REQUIRED BY CODE FOR CRAWL SPACE ACCESS

**PLUMBING NOTES**

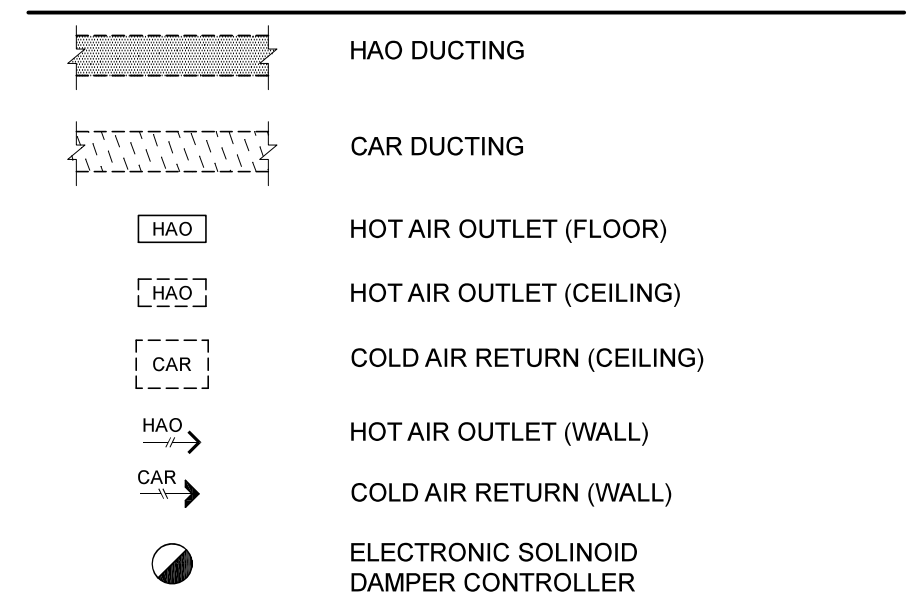
- G** CODES 2019 C.P.C.
- H** WASTE & DRAIN PIPE MINIMUM 4"Ø DRAINAGE PIPE SHALL BE REQUIRED FOR FOUR OR MORE WATER CLOSET FIXTURES ON THE SAME HORIZONTAL BRANCH OF DRAIN. CPC TABLE 703.2 footnoted#4
- SEWER CLEANOUTS SHALL BE INSTALLED PER SEC. 707 & 719 CPC.  
 a. EVERY 100'-0" OF THE 2019 CALIFORNIA PLUMBING CODE.  
 b. AT EACH AGGREGATE HORIZONTAL CHANGE OF DIRECTION EXCEEDING 135°
- NOTE: THE GRADE OF ALL HORIZONTAL DRAINAGE PIPES SHALL NOT BE LESS THAN X" PER FOOT (SEC. 708.1, 2019 CPC)
- J** VENT PIPE ABS PIPE PLUMBING WASTE VENTS SHALL TERMINATE NOT LESS THAN 10'-0" FROM OR NOT LESS THAN 3'-0" ABOVE AN OPERABLE WINDOW, DOOR OPENING, AIR INTAKE OR VENT SHAFT OR NOT LESS THAN 3'-0" IN EVERY DIRECTION FROM A LOT LINE, ALLEY OR STREET (SEC. 909.2, 2019 CPC)
- K** HOT & COLD WATER PIPE COPPER - INSULATE HOT WATER LINES
- L** CONTROL VALVES PROVIDE INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC OR COMBINATION PRESSURE BALANCE / THERMOSTATIC MIXING VALVE TYPE @ ALL SHOWER & TUB / SHOWERS PER SECTION 418.0, CPC 2019
- M** HOSE BIBBS PROVIDE NON-REMOVABLE BACK FLOW PREVENTER PER SECTION 603.2, C.P.C. 2019

ALL PLUMBING AND FITTINGS SHALL MEET THE STANDARDS REFERENCED IN TABLE 1701.1 OF THE 2019 CALIFORNIA PLUMBING CODE. CGSBC SECTION 4.303.2

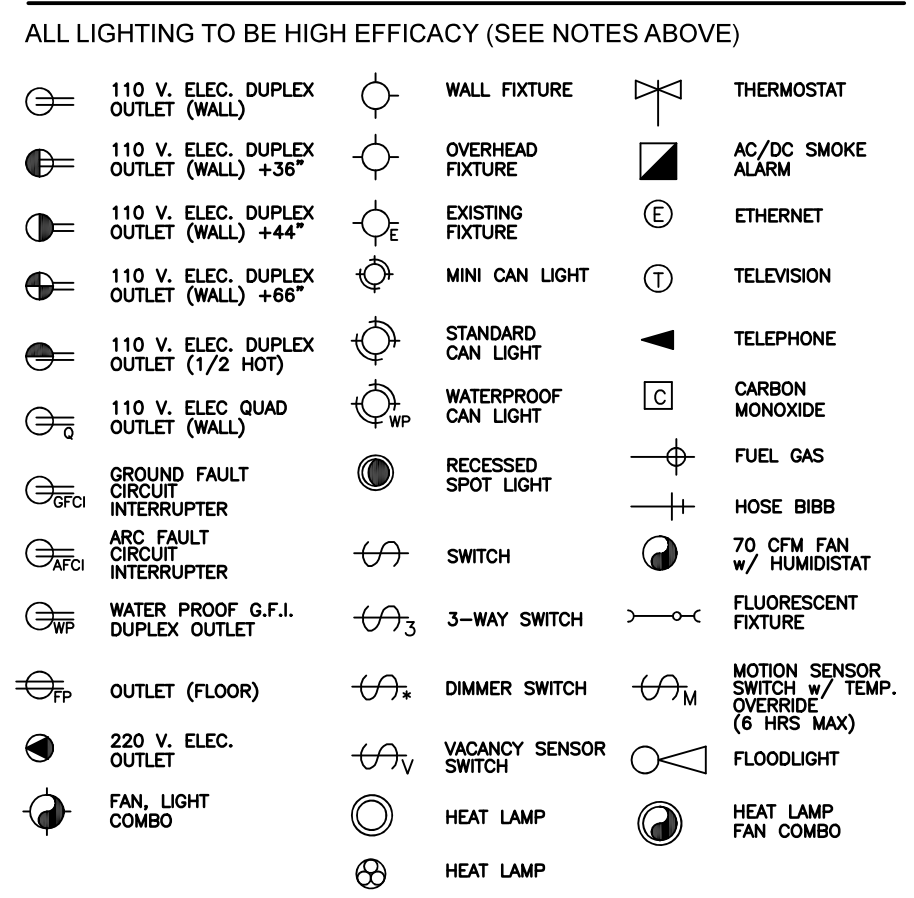
ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLE / BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY, OR SIMILAR ACCEPTABLE METHODS. CGSBC 4.406.1

NOTE: ALL PLUMBING SHOWN IS SCHEMATIC ONLY. ACTUAL LAYOUT TO BE DETERMINED BY PLUMBING CONTRACTOR

**MECHANICAL LEGEND**



**ELECTRICAL LEGEND**



**ELECTRICAL NOTES**

- I** CODES 2019 C.E.C.
- II** GROUND THE INSTALLATION OF A PERMITTED GROUNDING ELECTRODE TYPE AS LISTED IN SEC. 250.52, 2019 CEC, IS REQUIRED
- III** GFCI INSTALL GROUND FAULT CIRCUIT INTERRUPTER OUTLETS @ ALL LOCATIONS AS SPECIFIED IN ARTICLE 210.8(A)(6) C.E.C. 2019
- IV** SERVICE PANEL ELECTRICAL CONTRACTOR TO VERIFY SIZE & LOAD OF EXISTING SERVICE PANEL - UPGRADE IF NECESSARY AND/OR REQUIRED
- V** WIRING ROMEX (OR EQUIVALENT) PER CODE
- VI** SMOKE ALARM INSTALL PER SECTION R314, C.R.C. 2019 - NEW SMOKE ALARMS SHALL BE INTERCONNECTED (SEC. R314.4), RECEIVE THEIR PRIMARY POWER FROM BUILDING WIRING (R314.6) AND SHALL BE EQUIPPED W/ BATTERY BACKUP  
 - THE SMOKE ALARMS SHALL BE LISTED AS COMPLYING WITH UL 217 & INSTALLED ACCORDING TO THE PROVISIONS OF THE CODE AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72
- VII** ARC-FAULT CIRCUIT INTERRUPTER ALL BRANCH CIRCUITS THAT SUPPLY OUTLETS INSTALLED IN DWELLING UNIT KITCHEN, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN'S, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY AN ARC FAULT CIRCUIT INTERRUPTER. CEC 210.12
- VIII** DEDICATED BRANCH CIRCUIT ALL NEW/REMODELED BATHROOMS AND LAUNDRY ROOMS TO HAVE A DEDICATED BRANCH CIRCUIT PER ARTICLE 550.12(E), C.E.C. 2019
- IX** CARBON MONOXIDE ALARMS INSTALL PER SECTION R315.1.2, CRC. 2019. NEW CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM BUILDING WIRING AND SHALL BE EQUIPPED W/ BATTERY BACKUP  
 - CARBON MONOXIDE DETECTORS SHALL BE LISTED AS COMPLYING WITH UL 2034 & INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE MFG'S INSTRUCTIONS (SEC. R315.1.1, 2019 CRC)
- X** TAMPER RESISTANT RECEPTS PER ARTICLE 406.11, C.E.C. 2019. PROVIDE TAMPER RESISTANT RECEPTS IN ALL AREAS SPECIFIED IN ARTICLE 210.52, C.E.C. 2019
- XI** KITCHEN RECEPTACLES AT WALL COUNTER SPACES, PROVIDE A GFCI RECEPTACLE EVERY 4'-0" SO THAT NO POINT ALONG THE WALL LINE IS MORE THAN 24" FROM A RECEPTACLE OUTLET

NOTES: 1. AT LEAST TWO (2) SMALL APPLIANCE BRANCH CIRCUITS SHALL BE PROVIDED TO SERVE ALL OF THE WALL & FLOOR RECEPTACLE OUTLETS IN KITCHENS, PANTRIES, BREAKFAST ROOMS, DINING ROOMS OR OTHER SIMILAR AREAS  
 2. SMOKE ALARMS INSTALLED WITHIN 20 FT. OF A KITCHEN, BATHROOM OR ROOM CONTAINING A FIREPLACE OR WOOD BURNING STOVE SHALL BE OF THE PHOTOELECTRIC TYPE ONLY  
 3. SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING, BE EQUIPPED WITH BATTERY BACKUP AND BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS  
 4. FOR PLACEMENT OF SMOKE ALARMS AND CARBON MONOXIDE DETECTORS IN ROOMS WITH VARIATIONS IN CEILING HEIGHT (SLOPED, PITCHED, ETC.), REFER TO THE MANUFACTURERS GUIDELINES FOR PROPER PLACEMENT

**LIGHTING REQUIREMENTS**

- XII** GENERAL LIGHTING ALL LIGHTING AS HIGH EFFICACY (i.e. PIN-BASED CFL, PULSE-START MH, HPS, GU-24 SOCKETS OTHER THAN LED). LED LUMINAIRES WITH INTEGRAL SOURCE, etc.) CEC 150.0-A
- NOTE: SCREW-BASED PERMANENTLY INSTALLED LIGHT FIXTURES MUST CONTAIN SCREW-BASED JAB (JOINT APPENDIX B) COMPLIANT LAMPS. JAB COMPLIANT LIGHT SOURCES MUST BE MARKED AS "JAB-2016" OR "JAB-2016-E" ("JAB-2016-E" LUMINAIRES ARE DEEMED APPROPRIATE FOR USE IN ENCLOSED LUMINAIRES) CEC 150.0(K)
- NOTE: ALL JAB COMPLIANT LIGHT SOURCES IN THE FOLLOWING LOCATIONS ARE CONTROLLED BY VACANCY SENSORS OR DIMMERS (EXCEPTION: CLOSETS LESS THAN 70 S.F. AND HALLWAYS). CEC 150.0(K)(2):  
 i. CEILING RECESSED DOWNLIGHT LUMINAIRES.  
 ii. LED LUMINAIRES WITH INTEGRAL SOURCES.  
 iii. PIN-BASED LED LAMPS (i.e. MR16, AR-11, etc.)  
 iv. GU-24 BASED LED LIGHT SOURCES
- XIII** BATHROOM LIGHTING PROVIDE AT LEAST ONE FIXTURE IN EACH BATHROOM CONTROLLED BY VACANCY SENSOR. CEC 150.0(K)(2)
- XIV** LAUNDRY & UTILITY ROOM LIGHTING PROVIDE AT LEAST ONE FIXTURE IN EACH ROOM CONTROLLED BY VACANCY SENSOR. CEC 150.0(K)(2)
- XV** OUTDOOR LIGHTING ALL OUTDOOR LIGHTING TO BE HIGH EFFICACY & MEET THE REQ'S IN 1 BELOW & THE REQ'S IN EITHER A OR B BELOW  
 1. CONTROLLED BY A MANUAL ON & OFF SWITCH THAT DOES NOT OVERRIDE TO "ON" FROM ONE OF THE FOLLOWING:  
 a. CONTROLLED BY PHOTOCELL & MOTION SENSOR  
 b. CONTROLS THAT OVERRIDE TO ON SHALL NOT BE ALLOWED UNLESS THE OVERRIDE AUTOMATICALLY REACTIVATES THE MOTION SENSOR WITHIN 6 HOURS) OR  
 c. CONTROLLED BY ONE OF THE FOLLOWING:  
 i. PHOTOCONTROL & AUTOMATIC TIME SWITCH CONTROL  
 ii. ASTRONOMICAL TIME CLOCK  
 iii. ENERGY MANAGEMENT CONTROL SYSTEM  
 - ALL EXTERIOR LUMINAIRES SHALL BE LABELED "SUITABLE FOR WET LOCATIONS" (SEC. 410.10(A), 2019 CEC)  
 NOTE: ALL CAN LIGHTS TO BE IC AT RATED

NOTE: ALL SMOKE & CARBON MONOXIDE ALARMS ARE TO BE INTERCONNECTED

**XVI** GARAGE & CARPORT LIGHTING PROVIDE AT LEAST ONE FIXTURE IN EACH BATHROOM CONTROLLED BY VACANCY SENSOR. CEC 150.0(K)(2)

NOTES: 1. RECESSED LUMINAIRES - LUMINAIRES/LIGHT SOURCES MUST BE MARKED "JAB-2016-E" COMPLIANT. BE LISTED AS IC & AT RATED. ACCESSIBLE FROM BELOW THE CEILING & CANNOT CONTAIN A SCREW BASED SOCKET (SEC. 150.0(K)(1C), 2019 CA ENERGY CODE)  
 2. ADDITIONAL AREAS IN THE HOME (i.e. BEDROOMS, HALLWAYS, STAIRS, DINING ROOMS, ETC.) SHALL HAVE HIGH EFFICACY LIGHTING, OR BE PROVIDED WITH A MANUAL-ON MOTION SENSOR OR DIMMER SWITCH. THE MANUAL-ON MOTION SENSOR MUST TURN OFF AUTOMATICALLY WHEN NO ONE IS PRESENT WITHIN THE ROOM AND BE CAPABLE OF BEING TURNED ON MANUALLY WITH A SWITCH (EXCEPTION: CLOSETS SMALLER THAN 70 S.F. ARE EXEMPT)

**NOTE**

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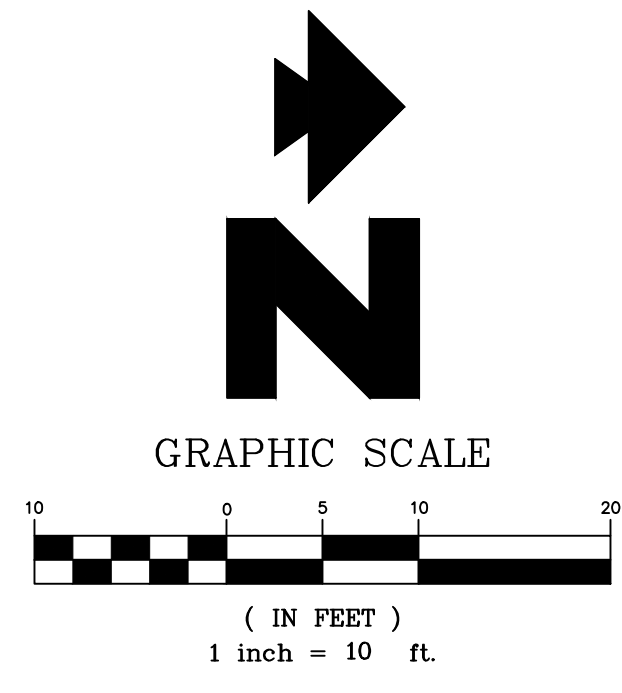
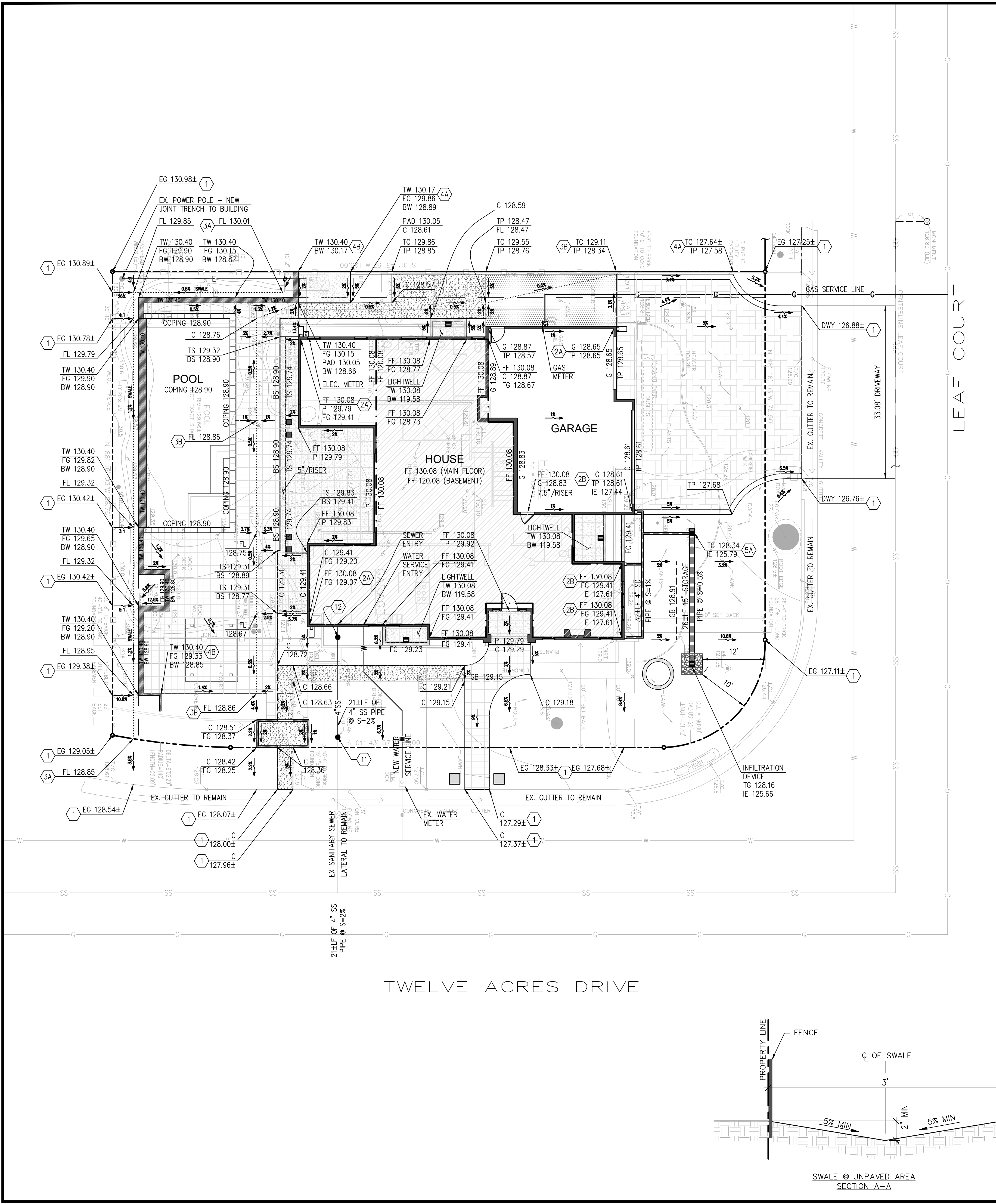
**JOB SITE ADDRESS**

632 LEAF COURT  
 LOS ALTOS, CA 94022

**CHAPMAN DESIGN ASSOCIATES**

620 S. EL MONTE AVENUE  
 LOS ALTOS, CA 94022 (650) 941-8890





PRE & POST DEVELOPMENT PERVIOUS/IMPERVIOUS AREAS:

AREA TYPE	EXISTING (SF)	PROPOSED (SF)
LOT AREA	11,283 SF	11,283 SF
	0.259 ACRE	0.259 ACRE
HOUSE (ROOF)	2,921	3,929
EX SHED	32	0
PATIO/HARDSCAPE/PAVEMENT	2,511	2,119
DRIVEWAY	1,004	1,140
LIGHTWELL	N/A	58
TOTAL IMPERVIOUS AREA	6,468	7,246
NET IMPERVIOUS AREA INCREASED:		778
WOOD DECK	102	N/A
POOL	736	715
PERVIOUS AREA	3,977	3,322
TOTAL PERVIOUS AREA	4,815	4,037

\* INCLUDES BUILDING ROOF OVERHANG AREA

EARTHWORK VOLUME:  
 (INCLUDES BUILDING PAD, BASEMENT & POOL)

EARTHWORK QUANTITIES:	VOLUME (CUBIC YARD)
FILL	20
COMPACTION RATE: 15%	20 x 0.15 = 3
TOTAL FILL	23
CUT	1,045
TOTAL EARTHWORK	1,022 (HAUL OFF)

CONTRACTOR SHALL ESTIMATE THEIR EARTHWORK QUANTITIES WHEN BIDDING ON THIS PROJECT

STORM DRAIN VOLUME CALCULATION:

TIME OF CONCENTRATION = 5 MIN  
 INTENSITY = 10 YEAR = 2.57 IN/HR  
 IMPERVIOUS AREA INCREASED = 778 SF = 0.018 ACRE

PRE-CONDITION  
 C=0.35  
 Q=0.35 X 2.57 X 0.018  
 Q=0.016 CFS

VOLUME REQUIRED:  
 V=1.5(Q POST - Q PRE) X 10 MIN  
 Q=1.5(0.042 - 0.016) X 600  
 Q=23.4 CF

POST-CONDITION  
 C=0.94  
 Q=0.90 X 2.57 X 0.018  
 Q=0.042 CFS

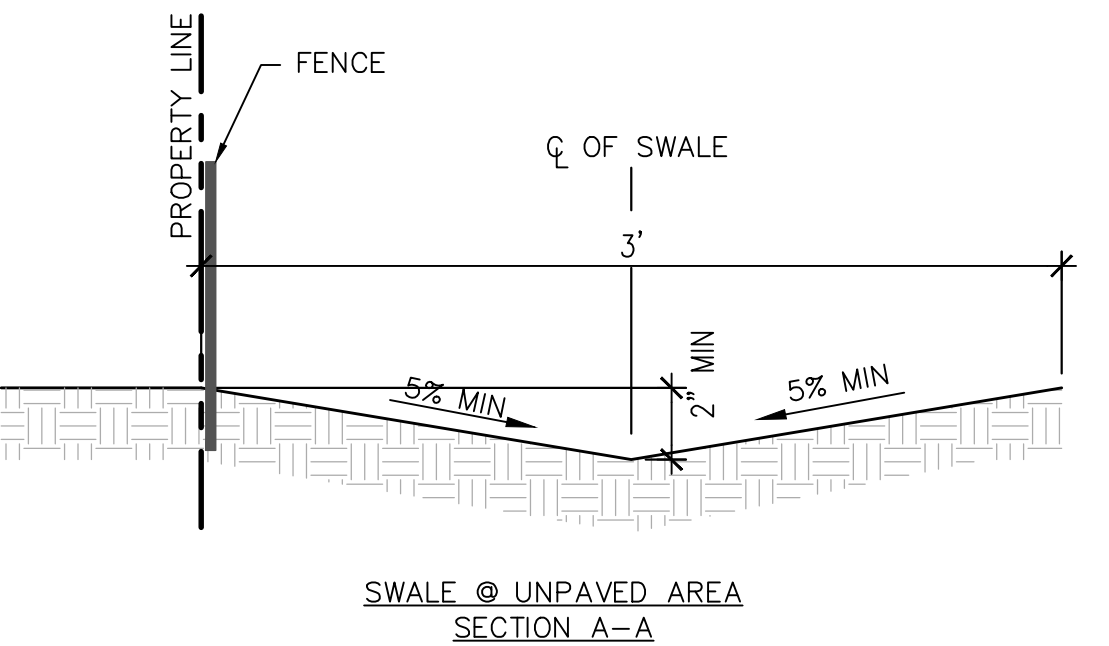
VOLUME PROVIDED:  
 V=26 LF X 15" STORAGE PIPE  
 V=32.0 CF (TOTAL)

- GENERAL NOTES:**
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
  - CONTRACTOR SHALL PROTECT ALL PROPERTY CORNERS.
  - CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
  - CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
  - CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDING FOR ALL NATURAL AND PAVED AREAS.
  - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
  - THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
  - UTILITY VAULTS, TRANSFORMERS, UTILITY CABINETS, CONCRETE BASES, OR OTHER STRUCTURES CANNOT BE PLACED OVER WATER MAINS/SERVICES. MAINTAIN 1' HORIZONTAL CLEAR SEPARATION FROM THE VAULTS, CABINETS & CONCRETE BASES TO EXISTING UTILITIES AS FOUND IN THE FIELD. IF THERE IS CONFLICT WITH EXISTING UTILITIES, CABINETS, VAULTS & BASES SHALL BE RELOCATED FROM THE PLAN LOCATION AS NEEDED TO MEET FIELD CONDITIONS. TREES MAY NOT BE PLANTED WITHIN 10' OF EXISTING WATER MAINS/SERVICES OR METERS. MAINTAIN 10' BETWEEN TREES AND WATER SERVICES, MAINS & METERS.
  - CONTRACTOR SHALL REFER TO ARCH. PLANS FOR EXACT LOCATIONS OF UTILITIES SERVICES TO NEW BUILDING. COORDINATE WITH LOCAL UTILITIES COMPANIES FOR SERVICE CONNECTIONS.
  - ANY DAMAGED RIGHT-OF-WAY INFRASTRUCTURES AND OTHERWISE DISPLACED CURB AND GUTTER SHALL BE REMOVED AND REPLACED AS DIRECTED BY THE CITY ENGINEER OR HIS DESIGNEE. CONTRACTOR SHALL COORDINATE WITH PUBLIC WORKS DEPARTMENT AT (650) 947-2680.
  - GROUND COVER IS PROVIDED IN AREAS WHERE THERE IS EXPOSED SOIL.
  - PRIOR TO THE COMMENCEMENT OF ANY WORK DONE IN THE PUBLIC RIGHT-OF-WAY, A PERMIT TO OPEN STREET AND/OR AN ENCROACHMENT PERMIT WILL BE REQUIRED.

- LEGEND**
- = PROPERTY LINE
  - = STREET CENTER LINE
  - = EX. ROLLED CURB
  - + 50.0 = EX. SPOT ELEVATION
  - = FLOW DIRECTION
  - - - = GRADE BREAK
  - - - = FLOW LINE
  - [Symbol] = INFILTRATION DEVICE
  - [Symbol] = AREA INLET
  - [Symbol] = LIGHTWELL SUMP PUMP
  - [Symbol] = STORM DRAIN PIPE
  - [Symbol] = CONCRETE SPLASH PAD
  - [Symbol] = STORM DRAIN PIPE
  - [Symbol] = LIMIT OF BASEMENT
  - [Symbol] = NEW 4" SEWER LATERAL
  - [Symbol] = SANITARY SEWER CLEANOUT
  - [Symbol] = EXISTING SEWER LINE
  - [Symbol] = NEW WATER SERVICE LINE
  - [Symbol] = EXISTING WATER LINE
  - [Symbol] = EXISTING GAS LINE
  - [Symbol] = NEW ELECTRICAL LINE / JOINT TRENCH

- ABBREVIATIONS:**
- BS = BOTTOM OF STEP
  - BOW = BACK OF WALK
  - BW = BOTTOM OF WALL
  - C = CONCRETE
  - DWY = DRIVEWAY
  - EG = EXISTING GRADE
  - EX = EXISTING
  - FF = FINISHED FLOOR
  - FG = FINISHED GRADE
  - FL = FLOW LINE
  - G = GARAGE
  - GB = GRADE BREAK
  - IE = INVERT ELEVATION
  - L = LAWN
  - LF = LINEAL FOOT
  - LP = LOW POINT
  - N = NEW
  - P = PATIO OR PORCH
  - R.O.W. = RIGHT-OF-WAY
  - S = SLOPE
  - SD = STORM DRAIN
  - SR = STRAW ROLL
  - TC = TOP OF CURB
  - TG = TOP OF GRATE
  - TP = TOP OF PAVEMENT
  - TS = TOP OF STEP
  - TW = TOP OF WALL
  - TYP = TYPICAL

- GRADING NOTES**
- MATCH EXISTING ELEVATION. GRADING LIMIT IS TO PROPERTY LINE. NO GRADING ALLOWED ON ADJACENT PROPERTIES
  - DOWNSPOUT WITH CONCRETE SPLASH PAD
  - RAINWATER LEADER
  - BEGIN/END SWALE. SEE SECTION A-A
  - BEGIN/END DEPRESSED/PAVEMENT SWALE @ MIN S=0.5%. PROVIDE POSITIVE SLOPE TO DRAIN INLET
  - BEGIN/END DEEPEENED CURB
  - BEGIN/END SITE 18" HIGH SEAT WALL. SEE LANDSCAPE PLANS FOR DETAILS
  - 12" END CAP WITH STORM DRAIN CLEANOUT
  - INSTALL SANITARY SEWER CLEANOUT PER CITY OF LOS ALTOS STANDARD DETAIL #SS-6. CLEANOUT PLACEMENT SHALL BE WITHIN 5' OF PROPERTY LINE. CONTRACTOR SHALL FIELD VERIFY THE EXACT SEWER LOCATION AND INVERT ELEVATION PRIOR TO INSTALLATION.
  - INSTALL SANITARY SEWER CLEANOUT WITH BACKFLOW PREVENTION DEVICE. PLACE CLEANOUT 2' OUTSIDE OF BUILDING FOUNDATION.



**GRADING AND DRAINAGE PLAN**  
**MUJICA RESIDENCE**  
**632 LEAF COURT**  
**LOS ALTOS, CA 94022**

**GREEN CIVIL ENGINEERING, INC**  
 INFO@GREEN-CE.COM  
 1900 S. NORFOLK ST. SUITE #350  
 SAN MATEO, CA 94403

REGISTERED PROFESSIONAL ENGINEER  
 CIVIL  
 No. 68629  
 Exp. 9/30/2025  
 STATE OF CALIFORNIA

**SCALE**  
 VERTICAL: 1"= AS SHOWN  
 HORIZONTAL: 1"= AS SHOWN

DATE: 01/19/2022  
 DESIGNED: HCL  
 DRAWN: BL  
 REVIEWED: HCL  
 JOB NO.: 20210050

**SHEET**  
**C1**  
 1 OF 5 SHEET



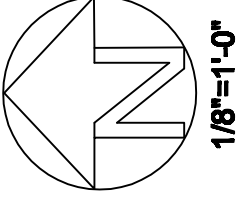
# TOPOGRAPHY

## OF LANDS OF

### ALBERTO & GAYLE MUJICA

632 LEAF COURT - LOS ALTOS, CA. - 12-10-2020

ROGER E. DODGE, LS 3295  
 DODGE ASSOC. SURVEYING  
 20652 CHAPARRAL CIRCLE  
 PENN VALLEY, CA 95946  
 (530)432-5212



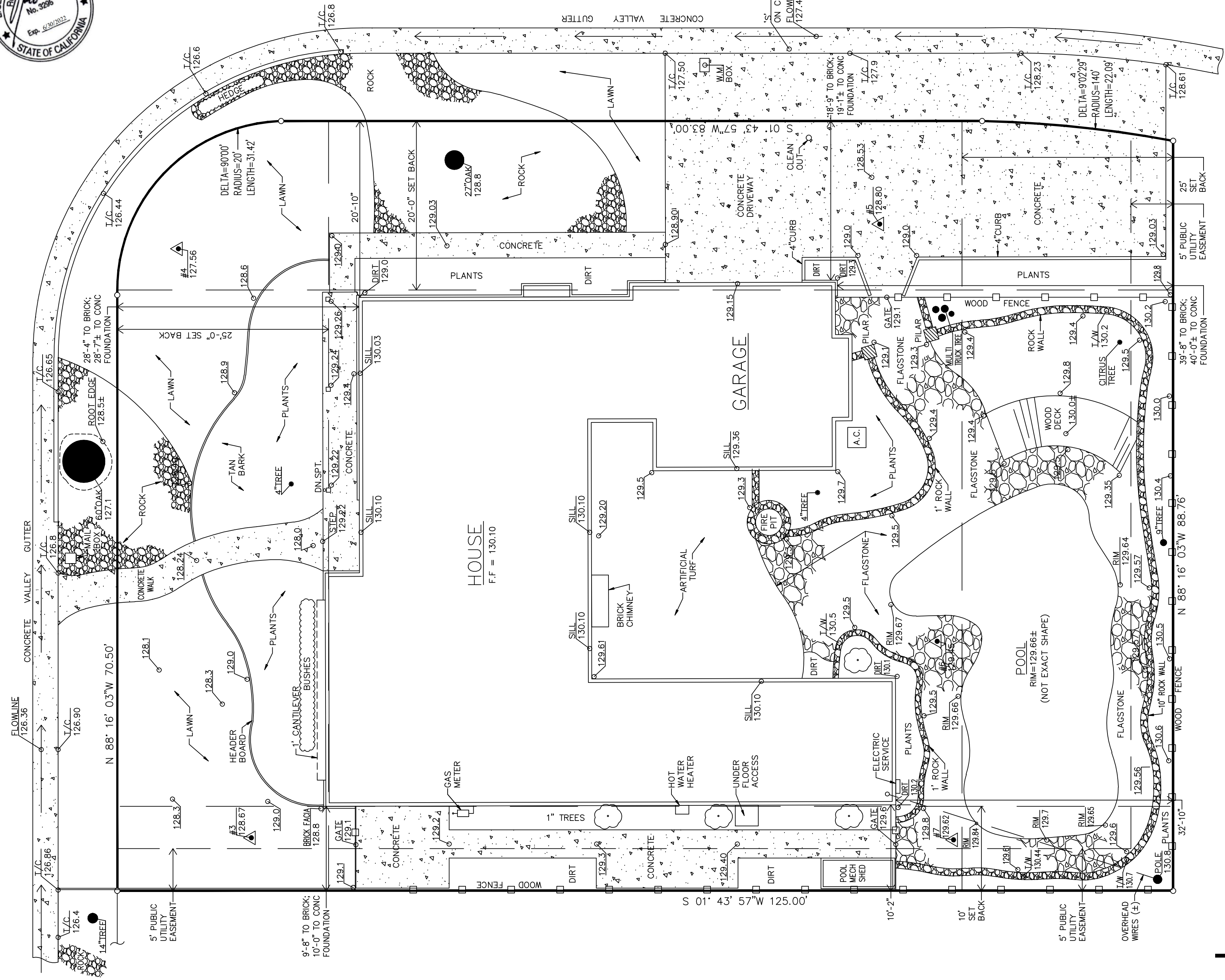
TWELVE ACRES DRIVE

LEAF COURT

MONUMENT  
126.80 (LID)

CENTERLINE LEAF COURT

1/8"=1'-0"



NOTE:  
 NOT ALL UNDERGROUND UTILITY LINES MAY BE SHOWN ON THIS MAP. U.S.A. MUST BE CONTACTED TO DETERMINE LOCATIONS OF ALL UTILITY LINES PRIOR TO ANY DIGGING.

NOTE:  
 EASEMENTS, PLAN LINES, SETBACK LINES AND GEOLOGIC CONDITIONS, IF ANY, AND UNLESS SHOWN, NOT SHOWN.

NOTE:  
 THIS IS A TOPOGRAPHIC MAP NOT A BOUNDARY SURVEY. LINES SHOWN ARE DERIVED FROM RECORD DATA, AND MAY VARY SOMEWHAT FROM ABSOLUTE BOUNDARY LOCATIONS.

NOTE:  
 SET BACKS SHOWN AS PROVIDED BY OWNER. FINAL REVIEW ADVISED BEFORE USAGE.

ELEVATION DATUM:  
 GOOGLE EARTH CRITERIA WAS USED TO PRODUCE ALL ELEVATIONS SHOWN ON THIS MAP. THE MONUMENT BOX LID (SHOWN) WAS TAKEN AS 126.00' IN ACCORDANCE. NOT EXACT SEA LEVEL ELEVATIONS.

LOT AREA:  
 LOT AREA = 11,214 SQ.FT.±  
 HOUSE AREA = 2,373 SQ.FT.±  
 GARAGE AREA = 547 SQ.FT.±

LEGEND  
 T/C = TOP OF CURB  
 T/W = TOP OF WALL  
 F.F. = FINISH FLOOR  
 SILL = F.F. ELEVATION



PLANT LEGEND AND NOTES

Symbol	Species	Size	Water	WUCOLS
[Dotted Pattern]	Sod lawn - 100% dwarf fescue		high	.7
[Vertical Lines]	Ceanothus Carmel Creeper / California Fuchsia @ 48" oc	1 gallon	low	.2
[Cross-hatch]	Heuchera Coral Bells @ 18" oc	1 gallon	low	.3
[Diagonal Lines]	Achillea Moonshine / Yarrow @ 24" oc	1 gallon	low	.3
[Horizontal Lines]	Salvia spicata / Hummingbird Sage @ 36" oc	1 gallon	low	.3
[Grid]	Tulbaghia violacea @ 30" oc	1 gallon	low	.3
[Vertical Lines]	Teucrium prostrata @ 30" oc	1 gallon	low	.3
[Diagonal Lines]	Garden Area			
A	Lavandula Munstead / Lavender	5 gallon	low	.3
B	Salvia Santa Barbara / Sage	5 gallon	low	.3
C	Rosmarinus Tuscan Blue / Rosemary	5 gallon	low	.3
D	Loropetalum Suzanne	5 gallon	low	.3
E	Sarcococca nuscifolia	5 gallon	low	.3
F	Cotinus Golden Spirit	15 gallon	low	.3
G	Polystichum munitum / Sword Fern	5 gallon	low	.3
H	Prunus carolina dwarf / Carolina Laurel	5 gallon	low	.3
I	Lomandra Little Preeze	1 gallon	low	.3
J	Diets vegeta / Fortnight Lily	5 gallon	low	.3
T1	Lagerstroemia Tuscorora / Grape Myrtle	24" box	low	.3
T2	Cotinus Royal Purple / Smoke Tree	15 gallon	low	.3
T3	Pistachia Keith Davau / Chinese Pistache	24" box	low	.3
T4	Fruit tree to be determined			

- 1) Protect existing trees to remain throughout construction. See arborist report for protection measures.
- 2) Soil to be thoroughly prepared prior to planting. This includes breaking up hardpan created by construction of the new home.
- 3) Incorporate 4 cu of compost per 1000 sf, 6" into native soil.
- 4) Verify layout of new planting in field.
- 5) Spread 3" of wood chip mulch (tbl) after planting.
- 6) I have complied with the criteria of the Water Efficient Landscape Ordinance and applied it to the design of the landscape.



CEANOTHUS HEUCHERA ACHILLEA SALVIA



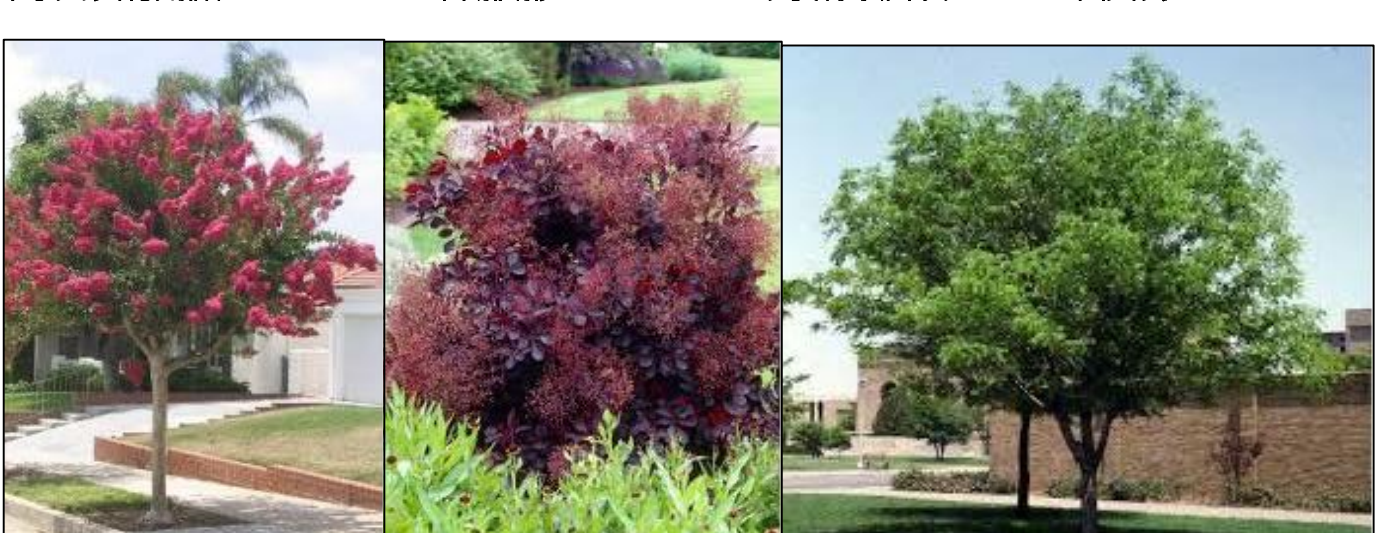
TULBAGHIA TEUCRIUM LAVANDULA SALVIA



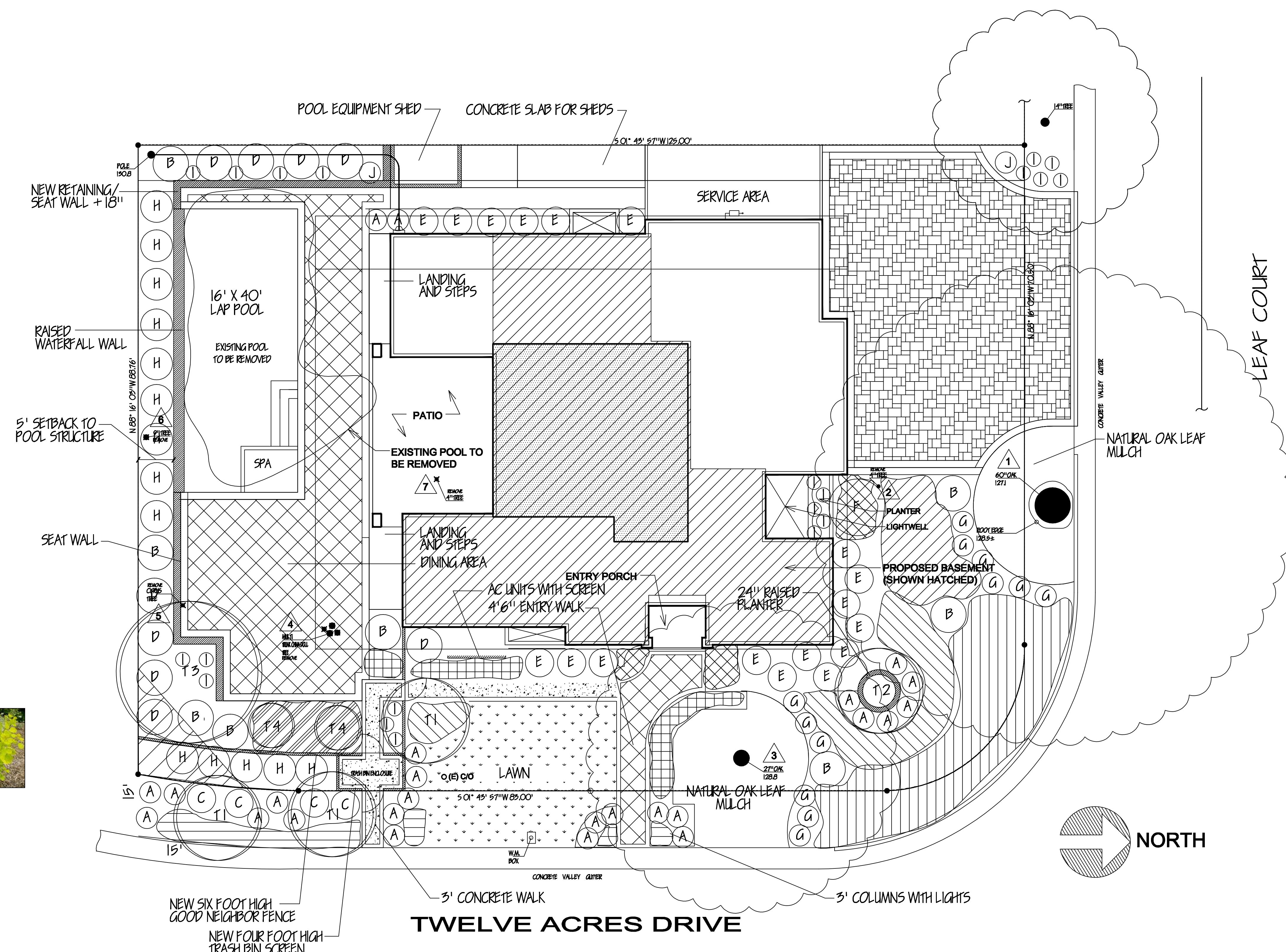
ROSMARINUS LOROPETALUM SARCOCOCCA COTINUS



POLYSTICHUM PRUNUS LOMANDRA DIETS



LAGERSTROEMIA COTINUS PISTACHIA



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- REVISED 12/29/21
- REVISED 1/24/22
- REVISED 1/27/22
- REVISED 1/29/22
- REVISED 2/11/22
- REVISED 2/14/22
- REVISED 2/17/22
- REVISED 3/29/22
- REVISED 3/31/22
- REVISED 4/1/22
- REVISED 4/14/22



MUJICA RESIDENCE

for:  
GAYLE AND FERNANDO MUJICA  
632 LEAF CT.  
LOS ALTOS, CA. 94022

MASTER PLANTING PLAN

date: 12/27/21  
scale: NOTED  
drawn by: WJH  
job no. 202193  
sheet

L 1  
of 8 sheets

MASTER PLANTING PLAN

1/8" = 1'-0"