



DESIGN REVIEW COMMISSION MEETING MINUTES

7:00 PM - Wednesday, June 15, 2022

Telephone/Video Conference Only

CALL MEETING TO ORDER

At 7:00 p.m. Chair Blockhus called the meeting to order.

ESTABLISH QUORUM

PRESENT: Chair Blockhus, Vice-Chair Ma, Commissioners Bishop (arrived at 7:02 PM due to technical issues), Harding and Kirik

STAFF: Senior Planner Gallegos and Associate Planner Healy

PUBLIC COMMENTS ON ITEMS NOT ON THE AGENDA

None.

ITEMS FOR CONSIDERATION/ACTION

CONSENT CALENDAR

1. **Design Review Commission Minutes**
Approve minutes of the regular meeting of June 1, 2022.

Action: Upon a motion by Commissioner Harding, seconded by Vice-Chair Ma, the Commission approved the minutes of the regular meeting of June 1, 2022 as written.

The motion was approved (5-0) by the following vote:

AYES: Blockhus, Bishop, Harding, Kirik, and Ma

NOES: None

PUBLIC HEARING

2. **SC21-0051, V22-0001 & ADU21-0090 – Khurram Iqbal – 899 Madonna Way**
Variance to encroach into the daylight plane for the R1-10 Zoning district and Design Review for a 4,023 square-foot new two-story house. The project includes a 2,528 square-foot addition at the first story and a 1,495 square-foot addition at the second story. The project also includes an 849 square-foot attached accessory dwelling unit, which is not part of the design review application. This project is categorically exempt from environmental review under Section 15301 of the California Environmental Quality Act. *Project Planner: Gallegos*

Vice-Chair Ma recused himself due to a business relationship with the party related to the project.

STAFF PRESENTATION

Senior Planner Gallegos presented the staff report recommending approval of design review and variance applications SC22-0009 and V22-0001 subject to the listed findings and conditions.

APPLICANT PRESENTATION

Applicant Khurram Iqbal provided a project presentation and answered clarifying questions from Commissioners Harding, Kirik, Bishop and Chair Blockhus.

PUBLIC COMMENT

Residents Polly Siegel and Joyce Ng commented on the project.

Chair Blockhus closed the public comment period.

Commissioner discussion then proceeded.

Action: Motion by Commissioner Kirik to approve variance application V22-0001 per the staff report findings and conditions.

Commissioner Kirik withdrew his motion.

Action: Upon a motion by Commissioner Kirik, seconded by Commissioner Harding, the Commission continued design review and variance applications SC21-0051 and V22-0001 with the following direction:

- The applicant shall come back with further details in the plans addressing the retaining walls and safety concerns of the retaining walls in the front yard and at the street.
- The applicant shall further develop the landscape plan to show walkways and steps from the frontage to the ADU.
- The applicant shall provide further detailing on both the upper and lower decks.
- The applicant shall revise the plans to show how the retaining wall will work in the easement area, specifically the sewer easement, and evaluate whether backing up and turning around will work there.
- Staff will require a construction management plan.

The motion was approved (4-0) by the following vote:

AYES: Blockhus, Bishop, Harding, and Kirik

NOES: None

RECUSED: Ma

Vice-Chair Ma rejoined the meeting for the remainder of the agenda items.

DISCUSSION ITEMS

3. SC22-0009 – Kyle Chan – 629 Benvenue Avenue

Design review for a new 3,564 square-foot two-story single-family residence. The project includes 2,477 square feet on the first story and 1,087 square feet on the second story. This project is categorically exempt from environmental review under Section 15303 of the California Environmental Quality Act. *Project Manager: Healy. THIS ITEM WAS CONTINUED FROM THE JUNE 1, 2022 DRC MEETING.*

STAFF PRESENTATION

Associate Planner Healy presented the staff report recommending approval of design review application SC22-0009 subject to the listed findings and conditions.

APPLICANT PRESENTATION

Applicant and project architect, Kyle Chan provided a project presentation and answered clarifying questions from Commissioner Kirik and Chair Blockhus.

PUBLIC COMMENT

None.

Chair Blockhus closed the public comment period.

Commissioner discussion then proceeded.

Action: Upon a motion by Commissioner Harding, seconded by Vice-Chair Ma, the Commission approved design review application SC22-0009 subject to the staff report findings and conditions.

The motion was approved (5-0) by the following vote:

AYES: Blockhus, Bishop, Harding, Kirik, and Ma

NOES: None

4. **SC22-0002 – Walter Chapman – 632 Leaf Court**

Design review for a new 3,878 square-foot two-story single-family residence. The project includes 3,171 square feet on the first story and 707 square feet on the second story. This project is categorically exempt from environmental review under Section 15303 of the California Environmental Quality Act. *Project Planner: Healy*

STAFF PRESENTATION

Associate Planner Healy presented the staff report recommending approval of design review application SC22-0002 subject to the listed findings and conditions and answered questions from Vice-Chair Ma and Commissioners Kirik and Bishop.

APPLICANT PRESENTATION

Applicant and project designer, Walter Chapman provided a project presentation and answered clarifying questions from Commissioner Kirik, Vice-Chair Ma, and Chair Blockhus.

PUBLIC COMMENT

Residents Mark Beckstead, Kevin Vanderbeak, Mrs. Beckstead, and Amy Lynch commented on the project.

Chair Blockhus closed the public comment period.

The property owners Fernando and Gayle Mujica responded to the Public Comments.

Commissioner discussion then proceeded.

Action: Upon a motion by Commissioner Kirik, seconded by Commissioner Harding, the Commission continued design review application SC22-0002 with the following direction:

- Provide a certified arborist report addressing the condition of the impacts of the basement and driveway, including a shoring plan, on the 60-inch Oak tree and Magnolia tree.

- No driveway width in excess of the average driveway curb cuts on Leaf Court shall be allowed.
- Address the plate height.

The motion was approved (5-0) by the following vote:

AYES: Blockhus, Bishop, Harding, Kirik, and Ma

NOES: None

COMMISSIONERS' REPORTS AND COMMENTS

Chair Blockhus said he will not be in attendance for the DRC meeting on July 20, 2022.

Commissioner Kirik and Vice-Chair Ma reported on their progress on the SB9 subcommittee feedback.

POTENTIAL FUTURE AGENDA ITEMS

Senior Planner Gallegos stated that the next few meetings have full agendas and polled the Commissioners for attendance for the July 2022 DRC meetings.

ADJOURNMENT

Chair Blockhus adjourned the meeting at 9:40 PM.

Sean Gallegos
Senior Planner

ATTACHMENT B



DATE: June 15, 2022

AGENDA ITEM #4

TO: Design Review Commission
FROM: Nazaneen Healy, Associate Planner
SUBJECT: SC22-0002 – 632 Leaf Court

RECOMMENDATION:

Consider design review application SC22-0002 subject to the listed findings and conditions

PROJECT DESCRIPTION

This is a design review application for a new 3,878 square-foot two-story single-family residence. The project includes 3,171 square feet on the first story and 707 square feet on the second story. This project is recommended to be considered categorically exempt from further environmental review under Section 15303 of the California Environmental Quality Act since it involves the construction of one single-family residence in an area zoned for residential uses. The following table summarizes the project's technical details:

GENERAL PLAN DESIGNATION: Single-Family, Small Lot
ZONING: R1-10
PARCEL SIZE: 11,282 square feet
MATERIALS: Composition roof; fiber cement horizontal siding; aluminum clad wood framed windows; wood window trim

	Existing	Proposed	Allowed/Required
COVERAGE:	2,949 square feet	3,332 square feet	3,384 square feet
FLOOR AREA:	2,949 square feet	3,878 square feet	3,878 square feet
SETBACKS:			
Front	25 feet	25 feet	25 feet
Rear	32.9 feet	33.1 feet	25 feet
Right (Interior) side(1 st /2 nd)	10 feet	10.5 feet/28 feet	10 feet/17.5 feet
Left (Exterior) side (1 st /2 nd)	19.1 feet	20.3 feet/35.1 feet	20 feet/20 feet
HEIGHT:	12.5 feet	25.9 feet	27 feet

BACKGROUND

Neighborhood Context

The subject property is located at the corner of Leaf Court and Twelve Acres Drive on the southern side of Leaf Court. The surrounding neighborhood is considered a Consistent Character Neighborhood as defined in the City's Residential Design Guidelines with similar characteristics of house style, type, setbacks, and streetscape character. The neighborhood consists of primarily one-story Ranch homes, but two-story homes are located adjacent to the subject home to the west, across Leaf Court, and across Twelve Acres Drive. The landscape along the street is varied with no street tree pattern but most properties include at least one medium to large tree in the front yard and many large oak trees in the vicinity.

DISCUSSION

Design Review

According to the Design Guidelines, in Consistent Character Neighborhoods, good neighbor design has design elements, materials, and scale found within the neighborhood and the emphasis should be on designs that fit in and lessen abrupt changes.

As depicted in the design plans (Attachment F), the applicant proposes to demolish the existing 2,949 square foot one-story residence and replace it with a two-story residence (proposed front elevation to the right). Based on the lot dimensions as a corner lot pursuant to Los Altos Municipal Code (LAMC) Section 14.02.070, the front lot line is located along Leaf Court and the exterior side along Twelve Acres Drive, though the design locates the entry door facing Twelve Acres Drive. The proposed setbacks meet or exceed the required setbacks for the R1-10 zoning district. Please refer to the table above for more specific setbacks proposed and as required pursuant to the R1-10 Zoning District Standards found in LAMC Chapter 14.06.



Front View (Leaf Court)



Exterior Side View (Twelve Acres Drive)

Similar to the existing two-story homes nearby, the proposed design includes a relatively small second-story footprint (707 square feet) compared to the first floor (3,171 square feet). The second floor is also set back considerably from the first floor on all sides which helps minimize the appearance of bulk consistent with the Design Guidelines. That said, the proposed first floor plate heights and second floor plate heights range from 9'-0" to 10'-0" and 9'-0" to 9'-9" respectively. The DRC may want to discuss whether reducing the height of the proposed plate heights would improve compatibility with the surrounding neighborhood.

Section 5.6 of the Design Guidelines calls for avoiding designs that make the garage a focal point and provides several methods for reducing the prominence of a garage, some of which have been

incorporated into the proposed design including offsetting the building walls to break up the façade of the three-car garage and using hipped roof forms. If the DRC is concerned with the visual impact of the garage, the DRC may want to discuss additional methods that may improve the design such as setting back the front of the garage from the front of the home and/or lowering the plate height.

The proposed building materials include composition roofing, fiber cement horizontal siding, aluminum clad wood framed windows, and wood window trim, which are found within or compatible with the surrounding neighborhood. A materials board is provided as Attachment E.

Privacy

With regards to privacy, Section 5.3 of the Design Guidelines calls for careful design to prevent unreasonable privacy impacts on adjacent properties, in particular from second story sightlines. The proposed design includes a balcony facing Leaf Court configured to limit views of the west neighbor's home and side/rear yards. The second story side-facing bedroom windows are 4'-6" above the finished floor and the interior side includes a larger window 6'-0" above the stair landing. The second story bedroom windows on the rear façade are 3'-6" above the finished floor. To minimize the perception of privacy impacts, the recommended conditions of approval include a requirement to extend the proposed rear yard screen tree plantings along the rear property line to the planting area along the interior side property line (Condition of Approval No. 3).

As conditioned, staff finds the proposed residence to be in compliance with the R1-10 zoning district development standards, the Single-Family Residential Design Guidelines, and the design review findings pursuant to LAMC Section 14.76.060.

Landscaping and Trees

As depicted on the site plan, there are five existing trees on the subject property and two within the public right-of-way:

- One 60" Oak tree and one 14" Magnolia tree are located within the public right-of-way and indicated to remain. Future removal would require a tree removal permit from the Public Works Department.
- One 27" Oak tree located in the exterior side yard is protected based on its size (over 48" in circumference/15" in diameter) and is proposed to remain.
- The remaining trees are located in the rear yard, not protected based on their size, and are proposed for removal.

The recommended conditions of approval pertaining to trees include implementation of the City standard tree protection measures during construction for all trees to remain and a shoring plan for the basement excavation that minimizes potential impacts to the protected trees (Conditions of Approval No. 3 and 4).

The landscaping plan proposes new screening plants along the rear of the property, in addition to trees, shrubs, and groundcovers throughout and a turf area in the exterior side yard. The new landscaping will need to satisfy the Water Efficient Landscape Ordinance requirements since it exceeds the 500 square-foot landscaping threshold for new residences (Conditions of Approval No. 12 and 16).

ENVIRONMENTAL REVIEW

This project should be considered categorically exempt from environmental review under Section 15303 of the California Environmental Quality Act because it involves the construction of one single-family residence on an existing lot in an area zoned for residential uses.

PUBLIC NOTIFICATION AND CORRESPONDENCE

A public meeting notice was posted on the property and mailed to 10 property owners in the immediate vicinity (Attachment A). The applicant's outreach efforts to neighbors is provided in Attachment B. The applicant also posted the public notice sign (24" x 36") in conformance with the Planning Division posting requirements, as shown in Attachment C. Public Comments submitted to the City are included in Attachment D.

Cc: Walter Chapman, Applicant
Fernando and Patricia Mujica, Property Owner

Attachments:

- A. Public Notification Map
- B. Applicant Outreach
- C. Public Notice Poster
- D. Public Comments
- E. Materials Board
- F. Design Plans

FINDINGS

SC22-0002 – 632 Leaf Court

With regard to the new two-story single-family residence, the Design Review Commission finds the following in accordance with Section 14.76.060 of the Municipal Code:

- a. The proposed residence complies with all provisions of this chapter;
- b. The height, elevations, and placement on the site of the new residence, when considered with reference to the nature and location of residential structures on adjacent lots, will avoid unreasonable interference with views and privacy and will consider the topographic and geologic constraints imposed by particular building site conditions;
- c. The natural landscape will be preserved insofar as practicable by minimizing tree and soil removal; grade changes shall be minimized and will be in keeping with the general appearance of neighboring developed areas;
- d. The orientation of the proposed new residence in relation to the immediate neighborhood will minimize the perception of excessive bulk and mass;
- e. General architectural considerations, including the character, size, scale, and quality of the design, the architectural relationship with the site and other buildings, building materials, and similar elements have been incorporated in order to insure the compatibility of the development with its design concept and the character of adjacent buildings; and
- f. The proposed residence has been designed to follow the natural contours of the site with minimal grading, minimum impervious cover, and maximum erosion protection.

CONDITIONS OF APPROVAL

SC22-0002 – 632 Leaf Court

GENERAL

1. Expiration

The Design Review Approval will expire on June 15, 2024 unless prior to the date of expiration, a building permit is issued, or an extension is granted pursuant to Section 14.76.090 of the Zoning Code.

2. Approved Plans

The approval is based on the plans and materials received on April 18, 2022, except as may be modified by these conditions.

3. Plan Revisions

Update the construction drawings as follows:

- a. On the Site Plan and Landscape Plans modify the location of the 6-foot tall fencing proposed along the exterior side property line to provide the 15-foot sight triangle required for an adjacent property's driveway within 15 feet pursuant to LAMC Section 14.72.020.
- b. On the Landscape Plans extend the proposed rear yard screen tree plantings along the rear property line to the planting area along the interior side property line.
- c. On the Basement Floor Plan add a note indicating: "Wet bar. This area shall not be used as a kitchen. No cooking appliances shall be installed or used in this area."
- d. On the Basement Floor Plan label the mechanical room and storage room as nonhabitable space.
- e. Provide a Shoring Plan for the basement excavation that minimizes potential impacts to the protected trees. The shoring plan shall identify the locations of vertical cuts, slopes, and stitch/shoring piers in relation to the protected trees and cross section detail(s) of the shoring. If potential impacts to trees are identified which include excavation within two-thirds of the dripline, an arborist evaluation may be required to provide recommended design or mitigation measures to reduce impacts to trees.

4. Protected Trees

- a. The existing 27" Oak tree in the exterior side yard and new screening trees shall be protected under this application and cannot be removed without a tree removal permit from the Community Development Director. The City standard tree protection measures and any additional measures recommended by an arborist shall be implemented during construction for all trees to remain.
- b. The existing 60" Oak tree and 14" Magnolia tree are located within the public right-of-way cannot be removed without a tree removal permit from the Public Works

Department. The City standard tree protection measures and any additional measures recommended by an arborist shall be implemented during construction.

5. Tree Removal Approved

The four existing rear yard trees are hereby approved for removal. Tree removal shall not occur until a building permit is submitted and shall only occur after issuance of a demolition permit or building permit. Exceptions to this condition may be granted by the Community Development Director upon submitting written justification.

6. Encroachment Permit

An encroachment permit shall be obtained from the Engineering Division prior to doing any work within the public right-of-way including the street shoulder. All work within the public street right-of-way shall be in compliance with the City's Shoulder Paving Policy.

7. New Fireplaces

Only gas fireplaces, pellet fueled wood heaters or EPA certified wood-burning appliances may be installed in all new construction pursuant to Chapter 12.64 of the Municipal Code.

11. Swimming Pool

The proposed pool and associated equipment require a separate building permit and are subject to the City's standards including setbacks and an enclosed noise attenuating structure pursuant to Section 14.06.120 and Chapter 14.15.

12. Landscaping

The project shall be subject to the City's Water Efficient Landscape Ordinance (WELo) pursuant to Chapter 12.36 of the Municipal Code if over 500 square feet or more of new landscape area, including irrigated planting areas, turf areas, and water features is proposed. Existing landscape areas shall be maintained before and during construction or shall be replaced in compliance with the WELo and to the satisfaction of the Planning Division.

13. Underground Utility and Fire Sprinkler Requirements

Additions exceeding fifty (50) percent of the existing living area (existing square footage calculations shall not include existing basements) and/or additions of 750 square feet or more shall trigger the undergrounding of utilities and new fire sprinklers. Additional square footage calculations shall include existing removed exterior footings and foundations being replaced and rebuilt. Any new utility service drops are pursuant to Chapter 12.68 of the Municipal Code.

14. Indemnity and Hold Harmless

The applicant/owner agrees to indemnify, defend, protect, and hold the City harmless from all costs and expenses, including attorney's fees, incurred by the City or held to be the liability of the City in connection with the City's defense of its actions in any proceedings brought in any State or Federal Court, challenging any of the City's action with respect to the applicant's project. The City may withhold final maps and/or permits, including temporary or final occupancy permits, for failure to pay all costs and expenses, including attorney's fees, incurred by the City in connection with the City's defense of its actions.

INCLUDED WITH THE BUILDING PERMIT SUBMITTAL

15. Conditions of Approval

Incorporate the conditions of approval into the title page of the plans.

16. Water Efficient Landscape Plan

Provide a landscape documentation package prepared by a licensed landscape professional showing how the project complies with the City's Water Efficient Landscape Regulations and include signed statements from the project's landscape professional and property owner.

17. Tree Protection Note

On the grading plan and the site plan, show all tree/landscape protection fencing consistent with City standards and add the following note: "All tree protection fencing shall be chain link and a minimum of five feet in height with posts driven into the ground." Depict any additional tree protection measures indicated in an arborist report.

18. Reach Codes

Building Permit Applications submitted on or after January 14, 2021 shall comply with specific amendments to the 2019 California Green Building Standards for Electric Vehicle Infrastructure and the 2019 California Energy Code as provided in Ordinances Nos. 2020-470A, 2020-470B, 2020-470C, and 2020-471 which amended Chapter 12.22 Energy Code and Chapter 12.26 California Green Building Standards Code of the Los Altos Municipal Code. The building design plans shall comply with the standards and the applicant shall submit supplemental application materials as required by the Building Division to demonstrate compliance.

19. Green Building Standards

Provide verification that the house will comply with the California Green Building Standards pursuant to Chapter 12.26 of the Municipal Code and provide a signature from the project's Qualified Green Building Professional Designer/Architect and property owner.

20. Air Conditioner Sound Rating

The plans shall show the location of any air conditioning unit(s) on the site plan including the model number of the unit(s) and nominal size of the unit. The Applicant shall provide the manufacturer's specifications showing the sound rating for each unit. The air conditioning units must be located to comply with the City's Noise Control Ordinance (Chapter 6.16) and in compliance with the Planning Division setback provisions. The units shall be screened from view of the street.

21. Off-haul Excavated Soil

The grading plan shall show specific grading cut and/or fill quantities. Cross section details showing the existing and proposed grading through at least two perpendicular portions of the site or more shall be provided to fully characterize the site. A note on the grading plans should state that all excess dirt shall be off-hauled from the site and shall not be used as fill material unless approved by the Building and Planning Divisions.

22. Storm Water Management

The Plans shall show how the project is in compliance with the New Development and Construction Best Management Practices and Urban Runoff Pollution Prevention program, as adopted by the City for the purposes of preventing storm water pollution (i.e. downspouts directed to landscaped areas, minimize directly connected impervious areas, etc.).

23. California Water Service Upgrades

The Applicant is responsible for contacting and coordinating with the California Water Service Company any water service improvements including but not limited to relocation of water meters, increasing water meter sizing or the installation of fire hydrants. The City recommends consulting

with California Water Service Company as early as possible to avoid construction or inspection delays.

24. Underground Utility Location

The Plans shall show the location of underground utilities pursuant to Chapter 12.68 of the Municipal Code. Underground utility trenches shall avoid the drip-lines of all protected trees unless approved by the project arborist and the Planning Division.

PRIOR TO ISSUANCE OF BUILDING OR DEMOLITION PERMIT

25. Tree Protection

Tree protection shall be installed around the dripline(s) of the trees to remain as shown on the site plan approved with the building permit plans and any additional tree protection measures pursuant to the conditions herein shall be implemented. Fencing shall be chain link and a minimum of five feet in height with posts driven into the ground and shall not be removed until all building construction has been completed unless approved by the Planning Division.

26. School Fee Payment

In accordance with Section 65995 of the California Government Code, and as authorized under Section 17620 of the Education Code, the property owner shall pay the established school fee for each school district the property is located in and provide receipts to the Building Division. The City of Los Altos shall provide the property owner the resulting increase in assessable space on a form approved by the school district. Payments shall be made directly to the school districts.

PRIOR TO FINAL INSPECTION

27. Landscaping Installation and Verification

Provide a landscape Certificate of Completion, signed by the project's landscape professional and property owner, verifying that the trees, landscaping and irrigation were installed per the approved landscape documentation package.

28. Landscape Privacy Screening

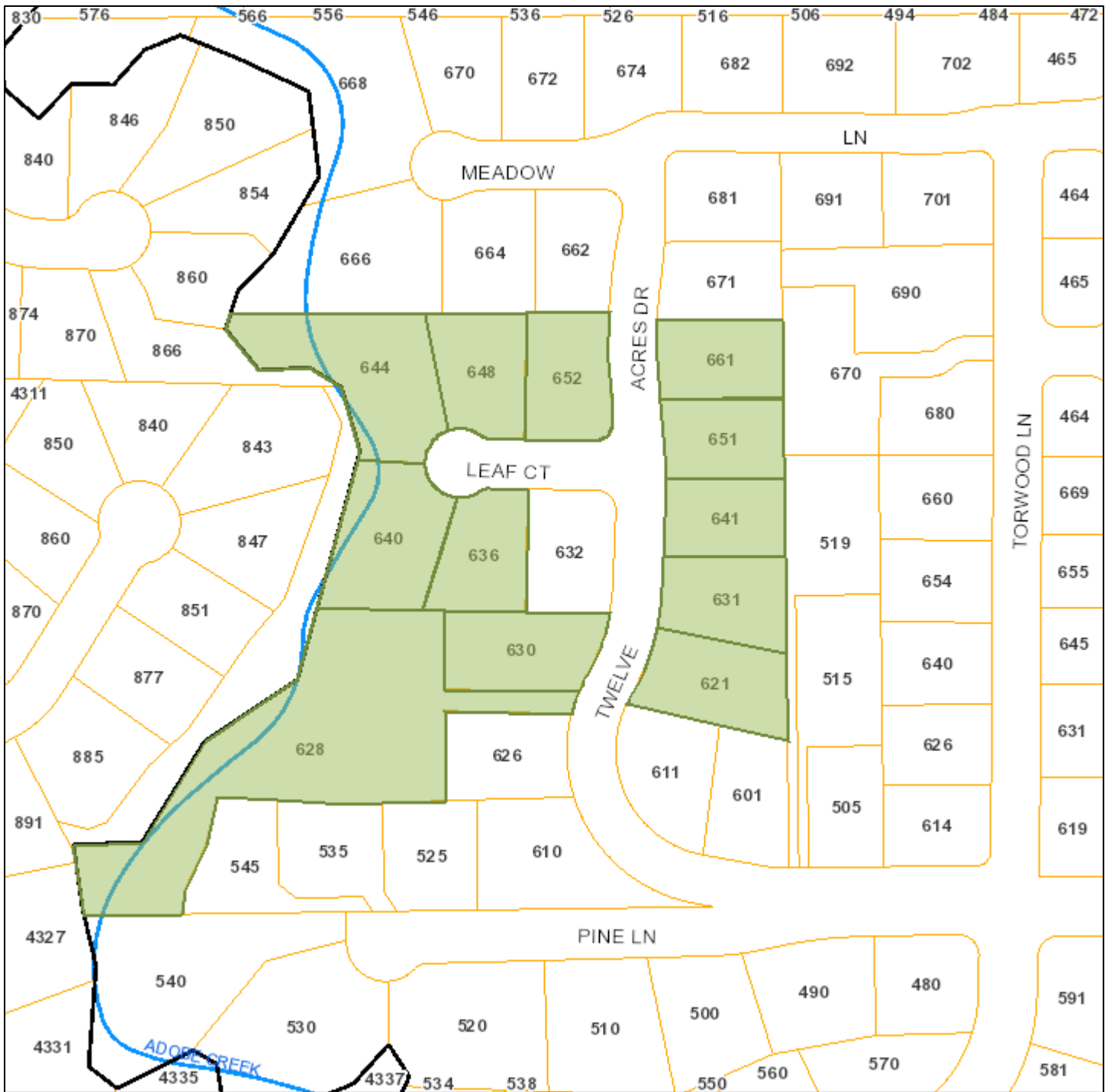
The landscape intended to provide privacy screening shall be inspected by the Planning Division and shall be supplemented by additional screening material as required to adequately mitigate potential privacy impacts to surrounding properties.

29. Green Building Verification

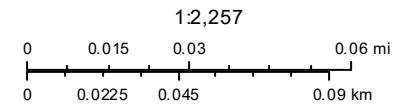
Submit verification that the house was built in compliance with the City's Green Building Ordinance (Chapter 12.26 of the Municipal Code).






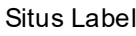

ATTACHMENT A

Notification Map



Print Date: March 21, 2022



-  Schools
-  Park and Recreation Areas
-  City Limit
-  Road Names
-  Waterways
-  Situs Label
-  TaxParcel

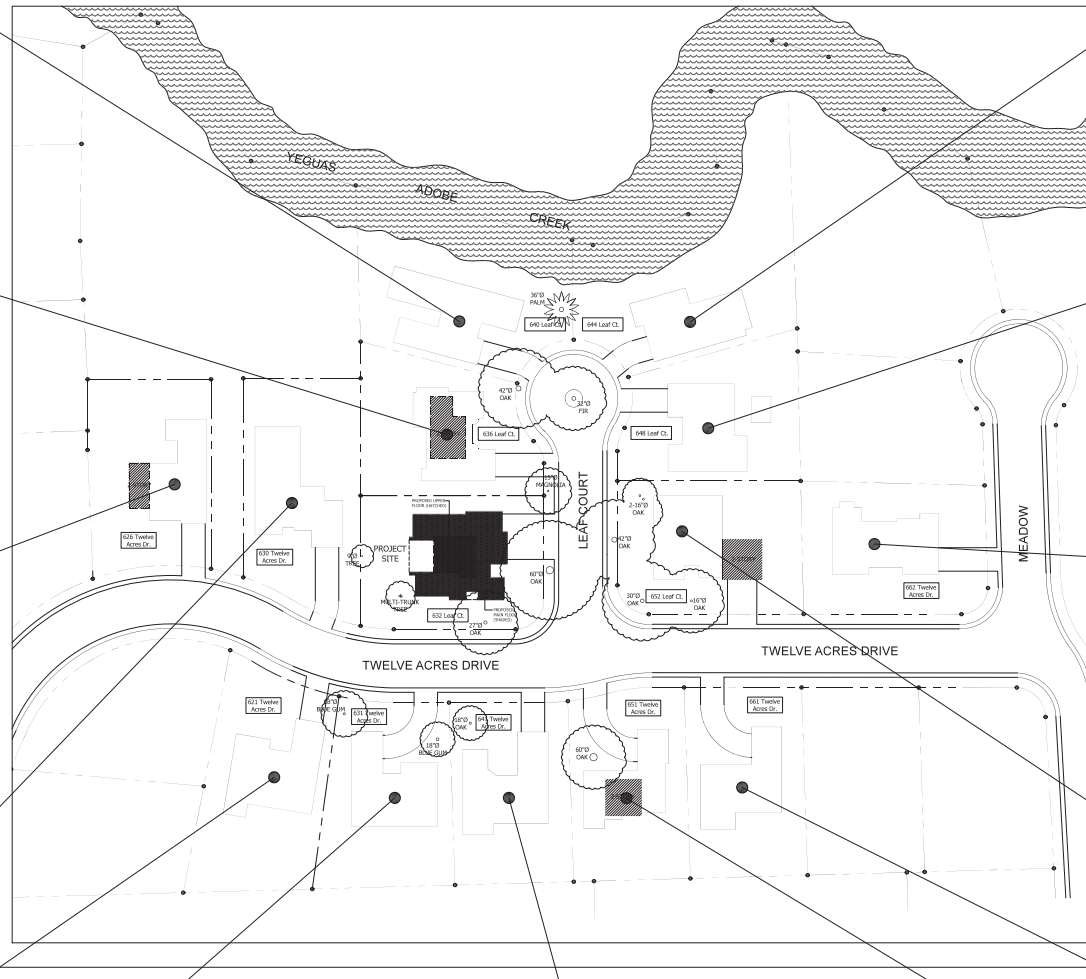
The information on this map was derived from the City of Los Altos' GIS. The City of Los Altos does not guarantee data provided is free of errors, omissions, or the positional accuracy, and it should be verified.

Esri, HERE, Garmin, (c) OpenStreetMap contributors, and the GIS user community

ATTACHMENT B

NEIGHBORHOOD CONTEXT MAP

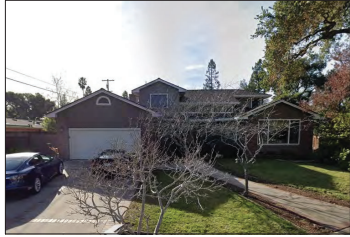
1" = 40'-0"



640 LEAF COURT



644 LEAF COURT



638 LEAF COURT



648 LEAF COURT



626 TWELVE ACRES DRIVE



662 TWELVE ACRES DRIVE



630 TWELVE ACRES DRIVE



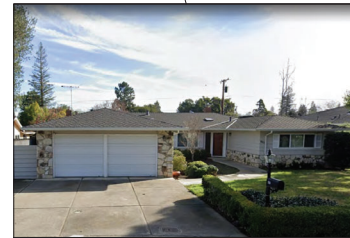
652 LEAF COURT



621 TWELVE ACRES DRIVE



631 TWELVE ACRES DRIVE



641 TWELVE ACRES DRIVE



651 TWELVE ACRES DRIVE



661 TWELVE ACRES DRIVE

*
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NO.	DATE	REVISION

JOB SITE ADDRESS
 632 LEAF COURT
 LOS ALTOS, CA 94022

CLIENT (JOB No. 22124)
 MUJICA RESIDENCE
 MAILING ADDRESS
 632 LEAF COURT, LOS ALTOS, CA, 94022
 PHONE No. (415) 726-6128

CHAPMAN
 DESIGN
 ASSOCIATES
 620 S. EL MONTE AVENUE
 LOS ALTOS, CA 94022 (650) 941-6880

SHEET

A1.2

640 Leaf Ct

I have received the plans from Gayle Mujica at 632 Leaf Court.

Homeowner Address

Homeowner Name

Homeowner Signature

I have reviewed plans with Gayle Mujica and support the Project Design at 632 Leaf Court.

Homeowner Address

640 Leaf Ct. Los Altos

Homeowner Name

Donis Voight

Homeowner Signature

Donis Voight

636 Leaf Ct

I have received the plans from Gayle Mujica at 632 Leaf Court.

Homeowner Address

Homeowner Name

Homeowner Signature



I have reviewed plans with Gayle Mujica and support the Project Design at 632 Leaf Court.

Homeowner Address

636 Leaf Ct, Los Altos, CA 94022

Homeowner Name

Lyssa Vandenberg

Homeowner Signature



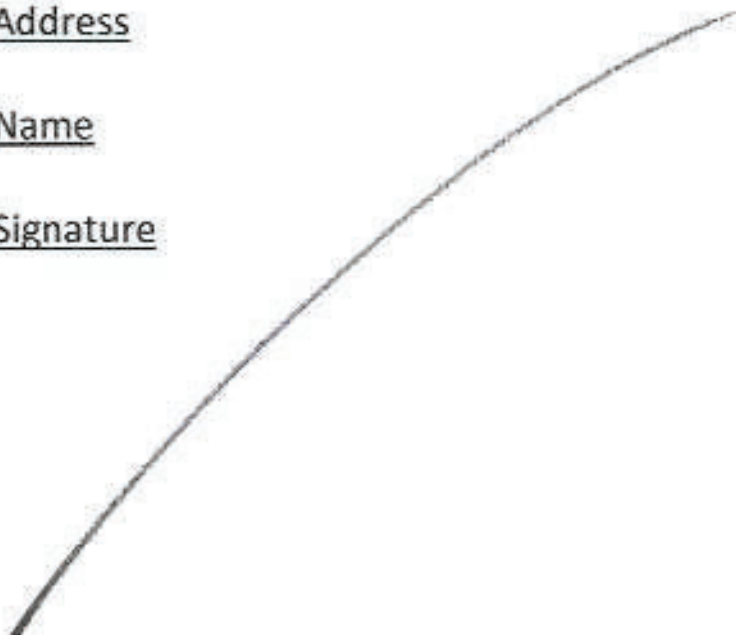
626 Twelve Acres

I have received the plans from Gayle Mujica at 632 Leaf Court.

Homeowner Address

Homeowner Name

Homeowner Signature



I have reviewed plans with Gayle Mujica and support the Project Design at 632 Leaf Court.

Homeowner Address 626 TWELVE ACRES DR.

Homeowner Name SARA & MATT TOWN

Homeowner Signature 

630 Twelve Acres

I have received the plans from Gayle Mujica at 632 Leaf Court.

Homeowner Address 630 Twelve Acres Dr

Homeowner Name

Homeowner Signature

I have reviewed plans with Gayle Mujica and support the Project Design at 632 Leaf Court.

Homeowner Address 630 Twelve Acres Dr
LOS ALTOS

Homeowner Name Kevin + Amy Lynch

Homeowner Signature



621 Twelve Acres

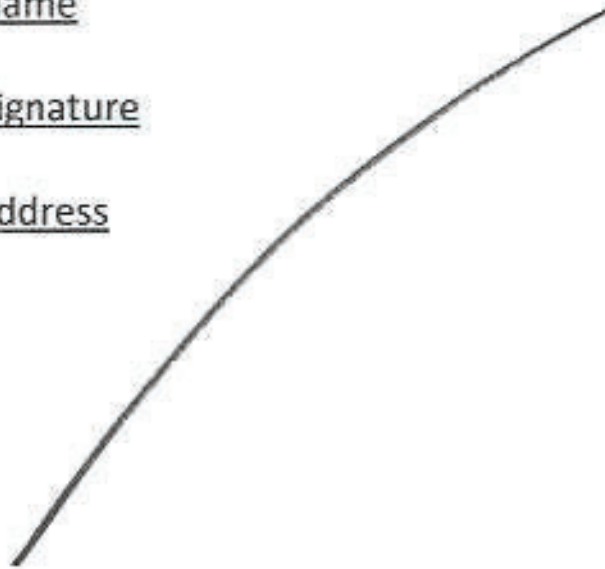
I have received the plans from Gayle Mujica at 632 Leaf Court

Homeowner Address

Homeowner Name

Homeowner Signature

Homeowner address



I have reviewed plans with Gayle Mujica, and support the Project Design at 632 Leaf Court

Homeowner Address 621 Twelve Acres Drive

Homeowner Name Dale & Joanne Spaulding

Homeowner Signature J. Spaulding

Homeowner address

621 Twelve Acres

From: Nina Tran [REDACTED]

Subject: Re: Plans for our Home Remodel

Date: March 14, 2022 at 2:41 PM

To: Gayle Mujica [REDACTED] Ken Tan [REDACTED]



Hi Gayle,

Thanks for sharing your remodeling plan. The home design look very nice and will go well with the neighborhood. I will ask Kathryn to lookout for the mail.

All the best with the remodeling project!

Nina

On Monday, March 14, 2022, 10:42 AM, Gayle Mujica <gaylemujica@mac.com> wrote:

Hi Nina and Ken,

So glad we have gotten the rental agreement all done and so look forward to moving into your lovely home this summer!

I wanted to share with you the plans for our remodel. We have been walking these around the neighborhood over the past week or so to show to any neighbors within a certain radius. It's a requirement from the city, but it's also just good to do! I've enjoyed getting to talk with so many neighbors we haven't seen in months due to winter weather and the COVID surge in January.

I'm attaching the plans here.

I'm also going to send them to you via "certified letter" Basically, that's what we are supposed to do if we can't get an in-person review and signature on a little form. Just wanted to give you a heads up on that! The certified letter has to be sent to your Twelve Acres address.

I think the home will fit in quite nicely with the neighborhood look/feel, and we are super excited about it! Let me know if you have any questions!
Gayle

641 Twelve Acres

I have received the plans from Gayle Mujica at 632 Leaf Court.

Homeowner Address

Homeowner Name

Homeowner Signature

I have reviewed plans with Gayle Mujica and support the Project Design at 632 Leaf Court.

Homeowner Address 641 TWELVE ACRES DR

Homeowner Name DEREK YOUNKIN
SUSAN YOUNKIN

Homeowner Signature

Derek Youkin
Susan Youkin

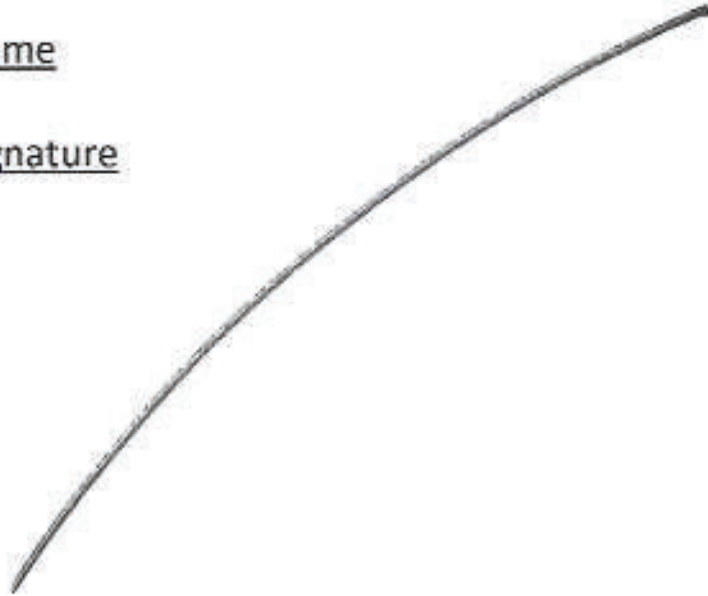
651 Twelve Acres

I have received the plans from Gayle Mujica at 632 Leaf Court.

Homeowner Address

Homeowner Name

Homeowner Signature



I have reviewed plans with Gayle Mujica and support the Project Design at 632 Leaf Court.

Homeowner Address 651 Twelve Acres Dr.

Homeowner Name Kristen Laite

Homeowner Signature 

661 Twelve Acres

I have received the plans from Gayle Mujica at 632 Leaf Court.

Homeowner Address

Homeowner Name

Homeowner Signature



I have reviewed plans with Gayle Mujica and support the Project Design at 632 Leaf Court.

Homeowner Address 661 Twelve Acres Dr.


Homeowner Name Charles & Nancy Durn

Homeowner Signature Charles Durn

I have received the plans from Gayle Mujica at 632 Leaf Court.

Homeowner Address 652 Leaf Ct.

Homeowner Name Mark & Kevin Beckstead

Homeowner Signature 

We are ~~opposed~~ to the proposed location of the 3-car garage and driveway on Leaf Ct. facing the front of our house.

I have reviewed plans with Gayle Mujica and support the Project Design at 632 Leaf Court.

Homeowner Address

Homeowner Name

Homeowner Signature

648 Leaf Ct

I have received the plans from Gayle Mujica at 632 Leaf Court.

Homeowner Address

Homeowner Name

Homeowner Signature



I have reviewed plans with Gayle Mujica and support the Project Design at 632 Leaf Court.

Homeowner Address 648 Leaf Ct, Los Altos CA 94022

Homeowner Name Medhavi Sahai

Homeowner Signature Medhavi Sahai

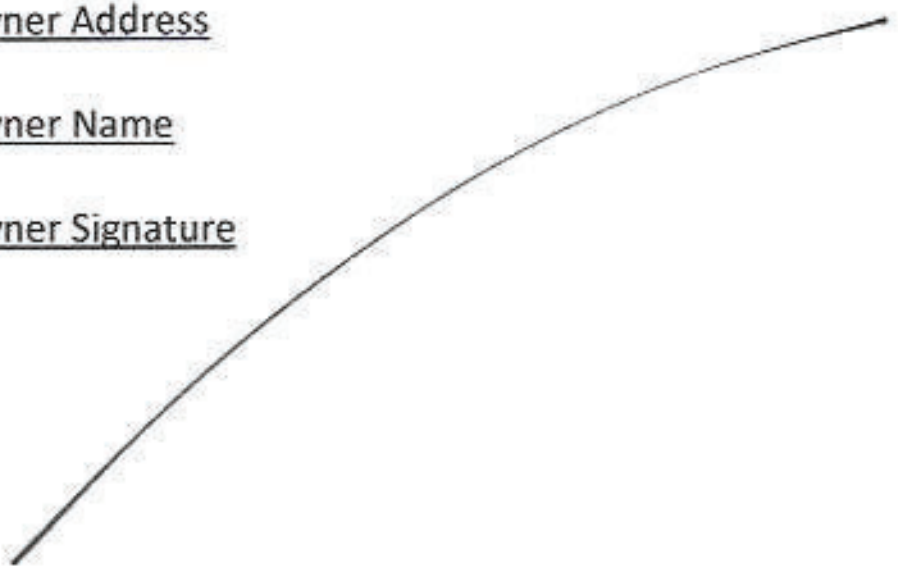
644 Leaf Ct

I have received the plans from Gayle Mujica at 632 Leaf Court.

Homeowner Address

Homeowner Name

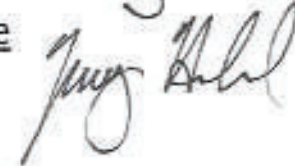
Homeowner Signature



I have reviewed plans with Gayle Mujica and support the Project Design at 632 Leaf Court.

Homeowner Address 644 Leaf Ct, Los Altos CA 94022

Homeowner Name Zachary Held

Homeowner Signature 

NOTICE OF DEVELOPMENT PROPOSAL

PROJECT TITLE - 632 LEAF LANE SC22-0002

PROJECT DESCRIPTION

PROPOSED 3,878SF. NEW HOUSE FROM AN EXISTING 2,949 SF (NEW BASEMENT 1878SF)

TWO-STORY SINGLE FAMILY RESIDENCE WITH AN ATTACHED GARAGE.

APPLICANT

CHAPMAN DESIGN ASSOCIATES
(650) 941-6890
INFO@WCDA.COM

PROPERTY OWNER

GAYLE & FERNANDO MUJICA
(650) 397-5259
MUJICAHOUSE632@GMAIL.COM

PROJECT PLANNER

NAZANEEN

650-947-2640
nhealy@losaltosca.gov

(650)947-2750
PLANNER@LOSALTOSCA.GOV

PUBLIC MEETING DATE

PUBLIC MEETING NOTICE

Wednesday, June 15, 2022 at 7:00 pm

The Design Review Commission will hold a public meeting to consider the project at the above date and time with an opportunity for public comment.

Please Note: Per California Executive Order No. 22-01, the Commission will meet via teleconference with Members of the Public via call (650) 947-2640 and participants in the conference will be limited to 2000 minutes or 30 minutes of the meeting. Public meetings will be held at 632 Leaf Lane, Los Altos, CA 94024. Public meetings will be held at 632 Leaf Lane, Los Altos, CA 94024. One and members of the public may only comment during those periods of public comment. Members of the public are encouraged to submit written comments to the meeting at 650@losaltosca.gov. Items listed on this notice will be discussed at the meeting.

Project plans and information are available for review on the City's website at <https://www.losaltosca.gov/CommunityDevelopment/> <https://www.losaltosca.gov/CommunityDevelopment/ProjectDetails.aspx?single-family-residential-and-ranchettes>. The agenda report will be available on the City's website the Thursday before the meeting date at <https://www.losaltosca.gov/designreviewcommission/page/design-review-commission-180>. Written comments can be mailed or delivered in person to the Community Development Department or emailed to the Project Planner. Verbal comments can also be made at the Public Meeting.



8111 SPACE FOR MEETING NOTICE

8111 MEET

ATTACHMENT D

Nazaneen Healy

From: Mark Beckstead <[REDACTED]>
Sent: Tuesday, June 7, 2022 10:33 AM
To: Nazaneen Healy
Cc: Kevin Beckstead
Subject: 632 Leaf Court, design review

Hello Nazaneen,

My family and I are the current residents at 652 Leaf court which is directly across the street (Leaf Court) from the proposed project. Since my last email to you, I have met with the Mujica's to discuss my concerns regarding relocating their driveway and garage from Twelve Acres Drive to Leaf Court. I have been to the city website and I have reviewed the proposed plans. Please note that the 3D rendering (Facing Leaf Ct.) is not consistent with the Site Plan as it relates to the width of the driveway and the amount of space covered with pavers. The Site Plan shows pavers extending to the property line adjacent to 636 Leaf Ct. which is consistent with what the Mujica's have told me regarding their plans to store their auto-transport trailer on that side of their property. The 3-D rendering which is on the website, and posted on the property, shows that area as landscaped. This brings to point my main concern. That is, replacement of existing landscape with a 3-car garage and a driveway wide enough for 3 cars plus a trailer disrupts the park-like setting of Leaf Court. Front yard setbacks with well-maintained landscape and heritage oaks provides the character of Leaf Court and it has been that way since it was developed in the 1950's. Twelve Acres Drive, which is wider and more of a thoroughfare, is better suited to serve the demands of in-and-out access with multiple cars and trailer.

We, the long-term residents at 652 Leaf Court are opposed to the proposed development as planned.

Sincerely,

Mark and Kevin Beckstead

--

J. Mark Beckstead, DDS

[REDACTED]

[REDACTED]

This information is intended only for the use of the individual or entity to which it is addressed and may contain information that is privileged, confidential, and exempt from disclosure under applicable law. If you are not the intended recipient, you are hereby notified that any dissemination, distribution, or copying of this information is strictly prohibited. It may contain information of a privileged and/or confidential nature, which may be subject to protection under the Privacy Act of 1974 and the Health Insurance Portability and Accountability Act (HIPAA) of 1996. If you have received this message in error, please notify the sender immediately by replying to the message and deleting it from your computer.

Nazaneen Healy

From: Mark Beckstead [REDACTED]
Sent: Wednesday, March 9, 2022 5:25 PM
To: Nazaneen Healy
Cc: Kevin Beckstead
Subject: Proposed teardown and rebuild at 632 Leaf Court
Attachments: 20220309_Ihave reviewed plans with Gayle Mujica and support the.pdf

Hello Naz,

I am a resident of Los Altos at 652 Leaf Ct for the past 31 years. Yesterday, Gayle Mujica shared with me their plans for a complete rebuild of their residence at 632 Leaf Court. As you may know, they are planning on repositioning their future home on the lot and changing the position of the driveway and garage to face Leaf Court. That would put their new garage, driveway and trailer storage directly across the street from the front of our house. It would also put their proposed 3-car garage, and gated trailer parking on their side yard, immediately next door to a two car garage at 636 Leaf court where cars are routinely double parked along with a long-term storage trailer. The exchange of a landscaped front yard facing Leaf Court for a three-car garage and driveway negatively impacts the esthetics of leaf court and is not in harmony with the park-like setting of the neighborhood. Our view will be additionally impacted by the proposed second story.

We are opposed to the proposed plans and we would like the planning commission to consider our concerns. Please see the attachments regarding the current situation.



Current 2-car garage and parking pad at 632 Leaf Court facing Twelve Acres Drive



Current front of home at 632 facing Leaf Court from our front door. The proposal is to replace this side of the house with a 3-car garage and driveway wide enough to park a trailer in the side yard next to 636 Leaf Court which is already crowded with cars and a trailer. We are opposed to the negative impact on the esthetics and beauty of Leaf Court. We are in favor of more trees and landscape with fewer cars and trailers.



Current 2-car garage, driveway and parking situation at 636 Leaf Court

--

J. Mark Beckstead, DDS



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I have received the plans from Gayle Mujica at 632 Leaf Court.

Homeowner Address 652 Leaf Ct.

Homeowner Name Mark & Kevin Beckstead

Homeowner Signature 

We are ~~opposed~~ to the proposed location of the 3-car garage and driveway on Leaf Ct. facing the front of our house.

I have reviewed plans with Gayle Mujica and support the Project Design at 632 Leaf Court.

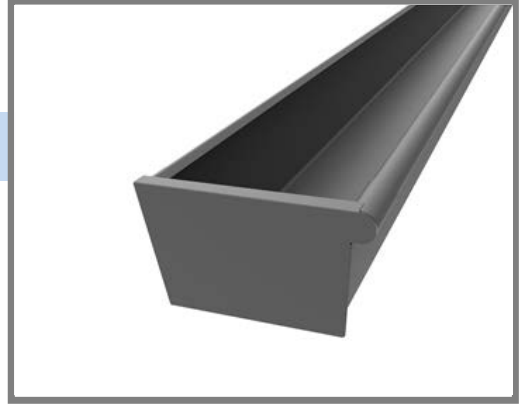
Homeowner Address

Homeowner Name

Homeowner Signature



ROOFING
40 YO COMP



GUTTERS
PAINTED OGEE
W/ ROUND
DOWNSPOUTS



EXTERIOR WALLS
HARDY PLANK



WINDOWS
DUAL GLAZED
ALUMINUM
CLAD WOOD / MARVIN
2X2



WINDOW TRIM
2X3 KILN DRIED
PAINTED WHITE
2X3 APRON AT BASE





3D RENDERING (FACING TWELVE ACRES DR.)



3D RENDERING (FACING LEAF COURT)

PROPERTY DESCRIPTION

OWNER FERNANDO & GAYLE MUJICA
 ADDRESS 632 LEAF COURT
 LOS ALTOS, CA 94022
 PARCEL 167-25-031
 ACREAGE 0.259
 ZONING R1-10
 OCCUPANCY R-3/U
 CONSTR. TYPE V-B
 PROJECT DESCRIPTION

CONSULTANT DIRECTORY

SURVEYOR DODGE ASSOCIATES, SURVEYING
 20652 CHAPARRA CIRCLE
 PENN VALLEY, CA 95946
 (530) 432-5212
 SOILS GEOFORENSICS INC.
 303 VINTAGE PARK DRIVE, STE. 220
 FOSTER CITY, CA 94404
 (650) 349-3369
 CIVIL ENGINEER GREEN CIVIL ENGINEERING
 1905 S. NORFOLK ST., SUITE #350
 SAN MATEO, CA 94403
 STRUCTURAL ENGINEER N/A
 ENERGY CONSULTANT N/A
 LANDSCAPE ARCHITECT W. JEFFREY HEID, LANDSCAPE ARCHITECT
 617 ONELDA DRIVE
 SAN JOSE, CA 95123
 (408) 691-5207

SHEET INDEX

ARCHITECTURAL SHEETS

- A0.0 COVER SHEET
- A1.0 SITE PLAN
- A1.1 FLOOR DIAGRAM & AREA CALCULATIONS
- A1.2 NEIGHBORHOOD CONTEXT MAP
- A2.0 EXISTING ELEVATIONS
- A3.0 PROPOSED BASEMENT PLAN
- A3.1 PROPOSED MAIN FLOOR PLAN
- A3.2 PROPOSED UPPER FLOOR PLAN
- A3.3 PROPOSED ROOF PLAN
- A4.0 N/A
- A5.0 FRONT & REAR ELEVATIONS
- A5.1 RIGHT & LEFT SIDE ELEVATIONS
- A6.0 CROSS SECTIONS "A-A" & "B-B"
- A6.1 CROSS SECTIONS "C-C" & "D-D"

CIVIL SHEETS

- C - 1 GRADING & DRAINAGE PLAN
- C - 2 EROSION PLAN
- C - 3 DETAIL SHEET
- C - 4 DETAIL SHEET
- C - 5 CONSTRUCTION BMPs

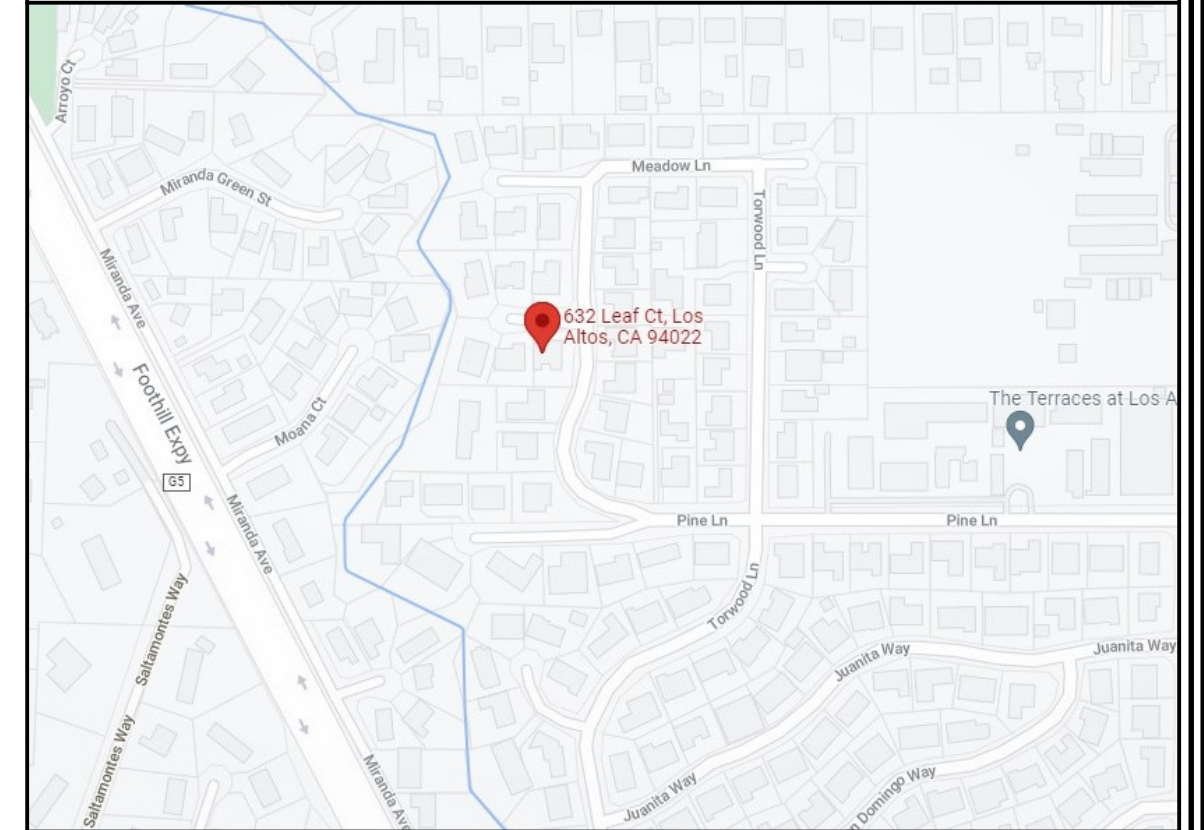
- T - 1 TOPOGRAPHIC SURVEY

- L - 1 LANDSCAPE PLAN
 (MASTER PLANTING PLAN)

APPLICABLE CODES

THIS PROJECT SHALL COMPLY (AS REQUIRED) WITH THE:
 2019 CALIFORNIA BUILDING CODE
 2019 CALIFORNIA RESIDENTIAL CODE
 2019 CALIFORNIA MECHANICAL CODE
 2019 CALIFORNIA ELECTRICAL CODE
 2019 CALIFORNIA PLUMBING CODE
 2019 CALIFORNIA FIRE CODE
 2019 CALIFORNIA ENERGY CODE
 2019 CALIFORNIA GREEN BUILDING

VICINITY MAP



NOTE
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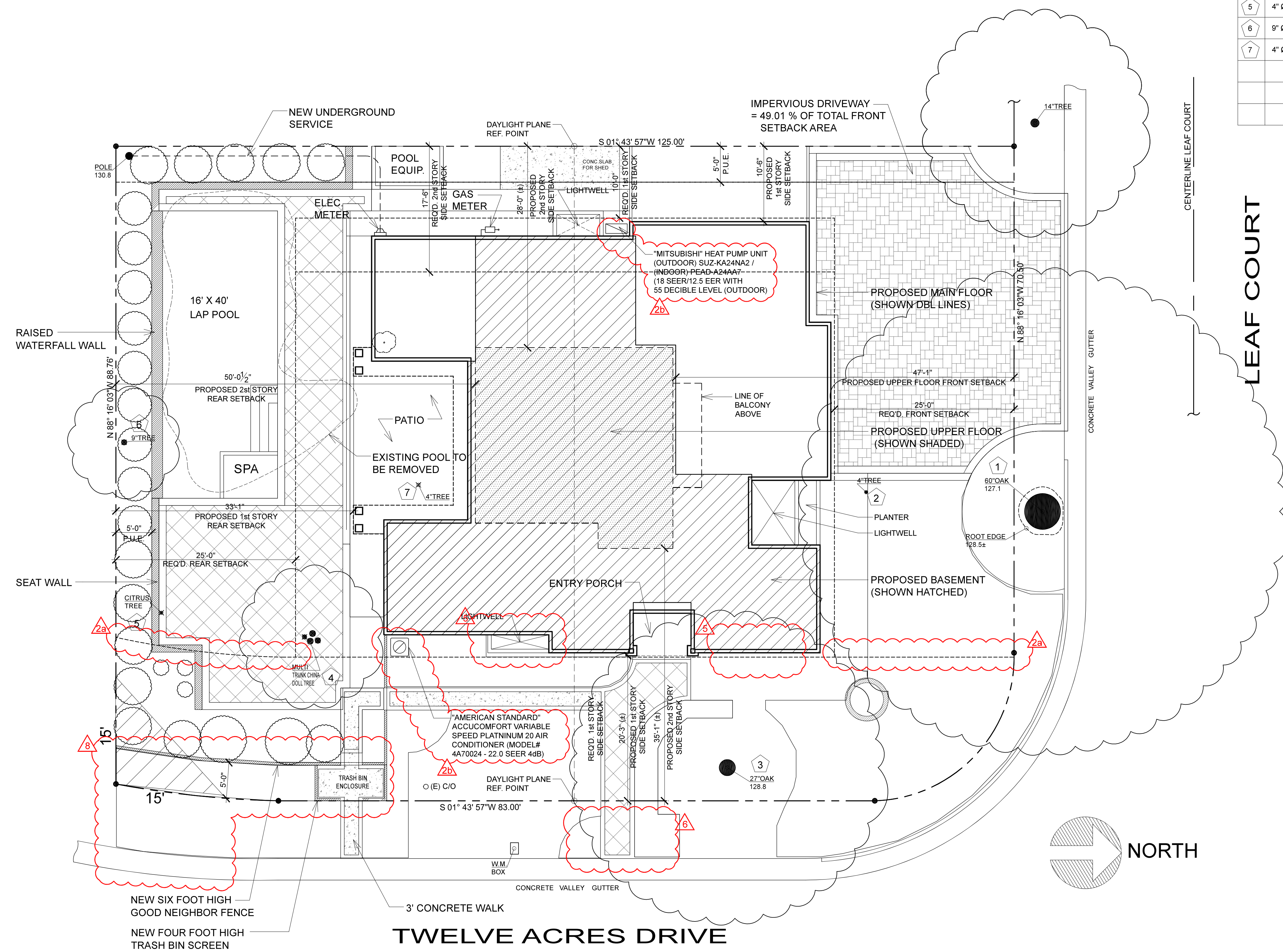
1	1

JOB SITE ADDRESS
 632 LEAF COURT
 LOS ALTOS, CA 94022

CLIENT (JOB No. 22124)
 MUJICA RESIDENCE
 MAILING ADDRESS
 632 LEAF COURT, LOS ALTOS, CA, 94022
 PHONE No. (214) 726-6789

CHAPMAN DESIGN ASSOCIATES
 620 S. EL MONTE AVENUE
 LOS ALTOS, CA 94022 (650) 941-6890

SHEET
 A0.0



NO.	TREE SCHEDULE	REMOVE	
		YES	NO
1	60" Ø OAK TREE		✓
2	4" Ø TREE		✓
3	27" Ø OAK TREE		✓
4	MULTI TRUNK TREE	✓	
5	4" Ø CITRUS TREE	✓	
6	9" Ø TREE	✓	
7	4" Ø TREE	✓	

- ### GENERAL NOTES
- A** VERIFICATION CONTRACTOR & ALL SUBCONTRACTORS SHALL VERIFY ALL GRADES, DIMENSIONS & CONDITIONS PRIOR TO START OF WORK
 - B** DIMENSIONS DO NOT SCALE THESE DRAWINGS. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DRAWINGS
 - C** DISCREPANCIES MINOR DISCREPANCIES BETWEEN DRAWINGS & ACTUAL CONDITIONS ARE TO BE EXPECTED. CONDITIONS REQUIRING CLARIFICATION SHALL BE BROUGHT TO THE ATTENTION OF C.D.A. IMMEDIATELY
 - D** CONTRACT DOCUMENTS CONSTRUCTION DOCUMENTS TO POST DATE JOB COPY. VERIFY DOCUMENT DATE WITH C.D.A. PRIOR TO START OF WORK. CONTRACTOR TO ENSURE THAT ANY REVISED DOCUMENTS SHALL BE PROVIDED TO SUBCONTRACTORS IMMEDIATELY

- ### SITE PLAN NOTES
- 1** DRIVEWAY SEE LANDSCAPE PLAN BY OTHERS
 - 2** FLATWORK SEE LANDSCAPE PLAN BY OTHERS
 - 3** GRADING SEE GRADING & DRAINAGE PLAN BY OTHERS
 - 4** DRAINAGE SEE GRADING & DRAINAGE PLAN BY OTHERS
 - 5** STORM DRAINAGE SEE GRADING & DRAINAGE PLAN BY OTHERS
 - 6** SEWER LATERAL CONNECT TO EXISTING CLEANOUT PROVIDE BACKFLOW PREVENTER
 - 7** GAS & ELEC SERVICE NEW 200 AMP ELEC. METER EXISTING GAS METER TO REMAIN
 - 8** SETBACKS AS PER PLAN
 - 9** TREES TREE PROTECTION FENCING SHALL BE CHAIN LINK AND A MIN. OF FIVE FEET IN HEIGHT WITH POSTS DRIVEN INTO GROUND.
 - 10** FENCES AS PER LANDSCAPE PLAN
 - 11** LANDSCAPE SEE LANDSCAPE PLAN BY OTHERS

TABULATIONS

	EXISTING	PROPOSED	ALLOWED / REQUIRED
LOT COVERAGE: (land area covered by all structures that are over 6 feet in height)	2,948.63 s.f. (26.13 %)	3,332.11 s.f. (29.53 %)	3,384.80 (30.00%)
FLOOR AREA	2,948.63 s.f. (26.13 %)	3,878.06 s.f. (34.37 %)	3,878.26 s.f. (34.37%)
SETBACKS: Front Rear Right Side (1st / 2nd) Left Side (1st / 2nd)	25.00 feet / N/A 32.875 feet / N/A 10.00 feet / N/A 19.14 feet / N/A	25.00 feet / 47.08 feet 33.08 feet / 50.04 feet 10.50 feet / 28.00 feet 20.25 feet / 35.08 feet	25.00 feet 25.00 feet 10.00 feet / 17.50 feet 10.00 feet / 20.00 feet
HEIGHT:	(±) 12'-6"	(±) 25'-11"	27'-0"

SQUARE FOOTAGE BREAKDOWN

	EXISTING	CHANGE IN	TOTAL PROPOSED
HABITABLE LIVING AREA: Includes habitable basement areas	2,447.08 sq. ft.	(+) 2,450.47 sq. ft.	4,897.55 sq. ft.
NON-HABITABLE AREA: Does not include covered porches or open structures	501.55 sq. ft.	(+) 357.26 sq. ft.	858.81 sq. ft.
TOTAL PROPOSED FLOOR AREA:			5,756.36 sq. ft.

LOT CALCULATIONS

NET LOT AREA:	11,282.66 square feet
FRONT YARD HARDSCAPE AREA: Hardscape area in the front yard setback shall not exceed 50%	1,0474.32 (49.01 %)
LANDSCAPING BREAKDOWN:	Total hardscape area (existing & proposed): 4,787.89 sq. ft. Existing softscape (undisturbed area): 0 sq. ft. New softscape area: 3,162.66 sq. ft. Building footprint w/ all porches: 3,332.11 sq. ft. Total (Net size of lot): 11,282.66 sq. ft.

COVERAGE & F.A.R.

	SITE PLAN	SQ. FT. = 0.259 AC.
COV. ALLOWABLE	3,384.80	SQ. FT. = 30.00 %
EXISTING	2,948.63	SQ. FT. = 26.13 %
PROPOSED	3,332.11	SQ. FT. = 29.53 %
FAR. ALLOWABLE	3,878.26	SQ. FT. = 34.37 %
EXISTING	2,948.63	SQ. FT. = 26.13 %
PROPOSED	3,878.06	SQ. FT. = 34.37 %

NOTE
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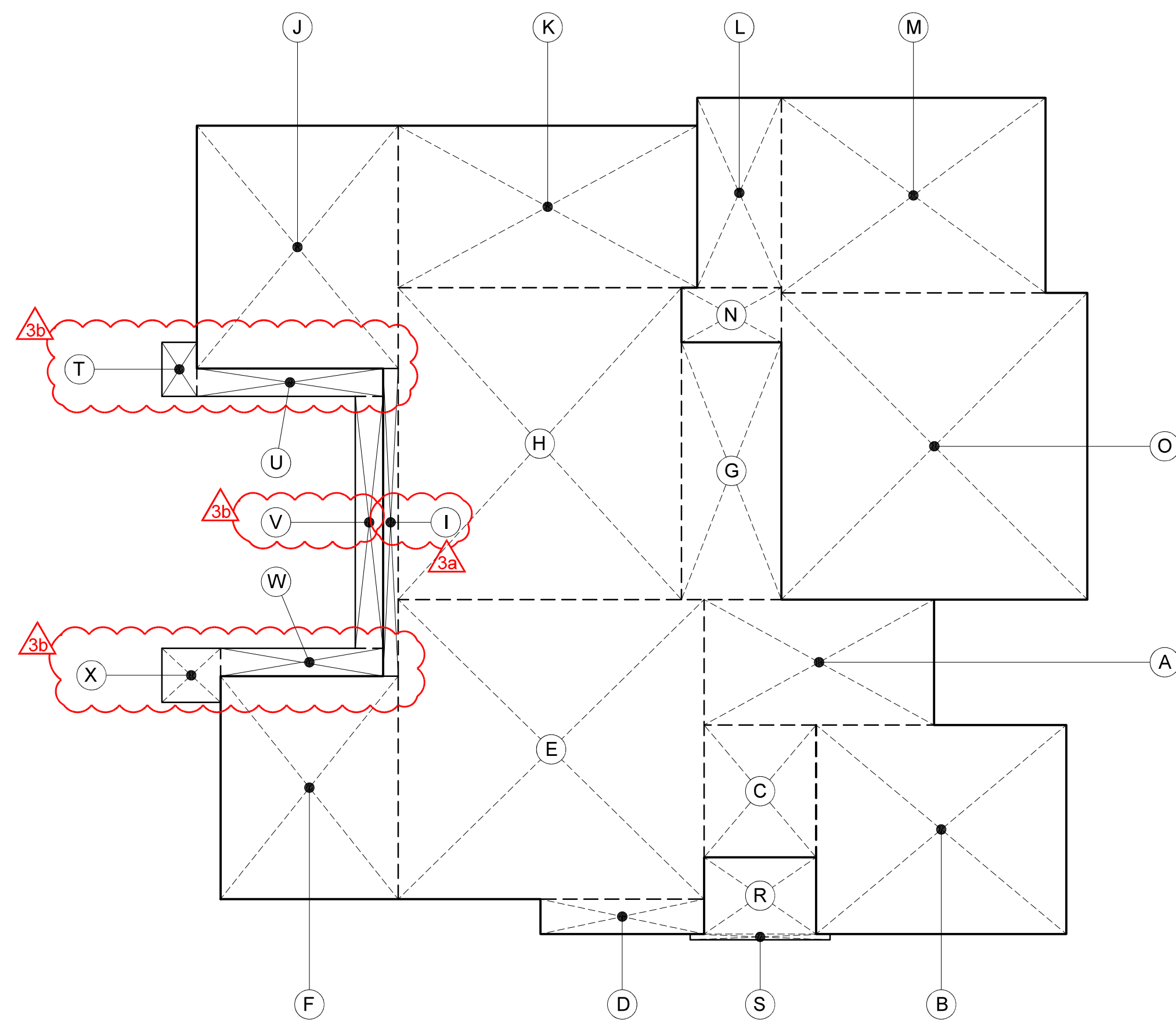
NO.	REVISION	DATE	BY	DESCRIPTION

CLIENT (JOB No. 22124)
MUIJICA RESIDENCE
MAILING ADDRESS
632 LEAF COURT, LOS ALTOS, CA, 94022
PHONE No. (214) 726-6789

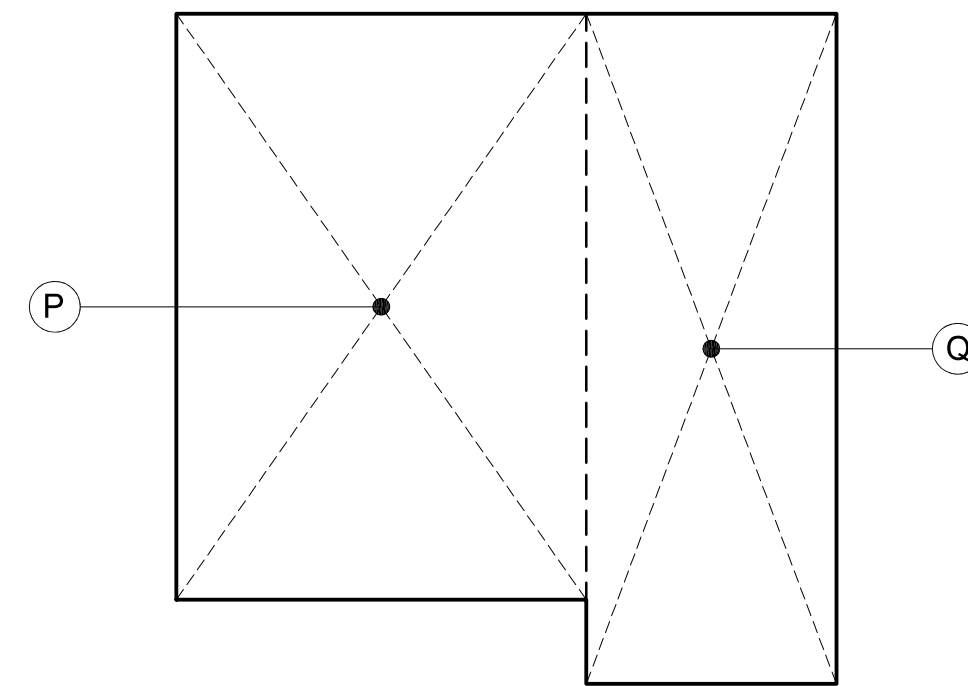
JOB SITE ADDRESS
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LOS ALTOS, CA 94022

CHAPMAN DESIGN ASSOCIATES
620 S. EL MONTE AVENUE
LOS ALTOS, CA 94022 (650) 941-8890

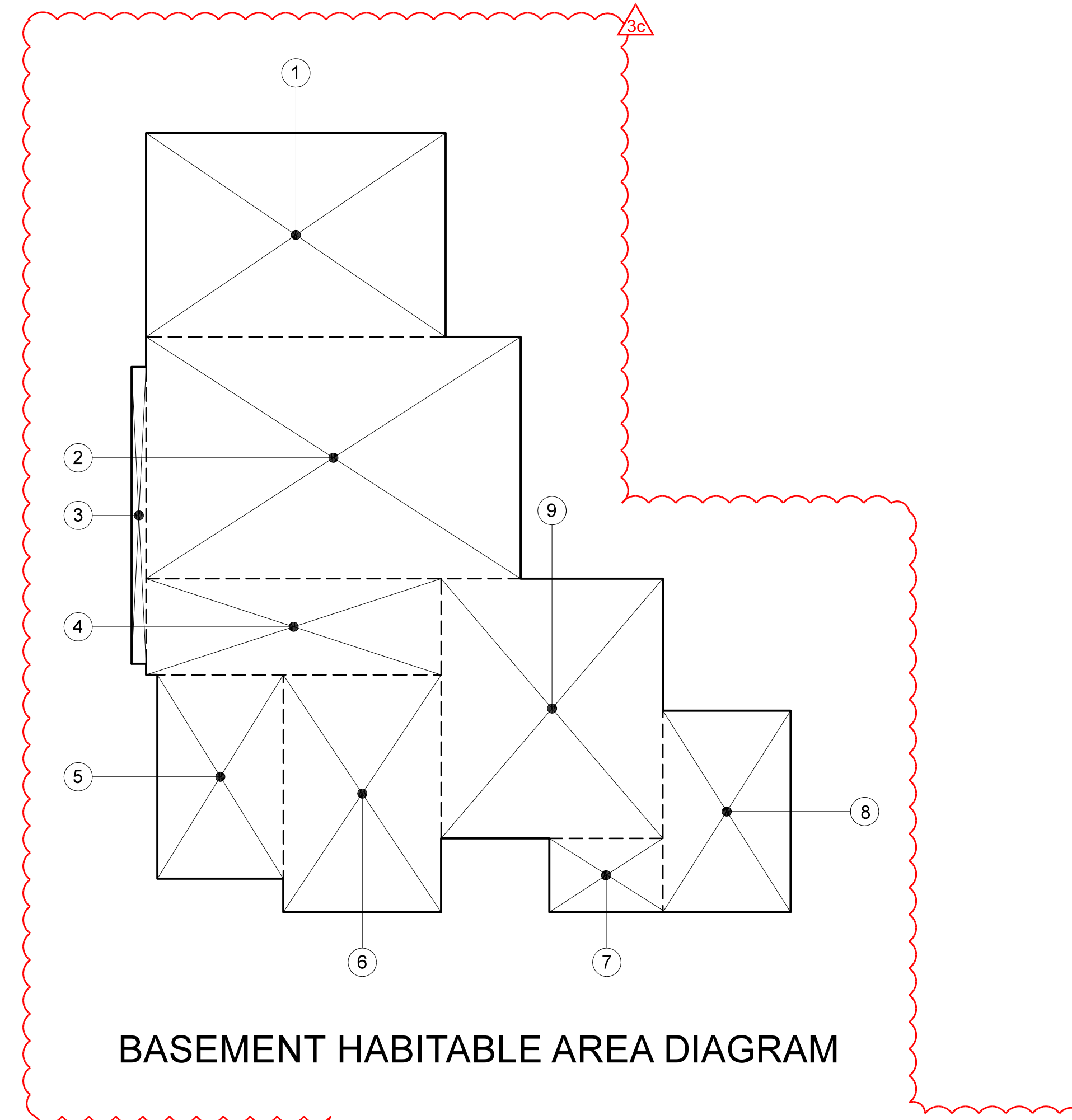
SITE PLAN
1/8" = 1'-0"



MAIN FLOOR AREA DIAGRAM



UPPER FLOOR AREA DIAGRAM



BASEMENT HABITABLE AREA DIAGRAM

FLOOR AREA CALCULATIONS

PROPOSED MAIN FLOOR

A	9.00' X 16.50'	148.50 S.F.
B	15.00' X 17.96'	269.40 S.F.
C	8.04' X 9.50'	76.38 S.F.
D	2.50' X 11.75'	29.37 S.F.
E	21.50' X 21.96'	472.14 S.F.
F	12.75' X 16.00'	204.00 S.F.
G	7.16' X 18.46'	132.17 S.F.
H	20.33' X 22.375'	454.88 S.F.
I	1.08' X 22.08'	23.84 S.F.
J	14.46' X 17.41'	251.75 S.F.
K	11.62' X 21.46'	249.36 S.F.
		2,311.79 S.F.

GARAGE :

L	6.04' X 13.62'	82.26 S.F.
M	14.00' X 18.96'	265.44 S.F.
N	3.91' X 7.16'	27.99 S.F.
O	22.00' X 21.96'	483.12 S.F.
		858.81 S.F.

FLOOR AREA CALCULATIONS

PROPOSED UPPER FLOOR :

P	17.08' X 24.41'	416.92 S.F.
Q	10.41' X 27.91'	290.54 S.F.
		707.46 S.F.
TOTAL PROPOSED		3,878.06 S.F.

COVERAGE:

R	5.50' X 8.04'	44.22 S.F.
S	0.41' X 10.04'	4.11 S.F.
T	2.50' X 3.87'	9.67 S.F.
U	2.00' X 13.37'	27.74 S.F.
V	2.00' X 18.08'	36.16 S.F.
W	2.00' X 11.66'	23.32 S.F.
X	3.87' X 4.21'	16.29 S.F.
		161.51 S.F.
TOTAL PROPOSED COVERAGE		3,332.11 S.F.

BASEMENT HABITABLE (NOT COUNTED AS F.A.R. OR COVERAGE)

1	15.16' X 22.29'	337.91 S.F.
2	18.00' X 27.875'	501.75 S.F.
3	1.08' X 22.08'	23.84 S.F.
4	7.16' X 21.958'	157.22 S.F.
5	9.375' X 15.16'	142.12 S.F.
6	11.75' X 17.66'	207.50 S.F.
7	5.50' X 8.458'	46.52 S.F.
8	9.50' X 15.00'	142.50 S.F.
9	16.50' X 19.33'	318.94 S.F.
		1,878.30 S.F.

FLOOR DIAGRAM & AREA CALCULATIONS

1/8" = 1'-0"

NOTE
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NO.	DATE	CITY PLAN CHECK COMMENTS

CLIENT (JOB No. 22124)
MUJICA RESIDENCE
MAILING ADDRESS
632 LEAF COURT, LOS ALTOS, CA, 94022
PHONE No. (214) 726-6789

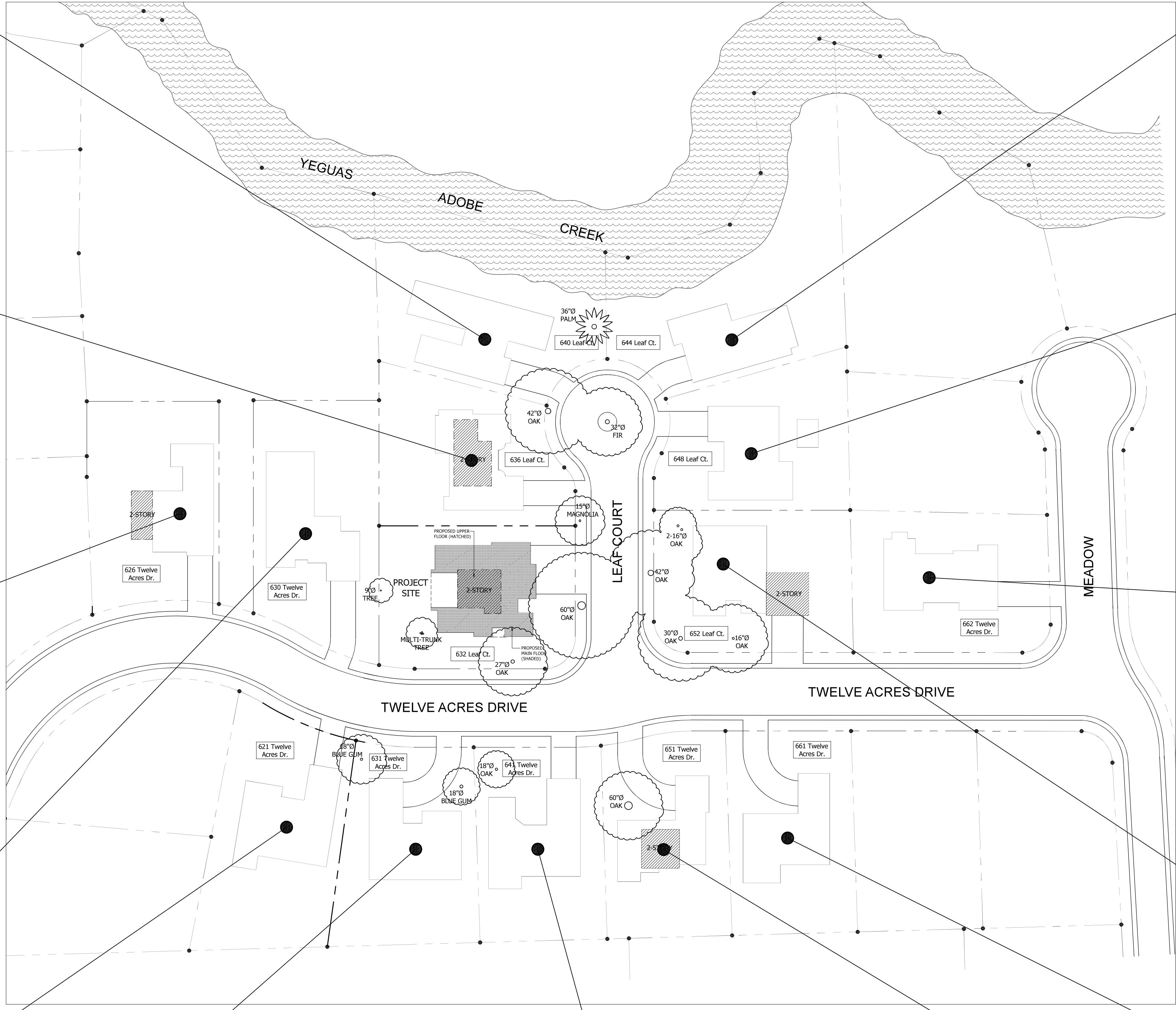
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632 LEAF COURT
LOS ALTOS, CA 94022

CHAPMAN DESIGN ASSOCIATES
620 S. EL MONTE AVENUE
LOS ALTOS, CA 94022 (650) 941-8890

SHEET
A1.1

NEIGHBORHOOD CONTEXT MAP

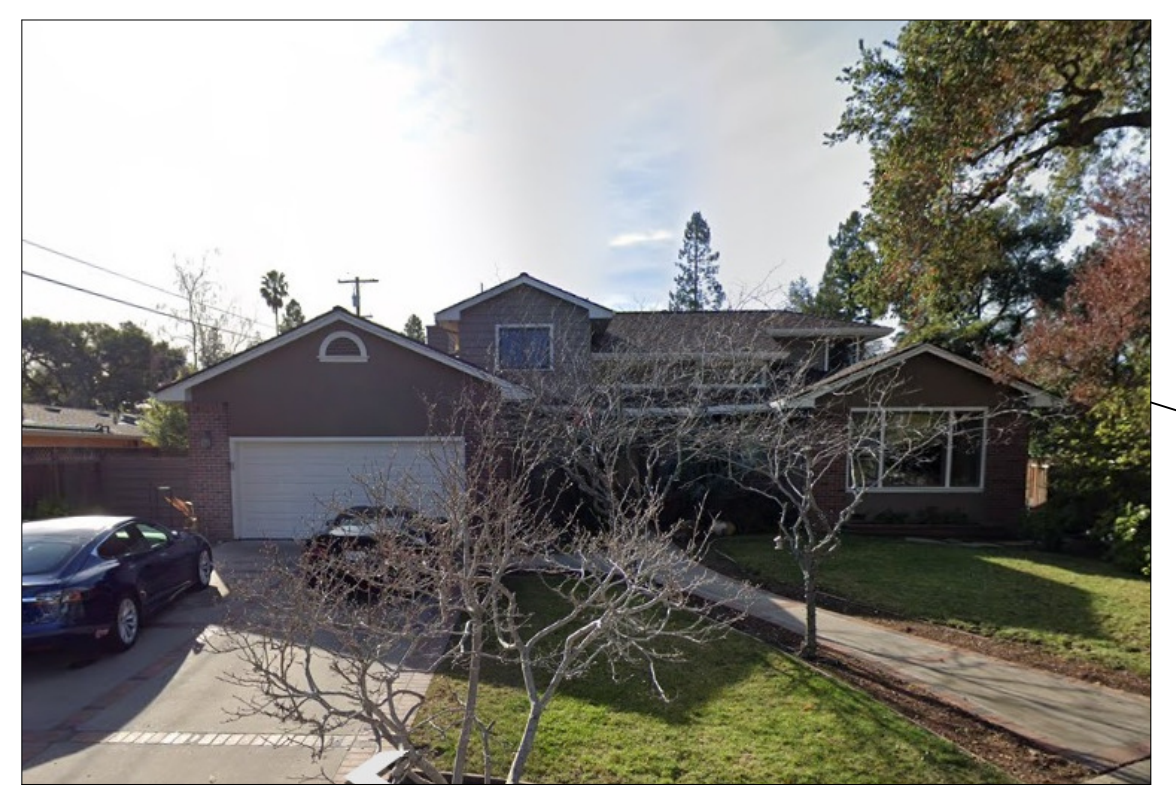
1" = 40'-0"



640 LEAF COURT



644 LEAF COURT



636 LEAF COURT



648 LEAF COURT



626 TWELVE ACRES DRIVE



662 TWELVE ACRES DRIVE



630 TWELVE ACRES DRIVE



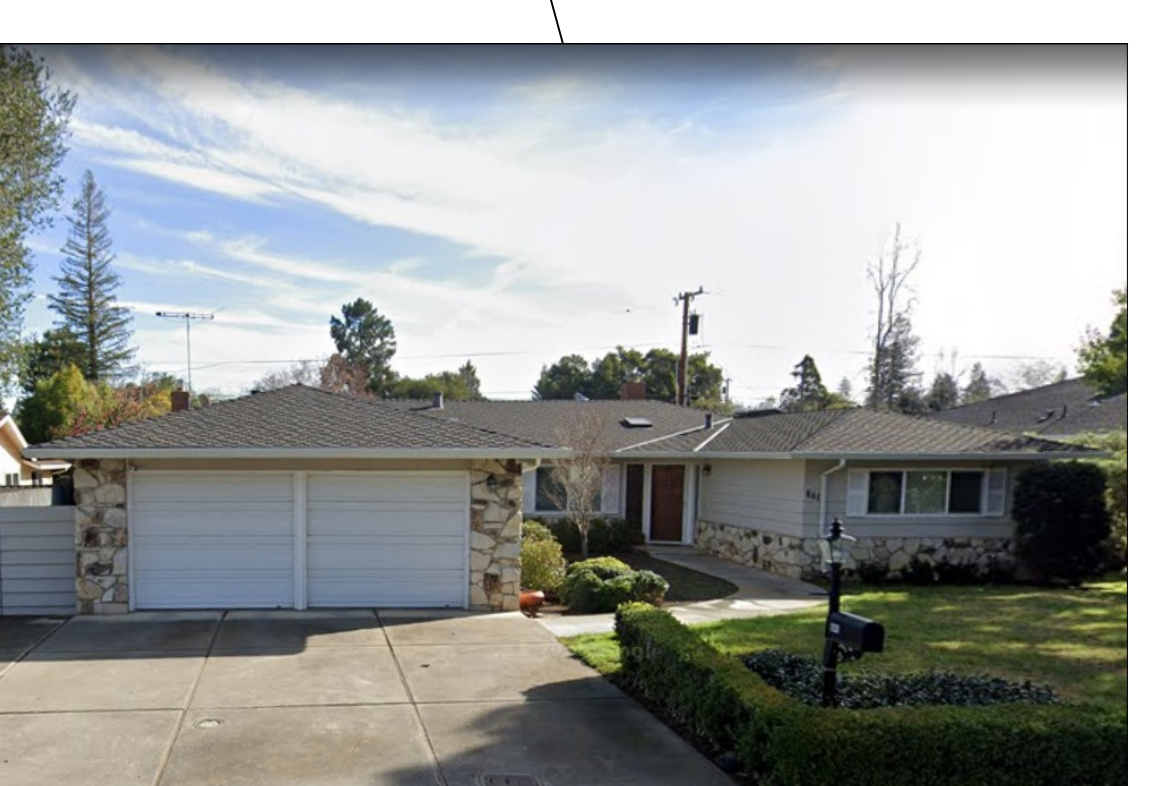
652 LEAF COURT



621 TWELVE ACRES DRIVE



631 TWELVE ACRES DRIVE



641 TWELVE ACRES DRIVE



651 TWELVE ACRES DRIVE



661 TWELVE ACRES DRIVE

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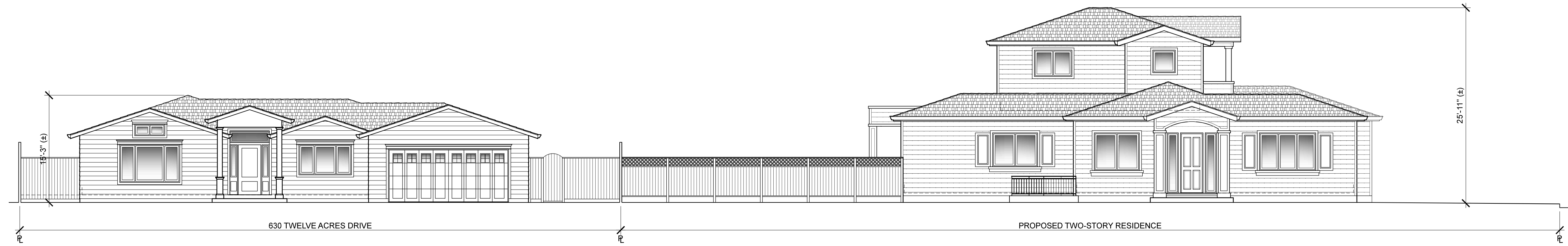
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CLIENT (JOB No. 22124)
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 MAILING ADDRESS
 632 LEAF COURT, LOS ALTOS, CA, 94022
 PHONE No. (214) 726-6789

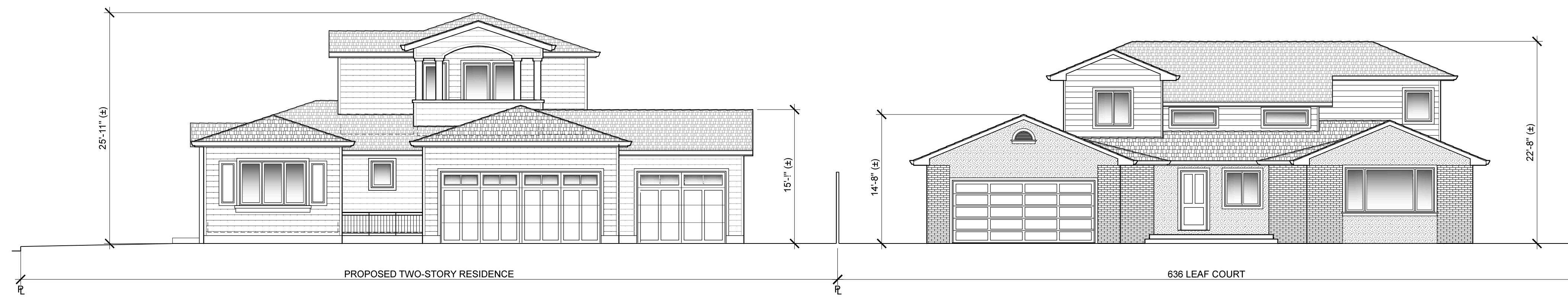
JOB SITE ADDRESS
 632 LEAF COURT
 LOS ALTOS, CA 94022

CHAPMAN DESIGN ASSOCIATES
 620 S. EL MONTE AVENUE
 LOS ALTOS, CA 94022 (650) 941-8890

SHEET
A1.2



STREETSCAPE
(TWELVE ACRES DRIVE)



STREETSCAPE
(LEAF COURT)

STREETSCAPE

1/8" = 1'-0"

NOTE
*
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NO.	REVISIONS	DATE
1	CITY PLAN CHECK	
2	COMMENTS	

CLIENT (JOB No. 22124)

MUJICA RESIDENCE

CHAPMAN
DESIGN
ASSOCIATES

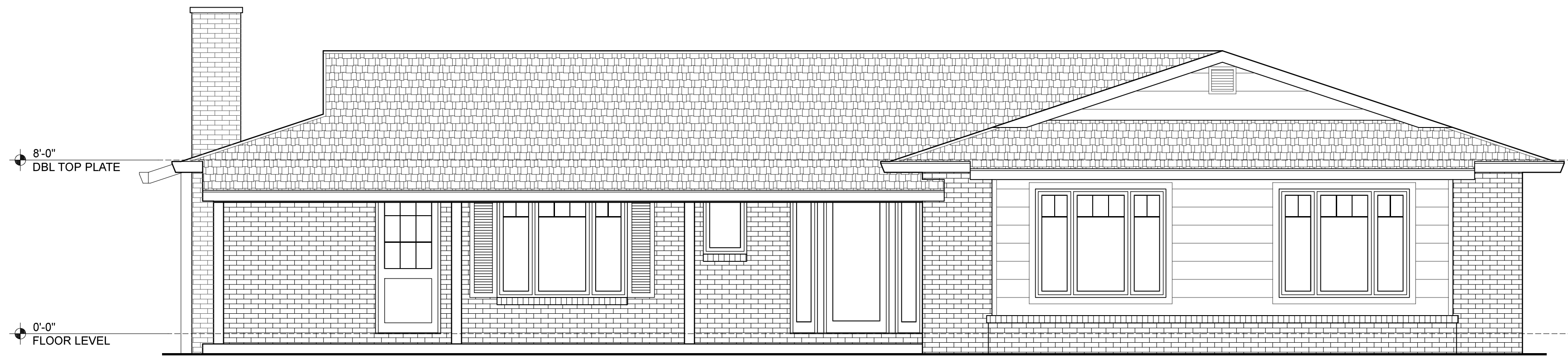
SHEET

A1.3

JOB SITE ADDRESS
632 LEAF COURT
LOS ALTOS, CA 94022

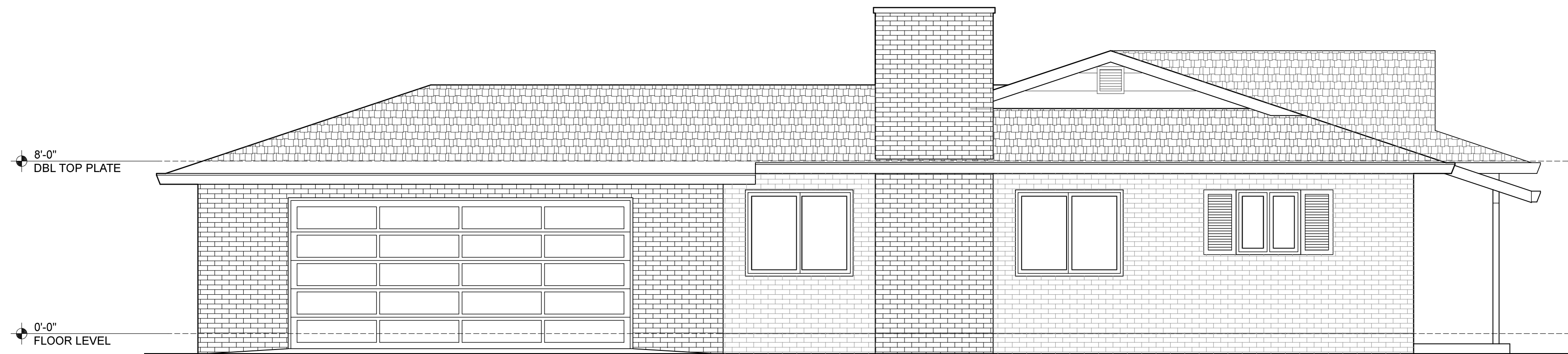
MAILING ADDRESS
632 LEAF COURT, LOS ALTOS, CA, 94022
PHONE No. (214) 726-6789

620 S. EL MONTE AVENUE
LOS ALTOS, CA 94022 (650) 941-8890



EXISTING (LEAF COURT) ELEVATION

1/4" = 1'-0"



EXISTING (TWELVE ACRES DR.) ELEVATION

1/4" = 1'-0"

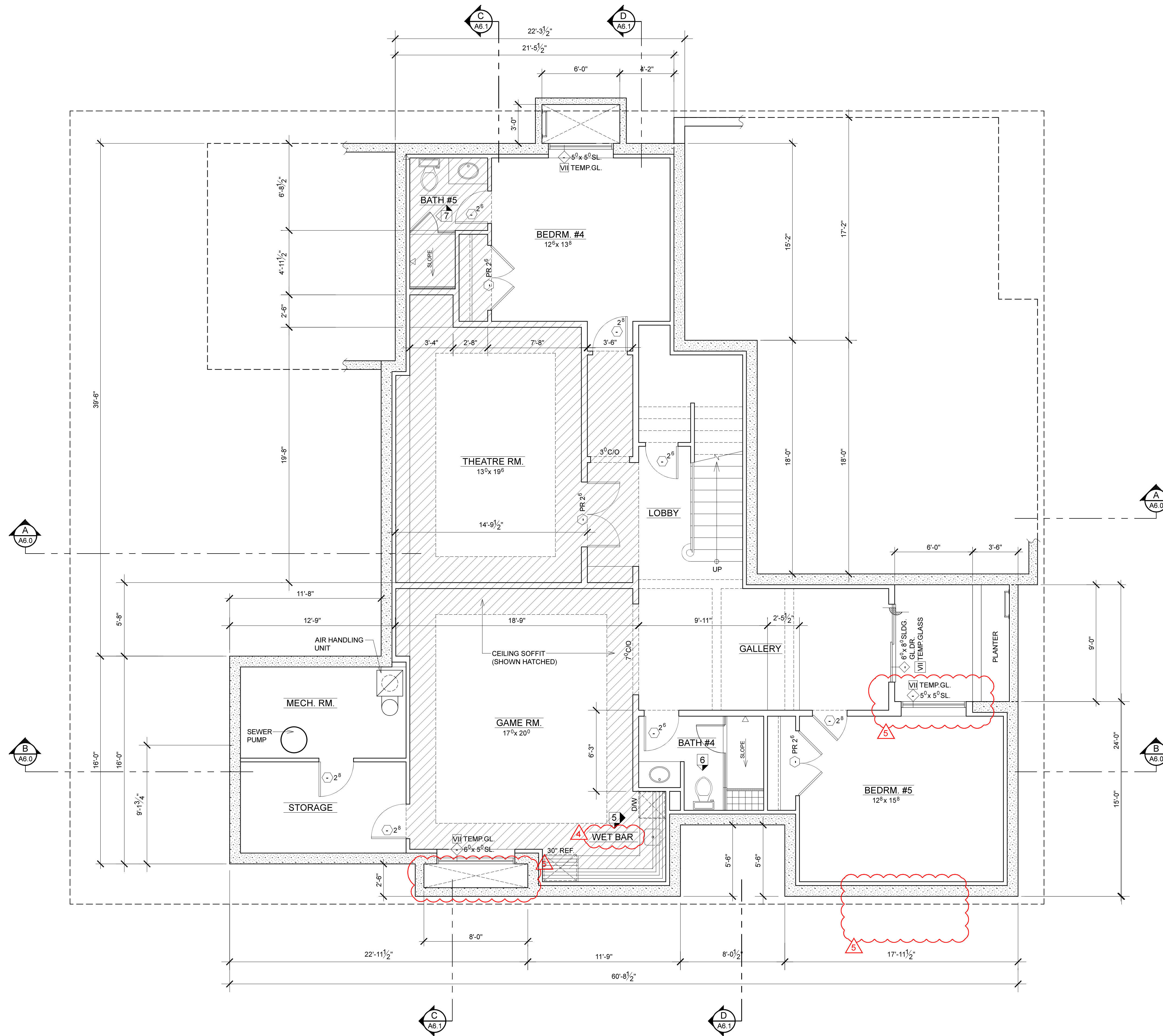
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JOB SITE ADDRESS
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 LOS ALTOS, CA 94022

CHAPMAN DESIGN ASSOCIATES
 620 S. EL MONTE AVENUE
 LOS ALTOS, CA 94022 (650) 941-6890

SHEET
 A2.0



PROPOSED BASEMENT PLAN

1/4" = 1'-0"

GENERAL NOTES

- I EGRESS** ALL BEDROOMS TO HAVE WINDOWS MEETING EGRESS REQUIREMENTS PER SEC. 310 & 311 CRC 2019
 - MIN. NET CLEAR OPENABLE AREA 5.7 S.F.
 - MIN. NET CLEAR OPENABLE WIDTH = 20"
 - MIN. NET CLEAR OPENABLE HEIGHT = 24"
- II GARAGE COMMON WALL** GARAGE SHALL BE SEPARATED FROM THE DWELLING UNIT AND ITS ATTIC AREA BY MEANS OF MIN. 1/2" GYPSUM BOARD (5/8" MIN. @ ATTIC) APPLIED TO THE GARAGE SIDE PER CRC SEC. R302.588. DOOR OPENINGS BETWEEN A PRIVATE GARAGE AND DWELLING UNIT SHALL BE EQUIPPED WITH EITHER SOLID WOOD DOORS OR SOLID / HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1 1/2" THICK & SHALL BE SELF-CLOSING & SELF-LATCHING
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 - KITCHEN SINK FAUCETS TO HAVE A MAXIMUM FLOW USE OF 1.8 GPM @ 80 psi

ROOM FINISH SCHEDULE

SEE ARCHITECTURAL SPECIFICATIONS SHEET FOR ABBREVIATIONS

ROOM NAME	FLOOR	BASEBOARD	WALLS	CEILING	RE-MARKS

LEGEND

- WINDOW - SEE "WINDOW SCHEDULE" ON SHEET A - FOR FURTHER SPECIFICATIONS
- DOOR - SEE "DOOR SCHEDULE" ON SHEET A - FOR FURTHER SPECIFICATIONS
- EXISTING WALLS TO REMAIN
- NEW WALLS
- (E) EXISTING
- (N) NEW
- RELOCATED

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NO.	DESCRIPTION	CITY PLAN CHECK	COMMENTS

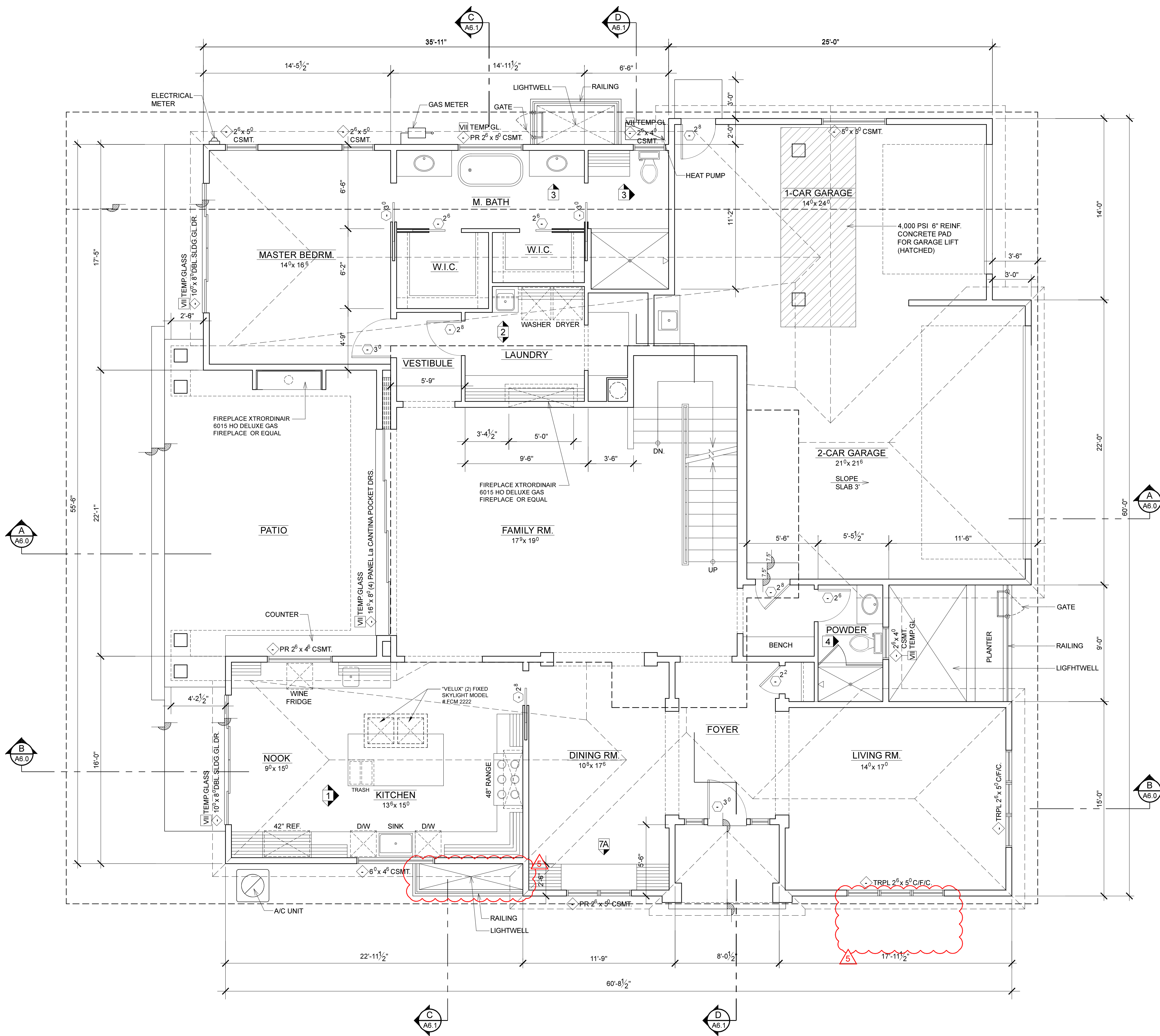
CLIENT (JOB No. 22124)
MUJICA RESIDENCE
 MAILING ADDRESS
 632 LEAF COURT, LOS ALTOS, CA, 94022
 PHONE No. (214) 726-6789

JOB SITE ADDRESS
 632 LEAF COURT
 LOS ALTOS, CA 94022

CHAPMAN DESIGN ASSOCIATES
 620 S. EL MONTE AVENUE
 LOS ALTOS, CA 94022 (650) 941-8890

SHEET

A3.0



PROPOSED MAIN FLOOR PLAN

1/4" = 1'-0"

GENERAL NOTES

- I EGRESS** ALL BEDROOMS TO HAVE WINDOWS MEETING EGRESS REQUIREMENTS PER SEC. 310 & 311 CRC 2019
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 - MIN. NET CLEAR OPENABLE WIDTH = 20"
 - MIN. NET CLEAR OPENABLE HEIGHT = 24"
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ROOM FINISH SCHEDULE

SEE ARCHITECTURAL SPECIFICATIONS SHEET FOR ABBREVIATIONS

ROOM NAME	FLOOR	BASEBOARD	WALLS	CEILING	RE-MARKS

LEGEND

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- NEW WALLS
- EXISTING
- NEW
- RELOCATED

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NO.	DESCRIPTION	CITY PLAN CHECK	COMMENTS

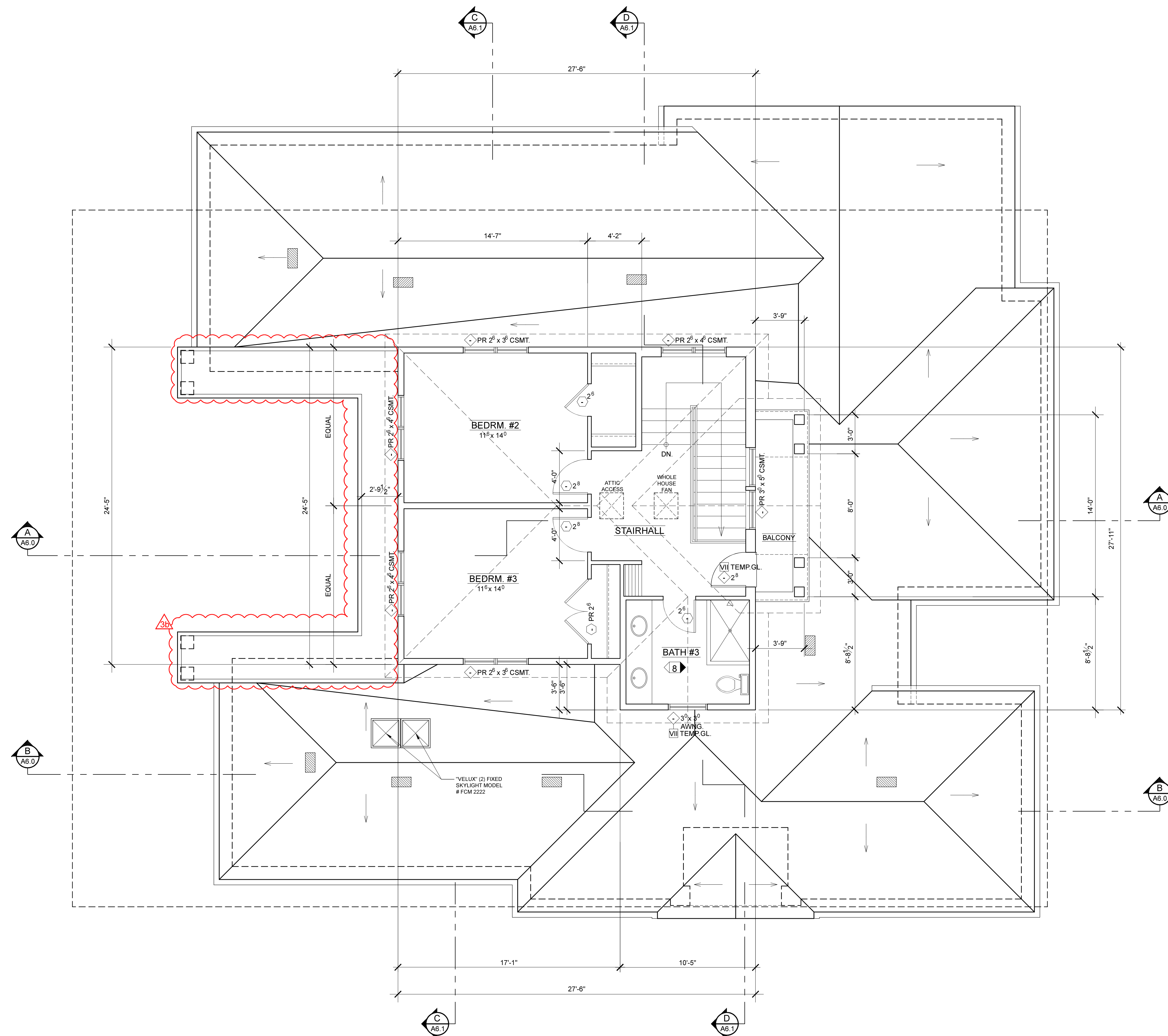
CLIENT (JOB No. 22124)
MUJICA RESIDENCE
 MAILING ADDRESS
 632 LEAF COURT, LOS ALTOS, CA, 94022
 PHONE No. (214) 726-6789

JOB SITE ADDRESS
 632 LEAF COURT
 LOS ALTOS, CA 94022

CHAPMAN DESIGN ASSOCIATES
 620 S. EL MONTE AVENUE
 LOS ALTOS, CA 94022 (650) 941-8890

SHEET

A3.1



PROPOSED UPPER FLOOR PLAN

1/4" = 1'-0"

GENERAL NOTES

- I EGRESS** ALL BEDROOMS TO HAVE WINDOWS MEETING EGRESS REQUIREMENTS PER SEC. 310 & 311 CRC 2019
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 - KITCHEN SINK FAUCETS TO HAVE A MAXIMUM FLOW USE OF 1.8 GPM @ 80 psi

ROOM FINISH SCHEDULE

SEE ARCHITECTURAL SPECIFICATIONS SHEET FOR ABBREVIATIONS

ROOM NAME	FLOOR	BASEBOARD	WALLS	CEILING	RE-MARKS

LEGEND

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 CHAPMAN DESIGN ASSOCIATES, INC.
 620 S. EL MONTE AVENUE
 LOS ALTOS, CA 94022 (650) 941-8890

NO.	DESCRIPTION	CITY PLAN CHECK COMMENTS

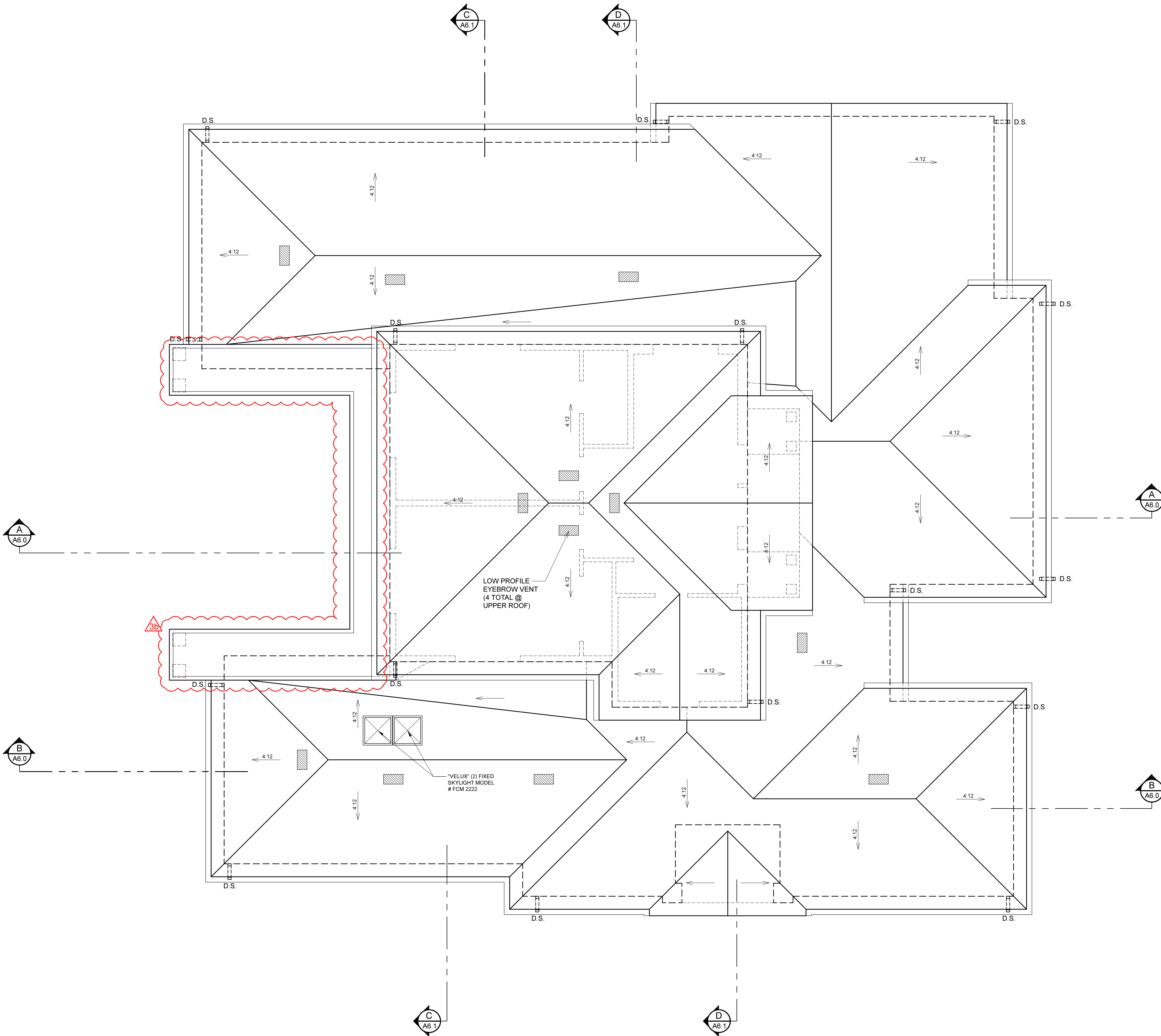
CLIENT (JOB No. 22124)
MUJICA RESIDENCE
 MAILING ADDRESS
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 PHONE No. (214) 726-6789

JOB SITE ADDRESS
 632 LEAF COURT
 LOS ALTOS, CA 94022

CHAPMAN DESIGN ASSOCIATES
 620 S. EL MONTE AVENUE
 LOS ALTOS, CA 94022 (650) 941-8890

SHEET

A3.2



PROPOSED ROOF PLAN

1/4" = 1'-0"

GENERAL NOTES

- I ROOF JACKS WHENEVER POSSIBLE, LOCATE ROOF JACKS WHERE THEY ARE NOT VISIBLE
- II VALLEY FLASHING 24 GA. G.I. "L" FLASHING @ ALL VALLEYS
- III CRICKET FLASHING 24 GA. G.I. OVER 1/2" D.F. CDX PLYWOOD (OR BETTER) - 3/4" MIN. SLOPE
- IV ATTIC VENTILATION PROVIDE ATTIC VENTILATION AS OUTLINED IN SEC. R806.2, 2019 CRC
- V FIREPLACE & CHIMNEY DESIGN AND CONSTRUCTION TO FOLLOW PARAMETERS AS OUTLINED IN CHAPTER 10 OF THE 2019 CRC

ROOF PLAN NOTES

- 1 ROOFING COMPOSITION SHINGLE
- 2 GUTTERS OGEE GUTTER
- 3 DOWN SPOUTS ROUND DOWNSPOUTS
- 4 SKYLIGHTS "VELUX", WDMA HALLMARK CERTIFICATION 426 (IAMPO UES 0199) OR EQUIVALENT

ATTIC VENT CALCULATIONS

AREA = 707.46 SQ. FT. (UPPER ROOF ATTIC SPACE)
 = 150
 = 4.71 SQ. FT. (REQ'D. VENTING AREA)
 PROPOSED VENTING
 = 0.73 SQ. FT. (LOW PROFILE RECT. EYEBROW VENT)
 X 4 (NFVA = 0.73 S.F./ VENT)
 = 2.92 SQ. FT.
 = .493 SQ. FT. (22.25" X 5.5" RECT. EAVE VENT)
 X 6 (NFVA = 0.493 S.F./ VENT)
 = 2.96 SQ. FT.
 = 5.88 SQ. FT. (TOTAL PROPOSED VENTING AREA)

AREA = 558.20 SQ. FT. (LOWER ROOF ATTIC SPACE OVER MASTER BEDRM & BATH)
 = 150
 = 3.72 SQ. FT. (REQ'D. VENTING AREA)
 PROPOSED VENTING
 = 0.73 SQ. FT. (LOW PROFILE RECT. EYEBROW VENT)
 X 2 (NFVA = 0.73 S.F./ VENT)
 = 1.46 SQ. FT.
 = .493 SQ. FT. (22.25" X 5.5" RECT. EAVE VENT)
 X 5 (NFVA = 0.493 S.F./ VENT)
 = 2.46 SQ. FT.
 = 3.92 SQ. FT. (PROPOSED VENTING AREA)

AREA = 1,000.11 SQ. FT. (LOWER ROOF ATTIC SPACE OVER LIVING, DINING, KITCHEN & POWDER)
 = 150
 = 6.67 SQ. FT. (REQ'D. VENTING AREA)
 PROPOSED VENTING
 = 0.73 SQ. FT. (LOW PROFILE RECT. EYEBROW VENT)
 X 4 (NFVA = 0.73 S.F./ VENT)
 = 2.92 SQ. FT.
 = .493 SQ. FT. (22.25" X 5.5" RECT. EAVE VENT)
 X 8 (NFVA = 0.493 S.F./ VENT)
 = 3.94 SQ. FT.
 = 6.86 SQ. FT. (PROPOSED VENTING AREA)

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NO.	REVISION	DATE	BY	CHKD.	COMMENTS
1					CITY PLAN CHECK

CLIENT (JOB No. 22124)

MUJICA RESIDENCE

CHAPMAN DESIGN ASSOCIATES

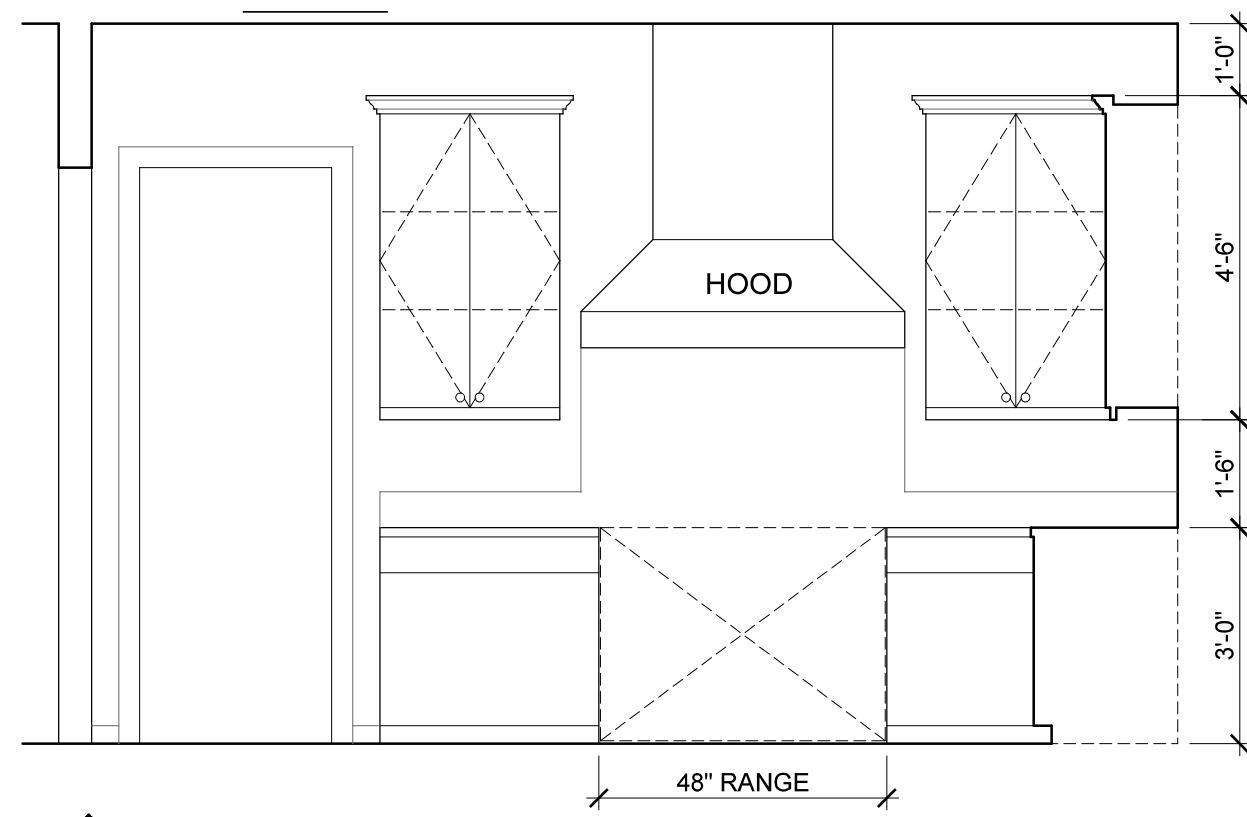
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A3.3

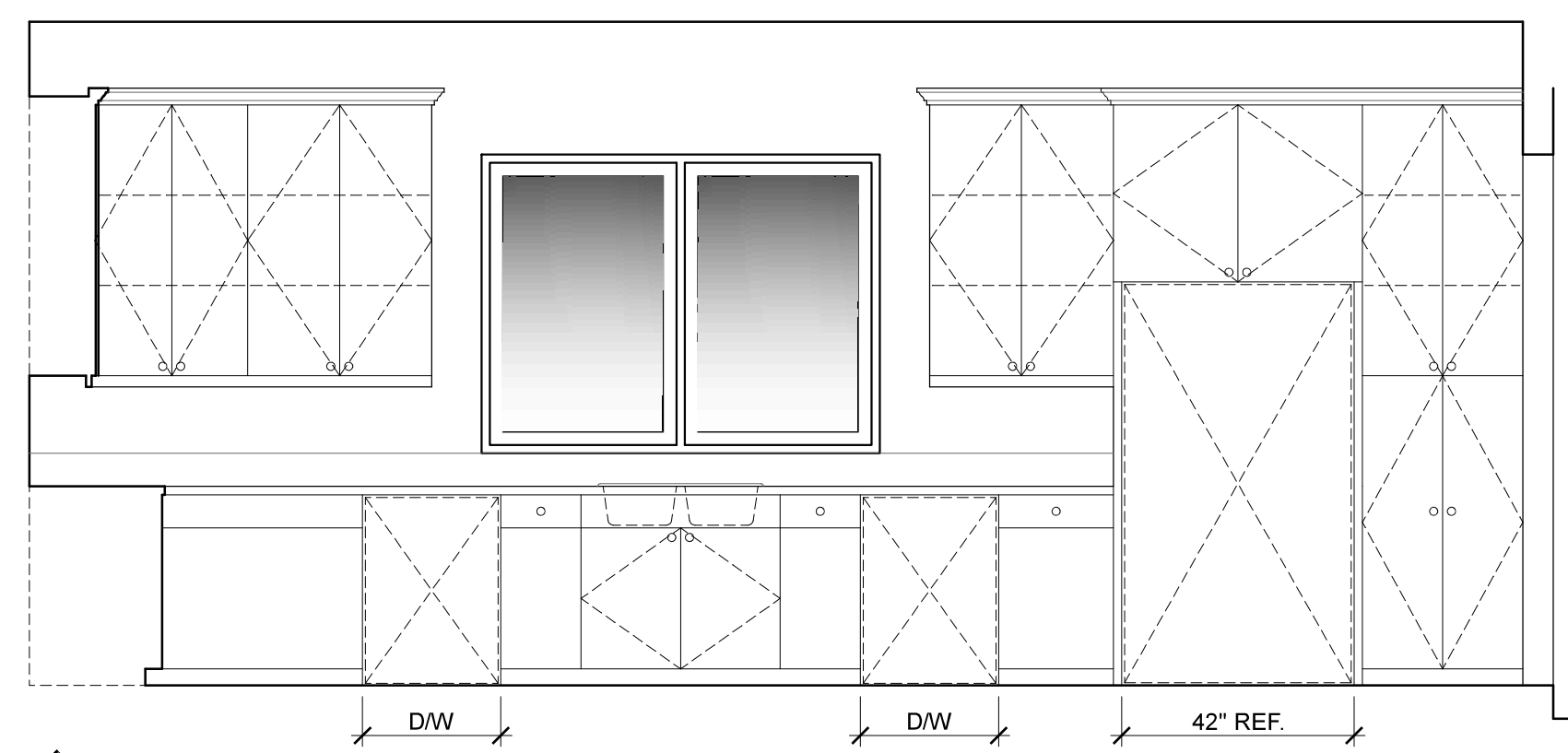
JOB SITE ADDRESS
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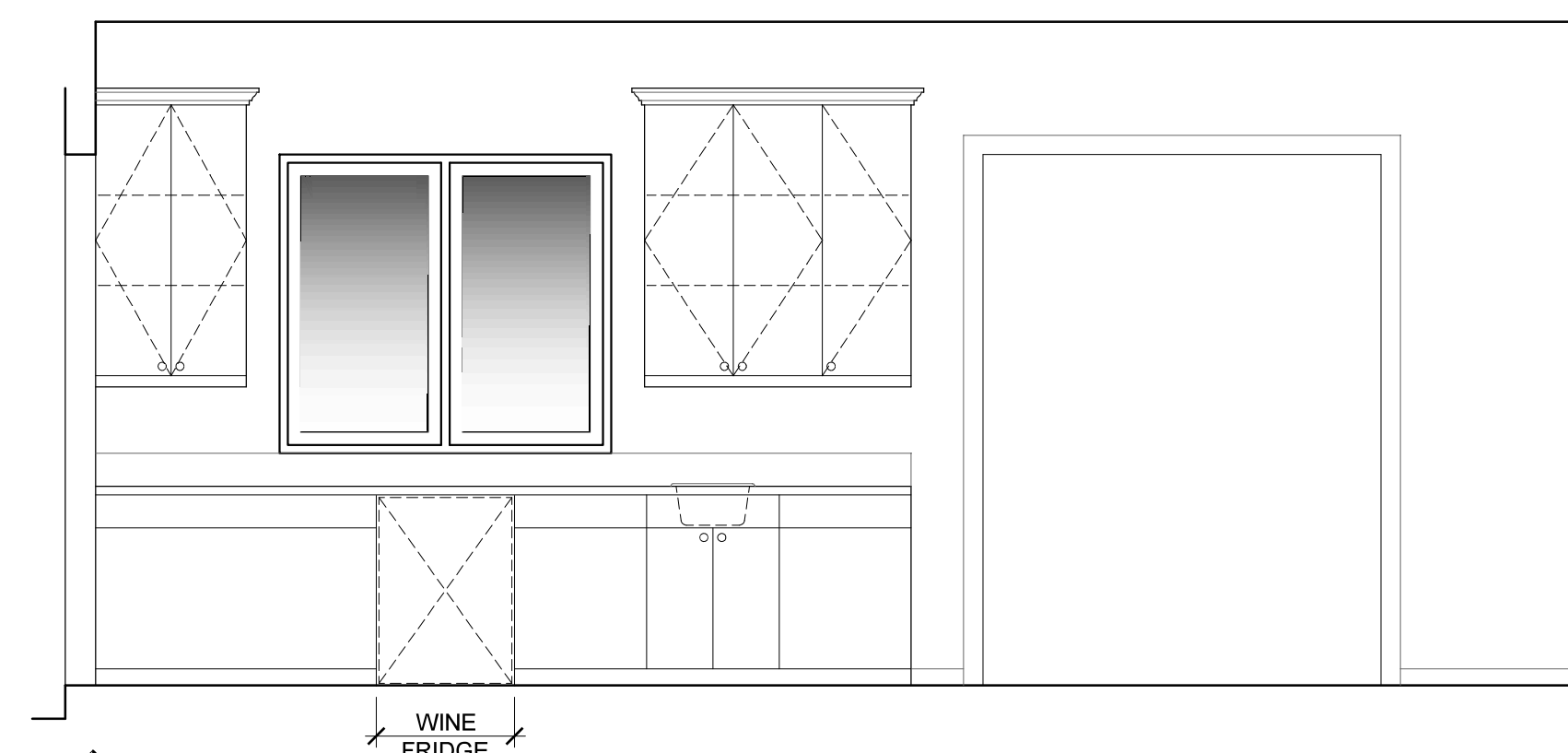


1 KITCHEN

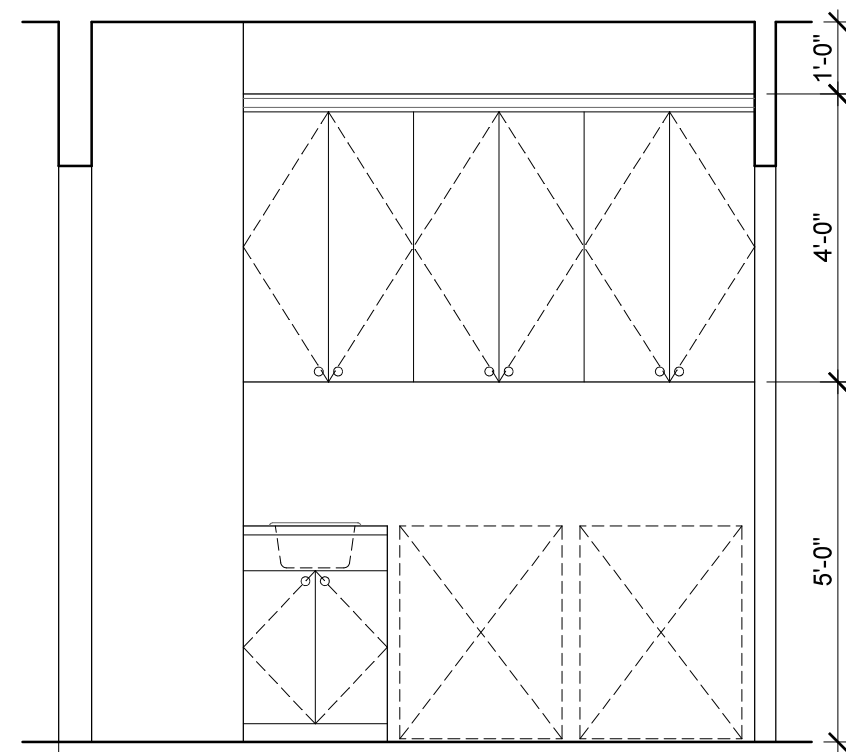


1 KITCHEN

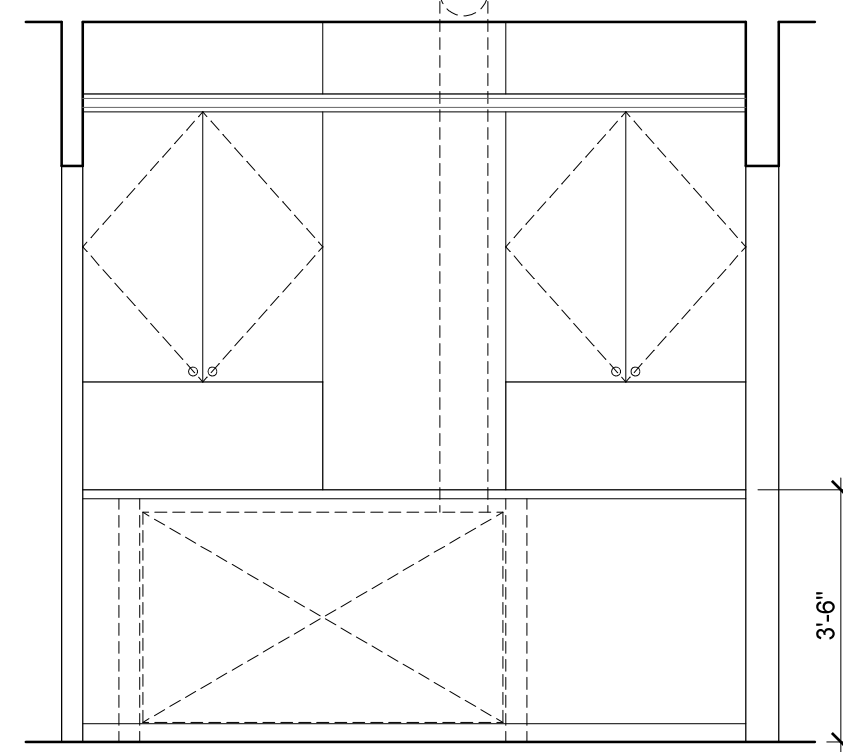
NOOK



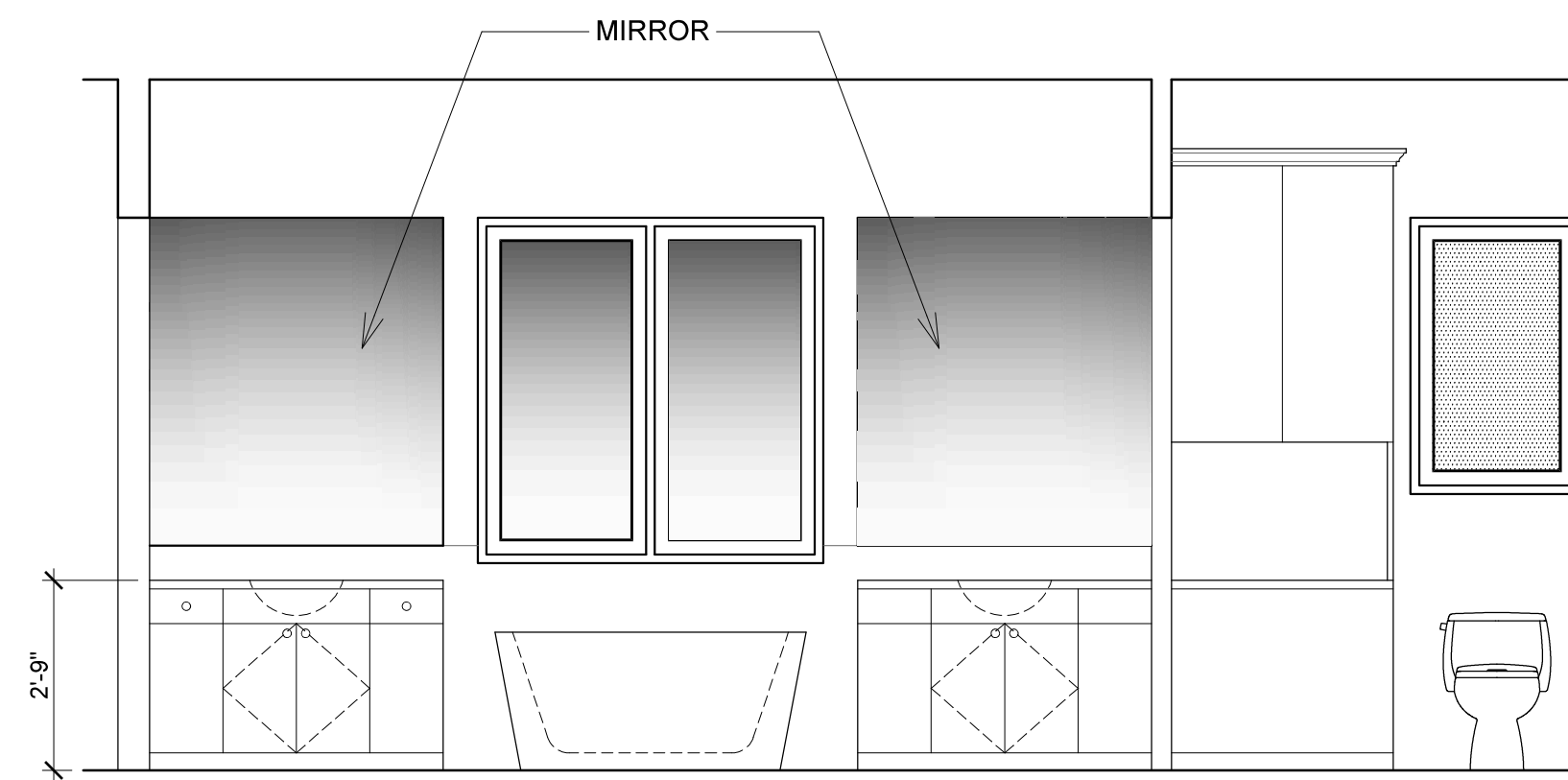
1 NOOK



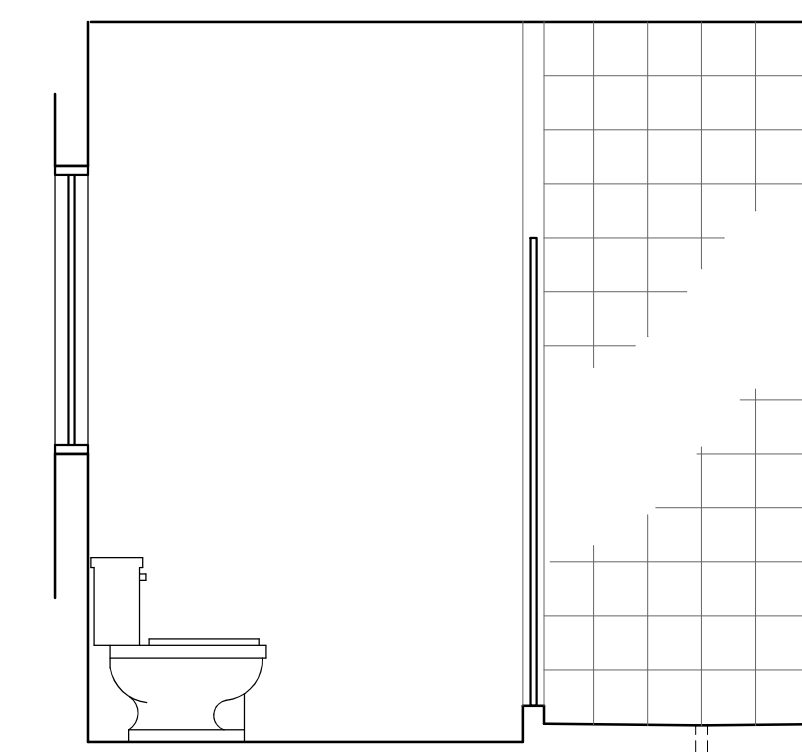
2 LAUNDRY



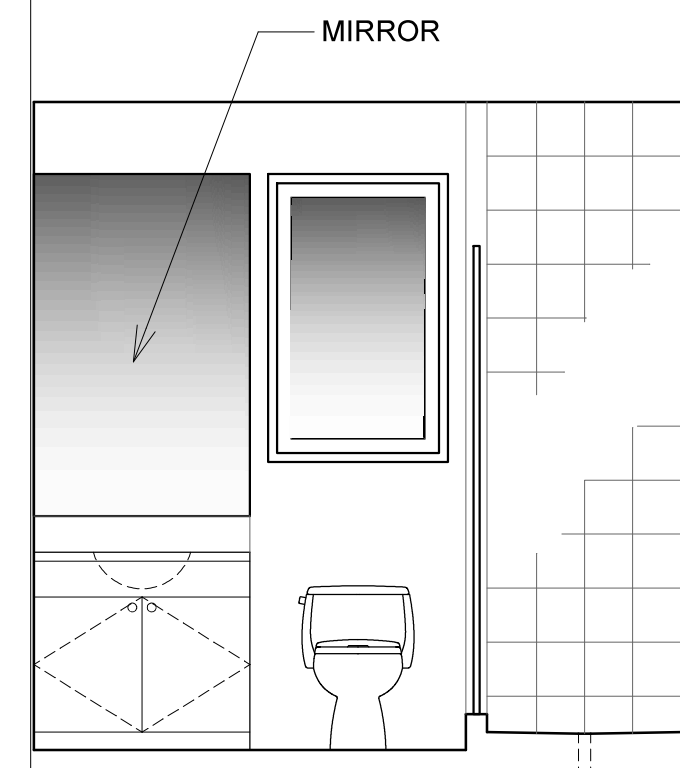
2 LAUNDRY



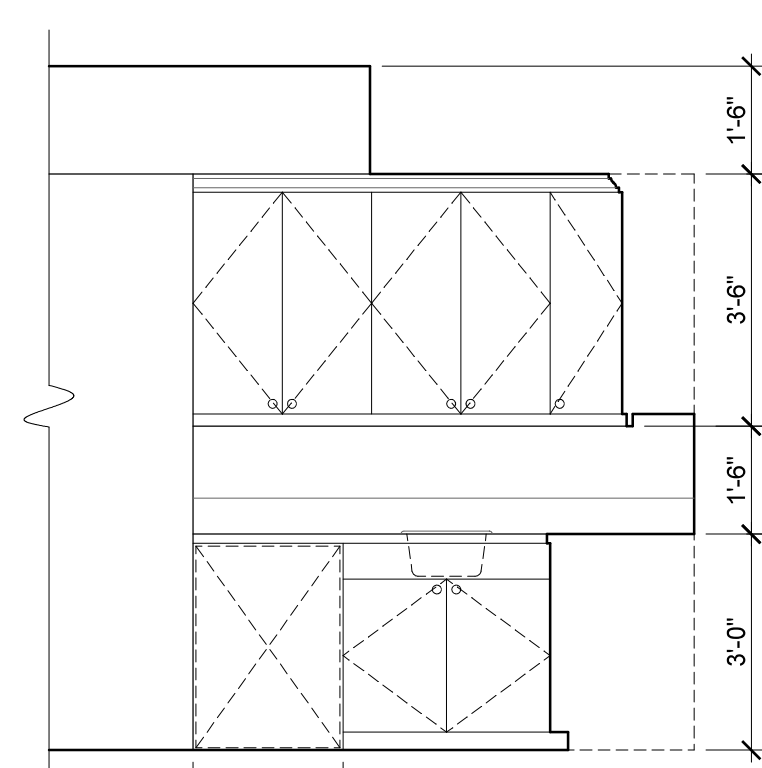
3 MASTER BATH



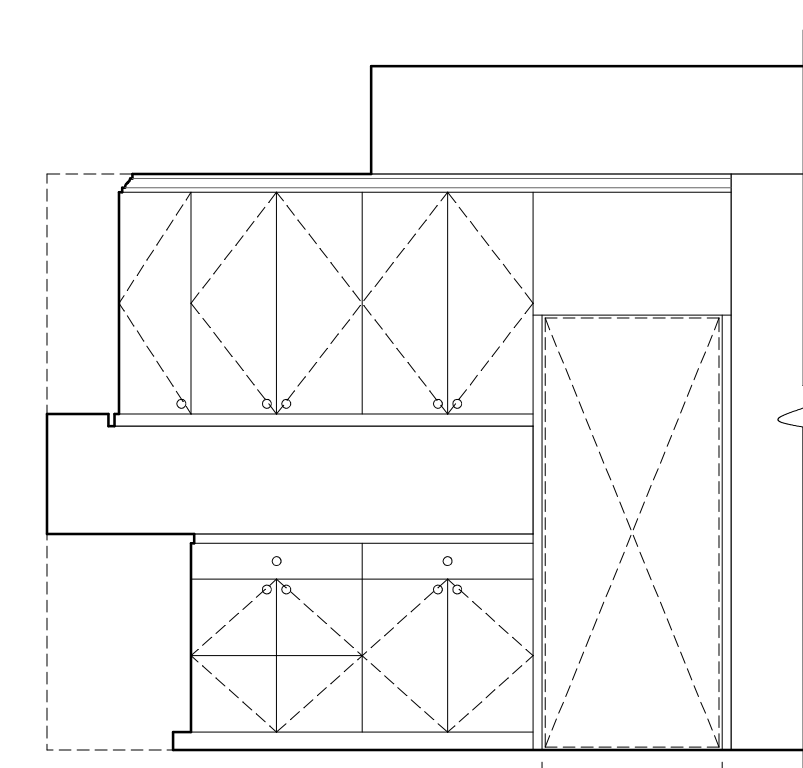
3 MASTER BATH



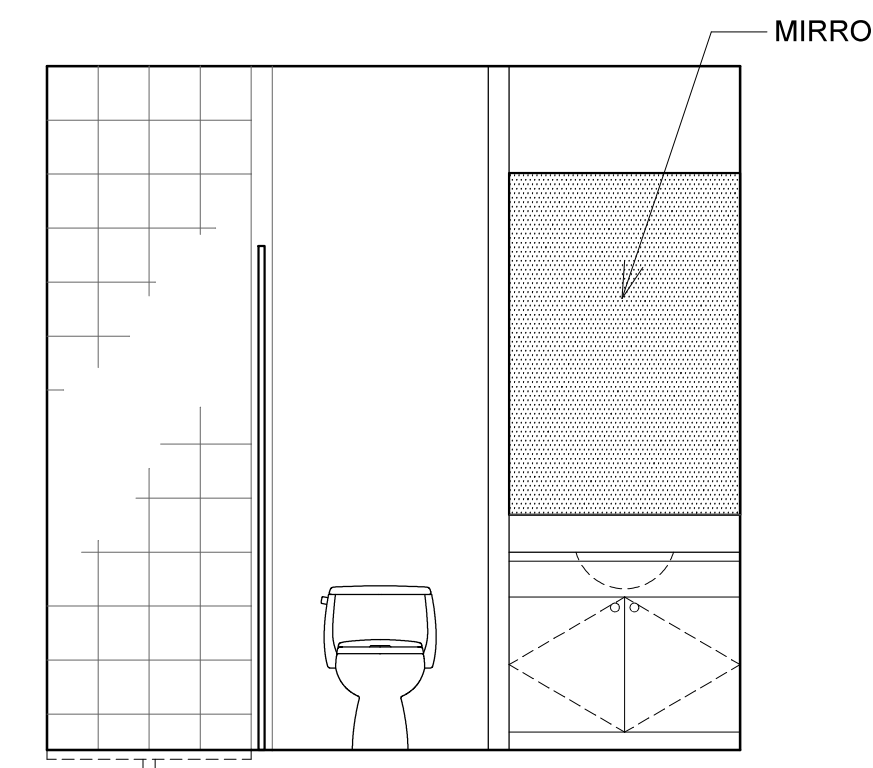
4 POWDER ROOM



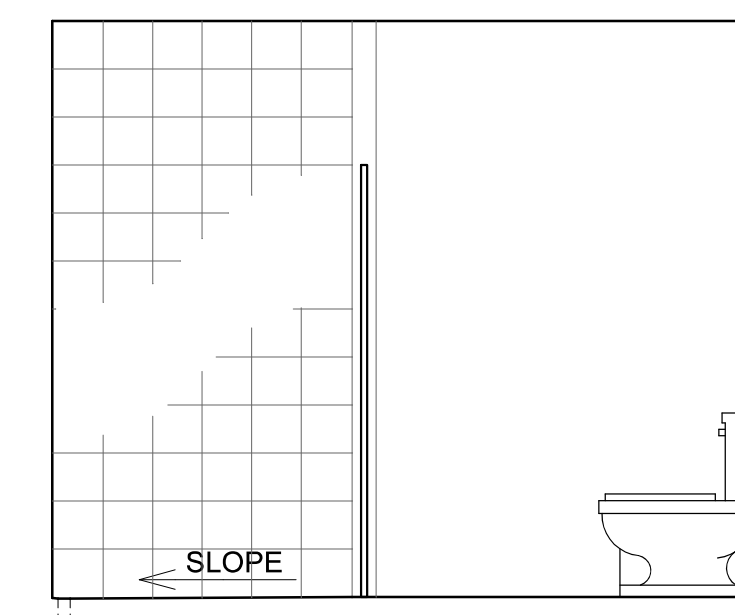
5 GAME ROOM



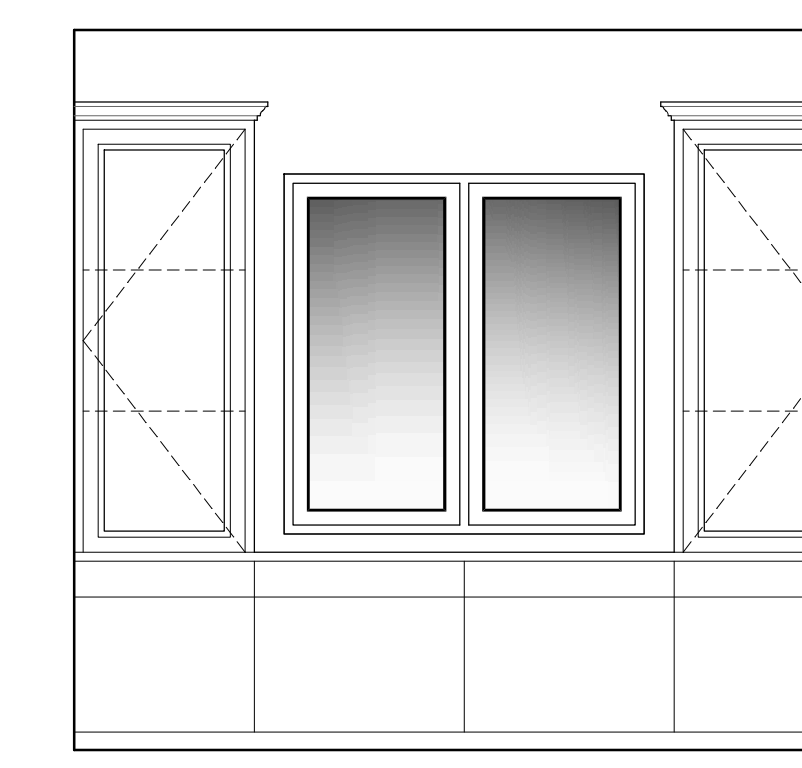
5 GAME ROOM



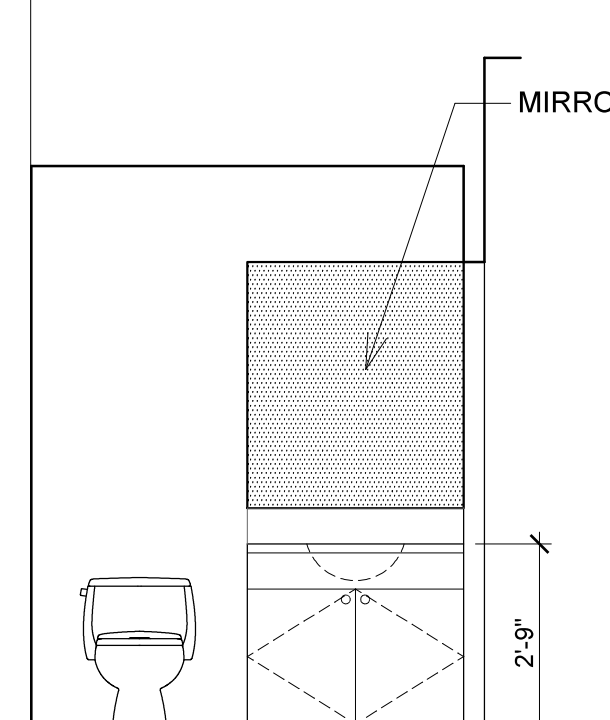
6 BATH #4



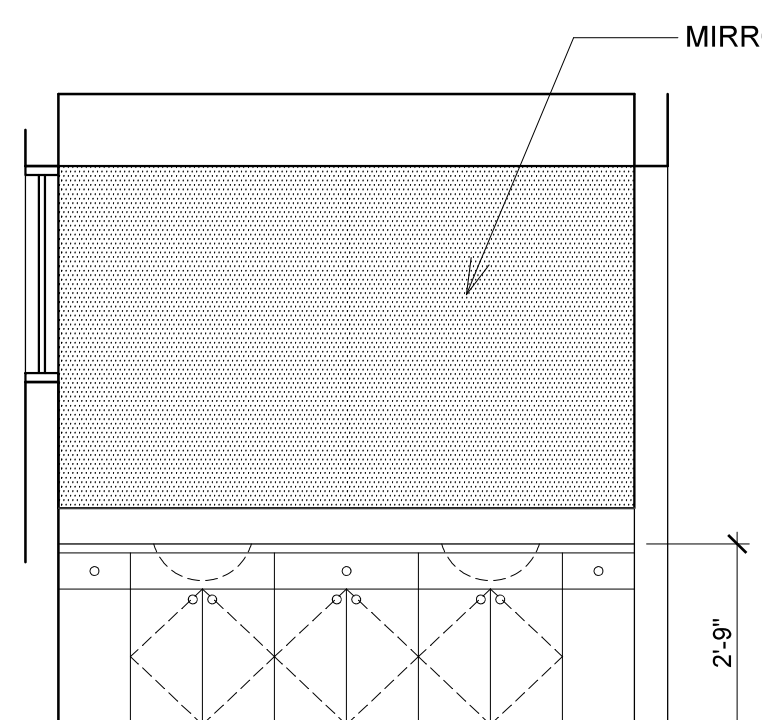
7 BATH #5



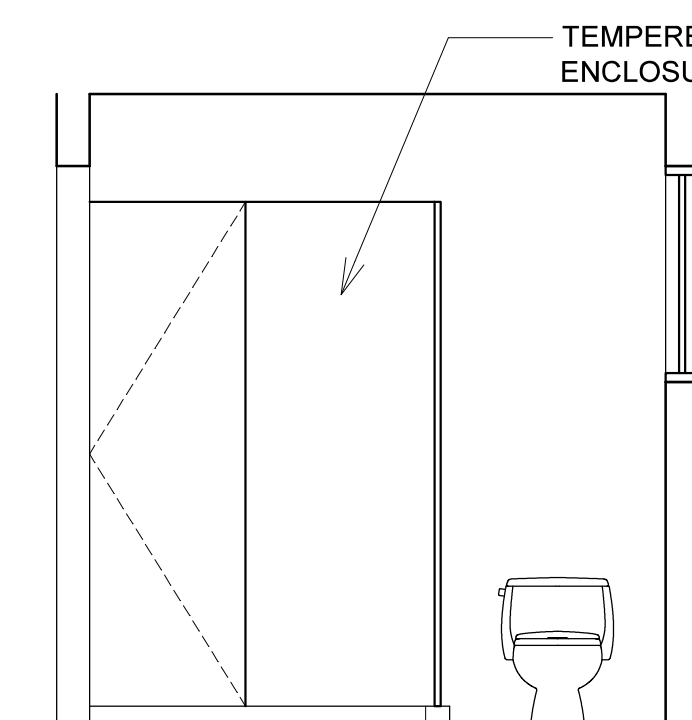
7A DINING ROOM



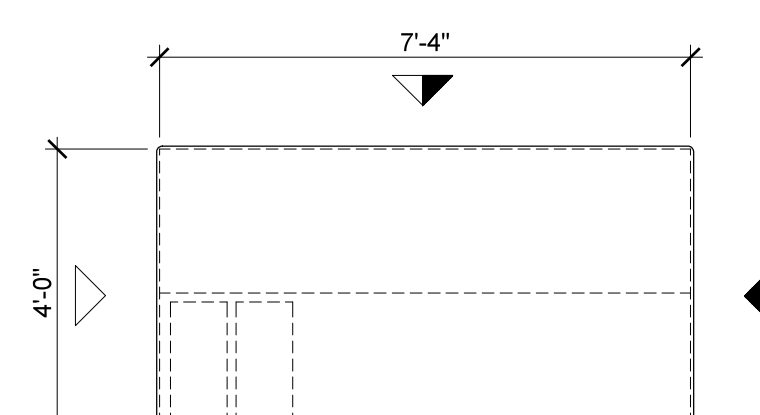
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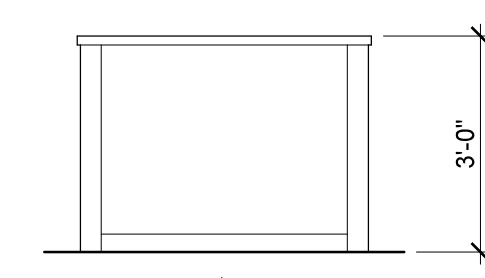
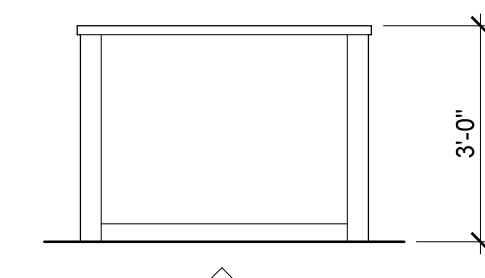
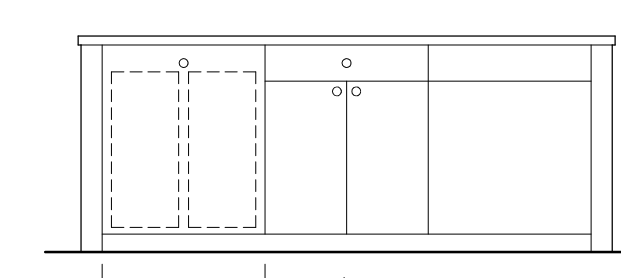
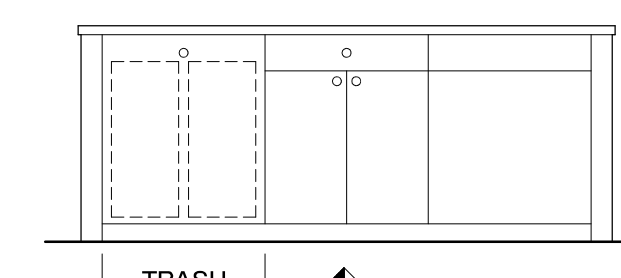
8 BATH #3



8 BATH #3



KITCHEN ISLAND



GENERAL NOTES

- I WALLS/ CEILING 1/2\"/>
- II CORNER BEAD ALUMINUM CORNER BEAD, U.O.N.
- III CASED OPENINGS STANDARD CASINGS, U.O.N.
- IV WINDOW CASINGS STANDARD CASINGS, U.O.N.
- V FINISHES SEE "ROOM FINISH SCHEDULE" ON FLOOR PLAN(S)
- VI CABINETRY CONTRACTOR & CABINET MAKER TO VERIFY ALL ROOM DIMENSIONS & ROUGH OPENINGS FOR APPLIANCES PRIOR TO FABRICATION
- VII APPLIANCES SEE SCHEDULE ON SHEET FOR MANUFACTURER/MODEL # AND SPECIFICATIONS

INTERIOR NOTES

- 1 BATHTUB
- 2 TUB/ SHOWER
- 3 SHOWER
- 4 FIREPLACE

CABINETRY NOTES

COLORS & FINISHES PER OWNER'S SPECIFICATIONS

- A CABINET TYPE DOOR(S) EXTERIOR INTERIOR HARDWARE PULLS
- B CABINET TYPE DOOR(S) EXTERIOR INTERIOR HARDWARE PULLS
- C CABINET TYPE DOOR(S) EXTERIOR INTERIOR HARDWARE PULLS

SURFACE MATERIALS

COLORS & FINISHES PER OWNER'S SPECIFICATIONS

- F TILE
- G GRANITE
- H MARBLE
- J CORIAN
- K FORMICA/ LAMINATE
- L WOOD TOP

NOTE: ALL CABINET MEASUREMENTS MUST BE FIELD VERIFIED PRIOR TO THE ORDERING OR BUILDING OF CABINETS

INTERIOR ELEVATIONS

3/8" = 1'-0"

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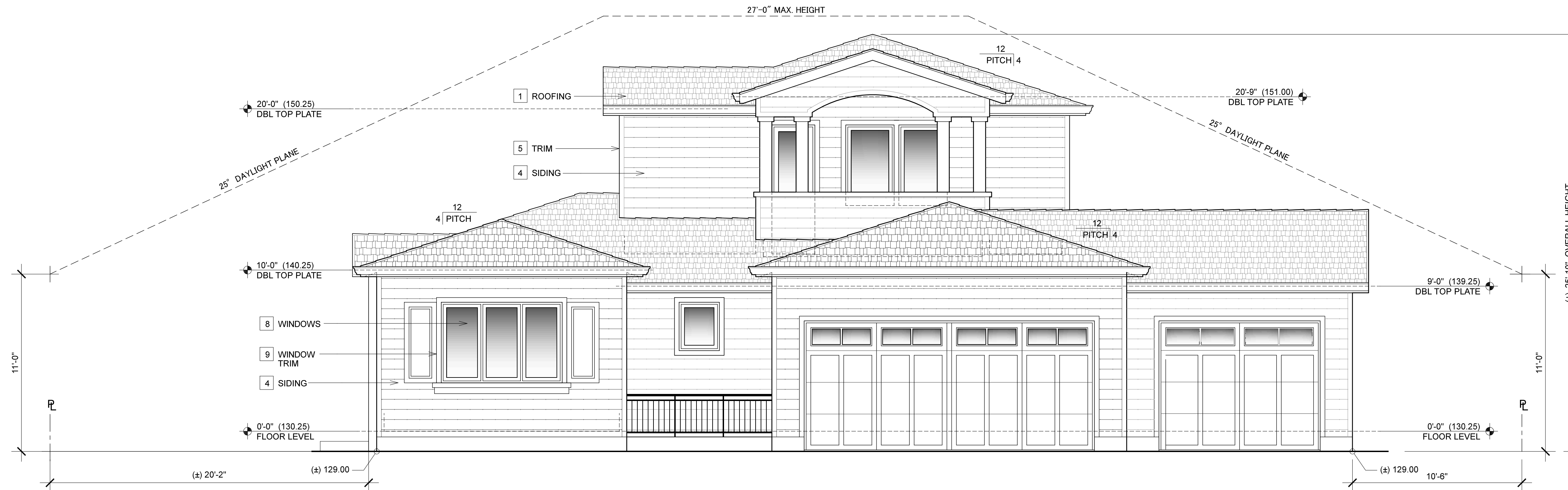
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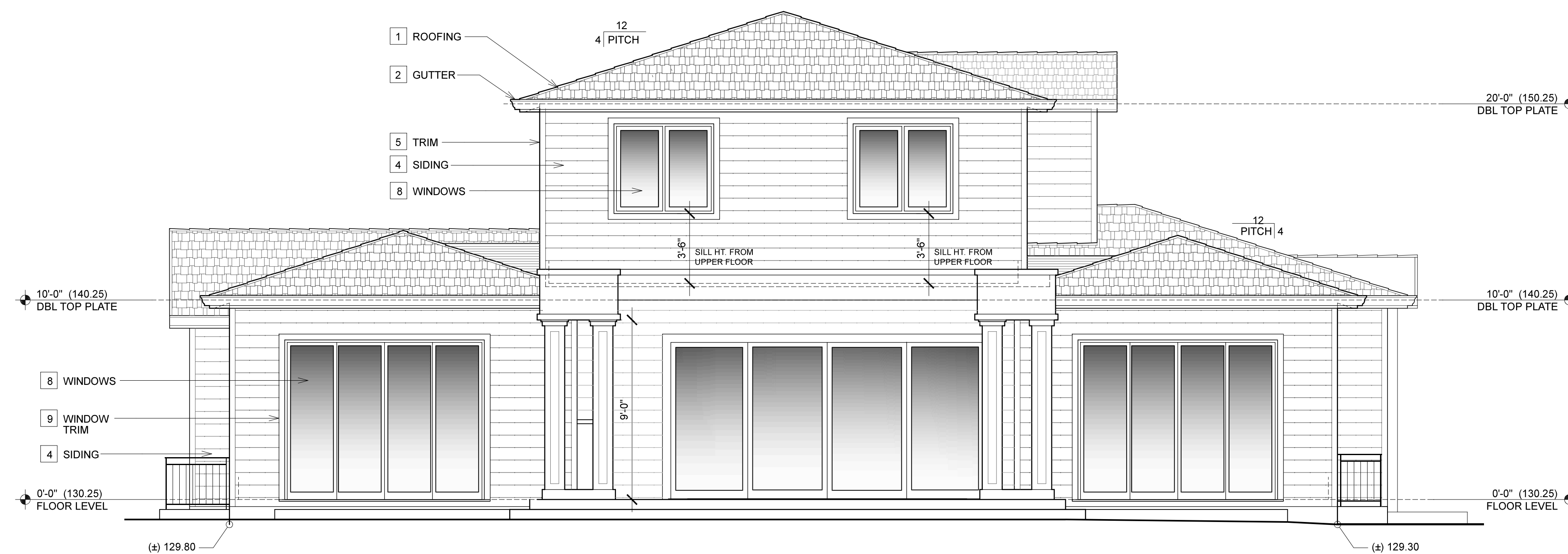
SHEET

A4.0



FRONT ELEVATION - (NORTH)

1/4" = 1'-0"



REAR ELEVATION - (SOUTH)

1/4" = 1'-0"

GENERAL NOTES

- I STUCCO REQUIREMENTS: 1) 3-COAT & 1/2" MIN. THICK 2) HAS 2 LAYERS OF GRADE D BUILDING PAPER 3) 26 GA. GALVANIZED WEEP SCREED AT FOUNDATION PLATE LINE AT LEAST 4" ABOVE GRADE OR 2" ABOVE CONCRETE OR PAVING (SEC. 2512.11, 2510.6 & 2512.1.2 CBC 2019)
- II FLUE CLEARANCE AS PER SECTION R1003.18 CRC 2019. 2'-0" ABOVE COMBUSTIBLE CONSTRUCTION @ 10'-0" AWAY
- III CHIMNEY BRACING AS PER CH. 10 CRC 2019
- IV SPARK ARRESTOR PROVIDE AS PER SEC. R1003.4.1 CRC 2019
- V TEMPERED GLASS PROVIDE TEMPERED SAFETY GLASS @ HAZARDOUS LOCATIONS PER SEC. R308.4 CRC 2019

EXT. MATERIAL NOTES

- 1 ROOFING COMPOSITION SHINGLE
- 2 GUTTER OGEE GUTTER
- 3 DOWN SPOUTS ROUND DOWNSPOUTS
- 4 SIDING HARDI PLANK
- 5 TRIM 2x4 K.D. MATERIAL
- 6 STUCCO N/A
- 7 VENEER N/A
- 8 WINDOWS DUAL GLAZED WOOD CASEMENTS AND AWNINGS
- 9 WINDOW TRIM FRONT AND LEFT ELEVATIONS LOWER FLOOR TO HAVE SILL & APRON - UPPER FLOOR PICTURE FRAME
- 10 SKYLIGHTS "VELUX", WDMA HALLMARK CERTIFICATION 426 (IAMPO UES 0199) OR EQUIVALENT
- 11 CHIMNEY N/A

LEGEND

- # WINDOW - SEE "WINDOW SCHEDULE" ON SHEET A - FOR FURTHER SPECIFICATIONS
- # DOOR - SEE "DOOR SCHEDULE" ON SHEET A - FOR FURTHER SPECIFICATIONS

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RIGHT SIDE ELEVATION - (EAST)

1/4" = 1'-0"



LEFT SIDE ELEVATION - (WEST)

1/4" = 1'-0"

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- 10 SKYLIGHTS "VELUX", WDMA HALLMARK CERTIFICATION 426 (IAMPO UES 0199) OR EQUIVALENT
- 11 CHIMNEY N/A

LEGEND

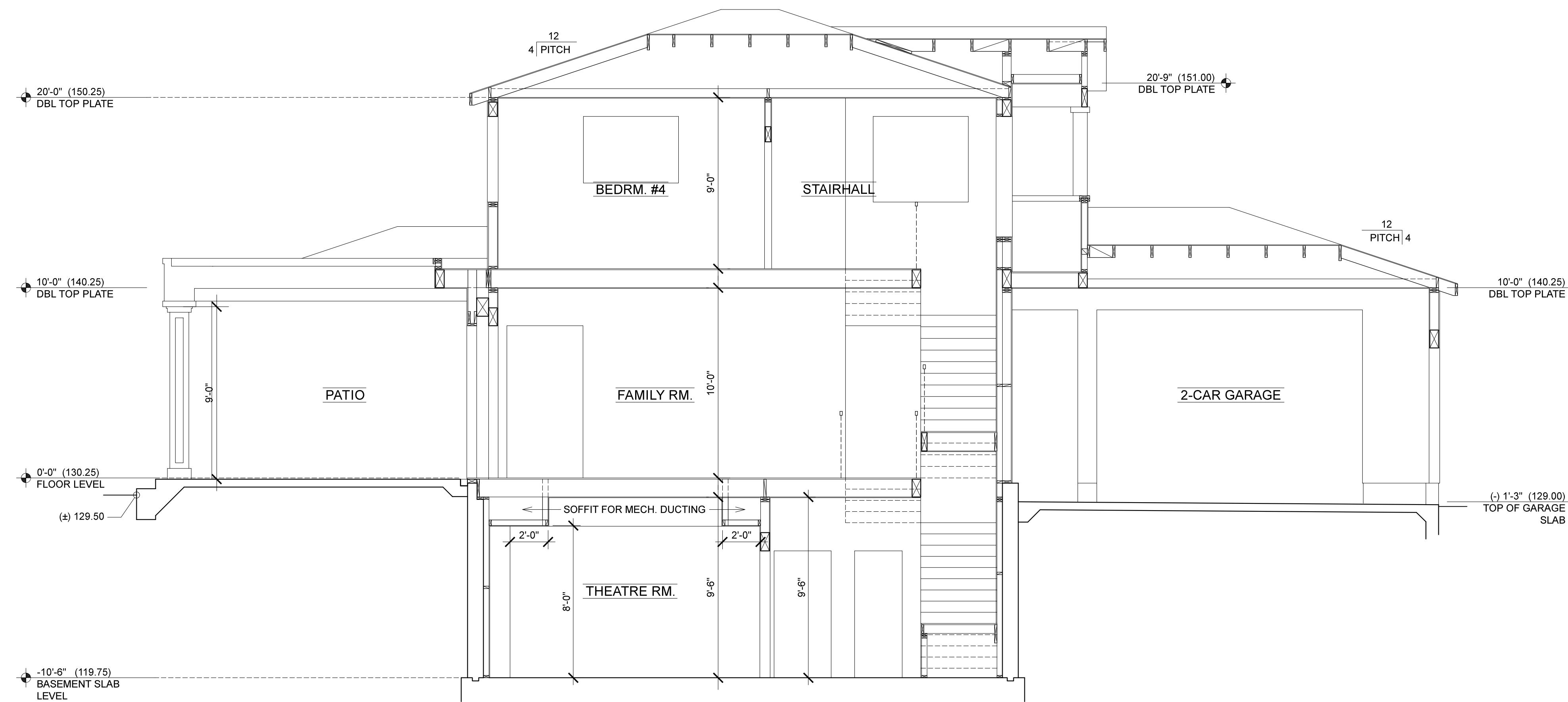
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- # DOOR - SEE "DOOR SCHEDULE" ON SHEET A - FOR FURTHER SPECIFICATIONS

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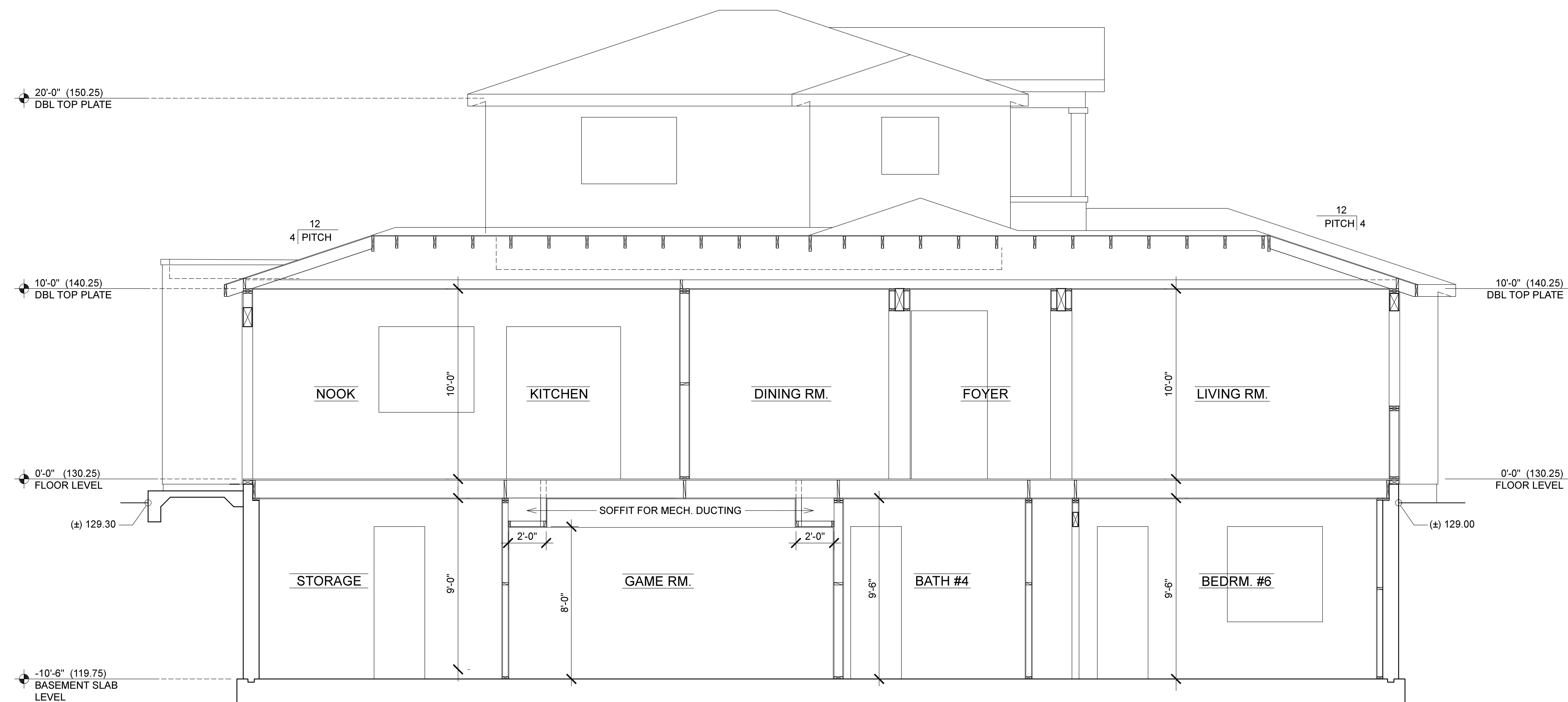
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CROSS SECTION A-A

1/4" = 1'-0"



CROSS SECTION B-B

1/4" = 1'-0"

SECTION NOTES

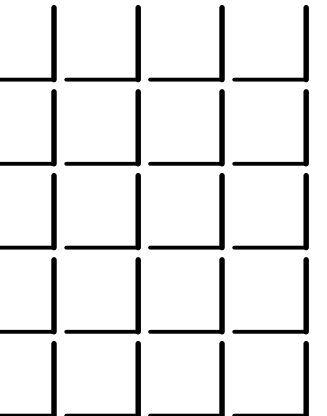
- 1 ROOF ROOF MATERIAL (SEE ROOF PLAN FOR TYPE) O/ 30# UNDERLAYMENT O/ SHEATHING (SEE SHEATHING SCHEDULE FOR TYPE) O/ RAFTERS (SEE ROOF PLAN AND/OR ROOF FRAMING SCHEDULE FOR TYPE/SIZE & SPACING). TYPICAL U.O.N.
- 2 CEILING @ ATTIC CEILING JOISTS (SEE FRAMING PLAN AND/OR FLOOR/CEILING FRAMING SCHEDULE FOR TYPE/SIZE & SPACING) w/ 1/2" SHETROCK. TYPICAL U.O.N.
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- 5 FLOOR FLOOR SHEATHING (SEE SHEATHING SCHEDULE FOR TYPE) O/ FLOOR JOISTS (SEE FRAMING PLAN AND/OR FLOOR/CEILING FRAMING SCHEDULE FOR TYPE/SIZE & SPACING). TYPICAL U.O.N.
- 6 FLOOR w/ CEILING FLOOR SHEATHING (SEE SHEATHING SCHEDULE FOR TYPE) O/ FLOOR JOISTS (SEE FRAMING PLAN AND/OR FLOOR/CEILING FRAMING SCHEDULE FOR TYPE/SIZE & SPACING) W/ 1/2" SHEET ROCK. TYPICAL U.O.N.
- 7 CRAWL SPACE SLAB 16" CONCRETE SLAB w/ #5 @ 6" O.C. EA. WAY @ BOTTOM & #5 @ 10" O.C. @ TOP of APPROVED WATER PROOF MEMBRANE of 4" CRUSHED ROCK
- 8 CONCRETE SLAB 5" CONCRETE SLAB w/ #4 BARS @ 18" O.C. of 8" CLASS II CLEAN CRUSHED ROCK
- 9 GARAGE SLAB 5" CONCRETE SLAB w/ #4 BARS @ 18" O.C. of 15 mil VISQ of 8" CLASS II CLEAN CRUSHED ROCK
- 10 INSULATION ATTIC INSULATION R -
EXTERIOR WALL INSULATION R -
RAISED FLOOR INSULATION R -

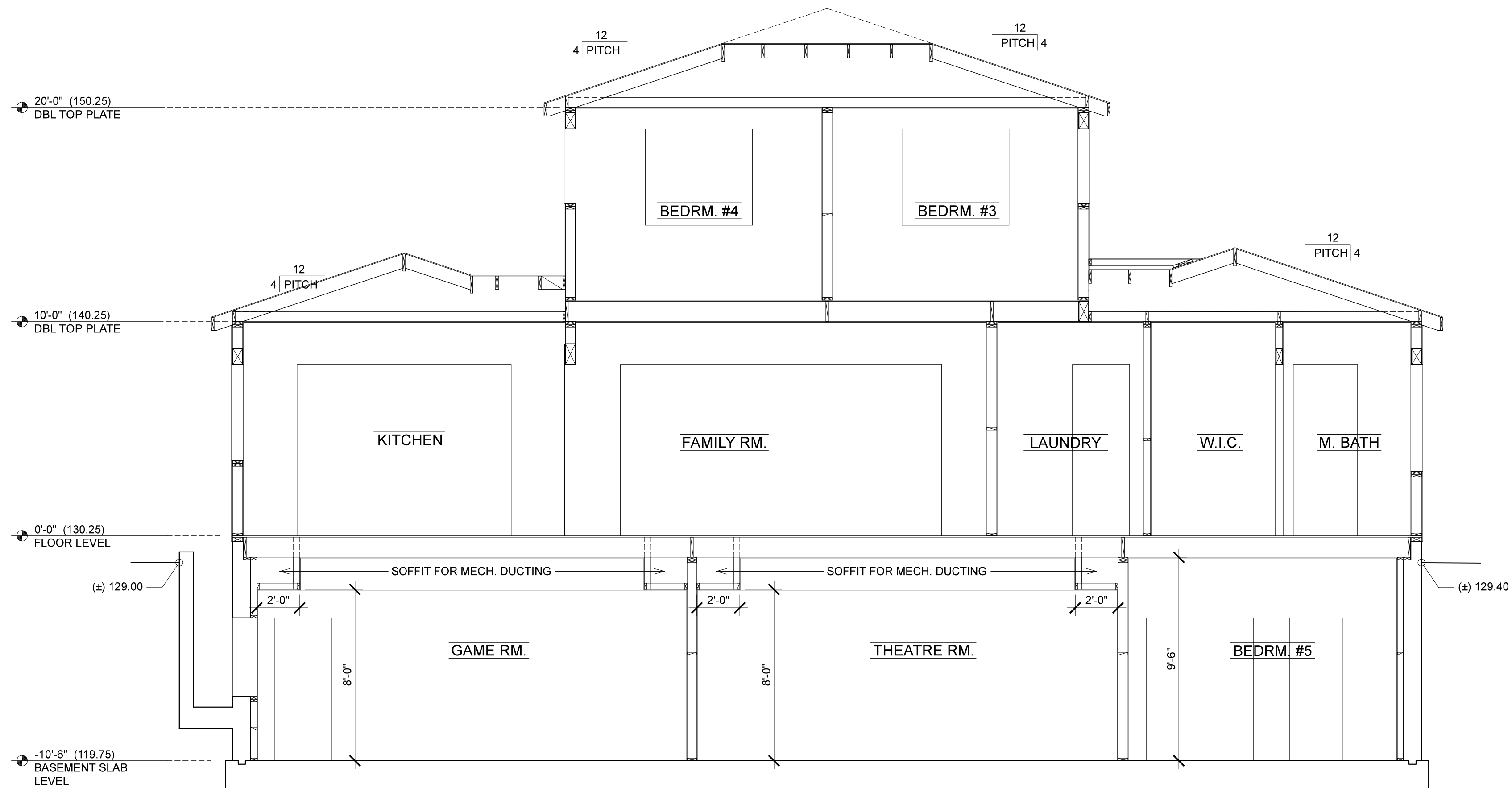
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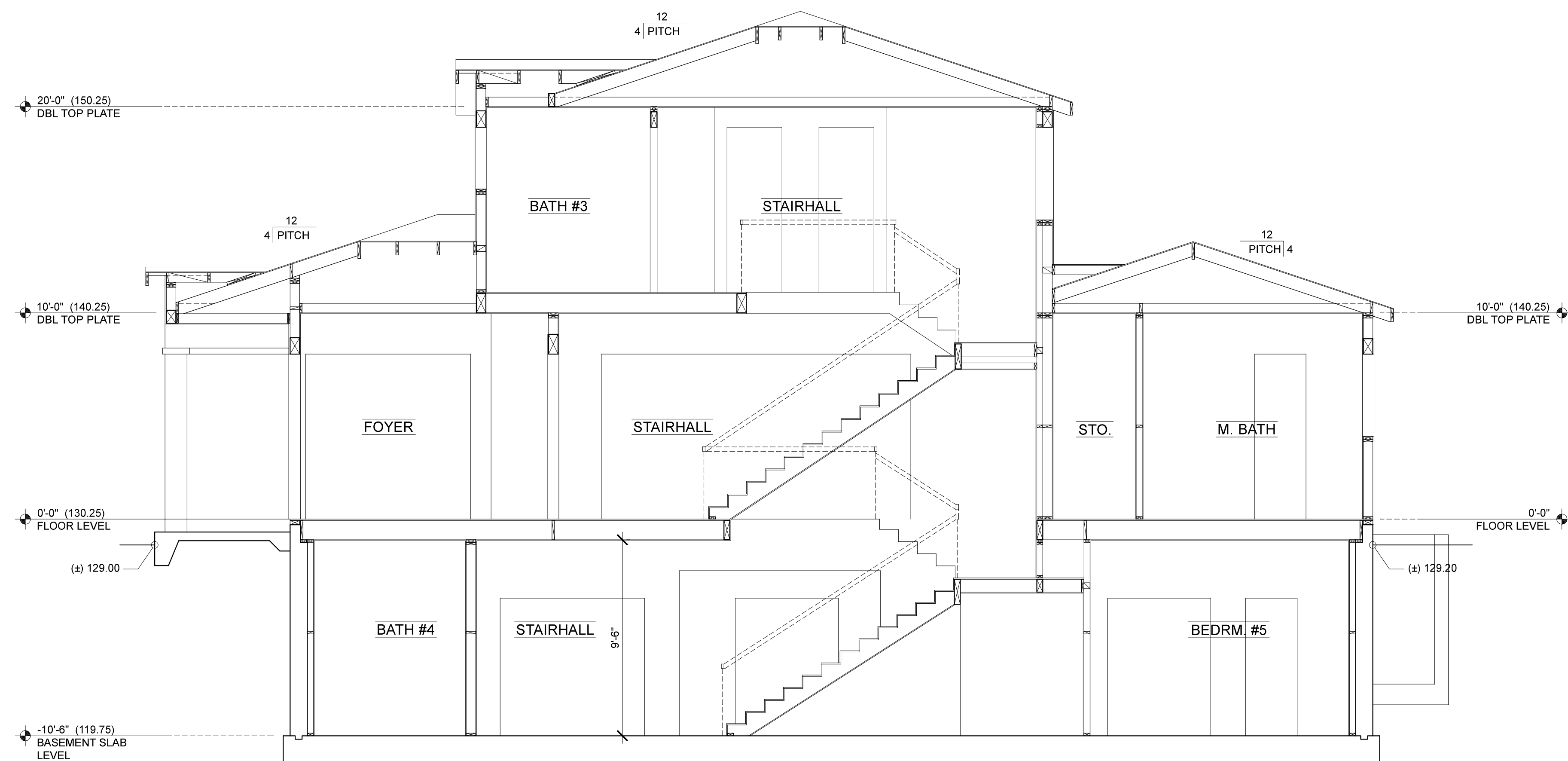
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CROSS SECTION C-C

1/4" = 1'-0"



CROSS SECTION D-D

1/4" = 1'-0"

SECTION NOTES

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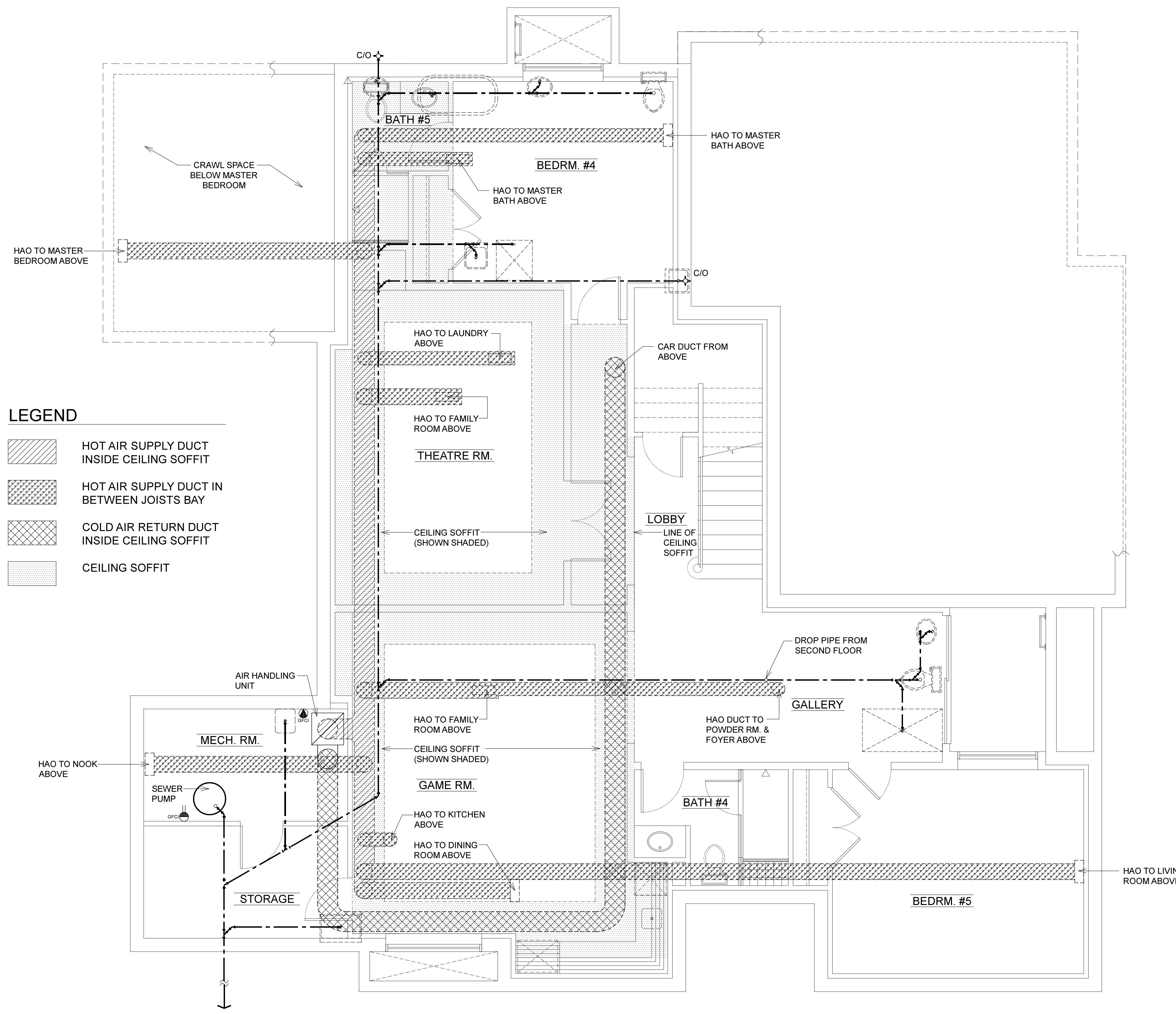
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SHEET
A6.1



- LEGEND**
- HOT AIR SUPPLY DUCT INSIDE CEILING SOFFIT
 - HOT AIR SUPPLY DUCT IN BETWEEN JOISTS BAY
 - COLD AIR RETURN DUCT INSIDE CEILING SOFFIT
 - CEILING SOFFIT

MECHANICAL NOTES

- A** CODES 2019 C.M.C.
 - B** COMBUSTION AIR PROVIDE COMBUSTION AIR @ FURNACE(S) AND WATER HEATER(S) PER CH. 7, C.M.C. 2019
 - C** DRYER EXHAUST PROVIDE DRYER EXHAUST VENT (4"Ø MIN. & WITH BACK DRAFT DAMPER) TO EXTERIOR. DRYER MOISTURE EXHAUST DUCT VENT SHALL HAVE A MAX. COMBINED HORIZONTAL & VERTICAL LENGTH OF 14'-0" INCLUDING TWO 90-DEGREE ELBOWS (CMC 504.3.1.2, 2019) OR PER MANUFACTURER'S SPECIFICATIONS
 - D** BATHROOM EXHAUST FAN BATHROOM EXHAUST FANS SHALL BE "ENERGY STAR" COMPLIANT AND PROVIDED W/ HUMIDITY CONTROL. CMC SEC. 402.5 & CGBC SEC 4.506.1
 - E** ELEC. DRYERS & RANGES ELECTRIC CLOTHES DRYERS & RANGES SHALL HAVE A 4-WIRE GROUNDED ELECTRICAL OUTLET PER ARTICLE 250.140, C.E.C. 2019
- NOTE: MAKEUP AIR SHALL BE PROVIDED FOR CLOTHES DRYERS IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS
- F** F.A.U. IN ATTIC ALL ATTIC FURNACES SHALL COMPLY w/ SECTION 904.11 & CH. 3, C.M.C. 2019. PROVIDE COMBUSTION AIR PER CH. 7, C.M.C. 2019
- NOTES: - TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS SHALL BE A MIN. 3'-0" FROM ANY OPENINGS INTO THE BUILDING AND 3'-0" FROM PROPERTY LINE. 2019 CMC SECTION 604.5
 - THE MINIMUM EXHAUST RATE OF THE KITCHEN FAN SHALL BE 100 cfm
 - THE MINIMUM EXHAUST RATE OF THE BATHROOMS FANS SHALL BE 500 cfm
 - DUCTS IN THE GARAGE & DUCTS PENETRATING WALLS OR CEILINGS SEPARATING THE GARAGE FROM THE DWELLING SHALL BE CONSTRUCTED OF MINIMUM 26-GAUGE SHEETS METAL & SHALL HAVE NO OPENINGS INTO THE GARAGE
- NOTE: ALL DUCTS SHOWN ARE SCHEMATIC ONLY. ACTUAL LAYOUT TO BE DETERMINED BY HVAC CONTRACTOR. PROVIDE MINIMUM CLEARANCES AS REQUIRED BY CODE FOR CRAWL SPACE ACCESS

PLUMBING NOTES

- G** CODES 2019 C.P.C.
 - H** WASTE & DRAIN PIPE MINIMUM 4"Ø DRAINAGE PIPE SHALL BE REQUIRED FOR FOUR OR MORE WATER CLOSET FIXTURES ON THE SAME HORIZONTAL BRANCH OF DRAIN. CPC TABLE 703.2 footnote#4
- SEWER CLEANOUTS SHALL BE INSTALLED PER SEC.707 & 719 CPC.
 a. EVERY 100'-0" OF DEVELOPED DRAINAGE LINES and
 b. AT EACH AGGREGATE HORIZONTAL CHANGE OF DIRECTION EXCEEDING 135°
- NOTE: THE GRADE OF ALL HORIZONTAL DRAINAGE PIPES SHALL NOT BE LESS THAN 1/8" PER FOOT (SEC. 708.1, 2019 CPC)
- J** VENT PIPE ABS PIPE PLUMBING WASTE VENTS SHALL TERMINATE NOT LESS THAN 10'-0" FROM OR NOT LESS THAN 3'-0" ABOVE AN OPERABLE WINDOW, DOOR OPENING, AIR INTAKE OR VENT SHAFT OR NOT LESS THAN 3'-0" IN EVERY DIRECTION FROM A LOT LINE, ALLEY OR STREET (SEC. 906.2, 2019 CPC)
 - K** HOT & COLD WATER PIPE COPPER - INSULATE HOT WATER LINES
 - L** CONTROL VALVES PROVIDE INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC OR COMBINATION PRESSURE BALANCE / THERMOSTATIC MIXING VALVE TYPE @ ALL SHOWER & TUB / SHOWERS PER SECTION 418.0, CPC 2019
 - M** HOSE BIBBS PROVIDE NON-REMOVABLE BACK FLOW PREVENTER PER SECTION 603.2, C.P.C. 2019
- ALL PLUMBING AND FITTINGS SHALL MEET THE STANDARDS REFERENCED IN TABLE 1701.1 OF THE 2019 CALIFORNIA PLUMBING CODE. CGBCS SECTION 4.203.2
- ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLE / BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY, OR SIMILAR ACCEPTABLE METHODS. CGBCS 4.406.1
- NOTE: ALL PLUMBING SHOWN IS SCHEMATIC ONLY. ACTUAL LAYOUT TO BE DETERMINED BY PLUMBING CONTRACTOR

LEGEND

- HAO DUCTING
- CAR DUCTING
- HOT AIR OUTLET (FLOOR)
- HOT AIR OUTLET (CEILING)
- COLD AIR RETURN (CEILING)
- HOT AIR OUTLET (WALL)
- COLD AIR RETURN (WALL)
- ELECTRONIC SOLINOID DAMPER CONTROLLER
- GROUND FAULT CIRCUIT INTERRUPTER
- 110 V. ELEC. DUPLEX OUTLET (WALL)
- 110 V. ELEC. DUPLEX OUTLET (WALL) +66"
- FUEL GAS

BASEMENT MECHANICAL & PLUMBING PLAN

1/4" = 1'-0"

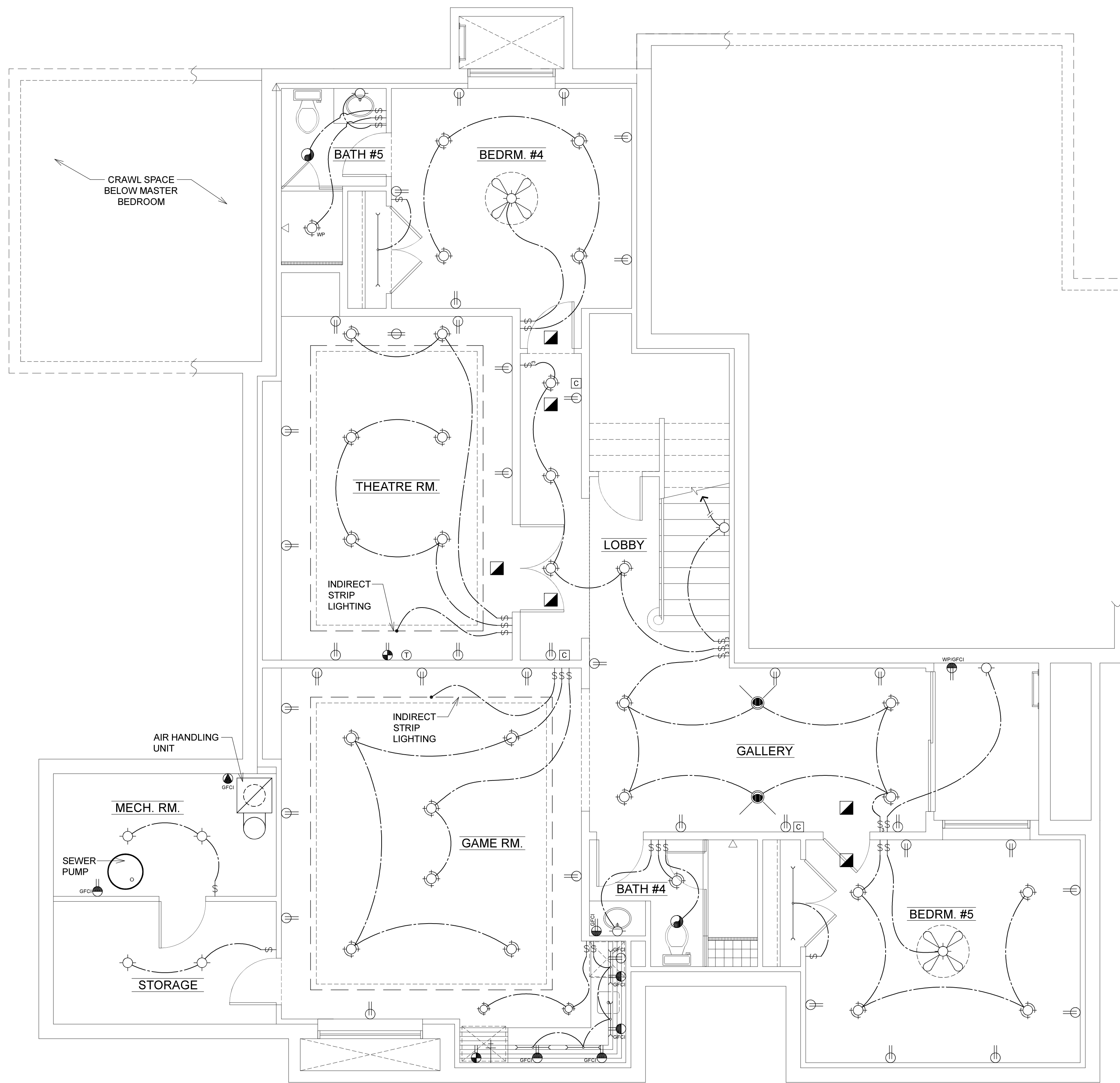
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SHEET
 A7.0



LEGEND

ALL LIGHTING TO BE HIGH EFFICACY (SEE NOTES ABOVE)

110 V. ELEC. DUPLEX OUTLET (WALL)	WALL FIXTURE	THERMOSTAT
110 V. ELEC. DUPLEX OUTLET (WALL) +36"	OVERHEAD FIXTURE	AC/DC SMOKE ALARM
110 V. ELEC. DUPLEX OUTLET (WALL) +44"	EXISTING FIXTURE	ETHERNET
110 V. ELEC. DUPLEX OUTLET (WALL) +66"	MINI CAN LIGHT	TELEVISION
110 V. ELEC. DUPLEX OUTLET (7/2 HOOT)	STANDARD CAN LIGHT	TELEPHONE
110 V. ELEC. DUPLEX OUTLET (WALL)	WATERPROOF CAN LIGHT	CARBON MONOXIDE
GROUND FAULT CIRCUIT INTERRUPTER	RECESSED SPOT LIGHT	FUEL GAS
ARC FAULT CIRCUIT INTERRUPTER	SWITCH	HOSE BIBB
WATER PROOF G.F.I. DUPLEX OUTLET	3-WAY SWITCH	70 CFM FAN W/ HUMIDISTAT
OUTLET (FLOOR)	DIMMER SWITCH	MOTION SENSOR SWITCH w/ TEMP. OVERRIDE (6 HRS MAX)
220 V. ELEC. OUTLET	VACANCY SENSOR SWITCH	FLOODLIGHT
FAN LIGHT COMBO	HEAT LAMP	HEAT LAMP FAN COMBO

BASEMENT ELECTRICAL PLAN

1/4" = 1'-0"

ELECTRICAL NOTES

- I** CODES 2019 C.E.C.
 - II** GROUND THE INSTALLATION OF A PERMITTED GROUNDING ELECTRODE TYPE AS LISTED IN SEC. 250.52, 2019 CEC, IS REQUIRED
 - III** GFCI INSTALL GROUND FAULT CIRCUIT INTERRUPTER OUTLETS @ ALL LOCATIONS AS SPECIFIED IN ARTICLE 210.8(A)(6) C.E.C. 2019
 - IV** SERVICE PANEL ELECTRICAL CONTRACTOR TO VERIFY SIZE & LOAD OF EXISTING SERVICE PANEL - UPGRADE IF NECESSARY AND/OR REQUIRED
 - V** WIRING ROMEX (OR EQUIVALENT) PER CODE
 - VI** SMOKE ALARM INSTALL PER SECTION R314, C.R.C. 2019 - NEW SMOKE ALARMS SHALL BE INTERCONNECTED (SEC. R314.4), RECEIVE THEIR PRIMARY POWER FROM BUILDING WIRING (R314.6) AND SHALL BE EQUIPPED W/ BATTERY BACKUP.
 - THE SMOKE ALARMS SHALL BE LISTED AS COMPLYING WITH UL 217 & INSTALLED ACCORDING TO THE PROVISIONS OF THE CODE AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72
 - VII** ARC-FAULT CIRCUIT INTERRUPTER ALL BRANCH CIRCUITS THAT SUPPLY OUTLETS INSTALLED IN DWELLING UNIT KITCHEN, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY AN ARC FAULT CIRCUIT INTERRUPTER. CEC 210.12
 - VIII** DEDICATED BRANCH CIRCUIT ALL NEW/REMODELED BATHROOMS AND LAUNDRY ROOMS TO HAVE A DEDICATED BRANCH CIRCUIT PER ARTICLE 550.12(E), C.E.C. 2019
 - IX** CARBON MONOXIDE ALARMS INSTALL PER SECTION R315.1.2, C.R.C. 2019. NEW CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM BUILDING WIRING AND SHALL BE EQUIPPED W/ BATTERY BACKUP.
 - CARBON MONOXIDE DETECTORS SHALL BE LISTED AS COMPLYING WITH UL 2034 & INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE MFG'S INSTRUCTIONS (SEC. R315.1.1, 2019 CRC)
 - X** TAMPERS RESISTANT RECEPTS PER ARTICLE 406.11, C.E.C. 2019. PROVIDE TAMPERS RESISTANT RECEPTS IN ALL AREAS SPECIFIED IN ARTICLE 210.52, C.E.C. 2019
 - XI** KITCHEN RECEPTACLES AT WALL COUNTER SPACES, PROVIDE A GFCI RECEPTACLE EVERY 4'-0" SO THAT NO POINT ALONG THE WALL LINE IS MORE THAN 24" FROM A RECEPTACLE OUTLET
- NOTES:**
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 2. SMOKE ALARMS INSTALLED WITHIN 20 FT. OF KITCHEN, BATHROOM OR ROOM CONTAINING A FIREPLACE OR WOOD BURNING STOVE SHALL BE OF THE PHOTOELECTRIC TYPE ONLY
 3. SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING, BE EQUIPPED WITH BATTERY BACKUP AND BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS
 4. FOR PLACEMENT OF SMOKE ALARMS AND CARBON MONOXIDE DETECTORS IN ROOMS WITH VARIATIONS IN CEILING HEIGHT (SLOPED, PITCHED, ETC.), REFER TO THE MANUFACTURERS GUIDELINES FOR PROPER PLACEMENT

LIGHTING REQUIREMENTS

- XII** GENERAL LIGHTING ALL LIGHTING AS HIGH EFFICACY (i.e. PIN-BASED CFL, PULSE-START MH, HPS, GU-24 SOCKETS OTHER THAN LEDs, LED LUMINAIRES WITH INTEGRAL SOURCE, etc.) CEC 150.0-A

NOTE: SCREW-BASED PERMANENTLY INSTALLED LIGHT FIXTURES MUST CONTAIN SCREW-BASED J48 (JOINT APPENDIX B) COMPLIANT LAMPS. J48 COMPLIANT LIGHT SOURCES MUST BE MARKED AS "J48-2016" OR "J48-2016-E" "J48-2016-E" LUMINAIRES ARE DEEMED APPROPRIATE FOR USE IN ENCLOSED LUMINAIRES CEC 150.0(K)

NOTE: ALL J48 COMPLIANT LIGHT SOURCES IN THE FOLLOWING LOCATIONS ARE CONTROLLED BY VACANCY SENSORS OR DIMMERS (EXCEPTION: CLOSETS LESS THAN 70 S.F. AND HALLWAYS): CEC 150.0(K)(2)

 - i. CEILING RECESSED DOWNLIGHT LUMINAIRES.
 - ii. LED LUMINAIRES WITH INTEGRAL SOURCES.
 - iii. PIN-BASED LED LAMPS (i.e. MR16, AR-11, etc.)
 - iv. GU-24 BASED LED LIGHT SOURCES
 - XIII** BATHROOM LIGHTING PROVIDE AT LEAST ONE FIXTURE IN EACH BATHROOM CONTROLLED BY VACANCY SENSOR. CEC 150.0(K)(2)
 - XIV** LAUNDRY & UTILITY ROOM LIGHTING PROVIDE AT LEAST ONE FIXTURE IN EACH ROOM CONTROLLED BY VACANCY SENSOR. CEC 150.0(K)(2)
 - XV** OUTDOOR LIGHTING ALL OUTDOOR LIGHTING TO BE HIGH EFFICACY & MEET THE REQ'S IN 1 BELOW & THE REQ'S IN EITHER a OR b BELOW
 1. CONTROLLED BY A MANUAL ON & OFF SWITCH THAT DOES NOT OVERRIDE TO "ON" FROM ONE OF THE FOLLOWING
 - a. CONTROLLED BY PHOTOCELL & MOTION SENSOR
 - b. CONTROLS THAT OVERRIDE TO "ON" SHALL NOT BE ALLOWED UNLESS THE OVERRIDE AUTOMATICALLY REACTIVATES THE MOTION SENSOR WITHIN 6 HOURS) OR
 2. CONTROLLED BY ONE OF THE FOLLOWING
 - i. PHOTOCONTROL & AUTOMATIC TIME SWITCH CONTROL
 - ii. ASTRONOMICAL TIME CLOCK
 - iii. ENERGY MANAGEMENT CONTROL SYSTEM

- ALL EXTERIOR LUMINAIRES SHALL BE LABELED "SUITABLE FOR WET LOCATIONS" (SEC. 410.10(A), 2019 CEC)

NOTE: ALL CAN LIGHTS TO BE IC AT RATED

NOTE: ALL SMOKE & CARBON MONOXIDE ALARMS ARE TO BE INTERCONNECTED
 - XVI** GARAGE & CARPORT LIGHTING PROVIDE AT LEAST ONE FIXTURE IN EACH BATHROOM CONTROLLED BY VACANCY SENSOR. CEC 150.0(K)(2)
- NOTES:**
1. RECESSED LUMINAIRES - LUMINAIRES/LIGHT SOURCES MUST BE MARKED "J48-2016-E" COMPLIANT, BE LISTED AS IC & AT RATED, ACCESSIBLE FROM BELOW BY THE CEILING & CANNOT CONTAIN A SCREW BASED SOCKET (SEC. 150.0(K)(1C), 2019 CA ENERGY CODE)
 2. ADDITIONAL AREAS IN THE HOME (i.e. BEDROOMS, HALLWAYS, STAIRS, DINING ROOMS, ETC.) SHALL HAVE HIGH EFFICACY LIGHTING, OR BE PROVIDED WITH A MANUAL-ON MOTION SENSOR OR DIMMER SWITCH. THE MANUAL-ON MOTION SENSOR MUST TURN OFF AUTOMATICALLY WHEN NO ONE IS PRESENT WITHIN THE ROOM AND BE CAPABLE OF BEING TURNED ON MANUALLY WITH A SWITCH (EXCEPTION: CLOSETS SMALLER THAN 70 S.F. ARE EXEMPT)

*** NOTE**

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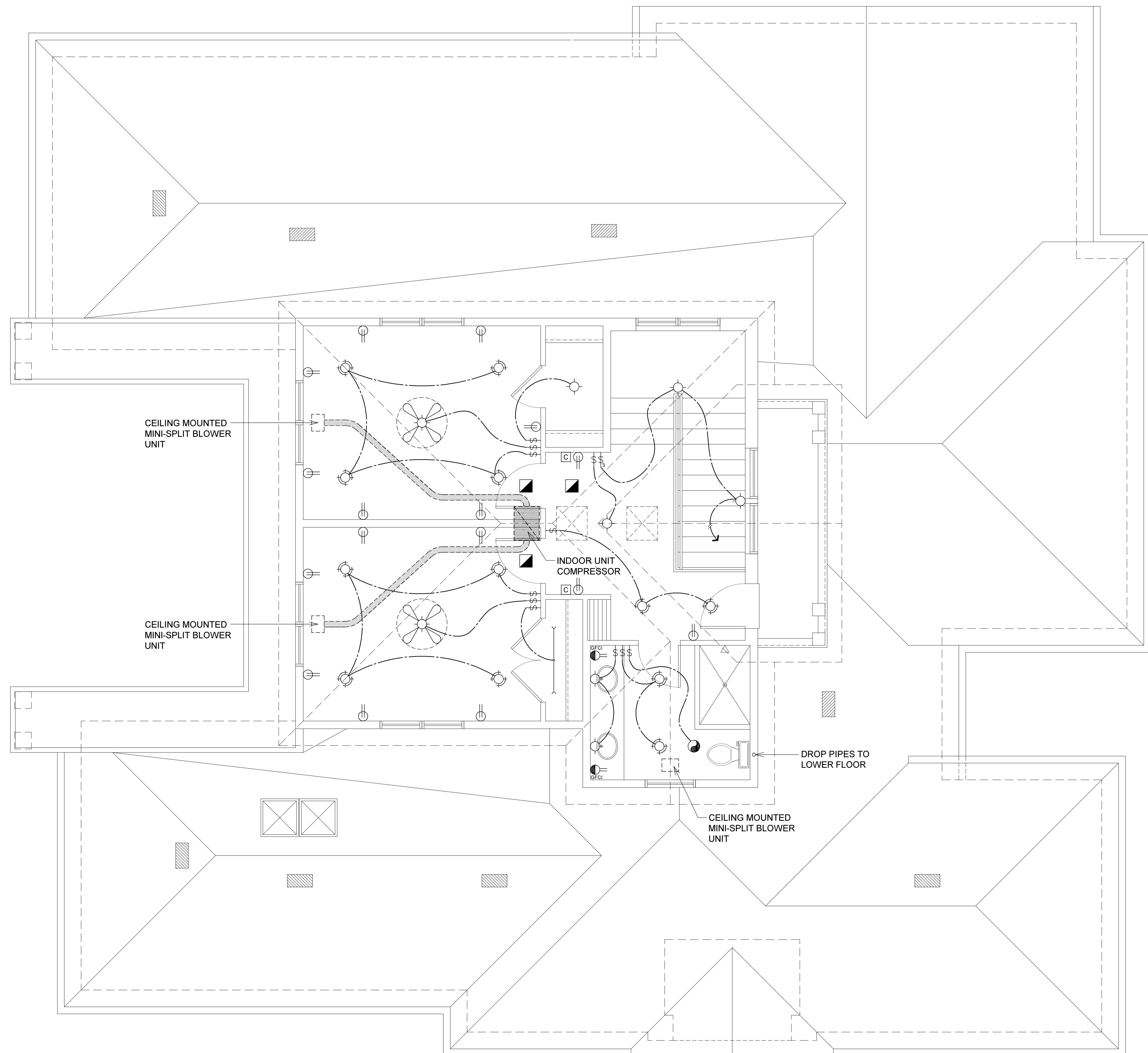
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SHEET

A7.1



UPPER FLOOR ELECTRICAL & MECHANICAL PLAN

1/4" = 1'-0"

MECHANICAL NOTES

- A** CODES 2019 C.M.C.
- B** COMBUSTION AIR PROVIDE COMBUSTION AIR @ FURNACE(S) AND WATER HEATER(S) PER CH. 7, C.M.C. 2019
- C** DRYER EXHAUST PROVIDE DRYER EXHAUST VENT (4"Ø MIN. & WITH BACK DRAFT DAMPER) TO EXTERIOR. DRYER MOISTURE EXHAUST DUCT VENT SHALL HAVE A MAX. COMBINED HORIZONTAL & VERTICAL LENGTH OF 14'-0" INCLUDING TWO 90-DEGREE ELBOWS (CMC 504.3.1.2, 2019) OR PER MANUFACTURER'S SPECIFICATIONS
- D** BATHROOM EXHAUST FAN BATHROOM EXHAUST FANS SHALL BE "ENERGY STAR" COMPLIANT AND PROVIDED W/ HUMIDITY CONTROL. CMC SEC. 402.5 & CGSBC SEC 4.506.1
- E** ELEC. DRYERS & RANGES ELECTRIC CLOTHES DRYERS & RANGES SHALL HAVE A 4-WIRE GROUNDED ELECTRICAL OUTLET PER ARTICLE 250.140, C.E.C. 2019
- F** F.A.U. IN ATTIC ALL ATTIC FURNACES SHALL COMPLY W/ SECTION 904.11 & CH. 3, C.M.C. 2019. PROVIDE COMBUSTION AIR PER CH. 7, C.M.C. 2019

NOTE: MAKEUP AIR SHALL BE PROVIDED FOR CLOTHES DRYERS IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS

NOTES: - TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS SHALL BE A MIN. 3'-0" FROM ANY OPENINGS INTO THE BUILDING AND 3'-0" FROM PROPERTY LINE. 2019 CMC SECTION 504.5
 - THE MINIMUM EXHAUST RATE OF THE KITCHEN FAN SHALL BE 100 cfm
 - THE MINIMUM EXHAUST RATE OF THE BATHROOMS FANS SHALL BE 500 cfm
 - DUCTS IN THE GARAGE & DUCTS PENETRATING WALLS OR CEILINGS SEPARATING THE GARAGE FROM THE DWELLING SHALL BE CONSTRUCTED OF MINIMUM 26-GAUGE SHEETS METAL & SHALL HAVE NO OPENINGS INTO THE GARAGE

NOTE: ALL DUCTS SHOWN ARE SCHEMATIC ONLY. ACTUAL LAYOUT TO BE DETERMINED BY HVAC CONTRACTOR. PROVIDE MINIMUM CLEARANCES AS REQUIRED BY CODE FOR CRAWL SPACE ACCESS

PLUMBING NOTES

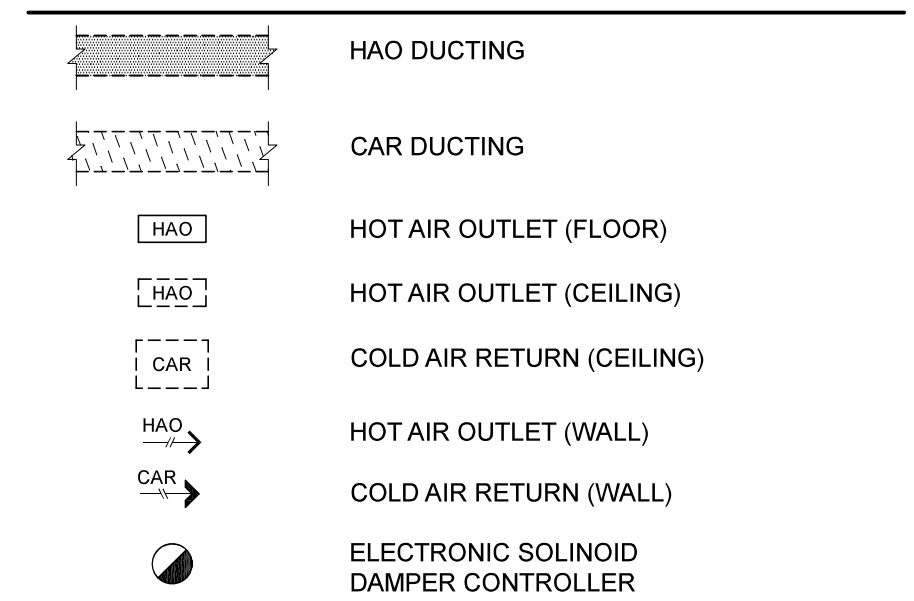
- G** CODES 2019 C.P.C.
- H** WASTE & DRAIN PIPE MINIMUM 4"Ø DRAINAGE PIPE SHALL BE REQUIRED FOR FOUR OR MORE WATER CLOSET FIXTURES ON THE SAME HORIZONTAL BRANCH OF DRAIN. CPC TABLE 703.2 footnoted#4
- SEWER CLEANOUTS SHALL BE INSTALLED PER SEC. 707 & 719 CPC.
 a. EVERY 100'-0" OF THE 2019 CALIFORNIA PLUMBING CODE.
 b. AT EACH AGGREGATE HORIZONTAL CHANGE OF DIRECTION EXCEEDING 135°
- NOTE: THE GRADE OF ALL HORIZONTAL DRAINAGE PIPES SHALL NOT BE LESS THAN X" PER FOOT (SEC. 708.1, 2019 CPC)
- J** VENT PIPE ABS PIPE PLUMBING WASTE VENTS SHALL TERMINATE NOT LESS THAN 10'-0" FROM OR NOT LESS THAN 3'-0" ABOVE AN OPERABLE WINDOW, DOOR OPENING, AIR INTAKE OR VENT SHAFT OR NOT LESS THAN 3'-0" IN EVERY DIRECTION FROM A LOT LINE, ALLEY OR STREET (SEC. 909.2, 2019 CPC)
- K** HOT & COLD WATER PIPE COPPER - INSULATE HOT WATER LINES
- L** CONTROL VALVES PROVIDE INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC OR COMBINATION PRESSURE BALANCE / THERMOSTATIC MIXING VALVE TYPE @ ALL SHOWER & TUB / SHOWERS PER SECTION 418.0, CPC 2019
- M** HOSE BIBBS PROVIDE NON-REMOVABLE BACK FLOW PREVENTER PER SECTION 603.2, C.P.C. 2019

ALL PLUMBING AND FITTINGS SHALL MEET THE STANDARDS REFERENCED IN TABLE 1701.1 OF THE 2019 CALIFORNIA PLUMBING CODE. CGSBC SECTION 4.303.2

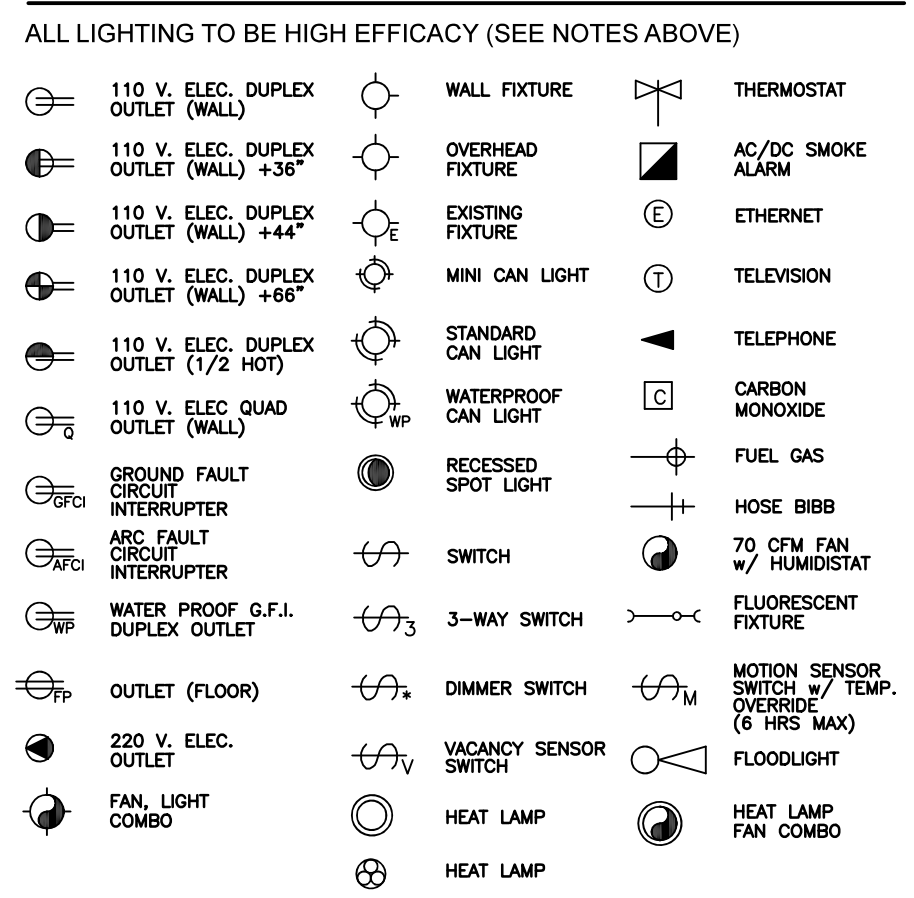
ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLE / BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY, OR SIMILAR ACCEPTABLE METHODS. CGSBC 4.406.1

NOTE: ALL PLUMBING SHOWN IS SCHEMATIC ONLY. ACTUAL LAYOUT TO BE DETERMINED BY PLUMBING CONTRACTOR

MECHANICAL LEGEND



ELECTRICAL LEGEND



ELECTRICAL NOTES

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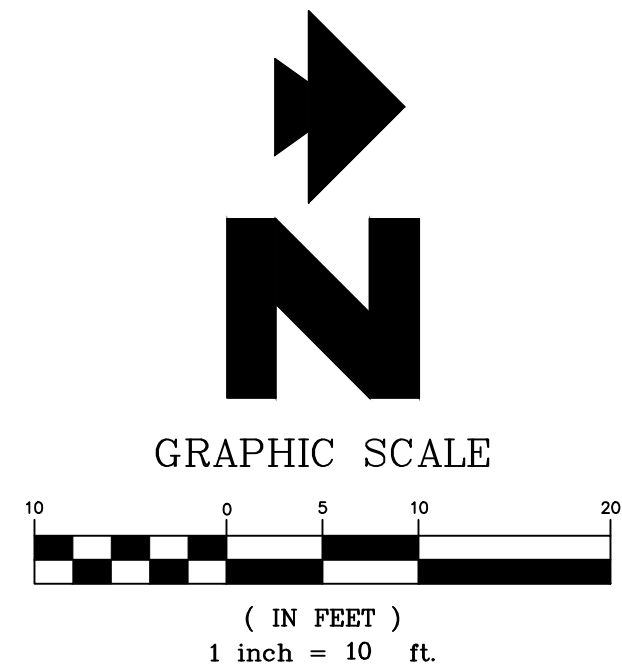
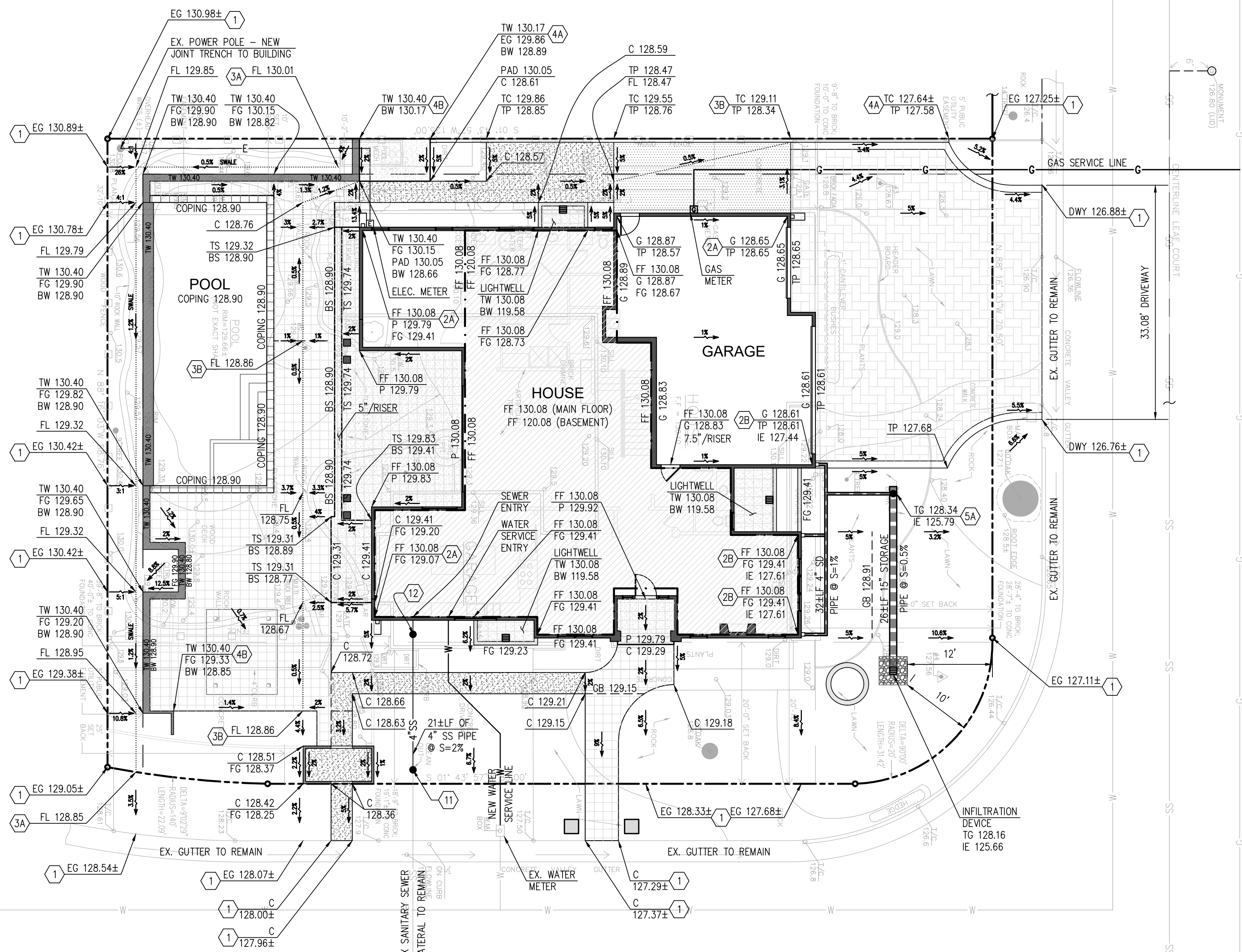
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PRE & POST DEVELOPMENT PERVIOUS/IMPERVIOUS AREAS:

AREA TYPE	EXISTING (SF)	PROPOSED (SF)
LOT AREA	11,283 SF	11,283 SF
	0.259 ACRE	0.259 ACRE
HOUSE (ROOF)	2,921	3,929
EX SHED	32	0
PATIO/HARDSCAPE/PAVEMENT	2,511	2,119
DRIVEWAY	1,004	1,140
LIGHTWELL	N/A	58
TOTAL IMPERVIOUS AREA	6,468	7,246
NET IMPERVIOUS AREA INCREASED:		778
WOOD DECK	102	N/A
POOL	736	715
PERVIOUS AREA	3,977	3,322
TOTAL PERVIOUS AREA	4,815	4,037

* INCLUDES BUILDING ROOF OVERHANG AREA

EARTHWORK VOLUME:
 (INCLUDES BUILDING PAD, BASEMENT & POOL)

EARTHWORK QUANTITIES:	VOLUME (CUBIC YARD)
FILL	20
COMPACTION RATE: 15%	20 x 0.15 = 3
TOTAL FILL	23
CUT	1,045
TOTAL EARTHWORK	1,022 (HAUL OFF)

CONTRACTOR SHALL ESTIMATE THEIR EARTHWORK QUANTITIES WHEN BIDDING ON THIS PROJECT

STORM DRAIN VOLUME CALCULATION:

TIME OF CONCENTRATION = 5 MIN
 INTENSITY = 10 YEAR = 2.57 IN/HR
 IMPERVIOUS AREA INCREASED = 778 SF = 0.018 ACRE

PRE-CONDITION	VOLUME REQUIRED:
Q=CIA	V=1.5(Q POST - Q PRE) X 10 MIN
Q=0.35 X 2.57 X 0.018	Q=1.5(0.042 - 0.016) X 600
Q=0.016 CFS	Q=23.4 CF

POST-CONDITION	VOLUME PROVIDED:
Q=CIA	V=26 LF X 15" STORAGE PIPE
Q=0.90 X 2.57 X 0.018	V=32.0 CF (TOTAL)
Q=0.042 CFS	

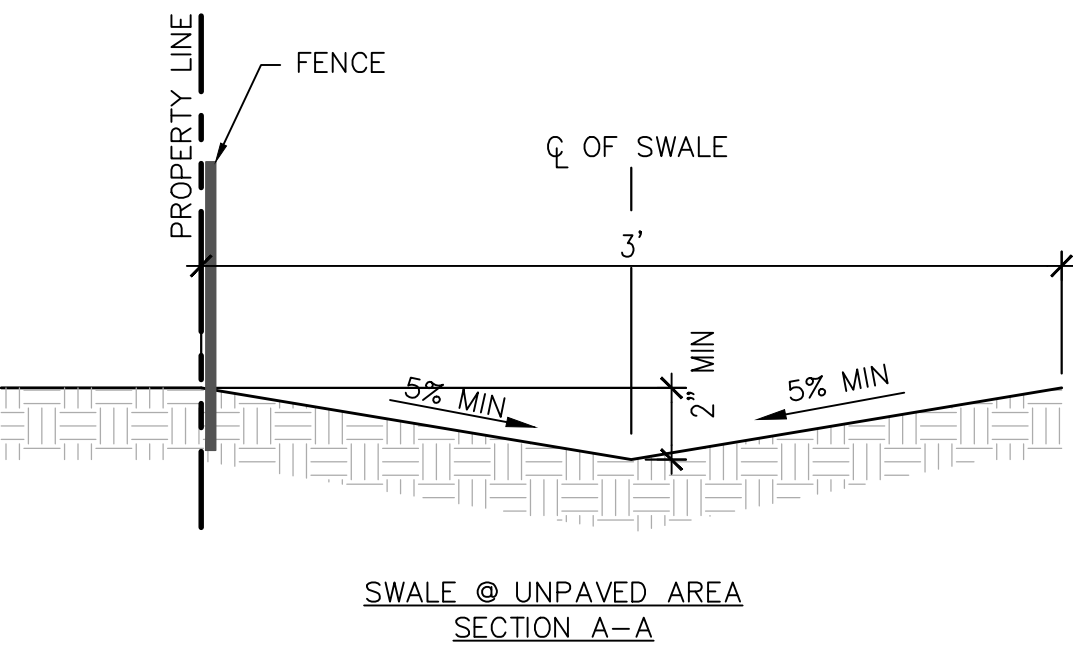
- GENERAL NOTES:**
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
 - CONTRACTOR SHALL PROTECT ALL PROPERTY CORNERS.
 - CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
 - CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
 - CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDING FOR ALL NATURAL AND PAVED AREAS.
 - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
 - THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
 - UTILITY VAULTS, TRANSFORMERS, UTILITY CABINETS, CONCRETE BASES, OR OTHER STRUCTURES CANNOT BE PLACED OVER WATER MAINS/SERVICES. MAINTAIN 1' HORIZONTAL CLEAR SEPARATION FROM THE VAULTS, CABINETS & CONCRETE BASES TO EXISTING UTILITIES AS FOUND IN THE FIELD. IF THERE IS CONFLICT WITH EXISTING UTILITIES, CABINETS, VAULTS & BASES SHALL BE RELOCATED FROM THE PLAN LOCATION AS NEEDED TO MEET FIELD CONDITIONS. TREES MAY NOT BE PLANTED WITHIN 10' OF EXISTING WATER MAINS/SERVICES OR METERS. MAINTAIN 10' BETWEEN TREES AND WATER SERVICES, MAINS & METERS.
 - CONTRACTOR SHALL REFER TO ARCH. PLANS FOR EXACT LOCATIONS OF UTILITIES SERVICES TO NEW BUILDING. COORDINATE WITH LOCAL UTILITIES COMPANIES FOR SERVICE CONNECTIONS.
 - ANY DAMAGED RIGHT-OF-WAY INFRASTRUCTURES AND OTHERWISE DISPLACED CURB AND GUTTER SHALL BE REMOVED AND REPLACED AS DIRECTED BY THE CITY ENGINEER OR HIS DESIGNEE. CONTRACTOR SHALL COORDINATE WITH PUBLIC WORKS DEPARTMENT AT (650) 947-2680.
 - GROUND COVER IS PROVIDED IN AREAS WHERE THERE IS EXPOSED SOIL.
 - PRIOR TO THE COMMENCEMENT OF ANY WORK DONE IN THE PUBLIC RIGHT-OF-WAY, A PERMIT TO OPEN STREET AND/OR AN ENCROACHMENT PERMIT WILL BE REQUIRED.

- LEGEND**
- = PROPERTY LINE
 - = STREET CENTER LINE
 - = EX. ROLLED CURB
 - + 50.0 = EX. SPOT ELEVATION
 - = FLOW DIRECTION
 - - - = GRADE BREAK
 - - - = FLOW LINE
 - [Symbol] = INFILTRATION DEVICE
 - [Symbol] = AREA INLET
 - [Symbol] = LIGHTWELL SUMP PUMP
 - [Symbol] = STORM DRAIN PIPE
 - [Symbol] = CONCRETE SPLASH PAD
 - [Symbol] = STORM DRAIN PIPE
 - [Symbol] = LIMIT OF BASEMENT
 - [Symbol] = NEW 4" SEWER LATERAL
 - [Symbol] = SANITARY SEWER CLEANOUT
 - [Symbol] = EXISTING SEWER LINE
 - [Symbol] = NEW WATER SERVICE LINE
 - [Symbol] = EXISTING WATER LINE
 - [Symbol] = EXISTING GAS LINE
 - [Symbol] = NEW ELECTRICAL LINE / JOINT TRENCH

- ABBREVIATIONS:**
- | | | |
|---------------------|-----------------------|----------------------|
| BS = BOTTOM OF STEP | G = GARAGE | SD = STORM DRAIN |
| BOW = BACK OF WALK | GB = GRADE BREAK | SR = STRAW ROLL |
| BW = BOTTOM OF WALL | IE = INVERT ELEVATION | TC = TOP OF CURB |
| C = CONCRETE | L = LAWN | TG = TOP OF GRATE |
| DWY = DRIVEWAY | LF = LINEAL FOOT | TP = TOP OF PAVEMENT |
| EG = EXISTING GRADE | LP = LOW POINT | TS = TOP OF STEP |
| EX = EXISTING | N = NEW | TW = TOP OF WALL |
| FF = FINISHED FLOOR | P = PATIO OR PORCH | TYP = TYPICAL |
| FG = FINISHED GRADE | R.O.W. = RIGHT-OF-WAY | |
| FL = FLOW LINE | S = SLOPE | |

- GRADING NOTES**
- MATCH EXISTING ELEVATION. GRADING LIMIT IS TO PROPERTY LINE. NO GRADING ALLOWED ON ADJACENT PROPERTIES
 - DOWNSPOUT WITH CONCRETE SPLASH PAD
 - RAINWATER LEADER
 - BEGIN/END SWALE. SEE SECTION A-A
 - BEGIN/END DEPRESSED/PAVEMENT SWALE @ MIN S=0.5% PROVIDE POSITIVE SLOPE TO DRAIN INLET
 - BEGIN/END DEEPEENED CURB
 - BEGIN/END SITE 18" HIGH SEAT WALL. SEE LANDSCAPE PLANS FOR DETAILS
 - 12" END CAP WITH STORM DRAIN CLEANOUT
 - INSTALL SANITARY SEWER CLEANOUT PER CITY OF LOS ALTOS STANDARD DETAIL #SS-6. CLEANOUT PLACEMENT SHALL BE WITHIN 5' OF PROPERTY LINE. CONTRACTOR SHALL FIELD VERIFY THE EXACT SEWER LOCATION AND INVERT ELEVATION PRIOR TO INSTALLATION.
 - INSTALL SANITARY SEWER CLEANOUT WITH BACKFLOW PREVENTION DEVICE. PLACE CLEANOUT 2' OUTSIDE OF BUILDING FOUNDATION.

TWELVE ACRES DRIVE



GRADING AND DRAINAGE PLAN
MUJICA RESIDENCE
632 LEAF COURT
LOS ALTOS, CA 94022

GREEN CIVIL ENGINEERING, INC
 INFO@GREEN-CE.COM
 1900 S. NORFOLK ST. SUITE #350
 SAN MATEO, CA 94403

PROFESSIONAL SEAL
 No. 68629
 Exp. 9/30/2025
 CIVIL ENGINEER
 STATE OF CALIFORNIA

SCALE
 VERTICAL: 1" = AS SHOWN
 HORIZONTAL: 1" = AS SHOWN

DATE: 01/19/2022
 DESIGNED: HCL
 DRAWN: BL
 REVIEWED: HCL
 JOB NO.: 20210050

SHEET C1
 1 OF 5 SHEET

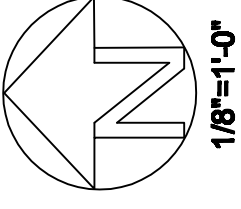
TOPOGRAPHY

OF LANDS OF

ALBERTO & GAYLE MUJICA

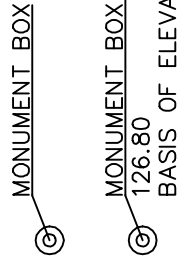
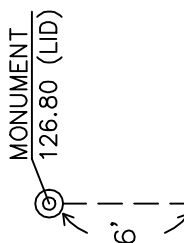
632 LEAF COURT - LOS ALTOS, CA. - 12-10-2020

ROGER E. DODGE, LS 3295
 DODGE ASSOC. SURVEYING
 20652 CHAPARRAL CIRCLE
 PENN VALLEY, CA 95946
 (530)432-5212

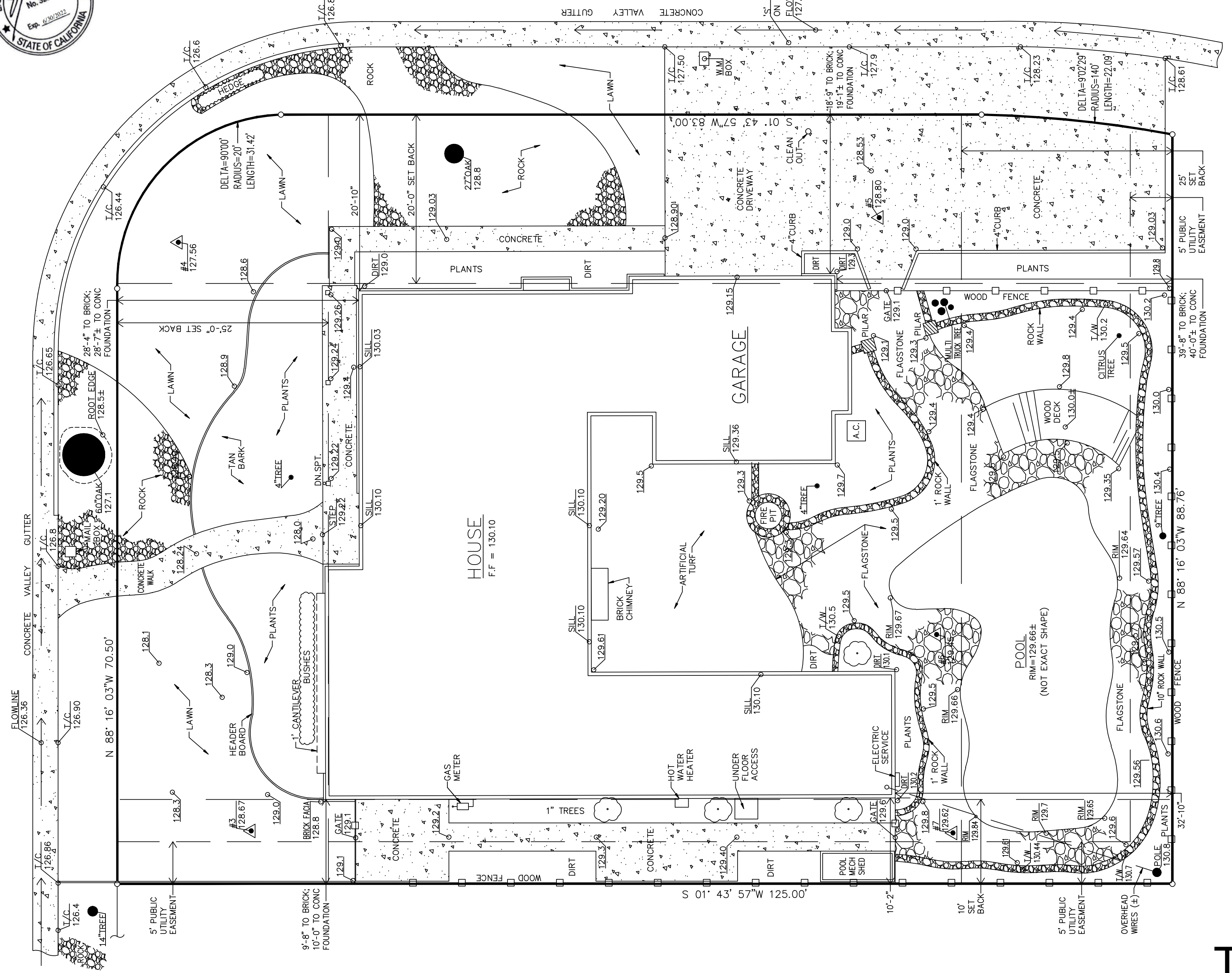


TWELVE ACRES DRIVE

LEAF COURT



CENTERLINE LEAF COURT



NOTE:
 NOT ALL UNDERGROUND UTILITY LINES MAY BE SHOWN ON THIS MAP. U.S.A. MUST BE CONTACTED TO DETERMINE LOCATIONS OF ALL UTILITY LINES PRIOR TO ANY DIGGING.

NOTE:
 EASEMENTS, PLAN LINES, SETBACK LINES AND GEOLOGIC CONDITIONS, IF ANY, AND UNLESS SHOWN, NOT SHOWN.

NOTE:
 THIS IS A TOPOGRAPHIC MAP NOT A BOUNDARY SURVEY. LINES SHOWN ARE DERIVED FROM RECORD DATA, AND MAY VARY SOMEWHAT FROM ABSOLUTE BOUNDARY LOCATIONS.

NOTE:
 SET BACKS SHOWN AS PROVIDED BY OWNER. FINAL REVIEW ADVISED BEFORE USAGE.

ELEVATION DATUM:
 GOOGLE EARTH CRITERIA WAS USED TO PRODUCE ALL ELEVATIONS SHOWN ON THIS MAP. THE MONUMENT BOX LID (SHOWN) WAS TAKEN AS 126.00' IN ACCORDANCE. NOT EXACT SEA LEVEL ELEVATIONS.

LOT AREA:
 LOT AREA = 11,214 SQ.FT.±
 HOUSE AREA = 2,373 SQ.FT.±
 GARAGE AREA = 547 SQ.FT.±

LEGEND
 T/C = TOP OF CURB
 T/W = TOP OF WALL
 F.F. = FINISH FLOOR
 SILL = F.F. ELEVATION

PLANT LEGEND AND NOTES

Symbol	Species	Size	Water	WUCOLS
[Dotted Pattern]	Sod lawn - 100% dwarf fescue		high	.7
[Vertical Lines]	Ceanothus Carmel Creeper / California Fuchsia @ 48" oc	1 gallon	low	.2
[Cross-hatch]	Heuchera Coral Bells @ 18" oc	1 gallon	low	.3
[Diagonal Lines]	Achillea Moonshine / Yarrow @ 24" oc	1 gallon	low	.3
[Horizontal Lines]	Salvia spicata / Hummingbird Sage @ 36" oc	1 gallon	low	.3
[Grid]	Tulbaghia violacea @ 30" oc	1 gallon	low	.3
[Vertical Lines]	Teucrium prostrata @ 30" oc	1 gallon	low	.3
[Diagonal Lines]	Garden Area			
A	Lavandula Munstead / Lavender 1'6" X 2'	5 gallon	low	.3
B	Salvia Santa Barbara / Sage 3' X 5'	5 gallon	low	.3
C	Rosmarinus Tuscan Blue / Rosemary 4' X 4'	5 gallon	low	.3
D	Loropetalum Suzanne 5' X 6'	5 gallon	low	.3
E	Sarcococca nuscifolia 3' X 5'	5 gallon	low	.3
F	Cotinus Golden Spirit 6' X 8'	15 gallon	low	.3
G	Polystichum munitum / Sword Fern 2' X 3'	5 gallon	low	.3
H	Prunus carolina dwarf / Carolina Laurel 4' X 12'	5 gallon	low	.3
I	Lomandra Little Preeze 1' X 2'	1 gallon	low	.3
J	Diets vegeta / Fortnight Lily 2' X 3'	5 gallon	low	.3
T1	Lagerstroemia Tuscorora / Grape Myrtle 10' X 15'	24" box	low	.3
T2	Cotinus Royal Purple / Smoke Tree 8' X 12'	15 gallon	low	.3
T3	Pistachia Keith Davau / Chinese Pistache 20' X 20'	24" box	low	.3
T4	Fruit tree to be determined			

- 1) Protect existing trees to remain throughout construction. See arborist report for protection measures.
- 2) Soil to be thoroughly prepared prior to planting. This includes breaking up hardpan created by construction of the new home.
- 3) Incorporate 4 cu of compost per 1000 sf, 6" into native soil.
- 4) Verify layout of new planting in field.
- 5) Spread 3" of wood chip mulch (tbl) after planting.
- 6) I have complied with the criteria of the Water Efficient Landscape Ordinance and applied it to the design of the landscape.



CEANOTHUS HEUCHERA ACHILLEA SALVIA



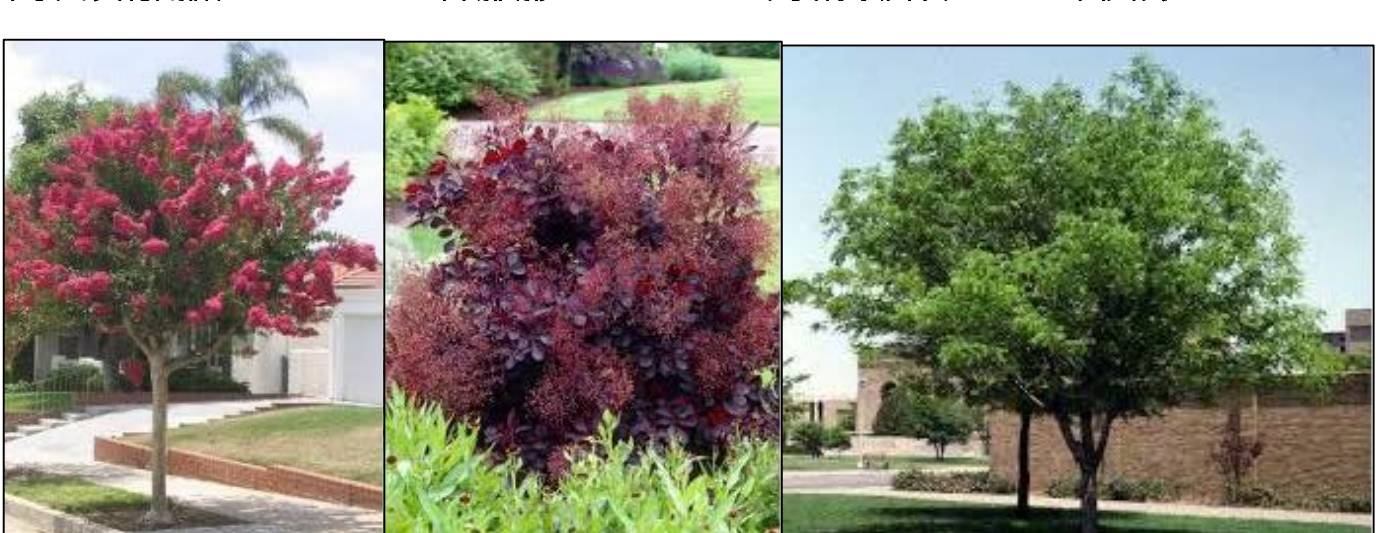
TULBAGHIA TEUCRIUM LAVANDULA SALVIA



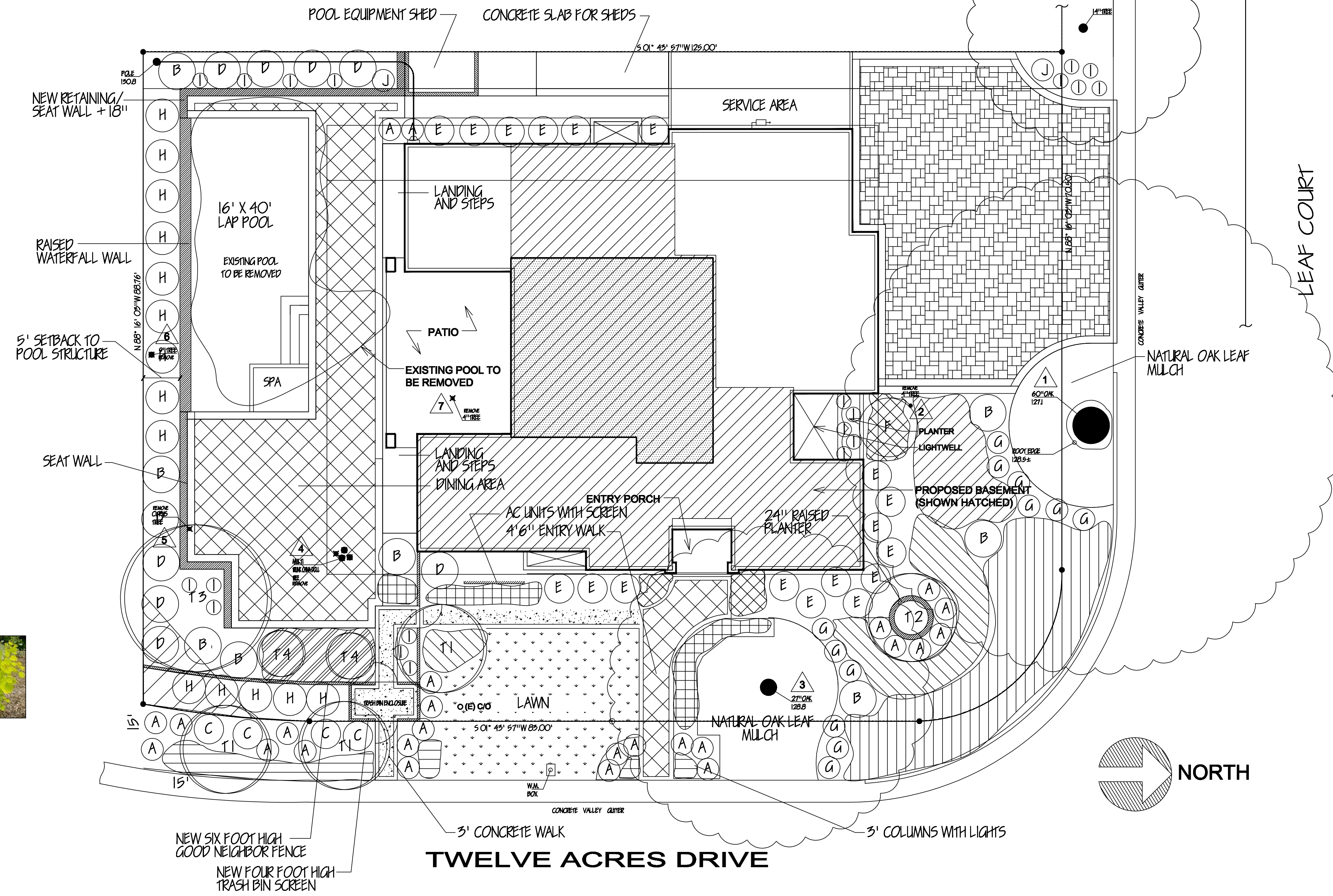
ROSMARINUS LOROPETALUM SARCOCOCCA COTINUS



POLYSTICHUM PRUNUS LOMANDRA DIETS



LAGERSTROEMIA COTINUS PISTACHIA



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- REVISED 12/29/21
- REVISED 1/24/22
- REVISED 1/27/22
- REVISED 1/29/22
- REVISED 2/11/22
- REVISED 2/14/22
- REVISED 2/17/22
- REVISED 3/29/22
- REVISED 3/31/22
- REVISED 4/1/22
- REVISED 4/14/22



MUJICA RESIDENCE

for:
GAYLE AND FERNANDO MUJICA
632 LEAF CT.
LOS ALTOS, CA. 94022

MASTER PLANTING PLAN

date: 12/27/21
scale: NOTED
drawn by: WJH
job no. 202193
sheet

L 1
of 8 sheets

MASTER PLANTING PLAN

1/8" = 1'-0"

DRC Plans for 6/15/22

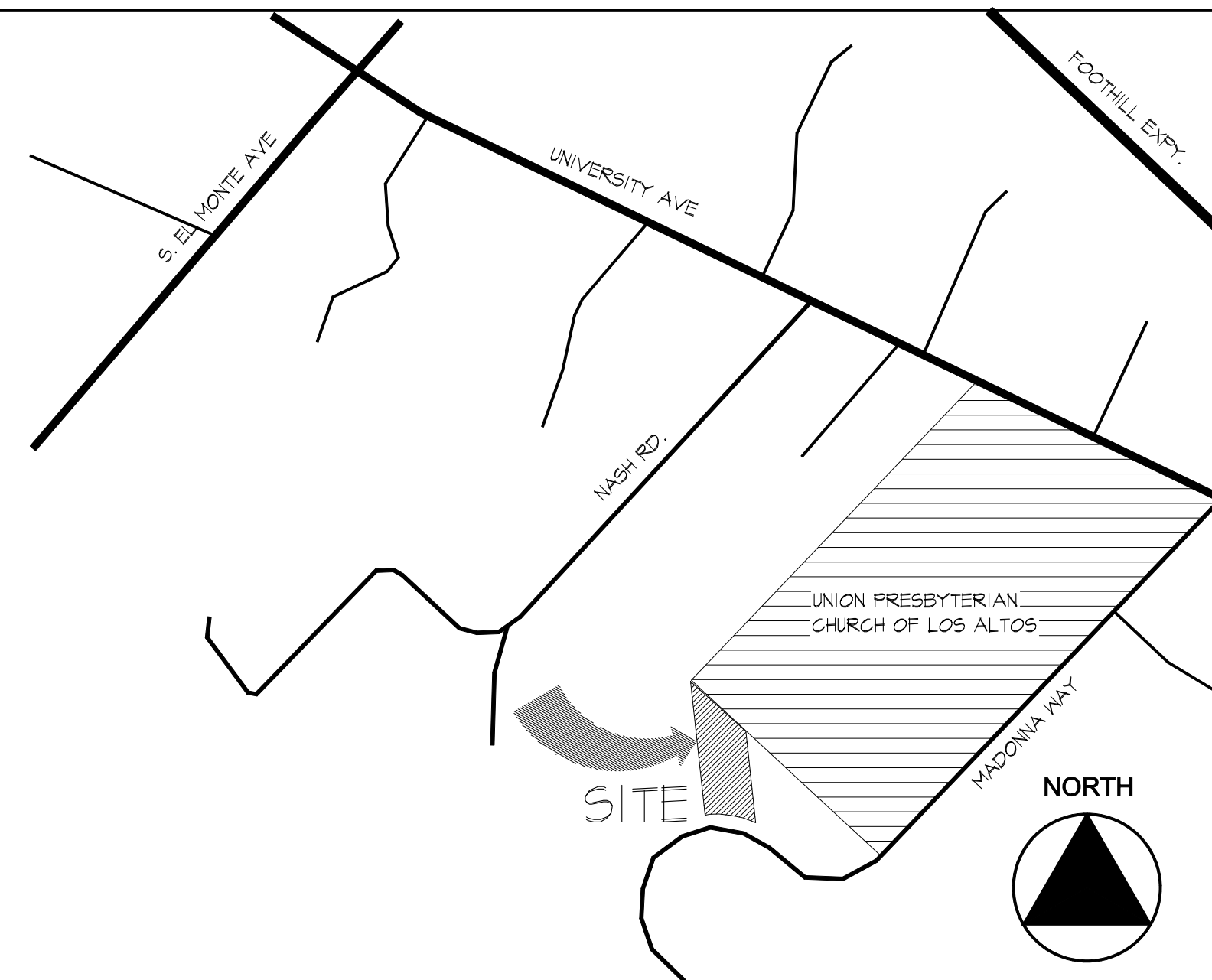
IQBAL RESIDENCE

ATTACHMENT C

NEW SINGLE FAMILY RESIDENCE + ACCESSORY DWELLING UNIT

899 MADONNA WAY
LOS ALTOS, CA 94024

LOCATION MAP



PROJECT CONTACT

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scott@cibotti.com

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kkarbor0476@yahoo.com

GREEN BUILDING CONSULTANT
JERCOY LLC
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PALO ALTO, CA 94306
(408) 677-6588
EMAIL: richarddyang@yahoo.com



DRAWING INDEX

- ARCHITECTURAL**
- A1 TITLE SHEET
 - A1.1 SITE CONTEXT
 - A1.2 NEIGHBORHOOD PHOTOS
 - A1.3 COLOR SITE PLAN & RENDERING
 - A2 PROPOSED SITE PLAN
 - A2.1 SITE PHOTOS
 - A3 PROPOSED MAIN LEVEL FLOOR PLAN
 - A4 PROPOSED LOWER LEVEL FLOOR PLAN
 - A5 PROPOSED ROOF PLAN
 - A6 FLOOR & COVERAGE AREA CALCULATIONS
 - A7 PROPOSED EXTERIOR ELEVATION
 - A8 PROPOSED EXTERIOR ELEVATION
 - A9 PROPOSED EXTERIOR ELEVATION
 - A10 BUILDING SECTION
 - A11 BUILDING SECTION
 - A12 BUILDING SECTION
 - A7-B PROPOSED EXTERIOR ELEVATION (OPTION B)
 - A8-B PROPOSED EXTERIOR ELEVATION (OPTION B)
 - A9-B PROPOSED EXTERIOR ELEVATION (OPTION B)
 - A10-B BUILDING SECTION (OPTION B)
 - A11-B BUILDING SECTION (OPTION B)
 - A12-B BUILDING SECTION (OPTION B)
- GREEN BUILDING**
- CG 2019 CALGREEN NOTE
 - CG2 2019 CALGREEN CHECKLIST
- CIVIL**
- CO TOPOGRAPHIC SURVEY
 - C1 GRADING AND DRAINAGE PLAN
- LANDSCAPE**
- L1 PLANTING PLAN

PROJECT SUMMARY TABLE

ZONING COMPLIANCE			
	EXISTING	PROPOSED	ALLOWED/ REQUIRED
LOT COVERAGE: <small>LAND AREA COVERED BY ALL STRUCTURES THAT ARE OVER 6 FEET IN HEIGHT</small>	0 (0%)	3,530.6 S.F. (21.7%)	3,822.9 S.F. (30.0%)
FLOOR AREA: <small>MEASURED TO THE OUTSIDE SURFACES OF EXTERIOR WALLS</small>	0 (0%)	4,023.0 S.F. (31.6%)	4,024.3 S.F. (31.6%)
SETBACKS: FRONT REAR RIGHT SIDE LEFT SIDE	N/A	MAIN FLR./ LOWER FLR. 25'-0" 34'-6" 7'-1" / 15'-1 1/4" 7'-1" / 15'-2 3/4"	MAIN FLR./ LOWER FLR. 25'-0" 25'-0" 7'-1 1/4" / 15'-1 1/4" 7'-1 1/4" / 15'-1 1/4"
HEIGHT:	0	27'-0"	27'-0"
SQUARE FOOTAGE BREAKDOWN			
	EXISTING	CHANGE IN	TOTAL PROPOSED
HABITABLE LIVING AREA: <small>INCLUDES HABITABLE BASEMENT AREAS</small>	N/A	3,587.2 S.F.	3,587.2 S.F.
NON-HABITABLE AREA: <small>(DOES NOT INCLUDE COVERED PORCHES OR OPEN STRUCTURES)</small>	N/A	435.8 S.F.	435.8 S.F.
LOT CALCULATION			
NET LOT AREA	12,743 S.F.		
FRONT YARD HARDSCAPE AREA <small>HARDSCAPE AREA IN THE FRONT YARD SETBACK SHALL NOT EXCEED 50%</small>	164.0 S.F. (1.3%)		
LANDSCAPING BREAKDOWN	TOTAL HARDSCAPE AREA (EXISTING AND PROPOSED): 5620.9 S.F. EXISTING SOFTSCAPE (UNDISTURBED) AREA: 6892.0 S.F. NEW SOFTSCAPE AREA: 4301.9 S.F. SUM OF ALL THREE SHOULD EQUAL THE SITE'S NET LOT AREA		

PROJECT SUMMARY

APN:	336-03-030
USE:	SINGLE FAMILY RESIDENCE
ZONING DISTRICT:	RI-10
TYPE OF CONSTRUCTION:	V-B
OCCUPANCY GROUP:	R3/ U
SIZE OF LOT:	47-12,743 S.F. (0.29 ACRE)
ALLOWABLE LOT COVERAGE:	3,822.9 S.F.
PROPOSED LOT COVERAGE:	3,530.6 S.F.
ADDITIONAL LOT COVERAGE FROM ADU:	444.2 S.F.
MAX. ALLOWABLE FLOOR AREA: (11,000 S.F. X 35%+ 1,743 S.F. X 10%)	4,024.3 S.F.
FLOOR AREAS OF STRUCTURE	
ATTACHED GARAGE	435.8 S.F.
MAIN LEVEL FLOOR AREA	2,042.2 S.F.
LOWER LEVEL FLOOR AREA:	1,485.0 S.F.
TOTAL FLOOR AREA:	4,023.0 S.F.
ATTACHED ACCESSORY DWELLING UNIT (ADU):	848.9 S.F.
MAXIMUM BUILDING HEIGHT:	27'-0"
PROPOSED BUILDING HEIGHT:	27'-0"
REQUIRED PARKING:	2
PARKING PROVIDED:	2

PROJECT SCOPE

NEW CONSTRUCTION OF A TWO-STORY, SINGLE STORY HOUSE (INCLUDING AN ATTACHED 2-CAR GARAGE) AND ATTACHED 849 S.F. ADU.
PRIMARY EXTERIOR BUILDING MATERIALS ARE CEMENT PLASTER AND HARDIE PLANK SIDING.

APPLICABLE CODES

2019 CRC, CBC (FOR STRUCTURAL), CFC, GFC, CEC, CALIFORNIA ENERGY CODE AND CITY OF LOS ALTOS ORDINANCES
ALL CONSTRUCTION TO COMPLY WITH 2019 CALIFORNIA GREEN BUILDING CODE.

REVISIONS

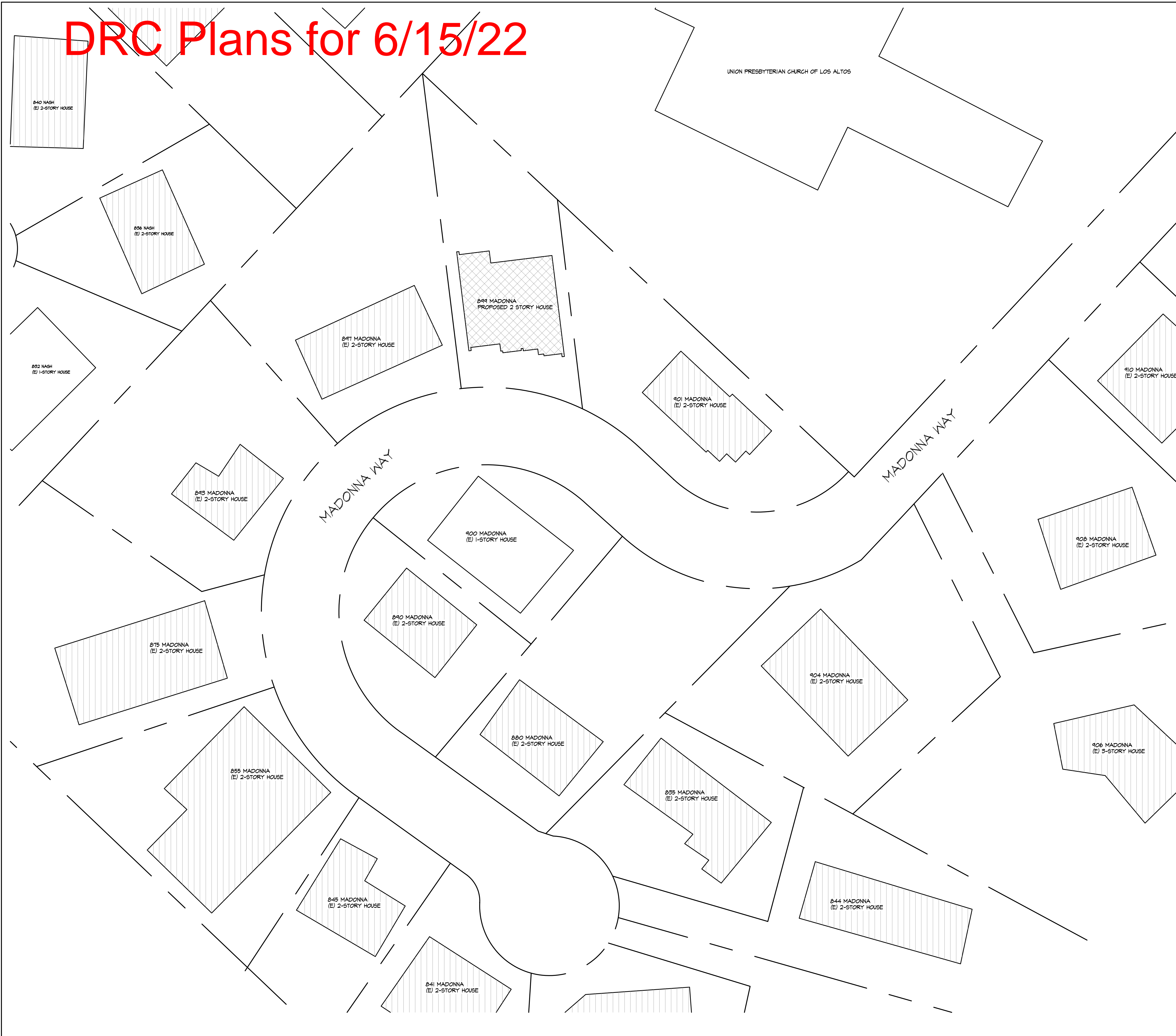
CIBOTTI ENGINEERING
12935 ALCOSTA BLVD #2025
SAN RAMON, CA 94583
BUS: (925) 829-0920
EMAIL: SCOTT@CIBOTTI.COM

IQBAL RESIDENCE
NEW SINGLE FAMILY HOUSE & ADU
899 MADONNA WAY
LOS ALTOS, CA 94024

TITLE SHEET

DATE	MAY 16, 2022
SCALE	
DRAWN	
APN#	336-03-030
SHEET	A1
OF	SHEETS

DRC Plans for 6/15/22



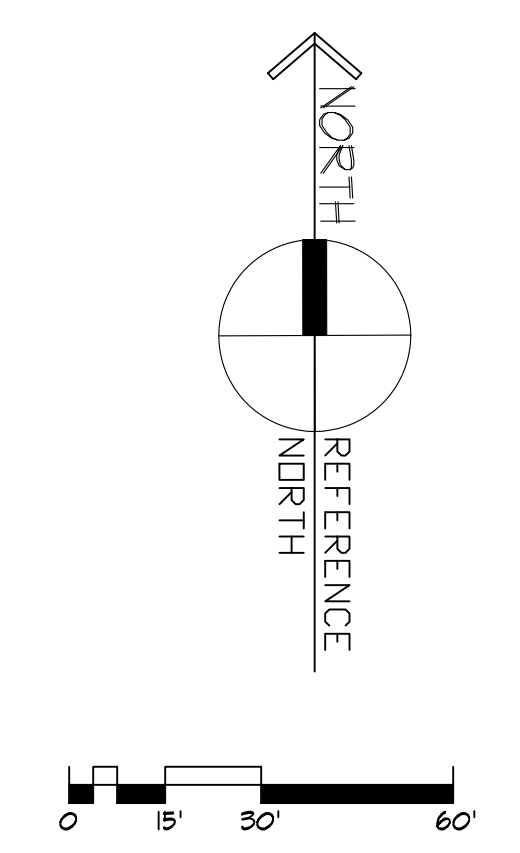
--- PROPERTY LINE

[Hatched Box] (E) SINGLE STORY HOUSE

[Diagonal Hatched Box] (E) 2-STORY HOUSE

[Cross-hatched Box] PROPOSED 2-STORY HOUSE

LEGEND



REVISIONS

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IQBAL RESIDENCE
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 899 MADONNA WAY
 LOS ALTOS, CA 94024

CONTEXTUAL MAP

DATE MAY 16, 2022
 SCALE
 DRAWN
 APN# 336-03-030
 SHEET

A1.1
 OF SHEETS

DRC Plans for 6/15/22



④ 899 MADONNA— VIEW FROM UPPER STREET

③ 899 MADONNA— VIEW FROM LOWER STREET

② 901 MADONNA— STREET VIEW TO REAR YARD

① 901 MADONNA— FRONT



⑧ 900 MADONNA— FRONT

⑦ 890 MADONNA

⑥ 893 MADONNA

⑤ 897 MADONNA



⑫ 908 MADONNA (VIEW FROM PRIVATE RD.)

⑪ 906 MADONNA (VIEW FROM PRIVATE RD.)

⑩ 904 MADONNA (VIEW FROM PRIVATE RD.)

⑨ 900 MADONNA— SIDE STREET

REVISIONS

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IQBAL RESIDENCE
NEW SINGLE FAMILY HOUSE & ADU
899 MADONNA WAY
LOS ALTOS, CA 94024

NEIGHBORHOOD PHOTOS

DATE MAY 16, 2022
SCALE
DRAWN
APN# 336-03-030
SHEET
A1.2
OF SHEETS

DRC Plans for 6/15/22



② VIEW FROM STREET GOING UPHILL



③ VIEW FROM STREET GOING DOWNHILL



① COLOR SITE PLAN w/ TREES & LANDSCAPING

REVISIONS

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SAN RAMON, CA 94583
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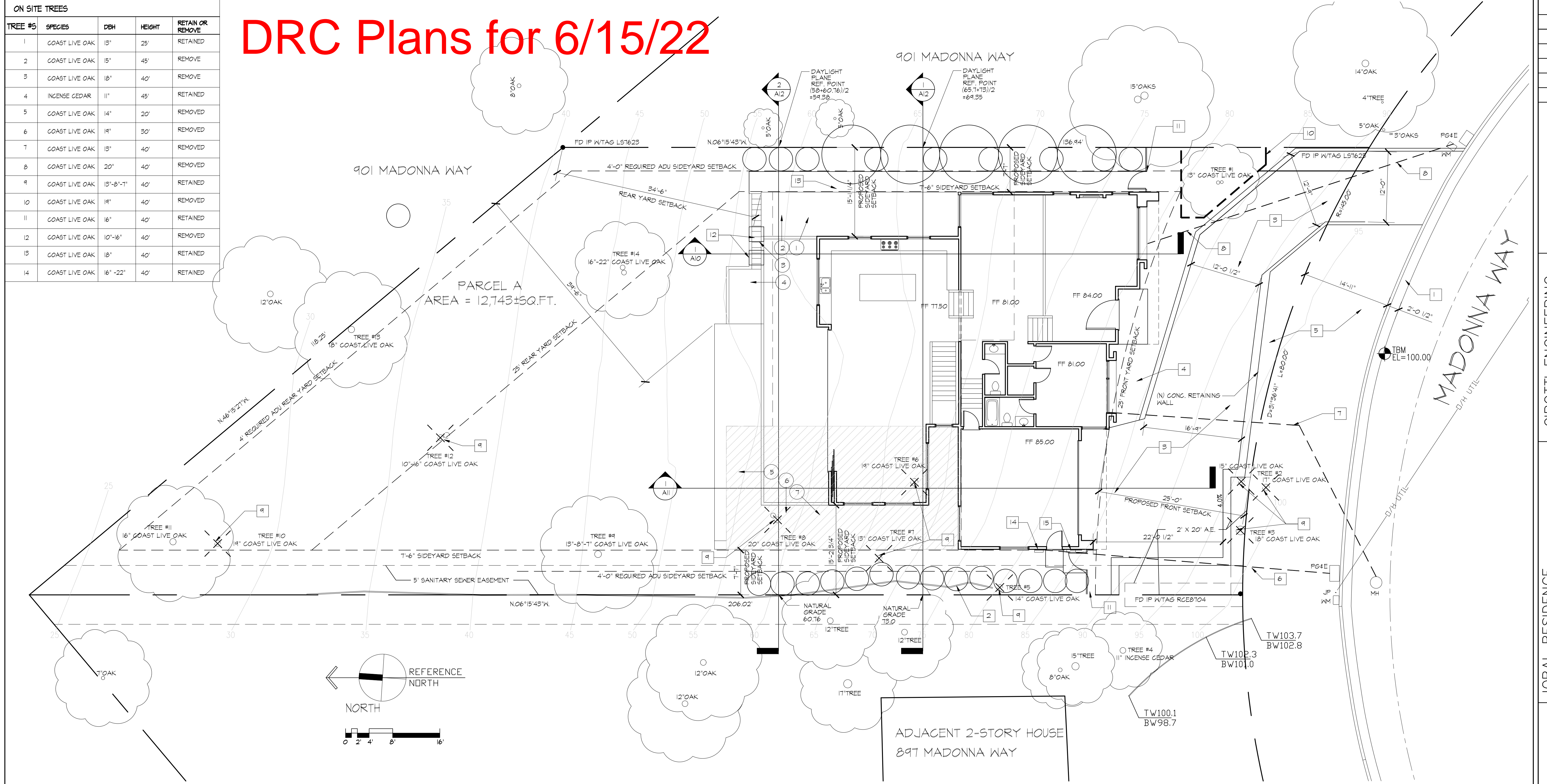
IQBAL RESIDENCE
NEW SINGLE FAMILY HOUSE & ADU
899 MADONNA WAY
LOS ALTOS, CA 94024

COLOR SITE PLAN & RENDERING

DATE	MAY 16, 2022
SCALE	
DRAWN	
APN#	336-03-030
SHEET	A1.3
OF SHEETS	

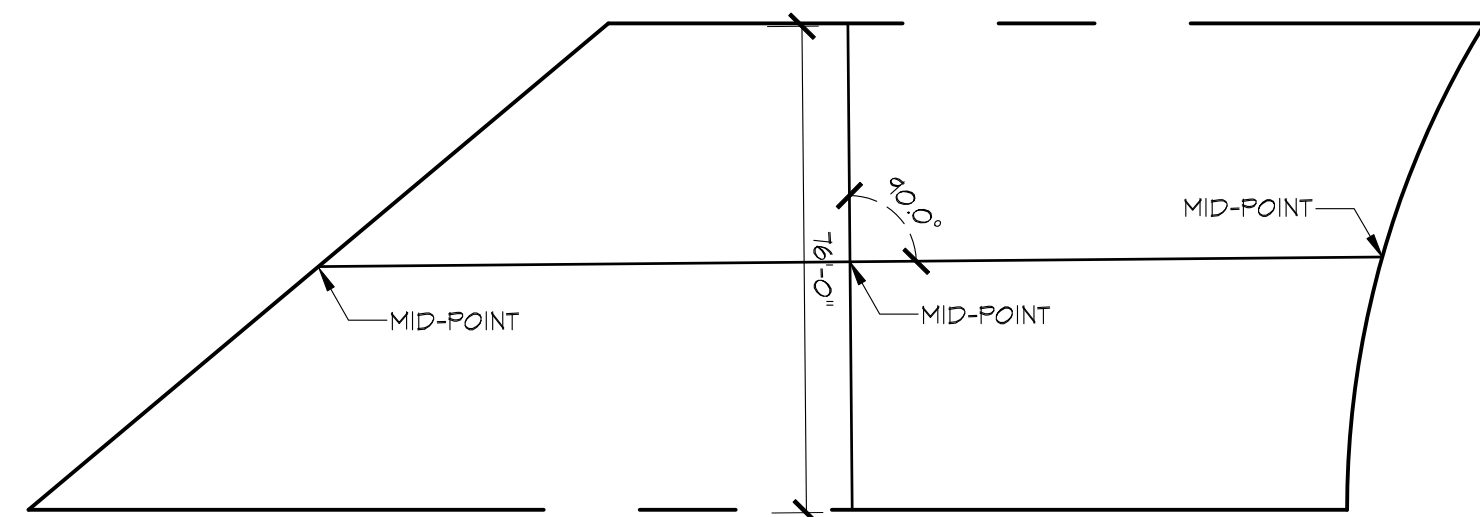
TREE #5	SPECIES	DBH	HEIGHT	RETAIN OR REMOVE
1	COAST LIVE OAK	13"	25'	RETAINED
2	COAST LIVE OAK	15"	45'	REMOVE
3	COAST LIVE OAK	18"	40'	REMOVE
4	INCENSE CEDAR	11"	45'	RETAINED
5	COAST LIVE OAK	14"	20'	REMOVED
6	COAST LIVE OAK	19"	50'	REMOVED
7	COAST LIVE OAK	13"	40'	REMOVED
8	COAST LIVE OAK	20"	40'	REMOVED
9	COAST LIVE OAK	13'-8"-1"	40'	RETAINED
10	COAST LIVE OAK	19"	40'	REMOVED
11	COAST LIVE OAK	16"	40'	RETAINED
12	COAST LIVE OAK	10'-16"	40'	REMOVED
13	COAST LIVE OAK	18"	40'	RETAINED
14	COAST LIVE OAK	16'-22"	40'	RETAINED

DRC Plans for 6/15/22



① PROPOSED SITE PLAN

1/8"=1'-0"



② LOT WIDTH DIAGRAM

1/30"=1'-0"

- GENERAL NOTES
- A. BUILDING SETBACK VERIFICATION: PRIOR TO FOUNDATION INSPECTION BY THE CITY, THE LLS OF RECORD SHALL PROVIDE A WRITTEN CERTIFICATION THAT ALL BUILDING SETBACKS ARE PER THE APPROVED PLANS.
 - B. ALL REMAINING EXISTING LANDSCAPE TO BE PROTECTED FROM DAMAGE DURING CONSTRUCTION, TYPICAL.
 - C. REMOVE EXISTING LANDSCAPE WHERE NEW CONSTRUCTION OCCURRED. VERIFY WITH OWNER FOR ITEM TO BE SAVED AND REUSED.
 - D. REMOVE EXISTING FENCE WHERE NEW CONSTRUCTION OCCURRED.
 - E. PREPARE SITE FOR NEW CONSTRUCTION WHERE OCCURRED. SEE NEW FLOOR PLAN.
 - F. ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY MUST HAVE AN APPROVED PERMIT FOR CONSTRUCTION IN THE PUBLIC STREET PRIOR TO COMMENCEMENT OF WORK. APPLY FOR THIS PERMIT AT THE PUBLIC WORKS ENGINEERING (PWE) DIVISION. **THE PERFORMANCE OF THIS WORK IS NOT AUTHORIZED BY THE BUILDING PERMIT ISSUANCE BUT SHOWN ON THE BUILDING PERMIT FOR INFORMATION ONLY.**
 - G. REFER TO CIVIL ENGINEERING DRAWINGS FOR DOWNSPOUT/ SPLASH BLOCK LOCATIONS.
 - H. SEE SOIL REPORT FOR SITE & FOUNDATION COMPACTION & GRADING REQUIREMENTS.

- KEYNOTES
- 1 (E) STREET CURB & GUTTER
 - 2 (E) HD. FENCE TO REMAIN.
 - 3 NEW PERMEABLE PAVEMENT DRIVEWAY.
 - 4 NEW PERMEABLE PAVEMENT WALKWAY
 - 5 (N) LANDSCAPING. SEE LANDSCAPING PLANS.
 - 6 JOINT TRENCH FOR UNDERGROUND ELECTRICAL & GAS LINES.
 - 7 NEW 4" SEWER LINE
 - 8 NEW 2" WATER LINE WITH NEW WATER METER. COORDINATE WITH WATER COMPANY.
 - 9 REMOVE (E) TREE.
 - 10 PROTECTION TREE PROTECTION FENCING PER CITY'S STANDARDS.
 - 11 6' TALL HD. GATE & FENCE.
 - 12 HEAT PUMP UNITS UNDER STAIRWAY ON CONC. PAD. UNITS SHALL MEET LOS ALTOS AC NOISE REQUIREMENTS.
 - 13 DECOMPOSED GRANITE (D.G.) WALKWAY
 - 14 ELEG. PANEL & METER (400 AMP)
 - 15 GAS METER (FOR COOKING APPLIANCE)

- LEGEND
- PROPERTY LINE
 - TREE PROTECTION FENCING (MIN. 5 FT. TALL W/ POSTS DRIVEN TO GROUND) SEE ARBORIST REPORT
 - ▨ ATTACHED ADU AT LOWER FLOOR
 - (E) TREE TO REMAIN
 - NEW TREE/ SHRUBS SEE LANDSCAPE PLAN LI
 - ⊗ (E) TREE TO BE REMOVED
 - ➔ PHOTO KEY (SEE PHOTOS ON A2.1)

REVISIONS

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12935 ALCOSTA BLVD #2025
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IQBAL RESIDENCE
NEW SINGLE FAMILY HOUSE & ADU
899 MADONNA WAY
LOS ALTOS, CA 94024

PROPOSED SITE PLAN

DATE: MAY 16, 2022
SCALE:
DRAWN:
AP# 336-03-030
SHEET

A2
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DRC Plans for 6/15/22



④ VIEW FROM BALCONY TO NORTHWEST

③ VIEW FROM BALCONY TO NORTH

② VIEW FROM BALCONY TO EAST

① VIEW FROM BALCONY TO SOUTHEAST



⑦ VIEW FROM BALCONY TO WEST

⑥ VIEW FROM BALCONY TO NORTHWEST

⑤ VIEW FROM BALCONY TO NORTH

REVISIONS

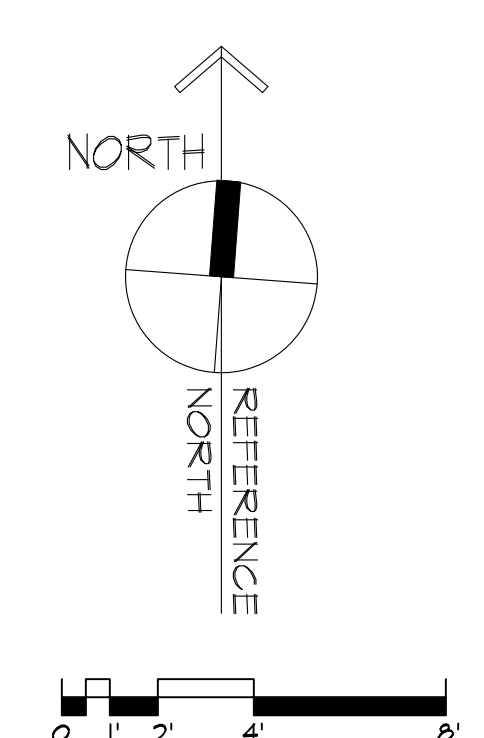
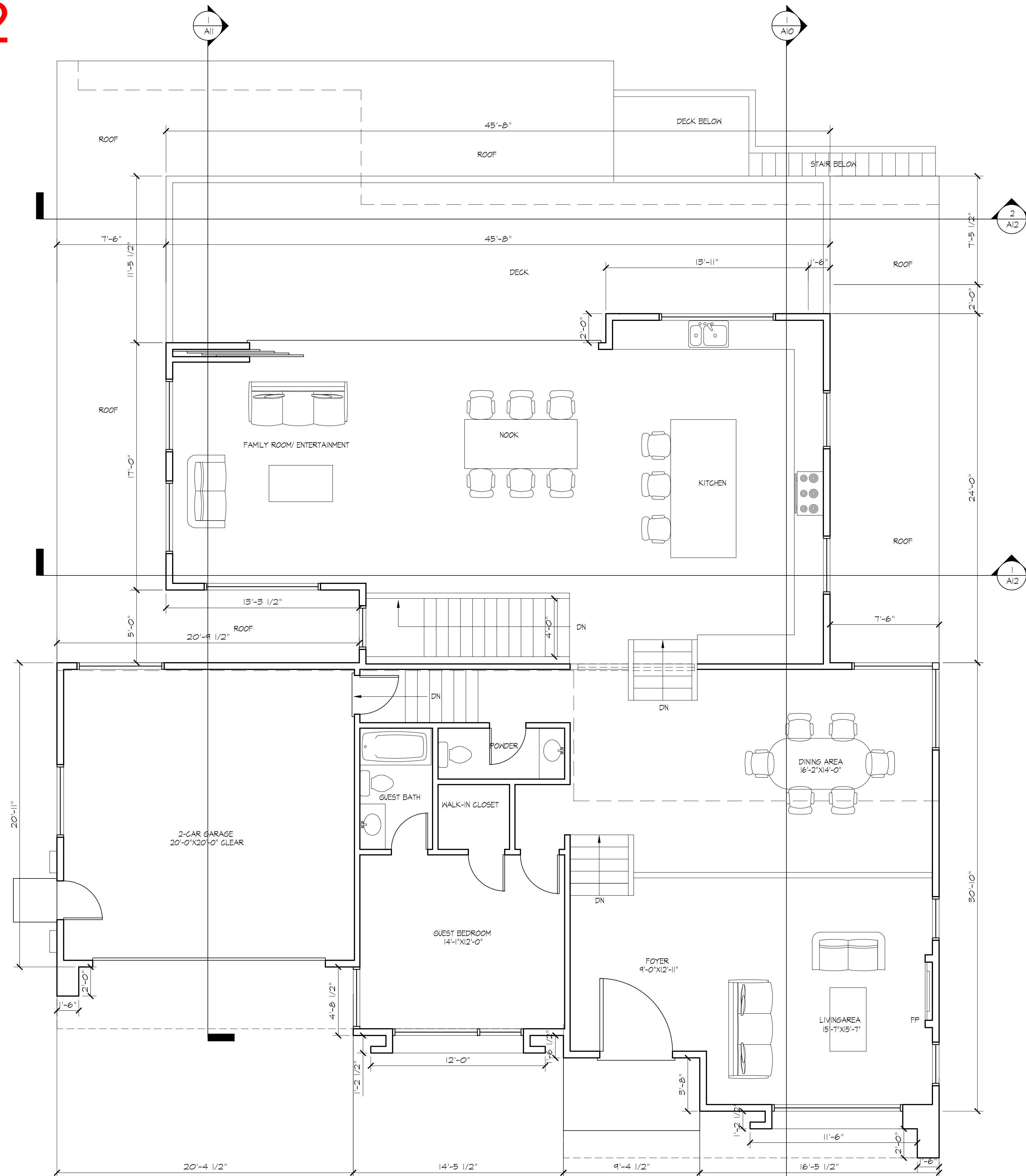
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 EMAIL: SCOTT@CIBOTTI.COM

IQBAL RESIDENCE
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 LOS ALTOS, CA 94024

SITE PHOTOS

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OF SHEETS	

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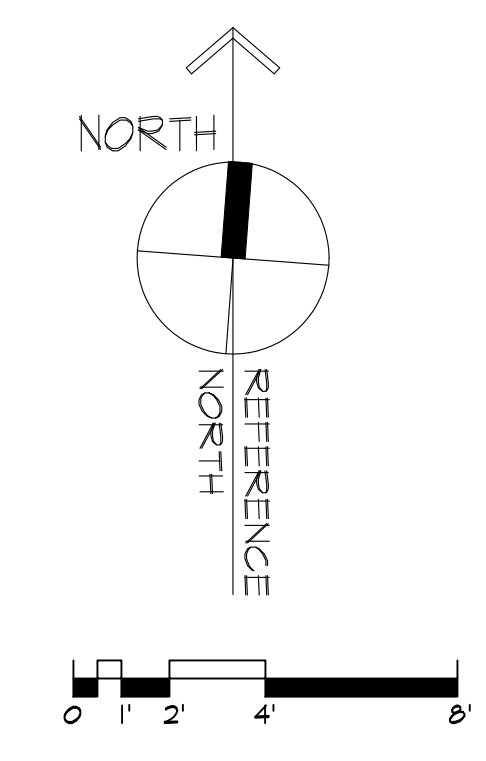
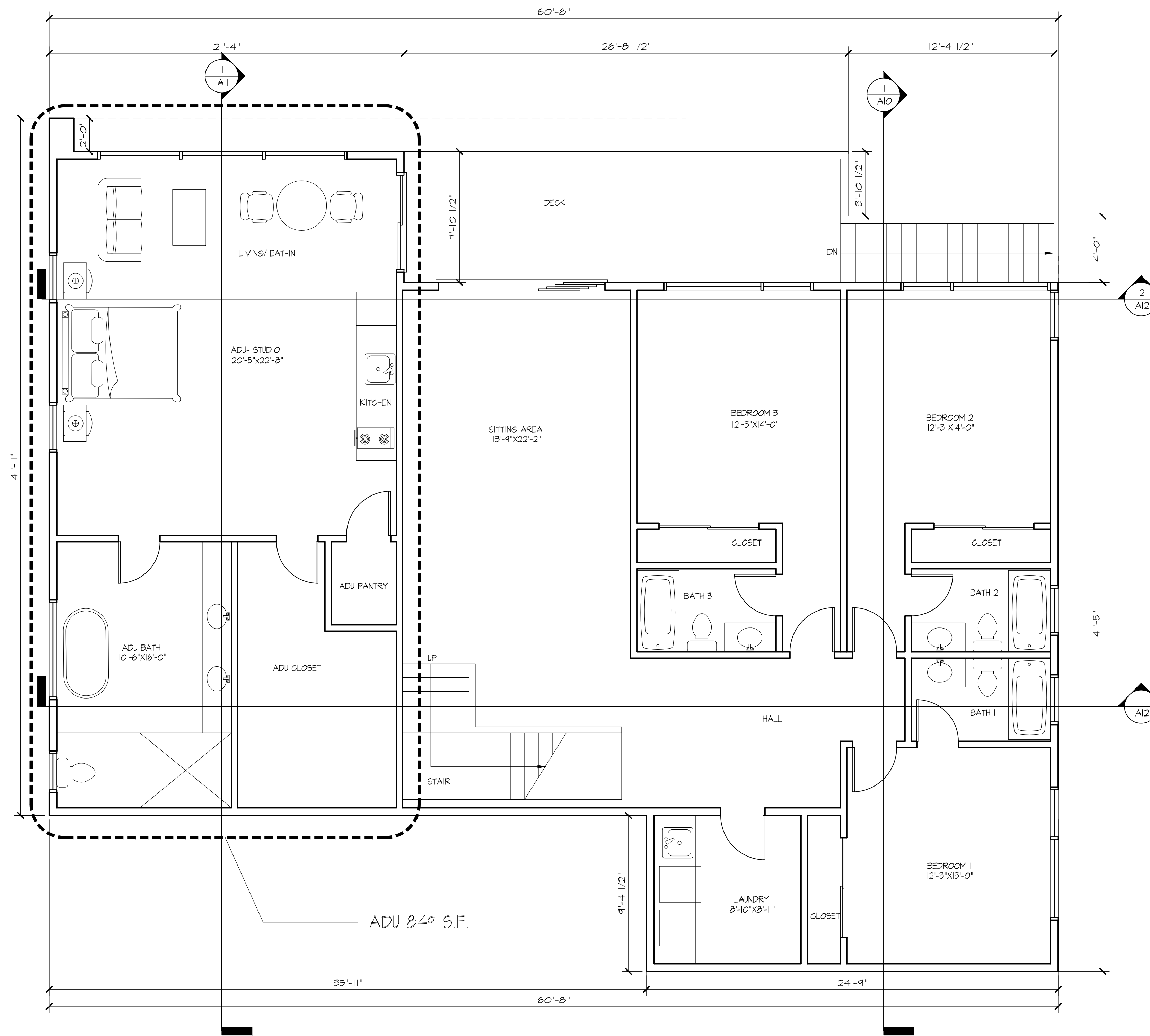
IQBAL RESIDENCE
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MAIN LEVEL FLOOR PLAN

DATE: MAY 16, 2022
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 OF SHEETS

DRC Plans for 6/15/22



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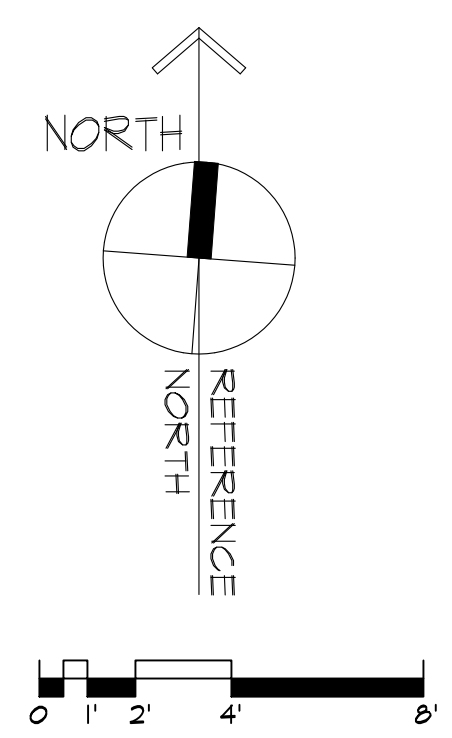
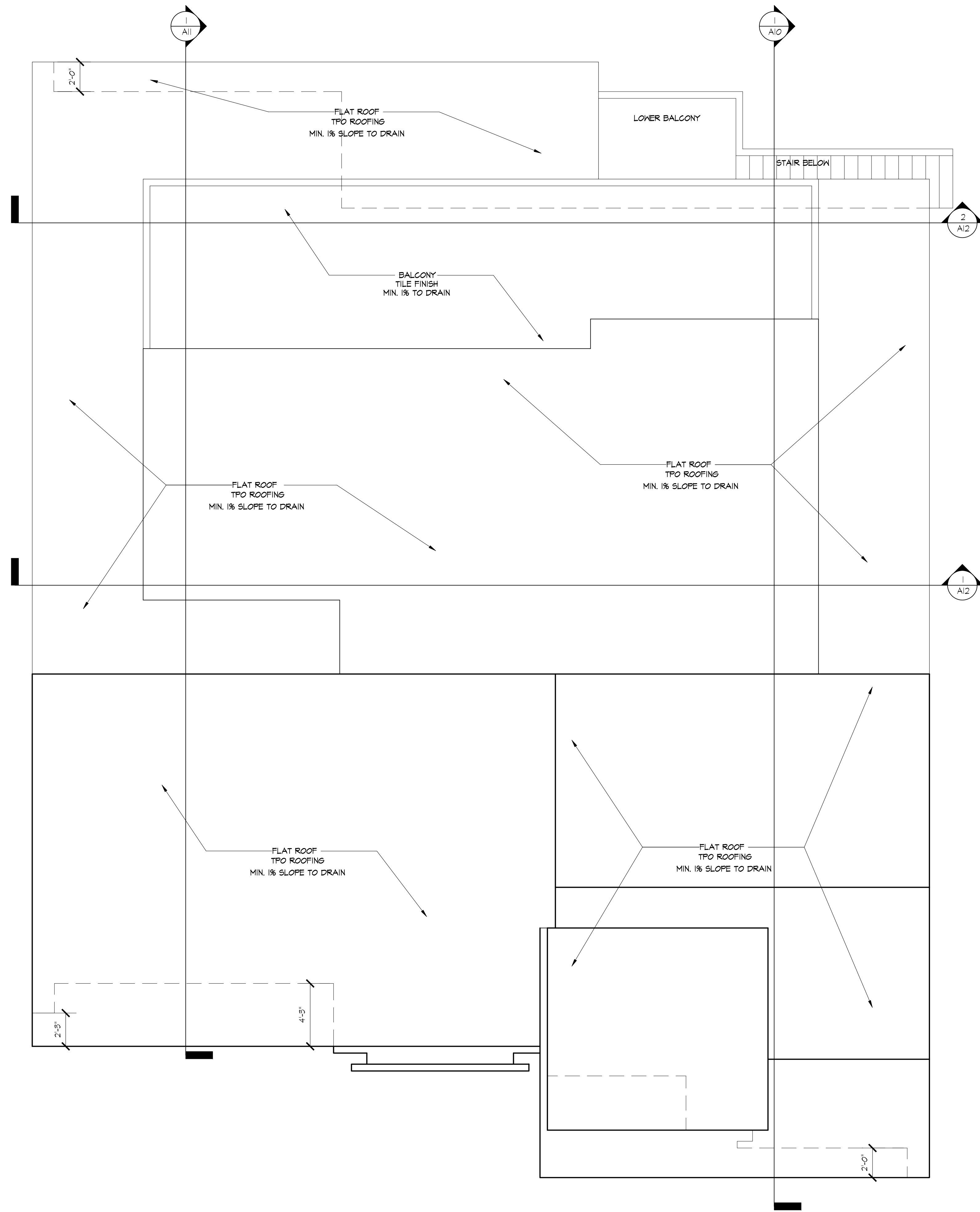
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LOWER LEVEL FLOOR PLAN

DATE MAY 16, 2022
 SCALE
 DRAWN
 APN# 336-03-030
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 OF SHEETS

DRC Plans for 6/15/22



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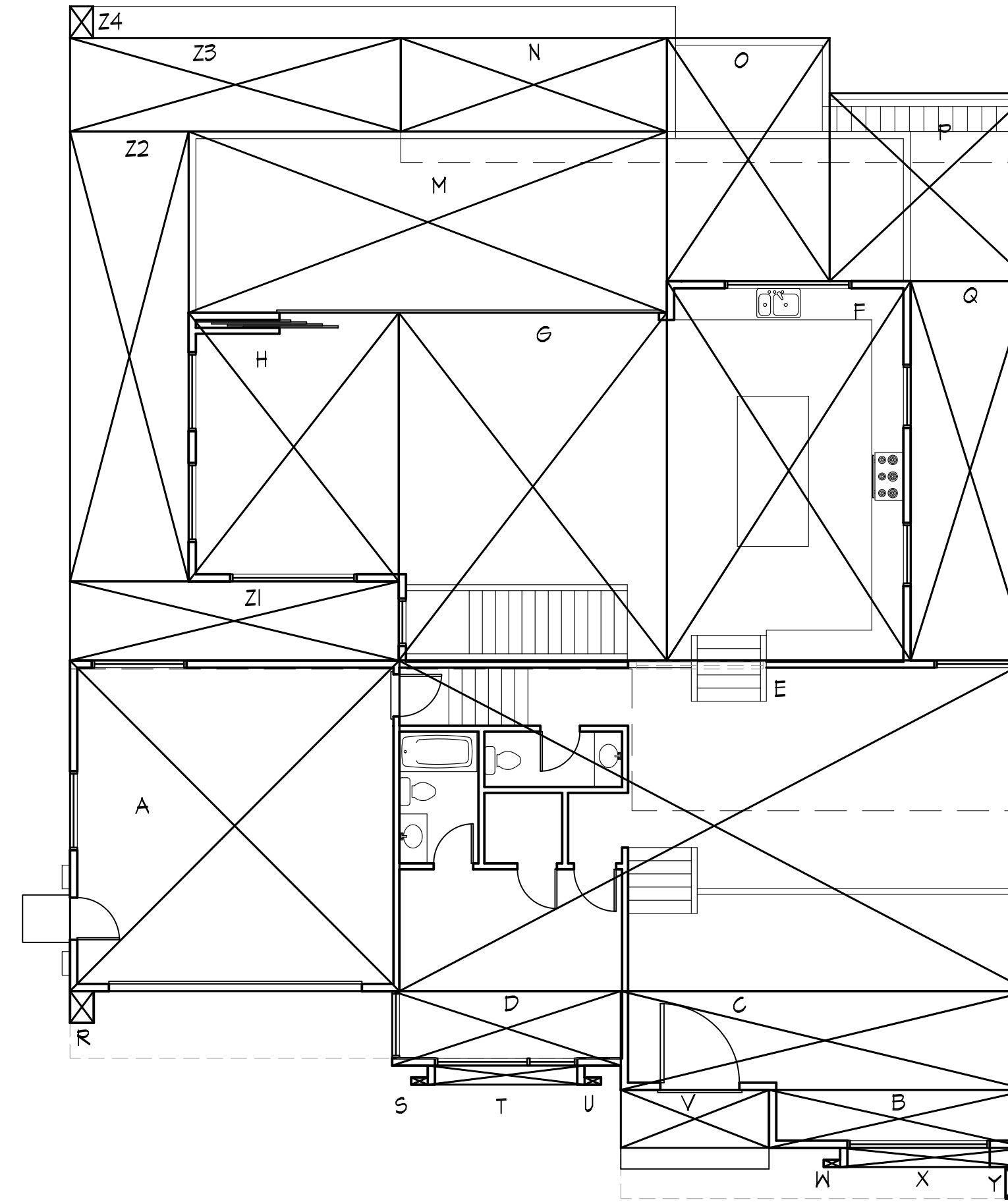
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PROPOSED ROOF PLAN

DATE MAY 16, 2022
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 OF SHEETS

DRC Plans for 6/15/22



FLOOR AREA CALCULATION

MAIN LEVEL FLOOR

SECTION	DIMENSIONS	AREA
A	20'-10" X 20'-11"	435.8
B	16'-5 1/2" X 3'-8"	60.3
C	25'-10" X 6'-3"	161.5
D	14'-5 1/2" X 4'-8 1/2"	68.1
E	39'-10" X 20'-11"	833.2
F	15'-5" X 24'-0"	370.0
G	16'-11 1/2" X 22'-0"	373.1
H	13'-3 1/2" X 17'-0"	226.0
SUBTOTAL		2528.0

LOWER LEVEL FLOOR

SECTION	DIMENSIONS	AREA
I	24'-9" X 9'-4 1/2"	232.0
J	39'-5" X 32'-0 1/2"	1263.0
SUBTOTAL		1495.0

TOTAL FLOOR AREA FOR MAIN HOUSE 4023 SF < 4024 SF

ATTACHED ACCESSORY DWELLING UNIT (ADU)

SECTION	DIMENSIONS	AREA
K	21'-4" X 7'-10 1/2"	168.0
L	21'-3" X 32'-0 1/2"	680.9
SUBTOTAL		848.9

TOTAL FLOOR AREA FOR ADU 848.9 SF < 850 SF

FLOOR COVERAGE CALCULATION

SECTION	DIMENSIONS	AREA
A	20'-10" X 20'-11"	435.8
B	16'-5 1/2" X 3'-8"	60.3
C	25'-10" X 6'-3"	161.5
D	14'-5 1/2" X 4'-8 1/2"	68.1
E	39'-10" X 20'-11"	833.2
F	15'-5" X 24'-0"	370.0
G	16'-11 1/2" X 22'-0"	373.1
H	13'-3 1/2" X 17'-0"	226.0
M	30'-3" X 11'-5 1/2"	346.6
N	16'-10" X 5'-11"	99.6
O	10'-3 1/2" X 15'-4 1/2"	158.2
P	12'-7 1/2" X 11'-10 1/2"	149.9
Q	7'-6" X 24'-0"	180.0
R	1'-6" X 2'-0"	3.0
S	1'-0 1/2" X 0'-5 1/2"	0.5
T	9'-11" X 1'-2 1/2"	12.0
U	1'-0 1/2" X 0'-5 1/2"	0.5
V	9'-4 1/2" X 3'-8"	34.4
W	1'-0 1/2" X 0'-5 1/2"	0.5
X	11'-11 1/2" X 1'-2 1/2"	14.4
Y	1'-6" X 2'-0"	3.0
TOTAL		3530.6

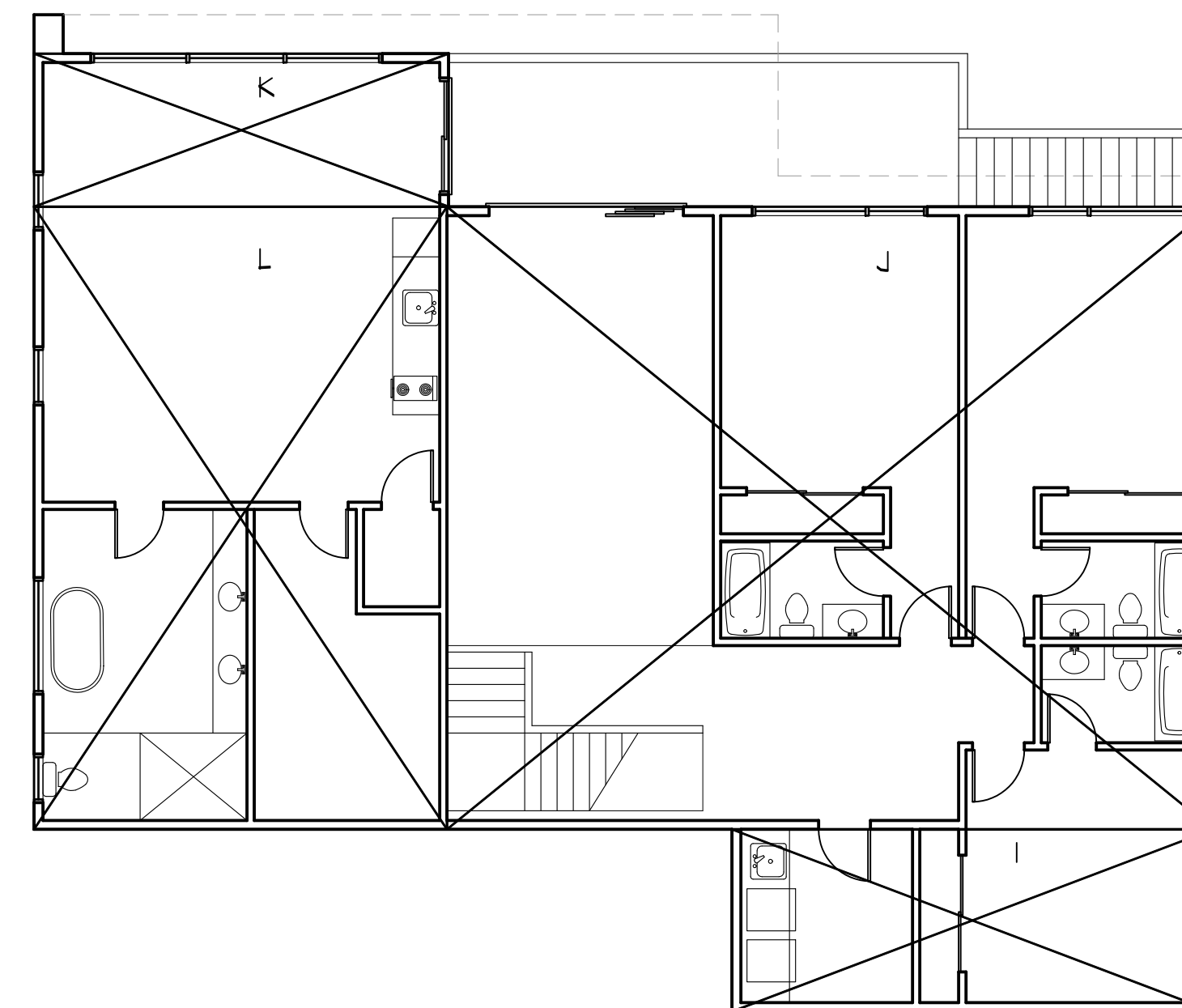
TOTAL COVERAGE 3530.6 SF < 3822.9 SF

ADDITIONAL COVERAGE FROM ADU

SECTION	DIMENSIONS	AREA
Z1	20'-9 1/2" X 5'-0"	104.0
Z2	7'-6" X 28'-5 1/2"	213.4
Z3	20'-11" X 5'-11"	123.8
Z4	1'-6" X 2'-0"	3.0
TOTAL		444.2

① MAIN LEVEL FLOOR AREA CALCULATION

1/8"=1'-0"



② LOWER LEVEL FLOOR AREA CALCULATION

1/8"=1'-0"

REVISIONS

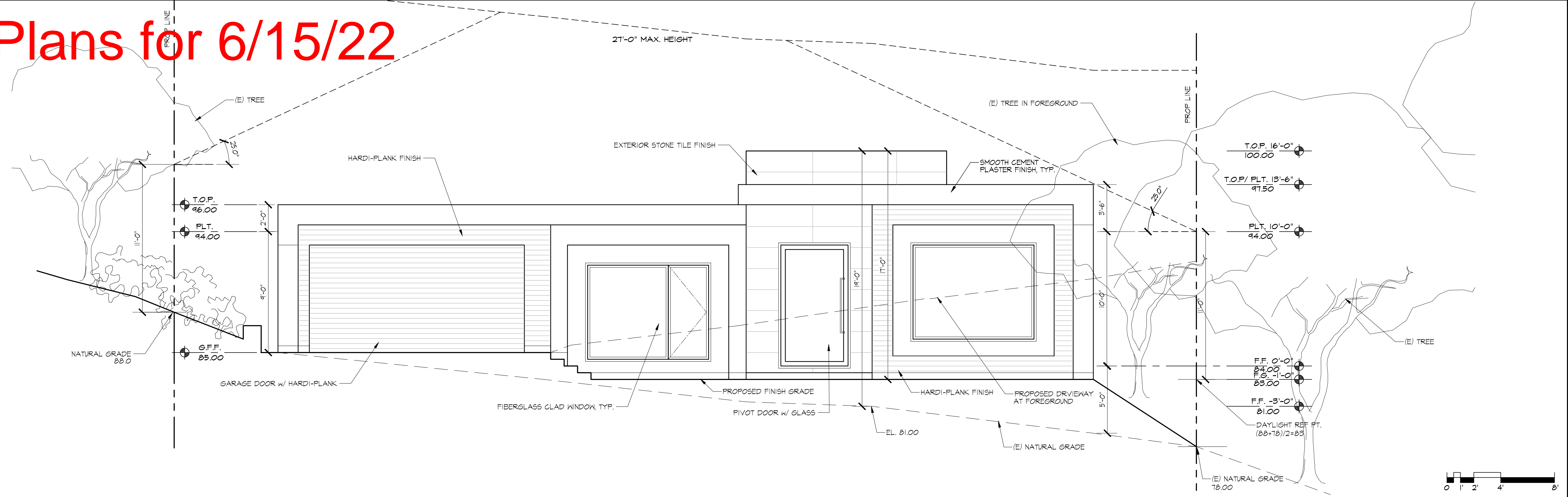
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FLOOR & COVERAGE AREA CALCULATIONS

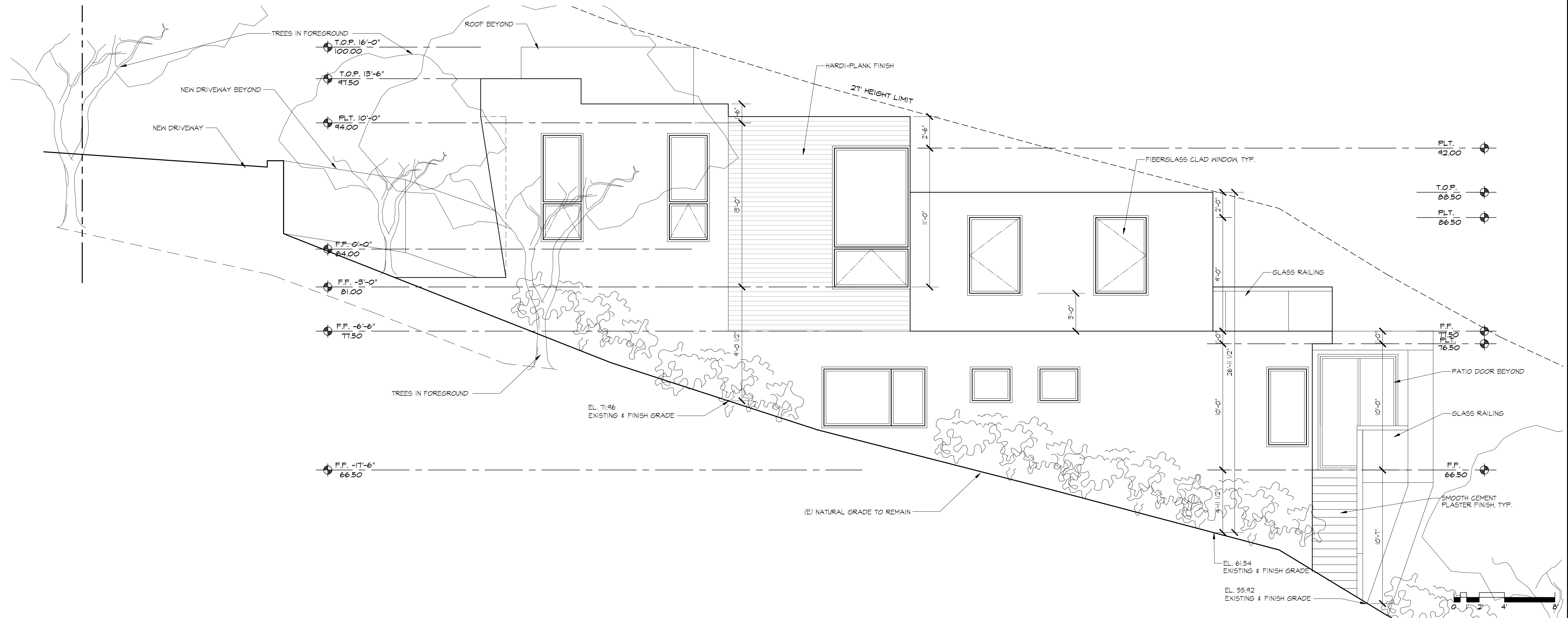
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① PROPOSED STREET ELEVATION (SOUTH)

1/4" = 1'-0"



② PROPOSED RIGHT SIDE ELEVATION (EAST)

1/4" = 1'-0"

REVISIONS	DATE	DESCRIPTION

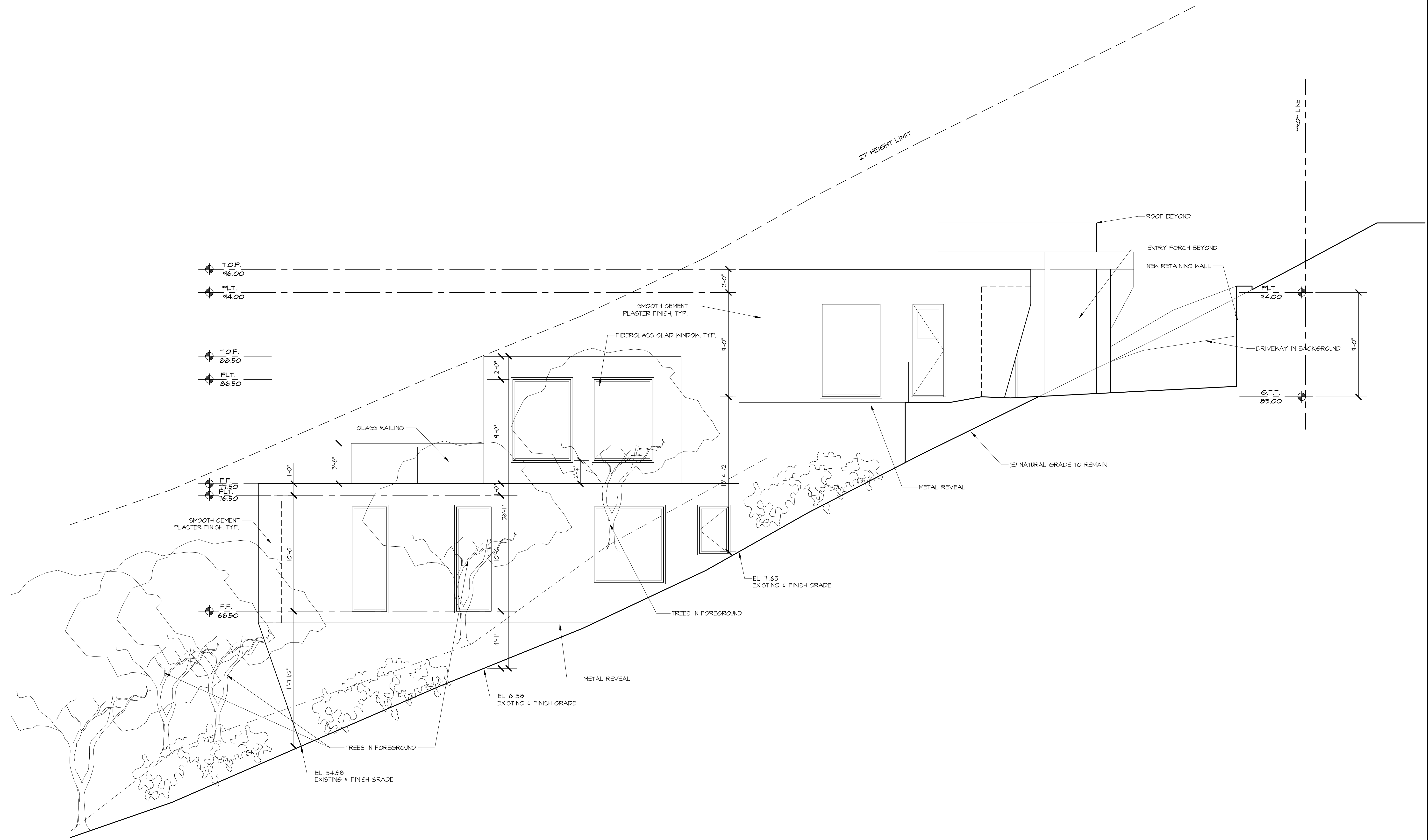
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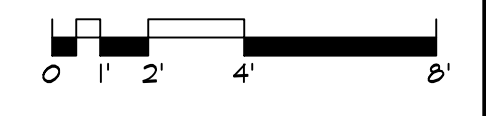
PROPOSED EXTERIOR ELEVATIONS

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1 PROPOSED LEFT SIDE ELEVATION (WEST)



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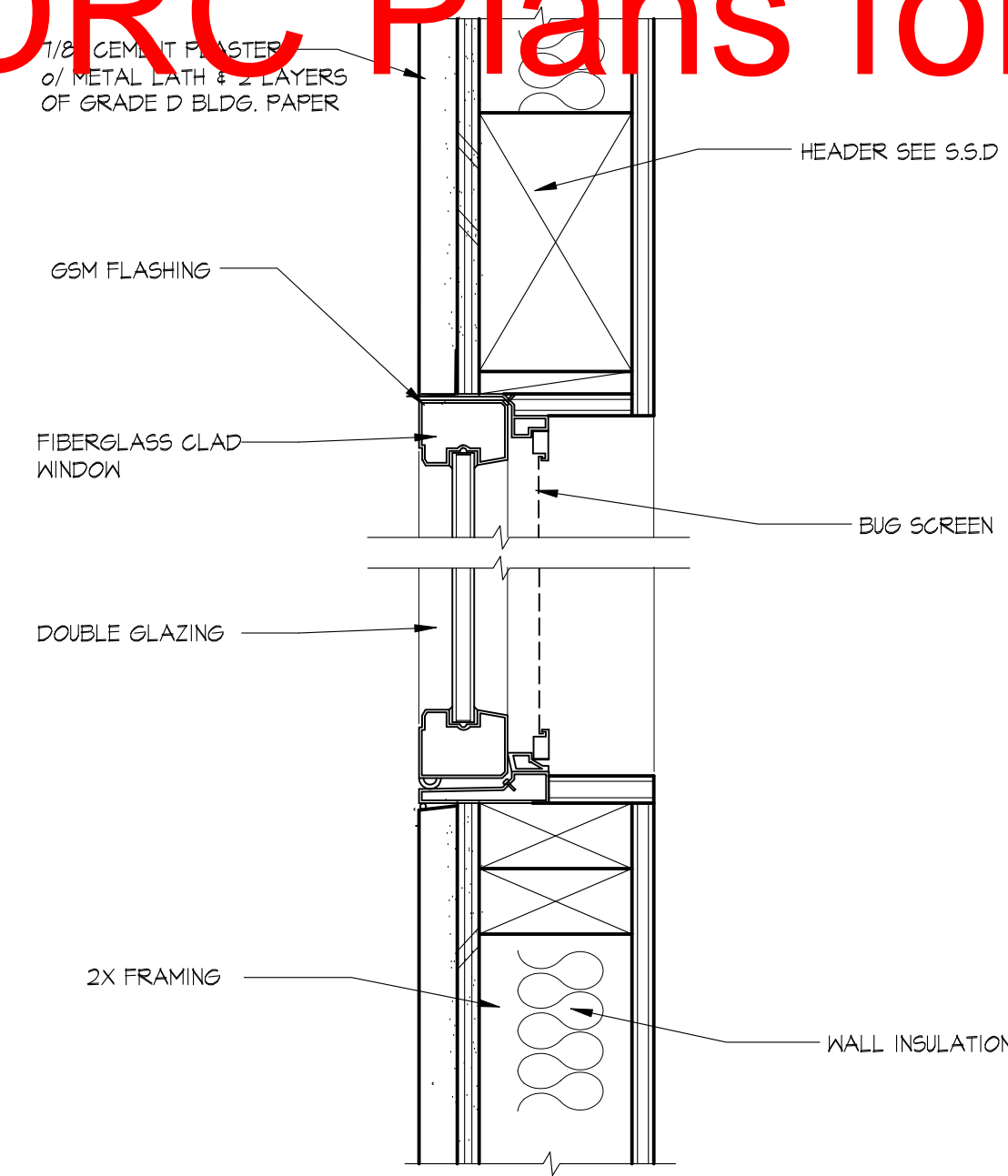
PROPOSED EXTERIOR ELEVATION

DATE MAY 16, 2022
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 DRAWN
 APN# 336-03-030
 SHEET

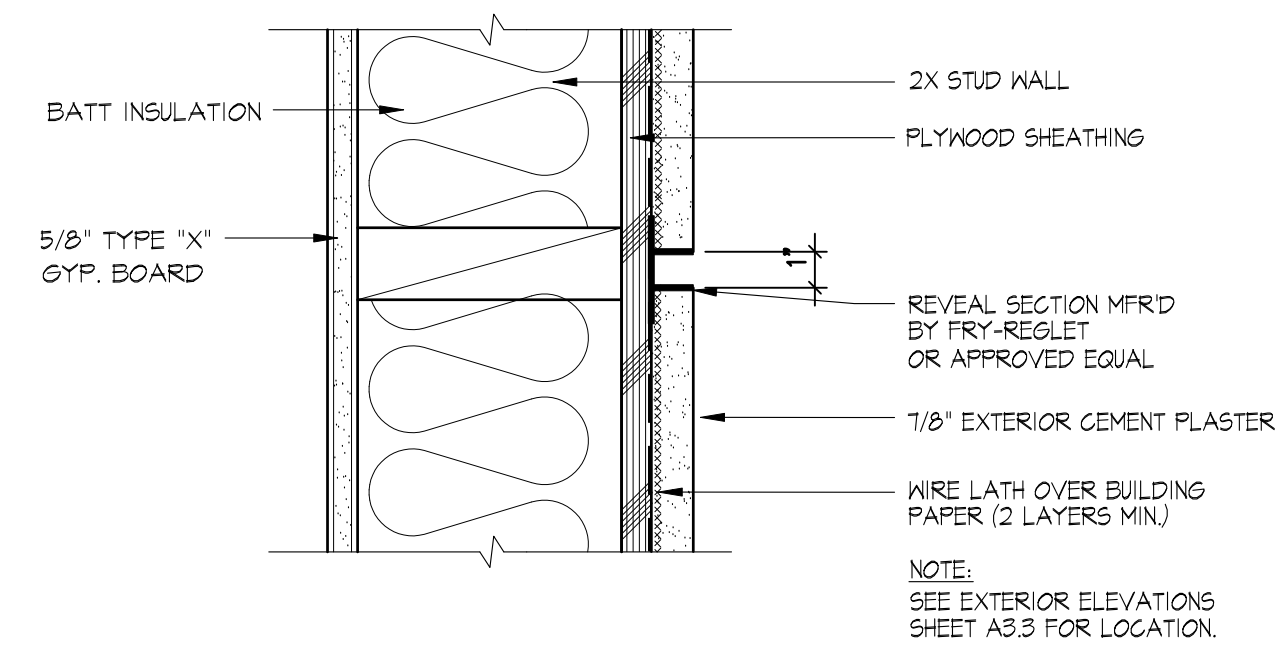
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 OF SHEETS

1/4" = 1'-0"

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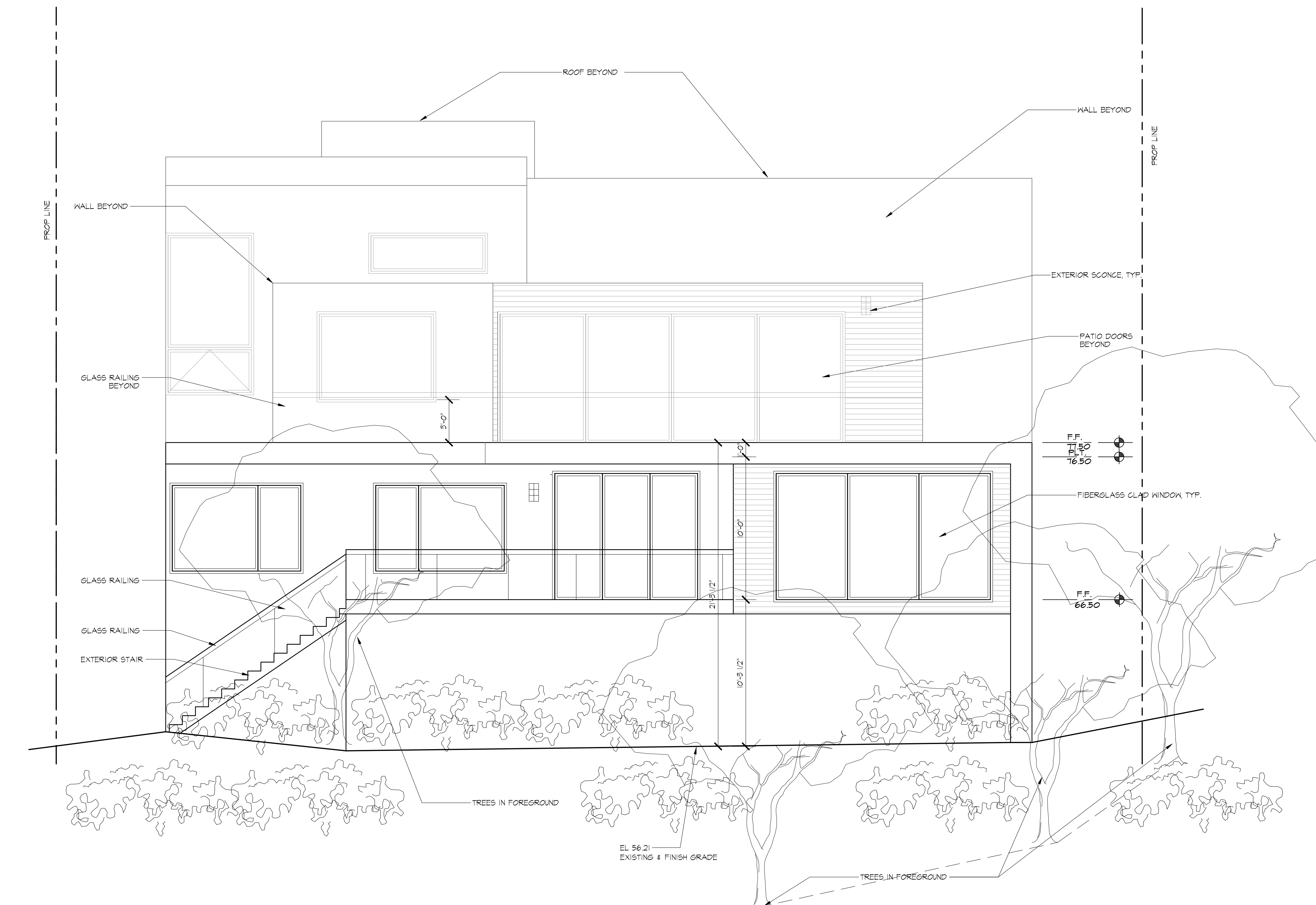
② TYPICAL WINDOW DETAIL 3" = 1'-0"



③ STUCCO REVEAL DETAIL 3" = 1'-0"



④ GLASS RAILING



① PROPOSED REAR ELEVATION (NORTH) 1/4" = 1'-0"

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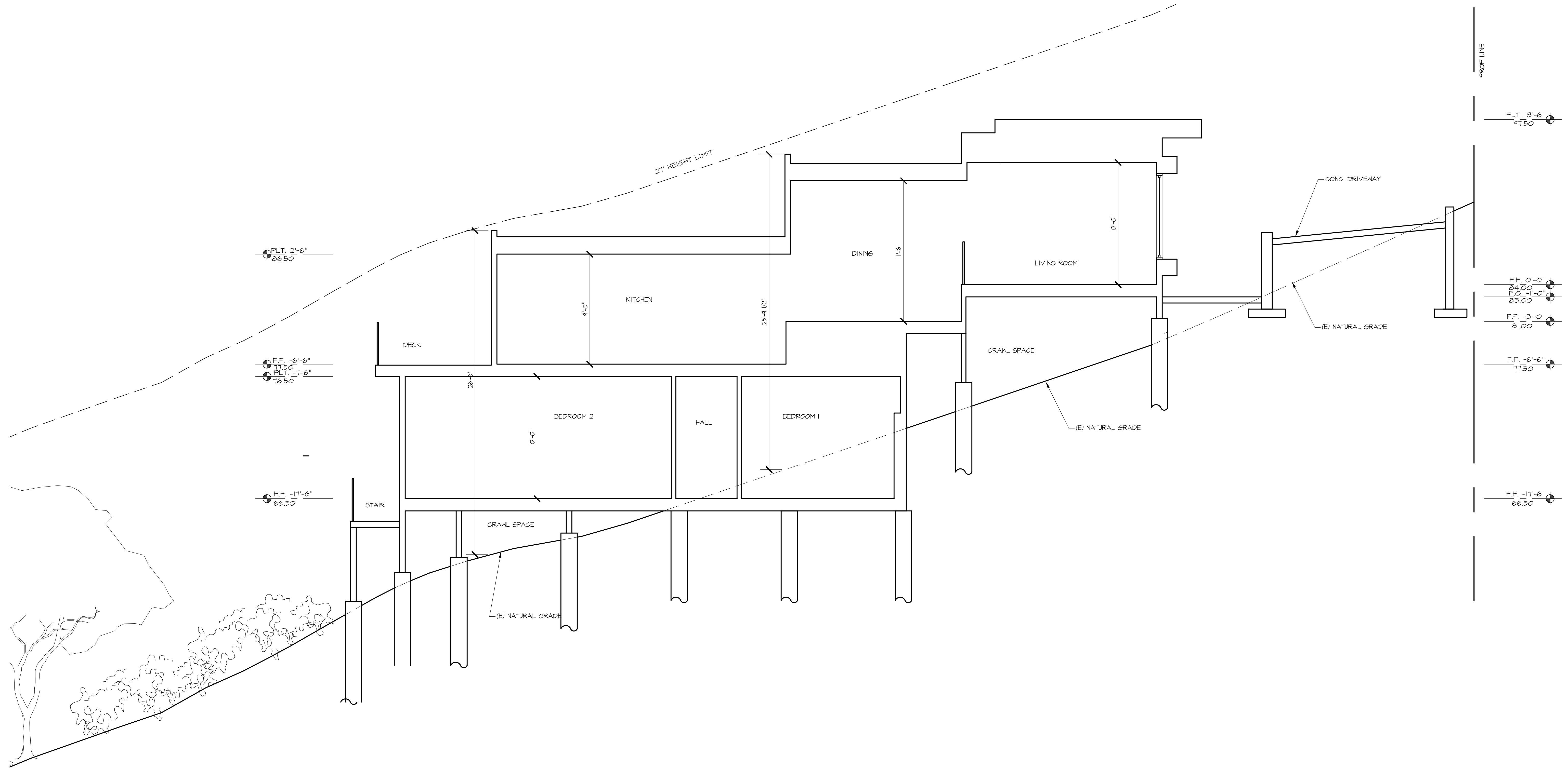
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PROPOSED EXTERIOR ELEVATION

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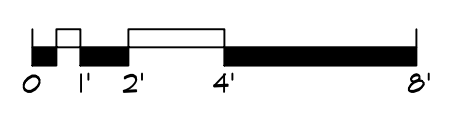
IQBAL RESIDENCE
NEW SINGLE FAMILY HOUSE & ADU
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BUILDING SECTION

DATE MAY 16, 2022
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 APN# 336-03-030
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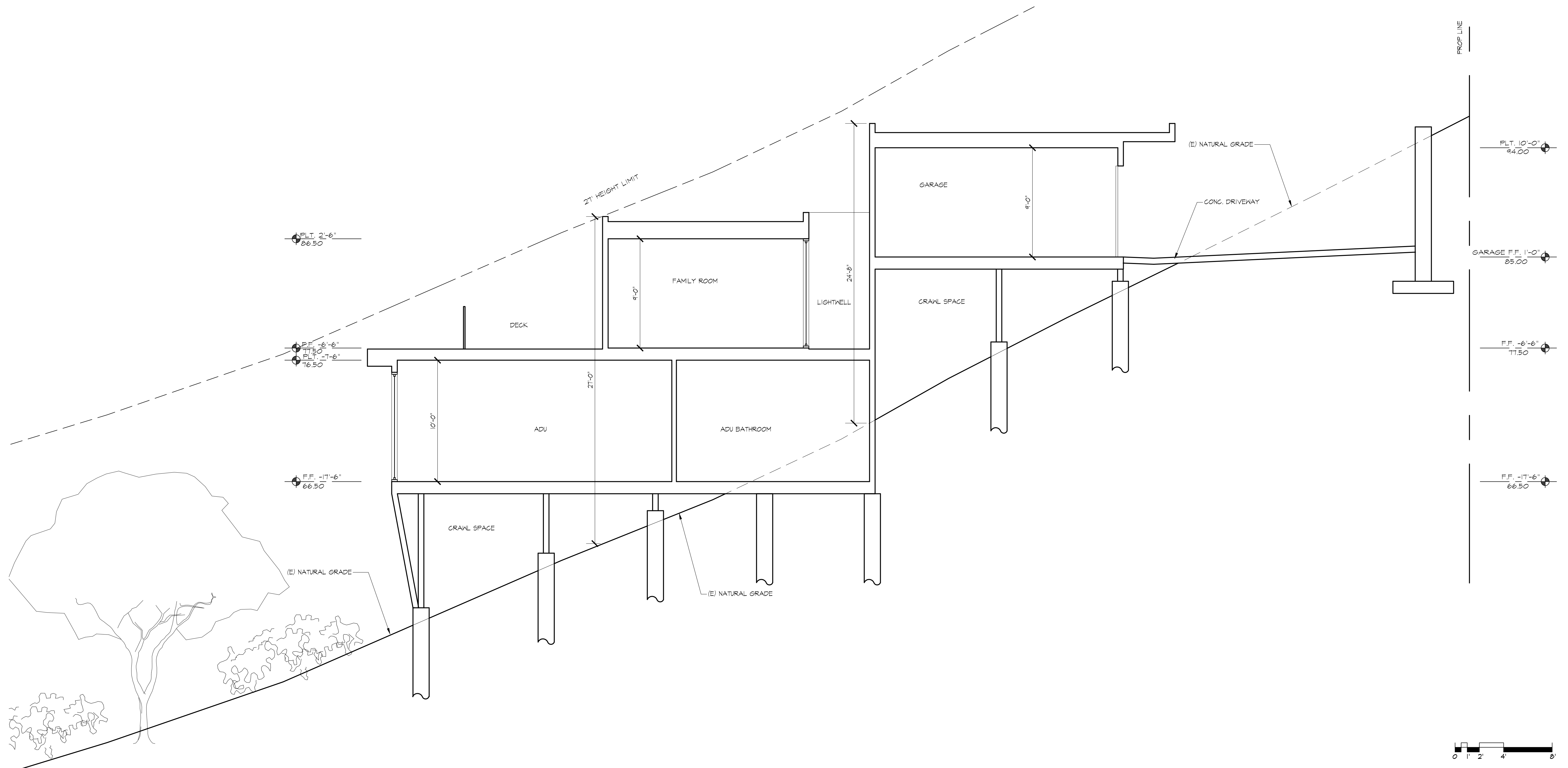
A10
 OF SHEETS

① BUILDING SECTION



1/4" = 1'-0"

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① BUILDING SECTION

1/4" = 1'-0"

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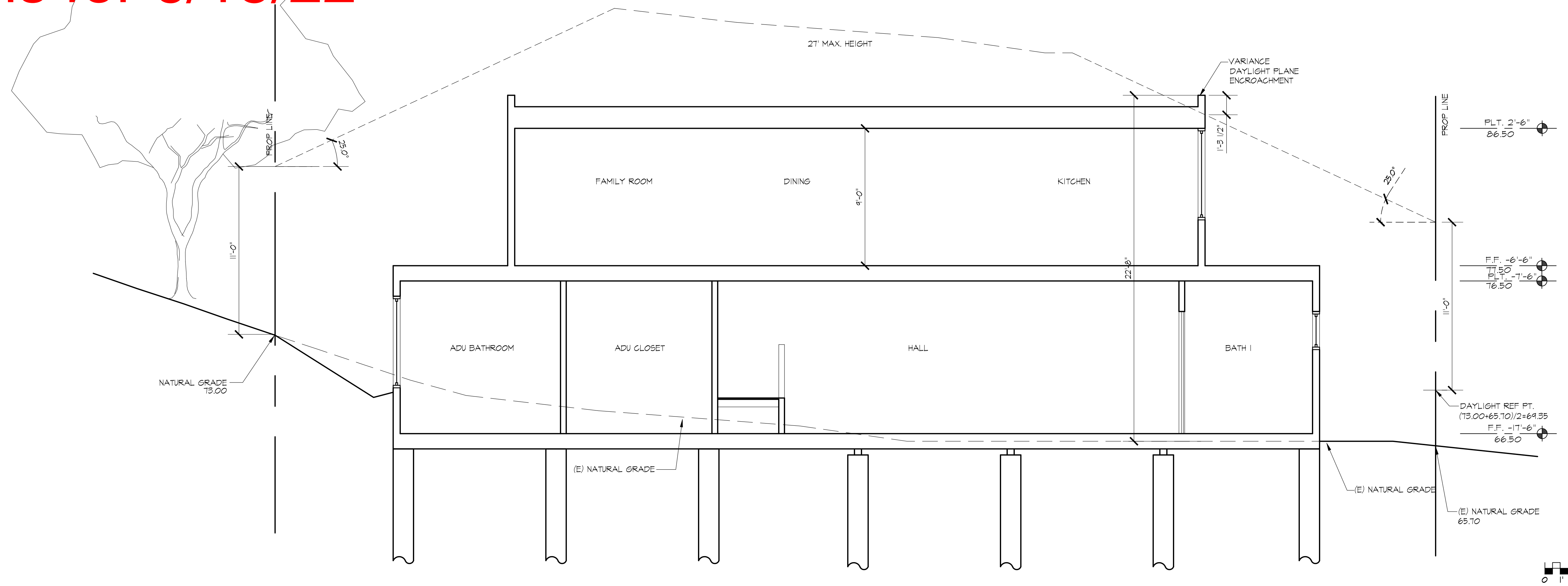
IQBAL RESIDENCE
 NEW SINGLE FAMILY HOUSE & ADU
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 LOS ALTOS, CA 94024

BUILDING SECTION

DATE MAY 16, 2022
 SCALE
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 APN# 336-03-030
 SHEET

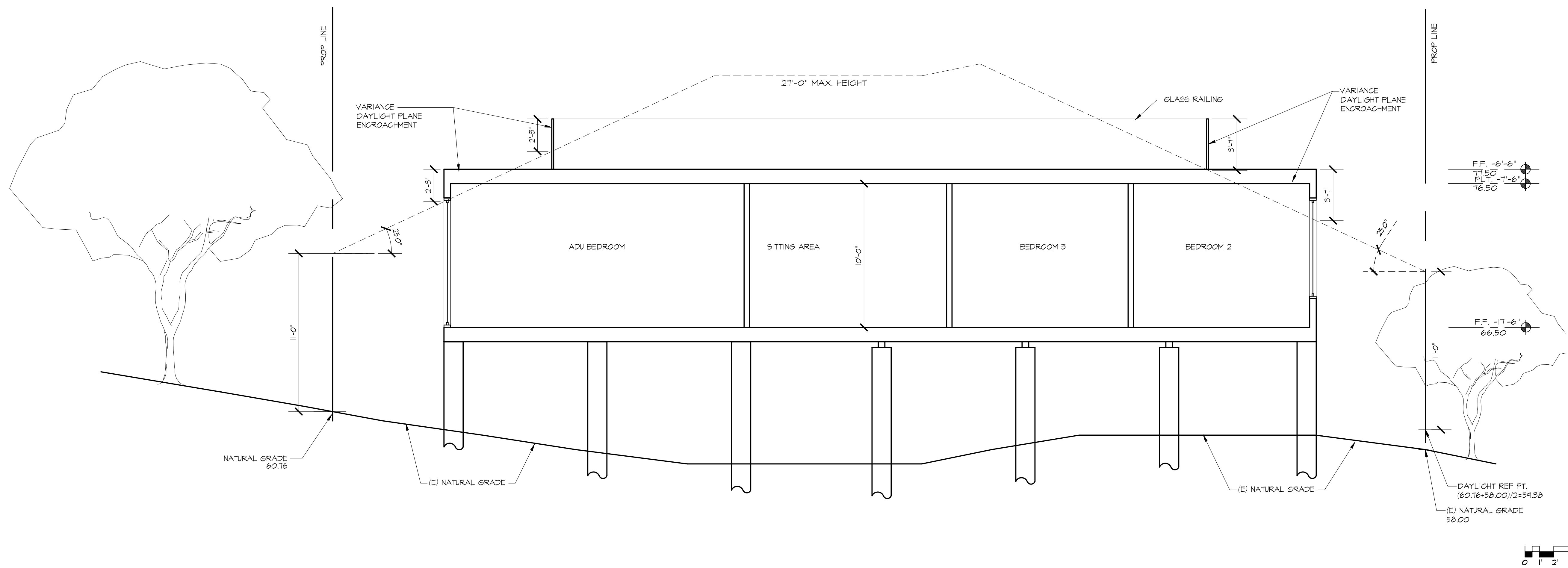
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 OF SHEETS

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① BUILDING SECTION

1/4" = 1'-0"



② BUILDING SECTION

1/4" = 1'-0"

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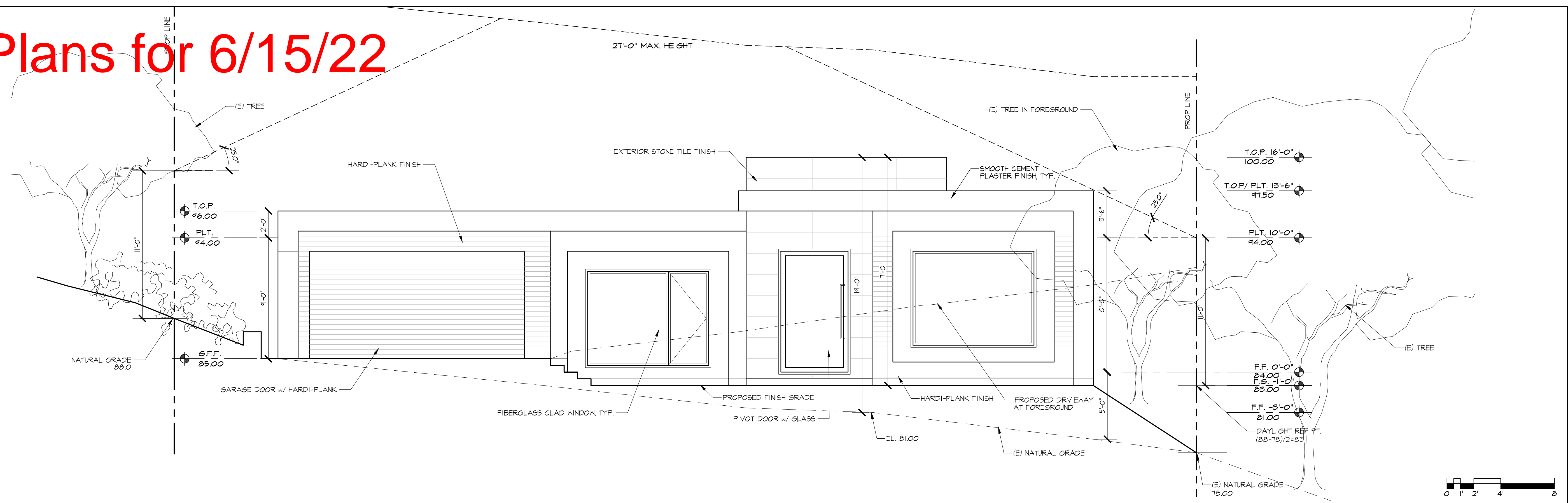
IQBAL RESIDENCE
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BUILDING SECTIONS

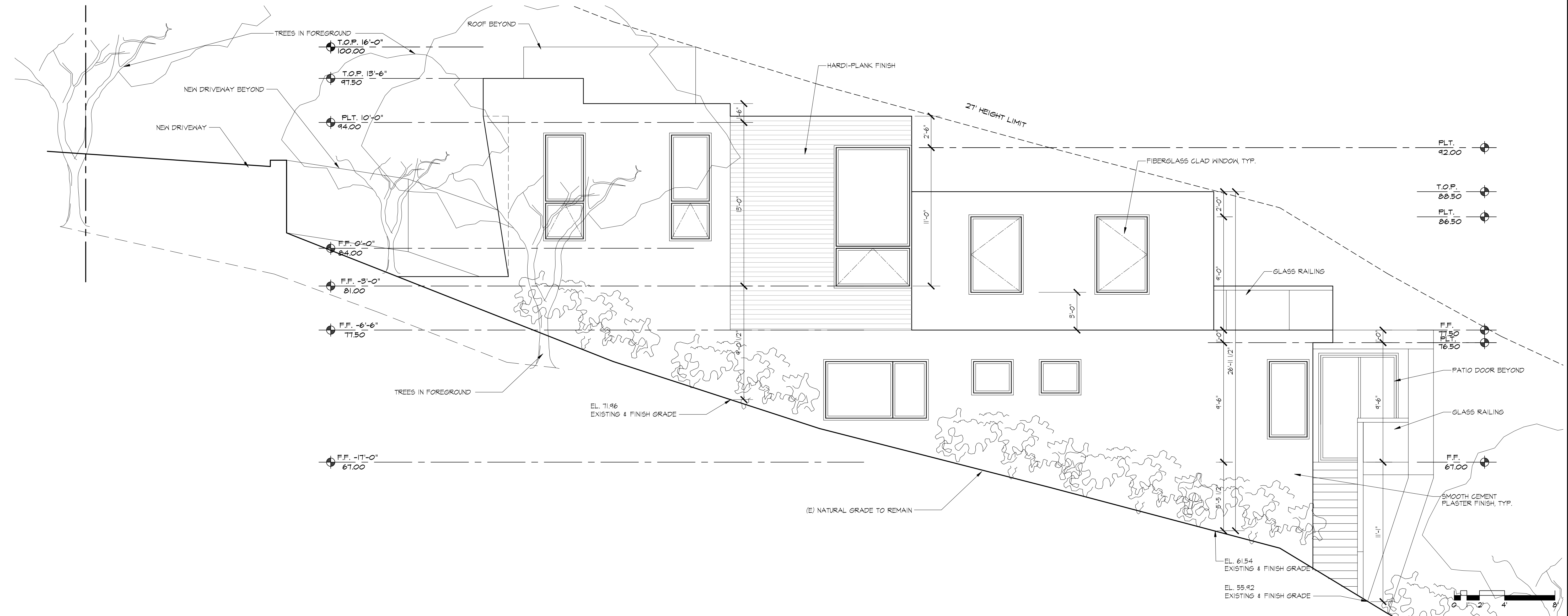
DATE MAY 16, 2022
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 SHEET

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 OF SHEETS

DRC Plans for 6/15/22



① PROPOSED STREET ELEVATION (SOUTH) 1/4" = 1'-0"

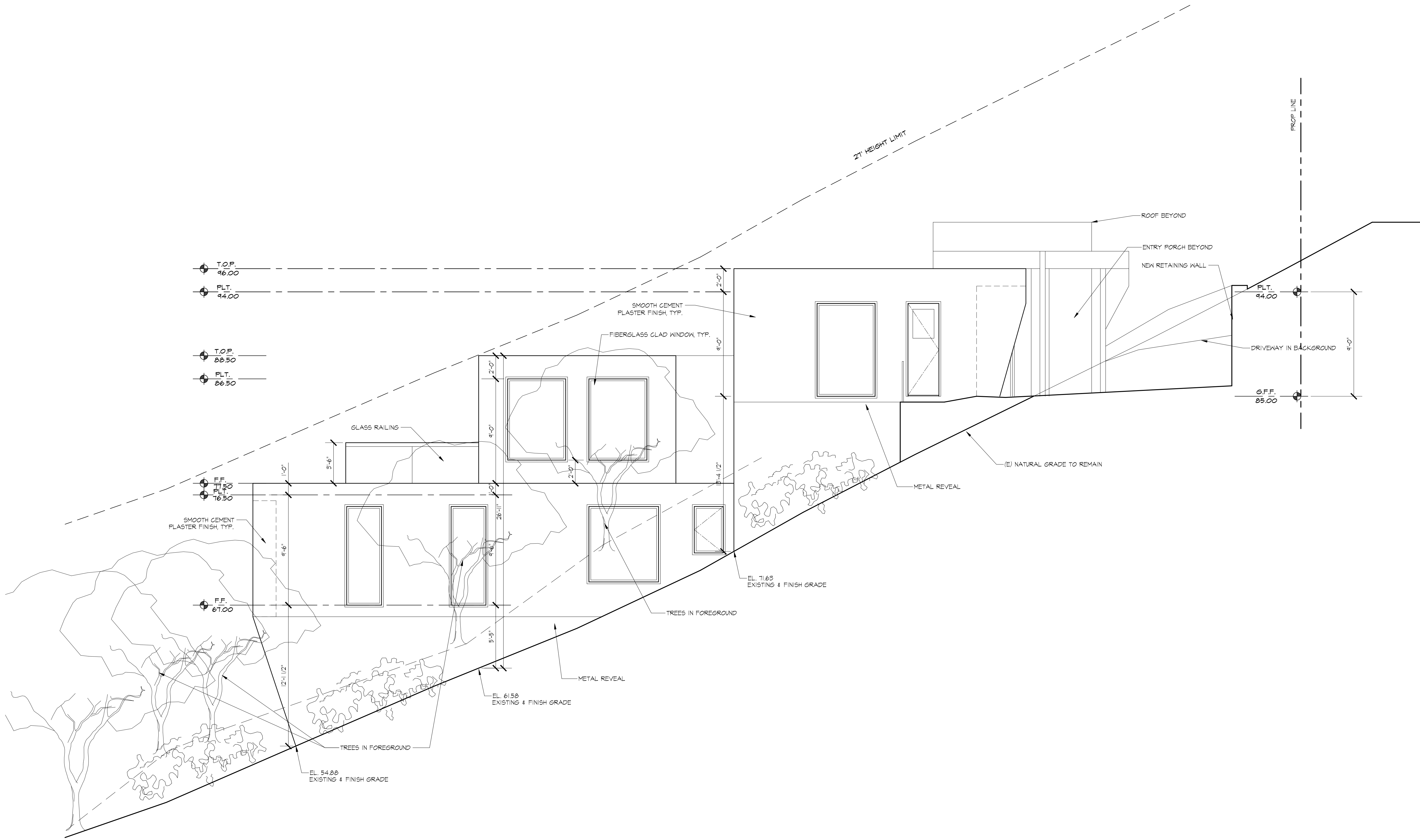


② PROPOSED RIGHT SIDE ELEVATION (EAST) 1/4" = 1'-0"

REVISIONS	

CIBOTTI ENGINEERING 12935 ALCOSTA BLVD #2025 SAN RAMON, CA 94583 BUS: (925) 829-0920 EMAIL: SCOTT@CIBOTTI.COM	IQBAL RESIDENCE NEW SINGLE FAMILY HOUSE & ADU
	PROPOSED EXTERIOR ELEVATIONS
	DATE: MAY 16, 2022 SCALE: DRAWN: APN# 336-03-030 SHEET
	A7-B OF SHEETS

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① PROPOSED LEFT SIDE ELEVATION (WEST)

1/4" = 1'-0"

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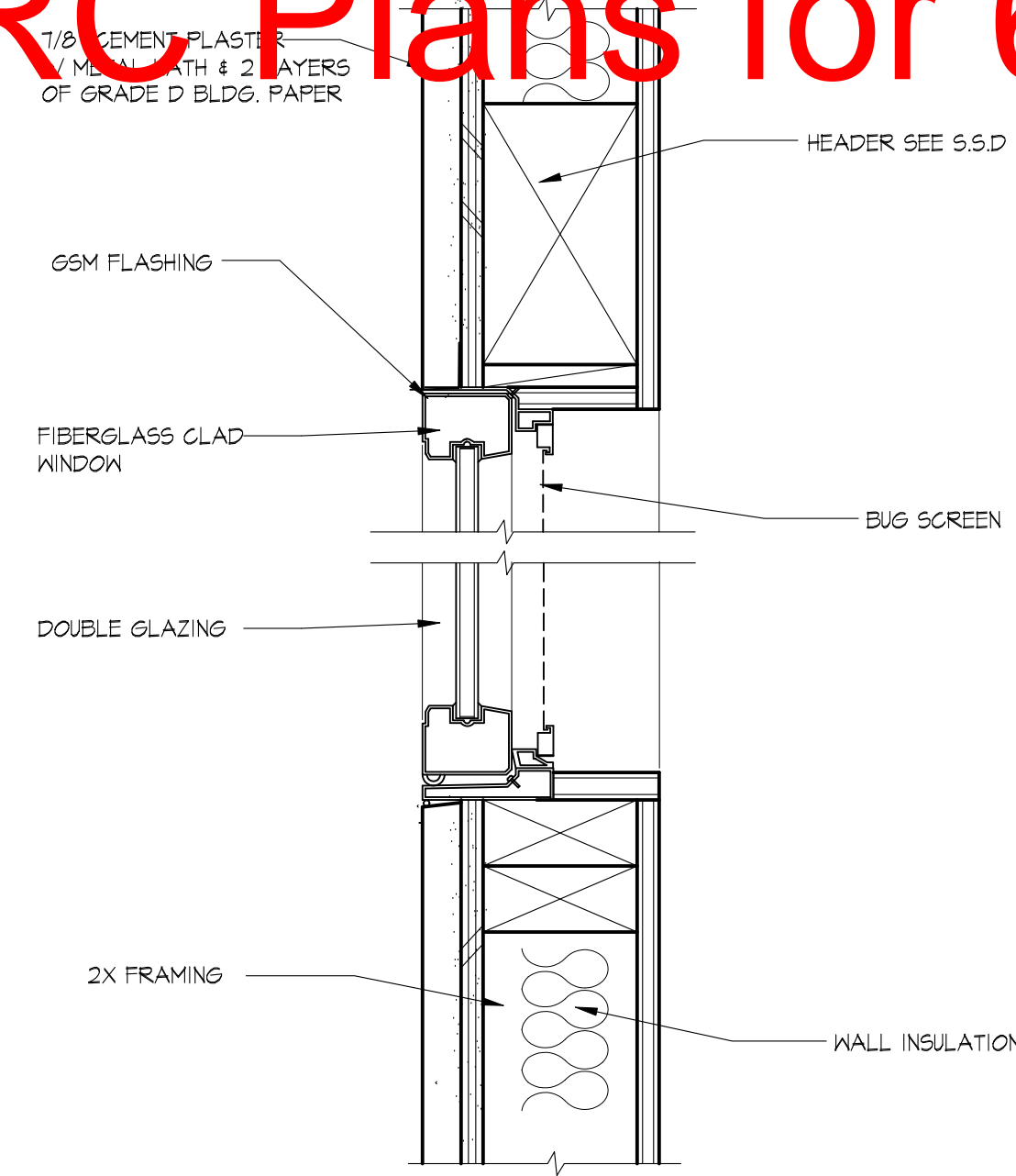
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PROPOSED EXTERIOR ELEVATION

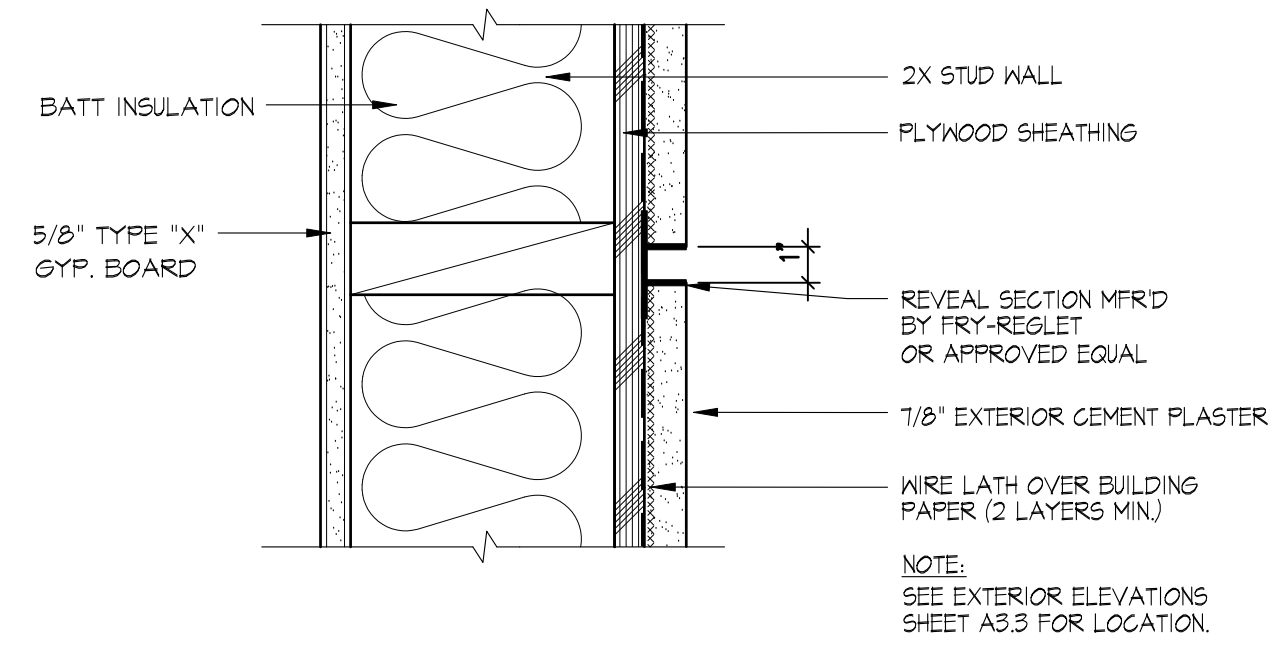
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OF	SHEETS

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② TYPICAL WINDOW DETAIL

3" = 1'-0"

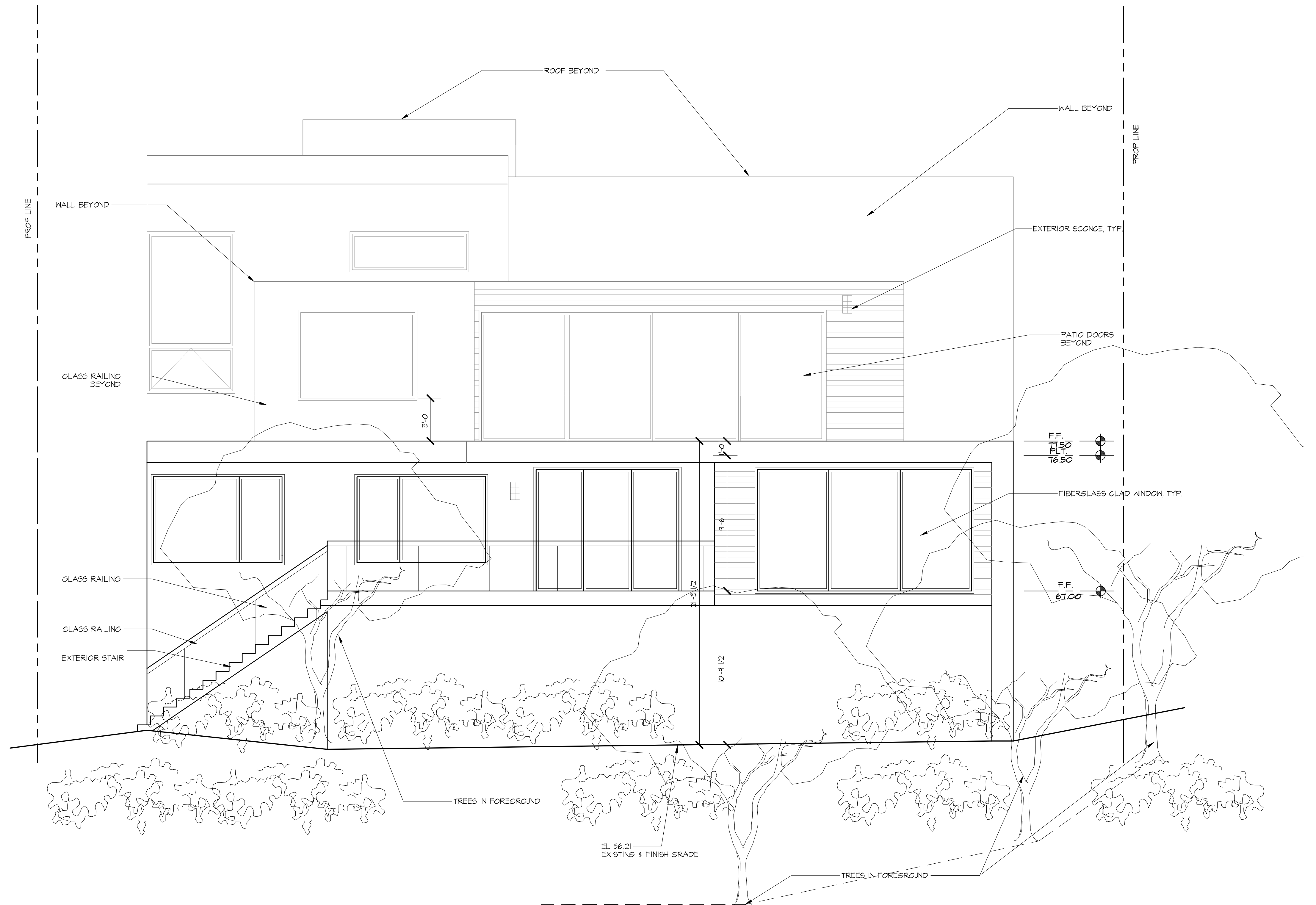


③ STUCCO REVEAL DETAIL

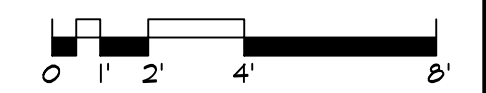
3" = 1'-0"



④ GLASS RAILING



① PROPOSED REAR ELEVATION (NORTH)



1/4" = 1'-0"

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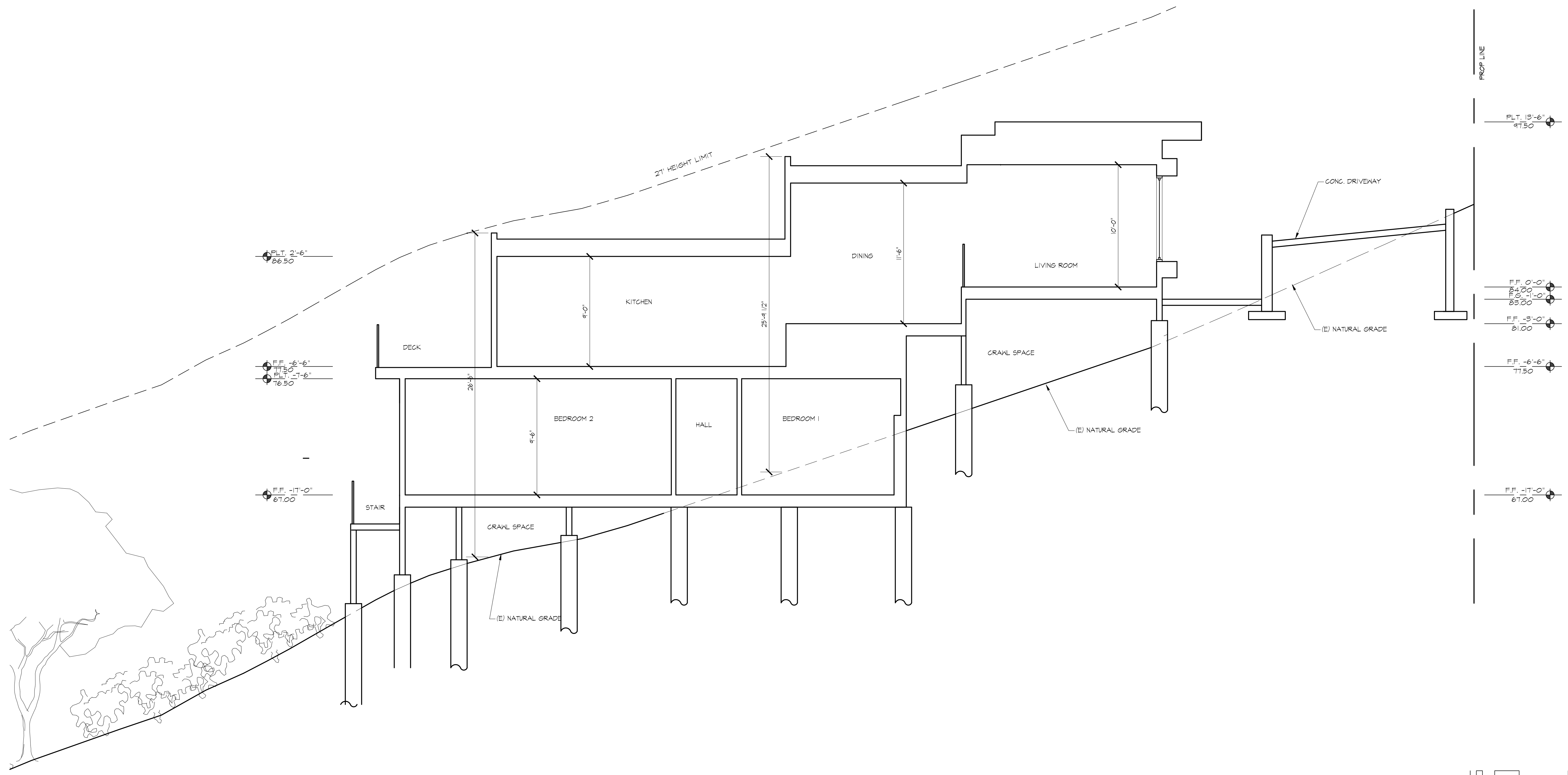
PROPOSED EXTERIOR ELEVATION

DATE MAY 16, 2022
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OF SHEETS

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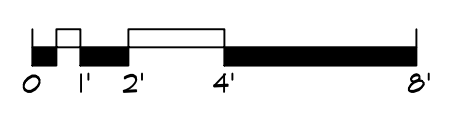


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BUILDING SECTION

DATE MAY 16, 2022
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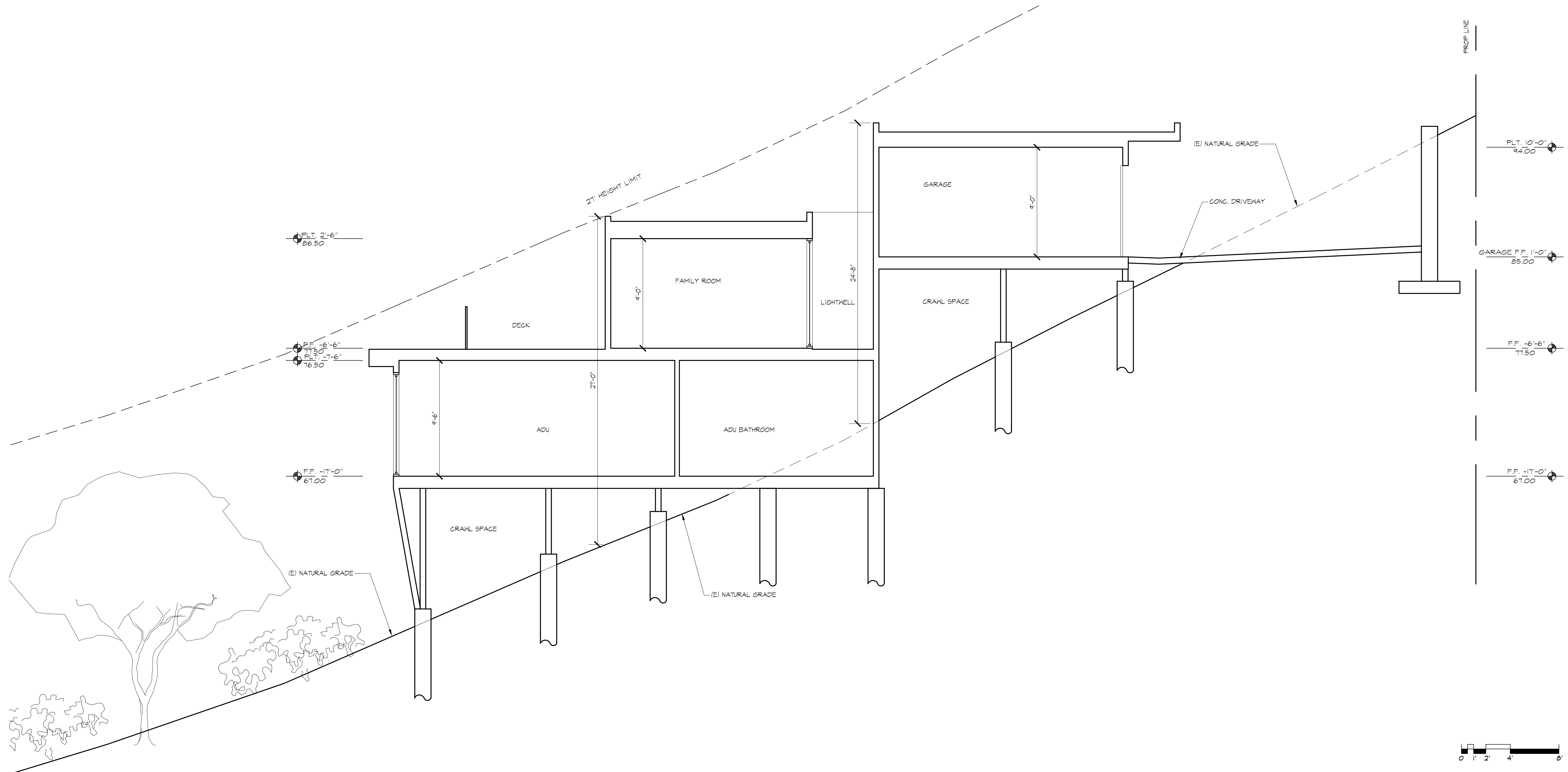


A10-B
 OF SHEETS

① BUILDING SECTION

1/4" = 1'-0"

DRC Plans for 6/15/22



① BUILDING SECTION

1/4" = 1'-0"

REVISIONS

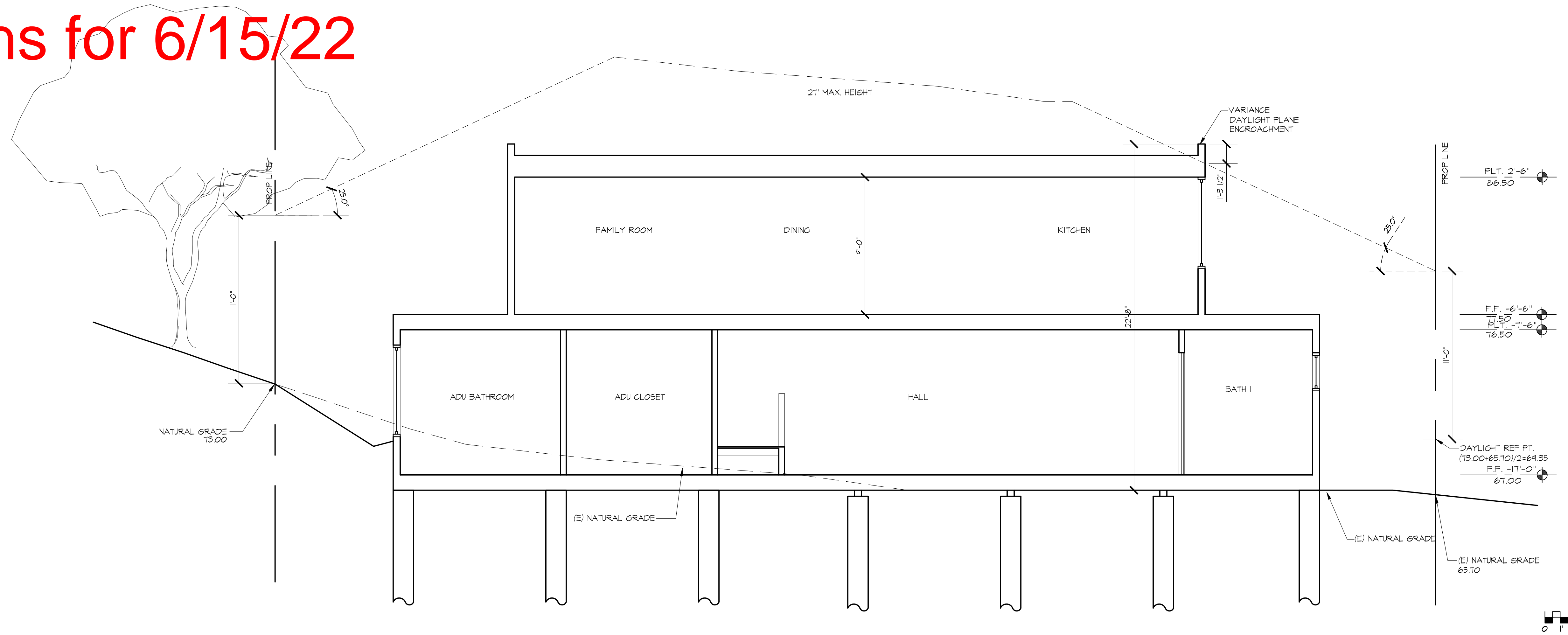
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BUILDING SECTION

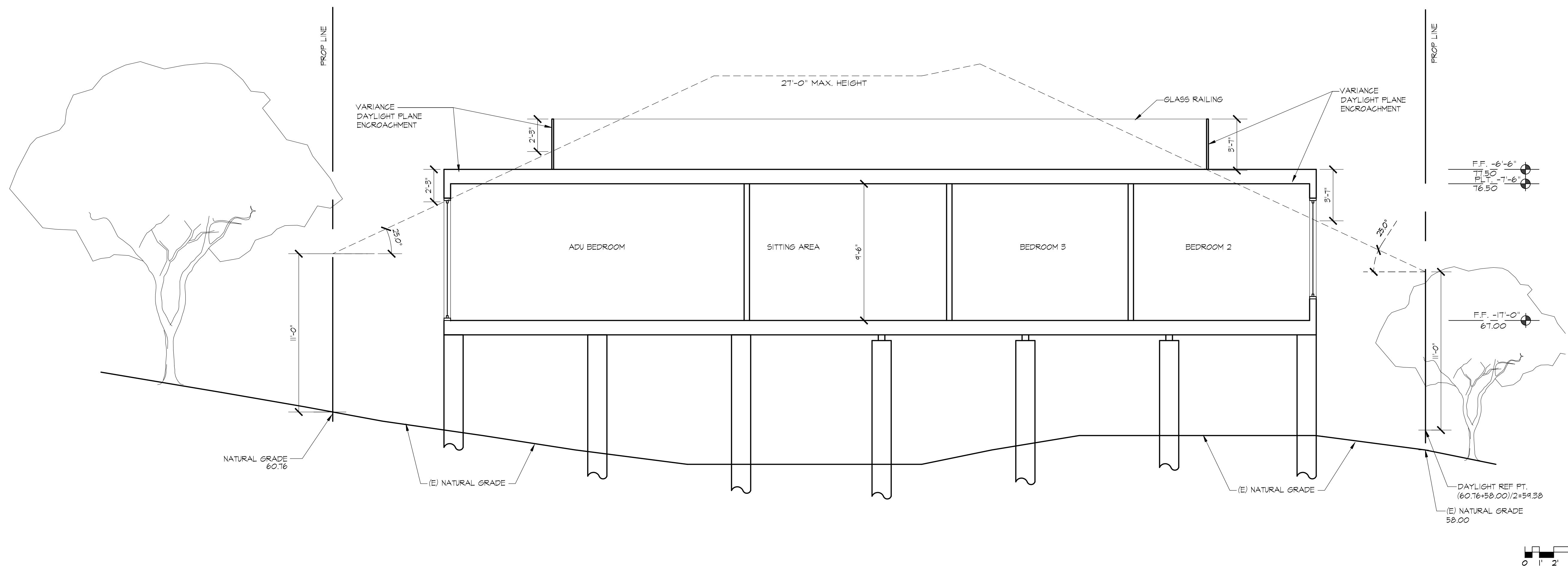
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DRC Plans for 6/15/22



1 BUILDING SECTION

1/4" = 1'-0"



2 BUILDING SECTION

1/4" = 1'-0"

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BUILDING SECTIONS

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DRC Plans for 6/15/22

2019 CALIFORNIA GREEN BUILDING RESIDENTIAL STANDARD CODE MANDATORY MEASURES

CALGREEN BUILDING NOTE

4.106.2 Storm water drainage and retention during construction. Projects which disturb less than one acre of soil and are not part of a larger common plan of development which in total disturbs one acre or more, shall manage storm water drainage during construction. In order to manage storm water drainage during construction, one or more of the following measures shall be implemented to prevent flooding of adjacent property, prevent erosion and retain soil runoff on the site.

1. Retention basins of sufficient size shall be utilized to retain storm water on the site.
 2. Where storm water is conveyed to a public drainage system, collection point, gutter or similar disposal method, water shall be filtered by use of a barrier system, wattle or other method approved by the enforcing agency.
 3. Compliance with a lawfully enacted storm water management ordinance.
- Note:** Refer to the State Water Resources Control Board for projects which disturb one acre or more of soil, or are part of a larger common plan of development which in total disturbs one acre or more of soil. (Website: https://www.waterboards.ca.gov/water_issues/programs/storwater/construction.html)

4.106.3. Grading and paving. Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited to, the following:

1. Swales
2. Water collection and disposal systems
3. French drains
4. Water retention gardens
5. Other water measures which keep surface water away from buildings and aid in groundwater recharge.

Exception: Additions and alterations not altering the drainage path.

4.106.4.1 New one- and two-family dwellings and town- houses with attached private garages. For each dwelling unit, install a listed raceway to accommodate a dedicated 208/240-volt branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger. Raceways are required to be continuous at enclosed, inaccessible or concealed areas and spaces. The service panel and/or subpanel shall provide capacity to install a 40-ampere minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device.

4.201.1 Building meets or exceeds the requirements of the California Building Energy Efficiency Standards.

4.303.1 Water conserving plumbing fixtures and fittings. Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall comply with Sections 4.303.1.1, 4.303.1.2, 4.303.1.3, and 4.303.1.4.

Note: All noncompliant plumbing fixtures in any residential real property shall be replaced with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior issuance of a certificate of final completion, certificate of occupancy, or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a non compliant plumbing fixture, types of residential buildings affected and other important enactment dates.

4.303.1.3 Showerheads.

4.303.1.3.1 Single showerhead. Showerheads shall have a maximum flow rate of not more than 1.8 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads.

4.303.1.3.2 Multiple showerheads serving one shower. When a shower is served by more than one showerhead, the combined flow rate of all showerheads and/or other shower outlets controlled by a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to allow only one shower outlet to be in operation at a time.

Note: A hand-held shower shall be considered a showerhead

4.303.1.4.1 Residential lavatory faucets. The maximum flow rate of residential lavatory faucets shall not exceed 1.2 gallons per minute at 60 psi. The minimum flow rate of residential lavatory faucets shall not be less than 0.8 gallons per minute at 20 psi.

4.303.1.4.2 Lavatory faucets in common and public use areas. The maximum flow rate of lavatory faucets installed in common and public use areas (outside of dwellings or sleeping units) in residential buildings shall not exceed 0.5 gallons per minute at 60 psi.

4.303.1.4.3 Metering faucets. Metering faucets when installed in residential buildings shall not deliver more than 0.2 gallons per cycle.

4.303.1.4.4 Kitchen faucets. The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per minute at 60 psi.

Note: Where complying faucets are unavailable, aerators or other means may be used to achieve reduction.

4.303.2 Standards for plumbing fixtures and fittings. Plumbing fixtures and fittings shall be installed in accordance with the California Plumbing Code, and shall meet the applicable standards referenced in Table 1401.1 of the California Plumbing Code.

4.304.1 Outdoor potable water use in landscape areas. Residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent.

Notes:

1. The Model Water Efficient Landscape Ordinance (MWELO) is located in California Code of Regulation, Title 23, Chapter 2.7, Division 2.
2. MWELO and supporting documents, including a water budget calculator, are available at: <https://www.water.ca.gov>

4.406.1 Rodent proofing. Annular spaces around pipes, electric cables, conduits, or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or similar method acceptable to the enforcing agency.

4.408.1 Construction waste management. Recycle and/or salvage for reuse a minimum of 65 percent of the nonhazardous construction and demolition waste in accordance with either Section 4.408.2, 4.408.3 or 4.408.4, or meet a more stringent local construction and demolition waste management ordinance.

- Exceptions:**
1. Excavated soil and land-clearing debris.
 2. Alternate waste reduction methods developed by working with local agencies if diversion or recycle facilities capable of compliance with this item do not exist or are not located reasonably close to the jobsite.
 3. The enforcing agency may make exceptions to the requirements of this section when isolated jobsites are located in areas beyond the haul boundaries of the diversion facility.

4.408.2 Construction waste management plan. Submit a construction waste management plan in conformance with Items 1 through 5. The construction waste management plan shall be updated as necessary and shall be available during construction for examination by the enforcing agency.

1. Identify the construction and demolition waste materials to be diverted from disposal by recycling, reuse on the project or salvage for future use or sale.
2. Specify if construction and demolition waste materials will be sorted on-site (source-separated) or bulk mixed (single stream).
3. Identify diversion facilities where the construction and demolition waste material will be taken.
4. Identify construction methods employed to reduce the amount of construction and demolition waste generated.
5. Specify that the amount of construction and demolition waste materials diverted shall be calculated by weight or volume, but not by both.

4.408.3 Waste management company. Utilize a waste management company, approved by the enforcing agency, which can provide verifiable documentation that the percentage of construction and demolition waste material diverted from the landfill complies with Section 4.408.1.

4.408.4 Waste stream reduction alternative. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 3.4 pounds per square foot of the building area shall meet the minimum 65 percent construction waste reduction requirement in Section 4.408.1.

4.408.5 Documentation. Documentation shall be provided to the enforcing agency which demonstrates compliance with Section 4.408.2, Items 1 through 5, Section 4.408.3 or Section 4.408.4.

- Note:**
1. Sample forms found in "A Guide to the California Green Building Standards Code (Residential)" located at <http://www.hcd.ca.gov/building-standard/calgreen/cal-green-form.html> may be used to assist in documentation compliance with this section.
 2. Mixed construction and demolition debris (C&D) processors can be located at California Department of Resources Recycling and Recovery (CalRecycle).

4.410.1 Operation and maintenance manual. At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which includes all of the following shall be placed in the building:

1. Directions to the owner or occupant that the manual shall remain with the building throughout the life cycle of the structure.
2. Operation and maintenance instructions for the following:
 - a. Equipment and appliances, including water-saving devices and systems, HVAC systems, photovoltaic systems, electric vehicle chargers, water-heating systems and other major appliances and equipment.
 - b. Roof and yard drainage, including gutters and downspouts.
 - c. Space conditioning systems, including condensers and air filters.
 - d. Landscape irrigation systems.
 - e. Water reuse systems.
3. Information from local utility, water and waste recovery providers on methods to further reduce resource consumption, including recycle programs and locations.
4. Public transportation and/or carpool options available in the area.
5. Educational material on the positive impacts of an interior relative humidity between 30–60 percent and what methods an occupant may use to maintain the relative humidity level in that range.
6. Information about water-conserving landscape and irrigation design and controllers which conserve water.
7. Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 feet away from the foundation.
8. Information on required routine maintenance measures, including, but not limited to, caulking, painting, grading around the building, etc.
9. Information about state solar energy and incentive programs available.
10. A copy of all special inspection verifications required by the enforcing agency or this code.

4.410.2 Recycling by occupants. Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible area(s) that serves all buildings on the site and is identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waste, and metals, or meet a lawfully enacted local recycling ordinance, if more restrictive.

Exception: Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 42649.82 (a)(2)(A) et seq. are not required to comply with the organic waste portion of this section.

4.503.1 Fireplace. Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances.

4.504.1 Covering of duct openings and protection of mechanical equipment during construction. At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheetmetal or other methods acceptable to the enforcing agency to reduce the amount of water, dust and debris, which may enter the system.

Table 4.504.1 Adhesive VOC Limit ^{1,2} (Less Water and Less Exempt Compounds in Grams per Liter)	
ARCHITECTURAL APPLICATIONS	CURRENT VOC LIMIT
Indoor Carpet Adhesives	50
Carpet Pad Adhesives	50
Outdoor Carpet Adhesives	150
Wood Flooring Adhesive	100
Rubber Floor Adhesives	80
Subfloor Adhesives	50
Ceramic Tile Adhesives	65
VCT and Asphalt Tile Adhesives	50
Drywall and Panel Adhesives	50
Cove Base Adhesives	50
Multipurpose Construction Adhesives	70
Structural Glazing Adhesives	100
Single-Ply Roof Membrane Adhesives	250
Other Adhesive not specifically listed	50
SPECIALTY APPLICATIONS	
PVC Welding	510
CPVC Welding	490
ABS Welding	325
Plastic Cement Welding	250
Adhesive Primer for Plastic	550
Contact Adhesive	80
Special Purpose Contact Adhesive	250
Structural Wood Member Adhesive	140
Top and Trim Adhesive	250
SUBSTRATE SPECIFIC APPLICATIONS	
Metal to Metal	30
Plastic Foams	50
Porous Material (except wood)	50
Wood	30
Fiberglass	80

4.504.2 Finish material pollutant control. Finish materials shall comply with this section.

4.504.2.1 Adhesives, sealants and caulks. Adhesives, sealants and caulks used on the project shall meet the requirements of the following standards unless more stringent local or regional air pollution or air quality management district rules apply:

1. Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers, and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable or SCAQMD Rule 1168 VOC limits, as shown in Table 4.504.1 or 4.504.2, as applicable. Such products also shall comply with the Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and trichloroethylene), except for aerosol products, as specified in Subsection 2 below.
2. Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than 1 pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of California Code of Regulations, Title 17, commencing with Section 94507.

4.504.2.2 Paints and coatings. Architectural paints and coatings shall comply with VOC limits in Table 1 of the ARB Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 4.504.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-High Gloss coating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37 of the 2007 California Air Resources Board, Suggested Control Measure, and the corresponding Flat, Nonflat or Nonflat-High Gloss VOC limit in Table 4.504.3 shall apply.

Table 4.504.3 VOC Content Limits For Architectural Coatings ^{2,3} (Grams of VOC per Liter of Coating, Less Water and Less Exempt Compounds)	
COATING CATEGORY	G/L
Flat coatings	50
Nonflat coatings	100
Nonflat - high gloss coatings	150
Specialty Coatings	
Aluminum roof coatings	400
Basement specialty coatings	400
Bituminous roof coatings	50
Bituminous roof primers	350
Bond breakers	350
Concrete curing compounds	350
Concrete/masonry sealers	100
Driveway sealers	50
Dry fog coatings	150
Faux finishing coatings	350
Fire resistive coatings	350
Floor coatings	100
Form-release compounds	250
Graphic arts coatings (sign paints)	500
High temperature coatings	420
Industrial maintenance coatings	250
Low solids coatings ¹	120
Magnesium cement coatings	450
Multicolor coatings	250
Pretreatment wash primers	420
Primers, sealers, and undercoaters	100
Reactive penetrating sealers	350
Recycled coatings	250
Roof coatings	50
Rust preventative coatings	250
Shellacs	
Clear	730
Opaque	550
Specialty primers, sealers, and undercoaters	100
Stains	250
Stone consolidants	450
Swimming pool coatings	340
Traffic marking coatings	100
Tube and tile refinish coatings	420
Waterproofing membranes	250
Wood coatings	275
Wood preservatives	350
Zinc-rich primers	340

4.504.2.3 Aerosol paints and coatings. Aerosol paints and coatings shall meet the Product-weighted MIR Limits for ROC in Section 94522(a)(2) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Sections 94522(e)(1) and (f)(1) of California Code of Regulations, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation 8, Rule 49.

4.504.2.4 Verification. Verification of compliance with this section shall be provided at the request of the enforcing agency. Documentation may include, but is not limited to, the following:

1. Manufacturer's product specification.
2. Field verification of on-site product containers.

4.504.3 Carpet systems. All carpet installed in the building interior shall meet the testing and product requirements of one of the following:

1. Carpet and Rug Institute's Green Label Plus Program.
2. California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350.)
3. NSF/ANSI 140 at the Gold level.
4. Scientific Certifications Systems Indoor AdvantageTM Gold.

4.504.4 Resilient flooring systems. Where resilient flooring is installed, at least 80 percent of floor area receiving resilient flooring shall comply with one or more of the following:

1. VOC emission limits defined in the Collaborative for High Performance Schools (CHPS) High Performance Products Database.
2. Products compliant with CHPS criteria certified under the Greenguard Children & Schools program.
3. Certification under the Resilient Floor Covering Institute (RFCI) FloorScore program.
4. Meet the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350.)

4.504.5 Composite wood products. Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the building shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seq.), by or before the dates specified in those sections, as shown in Table 4.504.5.

Table 4.504.5 Formaldehyde Limits ¹ Maximum Formaldehyde Emissions in Parts per Million	
PRODUCT	CURRENT LIMIT
Hardwood plywood veneer core	0.05
Hardwood plywood composite core	0.05
Particleboard	0.09
Medium density fiberboard	0.11
Thin medium density fiberboard ²	0.13

4.505.2 Concrete slab foundations. Concrete slab foundations required to have a vapor retarder by the California Building Code, Chapter 19 or concrete slab-on-ground floors required to have a vapor retarder by the California Residential Code, Chapter 5, shall also comply with this section.

4.505.2.1 Capillary break. A capillary break shall be installed in compliance with at least one of the following:

1. A 4-inch (101.6 mm) thick base of 1/2 inch (12.7 mm) or larger clean aggregate shall be provided with a vapor retarder in direct contact with concrete and a concrete mix design, which will address bleeding, shrinkage, and curling shall be used. For additional information, see American Concrete Institute, ACI 302.2R-06.
2. Other equivalent methods approved by the enforcing agency.
3. A slab design specified by a licensed design professional.

4.505.3 Moisture content of building materials. Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19 percent moisture content. Moisture content shall be verified in compliance with the following:

1. Moisture content shall be determined with either a probe-type or a contact-type moisture meter. Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements found in Section 101.8 of this code.
2. Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade stamped end of each piece to be verified.
3. At least three random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing.

4.506.1 Bathroom exhaust fans. Each bathroom shall be mechanically ventilated and shall comply with the following:

1. Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building.
2. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidity control.
 - a. Humidity controls shall be capable of adjustment between a relative humidity range of ≤ 50 percent to a maximum of 80 percent. A humidity control may utilize manual or automatic means of adjustment.
 - b. A humidity control may be a separate component to the exhaust fan and is not required to be integral (i.e., built-in).

Notes:

1. For the purposes of this section, a bathroom is a room which contains a bathtub, shower, or tub/shower combination.
2. Lighting integral to bathroom exhaust fans shall comply with the California Energy Code.

4.507.2 Heating and air-conditioning system design. Heating and air-conditioning systems shall be sized, designed and have their equipment selected using the following methods:

1. The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J—2016 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods.
2. Duct systems are sized according to ANSI/ACCA 1 Manual D—2016 (Residential Duct Systems), ASHRAE handbooks or other equivalent design software or methods.
3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S—2016 (Residential Equipment Selection) or other equivalent design software or methods.

Exception: Use of alternate design temperatures necessary to ensure the systems function are acceptable.

702.1 Installer training. HVAC system installers shall be trained and certified in the proper installation of HVAC systems, including ducts and equipment by a nationally or regionally recognized training or certification program. Uncertified persons may perform HVAC installations when under the direct supervision and responsibility of a person trained and certified to install HVAC systems or contractor licensed to install HVAC systems. Examples of acceptable HVAC training and certification programs include, but are not limited to the following:

1. State certified apprenticeship programs.
2. Public utility training programs.
3. Training programs sponsored by trade, labor or statewide energy consulting or verification organizations.
4. Programs sponsored by manufacturing organizations.
5. Other programs acceptable to the enforcing agency.

702.2 Special inspection. When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or the duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition to other certifications or qualifications acceptable to the enforcing agency, the following certifications or education may be considered by the enforcing agency when evaluating the qualifications of a special inspector.

1. Certification by a national or regional green building program or standard publisher.
2. Certification by a statewide energy consulting or verification organization, such as HERS raters, building performance contractors, and home energy auditors.
3. Successful completion of a third party apprentice training program in the appropriate trade.
4. Other programs acceptable to the enforcing agency.

703.1 Documentation. Documentation used to show compliance with this code shall include but is not limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which demonstrate substantial conformance. When specific documentation or special inspection is necessary to verify compliance, that method of compliance will be specified in the appropriate section or identified in the application checklist.



PROJECT: 899 Madonna Way, Los Altos, CA 94024

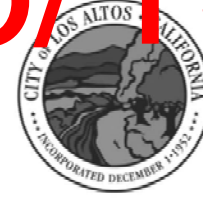
APN: 336-03-030

SHEET NO.

CG

2019 CALGREEN NOTES

DRC Plans for 6/15/22



CALGREEN SIGNATURE DECLARATIONS

Project Name: Iqbal Residence - New Single Family House & ADU
 Project Address: 899 Madonna Way, Los Altos, CA 94024
 Project Description: New Single Family House with attached ADU

SECTION 1 - DESIGN VERIFICATION

Complete all lines of Section 1 - "Design Verification" and **SUBMIT THE ENTIRE CHECKLIST (COLUMNS 2 AND 3) WITH THE PLANS AND BUILDING PERMIT APPLICATION TO THE BUILDING DEPARTMENT.**

The design professional responsible for compliance with CalGreen Standards has reviewed the plans and certifies that the items checked above are hereby incorporated into the project plans and will be implemented into the project in accordance with the requirements set forth in the **2019 California Green Building Standards Code** as adopted by the City of Los Altos.

Kevin Huang 11/1/2021
 Design Professional's Signature Date

Kevin Huang
 Design Professional's Name (Please Print)

Richard Yang 11/1/2021
 Signature of Green Point Rater/Certified ICC CalGreen Special Inspector/Consulting Group Date

Richard Yang (408) 677-6588
 Name of Green Point Rater/Inspector (Please Print) Phone No.

richard@brcyllc.com GPR2009-301, ICC8786778
 Email Address License No.

SECTION 2 - IMPLEMENTATION VERIFICATION

Complete, sign and submit the completed checklist, including column 3, together with all original signatures on Section 2 to the Building Department **PRIOR TO BUILDING DEPARTMENT FINAL INSPECTION.**

I have inspected the work and have received sufficient documentation to verify and certify that the project identified above was constructed in accordance with this Green Building Checklist and in accordance with the requirements of the **2019 California Green Building Standards Code** as adopted by the City of Los Altos.

Signature of Licensed Green Point Rater/Certified ICC CalGreen Special Inspector/Consulting Group Date

Name of Green Point Rater/Inspector (Please Print) Phone No.

Email address License No.

ENVIRONMENTAL QUALITY

Fireplaces		
4.503.1 Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with US EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances.	☺	
Pollutant Control		
4.504.1 Duct openings and other related air distribution component openings shall be covered during construction.	☺	
4.504.2.1 Adhesives, sealants and caulks shall be compliant with VOC and other toxic compound limits.	☺	
4.504.2.2 Paints, stains and other coatings shall be compliant with VOC limits.	☺	
4.504.2.3 Aerosol paints and coatings shall be compliant with product weighted MIR limits for ROC and other toxic compounds.	☺	
4.504.2.4 Documentation shall be provided to verify that compliant VOC limit finish materials have been used.	☺	
4.504.3 Carpet and carpet systems shall be compliant with VOC limits.	☺	
4.504.4 80 percent of floor area receiving resilient flooring shall comply with specified VOC criteria.	☺	
4.504.5 Particleboard, medium density fiberboard (MDF) and hardwood plywood used in interior finish systems shall comply with low formaldehyde emission standards.	☺	
Interior Moisture Control		
4.505.2 Vapor retarder and capillary break is installed at slab-on-grade foundations.	☺	
4.505.3 Moisture content of building materials used in wall and floor framing is checked before enclosure.	☺	
Indoor Air Quality and Exhaust		
4.506.1 Each bathroom shall be provided with the following: 1. ENERGY STAR fans ducted to terminate outside of the building. 2. Fans must be controlled by a humidity control (separate or built-in); OR functioning as a component of a whole-house ventilation system. 3. Humidity controls with manual or automatic means of adjustment, capable of adjustment between a relative humidity range of \pm 50 percent to a maximum of 80 percent.	☺	

Environmental Comfort

4.507.2 Duct systems are sized, designed, and equipment is selected using the following methods: 1. Establish heat loss and heat gain values according to ANSI/ACCA 2 Manual J-2016 or equivalent. 2. Size duct systems according to ANSI/ACCA 1 Manual D-2016 or equivalent. 3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S-2014 or equivalent.	☺	
Installer and Special Inspector Qualifications		
Qualifications		
702.1 HVAC system installers are trained and certified in the proper installation of HVAC systems.	☺	
702.2 Special inspectors employed by the enforcing agency must be qualified and able to demonstrate competence in the discipline they are inspecting.	☺	
Verifications		
703.1 Verification of compliance with this code may include construction documents, plans, specifications builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which show substantial conformance. 1. Green building measures listed in this table may be mandatory if adopted by a city, county, or city and county as specified in Section 101.7 2. Required prerequisite for this Tier 3. These measures are currently required elsewhere in statute or in regulation	☺	



2019 CALGREEN RESIDENTIAL CHECKLIST

MANDATORY ITEMS - Version 1.01.20
 COMMUNITY DEVELOPMENT DEPARTMENT - BUILDING DIVISION
 KIRK BALLARD, BUILDING OFFICIAL
 ONE NORTH SAN ANTONIO ROAD • LOS ALTOS, CA 94022-3088
 (650) 947-2752 • FAX/EMAIL- BUILDING@LOSALTOSCA.GOV • WWW.LOSALTOSCA.GOV

PURPOSE:

The 2019 CALGreen Code applies to all newly constructed hotels, motels, lodging houses, dwellings, dormitories, condominiums, shelters, congregated residences, employee housing, factory-built housing and other types of dwellings with sleeping accommodations and new accessory buildings associated with such uses. This section also applies to additions and alterations where there is an increase in conditioned space and specifies that these requirements only apply to the specific area of the addition or alteration. Existing site and landscaping improvements that are not otherwise disturbed are not subject to the requirements of CALGreen.

Project Name: Iqbal Residence - New Single Family House & ADU
 Project Address: 899 Madonna Way, Los Altos, CA 94024
 Project Description: New Single Family House with attached ADU

Instructions (for projects of 300 sq. ft. or more):

- The owner or owner's agent shall employ a licensed qualified green-point rater (www.buildgreen.org) experienced with the 2019 California Green Building Standards Codes to verify and assure that all required work described herein is properly planned and implemented in the project.
- The green-point rater, in collaboration with the design professional shall review Column 2 of this checklist, and initial all applicable measures, sign and date Section 1 - Design Verification at the end of this checklist, prior to submit. Applicant to include these pages into the construction plans as well as provide (2) separate 8-1/2" x 11" signed copies.
PRIOR TO FINAL INSPECTION BY THE BUILDING DEPARTMENT: The Green-Point Rater shall complete Column 3 and sign and Date Section 2 - Implementation Verification at the end of this checklist and submit the completed form to the Building Department.

MANDATORY FEATURE OR MEASURE	COLUMN 2 Project Requirements Rater to initial applicable measures prior to submitting forms	COLUMN 3 Verification Rater to verify during construction as applicable to project
Planning and Design - Site Development		
4.106.2 A plan is developed and implemented to manage storm water drainage during construction	☺	
4.106.3 Construction plans shall indicate how site grading or a drainage system will manage all surface water flows to keep water from entering buildings.	☺	
4.106.4 Provide capability for electric vehicle charging for one- and two-family dwellings; townhouses with attached private garages; multifamily dwellings; and hotels/motels in accordance with Section 4.106.4.1, 4.106.4.2 or 4.106.4.3 as applicable.	☺	

Energy Efficiency -

General		
4.201.1 Building meets or exceeds the requirements of the California Building Energy Efficiency Standards ¹ .	☺	
Water Efficiency and Conservation - Indoor Water Use		
4.303.1 Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) installed in residential buildings shall comply with the prescriptive requirements of Sections 4.303.1.1 through 4.303.1.4.4.	☺	
4.303.2 Plumbing fixtures and fittings required in Section 4.303.1 shall be installed in accordance with the California Plumbing Code, and shall meet the applicable referenced standards.	☺	
4.303.1.4.3 Metering faucets in residential buildings shall not deliver more than 0.2 gallons per cycle.		
Outdoor Water Use		
4.304.1 Residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent.	☺	
Material Conservation and Resource Efficiency - Enhanced Durability and Reduced Maintenance		
4.406.1 Annular spaces around pipes, electric cables, conduits or other openings in plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or similar method acceptable to the enforcing agency.	☺	
Construction Waste Reduction, Disposal and Recycling		
4.408.1 Recycle and/or salvage for reuse a minimum of 65 percent of the nonhazardous construction and demolition waste in accordance with one of the following: 1. Comply with a more stringent local construction and demolition waste management ordinance, or 2. A construction waste management plan per Section 4.408.2; or 3. A waste management company per Section 4.408.3; or 4. The waste stream reduction alternative per Section 4.408.4.	☺	
Building Maintenance and Operation		
4.410.1 An operation and maintenance manual shall be provided to the building occupant or owner.	☺	
4.410.2 Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible areas that serve the entire building and are identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waste, and metals or meet a lawfully enacted local recycling ordinance, if more restrictive. See exception for rural jurisdictions	N/A	

REVISIONS

CIBOTTI ENGINEERING
 12935 ALICOSTA BLVD #2025
 SAN RAMON, CA 94583
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 EMAIL: SCOTT@CIBOTTI.COM

IQBAL RESIDENCE
 NEW SINGLE FAMILY HOUSE & ADU

2019 CALGREEN CHECKLIST

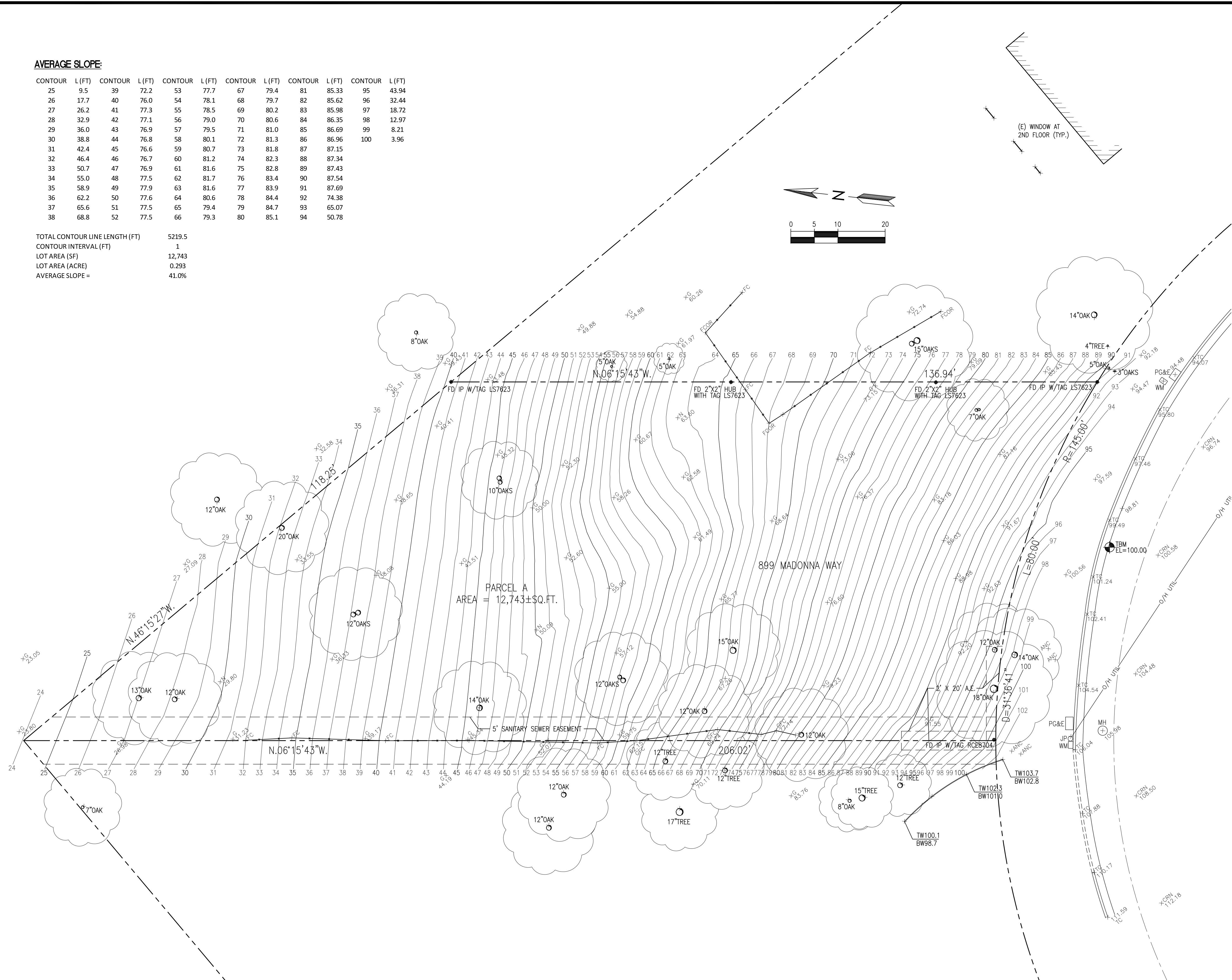
DATE: NOVEMBER 2, 2021
 SCALE:
 DRAWN:
 AP# 336-03-030
 SHEET
CG2
 OF SHEETS

DRC Plans for 6/15/22

AVERAGE SLOPE:

CONTOUR	L(FT)	CONTOUR	L(FT)	CONTOUR	L(FT)	CONTOUR	L(FT)	CONTOUR	L(FT)	CONTOUR	L(FT)
25	9.5	39	72.2	53	77.7	67	79.4	81	85.33	95	43.94
26	17.7	40	76.0	54	78.1	68	79.7	82	85.62	96	32.44
27	26.2	41	77.3	55	78.5	69	80.2	83	85.98	97	18.72
28	32.9	42	77.1	56	79.0	70	80.6	84	86.35	98	12.97
29	36.0	43	76.9	57	79.5	71	81.0	85	86.69	99	8.21
30	38.8	44	76.8	58	80.1	72	81.3	86	86.96	100	3.96
31	42.4	45	76.6	59	80.7	73	81.8	87	87.15		
32	46.4	46	76.7	60	81.2	74	82.3	88	87.34		
33	50.7	47	76.9	61	81.6	75	82.8	89	87.43		
34	55.0	48	77.5	62	81.7	76	83.4	90	87.54		
35	58.9	49	77.9	63	81.6	77	83.9	91	87.69		
36	62.2	50	77.6	64	80.6	78	84.4	92	74.38		
37	65.6	51	77.5	65	79.4	79	84.7	93	65.07		
38	68.8	52	77.5	66	79.3	80	85.1	94	50.78		

TOTAL CONTOUR LINE LENGTH (FT) 5219.5
 CONTOUR INTERVAL (FT) 1
 LOT AREA (SF) 12,743
 LOT AREA (ACRE) 0.293
 AVERAGE SLOPE = 41.0%



- ### LEGEND:
- AC ASPHALT CONCRETE
 - BC BUILDING CORNER
 - BW BACK OF WALK
 - CB CATCH BASIN
 - CMP CORRUGATED METAL PIPE
 - CO CLEAN OUT
 - CRN CROWN
 - DW DRIVEWAY
 - EC EDGE OF CONCRETE
 - EM ELECTRIC METER
 - EP EDGE OF PAVEMENT
 - FCOR FENCE CORNER
 - FD FOUND
 - FF FINISHED FLOOR
 - FL FLOW LINE
 - FH FIRE HYDRANT
 - FW FRONT OF WALK
 - G GROUND
 - GC GARAGE CORNER
 - GF GARAGE FACE/FRONT
 - GFC GROUND AT FENCE
 - GM GAS METER
 - HCR HANDICAP RAMP
 - INV INVERT
 - IP IRON PIPE
 - JP JOINT POLE
 - LG LIP OF GUTTER
 - O/H OVERHEAD
 - PC PROPERTY CORNER
 - RW RETAINING WALL
 - SL STREET LIGHT
 - SSCO SANITARY SEWER CLEANOUT
 - SSMH SANITARY SEWER MANHOLE
 - SDMH STORM DRAIN MANHOLE
 - TBC TOP BACK ROLLED CURB
 - TC TOP OF CURB
 - TOB TOP OF BANK
 - TOE TOE OF BANK
 - TP TOP OF PAVEMENT
 - TRC TOP OF ROLLED CURB
 - TW TOP OF WALL
 - U/G UNDERGROUND
 - VCP VITRIFIED CLAY PIPE
 - WV WATER VALVE
 - WM WATER METER BOX
 - CTV- CABLE TELEVISION LINE
 - E- ELECTRICAL LINE
 - G- GAS LINE
 - SS- SANITARY SEWER LINE
 - SD- STORM DRAIN LINE
 - T- TELEPHONE LINE
 - W- WATER LINE

BASIS OF BEARINGS:

THE BEARING, N47°15'00"W, OF THE CENTER LINE OF MADONNA WAY, AS SHOWN ON THAT CERTAIN MAP FILED IN THE OFFICE OF THE RECORDER OF SANTA CLARA COUNTY, STATE OF CALIFORNIA, IN BOOK 151 OF MAPS AT PAGE 49, WAS USED AS THE BASIS OF BEARINGS SHOWN ON THIS MAP.

BASIS OF ELEVATION:

TBM ELEV=100.00 (ASSUMED)

UTILITY NOTE:

UNDERGROUND UTILITIES. SHOWN PER SURFACE EVIDENCE AND RECORD MAPS. MAY BE DIFFERENT THAN AS SHOWN. BEFORE EXCAVATION, CALL UNDERGROUND SERVICE ALERT (USA) 1-800-642-2444.

NOTE:

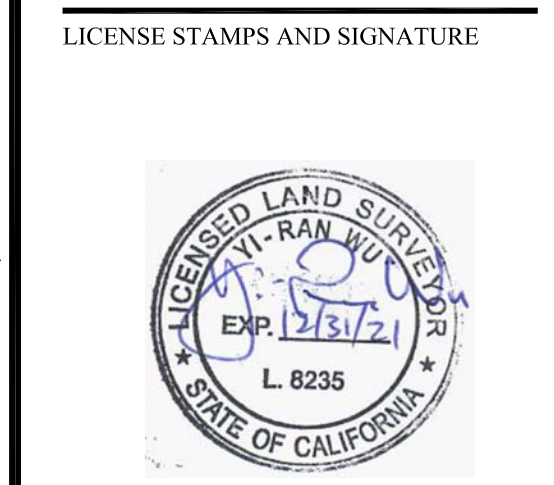
1. MEASUREMENT OF BUILDING LINE IS TO THE FACE OF STUCCO OR SIDING

NEW RESIDENCE

899 MADONNA WAY
 LOS ALTOS, CA
 APN: 336-03-030

W E C & ASSOCIATES

2625 MIDDLEFIELD RD #658
 PALO ALTO, CA 94306
 TEL: (650) 823-6466
 FAX: (650) 887-1294



ISSUED

No.	Description	Date

DATE: JUNE 30, 2021
 SCALE: 1"=10'
 DRAWN: BG
 JOB: 10078

SHEET TITLE:
TOPOGRAPHIC SURVEY

SHEET NO.
C.0

DRC Plans for 6/15/22

GRADING AND DRAINAGE NOTES:

1. CONTRACTOR TO VERIFY ALL CONTROLLING DIMENSIONS WITH ARCHITECTURAL PLANS AND SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH ALL EXISTING CONDITIONS. THEY SHALL BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING. VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES BEFORE STARTING CONSTRUCTION. ANY SITE WORK THAT DEVIATES FROM WHAT IS SHOWN ON THE PLANS SHALL HAVE THE ENGINEER'S APPROVAL PRIOR TO PROCEEDING WITH THE DEVIATING WORK ITEM. CONTRACTOR SHALL CALL "UNDERGROUND SERVICE ALERT" (800) 642-2444 PRIOR TO EXCAVATION.
2. THE SITE SHALL BE FINE GRADED TO PROVIDE A MINIMUM OF 5% ACROSS VEGETATED OR DIRT AREA AND 2% ACROSS HARDESCAPED AREA, AWAY FROM THE BUILDING PERIMETER. EXISTING DRAINAGE COMING FROM ADJACENT PROPERTIES SHALL BE MAINTAINED. IN NO CASE SHALL THE FINAL GRADING INCREASE SHEET FLOW ONTO ADJACENT PROPERTIES.
3. UNLESS SHOWN ON THE PLAN OTHERWISE, HOUSE AND GARAGE MUST HAVE DOWN SPOUTS THAT ARE DIRECTED TO SPLASH BLOCKS (2 FEET LONG) THAT DEFLECT THE WATER AWAY FROM BUILDING FOUNDATION BY SURFACE DRAINAGE. ALL DOWNSPOUT AND GUTTER SHALL BE GALV. SHEET METAL.
4. CONTRACTOR SHALL OBTAIN A STREET WORK PERMIT FROM PUBLIC WORKS ENGINEERING FOR ANY PROPOSED CONSTRUCTION WHICH WILL IMPACT THE USE OF THE SIDEWALK, STREET AND ALLEY OR ON THE PROPERTY IN WHICH THE CITY HOLDS AN INTEREST.
5. ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF WAY MUST HAVE AN APPROVED PERMIT FOR CONSTRUCTION IN THE PUBLIC STREET PRIOR TO COMMENCEMENT OF THIS WORK. THE PERFORMANCE OF THIS WORK IS NOT AUTHORIZED BY THE BUILDING PERMIT ISSUANCE BUT SHOWN ON THE BUILDING PERMIT FOR INFORMATION ONLY.
6. IF GROUNDWATER OR RUNOFF WATER IS ENCOUNTERED AND REQUIRES REMOVAL FROM THE EXCAVATION AREA, ALL EXCAVATION AND/OR BUILDING ACTIVITIES MUST IMMEDIATELY STOP. THE PLAN FOR THE DEWATERING OF THE EXCAVATION MUST BE DESIGNED AND SUBMITTED FOR APPROVAL TO THE PUBLIC WORKS-ENGINEERING DIVISION. ONCE APPROVAL OF THE PLAN DESIGN HAS BEEN RECEIVED, IMPLEMENTATION OF THE PLAN IS REQUIRED PRIOR TO THE COMMENCEMENT OF THE EXCAVATION AND/OR BUILDING ACTIVITIES.

GENERAL NOTES

5

CUT(OUTSIDE BLDG FOOTPRINT)	20 C.Y.
CUT(INSIDE BLDG FOOTPRINT)	210 C.Y.
FILL	25 C.Y.
BALANCE	205 C.Y.

EARTHWORK QUANTITIES SHOWN ARE FOR PLANNING PURPOSES ONLY. CONTRACTOR SHALL PERFORM THEIR OWN EARTHWORK QUANTITY CALCULATION AND USE THEIR CALCULATION FOR BIDDING AND COST ESTIMATING PURPOSES.

AB	AGGREGATE BASE	GB	GRADE BREAK
AC	ASPHALT CONCRETE	GM	GAS METER
AD	AREA DRAIN	GR	GRATE ELEVATION
BW	BOTTOM OF WALL	HP	HIGH POINT
CB	CATCH BASIN	INV	INVERT ELEVATION
CIP	CAST IRON PIPE	JT	JOINT TRENCH
CL	CENTER LINE	JP	JOINT POLE
CONC	CONCRETE	LD	LANDSCAPE DRAIN
CS	CRAWL SPACE ELEV.	LF	LINEAR FEET
DD	DECK DRAIN	(N)	NEW
DIP	DUCT IRON PIPE	RIM	RIM ELEVATION
DS	DOWNSPOUT	S	SLOPE
DWY	DRIVEWAY	SD	STORM DRAIN LINE
(E)	EXISTING	SDCO	STORM DRAIN CLEANOUT
EG	EXISTING GRADING	SDFM	STORM DRAIN FORCED MAIN
EM	ELECTRICAL METER	SS	SANITARY SEWER
EP	EDGE OF PAVEMENT	SSCO	SANITARY SEWER CLEANOUT
FF	FINISH FLOOR ELEVATION	TW	TOP OF WALL ELEVATION
FG	FINISHED GROUND ELEV.	TYP	TYPICAL
FP	FINISHED PAVEMENT	W	DOMESTIC WATER LINE
FS	FINISH SURFACE ELEV	WM	WATER METER

SS	SANITARY SEWER	SL	STREET LIGHT
E	ELECTRIC	IRR	IRRIGATION
TV	TV/CABLE TV	X	FENCE
FS	FIRE SERVICE	JT	JOINT TRENCH
W	DOMESTIC WATER	O/H	OVERHEAD WIRES
T	TELEPHONE	× 16.07	(E) SPOT ELEVATION
G	NATURAL GAS	× 16.07	(N) SPOT ELEVATION
FM	FORCE MAIN		
DS	SPLASH BLOCK, MIN. 2 FEET LONG DEFLECT THE WATER AWAY FROM BOTH BLDG.		
	DOWNSPOUT		

CUT AND FILL EST.

4

ABBREVIATION

3

LEGEND

2

NEW RESIDENCE

899 MADONNA WAY
LOS ALTOS, CA
APN: 336-03-030

W E C
& ASSOCIATES

WEC 2625 MIDDLEFIELD RD #658
PALO ALTO, CA 94306
TEL: (650) 823-6466
FAX: (650) 887-1294

LICENSE STAMPS AND SIGNATURE



ISSUED

No.	Description	Date

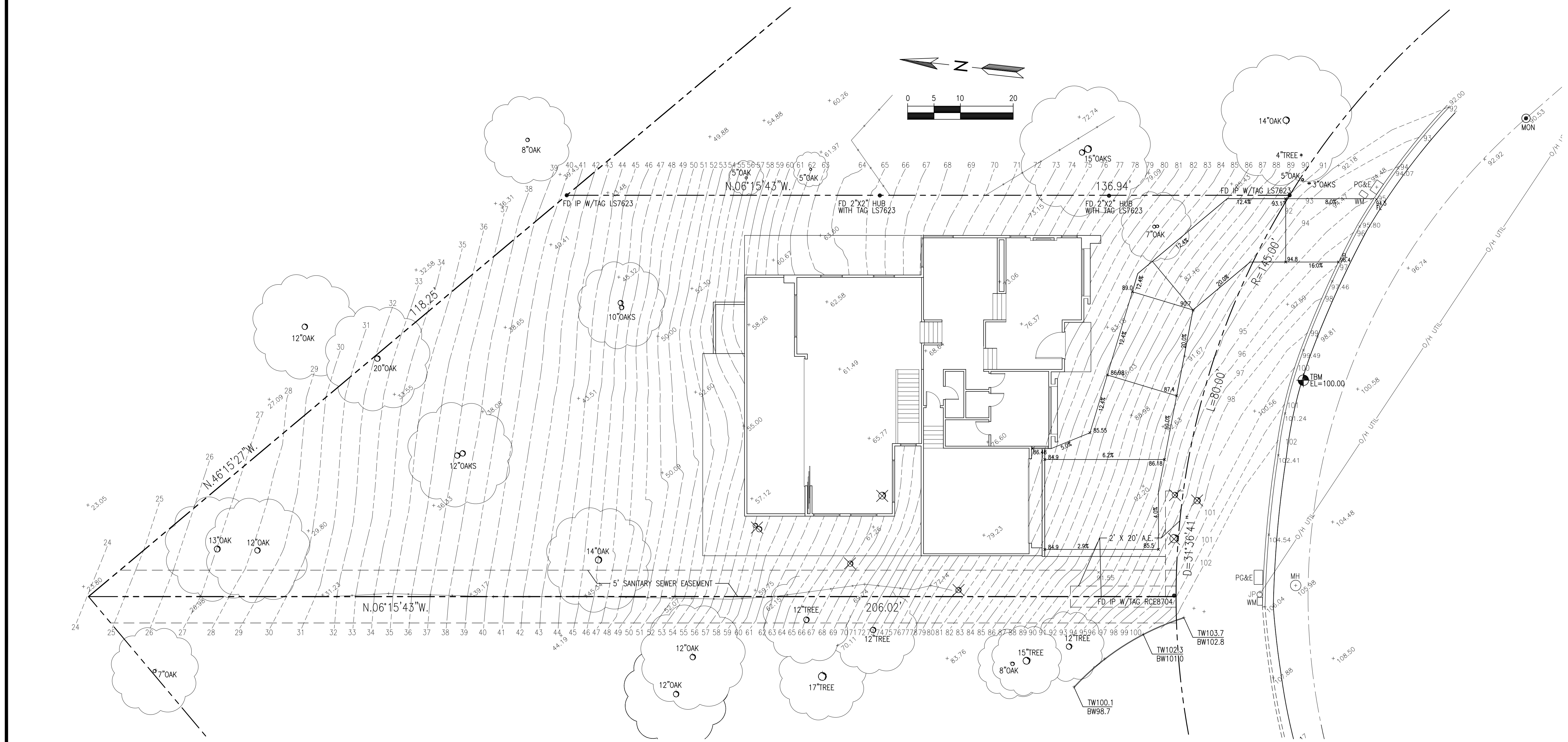
DATE: OCT 2, 2021
SCALE: AS SHOWN
DRAWN: J
JOB: 10078

SHEET TITLE:

**GRADING &
DRAINAGE PLAN**

SHEET NO.

C.1



DRC Plans for 6/15/22

Planting Notes

- LESS THAN 25% OF PLANTING AREA IS TURF (THERE IS NO LIVE TURF IN FRONT YARD)
- PLANTS WITH SIMILAR WATER NEEDS ARE GROUPED WITHIN HYDROZONES. EACH HYDROZONE SHALL BE CONTROLLED BY A SEPARATE GROUP OF VALVES
- AT LEAST 4 CUBIC YARDS OF COMPOST (BFI SUPER HUMUS) AND 16 POUNDS OF 12-12-12 FERTILIZER PER 1000 SF OF PLANTING AREA SHALL BE THOROUGHLY TILLED INTO THE TOP 8 INCHES OF SOIL (EXCEPT UNDER CANOPY OF EXISTING TREES TO BE SAVED) OR FOLLOW THE AMENDMENT AND FERTILIZER RECOMMENDATIONS OF A SOIL FERTILITY TEST AND ANALYSIS FROM A SOIL LAB (HIGHLY RECOMMENDED)
- INSTALL 3 INCH DEEP LAYER OF TOP DRESS MULCH ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT IN AREAS OF DIRECT SEEDING APPLICATION OR SOD LAWN. PROVIDE SAMPLES AND PRICES PRIOR TO FINALIZING BID
- GRADING SHALL BE DESIGNED TO MINIMIZE SOIL EROSION, RUN-OFF AND WATER WASTE ADDITIONAL NOTES
- SEE SHEETS L4 AND L5 FOR PLANTING AND IRRIGATION DETAILS AND SPECIFICATIONS IN FINAL CONSTRUCTION DRAWINGS FOR BUILDING PERMIT
- DON'T TRENCH TOO CLOSE TO STRUCTURES WITHOUT THE APPROVAL OF THE BUILDING ARCHITECT, CIVIL, OR STRUCTURAL ENGINEER
- PRIOR TO ORDERING PLANTS OR SIGNING FINAL CONTRACT FOR WORK MAKE SURE YOU HAVE THE MOST CURRENT SET OF APPROVED PLANS AND MAKE SURE THERE ARE NO CHANGES TO THE PLANT CHOICES
- ADJUST FINAL LOCATIONS OF PLANTS TO AVOID CONFLICTS WITH UTILITIES, LIGHTS, AND IRRIGATION COMPONENTS. SCREEN VALVES AND UTILITIES WITH PLANTS. DON'T PUT PLANTS TOO CLOSE TO PAVING OR BUILDINGS
- GRADING AND DRAINAGE TO BE DONE ACCORDING TO THE APPROVED GRADING AND DRAINAGE PLANS DONE BY OTHERS

Landscape Site Legend

- Driveway - Permeable Pavers - Manuf., series, pattern, and color to be determined by owner
- Front walkways - Permeable Pavers - Manuf., series, pattern, and color to be determined by owner
- Consider 4 foot wide "front path" that has permeable pavers that have a little different color or pattern than driveway
- 6 foot tall x 3 foot wide gate
- 6 foot tall solid wood fence
- Paving and other improvements in Right of Way to be as per City of Los Altos specifications
- 4 foot wide side yard conc. path with steps as required

Plant Legend

KEY	QTY	SIZE	SPACING	WUCOLS	BOTANICAL NAME	COMMON NAME	MATURE SIZE
		GALLONS		RATING			Height x Width
LANDSCAPE SCREENING							
PG	-	15	10'	MED	Podocarpus gracilior	Fern Pine	20' - 60' x 10'-20'
GROUND COVERS							
RP	-	1	3' - 5'	LOW	Rosmarinus prostratus	Prostrate Rosemary	
PP	-	1	3' - 5'	LOW	Pelargonium peltatum white	Ivy Geranium	
E	-	1	3' - 5'	HIGH	Equisetum hyemale	Horsetail	
LP	-	1	3' - 5'	LOW	Lomandra Platinum		
DV	-	1	3' - 5'	LOW	Diets iridioides	Fortnight Lily	

Ask owners if they want to upsize some of 1 gal plants to 5 gal plants

Plant quantities are for planning purposes only. Contractor to do own plant count and install all plants on plan

"I have complied with the criteria of the Water Conservation in Landscaping Ordinance and applied them for the efficient use of water in the landscape design plan"

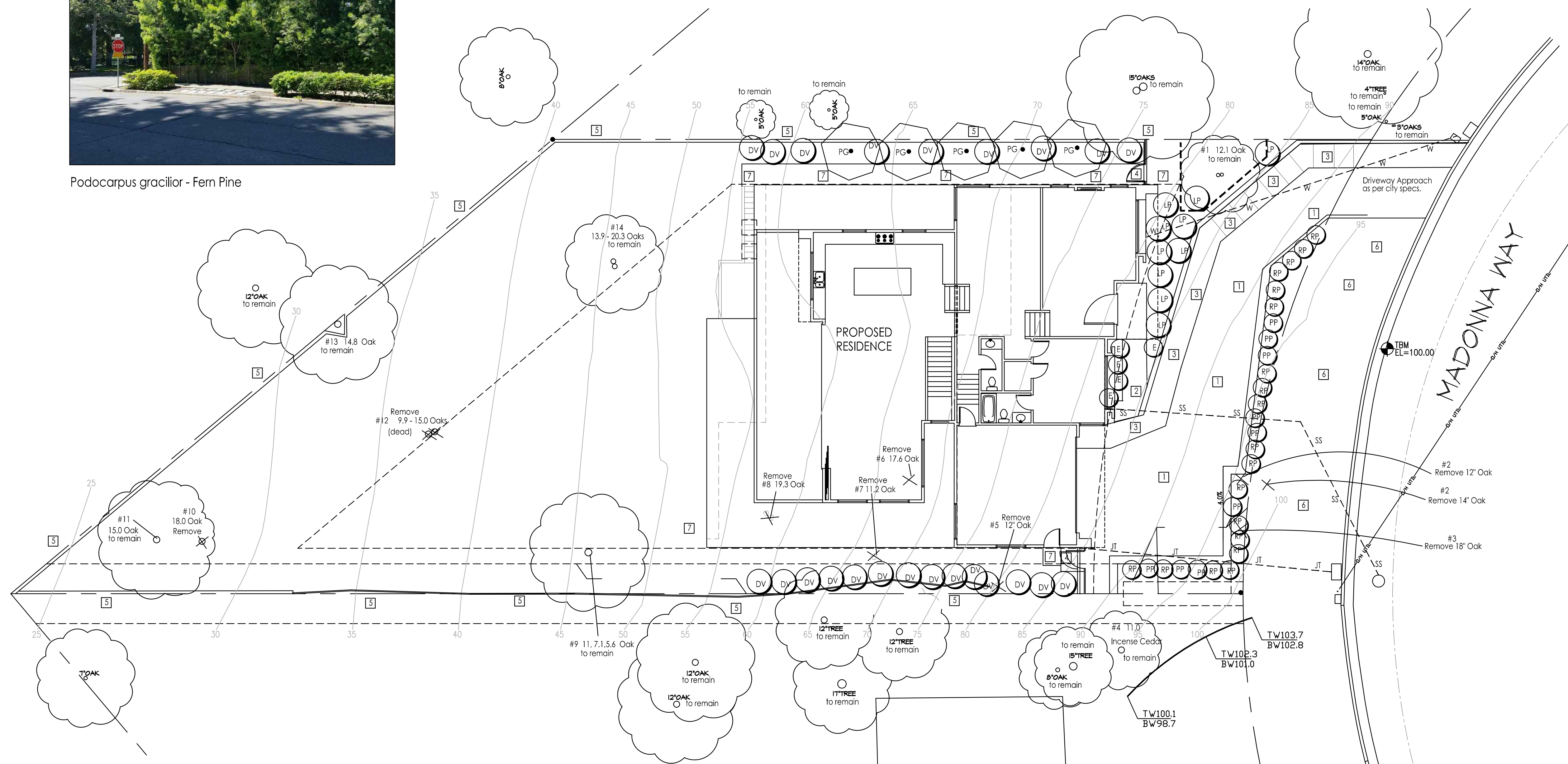
Greg Lewis

Gregory Lewis - Landscape Architect Lic. #2176 1/4/22

THERE IS A TOTAL OF 700 sf of PROPOSED PLANTING AREA IN THE FRONT YARD AND SIDE YARD NOT INCLUDING THE ROW

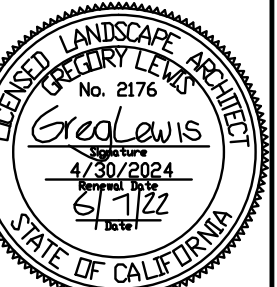
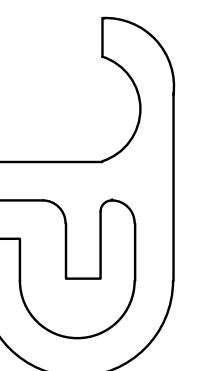


Podocarpus gracilior - Fern Pine



Revision

GREGORY LEWIS LANDSCAPE ARCHITECT
#2176
736 Park Way Santa Cruz, CA 95065 (831) 359-0960
lewislandscape@sbcglobal.net



New Residence
899 Madonna Way, Los Altos, CA

PLANTING PLAN

Date: 6/7/22
Scale: As Noted
Drawn: Greg
Job Sheet: **L1**
of 1