

ATTACHMENT E

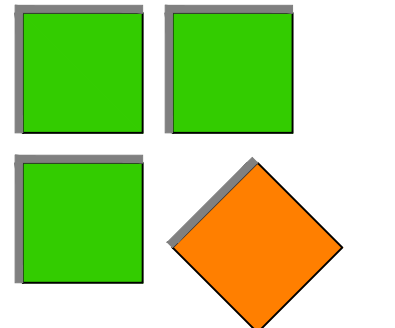
OWNER:
JAY & NIYATI YAGNIK
3368 MILTON COURT
MOUNTAIN VIEW, CA 94040
TEL: (650) 450-3729

ARCHITECT:
LHC ARCHITECTURAL DESIGN
13937 LYNDE AVENUE
SARATOGA, CA 95070
TEL: (408) 483-1965

YAGNIK RESIDENCE 2 STORY SINGLE FAMILY HOUSE 825 PARMA WAY LOS ALTOS, CA 94024

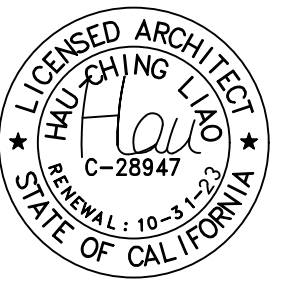
PROJECT DATA

PROPERTY ADDRESS: 825 PARMA WAY, LOS ALTOS, CA 94024
ZONING DESIGNATION: R1-10
TYPE OF CONSTRUCTION: V-B
PROPOSED USE: SINGLE FAMILY RESIDENTIAL
APN: 189-42-038
EXISTING BUILDING: 4 BEDROOMS & 3 BATHS
PROPOSED BUILDING: 5 BEDROOMS & 4.5 BATHS, ADU (2 BEDROOMS, 2 BATHS)
FIRE SPRINKLER SYSTEM: YES
SITE AREA: 12,856 S.F. (0.27 ACRES)



Silicon Valley Custom Homes, LLC

682 Villa Street, Suite C1
Mountain View, CA 94041
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(408) 204-0345



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SCOPE OF WORK

- Demolish the existing main dwelling
- Build a new 2-story residence with an attached ADU

DRAWING INDEX

ARCHITECTURE PLAN

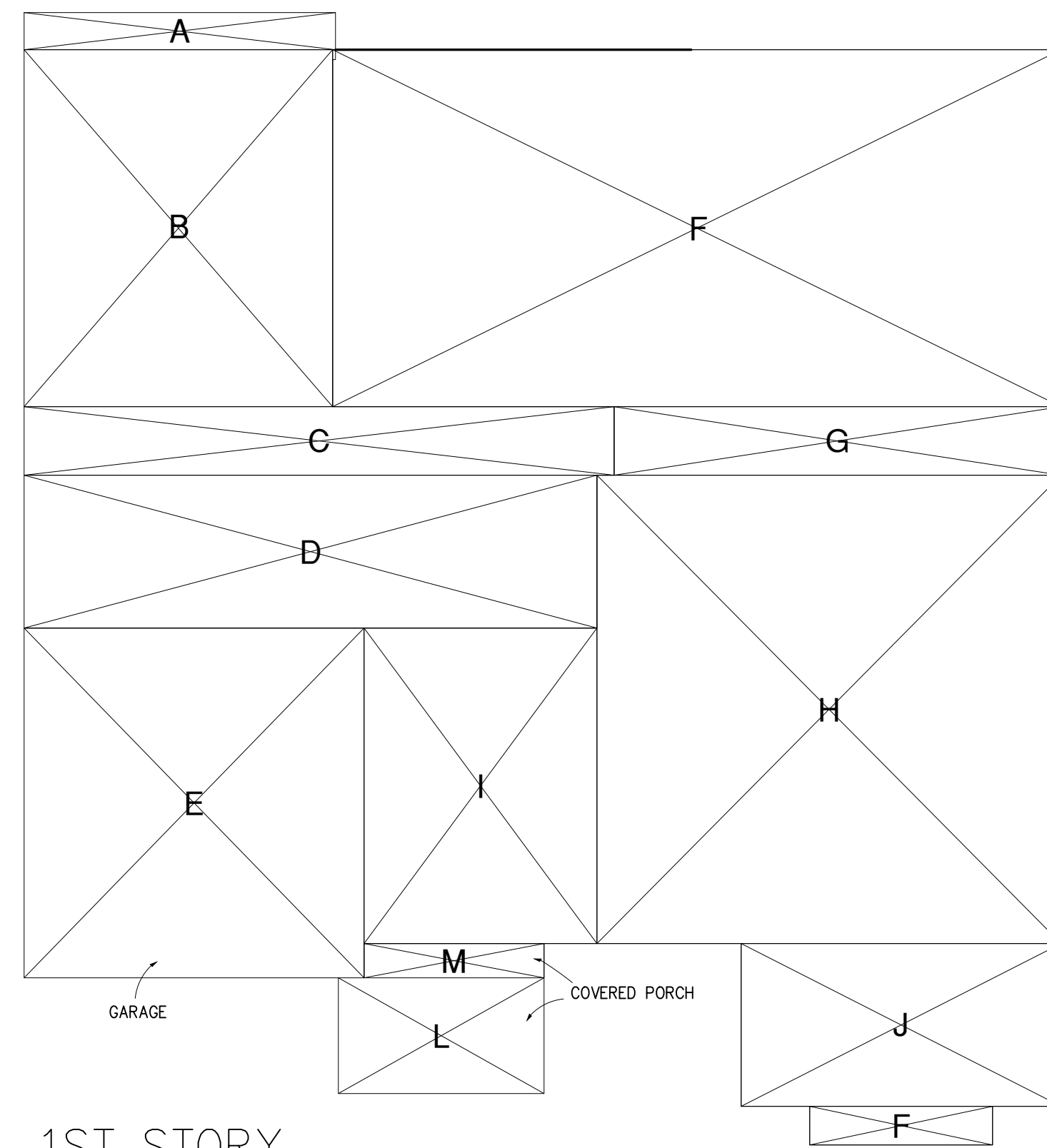
- A-1 COVER SHEET / BLOCKOUT CALCULATION DIAGRAM
- A-2 NEIGHBORHOOD CONTEXT MAP
- A-3 VISUAL REPRESENTATION OF THE NEIGHBORHOOD STREETSCAPE
- A-4 MATERIALS BOARD
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- A-5.2 PROPOSED SITE PLAN
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- A-8.1 BUILDING ELEVATIONS - FRONT, REAR
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- A-9.1 BUILDING CROSS SECTIONS - MAIN
- A-9.2 BUILDING CROSS SECTIONS - ADU
- A-10 TOPOGRAPHIC SURVEY

LANDSCAPE PLAN

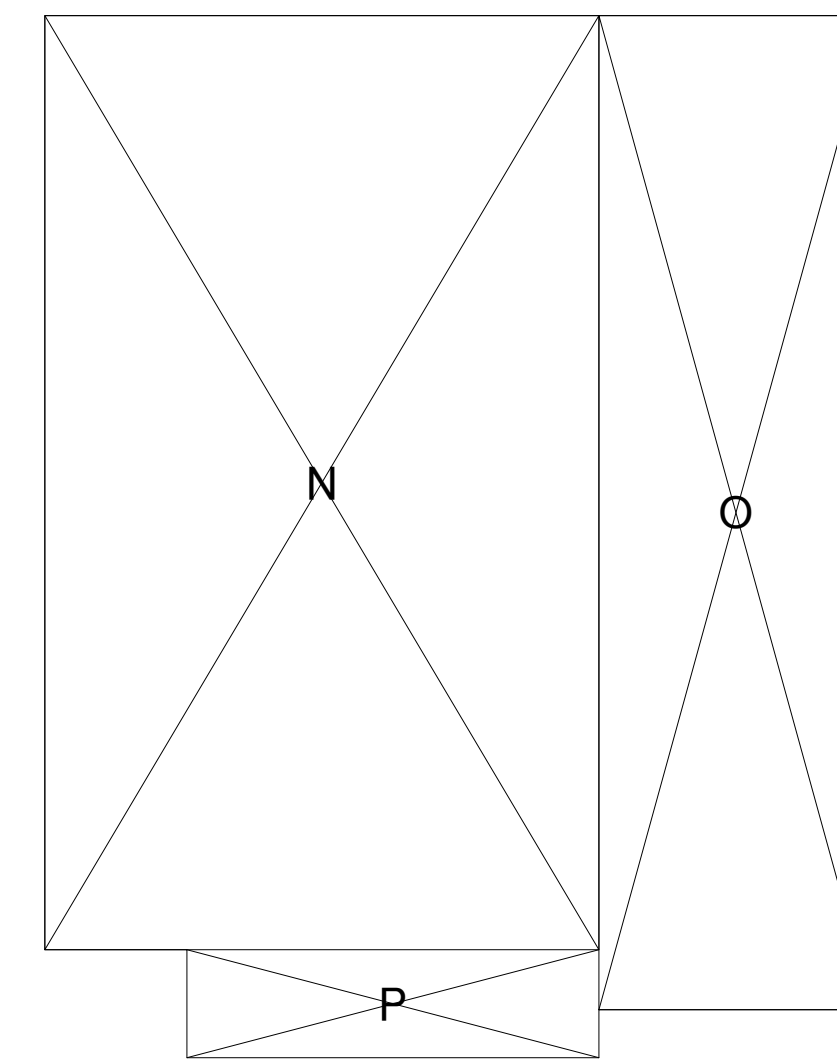
- L-1 EXISTING TREE PLAN & TREE PROTECTION
- L-2 PROPOSED LANDSCAPE LAYOUT
- L-3 PROPOSED PLANTING PLAN
- L-4 LANDSCAPE NOTES

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- G-2 DEMOLITION PLAN
- G-3 OVERALL SITE PLAN
- G-4 GRADING & DRAINAGE PLAN
- G-5 BUILDING CROSS SECTION
- G-6 EROSION CONTROL PLAN
- G-7 EROSION CONTROL DETAILS



1ST STORY



2ND STORY

LOT COVERAGE CALCULATION (1ST STORY + ADU + COVERED PORCH)

A =	18'2"X2'2"= 39 SF
B =	18'0"X20'10"= 375 SF
C =	34'5"X4'0"= 138 SF
D =	33'5"X8'11"= 278 SF

ADU SUBTOTAL 850 SF

E =	19'10"X20'5"= 405 SF
F =	42'6"X20'10"= 886 SF
G =	26'1"X4'0"= 105 SF
H =	27'1"X27'4"= 740 SF
I =	13'7"X18'5"= 250 SF
J =	18'8"X9'6"= 177 SF
K =	10'8"X2'3"= 24 SF

FIRST STORY SUBTOTAL 2587 SF

L =	12'0"X6'11"= 82 SF
M =	10'6"X1'10"= 21 SF

COVERED PORCH SUBTOTAL 103 SF

LOT COVERAGE TOTAL 3540 SF

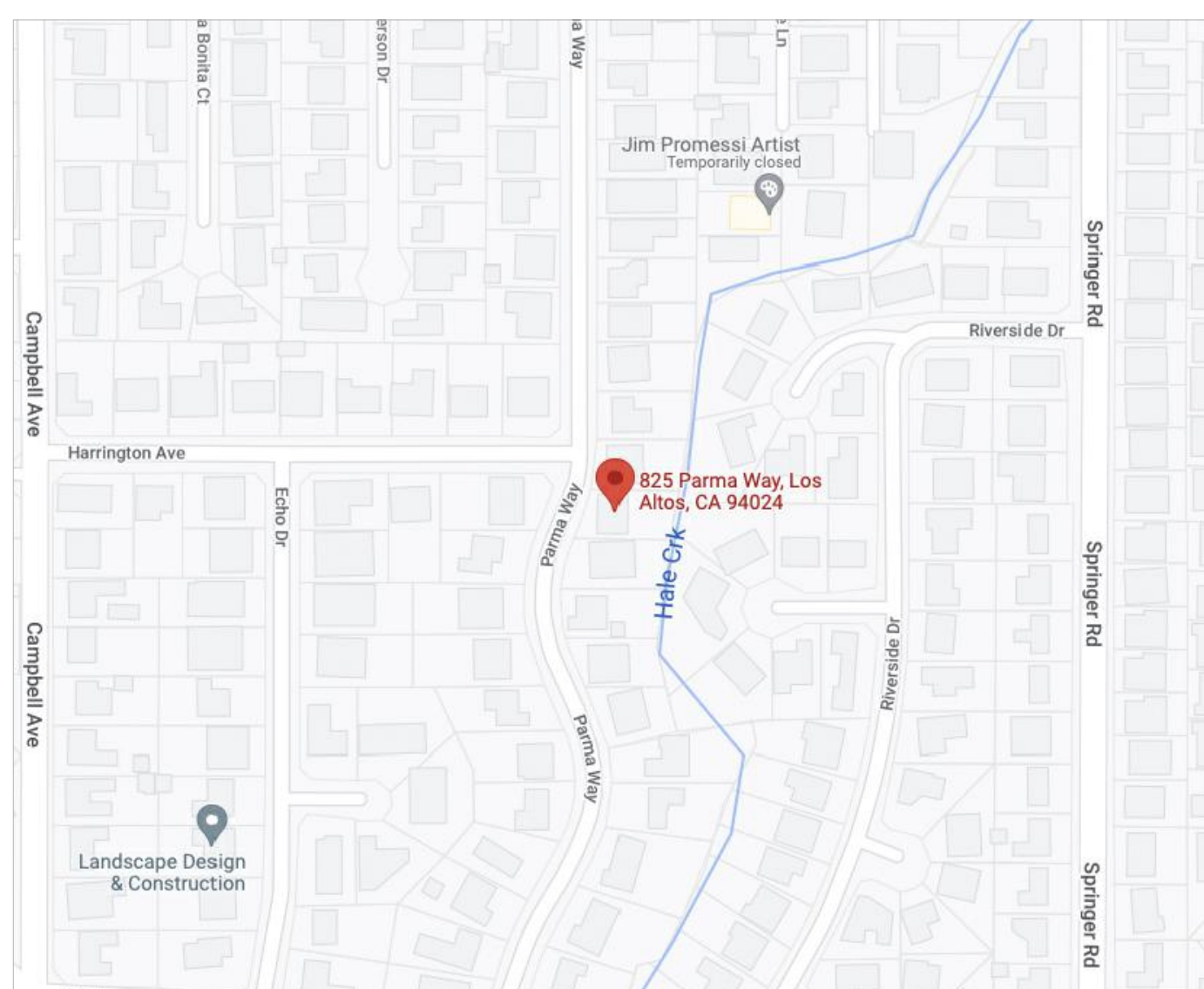
FLOOR AREA CALCULATION (1ST STORY + 2ND STORY)

E =	19'10"X20'5"= 405 SF		
F =	42'6"X20'10"= 886 SF		
G =	26'1"X4'0"= 105 SF		
H =	27'1"X27'4"= 740 SF		
I =	13'7"X18'5"= 250 SF	N =	23'1"X38'11"= 898 SF
J =	18'8"X9'6"= 177 SF	O =	11'5"X41'5"= 473 SF
K =	10'8"X2'3"= 24 SF	P =	17'2"X4'6"= 77 SF

FIRST STORY SUBTOTAL 2587SF SECOND STORY SUBTOTAL 1448 SF

FLOOR AREA TOTAL 4035 SF

VICINITY MAP



FLOOR AREA & COVERAGE CALCULATION DIAGRAM

1/8" 1

ZONING COMPLIANCE

	EXISTING	PROPOSED	ALLOWED/REQUIRED
LOT COVERAGE	3045 SQFT	3540 SQFT	3857 SQFT
	(23.69%)	(27.54%)	(30 %)
FLOOR AREA	1st FLOOR: 2556 SQFT.	1st FLOOR: 2182 SQFT.	
	2nd FLOOR: 650 SQFT.	2nd FLOOR: 1448 SQFT.	
	GARAGE: 489 SQFT.	GARAGE: 405 SQFT.	
	TOTAL: 3695 SQFT.	TOTAL: 4035 SQFT.	TOTAL: 4036 SQFT.
		ADU: 850 SQFT.	
SETBACKS			
FRONT	16 FT 6 IN	25 FT	25 FT
REAR	91 FT 4 IN	63 FT 6 IN	25 FT
RIGHT SIDE (1st / 2nd)	10 FT / NA	10 FT / 22 FT 6 IN	10 FT / 17 FT 6 IN
LEFT SIDE (1st / 2nd)	10 FT 4 IN / NA	10 FT / 23 FT 6 IN	10 FT / 17 FT 6 IN
HEIGHT	24 FT	26 FT 10 IN	27 FT

ADU ZONING COMPLIANCE

	PROPOSED ADU	ALLOWED/REQUIRED
FLOOR AREA	850 SQFT	850 SQFT
SETBACKS		
FRONT	25 FT	25 FT
REAR	63 FT 6 IN	4 Ft
RIGHT SIDE	10 FT	4 FT
LEFT SIDE	10 FT	4 FT
To the primary dwelling	0 FT	
ROOF OVERHANG AREA	N/A	
SIZE		
Lot Coverage		
HEIGHT	26 FT 10 IN	27 FT

SQUARE FOOTAGE BREAKDOWN

	EXISTING	CHANGE IN	TOTAL PROPOSED
HABITABLE LIVING AREA	3206 SQFT	424 SQFT	3630 SQFT
NON-HABITABLE AREA	489 SQFT	-84 SQFT	405 SQFT

LOT CALCULATION

NET LOT AREA:	12,856 SQFT
FRONT_YARD HARDSCAPE AREA:	1342 SQFT (43%)
LANDSCAPING BREAKDOWN:	TOTAL HARDSCAPE AREA (EXISTING & PROPOSED): 6525 SQFT.
	EXISTING SOFTSCAPE (UNDISTRUBED) AREA: 1500 SQFT.
	NEW SOFTSCAPE (NEW OR REPLACED LANDSCAPING) AREA: 5032 SQFT.

YAGNIK RESIDENCE & ADU
 2 STORY
 SINGLE FAMILY HOUSE
 825 PARMA WAY
 LOS ALTOS, CALIFORNIA 94024

REVISIONS:

SHEET TITLE:

COVER SHEET

DATE: Sep, 2022 PROJECT NO.: 22-

SCALE: AS SHOWN DRAWN: HC

SHEET

A-1

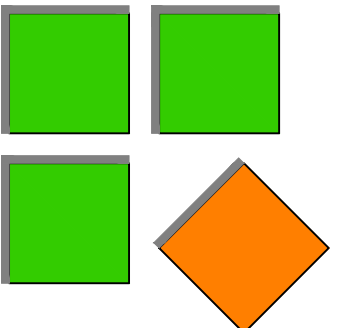
OF SHEETS



797 PARMA WAY

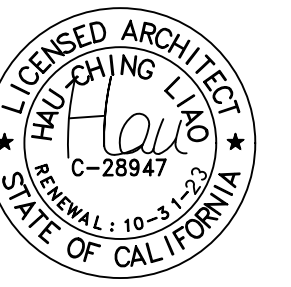


805 PARMA WAY



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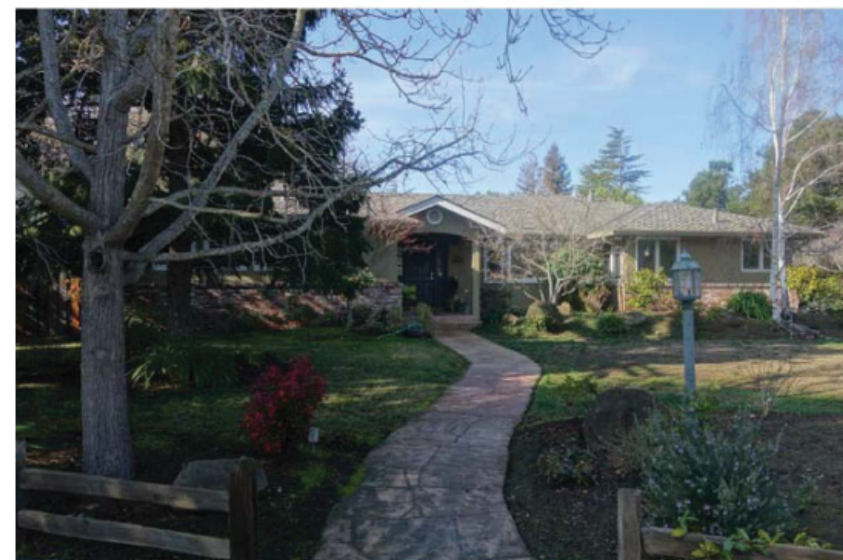
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621 HARRINGTON AVE



814 PARMA WAY



826 PARMA WAY



840 PARMA WAY



640 BIRCHWOOD COURT



653 ROSEWOOD COURT



650 ROSEWOOD COURT

YAGNIK RESIDENCE & ADU
2 STORY
SINGLE FAMILY HOUSE
825 PARMA WAY
LOS ALTOS, CALIFORNIA 94024

REVISIONS:

SHEET TITLE:

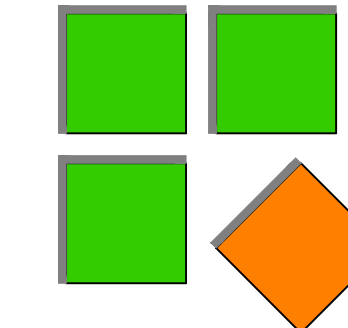
NEIGHBORHOOD
CONTEXT MAP

DATE PROJECT NO.
Sep. 2022 22-

SCALE DRAWN
AS SHOWN HC

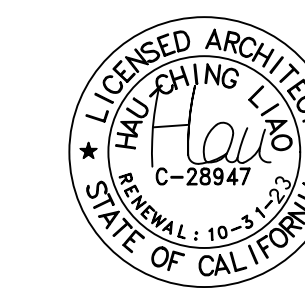
SHEET

A-2



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YAGNIK RESIDENCE & ADU
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825 PARMA WAY
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825 PARMA WAY PROPOSED 3D RENDERING

1



805 PARMA WAY

825 PARMA WAY

839 PARMA WAY

REVISIONS:

SHEET TITLE:

NEIGHBORHOOD
STREETSCAPE

DATE PROJECT NO.

Sep. 2022 22-

SCALE DRAWN

AS SHOWN HC

SHEET

A-3

NEIGHBORHOOD CONTEXT MAP

1/8" 2

OF SHEETS

MATERIAL BOARD

STUCCO _ STUCCO SUPPLY



GRAY BLOCK
BASE B LRV 83

WINDOW _ MILGARD

Ultra™ Series | C650



Fiberglass \$\$\$\$ ★★★★★

Strong and beautiful, durable fiberglass windows are built to last.

Suitability:
Replacement, New Construction

Style:
Contemporary

Innovation:
Strong and weather resistant



ENTRANCE DOOR | Therma-Tru



GARAGE DOOR | Wooden Garage door



FASCIA, SOFFIT _ V Rustic



DARK SKY LIGHTING

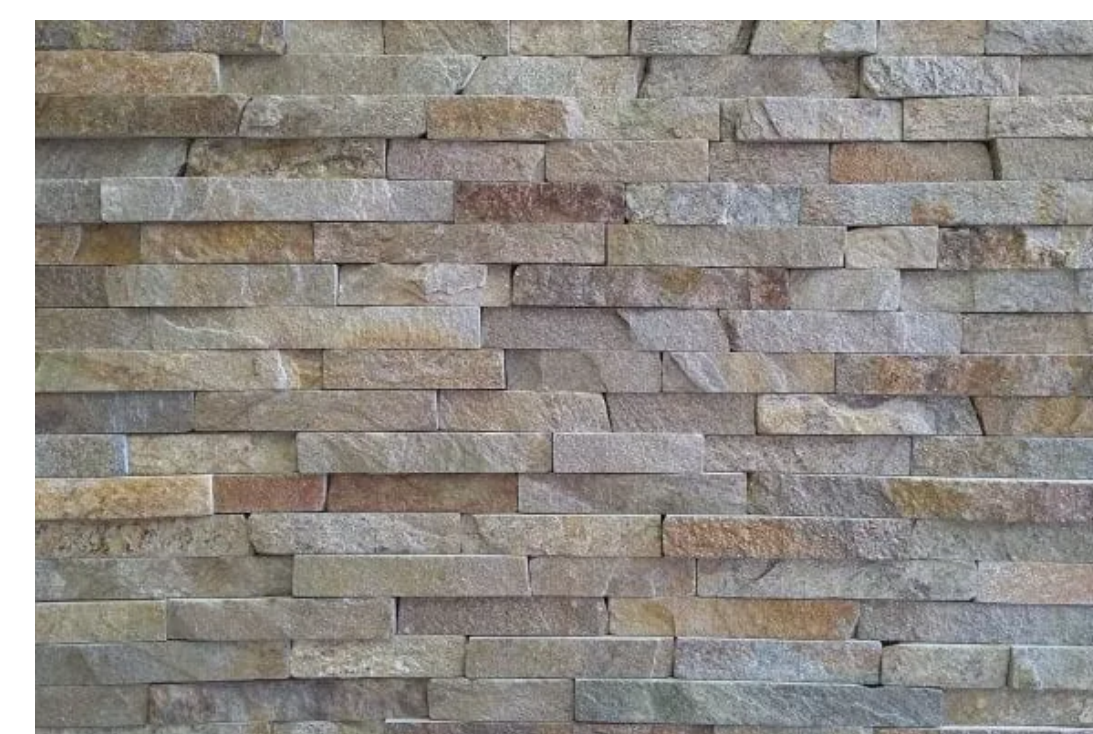


- Material: Aluminum, Glass
- Voltage: 100-240V
- Power Source: Hard Wired
- Color: Dark Grey
- Style: European Modern
- Wattage: 15W
- Color Temperature: 3000K
- Warranty: 36 Months
- Application: Porch, Entryway
- Lumen: 800

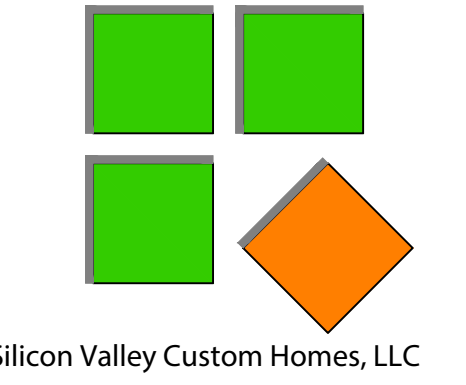
COMPOSITION SHINGLE ROOF _ CERTAINTEED



EXTERIOR STONE

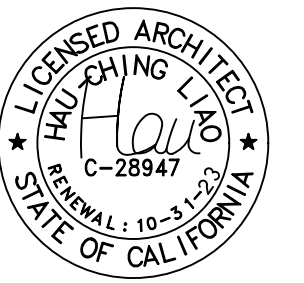


FOLDING DOOR _ LaCantina Doors



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REVISIONS:

SHEET TITLE:

MATERIAL BOARD

DATE	PROJECT NO.
Sep, 2022	22-
SCALE	DRAWN
AS SHOWN	HC
SHEET	

A-4

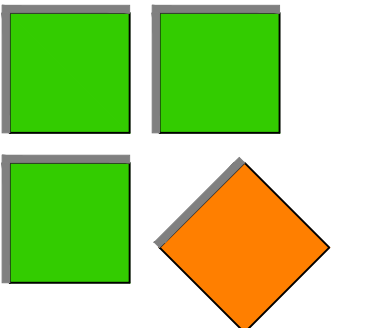
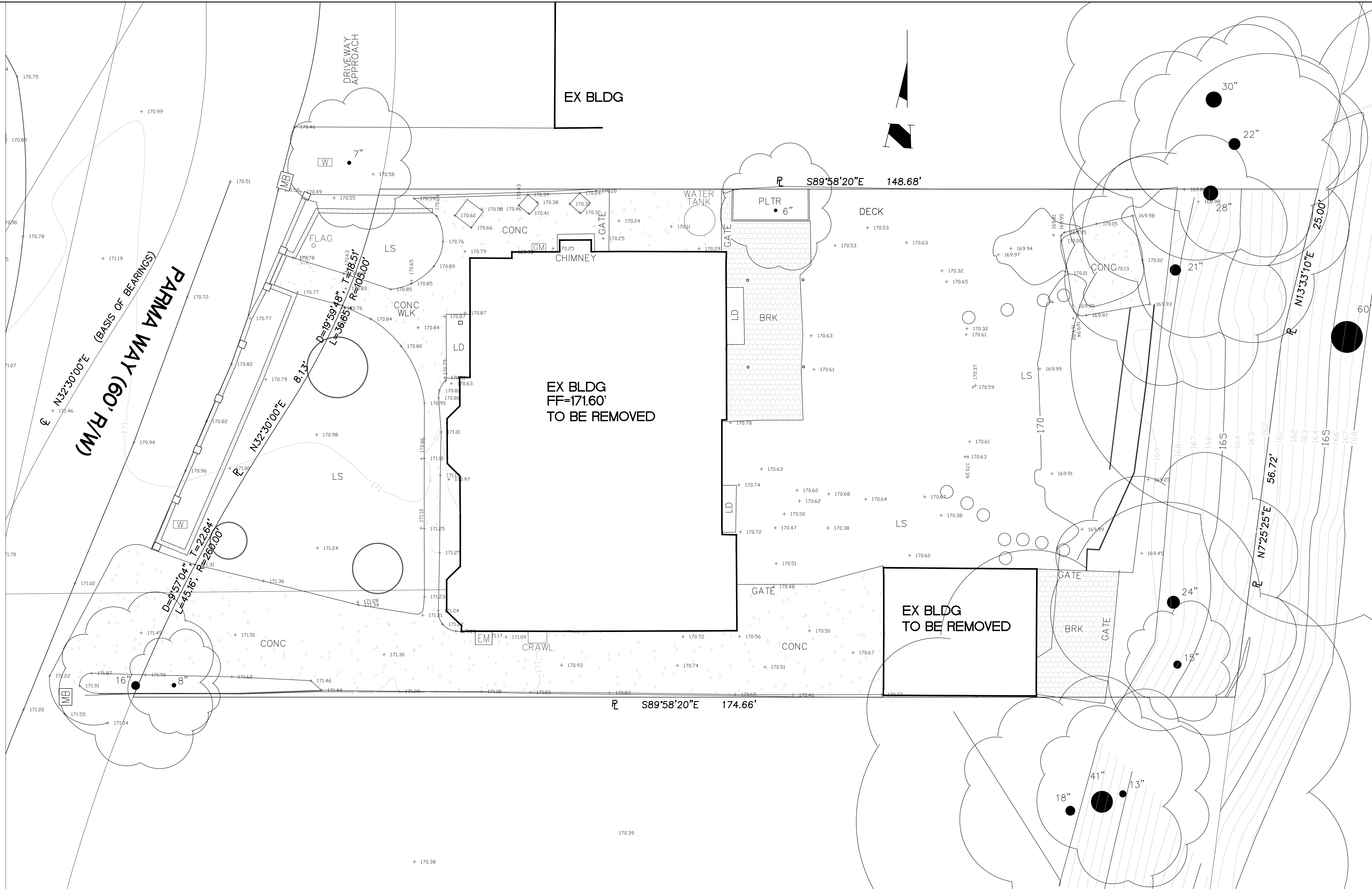
OF SHEETS

YAGNIK RESIDENCE 2 STORY SINGLE FAMILY HOUSE

825 PARMA WAY
LOS ALTOS, CA 94024

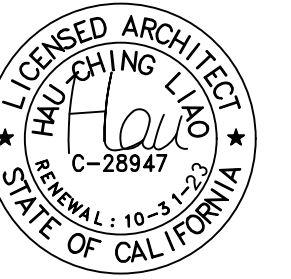
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YAGNIK RESIDENCE & ADU
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LOS ALTOS, CALIFORNIA 94024

REVISIONS:

SHEET TITLE:

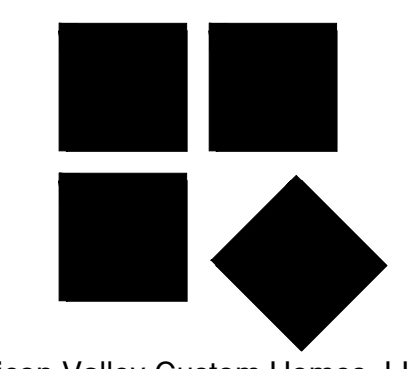
SITE PLAN

DATE	PROJECT NO.
Sep, 2022	22-
SCALE	DRAWN
AS SHOWN	HC

SHEET

A-5.1

OF SHEETS



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REVISIONS:

SHEET TITLE:

SITE PLAN

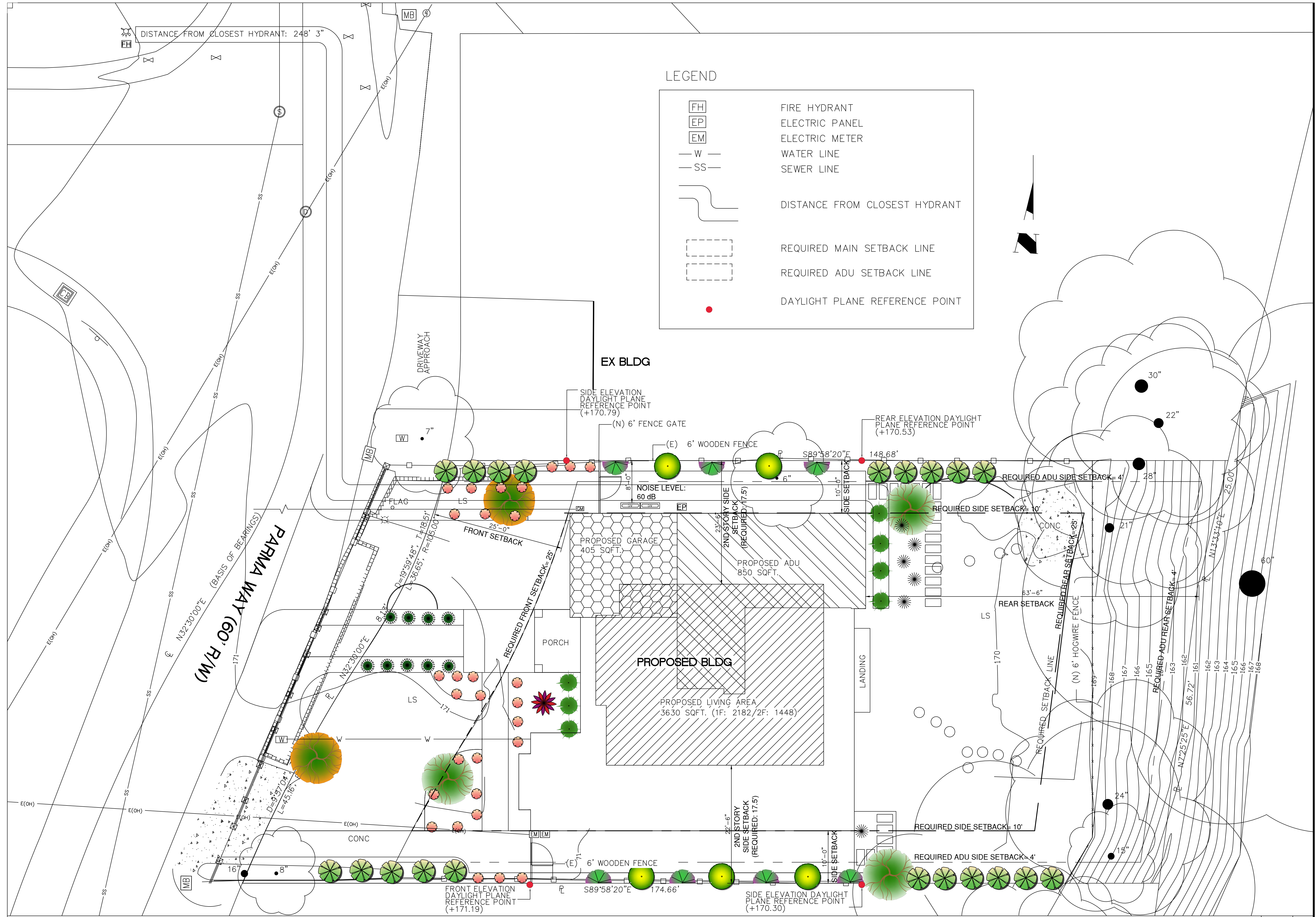
DATE: Sep, 2022 PROJECT NO.: 22-
SCALE: AS SHOWN DRAWN: HC
SHEET

A-5.2

OF SHEETS

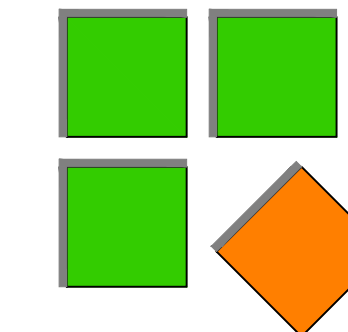
LEGEND

- FIRE HYDRANT
- ELECTRIC PANEL
- ELECTRIC METER
- WATER LINE
- SEWER LINE
- DISTANCE FROM CLOSEST HYDRANT
- REQUIRED MAIN SETBACK LINE
- REQUIRED ADU SETBACK LINE
- DAYLIGHT PLANE REFERENCE POINT



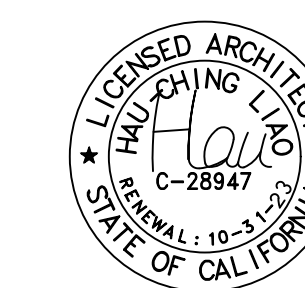
EXISTING SITE PLAN

1/8" 1



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SHEET TITLE:

FLOOR PLAN

DATE PROJECT NO.

Sep, 2022 22-

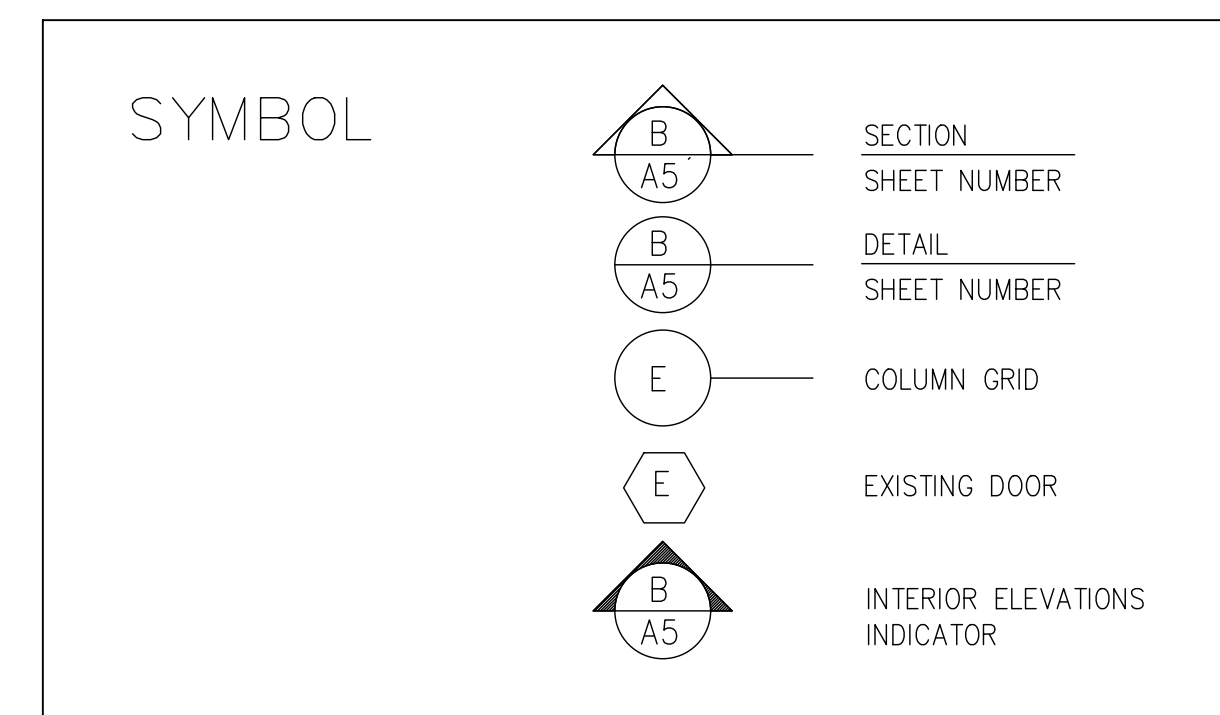
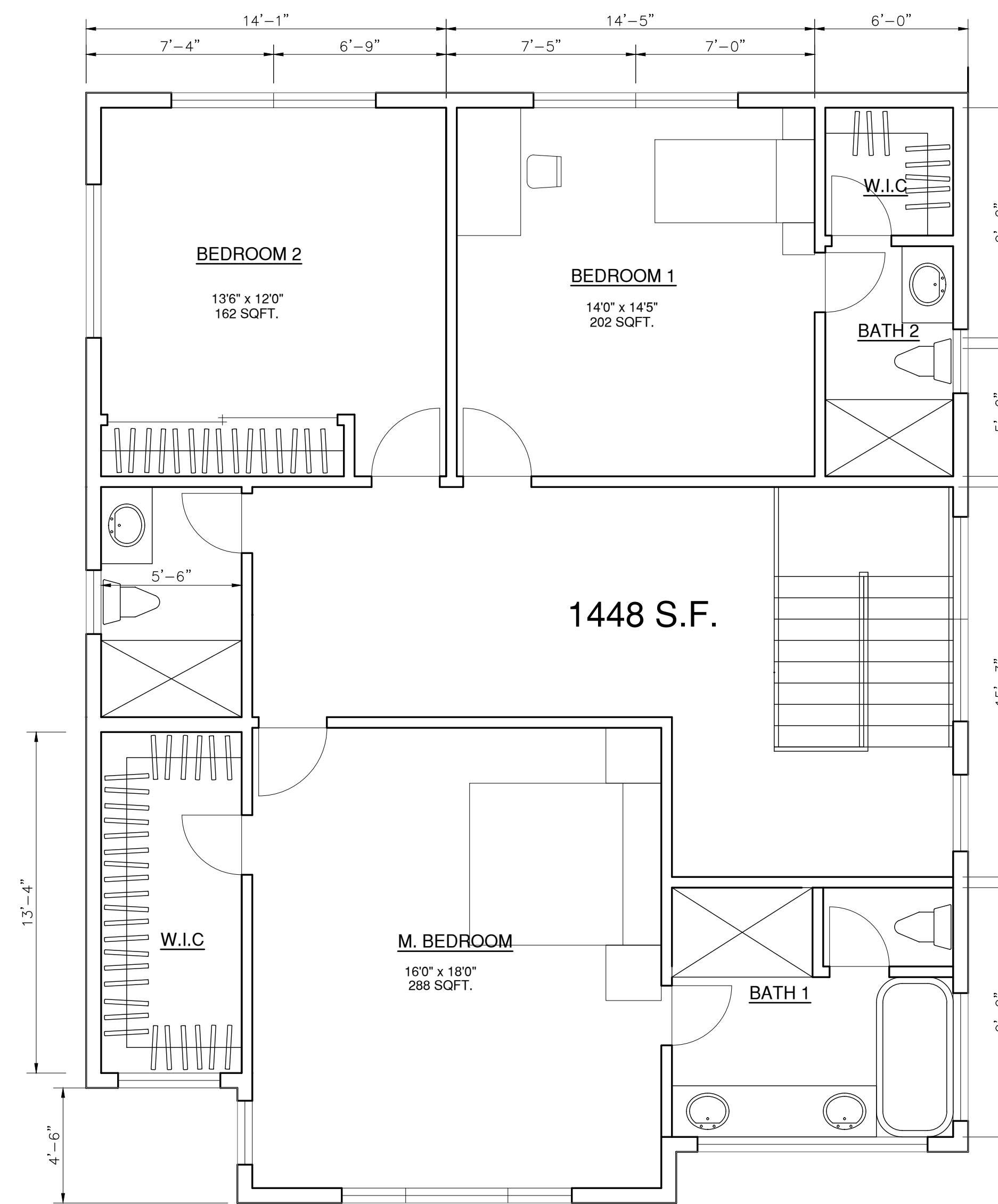
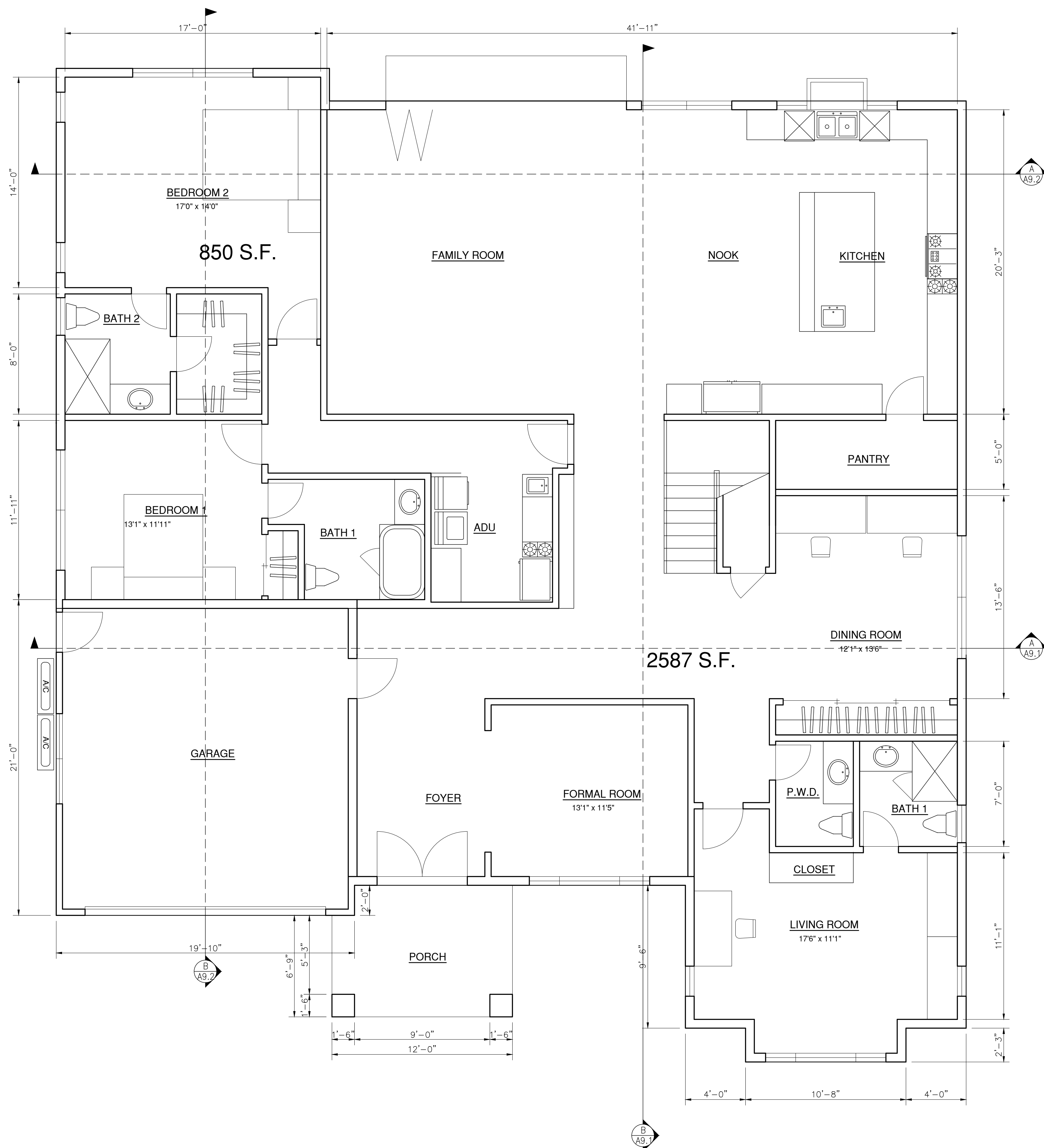
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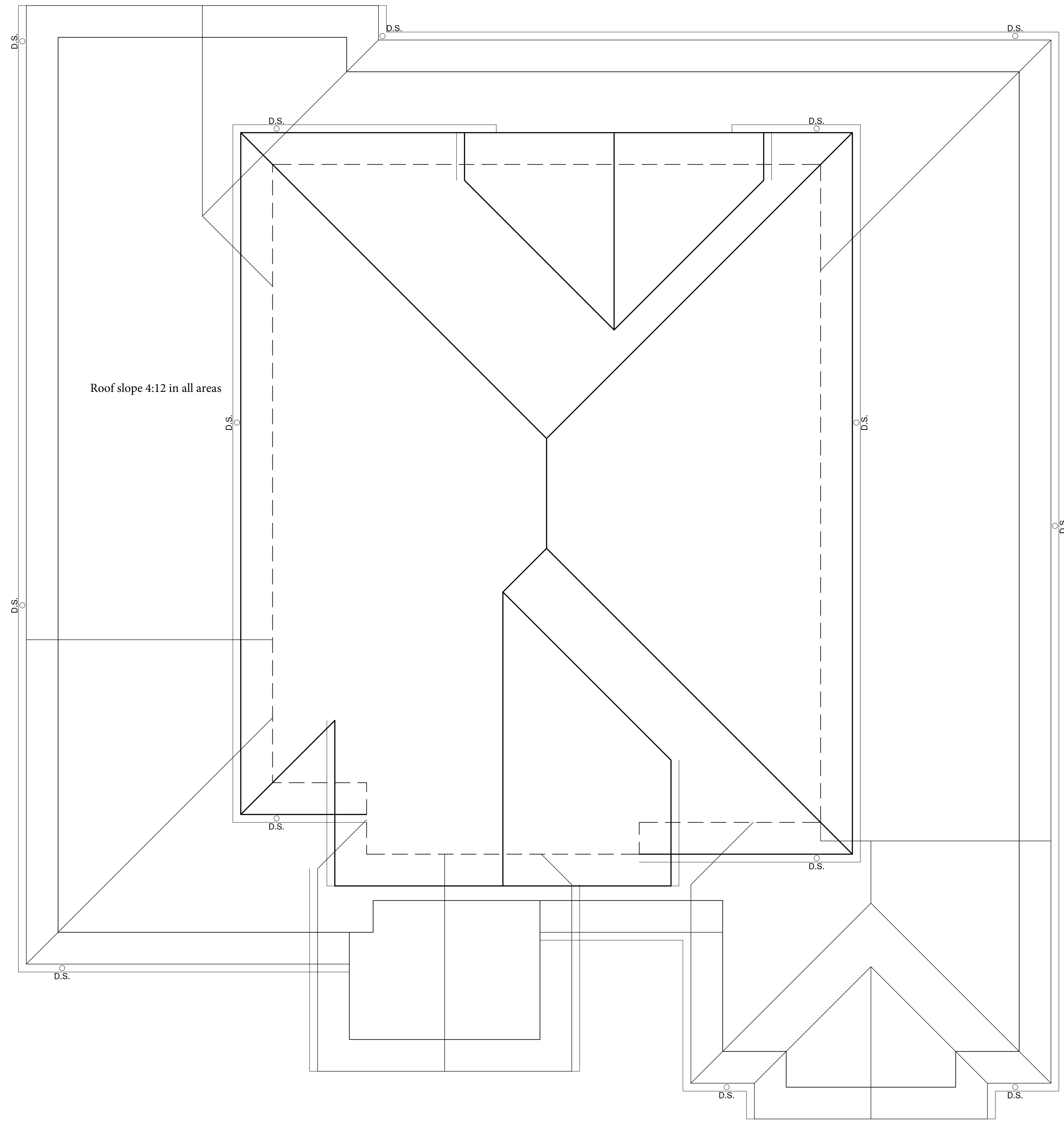
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SHEET

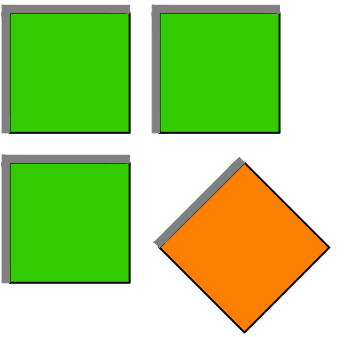
A-6

OF SHEETS





Roof slope 4:12 in all areas



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REVISIONS:

SHEET TITLE:

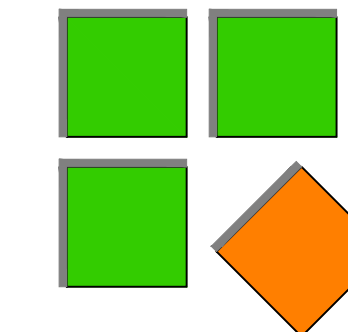
ROOF PLAN

DATE	PROJECT NO.
Sep, 2022	22-

SCALE	DRAWN
AS SHOWN	HC

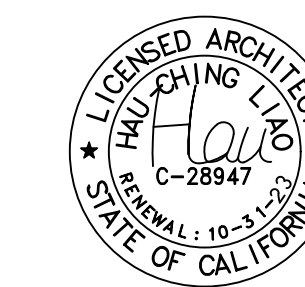
SHEET

A-7



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YAGNIK RESIDENCE & ADU
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REVISIONS:

SHEET TITLE:

ELEVATION

DATE PROJECT NO.

Sep, 2022 22-

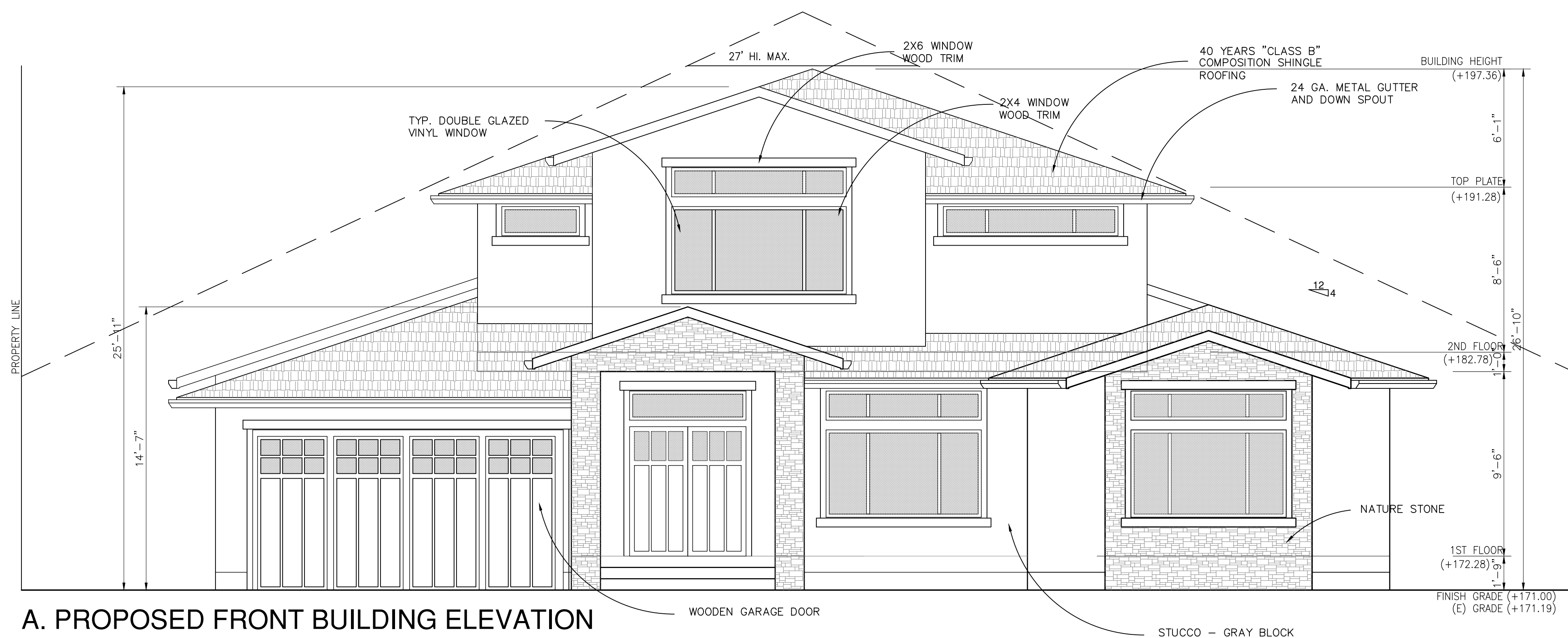
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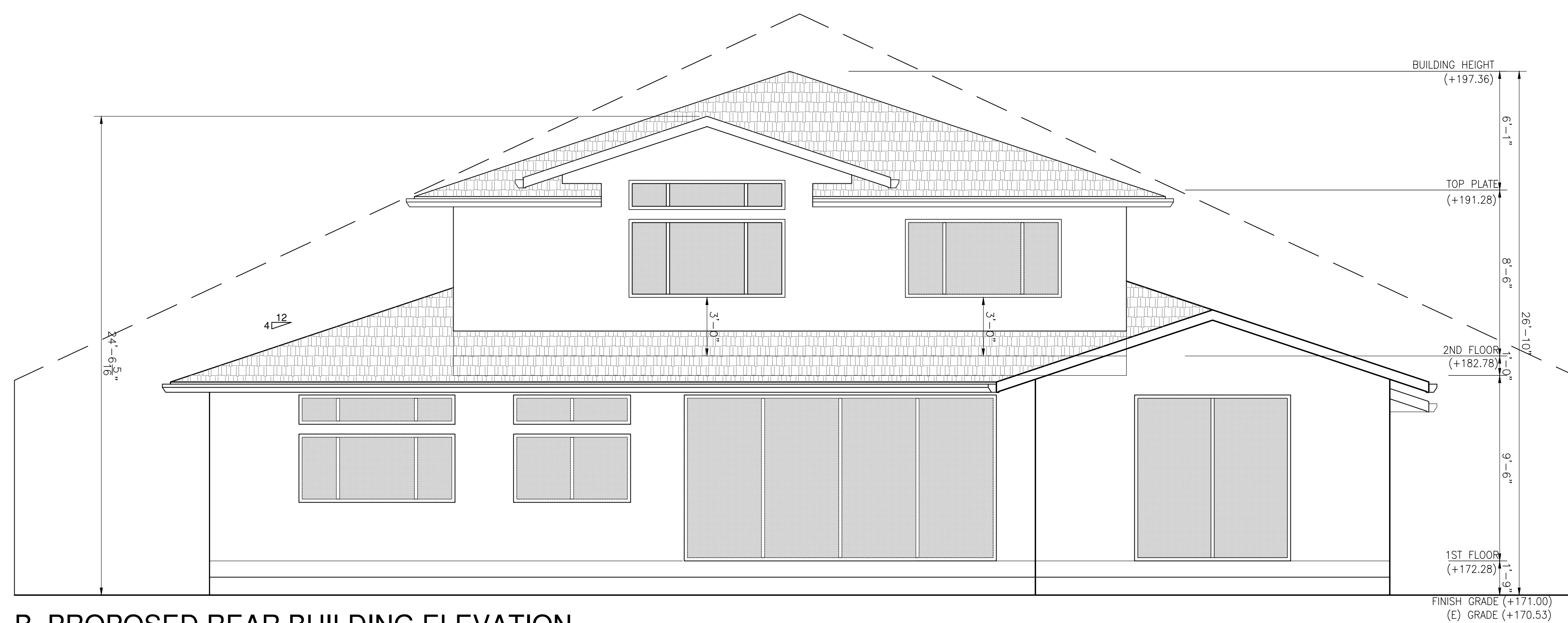
SHEET

A-8.1

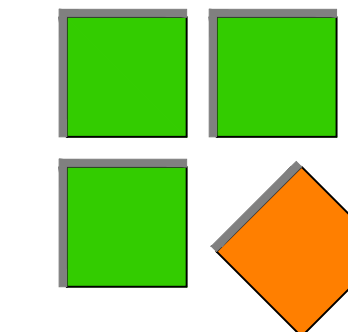
OF SHEETS



A. PROPOSED FRONT BUILDING ELEVATION

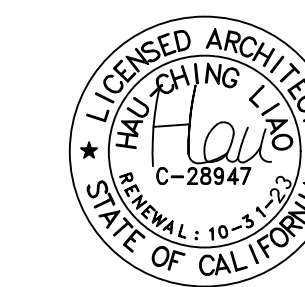


B. PROPOSED REAR BUILDING ELEVATION



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REVISIONS:

SHEET TITLE:

ELEVATION

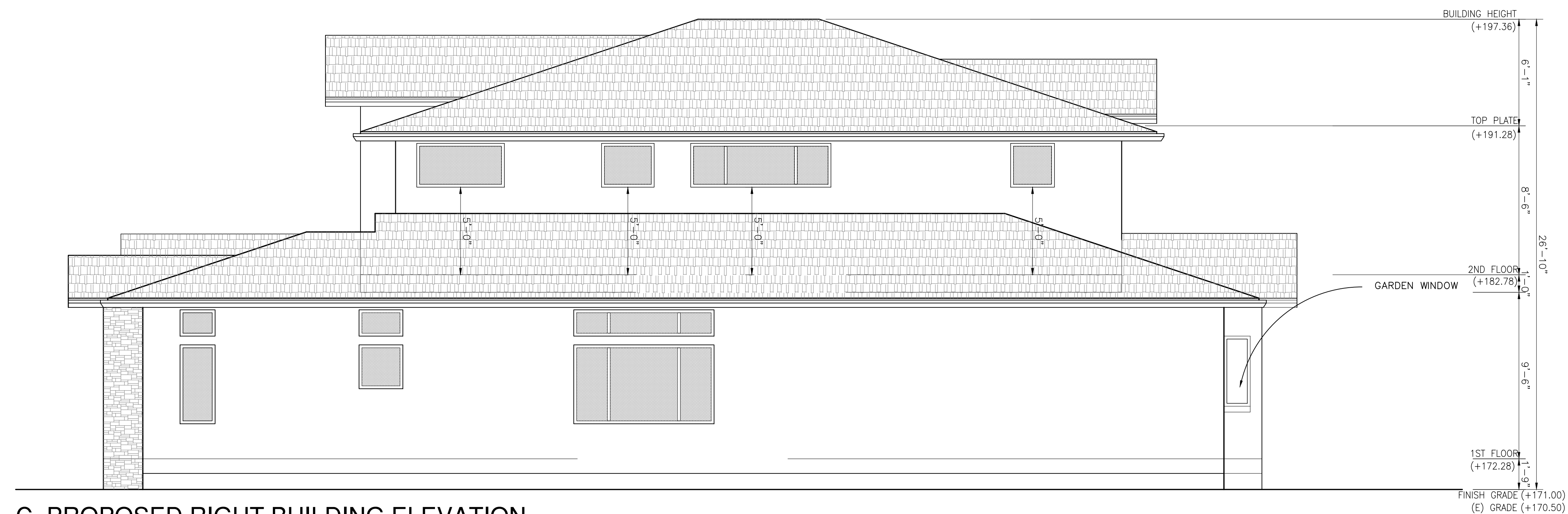
DATE: Sep, 2022 PROJECT NO.: 22-

SCALE: AS SHOWN DRAWN: HC

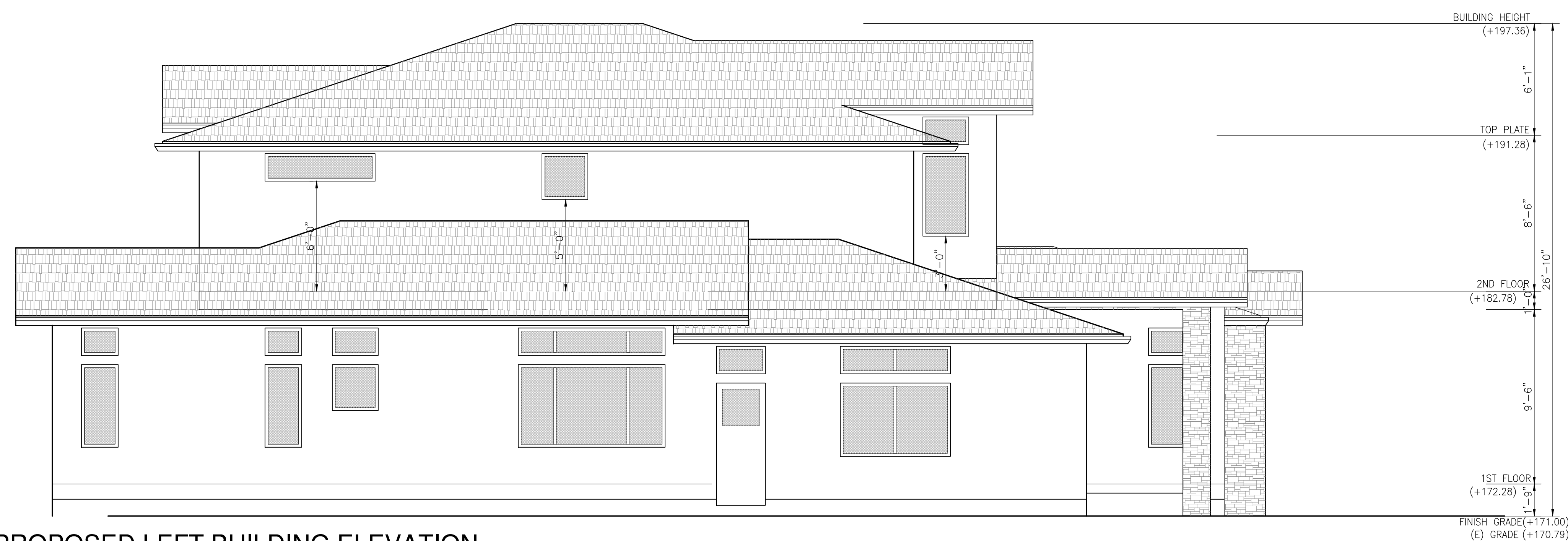
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A-8.2

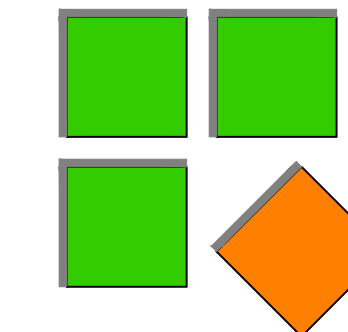
OF SHEETS



C. PROPOSED RIGHT BUILDING ELEVATION

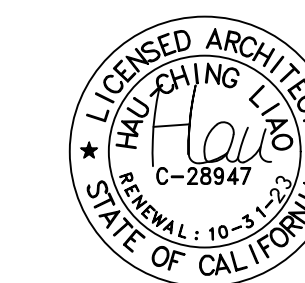


D. PROPOSED LEFT BUILDING ELEVATION



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REVISIONS:

SHEET TITLE:

SECTION – MAIN

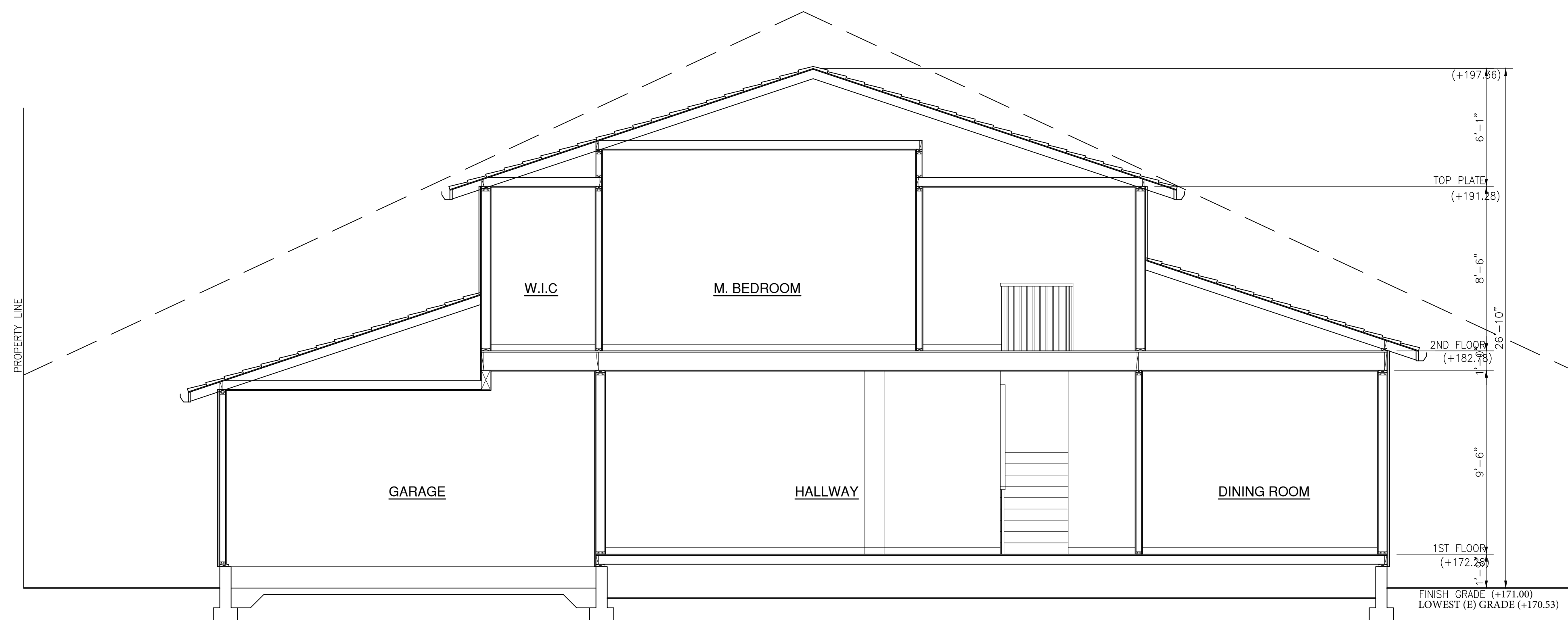
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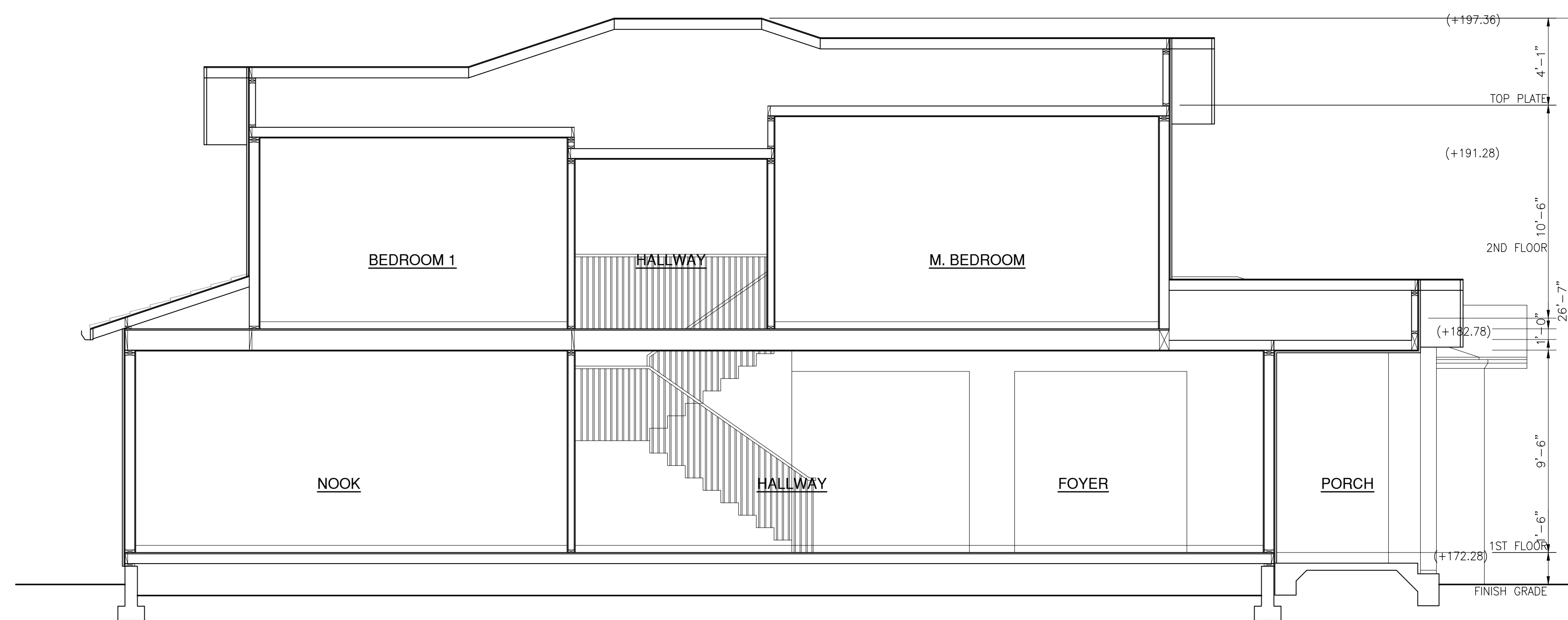
SHEET

A-9.1

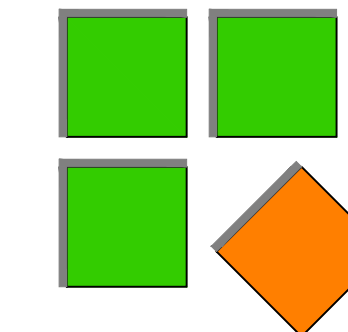
OF SHEETS



A. PROPOSED CROSS SECTION

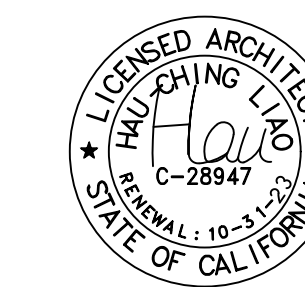


B. PROPOSED CROSS SECTION

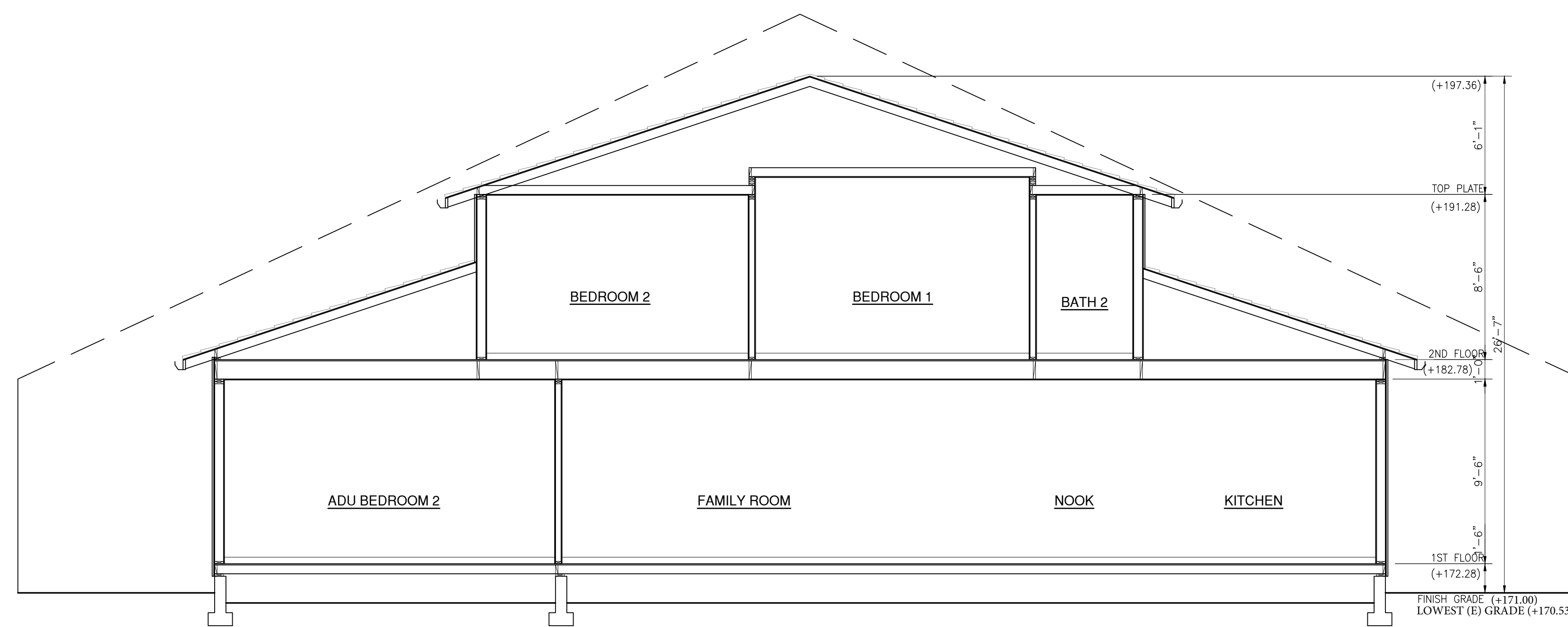


Silicon Valley Custom Homes, LLC

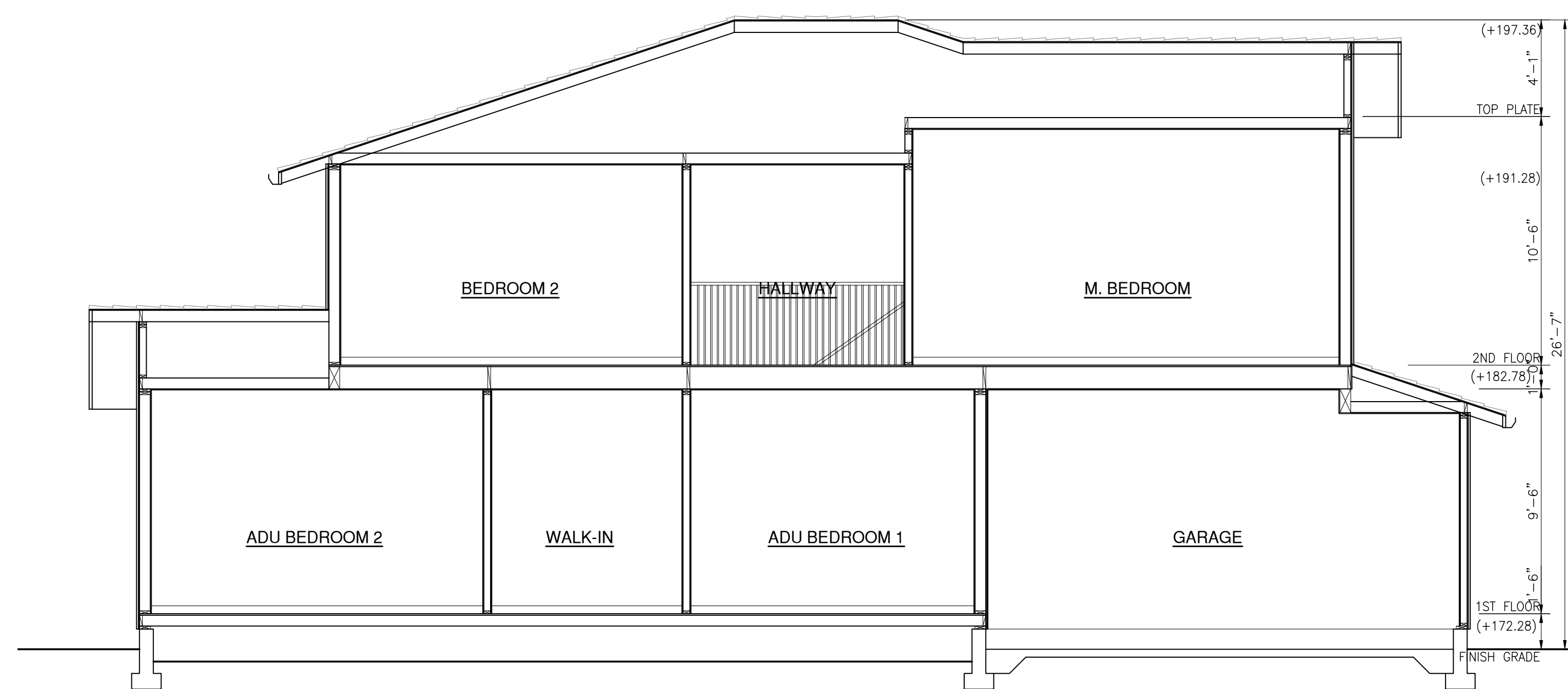
682 Villa Street, Suite C1
Mountain View, CA 94041
www.svcustomhomes.com
(408) 204-0345



OWNER:
JAY & NIYATI YAGNIK
3368 MILTON COURT
MOUNTAIN VIEW, CA 94040
(650) 450-3729



A. PROPOSED ADU CROSS SECTION



B. PROPOSED ADU CROSS SECTION

YAGNIK RESIDENCE & ADU
2 STORY
SINGLE FAMILY HOUSE
825 PARMA WAY
LOS ALTOS, CALIFORNIA 94024

REVISIONS:

SHEET TITLE:

SECTION - ADU

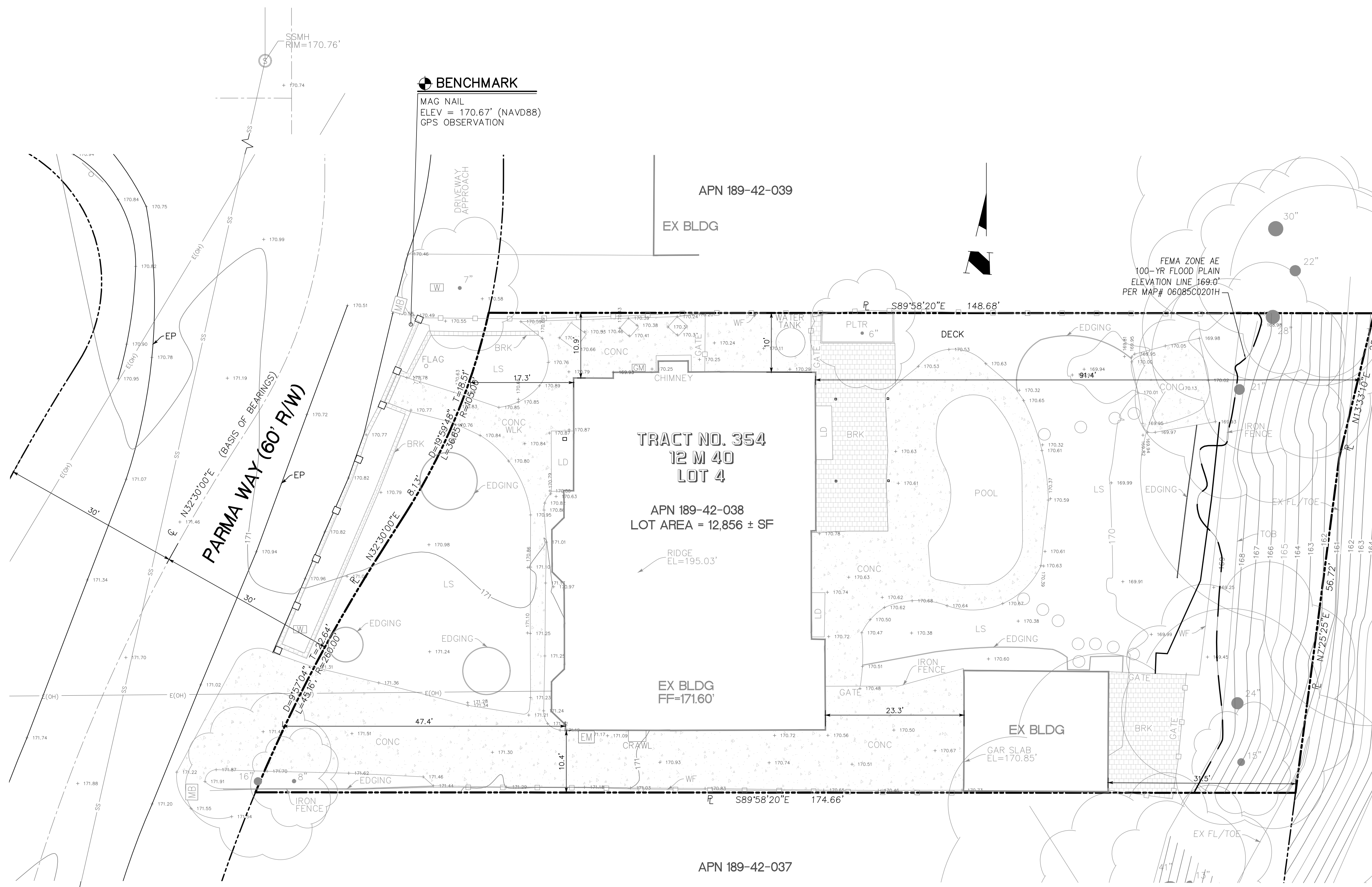
DATE: Sep, 2022 PROJECT NO.: 22-

SCALE: AS SHOWN DRAWN: HC

SHEET

A-9.2

OF SHEETS



LEGEND & ABBREVIATIONS

	BENCHMARK	AC	ASPHALT CONCRETE
	BORDER LINE	AD	AREA DRAIN
	BOUNDARY	BD	BRASS DISC
	BUILDING OUTLINE	BLDG	BUILDING
	CATCH BASIN	BOL	BOLLARD
	CENTERLINE	BRC	BACK OF ROLLED CURB
	PAVED	BSL	BUILDING SETBACK LINE
	BRICK	BWK	BACK OF WALK
	CONCRETE	BWV	BACKFLOW WATER VALVE
	EXISTING CONTOUR	CB	CATCH BASIN
	EASEMENT LINE	CG	CURB & GUTTER
	ELECTRICAL METER	CL	CENTERLINE
	EXISTING ELEVATION	CLF	CHAIN LINK FENCE
	EXISTING CHAIN LINK FENCE	CLM	COLUMN
	EXISTING WOOD FENCE	CLST	CLOSET
	EXISTING TREE AND DIAMETER	CONC	CONCRETE
	FLOW LINE	COR	CORNER
	GAS METER	DWY	DRIVEWAY
	GUY WIRE ANCHOR	EA	EASEMENT
	EXISTING HYDRANT	EC	EDGE OF CONCRETE
	JOINT POLE	ELEV	ELEVATION
	LIGHT POST	EM	ELECTRIC METER
	MANHOLE	E(OH)	ELECTRIC OVERHEAD
	STREET MONUMENT	E(UG)	ELECTRIC UNDERGROUND
	PROPERTY CORNER MONUMENT	EP	EDGE OF PAVEMENT
	MONUMENT LINE	EX	EXISTING
	PARCEL LINE / RIGHT OF WAY	FF	FINISH ELEVATION OF SUBFLOOR
	PGE BOX	FG	GROUND FINISH GRADE
	PVC PIPE AND DIAMETER	FH	FIRE HYDRANT
	SANITARY SEWER CLEAN OUT	FL	FLOW LINE
	SANITARY SEWER MANHOLE	G	GAS LINE
	SANITARY SEWER STORM DRAIN	GAR	GARAGE SLAB ELEVATION
	SETBACK LINE	GD	GROUND
	STREET SIGN	GM	GAS METER
	TREE STUMP AND DIAMETER	HC	HANDICAPPED
	UTILITY: EXISTING	INV	INVERT
	WATER METER	IEE	INGRESS AND EGRESS EASEMENT
	WATER VALVE	IP	IRON PIPE
	BOLLARD	IRR	IRRIGATION
	AREA DRAIN	LD	LANDING
	MAIL BOX	LIP	LIP OF GUTTER
	STUMP	LS	LANDSCAPED AREA
		MH	MANHOLE
		MON	MONUMENT
		PLTR	PLANTER
		PP	POWER POLE
		PRUE	PRIVATE SERVICES AND UTILITY EASEMENT
		PSDE	PRIVATE STORM DRAINAGE EASEMENT
		PSE	PUBLIC SERVICE EASEMENT
		PSSE	PRIVATE SANITARY SEWER EASEMENT
		PUE	PUBLIC UTILITY EASEMENT
		PVAE	PRIVATE VEHICLE ACCESS EASEMENT
		PVMT	PAVEMENT
		RC	ROLLED CURB
		RW	RETAINING WALL
		R/W	RIGHT OF WAY
		SDE	STORM DRAIN EASEMENT
		SSCO	SANITARY SEWER CLEANOUT
		SSE	SANITARY SEWER EASEMENT
		SSMH	SANITARY SEWER MANHOLE / LATERAL
		STLT	STREET LIGHTING BOX
		SW	SIDEWALK
		TEL	TELEPHONE BOX
		TW	TOP OF WALL
		TYP	TYPICAL
		WCE	WIRE CLEARANCE EASEMENT
		WF	WOOD FENCE
		WLE	WATER LINE EASEMENT
		WLK	WALKWAY
		WV	WATER VALVE

FEMA

ZONES:
100-YEAR BASE FLOOD ELEVATION:
COMMUNITY:
MAP NUMBER:
EFFECTIVE DATE:
FEMA INFORMATION SHOWN ON SURVEY WERE INTERPOLATED USING FEMA FIRM AND GIS MAPS FROM FEMA FLOOD MAP SERVICE WEBSITE: <https://msc.fema.gov>

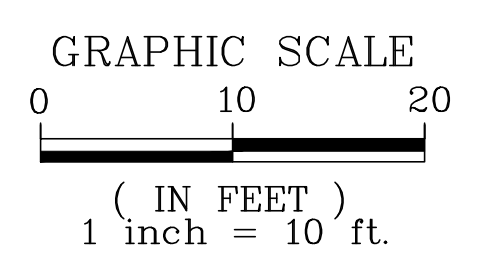
X AND AE
169.0'
SANTA CLARA COUNTY
CITY OF LOS ALTOS,
06085C0201H
MAY 18, 2009

BASIS OF BEARINGS

THE BEARINGS SHOWN ON THIS MAP ARE BASED ON THE CENTERLINE OF PARMA WAY, AS SHOWN AS N32°30'00"E ON TRACT NO. 354, RECORDED IN BOOK 12 OF MAPS, AT PAGE 40, SANTA CLARA COUNTY RECORDS.

NOTES

- PHYSICAL ITEMS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE SURFACE ITEMS VISIBLE AS OF THE DATE OF THIS SURVEY AND FROM AVAILABLE RECORD DATA. SUBSURFACE OBJECTS, IF ANY, MAY NOT BE SHOWN. SAID SUBSURFACE OBJECTS MAY INCLUDE, BUT ARE NOT LIMITED TO, UNDERGROUND, UTILITY LINES, UTILITY VAULTS, CONCRETE FOOTINGS, SLABS, SHORING, STRUCTURAL PILES, PIPING, UNDERGROUND TANKS, AND ANY OTHER SUBSURFACE STRUCTURES NOT REVEALED BY A SURFACE INSPECTION.
- DIMENSIONS SHOWN HEREON ARE GROUND DISTANCES IN FEET AND DECIMALS THEREOF.
- NO PROPERTY CORNERS ARE PROPOSED TO BE SET BY THIS SURVEY.
- TREE TRUNK LOCATIONS ARE APPROXIMATE. TREES THAT CROSS A PROPERTY LINE AT GROUND LEVEL SHOULD BE CONSIDERED TO BE JOINTLY OWNED BY THE RESPECTIVE PROPERTY OWNERS. CONSULT AN ARBORIST FOR DETAILS.



SURVEYOR'S STATEMENT

THIS TOPOGRAPHIC SURVEY WAS PERFORMED BY ME OR UNDER MY DIRECTION.
Woon Chui
H. W. CHUI
RCE NO. 32912
DATE: 08/14/2022
EXP.06-30-2024



BOUNDARY MAP AND TOPOGRAPHIC SURVEY
825 PARMA WAY
APN 189-42-038

Los Altos
California

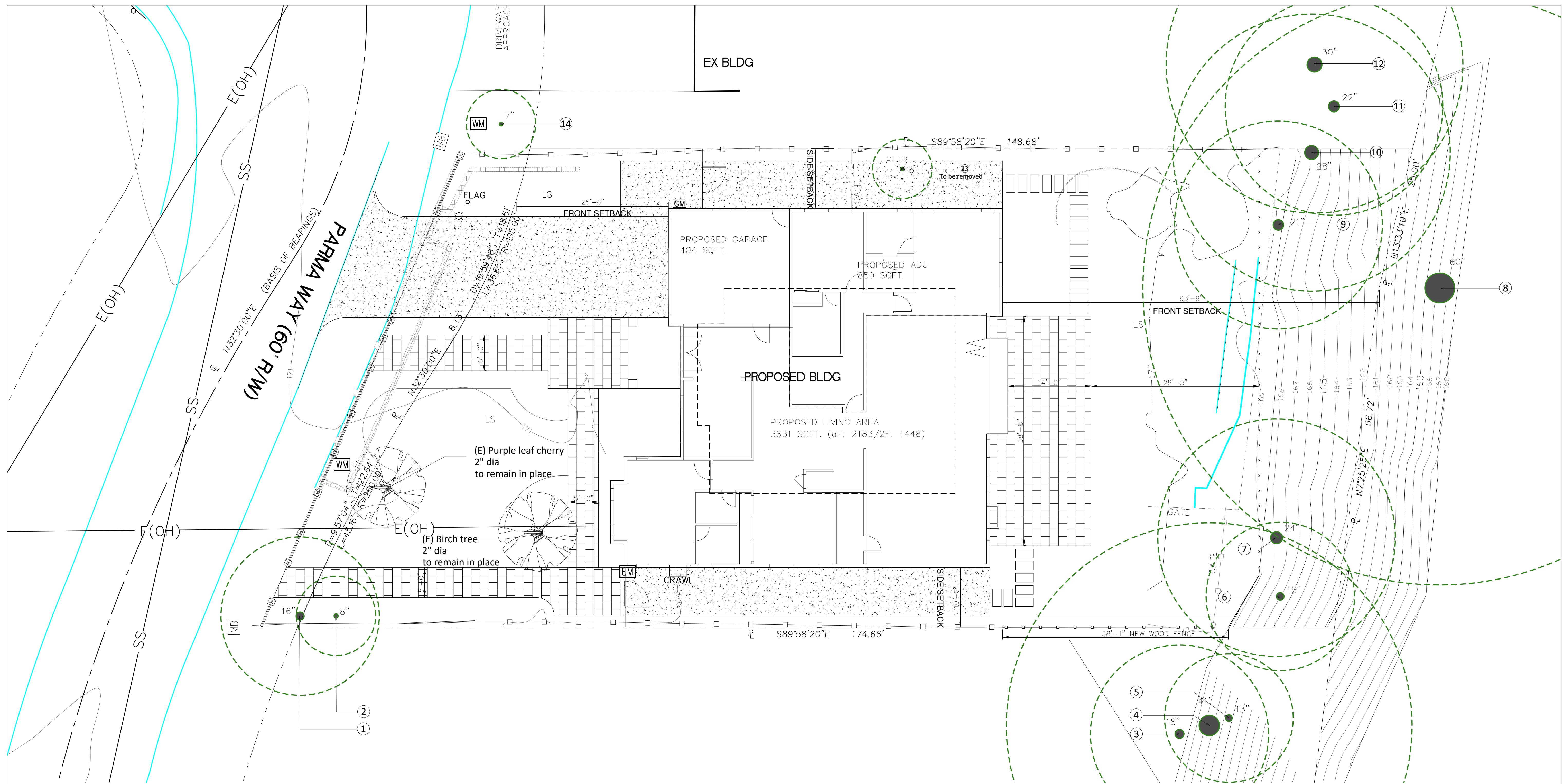
DESIGNED: 08/14/2022
DRAWN: 08/14/2022
SCALE: 1" = 10'
CHECKED: 08/14/2022

FILE NO.	DATE	BY	APP'D	REVISIONS	NO.
1	08/14/2022				

RESIDENTIAL
LANDSCAPE
PLAN

Property Owner:
Jay and Niyati Yahnk
825 Parma Way
Los Altos, CA 94024

Plan Prepared by
Muzik Design Studio
Agnes Tung/Xiaoyan Sun
(239) 410-9251
agnesytung@gmail.com



Legend

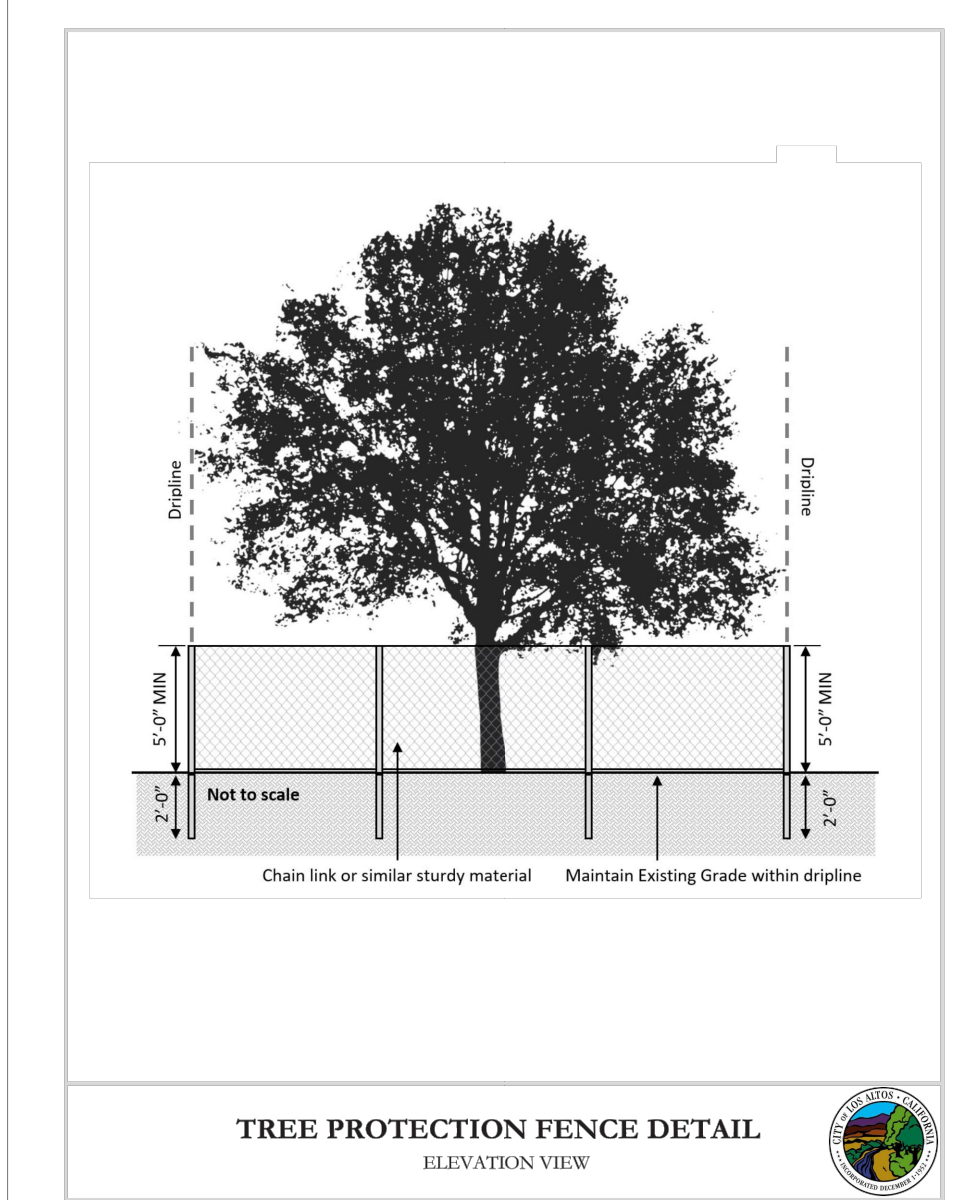
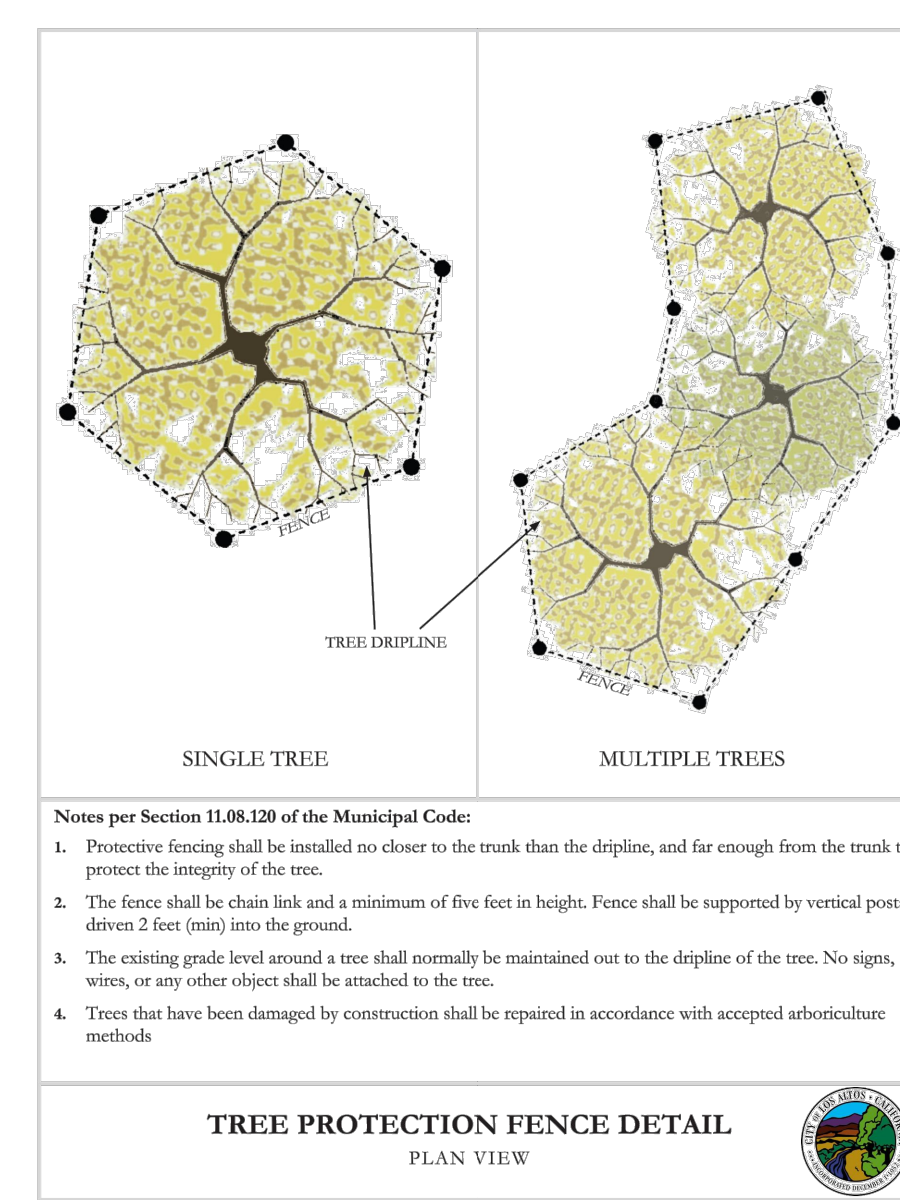
- Existing Tree dripline (Tree dia larger than 4")
- Existing Tree to remove
- Existing Tree to remain (less than 4" dia)

Tree Protection

TREE PROTECTION ZONES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE ENTIRE LENGTH OF THE PROJECT. PRIOR TO THE COMMENCEMENT OF ANY DEVELOPMENT PROJECT, A CHAIN LINK FENCE SHALL BE INSTALLED AT ABOUT THE DRIP LINE (WHERE POSSIBLE) OF ANY PROTECTED TREE WHICH WILL OR WILL NOT BE AFFECTED BY THE CONSTRUCTION. THE DRIP LINE SHALL NOT BE ALTERED IN ANY WAY SO AS TO INCREASE THE ENCORACHMENT OF THE CONSTRUCTION. FENCING FOR THE PROTECTION ZONES SHOULD BE 6 FOOT TALL METAL CHAIN LINK TYPE SUPPORTED BY 2 INCH METAL POLES POUNDED INTO THE GROUND BY NO LESS THAN 2 FEET. THE SUPPORT POLES SHOULD BE SPAED NO MORE THAN 10 FEET APART ON CENTER. SIGNS SHOULD BE PLACED ON FENCING SIGNIFYING "TREE PROTECTION ZONE - KEEP OUT". NO MATERIALS OR EQUIPMENT SHOULD BE STORED OR CLEANED INSIDE THE TREE PROTECTION ZONES. EXCAVATION, GRADING, SOIL DEPOSITS, DRAINAGE AND LEVELING ARE PROHIBITED WITHIN THE TREE PROTECTION ZONES. NO WIRES, SIGNS, OR ROPES SHALL BE ATTACHED TO THE PROTECTED TREES ON SITE. UTILITY SERVICES AND IRRIGATION LINES SHALL ALL BE PLACED OUTSIDE OF THE TREE PROTECTION ZONES.

Existing Tree List

Symbol	Botanical Name	Common Name	Tree DBH (DIA.)	TPZ (RAD.)	Protected tree	Tree removal	Location	Reason to remove
1	Quercus agrifolia	Coast live oak	16"	13'-4"	Yes	No	Driveway	
2	Quercus agrifolia	Coast live oak	8"	6'-8"	Yes	No	Driveway	
3	Quercus agrifolia	Coast live oak	18"	15'-0"	Yes	No	#839 yard	
4	Quercus agrifolia	Coast live oak	41"	34'-2"	Yes	No	#839 yard	
5	Quercus agrifolia	Coast live oak	13"	10'-10"	Yes	No	#839 yard	
6	Quercus agrifolia	Coast live oak	24"	20'-0"	Yes	No	Backyard	
7	Quercus agrifolia	Coast live oak	16"	13'-4"	Yes	No	Backyard	
8	Quercus agrifolia	Coast live oak	60"	50'-0"	Yes	No	Backyard	
9	Quercus agrifolia	Coast live oak	21"	17'-6"	Yes	No	Backyard	
10	Quercus agrifolia	Coast live oak	28"	23'-4"	Yes	No	Backyard	
11	Quercus agrifolia	Coast live oak	22"	18'-4"	Yes	No	#805 yard	
12	Quercus agrifolia	Coast live oak	30"	25'-0"	Yes	No	#805 yard	
13	Prunus x cistena	Purpleleaf Sand Cherry	6"	5'-0"	No	Yes	Left sideyard	too close to building
14	Pistacia chinensis	Chinese pistache	7"	5'-10"	No	No	#805 yard	

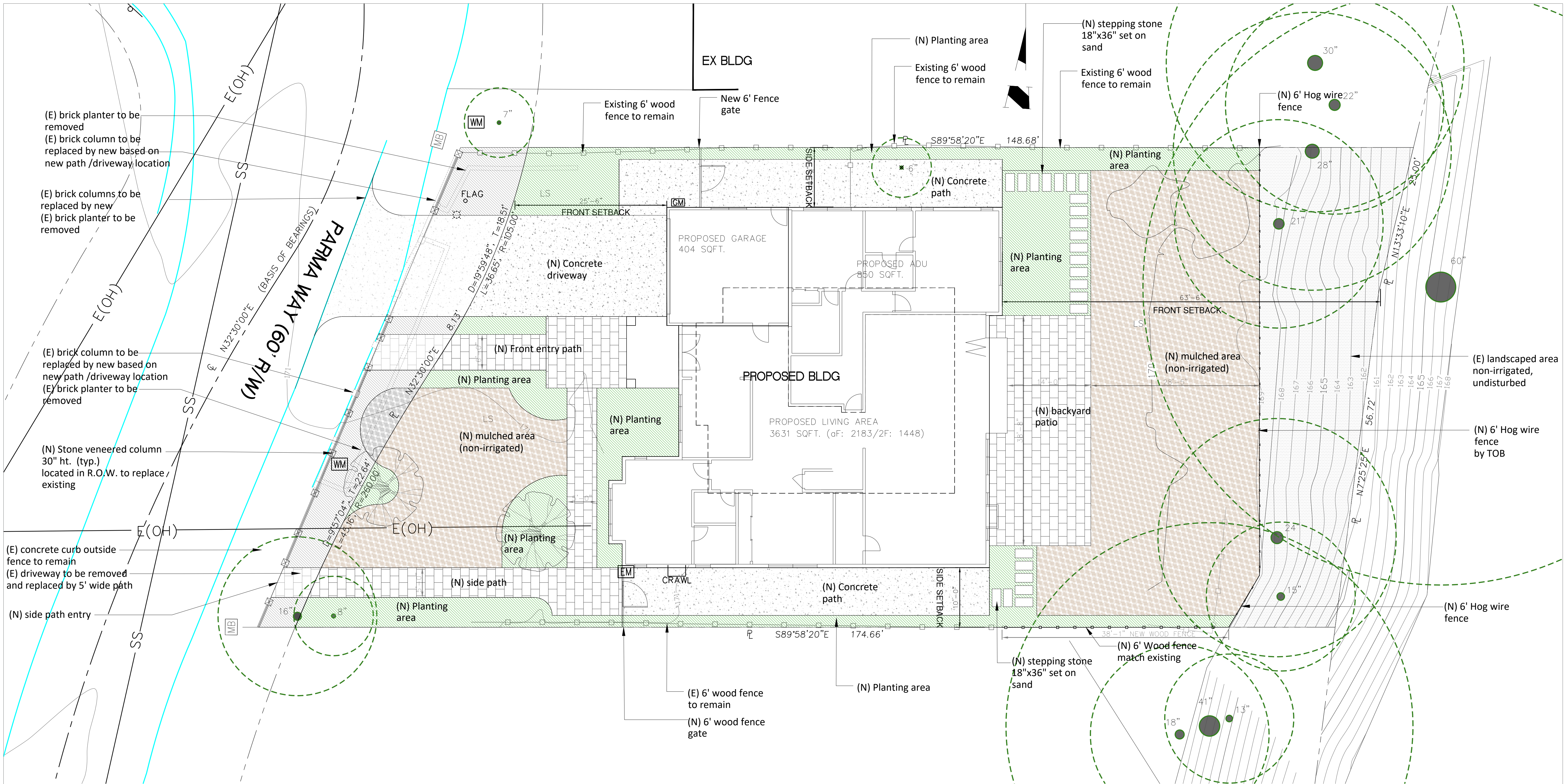


Drawing Title
Existing Tree Plan and Tree Protection

Drawing Scale
1/8"=1'-0"

Sheet Title
L-1

12/13/2022



LEGEND

	Concrete area		Concrete area encroached into R.O.W.
	Concrete Paver area		Concrete Paver area encroached into R.O.W.
	Planting area		Planting area encroached into R.O.W.
	Mulch area		Mulch area encroached into R.O.W.
	Existing softscape (undisturbed)		
	New hog wire fence		
	Existing 6-foot wood fence		
	New column with stone veneer 18"x18"x30" material match architectural material Location match existing column in R.O.W.		

SITE DATA

Category	Area (sq. ft.)	Percentage
Front Landscape		
Total Area	3119	100%
Impervious area	1342	43.03%
Mulch and Planting	1777	56.97%
Site Landscape		
Lot size	12856	100%
Building coverage	3436	49.25%
Porch, landing and steps	102+48+12=162	
Driveway	510	
sideyard path	900	
Concrete paved area	1323	
Landscape Pervious area	6525	50.75%
Landscaping Breakdown		
Total hardscape area (driveway + path, paved)	2733 s.f.	
Total softscape area	6525 s.f.	
New softscape, irrigated	Planting 1970 s.f.	
New softscape, non irrigated	Mulch 3055 s.f.	
Existing softscape, undisturbed, non-irrigated	1500 s.f.	

- LANDSCAPE GENERAL NOTES**
- VERIFY LOCATION OF ALL BUILDINGS, WALLS, ROADS AND CURBS AFFECTING LANDSCAPE SCOPE OF WORK WITH RELEVANT ARCHITECTURAL AND ENGINEERING DRAWINGS PRIOR TO COMMENCING SITE WORK.
 - VERIFY LOCATION OF ALL VAULTS, ELECTRICAL DUCT BANKS, MANHOLES, CONDUIT AND PIPING, DRAINAGE STRUCTURES, LIGHTING AND OTHER UTILITIES WITH THE APPROPRIATE ENGINEER'S DRAWINGS.
 - WHERE NOT SHOWN ON LANDSCAPE DRAWINGS, SEE CIVIL ENGINEERING DRAWINGS FOR ROADWAY CENTERLINE, STATION POINTS, BENCH MARKS AND BUILDING SETBACKS.
 - TAKE ALL DIMENSIONS FROM CENTER OF CURB, WALL OR BUILDING, OR TO CENTERLINE OF BUILDING COLUMNS OR TREES UNLESS OTHERWISE NOTED.
 - ALL ITEMS DESIGNATED AS "SIMILAR" OR "TYPICAL" (TYP) SHALL BE CONSTRUCTED IN THE MANNER OF THE DETAIL REFERENCED, WITH MINOR ADJUSTMENT FOR SPECIFIC CONDITION.
 - SITE DESIGN BASED ON TOPOGRAPHIC INFORMATION FROM ARCHITECT. ALL GRADES TO BE VERIFIED IN FIELD.
 - SPECIFICATIONS FOR CONSTRUCTION METHODS AND MATERIALS NOT LISTED.
 - SHOULD CONFLICTS ARISE BETWEEN DRAWINGS AND SPECIFICATIONS, DRAWINGS SHALL GOVERN DIMENSIONS AND QUANTITY, SPECIFICATIONS SHALL GOVERN MATERIALS AND FINISHES.
 - ALL ELECTRICAL WORK TO COMPLY WITH CITY OF SUNNYVALE SPECIFICATIONS AND UNDERWRITERS LABORATORIES (UL) SPECIFICATIONS.
 - PLANT PROTECTION: ALL WORK PERFORMED WITHIN THE DRIP LINE OF TREES DESIGNATED "EXISTING TREES TO REMAIN" SHALL BE HAND LABOR. SEE LANDSCAPE PLAN FOR RESTRICTIONS.
 - CONTRACTOR IS RESPONSIBLE FOR PHOTO DOCUMENTATION OF ALL CLOSED IN WORK.
 - ALL EARTHWORK, INCLUDING SITE CLEARING, PIER DRILLING AND SPREAD FOOT EXCAVATION, PREPARATION OF SUBGRADE AND SELECT FILL BENEATH SLABS-ON-GRADE AND OTHER FLATWORK, PLACEMENT AND COMPACTION OF ENGINEERED FILL, AND SURFACE AND SUBSURFACE DRAINAGE SHOULD BE PERFORMED IN ACCORDANCE WITH THE RECOMMENDATIONS BY STRUCTURAL ENGINEER. STRUCTURAL ENGINEER SHOULD BE PROVIDED AT LEAST 48 HOURS ADVANCED NOTIFICATION OF ANY EARTHWORK OPERATIONS AND SHOULD BE PRESENT TO OBSERVE AND/OR TEST OF NECESSARY TO EARTHWORK AND FOUNDATION INSTALLATION PHASES OF THE PROJECT.
 - PROPERTY LINES ARE SHOWN FOR REFERENCE ONLY AND ADDED PER CITY/TOWN ASSESSOR'S PARCEL MAP. IF A DISCREPANCY ARISES, A BOUNDARY SURVEY SHALL BE COMPLETED BY A LICENSED SURVEYOR TO RESOLVE THE ISSUE.
 - CONTRACTOR TO VISIT SITE TO CONFIRM EXISTING CONDITIONS PRIOR TO SUBMITTING BID. CONTRACTOR TO EXAMINE AND NOTE ALL EXISTING CONDITIONS AS THE CHARACTER AND EXTENT OF WORK INVOLVED.
 - CONTRACTOR TO REMOVE ALL OBSTRUCTIONS BOTH BELOW AND ABOVE GROUND, AS NECESSARY FOR CONSTRUCTION OF THE PROPOSED IMPROVEMENTS.
 - BID IS TO BE SUBMITTED ON A LINE ITEM BASIS WITH UNIT PRICING WHERE APPLICABLE.

RESIDENTIAL LANDSCAPE PLAN

Property Owner:
 Jay and Niyati Yahnik
 825 Parma Way
 Los Altos, CA 94024

Plan Prepared by
 Muzik Design Studio
 Agnes Tung/Xiaoyan Sun
 (239) 410-9251
 agnesytung@gmail.com

Drawing Title
Proposed Landscape Layout

Drawing Scale

Sheet Title
L-2

12/13/2022

RESIDENTIAL
LANDSCAPE
PLAN

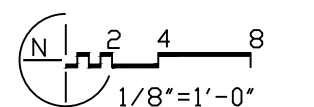
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Plan Prepared by
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Agnes Tung/Xiaoyan Sun
(239) 410-9251
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Drawing Title

Proposed
Planting
Plan

Drawing Scale



Sheet Title

L-3

12/13/2022



Symbol	Quantity	Botanical Name	Common Name	Specification	Ht. x spread	Water usage	Native
Plant List							
Tree							
PRU	1	Prunus x cistena	Purpleleaf Sand Cherry	existing, 2" dia	25'x25'	M	No
BET	1	Betula nigra	River Birch	existing, 2" dia	40'x30'	L	No
CRP	3	Lagerstroemia indica x fauriei 'Tonto'	Semi-dwarf Crape Myrtle	15 gal, tree form, std	15'x8'	L	No
Shrubs							
POD	5	Podocarpus elongatus 'monmal'	Icee Blue Yellow-Wood	15 Gal	20'x8'	L	No
PIT	7	Pittosporum tobira	Japanese cheesewood	15 Gal	6'x6'	L	No
MOR	21	Morella californica	Pacific Wax myrtle	15 Gal	8'x6'	L	Yes
AGA	10	Agapanthus africanus	Lily of Nile	5 Gal.	4'x5'	L	No
COR	1	Furcraea foetida	False Agave	Min. 2 Gal.	6'x6'	VL	No
COL	5	Coleonema pulchellum	Pink Breath of Heaven	5 Gal	3'x3'	M	No
ROS	29	Rosa x 'Noasplash' or spp	flower carpet ground cover roses	5 Gal.	2'x3'	VL	No
DIE	6	Diets iridioides	Fortnight Lily	5 Gal.	4'x4'	VL	No
VINE							
TEC	7	Tecomaria capensis	Cape honeysuckle	5 Gal.	8'x8'	L	No

Total Plants: 96
Very Low /Low water Plants: 90
Percentage of low water used plant: 93.75 %

Notes:
1. All pictures references online pictures
2. Water usage of plant is referred from online plant database of Bay Area Water Supply & Conservation Agency

TREE



Prunus cerasifera
Purpleleaf Sand Cherry
Water Usage: Medium
Growth Rate: Fast
Mature Size: 25'x25'



Betula nigra
River Birch
Water Usage: Low
Growth Rate: Fast
Mature Size: 40'x30'



Lagerstroemia indica x fauriei 'Tonto'
semi-dwarf crape myrtle
Water Usage: Low
Growth Rate: Fast
Mature Size: 15'x8'

SHRUBS



Podocarpus elongatus 'Monmal'
Blue Ice Yellowwood
Water Usage: Low
Growth Rate: Medium
Mature Size: 20'x8'



Pittosporum tobira
Japanese cheesewood
Water Usage: low
Growth Rate: Fast
Mature Size: 6'x6'

SHRUB



Morella californica
pacific wax myrtle
Water Usage: Low
Growth Rate: Fast
Mature Size: 8'x6'



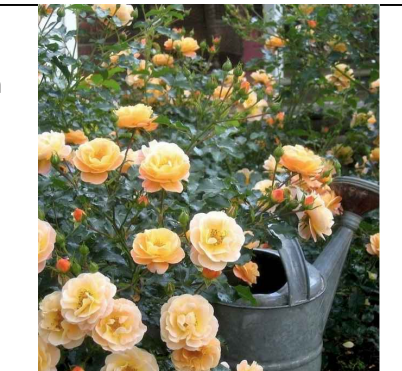
Agapanthus africanus
Lily of Nile
Water Usage: Low
Growth Rate: Fast
Mature Size: 4'x5'



furcraea foetida
False agave
Water Usage: Low
Growth Rate: Fast
Mature Size: 6'x6'



coleonema pulchellum
pink breath of heaven
Water Usage: Medium
Growth Rate: Fast
Mature Size: 3'x3'



Rosa x 'Noasplash' or spp
Flower carpet rose
Water Usage: Very Low
Growth Rate: Fast
Mature Size: 2'x3'

SHRUB



Diets iridioides
Fortnight Lily
Water Usage: Very Low
Growth Rate: Fast
Mature Size: 4'x4'



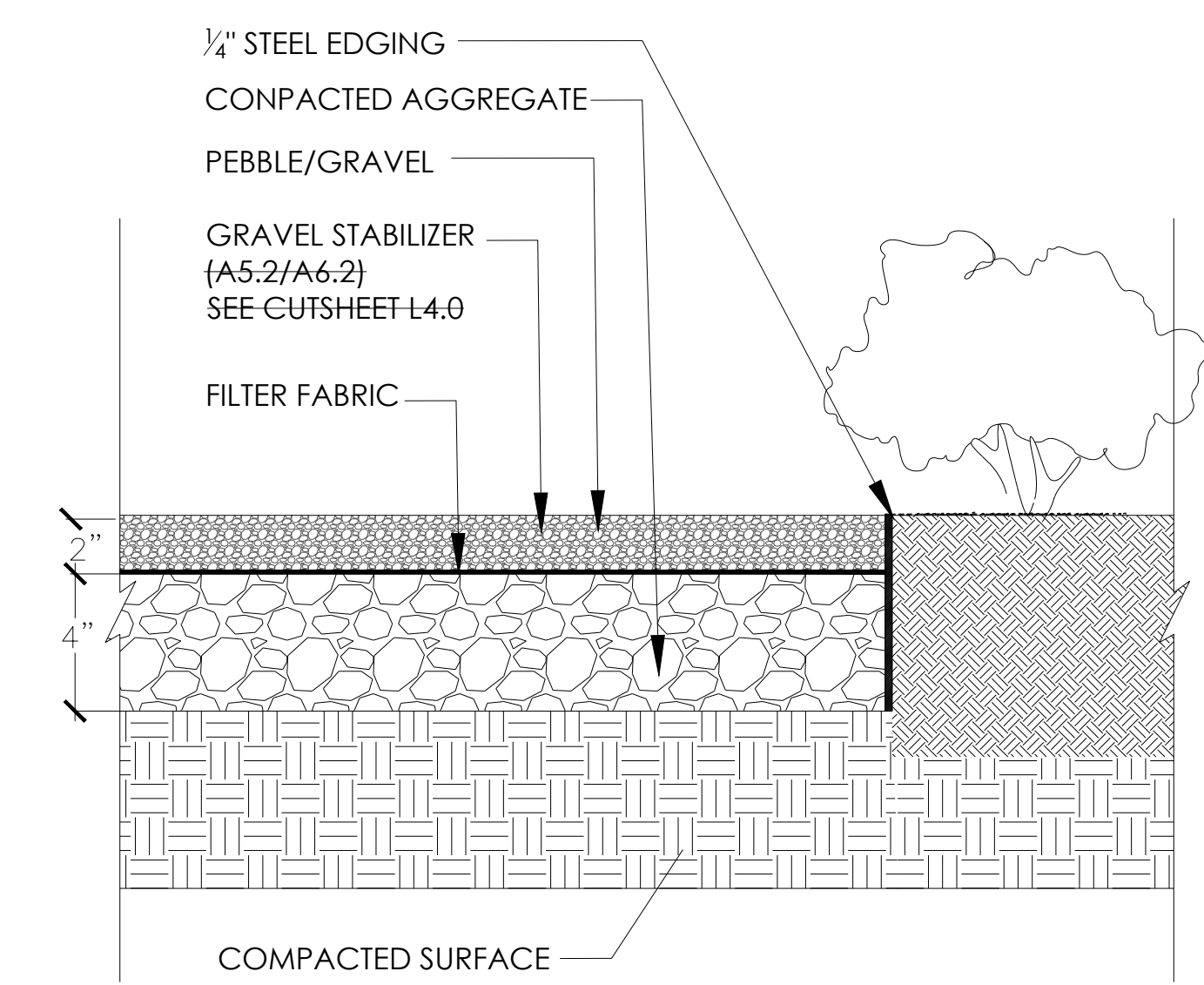
Tecomaria capensis
Cape honeysuckle
Water Usage: Very Low
Growth Rate: Fast
Mature Size: 8'x8'

PLANTING NOTES

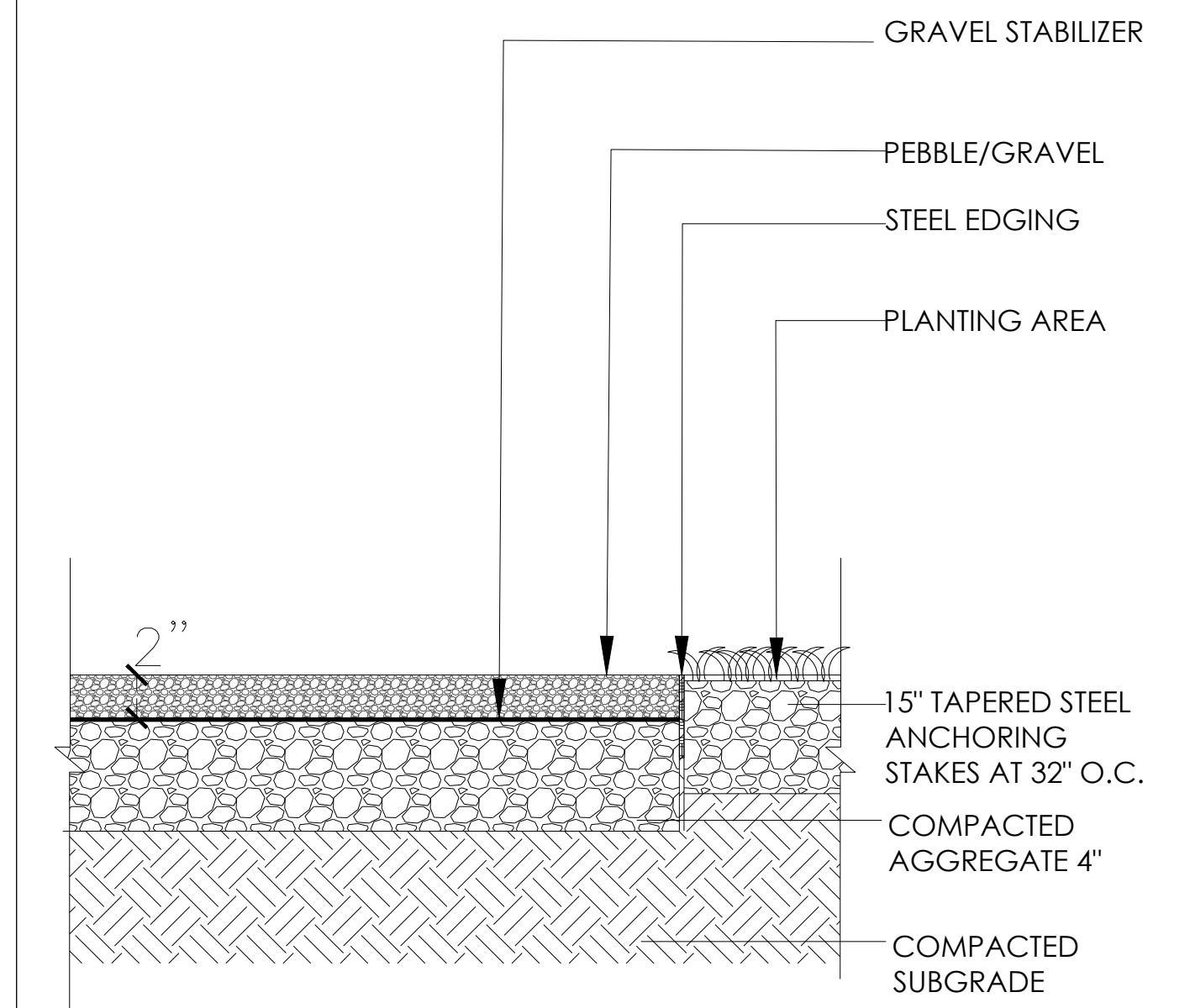
1. PROVIDE MATCHING SIZES AND FORMS FOR EACH SPECIES FOR TREES INSTALLED IN GRID OR SPACED EQUALLY IN ROWS AS SHOWN ON DRAWINGS. ALIGN TREES ACROSS ROADWAYS, DRIVES OR WALKWAYS. ADJUST SPACING AS NECESSARY.
2. PROVIDE MATCHING SIZES AND FORMS FOR ALL HEDGE PLANTINGS. SPACE EQUALLY ON TRIANGULAR OR GRID SPACING AS CALLED FOR ON DETAIL. WHERE GROUND COVER IS SHOWN AS A HATCH, QUANTITIES ARE NOT GIVEN. PROVIDE PLANT MATERIAL TO FILL SPACE SHOWN ON DRAWINGS.
3. EQUALLY SPACE VINES PLANTED IN ROWS AGAINST WALLS OR FENCES. SEE DRAWINGS FOR QUANTITY AND SPACING. REMOVE ALL VINES FROM NURSERY STAKES AND SPREAD OUT ONTO WALL PRIOR TO ATTACHING TO SURFACE.
4. PLANT NAMES ARE ABBREVIATED ON THE DRAWINGS. SEE PLANT LIST FOR KEY AND CLASSIFICATION.
5. MULCH: MULCH IS TO BE 3" MINI PINE BARK. CONFIRM SELECTION WITH OWNER/PROJECT MANAGER PRIOR TO PLANTING.
6. SOIL AMENDMENT: AMEND SOIL PER SOILS REPORT AND DIRECTION OF OWNER/PROJECT MANAGER. SOIL TEST LOCATION PER L.A.; A MINIMUM OF 2" OF FULLY STABILIZED AND CERTIFIED COMPOST IS TO BE INCORPORATED IN THE TOP 12" OF SOIL.
7. SLOW-RELEASE FERTILIZER TABLET: "AGRIFORM" 7 GRAM TABLETS WITH 20-10-5 (N-P-K) BY SCOTTS (800) 492-8255.
8. LANDSCAPE MAINTENANCE:
 - A. LANDSCAPE MAINTENANCE SHALL BE PROVIDED FOR (90 DAYS) AFTER PRELIMINARY ACCEPTANCE.
 - B. QUALIFICATIONS: LANDSCAPE CONTRACTOR OR MAINTENANCE SUBCONTRACTOR SHALL HAVE A FULL TIME EMPLOYEE ASSIGNED TO THE JOB AS FOREMAN FOR THE DURATION OF THE CONTRACT. FOREMAN SHALL HAVE A MINIMUM OF FOUR (4) YEARS EXPERIENCE IN LANDSCAPE MAINTENANCE SUPERVISION, WITH EXPERIENCE OR TRAINING IN TURF MANAGEMENT, ENTOMOLOGY, PEST CONTROL, SOILS, FERTILIZERS AND PLANT IDENTIFICATION.
 - C. MAINTENANCE CONTRACTOR TO MAINTAIN ALL PLANT MATERIALS AND IRRIGATION SYSTEM.
 - D. CONTRACTOR TO INSTRUCT MAINTENANCE CONTRACTOR.
 - E. LANDSCAPE MAINTENANCE CONTRACTOR SHALL SUBMIT MAINTENANCE SCHEDULE TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO START OF LANDSCAPE MAINTENANCE PERIOD.
 - F. AT BEGINNING OF MAINTENANCE PERIOD, VISIT AND WALK SITE WITH LANDSCAPE ARCHITECT TO VERIFY SCOPE OF WORK AND UNDERSTAND EXISTING /SITE CONDITIONS. NOTIFY LANDSCAPE ARCHITECT FIVE (5) DAYS PRIOR TO VISIT.
 - G. MATCH ALL MATERIALS WITH SAME MATERIALS USED IN ORIGINAL INSTALLATION.
 - H. STERILIZE ALL TOOLS USED PRIOR TO ANY MAINTENANCE WORK.
17. ALL TREES AND HEDGES ARE NOT TO BE TRIMMED IN GEOMETRIC FORMS AND ARE TO BE LEFT IN A NATURAL HABIT.
18. CLOSE OUT AND MAINTENANCE MANUAL: LANDSCAPE CONTRACTOR SHALL SUBMIT A MANUAL WITH ALL MATERIALS AND PRODUCTS USED IN CONSTRUCTION AND MAINTENANCE PERIOD. MAKE CORRECTIONS AND ADDITIONS PER DIRECTION OF LANDSCAPE ARCHITECT PRIOR TO FINAL SUBMITTAL TO THE OWNER. SUBMIT LOG OF ALL FERTILIZERS AND HERBICIDES WITH DATES AND RATES APPLIED DURING MAINTENANCE PERIOD. LANDSCAPE ARCHITECT SHALL WALK SITE WITH CONTRACTOR AND NOTE ALL UNSATISFACTORY WORK. UNSATISFACTORY WORK SHALL BE CORRECTED WITHIN 10 CALENDAR DAYS.

IRRIGATION NOTES

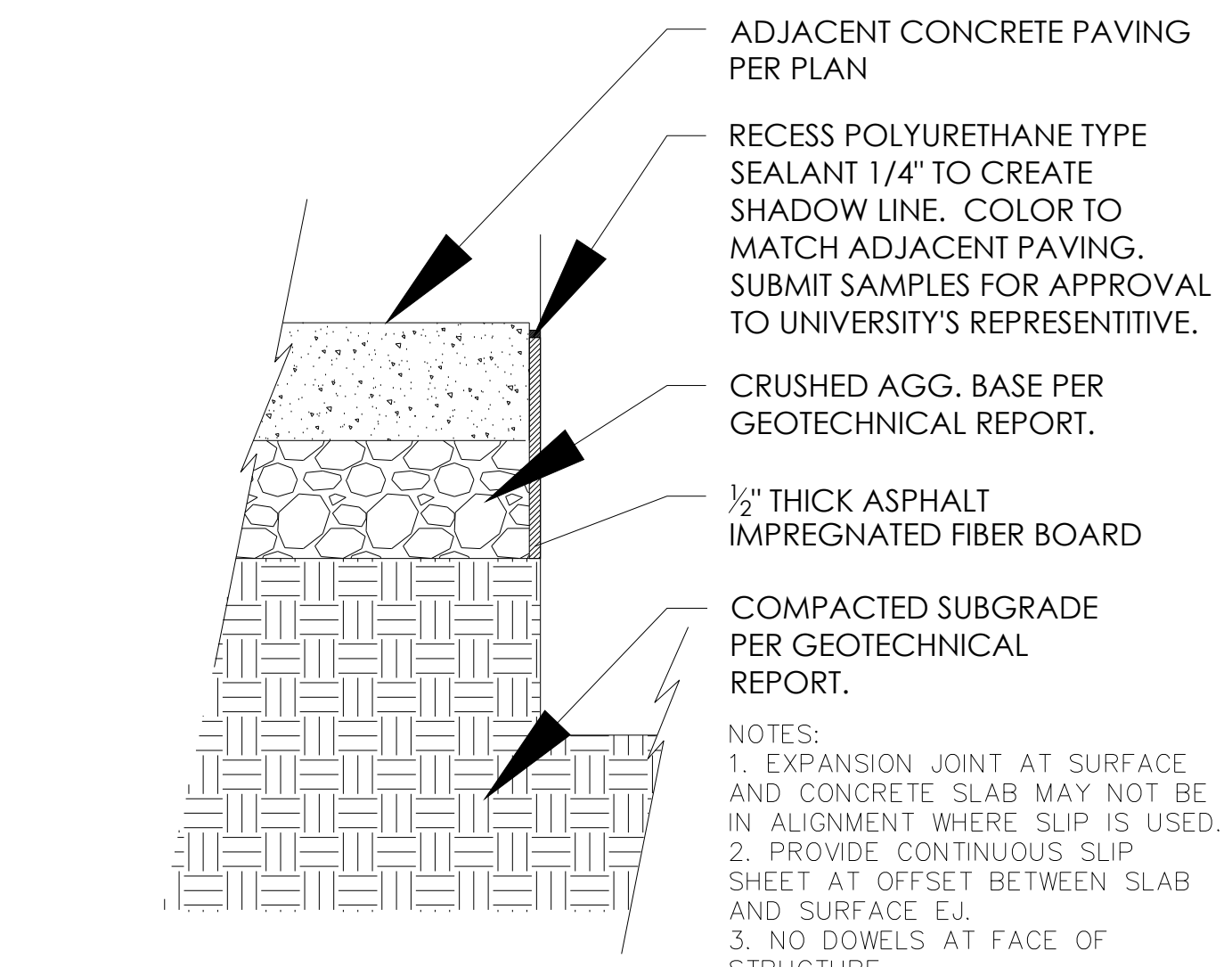
1. ONE BUBBLER SYMBOL IS SHOWN AT TREES FOR GRAPHIC CLARITY ONLY. INSTALL MINIMUM TWO BUBBLERS AT EACH TREE. INSTALL REQUIRED NUMBER OF BUBBLERS AS DETAILED.
2. IRRIGATION EQUIPMENT WITHIN HARDSCAPE FOR GRAPHIC CLARITY ONLY. INSTALL ALL IRRIGATION EQUIPMENT WITHIN PLANTED AREAS. IRRIGATION PIPE AND WIRE CROSSING BENEATH HARDSCAPE SURFACES SHALL BE CONTAINED WITHIN SLEEVING OR SCHEDULE 40 PVC CONDUIT. SLEEVING SIZE SHALL BE A MINIMUM OF TWO TIMES THE AGGREGATE DIAMETER OF ALL PIPES CONTAINED WITHIN SLEEVE. PROVIDE VERTICAL SWEEP FOR ALL ELECTRICAL CONDUIT ON EACH SIDE OF HARDSCAPE AND TERMINATE ENDS AT 12" MINIMUM DEPTH AND 12" FROM HARDSCAPE SURFACE.
3. UNSIZED LATER LINE PIPING LOCATED DOWN STREAM OF 1" PIPING SHALL BE 3/4" IN SIZE. (TYPICAL).
4. SIZING OF LATERA; PIPE SHALL BE AS FOLLOWS:
 - .75" 0-6 GPM
 - 1" 7-12 GPM
 - 1.25" 13-20 GPM
5. SIZING OF LATERAL PIPE FOR DRIPLINE (12" O.C. GRID WITH 0.6 GPH OR LESS EMITTERS) SHALL BE AS FOLLOWS:
 - .75" 0-500 FT
 - 1" 501-1100 FT
6. SIZING OF LATERAL PIPE FOR DRIPLINE (18" O.C GRID WITH 0.6 GPH OR LESS EMITTERS) SHALL BE AS FOLLOWS:
 - .75" 0-1100 FT
 - 1" 1101-2200 FT
7. AUTOMATIC IRRIGATION CONTROLLERS ARE REQUIRED AND MUST USE EVAPOTRANSPIRATION OR SOIL MOISTURE SENSOR DATA AND UTILIZE A RAIN SENSOR.
8. IRRIGATION CONTROLLERS SHALL BE A TYPE WHICH DOES NOT LOSE PROGRAMMING DATA IN THE EVENT THE PRIMARY POWER SOURCE IS INTERRUPTED.
9. PRESSURE REGULATORS SHALL BE INSTALLED ON THE IRRIGATION SYSTEM TO ENSURE THE DYNAMIC PRESSURE OF THE SYSTEM IS WITHIN THE MANUFACTURER'S RECOMMENDED PRESSURE RANGE.
10. MANUAL SHUT-OFF VALVES (SUCH AS A GATE VALVE, BALL VALVE, OR BUTTERFLY VALVE) SHALL BE INSTALLED AS CLOSE TO POSSIBLE TO THE POINT OF CONNECTION OF THE WATER SUPPLY.
11. ALL IRRIGATION EMISSION DEVICES MUST MEET THE REQUIREMENTS SET IN THE ANSI STANDARD, ASABE/ICC 802-2014 "LANDSCAPE IRRIGATION SPRINKLER AND EMITTER STANDARD." ALL SPRINKLER HEADS INSTALLED IN THE LANDSCAPE MUST DOCUMENT A DISTRIBUTION UNIFORMITY LOW QUARTER OF 0.65 OR HIGHER USING THE PROTOCOL DEFINED IN ASABE/ICC 802-2014.
12. DEDICATED IRRIGATION METERS ARE REQUIRED FOR NON-RESIDENTIAL PROJECTS WITH MORE THAN 1,000 SQ. FT. OF LANDSCAPE AREA.



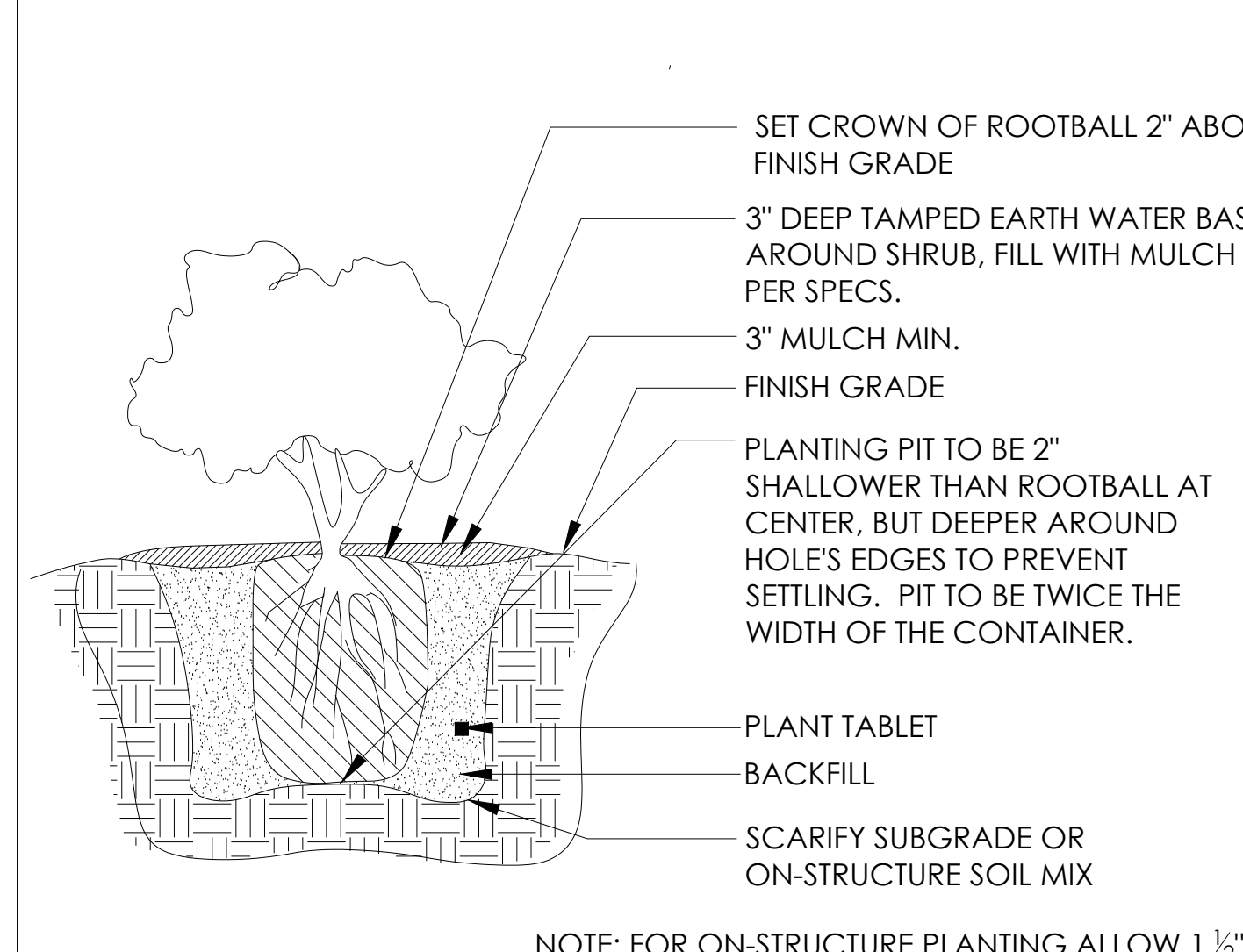
6 PLANTING NEXT TO PEBBLE
N.T.S.



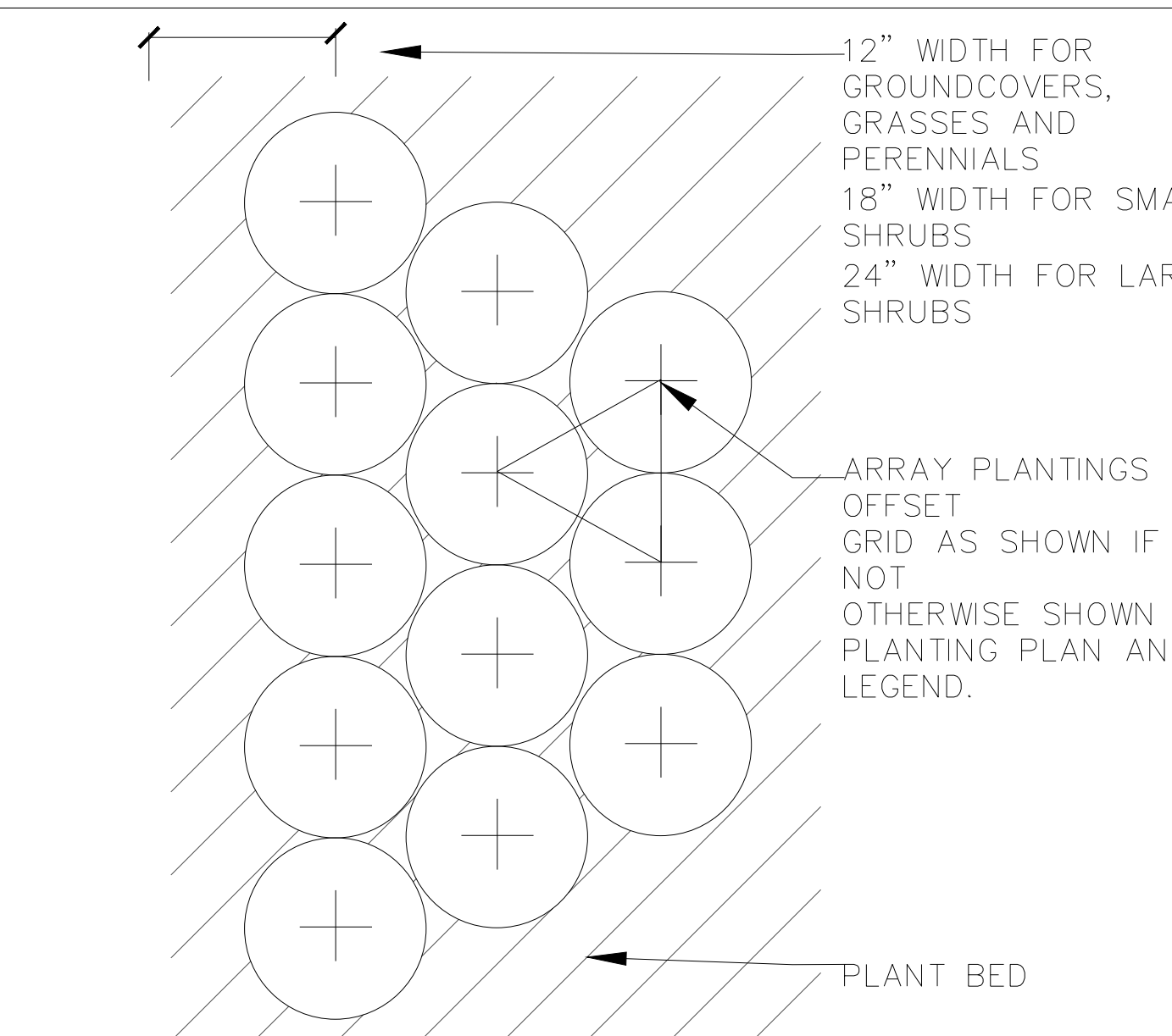
3 PEBBLE WITH STEEL EDGE
N.T.S.



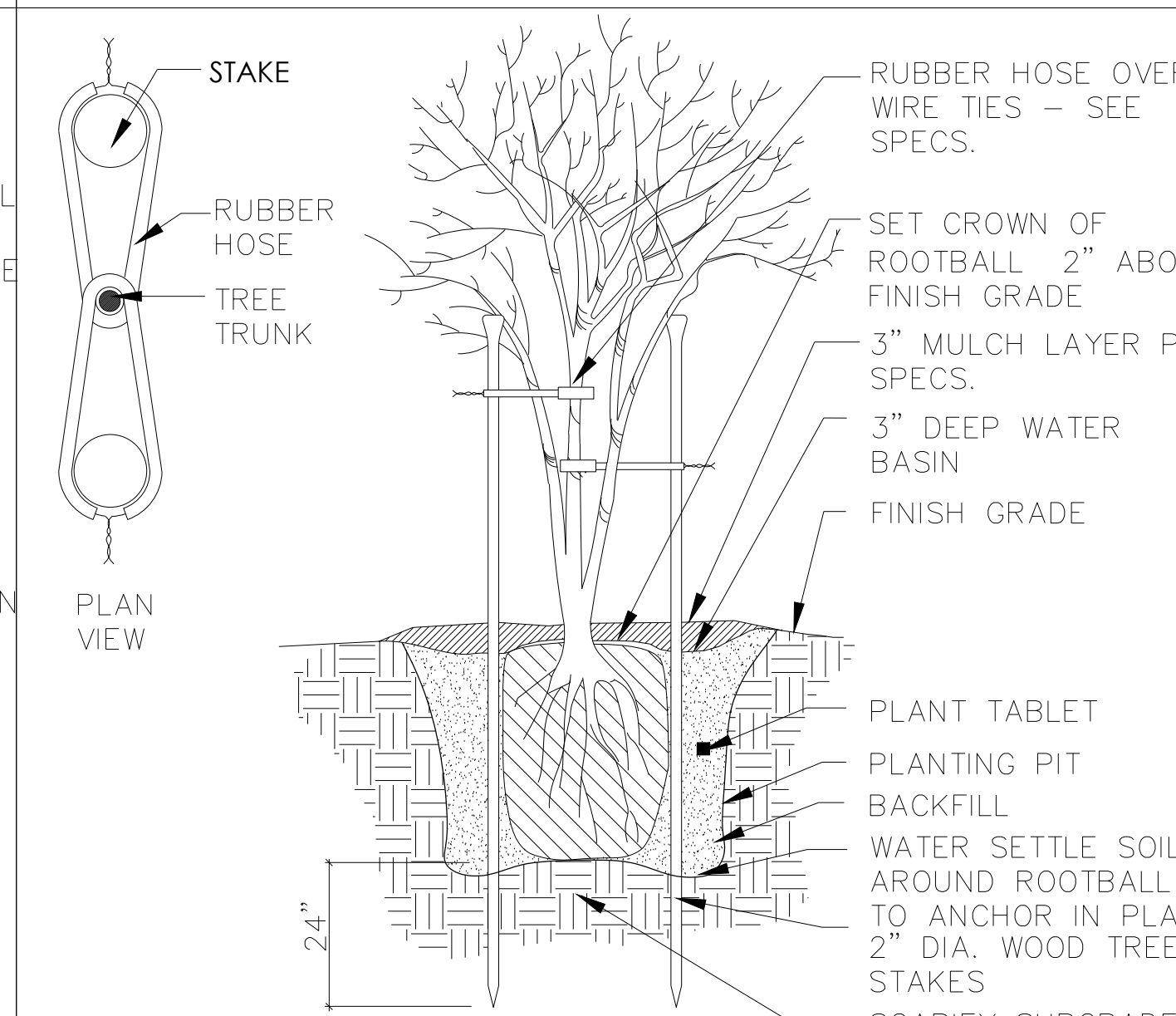
5 EXPANSION JOINT AT VERTICAL SURFACE
N.T.S.



2 SHRUB PLANTING
N.T.S.



4 GROUNDCOVER PLANTING
N.T.S.



1 TREE PLANTING / STAKING
N.T.S.

825 Parma

MUZIK
DESIGN STUDIO
1117 Wayne Way
San Mateo, CA 94403
(239) 410-9251

RESIDENTIAL LANDSCAPE PLAN

Property Owner:
Jay and Niyati Yahnik
825 Parma Way
Los Altos, CA 94024

Plan Prepared by
Muzik Design Studio
Agnes Tung/Xiaoyan Sun
(239) 410-9251
agnesytung@gmail.com

Drawing Title

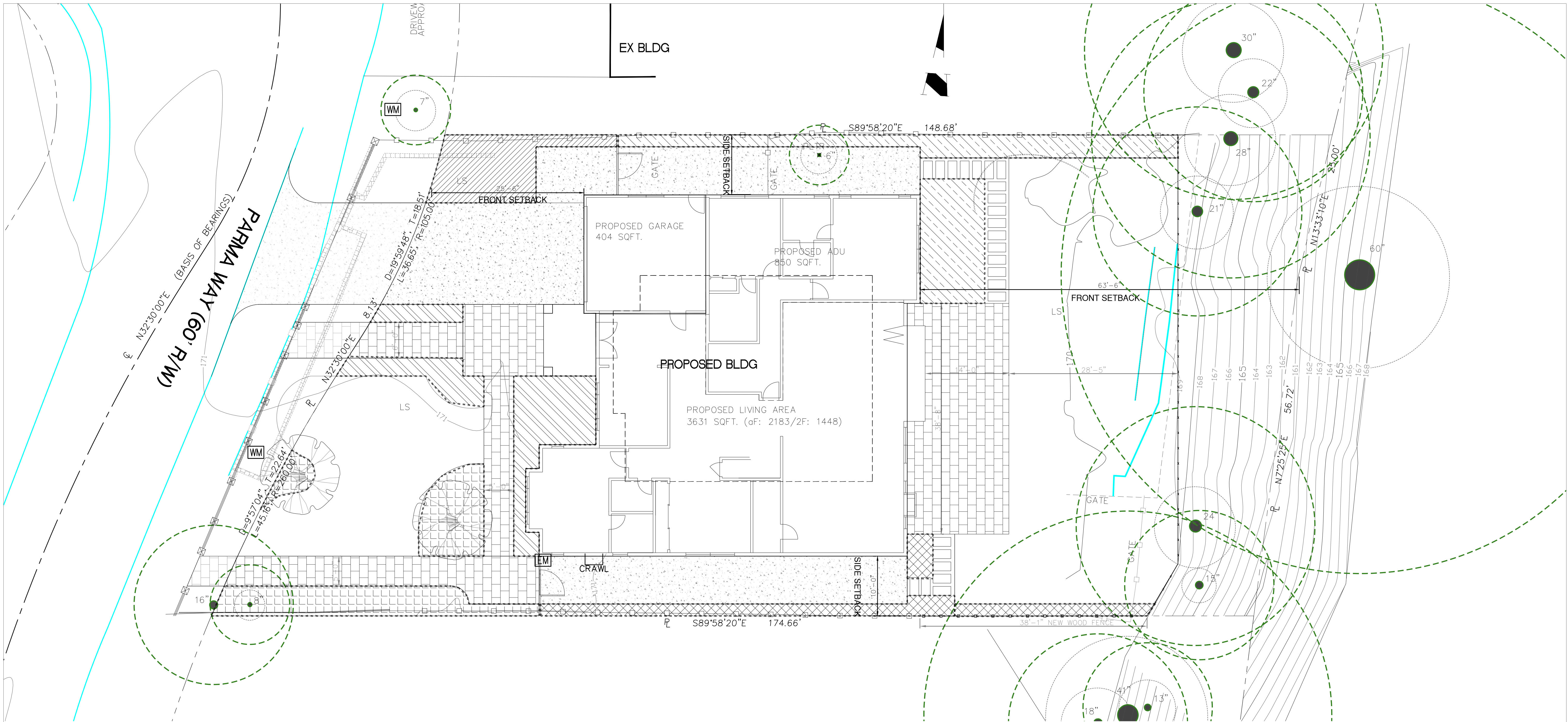
Landscape Notes

Drawing Scale

Sheet Title

L-4

12/13/2022



825
Parma

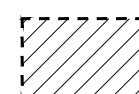
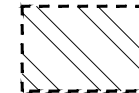


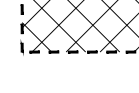
MUZIK
DESIGN STUDIO
1117 Wayne Way
San Mateo, CA 94403
(239) 410-9251

RESIDENTIAL
LANDSCAPE
PLAN

Property Owner:
Jay and Niyati Yahnik
825 Parma Way
Los Altos, CA 94024

Plan Prepared by
Muzik Design Studio
Agnes Tung/Xiaoyan Sun
(239) 410-9251
agnesytung@gmail.com

LEGENDS OF WATER ZONES

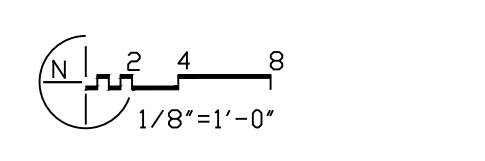
-  Zone 1
Planting between new driveway and property line
-  Zone 2
Shrubs at front entryway and building front
-  Zone 3
Shrubs and trees side pathway and property line
-  Zone 4
Large shrub and vine by sideyard and backyard planting
-  Zone 5
Large shrub and vine by sideyard

Reference Evapotranspiration (Eto)		43 Los Altos						
	ETWU requirement	ETWU requirement	ETWU requirement	ETWU requirement	MAWA requirement	ETWU requirement		
Hydrozone # / Planting Description	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF / IE)	Landscape Area (LA) (sq.ft.)	ETAF x area	Estimate Total Water Use (ETWU)	
Regular Landscape Area								
Zone 1 Front -left of driveway	0.2	Drip	0.81	0.247	210	51.85	1382.37	
Zone 2 Front entryway	0.2	Drip	0.81	0.247	338	83.46	2224.96	
Zone 3 Sidepath	0.2	Drip	0.81	0.247	393	97.04	2587.01	
Zone 4 Side yard	0.2	Drip	0.81	0.247	433	106.91	2850.32	
Zone 5 Side yard	0.2	Drip	0.81	0.247	596	147.16	3923.30	
					Totals	1970	486.42	12967.95
Special Landscape Area (SLA): Recycled Water								
1) Low water use plants					1	0	0.00	
2) Medium water use plants					1	0	0.00	
3) Medium water use plants					1	0	0.00	
					Totals	0	0.00	
						Estimate Total Water Use (ETWU)	12967.95	
						Maximum Allowed Water Allowance (MAWA)	23634.09	
Regular Landscape Areas								
Total ETAF x Area	486.42	Average ETAF for regular landscape areas must be 0.55 or below						
Total Area	1970.00	for residential areas, and 0.45 or below for non-residential areas.* Caltrans projects must be 0.45 or below						
Average ETAF	0.247	Less than 0.55						
Total Landscape Areas								
MAWA Total	23634.09	Gallons / year						
ETWU Total	12967.95	Gallons / year						
		Percent reduction of Portable						
Site-wide ETAF	45.13	Portable						

Drawing Title

Proposed
Irrigation
Plan
and Hydrozone

Drawing Scale



Sheet Title

L-5

12/13/2022

GRADING & DRAINAGE IMPROVEMENTS

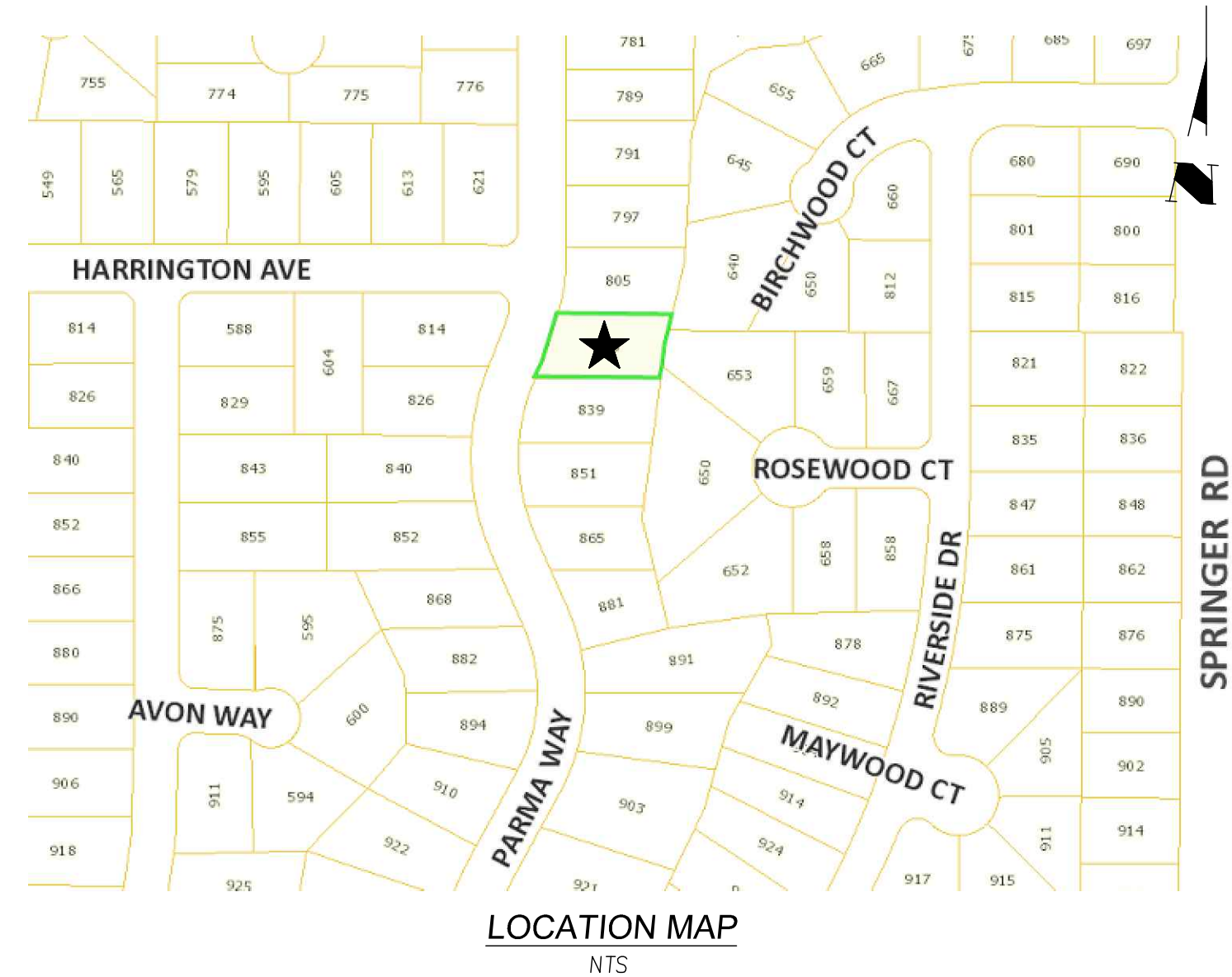
I. GRADING NOTES

- 1. ALL GRADING SHALL COMPLY WITH THE CITY OF LOS ALTOS STANDARD SPECIFICATIONS AND CHAPTER 18 AND APPENDIX 33 OF THE UNIFORM BUILDING CODE.
o. THE DESIGN SHOWN HEREON IS NECESSARY AND REASONABLE AND DOES NOT RESTRICT ANY HISTORIC DRAINAGE FLOWS FROM ADJACENT PROPERTIES NOR INCREASE DRAINAGE TO ADJACENT PROPERTIES.
b. ALL GRADING SHALL CONFORM TO APPROVED SPECIFICATIONS PRESENTED HEREON OR ATTACHED HERETO. ALL GRADING WORK SHALL BE OBSERVED AND APPROVED BY THE SOIL ENGINEER...

II. DUST CONTROL

- 1. ALL EXPOSED OR DISTURBED SOIL SURFACES SHALL BE WATERED AS NECESSARY, BUT NOT LESS THAN TWICE DAILY TO CONTROL DUST.
2. AREAS OF DIGGING AND GRADING OPERATIONS SHALL BE CONSISTENTLY WATERED TO CONTROL DUST...

GRADING AND DRAINAGE PLAN
FOR
825 PARMA WAY, LOS ALTOS
CALIFORNIA 94024



PROJECT NOTES

- 1. ASSESSORS PARCEL NO: 184-42-038
2. SITE ADDRESS: 825 PARMA WAY, LOS ALTOS, CA 95024
3. OWNER: JAY & NIYATI YANIK
3368 MILTON COURT, MOUNTAIN VIEW (650) 450-3729
4. ARCHITECT: SILICON VALLEY CUSTOM HOMES, LLC
682 VILLA STREET, SUITE C1 MOUNTAIN VIEW, CA 94041 (408) 204-0345

SCOPE OF WORK

- 1. GRADE HOUSE, HOUSE SITE
2. PAVE DRIVEWAY & WALKWAY

EARTHWORK QUANTITY

CUT = 18 CY ; MAXIMUM CUT DEPTH = 0.5'±
FILL = 6 CY ; MAXIMUM FILL DEPTH = 0.5'±
IMPORT 0 CY
EXPORT 12 CY

EARTHWORK QUANTITIES AS SHOWN ON THE PLAN IS FOR INFORMATION ONLY. CONTRACTOR TO CALCULATE HIS/HER OWN EARTHWORK QUANTITIES FOR BIDDING PURPOSE.

SHEET INDEX

- SHEET 1: TITLE SHEET
SHEET 2: DEMOLITION PLAN
SHEET 3: OVERALL SITE PLAN
SHEET 4: GRADING & DRAINAGE PLAN
SHEET 5: BUILDING CROSS SECTIONS
SHEET 6: EROSION CONTROL PLAN
SHEET 7: EROSION CONTROL DETAILS

LEGEND & ABBREVIATIONS

Table listing various engineering symbols and their corresponding abbreviations, such as AREA DRAIN, BACKWATER VALVE, BENCHMARK, BOUNDARY, CATCH BASIN, CENTER LINE, etc.

Professional Engineer Seal for Jay & Niyati Yagnik, License No. 47518. Project Information: TITLE SHEET, 825 PARMA WAY, APN 184-42-038, SHEET 1 OF 7 SHEETS, PW PROJECT #. Designed by P11, Checked by NL, Date: 10/25/22.

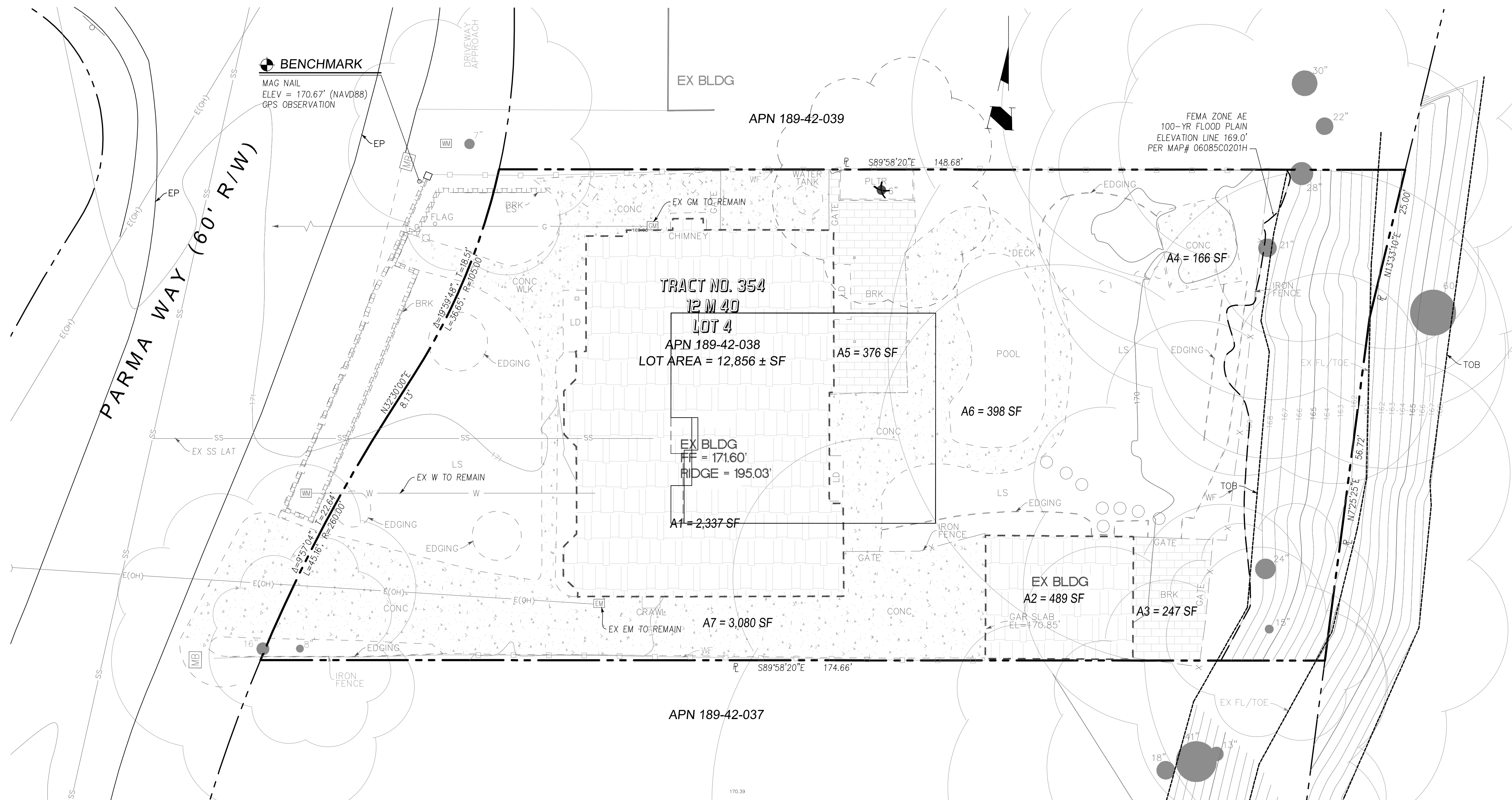
PRE - DEVELOPMENT				
ITEM NO.	SURFACE AREA	STATUS	IMPERVIOUS	PERVIOUS
A1	EX BLDG	REMOVE	2,337 SF	
A2	EX BLDG	REMOVE	489 SF	
A3	CONC BRICK	REMOVE	247 SF	
A4	CONC WLK	REMOVE	166 SF	
A5	CONC BRICK	REMOVE	376 SF	
A6	POOL	REMOVE	398 SF	
A7	CONC WLK	REMOVE	3,080 SF	
	LANDSCAPING			5,763 SF
	TOTAL		7,093 SF	5,763 SF

LEGEND:

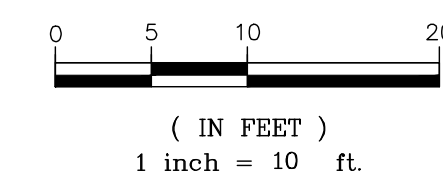
- ITEM OR AREA TO BE REMOVED
- EX BLDG TO BE REMOVED
- EX BRICK TO BE REMOVED
- EX CONC TO BE REMOVED
- TREE TO REMAIN
- TREE TO BE REMOVED
- EX FENCE TO BE REMOVED

BASIS OF BEARINGS

THE BEARINGS SHOWN ON THIS MAP ARE BASED ON THE CENTERLINE OF PARMA WAY, AS SHOWN AS N32°30'00"E ON TRACT NO. 354, RECORDED IN BOOK 12 OF MAPS, AT PAGE 40, SANTA CLARA COUNTY RECORDS.



GRAPHIC SCALE



REVISIONS		DATE	BY

JAY & NIYATI YAGNIK
 3388 MILTON CT, MOUNTAIN VIEW, CA 94040
 TEL: (650) 450-3729


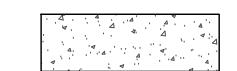

ENGINEERING
 598 E Santa Clara St. #270
 San Jose, CA 95112
 Phone: (408) 906-7187
 Fax: (408) 993-4006

DEMOLITION PLAN		CALIFORNIA Project No. _____ Designed: PT Checked: NL Date: 10/25/22
825 PARMA WAY		
APN 184-42-038		
SHEET 2 OF 7 SHEETS		
PW PROJECT #		

POST - DEVELOPMENT				
ITEM NO.	SURFACE AREA	STATUS	IMPERVIOUS	PERVIOUS
B1	BLDG	NEW	3,436 SF	
B2	PORCH	NEW	102 SF	
B3	LANDING	NEW	48 SF	
B4	STEPS	NEW	12 SF	
B5	DWY	NEW	510 SF	
	LANDSCAPING	NEW		8,748 SF
	TOTAL		4,108 SF	8,748 SF

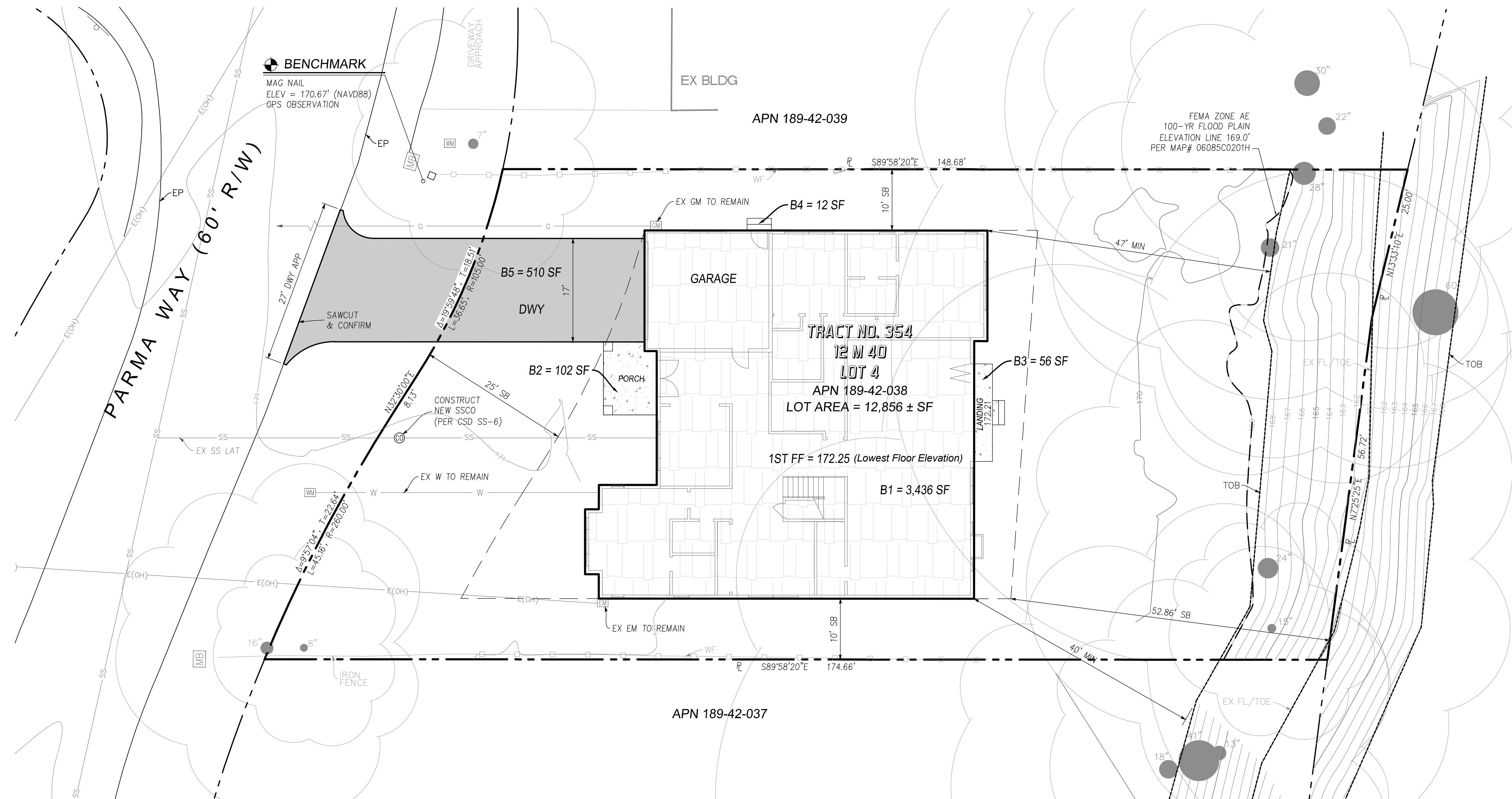
SUMMARY		
DESCRIPTION	IMPERVIOUS	PERVIOUS
PRE-DEVELOPMENT	7,093 SF	5,763 SF
POST-DEVELOPMENT	4,108 SF	8,748 SF
DIFFERENCE	-2,985 SF	2,985 SF

LEGEND:

-  PROPOSED BLDG
-  PROPOSED CONCRETE
-  PROPOSED ASPHALT CONCRETE

NOTES:

- CONTRACTOR TO VERIFY LOCATIONS OF ALL EXISTING AND PROPOSED UTILITIES, STORM DRAIN, SANITARY SEWER BEFORE BEGIN WORK. CONTRACTOR TO NOTIFY ENGINEER IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND IN FIELD.
- ANY DAMAGED RIGHT-OF-WAY INFRASTRUCTURES AND OTHERWISE DISPLACED CURB AND GUTTER SHALL BE REMOVED AND REPLACED AS DIRECTED BY THE CITY ENGINEER OR HIS DESIGNEE. CONTRACTOR SHALL COORDINATE WITH PUBLIC WORKS DEPARTMENT AT (650) 947-2680.
- PRIOR TO COMMENCEMENT OF ANY WORK DONE IN THE PUBLIC RIGHT-OF-WAY, A PERMIT TO OPEN STREET AND/OR AN ENCROACHMENT PERMIT WILL BE REQUIRED.



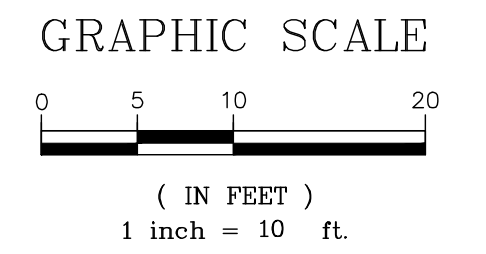
NO.	DATE	BY	REVISIONS

JAY & NIYATI YAGNIK
 3388 MILTON CT, MOUNTAIN VIEW, CA 94040
 TEL: (650) 450-3729

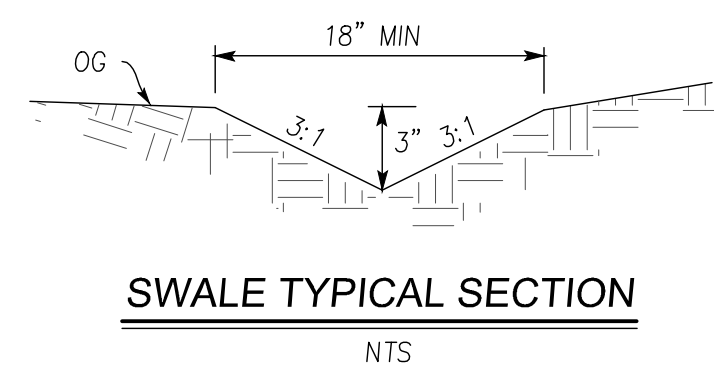
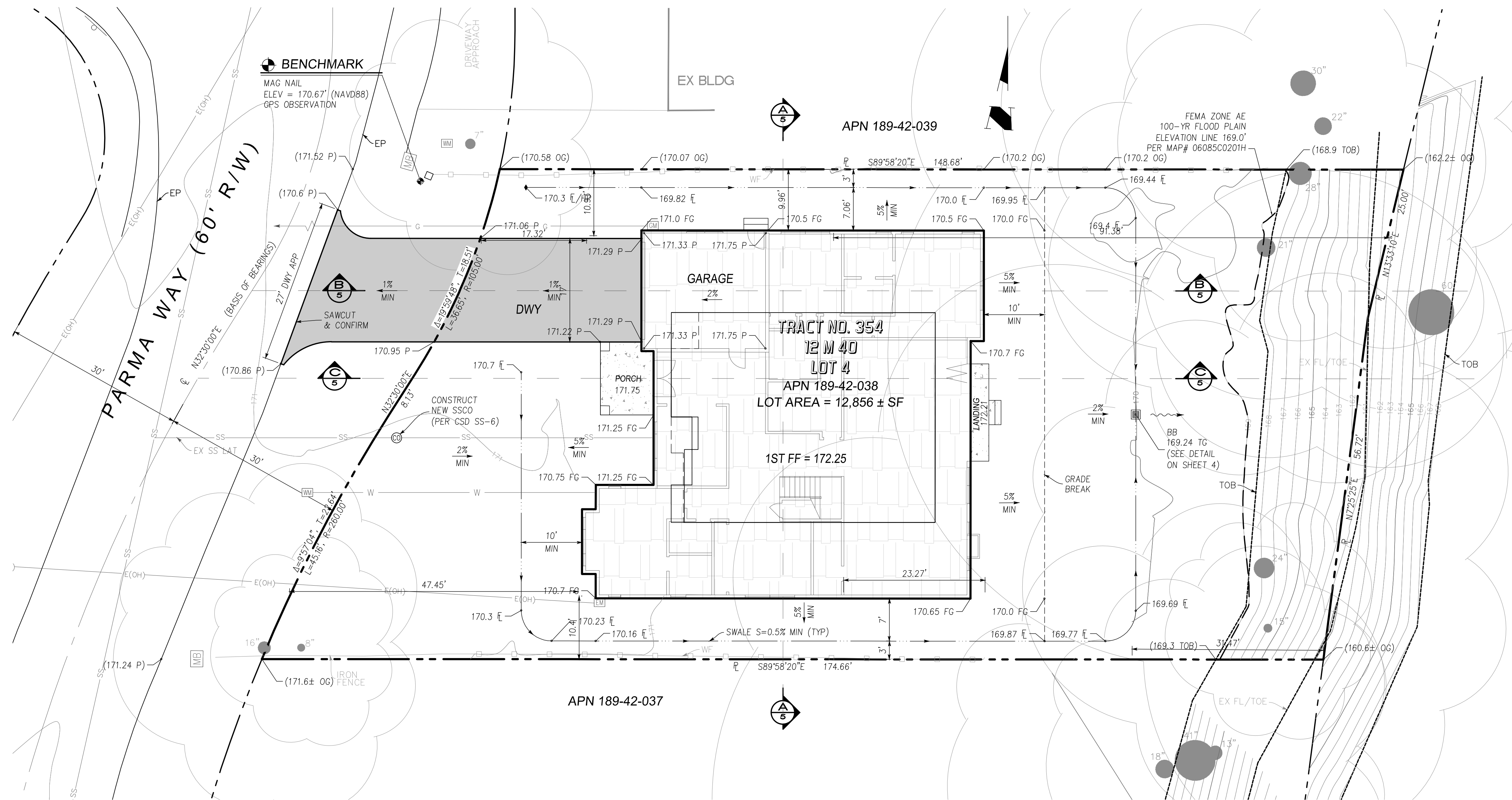
ENGINEERING
 598 E Santa Clara St. #270
 San Jose, CA 95112
 Phone: (408) 906-7187
 Fax: (408) 993-4006

OVERALL SITE PLAN
 825 PARMA WAY
 APN 184-42-038

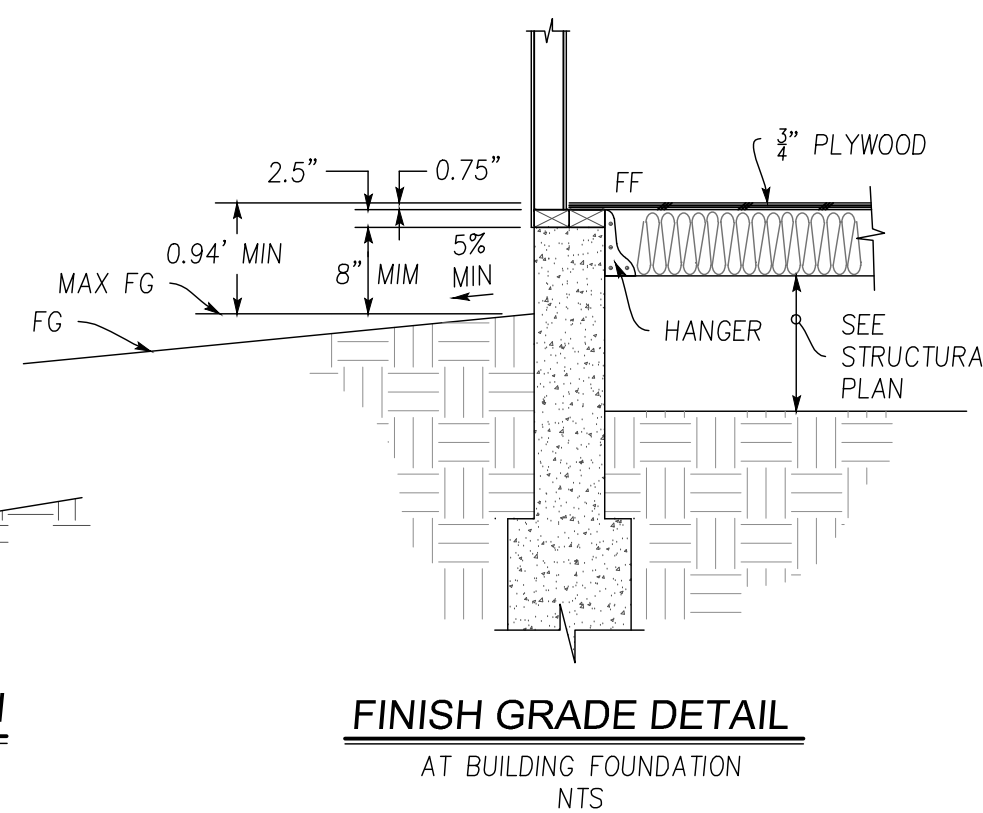
SHEET
 3
 OF 7 SHEETS
 PW PROJECT #



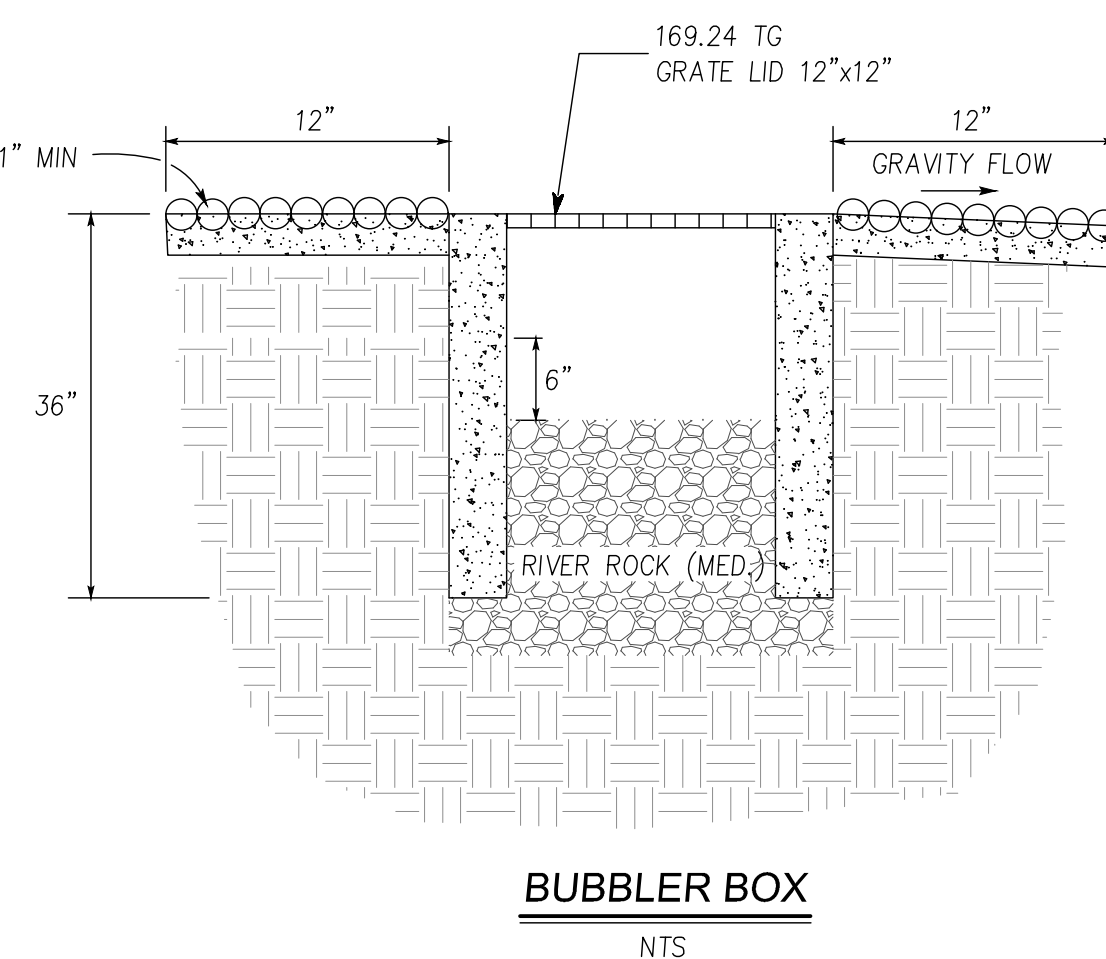
LOS ALTOS Project No. CALIFORNIA Date: 10/25/22
 Designed: PT Checked: NL



SWALE TYPICAL SECTION
NTS



FINISH GRADE DETAIL
AT BUILDING FOUNDATION
NTS



BUBBLER BOX
NTS

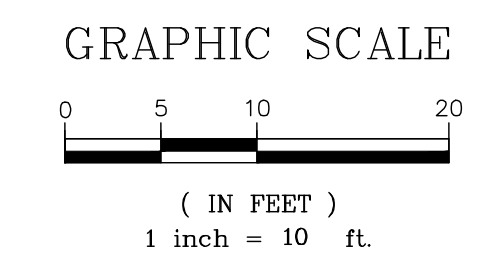
NOTES:

1. RIGID PLASTIC, A.C., C.I., OR STEEL PIPE ALLOWED TO BOX FROM PUMP
2. BOX SHALL BE SET WITH ADJACENT GRADES SLOPING AWAY TO PREVENT RAINWATER & LANDSCAPE WATER FROM ENTERING.
3. BOX SHALL BE SET IN LANDSCAPED AREA TO FACILITATE PERCOLATION.
4. BOX SHALL NOT HAVE CONCRETE BOTTOM TO FACILITATE PERCOLATION.
5. BOX MUST BE LOCATE AT LEAST 10 FEET FROM BACK OF SIDEWALK AND 3 FEET MINIMUM AWAY FROM SIDE AND REAR PROPERTY LINES, APPROPRIATELY LOCATED IN SWALE, VEGETATED OR RETENTION AREA.

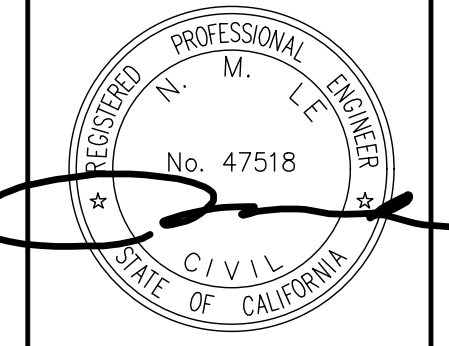
FEMA:

ZONES: X AND AE 100-YEAR BASE FLOOD ELEVATION: 169'
 COMMUNITY: SANTA CLARA COUNTY
 CITY OF LOS ALTOS,
 MAP NUMBER: 06085C0201H
 EFFECTIVE DATE: MAY 18, 2009

FEMA INFORMATION SHOWN ON SURVEY WERE INTERPOLATED USING FEMA FIRM AND GIS MAPS FROM FEMA FLOOD MAP SERVICE WEBSITE:
[HTTPS://MSC.FEMA.GOV](https://msc.fema.gov)



NO.	DATE	BY	REVISIONS



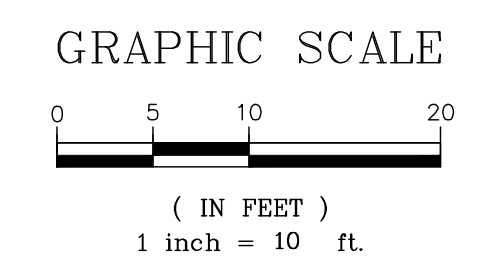
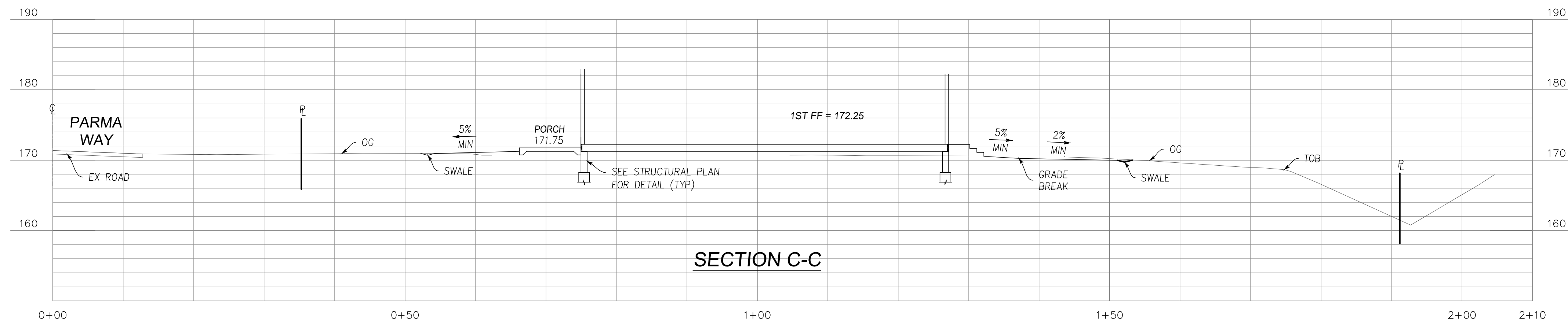
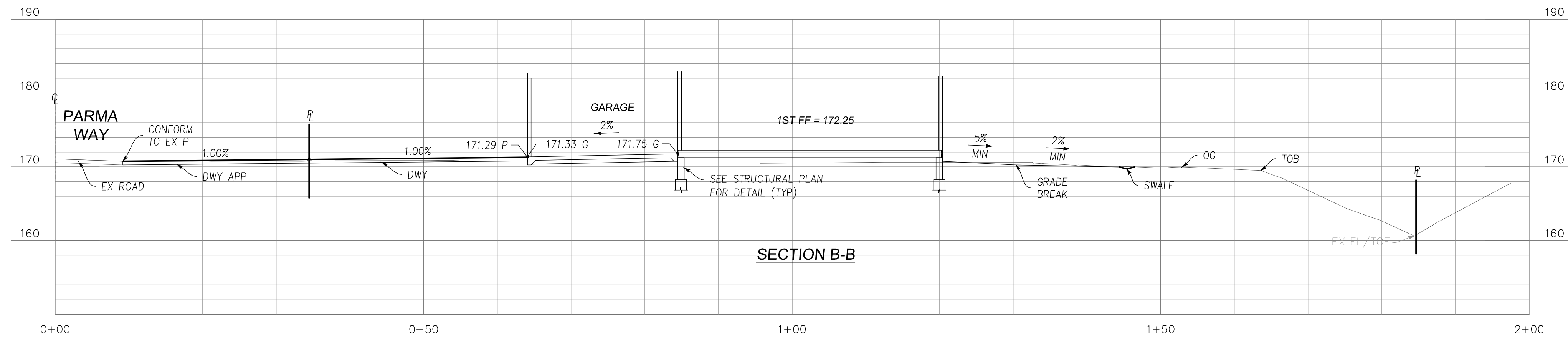
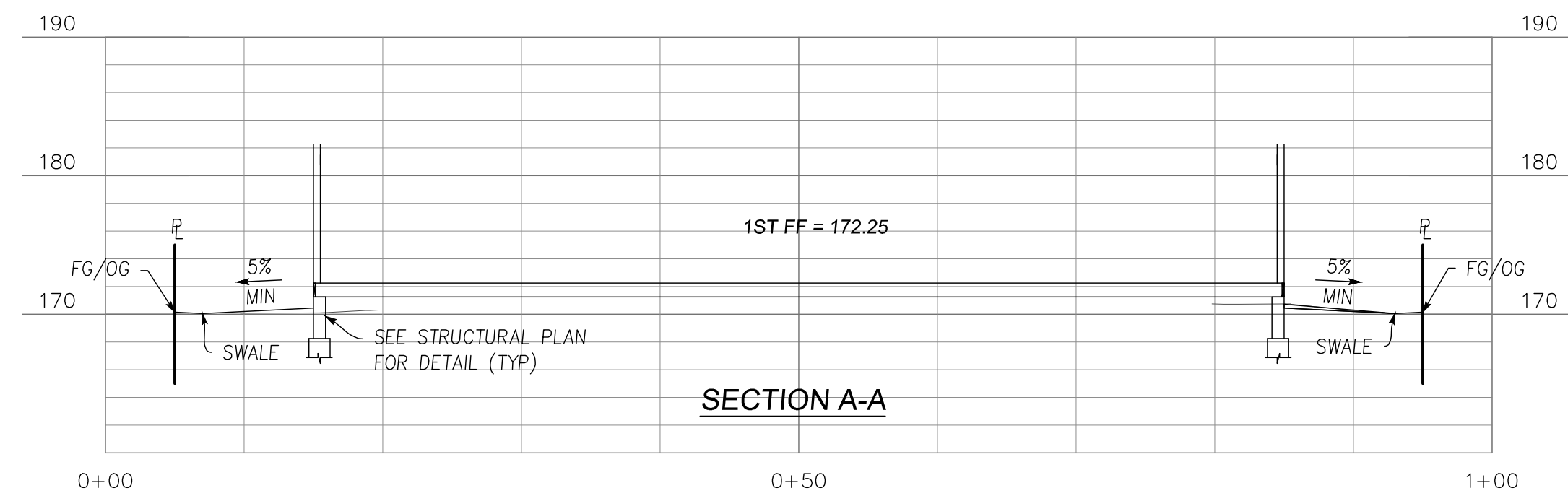
JAY & NIYATI YAGNIK
 3388 MILTON CT, MOUNTAIN VIEW, CA 94040
 TEL: (650) 450-3729

J E ENGINEERING
 598 E Santa Clara St. #270
 San Jose, CA 95112
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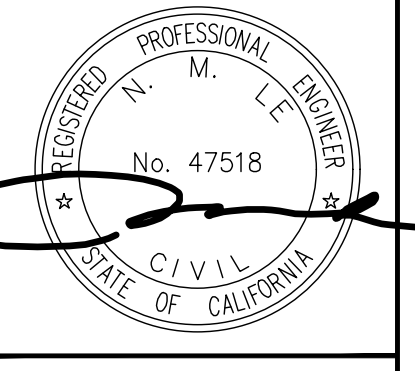
GRADING & DRAINAGE PLAN
 825 PARMA WAY
 APN 184-42-038

Project No.: LOS ALTOS, CALIFORNIA
 Checked: NL
 Designed: PT
 Date: 07/25/22

SHEET
 4
 OF 7 SHEETS
 PW PROJECT #



NO.	DATE	BY	REVISIONS



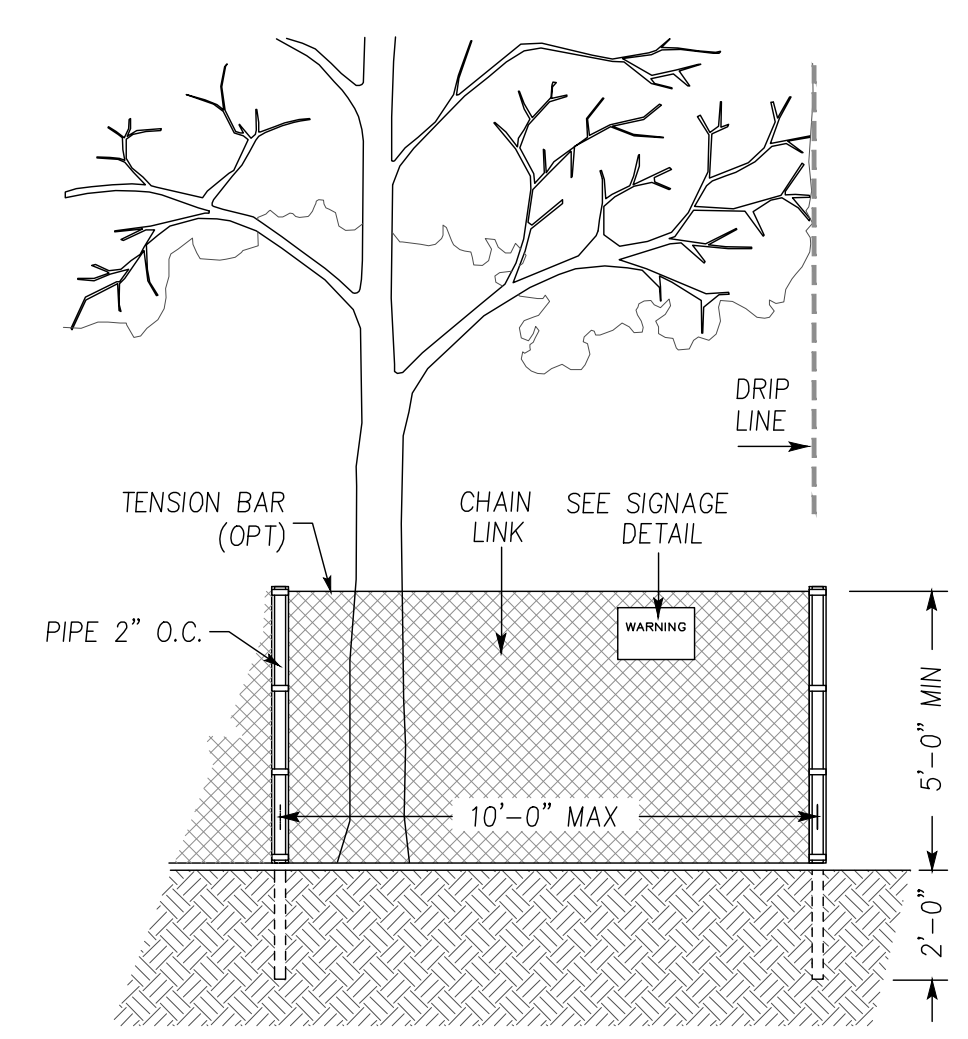
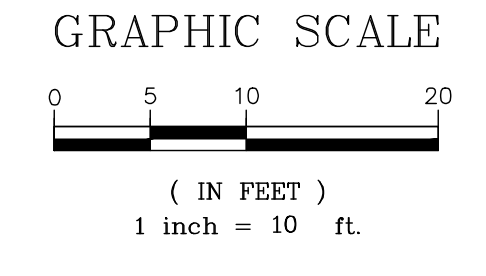
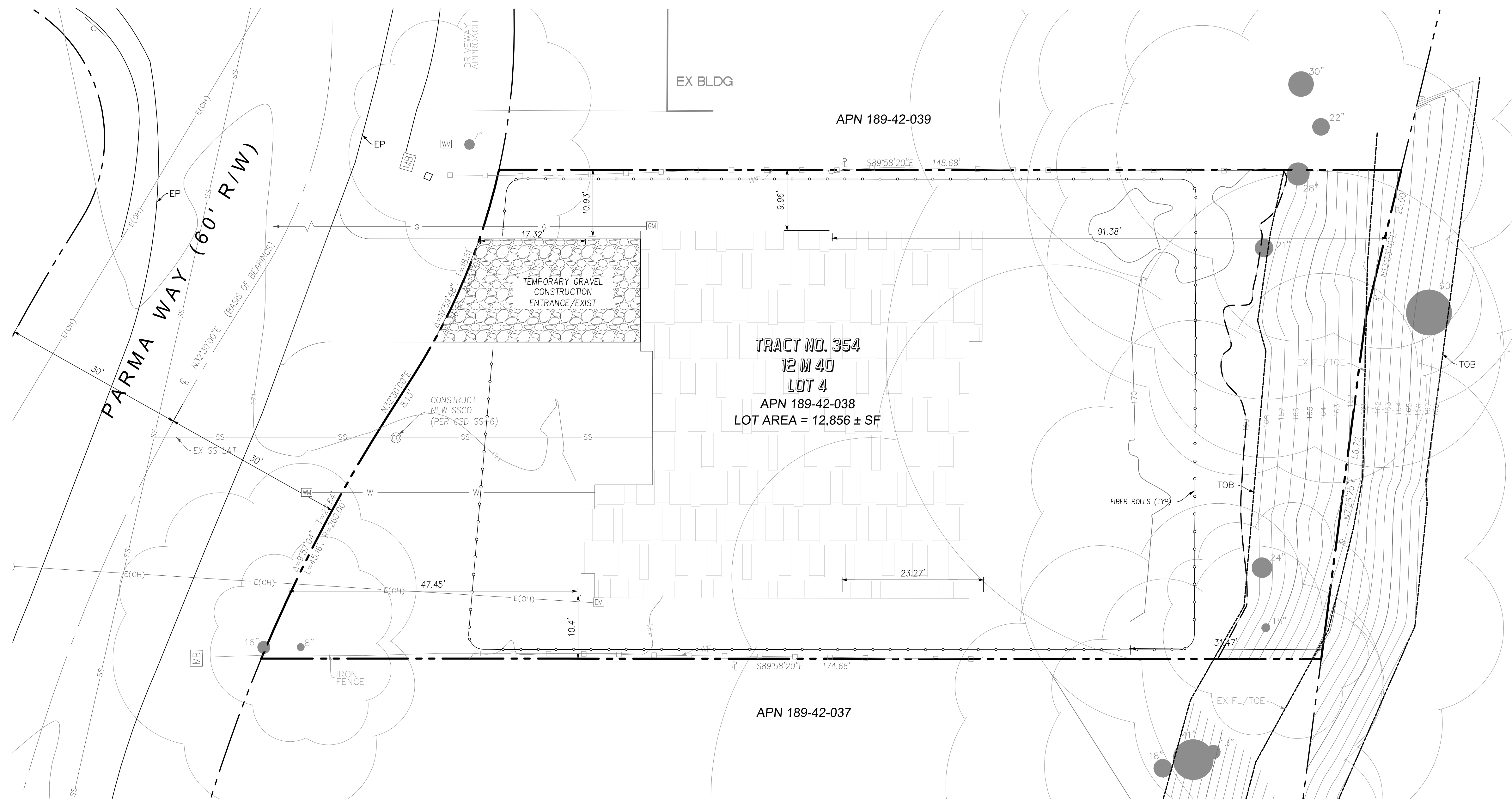
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 3388 MILTON CT, MOUNTAIN VIEW, CA 94040
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J E ENGINEERING
 598 E Santa Clara St. #270
 San Jose, CA 95112
 Phone: (408) 906-7187
 Fax: (408) 993-4006

BUILDING CROSS SECTIONS
 825 PARMA WAY
 APN 184-42-038

Project No.: LOS ALTOS CALIFORNIA Date: 07/25/22
 Design: PT Checked: NL

SHEET
 5
 OF 7 SHEETS
 PW PROJECT #



EXISTING TREE PROTECTION DETAIL

1. PRIOR TO THE COMMENCEMENT OF ANY GRADING, TREE PROTECTIVE FENCING SHALL BE IN PLACE IN ACCORDANCE WITH THE TREE PRESERVATION PLAN AND INSPECTED BY A CERTIFIED ARBORIST. THE ARBORIST SHALL MONITOR CONSTRUCTION ACTIVITY TO ENSURE THAT THE TREE PROTECTION MEASURES ARE IMPLEMENTED AND ADHERED TO DURING CONSTRUCTION. THIS CONDITION SHALL BE INCORPORATED INTO THE GRADING PLANS.
2. FENCE SHALL BE MINIMUM 5 FEET TALL CONSTRUCTED OF STURDY MATERIAL (CHAIN-LINK OR EQUIVALENT STRENGTH/ DURABILITY).
3. FENCE SHALL BE SUPPORTED BY VERTICAL POSTS DRIVEN 2 FEET (MIN) INTO THE GROUND AND SPACED NOT MORE THAN 10 FEET APART.
4. TREE FENCING SHALL BE MAINTAINED THROUGHOUT THE SITE DURING THE CONSTRUCTION PERIOD, INSPECTED PERIODICALLY FOR DAMAGE AND PROPER FUNCTION, REPAIRED AS NECESSARY TO PROVIDE A PHYSICAL BARRIER FROM CONSTRUCTION ACTIVITIES, AND REMAIN IN PLACE UNTIL THE FINAL INSPECTION.
5. A SIGN THAT INCLUDES THE WORDS, "WARNING: THIS FENCE SHALL NOT BE REMOVED WITHOUT THE EXPRESSED PERMISSION OF THE CITY LOS ALTOS PLANNING OFFICE," SHALL BE SECURELY ATTACHED TO THE FENCE IN A VISUALLY PROMINENT LOCATION.

LEGEND

- FIBER ROLLS
- TREE PROTECTION FENCE
- TEMPORARY DRAINAGE INLET PROTECTION
- TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIST

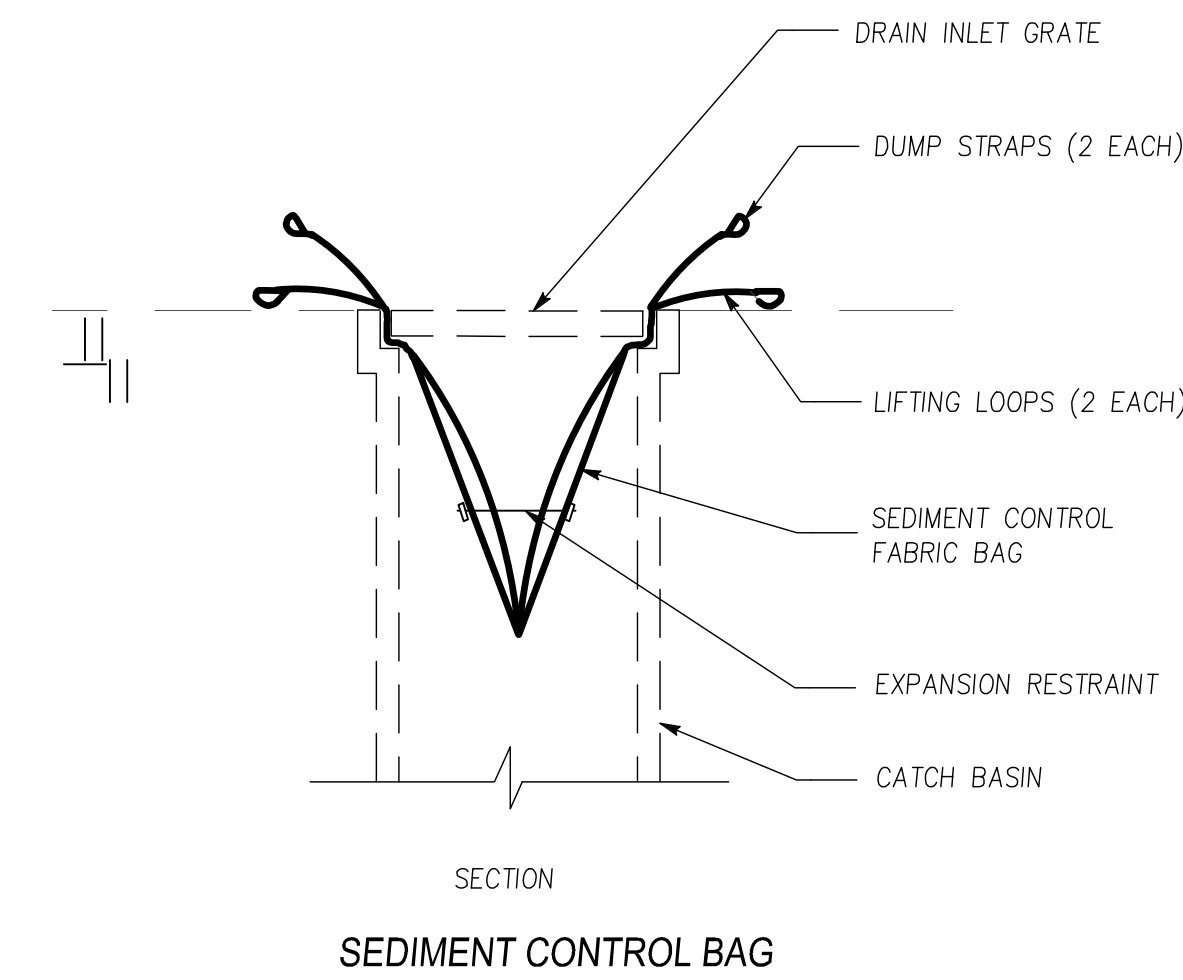
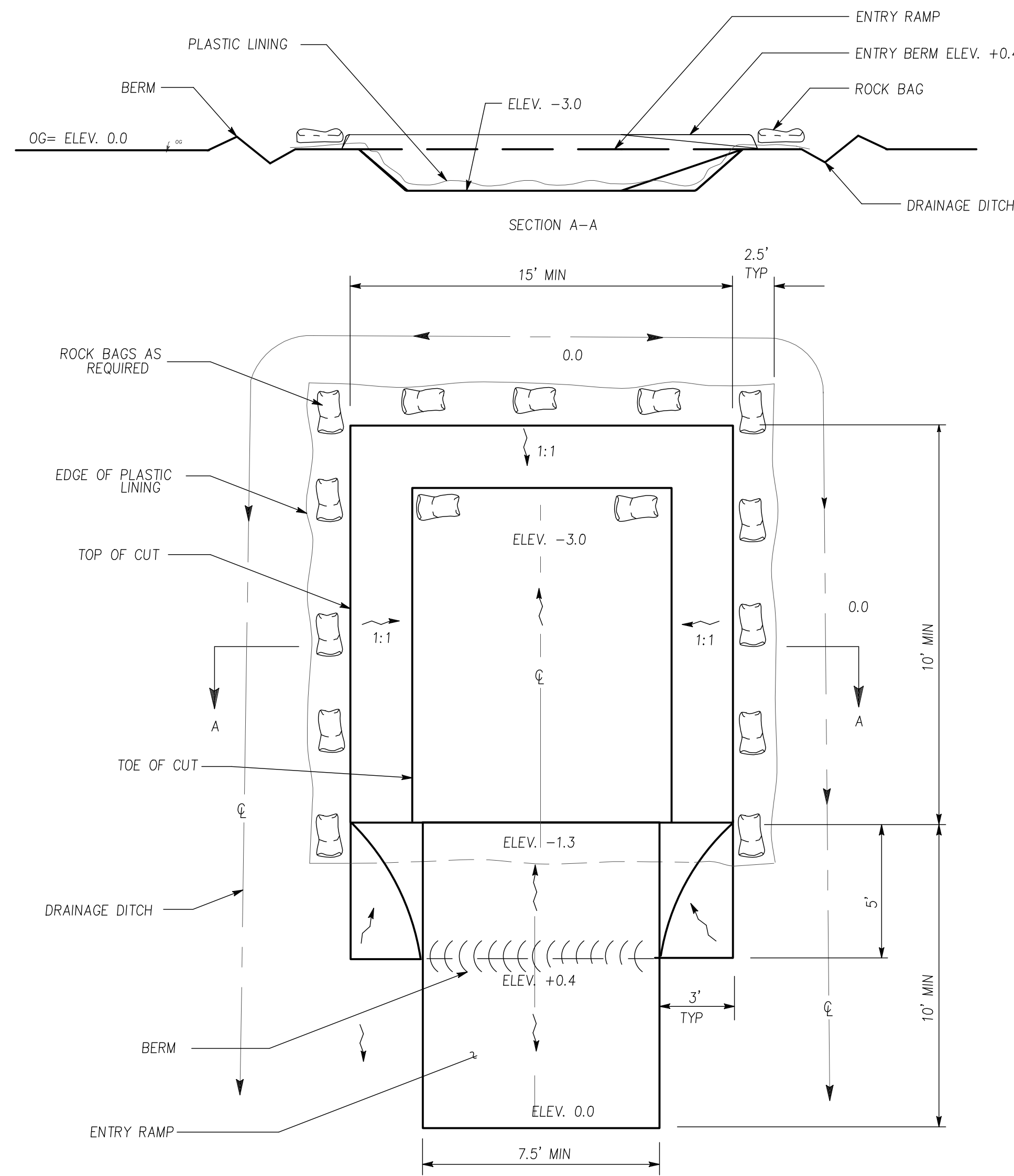
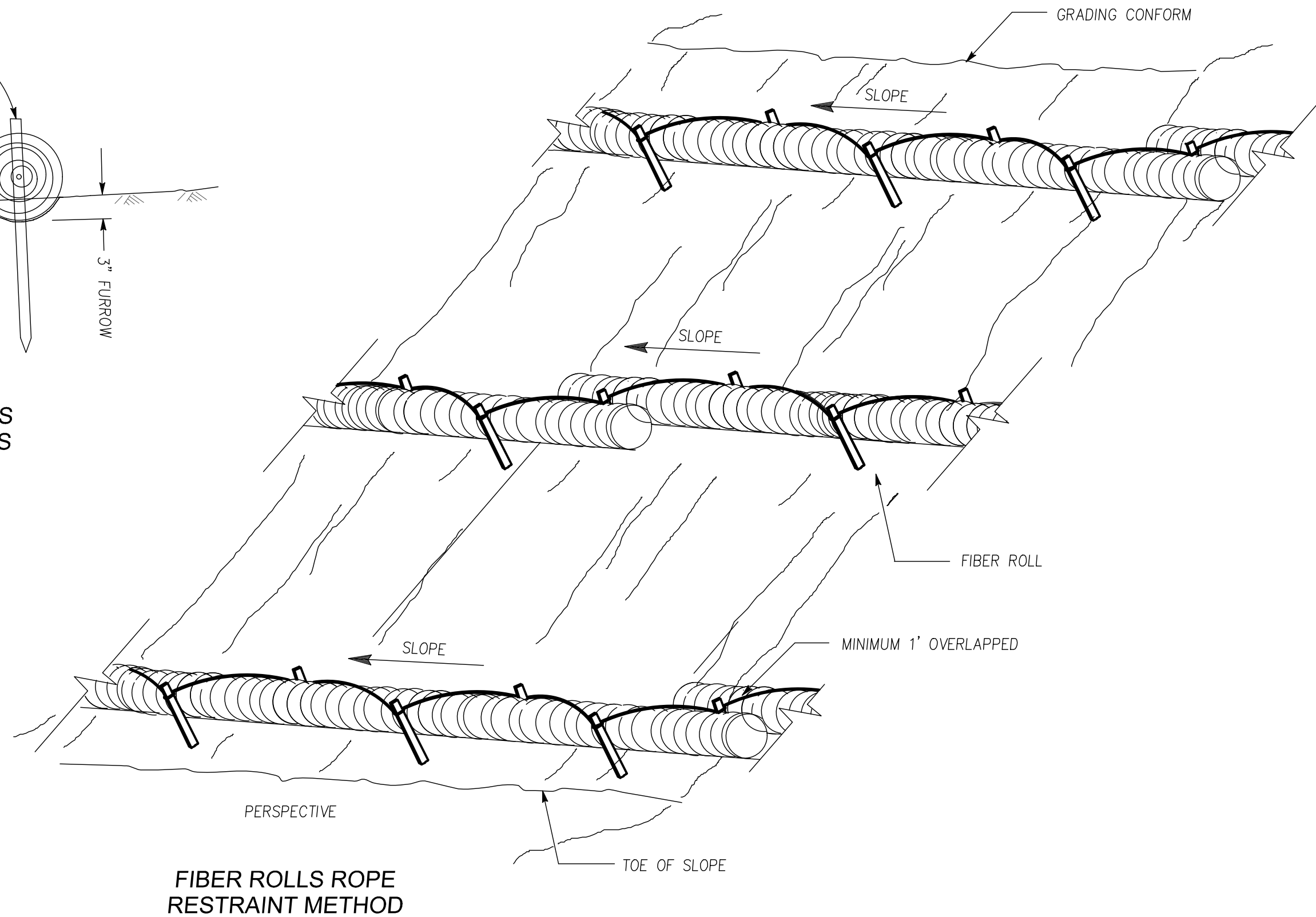
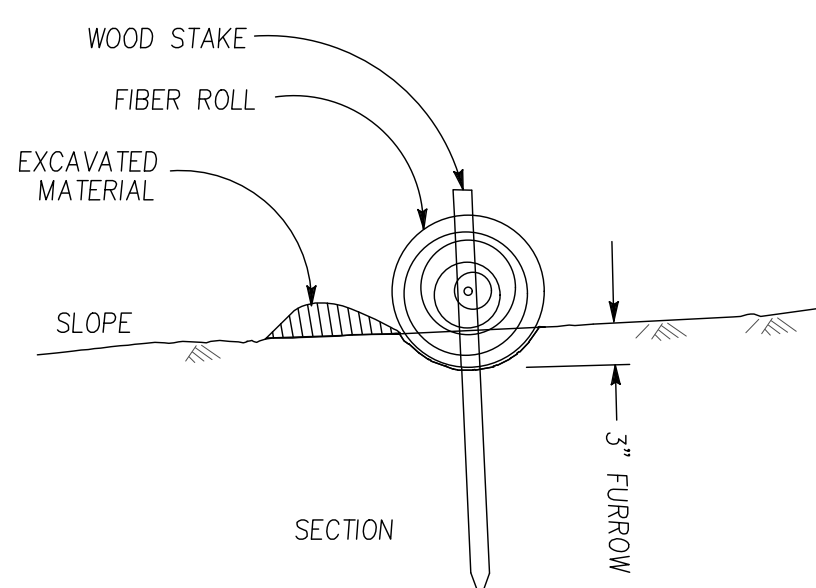
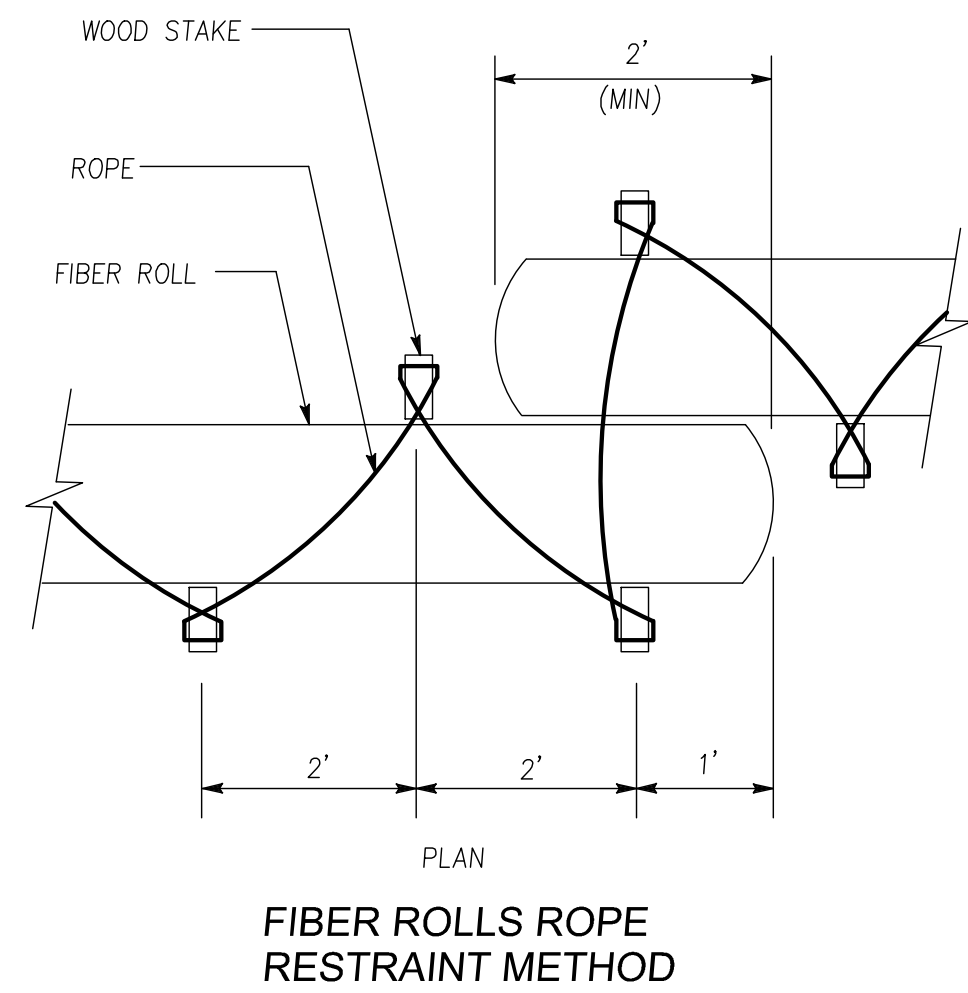
NOTES:

1. EROSION AND SEDIMENTS CONTROL SHALL REMAIN IN PLACE AND MAINTAINED UNTIL THE PERMANENT LANDSCAPING IS INSTALLED.
2. CONTRACTOR TO PROVIDE STORMDRAIN INLET PROTECTION AT NEAREST INLET DOWNSTREAM OF PROJECT SITE

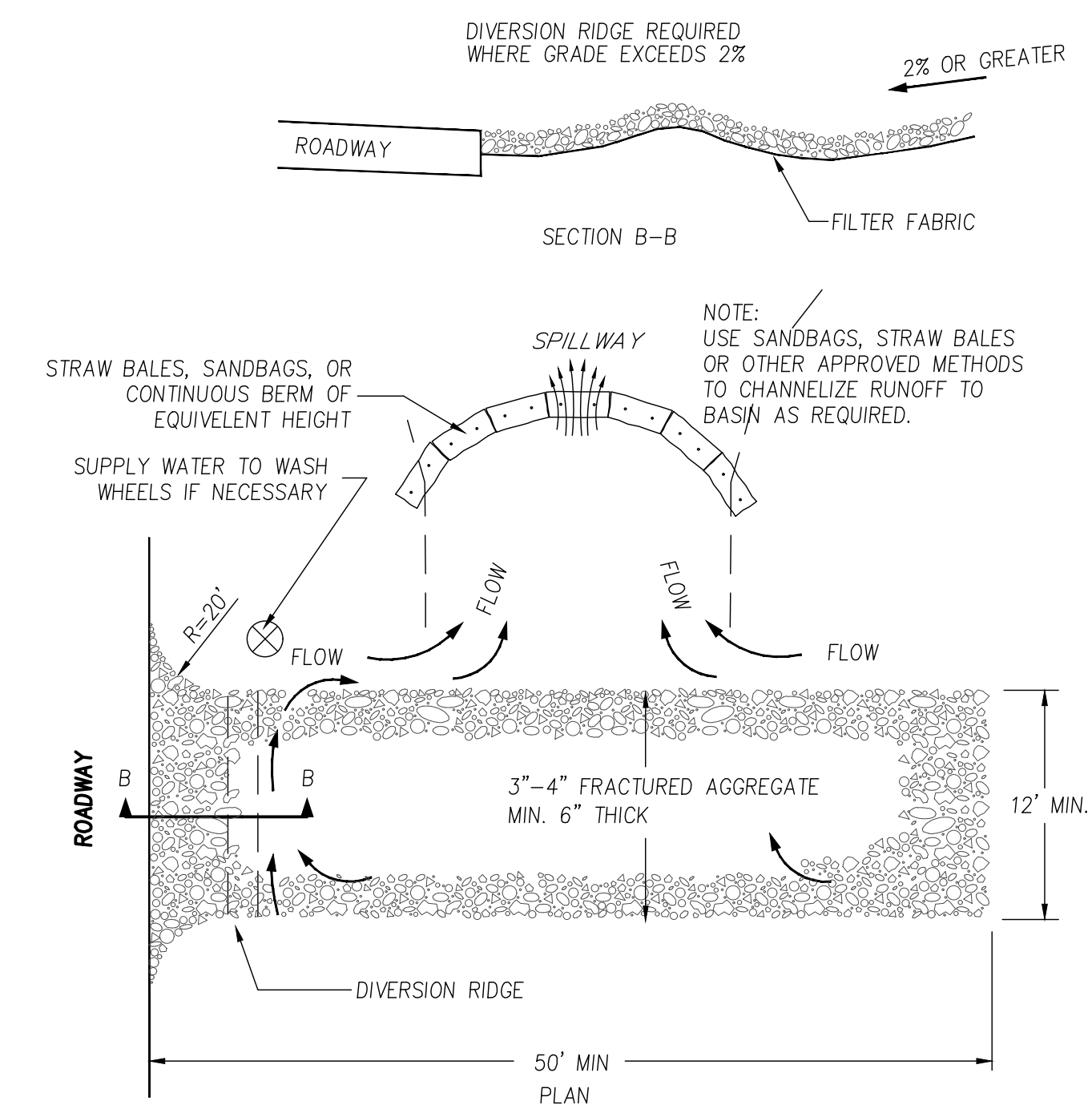
	JAY & NIYATI YAGNIK 3388 MILTON CT, MOUNTAIN VIEW, CA 94040 TEL: (650) 450-3729						
ENGINEERING 598 E Santa Clara St. #270 San Jose, CA 95112 Phone: (408) 906-7187 Fax: (408) 993-4006							
EROSION CONTROL PLAN 825 PARMA WAY APN 184-42-038							
SHEET 6 OF 7 SHEETS PW PROJECT #							
Project No.: _____ Design: PT Checked: NL Date: 10/25/22							

EROSION CONTROL NOTES:

1. THIS PLAN IS INTENDED TO BE USED FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY AND IS NOT TO BE USED FOR FINAL PLAN ELEVATIONS OR PERMANENT IMPROVEMENTS. THE COUNTY INSPECTOR MAY REQUIRE INSTALLING ADDITIONAL EROSION CONTROL MEASURES DURING EARLY WORK OPERATION.
2. OWNER/CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL MEASURES PRIOR, DURING, AND AFTER STORM EVENTS.
3. REASONABLE CARE SHALL BE TAKEN WHEN HAULING ANY EARTH, SAND, GRAVEL, STONE, DEBRIS, PAPER OR ANY OTHER SUBSTANCE OVER ANY PUBLIC STREET, ALLEY OR THE PUBLIC PLACE. SHOULD ANY BLOW, SPILL, OR TRACK OVER AND UPON SAID PUBLIC OR ADJACENT PRIVATE PROPERTY, IMMEDIATE REMEDY SHALL OCCUR.
4. DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEM, INCLUDING EXISTING DRAINAGE SWALES AND WATER COURSES.
5. CONTRACTOR SHALL PROVIDE DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE AND LOCAL AGENCY.
6. THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO
7. CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 15 TO APRIL 15. GRADING OPERATIONS DURING THE RAINY SEASON WHICH LEAVE DENUDE SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES.
8. FINISHED SLOPES ON THE SITE SHALL BE STABILIZED USING SEED AND STRAW OR HYDROSEED TREATMENTS. UNFINISHED ROADWAY AREAS SHALL BE PROTECTED FROM EROSION AS SHOWN ON THE EROSION CONTROL PLAN. HAY BALE CHECK DAMS WILL BE REQUIRED ON ROADWAY SLOPES STEEPER THAN FIVE PERCENT.

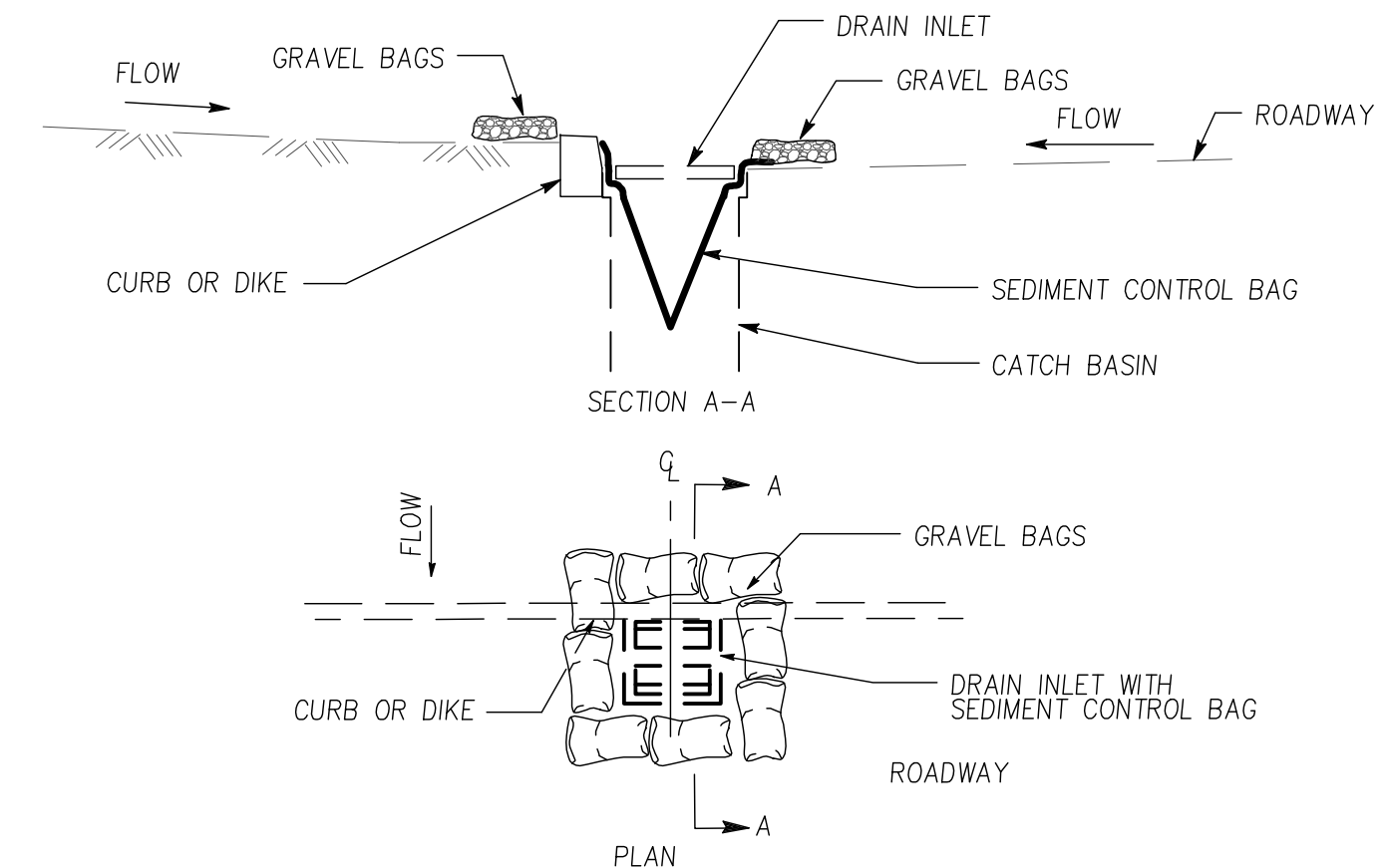


NOTE:
THE TEMPORARY EQUIPMENT WASHING FACILITY SIGN SHALL BE INSTALLED WITHIN 20 FEET OF THE TEMPORARY CONCRETE WASHOUT FACILITY.

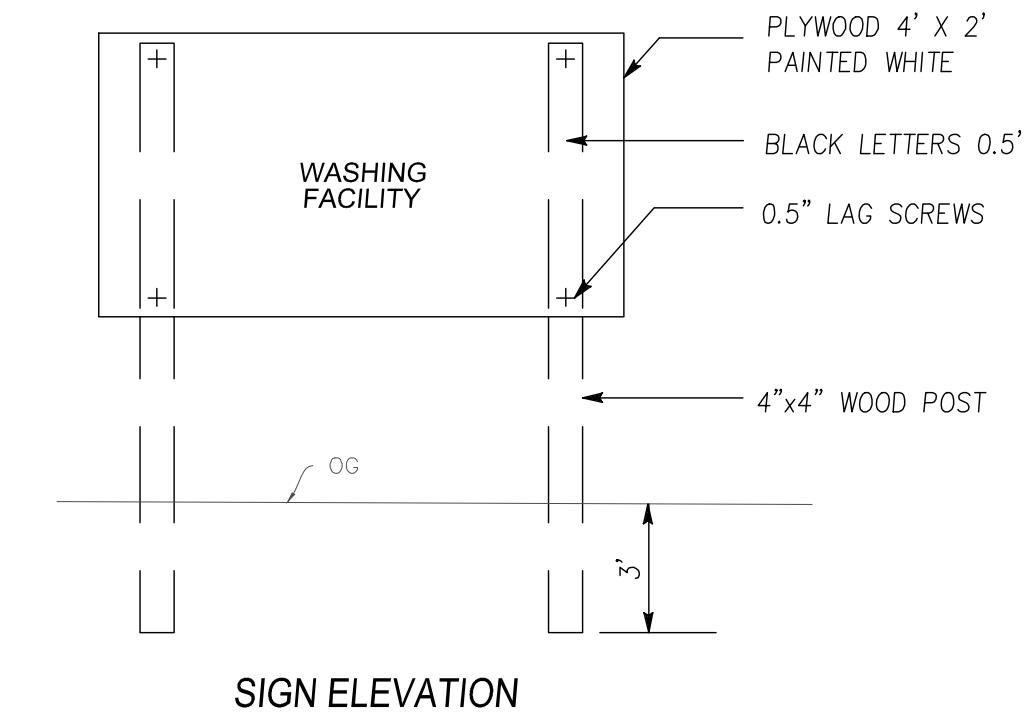


NOTES:

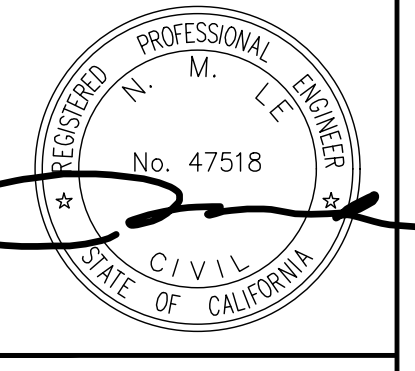
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.



TEMPORARY DRAINAGE INLET PROTECTION FOR PAVED AREAS EXPOSED TO TRAFFIC



NO.	DATE	BY	REVISIONS



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EROSION CONTROL DETAILS
825 PARMA WAY
APN 184-42-038

Project No.: LOS ALTOS
Designed: PT
Checked: NL
Date: 10/25/22

SHEET 7 OF 7 SHEETS
PW PROJECT #