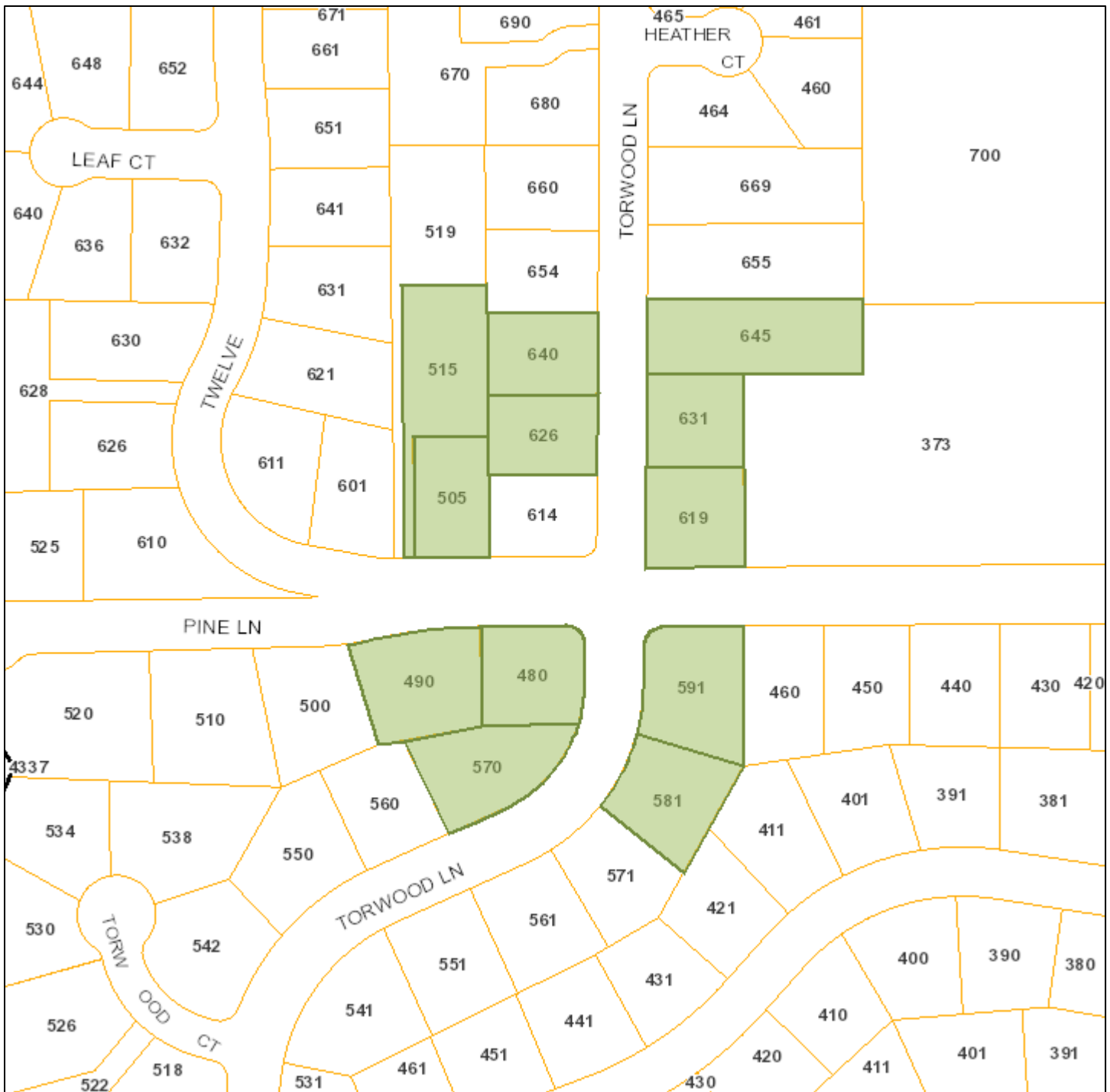


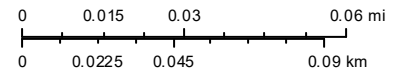
ATTACHMENT A








Notification Map



Print Date: November 23, 2021

12,257



-  Schools
-  Park and Recreation Areas
-  City Limit
-  Road Names
-  Waterways
-  Situs Label
-  TaxParcel

The information on this map was derived from the City of Los Altos' GIS. The City of Los Altos does not guarantee data provided is free of errors, omissions, or the positional accuracy, and it should be verified.

Esri, HERE, Garmin, (c) OpenStreetMap contributors, and the GIS user community

ATTACHMENT B

City of Los Altos

Planning Division

(650) 947-2750

Planning@losaltosca.gov



NEIGHBORHOOD COMPATIBILITY WORKSHEET

In order for your design review application for single-family residential remodel/addition or new construction to be successful, it is important that you consider your property, the neighborhood's special characteristics that surround that property and the compatibility of your proposal with that neighborhood. **The purpose is to help you understand your neighborhood before you begin the design process with your architect/designer/builder or begin any formal process with the City of Los Altos.** *Please note that this worksheet must be submitted with your 1st application.*

The Residential Design Guidelines encourage neighborhood compatibility without necessarily forsaking individual taste. Various factors contribute to a design that is considered compatible with a surrounding neighborhood. The factors that City officials will be considering in your design could include, but are not limited to: design theme, scale, bulk, size, roof line, lot coverage, slope of lot, setbacks, daylight plane, one or two-story, exterior materials, landscaping et cetera.

It will be helpful to have a site plan to use in conjunction with this worksheet. Your site plan should accurately depict your property boundaries. The best source for this is the legal description in your deed.

Photographs of your property and its relationship to your neighborhood (see below) will be a necessary part of your first submittal. Taking photographs before you start your project will allow you to see and appreciate that your property could be within an area that has a strong neighborhood pattern. The photographs should be taken from across the street with a standard 35mm camera and organized by address, one row for each side of the street. Photographs should also be taken of the properties on either side and behind your property from on your property.

This worksheet/check list is meant to help *you* as well as to help the City planners and Planning Commission understand your proposal. Reasonable guesses to your answers are acceptable. The City is not looking for precise measurements on this worksheet.

Project Address 614 Torwood Lane

Scope of Project: Addition or Remodel X **or New Home** _____

Age of existing home if this project is to be an addition or remodel? 1954

Is the existing house listed on the City's Historic Resources Inventory? No

Address: 614 Torwood Lane
Date: 10/27/21

What constitutes your neighborhood?

There is no clear answer to this question. For the purpose of this worksheet, consider first your street, the two contiguous homes on either side of, and directly behind, your property and the five to six homes directly across the street (eight to nine homes). At the minimum, these are the houses that you should photograph. If there is any question in your mind about your neighborhood boundaries, consider a radius of approximately 200 to 300 feet around your property and consider that your neighborhood.

Streetscape

1. Typical neighborhood lot size*:

Lot area: 9,320 square feet
Lot dimensions: Length 114 feet
Width 82.5 feet

If your lot is significantly different than those in your neighborhood, then note its: area No, length No, and width No.

2. Setback of homes to front property line: (Pgs. 8-11 Design Guidelines)

Existing front setback if home is a remodel? 25 FT
What % of the front facing walls of the neighborhood homes are at the front setback 100 %
Existing front setback for house on left 15 ft./on right 22 ft.
Do the front setbacks of adjacent houses line up? Almost

3. Garage Location Pattern: (Pg. 19 Design Guidelines)

Indicate the relationship of garage locations in your neighborhood* only on your street (count for each type)
Garage facing front projecting from front of house face 4
Garage facing front recessed from front of house face 1
Garage in back yard 1
Garage facing the side 1
Number of 1-car garages 0; 2-car garages 7; 3-car garages 0

Address: 614 Torwood Lane

Date: 10/27/21

4. Single or Two-Story Homes:

What % of the homes in your neighborhood* are:

One-story 6/7

Two-story 1/7

5. Roof heights and shapes:

Is the overall height of house ridgelines generally the same in your neighborhood*? No

Are there mostly hip , gable style X, or other style roofs*?

Do the roof forms appear simple X or complex ?

Do the houses share generally the same eave height Yes?

6. Exterior Materials: (*Pg. 22 Design Guidelines*)

What siding materials are frequently used in your neighborhood*?

 wood shingle stucco X board & batten X clapboard
 tile stone brick combination of one or more materials
(if so, describe) _____

What roofing materials (wood shake/shingle, asphalt shingle, flat tile, rounded tile, cement tile, slate) are consistently (about 80%) used?

If no consistency then explain: _____
Older roofs have Wood shingle while newer roofs are composition shingle

7. Architectural Style: (*Appendix C, Design Guidelines*)

Does your neighborhood* have a consistent identifiable architectural style?

YES NO

Type? X Ranch Shingle Tudor Mediterranean/Spanish
 Contemporary Colonial Bungalow Other

Address: 614 Torwood Lane

Date: 10/27/21

8. Lot Slope: (*Pg. 25 Design Guidelines*)

Does your property have a noticeable slope? No

What is the direction of your slope? (relative to the street)

Northeast

Is your slope higher _____ lower _____ same X in relationship to the neighboring properties? Is there a noticeable difference in grade between your property/house and the one across the street or directly behind?

9. Landscaping:

Are there any frequently used or typical landscaping features on your street (i.e. big trees, front lawns, sidewalks, curbs, landscape to street edge, etc.)?

Front lawn with landscape strip at street gutter

How visible are your house and other houses from the street or back neighbor's property?

Highly visible, but with some landscape/tree screening

Are there any major existing landscaping features on your property and how is the unimproved public right-of-way developed in front of your property (gravel, dirt, asphalt, landscape)?

Large oak tree at rear. Public way has a landscape strip.

10. Width of Street:

What is the width of the roadway paving on your street in feet? 50 FT

Is there a parking area on the street or in the shoulder area? No

Is the shoulder area (unimproved public right-of-way) paved, unpaved, gravel, landscaped, and/or defined with a curb/gutter? Landscaped w/ gutter

11. What characteristics make this neighborhood* cohesive?

Such as roof material and type (hip, gable, flat), siding (board and batten, cement plaster, horizontal wood, brick), deep front yard setbacks, horizontal feel, landscape approach etc.:

Wood siding, gable roofs, covered entry porch

General Study

- A. Have major visible streetscape changes occurred in your neighborhood?
 YES NO

- B. Do you think that most (~ 80%) of the homes were originally built at the same time?
 YES NO

- C. Do the lots in your neighborhood appear to be the same size?
 YES NO

- D. Do the lot widths appear to be consistent in the neighborhood?
 YES NO

- E. Are the front setbacks of homes on your street consistent (~80% within 5 feet)?
 YES NO

- F. Do you have active CCR's in your neighborhood? (*p.36 Building Guide*)
 YES NO

- G. Do the houses appear to be of similar size as viewed from the street?
 YES NO

- H. Does the new exterior remodel or new construction design you are planning relate in most ways to the prevailing style(s) in your existing neighborhood?
 YES NO

Address: 614 Torwood Lane _____

Date: 10/27/21 _____

Summary Table

Please use this table to summarize the characteristics of the houses in your immediate neighborhood (two homes on either side, directly behind and the five to six homes directly across the street).

Address	Front setback	Rear setback	Garage location	One or two stories	Height	Materials	Architecture (simple or complex)
490 Pine	~17'	~40'	Front	One	~18'	Stone, Stucco, Comp. Shingle	Simple
480 Pine	~15'	~26'	Front	One	~20'	Lap Siding, Comp. Shingle	Simple
505 Pine	~29'	~15'	Front	One	~22'	Board & Batten, Wood Shingle	Simple
591 Torwood	~10'	~15'	Front	One	~20'	Brick, Lap Siding, Wood Shingle	Simple
619 Torwood	~16'	~27'	Front	One	~25'	Stone, Brd. & Batt, Comp. Shingle	Simple
626 Torwood	~22'	~14'	Front	One	~20'	Lap Siding, Brick, Comp. Shingle	Simple



Mayne Tree Expert Company, Inc.

ESTABLISHED 1931

STATE CONTRACTOR'S LICENSE NO. 276793

CERTIFIED FORESTER • CERTIFIED ARBORISTS • PEST CONTROL • ADVISORS AND OPERATORS

RICHARD L. HUNTINGTON
PRESIDENT

535 BRAGATO ROAD, STE. A
SAN CARLOS, CA 94070-6311

JEROMEY INGALLS
CONSULTANT/ESTIMATOR

April 7, 2022

TELEPHONE: (650) 593-4400
FACSIMILE: (650) 593-4443
EMAIL: info@maynetree.com

Mr. Bob Flury
Flury Bryan Design Group
761 University Ave, Suite A
Los Gatos, CA 95032

Dear Mr. Flury,

RE: 614 TORWOOD LANE, LOS ALTOS (ARBORIST REPORT)

At your request, I visited the above site on April 1, 2022. The purpose of my visit was to identify, inspect, and comment on trees on the site and within ten feet of the property line.

Limitations of this Report

This report is based on a visual-only inspection that took place from ground level. I accept no responsibility for any unseen or unidentified defects associated with any trees on this site or on this report.

Method

Each tree was identified and given a number. This number was scribed onto a metal foil tag and placed on the trunk of the tree at eye level. The diameter of each tree was found by measuring the trunk at 48 inches off the natural grade as described in the City of Los Altos Heritage Tree Ordinance. The height and canopy spread of each tree was estimated to show its approximate dimensions. A condition rating is given for each tree. This rating is based on form and vitality and can be further defined by the following table:

0	-	29	Very Poor
30	-	49	Poor
50	-	69	Fair
70	-	89	Good
90	-	100	Excellent

Lastly, a comments section is included to give more individual detail about each tree.

Tree Survey

Tree #	Species Common (<i>Scientific</i>)	Diameter (inches)	Condition (percent)	Height (feet)	Spread (feet)	Comments
1	Coast Live Oak	32.5	55	35	36	Roots damaging driveway; codominant attachment at 2 ½ feet with included bark; side pruned by PG&E; good vigor and poor form.
2	Canopy Island Pine	38.4	65	60	36	Abundance of large surface roots around base; leans south; lower canopy side pruned by PG&E; abundance of small interior deadwood; good vigor and fair form.
3	Bristly Locust	5.8	55	25	15	Stakes around trunk; abundance of hives in canopy; fair vigor and form.
4	White Birch	7.1	50	18	18	Partially covered root crown; topped by PG&E; leans W.; good vigor and poor form.
5	White Birch	14.1	50	18	21	Partially covered root crown; codominant attachment at 5 feet; topped by PG&E; good vigor and poor form.
6	White Birch	8.0	50	18	15	Codominant attachment at 7 feet; leans N.; side pruned by PG&E.; good vigor and poor form.
7	Arbutus	7.1	50	12	15	Partially covered root crown; side pruned along street; two-stem at 5 feet; good vigor and poor form.
8	Jacaranda	2.7	50	10	5	Partially covered root crown; leans SW.; fair vigor and form.
9	Jacaranda	6.4	50	20	18	Root crown leans SE; codominant attachment at 6 feet with included bark; good vigor and poor form.
10	Crape Myrtle	8.0	50	10	18	Partially covered root crown; multi-stem at 5 feet; pollarded canopy.
11	Yucca	4.5	50	12	5	Leans SW.; codominant top at 8 feet; good vigor and poor form.

Observations

This is a well-maintained corner lot property with a nicely manicured landscape. It has a one-story single-family home with a pool in the rear yard.

Tree #1 is a Coast Live Oak along the left side of the driveway. The roots of this tree appear to be damaging the driveway, it has a codominant attachment with included bark at 2½ feet, the upper canopy is routinely side pruned by PG&E. Overall, this tree has good vigor and poor form.

I recommend routine tree maintenance that should include reducing end weight on the lateral limbs, establishing a defined edge to the driveway around the base, and having the tree inspected every two years to monitor the weak attachment near the tree's base.

Tree #2 is a large Canary Island Pine located along the street. This tree has an abundance of large surface roots near the base, it leans south slightly, the canopy is side pruned by PG&E to maintain clearance of the high voltage lines, and there is an abundance of smaller diameter interior deadwood present in the canopy.

I recommend routine tree maintenance that should include removal of the interior deadwood and inspecting the tree every two years.

Tree #3 is a Bristly Locust located along the street in front of the home. There are older support stakes near the trunk, it has an abundance of vines growing throughout its canopy. Overall, this tree has fair vigor and form.

I recommend routine tree maintenance that should include removal of the vines from the canopy and shaping the tree to maintain a balanced form.

Tree #4 is one of three White Birch trees growing by the corner of the property near the intersecting streets. Soil and other organic material partially cover the root crown, it has been topped by PG&E in the past, leans to the west. Overall, this tree has good vigor and poor form.

I recommend routine tree maintenance that should include exposing the root crown, shaping the top and removal of any interior deadwood present.

Tree #5 is one of three White Birch trees growing by the corner of the property near the intersecting streets. This is the largest of the three trees. Soil and other organic material cover the root crown, it has a codominant attachment at 5 feet, it is topped by PG&E. Overall, this tree has good vigor and poor form.

I recommend routine tree maintenance that should include exposing the root crown and shaping the canopy to maintain a balanced form.

Tree #6 is one of three White Birch trees growing by the corner of the property near the intersecting streets. It has a codominant attachment at 7 feet, the top leans to the west, it is side pruned by PG&E. Overall, this tree has good vigor and poor form.

I recommend routine tree maintenance that should include shaping the canopy to promote a balanced form and removal of any interior deadwood.

Tree #7 is an Arbutus located along the street. Soil and other organic material partially cover the root crown of this tree, it has been side pruned along the street, has a two-stem attachment at 5 feet. Overall, this tree has good vigor, and poor form.

I recommend routine tree maintenance that should include exposing the root crown and shaping the canopy to promote a balanced form.

Tree #8 is a Jacaranda located along the street. Soil and other organic material partially cover the root crown, it leans to the southwest. Overall, this tree has fair vigor and form.

I recommend routine tree maintenance that should include exposing the root crown and shaping the canopy to promote a balanced form.

Tree #9 is a Jacaranda located along the street. Soil and other organic material partially cover the root crown, it leans southeast, has a codominant attachment with included bark at 6 feet. Overall, this tree has good vigor, and poor form.

I recommend routine tree maintenance that should include exposing the root crown and shaping the canopy to promote a balanced form.

Tree #10 is a Crape Myrtle located along the street. Soil and other organic material partially cover the root crown, it has a multi-stem attachment at 5 feet and the upper canopy is routinely pollarded.

I recommend routine tree maintenance that should include exposing the root crown and continuing with the pollarding of the canopy.

Tree #11 is a small Yucca located near the right corner of the property along the street. The whole tree leans to the southwest, it has a codominant top at 8 feet. Overall, this tree has good vigor, and poor form.

I recommend routine tree maintenance that should include removal of the dead fronds.

Tree #12 is a Mimosa located in the rear of the property by the pool. Soil and other organic material cover the root crown, it has an ivy-covered multi-stem attachment at 7 feet, an abundance of interior deadwood, a wide canopy. Overall, this tree has fair vigor, and poor form.

I recommend routine tree maintenance that should include exposing the root crown, removal of the ivy covering the trees main trunk, removal of the deadwood, reducing end weight of the heavier lateral limbs and shaping the canopy to promote a balanced form. These trees are notorious for having excess end weight and an abundance of interior deadwood. Removal of this tree should be considered.

Summary

The trees on this property appear to be in fair to good condition. Routine maintenance should include exposing the root crowns, removing any interior deadwood, and shaping the canopies to maintain balanced forms.

All tree work performed as a result of this report should be accomplished by a qualified licensed tree care professional.

I believe this report is accurate and based on sound arboricultural principles and practices. If I can be of further assistance, please contact me at my office.

Sincerely,

Jeromey A. Ingalls
Certified Arborist WE #7076A

JAI:lg





Tree #1



Tree #2



Tree #3



Tree #4, #5 & #6



Tree #7



Tree #8



Tree #9



Tree #10 & #11



Tree #12



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RICHARD L. HUNTINGTON
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CONSULTANT/ESTIMATOR

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SAN CARLOS, CA 94070-6311

TELEPHONE: (650) 593-4400
FACSIMILE: (650) 593-4443
EMAIL: info@maynetree.com

April 7, 2022

Mr. Bob Flury
Flury Bryan Design Group
761 University Ave, Suite A
Los Gatos, CA 95032

Dear Mr. Flury,

RE: 614 TORWOOD LANE, LOS ALTOS (PLAN REVIEW)

At your request, I reviewed the proposed construction plans, dated October 26, 2021, designed for the above address. The purpose of my review of the plans was to determine what will be built on the property, how that construction will impact the trees around the property, and how to mitigate that impact by implementing a Tree Protection Plan to reduce the effect on the tree's health and structural integrity.

Limitations of this Letter

The following tree protection plan is based on my interpretation of the plans that were provided to me. I accept no responsibility for any misinterpreted portions of the construction project or if the provided plans for the project were changed without my knowledge after I received a copy.

The following letter is not a contract to become the site arborist or for any future inspections that might be needed. A separate contract would need to be established to perform the role of site arborist for this project.

Plan Review

During my review of the plans, I determined two new additions are proposed to be constructed onto the existing home. These additions include a second floor along the left side of the home and an addition to the right rear side of the home where a wooden trellis over a concrete patio exist.

These additions are within the existing footprint of the home and should not affect any trees on the property or on any adjacent properties. Tree Protection Fencing should be used to minimize any impacts from construction activities or storage of construction materials. I have drawn in on the provided site plan the approximate location of this required Protective Fencing.

TREE PROTECTION SPECIFICATIONS

1. Establish a perimeter around the protected trees that follows the trees' driplines as closely as possible. This perimeter should consist of 6-foot-tall chain link fencing supported by 1½- to 2-inch diameter metal pipes. These support pipes shall be no more than 10 feet apart. This enclosed area is the Tree Protection Zone (TPZ) and should be off limits to workers, construction debris, and construction activities.
2. Temporary movable barriers, such as chain link fencing panels that are supported by cement blocks, can be used in place of fixed fencing in certain situations. Permission to use such panels will need to be discussed with the project arborist prior to installation. Once the location of these panels is established, they should not be moved closer to the tree without the consent of the Project Arborist or City Arborist.
3. To protect the health, structural integrity, and vigor of the protected trees and their roots,

DO NOT:

- a. Allow runoff or spillage of damaging materials into the area below any tree canopy.
 - b. Store materials, stockpile soil, or park or drive vehicles within the TPZ.
 - c. Cut, break, skin, or bruise roots, branches, or trunks without first obtaining authorization from the City Arborist.
 - d. Allow fires under and adjacent to trees.
 - e. Discharge exhaust into foliage.
 - f. Secure cable, chain, or rope to trees or shrubs.
 - g. Trench, dig, or otherwise excavate within the dripline or TPZ of the trees without first obtaining authorization from the City Arborist.
 - h. Apply soil sterilants under pavement near existing trees.
4. When work is being completed within the dripline of any protected tree it is important to minimize the disturbance to the roots of the tree. Therefore, any excavations within the dripline of any protected tree should be accomplished by hand digging or use of compressed air tools.
 5. All roots less than 2 inches in diameter that are exposed during any excavation should be cut cleanly with hand pruners or loppers back to the wall of excavation nearest to the tree. Any roots found that are larger than 2 inches in diameter should be left uncut and intact; the site arborist shall be contacted immediately. The roots in this area should be left untouched until the site arborist can identify, inspect, document, and make a final decision as to the root's fate.

6. Trenches should be filled as soon as possible to minimize the drying out of any exposed roots of the protected trees. If any trenches are to be left open for longer than 24 hours, then the wall of excavation that is closest to the protected trees shall be lined with 3 to 4 layers of burlap. These burlap layers shall be kept moist throughout the duration of the trench being open.
7. When possible, any pipes or utility lines shall be kept outside the dripline of the protected trees or at least 10 times the trunk diameter of the protected trees. Tunneling or directional boring under the trees is an option but should take place at least three feet below the surface of the ground.
8. Any damage due to construction activities shall be reported to the Project Arborist or City Arborist within six hours so that remedial action can be taken.
9. An ISA Certified Arborist or ASCA Registered Consulting Arborist may be required by the city to be retained as the Project Arborist to monitor the tree protection specifications. Should the builder fail to follow the tree protection specifications, it shall be the responsibility of the Project Arborist to report the matter to the City Arborist.
10. Violation of any of the above provisions may result in sanctions or other disciplinary action.

MONTHLY INSPECTIONS

Monthly inspections of the site, if required, should take place at intervals of approximately once every four weeks. At the time of each inspection, the site arborist shall complete a write-up that:

1. Describes the effectiveness of the protective measures.
2. Identifies any problems with the tree protection zones.
3. Provides any recommendations to promote general tree health.

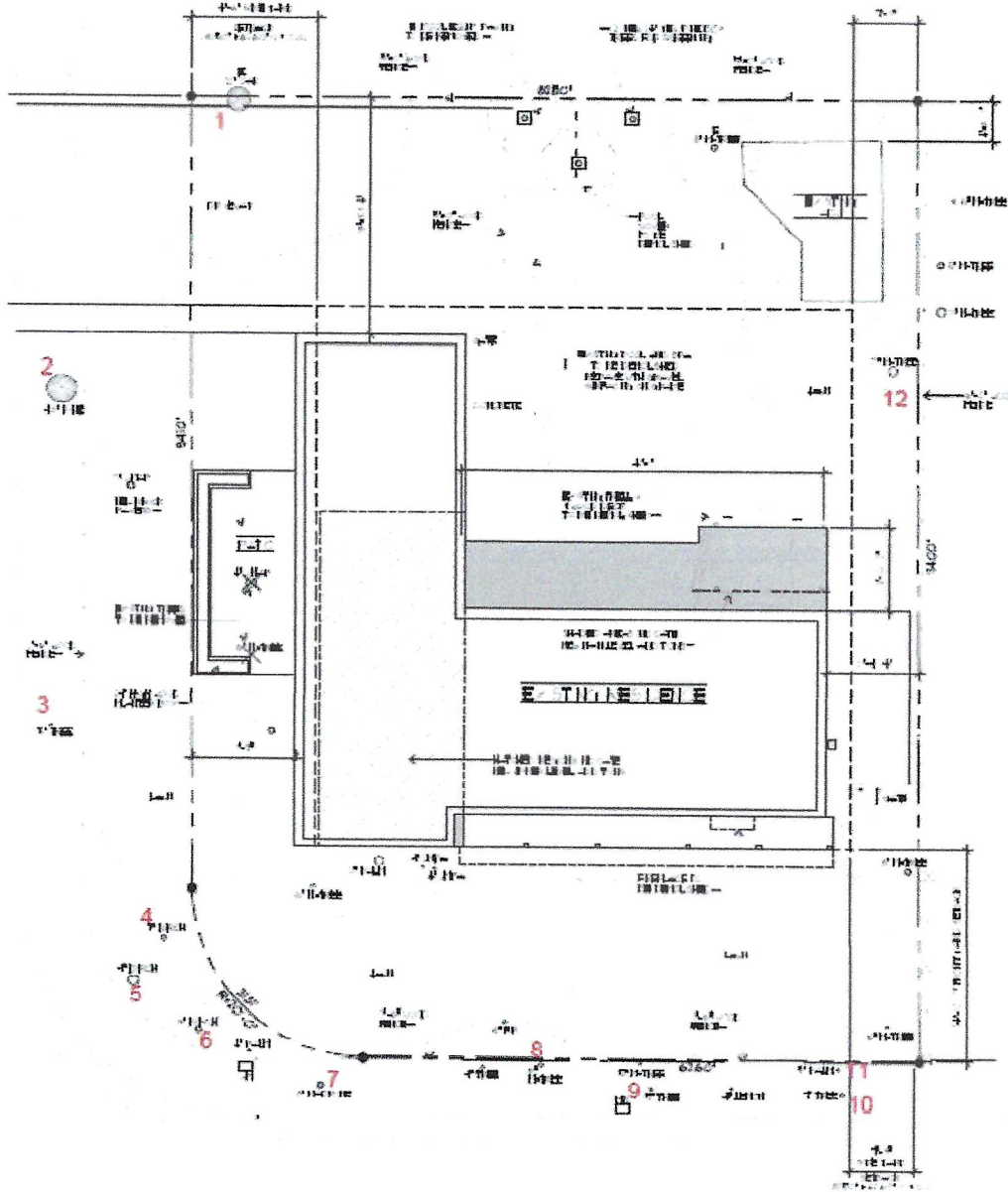
Copies of the monthly inspection write-ups should be provided to the owner of the property and to the City.

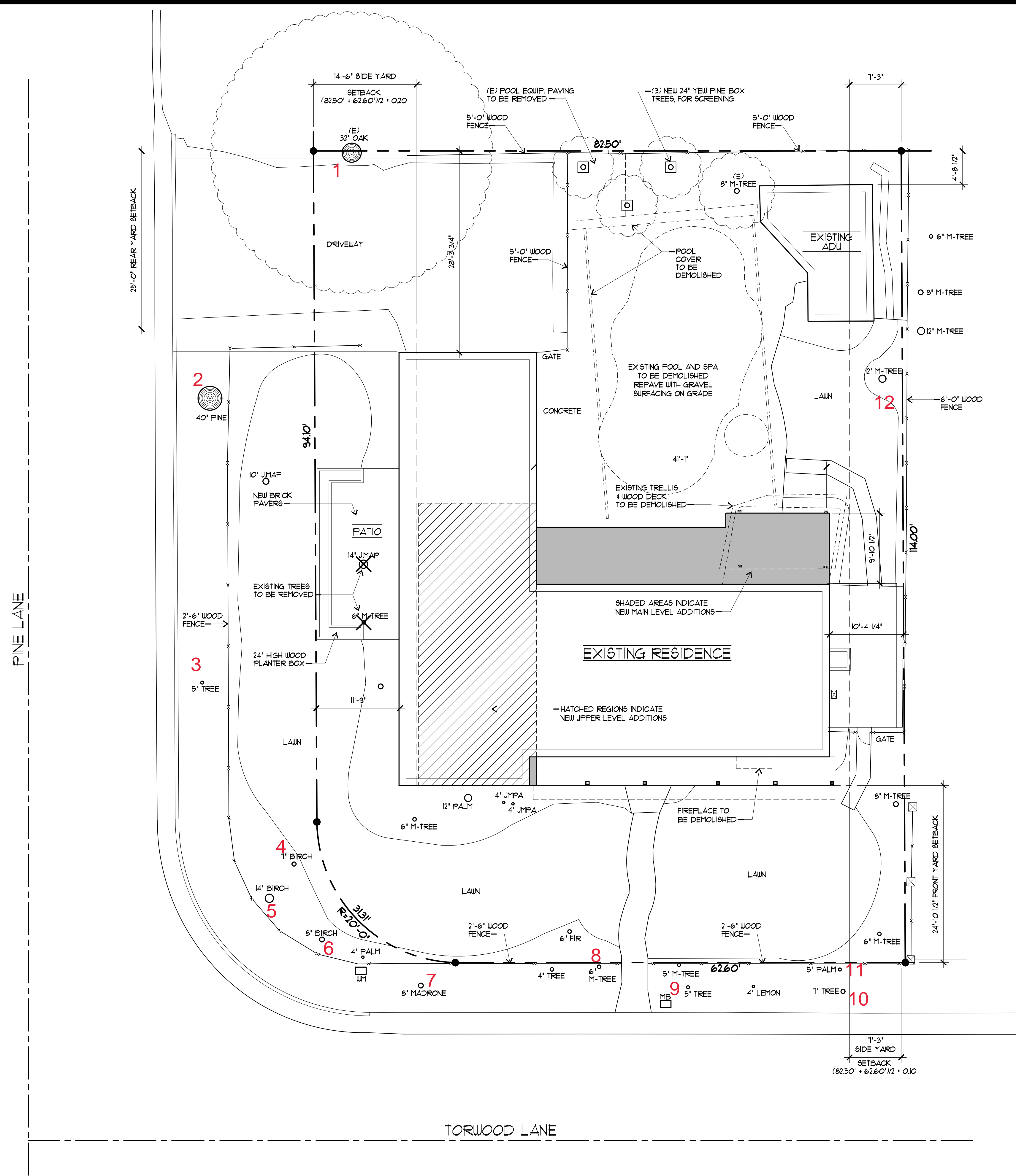
I believe this report is accurate and based on sound arboricultural principles and practices. If I can be of further assistance, please contact me at my office.

Sincerely,

Jeromey A. Ingalls
Certified Arborist WE #7076A

JAI:lg





PROPOSED SITE PLAN
 APN: 167-25-052

1/4" = 1'-0"

SHEET INDEX

1. TITLE SHEET
2. ZONING COMPLIANCE
3. SITE PLAN
4. PROJECT DESCRIPTION
5. EXISTING MAIN LEVEL FLOOR PLAN
6. PROPOSED MAIN LEVEL FLOOR PLAN
7. PROPOSED UPPER LEVEL FLOOR PLAN
8. PROPOSED ROOF PLAN
9. PROPOSED / EXISTING FRONT ELEVATION
10. PROPOSED / EXISTING REAR ELEVATION
11. PROPOSED / EXISTING LEFT SIDE ELEVATION
12. PROPOSED / EXISTING RIGHT SIDE ELEVATION
13. PROPOSED SCHEMATIC BUILDING SECTION
14. PROPOSED FLOOR AREA CALCULATION
15. TOPOGRAPHIC SURVEY

PROJECT DATA

APN : 167-25-052
 ZONING : RI-10
 SITE PLAN :
 LOT AREA : 9320 SQ. FT.
 NUMBER OF STORIES : 2
 OCCUPANCY GROUP : R-3 / U
 TYPE OF CONSTRUCTION : V-B
 FIRE SPRINKLER REQUIRED : YES

PROJECT DESCRIPTION

REAR ADDITION AND SECOND FLOOR ADDITION TO AN EXISTING ONE-STORY SINGLE FAMILY RESIDENCE TO INCLUDE A COMPLETE INTERIOR / EXTERIOR REMODEL THROUGHOUT.

ZONING COMPLIANCE

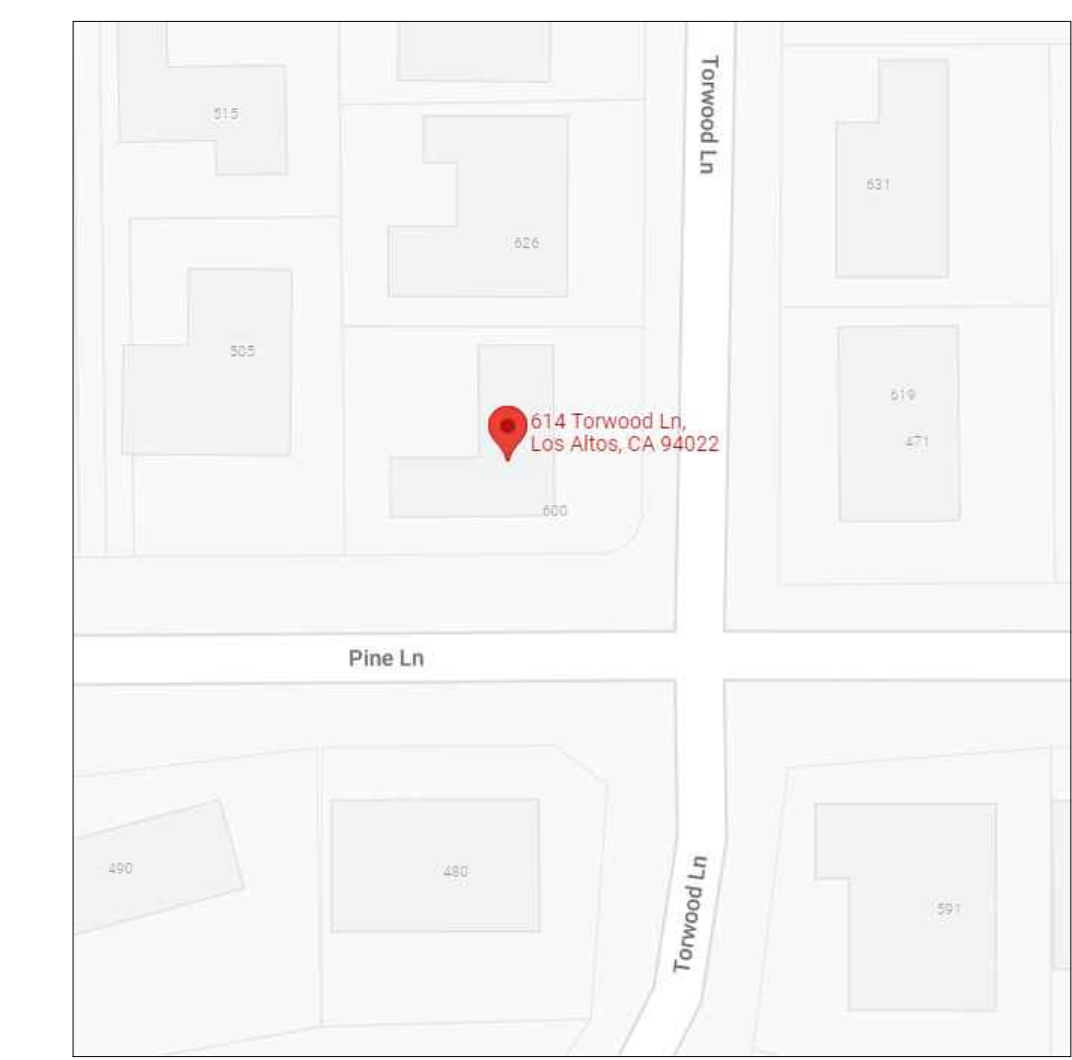
	EXISTING	PROPOSED	ALLOWED / REQUIRED
LOT COVERAGE: LAND AREA COVERED BY ALL STRUCTURES THAT ARE OVER 6 FEET HEIGHT	2,400 SQUARE FEET (.26 %)	2,983 SQUARE FEET (.32 %)	3,262 SQUARE FEET (.35 %)
FLOOR AREA: MEASURED TO THE OUTSIDE SURFACE OF THE EXTERIOR WALLS	2,166 SQUARE FEET (.26 %)	3,245 SQUARE FEET (.35 %)	3,262 SQUARE FEET (.35 %)
SETBACKS:			
FRONT	25'-0" FEET	25'-0" FEET	25'-0" FEET
REAR	28'-0" FEET	28'-0" FEET	28'-0" FEET
RIGHT SIDE (1st/2nd)	10'-4" FEET / N/A FEET	10'-4" FEET / 51'-5" FEET	1'-3" FEET / 1'-3" FEET
LEFT SIDE (1st/2nd)	11'-9" FEET / N/A FEET	11'-9" FEET / 14'-6" FEET	14'-6" FEET / 14'-6" FEET

SQUARE FOOTAGE BREAKDOWN

	EXISTING	CHANGE IN	TOTAL PROPOSED
HABITABLE LIVING AREA: INCLUDES HABITABLE BASEMENT AREAS	1,171 SQUARE FEET	+1,063 SQUARE FEET	2,234 SQUARE FEET
NON-HABITABLE AREA: DOES NOT INCLUDE COVERED PORCHES OR OPEN STRUCTURES	395 SQUARE FEET	+6 SQUARE FEET	411 SQUARE FEET

LOT CALCULATIONS

NET LOT AREA:	9,320 SQUARE FEET
FRONT YARD HARDSCAPE AREA: HARDSCAPE AREA IN THE FRONT YARD SETBACK SHALL NOT EXCEED 50%	132 SQUARE FEET (.1 %)
LANDSCAPING BREAKDOWN:	
TOTAL HARDSCAPE AREA (EXISTING AND PROPOSED):	5,919 SQUARE FEET
EXISTING SOFTSCAPE (UNDISTURBED) AREA:	3,341 SQUARE FEET
NEW SOFTSCAPE (NEW OR REPLACED LANDSCAPING) AREA:	0 SQUARE FEET
SUM OF ALL THREE SHOULD EQUAL THE SITE'S NET LOT AREA: 9,320 SQUARE FEET	



VICINITY MAP

N.T.S.

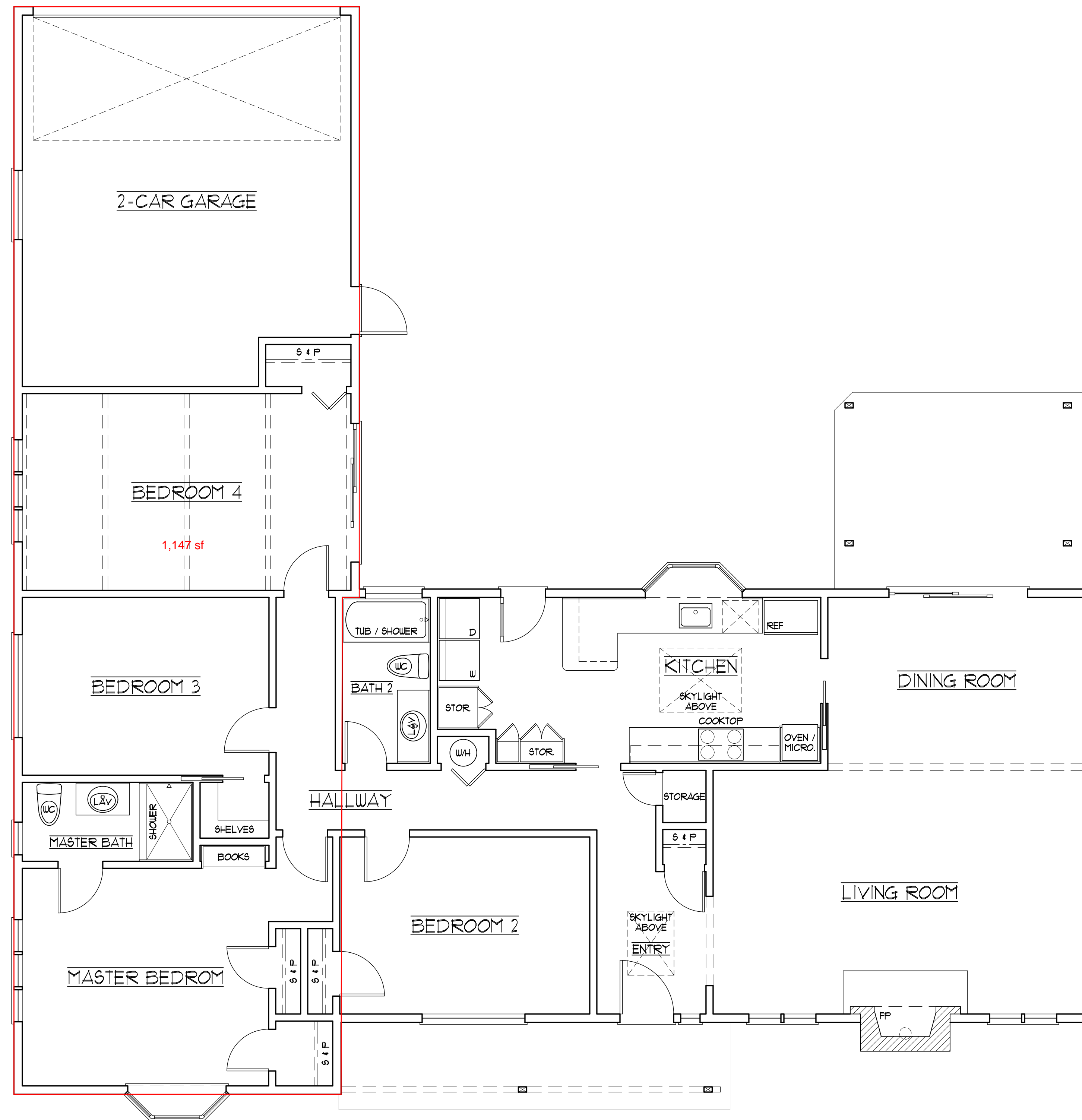
REVISIONS	BY

Flury Bryant Design Group, Inc.
 DESIGNERS OF FINE HOMES
 761 UNIVERSITY AVENUE, SUITE 7A, LOS GATOS, CA 95032
 TEL: 408.556.5500 FAX: 408.556.5115

TITLE SHEET
 SHEET INDEX
 SITE PLAN
 SITE ANALYSIS

PROPOSED REMODEL TO:
THE SOOD RESIDENCE
 614 TORWOOD LANE
 LOS ALTOS, CALIFORNIA 94022

DRAWN BY:
T.B. / A.R.A.
 CHECKED BY:
T.B.
 DATE:
 -
 SCALE:
AS NOTED
 JOB NO:
20-034
 SHEET:




EXISTING MAIN LEVEL FLOOR PLAN
 1,111 SQUARE FEET LIVING SPACE • 399 SQUARE FEET GARAGE

1/4" = 1'-0"

REVISIONS	BY


Flury Bryant Design Group, Inc.
DESIGNERS OF FINE HOMES
 761 UNIVERSITY AVENUE, SUITE A, LOS GATOS, CA 95032
 TEL: 408.356.5500 FAX: 408.356.5115

EXISTING MAIN LEVEL FLOOR PLAN

PROPOSED REMODEL TO:
THE SOOD RESIDENCE
 614 TORWOOD LANE
 LOS ALTOS, CALIFORNIA 94022

DRAWN BY:
 T.E.B.
CHECKED BY:
 T.E.B.
DATE:
 -
SCALE:
AS NOTED
JOB NO.:
20-034
SHEET:

2

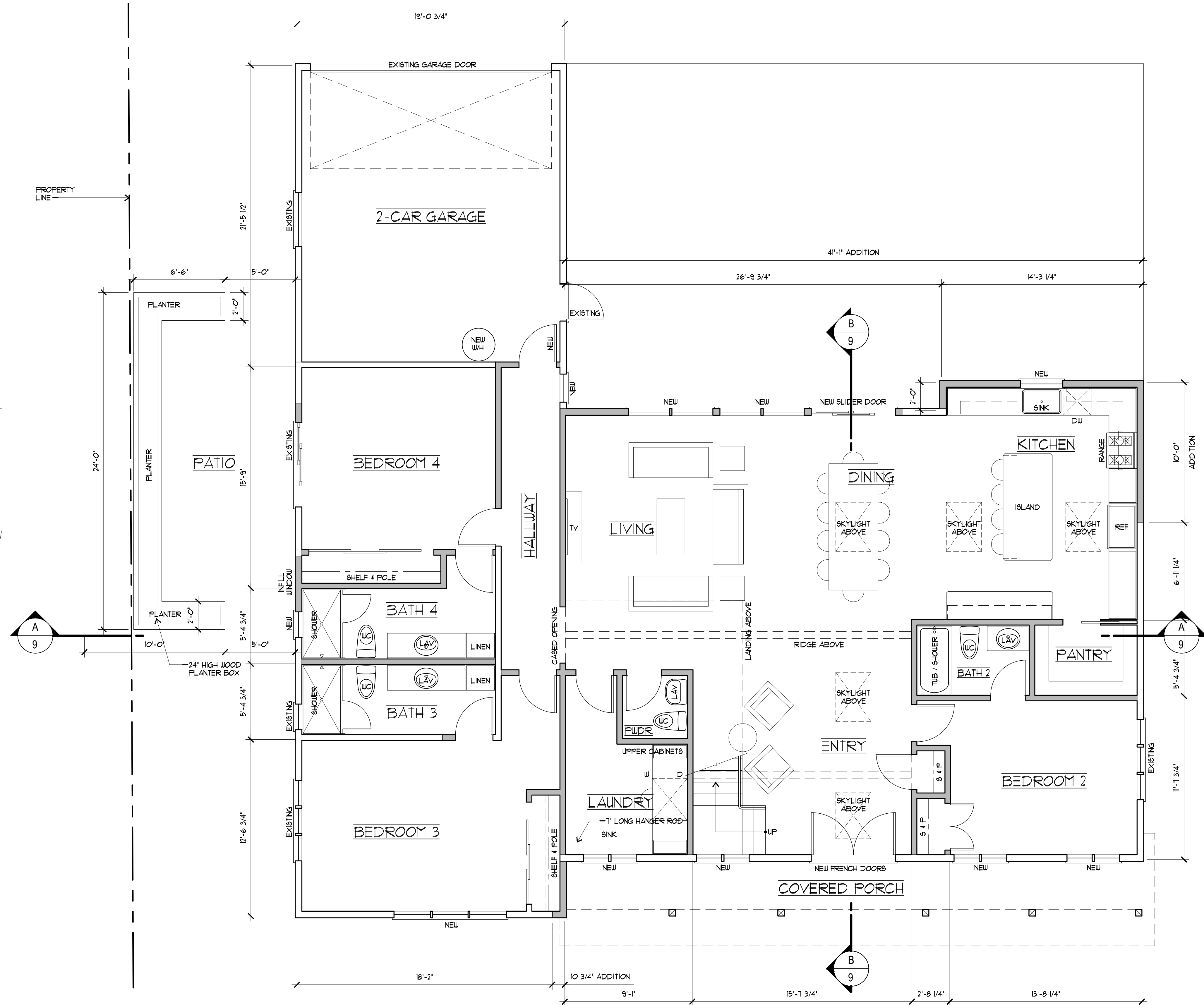
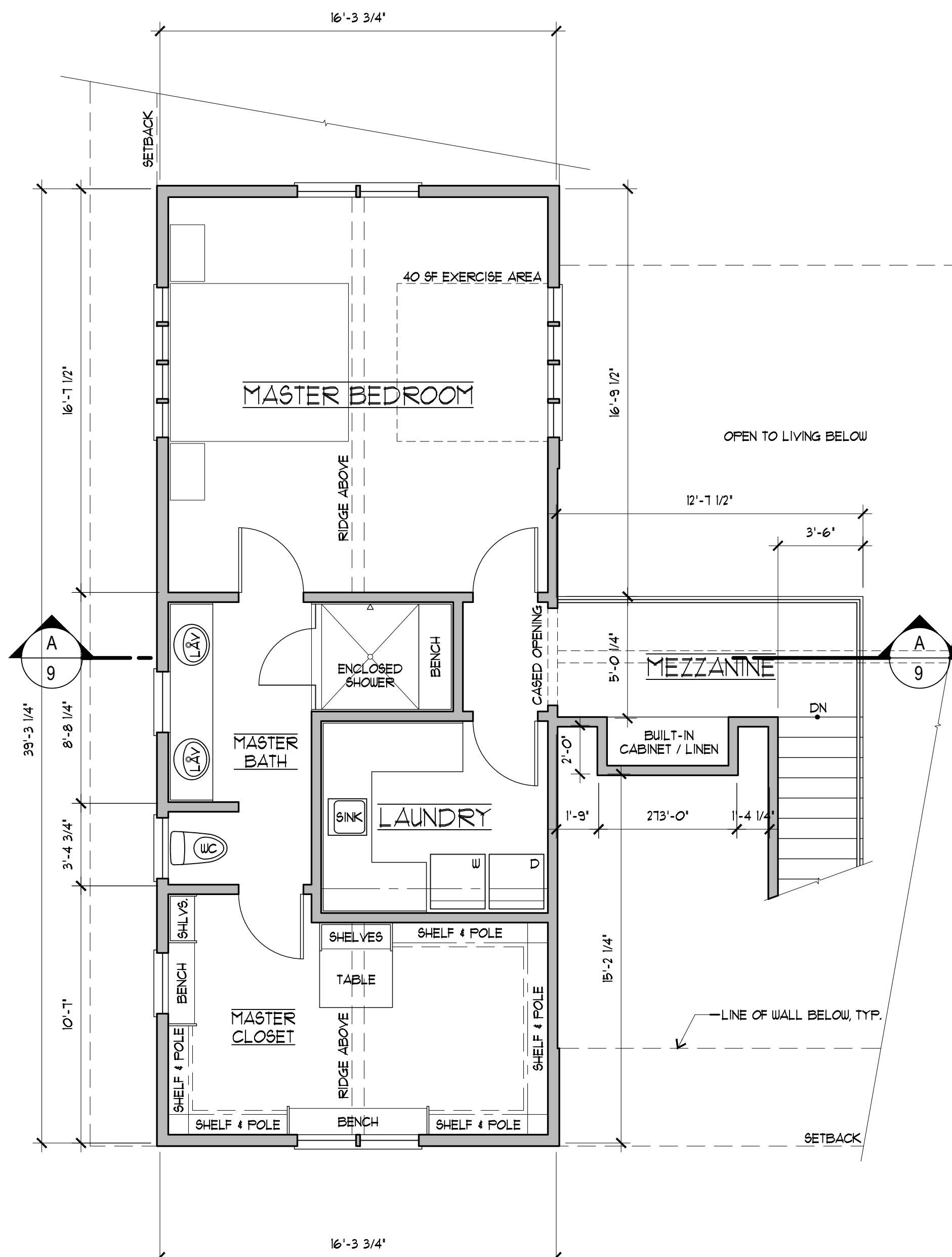
OF 11 SHEETS

FLOOR PLAN LEGEND

- INDICATES NEW STUD WALL.
- INDICATES EXISTING STUD WALL TO REMAIN.

FLOOR PLAN NOTES

1. DIMENSIONS SHOWN ARE TO FACE OF STUDS, UNLESS OTHERWISE NOTED.
2. ESCAPE OF RESCUE WINDOW SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENABLE DIMENSION SHALL BE 2'-0" IN HEIGHT AND 1'-8" IN WIDTH. WHEN WINDOWS ARE PROVIDED AS MEANS OF ESCAPE OR RESCUE, THEY SHALL HAVE A FINISHED SILL HEIGHT NOT MORE THAN 44 INCHES ABOVE THE FINISHED FLOOR, PER C.R.C. SECTION R302.
3. PROVIDE LANDINGS AT REQUIRED EGRESS DOORS PER C.R.C. SECTION 310.3. LANDINGS TO BE A MINIMUM 36" DEEP AND MAXIMUM 1'-3/4" BELOW TOP OF THRESHOLD AT IN-SWING OR SLIDING DOORS.
4. THE OPENING AROUND GAS VENTS, DUCTS, PIPES, CHIMNEYS, AND FIREPLACES SHALL BE FIRE-BLOCKED WITH NON-COMBUSTIBLE MATERIALS PER C.B.C. SECTION 118.
5. ALL EXTERIOR WALLS SHALL BE SHEATHED WITH 1/2" CDX PLYWOOD NAILED WITH 8 D'S AT 6" O.C. EDGES AND 12" O.C. FIELD. TYP. U.O.N. ON SHEAR WALL SCHEDULE.
6. SHEAR WALLS SHALL EXTEND FROM FLOOR TO ROOF SHEATHING ABOVE.
7. AT SHOWER ENCLOSURES: PROVIDE A SMOOTH, HARD NON-ABSORBENT FINISH OVER A MOISTURE RESISTANT UNDERLAYMENT TO A HEIGHT OF 12" (MINIMUM) ABOVE THE DRAIN INLET. SHOWER ENCLOSURE SHALL HAVE A MINIMUM FINISHED FLOOR AREA OF 1024 SQUARE INCHES AND BE CAPABLE OF ENCOMPASSING A 30" DIAMETER CIRCLE.
8. PROVIDE FULLY TEMPERED SAFETY GLAZING FOR ALL SHOWER ENCLOSURES.
9. ALL NEW SHOWER ENCLOSURE DOORS SHALL HAVE A MINIMUM OF 1'-10" CLEAR EGRESS OPENING WIDTH PER C.P.C. SECTION 408.5.



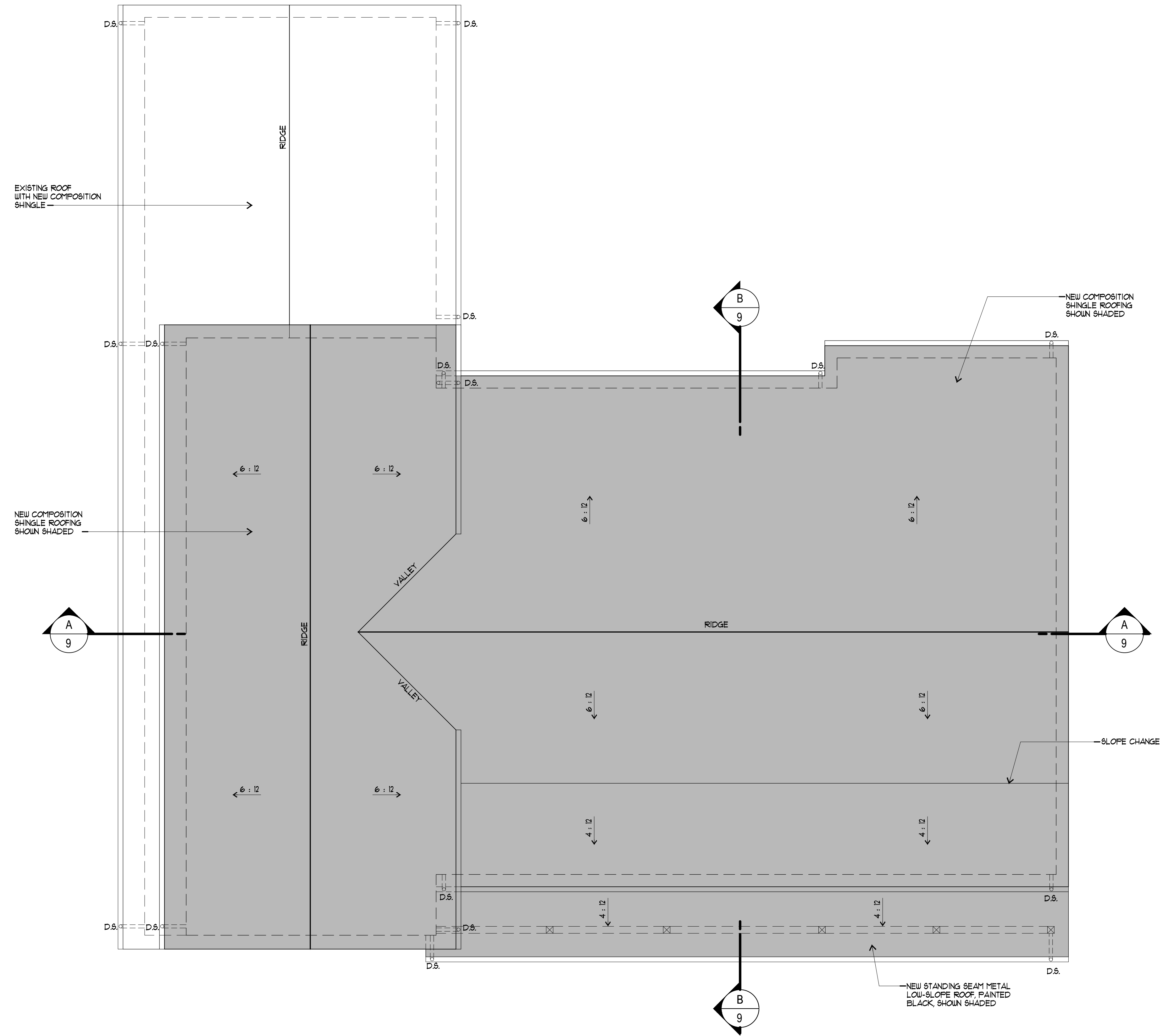
REVISIONS	BY

Flury Bryant Design Group, Inc.
 DESIGNERS OF FINE HOMES
 761 UNIVERSITY AVENUE, SUITE A, LOS GATOS, CA 95032
 TEL: 408.556.5500 FAX: 408.556.5115

PROPOSED MAIN LEVEL FLOOR PLAN
 PROPOSED UPPER LEVEL FLOOR PLAN

PROPOSED REMODEL TO:
THE SOOD RESIDENCE
 614 TORWOOD LANE
 LOS ALTOS, CALIFORNIA 94022

DRAWN BY:
T.B. / A.R.A.
 CHECKED BY:
T.B.
 DATE:
 -
 SCALE:
AS NOTED
 JOB NO:
20-034
 SHEET:



PROPOSED ROOF PLAN

1/4" = 1'-0"

REVISIONS	BY

Flury Bryant Design Group, Inc.

DESIGNERS OF FINE HOMES
761 UNIVERSITY AVENUE, SUITE A, LOS GATOS, CA 95032
TEL: 408.536.5500 FAX: 408.536.5115

PROPOSED ROOF PLAN

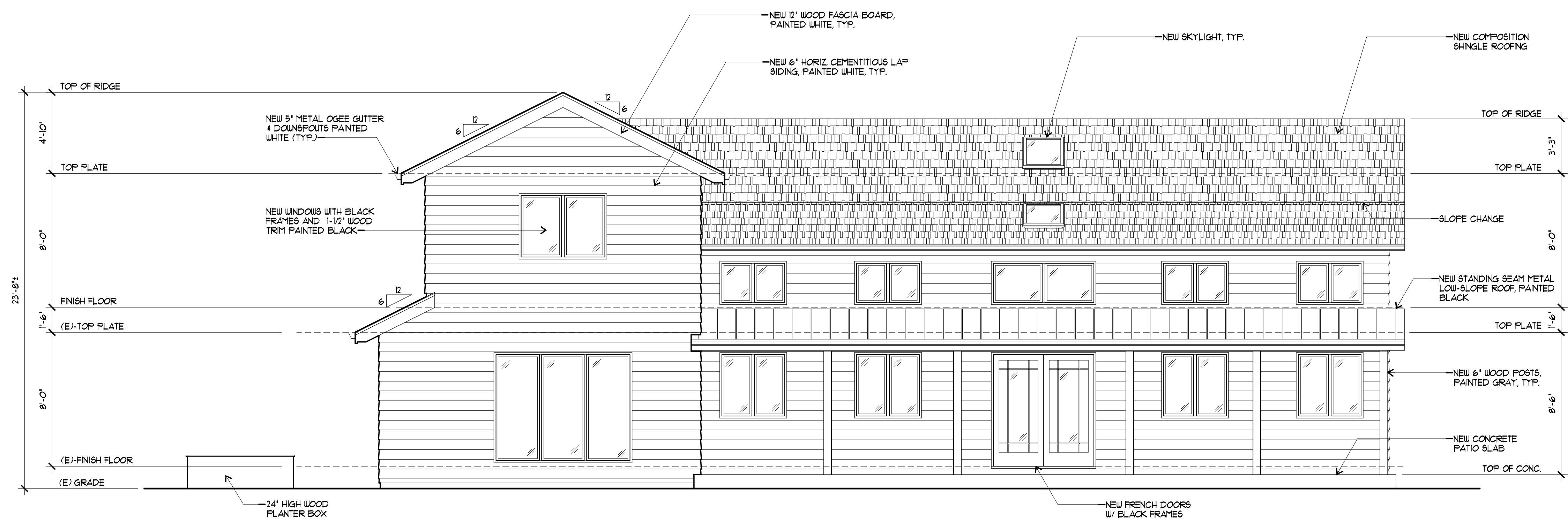
PROPOSED REMODEL TO:
THE SOOD RESIDENCE
614 TORWOOD LANE
LOS ALTOS, CALIFORNIA 94022

DRAWN BY:
ARA
CHECKED BY:
T.E.
DATE:
-
SCALE:
AS NOTED
JOB NO:
20-034
SHEET:

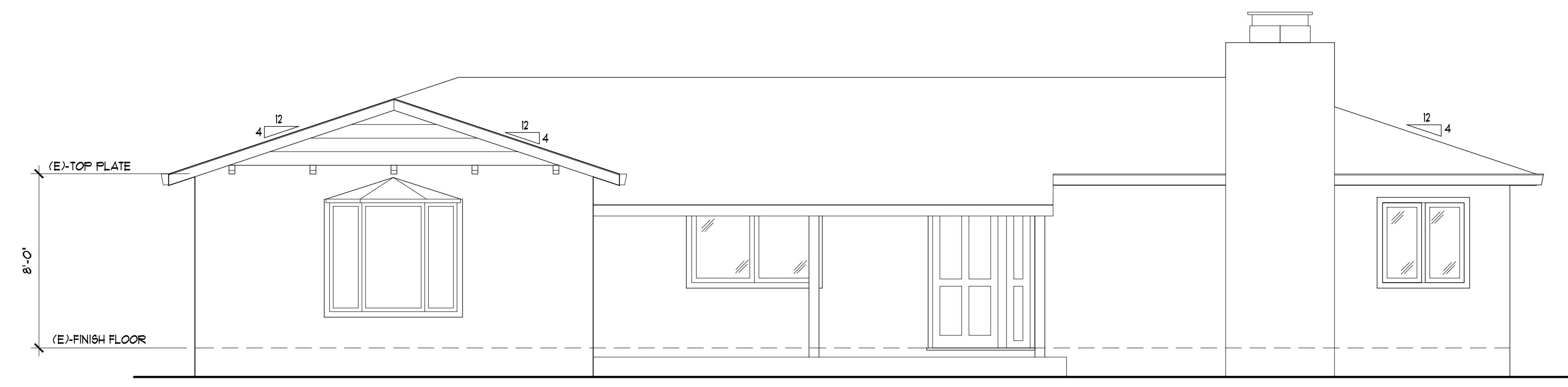
4

OF 11 SHEETS

REVISIONS	BY



PROPOSED FRONT ELEVATION 1/4" = 1'-0"



EXISTING FRONT ELEVATION 1/4" = 1'-0"


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DESIGNERS OF FINE HOMES
 761 UNIVERSITY AVENUE, SUITE A, LOS GATOS, CA 95032
 TEL: 408.356.5500 FAX: 408.356.5115

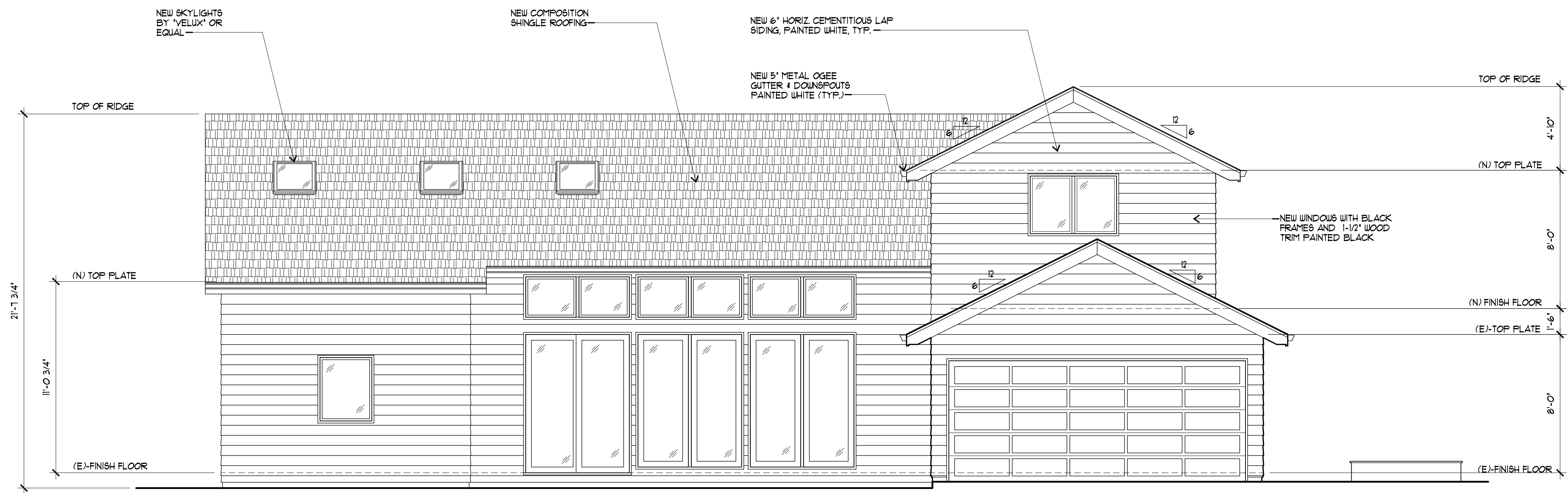
PROPOSED FRONT ELEVATION
 EXISTING FRONT ELEVATION

PROPOSED REMODEL TO:
THE SOOD RESIDENCE
 614 TORWOOD LANE
 LOS ALTOS, CALIFORNIA 94022

DRAWN BY:
T.B. / A.R.A.
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T.B.
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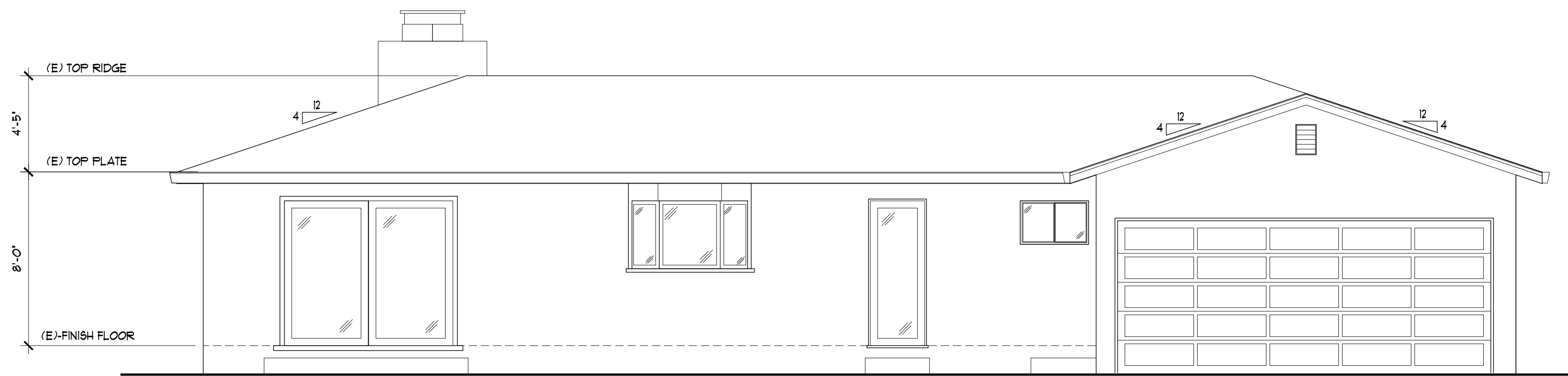
5

OF 11 SHEETS



PROPOSED REAR ELEVATION

1/4" = 1'-0"



EXISTING REAR ELEVATION

1/4" = 1'-0"

REVISIONS	BY

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761 UNIVERSITY AVENUE, SUITE A, LOS GATOS, CA 95032
TEL: 408.556.5500 FAX: 408.556.5115

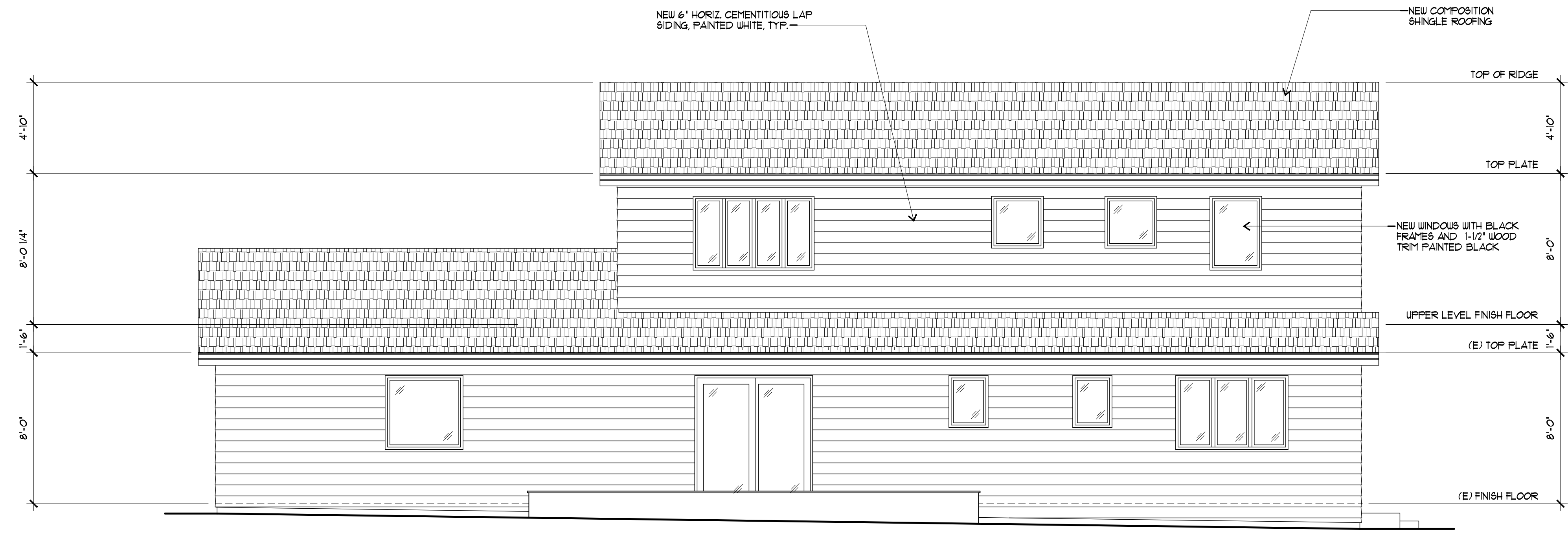
PROPOSED REAR ELEVATION
EXISTING REAR ELEVATION

PROPOSED REMODEL TO:
THE SOOD RESIDENCE
614 TORWOOD LANE
LOS ALTOS, CALIFORNIA 94022

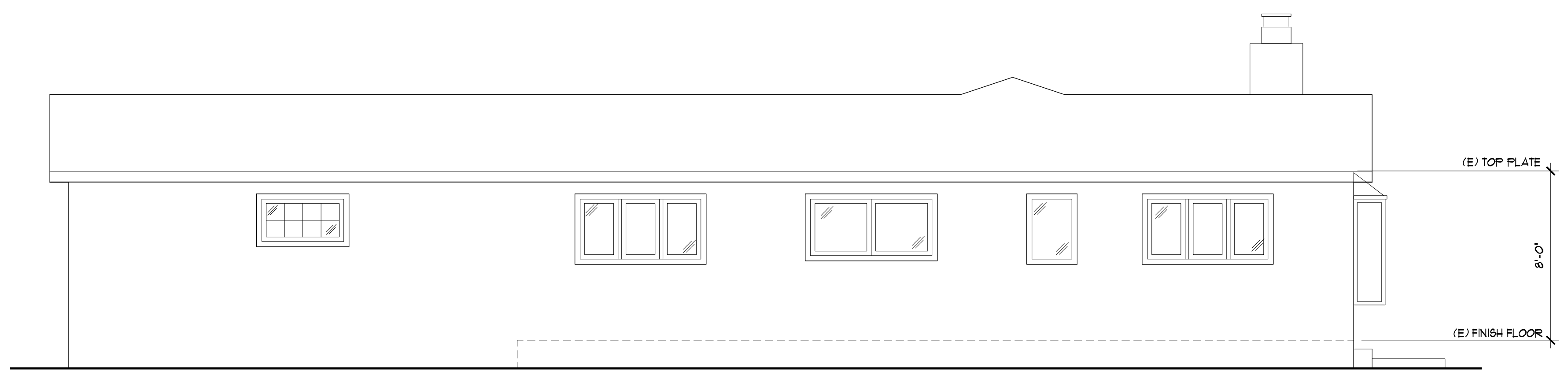
DRAWN BY:
T.B. / A.R.A.
CHECKED BY:
T.B.
DATE:
-
SCALE:
AS NOTED
JOB NO:
20-034
SHEET:

6

OF 11 SHEETS



PROPOSED LEFT SIDE ELEVATION 1/4" = 1'-0"



EXISTING LEFT SIDE ELEVATION 1/4" = 1'-0"

REVISIONS	BY

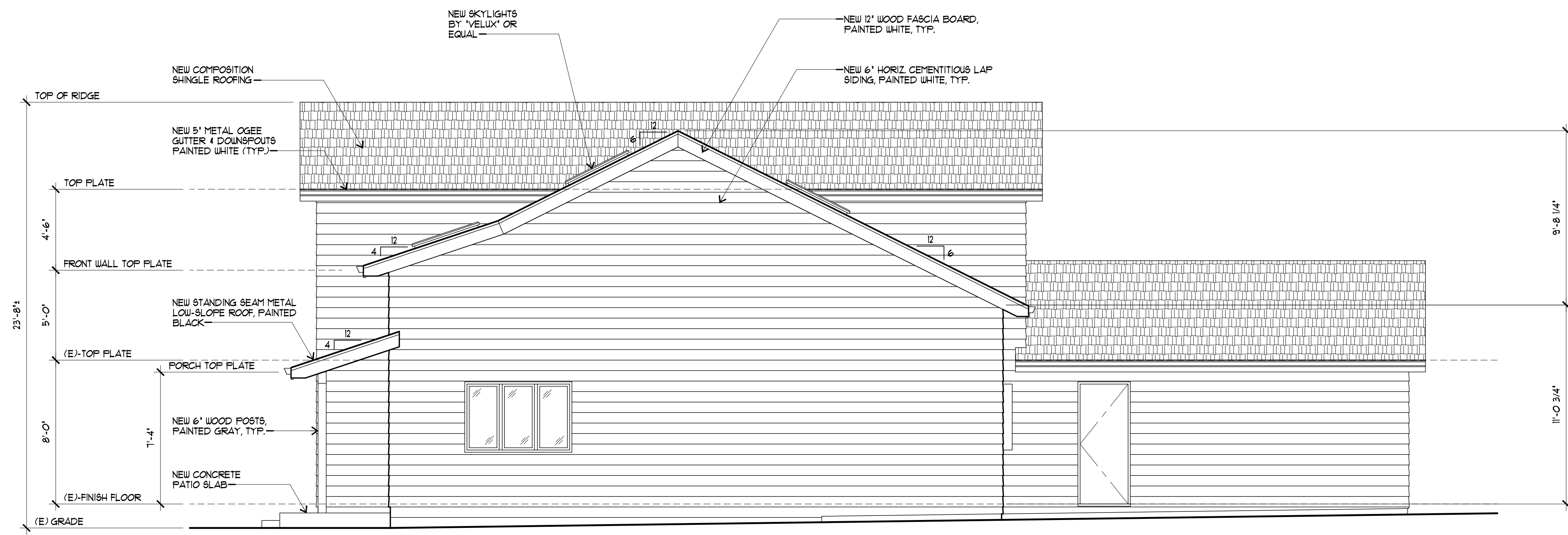
Flury Bryant Design Group, Inc.
DESIGNERS OF FINE HOMES
 761 UNIVERSITY AVENUE, SUITE A, LOS GATOS, CA 95032
 TEL: 408.356.5500 FAX: 408.356.5115

PROPOSED LEFT SIDE ELEVATION
 EXISTING LEFT SIDE ELEVATION

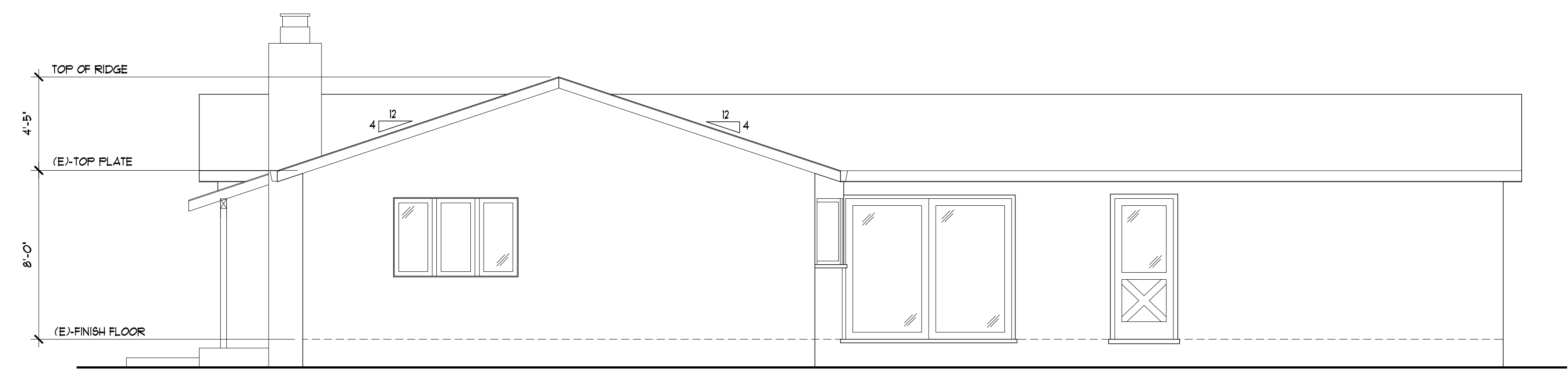
PROPOSED REMODEL TO:
THE SOOD RESIDENCE
 614 TORWOOD LANE
 LOS ALTOS, CALIFORNIA 94022

DRAWN BY:
T.B. / A.R.A.
 CHECKED BY:
T.B.
 DATE:
 -
 SCALE:
AS NOTED
 JOB NO:
20-034
 SHEET:
7

REVISIONS	BY



PROPOSED RIGHT SIDE ELEVATION 1/4" = 1'-0"



EXISTING RIGHT SIDE ELEVATION 1/4" = 1'-0"

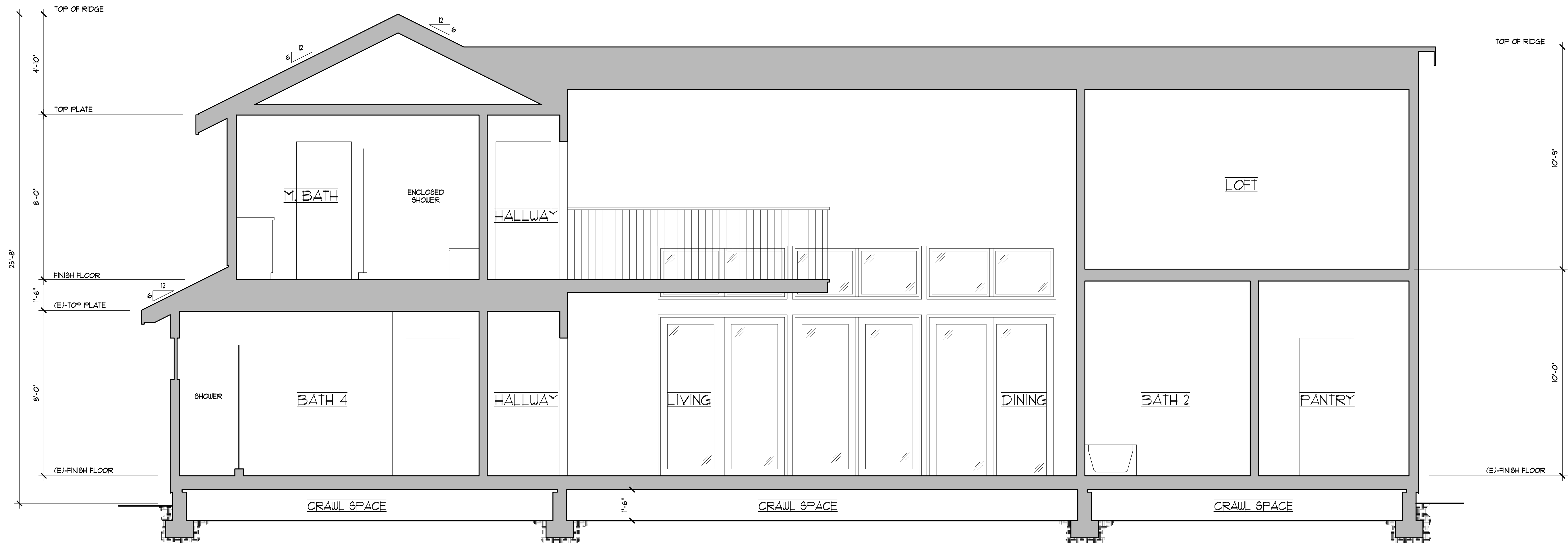
Flury Bryant Design Group, Inc.
DESIGNERS OF FINE HOMES
 761 UNIVERSITY AVENUE, SUITE A, LOS GATOS, CA 95032
 TEL: 408.556.5500 FAX: 408.556.5115

PROPOSED RIGHT SIDE ELEVATION
 EXISTING RIGHT SIDE ELEVATION

PROPOSED REMODEL TO:
THE SOOD RESIDENCE
 614 TORWOOD LANE
 LOS ALTOS, CALIFORNIA 94022

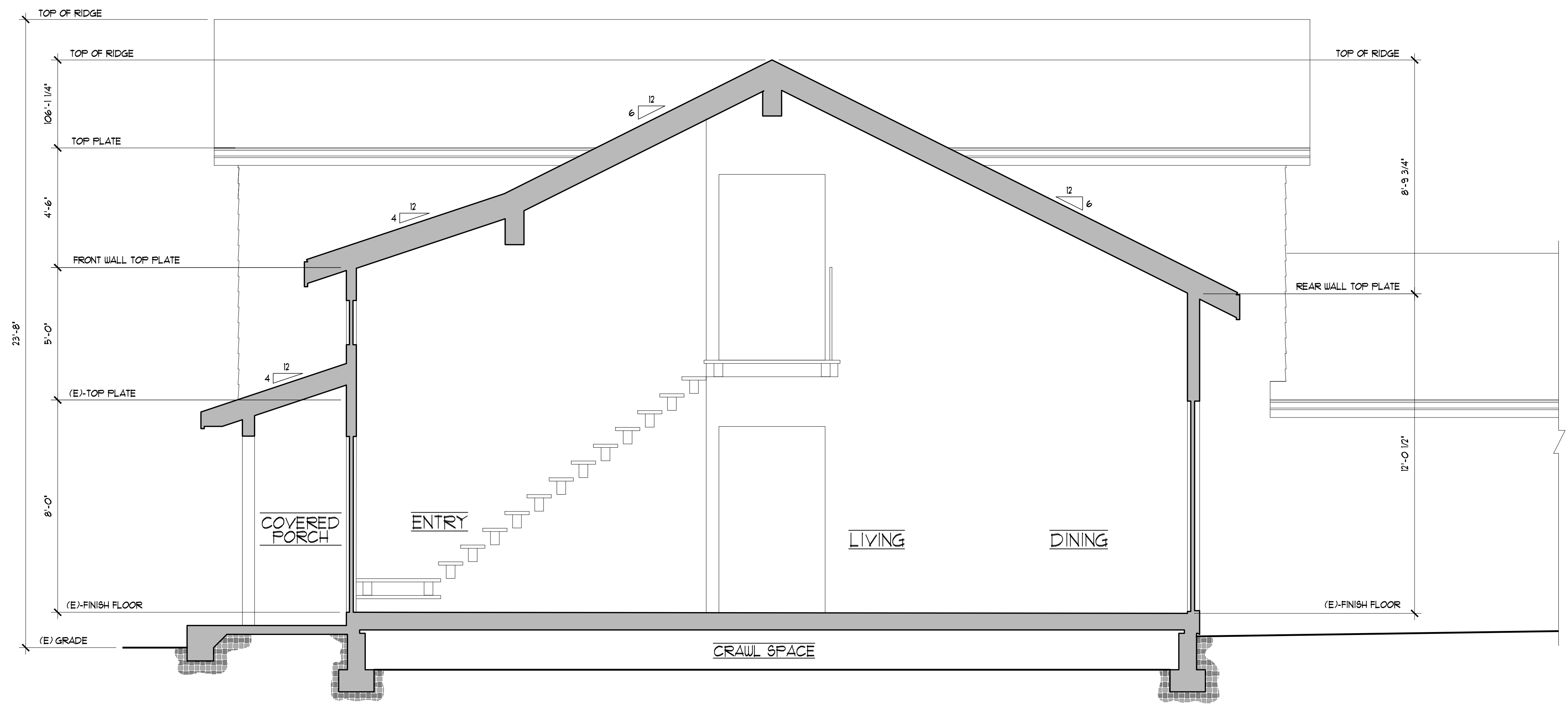
DRAWN BY:
T.B. / A.R.A.
 CHECKED BY:
T.B.
 DATE:
 -
 SCALE:
AS NOTED
 JOB NO:
20-034
 SHEET:

OF **8** SHEETS



A SCHEMATIC SECTION
9

3/8" = 1'-0"



B SCHEMATIC SECTION
9

3/8" = 1'-0"

REVISIONS	BY

Flury Bryant Design Group, Inc.
DESIGNERS OF FINE HOMES
761 UNIVERSITY AVENUE, SUITE A, LOS GATOS, CA 95032
TEL: 408.356.5500 FAX: 408.356.5115

PROPOSED RIGHT SIDE ELEVATION
EXISTING RIGHT SIDE ELEVATION

PROPOSED REMODEL TO:
THE SOOD RESIDENCE
614 TORWOOD LANE
LOS ALTOS, CALIFORNIA 94022

DRAWN BY:
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AS NOTED
JOB NO:
20-034
SHEET:

9

OF 11 SHEETS

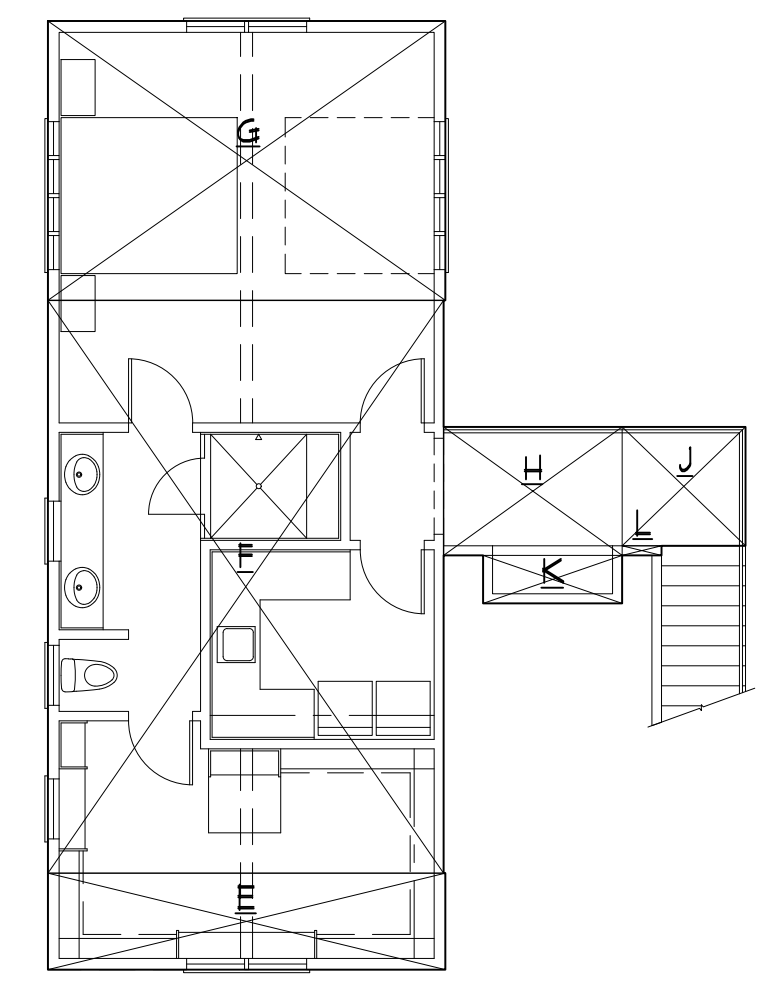
REVISIONS	BY

PROPOSED FLOOR AREA:

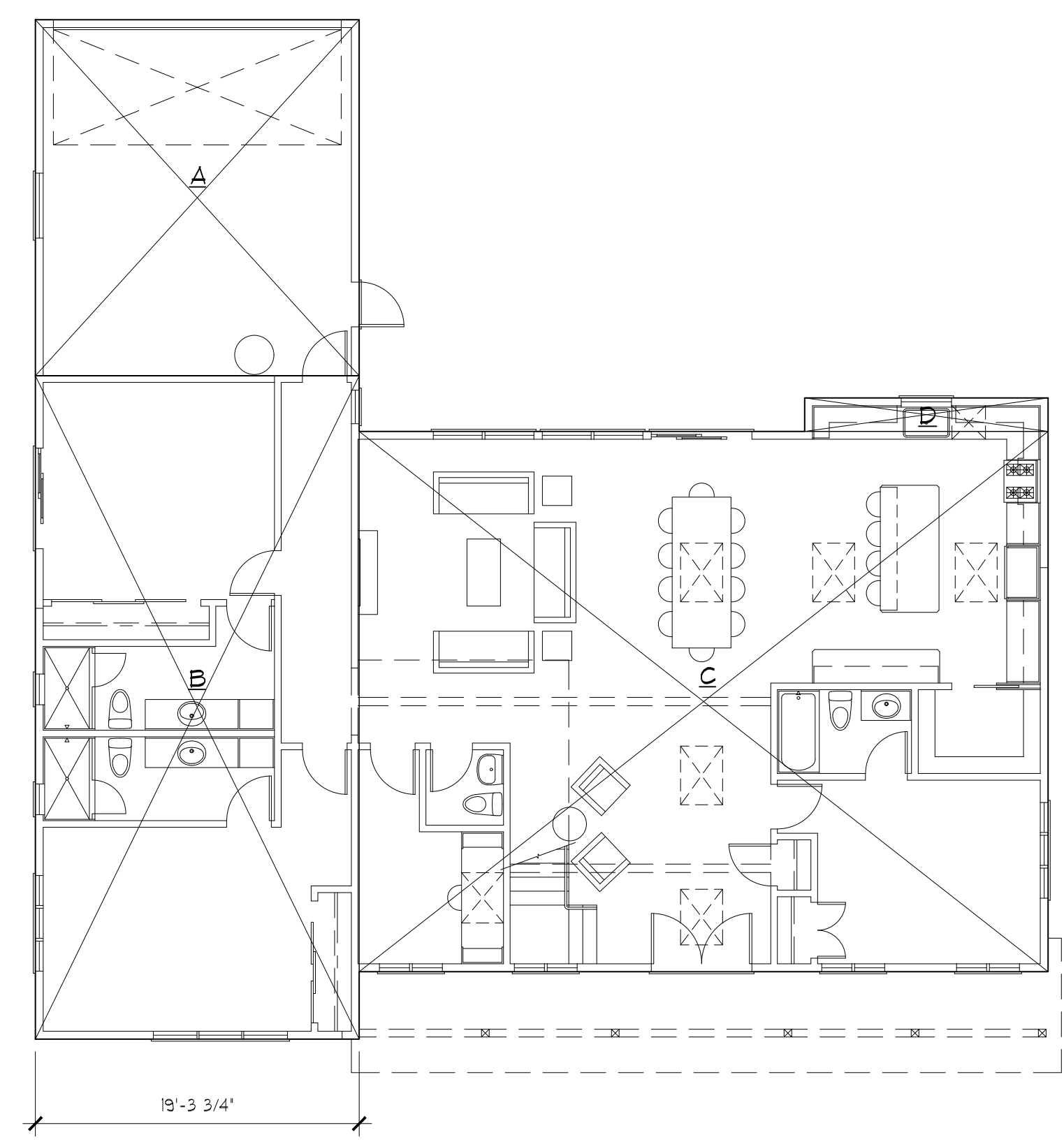
GARAGE		
A	19'-3 3/4" x 21'-3" =	410 SQ. FT.
TOTAL:		410 SQ. FT.

MAIN LEVEL		
B	19'-3 3/4" x 39'-1" =	1640 SQ. FT.
C	41'-0" x 32'-2 3/4" =	13210 SQ. FT.
D	14'-6 1/4" x 2'-0" =	290 SQ. FT.
TOTAL:		2114 SQ. FT.

UPPER LEVEL		
E	16'-6 3/4" x 4'-0 1/4" =	67.0 SQ. FT.
F	16'-6" x 23'-10 1/2" =	394.0 SQ. FT.
G	16'-3 3/4" x 11'-1 3/4" =	190.0 SQ. FT.
H	7'-5 1/4" x 5'-4 1/4" =	40.0 SQ. FT.
J	5'-1 3/4" x 4'-11 1/2" =	26.0 SQ. FT.
K	5'-9 1/4" x 2'-0" =	12.0 SQ. FT.
L	1'-1 3/4" x 0'-4 3/4" =	0.69 SQ. FT.
TOTAL:		130. SQ. FT.



PROPOSED UPPER LEVEL



PROPOSED UPPER LEVEL

FLOOR AREA DIAGRAMS

1/8" = 1'-0"

Flury Bryant Design Group, Inc.
 DESIGNERS OF FINE HOMES
 761 UNIVERSITY AVENUE, SUITE A, LOS GATOS, CA 95032
 TEL: 408.356.5500 FAX: 408.356.5115

FLOOR AREA DIAGRAMS
 FLOOR AREA CALCULATIONS

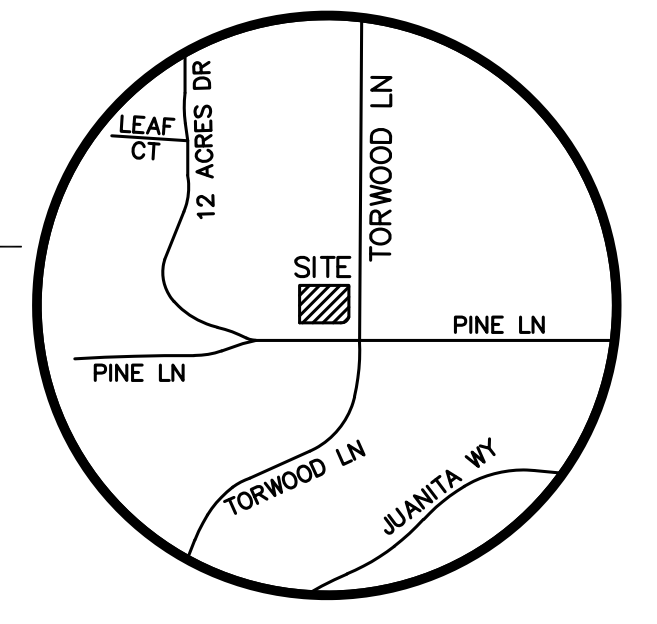
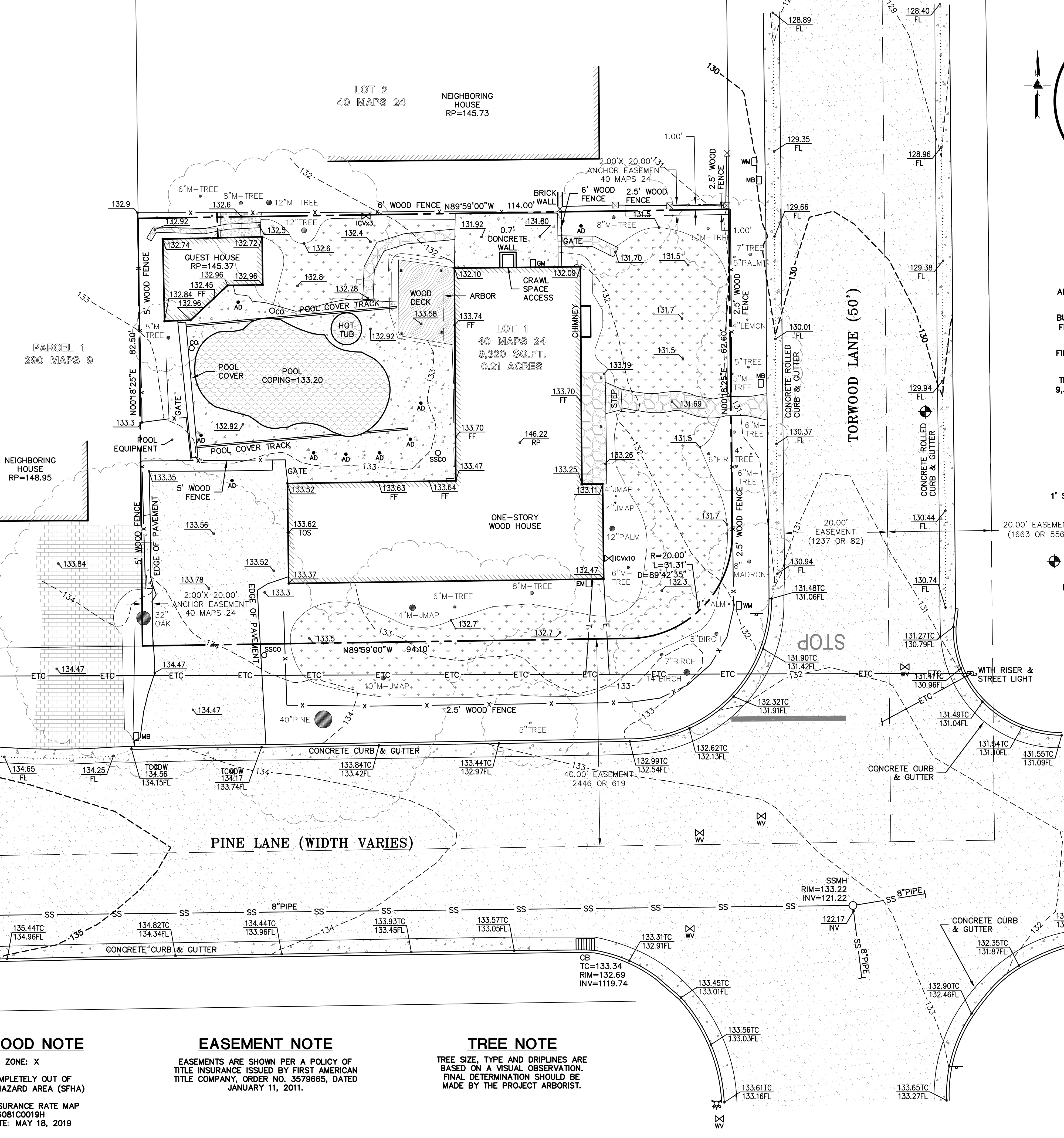
PROPOSED REMODEL TO:
THE SOOD RESIDENCE
 614 TORWOOD LANE
 LOS ALTOS, CALIFORNIA 94022

DRAWN BY:
A.R.A.
 CHECKED BY:
T.E.
 DATE:
 -
 SCALE:
AS NOTED
 JOB NO:
20-034
 SHEET:

10
 OF 11 SHEETS

LEGEND AND NOTES

- | | | |
|--------|---|----------|
| --- | BOUNDARY LINE | ASPHALT |
| —E— | ELECTRICAL OVERHEAD LINE | BRICK |
| —ETC— | ELECTRICAL/TELEPHONE/CABLE TV OVERHEAD LINE | CONCRETE |
| --- | EASEMENT | GRAVEL |
| -x- | FENCE LINE | LAWN |
| --- | FLOW LINE | POOL |
| SS | SANITARY SEWER LINE | STONE |
| SS | TELEPHONE OVERHEAD LINE | WOOD |
| •AD | AREA DRAIN | |
| ⊙ | BENCHMARK | |
| ▣ | CATCH BASIN | |
| □EM | ELECTRICAL METER | |
| FF | FINISH FLOOR | |
| FL | FIRE HYDRANT | |
| □GM | GAS METER | |
| INV | INVERT | |
| ▣ICV | IRRIGATION CONTROL VALVE | |
| JMAP | JAPANESE MAPLE | |
| ⊕ | JOINT POLE | |
| □MB | MAILBOX | |
| M- | MULTI-TRUNK TREE | |
| ⊕ | PILLAR | |
| RP | ROOF PEAK | |
| ○SSCO | SANITARY SEWER CLEAN-OUT | |
| ○SSMH | SANITARY SEWER MAINTENANCE HOLE | |
| — | STREET SIGN | |
| TC | TOP OF CURB | |
| TOS | TOP OF SLAB | |
| WM | WATER METER | |
| WV | WATER VALVE | |
| xxx.xx | SPOTGRADE | |



VICINITY MAP
NO SCALE

NOTES

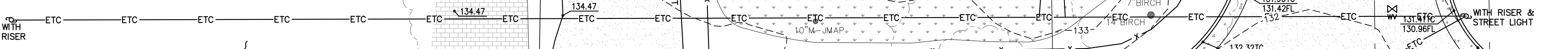
- ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.
- BUILDING FOOTPRINTS ARE SHOWN TO FINISHED MATERIAL (STUCCO/SIDING) AT GROUND LEVEL.
- FINISH FLOOR ELEVATIONS ARE TAKEN AT DOOR THRESHOLD (EXTERIOR).
- THE AREA OF THE SURVEYED LOT IS 9,320± SQUARE FEET / 0.21± ACRES

BENCHMARK

CITY OF LOS ALTOS BENCHMARK
BENCHMARK 08
TOP OF CURB @ NE RETURN
PINE LN & LOS ALTOS AVE,
1' SOUTH OF SOUTH EDGE OF HC RAMP.
ELEVATION = 122.8920'
(NAVD 88 DATUM)

SITE BENCHMARK

SURVEY CONTROL POINT
MAG AND SHINER SET IN ASPHALT
ELEVATION = 130.35'
(NAVD 88 DATUM)



UTILITY NOTE

ALL UNDERGROUND PIPE TYPES, SIZES AND LOCATION SHOWN ON THIS SURVEY ARE BASED ON VISUAL OBSERVATION. ANY USE OF THIS INFORMATION SHOULD BE VERIFIED, BEFORE ITS USE, WITH THE CONTROLLING MUNICIPALITY OR UTILITY PROVIDER. THIS SURVEY MAKES NO GUARANTEE OF THE INSTALLED ACTUAL LOCATION, DEPTHS OR SIZE.

FEMA FLOOD NOTE

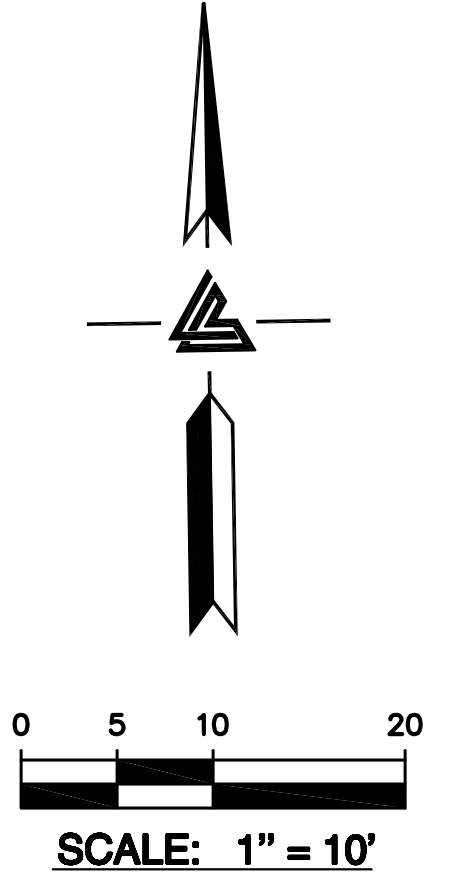
FLOOD ZONE: X
PROPERTY COMPLETELY OUT OF SPECIAL FLOOD HAZARD AREA (SFHA)
FEMA FLOOD INSURANCE RATE MAP NO.: 06081C0019H
EFFECTIVE DATE: MAY 18, 2019

EASEMENT NOTE

EASEMENTS ARE SHOWN PER A POLICY OF TITLE INSURANCE ISSUED BY FIRST AMERICAN TITLE COMPANY, ORDER NO. 3579665, DATED JANUARY 11, 2011.

TREE NOTE

TREE SIZE, TYPE AND DRIPLINES ARE BASED ON A VISUAL OBSERVATION. FINAL DETERMINATION SHOULD BE MADE BY THE PROJECT ARBORIST.



LEA & BRAZE ENGINEERING, INC.
CIVIL ENGINEERS & LAND SURVEYORS
REGIONAL OFFICES:
SAN JOSE, CA
DUBLIN, CA
SAN JOSE, CA
WWW.LEABRAZE.COM

614 TORWOOD LANE
LOS ALTOS
CALIFORNIA

TOPOGRAPHIC SURVEY

REVISIONS	BY
JOB NO:	2211482
DATE:	10-04-21
SCALE:	1" = 10'
BNDY BY:	DN
FIELD BY:	BC
DRAWN BY:	JN
SHEET NO:	

ATTACHMENT D

Screening at 614 Torwood Lane



Podocarpus Macrophyllus
Yew Pine
Approximately 40' tall at maturity
Six to eight feet in diameter
Growth rate approximately six inches per year

ATTACHMENT F

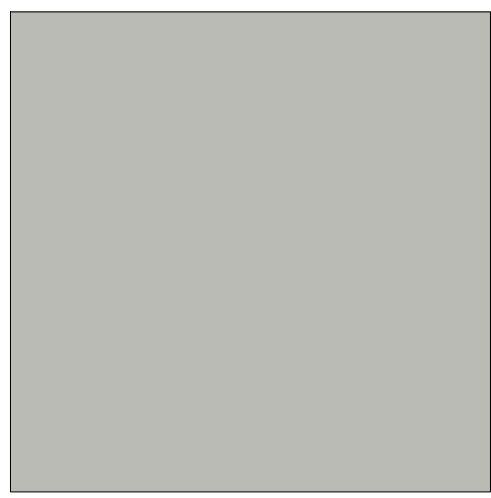
JOB NO:	20-034
REVISION:	-
DATE:	10/26/21
DRAWN:	TB


Flury Bryant Design Group, Inc.
DESIGNERS OF FINE HOMES
 761 UNIVERSITY AVE., SUITE A LOS GATOS, CALIFORNIA 95032
 TEL: 408.356.5500 FAX: 408.356.5115

MATERIALS BOARD

PROJECT:
SOOD RESIDENCE
 614 TORWOOD LANE
 LOS ALTOS, CALIFORNIA

SHEET NO:
 OF: 1



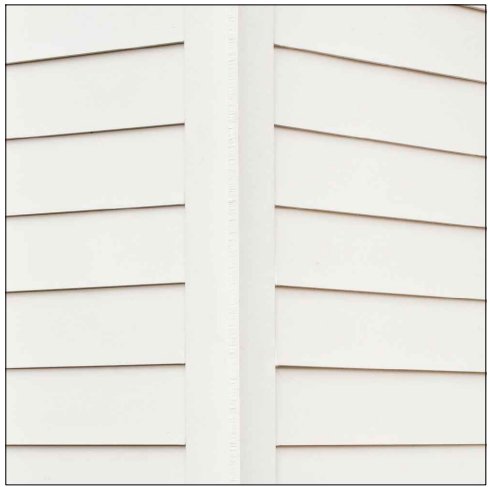
ACCENT COLOR
 FRONT COLUMNS
 SHERWIN WILLIAMS MARCH WIND



BODY COLOR
 FASCIA
 SHERWIN WILLIAMS EXTRA WHITE



ACCENT COLOR
 WINDOW TRIM, DOWNSPOUTS
 SHERWIN WILLIAMS DOMINO



CEMENTITIOUS LAP SIDING
 HARDIE PLANK - ARTIC WHITE



STANDING SEAM METAL ROOF
 INTERLOCK, BLACK



COMPOSITION SHINGLE ROOFING
 GREY



WINDOWS
 LOW PROFILE, BLACK, ALUMINUM FRAMES
 KOLBE VISTA-LUXE OR EQUAL



Flury Bryant Design Group, Inc.

June 27, 2022

Mr. Sean Gallegos
City of Los Altos
Community Development Department
One North San Antonio Road
Los Altos, California 94022

Re: 614 Torwood Lane (SC21-0050)
Neighborhood Meeting Report

Dear Mr. Gallegos,

On June 25, 2022 a Neighborhood Informational meeting was held at 10:00 AM at the above referenced address. Two weeks prior to this meeting invitations were sent via certified mail, with return receipts requested, to all twelve homeowners on the attached list provided by the City (other than the homeowners of the subject property). To-date seven receipts have been received.

Mr. Bill Gaylord, of 645 Torwood Lane, was the only attendee. (bill.gaylord@gmail.com) Mr. Gaylord expressed enthusiastic support for the project.

A written statement of support was also received via US Mail from Don and Sue Rose, of 540 Torwood Lane.

With no other appearances from neighboring property owners, the meeting was adjourned at approximately 11:00 AM.

Please feel free to call on me with any questions.

Sincerely,

A handwritten signature in black ink, appearing to read 'B Flury'. The signature is written in a cursive, somewhat stylized font.

Bob Flury, Principal
Flury Bryant Design Group

Enclosures: Invitation to neighboring homeowners
Mailing list of neighboring property owners
Statement of support from Don and Sue Rose
Seven USPS Certified Mail return receipts

DESIGNERS OF FINE HOMES

761 UNIVERSITY AVENUE SUITE A, LOS GATOS, CALIFORNIA 95032 TEL.: (408) 356-5500 FAX: (408) 356-5115

WWW.FLURYBRYANT.COM



Flury Bryant Design Group, Inc.

Notice of an Informational Neighborhood Meeting Related to a Proposed Remodel with Additions at 614 Torwood Lane, Los Altos

You are invited to attend a neighborhood meeting at the home of Nitin and Ruchira Sood to discuss a proposal to expand their current residence and add a partial second floor at 614 Torwood Lane. This meeting will take place Saturday, June 25th at 10:00 AM. The subject property is on the corner of Torwood Lane and Pine Lane.

Given the scope of this project, the City of Los Altos requires a Design Review application to the Planning Department followed by a public hearing. This application mandates that we conduct a Neighborhood Outreach to specific neighboring property owners in the immediate vicinity. Our purpose for having this meeting is to gather any comments neighbors might have so that we can report these to the Planning Department in advance of our public hearing. The Town will be contacting you via U.S. Mail independently to announce the date of this hearing.

A copy of the plans for this project will be available for your review at this meeting. A representative of Flury Bryant Design Group, the project designers will also be present to answer any questions. We hope to see you on the 25th.

DESIGNERS OF FINE HOMES

761 UNIVERSITY AVENUE, SUITE A, LOS GATOS, CALIFORNIA 95032 TEL: (408) 356-5500 FAX: (408) 356-5115

WWW.FLURYBRYANT.COM

APN	ASSEESSEE	IN_CARE_OF_NAME	MAILING_ADDRESS	MAILING_CTY_ST	MAILING_ZIP_CODE
16743019	TORWOOD MURRAY LLC	MARCIA MURRAY	581 TORWOOD LN	LOS ALTOS CA	94022-2160
16725002	SCOTT KENNETH S AND AMY Q TRUSTEE		619 TORWOOD LN	LOS ALTOS CA	94022-1613
16725003	MOTIWALA MURTAZA AND ALI AFROZA TRUSTEE		631 TORWOOD LN	LOS ALTOS CA	94022-1659
16725004	GAYLORD WILLIAM B AND ORANDI LINDA R TRUSTE		645 TORWOOD LN	LOS ALTOS CA	94022-1659
16725050	MCKEEN EVERETT E JR AND MARILYN L TRUSTEE		640 TORWOOD LN	LOS ALTOS CA	94022-1658
16725051	HOFFMANN RAPHAEL D AND LIU JING		626 TORWOOD LN	LOS ALTOS CA	94022-1658
16725052	SOOD NITIN AND RUCHIRA		614 TORWOOD LN	LOS ALTOS CA	94022-1658
16725065	MEYER RICHARD W AND CHRISTINE A		505 PINE LN	LOS ALTOS CA	94022-1650
16725066	GANESAN SATISH AND VENKATRAMAN LAKSHMI		515 PINE LN	LOS ALTOS CA	94022-1650
16743020	KADIYALA ANANT VENKATA S AND VASANI NEMANI		591 TORWOOD LN	LOS ALTOS CA	94022-2160
16744012	CAPUANO TANYA P AND MICHAEL G		490 PINE LANE	LOS ALTOS CA	94022
16744013	OSHIKOJI TOORANDOKHT AND SANEAKI		480 PINE LN	LOS ALTOS CA	94022-1649
16744014	ROSE DONALD K TRUSTEE		570 TORWOOD LN	LOS ALTOS CA	94022-2161

Dear Mr. & Mrs. Soad,

We will be on the golf course on June 25th in the morning, so will not be able to attend your meeting.

We do support your improvements to your home at 614. Tarwood Lane.

Regards

Don & Sue Rose
570 Tarwood Ln.

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

Kadiyala Anant Venkata S & Vasani
Nemani
591 Torwood Ln
Los Altos, CA 94022-2160



9590 9402 6482 0346 5873 64

2. Article Number (Transfer from service label)

702204100000 1911 8882

PS Form 3811, July 2020 PSN 7530-02-000-9053

COMPLETE THIS SECTION ON DELIVERY

A. Signature

X

- Agent
- Address

B. Received by (Printed Name)

C. Date of Delivery

D. Is delivery address different from item 1? Yes
If YES, enter delivery address below: No

3. Service Type

- Adult Signature
- Adult Signature Restricted Delivery
- Certified Mail®
- Certified Mail Restricted Delivery
- Collect on Delivery
- Collect on Delivery Restricted Delivery
- Insured Mail
- Insured Mail Restricted Delivery (over \$500)
- Priority Mail Express®
- Registered Mail™
- Registered Mail Restricted Delivery
- Signature Confirmation
- Signature Confirmation Restricted Delivery

Domestic Return Receipt

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

Scott Kenneth S & Amy Q Trustee
619 Torwood Ln
Los Altos, CA 94022-1613



9590 9402 6482 0346 5873 95

2. Article Number (Transfer from service label)

702204100000 1911 8974

PS Form 3811, July 2020 PSN 7530-02-000-9053

COMPLETE THIS SECTION ON DELIVERY

A. Signature

X

- Agent
- Address

B. Received by (Printed Name)

C. Date of Delivery

D. Is delivery address different from item 1? Yes
If YES, enter delivery address below: No

3. Service Type

- Adult Signature
- Adult Signature Restricted Delivery
- Certified Mail®
- Certified Mail Restricted Delivery
- Collect on Delivery
- Collect on Delivery Restricted Delivery
- Insured Mail
- Insured Mail Restricted Delivery (over \$500)
- Priority Mail Express®
- Registered Mail™
- Registered Mail Restricted Delivery
- Signature Confirmation
- Signature Confirmation Restricted Delivery

Domestic Return Receipt

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

Motiwala Murtaza & Ali Afroza Trustee
631 Torwood Ln
Los Altos, CA 94022-1659



9590 9402 6482 0346 5874 01

2. Article Number (Transfer from service label)

702204100000 1911 8981

PS Form 3811, July 2020 PSN 7530-02-000-9053

COMPLETE THIS SECTION ON DELIVERY

A. Signature

X

- Agent
- Address

B. Received by (Printed Name)

C. Date of Delivery

D. Is delivery address different from item 1? Yes
If YES, enter delivery address below: No

3. Service Type

- Adult Signature
- Adult Signature Restricted Delivery
- Certified Mail®
- Certified Mail Restricted Delivery
- Collect on Delivery
- Collect on Delivery Restricted Delivery
- Insured Mail
- Insured Mail Restricted Delivery (over \$500)
- Priority Mail Express®
- Registered Mail™
- Registered Mail Restricted Delivery
- Signature Confirmation
- Signature Confirmation Restricted Delivery

Domestic Return Receipt

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

Mckeen Everett E JR & Marilyn L
Trustee
640 Torwood Ln
Los Altos, CA 94022-1658



9590 9402 6482 0346 5873 26

2. Article Number (Transfer from service label)

7022 0410 0000 1911 9001

PS Form 3811, July 2020 PSN 7530-02-000-9053

Domestic Return Receipt

COMPLETE THIS SECTION ON DELIVERY

A. Signature

X

-
- Agent
-
-
- Addressee

B. Received by (Printed Name)

C. Date of Delivery

 D. Is delivery address different from item 1? Yes
 If YES, enter delivery address below: No

3. Service Type

-
- Adult Signature
-
-
- Adult Signature Restricted Delivery
-
-
- Certified Mail®
-
-
- Certified Mail Restricted Delivery
-
-
- Collect on Delivery
-
-
- Collect on Delivery Restricted Delivery
-
-
- Insured Mail
-
-
- Insured Mail Restricted Delivery (over \$500)
-
- Priority Mail Express®
-
-
- Registered Mail™
-
-
- Registered Mail Restricted Delivery
-
-
- Signature Confirmation
-
-
- Signature Confirmation Restricted Delivery

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

Sood Nitin & Ruchira
614 Torwood Ln
Los Altos, CA 94022-1658



9590 9402 6482 0346 5873 33

2. Article Number (Transfer from service label)

7022 0410 0000 1911 8905

PS Form 3811, July 2020 PSN 7530-02-000-9053

Domestic Return Receipt

COMPLETE THIS SECTION ON DELIVERY

A. Signature

X

-
- Agent
-
-
- Addressee

B. Received by (Printed Name)

C. Date of Delivery

 D. Is delivery address different from item 1? Yes
 If YES, enter delivery address below: No

3. Service Type

-
- Adult Signature
-
-
- Adult Signature Restricted Delivery
-
-
- Certified Mail®
-
-
- Certified Mail Restricted Delivery
-
-
- Collect on Delivery
-
-
- Collect on Delivery Restricted Delivery
-
-
- Insured Mail
-
-
- Insured Mail Restricted Delivery (over \$500)
-
- Priority Mail Express®
-
-
- Registered Mail™
-
-
- Registered Mail Restricted Delivery
-
-
- Signature Confirmation
-
-
- Signature Confirmation Restricted Delivery

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

Gaylord William B & Orindi Linda R
Trustee
645 Torwood Ln
Los Altos, CA 94022-1659



9590 9402 6482 0346 5873 02

2. Article Number (Transfer from service label)

7022 0410 0000 1911 8998

PS Form 3811, July 2020 PSN 7530-02-000-9053

Domestic Return Receipt

COMPLETE THIS SECTION ON DELIVERY

A. Signature

X

-
- Agent
-
-
- Addressee

B. Received by (Printed Name)

C. Date of Delivery

 D. Is delivery address different from item 1? Yes
 If YES, enter delivery address below: No

3. Service Type

-
- Adult Signature
-
-
- Adult Signature Restricted Delivery
-
-
- Certified Mail®
-
-
- Certified Mail Restricted Delivery
-
-
- Collect on Delivery
-
-
- Collect on Delivery Restricted Delivery
-
-
- Insured Mail
-
-
- Insured Mail Restricted Delivery (over \$500)
-
- Priority Mail Express®
-
-
- Registered Mail™
-
-
- Registered Mail Restricted Delivery
-
-
- Signature Confirmation
-
-
- Signature Confirmation Restricted Delivery

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

Ganesan Satish & Venkatraman
 Lakshmi
 515 Pine Ln
 Los Altos, CA 94022-1650



9590 9402 6482 0346 5873 57

2. Article Number (Transfer from service label)

7022 0410 0000 1911 8875

PS Form 3811, July 2020 PSN 7530-02-000-9053

COMPLETE THIS SECTION ON DELIVERY

A. Signature

X *[Handwritten Signature]*

- Agent
- Addressee

B. Received by (Printed Name)

[Handwritten Name]

C. Date of Delivery

06/21/22

D. Is delivery address different from item 1? Yes
If YES, enter delivery address below: No

3. Service Type

- Adult Signature
- Adult Signature Restricted Delivery
- Certified Mail®
- Certified Mail Restricted Delivery
- Collect on Delivery
- Collect on Delivery Restricted Delivery
- Insured Mail
- Insured Mail Restricted Delivery (over \$500)
- Priority Mail Express®
- Registered Mail™
- Registered Mail Restricted Delivery
- Signature Confirmation
- Signature Confirmation Restricted Delivery

Domestic Return Receipt