



DATE: June 15, 2022
 AGENDA ITEM #4

TO: Design Review Commission
FROM: Nazaneen Healy, Associate Planner
SUBJECT: SC22-0002 – 632 Leaf Court

RECOMMENDATION:

Consider design review application SC22-0002 subject to the listed findings and conditions

PROJECT DESCRIPTION

This is a design review application for a new 3,878 square-foot two-story single-family residence. The project includes 3,171 square feet on the first story and 707 square feet on the second story. This project is recommended to be considered categorically exempt from further environmental review under Section 15303 of the California Environmental Quality Act since it involves the construction of one single-family residence in an area zoned for residential uses. The following table summarizes the project’s technical details:

GENERAL PLAN DESIGNATION: Single-Family, Small Lot
ZONING: R1-10
PARCEL SIZE: 11,282 square feet
MATERIALS: Composition roof; fiber cement horizontal siding; aluminum clad wood framed windows; wood window trim

	Existing	Proposed	Allowed/Required
COVERAGE:	2,949 square feet	3,332 square feet	3,384 square feet
FLOOR AREA:	2,949 square feet	3,878 square feet	3,878 square feet
SETBACKS:			
Front	25 feet	25 feet	25 feet
Rear	32.9 feet	33.1 feet	25 feet
Right (Interior) side(1 st /2 nd)	10 feet	10.5 feet/28 feet	10 feet/17.5 feet
Left (Exterior) side (1 st /2 nd)	19.1 feet	20.3 feet/35.1 feet	20 feet/20 feet
HEIGHT:	12.5 feet	25.9 feet	27 feet

BACKGROUND

Neighborhood Context

The subject property is located at the corner of Leaf Court and Twelve Acres Drive on the southern side of Leaf Court. The surrounding neighborhood is considered a Consistent Character Neighborhood as defined in the City's Residential Design Guidelines with similar characteristics of house style, type, setbacks, and streetscape character. The neighborhood consists of primarily one-story Ranch homes, but two-story homes are located adjacent to the subject home to the west, across Leaf Court, and across Twelve Acres Drive. The landscape along the street is varied with no street tree pattern but most properties include at least one medium to large tree in the front yard and many large oak trees in the vicinity.

DISCUSSION

Design Review

According to the Design Guidelines, in Consistent Character Neighborhoods, good neighbor design has design elements, materials, and scale found within the neighborhood and the emphasis should be on designs that fit in and lessen abrupt changes.

As depicted in the design plans (Attachment F), the applicant proposes to demolish the existing 2,949 square foot one-story residence and replace it with a two-story residence (proposed front elevation to the right). Based on the lot dimensions as a corner lot pursuant to Los Altos Municipal Code (LAMC) Section 14.02.070, the front lot line is located along Leaf Court and the exterior side along Twelve Acres Drive, though the design locates the entry door facing Twelve Acres Drive. The proposed setbacks meet or exceed the required setbacks for the R1-10 zoning district. Please refer to the table above for more specific setbacks proposed and as required pursuant to the R1-10 Zoning District Standards found in LAMC Chapter 14.06.



Front View (Leaf Court)



Exterior Side View (Twelve Acres Drive)

Similar to the existing two-story homes nearby, the proposed design includes a relatively small second-story footprint (707 square feet) compared to the first floor (3,171 square feet). The second floor is also set back considerably from the first floor on all sides which helps minimize the appearance of bulk consistent with the Design Guidelines. That said, the proposed first floor plate heights and second floor plate heights range from 9'-0" to 10'-0" and 9'-0" to 9'-9" respectively. The DRC may want to discuss whether reducing the height of the proposed plate heights would improve compatibility with the surrounding neighborhood.

Section 5.6 of the Design Guidelines calls for avoiding designs that make the garage a focal point and provides several methods for reducing the prominence of a garage, some of which have been

incorporated into the proposed design including offsetting the building walls to break up the façade of the three-car garage and using hipped roof forms. If the DRC is concerned with the visual impact of the garage, the DRC may want to discuss additional methods that may improve the design such as setting back the front of the garage from the front of the home and/or lowering the plate height.

The proposed building materials include composition roofing, fiber cement horizontal siding, aluminum clad wood framed windows, and wood window trim, which are found within or compatible with the surrounding neighborhood. A materials board is provided as Attachment E.

Privacy

With regards to privacy, Section 5.3 of the Design Guidelines calls for careful design to prevent unreasonable privacy impacts on adjacent properties, in particular from second story sightlines. The proposed design includes a balcony facing Leaf Court configured to limit views of the west neighbor's home and side/rear yards. The second story side-facing bedroom windows are 4'-6" above the finished floor and the interior side includes a larger window 6'-0" above the stair landing. The second story bedroom windows on the rear façade are 3'-6" above the finished floor. To minimize the perception of privacy impacts, the recommended conditions of approval include a requirement to extend the proposed rear yard screen tree plantings along the rear property line to the planting area along the interior side property line (Condition of Approval No. 3).

As conditioned, staff finds the proposed residence to be in compliance with the R1-10 zoning district development standards, the Single-Family Residential Design Guidelines, and the design review findings pursuant to LAMC Section 14.76.060.

Landscaping and Trees

As depicted on the site plan, there are five existing trees on the subject property and two within the public right-of-way:

- One 60" Oak tree and one 14" Magnolia tree are located within the public right-of-way and indicated to remain. Future removal would require a tree removal permit from the Public Works Department.
- One 27" Oak tree located in the exterior side yard is protected based on its size (over 48" in circumference/15" in diameter) and is proposed to remain.
- The remaining trees are located in the rear yard, not protected based on their size, and are proposed for removal.

The recommended conditions of approval pertaining to trees include implementation of the City standard tree protection measures during construction for all trees to remain and a shoring plan for the basement excavation that minimizes potential impacts to the protected trees (Conditions of Approval No. 3 and 4).

The landscaping plan proposes new screening plants along the rear of the property, in addition to trees, shrubs, and groundcovers throughout and a turf area in the exterior side yard. The new landscaping will need to satisfy the Water Efficient Landscape Ordinance requirements since it exceeds the 500 square-foot landscaping threshold for new residences (Conditions of Approval No. 12 and 16).

ENVIRONMENTAL REVIEW

This project should be considered categorically exempt from environmental review under Section 15303 of the California Environmental Quality Act because it involves the construction of one single-family residence on an existing lot in an area zoned for residential uses.

PUBLIC NOTIFICATION AND CORRESPONDENCE

A public meeting notice was posted on the property and mailed to 10 property owners in the immediate vicinity (Attachment A). The applicant's outreach efforts to neighbors is provided in Attachment B. The applicant also posted the public notice sign (24" x 36") in conformance with the Planning Division posting requirements, as shown in Attachment C. Public Comments submitted to the City are included in Attachment D.

Cc: Walter Chapman, Applicant
Fernando and Patricia Mujica, Property Owner

Attachments:

- A. Public Notification Map
- B. Applicant Outreach
- C. Public Notice Poster
- D. Public Comments
- E. Materials Board
- F. Design Plans

FINDINGS

SC22-0002 – 632 Leaf Court

With regard to the new two-story single-family residence, the Design Review Commission finds the following in accordance with Section 14.76.060 of the Municipal Code:

- a. The proposed residence complies with all provisions of this chapter;
- b. The height, elevations, and placement on the site of the new residence, when considered with reference to the nature and location of residential structures on adjacent lots, will avoid unreasonable interference with views and privacy and will consider the topographic and geologic constraints imposed by particular building site conditions;
- c. The natural landscape will be preserved insofar as practicable by minimizing tree and soil removal; grade changes shall be minimized and will be in keeping with the general appearance of neighboring developed areas;
- d. The orientation of the proposed new residence in relation to the immediate neighborhood will minimize the perception of excessive bulk and mass;
- e. General architectural considerations, including the character, size, scale, and quality of the design, the architectural relationship with the site and other buildings, building materials, and similar elements have been incorporated in order to insure the compatibility of the development with its design concept and the character of adjacent buildings; and
- f. The proposed residence has been designed to follow the natural contours of the site with minimal grading, minimum impervious cover, and maximum erosion protection.

CONDITIONS OF APPROVAL

SC22-0002 – 632 Leaf Court

GENERAL

1. Expiration

The Design Review Approval will expire on June 15, 2024 unless prior to the date of expiration, a building permit is issued, or an extension is granted pursuant to Section 14.76.090 of the Zoning Code.

2. Approved Plans

The approval is based on the plans and materials received on April 18, 2022, except as may be modified by these conditions.

3. Plan Revisions

Update the construction drawings as follows:

- a. On the Site Plan and Landscape Plans modify the location of the 6-foot tall fencing proposed along the exterior side property line to provide the 15-foot sight triangle required for an adjacent property's driveway within 15 feet pursuant to LAMC Section 14.72.020.
- b. On the Landscape Plans extend the proposed rear yard screen tree plantings along the rear property line to the planting area along the interior side property line.
- c. On the Basement Floor Plan add a note indicating: "Wet bar. This area shall not be used as a kitchen. No cooking appliances shall be installed or used in this area."
- d. On the Basement Floor Plan label the mechanical room and storage room as nonhabitable space.
- e. Provide a Shoring Plan for the basement excavation that minimizes potential impacts to the protected trees. The shoring plan shall identify the locations of vertical cuts, slopes, and stitch/shoring piers in relation to the protected trees and cross section detail(s) of the shoring. If potential impacts to trees are identified which include excavation within two-thirds of the dripline, an arborist evaluation may be required to provide recommended design or mitigation measures to reduce impacts to trees.

4. Protected Trees

- a. The existing 27" Oak tree in the exterior side yard and new screening trees shall be protected under this application and cannot be removed without a tree removal permit from the Community Development Director. The City standard tree protection measures and any additional measures recommended by an arborist shall be implemented during construction for all trees to remain.
- b. The existing 60" Oak tree and 14" Magnolia tree are located within the public right-of-way cannot be removed without a tree removal permit from the Public Works

Department. The City standard tree protection measures and any additional measures recommended by an arborist shall be implemented during construction.

5. Tree Removal Approved

The four existing rear yard trees are hereby approved for removal. Tree removal shall not occur until a building permit is submitted and shall only occur after issuance of a demolition permit or building permit. Exceptions to this condition may be granted by the Community Development Director upon submitting written justification.

6. Encroachment Permit

An encroachment permit shall be obtained from the Engineering Division prior to doing any work within the public right-of-way including the street shoulder. All work within the public street right-of-way shall be in compliance with the City's Shoulder Paving Policy.

7. New Fireplaces

Only gas fireplaces, pellet fueled wood heaters or EPA certified wood-burning appliances may be installed in all new construction pursuant to Chapter 12.64 of the Municipal Code.

11. Swimming Pool

The proposed pool and associated equipment require a separate building permit and are subject to the City's standards including setbacks and an enclosed noise attenuating structure pursuant to Section 14.06.120 and Chapter 14.15.

12. Landscaping

The project shall be subject to the City's Water Efficient Landscape Ordinance (WELO) pursuant to Chapter 12.36 of the Municipal Code if over 500 square feet or more of new landscape area, including irrigated planting areas, turf areas, and water features is proposed. Existing landscape areas shall be maintained before and during construction or shall be replaced in compliance with the WELO and to the satisfaction of the Planning Division.

13. Underground Utility and Fire Sprinkler Requirements

Additions exceeding fifty (50) percent of the existing living area (existing square footage calculations shall not include existing basements) and/or additions of 750 square feet or more shall trigger the undergrounding of utilities and new fire sprinklers. Additional square footage calculations shall include existing removed exterior footings and foundations being replaced and rebuilt. Any new utility service drops are pursuant to Chapter 12.68 of the Municipal Code.

14. Indemnity and Hold Harmless

The applicant/owner agrees to indemnify, defend, protect, and hold the City harmless from all costs and expenses, including attorney's fees, incurred by the City or held to be the liability of the City in connection with the City's defense of its actions in any proceedings brought in any State or Federal Court, challenging any of the City's action with respect to the applicant's project. The City may withhold final maps and/or permits, including temporary or final occupancy permits, for failure to pay all costs and expenses, including attorney's fees, incurred by the City in connection with the City's defense of its actions.

INCLUDED WITH THE BUILDING PERMIT SUBMITTAL

15. Conditions of Approval

Incorporate the conditions of approval into the title page of the plans.

16. Water Efficient Landscape Plan

Provide a landscape documentation package prepared by a licensed landscape professional showing how the project complies with the City's Water Efficient Landscape Regulations and include signed statements from the project's landscape professional and property owner.

17. Tree Protection Note

On the grading plan and the site plan, show all tree/landscape protection fencing consistent with City standards and add the following note: "All tree protection fencing shall be chain link and a minimum of five feet in height with posts driven into the ground." Depict any additional tree protection measures indicated in an arborist report.

18. Reach Codes

Building Permit Applications submitted on or after January 14, 2021 shall comply with specific amendments to the 2019 California Green Building Standards for Electric Vehicle Infrastructure and the 2019 California Energy Code as provided in Ordinances Nos. 2020-470A, 2020-470B, 2020-470C, and 2020-471 which amended Chapter 12.22 Energy Code and Chapter 12.26 California Green Building Standards Code of the Los Altos Municipal Code. The building design plans shall comply with the standards and the applicant shall submit supplemental application materials as required by the Building Division to demonstrate compliance.

19. Green Building Standards

Provide verification that the house will comply with the California Green Building Standards pursuant to Chapter 12.26 of the Municipal Code and provide a signature from the project's Qualified Green Building Professional Designer/Architect and property owner.

20. Air Conditioner Sound Rating

The plans shall show the location of any air conditioning unit(s) on the site plan including the model number of the unit(s) and nominal size of the unit. The Applicant shall provide the manufacturer's specifications showing the sound rating for each unit. The air conditioning units must be located to comply with the City's Noise Control Ordinance (Chapter 6.16) and in compliance with the Planning Division setback provisions. The units shall be screened from view of the street.

21. Off-haul Excavated Soil

The grading plan shall show specific grading cut and/or fill quantities. Cross section details showing the existing and proposed grading through at least two perpendicular portions of the site or more shall be provided to fully characterize the site. A note on the grading plans should state that all excess dirt shall be off-hauled from the site and shall not be used as fill material unless approved by the Building and Planning Divisions.

22. Storm Water Management

The Plans shall show how the project is in compliance with the New Development and Construction Best Management Practices and Urban Runoff Pollution Prevention program, as adopted by the City for the purposes of preventing storm water pollution (i.e. downspouts directed to landscaped areas, minimize directly connected impervious areas, etc.).

23. California Water Service Upgrades

The Applicant is responsible for contacting and coordinating with the California Water Service Company any water service improvements including but not limited to relocation of water meters, increasing water meter sizing or the installation of fire hydrants. The City recommends consulting

with California Water Service Company as early as possible to avoid construction or inspection delays.

24. Underground Utility Location

The Plans shall show the location of underground utilities pursuant to Chapter 12.68 of the Municipal Code. Underground utility trenches shall avoid the drip-lines of all protected trees unless approved by the project arborist and the Planning Division.

PRIOR TO ISSUANCE OF BUILDING OR DEMOLITION PERMIT

25. Tree Protection

Tree protection shall be installed around the dripline(s) of the trees to remain as shown on the site plan approved with the building permit plans and any additional tree protection measures pursuant to the conditions herein shall be implemented. Fencing shall be chain link and a minimum of five feet in height with posts driven into the ground and shall not be removed until all building construction has been completed unless approved by the Planning Division.

26. School Fee Payment

In accordance with Section 65995 of the California Government Code, and as authorized under Section 17620 of the Education Code, the property owner shall pay the established school fee for each school district the property is located in and provide receipts to the Building Division. The City of Los Altos shall provide the property owner the resulting increase in assessable space on a form approved by the school district. Payments shall be made directly to the school districts.

PRIOR TO FINAL INSPECTION

27. Landscaping Installation and Verification

Provide a landscape Certificate of Completion, signed by the project's landscape professional and property owner, verifying that the trees, landscaping and irrigation were installed per the approved landscape documentation package.

28. Landscape Privacy Screening

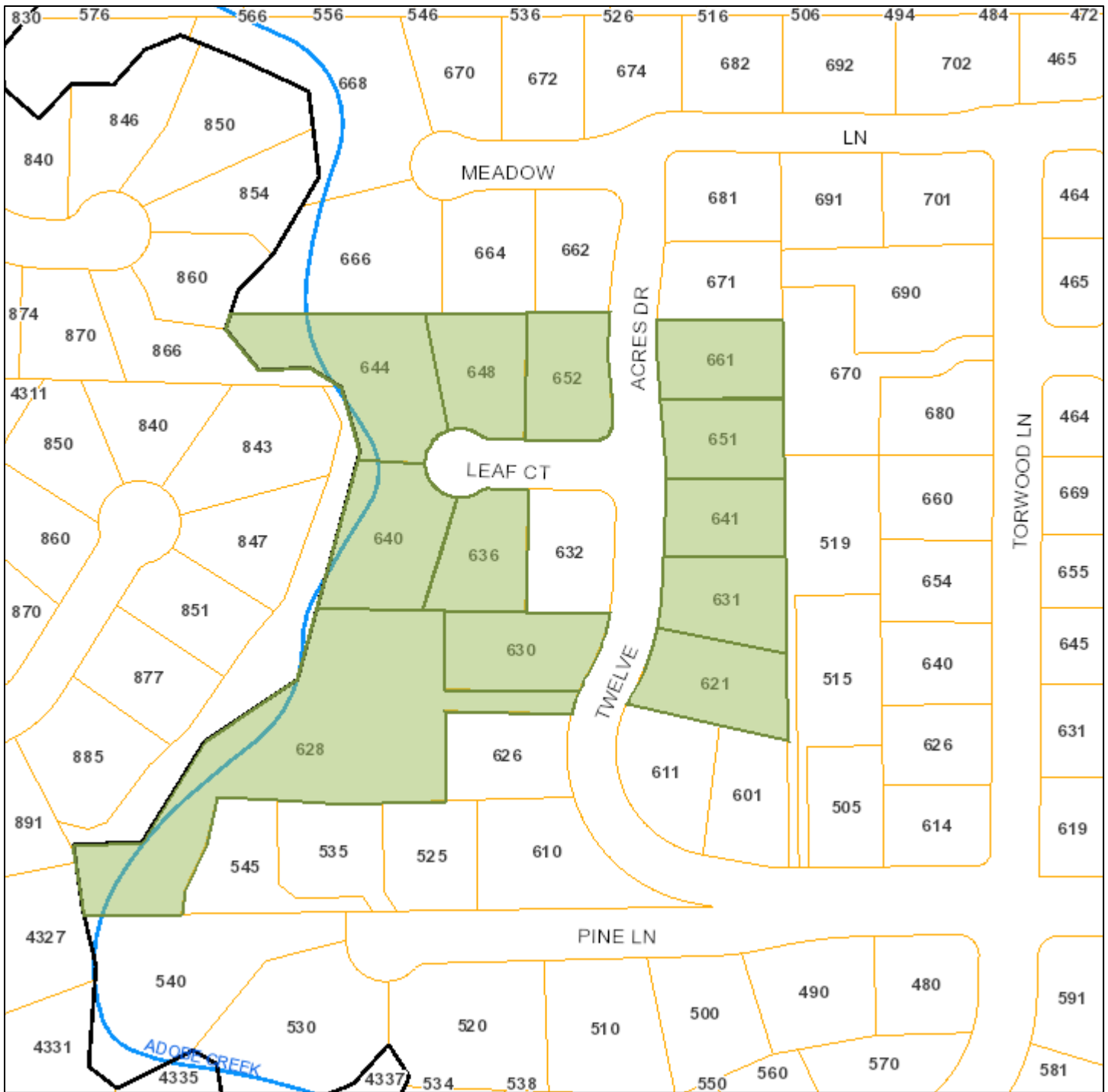
The landscape intended to provide privacy screening shall be inspected by the Planning Division and shall be supplemented by additional screening material as required to adequately mitigate potential privacy impacts to surrounding properties.

29. Green Building Verification

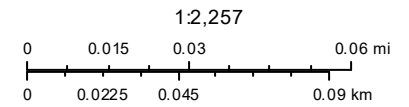
Submit verification that the house was built in compliance with the City's Green Building Ordinance (Chapter 12.26 of the Municipal Code).

ATTACHMENT A

Notification Map



Print Date: March 21, 2022



- Schools
- Park and Recreation Areas
- City Limit
- Waterways
- Situs Label
- TaxParcel
- Road Names

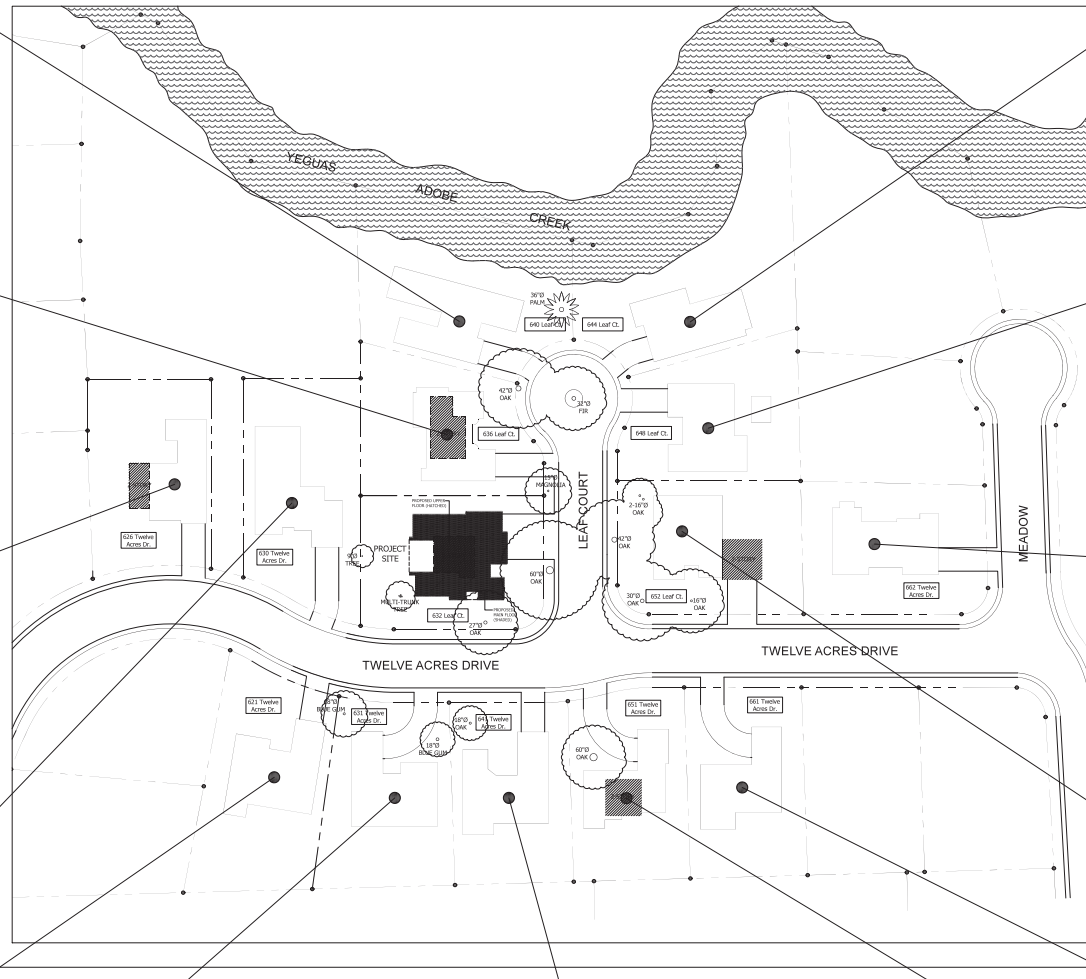
The information on this map was derived from the City of Los Altos' GIS. The City of Los Altos does not guarantee data provided is free of errors, omissions, or the positional accuracy, and it should be verified.

Esri, HERE, Garmin, (c) OpenStreetMap contributors, and the GIS user community

ATTACHMENT B

NEIGHBORHOOD CONTEXT MAP

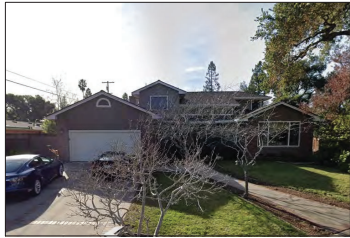
1" = 40'-0"



640 LEAF COURT



644 LEAF COURT



636 LEAF COURT



648 LEAF COURT



626 TWELVE ACRES DRIVE



662 TWELVE ACRES DRIVE



630 TWELVE ACRES DRIVE



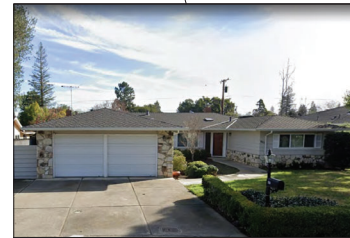
652 LEAF COURT



621 TWELVE ACRES DRIVE



631 TWELVE ACRES DRIVE



641 TWELVE ACRES DRIVE



651 TWELVE ACRES DRIVE



661 TWELVE ACRES DRIVE

*
 THE INFORMATION ON THIS PLAN, SPECIFICATIONS, AND SCHEDULES, IS THE PROPERTY OF CHAPMAN DESIGN ASSOCIATES AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF CHAPMAN DESIGN ASSOCIATES.

NO.	REVISION

NOTE
 JOB SITE ADDRESS
 632 LEAF COURT
 LOS ALTOS, CA 94022

CLIENT (JOB No. 22124)
 MUJICA RESIDENCE
 MAILING ADDRESS
 632 LEAF COURT, LOS ALTOS, CA 94022
 PHONE No. (415) 726-6128

CHAPMAN
 DESIGN
 ASSOCIATES
 620 S. EL MONTE AVENUE
 LOS ALTOS, CA 94022 (650) 941-6880

SHEET

A1.2

640 Leaf Ct

I have received the plans from Gayle Mujica at 632 Leaf Court.

Homeowner Address

Homeowner Name

Homeowner Signature

I have reviewed plans with Gayle Mujica and support the Project Design at 632 Leaf Court.

Homeowner Address

640 Leaf Ct. Los Altos

Homeowner Name

Donis Voight

Homeowner Signature

Donis Voight

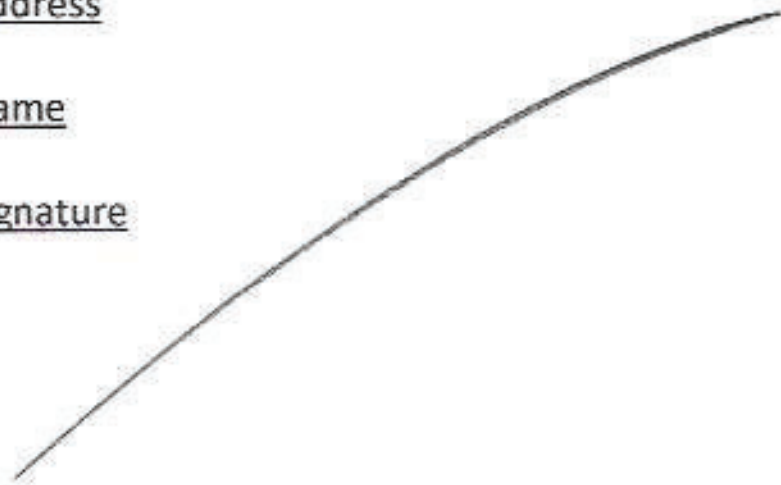
636 Leaf Ct

I have received the plans from Gayle Mujica at 632 Leaf Court.

Homeowner Address

Homeowner Name

Homeowner Signature



I have reviewed plans with Gayle Mujica and support the Project Design at 632 Leaf Court.

Homeowner Address

636 Leaf Ct, Los Altos, CA 94022

Homeowner Name

Lyssa Vandenberg

Homeowner Signature



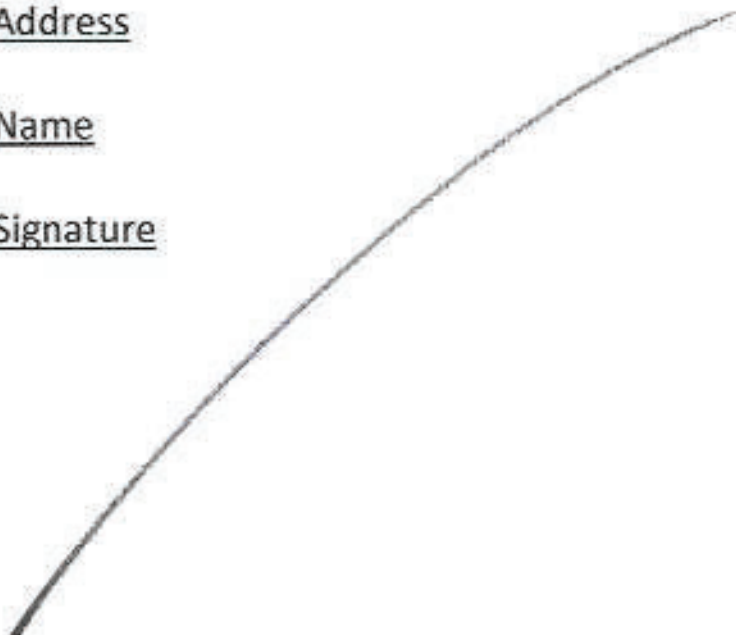
626 Twelve Acres

I have received the plans from Gayle Mujica at 632 Leaf Court.

Homeowner Address

Homeowner Name

Homeowner Signature



I have reviewed plans with Gayle Mujica and support the Project Design at 632 Leaf Court.

Homeowner Address 626 TWELVE ACRES DR.

Homeowner Name SARA & MATT TOWN

Homeowner Signature 

630 Twelve Acres

I have received the plans from Gayle Mujica at 632 Leaf Court.

Homeowner Address 630 Twelve Acres Dr

Homeowner Name

Homeowner Signature

I have reviewed plans with Gayle Mujica and support the Project Design at 632 Leaf Court.

Homeowner Address 630 Twelve Acres Dr
LOS ALTOS

Homeowner Name Kevin + Amy Lynch

Homeowner Signature



621 Twelve Acres

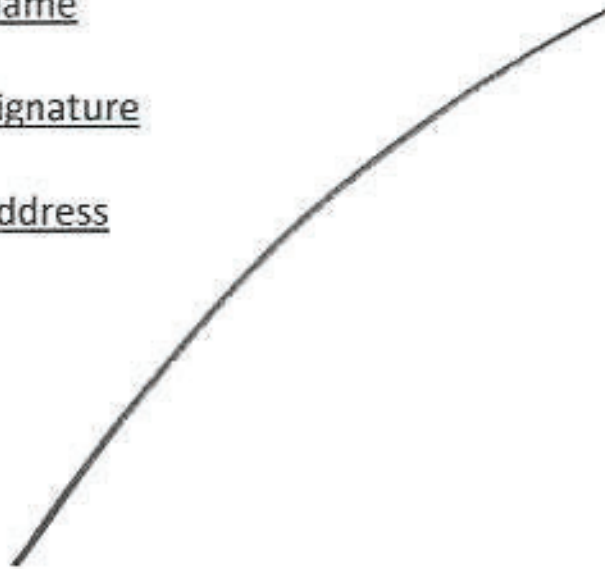
I have received the plans from Gayle Mujica at 632 Leaf Court

Homeowner Address

Homeowner Name

Homeowner Signature

Homeowner address



I have reviewed plans with Gayle Mujica, and support the Project Design at 632 Leaf Court

Homeowner Address 621 Twelve Acres Drive

Homeowner Name Dale & Joanne Spaulding

Homeowner Signature J. Spaulding

Homeowner address

621 Twelve Acres

From: Nina Tran [REDACTED]
Subject: Re: Plans for our Home Remodel
Date: March 14, 2022 at 2:41 PM



To: Gayle Mujica [REDACTED] Ken Tan [REDACTED]

Hi Gayle,

Thanks for sharing your remodeling plan. The home design look very nice and will go well with the neighborhood. I will ask Kathryn to lookout for the mail.

All the best with the remodeling project!

Nina

On Monday, March 14, 2022, 10:42 AM, Gayle Mujica <gaylemujica@mac.com> wrote:

Hi Nina and Ken,

So glad we have gotten the rental agreement all done and so look forward to moving into your lovely home this summer!

I wanted to share with you the plans for our remodel. We have been walking these around the neighborhood over the past week or so to show to any neighbors within a certain radius. It's a requirement from the city, but it's also just good to do! I've enjoyed getting to talk with so many neighbors we haven't seen in months due to winter weather and the COVID surge in January.

I'm attaching the plans here.

I'm also going to send them to you via "certified letter" Basically, that's what we are supposed to do if we can't get an in-person review and signature on a little form. Just wanted to give you a heads up on that! The certified letter has to be sent to your Twelve Acres address.

I think the home will fit in quite nicely with the neighborhood look/feel, and we are super excited about it! Let me know if you have any questions!
Gayle

641 Twelve Acres

I have received the plans from Gayle Mujica at 632 Leaf Court.

Homeowner Address

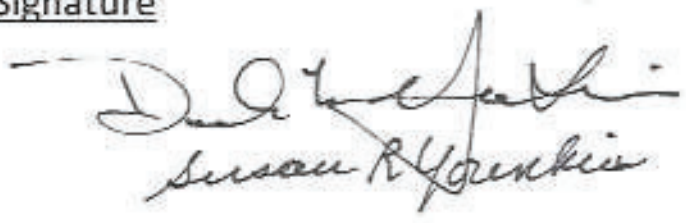
Homeowner Name

Homeowner Signature

I have reviewed plans with Gayle Mujica and support the Project Design at 632 Leaf Court.

Homeowner Address 641 TWELVE ACRES DR

Homeowner Name DEREK YOUNKIN
SUSAN YOUNKIN

Homeowner Signature


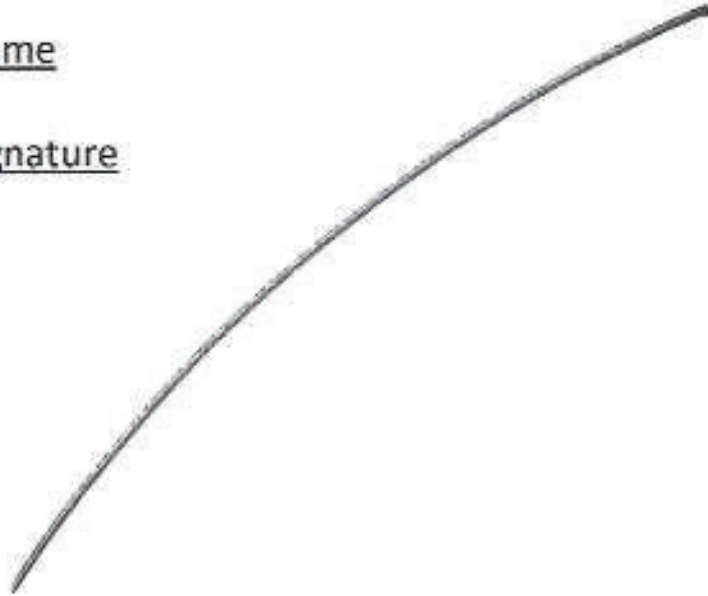
651 Twelve Acres

I have received the plans from Gayle Mujica at 632 Leaf Court.

Homeowner Address

Homeowner Name

Homeowner Signature



I have reviewed plans with Gayle Mujica and support the Project Design at 632 Leaf Court.

Homeowner Address 651 Twelve Acres Dr.

Homeowner Name Kristen Laite

Homeowner Signature 

661 Twelve Acres

I have received the plans from Gayle Mujica at 632 Leaf Court.

Homeowner Address

Homeowner Name

Homeowner Signature



I have reviewed plans with Gayle Mujica and support the Project Design at 632 Leaf Court.

Homeowner Address 661 Twelve Acres Dr.


Homeowner Name Charles & Nancy DUNN

Homeowner Signature Charles Dunn

I have received the plans from Gayle Mujica at 632 Leaf Court.

Homeowner Address 652 Leaf Ct.

Homeowner Name Mark & Kevin Beckstead

Homeowner Signature 

We are ~~opposed~~ to the proposed location of the 3-car garage and driveway on Leaf Ct. facing the front of our house.

I have reviewed plans with Gayle Mujica and support the Project Design at 632 Leaf Court.

Homeowner Address

Homeowner Name

Homeowner Signature

648 Leaf Ct

I have received the plans from Gayle Mujica at 632 Leaf Court.

Homeowner Address

Homeowner Name

Homeowner Signature



I have reviewed plans with Gayle Mujica and support the Project Design at 632 Leaf Court.

Homeowner Address 648 Leaf Ct, Los Altos CA 94022

Homeowner Name Medhavi Sahai

Homeowner Signature Medhavi Sahai

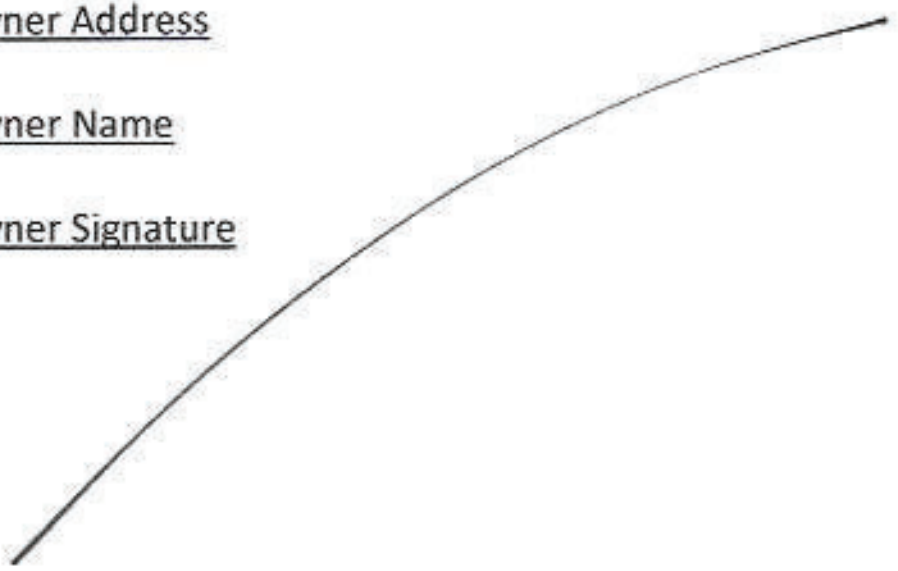
644 Leaf Ct

I have received the plans from Gayle Mujica at 632 Leaf Court.

Homeowner Address

Homeowner Name

Homeowner Signature



I have reviewed plans with Gayle Mujica and support the Project Design at 632 Leaf Court.

Homeowner Address 644 Leaf Ct, Los Altos CA 94022

Homeowner Name Zachary Held

Homeowner Signature 

NOTICE OF DEVELOPMENT PROPOSAL

PROJECT TITLE - 632 LEAF LANE SC22-0002

PROJECT DESCRIPTION

PROPOSED 3,878SF. NEW HOUSE FROM AN EXISTING 2,949 SF (NEW BASEMENT 1878SF)

TWO-STORY SINGLE FAMILY RESIDENCE WITH AN ATTACHED GARAGE.

APPLICANT

CHAPMAN DESIGN ASSOCIATES
(650) 941-6890
INFO@WCDA.COM

PROPERTY OWNER

GAYLE & FERNANDO MUJICA
(650) 397-5259
MUJICAHOUSE632@GMAIL.COM

PROJECT PLANNER

NAZANEEN
650-947-2640
nhealy@losaltosca.gov

(650)947-2750
PLANNER@LOSALTOSCA.GOV

PUBLIC MEETING DATE

PUBLIC MEETING NOTICE

Wednesday, June 15, 2022 at 7:00 pm

The Design Review Commission will hold a public meeting to consider the project at the above date and time with an opportunity for public comment.

Please Note: Per California Executive Order No. 20-20, the Commission will meet in collaboration with Members of the Public and will provide an opportunity for public comment. Members of the Public may also be invited to participate in the meeting. Public meetings will be held in accordance with applicable laws. One and a half hours of the public meeting will be reserved for public comment. Members of the public are encouraged to arrive before the meeting to get to the meeting at 650@losaltosca.gov. Items listed on this notice will be discussed at the meeting.

Project plans and information are available for review on the City's website at <https://www.losaltosca.gov/CommunityDevelopment/> and <https://www.losaltosca.gov/CommunityDevelopment/Projects/632-Leaf-Lane-Residential-Development>. The agenda report will be available on the City's website the Thursday before the meeting date at <https://www.losaltosca.gov/designreviewcommission/page/design-review-commission-180>. Written comments can be mailed or delivered in person to the Community Development Department or emailed to the Project Planner. Verbal comments can also be made at the Public Meeting.



8111 SPACE FOR MEETING NOTICE

8111 MEET

06/20/2022

ATTACHMENT D

Nazaneen Healy

From: Mark Beckstead <[REDACTED]>
Sent: Tuesday, June 7, 2022 10:33 AM
To: Nazaneen Healy
Cc: Kevin Beckstead
Subject: 632 Leaf Court, design review

Hello Nazaneen,

My family and I are the current residents at 652 Leaf court which is directly across the street (Leaf Court) from the proposed project. Since my last email to you, I have met with the Mujica's to discuss my concerns regarding relocating their driveway and garage from Twelve Acres Drive to Leaf Court. I have been to the city website and I have reviewed the proposed plans. Please note that the 3D rendering (Facing Leaf Ct.) is not consistent with the Site Plan as it relates to the width of the driveway and the amount of space covered with pavers. The Site Plan shows pavers extending to the property line adjacent to 636 Leaf Ct. which is consistent with what the Mujica's have told me regarding their plans to store their auto-transport trailer on that side of their property. The 3-D rendering which is on the website, and posted on the property, shows that area as landscaped. This brings to point my main concern. That is, replacement of existing landscape with a 3-car garage and a driveway wide enough for 3 cars plus a trailer disrupts the park-like setting of Leaf Court. Front yard setbacks with well-maintained landscape and heritage oaks provides the character of Leaf Court and it has been that way since it was developed in the 1950's. Twelve Acres Drive, which is wider and more of a thoroughfare, is better suited to serve the demands of in-and-out access with multiple cars and trailer.

We, the long-term residents at 652 Leaf Court are opposed to the proposed development as planned.

Sincerely,

Mark and Kevin Beckstead

--

J. Mark Beckstead, DDS

[REDACTED]

[REDACTED]

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Nazaneen Healy

From: Mark Beckstead [REDACTED]
Sent: Wednesday, March 9, 2022 5:25 PM
To: Nazaneen Healy
Cc: Kevin Beckstead
Subject: Proposed teardown and rebuild at 632 Leaf Court
Attachments: 20220309_Ihave reviewed plans with Gayle Mujica and support the.pdf

Hello Naz,

I am a resident of Los Altos at 652 Leaf Ct for the past 31 years. Yesterday, Gayle Mujica shared with me their plans for a complete rebuild of their residence at 632 Leaf Court. As you may know, they are planning on repositioning their future home on the lot and changing the position of the driveway and garage to face Leaf Court. That would put their new garage, driveway and trailer storage directly across the street from the front of our house. It would also put their proposed 3-car garage, and gated trailer parking on their side yard, immediately next door to a two car garage at 636 Leaf court where cars are routinely double parked along with a long-term storage trailer. The exchange of a landscaped front yard facing Leaf Court for a three-car garage and driveway negatively impacts the esthetics of leaf court and is not in harmony with the park-like setting of the neighborhood. Our view will be additionally impacted by the proposed second story.

We are opposed to the proposed plans and we would like the planning commission to consider our concerns. Please see the attachments regarding the current situation.



Current 2-car garage and parking pad at 632 Leaf Court facing Twelve Acres Drive



Current front of home at 632 facing Leaf Court from our front door. The proposal is to replace this side of the house with a 3-car garage and driveway wide enough to park a trailer in the side yard next to 636 Leaf Court which is already crowded with cars and a trailer. We are opposed to the negative impact on the esthetics and beauty of Leaf Court. We are in favor of more trees and landscape with fewer cars and trailers.



Current 2-car garage, driveway and parking situation at 636 Leaf Court

--

J. Mark Beckstead, DDS



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I have received the plans from Gayle Mujica at 632 Leaf Court.

Homeowner Address 652 Leaf Ct.

Homeowner Name Mark & Kevin Beckstead

Homeowner Signature 

We are ~~opposed~~ to the proposed location of the 3-car garage and driveway on Leaf Ct. facing the front of our house.

I have reviewed plans with Gayle Mujica and support the Project Design at 632 Leaf Court.

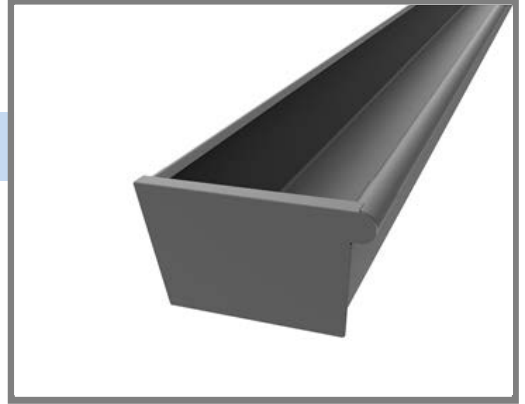
Homeowner Address

Homeowner Name

Homeowner Signature



ROOFING
40 YO COMP



GUTTERS
PAINTED OGEE
W/ ROUND
DOWNSPOUTS



EXTERIOR WALLS
HARDY PLANK



WINDOWS
DUAL GLAZED
ALUMINUM
CLAD WOOD / MARVIN
2X2



WINDOW TRIM
2X3 KILN DRIED
PAINTED WHITE
2X3 APRON AT BASE





3D RENDERING (FACING TWELVE ACRES DR.)



3D RENDERING (FACING LEAF COURT)

PROPERTY DESCRIPTION

OWNER FERNANDO & GAYLE MUJICA
 ADDRESS 632 LEAF COURT
 LOS ALTOS, CA 94022
 PARCEL 167-25-031
 ACREAGE 0.259
 ZONING R1-10
 OCCUPANCY R-3/U
 CONSTR. TYPE V-B
 PROJECT DESCRIPTION

CONSULTANT DIRECTORY

SURVEYOR DODGE ASSOCIATES, SURVEYING
 20652 CHAPARRA CIRCLE
 PENN VALLEY, CA 95946
 (530) 432-5212
 SOILS ENGINEER GEOFORENSICS INC.
 303 VINTAGE PARK DRIVE, STE. 220
 FOSTER CITY, CA 94404
 (650) 349-3369
 CIVIL ENGINEER GREEN CIVIL ENGINEERING
 1905 S. NORFOLK ST., SUITE #350
 SAN MATEO, CA 94403
 STRUCTURAL ENGINEER N/A
 ENERGY CONSULTANT N/A
 LANDSCAPE ARCHITECT W. JEFFREY HEID, LANDSCAPE ARCHITECT
 617 ONELDA DRIVE
 SAN JOSE, CA 95123
 (408) 691-5207

SHEET INDEX

ARCHITECTURAL SHEETS

- A0.0 COVER SHEET
- A1.0 SITE PLAN
- A1.1 FLOOR DIAGRAM & AREA CALCULATIONS
- A1.2 NEIGHBORHOOD CONTEXT MAP
- A2.0 EXISTING ELEVATIONS
- A3.0 PROPOSED BASEMENT PLAN
- A3.1 PROPOSED MAIN FLOOR PLAN
- A3.2 PROPOSED UPPER FLOOR PLAN
- A3.3 PROPOSED ROOF PLAN
- A4.0 N/A
- A5.0 FRONT & REAR ELEVATIONS
- A5.1 RIGHT & LEFT SIDE ELEVATIONS
- A6.0 CROSS SECTIONS "A-A" & "B-B"
- A6.1 CROSS SECTIONS "C-C" & "D-D"

CIVIL SHEETS

- C - 1 GRADING & DRAINAGE PLAN
- C - 2 EROSION PLAN
- C - 3 DETAIL SHEET
- C - 4 DETAIL SHEET
- C - 5 CONSTRUCTION BMPS

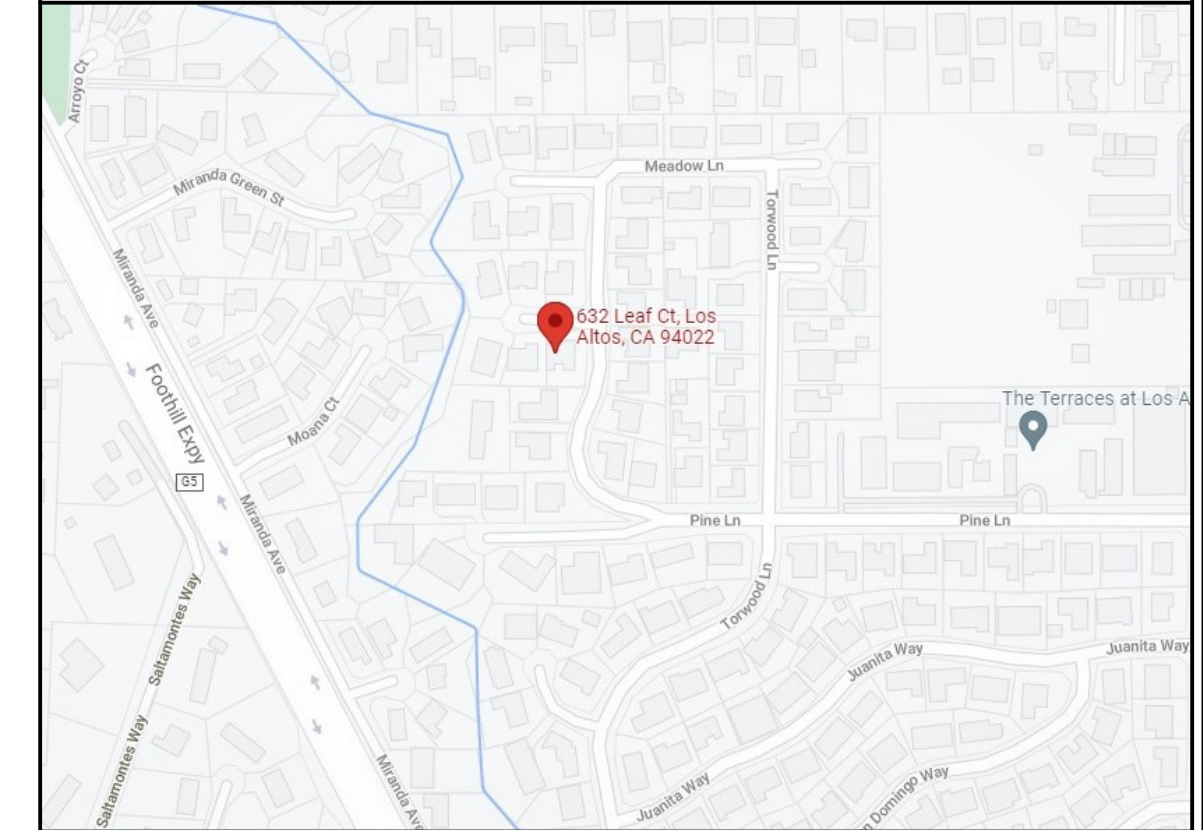
- T - 1 TOPOGRAPHIC SURVEY

- L - 1 LANDSCAPE PLAN
 (MASTER PLANTING PLAN)

APPLICABLE CODES

THIS PROJECT SHALL COMPLY (AS REQUIRED) WITH THE:
 2019 CALIFORNIA BUILDING CODE
 2019 CALIFORNIA RESIDENTIAL CODE
 2019 CALIFORNIA MECHANICAL CODE
 2019 CALIFORNIA ELECTRICAL CODE
 2019 CALIFORNIA PLUMBING CODE
 2019 CALIFORNIA FIRE CODE
 2019 CALIFORNIA ENERGY CODE
 2019 CALIFORNIA GREEN BUILDING

VICINITY MAP



NOTE
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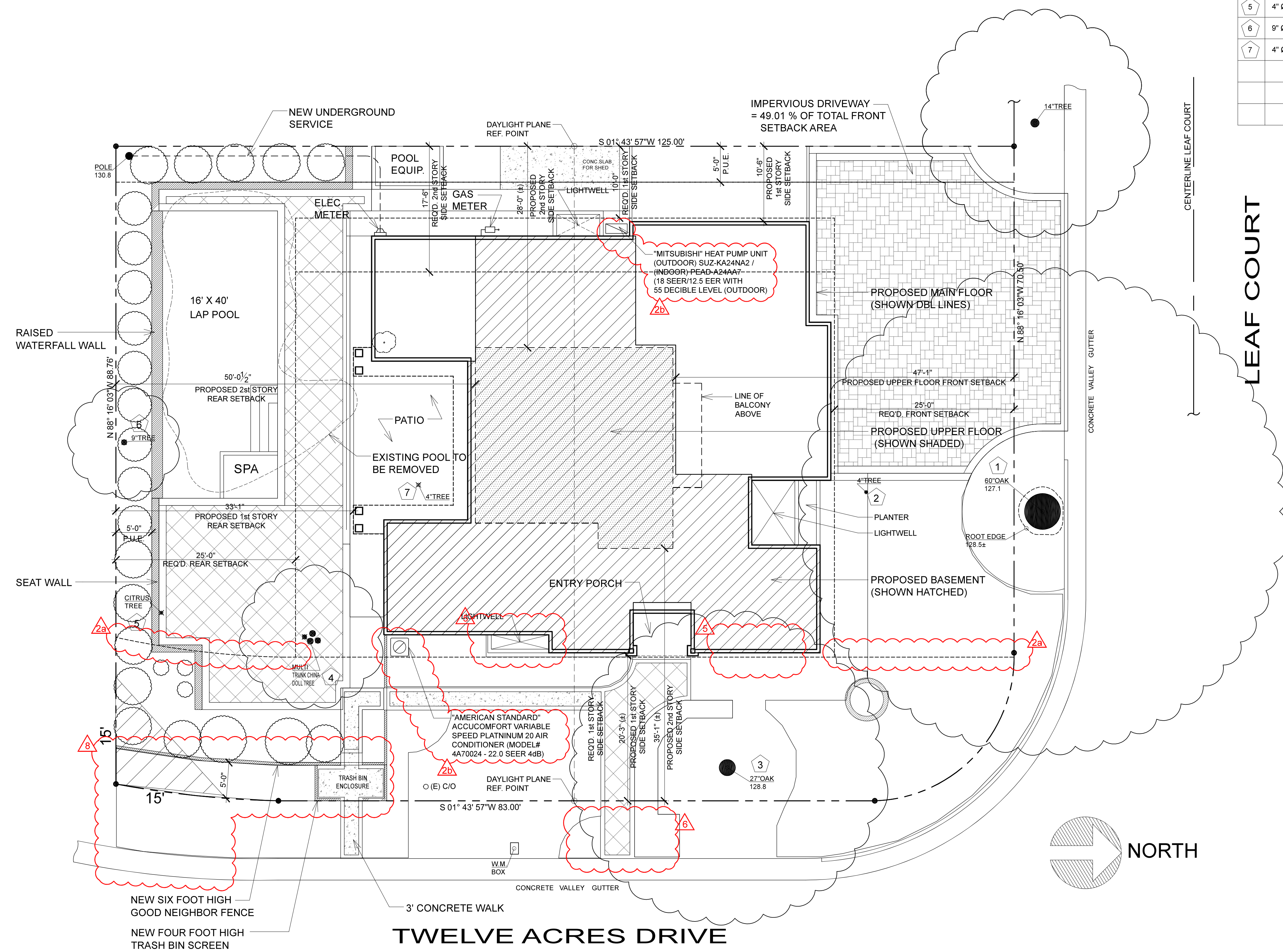
1	1

JOB SITE ADDRESS
 632 LEAF COURT
 LOS ALTOS, CA 94022

CLIENT (JOB No. 22124)
 MUJICA RESIDENCE
 MAILING ADDRESS
 632 LEAF COURT, LOS ALTOS, CA, 94022
 PHONE No. (214) 726-6789

CHAPMAN DESIGN ASSOCIATES
 620 S. EL MONTE AVENUE
 LOS ALTOS, CA 94022 (650) 941-8890

SHEET
 A0.0



NO.	TREE SCHEDULE	REMOVE	
		YES	NO
1	60" Ø OAK TREE		✓
2	4" Ø TREE		✓
3	27" Ø OAK TREE		✓
4	MULTI TRUNK TREE	✓	
5	4" Ø CITRUS TREE	✓	
6	9" Ø TREE	✓	
7	4" Ø TREE	✓	

- ### GENERAL NOTES
- A** VERIFICATION CONTRACTOR & ALL SUBCONTRACTORS SHALL VERIFY ALL GRADES, DIMENSIONS & CONDITIONS PRIOR TO START OF WORK
 - B** DIMENSIONS DO NOT SCALE THESE DRAWINGS. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DRAWINGS
 - C** DISCREPANCIES MINOR DISCREPANCIES BETWEEN DRAWINGS & ACTUAL CONDITIONS ARE TO BE EXPECTED. CONDITIONS REQUIRING CLARIFICATION SHALL BE BROUGHT TO THE ATTENTION OF C.D.A. IMMEDIATELY
 - D** CONTRACT DOCUMENTS CONSTRUCTION DOCUMENTS TO POST DATE JOB COPY. VERIFY DOCUMENT DATE WITH C.D.A. PRIOR TO START OF WORK. CONTRACTOR TO ENSURE THAT ANY REVISED DOCUMENTS SHALL BE PROVIDED TO SUBCONTRACTORS IMMEDIATELY

- ### SITE PLAN NOTES
- 1** DRIVEWAY SEE LANDSCAPE PLAN BY OTHERS
 - 2** FLATWORK SEE LANDSCAPE PLAN BY OTHERS
 - 3** GRADING SEE GRADING & DRAINAGE PLAN BY OTHERS
 - 4** DRAINAGE SEE GRADING & DRAINAGE PLAN BY OTHERS
 - 5** STORM DRAINAGE SEE GRADING & DRAINAGE PLAN BY OTHERS
 - 6** SEWER LATERAL CONNECT TO EXISTING CLEANOUT PROVIDE BACKFLOW PREVENTER
 - 7** GAS & ELEC SERVICE NEW 200 AMP ELEC. METER EXISTING GAS METER TO REMAIN
 - 8** SETBACKS AS PER PLAN
 - 9** TREES TREE PROTECTION FENCING SHALL BE CHAIN LINK AND A MIN. OF FIVE FEET IN HEIGHT WITH POSTS DRIVEN INTO GROUND.
 - 10** FENCES AS PER LANDSCAPE PLAN
 - 11** LANDSCAPE SEE LANDSCAPE PLAN BY OTHERS

TABULATIONS

	EXISTING	PROPOSED	ALLOWED / REQUIRED
LOT COVERAGE: (land area covered by all structures that are over 6 feet in height)	2,948.63 s.f. (26.13 %)	3,332.11 s.f. (29.53 %)	3,384.80 (30.00%)
FLOOR AREA	2,948.63 s.f. (26.13 %)	3,878.06 s.f. (34.37 %)	3,878.26 s.f. (34.37%)
SETBACKS: Front Rear Right Side (1st / 2nd) Left Side (1st / 2nd)	25.00 feet / N/A 32.875 feet / N/A 10.00 feet / N/A 19.14 feet / N/A	25.00 feet / 47.08 feet 33.08 feet / 50.04 feet 10.50 feet / 28.00 feet 20.25 feet / 35.08 feet	25.00 feet 25.00 feet 10.00 feet / 17.50 feet 10.00 feet / 20.00 feet
HEIGHT:	(±) 12'-6"	(±) 25'-11"	27'-0"

SQUARE FOOTAGE BREAKDOWN

	EXISTING	CHANGE IN	TOTAL PROPOSED
HABITABLE LIVING AREA: Includes habitable basement areas	2,447.08 sq. ft.	(+) 2,450.47 sq. ft.	4,897.55 sq. ft.
NON-HABITABLE AREA: Does not include covered porches or open structures	501.55 sq. ft.	(+) 357.26 sq. ft.	858.81 sq. ft.
TOTAL PROPOSED FLOOR AREA:			5,756.36 sq. ft.

LOT CALCULATIONS

NET LOT AREA:	11,282.66 square feet
FRONT YARD HARDSCAPE AREA: Hardscape area in the front yard setback shall not exceed 50%	1,0474.32 (49.01 %)
LANDSCAPING BREAKDOWN:	Total hardscape area (existing & proposed): 4,787.89 sq. ft. Existing softscape (undisturbed area): 0 sq. ft. New softscape area: 3,162.66 sq. ft. Building footprint w/ all porches: 3,332.11 sq. ft. Total (Net size of lot): 11,282.66 sq. ft.

COVERAGE & F.A.R.

	SITE PLAN	SQ. FT. = 0.259 AC.
COV. ALLOWABLE	3,384.80	SQ. FT. = 30.00 %
EXISTING	2,948.63	SQ. FT. = 26.13 %
PROPOSED	3,332.11	SQ. FT. = 29.53 %
FAR. ALLOWABLE	3,878.26	SQ. FT. = 34.37 %
EXISTING	2,948.63	SQ. FT. = 26.13 %
PROPOSED	3,878.06	SQ. FT. = 34.37 %

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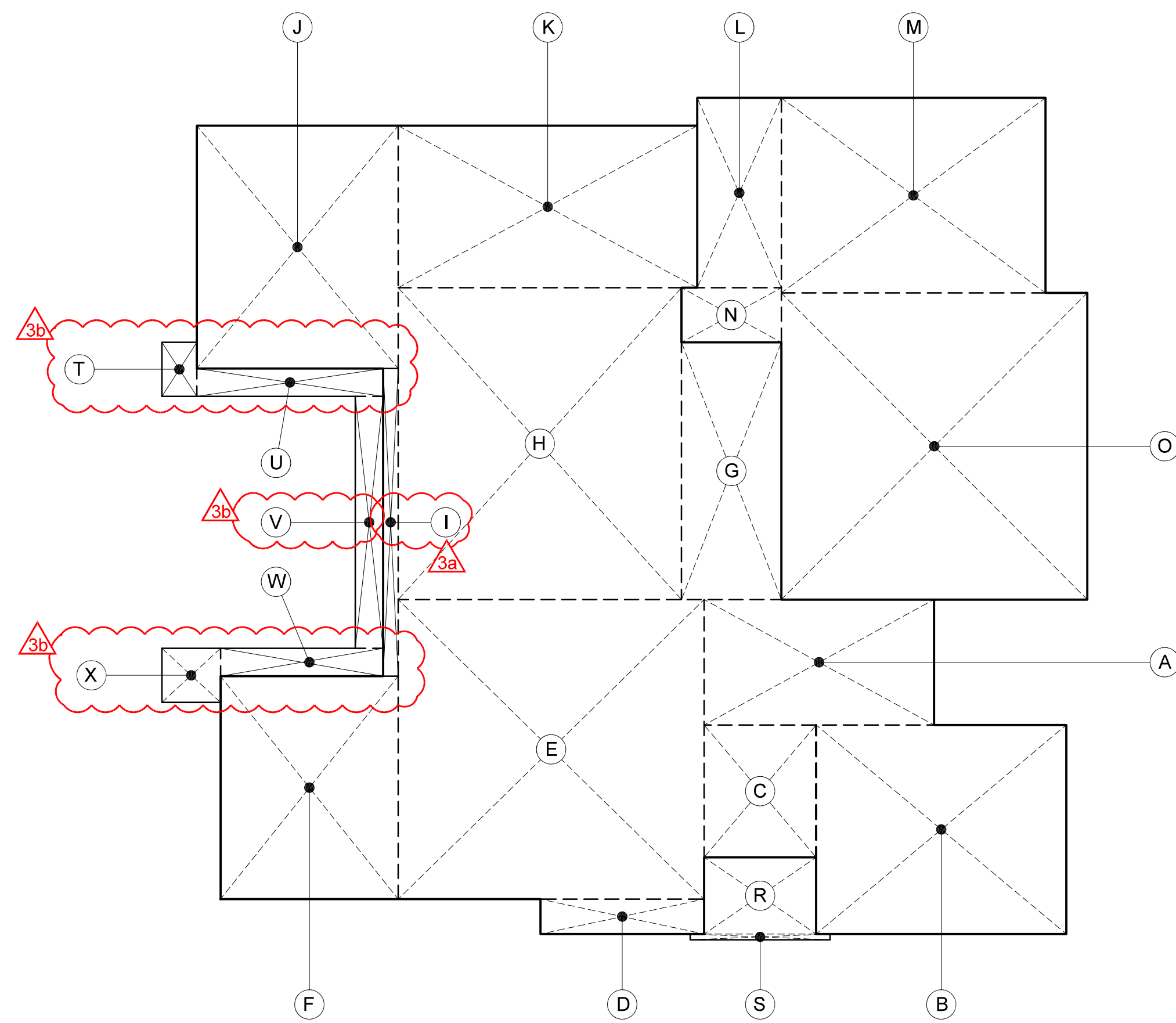
NO.	REVISION	DATE	BY	DESCRIPTION

CLIENT (JOB No. 22124)
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PHONE No. (214) 726-6789

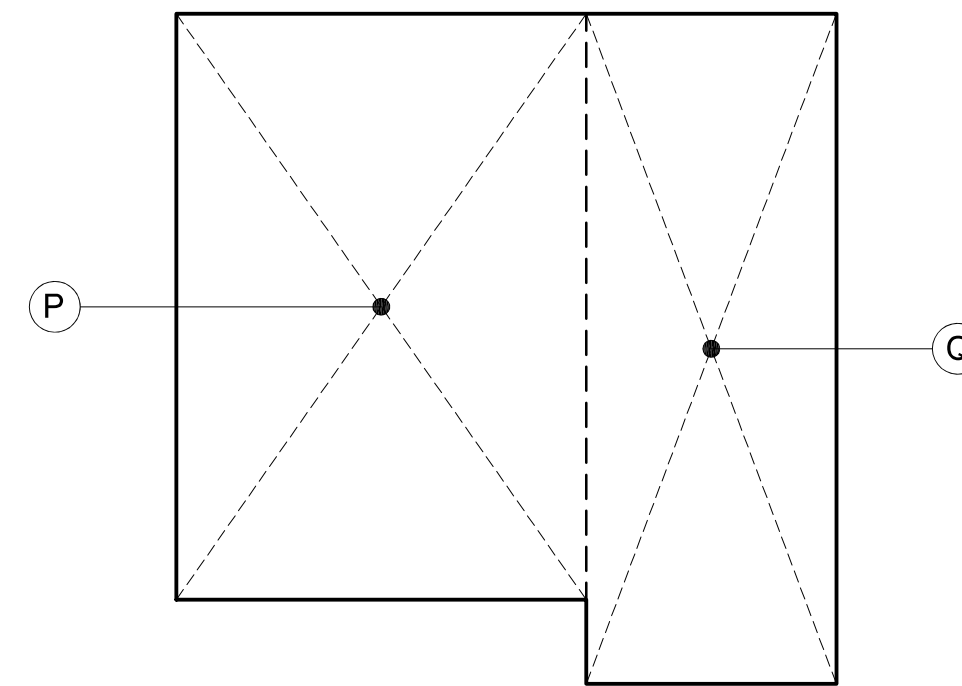
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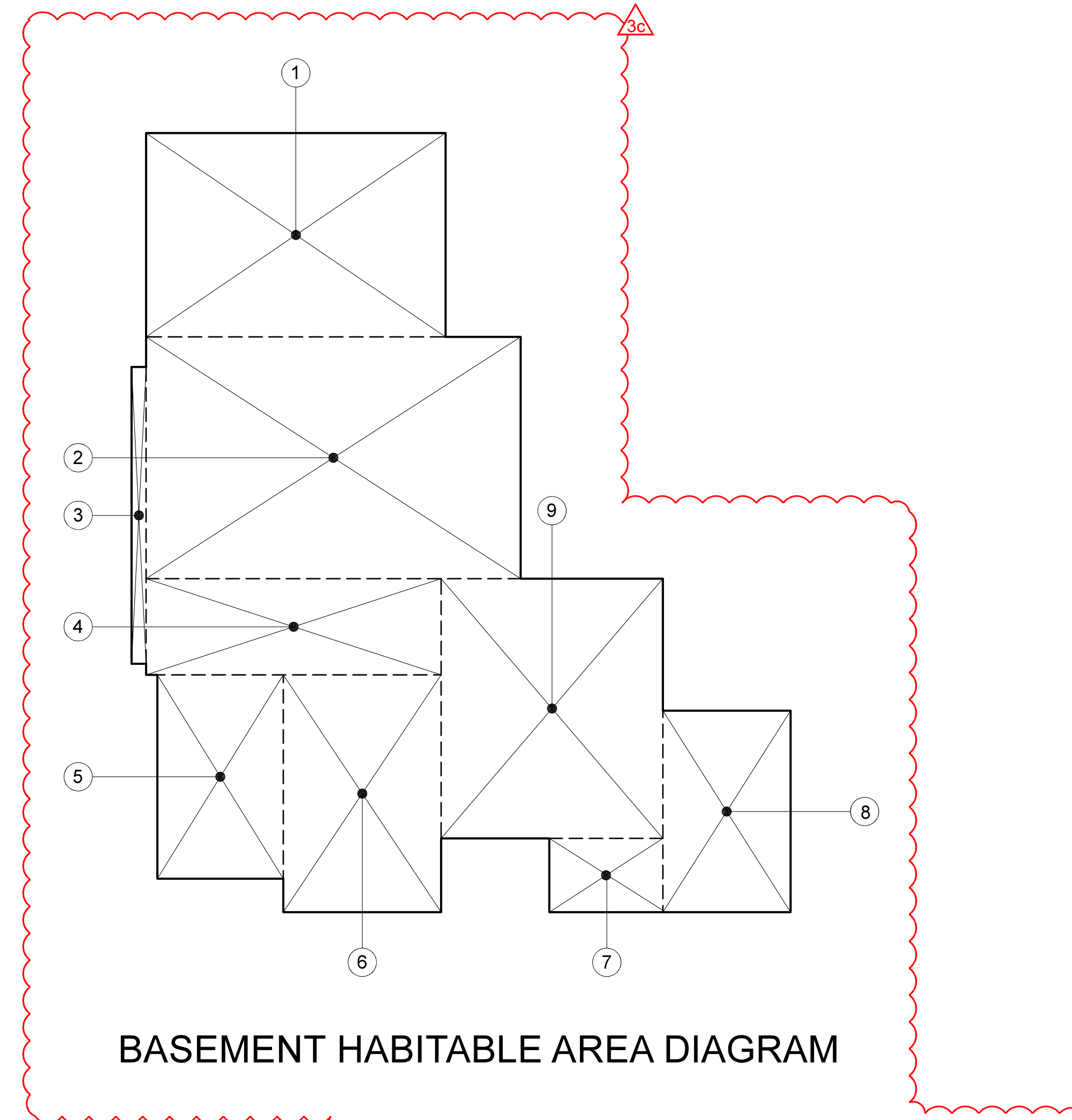
SITE PLAN
1/8" = 1'-0"



MAIN FLOOR AREA DIAGRAM



UPPER FLOOR AREA DIAGRAM



BASEMENT HABITABLE AREA DIAGRAM

FLOOR AREA CALCULATIONS

PROPOSED MAIN FLOOR

A	9.00' X 16.50'	148.50 S.F.
B	15.00' X 17.96'	269.40 S.F.
C	8.04' X 9.50'	76.38 S.F.
D	2.50' X 11.75'	29.37 S.F.
E	21.50' X 21.96'	472.14 S.F.
F	12.75' X 16.00'	204.00 S.F.
G	7.16' X 18.46'	132.17 S.F.
H	20.33' X 22.375'	454.88 S.F.
I	1.08' X 22.08'	23.84 S.F.
J	14.46' X 17.41'	251.75 S.F.
K	11.62' X 21.46'	249.36 S.F.
		2,311.79 S.F.

GARAGE :

L	6.04' X 13.62'	82.26 S.F.
M	14.00' X 18.96'	265.44 S.F.
N	3.91' X 7.16'	27.99 S.F.
O	22.00' X 21.96'	483.12 S.F.
		858.81 S.F.

FLOOR AREA CALCULATIONS

PROPOSED UPPER FLOOR :

P	17.08' X 24.41'	416.92 S.F.
Q	10.41' X 27.91'	290.54 S.F.
		707.46 S.F.
TOTAL PROPOSED		3,878.06 S.F.

COVERAGE:

R	5.50' X 8.04'	44.22 S.F.
S	0.41' X 10.04'	4.11 S.F.
T	2.50' X 3.87'	9.67 S.F.
U	2.00' X 13.37'	27.74 S.F.
V	2.00' X 18.08'	36.16 S.F.
W	2.00' X 11.66'	23.32 S.F.
X	3.87' X 4.21'	16.29 S.F.
		161.51 S.F.
TOTAL PROPOSED COVERAGE		3,332.11 S.F.

BASEMENT HABITABLE (NOT COUNTED AS F.A.R. OR COVERAGE)

1	15.16' X 22.29'	337.91 S.F.
2	18.00' X 27.875'	501.75 S.F.
3	1.08' X 22.08'	23.84 S.F.
4	7.16' X 21.958'	157.22 S.F.
5	9.375' X 15.16'	142.12 S.F.
6	11.75' X 17.66'	207.50 S.F.
7	5.50' X 8.458'	46.52 S.F.
8	9.50' X 15.00'	142.50 S.F.
9	16.50' X 19.33'	318.94 S.F.
		1,878.30 S.F.

FLOOR DIAGRAM & AREA CALCULATIONS

1/8" = 1'-0"

NOTE
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NO.	REVISIONS
1	
2	
3	
4	
5	

CLIENT (JOB No. 22124)
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632 LEAF COURT, LOS ALTOS, CA, 94022
PHONE No. (214) 726-6789

JOB SITE ADDRESS
632 LEAF COURT
LOS ALTOS, CA 94022

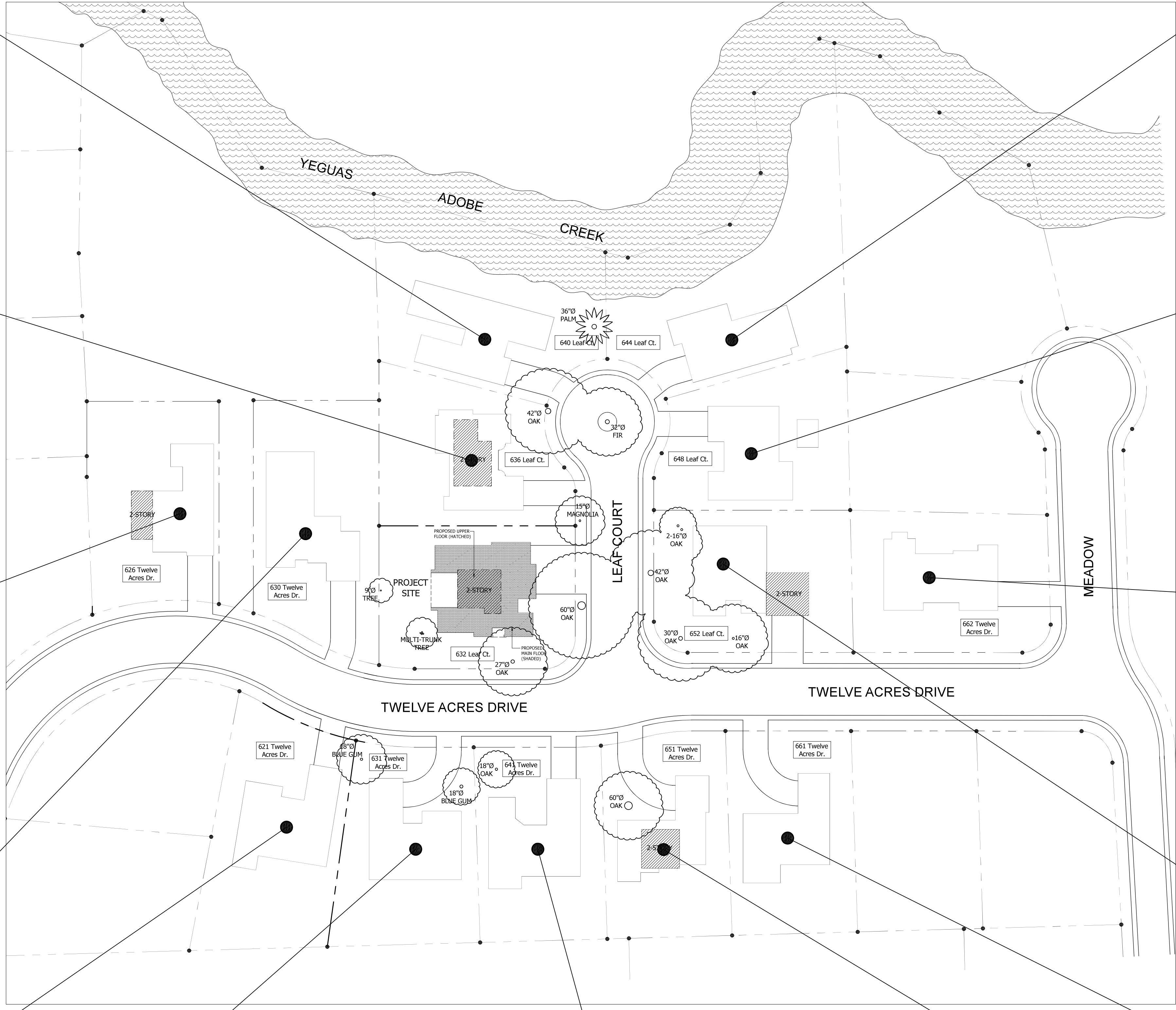
CHAPMAN DESIGN ASSOCIATES
620 S. EL MONTE AVENUE
LOS ALTOS, CA 94022 (650) 941-8890

SHEET

A1.1

NEIGHBORHOOD CONTEXT MAP

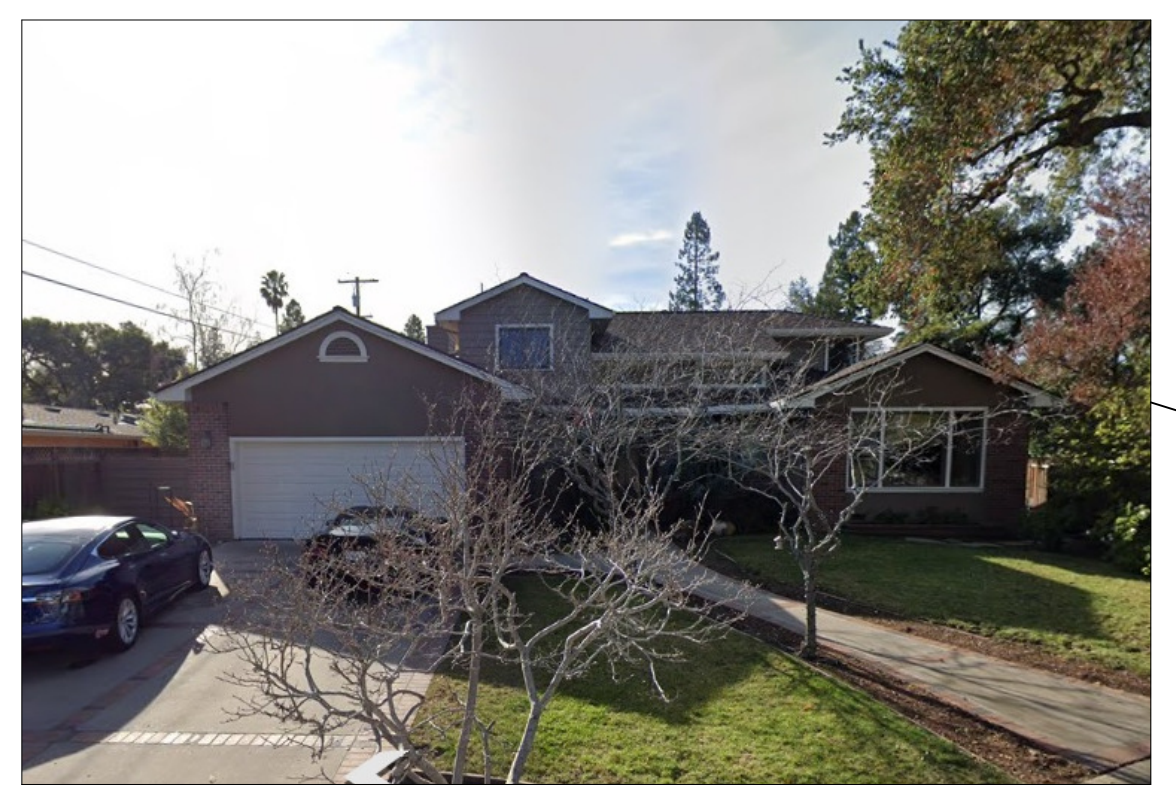
1" = 40'-0"



640 LEAF COURT



644 LEAF COURT



636 LEAF COURT



648 LEAF COURT



626 TWELVE ACRES DRIVE



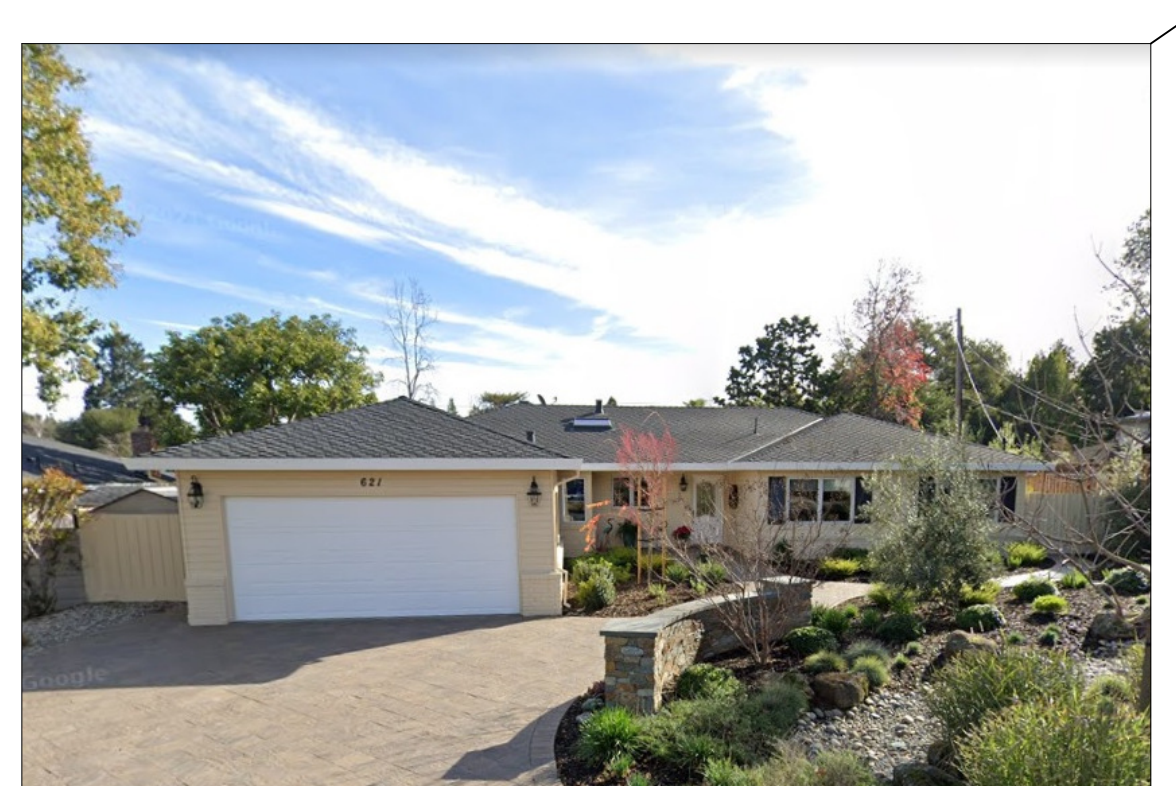
662 TWELVE ACRES DRIVE



630 TWELVE ACRES DRIVE



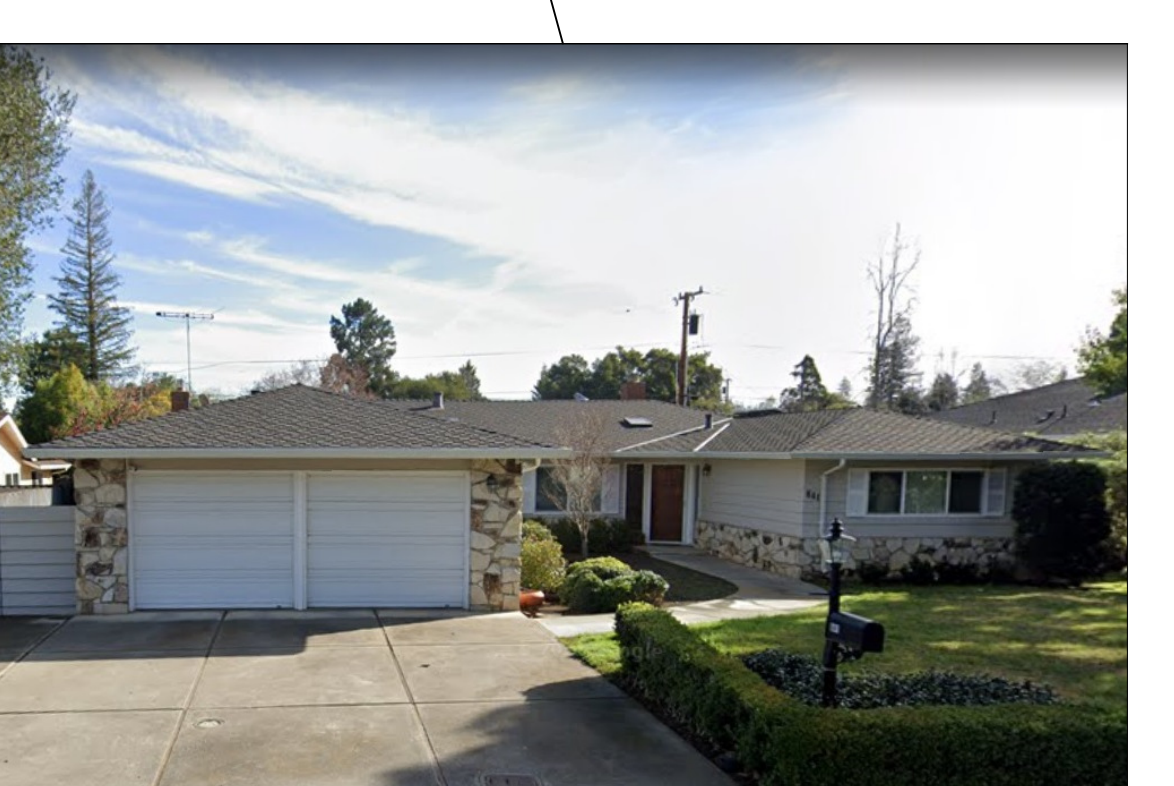
652 LEAF COURT



621 TWELVE ACRES DRIVE



631 TWELVE ACRES DRIVE



641 TWELVE ACRES DRIVE



651 TWELVE ACRES DRIVE



661 TWELVE ACRES DRIVE

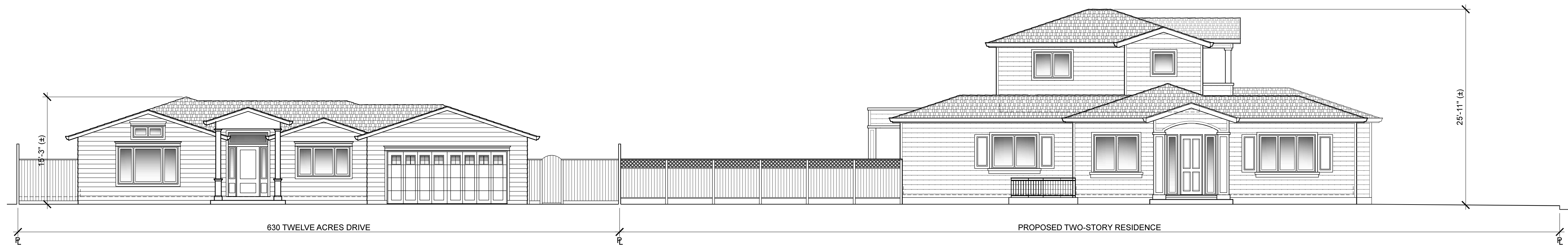
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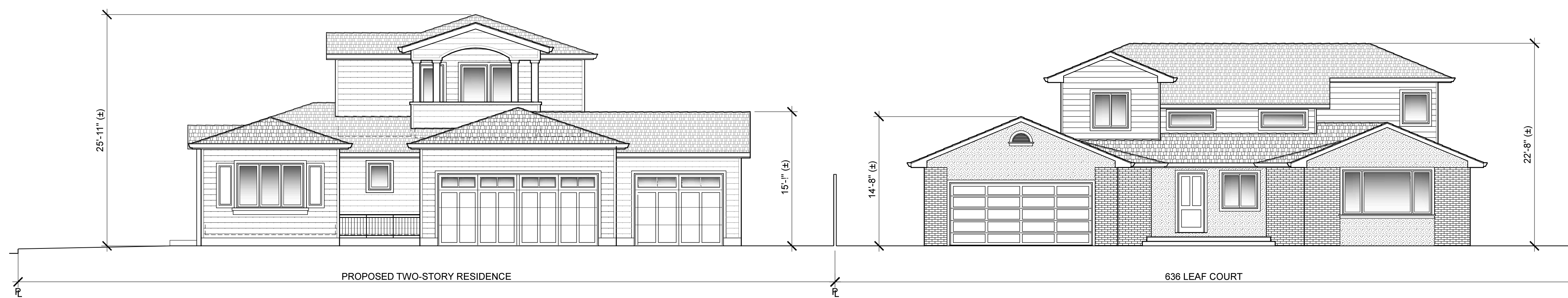
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 LOS ALTOS, CA 94022

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 LOS ALTOS, CA 94022 (650) 941-8890

SHEET
A1.2



STREETSCAPE
(TWELVE ACRES DRIVE)



STREETSCAPE
(LEAF COURT)

STREETSCAPE

1/8" = 1'-0"

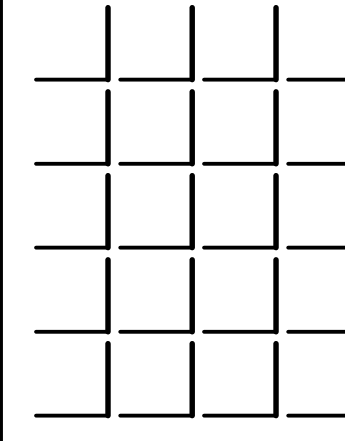
NOTE
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NO.	REVISIONS	DATE
1	CITY PLAN CHECK COMMENTS	

CLIENT (JOB No. 22124)
MUJICA RESIDENCE
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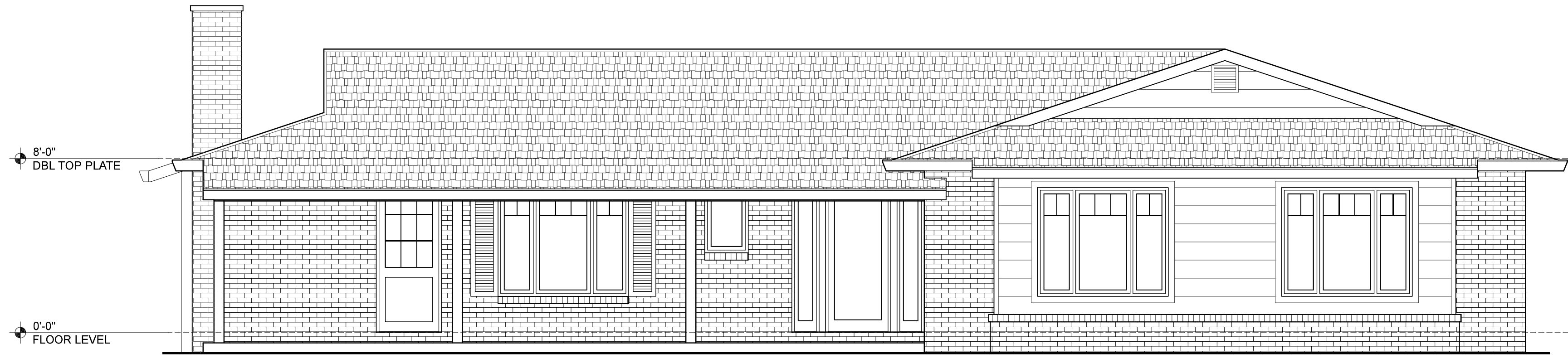
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**CHAPMAN
DESIGN
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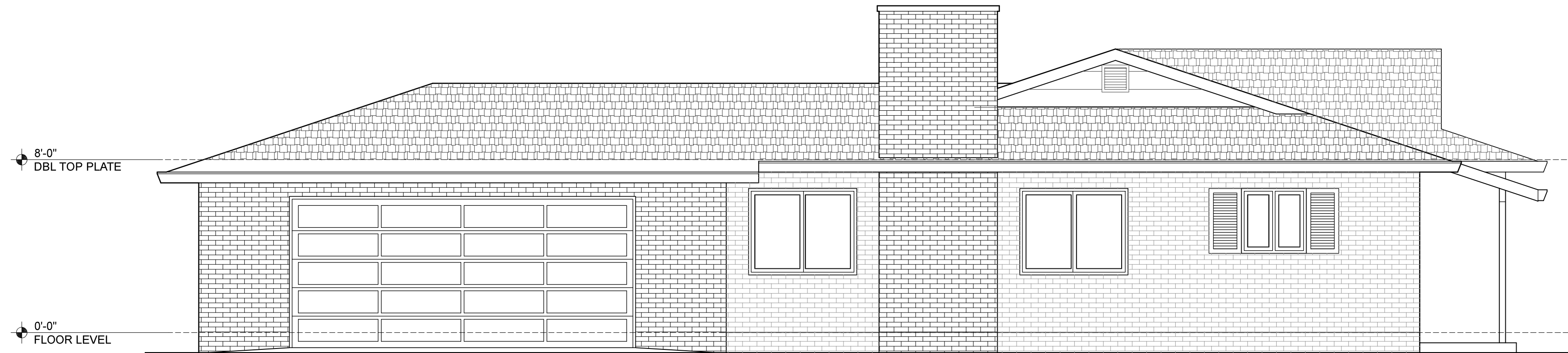
SHEET

A1.3



EXISTING (LEAF COURT) ELEVATION

1/4" = 1'-0"



EXISTING (TWELVE ACRES DR.) ELEVATION

1/4" = 1'-0"

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JOB SITE ADDRESS

632 LEAF COURT
 LOS ALTOS, CA 94022

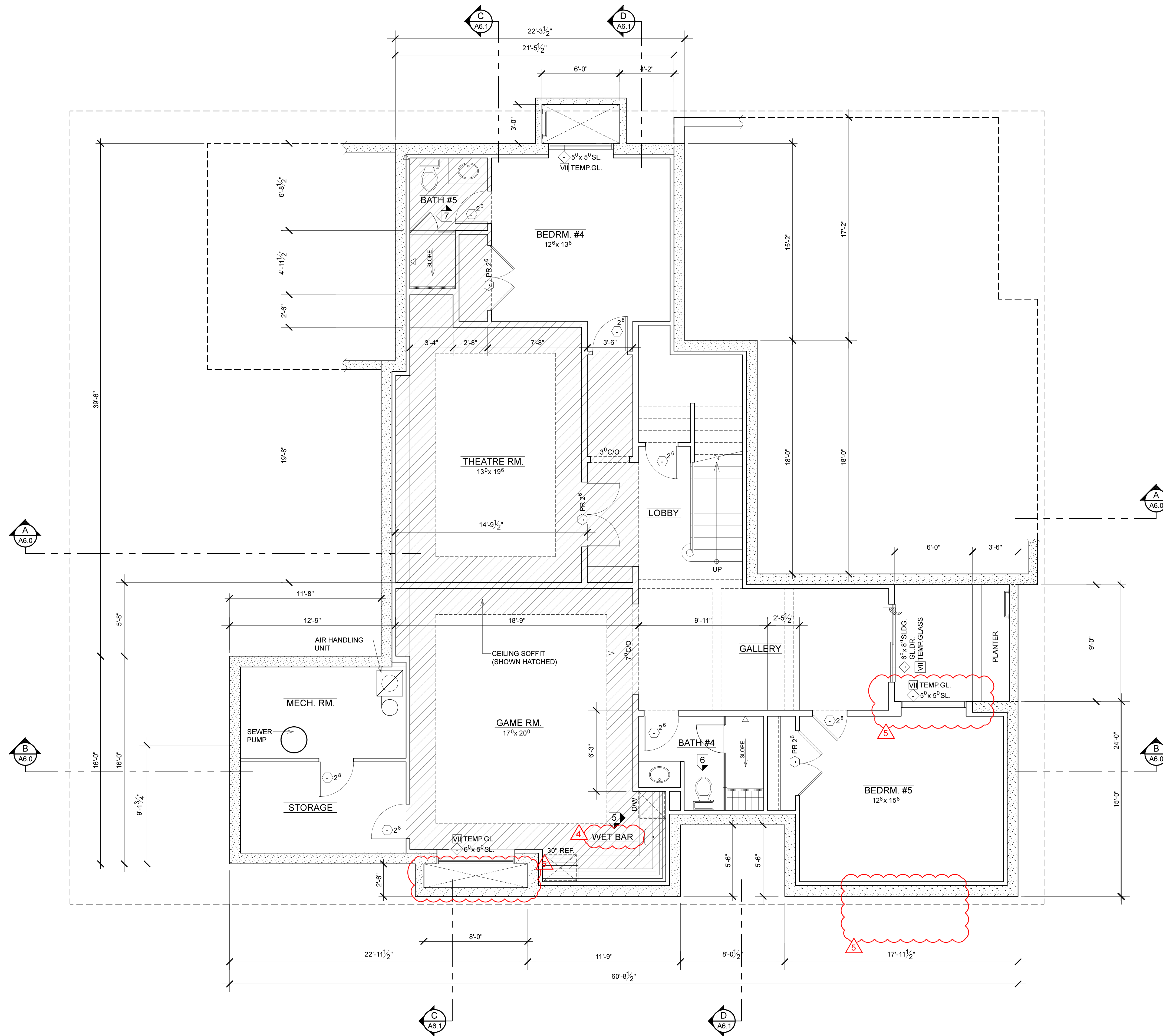
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 PHONE No. (214) 726-6789

**CHAPMAN
 DESIGN
 ASSOCIATES**
 620 S. EL MONTE AVENUE
 LOS ALTOS, CA 94022 (650) 941-8890

SHEET

A2.0



PROPOSED BASEMENT PLAN

1/4" = 1'-0"

GENERAL NOTES

- I EGRESS** ALL BEDROOMS TO HAVE WINDOWS MEETING EGRESS REQUIREMENTS PER SEC. 310 & 311 CRC 2019
 - MIN. NET CLEAR OPENABLE AREA 5.7 S.F.
 - MIN. NET CLEAR OPENABLE WIDTH = 20"
 - MIN. NET CLEAR OPENABLE HEIGHT = 24"
- II GARAGE COMMON WALL** GARAGE SHALL BE SEPARATED FROM THE DWELLING UNIT AND ITS ATTIC AREA BY MEANS OF MIN. 1/2" GYPSUM BOARD (5/8" MIN. @ ATTIC) APPLIED TO THE GARAGE SIDE PER CRC SEC. R302.588. DOOR OPENINGS BETWEEN A PRIVATE GARAGE AND DWELLING UNIT SHALL BE EQUIPPED WITH EITHER SOLID WOOD DOORS OR SOLID / HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1 1/2" THICK & SHALL BE SELF-CLOSING & SELF-LATCHING
- III STAIRWAYS** DESIGN SHALL CONFORM TO SEC. R311.7 CRC 2019. USABLE SPACE UNDER STAIR TO BE 1 HR. RATED CONSTRUCTION. 6'-8" MIN. HEADROOM CLEARANCE FROM TREAD NOSING TO SOFFIT ABOVE. STYLE & FINISH PER OWNER'S SPECIFICATIONS
 - 36" MINIMUM CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT (PROJECTION OF HANDRAIL INTO STAIRWAY TO BE 4.5" MAXIMUM ON EITHER SIDE)
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- VI FIREPLACE** DESIGN SHALL CONFORM TO CH. 10 CRC 2019, WITH NON-COMBUSTIBLE FACE & HEARTH. SEE SEC. R1001.9 CRC 2019 FOR FURTHER INFORMATION REGARDING THE HEARTH. SEE INTERIOR ELEVATIONS FOR SPECIFICATIONS
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- VIII FIRE BLOCKS** PROVIDE FIRE BLOCKING IN ALL AREAS AS DESCRIBED, OUTLINED & DEFINED IN SEC. R302.11, R302.8 & R1001.12 CRC 2019
- IX WATER CLOSETS** PROVIDE 24" MIN. CLEARANCE IN FRONT OF WATER CLOSET BOWL AND 30" MIN. CLEAR WIDTH FOR WATER CLOSET SPACE (SEC. 407.6 2019 CPC)
- X SHOWERS** ALL SHOWERS SHALL CONFORM TO SECTION R307 2019 CRC
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 - ALL SHOWER DOORS SHALL OPEN SO AS TO MAINTAIN NOT LESS THAN 22 INCHES UNOBSTRUCTED OPENING FOR EGRESS (2019 CPC 408.5)
- XI WATER CONSERVING FIXTURES** ALL (N) PLUMBING FIXTURES (AS OUTLINED IN SEC. 402, 2019 CPC) SHALL CONFORM TO SEC. 402, 2019 CPC
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 - SHOWERHEADS TO HAVE A MAXIMUM FLOW USE OF 1.8 GPM @ 80 psi
 - BATHROOM FAUCETS TO HAVE A MAXIMUM FLOW USE OF 1.2 GPM @ 80 psi
 - KITCHEN SINK FAUCETS TO HAVE A MAXIMUM FLOW USE OF 1.8 GPM @ 80 psi

ROOM FINISH SCHEDULE

SEE ARCHITECTURAL SPECIFICATIONS SHEET FOR ABBREVIATIONS

ROOM NAME	FLOOR	BASEBOARD	WALLS	CEILING	RE-MARKS

LEGEND

- WINDOW - SEE "WINDOW SCHEDULE" ON SHEET A - FOR FURTHER SPECIFICATIONS
- DOOR - SEE "DOOR SCHEDULE" ON SHEET A - FOR FURTHER SPECIFICATIONS
- EXISTING WALLS TO REMAIN
- NEW WALLS
- (E) EXISTING
- (N) NEW
- RELOCATED

NOTE
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NO.	DESCRIPTION	CITY PLAN CHECK	COMMENTS

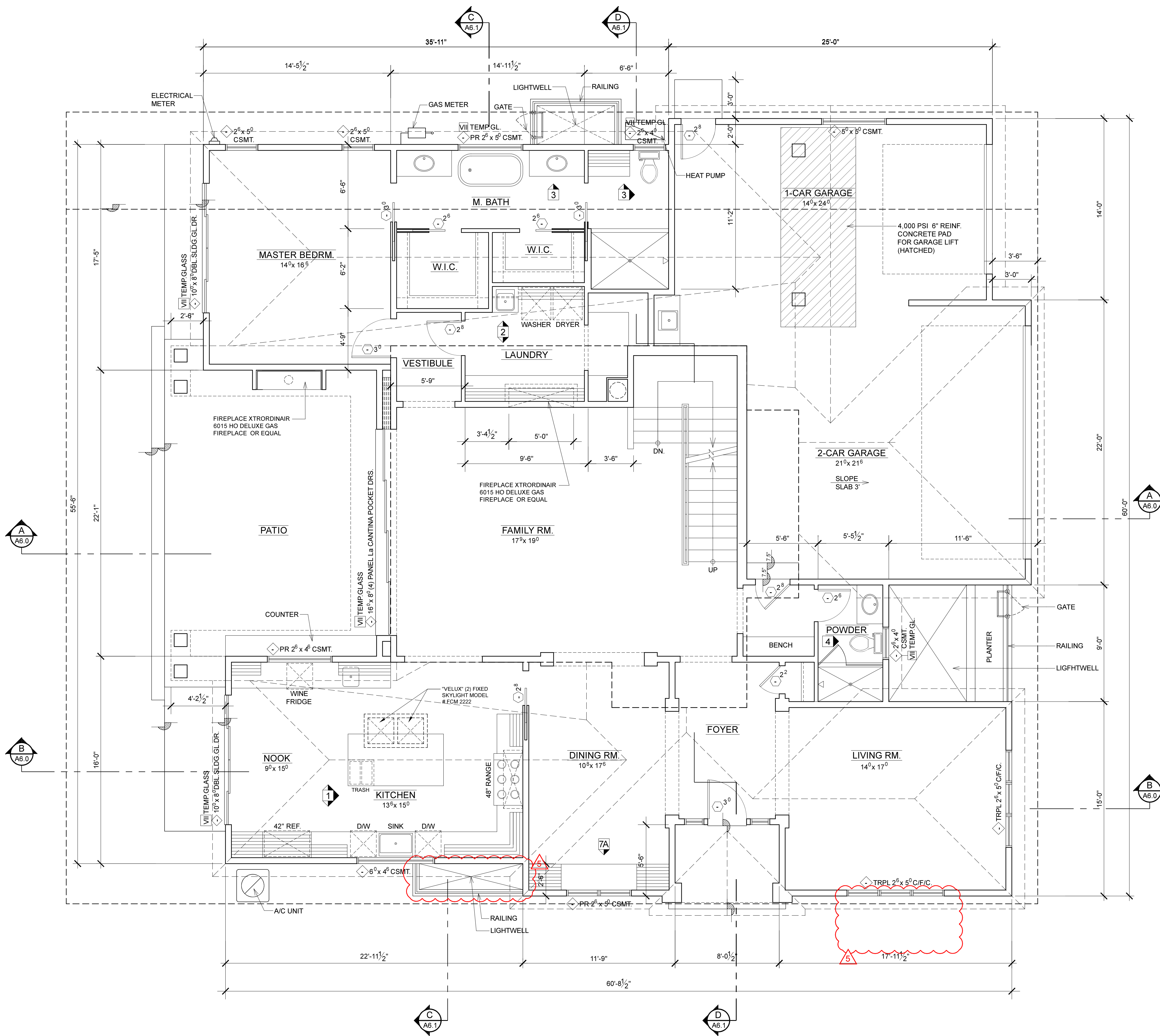
CLIENT (JOB No. 22124)
MUJICA RESIDENCE
 MAILING ADDRESS
 632 LEAF COURT, LOS ALTOS, CA, 94022
 PHONE No. (214) 726-6789

JOB SITE ADDRESS
 632 LEAF COURT
 LOS ALTOS, CA 94022

CHAPMAN DESIGN ASSOCIATES
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 LOS ALTOS, CA 94022 (650) 941-8890

SHEET

A3.0



PROPOSED MAIN FLOOR PLAN

1/4" = 1'-0"

GENERAL NOTES

- I EGRESS** ALL BEDROOMS TO HAVE WINDOWS MEETING EGRESS REQUIREMENTS PER SEC. 310 & 311 CRC 2019
 - MIN. NET CLEAR OPENABLE AREA = 5.7 S.F.
 - MIN. NET CLEAR OPENABLE WIDTH = 20"
 - MIN. NET CLEAR OPENABLE HEIGHT = 24"
- II GARAGE COMMON WALL** GARAGE SHALL BE SEPARATED FROM THE DWELLING UNIT AND ITS ATTIC AREA BY MEANS OF MIN. 1/2" GYPSUM BOARD (5/8" MIN. @ ATTIC) APPLIED TO THE GARAGE SIDE PER CRC SEC. R302.588. DOOR OPENINGS BETWEEN A PRIVATE GARAGE AND DWELLING UNIT SHALL BE EQUIPPED WITH EITHER SOLID WOOD DOORS OR SOLID / HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1 1/2" THICK & SHALL BE SELF-CLOSING & SELF-LATCHING
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ROOM FINISH SCHEDULE

SEE ARCHITECTURAL SPECIFICATIONS SHEET FOR ABBREVIATIONS

ROOM NAME	FLOOR	BASEBOARD	WALLS	CEILING	RE-MARKS

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 * CITY PLAN CHECK

NO.	REVISION	DATE

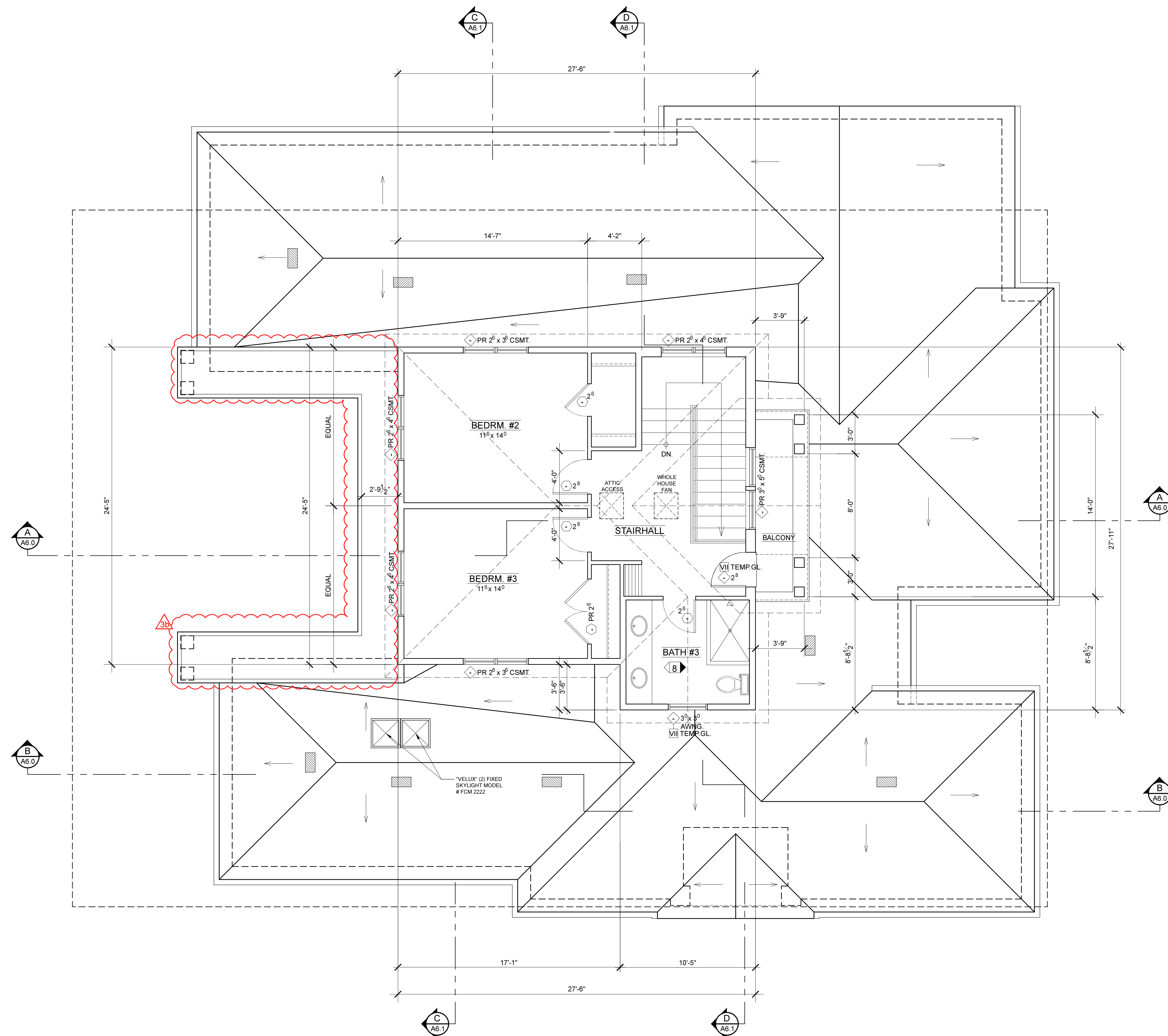
CLIENT (JOB No. 22124)
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SHEET

A3.1



PROPOSED UPPER FLOOR PLAN

1/4" = 1'-0"

GENERAL NOTES

- I EGRESS** ALL BEDROOMS TO HAVE WINDOWS MEETING EGRESS REQUIREMENTS PER SEC. 310 & 311 CRC 2019
 - MIN. NET CLEAR OPENABLE AREA 5.7 S.F.
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 - MIN. NET CLEAR OPENABLE HEIGHT = 24"
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ROOM FINISH SCHEDULE

SEE ARCHITECTURAL SPECIFICATIONS SHEET FOR ABBREVIATIONS

ROOM NAME	FLOOR	BASEBOARD	WALLS	CEILING	RE-MARKS

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NO.	REVISION	DATE	BY	CHKD.	APP'D.

CLIENT (JOB No. 22124)

MUJICA RESIDENCE

CHAPMAN DESIGN ASSOCIATES

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SHEET

A3.2

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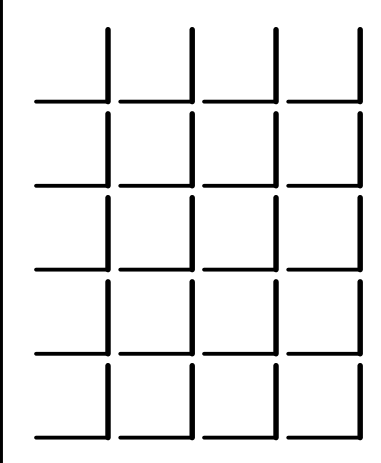
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NO.	DESCRIPTION	DATE
1	CITY PLAN CHECK	

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 LOS ALTOS, CA 94022

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SHEET

A3.3

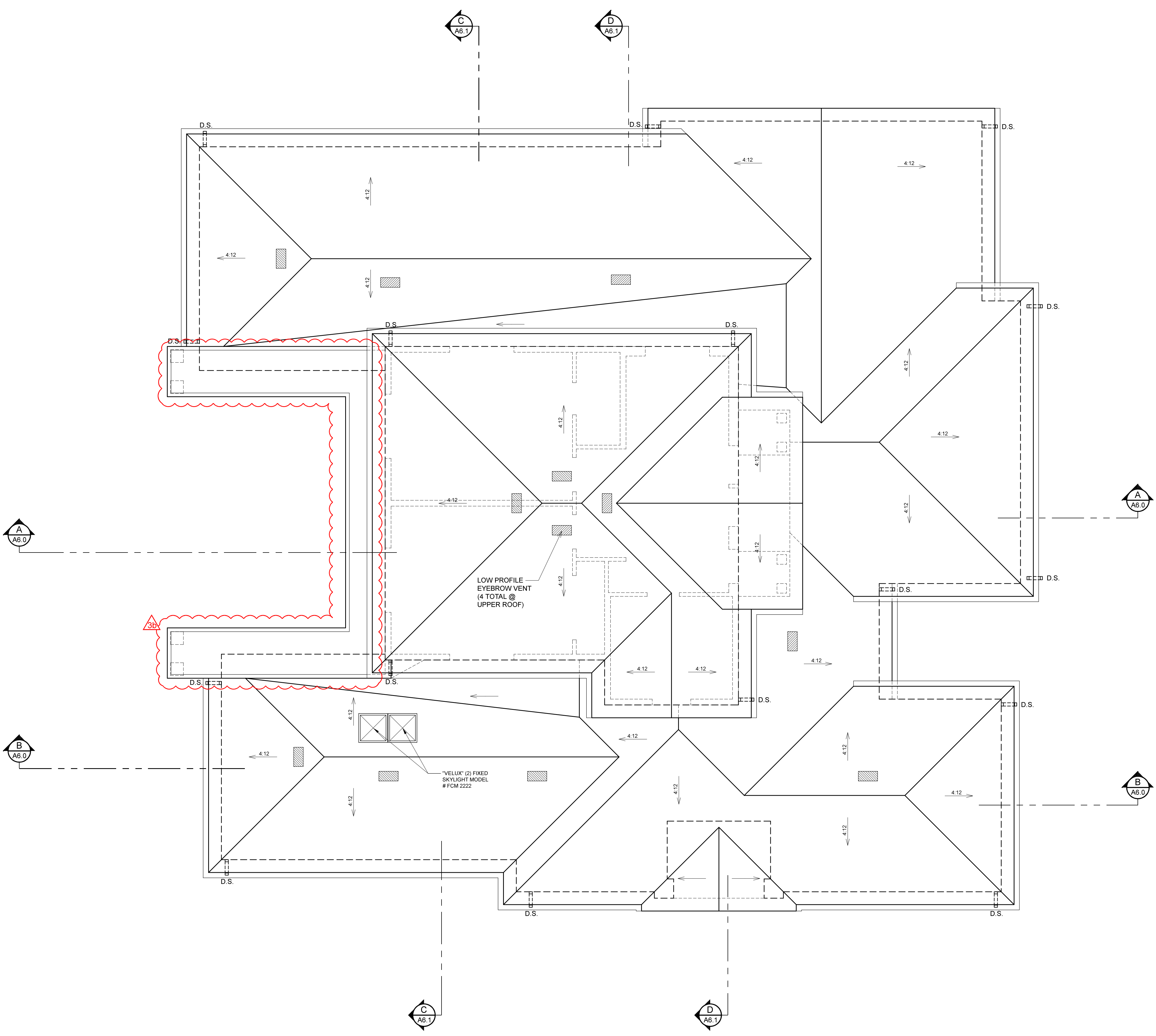
GENERAL NOTES

- I** ROOF JACKS WHENEVER POSSIBLE, LOCATE ROOF JACKS WHERE THEY ARE NOT VISIBLE
- II** VALLEY FLASHING 24 GA. G.I. "L" FLASHING @ ALL VALLEYS
- III** CRICKET FLASHING 24 GA. G.I. OVER 1/2" D.F. CDX PLYWOOD (OR BETTER) - 1/2" MIN. SLOPE
- IV** ATTIC VENTILATION PROVIDE ATTIC VENTILATION AS OUTLINED IN SEC. R806.2, 2019 CRC
- V** FIREPLACE & CHIMNEY DESIGN AND CONSTRUCTION TO FOLLOW PARAMETERS AS OUTLINED IN CHAPTER 10 OF THE 2019 CRC

ROOF PLAN NOTES

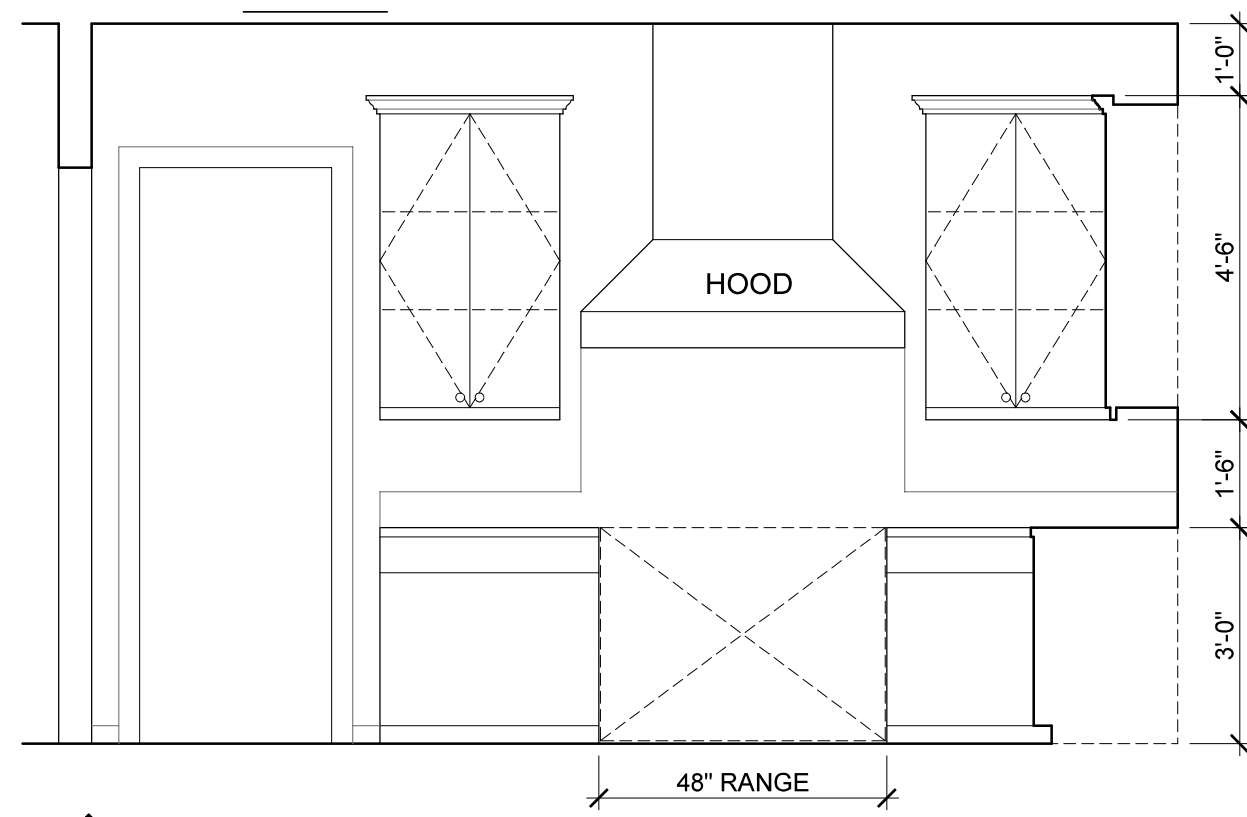
- 1** ROOFING COMPOSITION SHINGLE
- 2** GUTTERS OGEE GUTTER
- 3** DOWN SPOUTS ROUND DOWNSPOUTS
- 4** SKYLIGHTS "VELUX", WDMA HALLMARK CERTIFICATION 426 (IAMPO UES 0199) OR EQUIVALENT

ATTIC VENT CALCULATIONS	
AREA = 707.46 SQ. FT.	(UPPER ROOF ATTIC SPACE)
= 150	
= 4.71 SQ. FT.	(REQ'D. VENTING AREA)
PROPOSED VENTING	
= 0.73 SQ. FT.	(LOW PROFILE RECT. EYEBROW VENT)
X 4	(NFVA = 0.73 S.F./VENT)
= 2.92 SQ. FT.	
= .493 SQ. FT.	(22.25" X 5.5" RECT. EAVE VENT)
X 6	(NFVA = 0.493 S.F./VENT)
= 2.96 SQ. FT.	
= 5.88 SQ. FT.	(TOTAL PROPOSED VENTING AREA)
AREA = 558.20 SQ. FT.	(LOWER ROOF ATTIC SPACE OVER MASTER BEDRM & BATH)
= 150	
= 3.72 SQ. FT.	(REQ'D. VENTING AREA)
PROPOSED VENTING	
= 0.73 SQ. FT.	(LOW PROFILE RECT. EYEBROW VENT)
X 2	(NFVA = 0.73 S.F./VENT)
= 1.46 SQ. FT.	
= .493 SQ. FT.	(22.25" X 5.5" RECT. EAVE VENT)
X 5	(NFVA = 0.493 S.F./VENT)
= 2.46 SQ. FT.	
= 3.92 SQ. FT.	(PROPOSED VENTING AREA)
AREA = 1,000.11 SQ. FT.	(LOWER ROOF ATTIC SPACE OVER LIVING, DINING, KITCHEN & POWDER)
= 150	
= 6.67 SQ. FT.	(REQ'D. VENTING AREA)
PROPOSED VENTING	
= 0.73 SQ. FT.	(LOW PROFILE RECT. EYEBROW VENT)
X 4	(NFVA = 0.73 S.F./VENT)
= 2.92 SQ. FT.	
= .493 SQ. FT.	(22.25" X 5.5" RECT. EAVE VENT)
X 8	(NFVA = 0.493 S.F./VENT)
= 3.94 SQ. FT.	
= 6.86 SQ. FT.	(PROPOSED VENTING AREA)

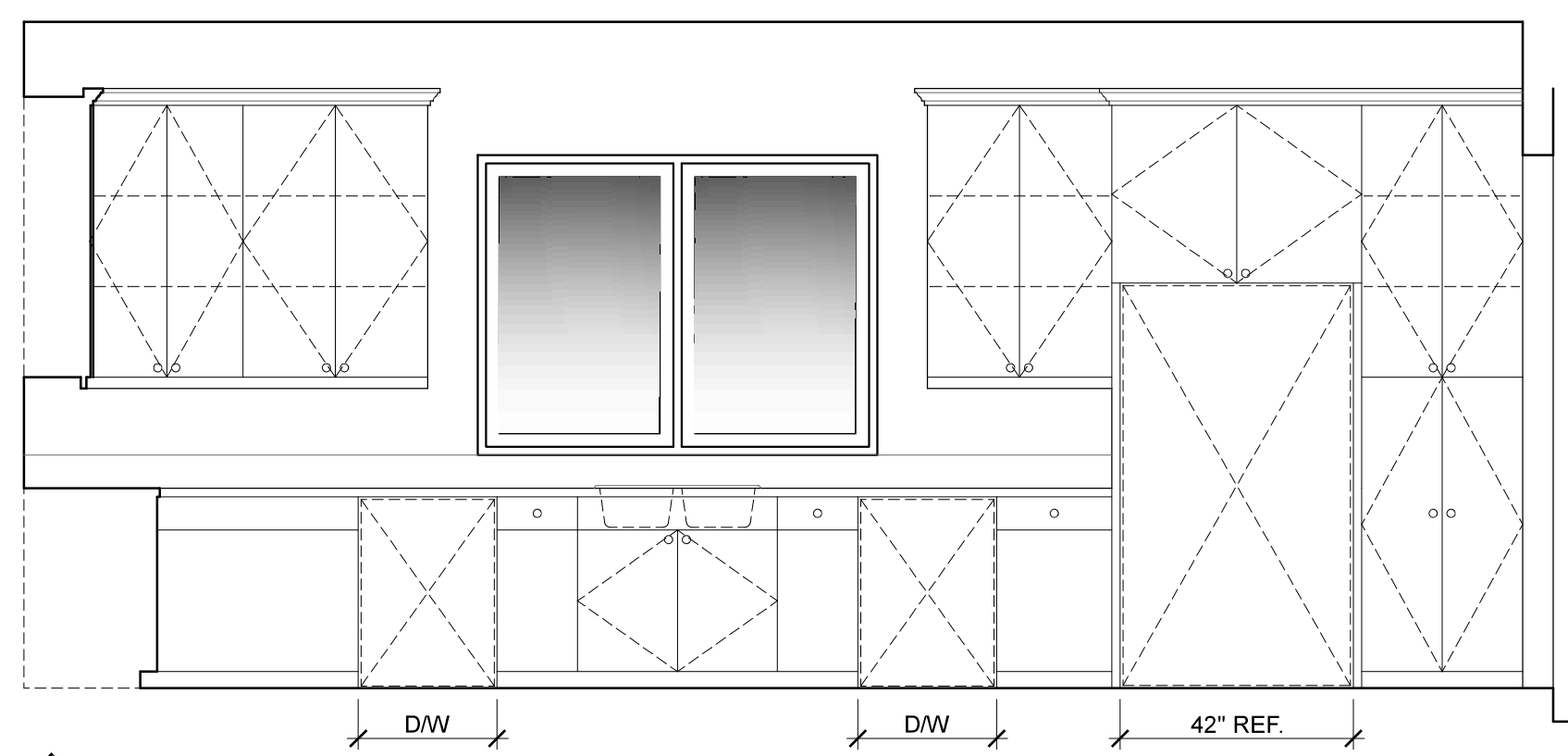


PROPOSED ROOF PLAN

1/4" = 1'-0"

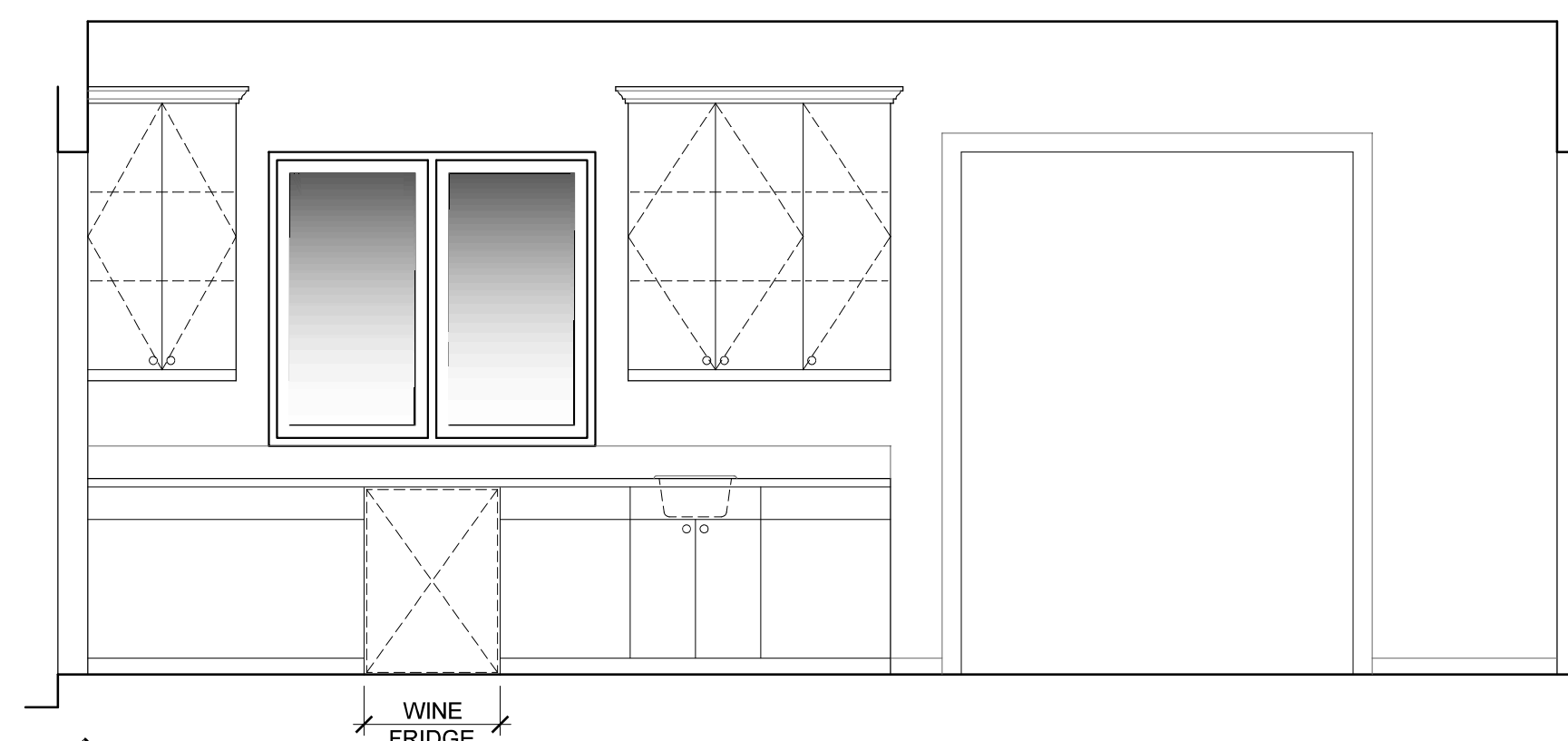


1 KITCHEN

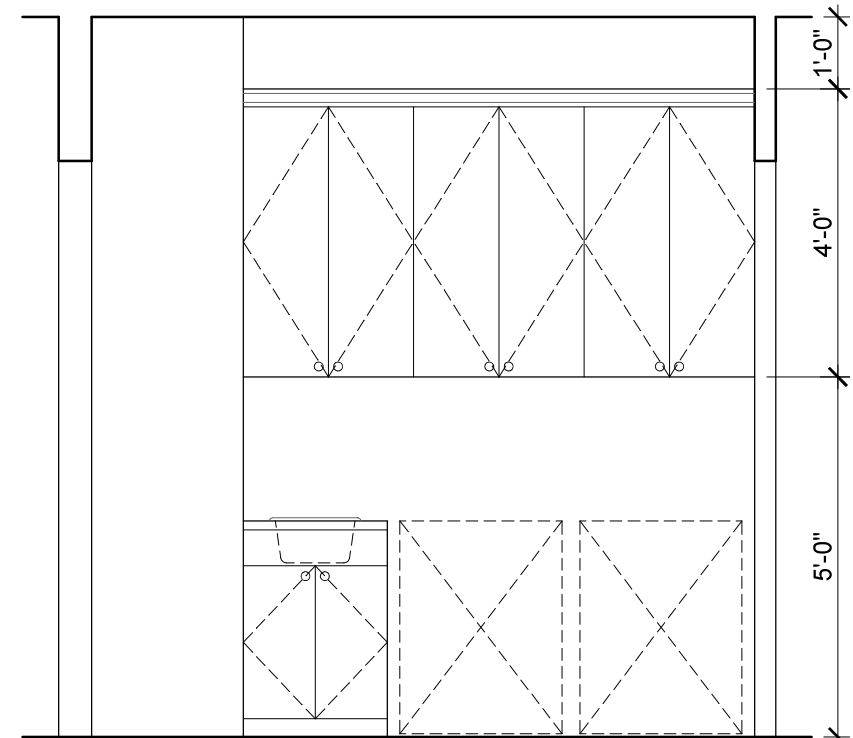


1 KITCHEN

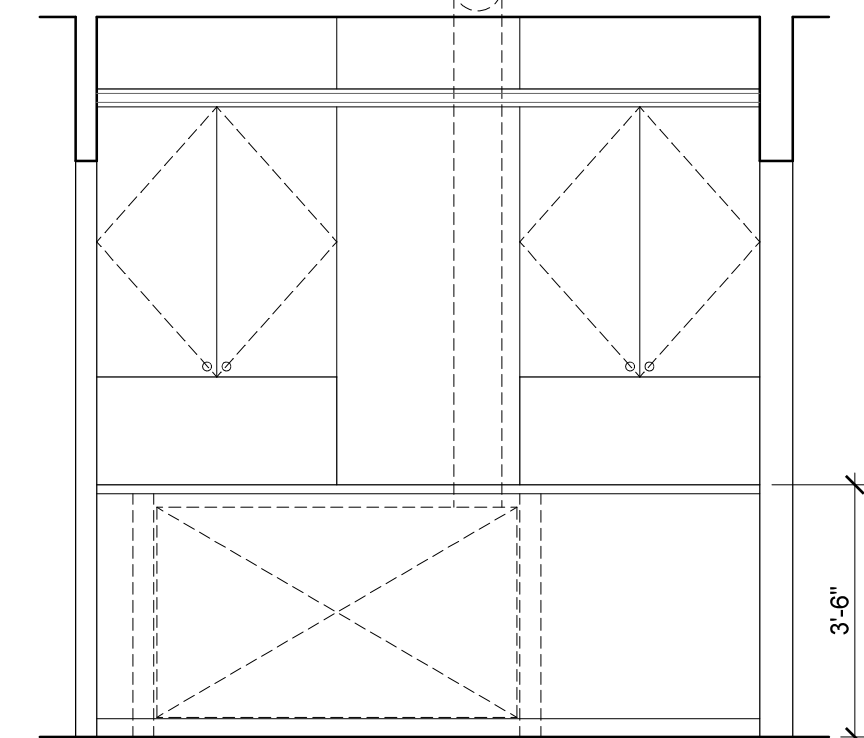
NOOK



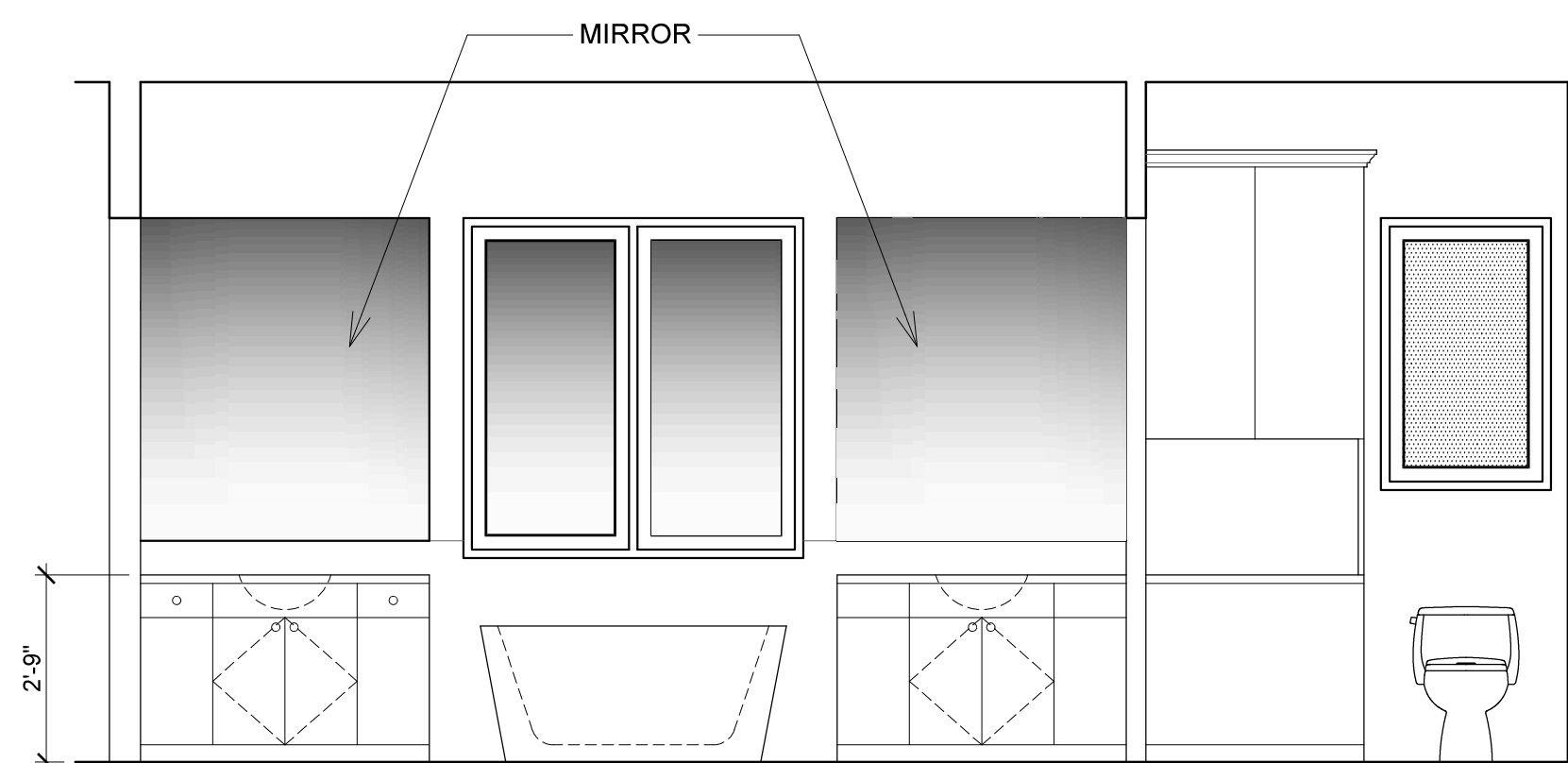
1 NOOK



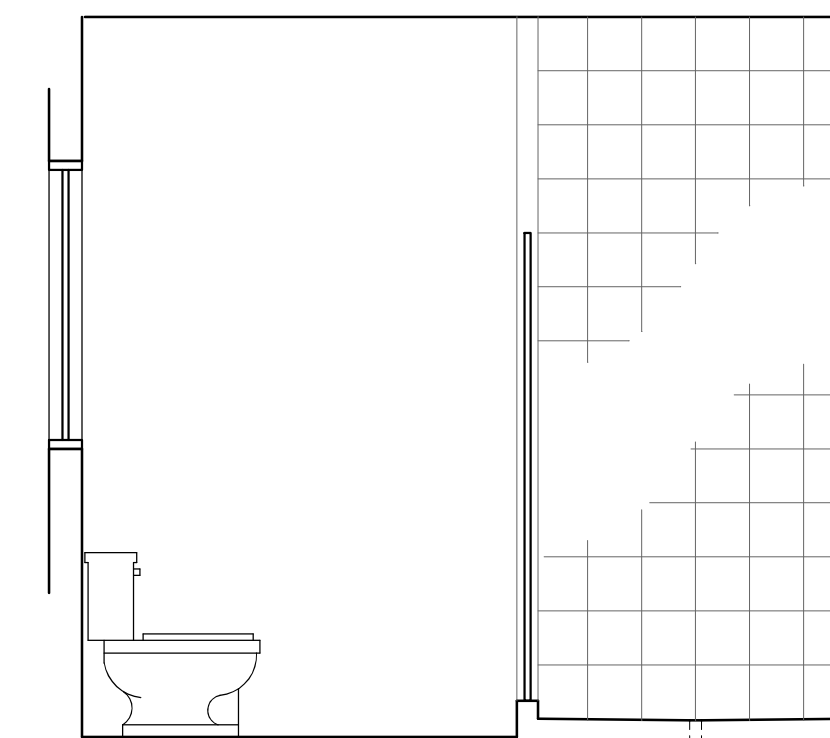
2 LAUNDRY



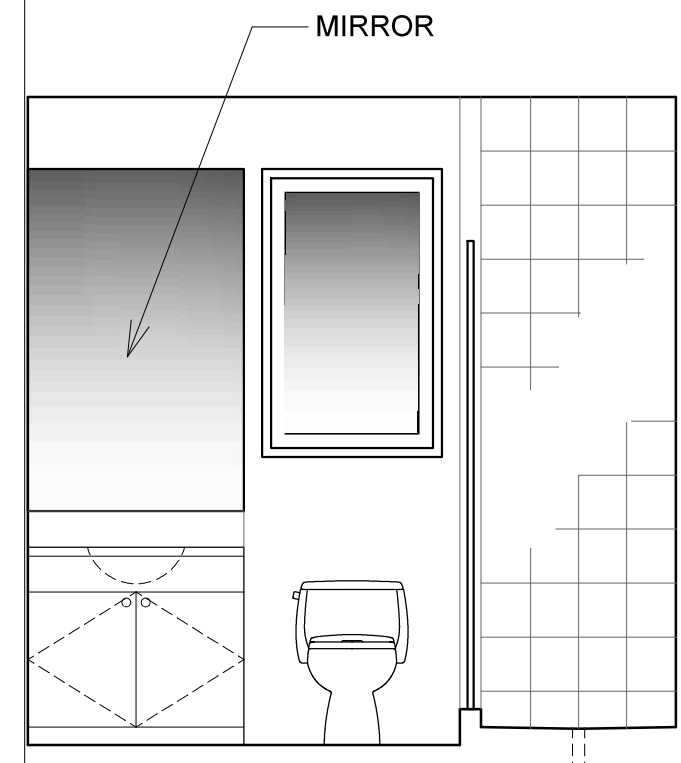
2 LAUNDRY



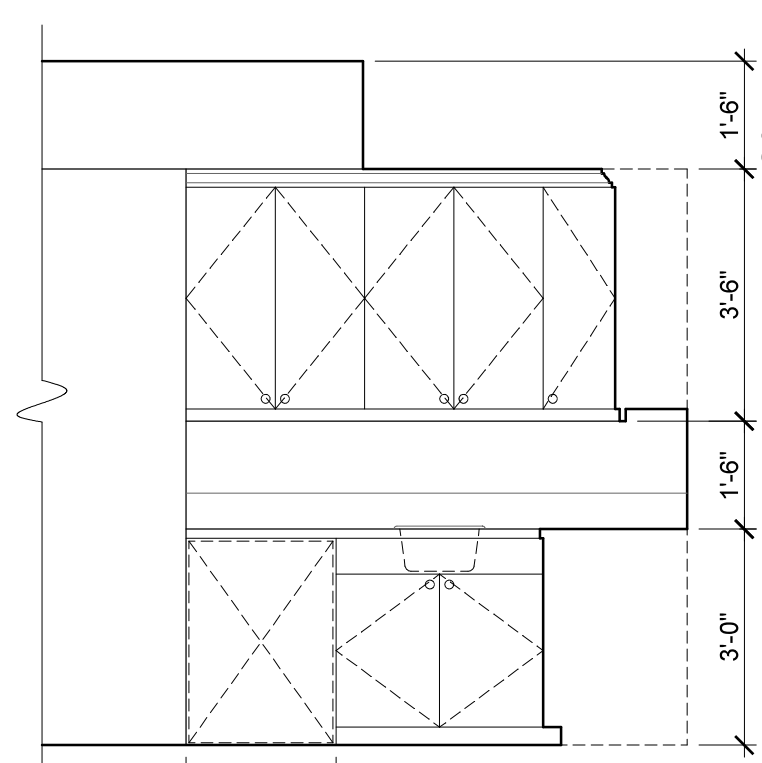
3 MASTER BATH



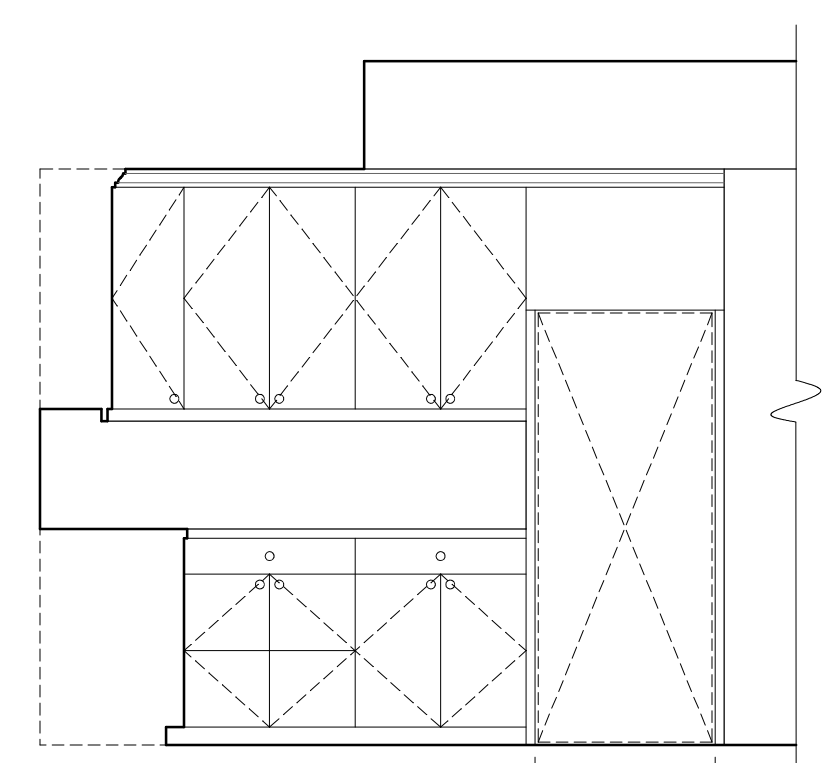
3 MASTER BATH



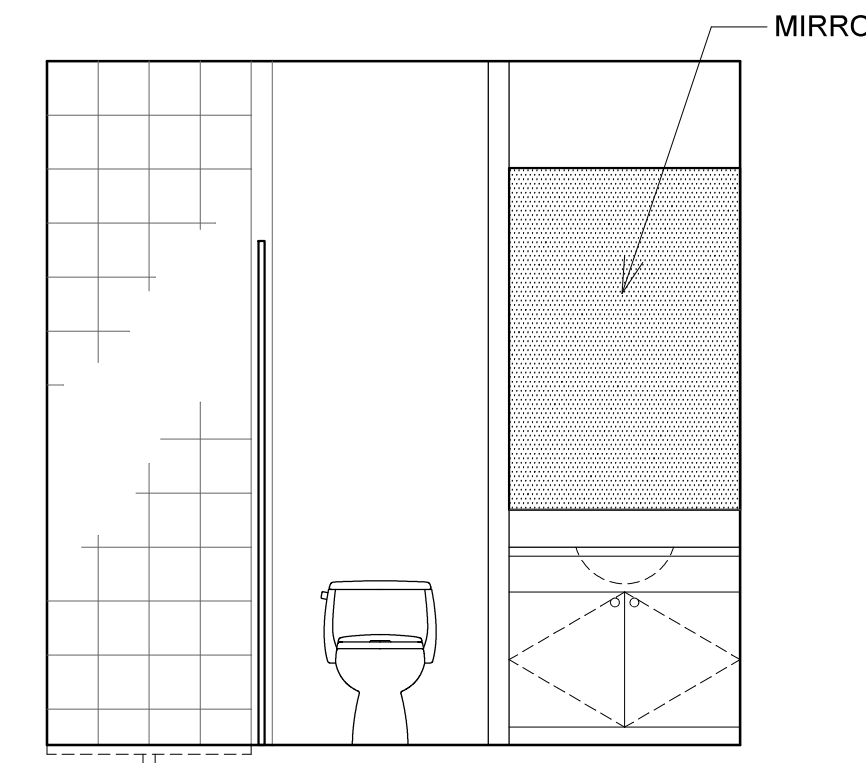
4 POWDER ROOM



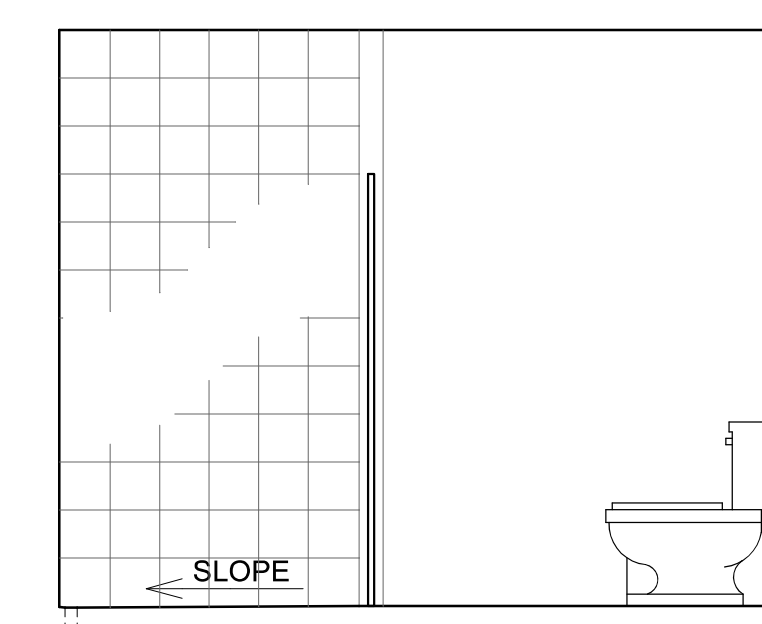
5 GAME ROOM



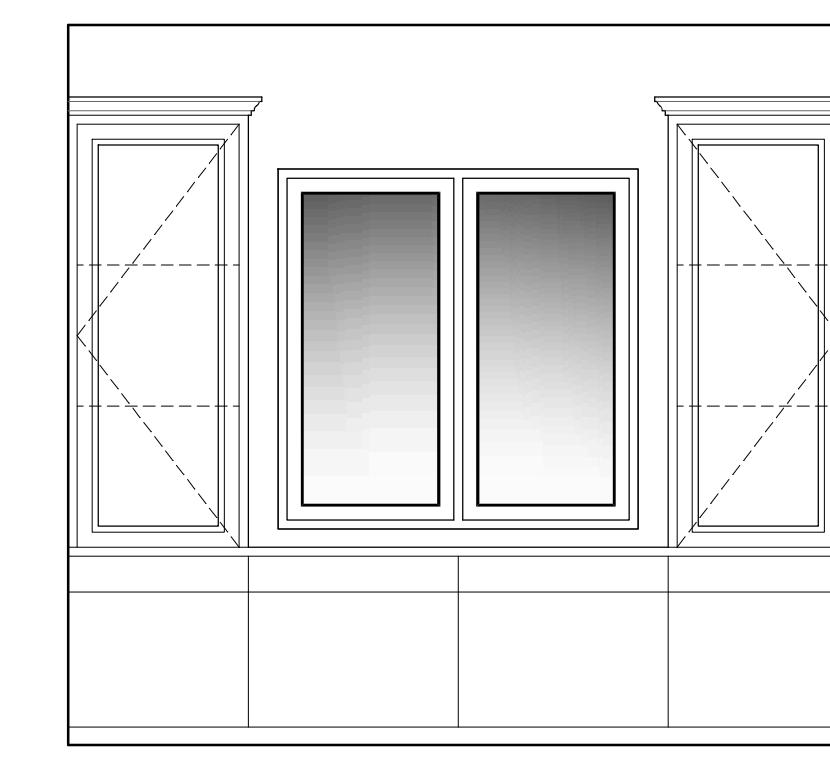
5 GAME ROOM



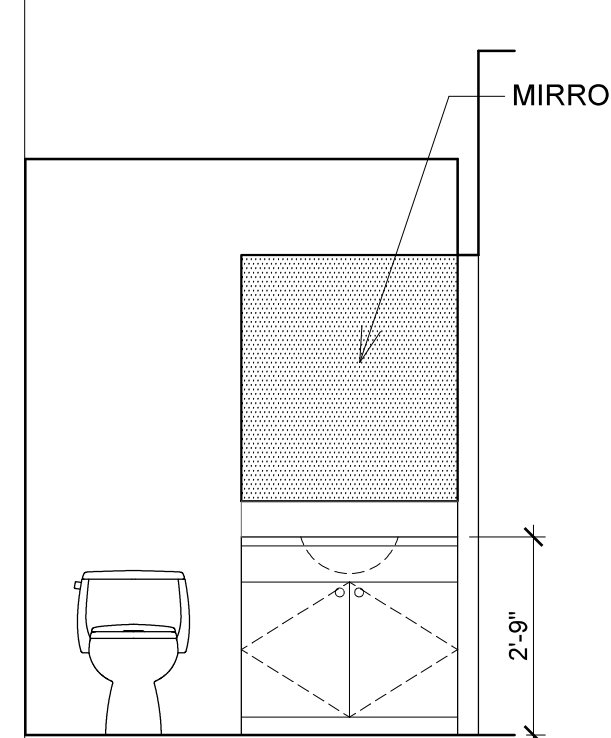
6 BATH #4



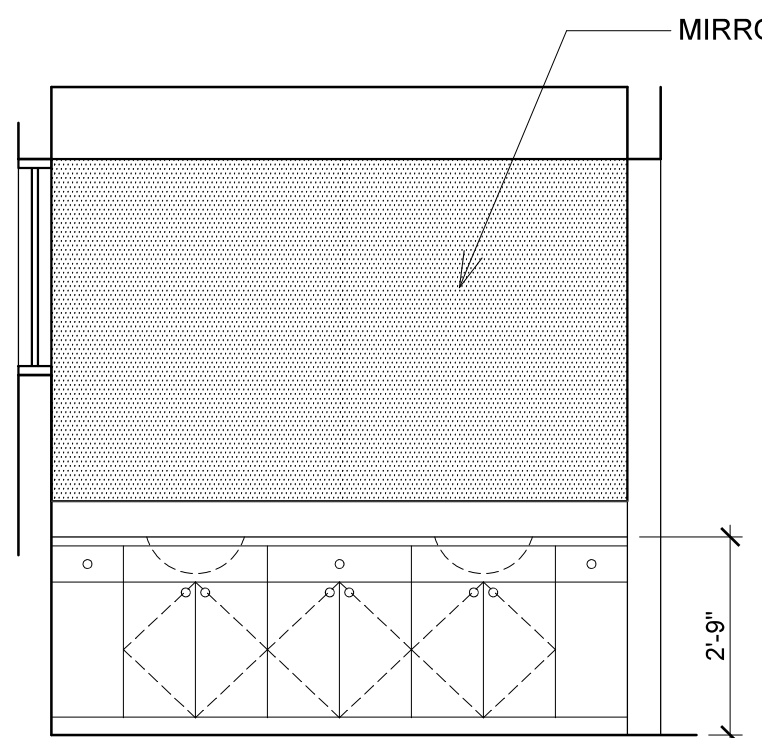
7 BATH #5



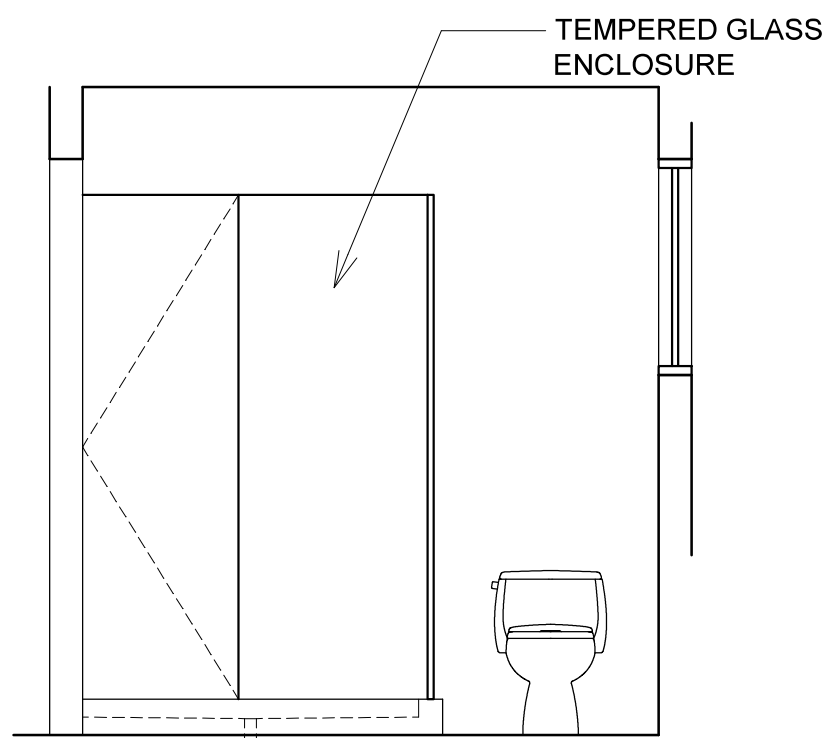
7A DINING ROOM



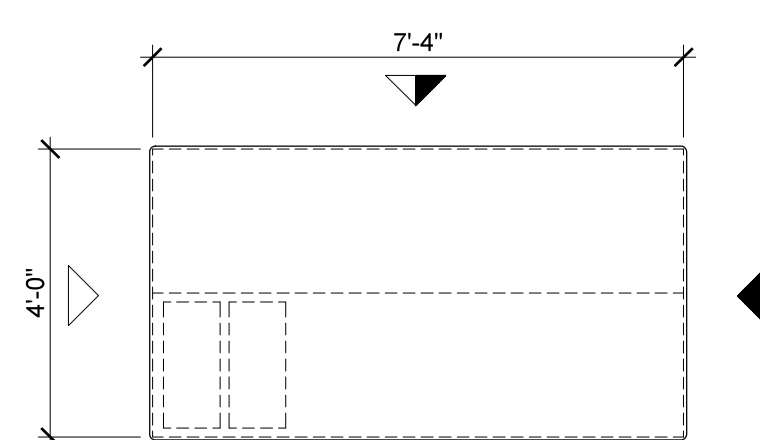
7 BATH #5



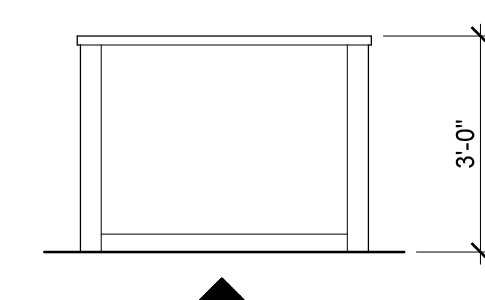
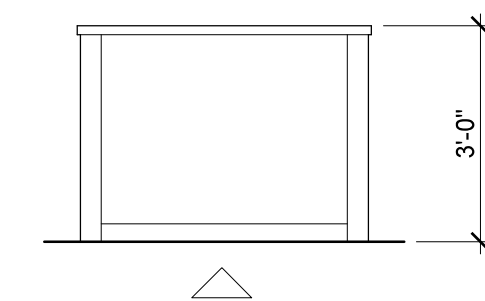
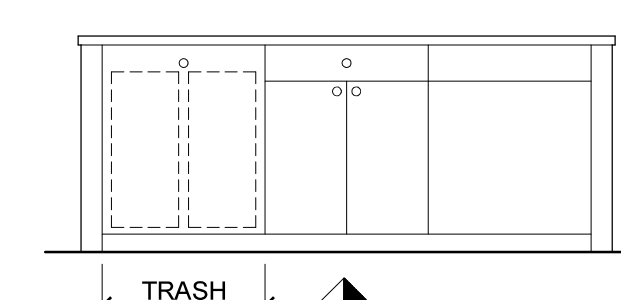
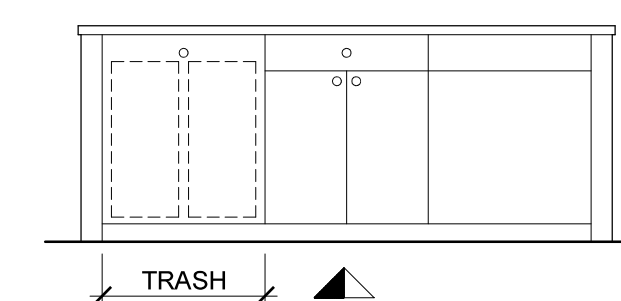
8 BATH #3



8 BATH #3



KITCHEN ISLAND



GENERAL NOTES

- I WALLS/ CEILING 1/2\"/>
- II CORNER BEAD ALUMINUM CORNER BEAD, U.O.N.
- III CASED OPENINGS STANDARD CASINGS, U.O.N.
- IV WINDOW CASINGS STANDARD CASINGS, U.O.N.
- V FINISHES SEE "ROOM FINISH SCHEDULE" ON FLOOR PLAN(S)
- VI CABINETRY CONTRACTOR & CABINET MAKER TO VERIFY ALL ROOM DIMENSIONS & ROUGH OPENINGS FOR APPLIANCES PRIOR TO FABRICATION
- VII APPLIANCES SEE SCHEDULE ON SHEET FOR MANUFACTURER/MODEL # AND SPECIFICATIONS

INTERIOR NOTES

- 1 BATHTUB
- 2 TUB/ SHOWER
- 3 SHOWER
- 4 FIREPLACE

CABINETRY NOTES

COLORS & FINISHES PER OWNER'S SPECIFICATIONS

- A CABINET TYPE DOOR(S) EXTERIOR INTERIOR HARDWARE PULLS
- B CABINET TYPE DOOR(S) EXTERIOR INTERIOR HARDWARE PULLS
- C CABINET TYPE DOOR(S) EXTERIOR INTERIOR HARDWARE PULLS

SURFACE MATERIALS

COLORS & FINISHES PER OWNER'S SPECIFICATIONS

- F TILE
- G GRANITE
- H MARBLE
- J CORIAN
- K FORMICA/ LAMINATE
- L WOOD TOP

NOTE: ALL CABINET MEASUREMENTS MUST BE FIELD VERIFIED PRIOR TO THE ORDERING OR BUILDING OF CABINETS

INTERIOR ELEVATIONS

3/8" = 1'-0"

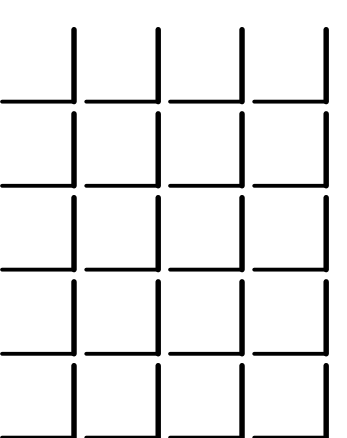
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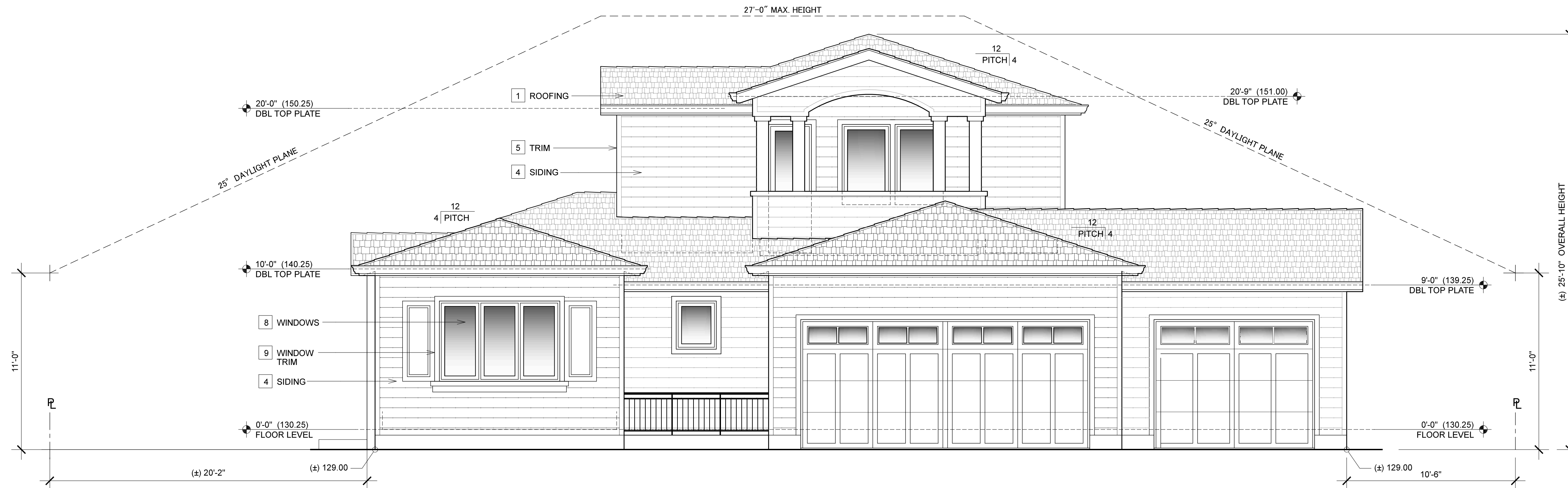
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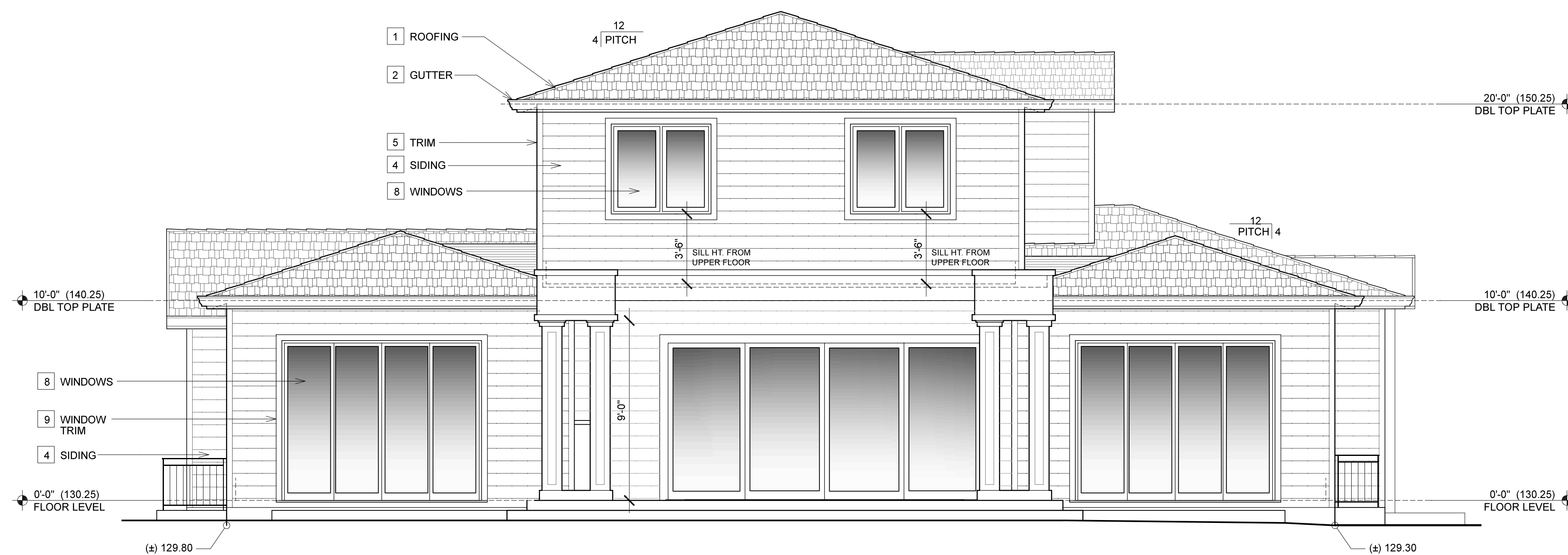
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FRONT ELEVATION - (NORTH)

1/4" = 1'-0"



REAR ELEVATION - (SOUTH)

1/4" = 1'-0"

GENERAL NOTES

- I STUCCO REQUIREMENTS: 1) 3-COAT & 1/2" MIN. THICK 2) HAS 2 LAYERS OF GRADE D BUILDING PAPER 3) 26 GA. GALVANIZED WEEP SCREED AT FOUNDATION PLATE LINE AT LEAST 4" ABOVE GRADE OR 2" ABOVE CONCRETE OR PAVING (SEC. 2512.11, 2510.6 & 2512.1.2 CBC 2019)
- II FLUE CLEARANCE AS PER SECTION R1003.18 CRC 2019. 2'-0" ABOVE COMBUSTIBLE CONSTRUCTION @ 10'-0" AWAY
- III CHIMNEY BRACING AS PER CH. 10 CRC 2019
- IV SPARK ARRESTOR PROVIDE AS PER SEC. R1003.4.1 CRC 2019
- V TEMPERED GLASS PROVIDE TEMPERED SAFETY GLASS @ HAZARDOUS LOCATIONS PER SEC. R308.4 CRC 2019

EXT. MATERIAL NOTES

- 1 ROOFING COMPOSITION SHINGLE
- 2 GUTTER OGEE GUTTER
- 3 DOWN SPOUTS ROUND DOWNSPOUTS
- 4 SIDING HARDI PLANK
- 5 TRIM 2x4 K.D. MATERIAL
- 6 STUCCO N/A
- 7 VENEER N/A
- 8 WINDOWS DUAL GLAZED WOOD CASEMENTS AND AWNINGS
- 9 WINDOW TRIM FRONT AND LEFT ELEVATIONS LOWER FLOOR TO HAVE SILL & APRON - UPPER FLOOR PICTURE FRAME
- 10 SKYLIGHTS "VELUX", WDMA HALLMARK CERTIFICATION 426 (IAMPO UES 0199) OR EQUIVALENT
- 11 CHIMNEY N/A

LEGEND

- # WINDOW - SEE "WINDOW SCHEDULE" ON SHEET A - FOR FURTHER SPECIFICATIONS
- # DOOR - SEE "DOOR SCHEDULE" ON SHEET A - FOR FURTHER SPECIFICATIONS

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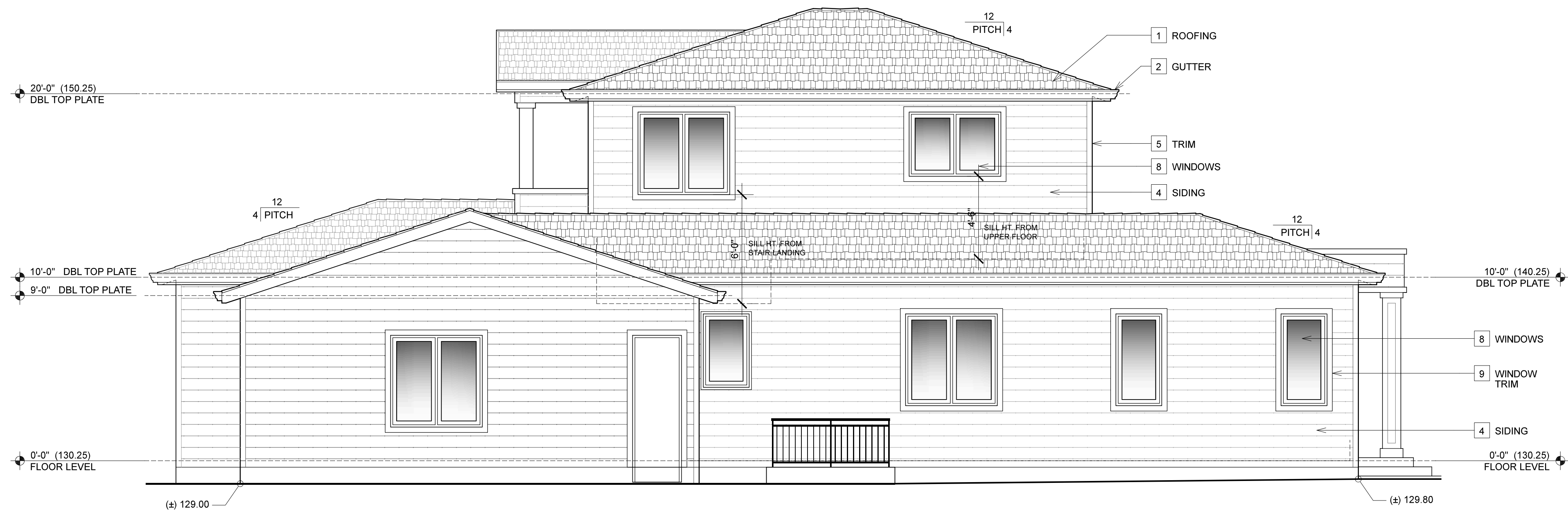
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SHEET

A5.0



RIGHT SIDE ELEVATION - (EAST)

1/4" = 1'-0"



LEFT SIDE ELEVATION - (WEST)

1/4" = 1'-0"

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LEGEND

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- # DOOR - SEE "DOOR SCHEDULE" ON SHEET A - FOR FURTHER SPECIFICATIONS

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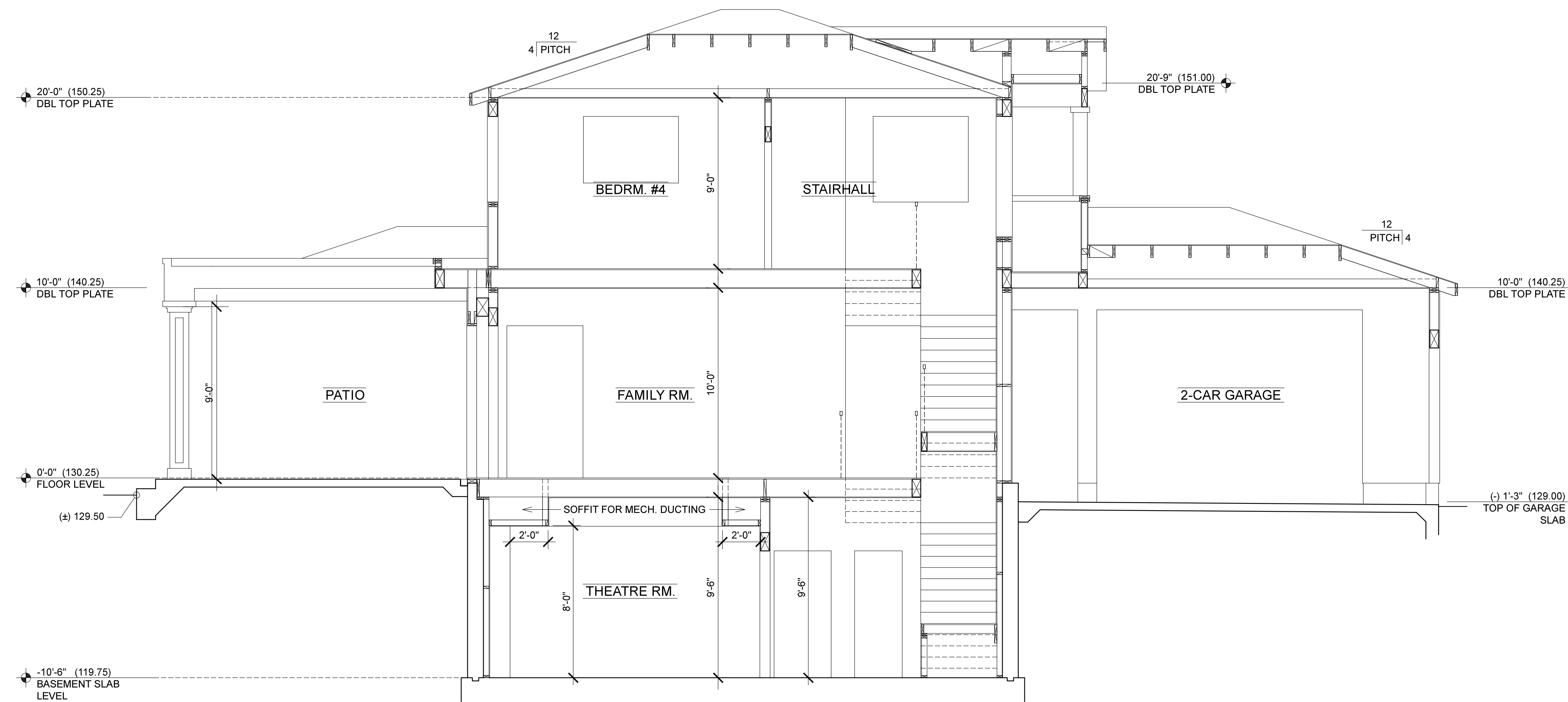
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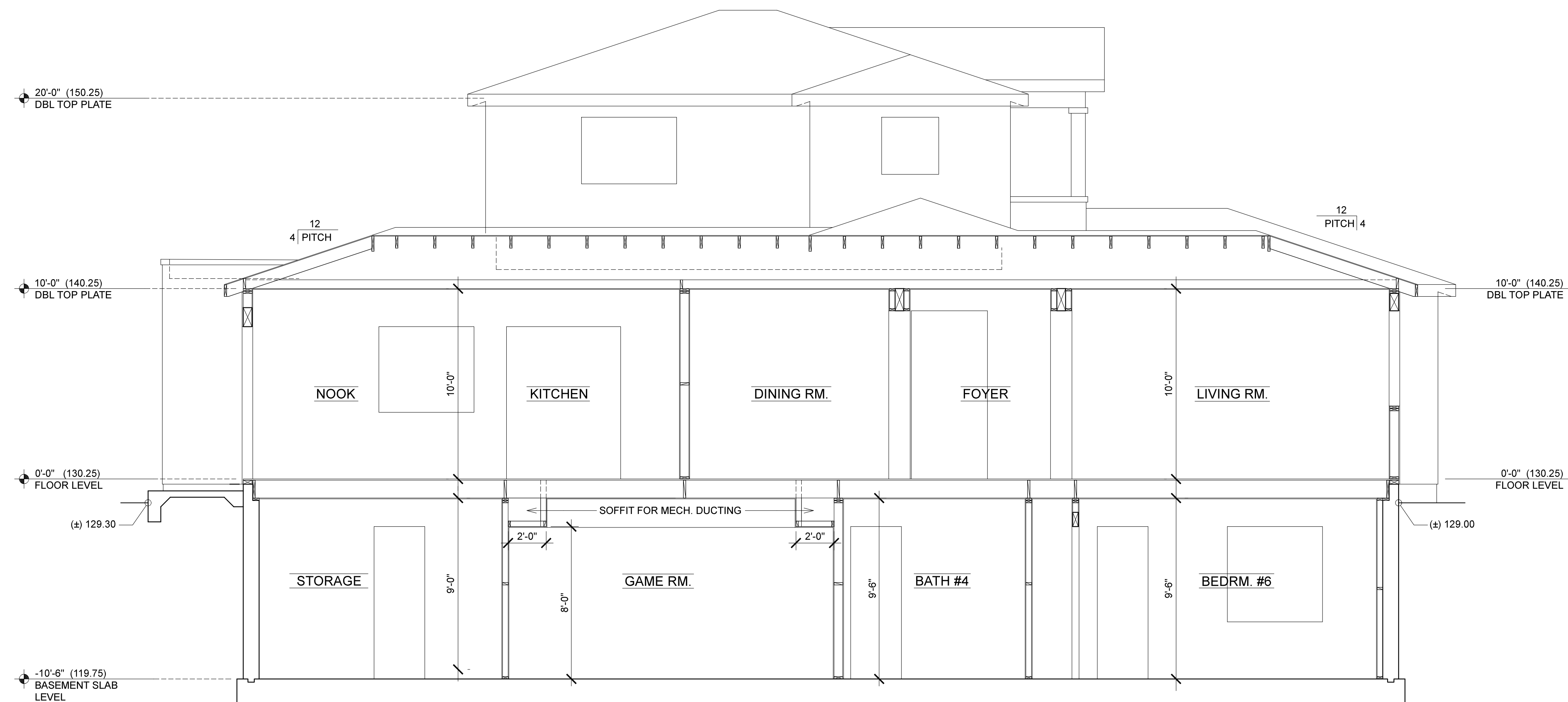
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CROSS SECTION A-A

1/4" = 1'-0"



CROSS SECTION B-B

1/4" = 1'-0"

SECTION NOTES

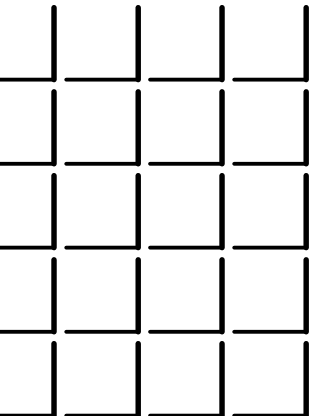
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- 2 CEILING @ ATTIC CEILING JOISTS (SEE FRAMING PLAN AND/OR FLOOR/CEILING FRAMING SCHEDULE FOR TYPE/SIZE & SPACING) w/ 1/2" SHETROCK, TYPICAL U.O.N.
- 3 EXTERIOR WALL EXTERIOR FINISH (SEE EXTERIOR ELEVATIONS FOR TYPE) O/ 2 LAYERS CLASS "D" BUILDING PAPER O/ SHEATHING (SEE SHEATHING SCHEDULE FOR TYPE) O/ 2x4 STUDS @ 16"o.c. (2x6 STUDS @ MAIN PLUMBING WALLS) W/ DOUBLE 2x4 TOP PLATE & 2x4 SOLE PLATE W/ 1/2" SHEET ROCK @ INSIDE FACE, TYPICAL U.O.N.
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- 6 FLOOR w/ CEILING FLOOR SHEATHING (SEE SHEATHING SCHEDULE FOR TYPE) O/ FLOOR JOISTS (SEE FRAMING PLAN AND/OR FLOOR/CEILING FRAMING SCHEDULE FOR TYPE/SIZE & SPACING) W/ 1/2" SHEET ROCK, TYPICAL U.O.N.
- 7 CRAWL SPACE SLAB 16" CONCRETE SLAB w/ #5 @ 6" O.C. EA. WAY @ BOTTOM & #5 @ 10" O.C. @ TOP of APPROVED WATER PROOF MEMBRANE of 4" CRUSHED ROCK
- 8 CONCRETE SLAB 5" CONCRETE SLAB w/ #4 BARS @ 18" O.C. of 8" CLASS II CLEAN CRUSHED ROCK
- 9 GARAGE SLAB 5" CONCRETE SLAB w/ #4 BARS @ 18" O.C. of 15 mil VISQ or 8" CLASS II CLEAN CRUSHED ROCK
- 10 INSULATION ATTIC INSULATION R -
EXTERIOR WALL INSULATION R -
RAISED FLOOR INSULATION R -

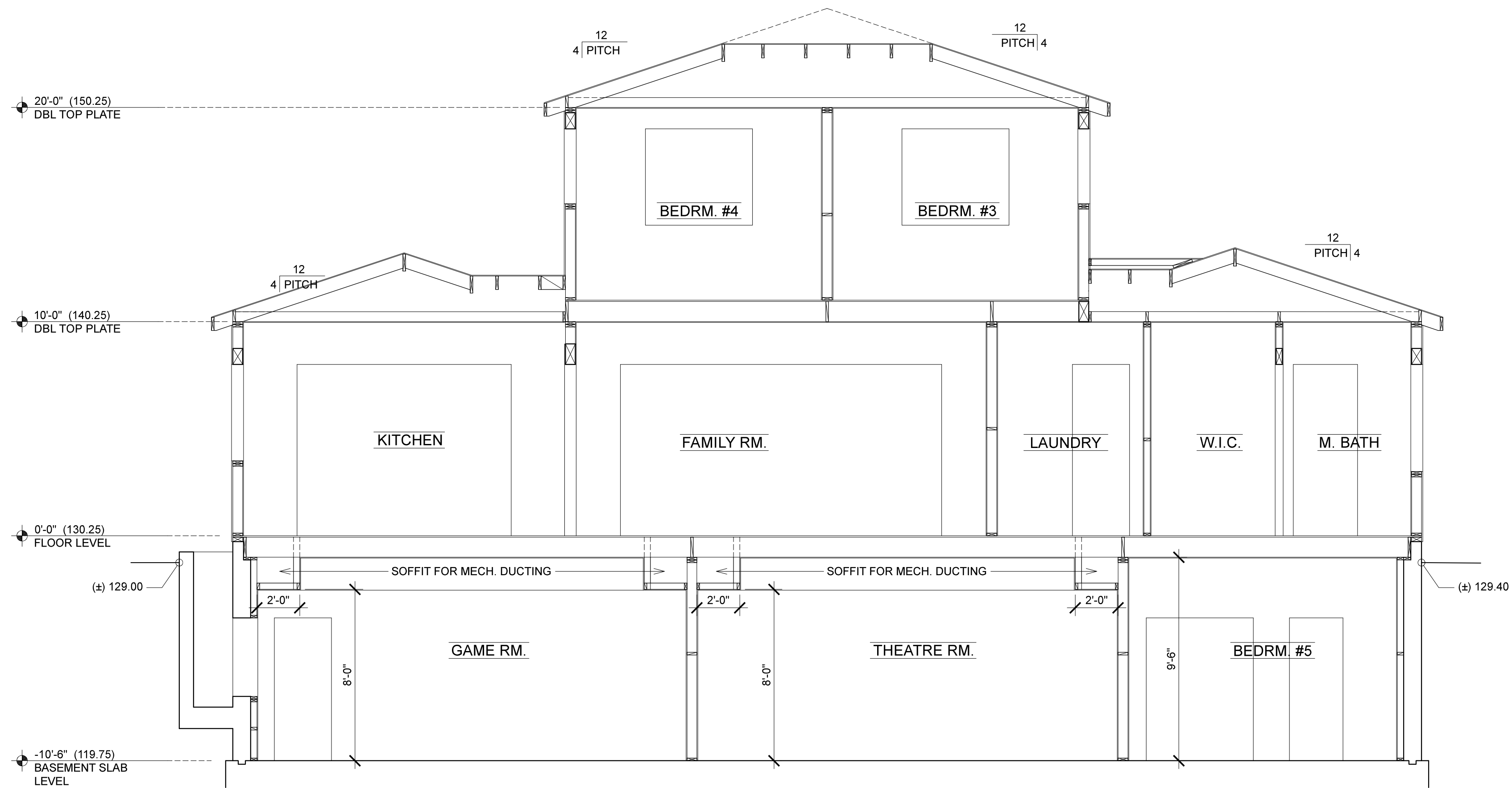
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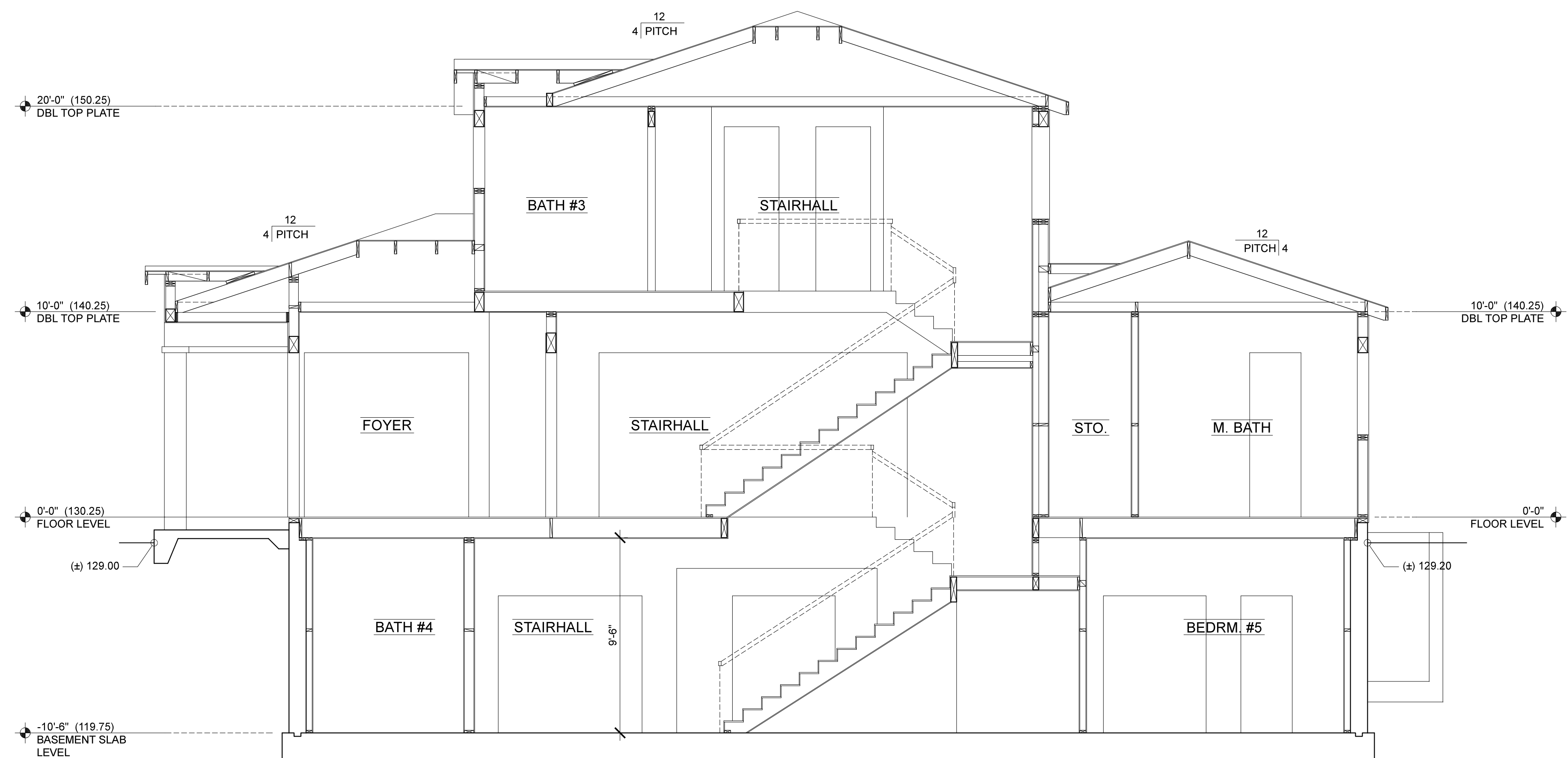
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CROSS SECTION C-C

1/4" = 1'-0"



CROSS SECTION D-D

1/4" = 1'-0"

SECTION NOTES

- 1 ROOF ROOF MATERIAL (SEE ROOF PLAN FOR TYPE) O/ 30# UNDERLAYMENT O/ SHEATHING (SEE SHEATHING SCHEDULE FOR TYPE) O/ RAFTERS (SEE ROOF PLAN AND/OR ROOF FRAMING SCHEDULE FOR TYPE/SIZE & SPACING), TYPICAL U.O.N.
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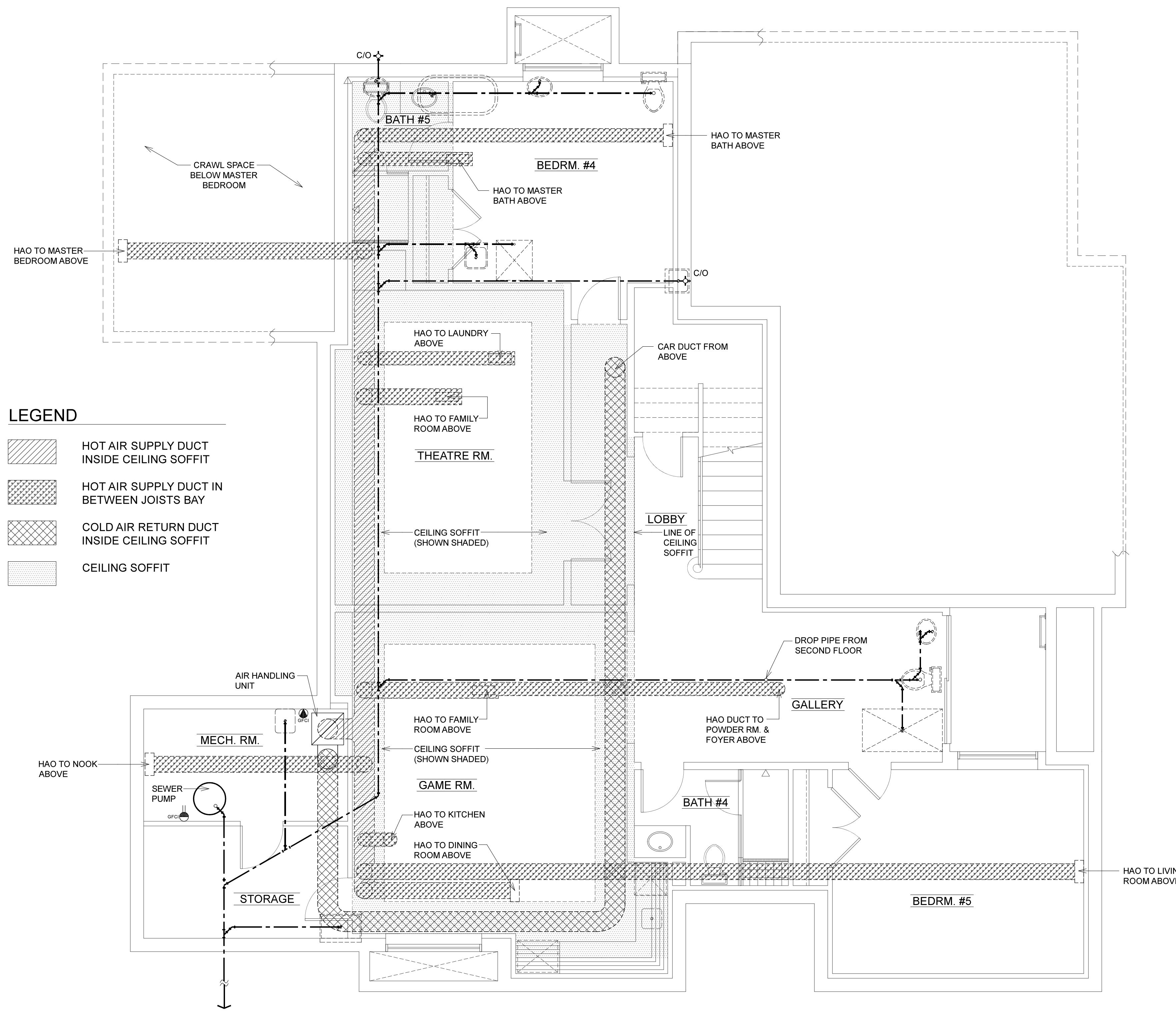
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SHEET
A6.1



- LEGEND**
- HOT AIR SUPPLY DUCT INSIDE CEILING SOFFIT
 - HOT AIR SUPPLY DUCT IN BETWEEN JOISTS BAY
 - COLD AIR RETURN DUCT INSIDE CEILING SOFFIT
 - CEILING SOFFIT

MECHANICAL NOTES

- A** CODES 2019 C.M.C.
 - B** COMBUSTION AIR PROVIDE COMBUSTION AIR @ FURNACE(S) AND WATER HEATER(S) PER CH. 7, C.M.C. 2019
 - C** DRYER EXHAUST PROVIDE DRYER EXHAUST VENT (4"Ø MIN. & WITH BACK DRAFT DAMPER) TO EXTERIOR. DRYER MOISTURE EXHAUST DUCT VENT SHALL HAVE A MAX. COMBINED HORIZONTAL & VERTICAL LENGTH OF 14'-0" INCLUDING TWO 90-DEGREE ELBOWS (CMC 504.3.1.2, 2019) OR PER MANUFACTURER'S SPECIFICATIONS
 - D** BATHROOM EXHAUST FAN BATHROOM EXHAUST FANS SHALL BE "ENERGY STAR" COMPLIANT AND PROVIDED W/ HUMIDITY CONTROL. CMC SEC. 402.5 & CGBC SEC 4.506.1
 - E** ELEC. DRYERS & RANGES ELECTRIC CLOTHES DRYERS & RANGES SHALL HAVE A 4-WIRE GROUNDED ELECTRICAL OUTLET PER ARTICLE 250.140, C.E.C. 2019
 - NOTE: MAKEUP AIR SHALL BE PROVIDED FOR CLOTHES DRYERS IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS
 - F** F.A.U. IN ATTIC ALL ATTIC FURNACES SHALL COMPLY w/ SECTION 904.11 & CH. 3, C.M.C. 2019. PROVIDE COMBUSTION AIR PER CH. 7, C.M.C. 2019
- NOTES: - TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS SHALL BE A MIN. 3'-0" FROM ANY OPENINGS INTO THE BUILDING AND 3'-0" FROM PROPERTY LINE. 2019 CMC SECTION 604.5
 - THE MINIMUM EXHAUST RATE OF THE KITCHEN FAN SHALL BE 100 cfm
 - THE MINIMUM EXHAUST RATE OF THE BATHROOMS FANS SHALL BE 500 cfm
 - DUCTS IN THE GARAGE & DUCTS PENETRATING WALLS OR CEILINGS SEPARATING THE GARAGE FROM THE DWELLING SHALL BE CONSTRUCTED OF MINIMUM 26-GAUGE SHEETS METAL & SHALL HAVE NO OPENINGS INTO THE GARAGE
- NOTE: ALL DUCTS SHOWN ARE SCHEMATIC ONLY. ACTUAL LAYOUT TO BE DETERMINED BY HVAC CONTRACTOR. PROVIDE MINIMUM CLEARANCES AS REQUIRED BY CODE FOR CRAWL SPACE ACCESS

PLUMBING NOTES

- G** CODES 2019 C.P.C.
 - H** WASTE & DRAIN PIPE MINIMUM 4"Ø DRAINAGE PIPE SHALL BE REQUIRED FOR FOUR OR MORE WATER CLOSET FIXTURES ON THE SAME HORIZONTAL BRANCH OF DRAIN. CPC TABLE 703.2 footnote#4
 SEWER CLEANOUTS SHALL BE INSTALLED PER SEC.707 & 719 CPC.
 a. EVERY 100'-0" OF DEVELOPED DRAINAGE LINES and
 b. AT EACH AGGREGATE HORIZONTAL CHANGE OF DIRECTION EXCEEDING 135°
 - NOTE: THE GRADE OF ALL HORIZONTAL DRAINAGE PIPES SHALL NOT BE LESS THAN 1/8" PER FOOT (SEC. 708.1, 2019 CPC)
 - J** VENT PIPE ABS PIPE
 PLUMBING WASTE VENTS SHALL TERMINATE NOT LESS THAN 10'-0" FROM OR NOT LESS THAN 3'-0" ABOVE AN OPERABLE WINDOW, DOOR OPENING, AIR INTAKE OR VENT SHAFT OR NOT LESS THAN 3'-0" IN EVERY DIRECTION FROM A LOT LINE, ALLEY OR STREET (SEC. 906.2, 2019 CPC)
 - K** HOT & COLD WATER PIPE COPPER - INSULATE HOT WATER LINES
 - L** CONTROL VALVES PROVIDE INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC OR COMBINATION PRESSURE BALANCE / THERMOSTATIC MIXING VALVE TYPE @ ALL SHOWER & TUB / SHOWERS PER SECTION 418.0, CPC 2019
 - M** HOSE BIBBS PROVIDE NON-REMOVABLE BACK FLOW PREVENTER PER SECTION 603.2, C.P.C. 2019
- ALL PLUMBING AND FITTINGS SHALL MEET THE STANDARDS REFERENCED IN TABLE 1701.1 OF THE 2019 CALIFORNIA PLUMBING CODE. CGBCS SECTION 4.203.2
 ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLE / BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY, OR SIMILAR ACCEPTABLE METHODS. CGBCS 4.406.1
- NOTE: ALL PLUMBING SHOWN IS SCHEMATIC ONLY. ACTUAL LAYOUT TO BE DETERMINED BY PLUMBING CONTRACTOR

LEGEND

- HAO DUCTING
- CAR DUCTING
- HOT AIR OUTLET (FLOOR)
- HOT AIR OUTLET (CEILING)
- COLD AIR RETURN (CEILING)
- HOT AIR OUTLET (WALL)
- COLD AIR RETURN (WALL)
- ELECTRONIC SOLINOID DAMPER CONTROLLER
- GROUND FAULT CIRCUIT INTERRUPTER
- 110 V. ELEC. DUPLEX OUTLET (WALL)
- 110 V. ELEC. DUPLEX OUTLET (WALL) +66"
- FUEL GAS

BASEMENT MECHANICAL & PLUMBING PLAN

1/4" = 1'-0"

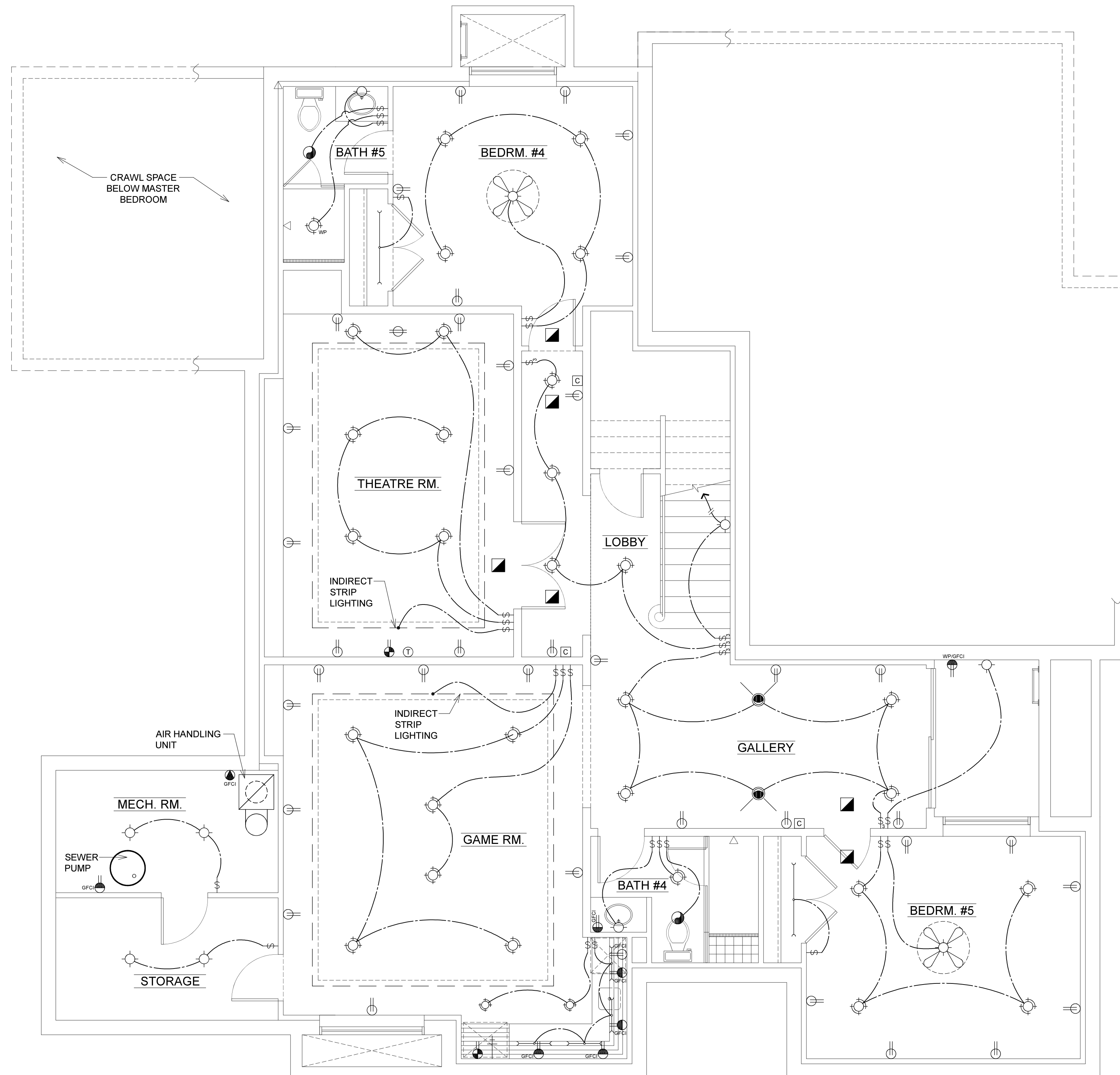
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SHEET
 A7.0



LEGEND

ALL LIGHTING TO BE HIGH EFFICACY (SEE NOTES ABOVE)

110 V. ELEC. DUPLEX OUTLET (WALL)	WALL FIXTURE	THERMOSTAT
110 V. ELEC. DUPLEX OUTLET (WALL) +36"	OVERHEAD FIXTURE	AC/DC SMOKE ALARM
110 V. ELEC. DUPLEX OUTLET (WALL) +44"	EXISTING FIXTURE	ETHERNET
110 V. ELEC. DUPLEX OUTLET (WALL) +66"	MINI CAN LIGHT	TELEVISION
110 V. ELEC. DUPLEX OUTLET (7/2 HOOT)	STANDARD CAN LIGHT	TELEPHONE
110 V. ELEC. DUO OUTLET (WALL)	WATERPROOF CAN LIGHT	CARBON MONOXIDE
GROUND FAULT CIRCUIT INTERRUPTER	RECESSED SPOT LIGHT	FUEL GAS
ARC FAULT CIRCUIT INTERRUPTER	SWITCH	HOSE BIBB
WATER PROOF G.F.I. DUPLEX OUTLET	3-WAY SWITCH	70 CFM FAN W/ HUMIDISTAT
OUTLET (FLOOR)	DIMMER SWITCH	MOTION SENSOR SWITCH w/ TEMP. OVERRIDE (6 HRS MAX)
220 V. ELEC. OUTLET	VACANCY SENSOR SWITCH	FLOODLIGHT
FAN LIGHT COMBO	HEAT LAMP	HEAT LAMP FAN COMBO

BASEMENT ELECTRICAL PLAN

1/4" = 1'-0"

ELECTRICAL NOTES

- I** CODES 2019 C.E.C.
- II** GROUND THE INSTALLATION OF A PERMITTED GROUNDING ELECTRODE TYPE AS LISTED IN SEC. 250.52, 2019 CEC, IS REQUIRED
- III** GFCI INSTALL GROUND FAULT CIRCUIT INTERRUPTER OUTLETS @ ALL LOCATIONS AS SPECIFIED IN ARTICLE 210.8(A)(6) C.E.C. 2019
- IV** SERVICE PANEL ELECTRICAL CONTRACTOR TO VERIFY SIZE & LOAD OF EXISTING SERVICE PANEL - UPGRADE IF NECESSARY AND/OR REQUIRED
- V** WIRING ROMEX (OR EQUIVALENT) PER CODE
- VI** SMOKE ALARM INSTALL PER SECTION R314, C.R.C. 2019 - NEW SMOKE ALARMS SHALL BE INTERCONNECTED (SEC. R314.4), RECEIVE THEIR PRIMARY POWER FROM BUILDING WIRING (R314.6) AND SHALL BE EQUIPPED W/ BATTERY BACKUP.
 - THE SMOKE ALARMS SHALL BE LISTED AS COMPLYING WITH UL 217 & INSTALLED ACCORDING TO THE PROVISIONS OF THE CODE AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72
- VII** ARC-FAULT CIRCUIT INTERRUPTER ALL BRANCH CIRCUITS THAT SUPPLY OUTLETS INSTALLED IN DWELLING UNIT KITCHEN, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY AN ARC FAULT CIRCUIT INTERRUPTER. CEC 210.12
- VIII** DEDICATED BRANCH CIRCUIT ALL NEW/REMODELED BATHROOMS AND LAUNDRY ROOMS TO HAVE A DEDICATED BRANCH CIRCUIT PER ARTICLE 550.12(E), C.E.C. 2019
- IX** CARBON MONOXIDE ALARMS INSTALL PER SECTION R315.1.2, C.R.C. 2019. NEW CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM BUILDING WIRING AND SHALL BE EQUIPPED W/ BATTERY BACKUP.
 - CARBON MONOXIDE DETECTORS SHALL BE LISTED AS COMPLYING WITH UL 2034 & INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE MFG'S INSTRUCTIONS (SEC. R315.1.1, 2019 C.R.C.)
- X** TAMPER RESISTANT RECEPTS PER ARTICLE 406.11, C.E.C. 2019. PROVIDE TAMPER RESISTANT RECEPTS IN ALL AREAS SPECIFIED IN ARTICLE 210.52, C.E.C. 2019
- XI** KITCHEN RECEPTACLES AT WALL COUNTER SPACES, PROVIDE A GFCI RECEPTACLE EVERY 4'-0" SO THAT NO POINT ALONG THE WALL LINE IS MORE THAN 24" FROM A RECEPTACLE OUTLET

- NOTES:**
1. AT LEAST TWO (2) SMALL APPLIANCE BRANCH CIRCUITS SHALL BE PROVIDED TO SERVE ALL OF THE WALL & FLOOR RECEPTACLE OUTLETS IN KITCHENS, PANTRIES, BREAKFAST ROOMS, DINING ROOMS OR OTHER SIMILAR AREAS
 2. SMOKE ALARMS INSTALLED WITHIN 20 FT. OF KITCHEN, BATHROOM OR ROOM CONTAINING A FIREPLACE OR WOOD BURNING STOVE SHALL BE OF THE PHOTOELECTRIC TYPE ONLY
 3. SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING, BE EQUIPPED WITH BATTERY BACKUP AND BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS
 4. FOR PLACEMENT OF SMOKE ALARMS AND CARBON MONOXIDE DETECTORS IN ROOMS WITH VARIATIONS IN CEILING HEIGHT (SLOPED, PITCHED, ETC.), REFER TO THE MANUFACTURERS GUIDELINES FOR PROPER PLACEMENT

LIGHTING REQUIREMENTS

- XII** GENERAL LIGHTING ALL LIGHTING AS HIGH EFFICACY (i.e. PIN-BASED CFL, PULSE-START MH, HPS, GU-24 SOCKETS OTHER THAN LEDs, LED LUMINAIRES WITH INTEGRAL SOURCE, etc.) CEC 150.0-A

NOTE: SCREW-BASED PERMANENTLY INSTALLED LIGHT FIXTURES MUST CONTAIN SCREW-BASED J48 (JOINT APPENDIX B) COMPLIANT LAMPS. J48 COMPLIANT LIGHT SOURCES MUST BE MARKED AS "J48-2016" OR "J48-2016-E" "J48-2016-E" LUMINAIRES ARE DEEMED APPROPRIATE FOR USE IN ENCLOSED LUMINAIRES CEC 150.0(K)

NOTE: ALL J48 COMPLIANT LIGHT SOURCES IN THE FOLLOWING LOCATIONS ARE CONTROLLED BY VACANCY SENSORS OR DIMMERS (EXCEPTION: CLOSETS LESS THAN 70 S.F. AND HALLWAYS): CEC 150.0(K)(2)

 - i. CEILING RECESSED DOWNLIGHT LUMINAIRES.
 - ii. LED LUMINAIRES WITH INTEGRAL SOURCES.
 - iii. PIN-BASED LED LAMPS (i.e. MR16, AR-11, etc.)
 - iv. GU-24 BASED LED LIGHT SOURCES
- XIII** BATHROOM LIGHTING PROVIDE AT LEAST ONE FIXTURE IN EACH BATHROOM CONTROLLED BY VACANCY SENSOR. CEC 150.0(K)(2)
- XIV** LAUNDRY & UTILITY ROOM LIGHTING PROVIDE AT LEAST ONE FIXTURE IN EACH ROOM CONTROLLED BY VACANCY SENSOR. CEC 150.0(K)(2)
- XV** OUTDOOR LIGHTING ALL OUTDOOR LIGHTING TO BE HIGH EFFICACY & MEET THE REQ'S IN 1 BELOW & THE REQ'S IN EITHER a OR b BELOW
 1. CONTROLLED BY A MANUAL ON & OFF SWITCH THAT DOES NOT OVERRIDE TO "ON" FROM ONE OF THE FOLLOWING
 - a. CONTROLLED BY PHOTOCELL & MOTION SENSOR
 - b. CONTROLS THAT OVERRIDE TO "ON" SHALL NOT BE ALLOWED UNLESS THE OVERRIDE AUTOMATICALLY REACTIVATES THE MOTION SENSOR WITHIN 6 HOURS) OR
 2. CONTROLLED BY ONE OF THE FOLLOWING
 - i. PHOTOCONTROL & AUTOMATIC TIME SWITCH CONTROL
 - ii. ASTRONOMICAL TIME CLOCK
 - iii. ENERGY MANAGEMENT CONTROL SYSTEM

- ALL EXTERIOR LUMINAIRES SHALL BE LABELED "SUITABLE FOR WET LOCATIONS" (SEC. 410.10(A), 2019 CEC)

NOTE: ALL CAN LIGHTS TO BE IC AT RATED

NOTE: ALL SMOKE & CARBON MONOXIDE ALARMS ARE TO BE INTERCONNECTED
- XVI** GARAGE & CARPORT LIGHTING PROVIDE AT LEAST ONE FIXTURE IN EACH BATHROOM CONTROLLED BY VACANCY SENSOR. CEC 150.0(K)(2)

- NOTES:**
1. RECESSED LUMINAIRES - LUMINAIRES/LIGHT SOURCES MUST BE MARKED "J48-2016-E" COMPLIANT, BE LISTED AS IC & AT RATED, ACCESSIBLE FROM BELOW BY THE CEILING & CANNOT CONTAIN A SCREW BASED SOCKET (SEC. 150.0(K)(1C), 2019 CA ENERGY CODE)
 2. ADDITIONAL AREAS IN THE HOME (i.e. BEDROOMS, HALLWAYS, STAIRS, DINING ROOMS, ETC.) SHALL HAVE HIGH EFFICACY LIGHTING, OR BE PROVIDED WITH A MANUAL-ON MOTION SENSOR OR DIMMER SWITCH. THE MANUAL-ON MOTION SENSOR MUST TURN OFF AUTOMATICALLY WHEN NO ONE IS PRESENT WITHIN THE ROOM AND BE CAPABLE OF BEING TURNED ON MANUALLY WITH A SWITCH (EXCEPTION: CLOSETS SMALLER THAN 70 S.F. ARE EXEMPT)

*** NOTE**

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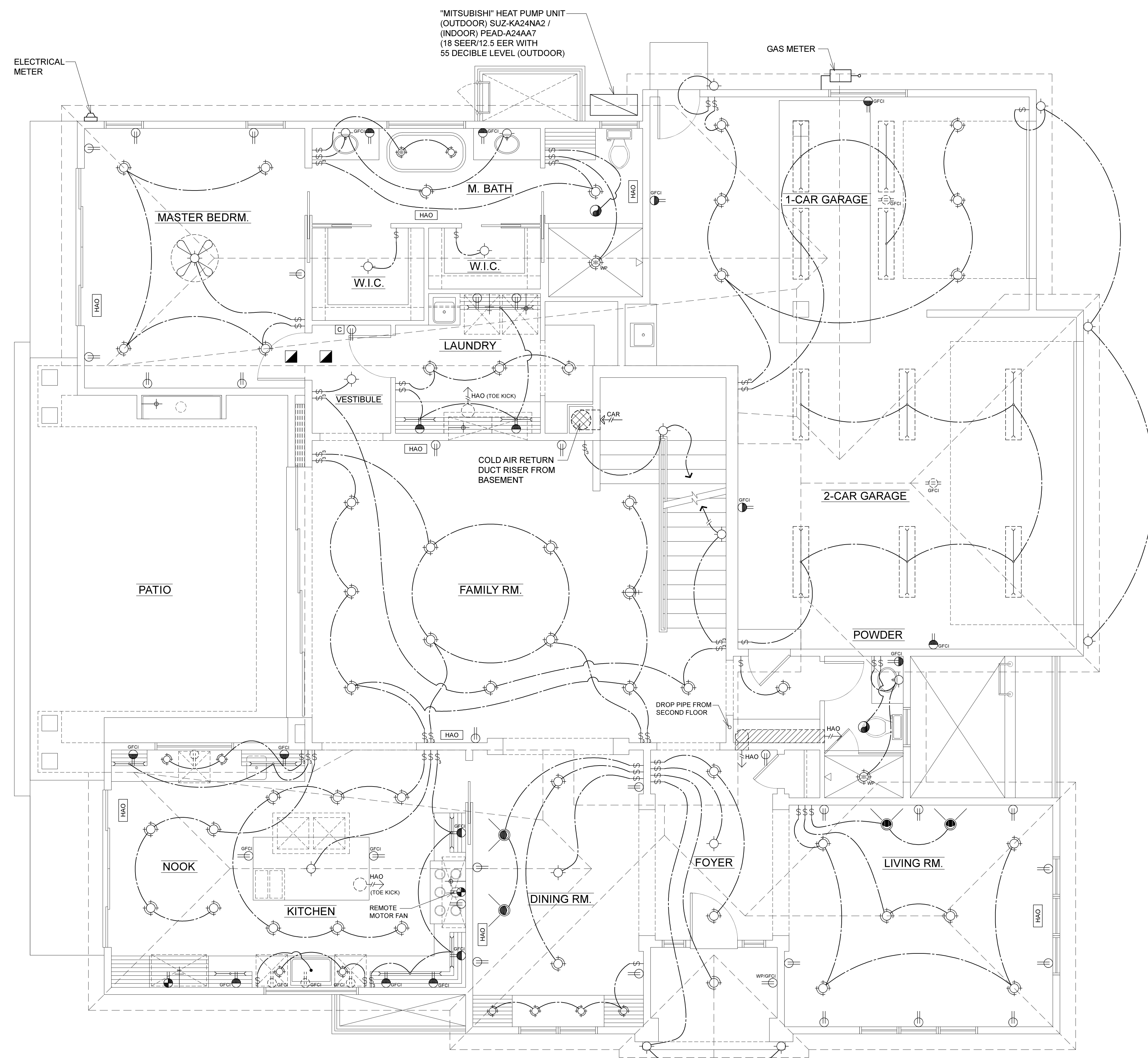
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SHEET

A7.1



MAIN FLOOR ELECTRICAL / MECHANICAL PLAN
1/4" = 1'-0"

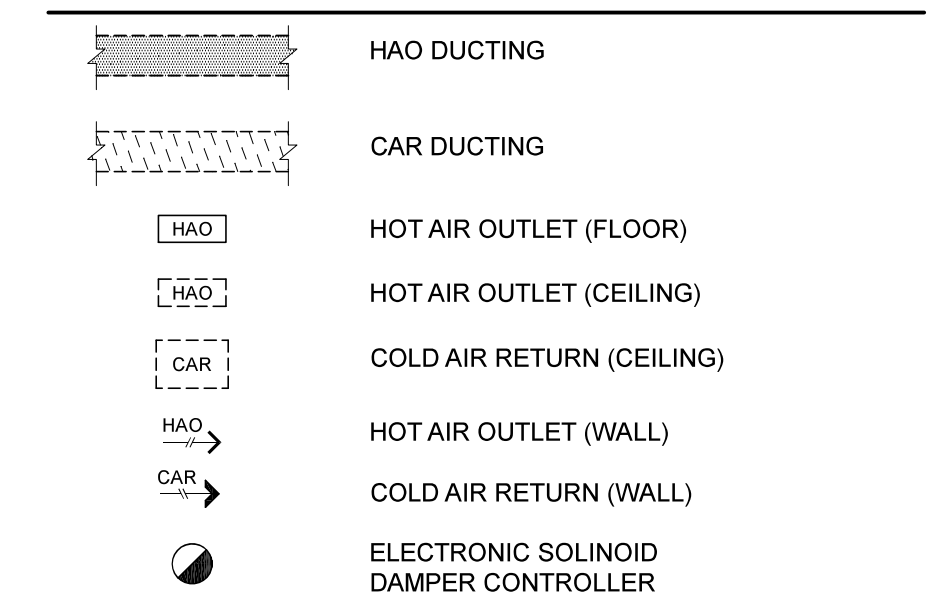
MECHANICAL NOTES

- A** CODES 2019 C.M.C.
 - B** COMBUSTION AIR PROVIDE COMBUSTION AIR @ FURNACE(S) AND WATER HEATER(S) PER CH. 7, C.M.C. 2019
 - C** DRYER EXHAUST PROVIDE DRYER EXHAUST VENT (4"Ø MIN. & WITH BACK DRAFT DAMPER) TO EXTERIOR. DRYER MOISTURE EXHAUST DUCT VENT SHALL HAVE A MAX. COMBINED HORIZONTAL & VERTICAL LENGTH OF 14'-0" INCLUDING TWO 90-DEGREE ELBOWS (CMC 504.3.1.2, 2019) OR PER MANUFACTURER'S SPECIFICATIONS
 - D** BATHROOM EXHAUST FAN BATHROOM EXHAUST FANS SHALL BE "ENERGY STAR" COMPLIANT AND PROVIDED W/ HUMIDITY CONTROL. CMC SEC. 402.5 & CGBSC SEC 4.506.1
 - E** ELEC. DRYERS & RANGES ELECTRIC CLOTHES DRYERS & RANGES SHALL HAVE A 4-WIRE GROUNDED ELECTRICAL OUTLET PER ARTICLE 250.140, C.E.C. 2019
 - F** F.A.U. IN ATTIC ALL ATTIC FURNACES SHALL COMPLY W/ SECTION 904.11 & CH. 3, C.M.C. 2019. PROVIDE COMBUSTION AIR PER CH. 7, C.M.C. 2019
- NOTE: MAKEUP AIR SHALL BE PROVIDED FOR CLOTHES DRYERS IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS
- NOTES: - TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS SHALL BE A MIN. 3'-0" FROM ANY OPENINGS INTO THE BUILDING AND 3'-0" FROM PROPERTY LINE. 2019 CMC SECTION 504.5
 - THE MINIMUM EXHAUST RATE OF THE KITCHEN FAN SHALL BE 100 cfm
 - THE MINIMUM EXHAUST RATE OF THE BATHROOMS FANS SHALL BE 500 cfm
 - DUCTS IN THE GARAGE & DUCTS PENETRATING WALLS OR CEILINGS SEPARATING THE GARAGE FROM THE DWELLING SHALL BE CONSTRUCTED OF MINIMUM 26-GAUGE SHEETS METAL & SHALL HAVE NO OPENINGS INTO THE GARAGE
- NOTE: ALL DUCTS SHOWN ARE SCHEMATIC ONLY. ACTUAL LAYOUT TO BE DETERMINED BY HVAC CONTRACTOR. PROVIDE MINIMUM CLEARANCES AS REQUIRED BY CODE FOR CRAWL SPACE ACCESS

PLUMBING NOTES

- G** CODES 2019 C.P.C.
 - H** WASTE & DRAIN PIPE MINIMUM 4"Ø DRAINAGE PIPE SHALL BE REQUIRED FOR FOUR OR MORE WATER CLOSET FIXTURES ON THE SAME HORIZONTAL BRANCH OF DRAIN. CPC TABLE 703.2 footnoted#4
 - SEWER CLEANOUTS SHALL BE INSTALLED PER SEC. 707 & 719 CPC.
 a. EVERY 100'-0" OF DEVELOPED DRAINAGE LINES and
 b. AT EACH AGGREGATE HORIZONTAL CHANGE OF DIRECTION EXCEEDING 135°
 - NOTE: THE GRADE OF ALL HORIZONTAL DRAINAGE PIPES SHALL NOT BE LESS THAN 1/8" PER FOOT (SEC. 708.1, 2019 CPC)
 - J** VENT PIPE ABS PIPE
 PLUMBING WASTE VENTS SHALL TERMINATE NOT LESS THAN 10'-0" FROM OR NOT LESS THAN 3'-0" ABOVE AN OPERABLE WINDOW, DOOR OPENING, AIR INTAKE OR VENT SHAFT OR NOT LESS THAN 3'-0" IN EVERY DIRECTION FROM A LOT LINE, ALLEY OR STREET (SEC. 509.2, 2019 CPC)
 - K** HOT & COLD WATER PIPE COPPER - INSULATE HOT WATER LINES
 - L** CONTROL VALVES PROVIDE INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC OR COMBINATION PRESSURE BALANCE / THERMOSTATIC MIXING VALVE TYPE @ ALL SHOWER & TUB / SHOWERS PER SECTION 418.0, CPC 2019
 - M** HOSE BIBBS PROVIDE NON-REMOVABLE BACK FLOW PREVENTER PER SECTION 603.2, C.P.C. 2019
- ALL PLUMBING AND FITTINGS SHALL MEET THE STANDARDS REFERENCED IN TABLE 1701.1 OF THE 2019 CALIFORNIA PLUMBING CODE. CGBSC SECTION 4.303.2
- ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLE / BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY, OR SIMILAR ACCEPTABLE METHODS. CGBSC 4.406.1
- NOTE: ALL PLUMBING SHOWN IS SCHEMATIC ONLY. ACTUAL LAYOUT TO BE DETERMINED BY PLUMBING CONTRACTOR

MECHANICAL LEGEND



ELECTRICAL LEGEND



ELECTRICAL NOTES

- I** CODES 2019 C.E.C.
 - II** GROUND THE INSTALLATION OF A PERMITTED GROUNDING ELECTRODE TYPE AS LISTED IN SEC. 250.52, 2019 CEC, IS REQUIRED
 - III** GFCI INSTALL GROUND FAULT CIRCUIT INTERRUPTER OUTLETS @ ALL LOCATIONS AS SPECIFIED IN ARTICLE 210.8(A)(6) C.E.C. 2019
 - IV** SERVICE PANEL ELECTRICAL CONTRACTOR TO VERIFY SIZE & LOAD OF EXISTING SERVICE PANEL - UPGRADE IF NECESSARY AND/OR REQUIRED
 - V** WIRING ROMEX (OR EQUIVALENT) PER CODE
 - VI** SMOKE ALARM INSTALL PER SECTION R314, C.R.C. 2019 - NEW SMOKE ALARMS SHALL BE INTERCONNECTED (SEC. R314.4), RECEIVE THEIR PRIMARY POWER FROM BUILDING WIRING (R314.6) AND SHALL BE EQUIPPED W/ BATTERY BACKUP
 - THE SMOKE ALARMS SHALL BE LISTED AS COMPLYING WITH UL 217 & INSTALLED ACCORDING TO THE PROVISION OF THE CODE AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72
 - VII** ARC-FAULT CIRCUIT INTERRUPTER ALL BRANCH CIRCUITS THAT SUPPLY OUTLETS INSTALLED IN DWELLING UNIT KITCHEN, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN'S, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY AN ARC FAULT CIRCUIT INTERRUPTER. CEC 210.12
 - VIII** DEDICATED BRANCH CIRCUIT ALL NEW/REMODELED BATHROOMS AND LAUNDRY ROOMS TO HAVE A DEDICATED BRANCH CIRCUIT PER ARTICLE 550.12(E), C.E.C. 2019
 - IX** CARBON MONOXIDE ALARMS INSTALL PER SECTION R315.1.2, C.R.C. 2019. NEW CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM BUILDING WIRING AND SHALL BE EQUIPPED W/ BATTERY BACKUP
 - CARBON MONOXIDE DETECTORS SHALL BE LISTED AS COMPLYING WITH UL 2034 & INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE MFG'S INSTRUCTIONS (SEC. R315.1.1, 2019 CRC)
 - X** TAMPER RESISTANT RECEPTS PER ARTICLE 406.11, C.E.C. 2019. PROVIDE TAMPER RESISTANT RECEPTS IN ALL AREAS SPECIFIED IN ARTICLE 210.52, C.E.C. 2019
 - XI** KITCHEN RECEPTACLES AT WALL COUNTER SPACES, PROVIDE A GFCI RECEPTACLE EVERY 4'-0" SO THAT NO POINT ALONG THE WALL LINE IS MORE THAN 24" FROM A RECEPTACLE OUTLET
- NOTES: 1. AT LEAST TWO WITH SMALL APPLIANCE BRANCH CIRCUITS SHALL BE PROVIDED TO SERVE ALL OF THE WALL & FLOOR RECEPTACLE OUTLETS IN KITCHENS, PANTRIES, BREAKFAST ROOMS, DINING ROOMS OR OTHER SIMILAR AREAS
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LIGHTING REQUIREMENTS

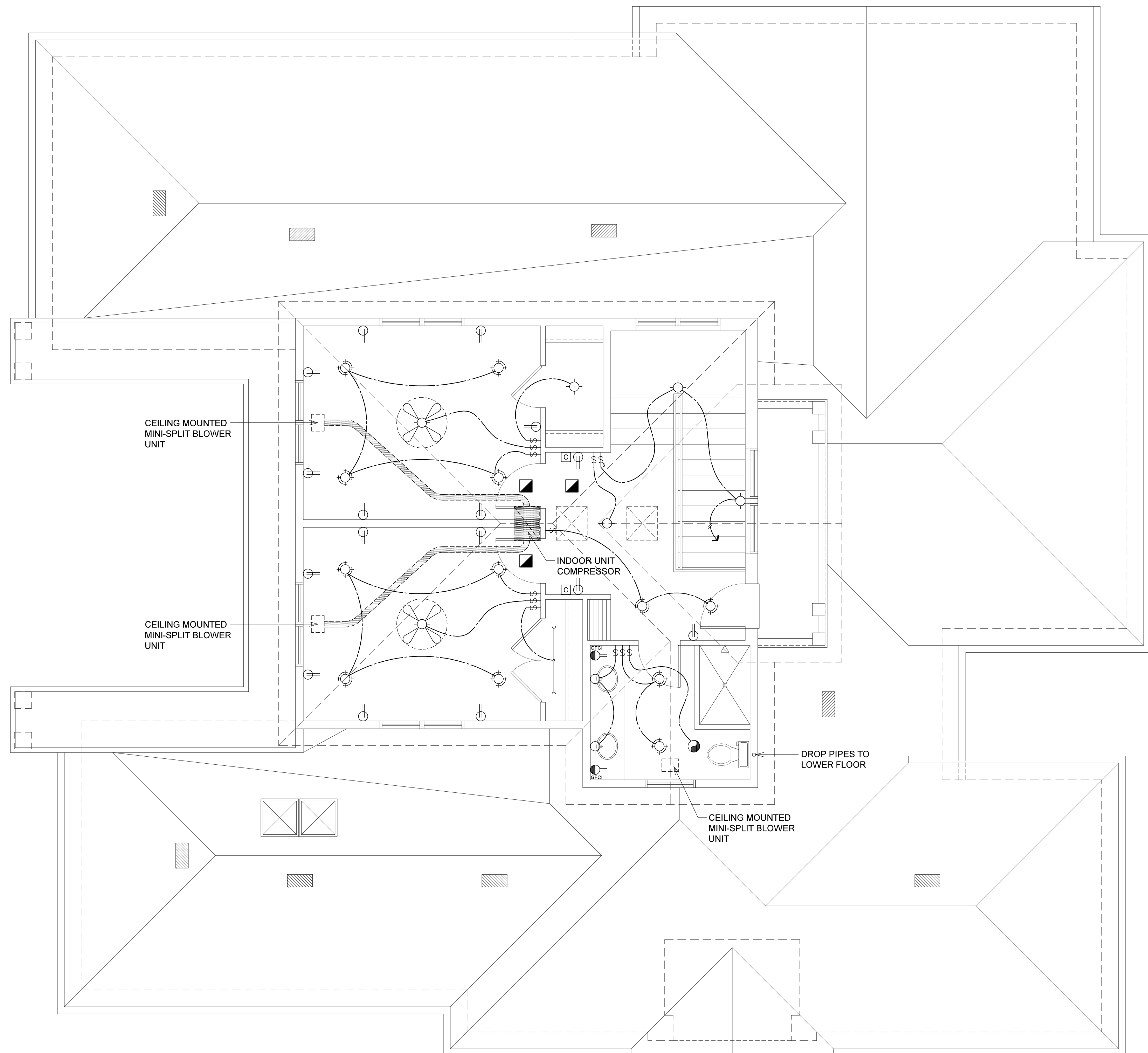
- XII** GENERAL LIGHTING ALL LIGHTING AS HIGH EFFICACY (i.e. PIN-BASED CFL, PULSE-START MH, HPS, GU-24 SOCKETS OTHER THAN LED), LED LUMINAIRES WITH INTEGRAL SOURCE, etc.) CEC 150.0-A
 - NOTE: SCREW-BASED PERMANENTLY INSTALLED LIGHT FIXTURES MUST CONTAIN SCREW-BASED J48 (JOINT APPENDIX B) COMPLIANT LAMPS. J48 COMPLIANT LIGHT SOURCES MUST BE MARKED AS "J48-2016" OR "J48-2016-E" "J48-2016-E" LUMINAIRES ARE DEEMED APPROPRIATE FOR USE IN ENCLOSED LUMINAIRES (SEC 150.0(K))
 - NOTE: ALL J48 COMPLIANT LIGHT SOURCES IN THE FOLLOWING LOCATIONS ARE CONTROLLED BY VACANCY SENSORS OR DIMMERS (EXCEPTION: CLOSETS LESS THAN 70 S.F. AND HALLWAYS): CEC 150.0(K)(2)
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 - XV** OUTDOOR LIGHTING ALL OUTDOOR LIGHTING TO BE HIGH EFFICACY & MEET THE REQ'S IN 1 BELOW & THE REQ'S IN EITHER A OR B BELOW
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 a. CONTROLLED BY PHOTOCELL & MOTION SENSOR
 b. CONTROLS THAT OVERRIDE TO "ON" SHALL NOT BE ALLOWED UNLESS THE OVERRIDE AUTOMATICALLY REACTIVATES THE MOTION SENSOR WITHIN 6 HOURS) OR
 c. CONTROLLED BY ONE OF THE FOLLOWING
 i. PHOTOCONTROL & AUTOMATIC TIME SWITCH CONTROL
 ii. ASTRONOMICAL TIME CLOCK
 iii. ENERGY MANAGEMENT CONTROL SYSTEM
 - ALL EXTERIOR LUMINAIRES SHALL BE LABELED "SUITABLE FOR WET LOCATIONS" (SEC. 410.10(A), 2019 CEC)
 NOTE: ALL CAN LIGHTS TO BE IC AT RATED
 - NOTE: ALL SMOKE & CARBON MONOXIDE ALARMS ARE TO BE INTERCONNECTED
 - XVI** GARAGE & CARPORT LIGHTING PROVIDE AT LEAST ONE FIXTURE IN EACH BATHROOM CONTROLLED BY VACANCY SENSOR. CEC 150.0(K)(2)
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UPPER FLOOR ELECTRICAL & MECHANICAL PLAN

1/4" = 1'-0"

MECHANICAL NOTES

- A** CODES 2019 C.M.C.
- B** COMBUSTION AIR PROVIDE COMBUSTION AIR @ FURNACE(S) AND WATER HEATER(S) PER CH. 7, C.M.C. 2019
- C** DRYER EXHAUST PROVIDE DRYER EXHAUST VENT (4"Ø MIN. & WITH BACK DRAFT DAMPER) TO EXTERIOR. DRYER MOISTURE EXHAUST DUCT VENT SHALL HAVE A MAX. COMBINED HORIZONTAL & VERTICAL LENGTH OF 14'-0" INCLUDING TWO 90-DEGREE ELBOWS (CMC 504.3.1.2, 2019) OR PER MANUFACTURER'S SPECIFICATIONS
- D** BATHROOM EXHAUST FAN BATHROOM EXHAUST FANS SHALL BE "ENERGY STAR" COMPLIANT AND PROVIDED W/ HUMIDITY CONTROL. CMC SEC. 402.5 & CGSBC SEC 4.506.1
- E** ELEC. DRYERS & RANGES ELECTRIC CLOTHES DRYERS & RANGES SHALL HAVE A 4-WIRE GROUNDED ELECTRICAL OUTLET PER ARTICLE 250.140, C.E.C. 2019
- F** F.A.U. IN ATTIC ALL ATTIC FURNACES SHALL COMPLY W/ SECTION 904.11 & CH. 3, C.M.C. 2019. PROVIDE COMBUSTION AIR PER CH. 7, C.M.C. 2019

NOTE: MAKEUP AIR SHALL BE PROVIDED FOR CLOTHES DRYERS IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS

NOTES: - TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS SHALL BE A MIN. 3'-0" FROM ANY OPENINGS INTO THE BUILDING AND 3'-0" FROM PROPERTY LINE. 2019 CMC SECTION 504.5
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 - THE MINIMUM EXHAUST RATE OF THE BATHROOMS FANS SHALL BE 500 cfm
 - DUCTS IN THE GARAGE & DUCTS PENETRATING WALLS OR CEILINGS SEPARATING THE GARAGE FROM THE DWELLING SHALL BE CONSTRUCTED OF MINIMUM 26-GAUGE SHEETS METAL & SHALL HAVE NO OPENINGS INTO THE GARAGE

NOTE: ALL DUCTS SHOWN ARE SCHEMATIC ONLY. ACTUAL LAYOUT TO BE DETERMINED BY HVAC CONTRACTOR. PROVIDE MINIMUM CLEARANCES AS REQUIRED BY CODE FOR CRAWL SPACE ACCESS

PLUMBING NOTES

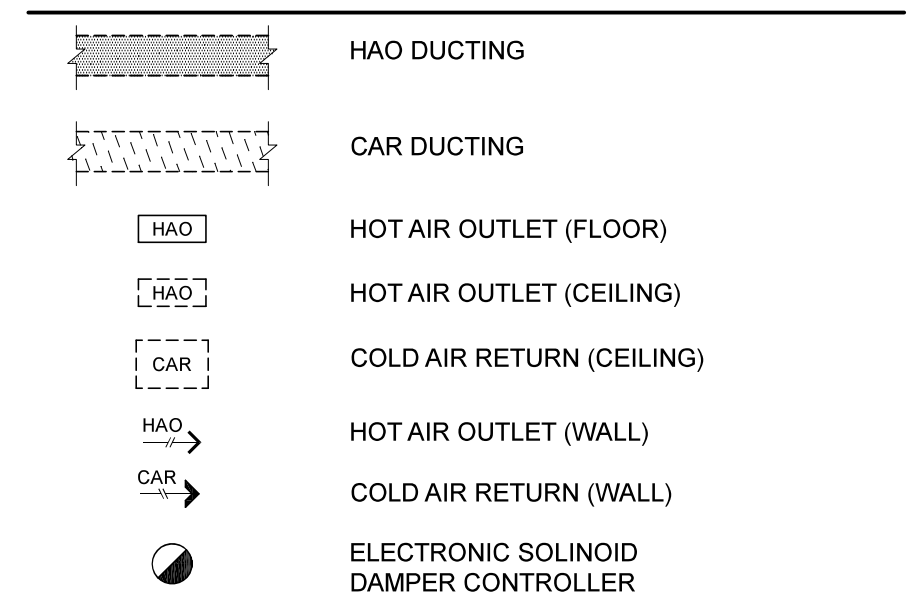
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- SEWER CLEANOUTS SHALL BE INSTALLED PER SEC 707 & 719 CPC.
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 b. AT EACH AGGREGATE HORIZONTAL CHANGE OF DIRECTION EXCEEDING 135°
- NOTE: THE GRADE OF ALL HORIZONTAL DRAINAGE PIPES SHALL NOT BE LESS THAN X" PER FOOT (SEC. 708.1, 2019 CPC)
- J** VENT PIPE ABS PIPE PLUMBING WASTE VENTS SHALL TERMINATE NOT LESS THAN 10'-0" FROM OR NOT LESS THAN 3'-0" ABOVE AN OPERABLE WINDOW, DOOR OPENING, AIR INTAKE OR VENT SHAFT OR NOT LESS THAN 3'-0" IN EVERY DIRECTION FROM A LOT LINE, ALLEY OR STREET (SEC. 909.2, 2019 CPC)
- K** HOT & COLD WATER PIPE COPPER - INSULATE HOT WATER LINES
- L** CONTROL VALVES PROVIDE INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC OR COMBINATION PRESSURE BALANCE / THERMOSTATIC MIXING VALVE TYPE @ ALL SHOWER & TUB / SHOWERS PER SECTION 418.0, CPC 2019
- M** HOSE BIBBS PROVIDE NON-REMOVABLE BACK FLOW PREVENTER PER SECTION 603.2, C.P.C. 2019

ALL PLUMBING AND FITTINGS SHALL MEET THE STANDARDS REFERENCED IN TABLE 1701.1 OF THE 2019 CALIFORNIA PLUMBING CODE. CGSBC SECTION 4.303.2

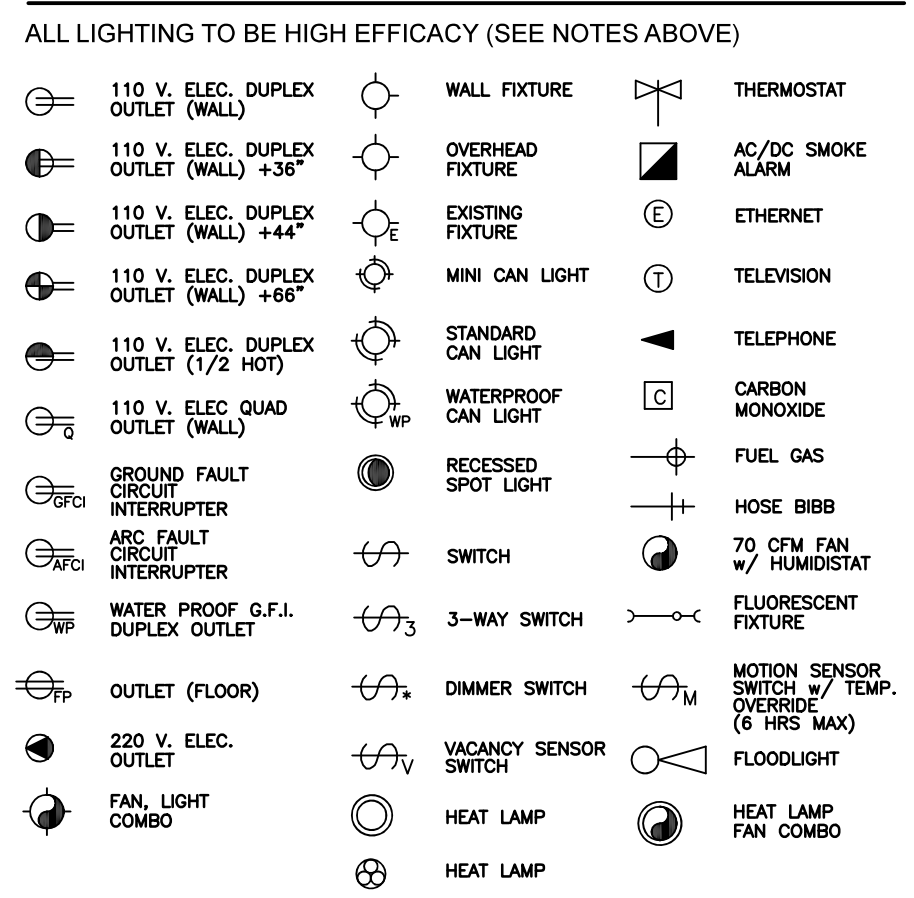
ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLE / BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY, OR SIMILAR ACCEPTABLE METHODS. CGSBC 4.406.1

NOTE: ALL PLUMBING SHOWN IS SCHEMATIC ONLY. ACTUAL LAYOUT TO BE DETERMINED BY PLUMBING CONTRACTOR

MECHANICAL LEGEND



ELECTRICAL LEGEND



ELECTRICAL NOTES

- I** CODES 2019 C.E.C.
- II** GROUND THE INSTALLATION OF A PERMITTED GROUNDING ELECTRODE TYPE AS LISTED IN SEC. 250.52, 2019 CEC, IS REQUIRED
- III** GFCI INSTALL GROUND FAULT CIRCUIT INTERRUPTER OUTLETS @ ALL LOCATIONS AS SPECIFIED IN ARTICLE 210.8(A)(6) C.E.C. 2019
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- V** WIRING ROMEX (OR EQUIVALENT) PER CODE
- VI** SMOKE ALARM INSTALL PER SECTION R314, C.R.C. 2019 - NEW SMOKE ALARMS SHALL BE INTERCONNECTED (SEC. R314.4), RECEIVE THEIR PRIMARY POWER FROM BUILDING WIRING (R314.6) AND SHALL BE EQUIPPED W/ BATTERY BACKUP
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- VII** ARC-FAULT CIRCUIT INTERRUPTER ALL BRANCH CIRCUITS THAT SUPPLY OUTLETS INSTALLED IN DWELLING UNIT KITCHEN, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN'S, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY AN ARC FAULT CIRCUIT INTERRUPTER. CEC 210.12
- VIII** DEDICATED BRANCH CIRCUIT ALL NEW/REMODELED BATHROOMS AND LAUNDRY ROOMS TO HAVE A DEDICATED BRANCH CIRCUIT PER ARTICLE 550.12(E), C.E.C. 2019
- IX** CARBON MONOXIDE ALARMS INSTALL PER SECTION R315.1.2, C.R.C. 2019. NEW CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM BUILDING WIRING AND SHALL BE EQUIPPED W/ BATTERY BACKUP
 - CARBON MONOXIDE DETECTORS SHALL BE LISTED AS COMPLYING WITH UL 2034 & INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE MFG'S INSTRUCTIONS (SEC. R315.1.1, 2019 CRC)
- X** TAMPERS RESISTANT PER ARTICLE 406.11, C.E.C. 2019. PROVIDE TAMPERS RESISTANT RECEPTACLES IN ALL AREAS SPECIFIED IN ARTICLE 210.52, C.E.C. 2019
- XI** KITCHEN RECEPTACLES AT WALL COUNTER SPACES, PROVIDE A GFCI RECEPTACLE EVERY 4'-0" SO THAT NO POINT ALONG THE WALL LINE IS MORE THAN 24" FROM A RECEPTACLE OUTLET

NOTES: 1. AT LEAST TWO (2) SMALL APPLIANCE BRANCH CIRCUITS SHALL BE PROVIDED TO SERVE ALL OF THE WALL & FLOOR RECEPTACLE OUTLETS IN KITCHENS, PANTRIES, BREAKFAST ROOMS, DINING ROOMS OR OTHER SIMILAR AREAS
 2. SMOKE ALARMS INSTALLED WITHIN 20 FT. OF A KITCHEN, BATHROOM OR ROOM CONTAINING A FIREPLACE OR WOOD BURNING STOVE SHALL BE OF THE PHOTOELECTRIC TYPE ONLY
 3. SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING, BE EQUIPPED WITH BATTERY BACKUP AND BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS
 4. FOR PLACEMENT OF SMOKE ALARMS AND CARBON MONOXIDE DETECTORS IN ROOMS WITH VARIATIONS IN CEILING HEIGHT (SLOPED, PITCHED, ETC.), REFER TO THE MANUFACTURERS GUIDELINES FOR PROPER PLACEMENT

LIGHTING REQUIREMENTS

- XII** GENERAL LIGHTING ALL LIGHTING AS HIGH EFFICACY (i.e. PIN-BASED CFL, PULSE-START MH, HPS, GU-24 SOCKETS OTHER THAN LED), LED LUMINAIRES WITH INTEGRAL SOURCE, etc.) CEC 150.0-A
- NOTE: SCREW-BASED PERMANENTLY INSTALLED LIGHT FIXTURES MUST CONTAIN SCREW-BASED J48 (JOINT APPENDIX B) COMPLIANT LAMPS. J48 COMPLIANT LIGHT SOURCES MUST BE MARKED AS "J48-2016" OR "J48-2016-E" ("J48-2016-E" LUMINAIRES ARE DEEMED APPROPRIATE FOR USE IN ENCLOSED LUMINAIRES) CEC 150.0(K)
- NOTE: ALL J48 COMPLIANT LIGHT SOURCES IN THE FOLLOWING LOCATIONS ARE CONTROLLED BY VACANCY SENSORS OR DIMMERS (EXCEPTION: CLOSETS LESS THAN 70 S.F. AND HALLWAYS). CEC 150.0(K)(2):
 i. CEILING RECESSED DOWNLIGHT LUMINAIRES.
 ii. LED LUMINAIRES WITH INTEGRAL SOURCES.
 iii. PIN-BASED LED LAMPS (i.e. MR16, AR-11, etc.)
 iv. GU-24 BASED LED LIGHT SOURCES
- XIII** BATHROOM LIGHTING PROVIDE AT LEAST ONE FIXTURE IN EACH BATHROOM CONTROLLED BY VACANCY SENSOR. CEC 150.0(K)(2)
- XIV** LAUNDRY & UTILITY ROOM LIGHTING PROVIDE AT LEAST ONE FIXTURE IN EACH ROOM CONTROLLED BY VACANCY SENSOR. CEC 150.0(K)(2)
- XV** OUTDOOR LIGHTING ALL OUTDOOR LIGHTING TO BE HIGH EFFICACY & MEET THE REQ'S IN 1 BELOW & THE REQ'S IN EITHER A OR B BELOW
 1. CONTROLLED BY A MANUAL ON & OFF SWITCH THAT DOES NOT OVERRIDE TO "ON" FROM ONE OF THE FOLLOWING:
 a. CONTROLLED BY PHOTOCELL & MOTION SENSOR
 b. CONTROLS THAT OVERRIDE TO ON SHALL NOT BE ALLOWED UNLESS THE OVERRIDE AUTOMATICALLY REACTIVATES THE MOTION SENSOR WITHIN 6 HOURS) OR
 2. CONTROLLED BY ONE OF THE FOLLOWING:
 i. PHOTOCONTROL & AUTOMATIC TIME SWITCH CONTROL
 ii. ASTRONOMICAL TIME CLOCK
 iii. ENERGY MANAGEMENT CONTROL SYSTEM
 - ALL EXTERIOR LUMINAIRES SHALL BE LABELED "SUITABLE FOR WET LOCATIONS" (SEC. 410.10(A), 2019 CEC)
- NOTE: ALL CAN LIGHTS TO BE IC AT RATED
- NOTE: ALL SMOKE & CARBON MONOXIDE ALARMS ARE TO BE INTERCONNECTED
- XVI** GARAGE & CARPORT LIGHTING PROVIDE AT LEAST ONE FIXTURE IN EACH BATHROOM CONTROLLED BY VACANCY SENSOR. CEC 150.0(K)(2)

NOTES: 1. RECESSED LUMINAIRES - LUMINAIRES/LIGHT SOURCES MUST BE MARKED "J48-2016-E" COMPLIANT, BE LISTED AS IC & AT RATED, ACCESSIBLE FROM BELOW THE CEILING & CANNOT CONTAIN A SCREW BASED SOCKET (SEC. 150.0(K)(1C), 2019 CA ENERGY CODE)

2. ADDITIONAL AREAS IN THE HOME (i.e. BEDROOMS, HALLWAYS, STAIRS, DINING ROOMS, ETC.) SHALL HAVE HIGH EFFICACY LIGHTING, OR BE PROVIDED WITH A MANUAL-ON MOTION SENSOR OR DIMMER SWITCH. THE MANUAL-ON MOTION SENSOR MUST TURN OFF AUTOMATICALLY WHEN NO ONE IS PRESENT WITHIN THE ROOM AND BE CAPABLE OF BEING TURNED ON MANUALLY WITH A SWITCH (EXCEPTION: CLOSETS SMALLER THAN 70 S.F. ARE EXEMPT)

NOTE

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CLIENT (JOB No. 22124)

MUJICA RESIDENCE

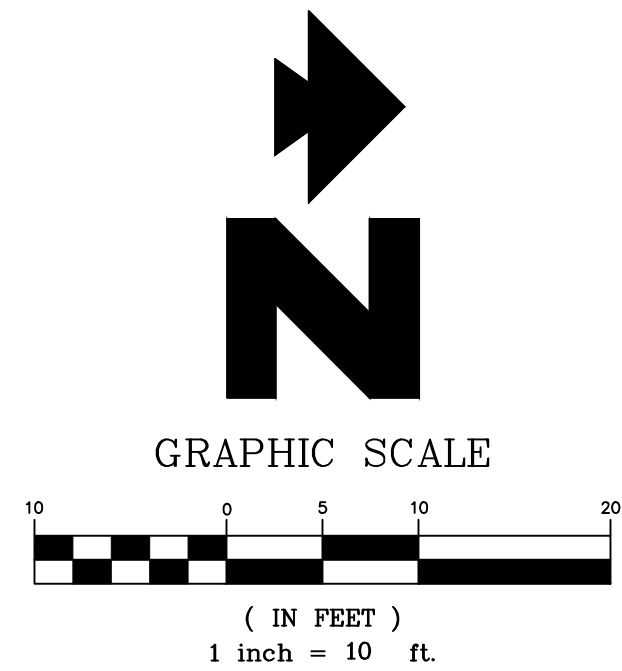
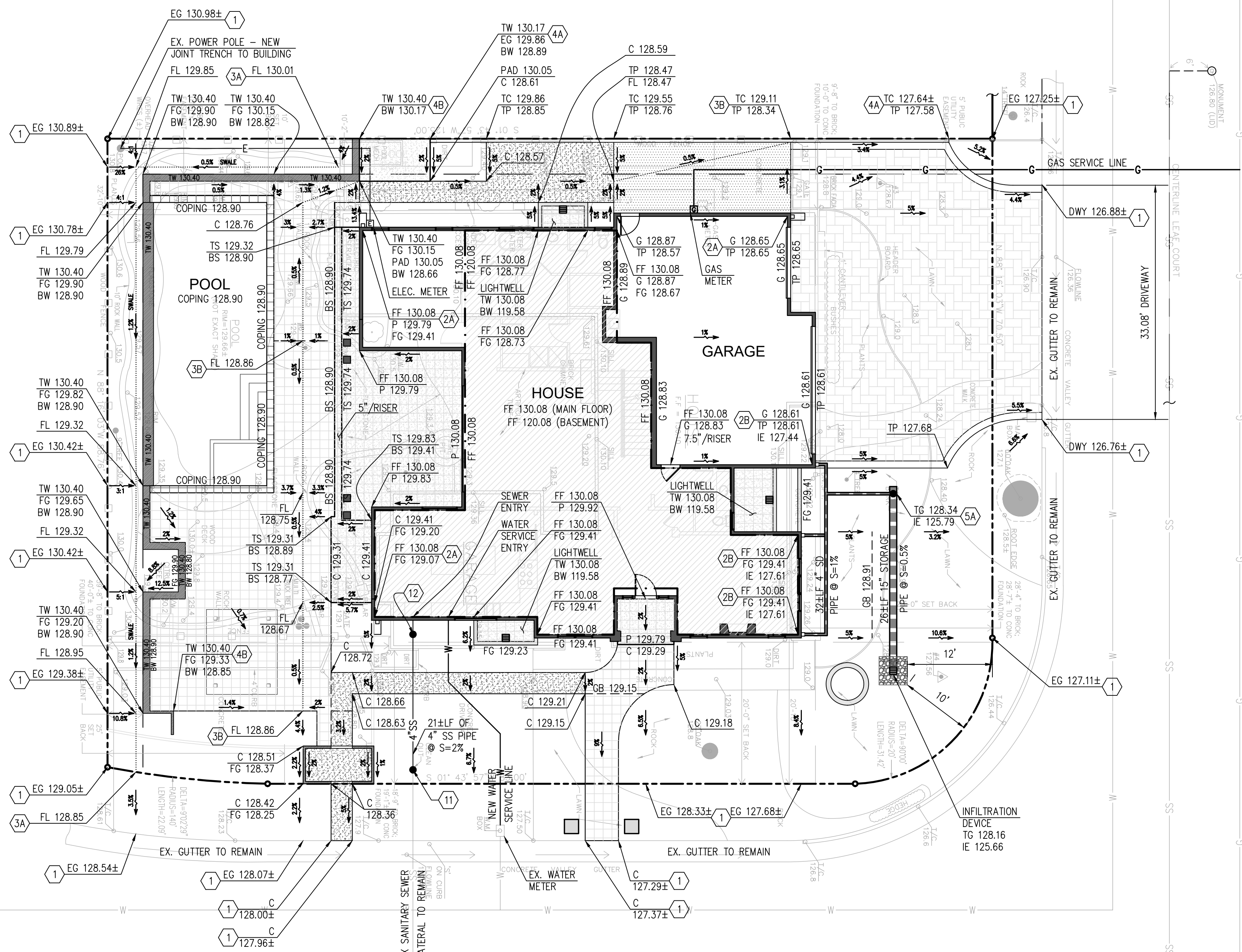
MAILING ADDRESS
 632 LEAF COURT, LOS ALTOS, CA, 94022
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JOB SITE ADDRESS

632 LEAF COURT
 LOS ALTOS, CA 94022

CHAPMAN DESIGN ASSOCIATES

620 S. EL MONTE AVENUE
 LOS ALTOS, CA 94022 (650) 941-8890



PRE & POST DEVELOPMENT PERVIOUS/IMPERVIOUS AREAS:

AREA TYPE	EXISTING (SF)	PROPOSED (SF)
LOT AREA	11,283 SF	11,283 SF
	0.259 ACRE	0.259 ACRE
HOUSE (ROOF)	2,921	3,929
EX SHED	32	0
PATIO/HARDSCAPE/PAVEMENT	2,511	2,119
DRIVEWAY	1,004	1,140
LIGHTWELL	N/A	58
TOTAL IMPERVIOUS AREA	6,468	7,246
NET IMPERVIOUS AREA INCREASED:		778
WOOD DECK	102	N/A
POOL	736	715
PERVIOUS AREA	3,977	3,322
TOTAL PERVIOUS AREA	4,815	4,037

* INCLUDES BUILDING ROOF OVERHANG AREA

EARTHWORK VOLUME:
 (INCLUDES BUILDING PAD, BASEMENT & POOL)

EARTHWORK QUANTITIES:	VOLUME (CUBIC YARD)
FILL	20
COMPACTION RATE: 15%	20 x 0.15 = 3
TOTAL FILL	23
CUT	1,045
TOTAL EARTHWORK	1,022 (HAUL OFF)

CONTRACTOR SHALL ESTIMATE THEIR EARTHWORK QUANTITIES WHEN BIDDING ON THIS PROJECT

STORM DRAIN VOLUME CALCULATION:

TIME OF CONCENTRATION = 5 MIN
 INTENSITY = 10 YEAR = 2.57 IN/HR
 IMPERVIOUS AREA INCREASED = 778 SF = 0.018 ACRE

PRE-CONDITION	VOLUME REQUIRED:
Q=CIA	V=1.5(Q POST - Q PRE) X 10 MIN
Q=0.35 X 2.57 X 0.018	Q=1.5(0.042 - 0.016) X 600
Q=0.016 CFS	Q=23.4 CF

POST-CONDITION	VOLUME PROVIDED:
Q=CIA	V=26 LF X 15" STORAGE PIPE
Q=0.90 X 2.57 X 0.018	V=32.0 CF (TOTAL)
Q=0.042 CFS	

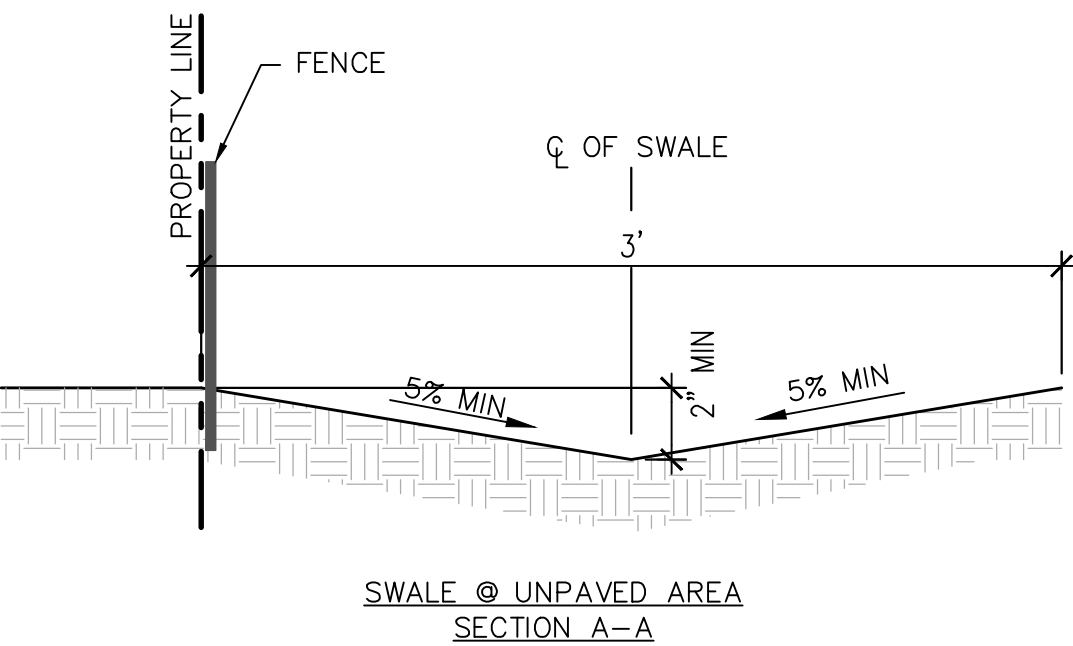
- GENERAL NOTES:**
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
 - CONTRACTOR SHALL PROTECT ALL PROPERTY CORNERS.
 - CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
 - CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
 - CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDING FOR ALL NATURAL AND PAVED AREAS.
 - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
 - THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
 - UTILITY VAULTS, TRANSFORMERS, UTILITY CABINETS, CONCRETE BASES, OR OTHER STRUCTURES CANNOT BE PLACED OVER WATER MAINS/SERVICES. MAINTAIN 1' HORIZONTAL CLEAR SEPARATION FROM THE VAULTS, CABINETS & CONCRETE BASES TO EXISTING UTILITIES AS FOUND IN THE FIELD. IF THERE IS CONFLICT WITH EXISTING UTILITIES, CABINETS, VAULTS & BASES SHALL BE RELOCATED FROM THE PLAN LOCATION AS NEEDED TO MEET FIELD CONDITIONS. TREES MAY NOT BE PLANTED WITHIN 10' OF EXISTING WATER MAINS/SERVICES OR METERS. MAINTAIN 10' BETWEEN TREES AND WATER SERVICES, MAINS & METERS.
 - CONTRACTOR SHALL REFER TO ARCH. PLANS FOR EXACT LOCATIONS OF UTILITIES SERVICES TO NEW BUILDING. COORDINATE WITH LOCAL UTILITIES COMPANIES FOR SERVICE CONNECTIONS.
 - ANY DAMAGED RIGHT-OF-WAY INFRASTRUCTURES AND OTHERWISE DISPLACED CURB AND GUTTER SHALL BE REMOVED AND REPLACED AS DIRECTED BY THE CITY ENGINEER OR HIS DESIGNEE. CONTRACTOR SHALL COORDINATE WITH PUBLIC WORKS DEPARTMENT AT (650) 947-2680.
 - GROUND COVER IS PROVIDED IN AREAS WHERE THERE IS EXPOSED SOIL.
 - PRIOR TO THE COMMENCEMENT OF ANY WORK DONE IN THE PUBLIC RIGHT-OF-WAY, A PERMIT TO OPEN STREET AND/OR AN ENCROACHMENT PERMIT WILL BE REQUIRED.

- LEGEND**
- = PROPERTY LINE
 - = STREET CENTER LINE
 - = EX. ROLLED CURB
 - + 50.0 = EX. SPOT ELEVATION
 - = FLOW DIRECTION
 - - - = GRADE BREAK
 - - - = FLOW LINE
 - [Symbol] = INFILTRATION DEVICE
 - [Symbol] = AREA INLET
 - [Symbol] = LIGHTWELL SUMP PUMP
 - [Symbol] = STORM DRAIN PIPE
 - [Symbol] = CONCRETE SPLASH PAD
 - [Symbol] = STORM DRAIN PIPE
 - [Symbol] = LIMIT OF BASEMENT
 - [Symbol] = NEW 4" SEWER LATERAL
 - [Symbol] = SANITARY SEWER CLEANOUT
 - [Symbol] = EXISTING SEWER LINE
 - [Symbol] = NEW WATER SERVICE LINE
 - [Symbol] = EXISTING WATER LINE
 - [Symbol] = EXISTING GAS LINE
 - [Symbol] = NEW ELECTRICAL LINE / JOINT TRENCH

- ABBREVIATIONS:**
- | | | |
|---------------------|-----------------------|----------------------|
| BS = BOTTOM OF STEP | G = GARAGE | SD = STORM DRAIN |
| BOW = BACK OF WALK | GB = GRADE BREAK | SR = STRAW ROLL |
| BW = BOTTOM OF WALL | IE = INVERT ELEVATION | TC = TOP OF CURB |
| C = CONCRETE | L = LAWN | TG = TOP OF GRATE |
| DWY = DRIVEWAY | LF = LINEAL FOOT | TP = TOP OF PAVEMENT |
| EG = EXISTING GRADE | LP = LOW POINT | TS = TOP OF STEP |
| EX = EXISTING | N = NEW | TW = TOP OF WALL |
| FF = FINISHED FLOOR | P = PATIO OR PORCH | TYP = TYPICAL |
| FG = FINISHED GRADE | R.O.W. = RIGHT-OF-WAY | |
| FL = FLOW LINE | S = SLOPE | |

- GRADING NOTES**
- MATCH EXISTING ELEVATION. GRADING LIMIT IS TO PROPERTY LINE. NO GRADING ALLOWED ON ADJACENT PROPERTIES
 - DOWNSPOUT WITH CONCRETE SPLASH PAD
 - RAINWATER LEADER
 - BEGIN/END SWALE. SEE SECTION A-A
 - BEGIN/END DEPRESSED/PAVEMENT SWALE @ MIN S=0.5% PROVIDE POSITIVE SLOPE TO DRAIN INLET
 - BEGIN/END DEEPEENED CURB
 - BEGIN/END SITE 18" HIGH SEAT WALL. SEE LANDSCAPE PLANS FOR DETAILS
 - 12" END CAP WITH STORM DRAIN CLEANOUT
 - INSTALL SANITARY SEWER CLEANOUT PER CITY OF LOS ALTOS STANDARD DETAIL #SS-6. CLEANOUT PLACEMENT SHALL BE WITHIN 5' OF PROPERTY LINE. CONTRACTOR SHALL FIELD VERIFY THE EXACT SEWER LOCATION AND INVERT ELEVATION PRIOR TO INSTALLATION.
 - INSTALL SANITARY SEWER CLEANOUT WITH BACKFLOW PREVENTION DEVICE. PLACE CLEANOUT 2' OUTSIDE OF BUILDING FOUNDATION.

TWELVE ACRES DRIVE



GRADING AND DRAINAGE PLAN
MUJICA RESIDENCE
632 LEAF COURT
LOS ALTOS, CA 94022

GREEN CIVIL ENGINEERING, INC
 INFO@GREEN-CE.COM
 1900 S. NORFOLK ST. SUITE #350
 SAN MATEO, CA 94403

REGISTERED PROFESSIONAL ENGINEER
 No. 68629
 Exp. 9/30/2025
 CIVIL
 STATE OF CALIFORNIA

SCALE
 VERTICAL: 1"= AS SHOWN
 HORIZONTAL: 1"= AS SHOWN

DATE: 01/19/2022
 DESIGNED: HCL
 DRAWN: BL
 REVIEWED: HCL
 JOB NO.: 20210050

SHEET
C1
 1 OF 5 SHEET

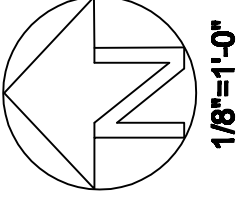
TOPOGRAPHY

OF LANDS OF

ALBERTO & GAYLE MUJICA

632 LEAF COURT - LOS ALTOS, CA. - 12-10-2020

ROGER E. DODGE, LS 3295
 DODGE ASSOC. SURVEYING
 20652 CHAPARRAL CIRCLE
 PENN VALLEY, CA 95946
 (530)432-5212



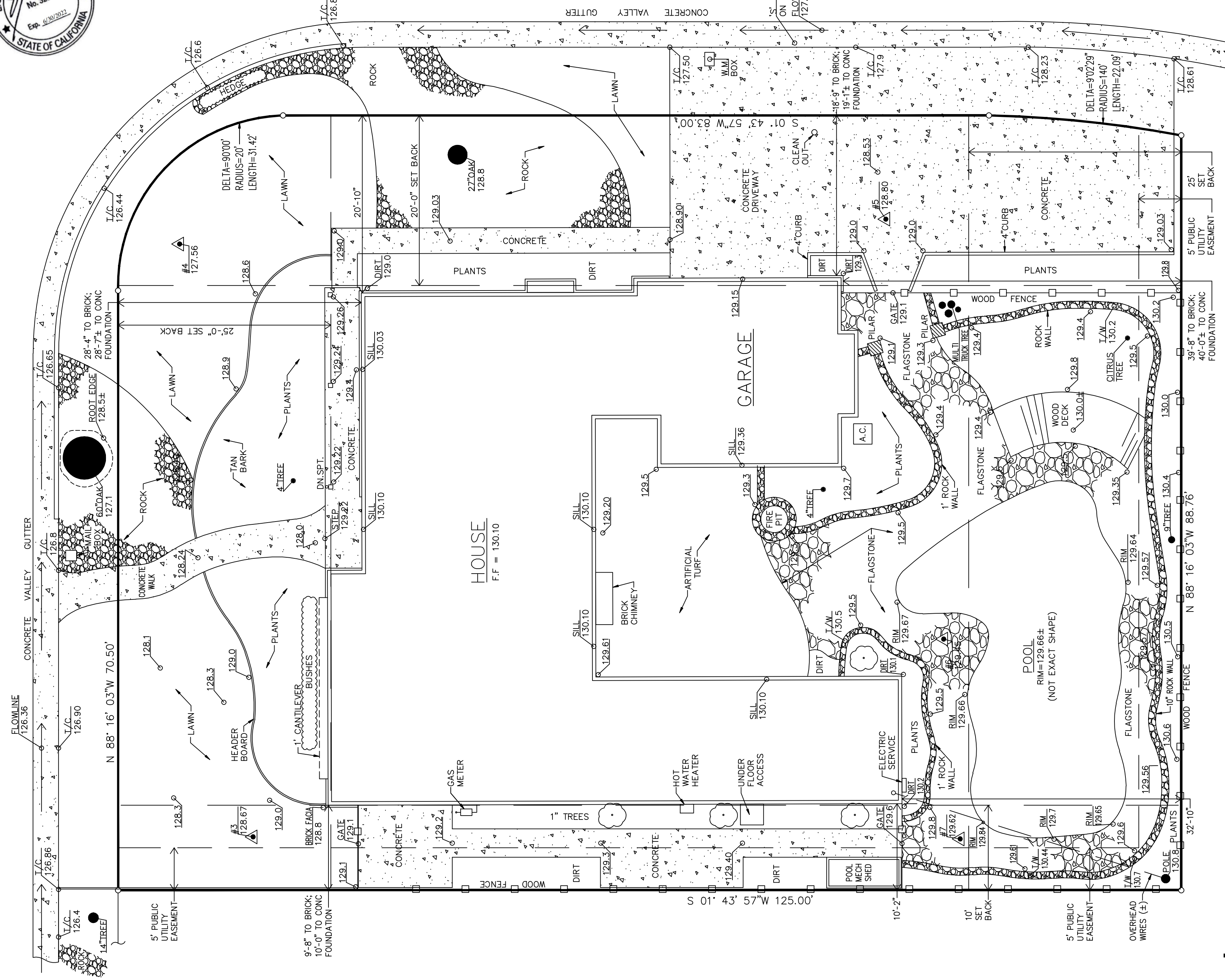
TWELVE ACRES DRIVE

LEAF COURT

MONUMENT
126.80 (LID)
6'

CENTERLINE LEAF COURT

1/8"=1'-0"



NOTE:
 NOT ALL UNDERGROUND UTILITY LINES MAY BE SHOWN ON THIS MAP. U.S.A. MUST BE CONTACTED TO DETERMINE LOCATIONS OF ALL UTILITY LINES PRIOR TO ANY DIGGING.

NOTE:
 EASEMENTS, PLAN LINES, SETBACK LINES AND GEOLOGIC CONDITIONS, IF ANY, AND UNLESS SHOWN, NOT SHOWN.

NOTE:
 THIS IS A TOPOGRAPHIC MAP NOT A BOUNDARY SURVEY. LINES SHOWN ARE DERIVED FROM RECORD DATA, AND MAY VARY SOMEWHAT FROM ABSOLUTE BOUNDARY LOCATIONS.

NOTE:
 SET BACKS SHOWN AS PROVIDED BY OWNER. FINAL REVIEW ADVISED BEFORE USAGE.

ELEVATION DATUM:
 GOOGLE EARTH CRITERIA WAS USED TO PRODUCE ALL ELEVATIONS SHOWN ON THIS MAP. THE MONUMENT BOX LID (SHOWN) WAS TAKEN AS 126.00' IN ACCORDANCE. NOT EXACT SEA LEVEL ELEVATIONS.

LOT AREA:
 LOT AREA = 11,214 SQ.FT.±
 HOUSE AREA = 2,373 SQ.FT.±
 GARAGE AREA = 547 SQ.FT.±

LEGEND
 T/C = TOP OF CURB
 T/W = TOP OF WALL
 F.F. = FINISH FLOOR
 SILL = F.F. ELEVATION

PLANT LEGEND AND NOTES

Symbol	Species	Size	Water	WUCOLS
[Dotted]	Sod lawn - 100% dwarf fescue		high	.7
[Vertical Lines]	Ceanothus Carmel Creeper / California Fuchsia @ 48" oc	1 gallon	low	.2
[Cross-hatch]	Heuchera Coral Bells @ 18" oc	1 gallon	low	.3
[Diagonal Lines]	Achillea Moonshine / Yarrow @ 24" oc	1 gallon	low	.3
[Horizontal Lines]	Salvia spicata / Hummingbird Sage @ 36" oc	1 gallon	low	.3
[Grid]	Tulbaghia violacea @ 30" oc	1 gallon	low	.3
[Vertical Lines]	Teucrium prostrata @ 30" oc	1 gallon	low	.3
[Diagonal Lines]	Garden Area			
A	Lavandula Munstead / Lavender	5 gallon	low	.3
B	Salvia Santa Barbara / Sage	5 gallon	low	.3
C	Rosmarinus Tuscan Blue / Rosemary	5 gallon	low	.3
D	Loropetalum Suzanne	5 gallon	low	.3
E	Sarcococca nuscifolia	5 gallon	low	.3
F	Cotinus Golden Spirit	15 gallon	low	.3
G	Polystichum munitum / Sword Fern	5 gallon	low	.3
H	Prunus carolina dwarf / Carolina Laurel	5 gallon	low	.3
I	Lomandra Little Preeze	1 gallon	low	.3
J	Diets vegeta / Fortnight Lily	5 gallon	low	.3
T1	Lagerstroemia Tuscorora / Grape Myrtle	24" box	low	.3
T2	Cotinus Royal Purple / Smoke Tree	15 gallon	low	.3
T3	Pistachia Keith Davau / Chinese Pistache	24" box	low	.3
T4	Fruit tree to be determined			

- 1) Protect existing trees to remain throughout construction. See arborist report for protection measures.
- 2) Soil to be thoroughly prepared prior to planting. This includes breaking up hardpan created by construction of the new home.
- 3) Incorporate 4 cu of compost per 1000 sf, 6" into native soil.
- 4) Verify layout of new planting in field.
- 5) Spread 3" of wood chip mulch (tbl) after planting.
- 6) I have complied with the criteria of the Water Efficient Landscape Ordinance and applied it to the design of the landscape.



CEANOTHUS HEUCHERA ACHILLEA SALVIA



TULBAGHIA TEUCRIUM LAVANDULA SALVIA



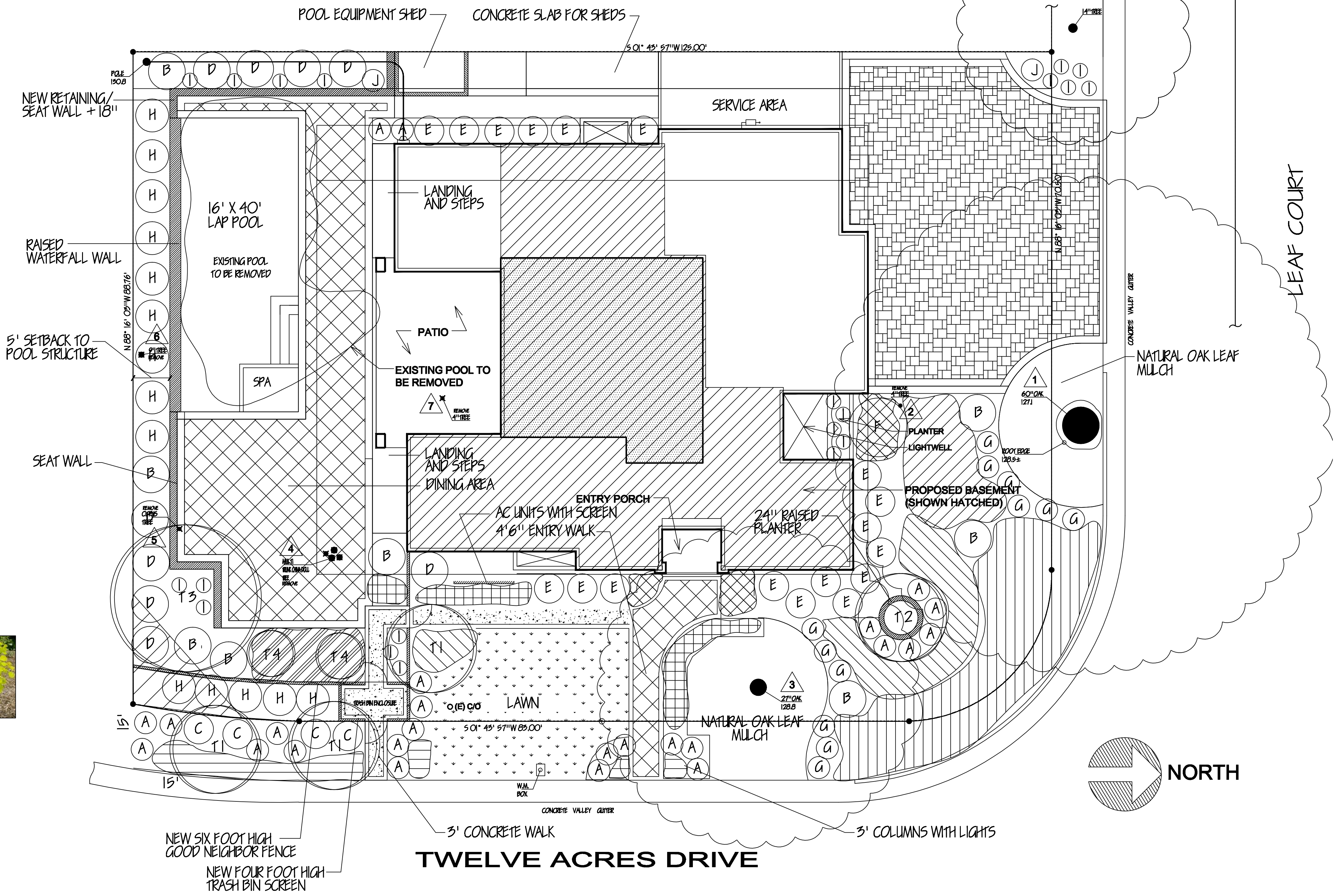
ROSMARINUS LOROPETALUM SARCOCOCCA COTINUS



POLYSTICHUM PRUNUS LOMANDRA DIETS



LAGERSTROEMIA COTINUS PISTACHIA



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- REVISED 12/29/21
- REVISED 1/24/22
- REVISED 1/27/22
- REVISED 1/29/22
- REVISED 2/11/22
- REVISED 2/14/22
- REVISED 2/17/22
- REVISED 3/29/22
- REVISED 3/31/22
- REVISED 4/1/22
- REVISED 4/14/22



MUJICA RESIDENCE

for:
GAYLE AND FERNANDO MUJICA
632 LEAF CT.
LOS ALTOS, CA. 94022

MASTER PLANTING PLAN

date: 12/27/21
scale: NOTED
drawn by: WJH
job no. 202193
sheet

L 1
of sheets

MASTER PLANTING PLAN
1/8" = 1'-0"