

PROJECT DIRECTORY

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REDWOOD CITY, CA 94063
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A PLUS GREEN ENERGY SERVICES
41 C HANGAR WAY
WATSONVILLE, CA 95076
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ADAMS POOL SOLUTIONS/ROYAL POOLS
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GEOTECHNICAL ENGINEER:
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ARBORIST:
KURT FOUTS
825 MONTEREY AVE.
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PROJECT DESCRIPTION

- NEW 4 BD/3.5BA SINGLE FAMILY RESIDENCE ON FLAT LOT WITH ATTACHED THREE CAR GARAGE.
- NEW BASEMENT
- NEW FRONT AND BACK PORCH
- NEW DETACHED POOL HOUSE
- NEW POOL UNDER SEPARATE PERMIT
- NEW LANDSCAPING UNDER SEPARATE PERMIT

GENERAL NOTES

CODES
THE WORK SHALL CONFORM TO THE CALIFORNIA TITLE 24:
PART 2 2022 CALIFORNIA BUILDING CODE
PART 2.5 2022 CALIFORNIA RESIDENTIAL CODE
PART 3 2022 CALIFORNIA ELECTRICAL CODE
PART 4 2022 CALIFORNIA MECHANICAL CODE
PART 5 2022 CALIFORNIA PLUMBING CODE
PART 6 2022 CALIFORNIA ENERGY CODE
PART 9 2022 CALIFORNIA FIRE CODE
PART 11 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
AND THE LOS ALTOS MUNICIPAL CODE

DRAWINGS
1. **GENERAL CONDITIONS.** THE STANDARD A.I.A. GENERAL CONDITIONS ARE HEREBY MADE A PART OF THESE DRAWINGS.
2. **DIMENSIONS.** WRITTEN DIMENSIONS SHALL GOVERN. DO NOT SCALE THE DRAWINGS.
3. **DIMENSIONS.** ALL DIMENSIONS ARE TO THE FACE OF STUD, OR TO THE CENTERLINE OF GRIDS, COLUMNS, WINDOWS, DOORS, AND FIXTURES, UNLESS OTHERWISE NOTED.
4. **DIMENSIONS.** 'CLR' DENOTES MEASUREMENT FROM FINISH SURFACES, TYP.
5. **COMPLETION.** THESE DRAWINGS INCLUDE THE GENERAL EXTENT OF NEW CONSTRUCTION NECESSARY FOR THE WORK, BUT ARE NOT INTENDED TO BE ALL-INCLUSIVE.

GENERAL CONTRACTOR'S RESPONSIBILITIES
6. **PLANS ON SITE.** THE GENERAL CONTRACTOR (HEREAFTER G.C.) SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DRAWINGS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION FOR USE BY ALL TRADES AND SHALL PROVIDE ALL SUBCONTRACTORS WITH CURRENT CONSTRUCTION DRAWINGS.
7. **DISCREPANCIES.** THE G.C. IS RESPONSIBLE FOR THOROUGH REVIEW OF THESE DOCUMENTS AND EXISTING FIELD CONDITIONS PRIOR TO THE COMMENCEMENT OF ANY WORK. ANY ERRORS, OMISSIONS, OR CONFLICTS FOUND ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT IN WRITING FOR CLARIFICATION.
8. **SUBSTITUTIONS.** THE G.C. IS REQUIRED TO NOTIFY ARCHITECT IN WRITING OF ANY SUBSTITUTION, REVISION OR PROPOSED ALTERNATE AT LEAST TWO WEEKS PRIOR TO THE ORDER OR INSTALLATION OF SAID ALTERNATE IN ORDER TO ALLOW FOR NECESSARY COORDINATION AND APPROVALS.
9. **INSPECTIONS.** THE G.C. IS RESPONSIBLE FOR THOROUGH REVIEW OF THE ARCHITECTURAL AND STRUCTURAL DRAWINGS, GEOTECHNICAL REPORT, AND THE ENERGY AND GREEN COMPLIANCE MANDATORY MEASURES AND IS RESPONSIBLE FOR SCHEDULING AND BEING PRESENT FOR ANY INSPECTIONS OR OBSERVATIONS REQUIRED. (MIN. 48 HOURS NOTICE FOR SITE VISITS)
10. **SAFETY.** THE G.C. SHALL BE SOLELY RESPONSIBLE FOR SAFETY ON THE JOB SITE AND ADHERE TO ALL FEDERAL, STATE, LOCAL AND OSHA SAFETY REGULATIONS.
11. **DEFERRED SUBMITTALS.** DEFERRED SUBMITTAL DOCUMENTATION SHALL BE SUBMITTED TO THE ARCHITECT OR ENGINEER OF RECORD WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE PROJECT. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.
12. **WORKMANSHIP.** ALL WORKMANSHIP IN ALL TRADES SHALL BE OF THE HIGHEST QUALITY, BY PERSONS ESPECIALLY SKILLED AT ASSIGNED TASKS, AND SHALL RESULT IN A NEAT AND CLEAN INSTALLATION. ALL WORK SHALL BE INSTALLED TRUE, PLUMB, LEVEL, SQUARE, AND IN PROPER ALIGNMENT. NOTIFY ARCHITECT AND OWNER OF EXISTING CONDITIONS WHICH DO NOT MEET THESE EXPECTATIONS.
13. **MANUFACTURER'S REQUIREMENTS.** THE G.C. SHALL INSTALL ALL MATERIALS, EQUIPMENT, AND FIXTURES IN CONFORMANCE WITH THE REQUIREMENTS OF THE MANUFACTURER.
14. **BRACING AND SHORING.** DESIGN AND INSTALLATION OF ALL TEMPORARY BRACING AND SHORING IS THE SOLE RESPONSIBILITY OF THE G.C.

GENERAL NOTES
15. **CAL GREEN.** SEE SHEET GB.1 FOR CAL GREEN MANDATORY REQUIREMENTS
16. **HERS VERIFICATION.** SEE SHEET EN.1 FOR MANDATORY HERS VERIFICATION REQUIREMENTS

FOUNDATION / SOILS (GEOTECH. REPORT)
17. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ADEQUACY OF THE FOUNDING SOILS. THE FOUNDATION DESIGN IS PREPARED BY THE STRUCTURAL ENGINEER AND BASED UPON A GEOTECHNICAL REPORT BY THE ABOVE LISTED GEOTECHNICAL ENGINEER.
18. SEE STRUCTURAL DRAWINGS, GEOTECHNICAL REPORT, AND CIVIL DRAWINGS FOR ADDITIONAL CRITERIA REGARDING FOUNDATIONS, EXCAVATION, EARTHWORK, SITE PLACEMENT OF ANY CONCRETE, AND/OR DRAINAGE RECOMMENDATIONS.

PROJECT DATA

APN #	189-051-066
ZONE	R1-10
OCCUPANCY	R-3 / U
CONSTRUCTION TYPE	V-B
AUTOMATIC SPRINKLERS	YES - NEW
STORIES	2
SITE AREA - GROSS	15,948 SF
SITE AREA - NET (EXCLUDES ACCESS EASEMENT)	14,757 SF
FEMA FLOOD ZONE	X

PROJECT SUMMARY TABLE

SEE A0.4 FOR FLOOR AREA AND LOT COVERAGE DIAGRAMS

ZONING COMPLIANCE			
	Existing	Proposed	Allowed/Required
LOT COVERAGE: <i>Land area covered by all structures that are over 6 feet in height</i>	2,174 square feet (14.7%)	3,456 square feet (23.4%)	4,427.1 square feet (30.0%)
FLOOR AREA: <i>Measured to the outside surfaces of exterior walls</i>	1st Fir: 1,967 sq ft 2nd Fir: 1,300 sq ft Total: 3,267 sq ft	1st Fir: 2,403 sq ft 2nd Fir: 1,502 sq ft Pool House: 320 sq ft Total: 4,225 sq ft	4,225.7 square feet 3,850 + (10% net site area -11,000)
SETBACKS:			
Front	27'-2"	25'-0"	25 feet
Rear	48'-1 3/4"	32'-0 1/4"	25 feet
Right side (1st/2nd)	10'-11"	11'-6 1/4" / 19'-11"	10 feet/17.5 feet
Left side (1st/2nd)	9'-5 3/4"	19'-1 1/4" / 19'-1 1/4"	10 feet/17.5 feet
HEIGHT:	—feet	26'-4 1/2"	27 feet
SQUARE FOOTAGE BREAKDOWN			
	Existing	Change in	Total Proposed
HABITABLE LIVING AREA: <i>Includes habitable basement areas</i>	2,172 square feet	2,068 square feet	4,800 square feet
NON-HABITABLE AREA: <i>Does not include covered porches or open structures</i>	535 square feet	102 square feet	637 square feet
LOT CALCULATIONS			
NET LOT AREA:	14,757 square feet		
FRONT YARD HARDSCAPE AREA: <i>Hardscape area in the front yard setback shall not exceed 50%</i>	1,116 square feet (28%)		
LANDSCAPING BREAKDOWN:	Total hardscape area (existing and proposed): Existing softscape (undisturbed) area: New softscape (new or replaced landscaping) area: <i>Sum of all three should equal the site's net lot area</i>		8,566 sq ft 3,175 sq ft 3,016 sq ft

DEFERRED SUBMITTALS

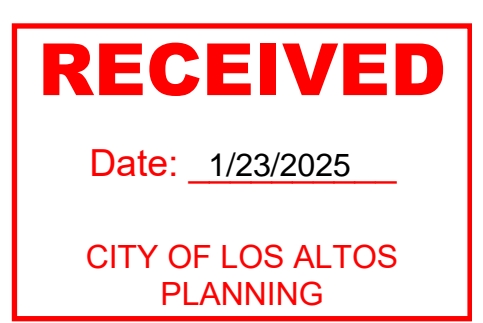
- FIRE SPRINKLERS SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 13D AND STATE AND LOCAL REQUIREMENTS. SHOP DRAWINGS SHALL BE APPROVED BY THE FIRE DEPARTMENT PRIOR TO INSTALLATION. PROVIDE MIN. 1" WATER METER BACKFLOW PREVENTION DEVICE/DOUBLE CHECK VALVE ASSEMBLY, AND ALL SPRINKLER DRAINAGE SHALL BE PLACED INTO LANDSCAPE AREAS.
- CONSTRUCTION WASTE MANAGEMENT PLAN ON SHEET GB.1
- NEW 2.96 KW MIN. PHOTOVOLTAIC SOLAR PANEL SYSTEM UNDER SEPARATE PERMIT PER SHEET EN.1

ABBREVIATIONS

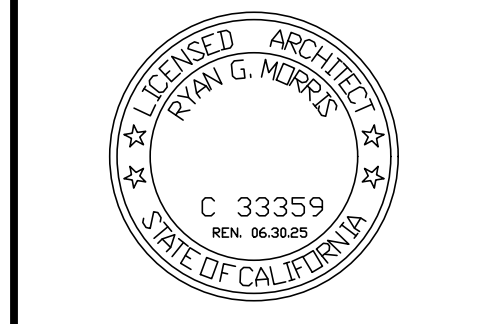
A.D.	AREA DRAIN	GSM	GALVANIZED SHEET METAL
ADJ.	ADJUSTABLE	GYP. BD.	GYPSUM BOARD
A.F.F.	ABOVE FINISH FLOOR	HT	HEIGHT
ALT.	ALTERNATE	INCAN	INCANDESCENT
ALUM.	ALUMINUM	LT	LIGHT
ANOD.	ANODIZED	MAX	MAXIMUM
ARCH.	ARCHITECT/TURAL	MECH	MECHANICAL
BD.	BOARD	MFR	MANUFACTURER
BLD'G.	BUILDING	MIN	MINIMUM
BLK'G.	BLOCKING	MTL	METAL
BM.	BEAM	(N)	NEW
B.O.	BOTTOM OF	O.C.	ON CENTER
CAB.	CABINET	O/	OVER
C.J.	CEILING JOIST	PLYWD	PLYWOOD
CLG.	CEILING	PTD	PAINTED
CLR.	CLEAR	PT. GR.	PAINT GRADE
C.O.	CLEAN OUT	P.T.	PRESSURE TREATED
CONC.	CONCRETE	RDWD	REDWOOD
DIA.	DIAMETER	REFR	REFRIGERATOR
DN.	DOWN	REQD	REQUIRED
DS.	DOWNSPOUT	RM	ROOM
DW.	DISHWASHER	R.O.	ROUGH OPENING
DWG.	DRAWING	SCHED	SCHEDULE
(E)	EXISTING	SHT	SHEET
EA.	EACH	SHTG	SHEATHING
ELEC.	ELECTRIC	SIM	SIMILAR
ELEV.	ELEVATION	SKYLT	SKYLIGHT
EQ.	EQUAL	SPEC	SPECIFICATION
EXT.	EXTERIOR	S.S.D.	SEE STRUCTURAL DRAWINGS
FIN.	FINISH	ST. GR.	STAIN GRADE
F.J.	FLOOR JOIST	STL	STEEL
FLR.	FLOOR	T&G	TONGUE & GROOVE
F.O.	FACE OF	TEMP	TEMPERED
FT.	FEET	T.O.	TOP OF
FTG.	FOOTING	TYP	TYPICAL
FURN.	FURNACE/FURNITURE	U.N.O.	UNLESS NOTED OTHERWISE
GA.	GAUGE	V.I.C.	VERIFY IN FIELD
GALV.	GALVANIZED	WH	WATER HEATER

SHEET INDEX

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A0.2	EXISTING SITE PLAN
A0.3	PROPOSED SITE PLAN
A0.4	FLOOR AREA AND COVERAGE
--	TOPOGRAPHIC SURVEY
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C2	TOPOGRAPHIC & DEMOLITION PLAN
C3	GRADING & DRAINAGE PLAN
C4	BEST MANAGEMENT PRACTICES
LP-1	LANDSCAPE DESIGN PLAN
LP-2	LANDSCAPE DESIGN PLAN
LP-3	IRRIGATION PLAN
LP-4	IRRIGATION PLAN
LP-5	IRRIGATION DETAILS
LP-6	PLANTING PLAN
LP-7	PLANTING PLAN
LP-8	FENCING PLAN
LP-9	FENCING PLAN
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T2	TREE PROTECTION PLAN
A2.0	BASEMENT PLAN
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A2.2	SECOND FLOOR PLAN
A2.3	ROOF PLAN
A2.4	POOL HOUSE
A3.1	EXTERIOR ELEVATIONS
A3.2	EXTERIOR ELEVATIONS
A3.3	EXTERIOR ELEVATIONS
A3.4	EXTERIOR ELEVATIONS
A3.5	BUILDING SECTIONS



MODDERMAN RESIDENCE
 380 ARBOLEDA DRIVE
 LOS ALTOS, CA 94024



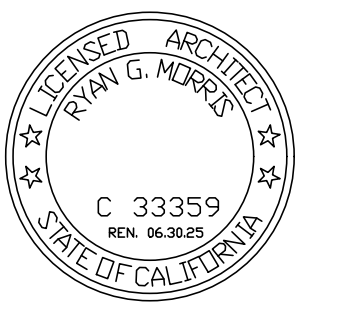
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TITLE SHEET

JOB #: 2409

A0.1



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EXISTING SITE PLAN

JOB #: 2409

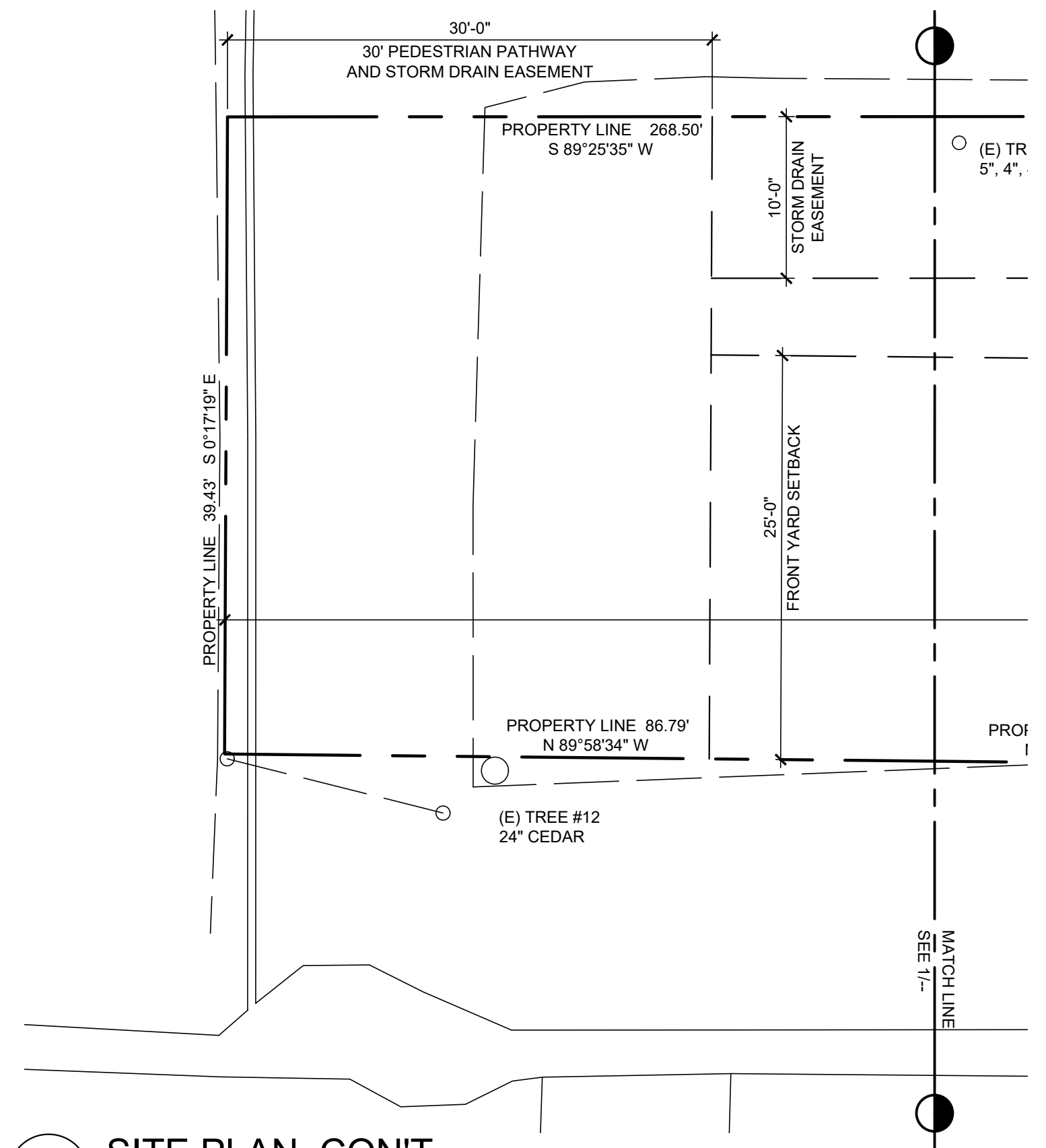
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PROJECT KEYNOTES:

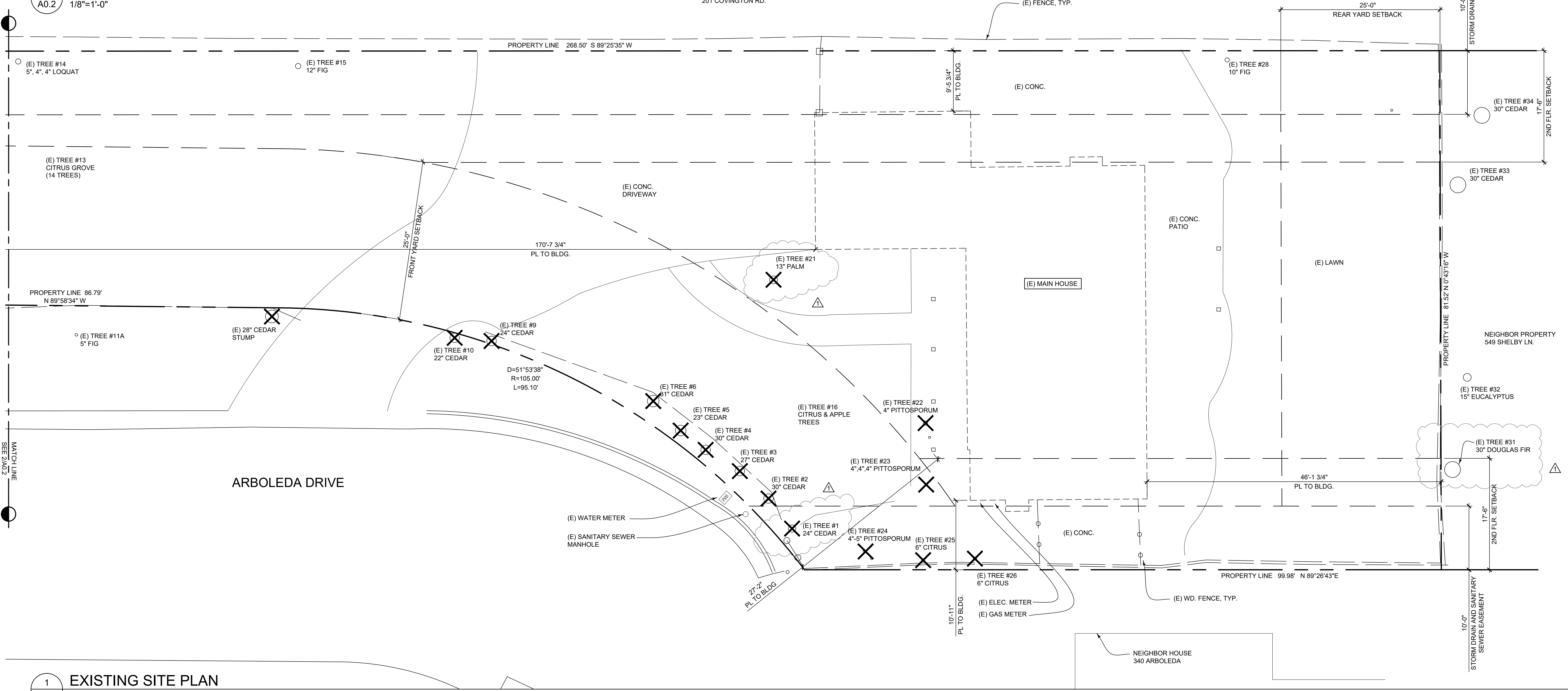
- SEE SHEETS T1 AND T2 FOR TREE PROTECTION PLAN

- SITE PLAN NOTES:**
- GENERAL NOTES. SEE SHEETS A0.1, TOPOGRAPHIC SURVEY, GRADING AND DRAINAGE PLAN, LANDSCAPE PLAN, AND FLOOR PLANS FOR ADDITIONAL INFO.
 - CAL GREEN. SEE SHEET GB.1 FOR CAL GREEN MANDATORY REQMENTS.
 - BOUNDARY VERIFICATION. THE G.C. SHALL VERIFY THE LOCATIONS OF ALL PROPERTY BOUNDARIES, SETBACKS, AND EASEMENT LOCATIONS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE FURTHER COMMENCEMENT OF WORK.
 - BENCH MARK. SEE SURVEY DRAWING FOR BENCH MARK AND ASSUMED BASE ELEVATION.
 - ENCROACHMENT. THE G.C. IS RESPONSIBLE FOR OBTAINING APPROVAL / PERMIT PRIOR TO COMMENCING ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
 - UTILITIES. THE G.C. SHALL LOCATE ALL UTILITIES PRIOR TO ANY EXCAVATION, GRADING, OR TRENCHING.
 - UTILITIES. SEE ELECTRICAL PLAN SHEET E2.1 FOR EXACT LOCATIONS OF MAIN ELECTRIC METER AND GAS METER. COORDINATE FINAL LOCATION AND ROUTING WITH G.C. AND UTILITY SERVICE PROVIDER.
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 - SLOPED GRADE. FINISH GRADE AROUND BUILDING TO HAVE A MIN. 2% SLOPE AWAY FROM BUILDING. FOR A MIN. OF 5' AROUND BUILDING.
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 - ADDRESS. STREET ADDRESS NUMERALS TO BE ILLUMINATED, AT LEAST 4" HIGH WITH A MINIMUM 1/2" STROKE, MOUNTED ON A CONTRASTING BACKGROUND CLEARLY VISIBLE FROM THE STREET. ADDRESS NUMBERS SHALL BE AT LEAST SIX FEET ABOVE THE FINISHED SURFACE OF THE DRIVEWAY. CRC R319
 - CHIMNEYS. THE INSTALLATION OF AN APPROVED SPARK ARRESTOR IS REQUIRED ON ALL CHIMNEYS, EXISTING AND NEW. SPARK ARRESTORS SHALL BE CONSTRUCTED OF WOVEN OR WELDED WIRE SCREENING OF 12 GAUGE USA STANDARD WIRE HAVING OPENINGS NOT EXCEEDING 1/2" CRC R1004

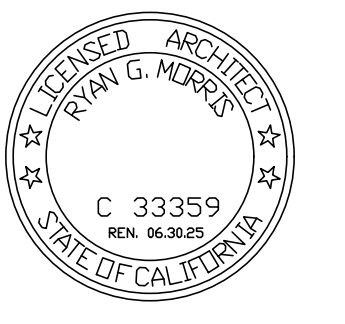
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2 SITE PLAN, CON'T.
A0.2 1/8"=1'-0"



1 EXISTING SITE PLAN
A0.2 1/8"=1'-0"



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PROPOSED SITE PLAN

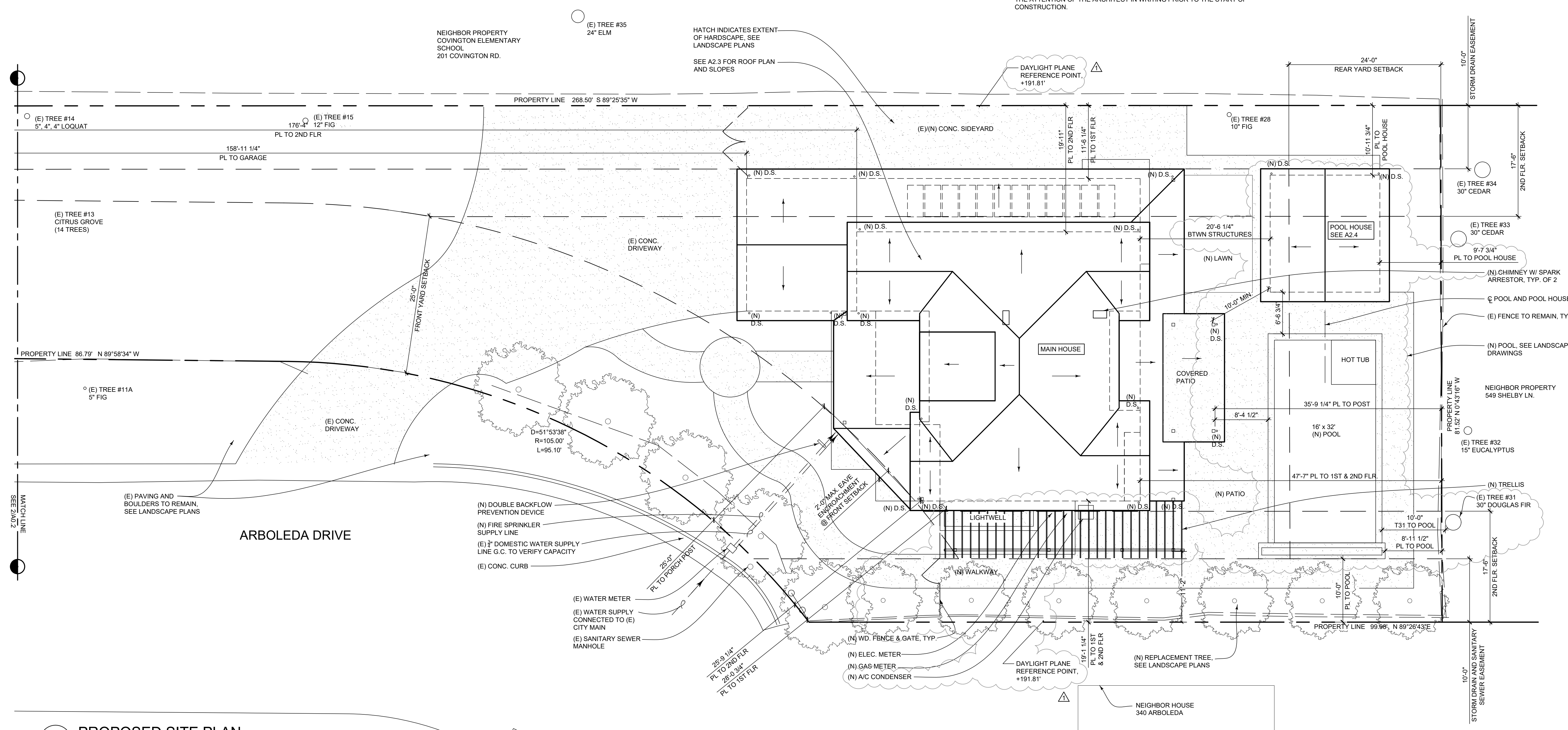
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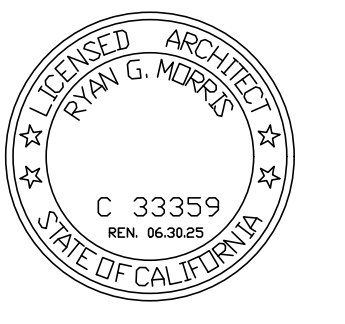
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 A0.3 1/8"=1'-0"



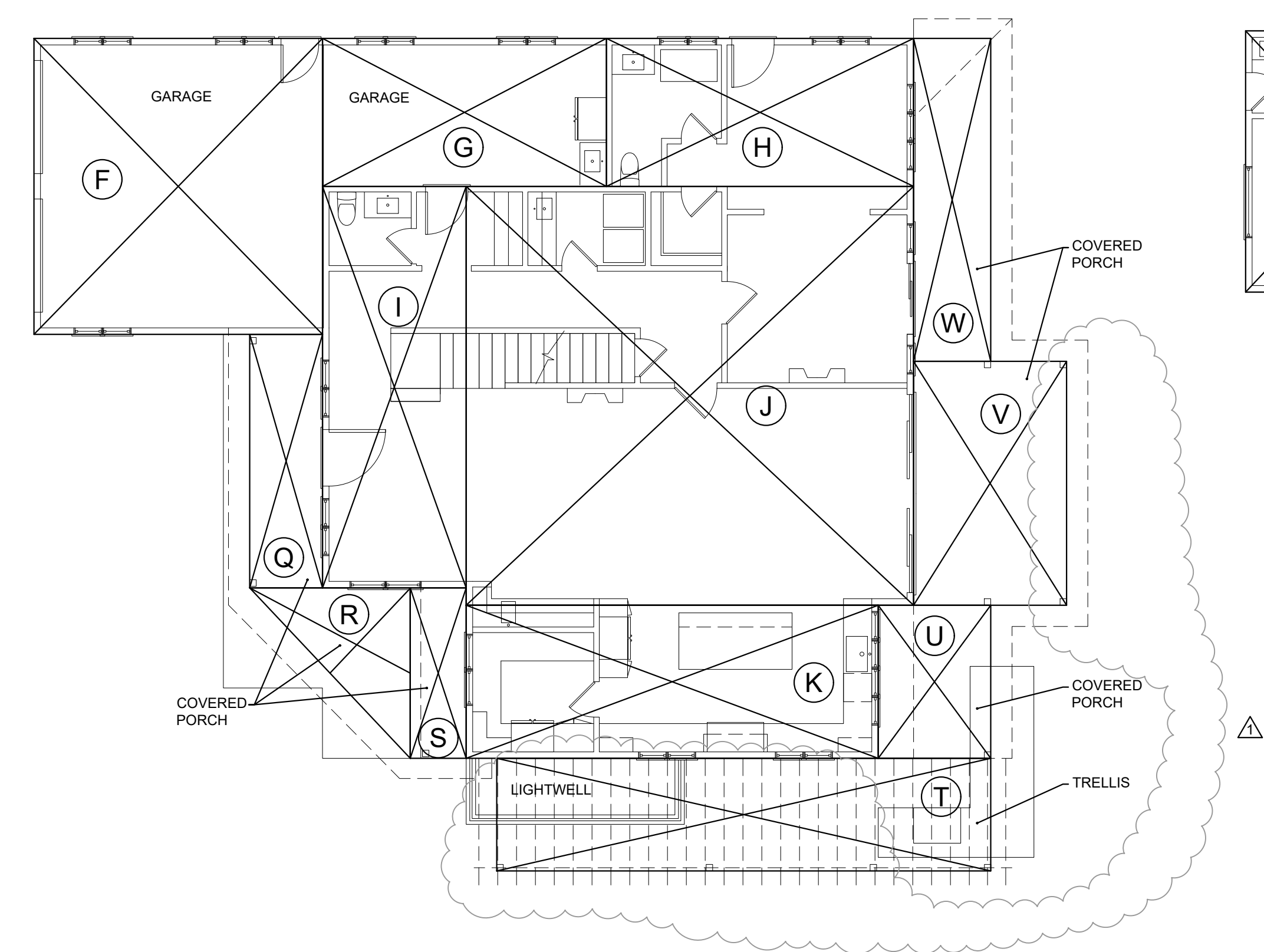
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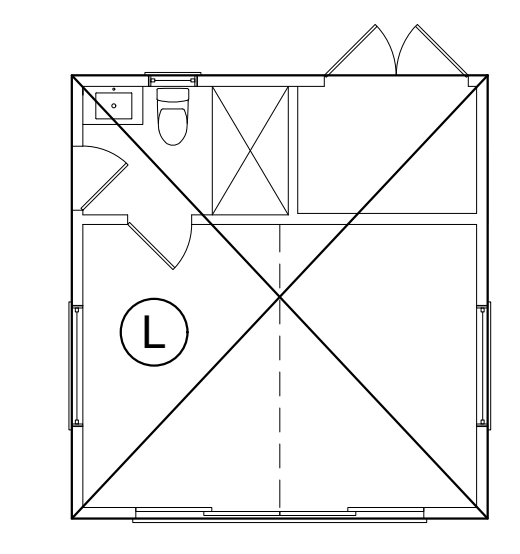
FLOOR AREA AND COVERAGE

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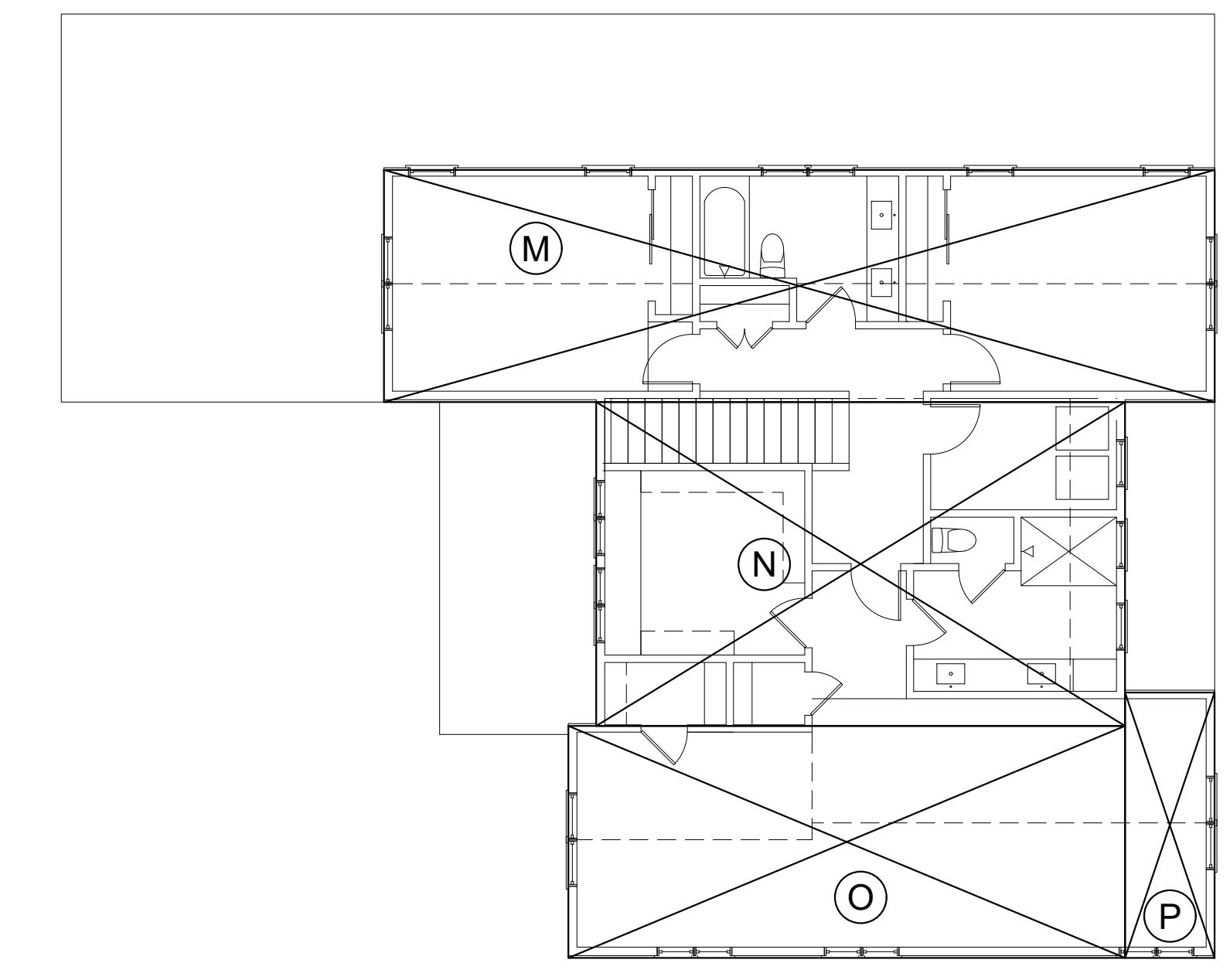
FIRST FLOOR



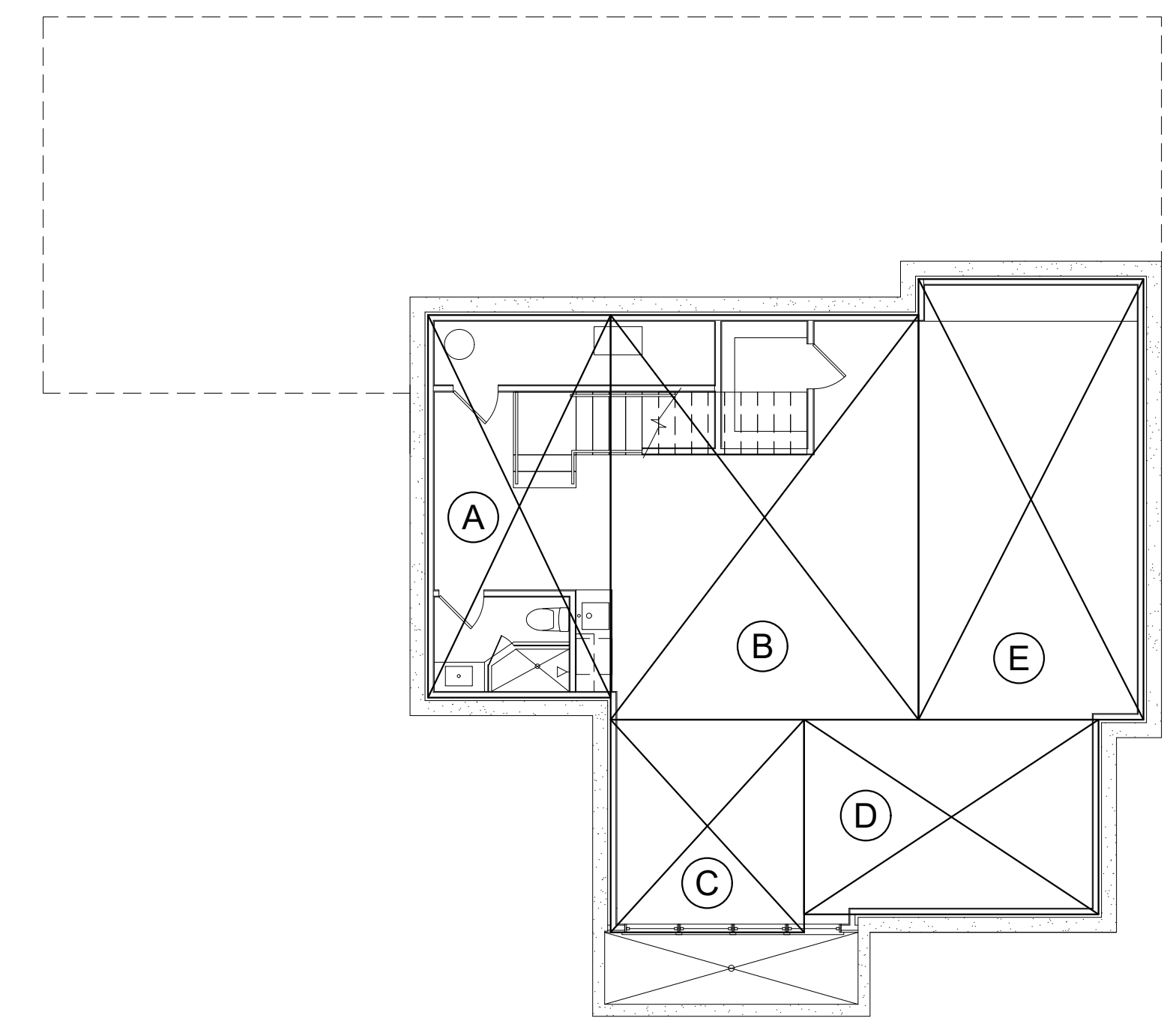
POOL HOUSE



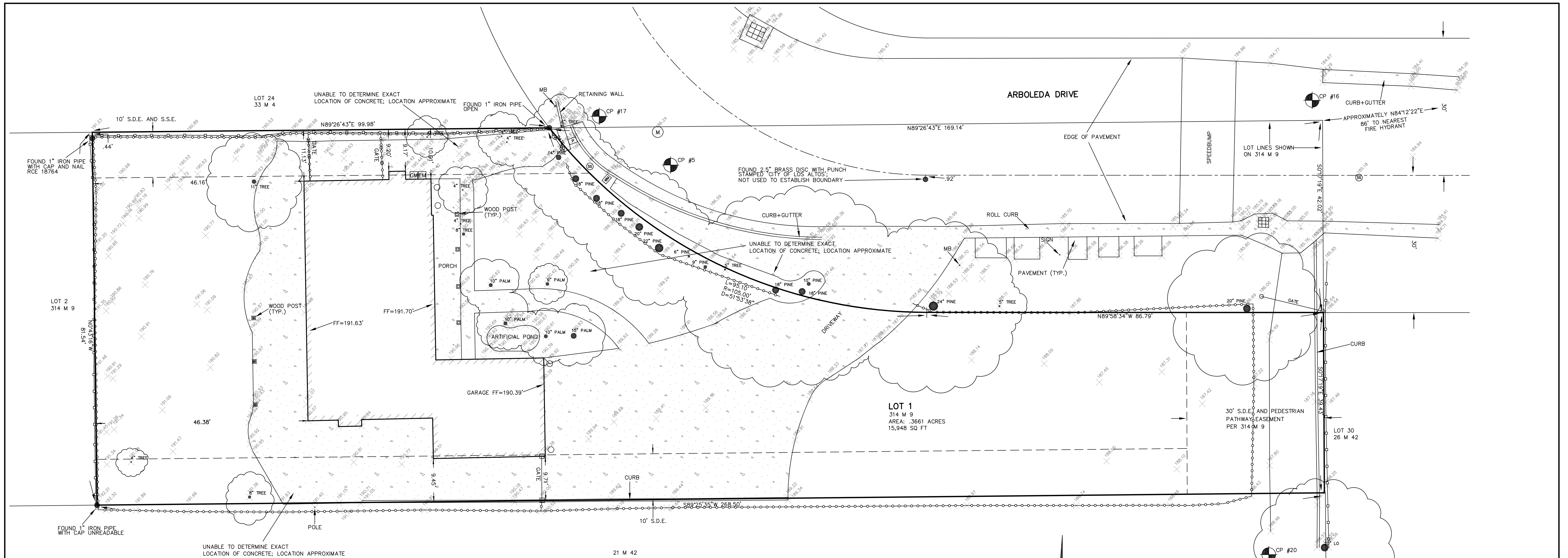
SECOND FLOOR



BASEMENT (NOT COUNTED)



PROPOSED DATA SHEET			
BASEMENT	DIMENSIONS	NOT COUNTED	AREA (SF)
A	10'-1 3/4" x 21'-3 1/4"	215.9	
B	17'-1 1/4" x 22'-5 7/8"	384.8	
C	10'-9 1/16" x 11'-9 7/8"	127.2	
D	16'-4 1/4" x 10'-9 7/8"	177.1	
E	12'-6" x 24'-5 7/8"	306.3	
SUBTOTAL		1211.3	0.0
1ST FLOOR	DIMENSIONS	NOT COUNTED	AREA (SF)
GARAGE	F	20'-4 3/4" x 20'-11"	426.6
GARAGE	G	20'-0 3/4" x 10'-5 1/2"	209.8
	H	21'-8 1/2" x 10'-5 1/2"	227.0
	I	10'-1 3/4" x 28'-4 1/2"	288.1
	J	31'-7 3/8" x 29'-7 1/4"	936.1
	K	29'-1 3/8" x 10'-9 7/8"	315.2
SUBTOTAL		0.0	2402.8
POOL HOUSE	DIMENSIONS	NOT COUNTED	AREA (SF)
L	17'-4" x 18'-5 1/2"	320.0	
SUBTOTAL		0.0	320.0
2ND FLOOR	DIMENSIONS	NOT COUNTED	AREA (SF)
M	44'-9 1/4" x 12'-6 1/8"	560.0	
N	28'-6" x 17'-5 1/2"	497.7	
O	30'-0" x 12'-6 1/8"	375.2	
P	4'-10" x 14'-3 3/4"	69.1	
SUBTOTAL		0.0	1502.0
TOTAL PROPOSED FLOOR AREA			4224.8
MAX. FLOOR AREA			4225.7
SITE	DIMENSIONS	NOT COUNTED	SITE AREA (SF)
1ST FLOOR			2402.8
POOL HOUSE	SEE "K" ABOVE		320.0
Q	5'-1 3/4" x 17'-11"		92.2
R	11'-4 1/8" x 12'-0 5/8" ÷ 2		68.3
S	3'-11 1/2" x 12'-0 1/2"		47.7
T	34'-11" x 7'-11 1/2"		277.9
U	7'-11 1/2" x 10'-9 3/4"		86.1
V	10'-9 3/4" x 17'-3"		186.4
W	5'-5 1/2" x 22'-9 7/8"		124.6
TOTAL PROPOSED LOT COVERAGE			3606.0
MAX. LOT COVERAGE			4427.0



SURVEYOR'S NOTE

THIS MAP CORRECTLY REPRESENTS A SURVEY DONE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE LAND SURVEYORS ACT. THE BOUNDARY LINES SHOWN HEREON ARE BASED ON A BOUNDARY SURVEY DONE BY WILSON LAND SURVEYS.

Koen Wilson
 KOEN T. WILSON LS 9440 1/5/2023

SITE BENCHMARK

ELEVATIONS FOR THIS SURVEY ARE BASED ON CITY OF LOS ALTOS BENCHMARK "BM 23", A BRASS DISC IN SOUTH EDGE OF CONCRETE COLLAR SURROUNDING DRAIN INLET @ NORTH SIDE OF CUESTA DRIVE AT CENTERLINE OF CAMPBELL AVE, HAVING AN ELEVATION OF 169.3910' PER NAVD88.

GENERAL NOTES

1. TREE SIZES AND TYPES ARE APPROXIMATE AND SHOULD BE VERIFIED BY A CERTIFIED ARBORIST.
2. FINISH FLOOR ELEVATIONS ARE TAKEN AT DOOR THRESHOLDS.
3. BUILDING CORNERS WERE LOCATED AT FINISH LOCATIONS (STUCCO, BLOCK OR WOOD AS IT EXISTS IN THE FIELD).
4. LOCATIONS OF ALL EXISTING ON-SITE FEATURES (WITH THE EXCEPTION OF THE EXISTING BUILDING) SHOULD NOT BE USED AS A REFERENCE WHEN LAYING OUT NEW CONSTRUCTION.

UNDERGROUND UTILITY NOTE

UNDERGROUND UTILITY LINES, IF SHOWN, DEPICT OUR ESTIMATION OF WHERE THE ACTUAL LINES MAY BE LOCATED. THE LINES WERE DETERMINED BY CONNECTING VISIBLE UTILITY APPURTENANCES AND ALSO BY USING PAINTED MARKINGS PLACED BY OTHERS. THE UNDERGROUND UTILITIES MAY OR MAY NOT BE AS DEPICTED ON THIS SURVEY. NO LIABILITY IS ACCEPTED FOR ANY DISCREPANCIES, OMISSIONS OR ERRORS WITH REGARD TO SAID UNDERGROUND UTILITY DEPICTIONS ON THIS SURVEY.

TITLE REPORT NOTE

A TITLE REPORT WAS NOT AVAILABLE FOR THIS PROPERTY WHEN THE MAP WAS PREPARED. CAUTION SHOULD BE EXERCISED WHEN DESIGNING THE SITE. THERE MAY BE EXISTING EASEMENTS THAT IMPACT THE PROPERTY.

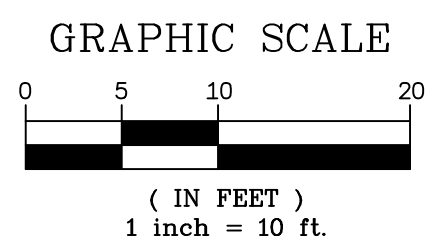
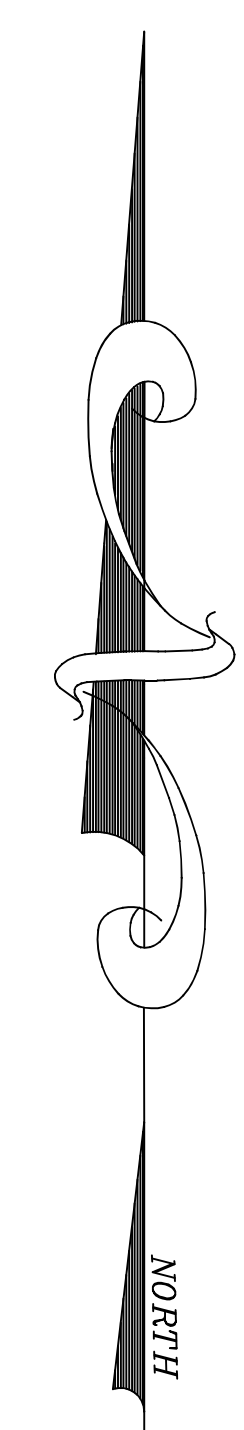
SETBACK LINES NOTE

BUILDING SETBACK LINES WERE NOT SHOWN ON THIS MAP (EVEN IF THEY ARE SHOWN ON THE ORIGINAL TRACT MAP). THE DESIGNER SHOULD CHECK WITH THE APPROPRIATE AUTHORITY TO DETERMINE BUILDING SETBACK LINES.

CONTROL POINTS			
POINT	NORTHING	EASTING	ELEVATION DESCRIPTION
5	4142.4502	6049.4427	186.4414 CP N+T
16	4156.5994	6189.7974	184.9279 CP N+T
17	4153.1142	6033.8257	186.2748 CP N+T

LEGEND

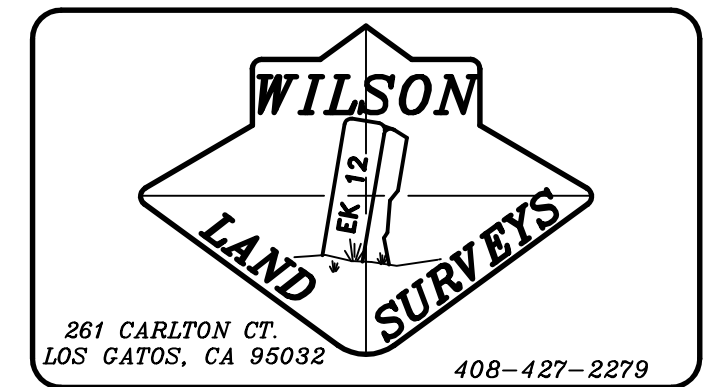
- FOUND AS NOTED
- SET 5/8" REBAR WITH PLASTIC CAP "WILSON L 9440"
- SET NAIL AND 1" BRASS TAG "WILSON L 9440" IN CONCRETE
- ⊕ FIRE HYDRANT
- ⊕ WATER VALVE
- ⊕ WATER METER
- ⊕ JOINT POLE
- ⊕ GUYWIRE
- W — BLUE PAINT, EVIDENCE OF UNDERGROUND WATER LINE
- ⊕ ELECTRIC METER
- ⊕ GAS METER
- ⊕ MONITORING WELL
- G — YELLOW PAINT, EVIDENCE OF UNDERGROUND GAS LINE
- ⊕ A/C AIR CONDITIONING UNIT
- P — EVIDENCE OF UNDERGROUND PHONE LINE
- ⊕ PHONE BOX
- OH — OVERHEAD LINE
- TV — EVIDENCE OF UNDERGROUND TV LINE
- ⊕ DROP INLET
- ⊕ MANHOLE
- ⊕ STORM DRAIN MANHOLE
- ⊕ SEWER MANHOLE
- ⊕ SEWER CLEANOUT
- SS — GREEN PAINT, EVIDENCE OF UNDERGROUND SEWER LINE
- ▲— SIGN
- ⊕ CONTROL POINT
- ⊕ LAMP POST
- ⊕ ELECTRIC BOX
- ⊕ WOOD FENCE
- ⊕ CONCRETE
- LO LIVE OAK
- WO WHITE OAK
- RW REDWOOD
- TYP. TYPICAL
- FF FINISH FLOOR ELEVATION
- CHAIN LINK FENCE
- S.S.E. SANITARY SEWER EASEMENT PER 314 M 9
- S.D.E. STORM DRAIN EASEMENT PER 314 M 9
- ⊕ BRICKS
- ⊕ PAVERS
- BUILDING
- STREET CENTER LINE
- PROPERTY LINE
- EASEMENT LINE



This map was prepared as an instrument of service for the preparation of plans and specifications for construction on the site shown on the map. The information shown hereon shall not be used in whole or in part for any other project without written authority of Wilson Land Surveys.
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Email: koenw@wilsonlandsurveys.com
www.wilsonlandsurveys.com



BOUNDARY AND TOPOGRAPHIC SURVEY

AS REQUESTED BY:
LUCYMARIE MODDERMAN

LEGAL DESCRIPTION: LOT 1 TRACT 5289 (314 M 9), CITY OF LOS ALTOS, COUNTY OF SANTA CLARA, STATE OF CALIFORNIA

APN: 189-51-066
 DATE: DECEMBER 2022
 FILENAME: N-210 ARBOLEDA DRIVE TOPO

SITE ADDRESS: 380 ARBOLEDA DRIVE LOS ALTOS, CA 94024

DRAWN BY: KTW SCALE: 1"=10' PROJECT: N-210 JOB NUMBER: N-210 SHEET: 1 OF 1

GRADING & DRAINAGE PLAN

APN 189-51-066
380 ARBOLEDA DRIVE
LOS ALTOS, CA

NOTES

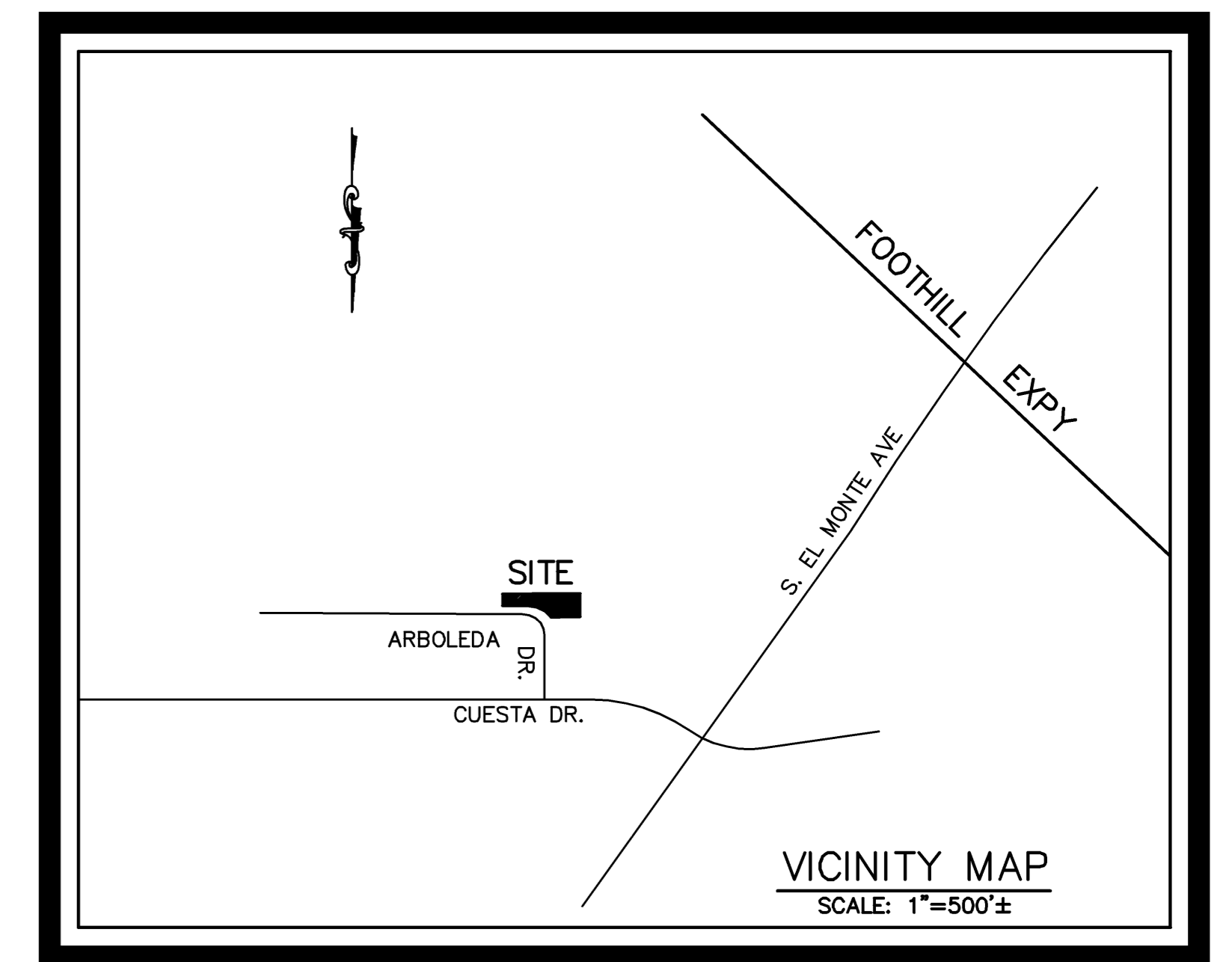
- CONTRACTOR SHALL CONTACT "U.S.A." AT LEAST 48 HOURS PRIOR TO EXCAVATING IN ANY AREA WHERE UNDERGROUND FACILITIES ARE LOCATED. PHONE (800)642-2444.
- THE EXISTENCE, LOCATION AND ELEVATION OF ANY UNDERGROUND UTILITIES ARE SHOWN IN A GENERAL WAY ONLY. IT WILL BE THE RESPONSIBILITY AND DUTY OF THE CONTRACTOR TO MAKE FINAL DETERMINATIONS AS TO THE EXISTENCE, LOCATION AND ELEVATION OF ALL UTILITIES.
- BOUNDARY AND TOPOGRAPHIC SURVEY BY WILSON LAND SURVEYS. PROJECT: N-210, JOB NUMBER N-210, DATE: DECEMBER 2022.
- ELEVATIONS FOR THIS SURVEY ARE BASED ON CITY OF LOS ALTOS BENCHMARK 'BM 23', A BRASS DISC IN SOUTH EDGE OF CONCRETE COLLAR SURROUNDING DRAIN INLET @ NORTH SIDE OF CUESTA DRIVE AT CENTERLINE OF CAMPBELL AVE, HAVING AN ELEVATION OF 169.3910' PER NAVD88.
- IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE OR AGENT TO IDENTIFY, LOCATE AND PROTECT ALL UNDERGROUND FACILITIES.
- THE PERMITTEE OR AGENT SHALL MAINTAIN THE STREETS, SIDEWALKS AND ALL OTHER PUBLIC RIGHTS-OF-WAY IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE PUBLICLY OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC SHALL BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION.
- ALL GRADING SHALL BE PERFORMED IN SUCH A MANNER AS TO COMPLY WITH THE STANDARDS ESTABLISHED BY THE AIR QUALITY MANAGEMENT DISTRICT FOR AIRBORNE PARTICULATES.
- ALL KNOWN WELL LOCATIONS ON THE SITE HAVE BEEN INCLUDED AND SUCH WELLS SHALL BE MAINTAINED OR ABANDONED ACCORDING TO CURRENT REGULATIONS ADMINISTERED BY THE SANTA CLARA VALLEY WATER DISTRICT. CALL (408) 265-2600 EXTENSION 2660 TO ARRANGE FOR DISTRICT OBSERVATION OF ALL WELL ABANDONMENTS.
- IN THE EVENT THAT HUMAN REMAINS AND/OR CULTURAL MATERIALS ARE FOUND, ALL PROJECT-RELATED CONSTRUCTION SHOULD CEASE WITHIN A 100-FOOT RADIUS. THE CONTRACTOR SHALL, PURSUANT TO SECTION 7050.5 OF THE HEALTH AND SAFETY CODE, AND SECTION 5097.94 OF THE PUBLIC RESOURCES CODE OF THE STATE OF CALIFORNIA, NOTIFY THE SANTA CLARA COUNTY CORONER IMMEDIATELY.
- THIS PLAN DOES NOT APPROVE THE REMOVAL OF TREES. APPROPRIATE TREE REMOVAL PERMITS AND METHODS OF TREE PRESERVATION SHOULD BE OBTAINED FROM THE CITY'S PLANNING DEPARTMENT AND THE CITY ARBORIST.
- ALL GRADING WORK SHALL CONFORM TO THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL REPORT AND/OR THE PROJECT SOIL ENGINEER.
- ALL GRADING WORK SHALL BE OBSERVED AND APPROVED BY THE SOIL ENGINEER. THE SOIL ENGINEER SHALL BE NOTIFIED AT LEAST 48 HOURS BEFORE BEGINNING ANY GRADING. UNOBSERVED AND/OR UNAPPROVED GRADING WORK SHALL BE REMOVED AND REPLACED UNDER OBSERVATION.

ABBREVIATIONS

AC	AIR CONDITIONER
AD	AREA DRAIN
CO	CLEAN OUT
CONC	CONCRETE
DI	DROP INLET
E PNL	ELECTRIC PANEL
EM	ELECTRIC METER
FF	FINISH FLOOR
EP	EDGE OF PAVEMENT
FH	FIRE HYDRANT
FNC	FENCE
FL	FLOW LINE
GM	GAS METER
HP	HIGH POINT
INV	INVERT
IRR	IRRIGATION
MON	MONUMENT
SDE	STORM DRAIN EASEMENT
SDMH	STORM DRAIN MANHOLE
SSE	SANITARY SEWER EASEMENT
SSCO	SANITARY SEWER CLEANOUT
SSMH	SANITARY SEWER MANHOLE
TBM	TEMPORARY BENCHMARK
TW	TOP OF WALL
W	WATER
WM	WATER METER
WV	WATER VALVE

LEGEND:

EXISTING	(Symbol Size May Vary)	PROPOSED
---		Property Boundary
---		Centerline
====		Curb & Gutter
---SD---		Storm Drain
---SS---		Sanitary Sewer
---W---		Water
---G---		Gas
---E---		Electric
---X---		Fence
⊕		Electrolier
⊗		Swale
⊠		Water Valve
○		Sanitary Sewer
⊕		Storm Manhole
+ 102.389		Point Elevation as Noted
→		Direction of Surface Drainage
→		Overland Release
~10~		Contour
—R—		Ridge Line
▢		Concrete



EARTH WORK QUANTITIES	
CUT:	490 C.Y.
FILL:	0 C.Y.
EXPORT:	490 C.Y.
IMPORT:	0 C.Y.

NOTE: EARTHWORK QUANTITIES SHOWN ARE APPROXIMATE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INDEPENDENTLY ESTIMATE QUANTITIES FOR HIS/HER OWN USE.

SHEET INDEX

- C1 NOTES & LEGEND
- C2 TOPOGRAPHIC/DEMOLITION PLAN
- C3 GRADING & DRAINAGE PLAN
- C4 BLUE PRINT FOR CLEAN BAY



THESE PROGRESS PRINTS ARE SUBMITTED WITHOUT SIGNATURE PER AMENDMENTS EFFECTIVE JANUARY 1, 2001 TO SECTIONS 6735, 6735.3, AND 6735.4 OF THE PROFESSIONAL ENGINEERS ACT PROHIBITING INTERIM OR DRAFT DOCUMENTS FROM CONTAINING THE ENGINEER'S SIGNATURE.

DANIEL NUNES, R.C.E. 76449-EXPIRES 12-31-24 L.S. 9212-EXPIRES 09-30-25

PLANNING • LAND SURVEYING • CIVIL ENGINEERING • CONSTRUCTION STAKING

MISSION ENGINEERS, INC.

RESPONSIVE, RELIABLE RESULTS SINCE 1953

2355 De La Cruz Blvd. Santa Clara, California 95050
Ph: (408) 727-8262 FAX: (408) 727-8285 E-mail: mission@missionengineersinc.com

PRELIMINARY

NOTES & LEGEND
APN 189-51-066
380 ARBOLEDA DRIVE
IN THE CITY OF LOS ALTOS, CALIFORNIA

REVISIONS			
DATE	BY	DESCRIPTION	CHK'D

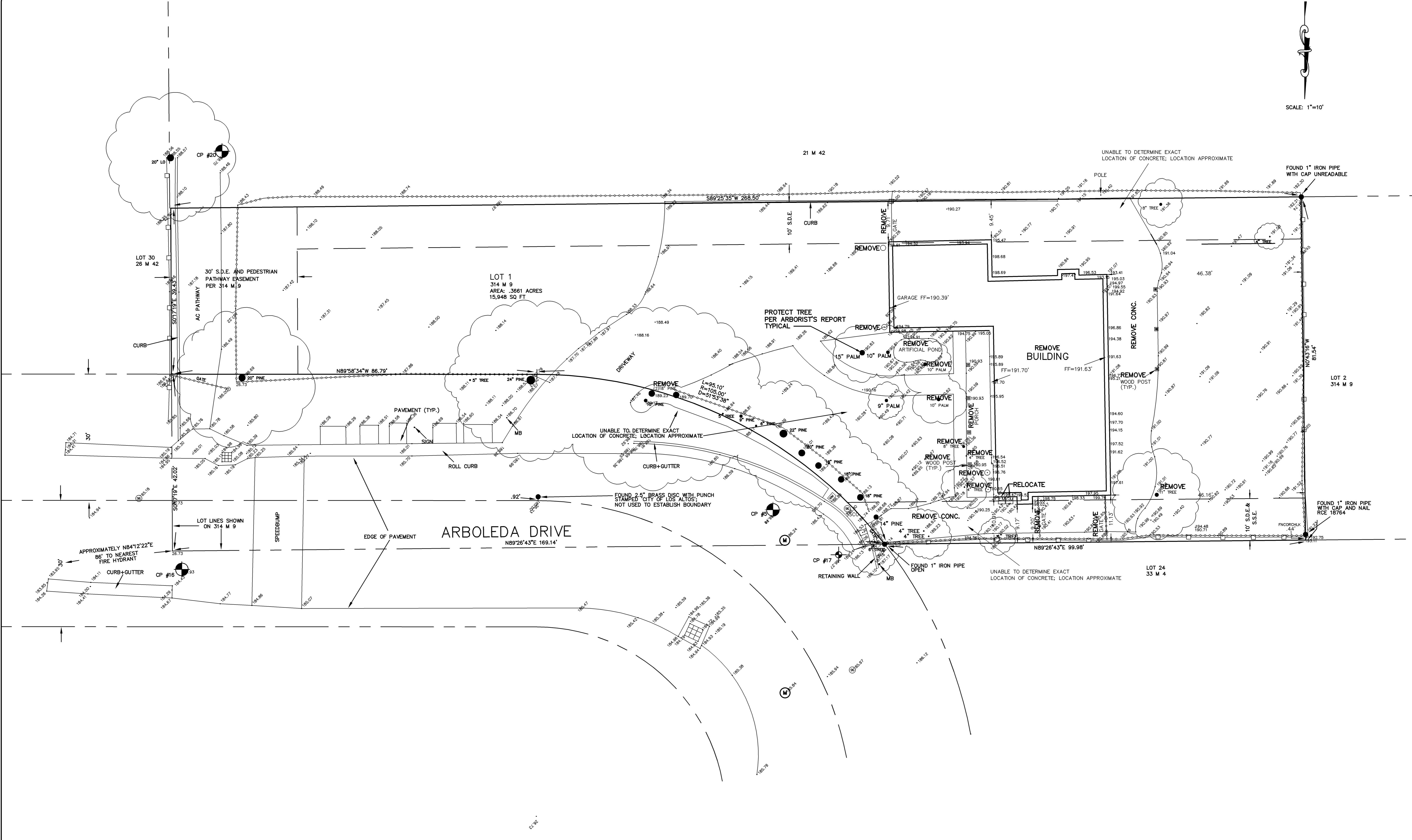
SCALE:	AS NOTED
DATE:	10-21-24
DWN:	SS ME30
CHKD:	
JOB NO.	24028
DWG NO.	L15293

SHEET

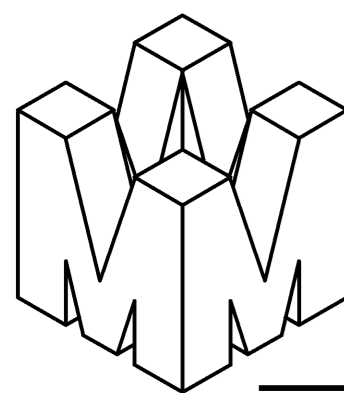
C1

OF 4 SHEETS

SCALE: 1"=10'



DANIEL NUNES, R.C.E. 76449-EXPIRES 12-31-24 L.S. 9212-EXPIRES 09-30-25



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PRELIMINARY
 TOPOGRAPHIC & DEMOLITION PLAN
 APN 189-51-066
 380 ARBOLEDA DRIVE
 IN THE CITY OF LOS ALTOS, CALIFORNIA

REVISIONS			
DATE	BY	DESCRIPTION	CHK'D

SCALE: 1"=10'
 DATE: 10-21-24
 DWN: SS ME30
 CHKD:
 JOB NO. 24028
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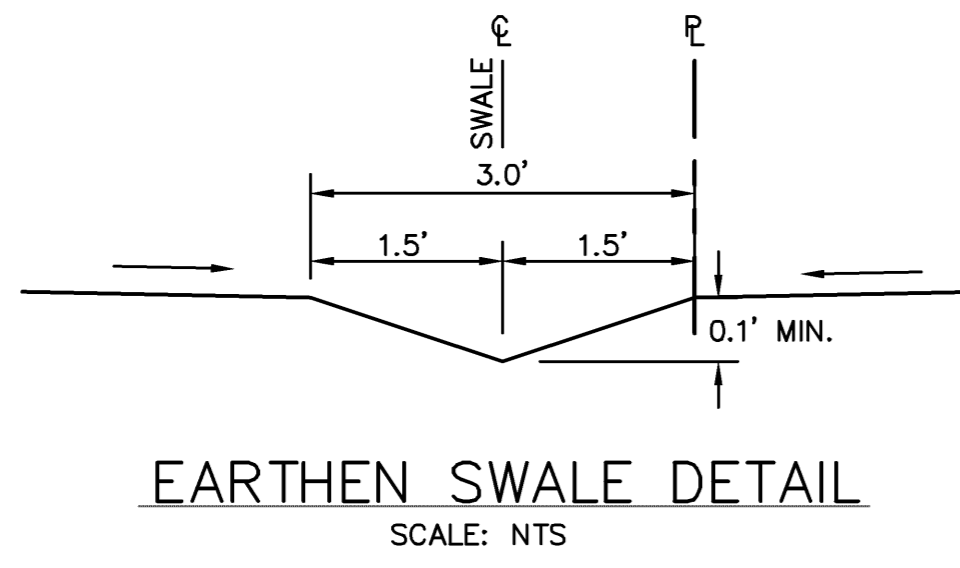
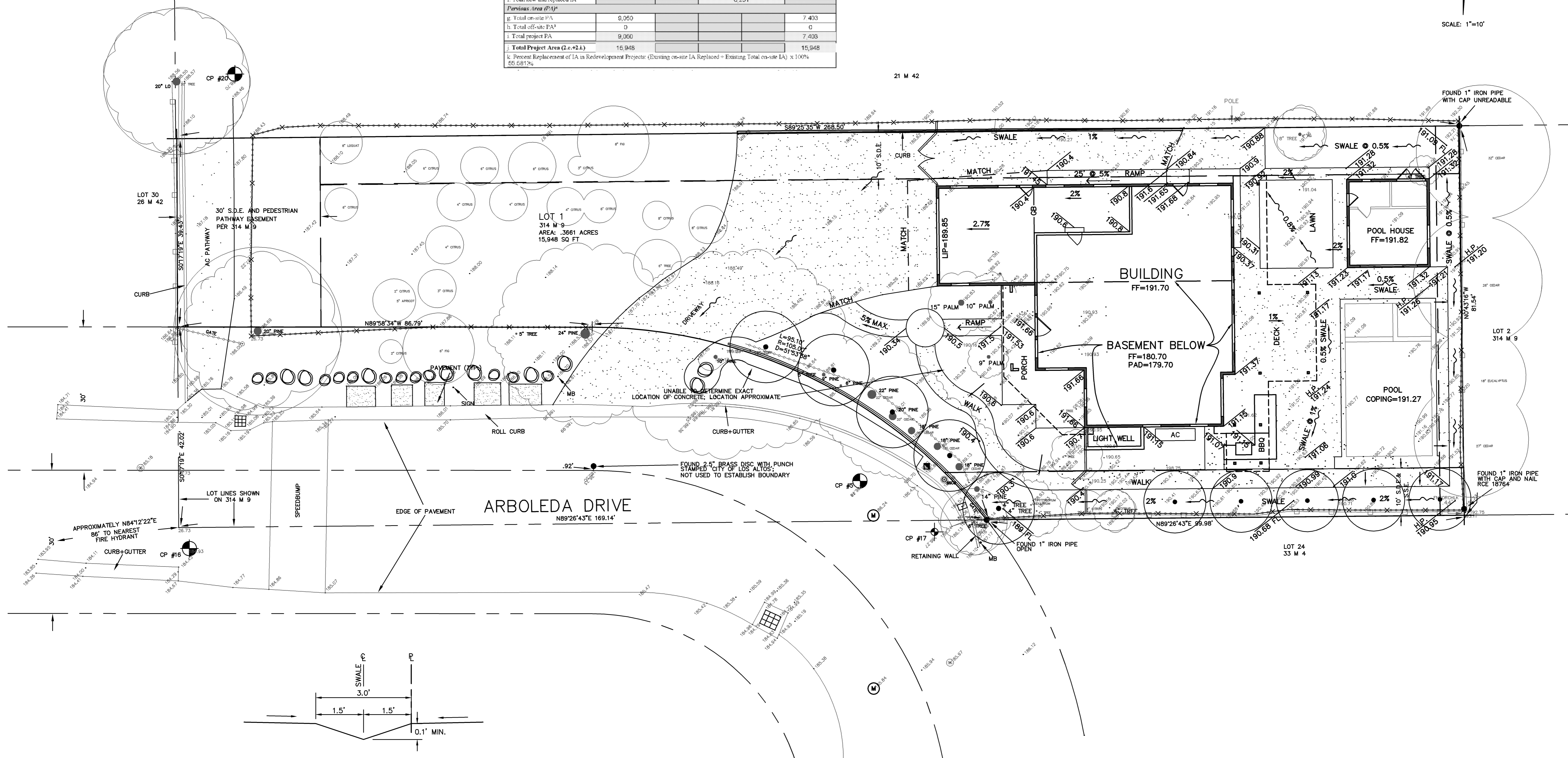
SHEET
C2
 OF 4 SHEETS

IMPERVIOUS/PERVIOUS TABLE

a. Total Site Area: 15,948 (ft ²)		b. Total Land Area Disturbed During Construction: 9,300 (ft ²) (including clearing, grading, stockpiling, or excavating)			
Project Totals	Total Existing (Pre-project) Area (ft ²)	Existing Area Retained (ft ²)	Existing Area Replaced (ft ²)	New Area Created (ft ²)	Total Post-Project Area (ft ²)
Impervious Area (IA)					
e. Total on-site IA	6,898	2,294	3,834	2,417	8,545
d. Total off-site IA ¹	0		0	0	0
c. Total project IA	6,898	2,294	3,834	2,417	8,545
f. Total new and replaced IA				6,251	
Pervious Area (PA)²					
g. Total on-site PA	9,050				7,403
h. Total off-site PA ³	0			0	0
i. Total project PA	9,050				7,403
j. Total Project Area (c.e.+i.l.)	16,948				15,948
k. Percent Replacement of IA in Redevelopment Projects: (Existing on-site IA Replaced - Existing Total on-site IA) x 100% = 55.81%					

SCALE: 1"=10'

21 M 42



THESE PROGRESS PRINTS ARE SUBMITTED WITHOUT SIGNATURE PER AMENDMENTS EFFECTIVE JANUARY 1, 2001 TO SECTIONS 6735, 6735.3, AND 6735.4 OF THE PROFESSIONAL ENGINEERS ACT PROHIBITING INTERIM OR DRAFT DOCUMENTS FROM CONTAINING THE ENGINEER'S SIGNATURE.

DANIEL NUNES, R.C.E. 76449-EXPIRES 12-31-24 L.S. 9212-EXPIRES 09-30-25

PLANNING • LAND SURVEYING • CIVIL ENGINEERING • CONSTRUCTION STAKING

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PRELIMINARY
GRADING & DRAINAGE PLAN
APN 189-51-066
380 ARBOLEDA DRIVE
IN THE CITY OF LOS ALTOS, CALIFORNIA

REVISIONS			
DATE	BY	DESCRIPTION	CH'KD

SCALE: 1"=10'
DATE: 10-21-24
DWN: SS ME30
CHKD:
JOB NO. 24028
DWG NO. L15293

SHEET
C3
OF 4 SHEETS

LANDSCAPE DOCUMENTATION INFORMATION

- 1. PROJECT INFORMATION**
 A. DATE: 10-22-24
 B. PROJECT APPLICANT: RYAN MORRIS, MORRIS ARCHITECTURE, MILLBRAE, CA 94030 (650) 995-1360
 C. PROJECT ADDRESS: 380 ARBOLEDA DRIVE, LOS ALTOS, CA 94024. APN: 189-51-066
 D. TOTAL IRRIGATED LANDSCAPE AREA 1,996 SQ. FT. (LAWN: 228 SQ. FT.; PLANTING: 1,770 SQ. FT.)
 E. PROJECT TYPE: NEW RESIDENCE
 F. PROJECT CONTACTS: RYAN MORRIS, ARCHITECT (650) 995-1360, JOHN DALRYMPLE, LANDSCAPE ARCHITECT (650) 549-8707.
 G. LANDSCAPE DOCUMENTATION PACKAGE STATEMENTS:
 * I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE PRESCRIPTIVE COMPLIANCE OPTION TO THE WATER EFFICIENT LANDSCAPE ORDINANCE.
 ** ALL LANDSCAPE AREAS SHALL INCORPORATE COMPOST AT A RATE OF AT LEAST FOUR CUBIC YARDS PER 1,000 SQUARE FEET TO A DEPTH OF SIX INCHES.
- 2. WATER EFFICIENT LANDSCAPE WORKSHEET**
 D. HYDROZONE INFORMATION TABLE - SEE SHEET LP-5
 E. WATER BUDGET CALCULATIONS MAWU & ETWU - SEE SHEET LP-5
- 3. SOIL MANAGEMENT REPORT**
 NOT REQUIRED FOR PRESCRIPTIVE COMPLIANCE.
- 4. LANDSCAPE DESIGN PLAN**
 SEE SHEET LP-1, LP-2
- 5. IRRIGATION DESIGN PLAN**
 SEE SHEETS LP-3, LP-4, LP-5
- 6. GRADING DESIGN PLAN**
 SEE CIVIL ENGINEER PLANS C-3.

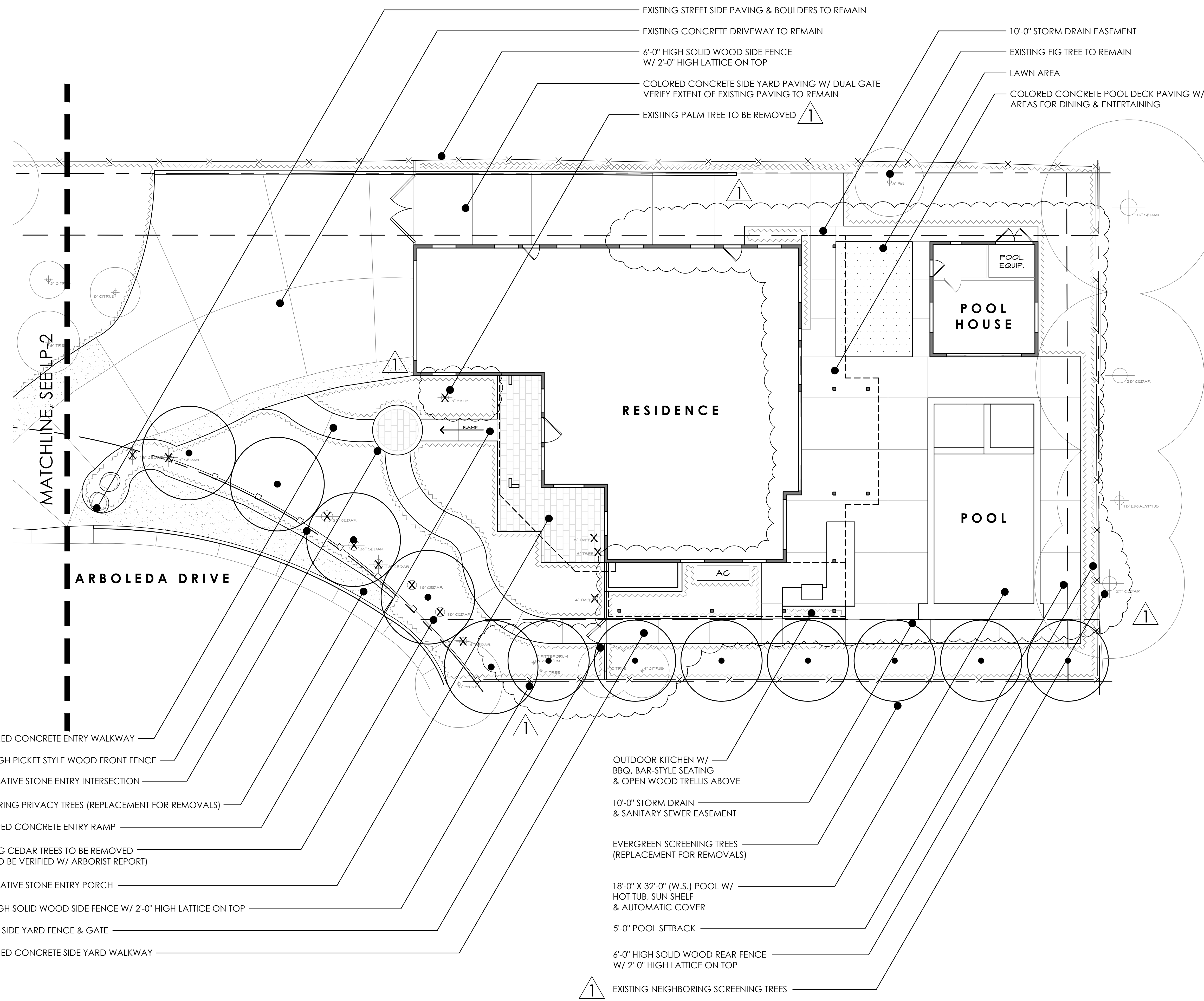
- LANDSCAPE DOCUMENTATION CHECKLIST**
 1. PROJECT INFORMATION - CHECK
 2. WATER EFFICIENT LANDSCAPE WORKSHEET - CHECK
 3. SOIL MANAGEMENT REPORT - NOT REQUIRED
 4. LANDSCAPE DESIGN PLAN - CHECK
 5. IRRIGATION DESIGN PLAN - CHECK
 6. GRADING DESIGN PLAN - CHECK

LANDSCAPE PLAN NOTES

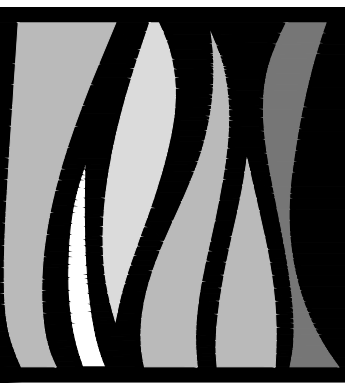
- ALL WORK SHALL BE INSTALLED IN CONFORMANCE WITH ALL APPLICABLE CODES AND ORDINANCES BY EXPERIENCED WORKMEN AND A LICENSED LANDSCAPE CONTRACTOR.
- CONTRACTOR TO FAMILIARIZE HIM / HERSELF WITH ALL ON SITE CONDITIONS PRIOR TO BIDDING PROJECT.
- THE CONTRACTOR SHALL VERIFY ALL DISTANCES AND DIMENSIONS IN THE FIELD; ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND LANDSCAPE ARCHITECT FOR A DECISION BEFORE PROCEEDING WITH ANY WORK.
- CONTRACTOR SHALL NOT MAKE ANY FIELD CHANGES UNLESS AUTHORIZED BY THE OWNER AND LANDSCAPE ARCHITECT. ANY UNAUTHORIZED CHANGES SHALL BE CORRECTED TO CONFORM WITH THE PLANS AT NO COST TO THE OWNER.
- VERIFY THE LOCATION OF ALL UTILITIES AND PROTECT AT ALL TIMES. CONTRACTOR TO PAY FOR ANY DAMAGES TO UTILITIES. TELEPHONE U.S. ALERT TO LOCATE ANY UTILITY LOCATIONS IN DOUBT. ALLOW TWO DAYS LEAD TIME. (800) 227-2600. THE LOCATION AND PROTECTION OF ALL UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH ELECTRICAL AND PLUMBING WORK.
- THE CONTRACTOR SHALL SECURE PERMITS FOR ALL WORK FROM THE APPROPRIATE GOVERNMENTAL AGENCY.
- THE CONTRACTOR SHALL BE RESPONSIBLE AND LIABLE FOR ANY AND ALL DAMAGE DUE TO OPERATIONS, OR NEGLECT OF SUB-CONTRACTORS.
- ALL PROPERTY AND LOT LINES SHALL BE VERIFIED PRIOR TO COMMENCING WORK.
- WRITTEN DIMENSIONS SHOWN ON DRAWINGS SHALL IN ALL CASES TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- ALL DIMENSIONS ARE FROM OUTSIDE THE FACE OF PAVING, WALLS, ETC., UNLESS OTHERWISE NOTED ON PLANS.
- NOTES AND DETAILS ON SPECIFIC DRAWINGS TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS.
- CONTRACTOR TO PROTECT EXISTING TREES FROM DAMAGE DURING CONSTRUCTION AND SHALL BE RESPONSIBLE FOR REPAIR AND REPLACEMENT OF ANY PLANTS DAMAGED OR DESTROYED DURING CONSTRUCTION AT CONTRACTOR'S OWN EXPENSE.
- ALL GRADING SHALL BE IN ACCORDANCE WITH LOCAL GRADING CODES AND ORDINANCES. THE CONTRACTOR SHALL OBTAIN, COORDINATE AND PAY FOR ANY AND ALL ADDITIONAL PERMITS AND ALL INSPECTIONS REQUIRED.
- CONTRACTOR SHALL GRADE SITE SO THAT THE SITE HAS POSITIVE DRAINAGE.
- LANDSCAPE AREAS SHALL DRAIN AWAY FROM ALL BUILDINGS AND FACILITIES AT 5% MIN. OR AS SHOWN ON PLANS.
- LANDSCAPE MOUNDS AND FILL AREAS SHALL BE SPREAD IN LOOSE LIFTS OF 6" OR LESS AND COMPACTED BY WATER SATURATION TO A DEGREE OF 95% OR GREATER.
- EXPORTED SOIL AND DEBRIS SHALL GO TO A LEGAL DUMP SITE.
- ALL LANDSCAPE AREAS SHALL BE SMOOTH IN CHARACTER AND SHALL HAVE NATURAL TRANSITIONS BETWEEN CONTOURS AS DIRECTED BY THE LANDSCAPE ARCHITECT.
- ALL MATTER OF DEBRIS SHALL BE REMOVED BY THE CONTRACTOR FROM THE SURFACE UPON WHICH FILL IS TO BE PLACED.
- THE CONTRACTOR SHALL STAKE THE LAYOUT FOR THE WALKWAYS, WALLS, FENCES, PRIOR TO CONSTRUCTION FOR LANDSCAPE ARCHITECT AND OWNERS REVIEW.
- THE CONTRACTOR SHALL SUBMIT SAMPLES OF ALL FINISHES, COLORS AND PAVING MATERIALS TO THE LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL BEFORE PROCEEDING WITH THE WORK.
- ALL CONCRETE FLATWORK LAYOUT SHALL BE APPROVED BY OWNER PRIOR TO INSTALLATION.
- ALL WALLS AND WALKS SHALL HAVE A SMOOTH, CONTINUOUS CURVES AS INDICATED ON PLANS. JOIN ALL EXISTING PAVING FLUSH.
- THE CONTRACTOR SHALL PROVIDE SLEEVES UNDER WALKWAYS, WALLS, FENCES PRIOR TO CONSTRUCTION FOR LANDSCAPE ARCHITECT AND OWNERS REVIEW.
- ALL PLANTING AREAS SHALL RECEIVE A 3" MINIMUM LAYER OF MINI FIR BARK OR APPROVED EQUAL IN ALL NEWLY PLANTED AREAS. SUBMIT SAMPLE FOR APPROVAL. SITE INFORMATION WAS TAKEN FROM DRAWINGS PREPARED BY MORRIS ARCHITECTURE, MILLBRAE, CA 94030, (650) 995-1360, MARCH 2024. SURVEY BY WILSON LAND SURVEYORS, LOS GATOS, CA 95032, (408) 427-2279, DECEMBER 2022. CIVIL ENGINEERING DRAWINGS BY MISSION ENGINEERS, INC., SANTA CLARA, CA 95050, (408) 727-8282, OCTOBER 2024. FIELD MEASUREMENTS TAKEN BY JOHN DALRYMPLE LANDSCAPE ARCHITECTURE, REDWOOD CITY, CA 94063, (650) 549-8707, AUGUST 2024. BRING ANY DISCREPANCIES TO CONTRACTOR FOR A DECISION.

LANDSCAPE PLAN LEGEND

- INDICATES PLANTING AREA
 - INDICATES SOD LAWN AREA
 - INDICATES EXISTING TREES TO REMAIN
 - INDICATES EXISTING TREES TO BE REMOVED
- FENCING LEGEND**
- INDICATES PROPOSED 6'-0" HIGH SOLID WOOD FENCE, W/ 2'-0" HIGH LATTICE ON TOP
 - INDICATES 4'-0" HIGH PICKET STYLE WOOD FRONT FENCE
 - INDICATES 4'-0" HIGH SOLID WOOD FRONT FENCE



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 LANDSCAPE ARCHITECTURE
 650.549.8707
 john@dalrymple.com
 380 Arboleda Drive, Suite 110
 Los Altos, CA 94024
 www.johndalrymple.com



MODDERMAN
 RESIDENCE
 380 ARBOLEDA DRIVE
 LOS ALTOS, CA 94024

LANDSCAPE
 DESIGN PLAN



DATE: 10-22-24
 REVISIONS:
 12-20-24 PLAN CHECK COMMENTS
 1-24-25 PLAN CHECK COMMENTS

SCALE: 1/8" = 1'-0"
 NORTH

SHEET
LP - 1

10'-0" STORM DRAIN EASEMENT

6'-0" HIGH SOLID WOOD SIDE FENCE W/ 2'-0" HIGH LATTICE ON TOP

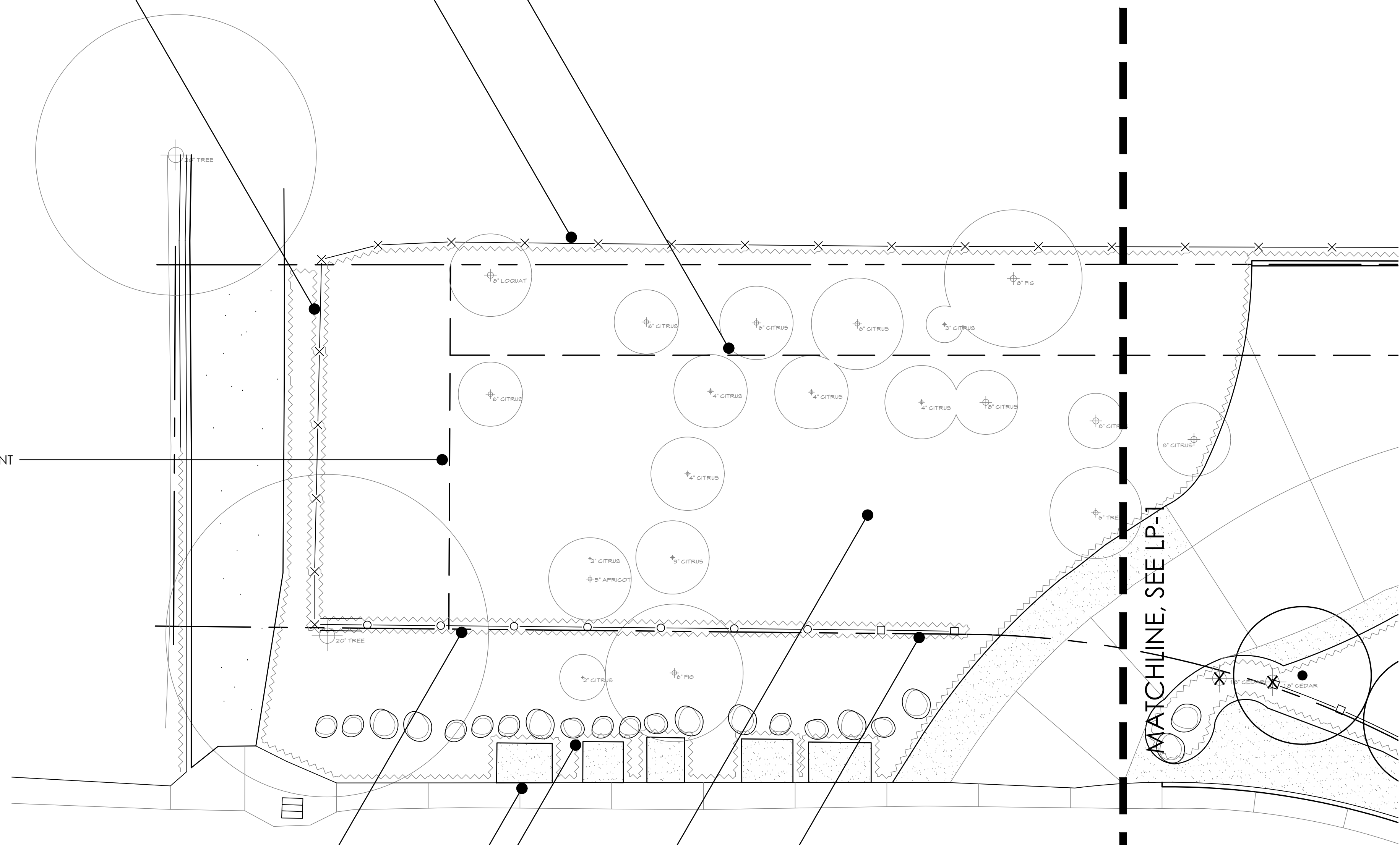
30'-0" STORM DRAIN & PEDESTRIAN PATHWAY EASEMENT

4'-0" HIGH SOLID WOOD FRONT FENCE

EXISTING STREET SIDE BOULDER & PAVING TO REMAIN

EXISTING ORCHARD TO REMAIN

8'-0" SECTION OF 4'-0" HIGH PICKET STYLE WOOD FRONT FENCE



ARBOLEDA DRIVE

MATCHLINE, SEE LP-1

LANDSCAPE PLAN LEGEND

- INDICATES PLANTING AREA
- INDICATES SOD LAWN AREA
- INDICATES EXISTING TREES TO REMAIN
- INDICATES EXISTING TREES TO BE REMOVED

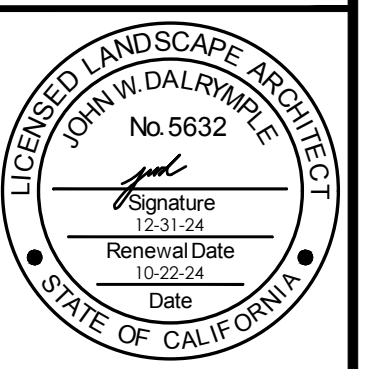
FENCING LEGEND

- INDICATES PROPOSED 6'-0" HIGH SOLID WOOD FENCE, W/ 2'-0" HIGH LATTICE ON TOP
- INDICATES 4'-0" HIGH PICKET STYLE WOOD FRONT FENCE
- INDICATES 4'-0" HIGH SOLID WOOD FRONT FENCE

JOHN DALRYMPLE
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MODDERMAN
RESIDENCE
 380 ARBOLEDA DRIVE
 LOS ALTOS, CA 94024

LANDSCAPE DESIGN PLAN



DATE
10-22-24
 REVISIONS
 12-20-24
 PLAN CHECK COMMENTS
 1-24-25
 PLAN CHECK COMMENTS

SCALE
1/8" = 1'-0"

 NORTH

SHEET
LP - 2

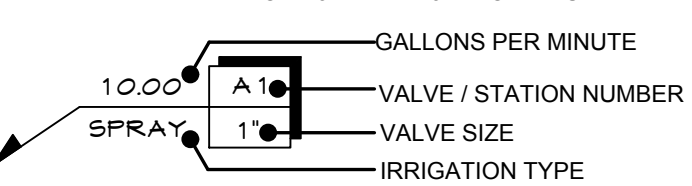
IRRIGATION NOTES

- THIS DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES ETC. SHOWN WITHIN THE PAVED AREAS OR BUILDINGS IS FOR DESIGN CLARIFICATION ONLY AND SHALL BE REPAIRED ANY DAMAGING AREAS WHERE POSSIBLE. AVOID CONFLICTS WITH PLANTING, PIPINGS, UTILITIES AND ARCHITECTURE WHERE POSSIBLE.
- DO NOT WILLFULLY INSTALL THE SYSTEMS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT OBSTRUCTIONS, GRADE DIFFERENCES, GPM AVAILABILITY, OR PRESSURES EXIST THAT MAY NOT HAVE BEEN INCLUDED IN THE ENGINEERING. SUCH OBSTRUCTIONS OR DIFFERENCES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND LANDSCAPE ARCHITECT FOR A DECISION. IN THE EVENT THAT NOTIFICATION IS NOT PERFORMED, THE IRRIGATION CONTRACTOR SHALL ASSUME ALL RESPONSIBILITIES FOR ANY REVISIONS NECESSARY.
- 120 VOLT ELECTRICAL POWER OUTLET AT THE IRRIGATION CONTROLLER LOCATION SHALL BE PROVIDED BY OTHERS. THE IRRIGATION CONTRACTOR SHALL MAKE FINAL HOOK-UP FROM REMOTE CONTROL VALVES TO CONTROLLER.
- IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO FAMILIARIZE THEMSELVES WITH ALL GRADE DIFFERENCES, LOCATION OF WALLS, UTILITIES, PIPING, BUILDINGS, ETC. THE IRRIGATION CONTRACTOR SHALL COORDINATE WITH THEIR WORK WITH THE GENERAL CONTRACTOR FOR THE INSTALLATION OF PIPE SLEEVES THROUGH WALLS, UNDER ROADWAYS, STRUCTURES, ETC.
- THE IRRIGATION SYSTEM SHALL BE INSTALLED IN CONFORMANCE WITH ALL APPLICABLE STATE AND LOCAL CODES AND ORDINANCES BY A LICENSED LANDSCAPE CONTRACTOR AND EXPERIENCED WORKMEN. CONTRACTOR TO OBTAIN AND PAY FOR ALL IRRIGATION PERMITS AND REQUIREMENTS
- CONTRACTOR TO CONFIRM THE LOCATION OF EXISTING UTILITIES AND UNDERGROUND STRUCTURES PRIOR TO EXCAVATION OF TRENCHES. CONTRACTOR TO REPAIR ANY DAMAGE CAUSED BY, OR DURING THE PERFORMANCE OF HIS WORK AT NO ADDITIONAL COST TO THE OWNER.
- SYSTEM IS BASED UPON A STATIC MAINLINE PRESSURE OF 60 PSI. A PRESSURE REDUCER MAY (MAY NOT) BE REQUIRED SO THAT THE STATIC MAINLINE PRESSURE AS MEASURED AT THE POINT OF CONNECTION AFTER THE BACK FLOW DEVICES IS 80 PSI. AFTER CALCULATING PRESSURE LOSSES, THE SYSTEM IS DESIGNED TO OPERATE AT APPROXIMATELY 35-40 PSI WORKING PRESSURE AT THE HEADS. THROUGH ANY ONE VALVE, THE SYSTEM IS DESIGNED TO OPERATE AT A MAXIMUM OF 13 GPMs.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SLEEVING REQUIRED FOR ELECTRICAL AND IRRIGATION. CONTRACTOR TO COORDINATE AND LOCATE ANY ELECTRICAL AND IRRIGATION SLEEVES PRIOR TO CONCRETE POUR. LANDSCAPE ARCHITECT TO REVIEW LAYOUT PRIOR TO CONCRETE POUR. SLEEVES TO BE SCH. 40 PVC PIPE, SET 2" SAND BED CONTINUOUS AROUND ENTIRE SLEEVE, WITH MARKING TAPE AT EACH END. EXTEND PAST PAVING 6".
- TRENCHES ARE TO BE OF SUFFICIENT DEPTH TO PROVIDE 18" OF COVER OVER MAINLINE AND LATERAL LINES PRIOR TO THE INSTALLATION OF IRRIGATION HEADS. MAINLINE TO BE VISUALLY INSPECTED FOR LEAKS UNDER FULL OPERATING PRESSURE PRIOR TO BACKFILLING. MAINLINES UNDER STREETS AND DRIVE WAY TO BE 24" MINIMUM DEPTH.
- FLUSH MAINLINES PRIOR TO THE INSTALLATION OF REMOTE CONTROL VALVES. FLUSH LATERAL LINES PRIOR TO THE INSTALLATION OF IRRIGATION HEADS. MAINLINE TO BE VISUALLY INSPECTED FOR LEAKS UNDER FULL OPERATING PRESSURE PRIOR TO BACKFILLING.
- IRRIGATION CONTROL WIRE SHALL BE #14 UL APPROVED FOR DIRECT BURIAL. COMMON WIRE SHALL BE #14 UL APPROVED FOR DIRECT BURIAL. WHITE ON COLOR. WIRES TO BE MULTI-STRAND #18-8 REMOTE CONTROL VALVES SHALL BE A COLOR OTHER THAN WHITE. ALL SPLICES SHALL BE MADE WITHIN REMOTE CONTROL VALVE BOXES. LEAVE 24" EXCESS WIRE COIL AT REMOTE CONTROL LOCATIONS.
- REMOTE CONTROL VALVE BOXES SHALL BE INSTALLED FLUSH WITH FINISH GRADE (NOT NECESSARILY PLUMB). ALIGN VALVE BOXES WITH ADJACENT PAVEMENT EDGES OR STRUCTURES. VALVE BOXES SHALL BE PLASTIC WITH BOLT DOWN LIDS AND WHITE NUMBERED VALVE STATIONS IN STENCILS.
- ALL EXCAVATIONS SHALL BE BACKFILLED TO 90% COMPACTION MIN. CONTRACTOR TO REPAIR SETTLED TRENCHES ONE YEAR AFTER COMPLETION OF WORK.
- CONTRACTOR TO MAKE MINOR ADJUSTMENTS IN HEAD LOCATIONS AND ADJUST HEADS FOR RADIUS (ARC IF APPLICABLE) TO OPTIMUM COVERAGE AND ELIMINATE SPRAYING INTO PAVEMENT, BUILDINGS AND WALLS. ADD HEADS AS NECESSARY FOR HEAD TO HEAD COVERAGE. INSTALL FLAT HEADS NEAR BUILDINGS.
- CONTRACTOR TO MAINTAIN A SET OF "AS-BUILT" DRAWINGS THROUGHOUT THE COURSE OF CONSTRUCTION AND DELIVER THESE DRAWINGS TO THE OWNER UPON THE COMPLETION OF WORK. THE DRAWINGS SHALL BE IN REPRODUCIBLE FORM.
- CONTRACTOR SHALL GUARANTEE THE SYSTEM AND MATERIALS TO BE FREE FROM DEFECTS FOR A PERIOD OF ONE YEAR STARTING WITH THE ACCEPTANCE AT THE FINAL SITE REVIEW.
- ALL HEADS WHICH MAY EXPERIENCE LOW HEAD DRAINAGE SHOULD HAVE IN-LINE OR IN-HEAD CHECK VALVES INSTALLED.
- THE IRRIGATION CONTRACTOR SHOULD ARRANGE WITH THE LANDSCAPE ARCHITECT AND OWNER FOR A SITE REVIEW OF THE SYSTEM. CALL WITHIN TWO DAYS PRIOR TO NOTICE TO ARRANGE REVIEW DATES. REVIEWS WILL BE SCHEDULED TO REVIEW:
 - PRESSURE TEST TO MAINLINE PRIOR TO BACKFILLING TRENCHES.
 - COVERAGE TEST OF SPRINKLER SYSTEM PRIOR TO PLANTING.
 - FINAL WALK THROUGH OF ALL ASPECTS OF IRRIGATION SYSTEM.
- WATER JET ALL TRENCHES. TYPICAL.

IRRIGATION LEGEND

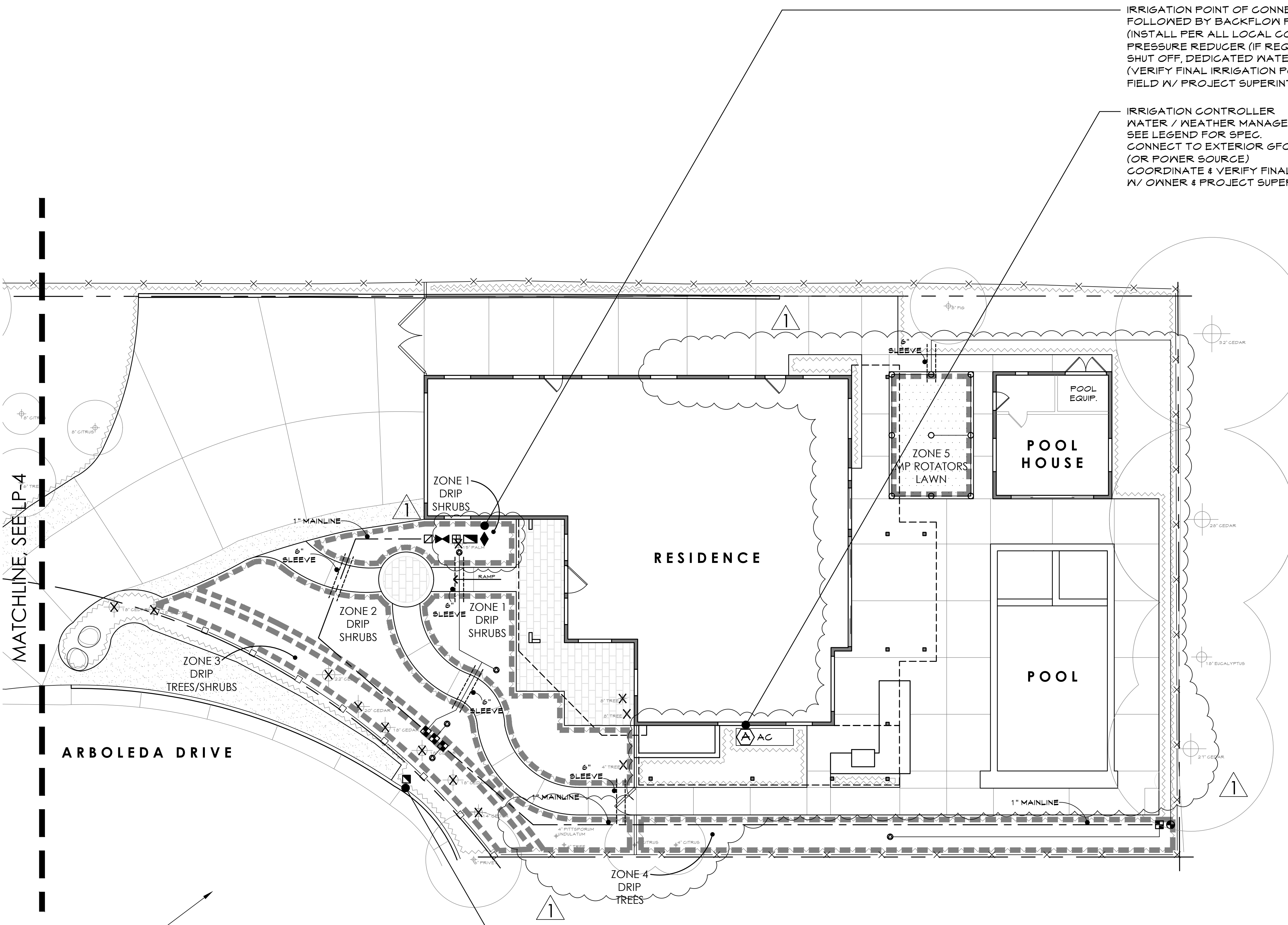
- WATER METER, VERIFY LOCATION, GPM & PRESSURE IN FIELD W/ JOB SUPERINTENDENT
- DEDICATED IRRIGATION WATER METER
- 1" HUNTER HC FLOW METER (HC-100-FLOW) W/ 1" HUNTER MASTER VALVE
NOTE: USE SHIELDED WIRE FOR CONTROLLER CONNECTION
- IRRIGATION POINT OF CONNECTION
- HUNTER HPC (PRO-C) HYDRAWISE WIFI CONTROLLER W/ PLASTIC BUILT IN REMOTE COMPATIBLE & WATER / WEATHER MANAGEMENT COMPATIBLE
- REDUCED PRESSURE BACKFLOW PREVENTER, FEBCO 825Y 1"
- WILKINS PRESSURE REDUCER ASSEMBLY; - IF REQUIRED IF PRESSURE EXCEEDS 70 P.S.I., SET TO 70 P.S.I.; LINE SIZE, LOCATED IN LABELED PLASTIC BOX
- NIBCO BALL VALVE; LINE SIZE, LOCATED IN LABELED PLASTIC BOX - IF REQUIRED
- 1" HUNTER PGV-100G SERIES SPRAY REMOTE CONTROL VALVE OR EQ. W/ 1" HFR FILTER SYSTEM & PRESET 40 PSI PRESSURE REGULATOR
- 1" HUNTER PCZ-101 SERIES DRIP REMOTE CONTROL VALVE ASSEMBLY W/ 1" HFR FILTER SYSTEM & PRESET 40 PSI PRESSURE REGULATOR
- PVC PIPE TO 1/2" DRIP TUBING POINT OF CONNECTION
- HUNTER MP ROTATOR - MP1000-360 (8'-15" RAD.) - 6" POP W/ CV - .84 GPM AT 40 PSI
- HUNTER MP ROTATOR - MP1000-180 (8'-15" RAD.) - 6" POP W/ CV - .42 GPM AT 40 PSI
- HUNTER MP ROTATOR - MP1000-90 (8'-15" RAD.) - 6" POP W/ CV - .21 GPM AT 40 PSI
- SCH. 40 PVC IRRIGATION MAINLINE LINE, SIZE PER PLAN
- SCH. 40 PVC IRRIGATION LATERAL LINE, SIZE PER PLAN
- SCH. 40 PVC SLEEVE, SIZE PER PLAN
- IRRIGATION ZONES

- LAWN AREAS & GROUND COVER TO BE HUNTER MP ROTATORS
- MP1000-360 & 90-210 NOZZLES ON 6" POP UPS ON PPS40 BODY W/ CHECK VALVE HEADS TO BE PLACED TO ACHIEVE HEAD TO HEAD COVERAGE
- NOTE: NO-MOW LAWN AREAS TO HAVE 12" POP-UPS
- PLANTING AREAS TO BE DRIP IRRIGATION W/ NETAFIM INLINE DRIP LINES OR SALCO 1/2" AR DRIP TUBING MAINLINES & 1/2" TUBING TO PLANTS
- 1.0 GPH DRIP EMITTERS FOR G.C. / SHRUB AREAS AS FOLLOWS
- 1 GAL. - 1 EA. AT 6" FROM TRUNK / STEM
- 5 GAL. - 3 EA. AT 8" FROM TRUNK / STEM
- 15 GAL. - 4 EA. AT 12" FROM TRUNK
- 24" BOX - 6 EA. AT 16" FROM TRUNK



IRRIGATION POINT OF CONNECTION (TYP.) FOLLOWED BY BACKFLOW PREVENTION DEVICE (INSTALL PER ALL LOCAL CODES & ORDINANCES) PRESSURE REDUCER (IF REQUIRED), BALL VALVE SHUT OFF, DEDICATED WATER METER, (VERIFY FINAL IRRIGATION POINT OF CONNECTION IN FIELD W/ PROJECT SUPERINTENDENT)

IRRIGATION CONTROLLER WATER / WEATHER MANAGEMENT COMPATIBLE, SEE LEGEND FOR SPEC. CONNECT TO EXTERIOR GFCI PLUG (OR POWER SOURCE) COORDINATE & VERIFY FINAL LOCATION W/ OWNER & PROJECT SUPERINTENDENT



- 1.2 GPM (7.2 GPH) 1" DRIP
- 1.23 GPM (7.4 GPH) 1" DRIP
- 1.5 GPM (9.0 GPH) 1" DRIP
- 0.5 GPM (3.0 GPH) 1" DRIP
- 3.36 GPM (201.6 GPH) 1" MP ROTATORS

EX. WATER METER (TYP.) VERIFY LOCATION, SIZE & PRESSURE IN FIELD (NOTE: STATIC WATER PRESSURE T.B.D.)

ADDITIONAL IRRIGATION NOTES

- SEE SHEET LP-5 FOR IRRIGATION DETAILS.
- SEE SHEET LP-5 FOR WATER EFFICIENT LANDSCAPE CALCULATIONS.
- PRESSURE REGULATING DEVICE ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICES.
- CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE COULD OCCUR.
- IRRIGATION SHALL BE SCHEDULED BETWEEN 8:00 PM AND 10:00 AM UNLESS FAVORABLE WEATHER PREVENTS IT OR OTHERWISE RENDERS IRRIGATION UNNECESSARY.
- COORDINATE W/ JOB SUPERINTENDENT LOCATION AND CONNECTION OF IRRIGATION CONTROLLER TO 110 VOLT POWER SUPPLY. INSTALL PER LOCAL CODES AND ORDINANCES.
- UNDERGROUND SERVICE ALERT: BEFORE EXCAVATING CALL U.S.A. UNDERGROUND SERVICE ALERT. CALL TOLL FREE: 800-227-2600, 48 HOURS BEFORE ALL PLANNED WORK OPERATIONS.

IRRIGATION EFFICIENCY STATEMENT

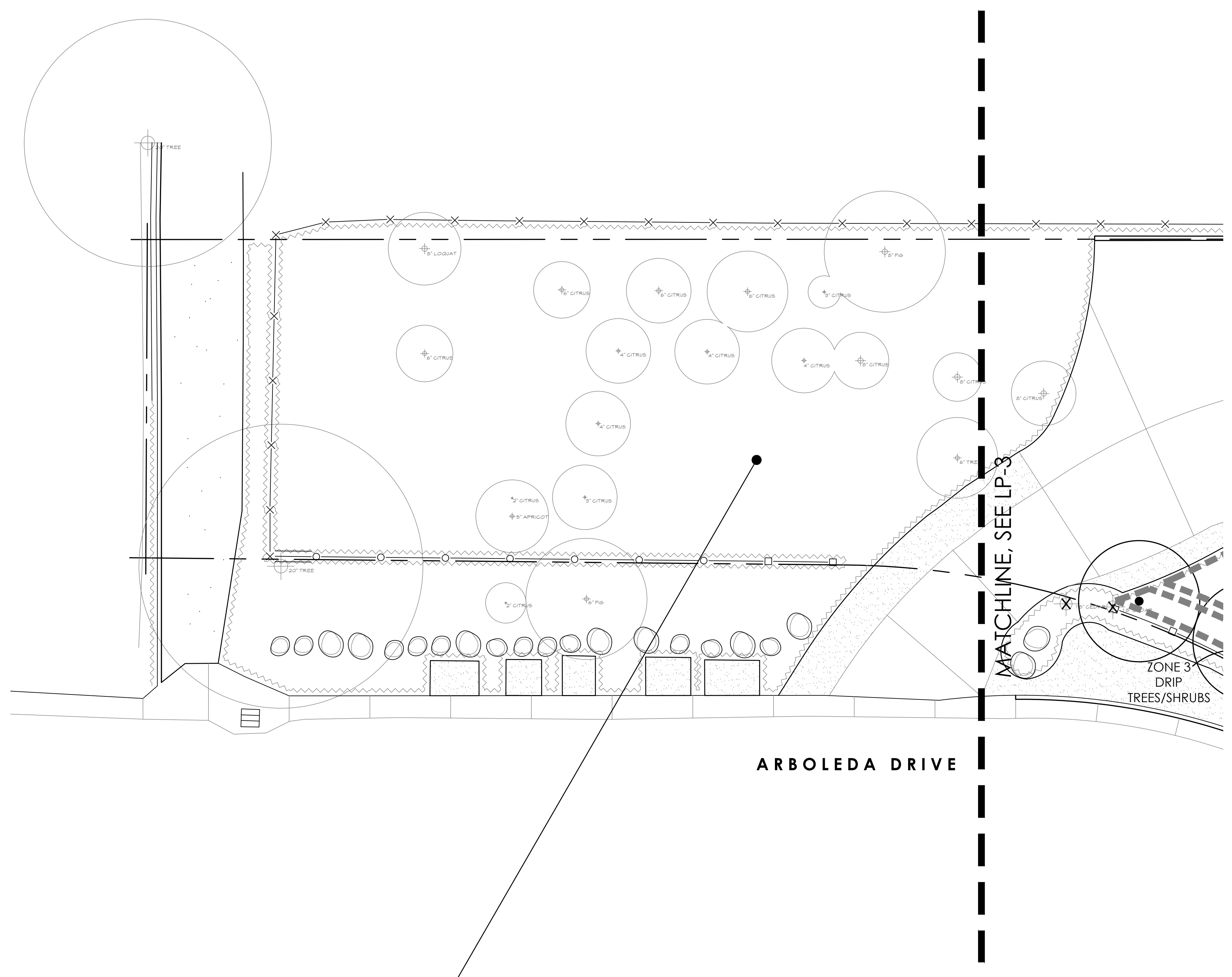
"I HAVE COMPLIED WITH THE CRITERIA OF THE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE AND HAVE APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN."

10-22-24
JOHN DALRYMPLE LANDSCAPE ARCHITECTURE - RLA 5632

SEE SHEET LP-5 FOR IRRIGATION DETAILS & WATER BUDGET CALCULATIONS

DIG ALERT

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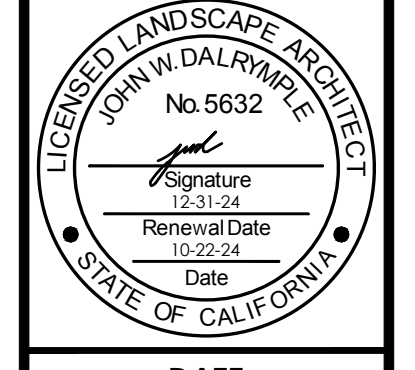


- IRRIGATION LEGEND**
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15 GAL. - 4 EA. AT 12" FROM TRUNK
24" BOX - 6 EA. AT 16" FROM TRUNK
 - 10.00 GALLONS PER MINUTE
 - ▲ VALVE / STATION NUMBER
 - 1" VALVE SIZE
 - IRRIGATION TYPE

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IRRIGATION PLAN



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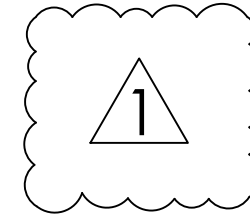
SCALE
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NORTH
SHEET

LP - 4

EX. NON-IRRIGATED ORCHARD TO REMAIN

SEE SHEET LP-5 FOR IRRIGATION DETAILS & WATER BUDGET CALCULATIONS

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WATER EFFICIENT LANDSCAPE CALCULATIONS

HYDROZONE / PLANT USE WATER TYPE / IRRIGATION METHOD	ZONES / VALVES	PLANT FACTOR (PF)	IRRIGATION METHOD	IRRIGATION EFFICIENCY (IE)	ETAF (PF/IE)	HYDROZONE AREA % OF IRRIGATED LANDSCAPE AREA	ETAF X AREA	ESTIMATED TOTAL WATER USE (ETWU)
H-1 LOW WATER USE - SHRUBS DRIP	1, 2, 3, 4	0.3	DRIP	0.81	0.37	1,770 SF 86%	655	18,437
H-2 HIGH WATER USE - LAWN MP ROTATORS	5	0.7	MP ROTATOR	0.75	0.93	226 SF 14%	210	5,911

TOTAL: 1,996 SF 865 24,348

ESTIMATED ANNUAL GALLONS REQUIRED: $45.4 \times 0.62 \times (\text{ETAF} \times \text{AREA}) =$ ETWU TOTAL **24,348 GAL / YEAR (DESIGN CASE)**

ESTIMATED ANNUAL GALLONS ALLOWED: $45.4 \times 0.62 \times ((\text{ETAF} \times \text{LA}) + ((1-\text{ETAF}) \times \text{SLA})) =$ MAWA TOTAL **39,901 GAL / YEAR (BASELINE CASE)**

CALCULATION REFERENCE
 ETWU (ANNUAL GALLONS REQUIRED) (GALLONS PER YEAR) $\text{ETWU} = \text{ETAF} \times \text{AREA}$
 ETo: REFERENCE EVAPOTRANSPIRATION (45.4 INCHES PER YEAR IN LOS ALTOS)
 0.62: CONVERSION FACTOR (INCHES PER SQUARE FOOT TO GALLONS PER SQUARE FOOT)
 ETAF: PLANT FACTOR (IRRIGATION EFFICIENCY)
 AREA: TOTAL LANDSCAPE AREA

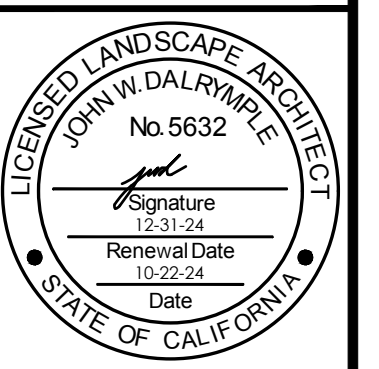
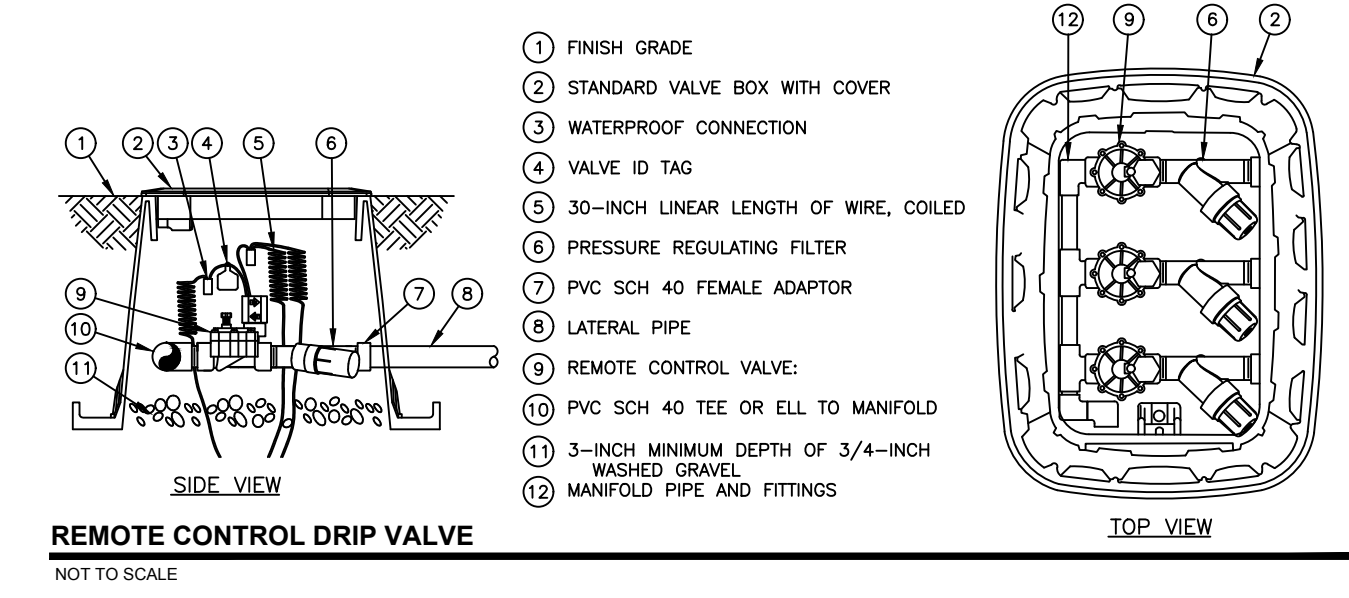
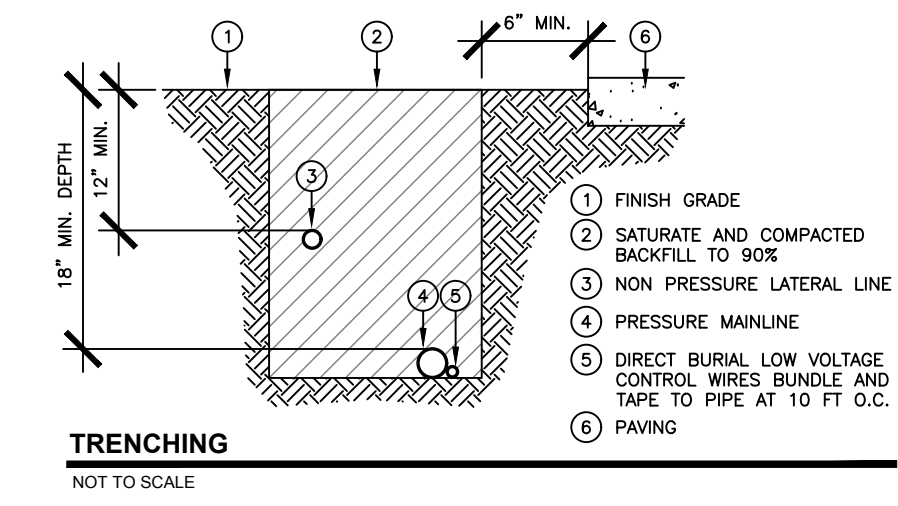
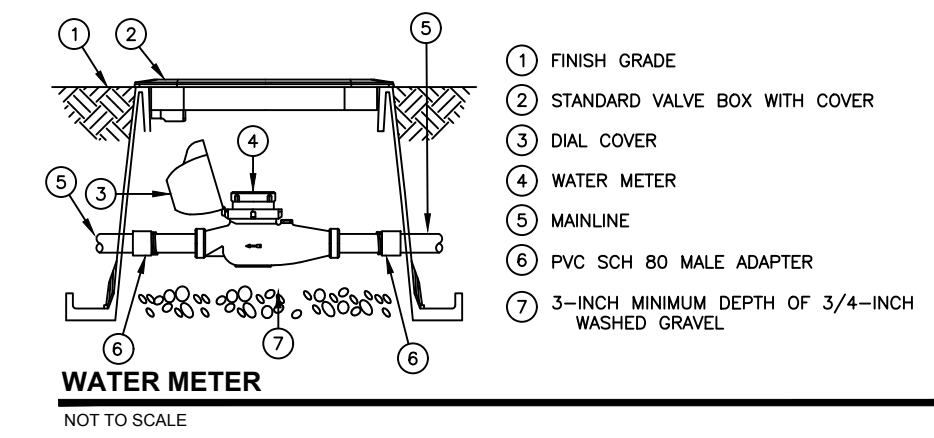
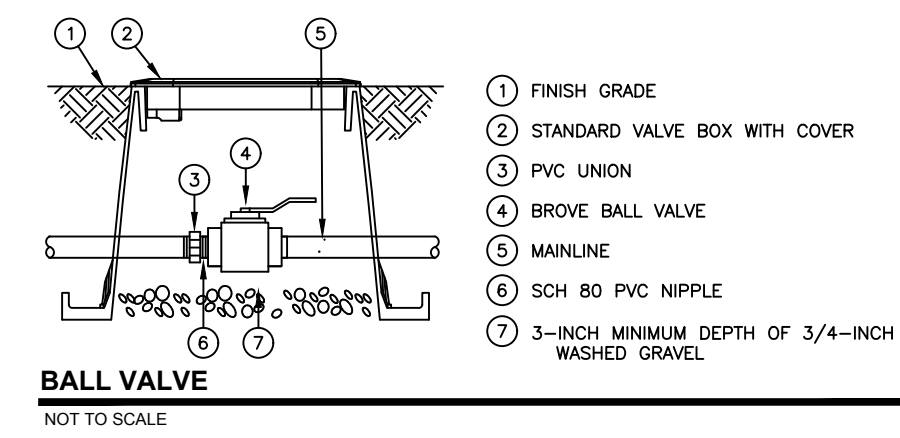
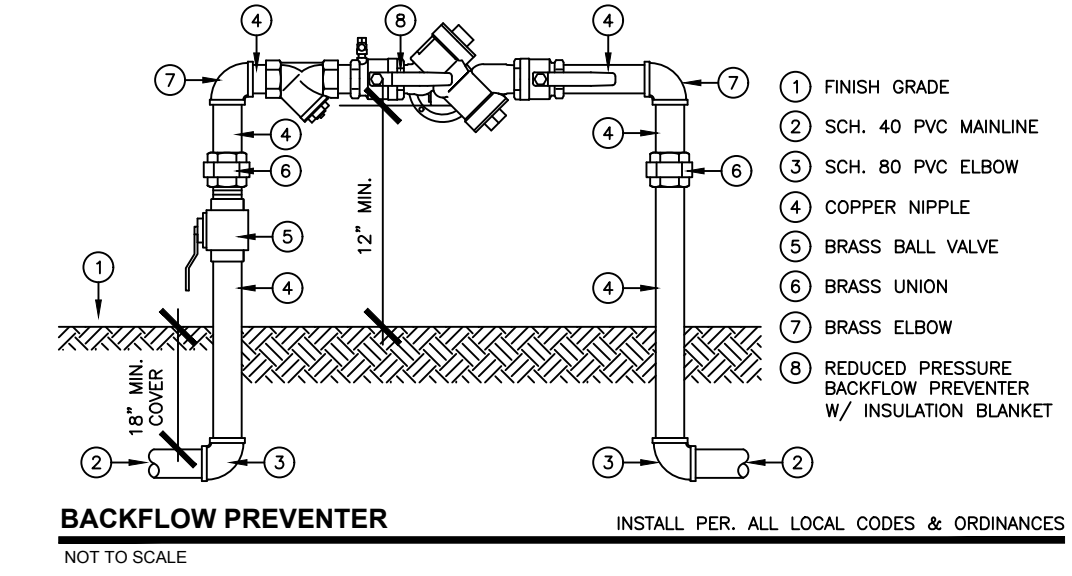
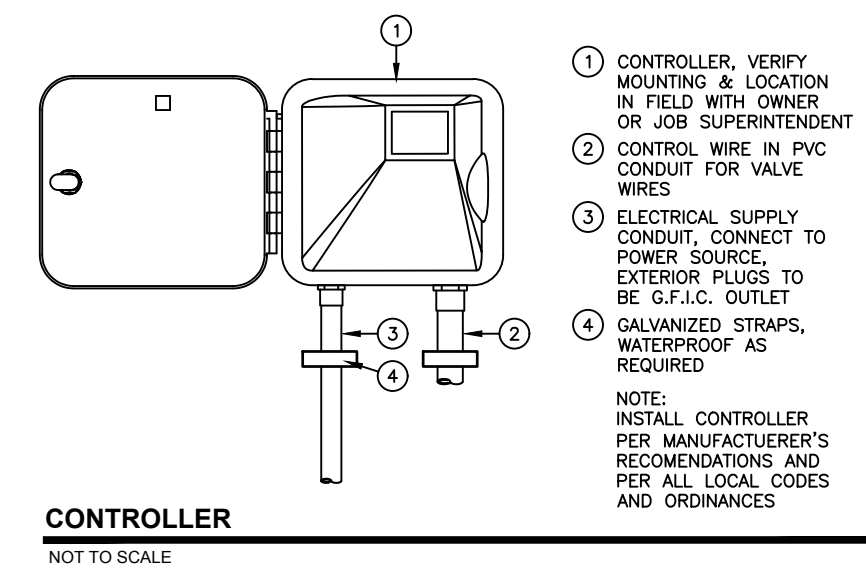
MAWA (ANNUAL GALLONS ALLOWED) (GALLONS PER YEAR)
 $\text{MAWA} = \text{ETo} \times 0.62 \times ((\text{ETAF} \times \text{LA}) + ((1-\text{ETAF}) \times \text{SLA}))$
 ETo: REFERENCE EVAPOTRANSPIRATION (45.4 INCHES PER YEAR IN LOS ALTOS)
 0.62: CONVERSION FACTOR (INCHES PER SQUARE FOOT TO GALLONS PER SQUARE FOOT)
 ETAF: PLANT FACTOR (IRRIGATION EFFICIENCY)
 LA: TOTAL LANDSCAPE AREA
 SLA: SPECIAL LANDSCAPE AREA (SQUARE FEET)

IRRIGATION EFFICIENCY STATEMENT
 I HAVE COMPLIED WITH THE CRITERIA OF THE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE AND HAVE APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN"

John Dalrymple
 10-22-24
 JOHN DALRYMPLE LANDSCAPE ARCHITECTURE - RLA 5632

ETAF CALCULATIONS - ETAF FOR REGULAR LANDSCAPE AREAS MUST BE 0.55 OR BELOW FOR RESIDENTIAL AREAS

REGULAR LANDSCAPE AREAS	
TOTAL ETAF X AREA	917
TOTAL AREA	2,053
AVERAGE ETAF	45



DATE
10-22-24

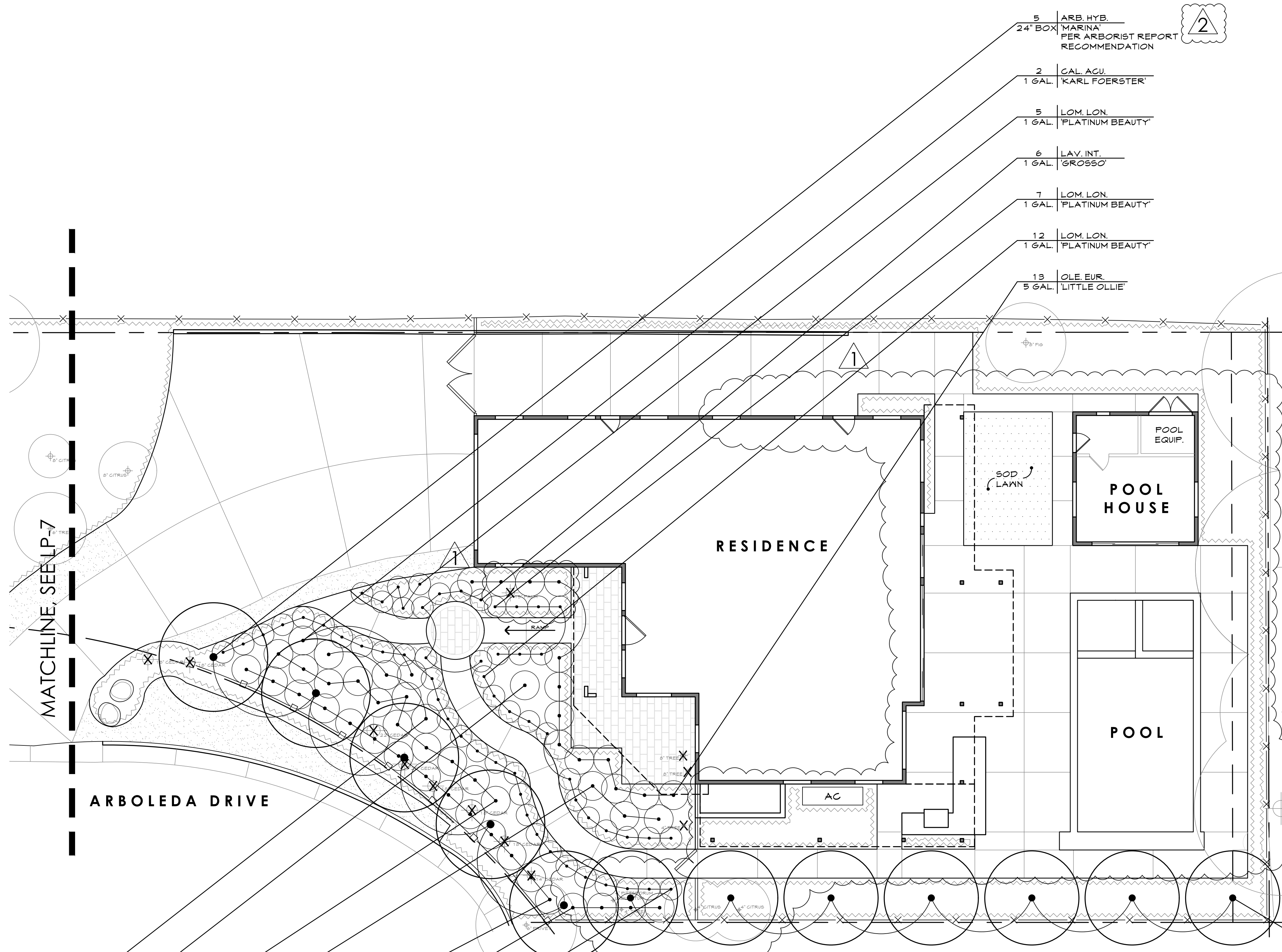
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PLANT LEGEND

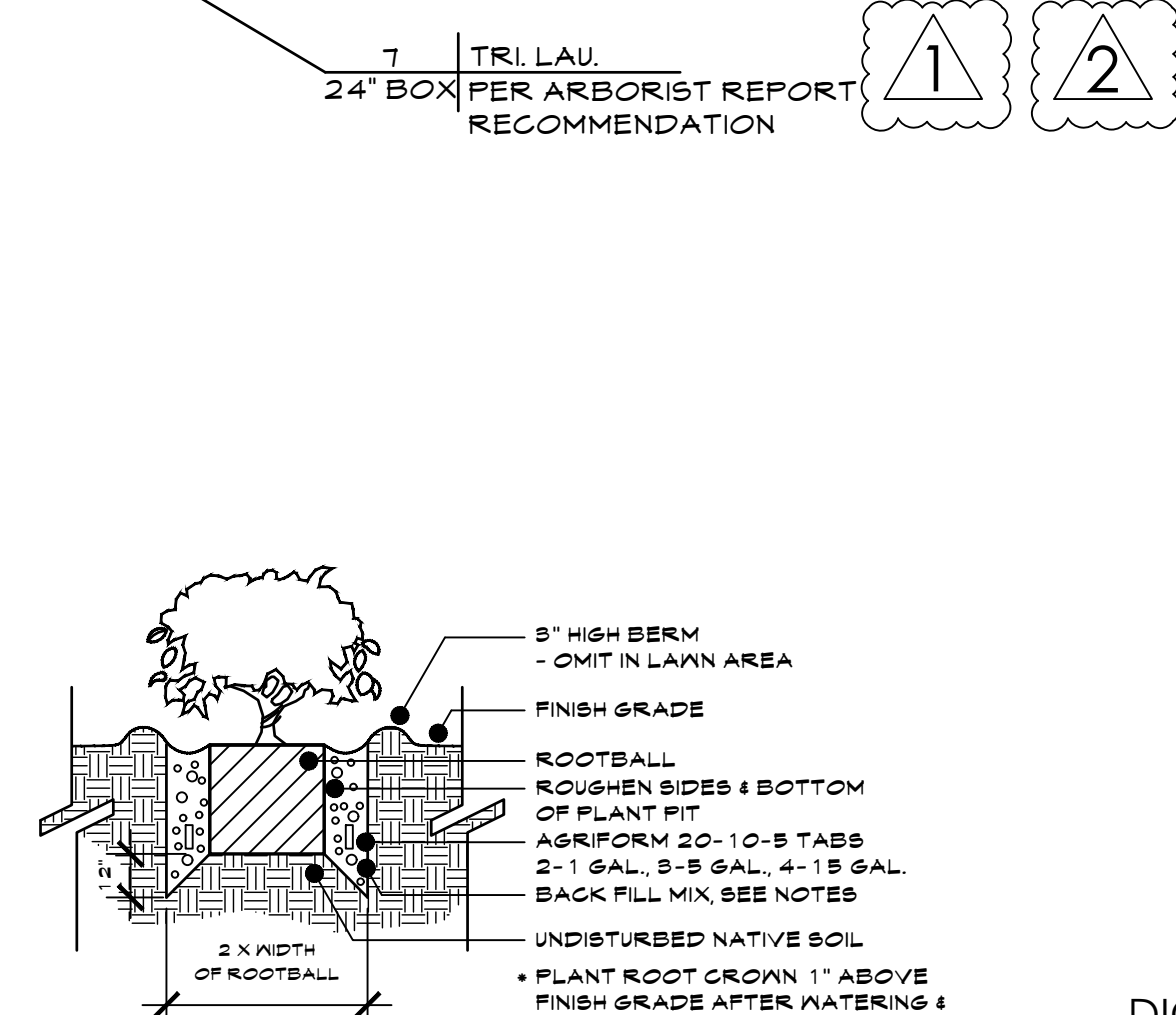
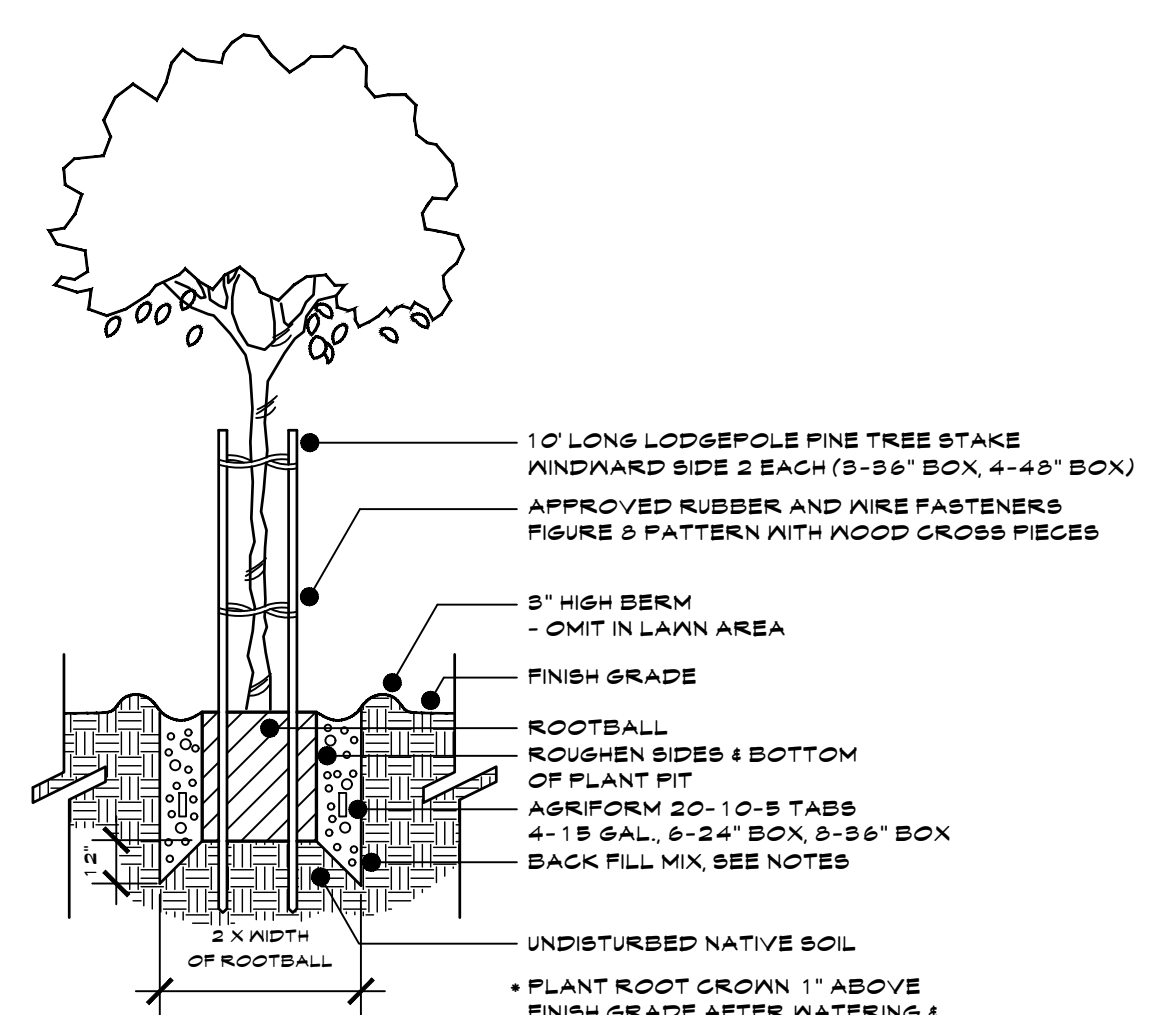
TREES					
SYMBOL	SIZE	BOTANICAL NAME	COMMON NAME	WATER USE	
(Symbol)	24" BOX	ARB. HYB. MARINA	MARINA STRAWBERRY	LOW	
(Symbol)	24" BOX	TR. LAU.	TRISTANIOPSIS LAURINA	LOW	
SHRUBS					
SYMBOL	SIZE	BOTANICAL NAME	COMMON NAME	WATER USE	
(Symbol)	1 GAL	CAL. ACU.	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	LOW
(Symbol)	1 GAL	LAV. INT.	LAVANDULA INTERMEDIA 'GROSSO'	LAVENDER	LOW
(Symbol)	1 GAL	LOM. LON.	LOMANDRA LONGIFOLIA 'PLATINUM BEAUTY'	DWARF MAT RUSH	LOW
(Symbol)	5 GAL	LOR. CHI.	LOROPETALUM CHINENSE 'RAZZLEBERRY'	CHINESE FRINGE FLOWER	LOW
(Symbol)	5 GAL	OLE. EUR.	OLEA EUROPAEA 'LITTLE OLLIE'	DWARF OLIVE	LOW
(Symbol)	15 GAL	PRU. CAR.	PRUNUS CAROLINIANA 'COMPACTA'	CAROLINA CHERRY LAUREL	LOW
(Symbol)	1 GAL	SAL. LEU.	SALVIA LEUCANTHA	MEXICAN BUSH SAGE	LOW
GROUND COVER					
SYMBOL	SIZE	BOTANICAL NAME	COMMON NAME	WATER USE	
(Symbol)	SOD	LAWN - DELTA BLUE GRASS	BOLERO PLUS OR EQUAL	HIGH	

NOTES:
 -PLANTS TO BE GROUPED IN HYDROZONES ACCORDING TO WATER USES.
 -ALL WATER USE INFORMATION WAS TAKEN FROM THE 2014 EDITION OF WUCOLS III.
 -100% OF PROPOSED PLANTS ARE LOW WATER USE (75% REQUIRED)

PLANTING NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES & STRUCTURES. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE OF SAID UTILITIES.
- DO NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGNED WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS, ARE DISCREPANCIES AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING THE DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUBCONTRACTORS AS REQUIRED TO ACCOMPLISH THE PLANTING OPERATION.
- SEE DETAILS FOR STAKING METHOD, PLANT PIT DIMENSIONS AND BACKFILL REQUIREMENTS.
- ALL PLANT PITS SHALL BE FREE FROM ROCKS AND DEBRIS GREATER THAN 2" IN DIAMETER.
- PLANT MATERIAL LOCATIONS ARE DIAGRAMMATIC AND SUBJECT TO CHANGE IN THE FIELD AS DIRECTED BY THE LANDSCAPE ARCHITECT. LOCATE PLANT MATERIALS TO SCREEN UTILITIES, IRRIGATION DEVICES, ETC. AS MUCH AS POSSIBLE YET ALLOW ACCESS TO THEM.
- THE OWNER RESERVES THE RIGHT TO MAKE SUBSTITUTIONS, ADDITIONS AND DELETIONS IN THE PLANTING SCHEME AS NECESSARY WHILE WORK IS IN PROGRESS. SUCH CASES ARE TO BE ACCOMPANIED BY EQUITABLE ADJUSTMENTS IN THE CONTRACT PRICE IF WHEN NECESSARY.
- ALL PLANT MATERIAL SHALL BE APPROVED FOR QUALITY BY THE OWNER AND LANDSCAPE CONTRACTOR PRIOR TO INSTALLATION.
- FINAL LOCATION OF ALL PLANT MATERIAL SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER AND/OR LANDSCAPE CONTRACTOR. LOCATION SHALL BE APPROVED PRIOR TO EXCAVATION.
- LANDSCAPE CONTRACTOR TO RECEIVE SITE GRADED WITHIN .10 FOOT OF FINISHED GRADE. CONTRACTOR SHALL ACCEPT GRADE PRIOR TO COMMENCING WORK. STARTING WORK IMPLIES AN ACCEPTANCE OF GRADE. FINAL GRADES SHALL BE ADJUSTED AS DIRECTED BY OWNER. ALL GRADING SHALL BE COMPLETE PRIOR TO COMMENCEMENT OF PLANTING OPERATIONS.
- CONTRACTOR SHALL NOTIFY OWNER SEVEN (7) DAYS PRIOR TO COMMENCEMENT OF WORK TO COORDINATE PROJECT SCHEDULES AS REQUIRED.
- AMEND THE TOP 6"-8" OF TOPSOIL WITH A 3" LAYER NITROGEN AND IRON STABILIZED REDWOOD SOIL CONDITIONER SUCH AS GROWER'S WONDER GROW OR EQUAL IN ALL AREAS. THE PLANT BACK FILL MIX FOR ALL TREES, SHRUBS AND 1 GALLON GROUND COVER PLANTS SHALL CONSIST OF 1 PART REDWOOD SOIL CONDITIONER AND 1 PART NATIVE SOIL. PLANT BACKFILL MIX AND THE TOPSOIL AMENDMENT SHALL CONTAIN PER CUBIC YARD:
 2.5 LBS. MIXTURE OF COMMERCIAL FERTILIZER (20-10-10 OR EQUAL)
 1.0 LBS. UREA FORMALDEHYDE (30-0-0)
 1.0 LBS. IRON SULFATE
- ALL WORK SHALL BE INSTALLED IN CONFORMANCE WITH LOCAL CODES AND ORDINANCES. THE LANDSCAPE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS. PROTECTING EXISTING TREES AS NECESSARY. FENCE AS NECESSARY. LOCATE ALL UTILITIES BEFORE PROCEEDING WITH THE WORK. COORDINATE ALL DIGGING AND TRENCHING PRIOR TO BEGINNING WORK WITH PROJECT SUPERVISOR FIRST.
- APPLY 'RONSTAR' OR 'ELANCO XL' PRE-EMERGENT HERBICIDE TO ALL PLANTED AREAS. APPLY HERBICIDE IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECS. THE LANDSCAPE SHALL BE WEED FREE AT THE TIME OF THE FINAL WALK-THROUGH.
- INSTALL 3" LAYER OF MINI FIR BARK MULCH, OR APPROVED EQUAL, IN ALL NEWLY PLANTED AREAS.

- 3 | SAL. LEU. | 1 GAL.
- 1 | SAL. LEU. | 1 GAL.
- 12 | LOR. CHI. | 5 GAL. 'RAZZLEBERRY'
- 3 | SAL. LEU. | 1 GAL.
- 14 | PRU. CAR. | 15 GAL. 'COMPACTA'
- 4 | LOR. CHI. | 5 GAL. 'RAZZLEBERRY'
- 27 | LOM. LON. | 1 GAL. 'PLATINUM BEAUTY'



DIG ALERT

-UNDERGROUND SERVICE ALERT: BEFORE EXCAVATING CALL U.S.A. UNDERGROUND SERVICE ALERT. CALL TOLL FREE: 800-227-2600. 48 HOURS BEFORE ALL PLANNED WORK OPERATIONS.

JOHN DALRYMPLE
 LANDSCAPE ARCHITECTURE
 603.948.8077
 john@dalrymple.com
 800.227.2600
 380 Arboleda Drive
 Los Altos, CA 94024
 www.dalrymple.com

MODERMAN
RESIDENCE
 380 ARBOLEDA DRIVE
 LOS ALTOS, CA 94024

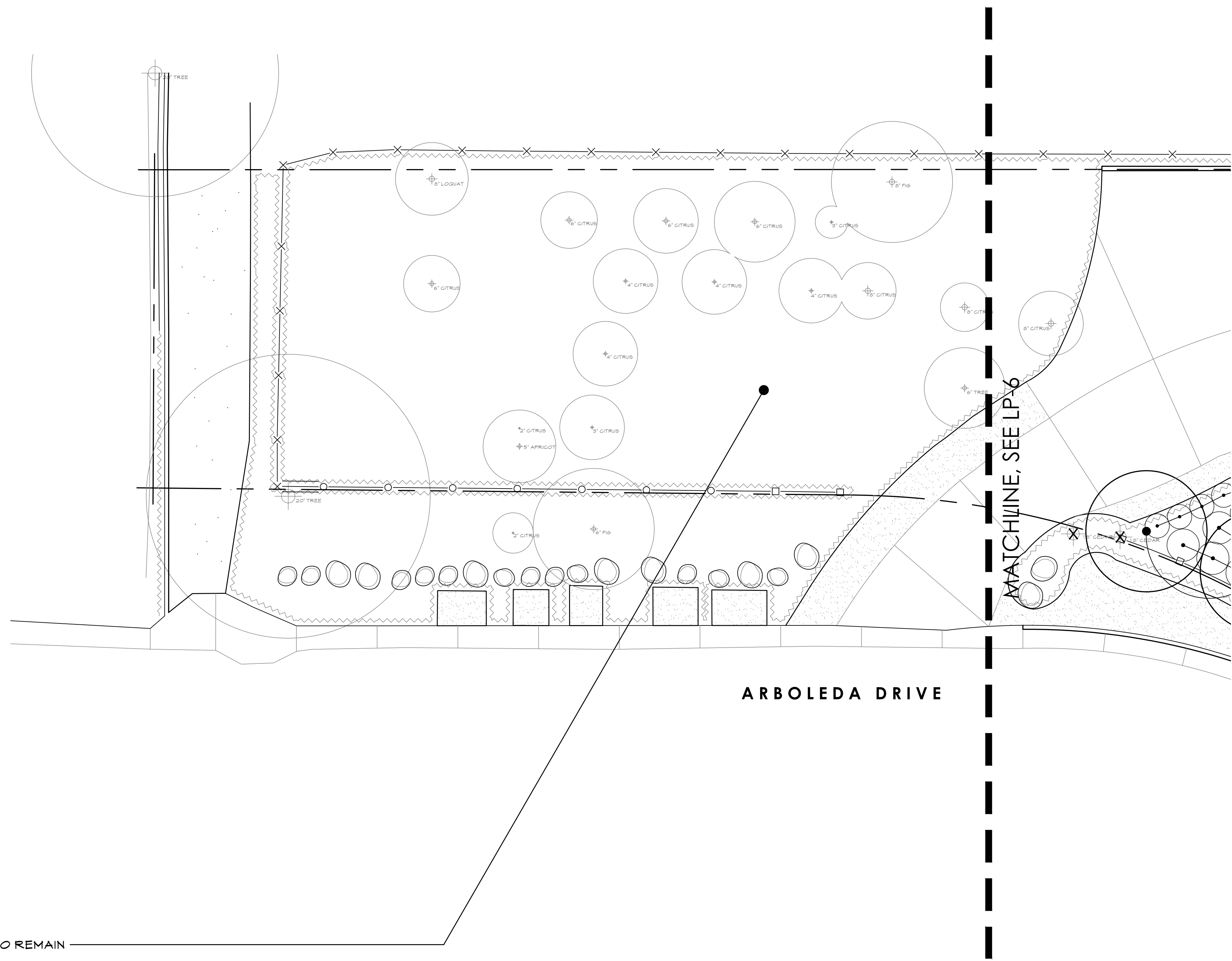
PLANTING PLAN

LICENSED LANDSCAPE ARCHITECT
 JOHN W. DALRYMPLE
 No. 5632
 Signature
 12-31-24
 Renewal Date
 10-22-24
 Date
 STATE OF CALIF. ORNAMENT

DATE
 10-22-24
 REVISIONS
 12-20-24
 PLAN CHECK COMMENTS
 1-24-25
 PLAN CHECK COMMENTS

SCALE
 1/8" = 1'-0"
 NORTH
 SHEET

LP - 6



EX. UNPLANTED ORCHARD TO REMAIN

JOHN DALRYMPLE
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 603.849.8077
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 10000 Arroyo Vista Drive, Suite 110
 San Diego, CA 92126
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MODDERMAN
RESIDENCE
 380 ARBOLEDA DRIVE
 LOS ALTOS, CA 94024

PLANTING PLAN



DATE
 10-22-24
REVISIONS
 12-20-24
 ▲ PLAN CHECK COMMENTS
 1-24-25
 ▲ PLAN CHECK COMMENTS

SCALE
 1/8" = 1'-0"

NORTH

SHEET

LP - 7

DIG ALERT
 -UNDERGROUND SERVICE ALERT: BEFORE EXCAVATING CALL
 U.S.A. UNDERGROUND SERVICE ALERT. CALL TOLL FREE:
 800-227-2600, 48 HOURS BEFORE ALL PLANNED WORK
 OPERATIONS.



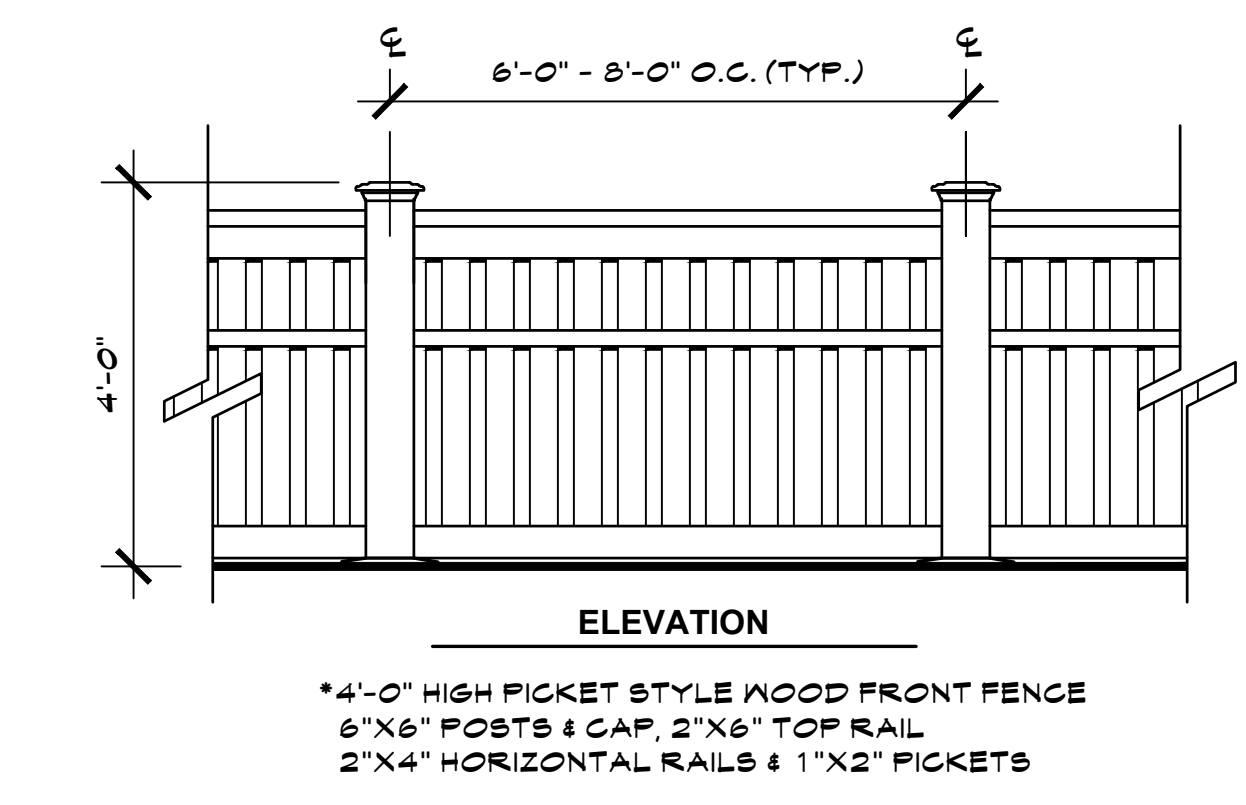
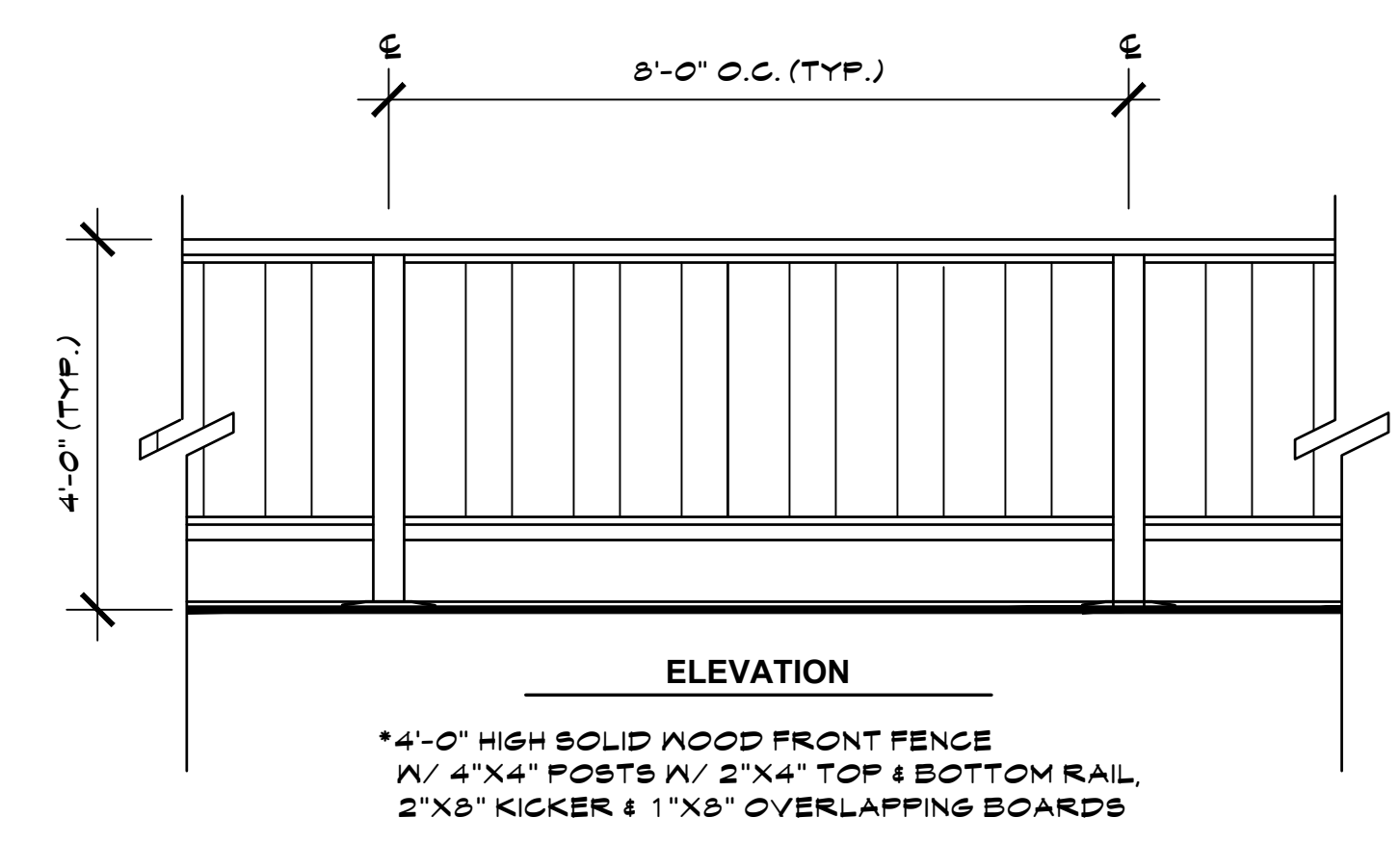
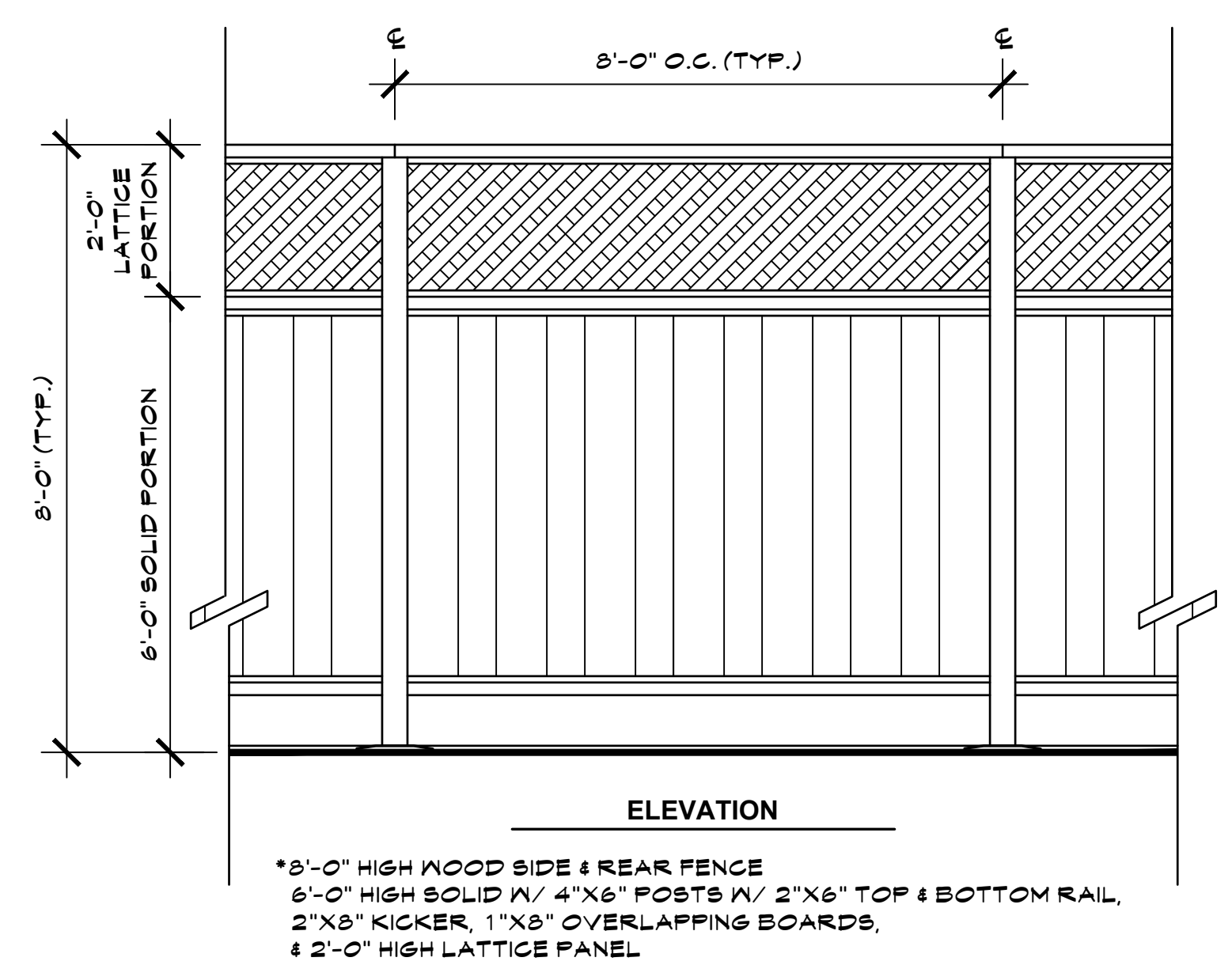
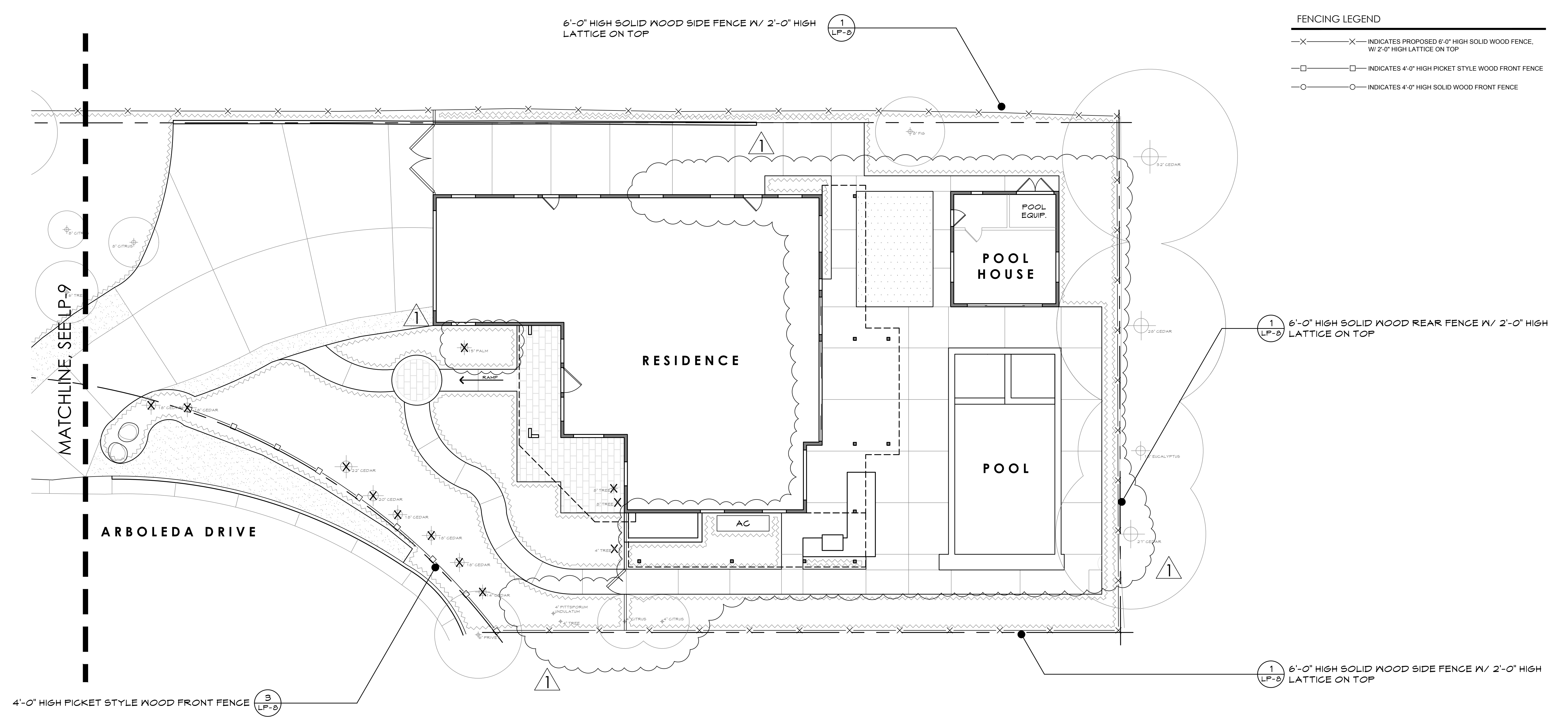
FENCE PLAN

LICENSED LANDSCAPE ARCHITECT
JOHN W. DALRYMPLE
No. 5632
Signature
12-31-24
Renewal Date
10-22-24
Date
STATE OF CALIFORNIA

DATE
10-22-24
REVISIONS
12-20-24
PLAN CHECK COMMENTS
1-24-25
PLAN CHECK COMMENTS

SCALE
1/8" = 1'-0"
NORTH

SHEET
LP - 8



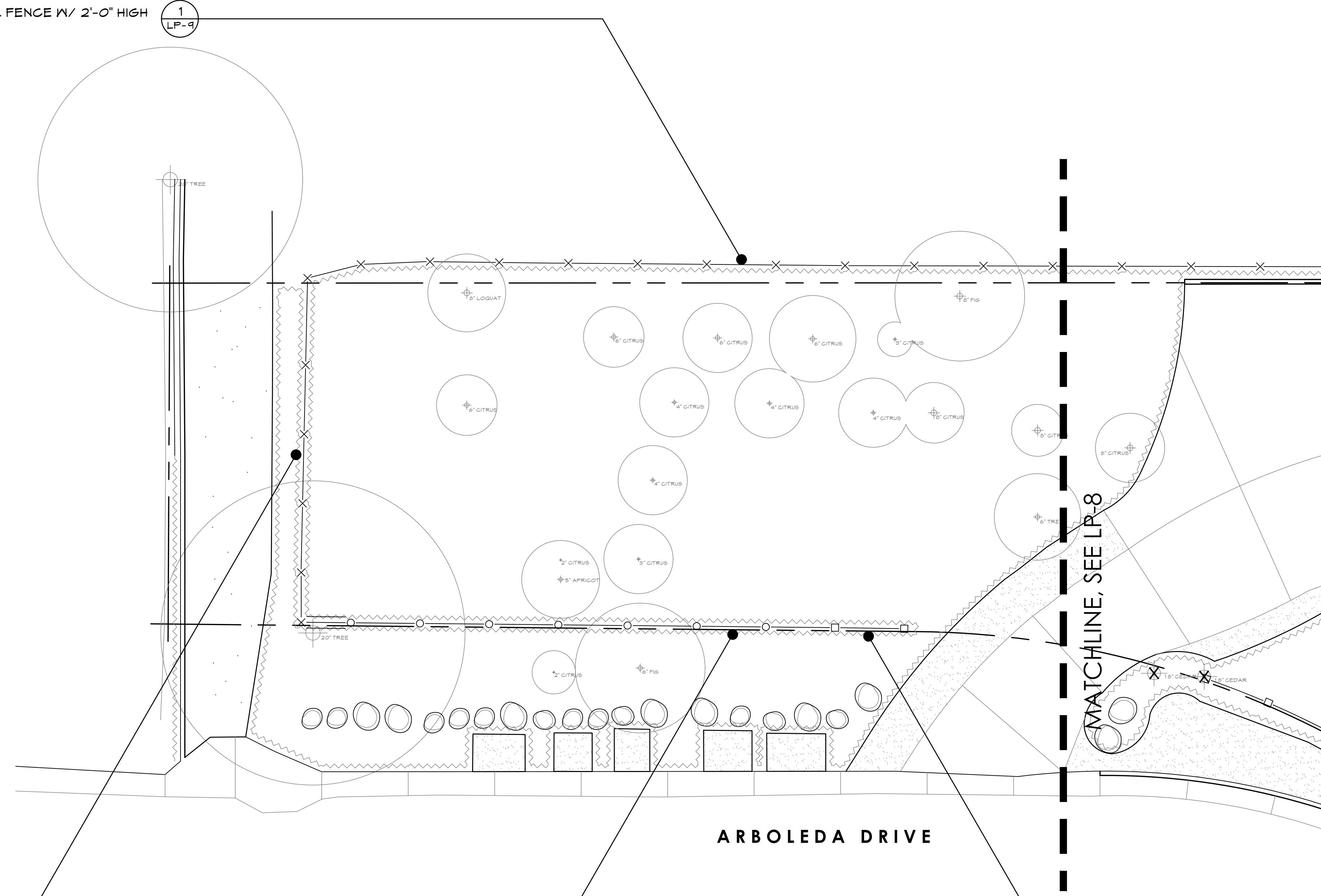
1 6'-0" HIGH SOLID WOOD FENCE W/ 2'-0" HIGH LATTICE ON TOP
SCALE: 3/8" = 1'-0"

2 4'-0" HIGH SOLID WOOD FRONT FENCE
SCALE: 3/8" = 1'-0"

3 4'-0" HIGH PICKET STYLE WOOD FRONT FENCE
SCALE: 3/8" = 1'-0"

FENCING LEGEND
 -X-X- INDICATES PROPOSED 6'-0" HIGH SOLID WOOD FENCE, W/ 2'-0" HIGH LATTICE ON TOP
 -□-□- INDICATES 4'-0" HIGH PICKET STYLE WOOD FRONT FENCE
 -○-○- INDICATES 4'-0" HIGH SOLID WOOD FRONT FENCE

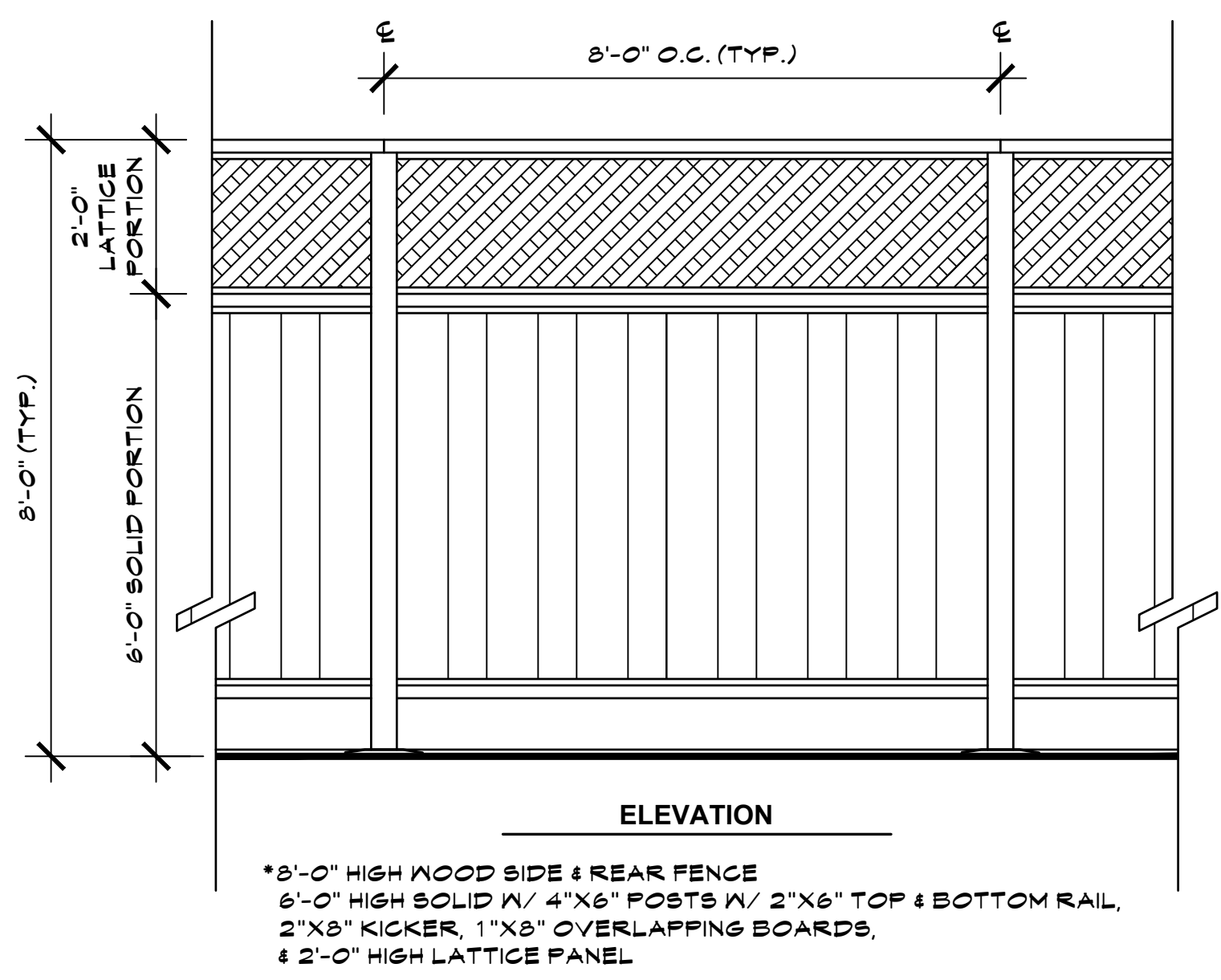
6'-0" HIGH SOLID WOOD REAR FENCE W/ 2'-0" HIGH LATTICE ON TOP



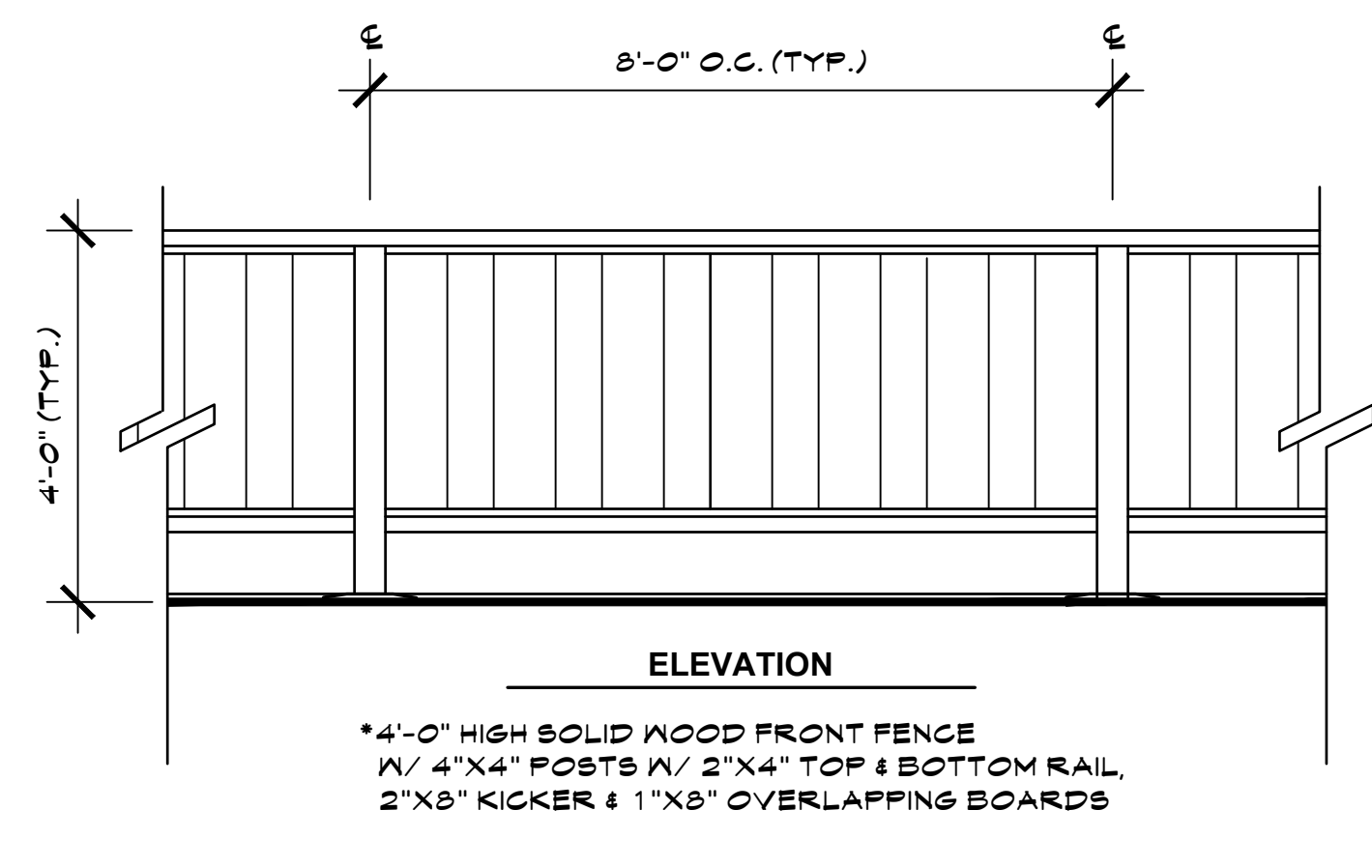
6'-0" HIGH SOLID WOOD SIDE FENCE W/ 2'-0" HIGH LATTICE ON TOP

4'-0" HIGH SOLID WOOD FRONT FENCE

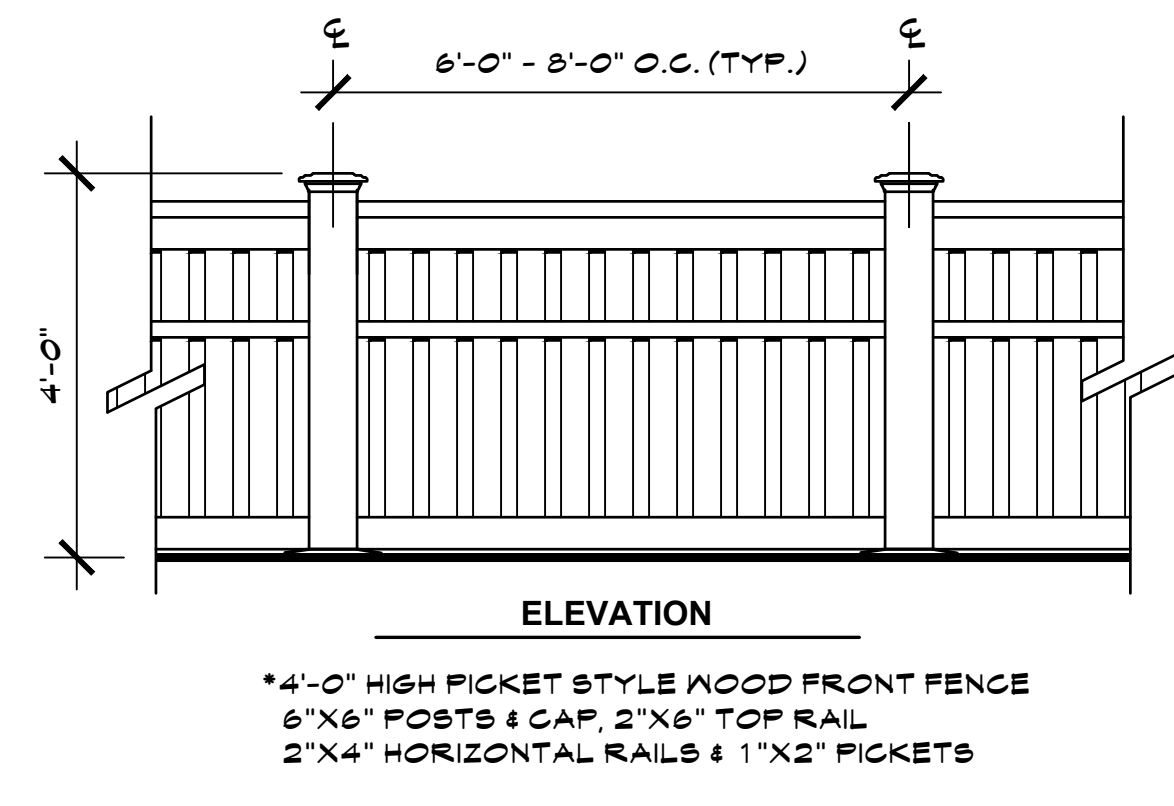
8'-0" SECTION OF 4'-0" HIGH PICKET STYLE WOOD FRONT FENCE



*6'-0" HIGH WOOD SIDE & REAR FENCE
6'-0" HIGH SOLID W/ 4"X6" POSTS W/ 2"X6" TOP & BOTTOM RAIL,
2"X8" KICKER, 1"X8" OVERLAPPING BOARDS,
& 2'-0" HIGH LATTICE PANEL



*4'-0" HIGH SOLID WOOD FRONT FENCE
W/ 4"X4" POSTS W/ 2"X4" TOP & BOTTOM RAIL,
2"X8" KICKER & 1"X8" OVERLAPPING BOARDS



*4'-0" HIGH PICKET STYLE WOOD FRONT FENCE
6"X6" POSTS & CAP, 2"X6" TOP RAIL
2"X4" HORIZONTAL RAILS & 1"X2" PICKETS

1 6'-0" HIGH SOLID WOOD FENCE W/ 2'-0" HIGH LATTICE ON TOP
SCALE: 1/2" = 1'-0"

2 4'-0" HIGH SOLID WOOD FRONT FENCE
SCALE: 1/2" = 1'-0"

3 4'-0" HIGH PICKET STYLE WOOD FRONT FENCE
SCALE: 1/2" = 1'-0"

Legend

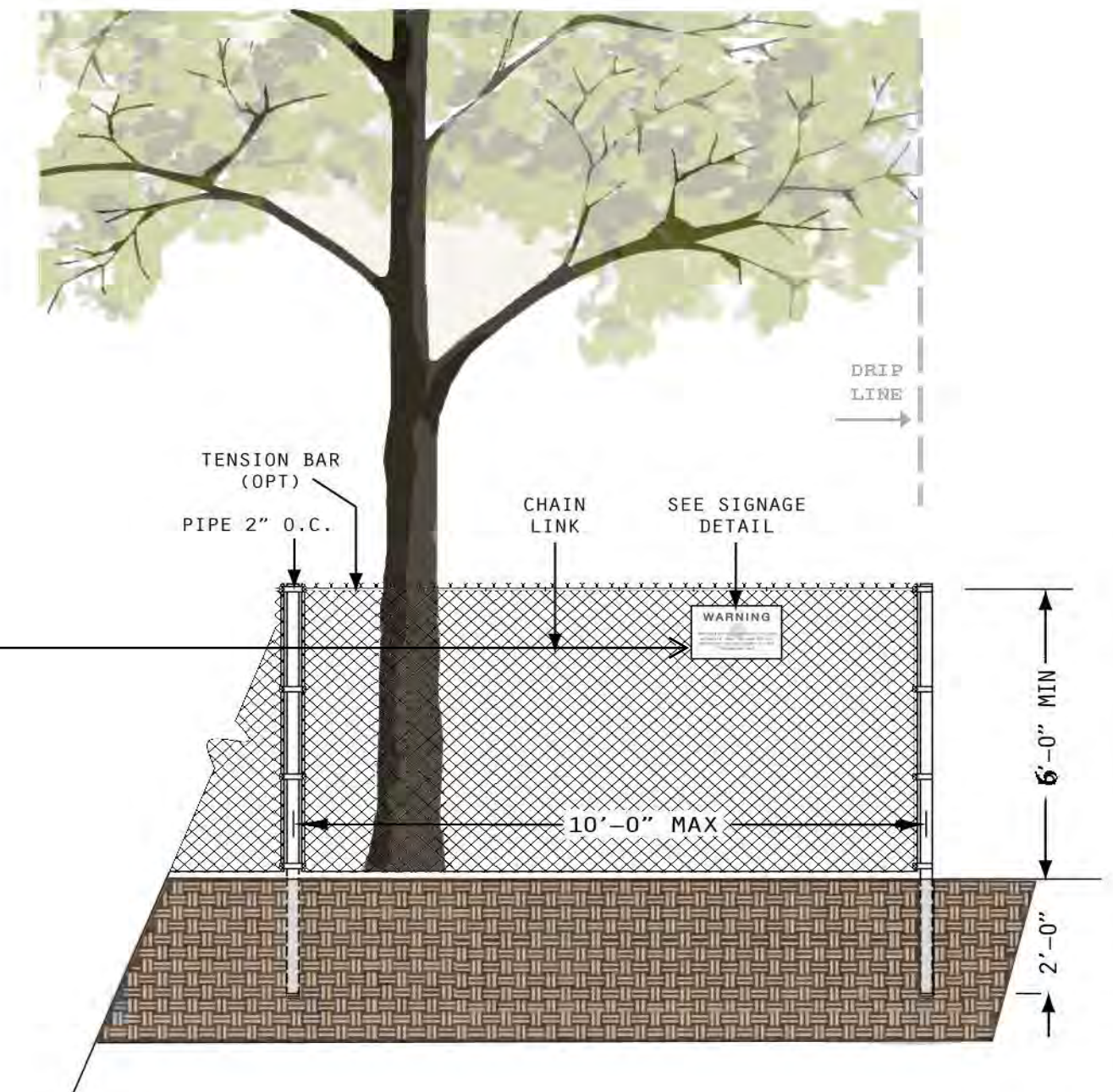
- Protected Tree Location ●
- Non-Protected Tree Location ●
- Tree Protection Fencing - - -
- Tree Canopy Extents ☁
- Hand Trenching & Root Pruning >>>>>>
- Remove Tree X

Warning
Tree Protection Zone
Keep Out

NOTICE: PROTECTIVE FENCING IS REQUIRED ON THIS JOB SITE. NO STORAGE OF MATERIALS OF ANY TYPE IS ALLOWED WITHIN THE FENCED AREA.

This sign must be prominently displayed. Fencing may not be moved or removed without permission of the Project Arborist. Failure to comply with all precautions may result in a STOP WORK order being issued by the regulating agency.

No Entry without Project Arborist Authorization
Kurt Fouts - Arborist Consultant - 831 - 359 - 3607



Tree Protection Specifications & Recommended Sequence

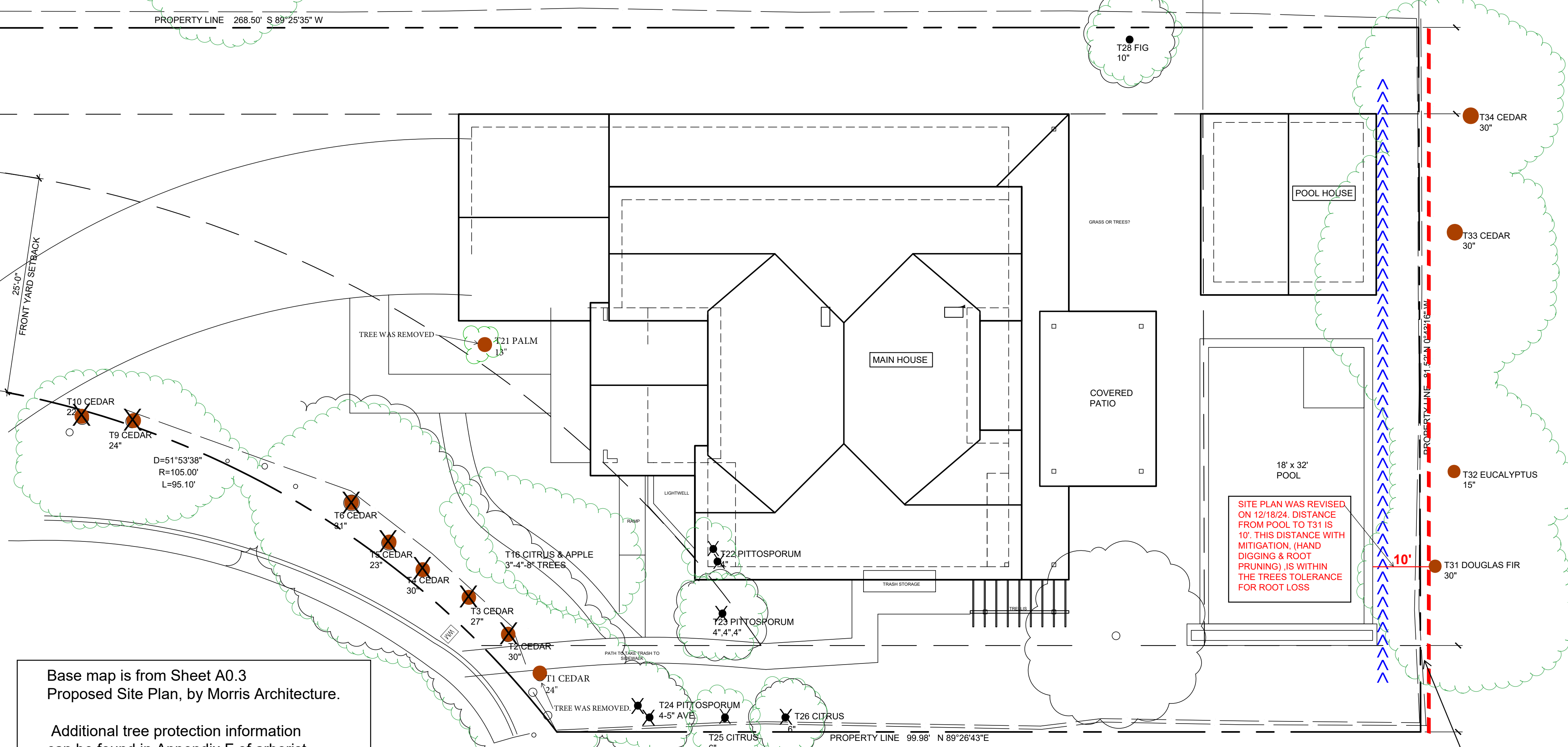
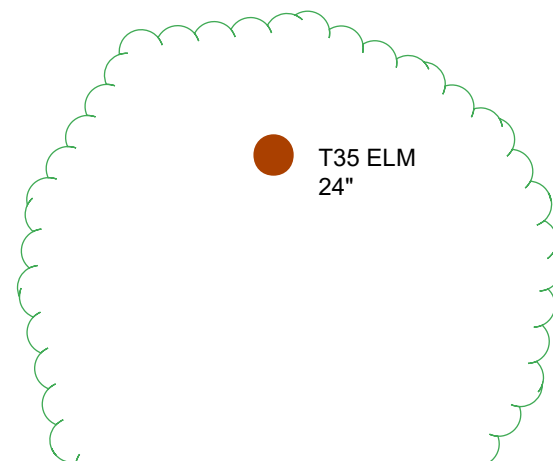
Pre-Construction Phase:

- Tree Removal** - Remove all trees marked for removal and approved for removal by approval authority. Stump grind trees. Removals shall be performed using industry standards of workmanship as established in the Best Management Practices of the International Society of Arboriculture (ISA), and the American National Standards Institute, Safety Requirements in Arboriculture Operations ANSI Z133-2017. Contractor licensing and insurance coverage shall be verified.
- Tree Canopy Clearance Pruning** - Crown reduction and crown raising pruning of tree T34 deodar cedar, to achieve clearance from the pool house, if necessary, shall be performed using industry standards of workmanship as established in the Best Management Practices of the International Society of Arboriculture (ISA), and the American National Standards Institute, Safety Requirements in Arboriculture Operations ANSI Z133-2017. Contractor licensing and insurance coverage shall be verified.
- Tree Protection Fencing** - Install Tree Protection Fencing, in location indicated on Tree Protection Plan Sheet T1, if back yard fencing is removed or replaced.

Construction Phase:

Work performed that impacts trees as described below shall be supervised by the Project Arborist. The Project Arborist shall be contacted a minimum of 72 hours prior to scheduled work. Work undertaken shall be documented in the form of a follow-up letter and submitted to the City Arborist.

- Utilities / Gas, Sewer, Water or Electrical** - Any excavation for a utility line that is within the canopy drip-line of a protected tree, shall be by hand methods. Any roots found less than 2" in diameter, shall be cleanly pruned with loppers, hand saw or Sawzall. If roots are encountered 2" in diameter or greater, the root shall be retained with the root "bridging" the trench, and the pipe shall be installed under or over the root.
- Pool House Foundation** - Excavation for pool house foundation adjacent to tree T34, deodar cedar, shall be by hand methods. See Tree Protection Plan, sheet T1 for location. Any roots found less than 2" in diameter, shall be cleanly pruned with loppers, hand saw or Sawzall. If roots are encountered 2" in diameter or greater, they shall be pruned under supervision of the Project Arborist. Roots shall be pruned by methods indicated on Tree Protection Plan sheet T1, **Pre-Construction Root Pruning**.
- Pool** - Excavation for pool adjacent to trees T31 and T33 cedar, T31 Douglas fir and T32 eucalyptus shall be by hand methods. Use of a ditch witch trencher is permissible if roots are recut after trenching. See Tree Protection Plan, sheet T1 for location. Any roots found less than 2" in diameter, shall be cleanly pruned with loppers, hand saw or Sawzall. If roots are encountered 2" in diameter or greater, they shall be pruned under supervision of the Project Arborist. Roots shall be pruned by methods indicated on Tree Protection Plan sheet T1, **Pre-Construction Root Pruning**.



PRE-CONSTRUCTION ROOT PRUNING

Excavation shall only occur within the TPZ (Tree Protection Zone), of retained trees, when designated by the Project Arborist. Excavations within (or outside of the TPZ, as designated), the Tree Protection Zone, will be performed by hand in order to preserve roots. Pruning of roots 2" in diameter or greater shall be conducted under the supervision of the Project Arborist. These activities will be documented, and a monitoring report will be provided to the City Arborist.

Trenches for root pruning will be hand dug according to locations shown on Tree Protection Plan sheet:

- Trenches will be dug one foot behind staking on tree side of stakes.
- The depth of the trench will equal the depth required for installation of the adjacent element.
- Cleanly prune any roots encountered smaller than 2" in diameter. Use lopper, hand saw, or Sawzall. A sharp spade may be used for palm roots.
- If piping is to be installed, roots 2" in diameter or greater should be retained, if possible, by installing the piping under or over the root.
- The pruned roots should be backfilled before the end of the day. If this is not feasible, the roots shall be covered with burlap layers or carpeting and kept moist until the trench is backfilled.
- If roots are encountered 2" in diameter or greater, the Project Arborist shall be notified, and a determination shall be made to prune the root or retain it depending on site specific conditions.

Base map is from Sheet A0.3 Proposed Site Plan, by Morris Architecture.

Additional tree protection information can be found in Appendix F of arborist report dated 8/14/2024.

SITE PLAN WAS REVISED ON 12/18/24. DISTANCE FROM POOL TO T31 IS 10'. THIS DISTANCE WITH MITIGATION (HAND DIGGING & ROOT PRUNING) IS WITHIN THE TREES TOLERANCE FOR ROOT LOSS

NOTE: THE EXISTING BACKYARD FENCE WILL SERVE AS THE TREE PROTECTION FENCING. IF THE BACKYARD FENCING IS REMOVED OR REPLACED TREE PROTECTION FENCING AS SHOWN ON THIS PLAN SHALL BE INSTALLED IN ITS PLACE UNTIL COMPLETION OF PROJECT.

SCALE 1/8" = 1' 0"

380 Arboleda Drive, Los Altos
Tree Assessment Chart - Appendix A

Suitability for Preservation Ratings:
Good: Trees in good health and structural condition with potential for longevity on the site.
Fair: Trees in fair health and/or with structural defects that may be reduced with treatment procedures.
Poor: Trees in poor health and/or with poor structure that cannot be effectively abated with treatment.

Retention or Removal Code:
RT: Retain Tree
R: Remove Due to Construction Impacts
LM: Impacts Can Be Mitigated With Pre-Construction Treatments
R.C.: Remove Due to Condition

Protected Tree City of Los Altos: Any tree 12 inches or greater in diameter measured at 4 feet above grade.

Tree #	Species	Trunk Diameter @ 48 inches a.g.	Protected Tree	Crown Height & Spread	Health Rating	Structural Rating	Suitability for Preservation (Based Upon Condition)	Tree Protection Zone (in feet)	Construction Impacts (Rating & Description)	Tree Disposition Code	Comments
T1	deodar cedar (Cedrus deodara)	24"	Yes	50'X10'	Fair	Poor	Poor	20'	Low	R.C.	Planted at top edge of bank. Self corrected trunk lean. Topped at 40'-50' above grade, causing many closely spaced stems to regrow. Regrown stems are weakly attached.
T2	deodar cedar	30"	Yes	60'X10'	Fair	Poor	Poor	20'	Low	R.C.	Planted at top edge of bank. Self corrected trunk lean. Topped at 40'-50' above grade, causing many closely spaced stems to regrow. Regrown stems are weakly attached.



380 Arboleda Drive, Los Altos
Tree Assessment Chart - Appendix A

Tree #	Species	Trunk Diameter @ 48 inches a.g.	Protected Tree	Crown Height & Spread	Health Rating	Structural Rating	Suitability for Preservation (Based Upon Condition)	Tree Protection Zone (in feet)	Construction Impacts (Rating & Description)	Tree Disposition Code	Comments
T3	deodar cedar	27"	Yes	60'X10'	Fair	Poor	Poor	20'	Low	R.C.	Planted at top edge of bank. Self corrected trunk lean. Topped at 40'-50' above grade, causing many closely spaced stems to regrow. Regrown stems are weakly attached.
T4	deodar cedar	30"	Yes	60'X10'	Fair	Poor	Poor	20'	Low	R.C.	Planted at top edge of bank. Self corrected trunk lean. Topped at 40'-50' above grade, causing many closely spaced stems to regrow. Regrown stems are weakly attached.
T5	deodar cedar	23"	Yes	60'X10'	Fair	Poor	Poor	20'	Low	R.C.	Planted at top edge of bank. Self corrected trunk lean. Topped at 40'-50' above grade, causing many closely spaced stems to regrow. Regrown stems are weakly attached.
T6	deodar cedar	31"	Yes	50'X10'	Fair	Poor	Poor	20'	Low	R.C.	Planted at top edge of bank. Self corrected trunk lean. Topped at 40'-50' above grade, causing many closely spaced stems to regrow. Regrown stems are weakly attached.
T7	deodar cedar	6"	No	35'X5'	Fair-Poor	Poor	Poor	10'	Low	R.C.	Minimal branching structure and live canopy.
T8	deodar cedar	6"	No	15'X1'	Poor	Poor	Poor	N/A	Low	R.C.	Dead
T9	deodar cedar	24"	Yes	45'X5'	Fair	Fair	Fair	20'	Low	R.C.	



380 Arboleda Drive, Los Altos Tree
Assessment Chart - Appendix A

Tree #	Species	Trunk Diameter @ 48 inches a.g.	Protected Tree	Crown Height & Spread	Health Rating	Structural Rating	Suitability for Preservation (Based Upon Condition)	Tree Protection Zone (in feet)	Construction Impacts (Rating & Description)	Tree Disposition Code	Comments
T10	deodar cedar	22"	Yes	45'X10'	Fair	Poor	Poor	20'	Low	R.C.	
T11	deodar cedar	8"	No	40'X5'	Fair-Poor	Poor	Poor	10'	Low	R.C.	Minimal branching structure and live canopy.
T11A	fig (Ficus carica)	5"	No	15'X15'	Fair	Fair	Fair	10'	Low	R.T.	
T12	deodar cedar	24"	Yes	60'X25'	Good	Good	Good	20'	Low	R.T.	
T13	citrus (Citrus spp.)	4-6" ave.	No	10'X10' ave.	Good-Poor	Good-Poor	Good-Poor	10'	Low	R.T.	Grove of 14 mature citrus. Most in fair condition. A few in poor condition.
T14	loquat (Eriobotrya japonica)	5", 4", 4"	No	10'X10'	Poor	Poor	Poor	10'	Low	R.T.	Minimal live canopy.
T15	fig	12"	Yes	10'X10'	Fair	Fair	Fair	10'	Low	R.T.	
T16	citrus (Citrus spp.) & apple (Malus spp.)	3-4"	No	10'X5' ave.	Poor	Poor	Poor	10'	Low	R.T.	Group of 8 citrus and 2 apple trees in poor condition.



380 Arboleda Drive, Los Altos
Tree Assessment Chart - Appendix A

Tree #	Species	Trunk Diameter @ 48 inches a.g.	Protected Tree	Crown Height & Spread	Health Rating	Structural Rating	Suitability for Preservation (Based Upon Condition)	Tree Protection Zone (in feet)	Construction Impacts (Rating & Description)	Retention or Removal Code	Comments
T17	queen palm (Syagrus romanzoffiana)	10"	No	20'X10'	Fair	Good	Fair	10'	High in porch footprint	R.I.	
T18	queen palm	10"	No	20'X10'	Fair	Good	Fair	10'	High in porch footprint	R.I.	
T19	queen palm	10"	No	25'X10'	Fair	Poor	Poor	10'	High in porch footprint	R.I.	Unstable. Root mat 18" above grade. Trunk is poorly attached to soil.
T20	queen palm	11"	No	25'X10'	Fair	Good	Fair	10'	High in porch footprint	R.I.	
T21	queen palm	13"	Yes	25'X10'	Fair	Fair	Fair	10'	Moderate (Root loss, excavation)	RT, LM	
T22	pittosporum (Pittosporum undulatum)	4"	No	15'X10'	Fair-Poor	Poor	Poor	10'	High (Root loss, excavation)	R.C., R.I.	
T23	pittosporum	4", 4", 4"	No	15'X15'	Fair-Poor	Poor	Poor	10'	Moderate (Root loss, excavation)	R.C.	



380 Arboleda Drive, Los Altos
Tree Assessment Chart - Appendix A

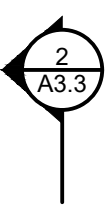
Tree #	Species	Trunk Diameter @ 48 inches a.g.	Protected Tree	Crown Height & Spread	Health Rating	Structural Rating	Suitability for Preservation (Based Upon Condition)	Tree Protection Zone (in feet)	Construction Impacts (Rating & Description)	Retention or Removal Code	Comments
T24	pittosporum	4-5" ave.	No	15'X5' ave.	Poor	Poor	Poor	10'	Low	R.C.	Row of 3 pittosporum. Minimal live canopy, trunk decay.
T25	citrus	6"	No	10'X10'	Poor	Poor	Poor	10'	Low	R.C.	Minimal live canopy.
T26	citrus	5"	No	10'X10'	Poor	Poor	Poor	10'	Low	R.C.	Minimal live canopy.
T27	citrus	3-6" ave.	No	10'X10' ave.	Good-Poor	Fair-Good	Fair	10'	High (within pool or pool house footprint)	R.I.	Group of 12 mature citrus in good to poor condition.
T28	fig	10"	No	10'X10'	Fair	Poor	Poor	10'	Moderate (Root loss, excavation)	R.C.	
T29	pittosporum	11.5"	No	20'X15'	Fair	Poor	Poor	10'	Moderate (Root loss, excavation)	R.C.	Bark separation in trunk.
T30	deodar cedar	6"	No	15'X10'	Poor	Poor	Poor	10'	High (within pool footprint)	R.I., R.C.	Fallen tree.



380 Arboleda Drive, Los Altos
Tree Assessment Chart - Appendix A

Tree #	Species	Trunk Diameter @ 4.5'	Protected Tree	Crown Height & Spread	Health Rating	Structural Rating	Suitability for Preservation (Based Upon Condition)	Tree Protection Zone (in feet)	Construction Impacts (Rating & Description)	Retention or Removal Code	Comments
Trees On Adjacent Properties											
T31	Douglas fir (Pseudotsuga menziesii)	30" (estimated)	Yes	80'X20'	Good	Good	Good	20'	Moderate (Root loss, excavation)	R.T., LM	<1' from property line.
T32	silver dollar gum (Eucalyptus palyanthermos)	15" (estimated)	Yes	35'X10'	Fair	Poor	Poor	10'	Moderate (Root loss, excavation)	R.T., LM	<4' from property line. Trunk damaged by fallen limb from tree T33.
T33	deodar cedar	30" (estimated)	Yes	80'X20'	Fair	Fair-Poor	Fair	20'	Moderate (Root loss, excavation)	R.T., LM	<3' from property line. Topped at 40' above grade. Self corrected trunk lean. Failed 8" diameter limb.
T34	deodar cedar	30" (estimated)	Yes	80'X20'	Fair	Fair	Fair	20'	Moderate (Root loss, excavation)	R.T., LM	<5' from property line.
T35	elm (Ulmus spp.)	24" (estimated)	Yes	30'X20'	Good	Good	Good	15'	Moderate (Root loss, excavation)	R.T., LM	On adjacent public property.





FOUNDATION & CONCRETE NOTES:

- PRESSURE TREATED OR NATURALLY DURABLE WOOD, FLOOR JOISTS WITH LESS THAN 18" TO EXPOSED GROUND, AND GIRDERS WITH LESS THAN 12" TO EXPOSED GROUND SHALL BE P.T. EXTERIOR WOOD FRAMING RESTING ON FOUNDATIONS AND LESS THAN 8" FROM EARTH OR 2" FROM PAVING SHALL BE P.T. (SIDING 6" FROM EARTH) CRC R317.1
- VERIFICATION, G.C. TO VERIFY ALL CONCRETE ROUGH OPENING SIZES, ELEVATIONS, ETC. PRIOR TO FOUNDATION POUR. G.C. TO COORDINATE ALL LOCATIONS OF HOLD-DOWNS, CURBS, STEPS, PLUMBING & MECHANICAL SLEEVES, ETC.
- VERIFICATION, PRIOR TO POURING ANY CONCRETE FOR FOUNDATIONS, IT IS RECOMMENDED THAT A LICENSED SURVEYOR CONFIRM THAT THE REQUIRED SETBACKS AS SHOWN ON THE APPROVED PLANS HAVE BEEN MAINTAINED.

FLOOR PLANS NOTES:

- CAL GREEN, SEE SHEET GB.1 FOR CAL GREEN MANDATORY REQUIREMENTS
- DOORS & WINDOWS, SEE SHEET A6.1 AND A6.2 FOR DOOR AND WINDOW SCHEDULES
- UNDERSTAIR SPACES, ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDERSTAIR SURFACE, AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYP. BD. CRC 302.7 DRAFTSTOPS, SHALL BE INSTALLED IN FLOOR/CEILING ASSEMBLIES WHERE THERE IS A USABLE SPACE ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR/CEILING ASSEMBLY. DRAFT STOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET AND IS DIVIDED INTO APPROXIMATELY EQUAL AREAS. CRC R302.12
- SHOWERS, SHOWER AND TUBSHOWER WALLS SHALL HAVE A NONABSORBENT SURFACE MIN. 72" ABOVE THE FLOOR, INSTALLED OVER FIBER-CEMENT BACKER BD. WATER-RESISTANT GYPSUM BACKING BOARD MAY NOT BE USED. CRC R307.2, R702.4
- INTERIOR WATERPROOFING, AT ALL LOCATIONS SUBJECT TO EXPOSURE TO WATER, G.C. TO PROVIDE WATERPROOF MEMBRANE OVER HORIZONTAL AREAS AND UP WALLS 6" MIN ABOVE FINISH CONCEALED WORK, MAINTAIN RECORD DRAWINGS, SPECIFICATIONS, AND PHOTOS OF CONCEALED WORK.
- ROUGH OPENINGS, CONTRACTOR TO VERIFY ROUGH OPENINGS SHOWN ON PLAN OR SCHEDULES WITH REQUIREMENTS OF UNITS TO BE INSTALLED PRIOR TO FRAMING OPENINGS.
- ATTIC ACCESS, PROVIDE MIN 22" X 30" ACCESS OPENING TO ATTICS GREATER THAN 30 SF AND WITH 30" MIN HEADROOM. THRU WALL ACCESS OPENING SHALL BE MIN 22" WIDE X 30" TALL.

INSULATION NOTES:

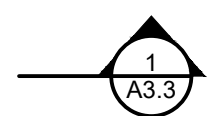
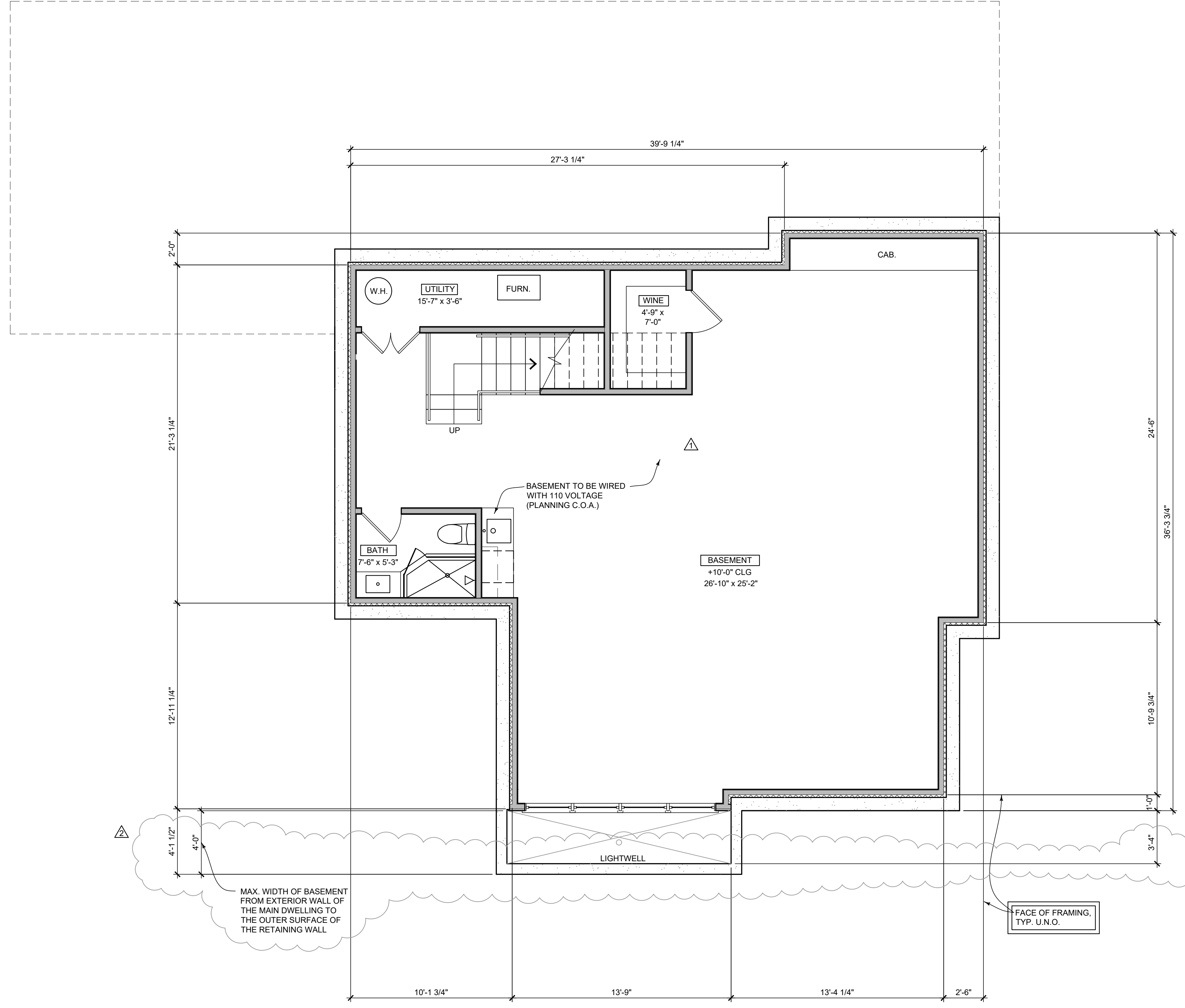
- SEE TITLE 24 ENERGY REPORT FOR REQUIRED INSULATION VALUES.
- INSULATION SHALL CONFORM TO FLAME-SPREAD RATING AND SMOKE DENSITY REQUIREMENTS OF CRC R302.10
- AFTER INSTALLING INSULATION, THE INSTALLER SHALL POST AN INSULATION CERTIFICATE, SIGNED BY THE INSTALLER AND THE BUILDER, IN A CONSPICUOUS LOCATION IN THE BUILDING, STATING THAT THE INSTALLATION CONFORMS WITH THE REQUIREMENTS OF TITLE 24, PART 2, CH. 2-53 OF THE CALIFORNIA ADMINISTRATIVE CODE

PROJECT KEYNOTES:

- FRAMING, ALL NEW EXTERIOR WALLS TO BE 2X4 WD. STUDS AT 16" O.C., TYP. UNLESS OTHERWISE NOTED. ALL NEW INTERIOR WALLS TO BE 2X4 WD. STUDS AT 16" O.C., TYP. UNLESS OTHERWISE NOTED.
- INSULATION, IN ADDITION TO REQUIRED ENVELOPE INSULATION, PROVIDE (N) ACOUSTIC INSULATION IN ALL INTERIOR WALLS WHERE WORK OCCURS SEPARATING BEDROOMS, BATHROOMS, LAUNDRY, KITCHEN, AND AS REQUESTED BY OWNER. PROVIDE (N) ACOUSTIC INSULATION IN ALL FLOOR ASSEMBLIES BETWEEN FLOORS CONCRETE FOOTINGS, ROOF EAVES, ETC. ARE NOT ALLOW TO ENCR OACH INTO SITE EASEMENTS, SEE A0.3 SITE PLAN

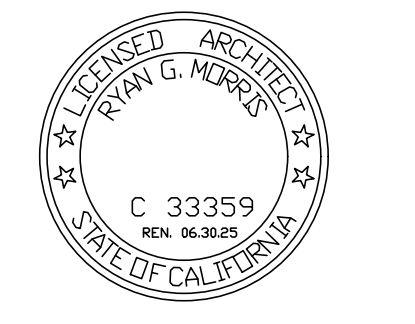
WALL LEGEND:

	(E) WALL
	(E) WALL TO BE REMOVED
	(N) 2x4 WALL
	(E)/(N) 1 HR. RATED WALL
	(E)/(N) 2X6 WALL
	(N) DOOR SYMBOL
	(N) WINDOW SYMBOL



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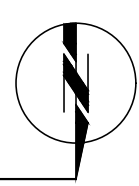
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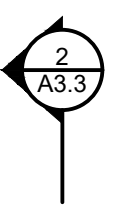
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BASEMENT FLOOR PLAN

JOB #: 2409

A2.0



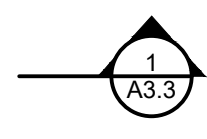
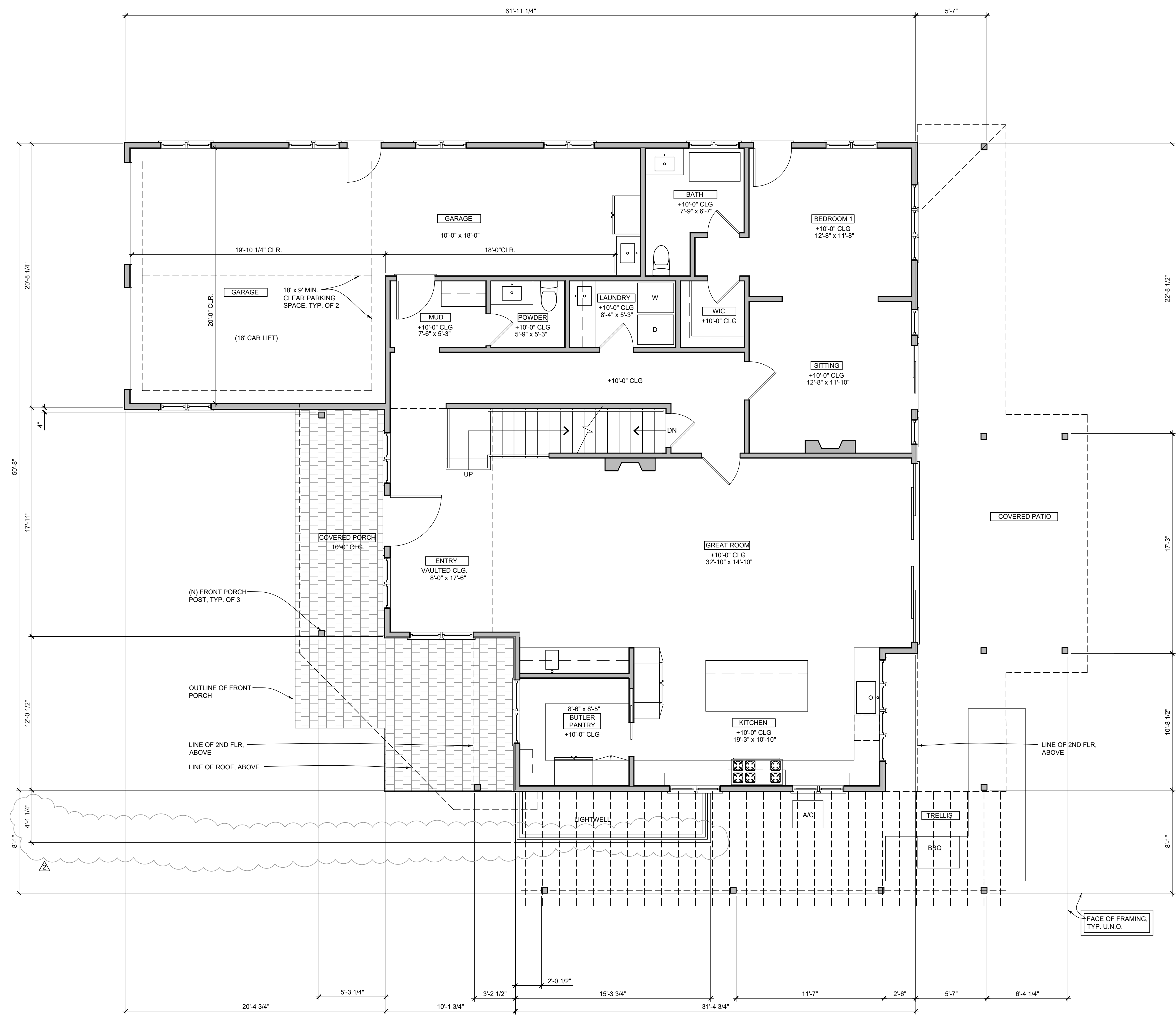


FLOOR PLAN NOTES:

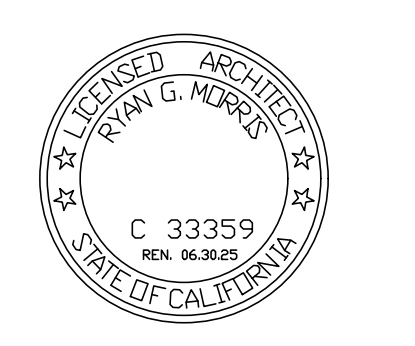
- REFERENCE SEE SHEET A2.0 FOR TYPICAL FLOOR PLAN NOTES. SEE SHEET E2.1 FOR TYPICAL MECHANICAL, ELECTRICAL, AND PLUMBING NOTES

WALL LEGEND:

- (E) WALL
- (E) WALL TO BE REMOVED
- (N) 2x4 WALL
- (E)(N) 1 HR. RATED WALL
- (E)(N) 2X6 WALL
- (N) DOOR SYMBOL
- (N) WINDOW SYMBOL



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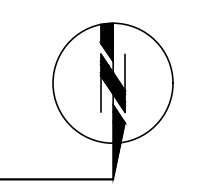


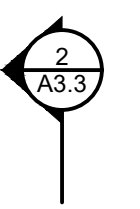
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FIRST FLOOR PLAN

JOB #: 2409



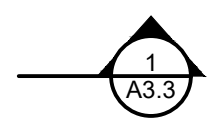
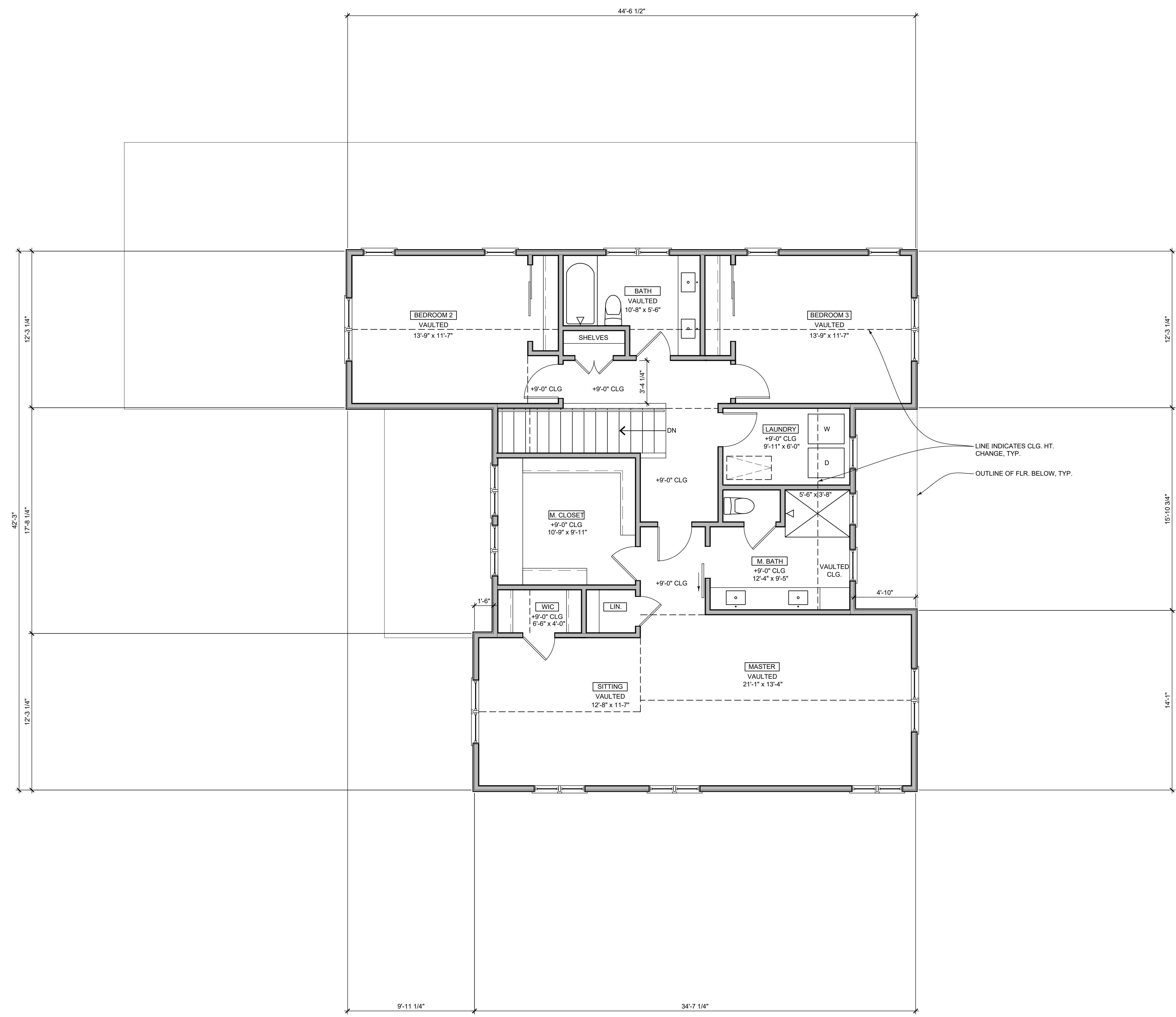


FLOOR PLAN NOTES:

- 1. REFERENCE SEE SHEET A2.1 FOR TYPICAL FLOOR PLAN NOTES. SEE SHEET E2.1 FOR TYPICAL MECHANICAL, ELECTRICAL, AND PLUMBING NOTES

WALL LEGEND:

	(E) WALL
	(E) WALL TO BE REMOVED
	(N) 2x4 WALL
	(E)(N) 1 HR. RATED WALL
	(E)(N) 2X6 WALL
	(N) DOOR SYMBOL
	(N) WINDOW SYMBOL



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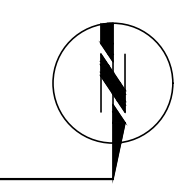
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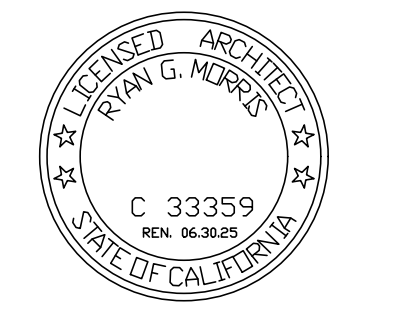
SECOND FLOOR PLAN

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A2.2



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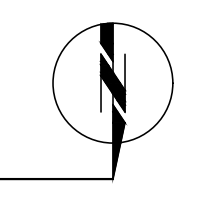
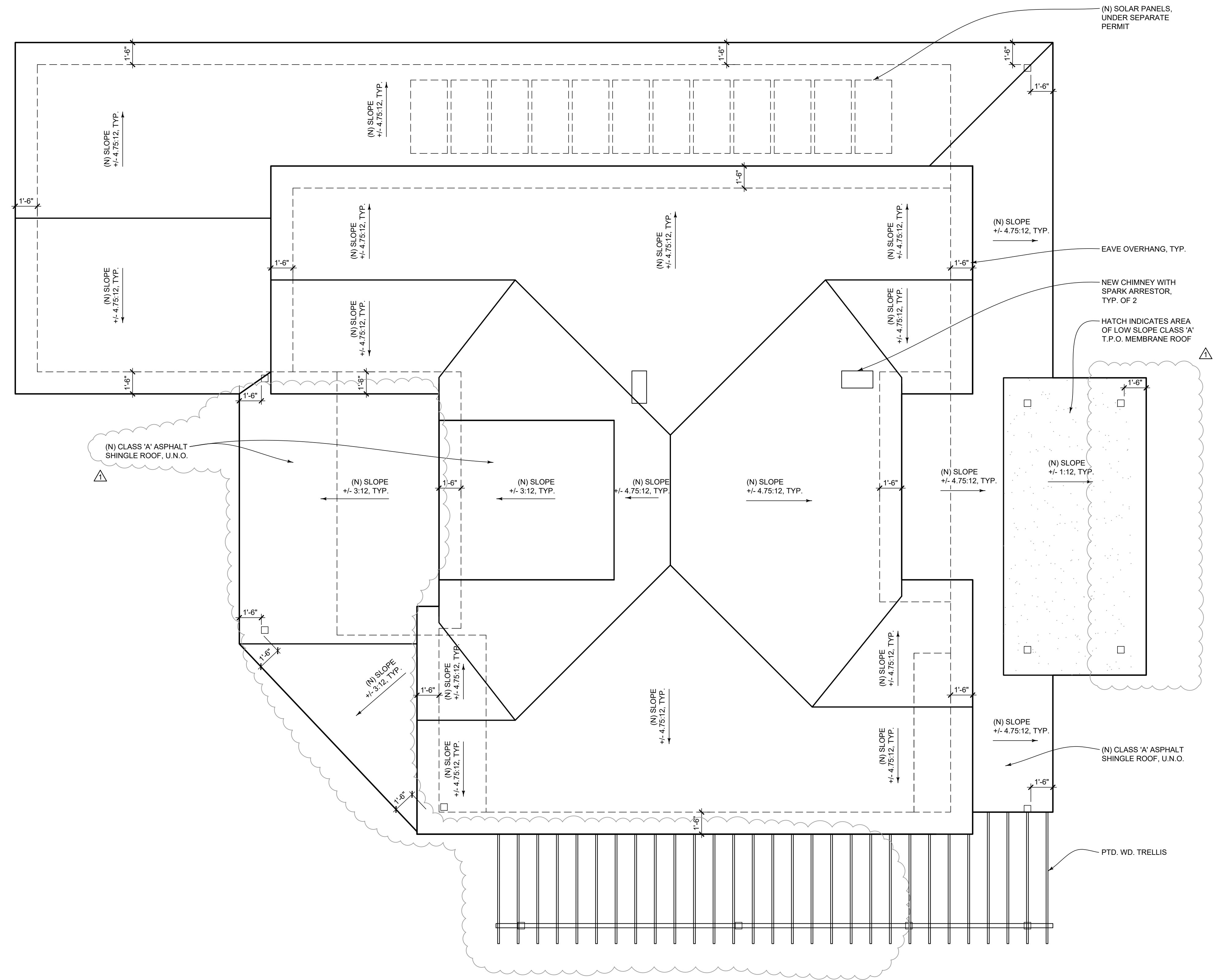
ROOF PLAN

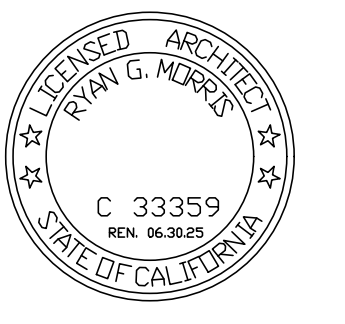
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A2.3

FLOOR PLAN NOTES:
 1. REFERENCE SEE SHEET A2.1 FOR TYPICAL FLOOR PLAN NOTES. SEE SHEET E2.1 FOR TYPICAL MECHANICAL, ELECTRICAL, AND PLUMBING NOTES

- WALL LEGEND:**
- (E) WALL
 - (E) WALL TO BE REMOVED
 - (N) 2x4 WALL
 - (E)(N) 1 HR. RATED WALL
 - (E)(N) 2X6 WALL
 - (N) DOOR SYMBOL
 - (N) WINDOW SYMBOL





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POOL HOUSE FLOOR PLAN

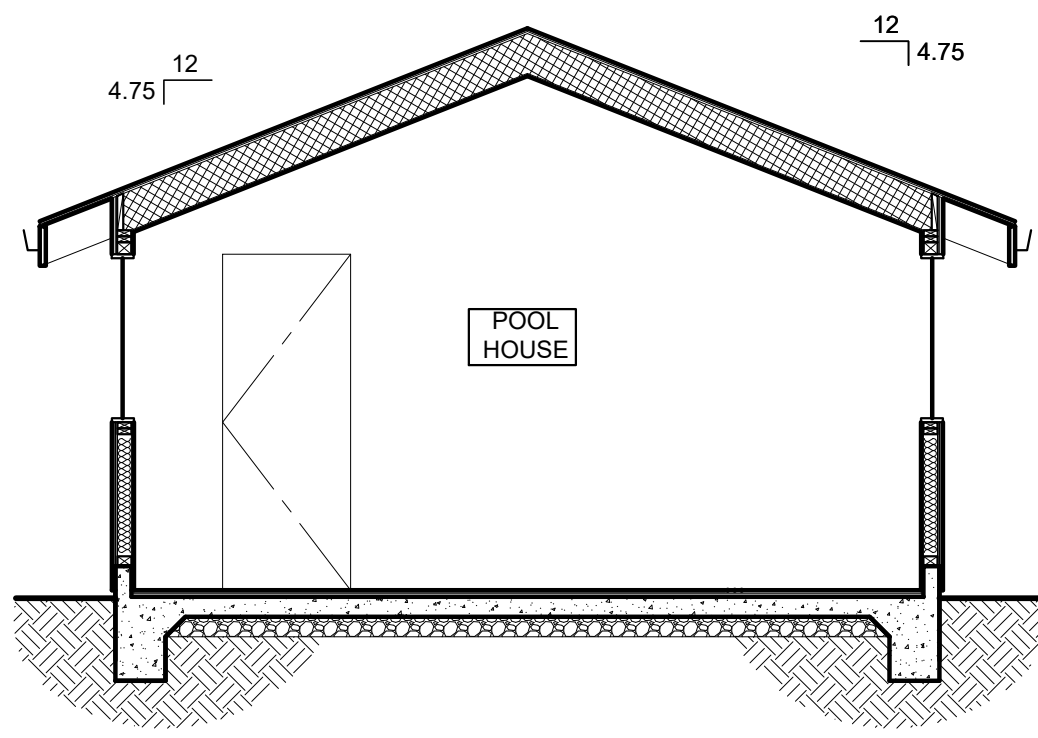
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FLOOR PLAN NOTES:

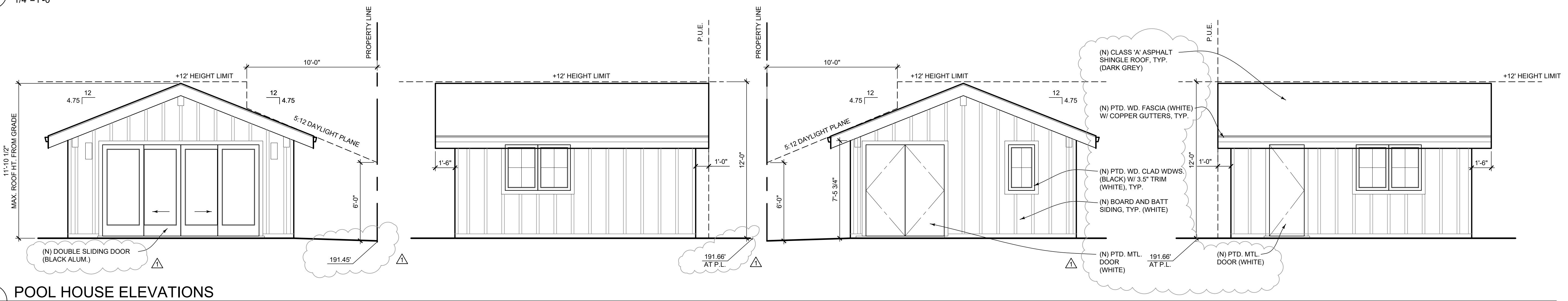
- REFERENCE SEE SHEET A2.1 FOR TYPICAL FLOOR PLAN NOTES, SEE SHEET E2.1 FOR TYPICAL MECHANICAL, ELECTRICAL, AND PLUMBING NOTES

WALL LEGEND:

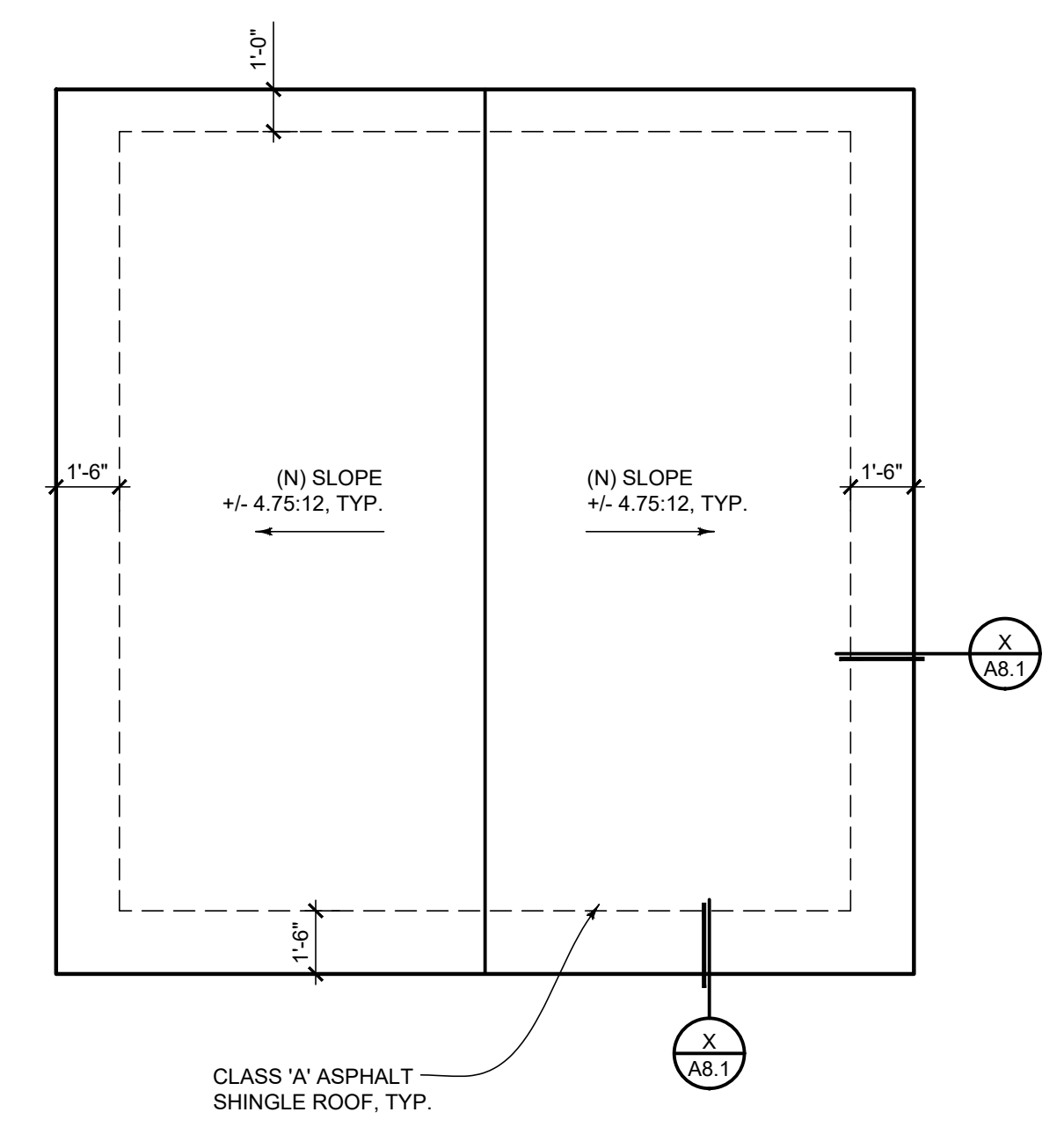
- (E) WALL
- (E) WALL TO BE REMOVED
- (N) 2x4 WALL
- (E)(N) 1 HR. RATED WALL
- (E)(N) 2X6 WALL
- (N) DOOR SYMBOL
- (N) WINDOW SYMBOL



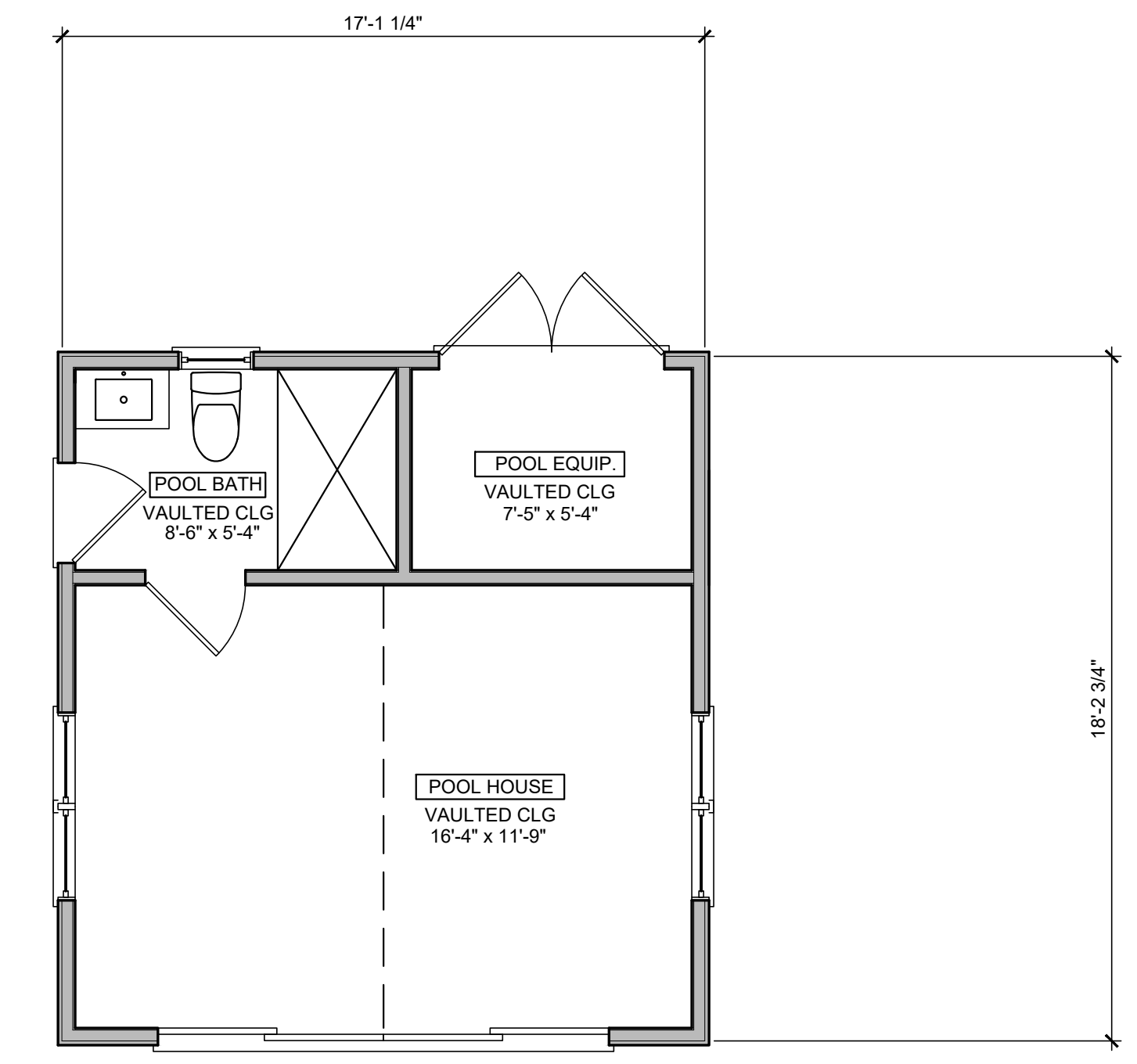
4
A2.4 **POOL HOUSE SECTION**
1/4"=1'-0"



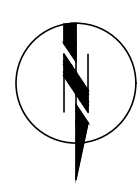
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A2.4 **POOL HOUSE ELEVATIONS**
1/4"=1'-0"

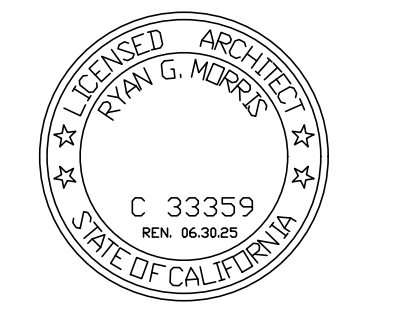


2
A2.4 **POOL HOUSE ROOF PLAN**
1/4"=1'-0"



1
A2.4 **POOL HOUSE FLOOR PLAN**
1/4"=1'-0"





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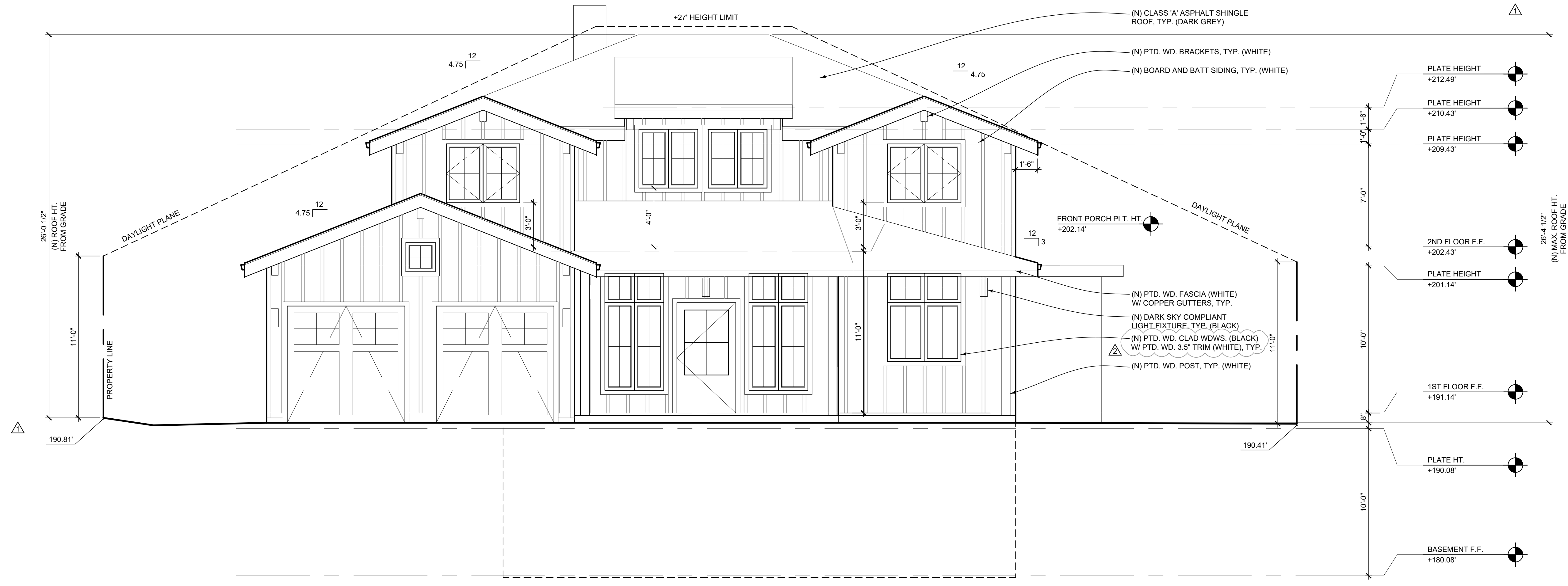
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EXTERIOR ELEVATIONS

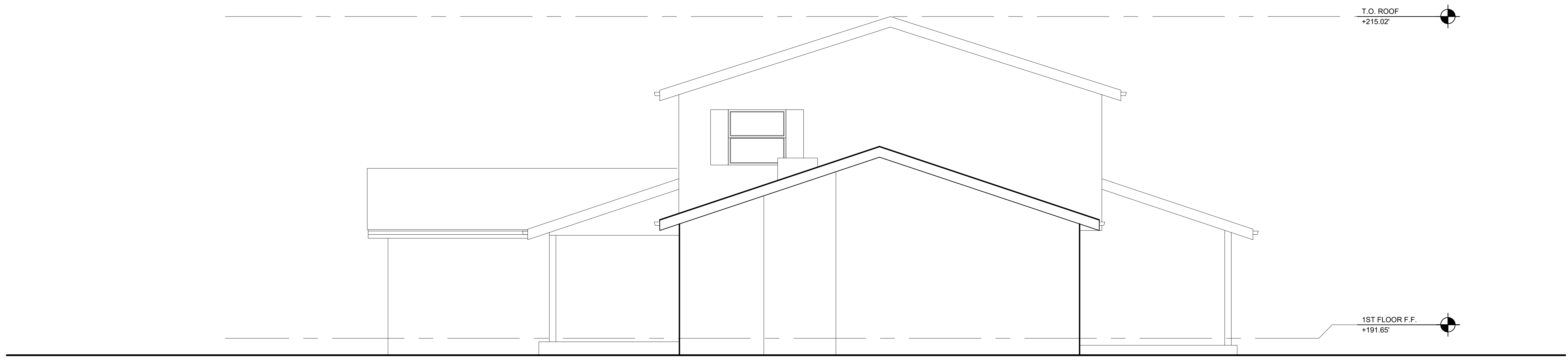
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2 EXISTING FRONT (EAST) ELEVATION
 A3.1 1/4"=1'-0"



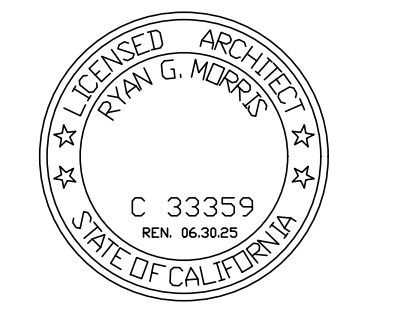
1 PROPOSED FRONT (EAST) ELEVATION
 A3.1 1/4"=1'-0"



2 EXISTING RIGHT (NORTH) ELEVATION
 A3.2 1/4"=1'-0"



1 PROPOSED RIGHT (NORTH) ELEVATION
 A3.2 1/4"=1'-0"



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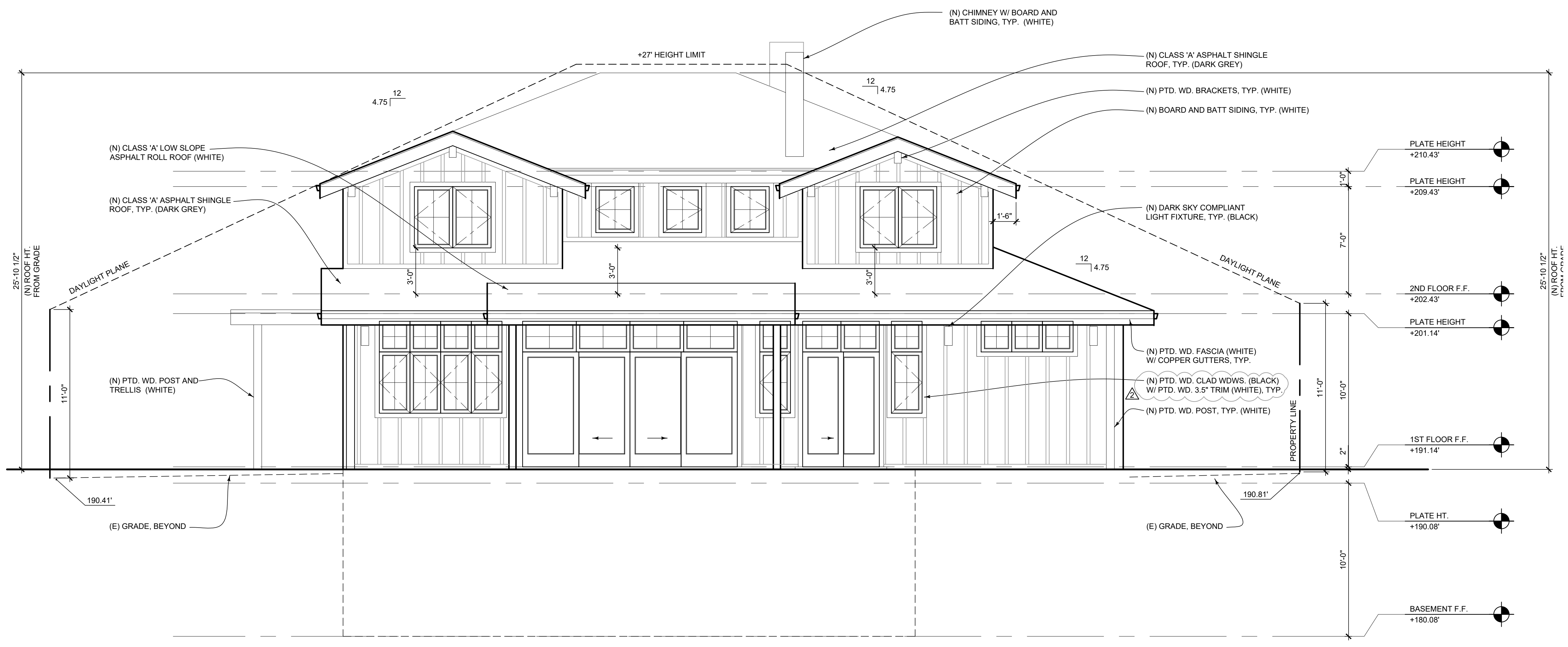
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EXTERIOR ELEVATIONS

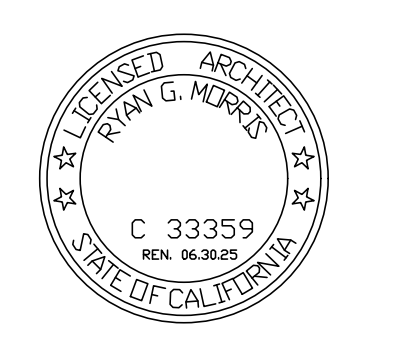
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2 EXISTING BACK (WEST) ELEVATION
 A3.3 1/4"=1'-0"



1 PROPOSED BACK (WEST) ELEVATION
 A3.3 1/4"=1'-0"

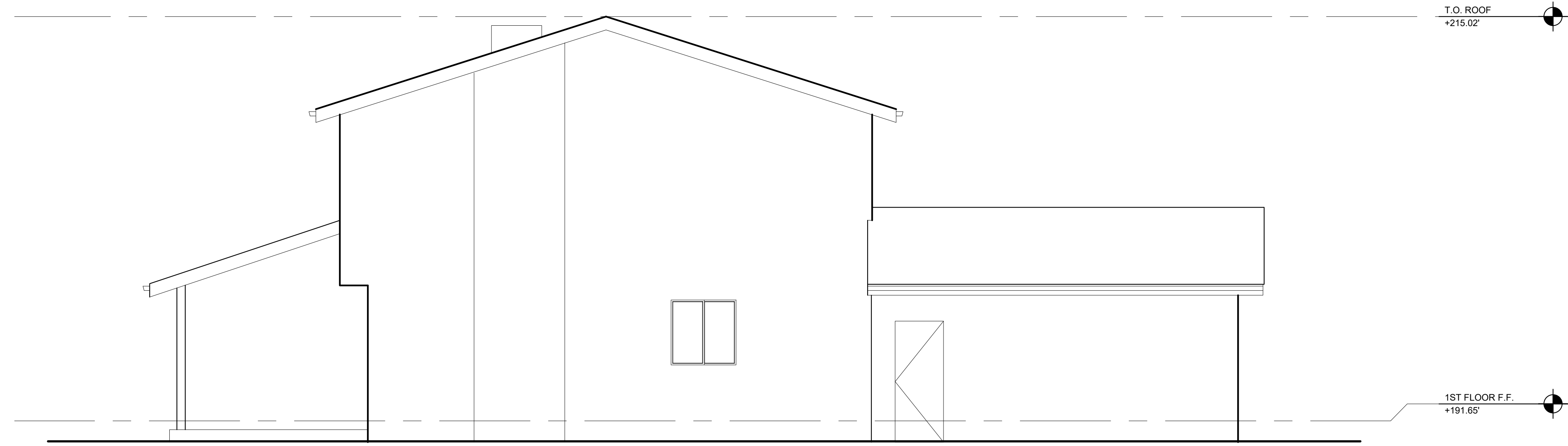


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EXTERIOR ELEVATIONS

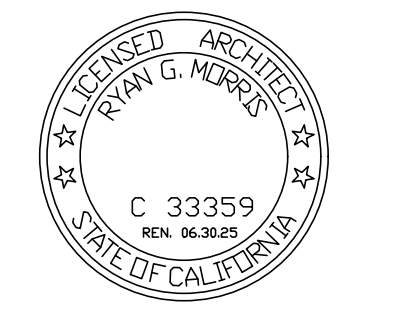
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2
 A3.4 EXISTING LEFT (SOUTH) ELEVATION
 1/4"=1'-0"



1
 A3.4 PROPOSED LEFT (SOUTH) ELEVATION
 1/4"=1'-0"

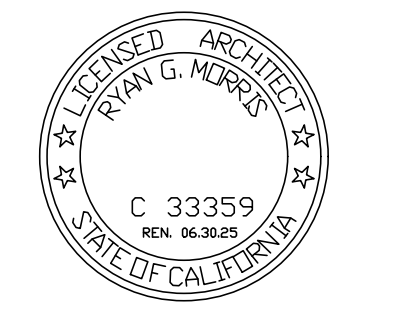


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EXTERIOR ELEVATIONS

JOB #: 2409

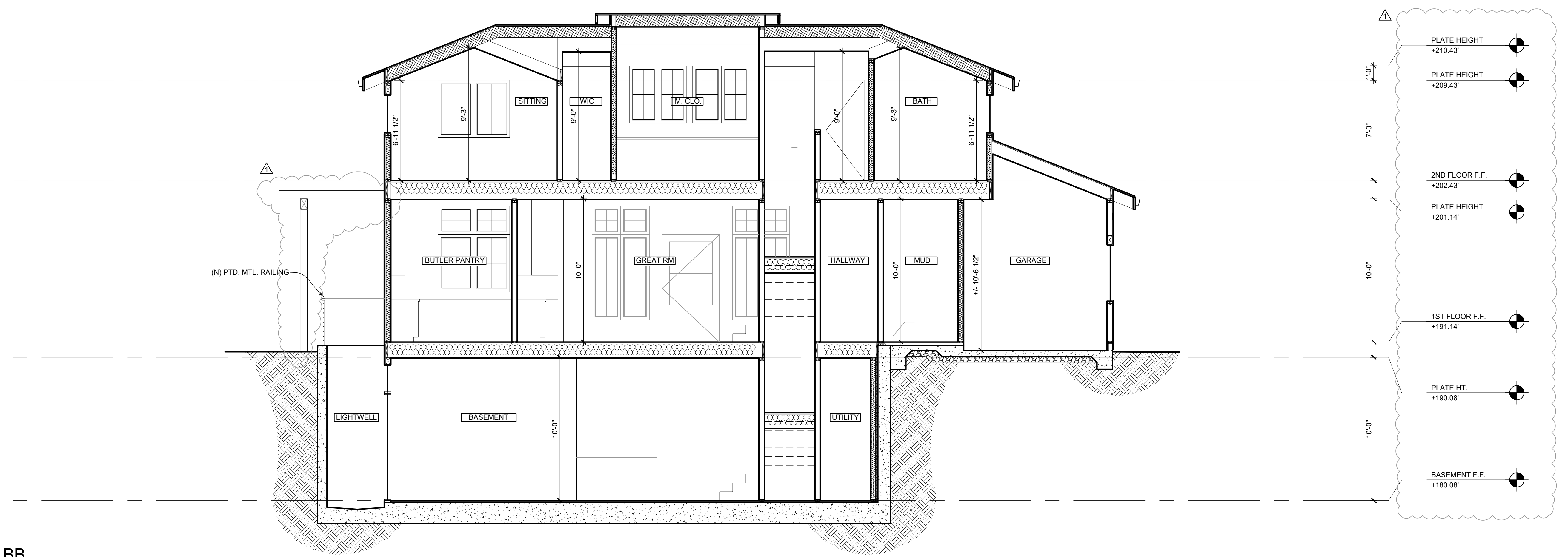


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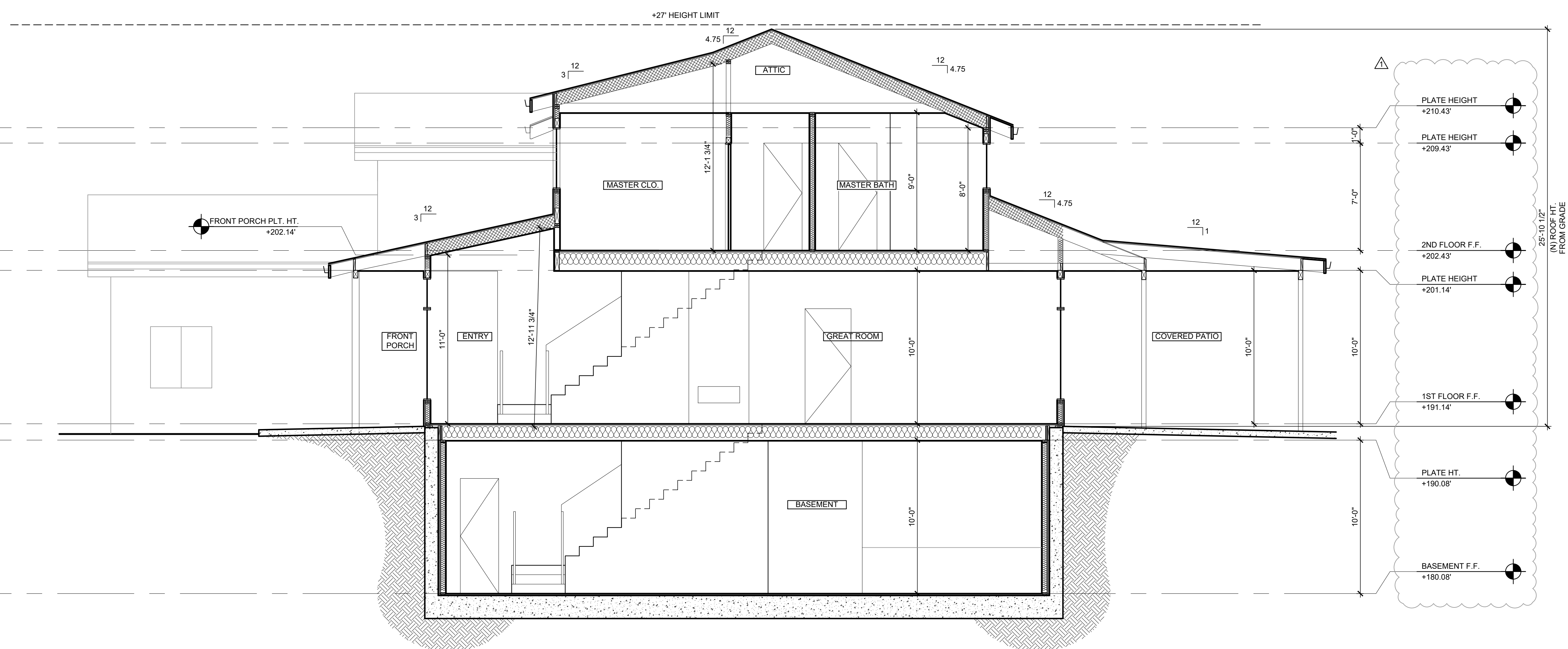
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BUILDING SECTIONS

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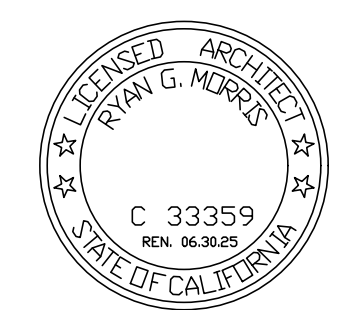
2 BUILDING SECTION BB
 A3.5 1/4"=1'-0"



1 BUILDING SECTION AA
 A3.5 1/4"=1'-0"



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COVER SHEET

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