

GENERAL NOTES

1. These drawings were prepared by SHL ARCHITECTURE. The Architect assumes no responsibility for unauthorized use of these drawings.
2. The work included under this contract consists of all labor, materials, transportation, tools, and equipment necessary for the construction of the project, leaving all work ready for use.
3. These drawings alone, represent the Construction Documents.
4. The plans indicate the general extent of new construction necessary for the work, but are not intended to be all-inclusive. All new work necessary to allow for a finished job in accordance with the intention of the drawings is included regardless of whether shown on the drawings or mentioned in the notes.
5. Any errors, omissions, or conflicts found in the various parts of the Construction Documents shall be brought to the attention of the Architect and the Owner immediately for clarification before proceeding with the work.
6. The General Contractor shall maintain a current and complete set of Construction Documents on the job site during all phases of construction for use by all trades, and shall provide all sub-contractors with current Construction Documents as required.
7. The General Contractor shall verify and assume responsibility for all dimensions and site conditions. The General Contractor shall inspect the existing premises and take note of existing conditions. No claim shall be allowed for difficulties encountered that could have reasonably been inferred from such examination.
8. Written dimensions take precedence. DO NOT SCALE FROM DRAWINGS.
9. All dimensions when shown in plan are to face of exterior wall stud, face of CMU, or face of interior stud, unless otherwise noted.
10. All dimensions are to top of subfloor in section or elevation, unless otherwise noted.
11. The General Contractor shall review all building dimensions for accuracy prior to laying out any buildings on site, and shall notify the Architect well in advance of any discrepancies or errors.
12. Details shown are typical. Similar details apply in similar conditions.
13. Verify all architectural details with the structural drawings before the ordering of, or installation of, any item of work.
14. Where locations of windows and doors are not dimensioned, they shall be centered in the wall or placed @ min. three stud widths from adjacent wall as indicated on the drawings.
15. All changes in floor materials occur at centerline of door or framed opening, unless otherwise indicated on the drawings.
16. Install all equipment and materials per manufacturer's recommendations.
17. Verify clearances before any construction, ordering of, or installation of any item of work.
18. Follow manufacturer's installation recommendations, standard industry, and building practices for installation of all sealant, caulking, flashing, etc.
19. The General Contractor shall remove all rubbish and waste materials on a regular basis of all sub-contractors and trades, and shall exercise strict control over job cleaning to prevent any dirt, debris, or dust from affecting, in any way, finished areas inside or outside the job site.
20. The General Contractor shall provide solid blocking as required for the installation of all equipment, casework, cabinets, wood trim, accessories, handrails, etc.
21. The General Contractor must adhere to CITY OF LOS ALTOS Construction and Builder Regulations.
22. Plumbing contractor shall provide an indirect connection to sewer system for all equipments which produce liquid waste.
23. All interior materials and equipment to be directed by Owner unless otherwise stated.
24. Equipment contractors shall provide Electrical and Plumbing data and exact rough in to electrical and plumbing contractor. electrical and Plumbing permit to be supplied by electrical and plumbing contractor.
25. Plumbing and Electrical contractor shall verify all utility location with all equipment and requirements and shall be responsible for their work. All of their works must comply with local codes and approved by area inspector.
26. Contractor shall adequately shore and support existing structure if found necessary during construction.
27. All new walls at property line shall be one hr. construction.
28. Contractor must conform to local codes and ordinances before construction or fabrication.

SCOPE OF WORK

1. DEMOLISH EXISTING 1 STORY HOME AND BUILD NEW 2 STORY STRUCTURE WITH AN ATTACHED 2 CAR GARAGE WITH A DETACHED AND ATTACHED ADU (UNDER SEPARATE PERMIT)

PROJECT INFORMATION

APN: 167-023-078
CONSTRUCTION TYPE: V-B (NON RATED)
NO. OF BLDG STORY: 2
COVERED PARKING SPACE: 2
UNCOVERED PARKING SPACE: 3
OCCUPANCY GROUP: R-3 & U
SPRINKLER REQUIRED: YES
ZONING DESIGNATION: R1-10
LOT SIZE: 12,000 sf
FAR ALLOWED: 3,950 sf
FAR PROPOSED: 3,945 sf (refer to FAR table)

GENERAL PLAN DESIGNATION: (SF4)
FEMA MAPS ZONE X

PERMIT NOTES

1. FIRE SPRINKLER SYSTEM TO BE UNDER SEPARATE PERMIT (DEFERRED SUBMITTAL). – THE MAIN HOUSE WILL BE REQUIRED TO HAVE SPRINKLERS UNDER NFPA 13D.
2. THE ADDRESS OF THE RESIDENCE SHALL BE PROVIDED AND PLACED IN A POSITION THAT IS READILY VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY. THE ADDRESS NEEDS TO BE MIN. 4" HIGH AND 1/2" THICK.
3. Solar system shall be deferred and specify the 3.59kWdc system will be installed under separate permit.
4. Electric vehicle chargers require separate permit per City of Los Altos submittal requirement.
5. Refer to CFC Ch 33 and standard detail and specification S1-7 for site condition during construction.

MAIN HOUSE - ZONING COMPLIANCE (compared to existing house)

| | Existing | Proposed | Allowed / Required |
|--|--|---|---|
| Lot Coverage: <i>Land area covered by all structures that are over 6 feet in height</i> | 3063 square feet (25.5 %) | 2882 square feet (24.0 %) | 3,600 square feet (30 %) |
| Floor Area: <i>Measured to the outside surfaces of exterior walls</i> | 1st Flr: 2710 sq ft 2nd Flr: 0 sq ft Total: 2710 sq ft (22.6 %) | 1st Flr: 2284 sq ft 2nd Flr: 1661 sq ft Total: 3945 sq ft (33 %) | 3,950 square feet (35 % x 11000) (+ 100 sf) |
| Setbacks: | | | |
| Front | 23.5 feet | 25 feet | 25 feet |
| Rear | 34 feet | 44 feet | 25 feet |
| Right side (1st/2nd) | 10.5 feet / 0 feet | 23.3 feet / 29 feet | 10 feet / 17.5 feet |
| Left Side (1st/2nd) | 8.2 feet / 0 feet | 10 feet / 20 feet | 10 feet / 17.5 feet |
| Height: | 21 feet | 26.75 feet | 27 feet |

SQUARE FOOTAGE BREAKDOWN

| | Existing | Change in | Total Proposed |
|---|------------------|------------------|------------------|
| Habitable Living Area: <i>Includes habitable basement areas</i> | 2274 square feet | 1179 square feet | 3453 square feet |
| Non-Habitable Area: <i>Does not include covered porches or open structures</i> | 436 square feet | 56 square feet | 492 square feet |

LOT CALCULATIONS

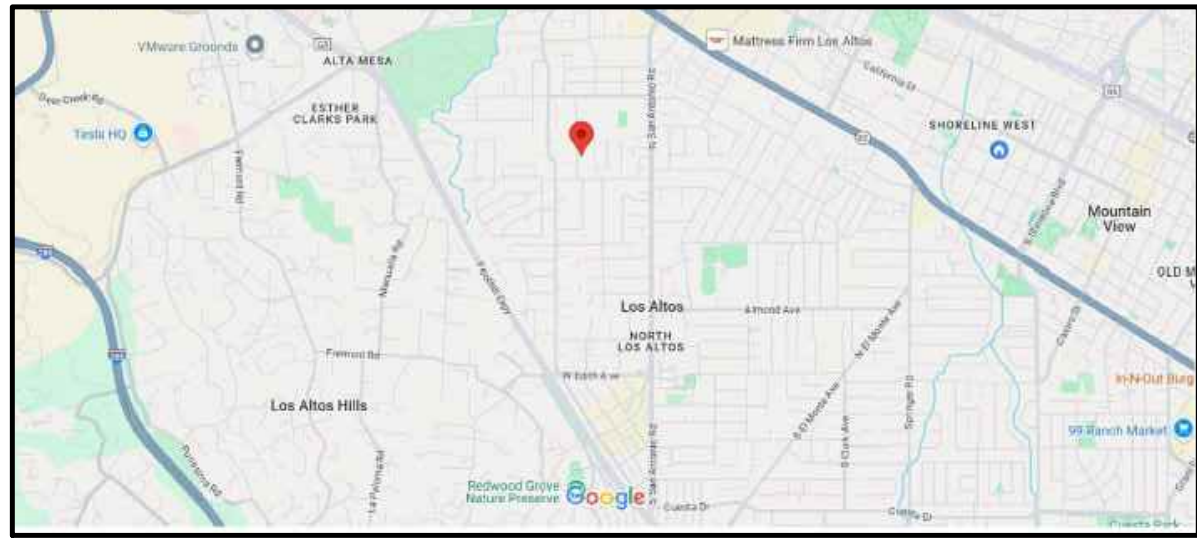
| | |
|--|--|
| Net Lot Area: | 12,000 square feet |
| Front Yard Hardscape Area: <i>Hardscape area in the front yard setback shall not exceed 50%</i> | 1200 square feet (48 %) |
| Landscaping Breakdown: | Total hardscape area (existing and proposed): 5635 sq ft Existing softscape (undisturbed) area: 3075 sq ft New softscape (new or replaced landscaping) area: 3290 sq ft Sum of all three should equal the site's net lot area |

RESERVED FOR CONDITIONS OF APPROVAL

ALL APPLICABLE CODES:

2022 CALIFORNIA BUILDING CODE
2022 CALIFORNIA RESIDENTIAL CODE
2022 CALIFORNIA ENERGY CODE
2022 CALIFORNIA GREEN CODE
202 CALIFORNIA FIRE CODE
2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA PLUMBING CODE
2022 CALIFORNIA ELECTRICAL CODE
MUNICIPAL CODE OF LOS ALTOS

VICINITY MAP



CONCEPTUAL RENDERING

SHEET INDEX

A1.01 - COVER SHEET AND INFORMATION
A1.02 - SITE PLAN
A1.02A - FAR EXHIBIT
A1.03 - NEIGHBORHOOD CONTEXT

C1 - NOTES AND LEGEND
C2 - SITE SURVEY
C3 - GRADING AND DRAINAGE PLAN
C3 - EROSION CONTROL PLAN

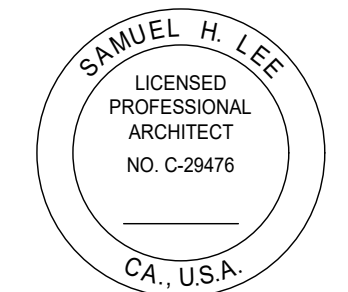
LC.1 - PRELIMINARY SITE PLAN
LC.2 - IMAGES AND DETAILS
LI.1 - PRELIMINARY IRRIGATION PLAN
LP.1 - PRELIMINARY PLANTING PLAN
LI.1 - PRELIMINARY TREE PROTECTION PLAN
LP.1 - PLANT IMAGERY

A2.01 - PROPOSED FIRST FLOOR PLAN
A2.02 - PROPOSED SECOND FLOOR PLAN
~~A2.03 - PROPOSED ROOF PLAN~~
~~A2.04 - ADU FLOOR AND ROOF PLAN~~
~~A3.01 - EXTERIOR ELEVATIONS & MAT. BD.~~
~~A3.02 - EXTERIOR ELEVATIONS~~
~~A3.03 - SECTIONS~~
~~A3.04 - ADU ELEVATIONS AND SECTIONS~~

SHL ARCHITECTURE

ARCHITECTURE AND PLANNING
PO BOX 669
MOUNTAIN VIEW, CA 94041
T: 415.235.2034
EMAIL: samlearch@gmail.com

ARCHITECTURAL LICENCE
NUMBER:
CALIFORNIA: C-29476



EXP: 04-30-2025

PRIVATE RESIDENCE

677 LINDEN AVE
ALTOS, CA. 94022

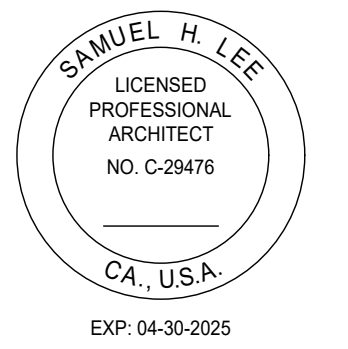
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|----------|-----------------------------|
| 01/15/25 | PLANNING DEPT. SUBMITTAL |
| 03/19/25 | PLANNING DEPT. RE-SUBMITTAL |

| | |
|-------------|-------|
| PROJECT #: | 25-02 |
| DRAWN BY: | LS |
| CHECKED BY: | LS |

SHEET TITLE:
COVER SHEET

SHEET NUMBER:

A1.01



PRIVATE RESIDENCE
677 LINDEN AVE
ALTOS, CA. 94022

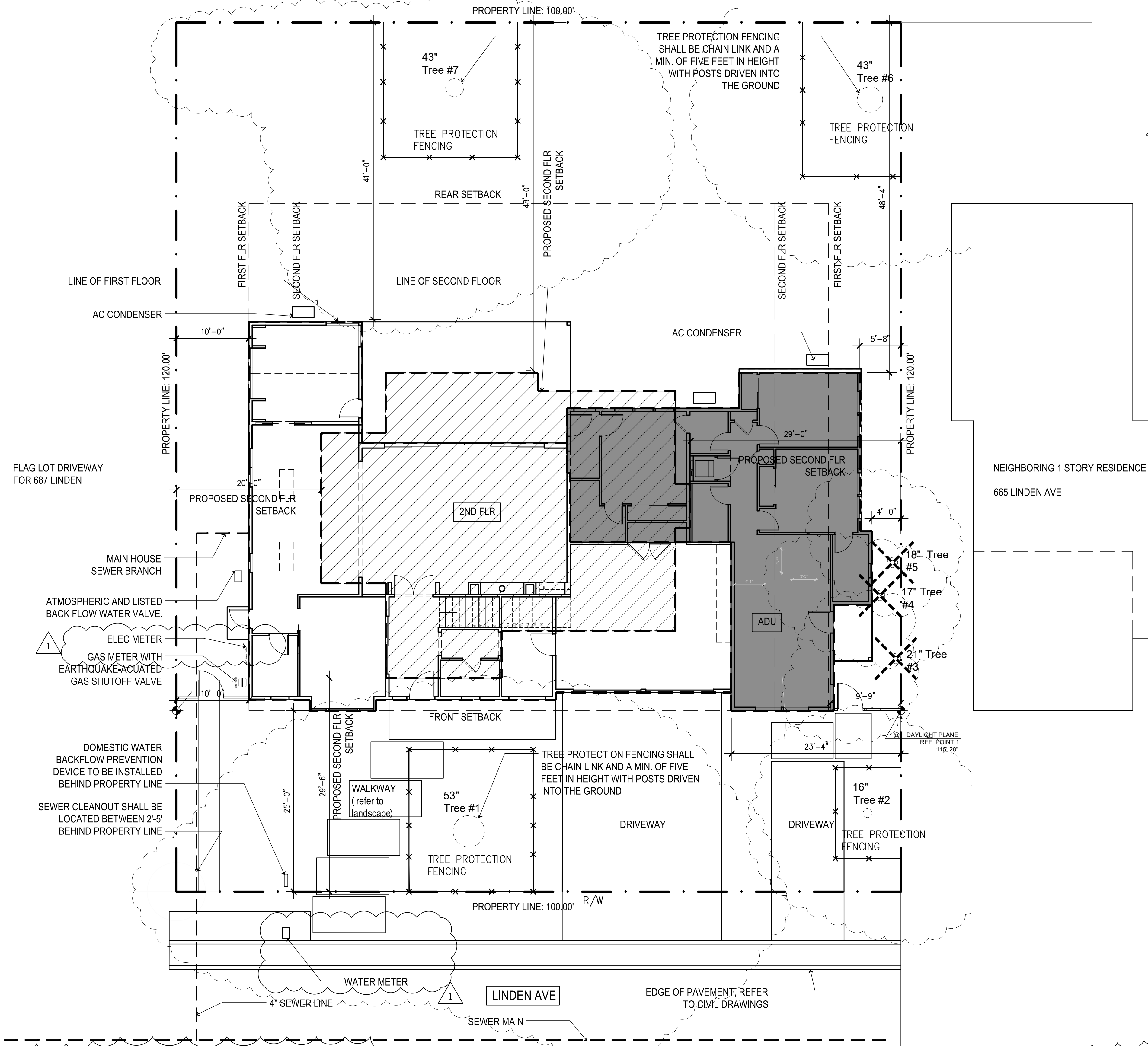
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|-------------|-------|
| PROJECT #: | 25-02 |
| DRAWN BY: | LS |
| CHECKED BY: | LS |

SHEET TITLE:
SITE PLAN

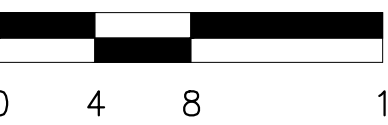
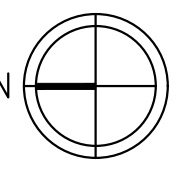
SHEET NUMBER:

A1.02



1 PROPOSED SITE PLAN
SCALE: 1/8" = 1'-0"

REFERENCE



| | | | |
|--|--|---|----------|
| Outdoor Unit | MCA | A | 17.9 |
| | MCA2 | A | 21 |
| | Fan Motor Full Load Amperage | A | 1 |
| | Fan Motor Output | W | 60 |
| | Refill Oil (lb) | CFM | 2000/100 |
| | Refrigerant Corros | LEV | |
| | Defrost Method | Reverse Cycle | |
| | Coil/Refr. Heat Exchanger | Heat Exchanger | |
| | Sound Pressure Level: Cooling | dB(A) | 55 |
| | Sound Pressure Level: Heating | dB(A) | 55 |
| | Compressor Type | DC INVERTER + Twin Rotary | |
| Outdoor Unit Operating Temperature Range | Compressor Amps | SHELLCOIL QUANT1 | |
| | Compressor Rated Load Amps | 15.9 | |
| | Compressor Locked Rotor Amps | 16.9 | |
| | Compressor Oil Type / Charge | POLYSOL / 15.6 | |
| | External Fresh Air | Iccory Model# 371 7.8/1 | |
| | Base Part Number | Optional | |
| | Unit Dimensions | 33-1/8 in. H x 34-3/8 in. W x 330 in. D (848 x 869 x 840) | |
| | Package Dimensions (L x W x H) | 33-1/8 in. x 16-5/8 in. x 320 (848 x 420 x 950) | |
| | Unit Weight | 129 lbs. | |
| | Packages Weight | 142 lbs. | |
| Refrigerant | Cooling Refr. Type / Maximum / Minimum | R410A / 115/104 °F | |
| | Cooling Thermal Load / Reheat Temperature** | °F / 11.5 | |
| | Heating Thermal Load / Re-heat Temperature** | °F / 10.1 | |
| | Type | R410A | |
| | Charge | Lbs. 4.1-8 | |
| | Chargings Piping Length | Ft. 100 | |
| | Additional Refrigerant Charge Per Additional Piping Length | oz./Ft. 2.50/1.75 | |
| | Cooling Pipe Size O.D. (Flare) | 3/8" (60) | |
| | Heating Pipe Size O.D. (Flare) | 3/8" (60) | |
| | Maximum Piping Length | Ft. 100 | |
| | Maximum Height Difference | Ft. 100 | |
| Piping | Maximum Number of Bends | 12 | |

*Applications should be restricted to comfort cooling only; equipment cooling applications are not recommended for low ambient temperature conditions.

The figure displays two architectural floor plans with detailed dimensions and area calculations.

FLOOR AREA CALCULATION

| LABEL | DIMENSIONS | AREA |
|------------------------|-------------------------|--------------|
| 1ST FLR - MAIN HOUSE | | |
| A | 8'-4 1/2" X 21'-9" | 182 sqft |
| B | 9'-2" X 23'-3" | 213 sqft |
| C | 24'-10" X 21'-9" | 530 sqft |
| D | 44'-4 1/2" X 9'-7" | 425 sqft |
| E | 43'-11" X 4'-1 1/2" | 181 sqft |
| F | 15'-7 1/2" X 16'-8 1/2" | 261 sqft |
| GARAGE | | |
| G | 24'-2" X 20'-9" | 492 sqft |
| ADU - ATTACHED | | |
| H | 22'-2" X 9'-7" | 212 sqft |
| I | 22'-7 1/2" X 8'-11" | 202 sqft |
| J | 16'-9 1/2" X 5'-5" | 91 sqft |
| K | 41'-9" X 14'-2" | 572 sqft |
| L | 3'-9 1/2" X 17'-0" | 64 sqft |
| M | 5'-3 1/2" X 7'-9" | 54 sqft |
| PORCHES | | |
| AAA | 23'-0 1/2" X 5'-6" | 126 sqft |
| BBB | 28'-3 1/2" X 16'-8 1/2" | 472 sqft |
| CCC | 5'-3 1/2" X 7'-9" | 41 sqft |
| 2ND FLR | | |
| AA | 8'-10 1/2" X 20'-9" | 184 sqft |
| BB | 16'-0" X 34'-5" | 550 sqft |
| CC | 21'-0" X 8'-3 1/2" | 161 sqft |
| DD | 18'-11 1/2" X 5'-2" | 99 sqft |
| EE | 23'-11 1/2" X 27'-11" | 655 sqft |
| FF | 2'-0" X 6'-1" | 12 sqft |
| AREA TOTALS | | |
| FIRST FLR | | 2284 sqft |
| SECOND FLR | | 1661 sqft |
| TOTAL | | 3945 sqft |
| PORCHES (NOT INCLUDED) | | |
| ADU - ATTACHED | | 1,195 sqft |
| FLOOR AREA RATIO | | |
| LOT SIZE | | 12,000 sqft |
| MAX FAR | 3,850+100 sf | (3,950 sqft) |
| PROPOSED FAR | | (3,945 sqft) |
| LOT COVERAGE | | |
| MAX LOT COVERAGE | 30% | (3,600 sqft) |
| PROPOSED LOT COVERAGE | | (2882 sqft) |

Floor Plan Details:

The top floor plan shows various rooms labeled A through FF, with dimensions provided for each room and overall sections. The bottom floor plan shows rooms labeled AAA through CCC, with dimensions provided for each room and overall sections.

16

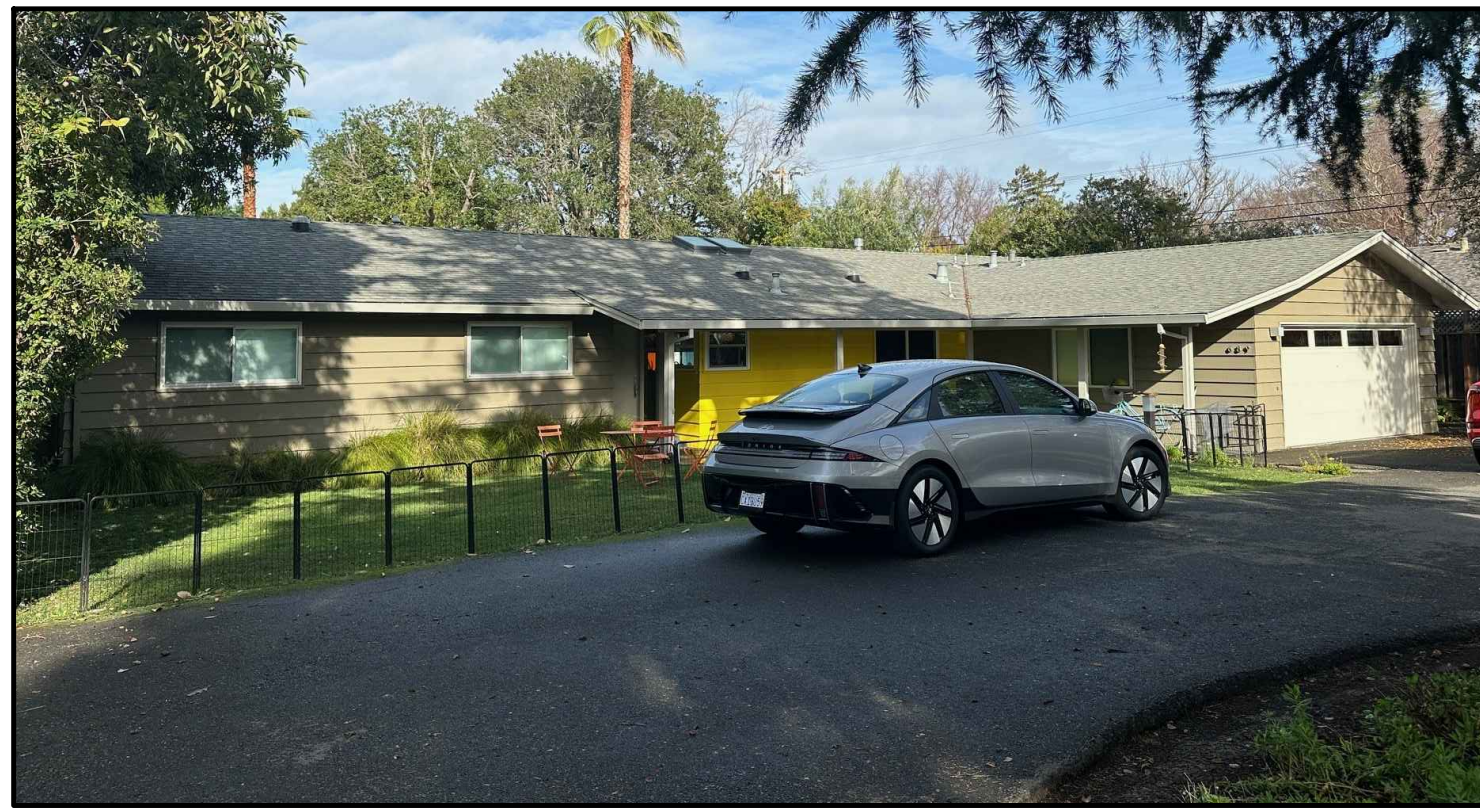
1

PRIVATE RESIDENCE
677 LINDEN AVE
ALTOS, CA. 94022

| | |
|-------------|-------|
| PROJECT #: | 25-02 |
| DRAWN BY: | LS |
| CHECKED BY: | LS |

TITLE:
FAR EXHIBIT

A1.02A



689 LINDEN



SUBJECT PROPERTY - 677 LINDEN AVE



687 LINDEN



717 LINDEN



665 LINDEN



707 LINDEN



651 LINDEN



696 LINDEN



680 LINDEN



666 LINDEN

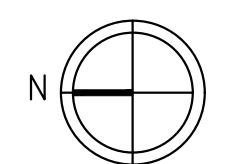


638 LINDEN

REFERENCE

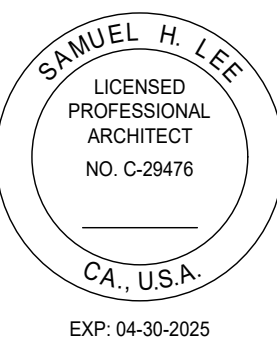
NEIGHBORHOOD CONTEXT MAP

SCALE: 1" = 40'



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EMAIL: samlearch@gmail.com

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677 LINDEN AVE
ALTOS, CA. 94022

| DATE | ISSUE |
|----------|-----------------------------|
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| 03/19/25 | PLANNING DEPT. RE-SUBMITTAL |

| | |
|-------------|-------|
| PROJECT #: | 25-02 |
| DRAWN BY: | LS |
| CHECKED BY: | LS |

SHEET TITLE:
SITE CONTEXT

SHEET NUMBER:

A1.03

NOTES

- CONTRACTOR SHALL CONTACT "U.S.A." AT LEAST 48 HOURS PRIOR TO EXCAVATING IN ANY AREA WHERE UNDERGROUND FACILITIES ARE LOCATED. PHONE (800)642-2444.
- THE EXISTENCE, LOCATION AND ELEVATION OF ANY UNDERGROUND UTILITIES ARE SHOWN IN A GENERAL WAY ONLY. IT WILL BE THE RESPONSIBILITY AND DUTY OF THE CONTRACTOR TO MAKE FINAL DETERMINATIONS AS TO THE EXISTENCE, LOCATION AND ELEVATION OF ALL UTILITIES.
- DATE OF SURVEY: 11-25-2024
- THE BEARING OF N 89°59'00" E BETWEEN FOUND MOUNUMENTS ON THE MOUNUMENT LINE OF PINE LANE AS SHOWN ON THE PARCEL MAP RECORDED IN BOOK 962 OF MAPS AT PAGES 18-19, SANTA CLARA COUNTY RECORDS, WAS USED AS BASIS OF BEARINGS HEREON.
- IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE OR AGENT TO IDENTIFY, LOCATE AND PROTECT ALL UNDERGROUND FACILITIES.
- THE PERMITTEE OR AGENT SHALL MAINTAIN THE STREETS, SIDEWALKS AND ALL OTHER PUBLIC RIGHTS-OF-WAY IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE PUBLICLY OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC SHALL BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION.
- ALL GRADING SHALL BE PERFORMED IN SUCH A MANNER AS TO COMPLY WITH THE STANDARDS ESTABLISHED BY THE AIR QUALITY MANAGEMENT DISTRICT FOR AIRBORNE PARTICULATES.
- ALL KNOWN WELL LOCATIONS ON THE SITE HAVE BEEN INCLUDED AND SUCH WELLS SHALL BE MAINTAINED OR ABANDONED ACCORDING TO CURRENT REGULATIONS ADMINISTERED BY THE SANTA CLARA VALLEY WATER DISTRICT. CALL (408) 265-2600 EXTENSION 2660 TO ARRANGE FOR DISTRICT OBSERVATION OF ALL WELL ABANDONMENTS.
- IN THE EVENT THAT HUMAN REMAINS AND/OR CULTURAL MATERIALS ARE FOUND, ALL PROJECT-RELATED CONSTRUCTION SHOULD CEASE WITHIN A 100-FOOT RADIUS. THE CONTRACTOR SHALL, PURSUANT TO SECTION 7050.5 OF THE HEALTH AND SAFETY CODE, AND SECTION 5097.94 OF THE PUBLIC RESOURCES CODE OF THE STATE OF CALIFORNIA, NOTIFY THE SANTA CLARA COUNTY CORONER IMMEDIATELY.
- THIS PLAN DOES NOT APPROVE THE REMOVAL OF TREES. APPROPRIATE TREE REMOVAL PERMITS AND METHODS OF TREE PRESERVATION SHOULD BE OBTAINED FROM THE CITY'S PLANNING DEPARTMENT AND THE CITY ARBORIST.
- ALL GRADING WORK SHALL CONFORM TO THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL REPORT AND/OR THE PROJECT SOIL ENGINEER.
- ALL GRADING WORK SHALL BE OBSERVED AND APPROVED BY THE SOIL ENGINEER. THE SOIL ENGINEER SHALL BE NOTIFIED AT LEAST 48 HOURS BEFORE BEGINNING ANY GRADING. UNOBSERVED AND/OR UNAPPROVED GRADING WORK SHALL BE REMOVED AND REPLACED UNDER OBSERVATION.
- ANY DAMAGED RIGHT-OF-WAY INFRASTRUCTURES AND OTHERWISE DISPLACED CURB AND GUTTER SHALL BE REMOVED AND REPLACED AS DIRECTED BY THE CITY ENGINEER OR HIS DESIGNEE. CONTRACTOR SHALL COORDINATE WITH PUBLIC WORKS DEPARTMENT AT (650) 947-2680.
- PRIOR TO COMMENCEMENT OF ANY WORK DONE IN THE PUBLIC RIGHT-OF-WAY, A PERMIT TO OPEN STREET AND/OR AN ENCROACHMENT PERMIT WILL BE REQUIRED.
- BENCHMARK: III-41
BRONZE DISK CITY OF LOS ALTOS "BM08" TOP OF CURB @ NE RETURN PINE LN & LOS ALTOS AVE, 1 FT SOUTH OF SOUTH EDGE OF HC RAMP. ELEVATION=122.892 DATUM: NAVD 1988
- LOT AREA=12,000± SF

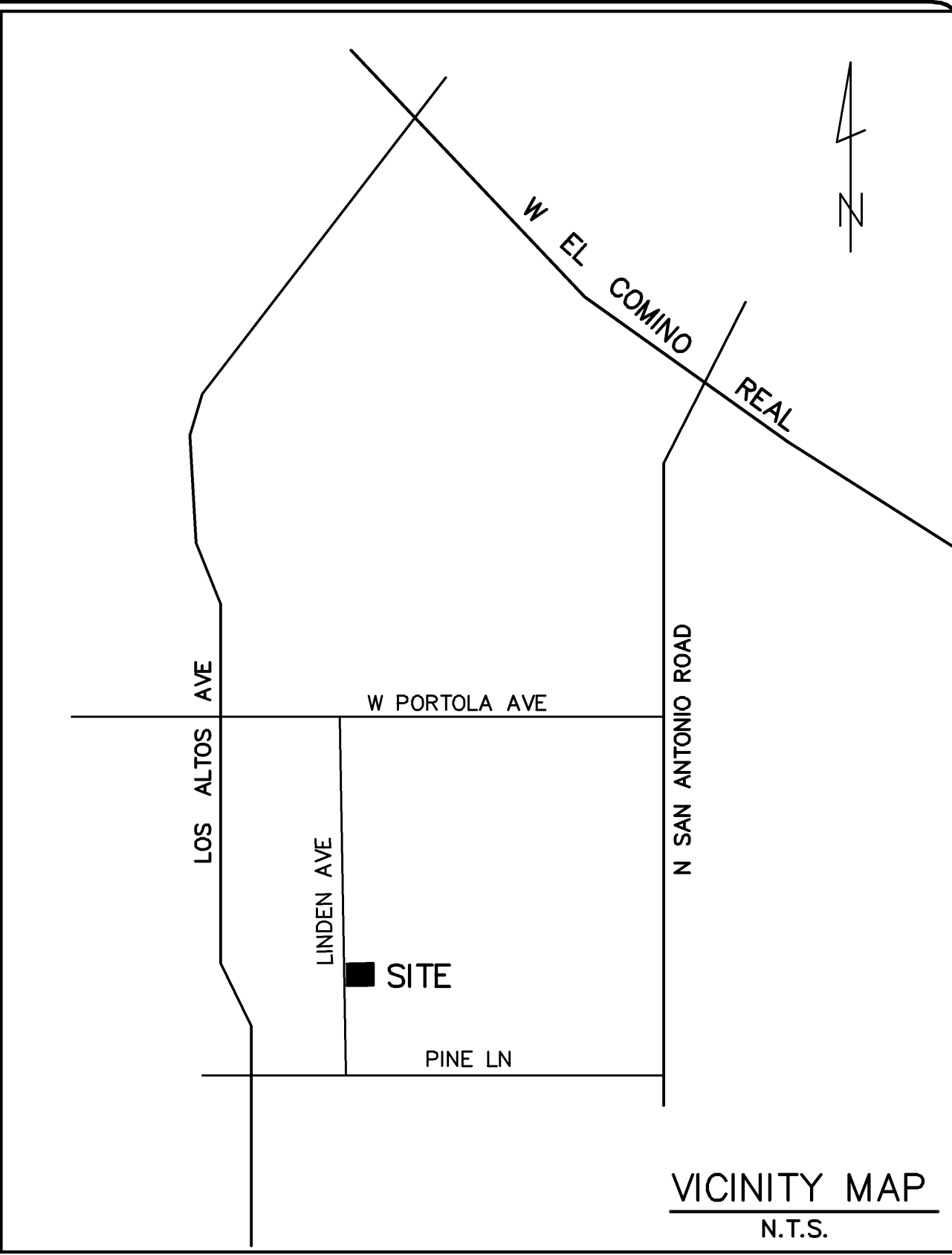
GRADING & DRAINAGE P L A N
APN 167-23-078
677 LINDEN AVENUE
LOS ALTOS, CA

ABBREVIATIONS

| | |
|------|-------------------------|
| BOC | BACK OF CURB |
| CB | CATCH BASIN |
| CLF | CHAIN LINK FENCE |
| CONC | CONCRETE |
| DS | DOWN SPOUT |
| DWY | DRIVEWAY |
| EL | ELECTROLIER |
| EM | ELECTRIC METER |
| FC | FACE OF CURB |
| FH | FIRE HYDRANT |
| FL | FLOW LINE |
| GM | GAS METER |
| GV | GAS VALVE |
| IRR | IRRIGATION |
| MON | MONUMENT |
| PP | POWER POLE |
| SD | STORM DRAIN |
| SDMH | STORM DRAIN MANHOLE |
| SS | SANITARY SEWER |
| SSCO | SANITARY SEWER CLEANOUT |
| SSMH | SANITARY SEWER MANHOLE |
| TC | TOP OF CURB |
| W | WATER |
| WCR | WHEEL CHAIR RAMP |
| WM | WATER METER |
| WV | WATER VALVE |

LEGEND:

| EXISTING | (Symbol Size May Vary) | PROPOSED |
|----------|--------------------------------|----------|
| --- | Property Boundary | |
| - - - | Centerline | |
| ==== | Curb & Gutter | ==== |
| ---SD--- | Storm Drain | |
| ---SS--- | Sanitary Sewer | |
| ---W--- | Water | |
| ---G--- | Gas | |
| ---E--- | Electric | |
| ---X--- | Fence | |
| ⊕ | Electrolier | |
| ⊗ | Swale | ----- |
| ⊗ | Water Valve | |
| △ | Field Inlet / Flat Grate Inlet | |
| ○ | Sanitary Sewer | |
| ⊗ | Storm Manhole | |
| + 102.89 | Point Elevation as Noted | |
| → | Direction of Surface Drainage | → |
| →Release | Overland Release | →Release |
| -10- | Contour | -10- |
| -R- | Ridge Line | -R- |
| | Concrete | |



PRELIMINARY

NOTES & LEGEND
APN 167-23-078
677 LINDEN AVENUE
IN THE CITY OF LOS ALTOS, CALIFORNIA

| REVISIONS | |
|-----------|-------------------------|
| DATE | BY CHK'D DESCRIPTION |
| | |
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| | |
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| | |
| | |
| | |
| | |
| | |

| | |
|----------|----------|
| SCALE | N/A |
| DATE | 03-19-25 |
| DWN | SS ME30 |
| CHK'D | |
| JOB NO. | 24068 |
| DWG. NO. | L15313 |

SHEET
C1

OF 4 SHEETS

EARTH WORK QUANTITIES

CUT: 40 C.Y.
FILL: 40 C.Y.
EXPORT: 0 C.Y.
IMPORT: 0 C.Y.

NOTE: EARTHWORK QUANTITIES SHOWN ARE APPROXIMATE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INDEPENDENTLY ESTIMATE QUANTITIES FOR HIS/HER OWN USE.

SHEET INDEX

C1 NOTES & LEGEND
C2 SITE SURVEY
C3 GRADING & DRAINAGE PLAN
C4 EROSION CONTROL PLAN

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3. DATE OF SURVEY: 11-25-24
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6. LOT AREA=12,000± SF

30'

PH
X
117.43WV
X
115.14X
115.25X
115.59X
116.02X
116.20X
116.26X
116.33X
116.52X
116.19X
116.37X
116.59X
116.56X
116.84X
116.23X
116.00X
116.23X
116.08X
116.15X
116.23X
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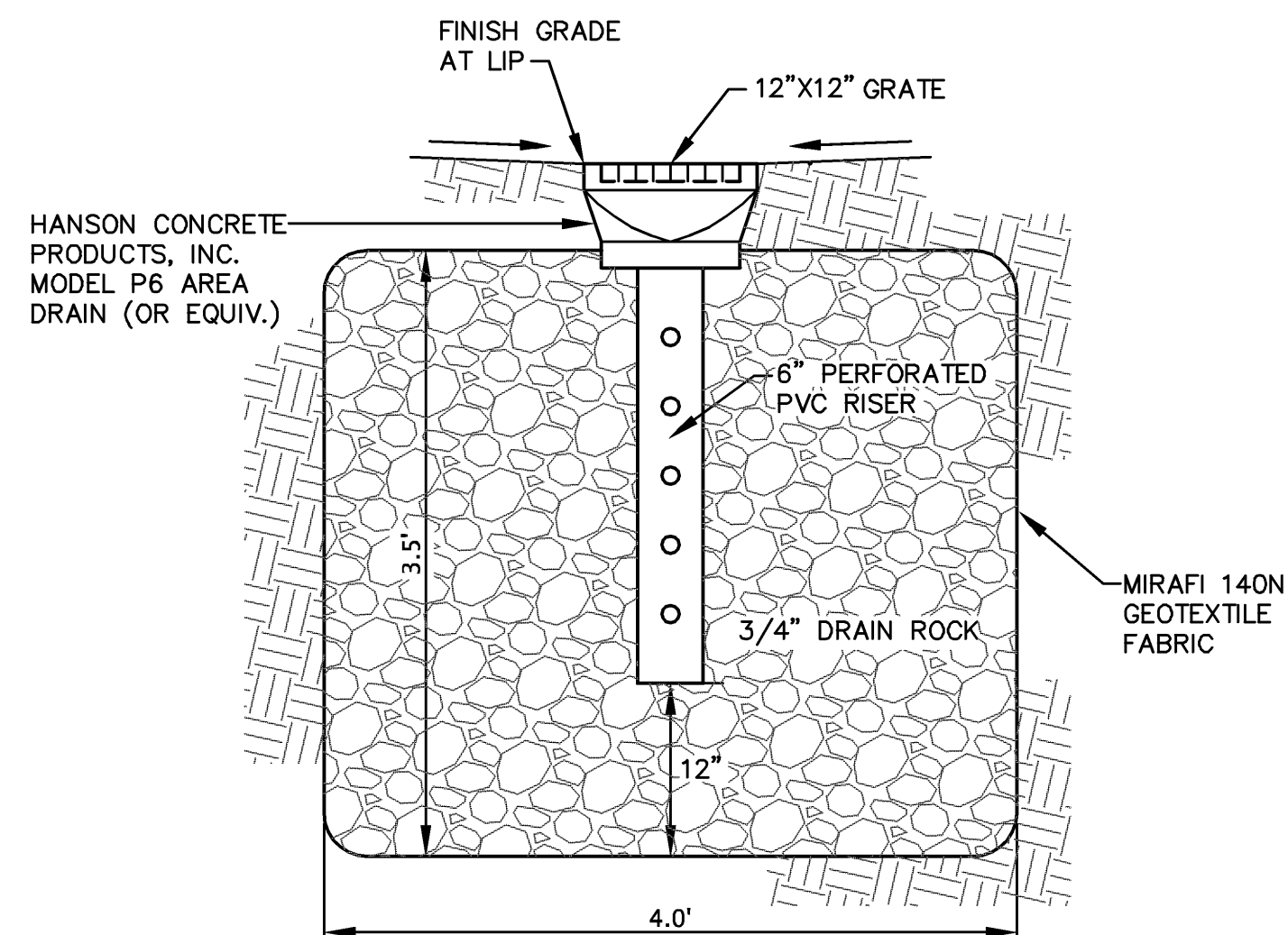
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PERCOLATION TEST TO BE CONDUCTED TO VERIFY SIZE.

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LINDEN AVENUE

S 00°33'42" W

EDGE OF PAVEMENT

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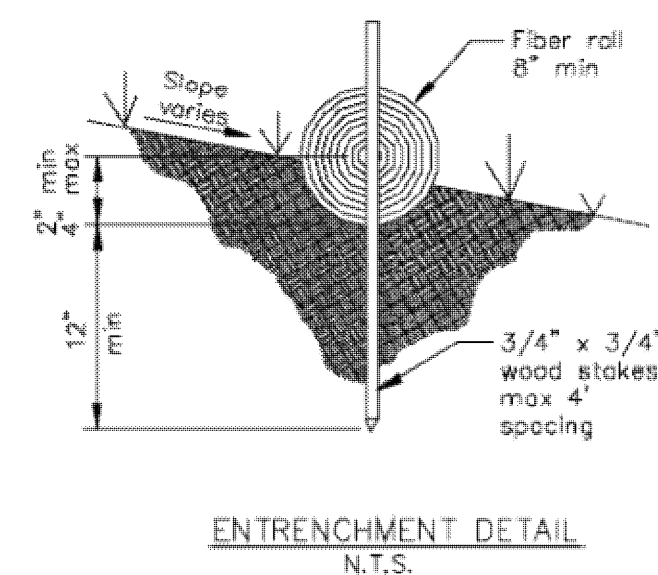
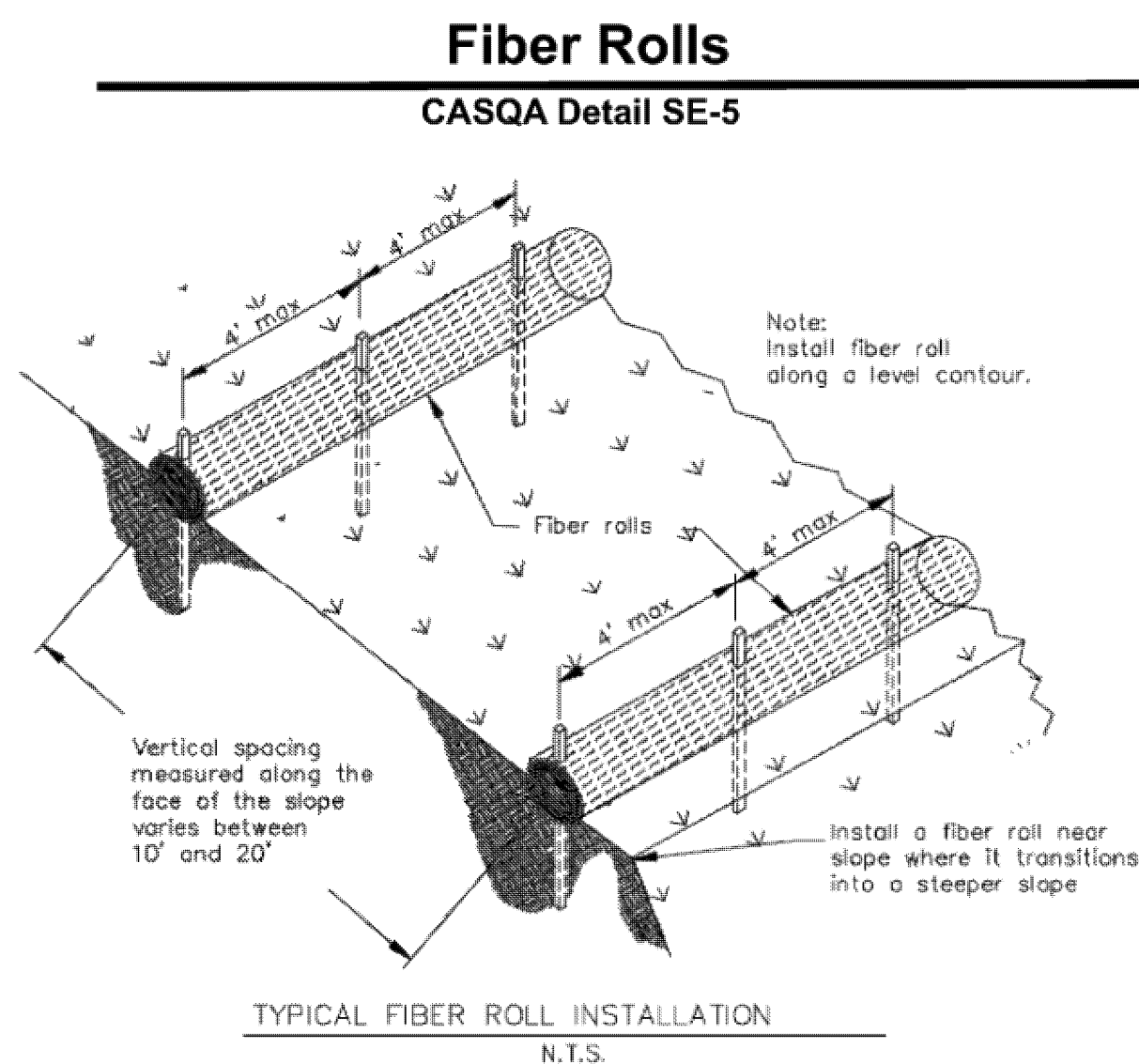
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LINDEN AVENUE

STABILIZED CONSTRUCTION
ENTRANCE/EXIT

PRELIMINARY

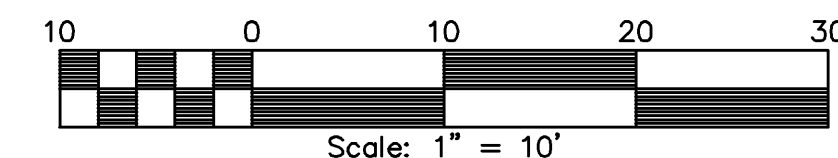
EROSION CONTROL PLAN

APN 167-23-078

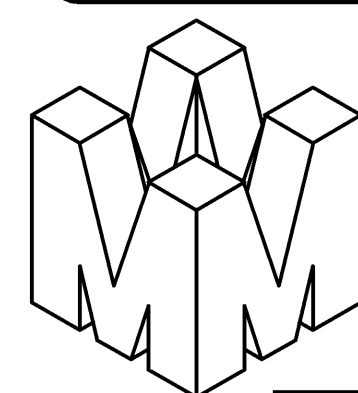
677 LINDEN AVE.

IN THE CITY OF LOS ALTOS, CALIFORNIA

APN 167-23-079



APN 167-23-077



DANIEL NUNES, R.C.E. 76449-EXPIRES 12-31-26 L.S. 9212-EXPIRES 09-30-25

PLANNING • LAND SURVEYING • CIVIL ENGINEERING • CONSTRUCTION STAKING

MISSION ENGINEERS, INC.

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2355 De La Cruz Blvd. Santa Clara, California 95050

Ph: (408) 727-8262 FAX: (408) 727-8285 E-mail: mission@missionengineersinc.com

| REVISIONS | | | |
|-----------|----|-------------|-------|
| DATE | BY | DESCRIPTION | CHK'D |
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SCALE: 1"=10'

DATE: 03-19-25

DWN: SS ME30

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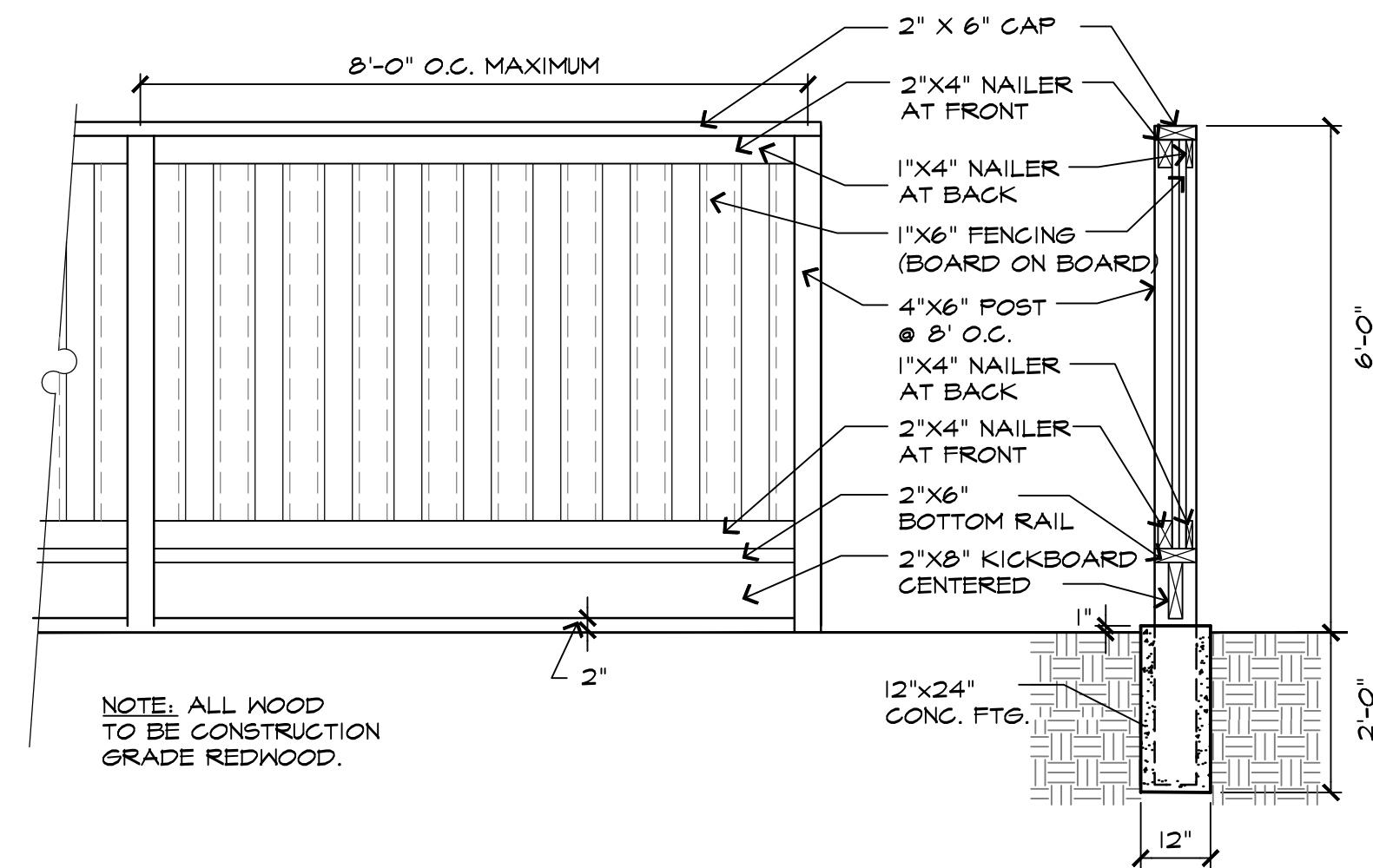
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DWG NO. L15313

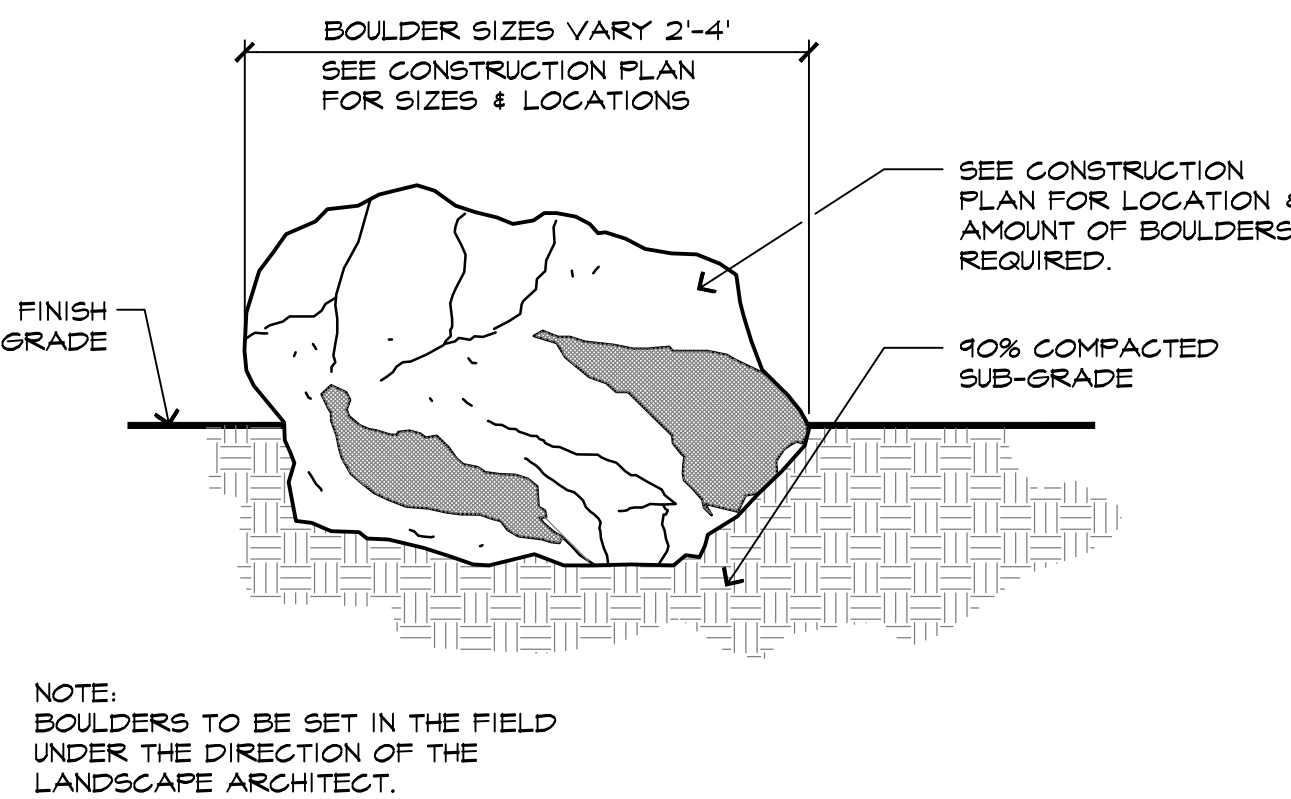
SHEET

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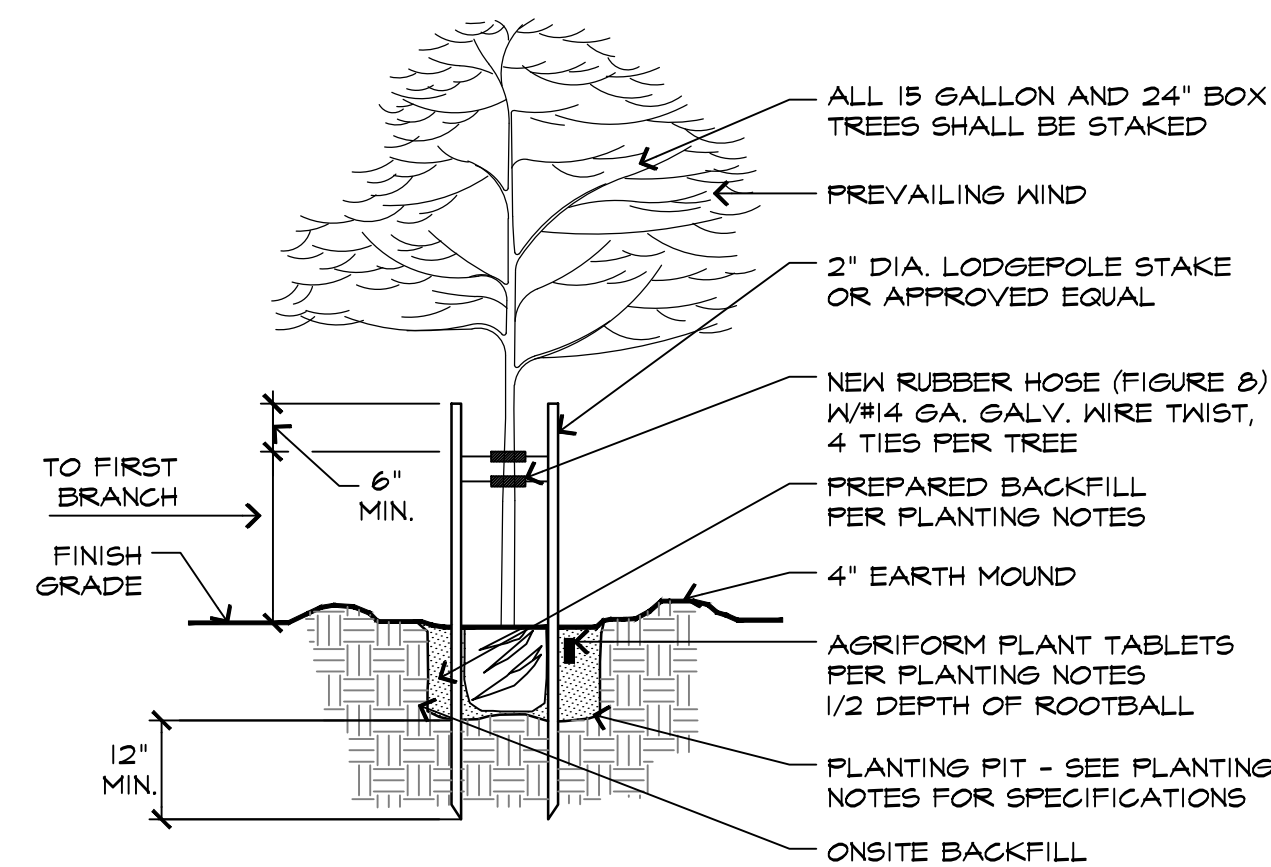
OF 4 SHEETS



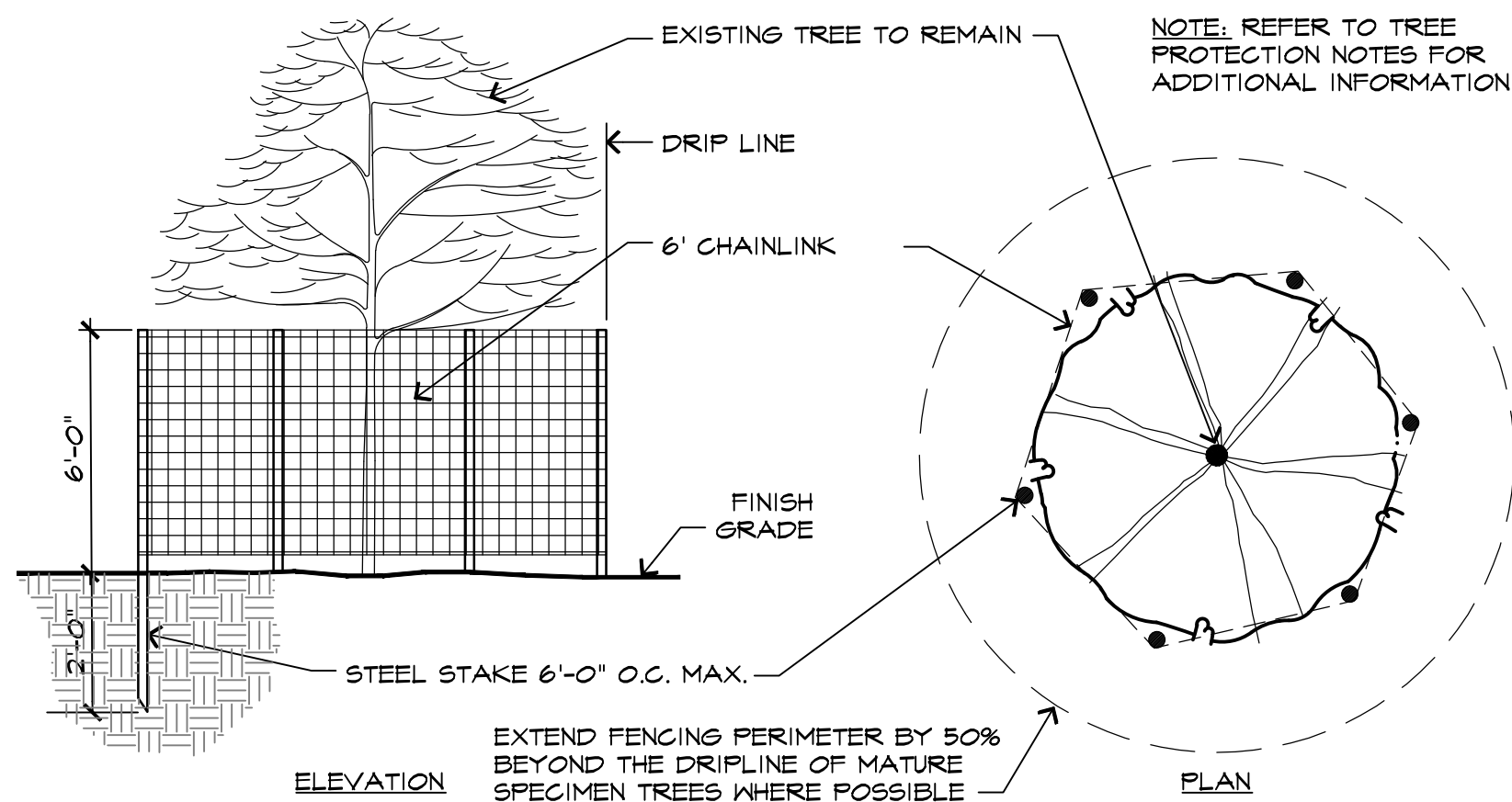
WOOD FENCE W/KICKERBOARD SCALE: 1/2" = 1'-0"
024 - Fndturf



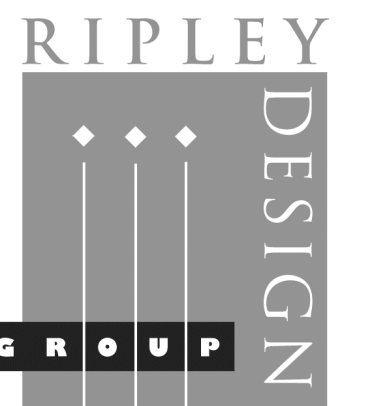
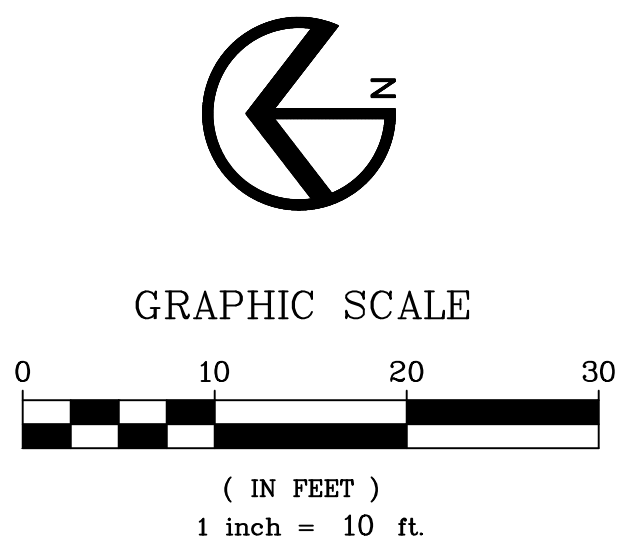
BOULDER INSET FINISHED GRADE N.T.S.
000 - Blg



TREE PLANTING AND STAKING DETAIL SCALE: 1/2" = 1'-0"
024 - TreePlntg



TREE PROTECTION FENCING DETAIL SCALE: N.T.S.
024 - TreeFencing



RIPLEY DESIGN GROUP, INC.
Landscape Architecture
Land Planning
1615 Bonanza St., Suite 314
Walnut Creek
California 94596
Tel 925.938.7377
Fax 925.938.7436

CLIENT:

SAM LEE

677 LINDEN AVE.
LOS ALTOS, CA
94022

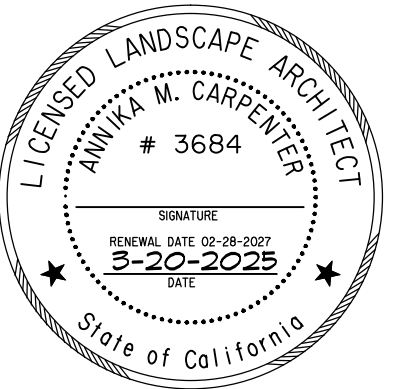
TEL: (408) 761-2221

PROJECT:

677 LINDEN AVENUE

LOS ALTOS,
CALIFORNIA

**PRELIMINARY
SITE PLAN**



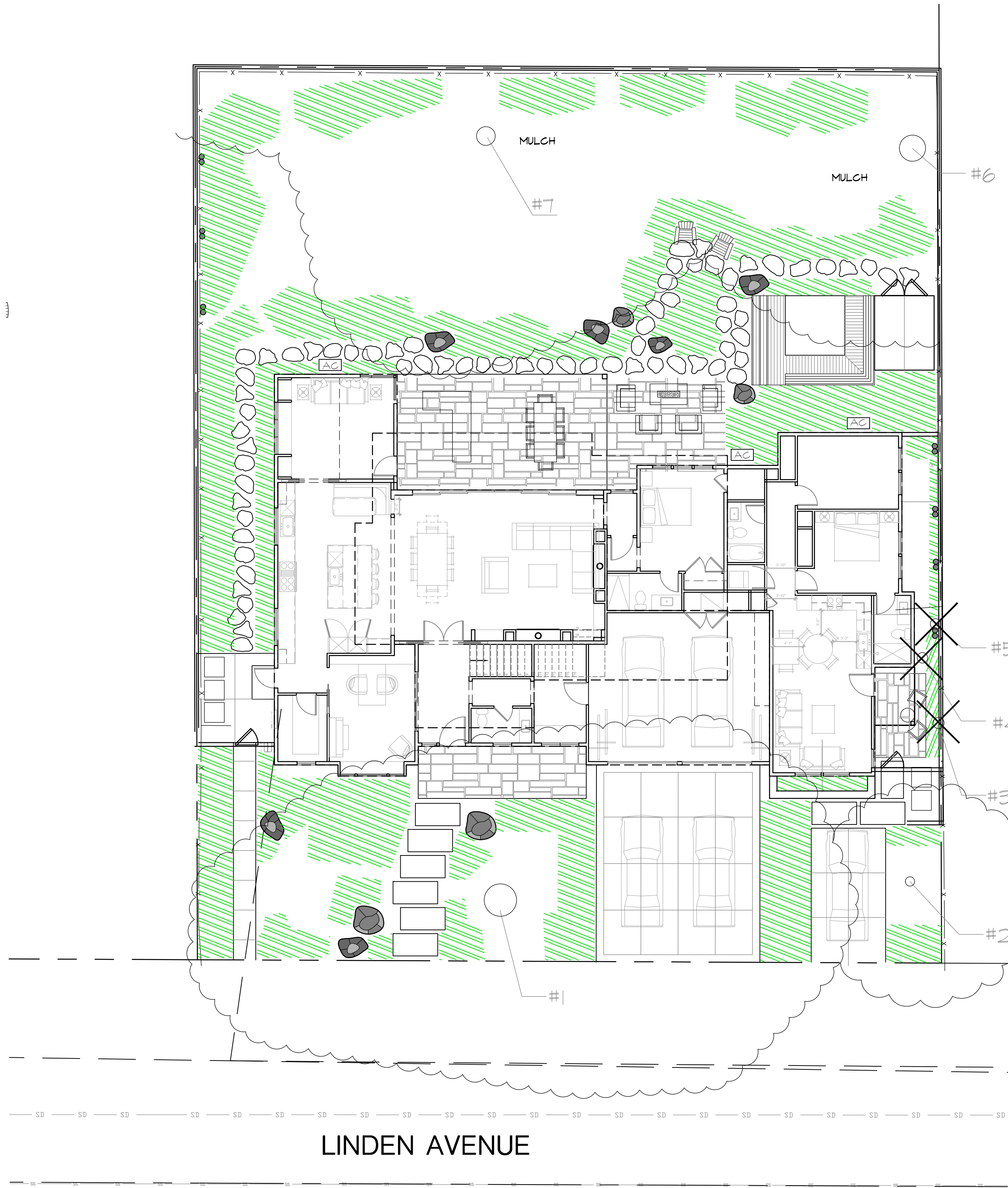
PROJECT #:
DATE: MAR. 20, 2025
SCALE: 1"=10'
DRAWN BY: WPG
CHECKED BY: AMC

REVISIONS:

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OF 1 SHEET



PROPOSED IRRIGATION EQUIPMENT

| SYMBOL | DESCRIPTION | SPECIFICATION | NOZZLE GPM | OPERATING PSI |
|--------|--|--|----------------|---------------|
| | 1" COMMON AREA WATER METER | -BY OTHER SECTION OF CONTRACT | | |
| | 1" IRRIGATION WATER SUBMETER | -RAINBIRD FM-100-B | | |
| | 1" FLOW SENSOR | -HUNTER HC SERIES, OR EQUAL | | |
| | 1" MASTER VALVE | -HUNTER PGV SERIES, OR EQUAL | | |
| | ELECTRIC CONTROLLER (12 STA) | -HUNTER-I-CORE-IC600PL W/ ICM-600 (ET-BASED) | | |
| | REMOTE CONTROL VALVES | -RAINBIRD PEB SERIES- PRS DIAL OR EQUAL | | |
| | REMOTE CONTROL VALVES | -RAINBIRD PEB SERIES- PRS DIAL W/ REGULATOR & FILTER OR EQUAL | | |
| | BALL VALVE | -NIBCO-T-560-BR-20-IRR-LINE SIZE | | |
| | FLUSH VALVE | -NETAFIM TECHLINE OR EQUAL | | |
| | BACKFLOW PREVENTOR | -3/4" WILKINS 975XL | | |
| | PRESSURE REGULATOR | -ZURN WILKINS NR3XL OR EQUAL | | |
| | TREE EMITTER TUBING CIRCUIT (REPRESENTS COVERAGE AREA) | -RAINBIRD XFD ON-SURFACE DRIPLINE OR EQUAL (0.6 GPH, 18" SPACING BOTH WAYS) | .19 | |
| | SHRUB BUBBLER | -PEPCO-OCTA-BUBBLER (2 gph) | .27 | 30 |
| | 4" POP-UP TURF SPRAY HEADS | -HUNTER-MP800SR-ORANGE-90-8'R,10'R,12'R | 0.16,0.23,0.28 | 30 |
| | 4" POP-UP TURF SPRAY HEADS | -HUNTER-MP800SR-ORANGE-180-8'R,10'R,12'R | 0.32,0.42,0.50 | 30 |
| | 4" POP-UP TURF SPRAY HEADS | -HUNTER-MP800SR-ORANGE-210-8'R,10'R,12'R | 0.37,0.49,0.58 | 30 |
| | 4" POP-UP TURF SPRAY HEADS | -HUNTER-MP800SR-GREEN-360-8'R,10'R,12'R, | 0.63,0.78,0.98 | 30 |
| | IRRIGATION SUPPLYLINE - 1-1/2" | -1120/SCHEDULE 40 PVC PIPE | -18" COVER | |
| | IRRIGATION SPRINKLERLINE | -1120/CLASS 200 PVC PIPE | -12" COVER | |
| | ELECTRICAL CONDUIT | -1120/SCHEDULE 80 PVC PIPE | -24" COVER | |
| | SLEEVING | -1120/SCHEDULE 80 PVC PIPE | -24" COVER | |
| | CONTROLLER STATION NUMBER | | | |
| | GALLONS PER MINUTE THROUGH VALVE | | | |
| | CONTROL VALVE SIZE (INCHES) | | | |

WATER BUDGET CALCULATIONS:

LOW WATER USE PLANTING AREA = 2,639 SF
MEDIUM WATER USE PLANTING AREA = 40 SF
TOTAL PLANTING AREA = 2,679 SF

ESTIMATED TOTAL WATER USE:

ETWU (LOW WATER USE) = (45.4) X (0.62) X $\frac{(0.2 \times 2,639)}{0.71}$ = 20,925 GAL/YR

ETWU (MEDIUM WATER USE) = (45.4) X (0.62) X $\frac{(0.4 \times 40)}{0.71}$ = 634 GAL/YR

TOTAL ETWU = 21,559 GAL/YR

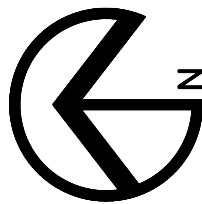
MAXIMUM APPLIED WATER ALLOWANCE:

MAWA (TOTAL LANDSCAPED AREA) = (45.4) X (0.62) X (0.45 X 2,679) = 33,934 GAL/YR

LANDSCAPE HYDROZONE LEGEND

ZONE A:
PARTIAL TO FULL SUN, DROUGHT
TOLERANT PLANTING AND TREES
WITH DRIP EMITTERS. LOW WATER
USE.

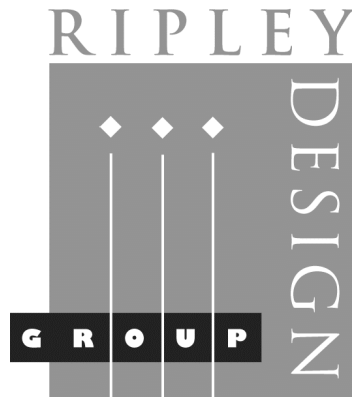
ZONE B:
MODERATE WATER USE TREES AND
ACCENT TREES WITH IN LINE DRIP
(NOT SHOWN) MODERATE WATER
USE. EXISTING OAK TREES NOT TO
BE IRRIGATED.



GRAPHIC SCALE



(IN FEET)
1 inch = 10 ft.



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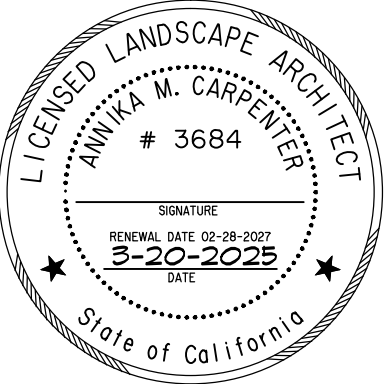
TEL: (408) 761-2221

PROJECT:

677 LINDEN
AVENUE

LOS ALTOS,
CALIFORNIA

PRELIMINARY
IRRIGATION
PLAN



PROJECT #:

DATE: MAR. 20, 2025

SCALE: 1"=10'

DRAWN BY: WPG

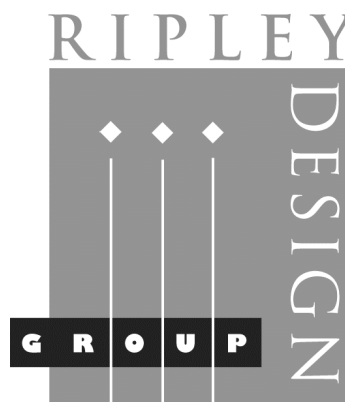
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REVISIONS:

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OF 1 SHEET



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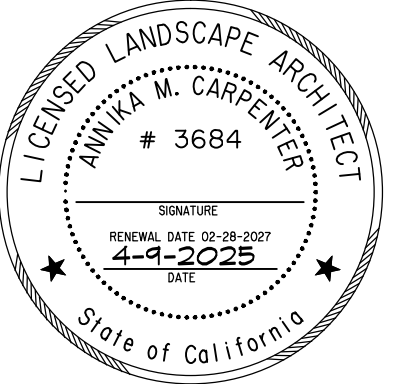
TEL: (408) 761-2221

PROJECT:

677 LINDEN AVENUE

LOS ALTOS,
CALIFORNIA

PRELIMINARY
PLANTING
PLAN



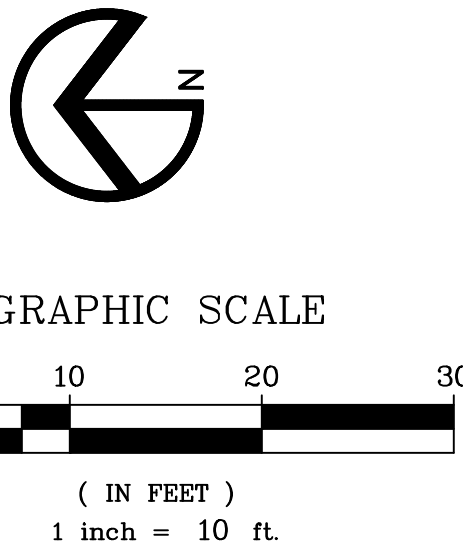
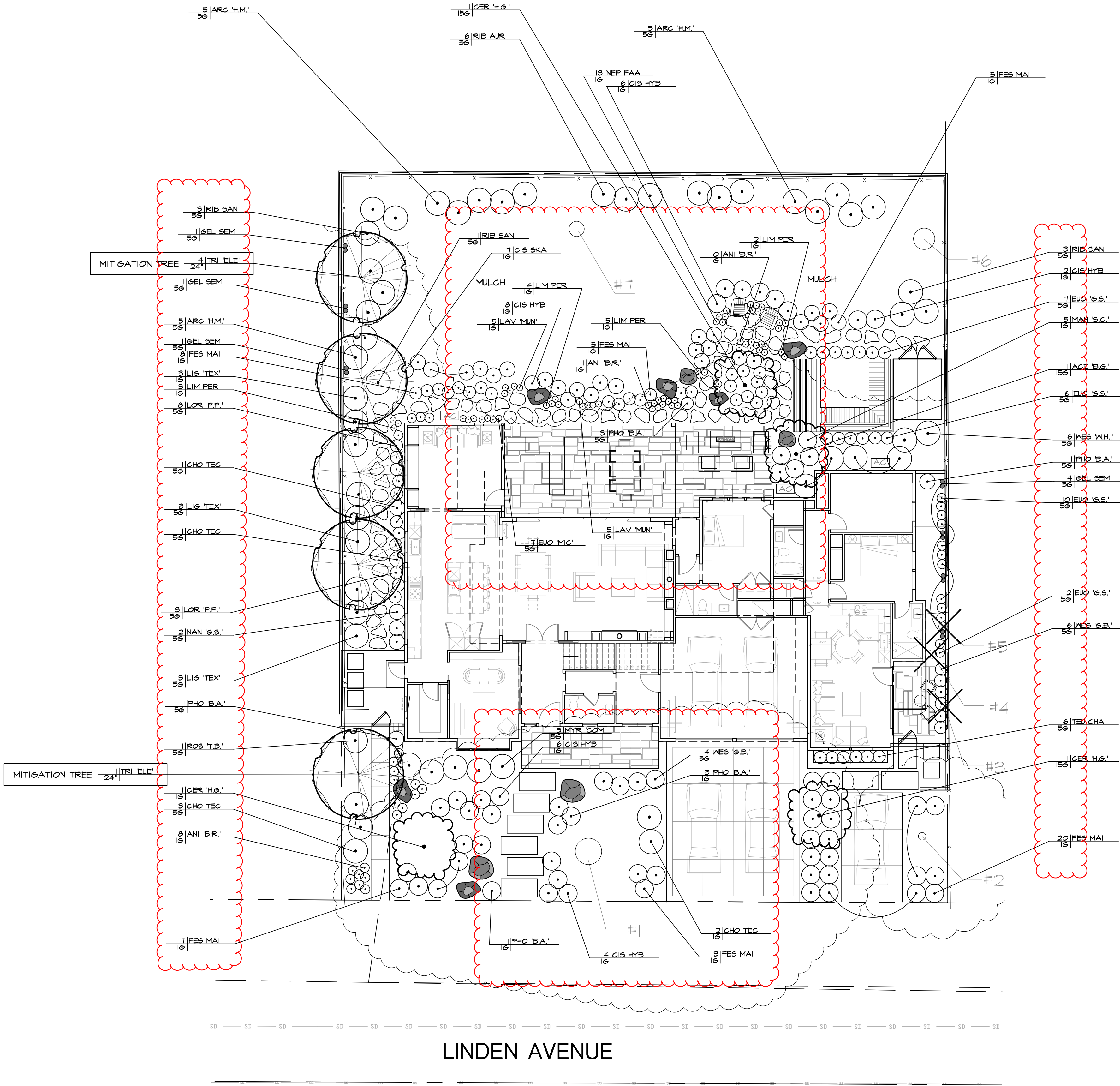
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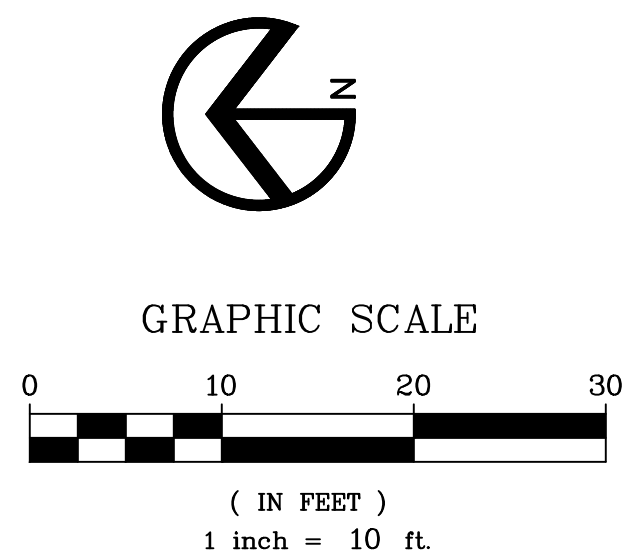
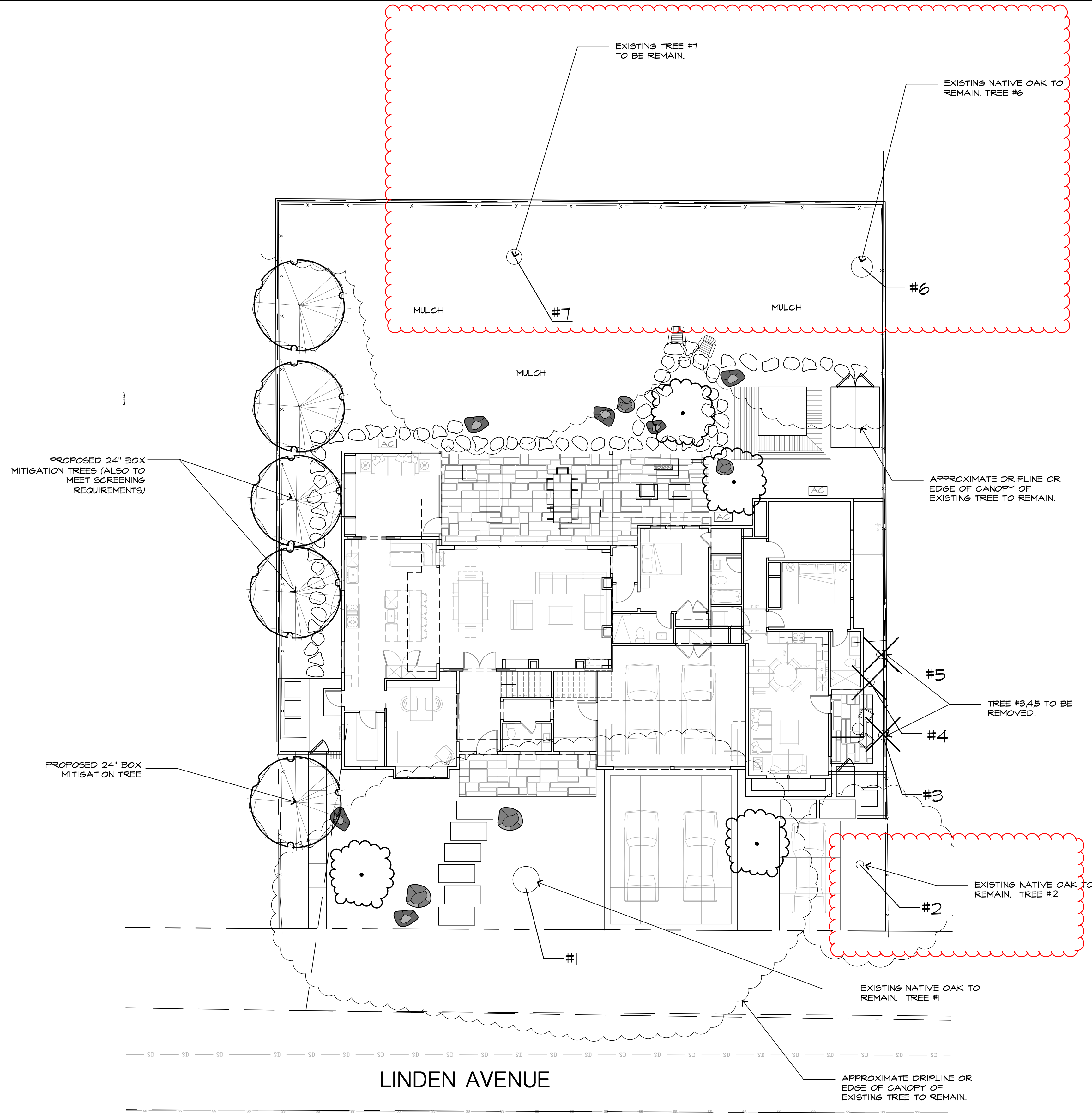
| REVISIONS: |
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OF 1 SHEET

PROPOSED PLANT LEGEND

| SYMBOL | BOTANICAL NAME | COMMON NAME | CONTAINER | WATER | SIZE | SPACE |
|---------------|-------------------------------------|-------------------------|-----------|-------|-----------|-------|
| TREES | | | | | | |
| ACE 'B.G.' | ACER PALMATUM 'BLOOD GOOD' | JAPANESE MAPLE | 15 GALLON | MED | 15' X 15' | 15' |
| CER 'H.G.' | CERIS C. 'HEARTS OF GOLD' | HEARTS OF GOLD REDBUD | 15 GALLON | LOW | 15' X 15' | 15' |
| TRI 'ELE' | TRISTANIA LAURINA 'ELEGANT' | WATER GUM | 24" BOX | MED | 15' X 40' | 15' |
| SHRUBS | | | | | | |
| ANI 'B.R.' | ANIGOZANTHOS 'BUSH RANGER' | KANGAROO PAW | 1 GALLON | LOW | 3' X 2' | 2' |
| ARC 'H.M.' | ARCTOSTAPHYLOS 'HOWARD MCMINN' | HOWARD MCMINN MANZANITA | 5 GALLON | LOW | 5' X 4' | 4' |
| CHO 'TEC' | CHONDRPETALUM TECTORUM | CAPE RUSH | 5 GALLON | LOW | 4' X 4' | 3.5' |
| CIS 'HYB' | CISTUS HYBRIDUS | ROCKROSE | 5 GALLON | LOW | 5' X 2' | 4' |
| DAP 'AUR' | DAPHNE O. 'AUROMARGINATA' | WINTER FLOWERING DAPHNE | 5 GALLON | LOW | 4' X 4' | 3.5' |
| EUD 'G.S.' | EUONYMUS J. 'GREEN SPIRES' | GREEN SPIRES EUONYMUS | 5 GALLON | LOW | 2' X 5' | 1.5' |
| FES 'MAI' | FESTUCA MAIREI | ATLAS FESCUE | 5 GALLON | LOW | 2' X 2' | 2' |
| LAV 'MUN' | LAVANDULA A. 'MUNSTEAD' | ENGLISH LAVANDER | 5 GALLON | LOW | 1.5X1.5' | 1.5' |
| LIG 'TEX' | LIGUSTRUM JAPONICUM 'TEXANUM' | WAXLEAF PRIVET | 5 GALLON | LOW | 5' X 10' | 4' |
| LIM 'PER' | LIMONIUM PEREZII | SEA LAVENDER, STATICE | 5 GALLON | LOW | 2'X1.5' | 1.5' |
| LOR 'P.P.' | LOROPATALUM C. 'PURPLE PIXIE' | DWF PURPLE FRINGE FLWR | 5 GALLON | LOW | 2' X 2' | 2' |
| MYR 'COM' | MYRTUS C. 'COMPACTA' | DWARF MYRTLE | 5 GALLON | LOW | 3.5X3' | 3.5' |
| NAN 'COM' | NANDINA D. 'COMPACTA' | DWARF HEAVENLY BAMBOO | 5 GALLON | LOW | 2.5X2.5' | 2.5' |
| NAN 'G.S.' | NANDINA D. 'GULF STREAM' | GULF STREAM BAMBOO | 5 GALLON | LOW | 2.5X2.5' | 2.5' |
| NEP 'FAA' | NEPETA FAASSENNII | CATMINT | 5 GALLON | LOW | 2' X 1' | 1.5' |
| PHO 'B.A.' | PHORMIUM T. 'BLACK ADDER' | NEW ZEALAND FLAX | 5 GALLON | LOW | 2.5'X4' | 2.5' |
| RHA 'L.S.' | RHAMNUS CAL. 'LITTLE SUR' | DWARF COFFEEBERRY | 5 GALLON | LOW | 2.5' X 4' | 2.5' |
| RHA 'MSB' | RHAMNUS CAL. 'MOUND SAN BRUNO' | COFFEEBERRY | 5 GALLON | LOW | 5' X 6' | 5' |
| RIB 'AUR' | RIBES AUREUM | GOLDEN CURRANT | 5 GALLON | LOW | 5' X 5' | 5' |
| RIB 'SAN' | RIBES SANGUINEUM | RED FLOWERING CURRANT | 5 GALLON | LOW | 5' X 5' | 5' |
| ROS 'T.B.' | ROSMARINUS O. 'TUSCAN BLUE' | ROSEMARY | 5 GALLON | LOW | 4' X 4' | 3.5' |
| TEU 'CHA' | TEUCRIUM CHAMAEDRYS | WALL GERMANDER | 5 GALLON | LOW | 1.5'X1.5' | 1.5' |
| WES 'W.H.' | WESTRINGIA F. 'WYNYABBIE HIGHLIGHT' | COAST ROSEMARY | 5 GALLON | LOW | 3.5X3.5' | 3.5' |
| WES 'G.B.' | WESTRINGIA F. 'GREY BOX' | DWARF COAST ROSEMARY | 5 GALLON | LOW | 2.5'X2.5' | 2.5' |
| VINES | | | | | | |
| FIC 'MIN' | FICUS P. 'MINIMA' | CREeping FIG | 5 GALLON | LOW | 10X20' | 10' |
| GEL 'SEM' | GELSEMIUM SEMPERVIRENS | CAROLINA JESSAMINE | 5 GALLON | LOW | 20X20' | 10' |
| ROS 'BAN' | ROSA BANKSAI | LADY BANKS ROSE | 5 GALLON | LOW | 15'X15' | 10' |





PRESERVATION PLAN & TREE PROTECTION FENCING REQUIREMENTS:

THE TREES LOCATED ON THE NEIGHBORING PROPERTIES WILL BE PRESERVED AND PROTECTION MEASURES WILL NEED TO BE SET IN PLACE TO ENSURE THEY SURVIVE THE CONSTRUCTION. THE FOLLOWING ARE RECOMMENDED FOR ALL TREES DESIGNATED FOR PRESERVATION.

1. TREE PROTECTION FENCING:
THE PROTECTIVE FENCING REQUIREMENTS ARE THE FOLLOWING:
- SIX-FOOT HIGH CHAIN LINK FENCING MOUNTED ON EIGHT-FOOT TALL, 2-INCH DIAMETER GALVANIZED POSTS, DRIVEN 24 INCHES INTO THE GROUND AND SPACED NO MORE THAN 10 FEET APART.
- POSTED WITH SIGNS SAYING "TREE PROTECTION FENCE - DO NOT MOVE OR REMOVE WITHOUT APPROVAL FROM CITY ARBORIST -"
- THE CITY REQUIRES THAT TREE PROTECTION FENCING BE INSTALLED BEFORE ANY EQUIPMENT COMES ON SITE AND INSPECTED BY THE CITY ARBORIST BEFORE ISSUANCE OF PERMITS.
- **TREE PROTECTION FENCING IS REQUIRED TO REMAIN IN PLACE THROUGHOUT CONSTRUCTION.**

TREE PROTECTION ZONE: THE TREE PROTECTION ZONE IS THE DISTANCE FROM THE TRUNK TO A POINT THAT IS FIVE FEET BEYOND THE CANOPY OF A TREE PROTECTED BY CITY CODE. TREE PROTECTION FENCING SHALL BE LOCATED AS CLOSE TO THIS LOCATION AS POSSIBLE WHILE ALLOWING ROOM FOR CONSTRUCTION TO OCCUR.

"TREE PROTECTION LOCATIONS WILL BE MARKED ON THE SITE PLAN IN RED".

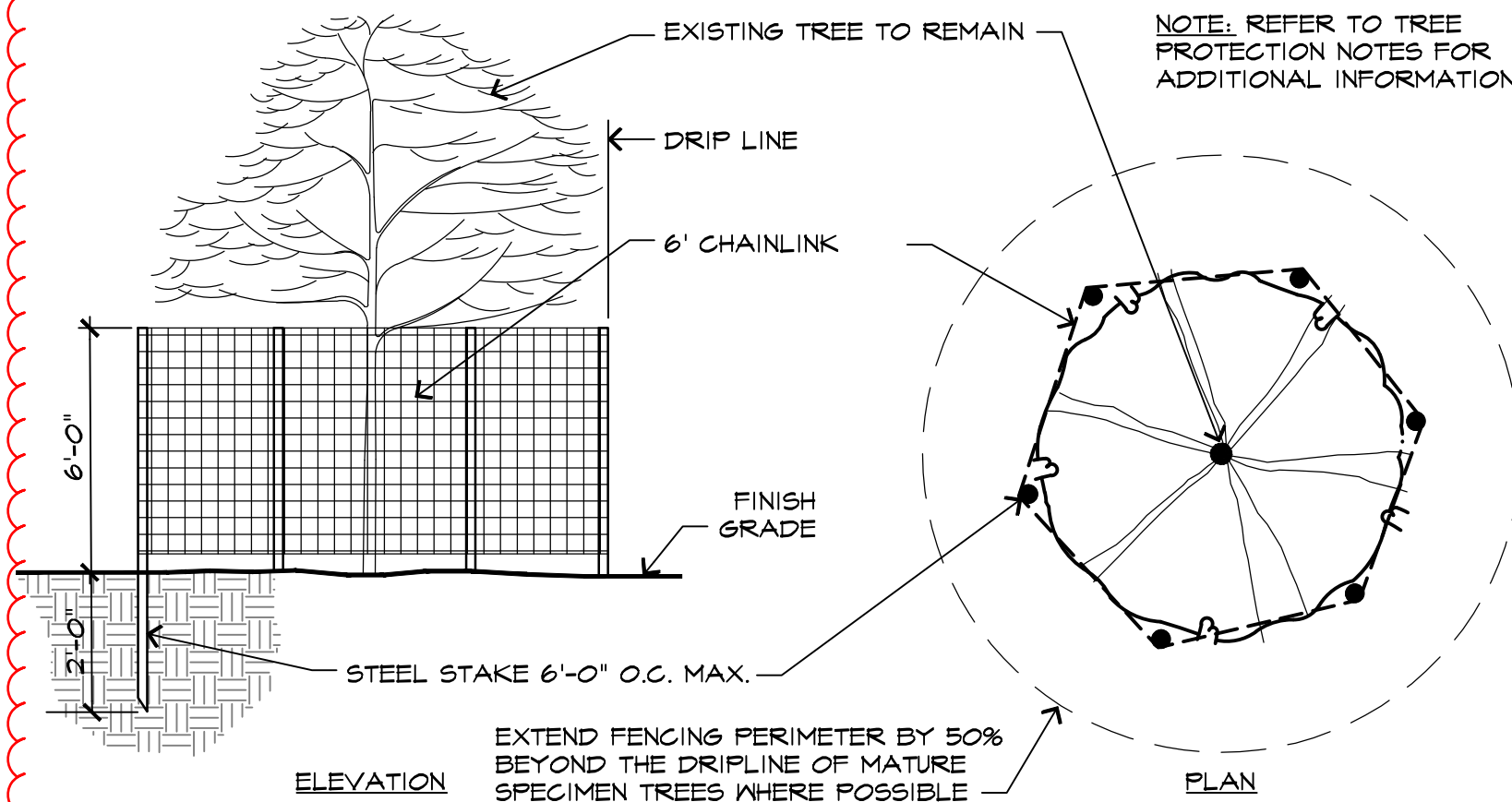
2. ROOT PRUNING:
WHEN PERFORMING ANY DIGGING OR TRENCHING WITHIN THE DRIP LINES OF EACH TREE, EXTREME CAUTION MUST BE TAKEN NOT TO DAMAGE THE TREE ROOTS OR PARTS. THE FOLLOWING CAN BE DONE TO ENSURE THE RESERVATION OF THE TREES:
- ALL EXCAVATION PERFORMED WITHIN THE DRIP LINE OF EACH TREE MUST BE PERFORMED UNDER THE SUPERVISION OF THE SITE ARBORIST AND ONLY BY HAND DIGGING.
- NO HEAVY EQUIPMENT SHOULD ENTER THE DRIP LINES OF TREES TO PREVENT COMPACTION OR ROOT DAMAGE.
- ROOTS OVER 2" IN DIAMETER SHOULD NOT BE PRUNED WITHOUT THE SUPERVISION OF THE SITE ARBORIST. ROOTS SHOULD BE CUT CLEAN AND NOT TORN TO PROVIDE MAXIMUM POTENTIAL FOR HEALING.
- ROOTS SHOULD BE COVERED WITH BURLAP OR SOIL AFTER PRUNING TO PROTECT FROM HEAT AND SUNLIGHT.

TREE HEALTH MANAGEMENT
THE TREES ON SITE ARE IN GOOD HEALTH AND LITTLE NEEDS TO BE DONE TO MAINTAIN THEIR CONDITION.
- WATERING: TREES SHOULD NOT NEED ANY ADDITIONAL WATER OTHER THAN WINTER WATERING AND THE WATER THEY RECEIVE FROM THE SURROUNDING SYSTEMS. CAUTION TO AVOID HEAVY WATERING IN SUMMER WILL HELP PREVENT ROOT ROT.
- MULCHING: ADDING MULCH WITHIN THE DRIP LINE OF CANOPIES WILL HELP SOIL RETAIN MOISTURE AND ALSO PREVENT COMPACTION FROM FOOT TRAFFIC. USE NATURAL MULCH AT A DEPTH OF 3-4 INCHES. KEEP MULCH A MINIMUM OF 12" AWAY FROM TRUNK AND ROOT CROWNS.
- PRUNING: PRUNING TREES WILL HELP PREVENT RISK SHOULD A BRANCH FAIL. IT WILL ALSO MAINTAIN STRUCTURAL INTEGRITY AND BALANCE. PRUNE IN WINTER IS BEST. THE TREES WERE RECENTLY PRUNED AND SHOULD NOT NEED IT FOR A FEW YEARS. SOME TREES WERE POORLY PRUNED TO PROVIDE CLEARANCE FROM THE NEIGHBORING PROPERTIES AND MAY REQUIRE ADDITIONAL PRUNING TO BALANCE THE CANOPIES.
- FERTILIZATION: FERTILIZING TREES IN FALL AND SPRING ALONG WITH WATERING WILL HELP IMPROVE HEALTH AND VIGOR. SPECIFIC QUANTITIES AND TYPES CAN BE DISCUSSED WITH ONSITE ARBORIST.

PRUNING
TREES RECOMMENDED FOR PRUNING SHOULD BE PRUNED IN COMPLIANCE WITH ANSI A-300 STANDARDS, IN ACCORDANCE WITH THE CITY OF LOS ALTOS SPECIFICATIONS, AND BY A COMPANY WITH A CERTIFIED ARBORIST ON STAFF.
PRUNING HAS THE POTENTIAL TO REDUCE RISK, IMPROVE STRUCTURAL INTEGRITY, IMPROVE THE TREES BALANCE, AND PROVIDE CLEARANCE FOR CONSTRUCTION ACTIVITY.

Tree Data: 677 Linden Avenue
Arborist report prepared by San Jose Tree Service, INC.

| Tree Number | Botanical Name | Common Name | DBH | Height | Protected Tree Y/N | Remove or Retain |
|-------------|----------------------------------|----------------------|-----|--------|--------------------|------------------|
| 1 | <i>Quercus lobata</i> | California White Oak | 53" | 50' | Y | Retain |
| 2 | <i>Quercus ilex</i> ² | Roble negro | 12" | 25' | Y | Retain |
| 3 | <i>Quercus agrifolia</i> | Coastal Live Oak | 16" | 40' | Y | Remove |
| 4 | <i>Quercus agrifolia</i> | Coastal Live Oak | 21" | 40' | Y | Remove |
| 5 | <i>Quercus agrifolia</i> | Coastal Live Oak | 17" | 40' | Y | Remove |
| 6 | <i>Quercus agrifolia</i> | Coastal Live Oak | 18" | 45' | Y | Retain |
| 7 | <i>Quercus agrifolia</i> | Coastal Live Oak | 43" | 60' | Y | Retain |



TREE PROTECTION FENCING DETAIL SCALE : N.T.S.
024 - TreeFencing

RIPLEY DESIGN GROUP

RIPLEY DESIGN GROUP, INC.
Landscape Architecture
Land Planning

1615 Bonanza St., Suite 314
Walnut Creek
California 94596
Tel 925.938.7377
Fax 925.938.7436

CLIENT:

SAM LEE

677 LINDEN AVE.
LOS ALTOS, CA
94022

TEL: (408) 761-2221

PROJECT:

677 LINDEN AVENUE

LOS ALTOS,
CALIFORNIA

**PRELIMINARY
TREE
PROTECTION
PLAN**

LICENSED LANDSCAPE ARCHITECT
ANNIKA M. CARPENTER
3684
RENEWAL DATE 02-28-2027
4-9-2025
State of California

PROJECT #:
DATE: APR. 9, 2025
SCALE: 1"=10'
DRAWN BY: WPG
CHECKED BY: AMC

REVISIONS:

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SHEET

LT.1

OF 1 SHEET



LAGERSTROEMIA NANCHEZ
WHITE CRAPE MYRTLE



ACER PALMATUM 'BLOODGOOD'
JAPANESE MAPLE



LIMONIUM PREZII
SEA LAVENDER



LAVATERA MARITIMA
TREE MALLOW



HYPERICUM MOSERIANUM
GOLD FLOWER



ESPALIER FRUIT TREE



CERCIS CANADENSIS
EASTERN REDBUD



GELSEMIUM SEMPERVIRENS
CAROLINA JESSAMINE



ANIGOZANTHOS FLAVIDUS
KANGAROO PAW



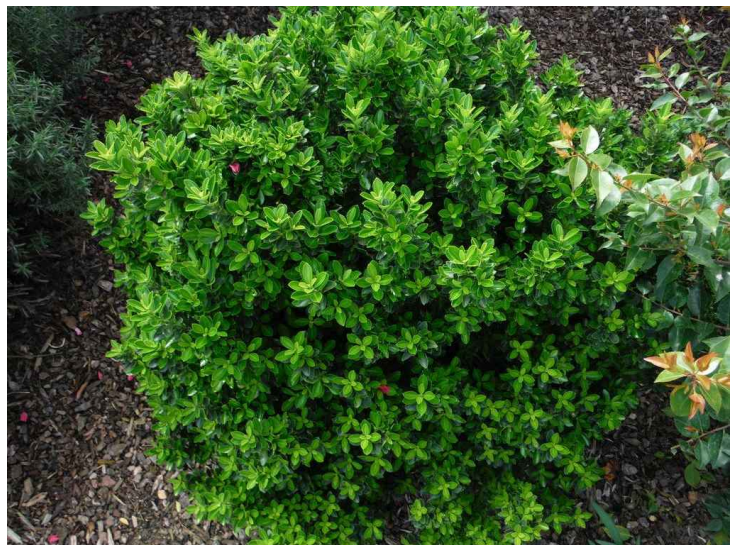
RHAMPHIOLEPIS 'UMBELLATA'
DWARF YEDDO HAWTHORN



STACHYS BYZANTINA
LAMBS EAR



BOUTELOUA G. 'BLONDE AMBITION'
GRAMA GRASS



EUONYMUS J. 'MICROPHYLLUS'
BOXLEAF EUONYMUS



LOROPETALUM CHINENSE
FRINGE FLOWER



JUNCUS PATENS 'ELK BLUE'
CALIFORNIA GREY RUSH



FESTUCA MAIREI
MAIRE'S FESCUE



CISTUS SKANBERGII
ROCKROSE



RHAMNUS CALIFORNICA
COFFEEBERRY



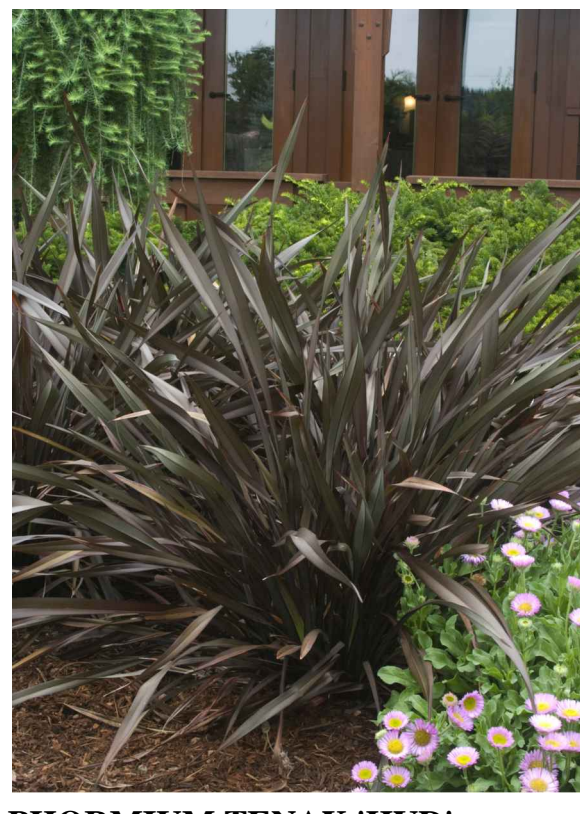
ACACIA 'COUSIN ITT'
LITTLE RIVER WATTLE



PENSTEMON HETEROPHYLLUS 'MARGARITA BOP'
BLUE BEDDER PENSTEMON



DIETES BICOLOR 'MORAE'
FORTNIGHT LILY



PHORMIUM TENAX 'HYD'
NEW ZEALAND FLAX



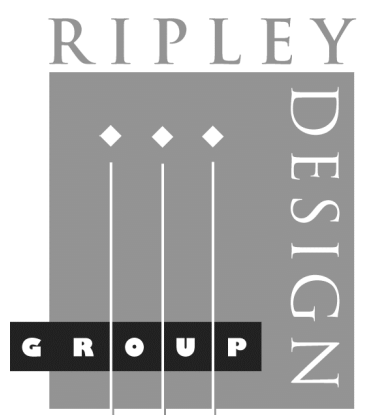
CHONDROPETALUM TECTORUM
CAPE REED



PACIFIC COAST IRIS
IRIS PACIFIC COAST HYBRID



NEPETA FAASENNII
CATMINT



RIPLEY DESIGN GROUP, INC.
Landscape Architecture
Land Planning
1615 Bonanza St., Suite 314
Walnut Creek
California 94596
Tel 925.938.7377
Fax 925.938.7436

CLIENT:

SAM LEE

677 LINDEN AVE.
LOS ALTOS, CA
94022

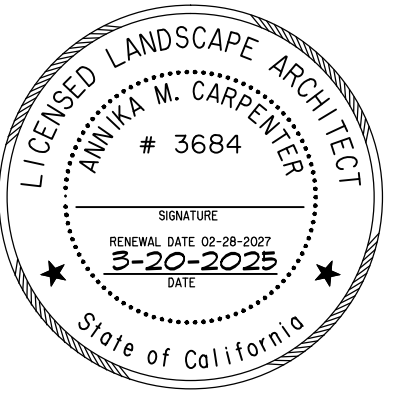
TEL: (408) 761-2221

PROJECT:

677 LINDEN AVENUE

LOS ALTOS,
CALIFORNIA

**PLANT
IMAGERY**



PROJECT #:
DATE: MAR. 20, 2025
SCALE: NO SCALE
DRAWN BY: WPG
CHECKED BY: AMC

REVISIONS:

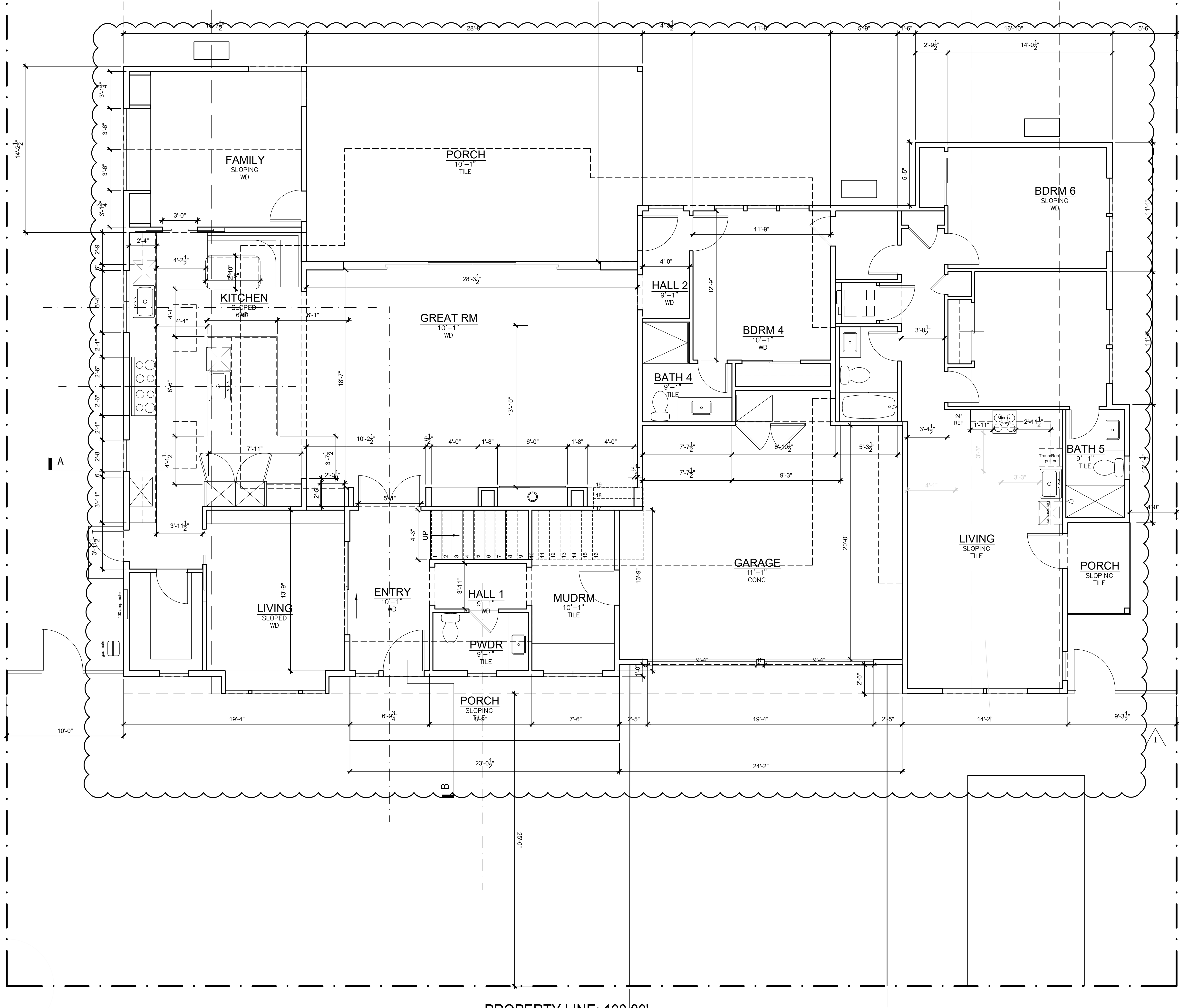
SHEET

LP.2

OF 1 SHEET

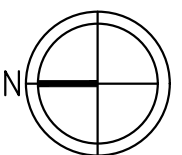
CAL GREEN PLAN NOTES:

1. The contractor shall comply with the CalGreen Code and the local construction waste management plan requirements. This includes tracking and documenting that 65% of construction waste must be recycled in accordance with the CalGreen Code and local requirements. Turnover documentation and verification of compliance to the inspector at the completion of the project.
2. The contractor shall provide wattles, or other measures acceptable to local authorities, as required to control stormwater runoff during construction.
3. Plans should show grade sloping away from the foundation to prevent water from entering the building. (show on elevation sheet with grade slope away at 5% slope for 5 feet, or similar.)
4. The toilet shall be 1.28 gpm maximum.
5. The shower head flow rate shall be 1.8 gpm maximum at 80 psi.
6. The bathroom sink faucets flow rate shall be 1.2 gpm maximum at 60 psi.
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8. Bathroom fans shall be Energy Star compliant and be humidity controlled. Controls must be capable of adjustment between 50-80% humidity range. (Only applies to rooms with a shower or tub)
9. Provide a 1" empty conduit from the electrical panel to an empty junction box suitable for future EV charging outlet. Provide space in the electrical panel for future 240 volt / 40 amp circuit breaker, and label Future EV Charging Station. Panel and service wiring shall be sized to handle the future charging station.
10. Landscape and irrigation systems shall comply with the local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent.
11. Gas fireplace shall be a direct-vent sealed-combustion type.
12. Annular spaces around pipes, electrical cables, conduits or other openings in plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or similar methods acceptable to the enforcing agency.



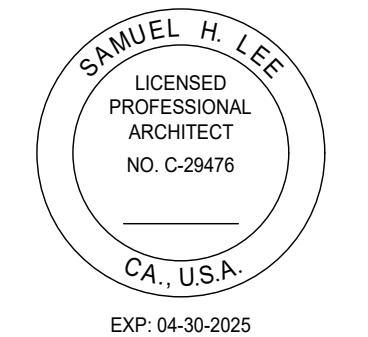
1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

REFERENCE



S H L ARCHITECTURE
ARCHITECTURE AND PLANNING
PO BOX 669
MOUNTAIN VIEW, CA 94041
T: 415.235.2034
EMAIL: samlearch@gmail.com

ARCHITECTURAL LICENCE
NUMBER:
CALIFORNIA: C-29476



PRIVATE RESIDENCE
677 LINDEN AVE
ALTOS, CA. 94022

| DATE | ISSUE |
|----------|-----------------------------|
| 01/15/25 | PLANNING DEPT. SUBMITTAL |
| 03/19/25 | PLANNING DEPT. RE-SUBMITTAL |
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| PROJECT #: | 25-02 |
| DRAWN BY: | LS |
| CHECKED BY: | LS |

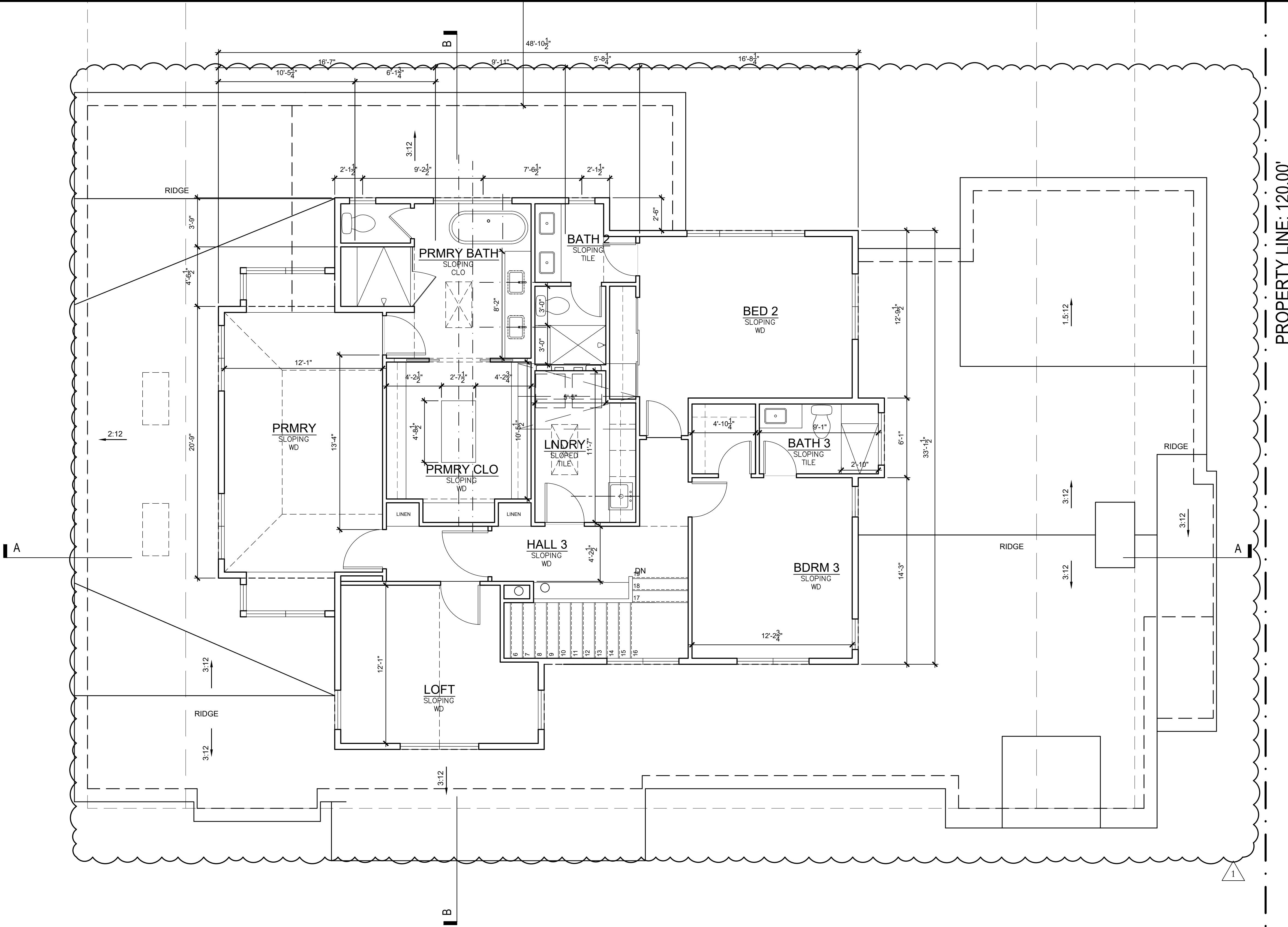
SHEET TITLE:
FIRST FLOOR
PLAN

SHEET NUMBER:

A2.01

CAL GREEN PLAN NOTES:

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ARCHITECTURE AND PLANNING
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MOUNTAIN VIEW, CA 94041
T: 415.235.2034
EMAIL: samlearch@gmail.com

ARCHITECTURAL LICENCE
NUMBER
CALIFORNIA: C-29476

SAMUEL H. LEE
LICENSED
PROFESSIONAL
ARCHITECT
NO. C-29476
CA., U.S.A.
EXP: 04-30-2025

PRIVATE RESIDENCE
677 LINDEN AVE
ALTOS, CA. 94022

| DATE | ISSUE |
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| 01/15/25 | PLANNING DEPT. SUBMITTAL |
| 03/19/25 | PLANNING DEPT. RE-SUBMITTAL |
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| PROJECT #: | 25-02 |
| DRAWN BY: | LS |
| CHECKED BY: | LS |

SHEET TITLE:
SECOND FLOOR
PLAN

SHEET NUMBER:
A2.02

- CAL GREEN PLAN NOTES:**
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A

B

PROPERTY LINE: 100.00'

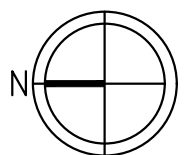
PROPERTY LINE: 120.00'

PROPERTY LINE: 120.00'

1 ROOF PLAN

SCALE: 1/4" = 1'-0"

REFERENCE



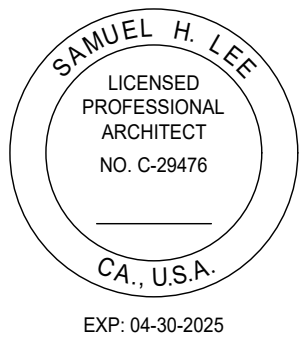
**RADIANT BARRIER TO BE
INSTALLED AT ROOF SHEATHING
PER ENERGY REPORT

**FINISHED ROOFING MATERIAL
SHALL BE INSTALLED AND
COMPLETED PRIOR TO FRAME
INSPECTION. LAMC 12.08.020
AMENDMENTS

**PROVIDE 1" AIR GAP BETWEEN
THE ROOF SHEATHING AND THE
INSULATION AT VENTED AREAS.

S H L ARCHITECTURE
ARCHITECTURE AND PLANNING
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MOUNTAIN VIEW, CA 94041
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EMAIL: samlearch@gmail.com

ARCHITECTURAL LICENCE
NUMBER:
CALIFORNIA: C-29476



PRIVATE RESIDENCE
677 LINDEN AVE
ALTOS, CA. 94022

| DATE | ISSUE |
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| 01/15/25 | PLANNING DEPT. SUBMITTAL |
| 03/19/25 | PLANNING DEPT. RE-SUBMITTAL |
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| DRAWN BY: | LS |
| CHECKED BY: | LS |

SHEET TITLE:
ROOF PLAN
PLAN

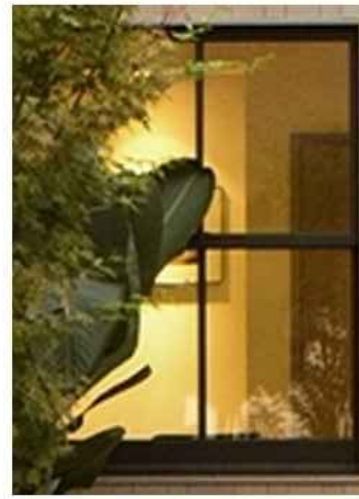
SHEET NUMBER:

A2.03

Materials Board – 677 Linden Ave



Roof Material Main– Composition
Roof. Color – Moire Black



Wood clad window – w/dark black exterior



Stained garage and front door



Wall light #1
Barn Light – Barn
Light Electric

Wall light #2
Wedge Light –
Bega Lighting



Wall color – dark paint



Wall Material #1 –
Alternating width composite vertical siding



Wall Material #2 –
composite horizontal siding

2ND FLR PL @
PRMRY BATH
136.74'

2ND FLR PL
135.49'

2ND FLR
127.41'

1ST FLR PL
126.18'

1ST FLR
116.10'

ROOF PEAK
141.47'

ROOF PEAK
141.97'

2ND FLR PL
@ LOFT
135.99'

2ND FLR PL
135.49'

2ND FLR
127.41'

1ST FLR PL
@ LIVING
127.18'

1ST FLR PL
126.18'

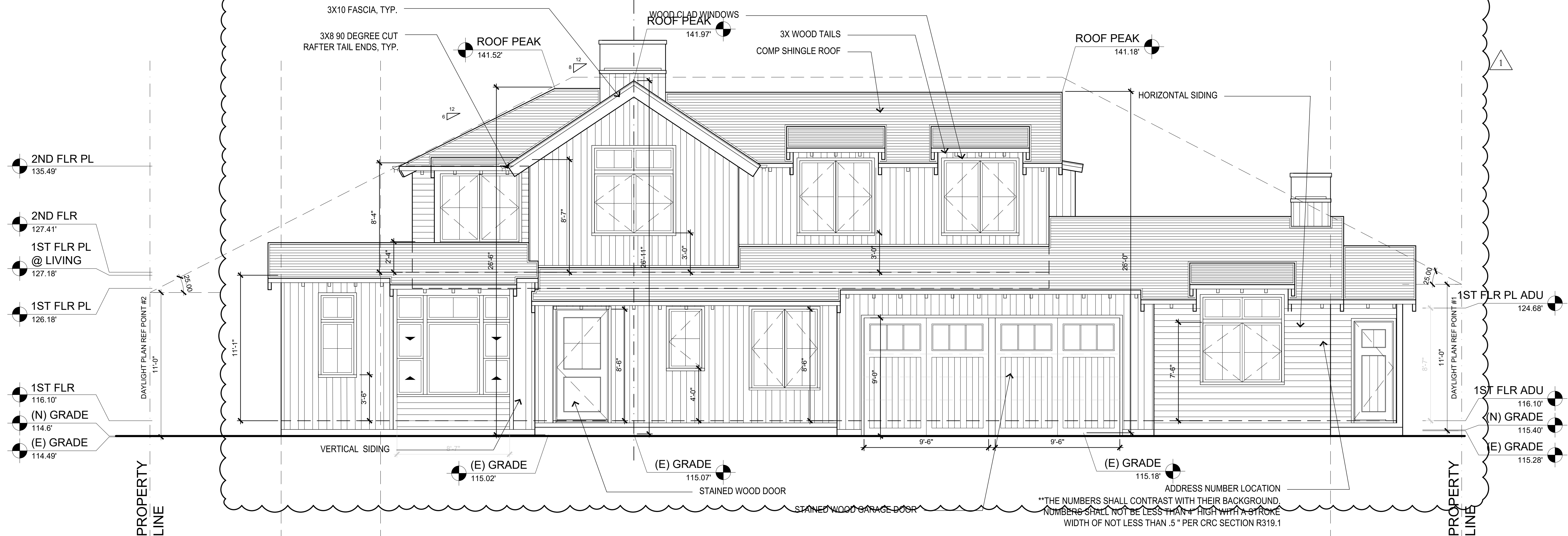
1ST FLR
101.00'

(E) GRADE
115.30'

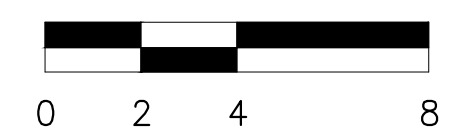
(E) GRADE
115.07'

2 NORTH (LEFT) ELEVATION
SCALE: 1/4" = 1'-0"

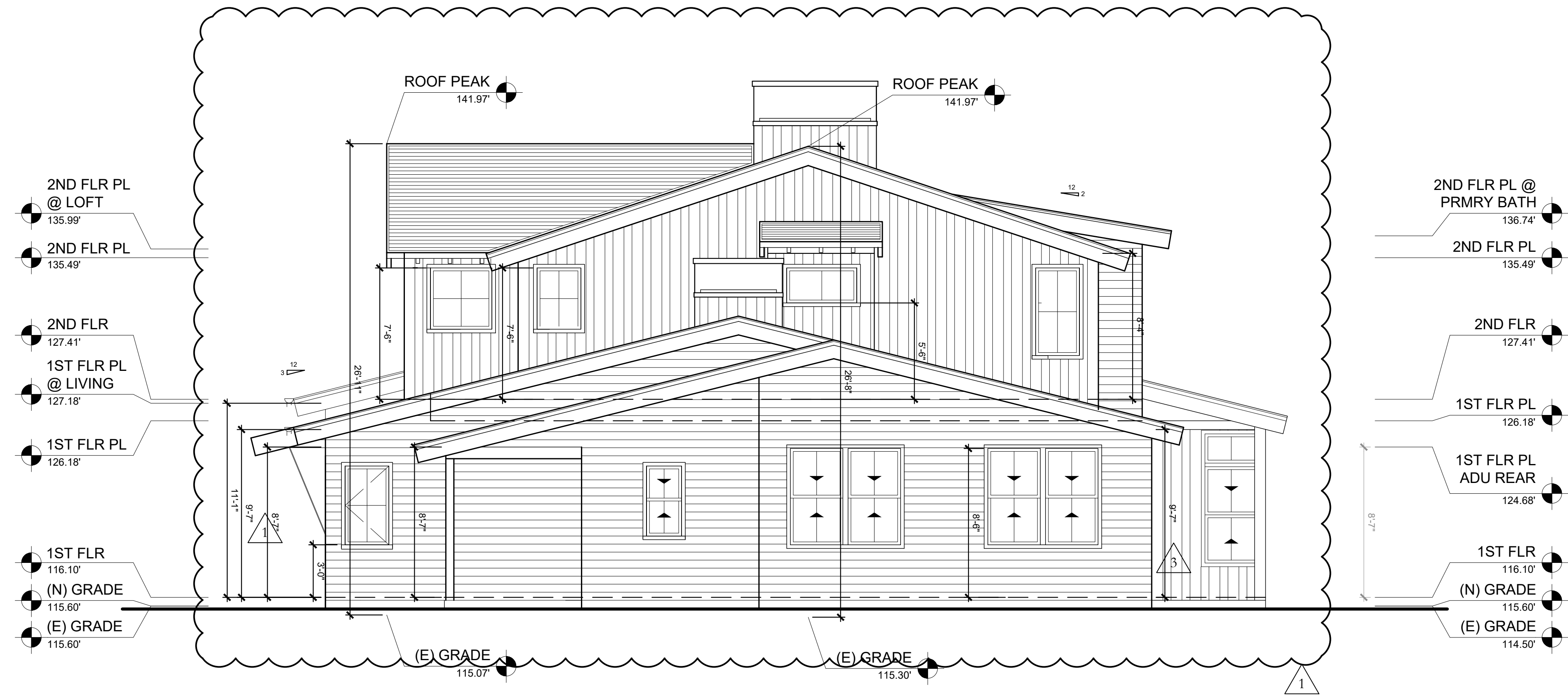
MATERIALS BOARD



1 WEST (FRONT) ELEVATION
SCALE: 1/4" = 1'-0"



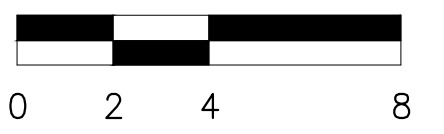
| DATE | ISSUE |
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| 03/19/25 | PLANNING DEPT. RE-SUBMITTAL |
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| PROJECT #: | 25-02 |
| DRAWN BY: | LS |
| CHECKED BY: | LS |

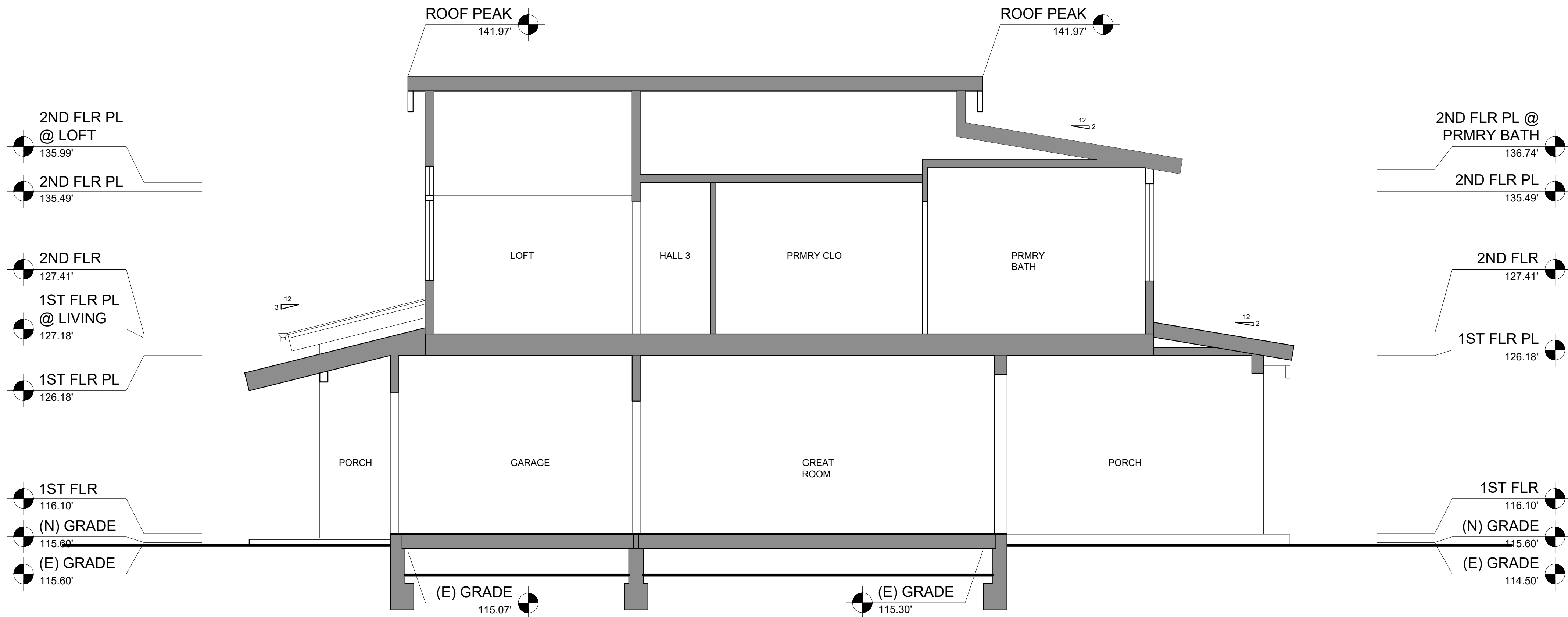


2 SOUTH (RIGHT) ELEVATION
SCALE: 1/4" = 1'-0"

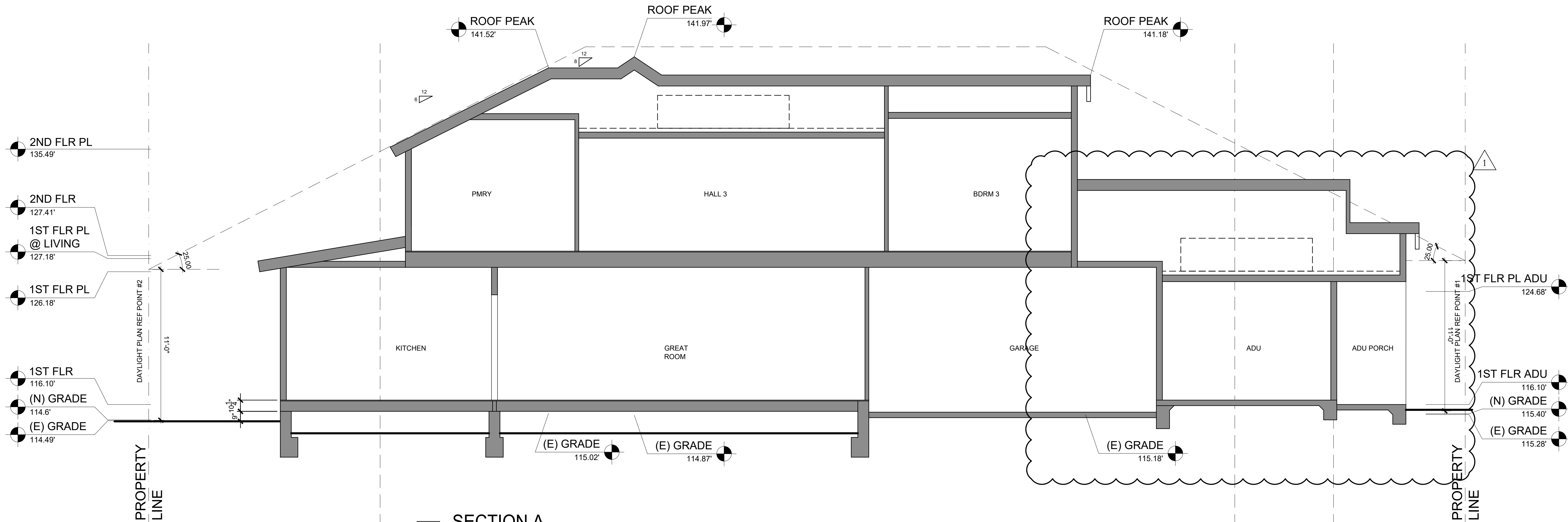


1 EAST (REAR) ELEVATION
SCALE: 1/4" = 1'-0"





2 SECTION B
SCALE: 1/4" = 1'-0"



1 SECTION A
SCALE: 1/4" = 1'-0"



| DATE | ISSUE |
|-------------|--------------------------------|
| 01/15/25 | PLANNING DEPT. SUBMITTAL |
| 03/19/25 | PLANNING DEPT. RE-SUBMITTAL |
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| PROJECT #: | 25-02 |
| DRAWN BY: | LS |
| CHECKED BY: | LS |