

# Bertran-Angulo Residence

## NEW SINGLE FAMILY RESIDENCE

226 Solana Drive, Los Altos, CA 94022



1000 S Winchester Blvd  
San Jose, CA 95128  
P : (408) 998 - 0983

22025 Bertran-Angulo Residence  
NEW SINGLE FAMILY HOUSE

Los Altos, 226 Solana Drive  
Ana Bertran and Roberto Angulo



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**GEOTECHNICAL ENGINEER**  
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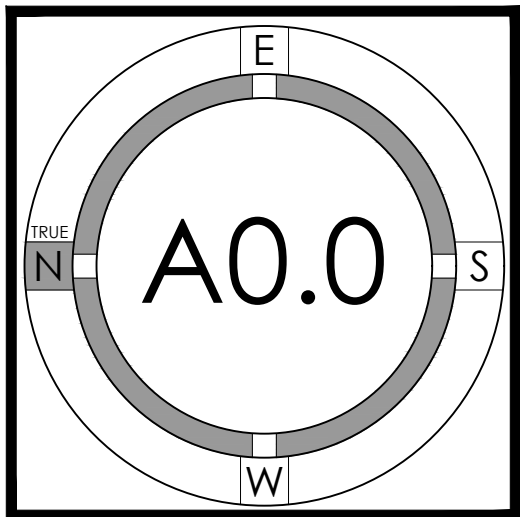
**LANDSCAPE ARCHITECT**  
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PROJECT NO.	DATE	DESCRIPTION	DRAWN BY
22025	2023.03.31	DESIGN REVIEW PACKAGE	ES/WC
	2023.07.10	DESIGN PACKAGE RESUBMITTAL #1	ES/WC
	2023.08.11	DESIGN PACKAGE RESUBMITTAL #2	ES/WC

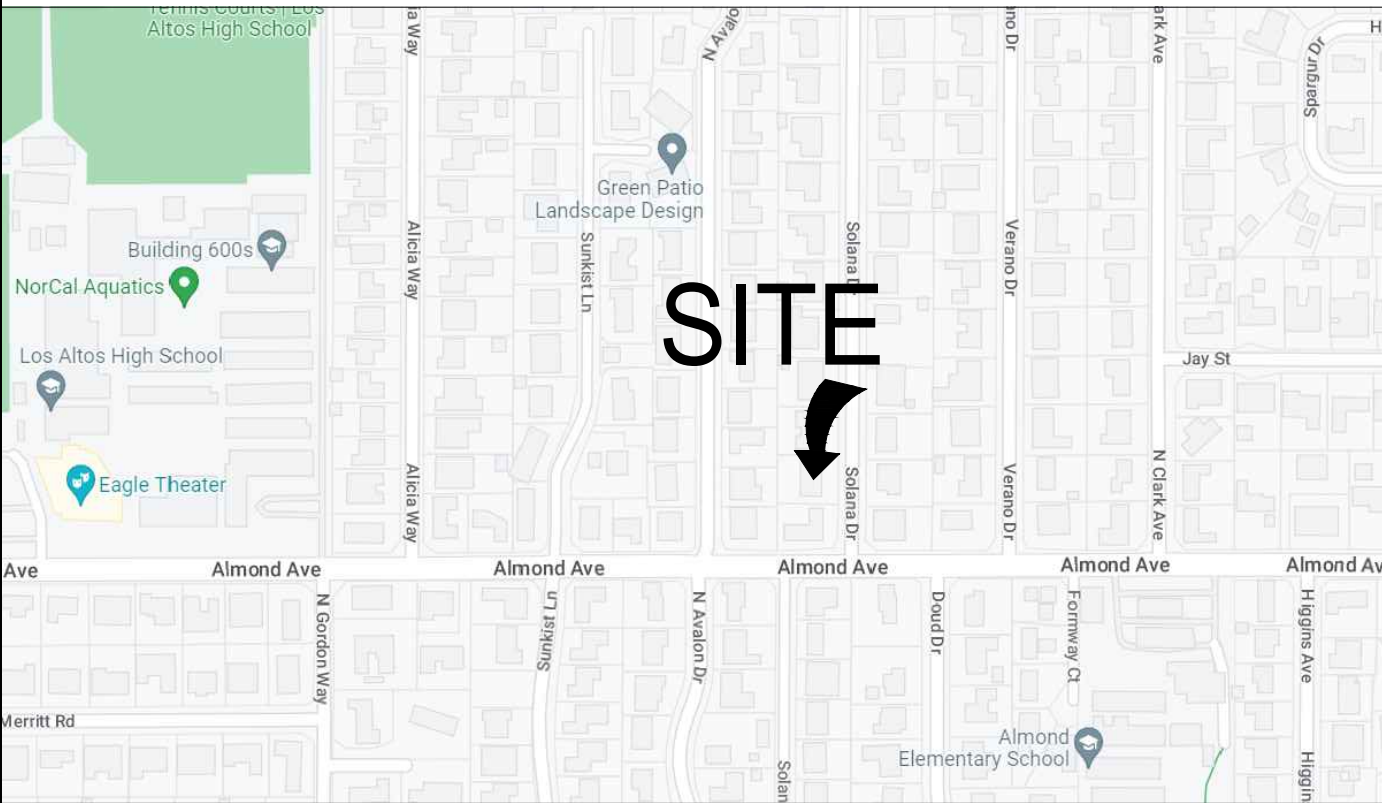
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COVER SHEET

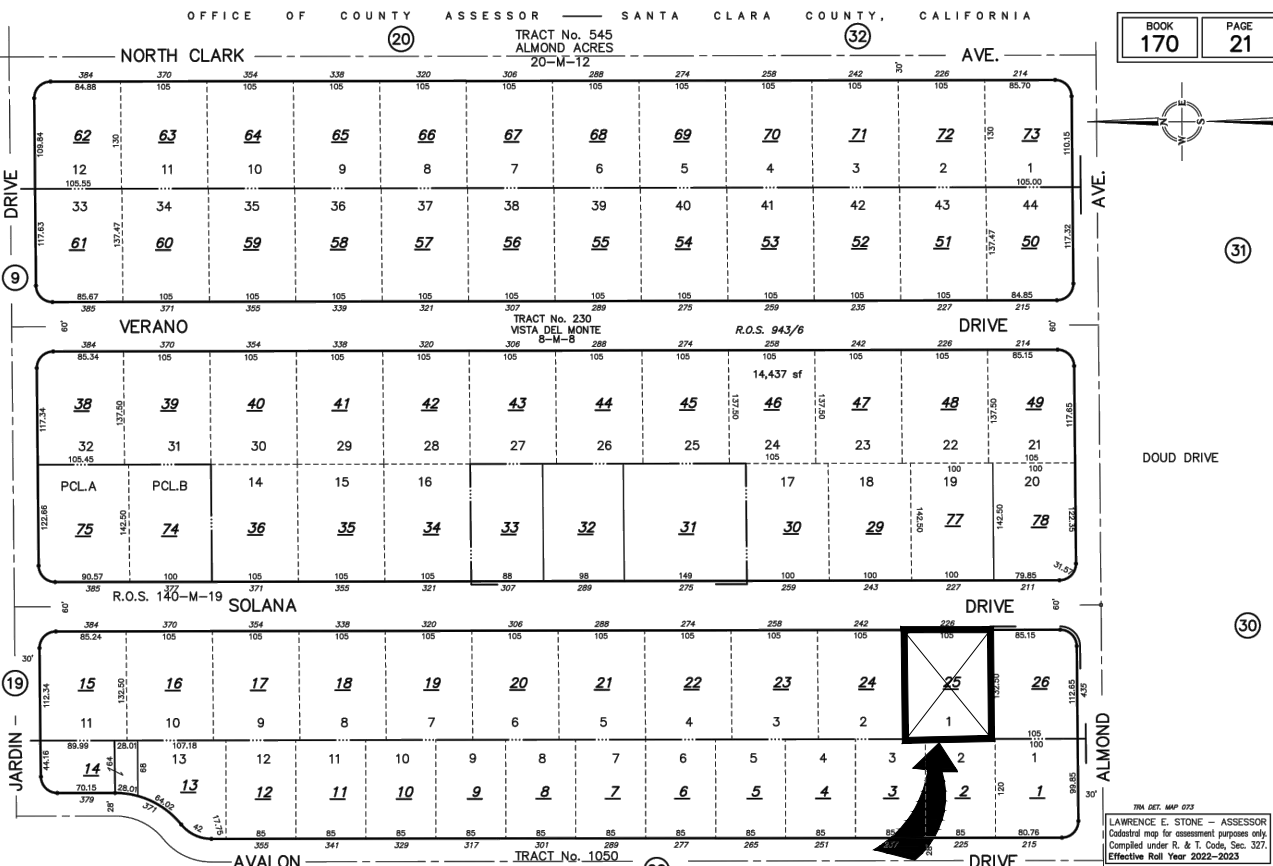


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### LOCATION MAP



### ASSESSOR'S PARCEL MAP



### SCOPE OF WORK

DEMOLISH OF AN EXISTING HOUSE ON A 13,912 S.F. LOT,  
AND BUILD A NEW 2 STORY 4 BR AND 4 BA SINGLE FAMILY RESIDENCE WITH 3,651.4  
LIVING S.F. , 451.1 S.F. GARAGE, TOTALING 4,102.5 S.F.

### PROJECT SUMMARY

Assessor's Parcel No.	170-21-025
Zoning:	R1
Jurisdiction:	City of Los Altos
Type of Construction:	TYPE V-B, SPRINKLERED (NPPA 13D)
Building Occ. Groups:	R-3/U (SINGLE FAMILY RESIDENTIAL)

LOT CALCULATIONS		13,912.00 S.F.
NET LOT AREA:		478.30
FRONT YARD HARDSCAPE AREA:		2,625.00
TOTAL AREA AT FRONT YARD		18,225.00
LANDSCAPE AREA IN THE FRONT YARD SETBACK SHALL NOT EXCEED 30%		7,195.00
LANDSCAPING BREAKDOWN:		6,717.00
EXISTING SOFTSCAPE AREA (EXISTING AND PROPOSED):		10,631.0 S.F.
NEW SOFTSCAPE AREA:		
SUM OF ALL THREE SHOULD EQUAL THE SITE'S NET LOT AREA		

ZONING COMPLIANCE			
	EXISTING (±)	PROPOSED	ALLOWED/REQUIRED
LOT COVERAGE:			
LAND AREA COVERED BY ALL STRUCTURES THAT ARE OVER 6 FEET IN HEIGHT	2,300.96 S.F. 16.54%	3,727.40 S.F. 26.79%	4,173.40 S.F. 30.00%
FLOOR AREA:			
MEASURED TO THE OUTSIDE SURFACES OF EXTERIOR WALLS	2,152.00 S.F. 1st Flr: 2,152 S.F. 15.47%	4,102.50 S.F. 1st Flr: 2,775.6 S.F. 2nd Flr: 1,346.6 S.F. 29.49%	4,141.20 S.F. 29.77%
SETBACKS:			
FRONT (1ST/2ND)	2'29'-10 1/2"	25'-5" / 28'-8 1/2"	25'
REAR (1ST/2ND)	24'-1 1/2"	38'-2" / 40'-3"	25'
LEFT SIDE (1ST/2ND)	51'-1"	10'-3" / 27'-9 1/2"	10' / 17'-6"
RIGHT SIDE (1ST/2ND)	520'-1"	10'-3" / 18'-3"	10' / 17'-6"
HEIGHT:	51'-3 3/4"	25'-7 1/2"	27'-0"

SQUARE FOOTAGE BREAKDOWN			
	EXISTING	CHANGE IN	TOTAL PROPOSED
HABITABLE LIVING AREA:			
INCLUDES HABITABLE BASEMENT AREAS	2,152.00 S.F.	1,499.40 S.F.	3,651.40 S.F.
NON- HABITABLE AREA:			
DOES NOT INCLUDE COVERED PORCHES	148.96 S.F.	302.14 S.F.	451.10 S.F.

### DEFERRED SUBMITTALS

- FIRE SPRINKLERS IN ACCORDANCE WITH NFPA 13D AND STATE AND LOCAL REQUIREMENTS--NOTE THAT PER CRC 313.3.7, A SIGN OR VALVE TAG SHALL BE INSTALLED AT THE MAIN SHUTOFF VALVE TO THE WATER DISTRIBUTION SYSTEM STATING THE FOLLOWING: "WARNING, THE WATER SYSTEM FOR THIS HOME SUPPLIES FIRE SPRINKLERS THAT REQUIRE CERTAIN FLOWS AND PRESSURES TO FIGHT A FIRE. DEVICES THAT RESTRICT THE FLOW OR DECREASE THE PRESSURE OR AUTOMATICALLY SHUT OFF THE WATER TO THE FIRE SPRINKLER SYSTEM, SUCH AS WATER SOFTENERS, FILTRATION SYSTEMS AND AUTOMATIC SHUTOFF VALVES, SHALL NOT BE ADDED TO THIS SYSTEM WITHOUT A REVIEW OF THE FIRE SPRINKLER SYSTEM BY A FIRE PROTECTION SPECIALIST. DO NOT REMOVE THIS SIGN"
- STAIR GUARDRAIL SHOP DRAWINGS SIGNED AND STAMPED BY ENGINEER TO BE SUBMITTED TO BUILDING DEPARTMENT FOR REVIEW AND APPROVAL--NOTE THAT SHOP DRAWINGS TO DEMONSTRATE GUARDRAIL DESIGN IS ADEQUATE TO SUPPORT A SINGLE CONCENTRATED 200 POUND LOAD APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP OF THE RAIL PER CRC TABLE 301.5 AND 301.5 FOOTNOTE D
- SOLAR PHOTOVOLTAIC SYSTEM TO BE UNDER A SEPARATE PERMIT
- ROOF TRUSSES--TRUSS DESIGN PACKAGE AND ENGINEER OF RECORD REVIEW LETTER TO BE SUBMITTED TO BUILDING DEPARTMENT FOR REVIEW AND APPROVAL

### REQ'D CONTRACTOR SUBMITTALS TO ARCHITECT

THE FOLLOWING ARE REQUIRED TO BE SUBMITTED TO THE ARCHITECT FOR APPROVAL/REVIEW:

- WINDOW/DOOR PACKAGE
- CABINET SHOP DRAWINGS AND FINISH SAMPLES
- MECHANICAL DUCTING PLAN
- STAIR AND RAIL SHOP DRAWINGS
- MISC. STEEL SHOP DRAWINGS

NOTE: SEE STRUCTURAL PLANS FOR ADDITIONAL REQUIRED SUBMITTALS FOR SHOP DRAWINGS, ETC.

### REQ'D CONTRACTOR SUBMITTALS TO BUILDING DEPT. PRIOR TO PERMIT ISSUANCE

- LICENSE NUMBER
- INSURANCE AND WORKER'S COMP POLICIES
- CONSTRUCTION STAGING PLAN
- CONSTRUCTION WASTE MANAGEMENT PLAN IN ACCORDANCE WITH CALGREEN 4.408.2

### APPLICABLE CODES

APPLICABLE CODES (with City of Los Altos Amendments)

- 2022 CALIFORNIA ADMINISTRATIVE CODE, CAC
- 2022 CALIFORNIA BUILDING CODE, CBC
- 2022 CALIFORNIA RESIDENTIAL BUILDING CODE, CRC
- 2022 CALIFORNIA ELECTRICAL CODE, CEC
- 2022 CALIFORNIA MECHANICAL CODE, CMC
- 2022 CALIFORNIA PLUMBING CODE, CPC
- 2022 CALIFORNIA ENERGY CODE, CEnc
- 2022 CALIFORNIA HISTORICAL CODE, CHC
- 2022 CALIFORNIA FIRE CODE, CFC
- 2022 CALIFORNIA EXISTING BUILDING CODE
- 2022 CALIFORNIA GREEN BUILDING STANDARDS
- 2022 CALIFORNIA REFERENCED STANDARDS





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NEW SINGLE FAMILY HOUSE

## NEW SINGLE FAMILY HOUSE

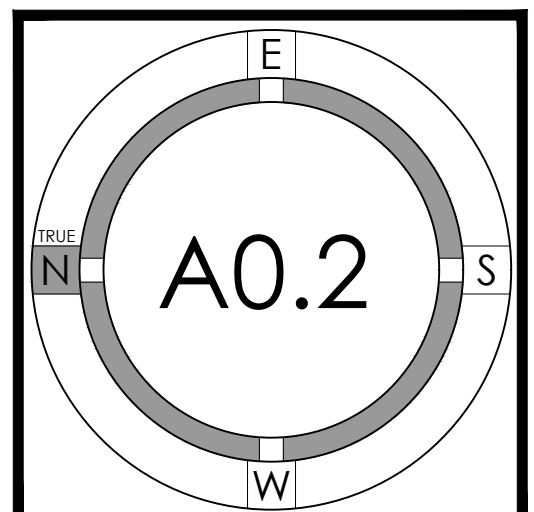
Los Altos, 226 Solana Drive

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PROJECT NO.	REVISION	DATE	DESCRIPTION	DRAWN BY	22025
		2023.03.31	DESIGN REVIEW PACKAGE	ES/W/C	
		2023.07.10	DESIGN PACKAGE RESUBMITTAL	ES/W/C I/M/B/D	
		2023.08.11	DESIGN PACKAGE RESUBMITTAL #2	I/M/B/D	

## FLOOR AREA CALCULATION



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New First floor Living Area		
Section	Dimensions	Area (s.f.)
N.1	15-11 1/2" X 5'-2"	62.4
N.2	22'-6 1/2" X 10'-0"	226.5
N.3	15'-0" X 9'-6"	93.0
N.4	10'-5 1/2" X 10'-5"	102.2
N.5	14'-10" X 18'-2"	276.4
N.6	15'-11" X 9'-4"	152.0
N.7	33'-4 1/2" X 21'-11"	726.2
N.8	12'-11" X 21'-9"	281.0
N.9	13'-6 1/2" X 16'-6 1/2"	224.0
N.10	7'-2" X 4'-2"	8.0
<b>NFL Total</b>		<b>2,342.7</b>

<b><u>New Second Floor Living Area</u></b>			
NL11		15'-0" X 10'-5"	156.1
NL12		5'-0 1/2" X 10'-5"	52.3
NL13		10'-6" X 15'-0"	157.8
NL14		11'-10 1/2" X 33'-6"	397.1
NL15		14'-6 1/2" X 31'-4"	453.8
NL16		7'-4 1/2" X 15'-0"	110.4
NL17		1'-8" X 6'-9 1/2"	11.3
<b>NSL Total</b>			<b>1,338.9</b>

<u>New Garage Area</u>			
NG1		13'-0" X 18'-10 1/2"	245.0
NG2		9'-5" X 18'-7"	175.0
NG3		2'-2" X 14'-5 1/2"	31.1
<b>NG Total</b>			<b>451.1</b>

<u>New Patio/Porch Area(Not counted towards FAR, counts toward lot Coverage)</u>			
NP 1	6'-9" X 5'-2"		34.9
NP 2	11'-1 1/2" X 3'-5"		39.0
NP 3	33'-1 1/2" X 19'-0"		629.5
NP 4	13'-6 1/2" X 5'-2 1/2"		70.5
NP 5	14'-6 1/2" X 2'-0"		29.0
NP 6	11'-1" X 18'-10 1/2"		224.0
<b>NP Total</b>			<b>1,026.9</b>

Stairway > 17' above first floor (Counted Towards FAR)			
ST1		8-2 1/2" X 3-7 1/2"	26.1
ST2		3-7 1/2" X 3-2"	11.5
ST3		8-10 1/2" X 3-7 1/2"	32.2
<b>ST Total</b>			<b>69.8</b>

<b>Hardscape: Front Yard 1st floor</b>		
H1	Gravel area	394.0
H2		20.9
H3		57.0
H4		21.7
H5		9.5
H6		37.0
H7		71.5
H8		72.4
H9		79.5
H10		29.5
H11		29.3
<b>H1+H11</b>	<b>Total</b>	<b>478.3</b>

<b>Balcony</b>		
NB		64.1
<b>NB Total</b>		<b>64.1</b>

NFW	<b>New Feature Wall</b>		
	NFW1	1'-0" X 6'-10 1/2"	6.9
	<b>Total</b>		<b>6.9</b>

LA	<b>Lot Area:</b>	13,110.0
NG	<b>Total New Garage</b>	45.11
NSH	<b>Total New Living Area</b>	3,451.43
NI-NG	<b>Total New Residence</b>	41.25
INR-FA	<b>FA% Percentage</b>	2.90
1-T000	<b>FA% Max Allowed</b>	41.41
0-FA	<b>Max Coverage Allowed</b>	41.73
NI-NG	<b>Proposed Lot Coverage Ratio</b>	3.727
PLC-FA	<b>Lot Coverage Percentage</b>	26.8%
FA	<b>Front Yard Hardship Area</b>	476.3
S	<b>Front Yard Setback Area</b>	2,455.0
FA-HA	<b>Front Yard Permitted Hardship Area</b>	304.0
HVS	<b>Front Yard Hardship Percent</b>	18.2%

NL# = NEW LIVING AREA

NG# = NEW GARAGE AREA

NP# = NEW PATIO/PORCH AREA (NOT COUNTED TOWARDS FAR, COUNTS TOWARD LOT COVERAGE)

ST# = STAIRWAY >17' ABOVE FIRST FLOOR ( COUNT AS FAR)

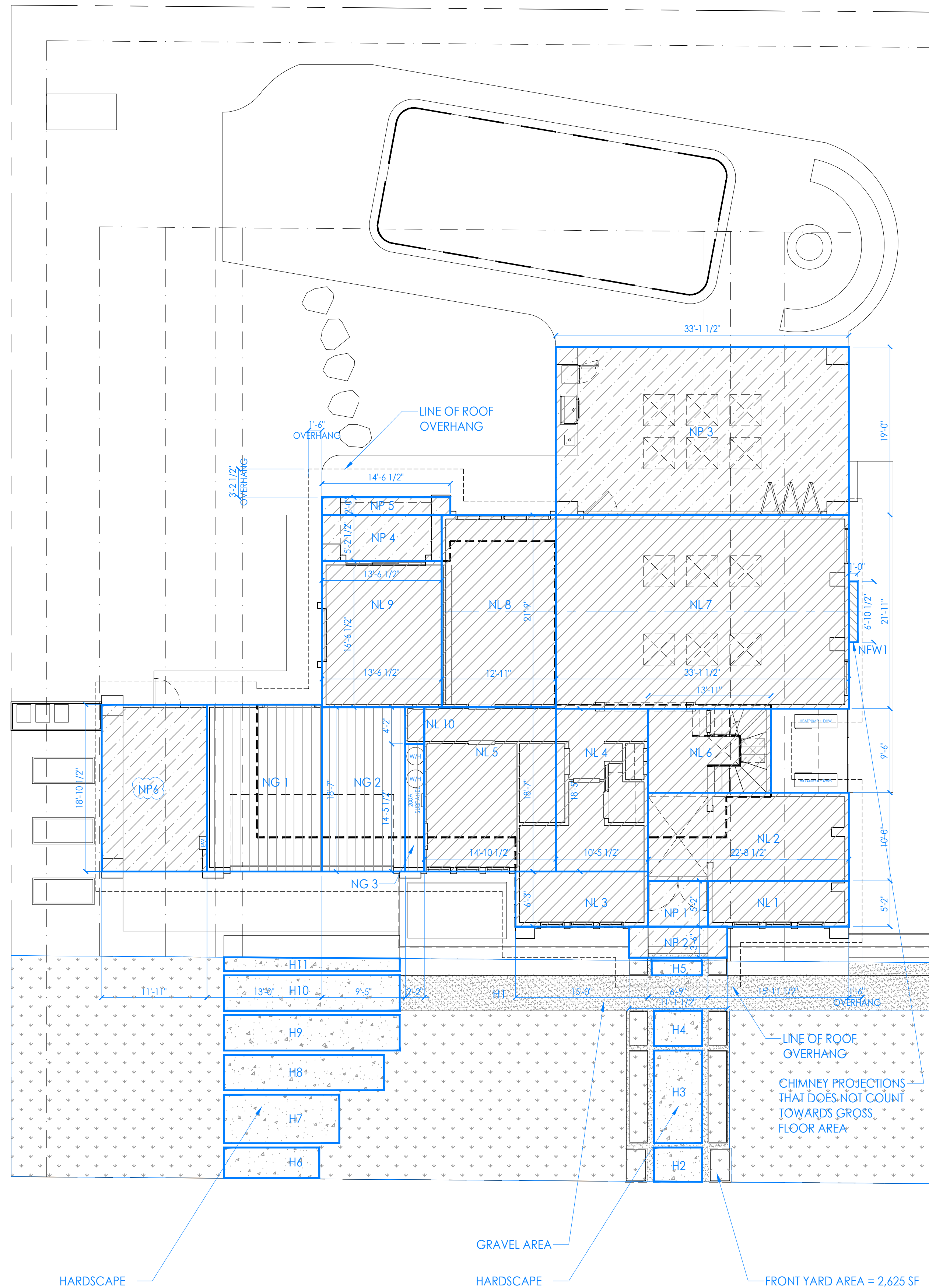
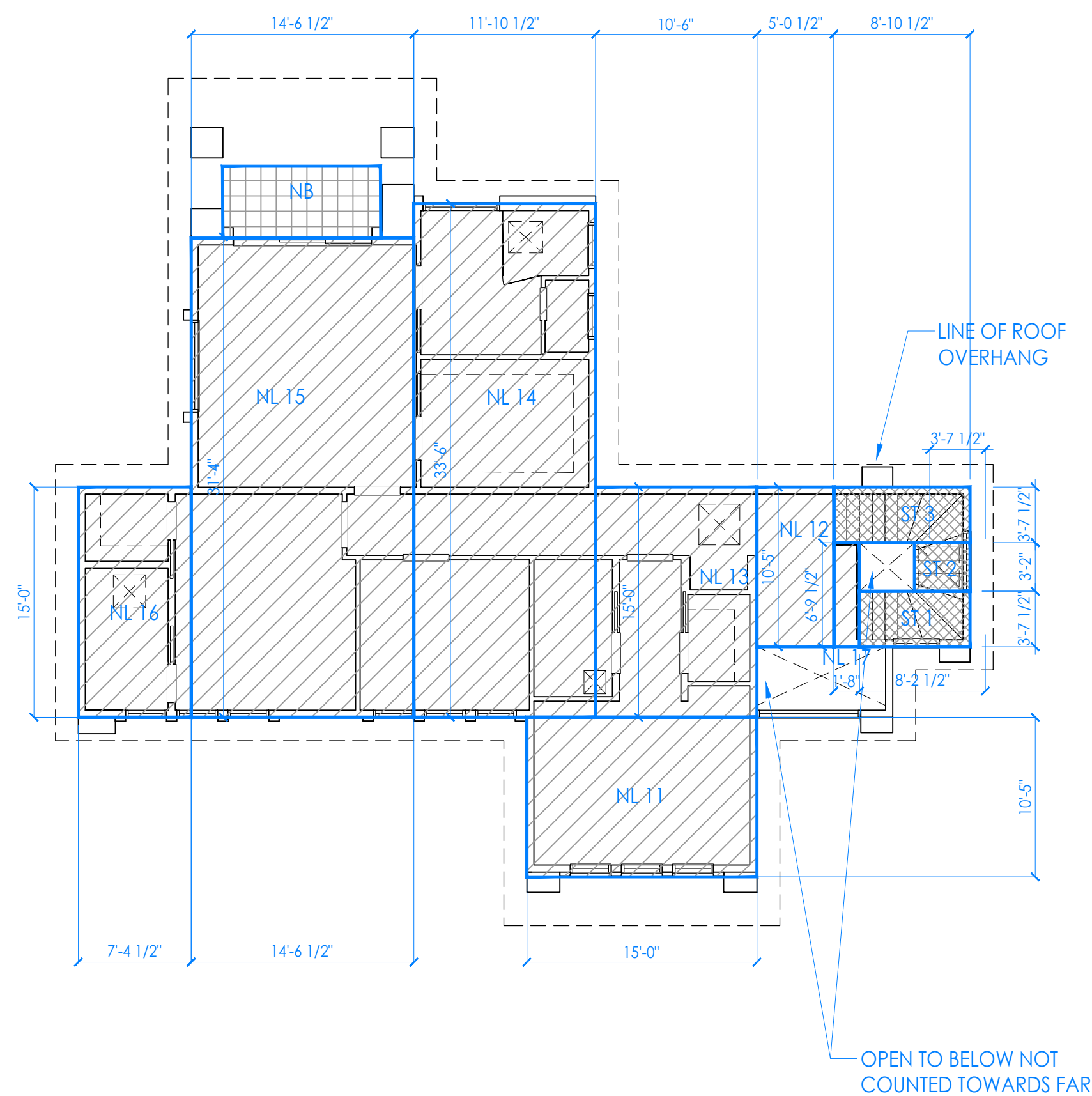
H# = HARDCAPE

NB# = NEW BALCONY AREA

NFW# = NEW FEATURED WALL, NOT COUNTED TOWARDS  
GROSS FLOOR AREA

GRAVEL AREA

LANDSCAPE AREA



1 2 4 8 12 feet

## SECOND FLOOR AREA CALCS

1/8"

2

### FIRST FLOOR AREA CALCS

1/8"




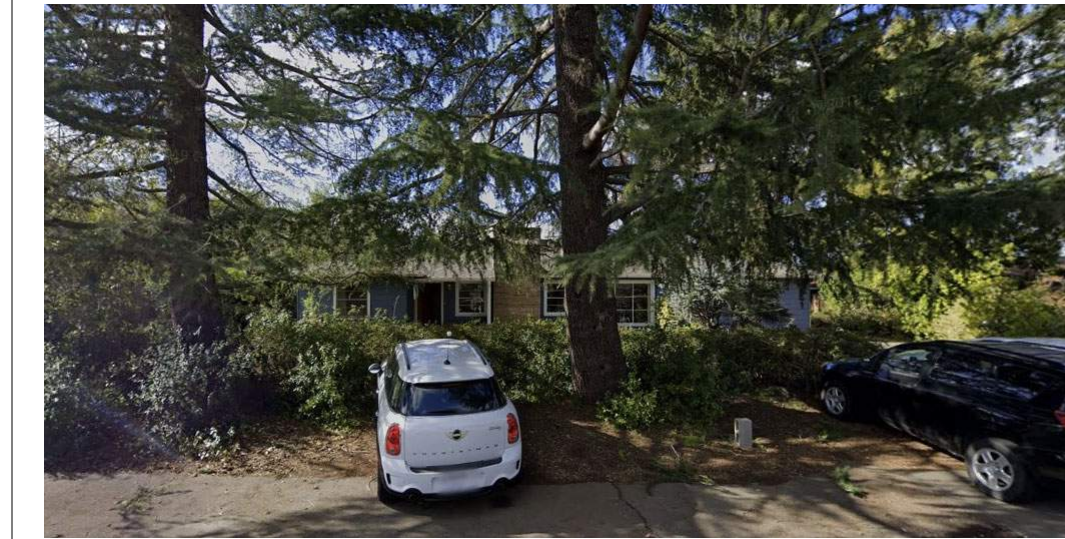










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### FLOOR AREA LEGEND







PROPOSED CONTEXT ELEVATION			3/32"	1
				
435 ALMOND AVE	226 SOLANA DR	242 SOLANA DR	258 SOLANA DR	
				
211 SOLANA DR	227 SOLANA DR	243 SOLANA DR	259 SOLANA DR	
				
215 N AVALON DR	225 N AVALON DR	237 N AVALON DR	251 N AVALON DR	
SITE MAP			-	3



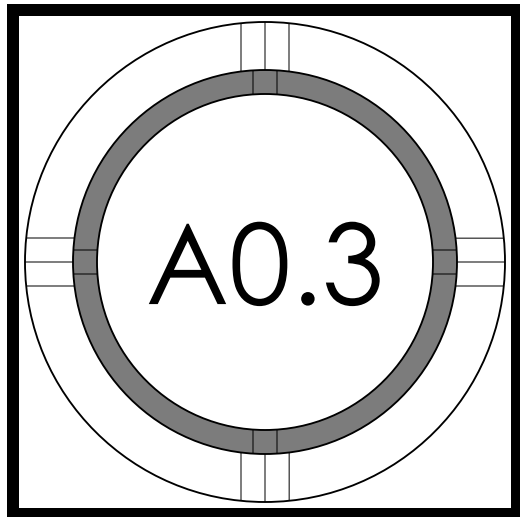
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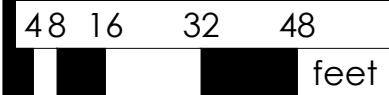


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	2023.07.10	DESIGN REVIEW PACKAGE RESUBMITTAL	ES/WC/MBD
	2023.08.11	DESIGN REVIEW PACKAGE RESUBMITTAL #2	ES/WC/MBD

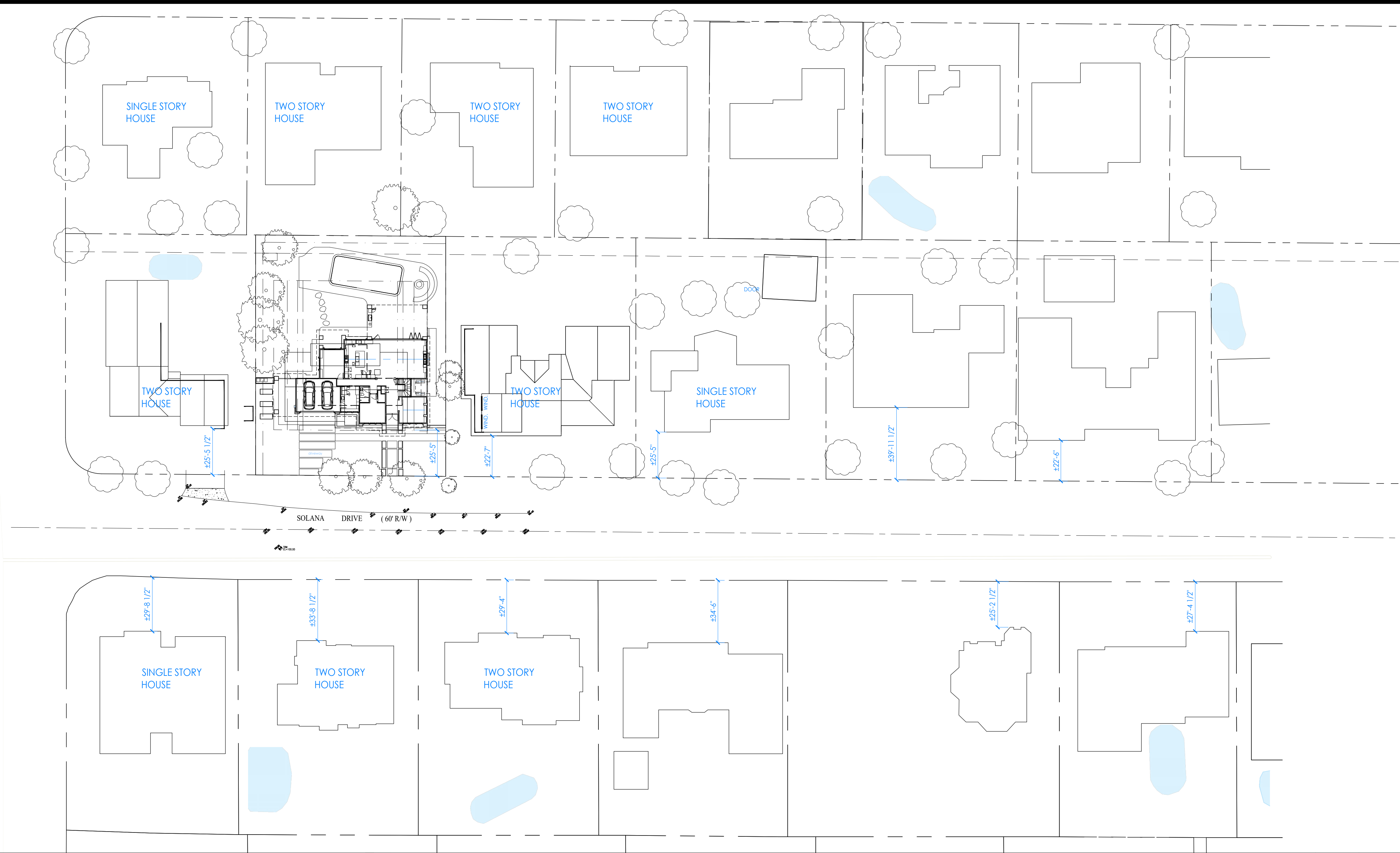
STREETSCAPE



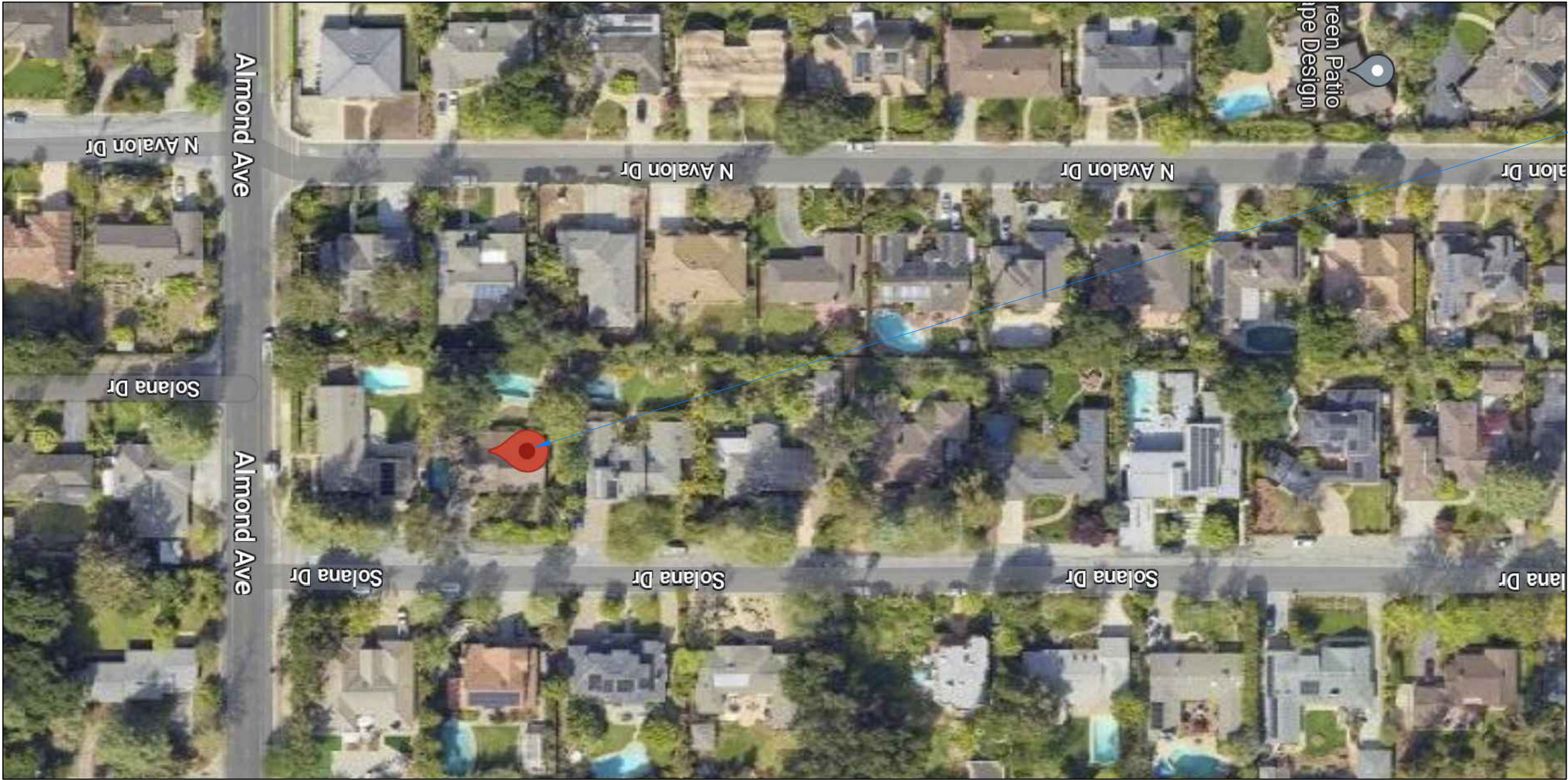




NOTE : ALL FRONT SETBACK  
DIMENSIONS APPROXIMATED  
FROM GOOGLE EARTH



NEIGHBORHOOD PRIVACY DIAGRAM - 1ST FLOOR



LEGEND



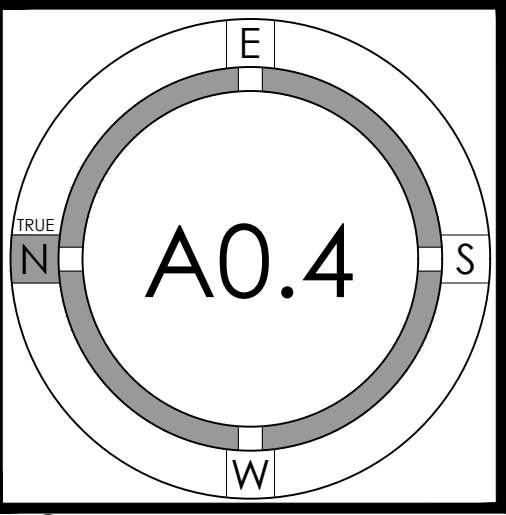
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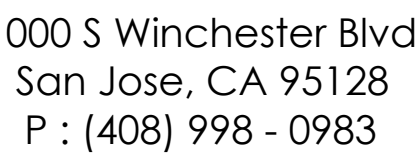


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22025	2023.03.31	DESIGN REVIEW PACKAGE	ES/WC
	2023.07.10	DESIGN PACKAGE RESUBMITTAL	ES/WC /IMB

NEIGHBORHOOD  
CONTEXT







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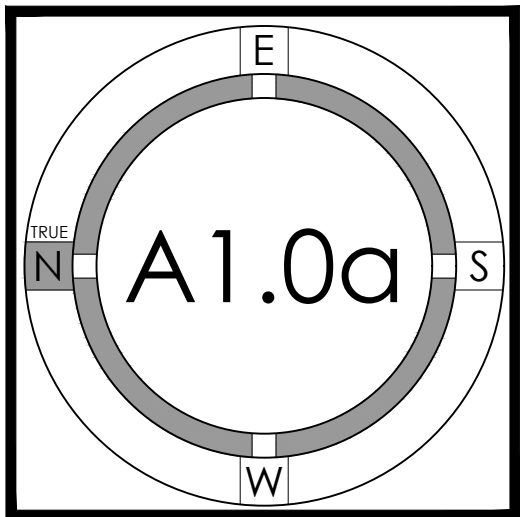
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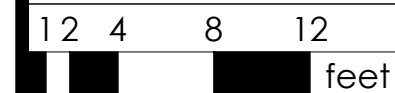
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	2023.07.10	DESIGN PACKAGE RESUBMITTAL	ES/WC	
	2023.08.11	DESIGN PACKAGE RESUBMITTAL#2	ES/WC	
			/MBD	

## SITE PLAN



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EXISTING TREES (refer to Arborist report)						
Survey Key:						
DBH: Diameter at breast height (54" above grade)						
CON: Condition rating (from A- Excellent to F- Very Poor)						
HT/SP: Tree height/ canopy spread						
*Indicates neighbor's trees						
P:Indicates protected tree by city ordinance						
R:Indicates proposed tree removal						
Tree#	Species	DBH	CON	HT/SP	Comments	
1P/R	Monterey Pine (Pinus radiata)	38	D	75/45	Poor vigor, poor structure, dead limbs, history of limb loss, bark disease, end of natural lifespan, cancer lesions.	
2P/R	Monterey Pine (Pinus radiata)	17.8	D	25/20	Fair vigor, poor structure, suppressed, grows horizontally.	
3	Coast Live Oak (Quercus agrifolia)	3.6	B	10/10	Fair vigor, fair structure, suppressed.	
4	Leyland Cypress (Cupressus leylandii)	5.7	D	10/6	Poor vigor, poor structure, topped, suppressed, in decline.	
5P	Liquidambar (Liquidambar styraciflua)	16.1	D	35/20	Fair to poor vigor, poor structure, topped.	
6P	Liquidambar (Liquidambar styraciflua)	14.5	C	35/20	Fair vigor, fair structure.	
7P	Liquidambar (Liquidambar styraciflua)	13.7	C	35/20	Fair vigor, fair structure.	
8*P	Queen Palm (Savagrus romanzoffiana)	8est	A	15/8	Good vigor, good structure.	
9P	Pittosporum (Pittosporum tobira)	6@base	C	12/12	Fair vigor, fair structure, hedge pruned.	
10	Pittosporum (Pittosporum tobira)	6@base	C	12/12	Fair vigor, fair structure, hedge pruned.	
11	Photinia (Photinia serrulata)	4@base	D	10/10	Poor vigor, poor structure, in decline.	
12	Photinia (Photinia serrulata)	4@base	D	10/10	Poor vigor, poor structure, in decline.	
13	Photinia (Photinia serrulata)	4@base	D	10/10	Poor vigor, poor structure, in decline.	
14*	African Rose Pine (Allocasuarina raculosa)	8est	B	18/12	Good vigor, good structure.	
15P/R	Silver Dollar Euc. (Eucalyptus polyanthemos)	18.0	D	45/20	Fair vigor, poor structure, topped in past at 20'	
16	Hollywood Juniper (Juniperus chinensis)	4.3	C	15/10	Fair vigor, fair form, poor location against home	
17	Pittosporum (Pittosporum tobira)	5.0	C	12/10	Fair vigor, fair structure.	
18P/R	Silk Oak (Grevillea robusta)	21.8	F	40/20	Poor vigor, poor structure, topped in past at 25', heartwood decay on trunk at grade.	
19	Green Ash (Fraxinus uhdei)	9.2	D	30/15	Fair vigor, poor structure, suppressed, no room for tree	
20P/R	Canary Island Pine (Pinus canariensis)	17.3	F	20/15	Poor vigor, poor structure, topped for utilities, hazard	
21P/R	Monterey Pine (Pinus radiata)	21.0	F	20/15	Poor vigor, poor structure, topped for utilities, hazard	
22	Privet (Ligustrum japonicum)	7.4	D	20/15	Fair vigor, poor structure, topped for utilities	
23P/R	Monterey Pine (Pinus radiata)	36.2	C	75/50	Fair vigor, fair structure, at end of natural lifespan.	
24	Black Pine (Pinus thunbergii)	12.1	D	30/20	Fair vigor, poor structure, suppressed.	
25	Mulberry (Morus alba)	9.5	F	20/20	Poor vigor, poor structure, severe heartwooddecay, hazard.	
26P/R	Liquidambar (Liquidambar styraciflua)	15.5	D	40/35	Fair vigor, poor structure, suppressed, decay at root crown.	
27P	Coast Live Oak (Quercus agrifolia)	28est	B	45/45	Fair vigor, fair structure, limited visual inspection.	
28P	Mulberry (Morus alba)	9.0	F	15/15	Poor vigor, poor structure, topped for utilities, in decline, nearly dead.	
29P	Black Acacia (Acacia melanoxylon)	15est	D	20/25	Poor vigor, poor structure, topped for utilities, in decline.	
30P/R	African Fan Palm (Afrorapax falcatius)	23.0	D	50/45	Fair vigor, poor structure, codominant at 12' with poor union.	
31P/R	Magnolia (Magnolia grandiflora)	17.5	D	40/40	Poor vigor, poor structure, suppressed, drought stressed, in decline.	
32	Cherry Laurel (Prunus caroliniana)	3.0	C	12/6	Fair to poor vigor, fair structure, in decline, drought stressed.	
33*	Green Ash (Fraxinus uhdei)	8est	D	30/20	Fair vigor, poor structure, topped.	
34	Green Ash (Fraxinus uhdei)	10est	D	30/20	Fair vigor, poor structure, topped.	
35	Orange (Citrus sinensis)	9.8	D	15/12	Poor vigor, poor structure, in decline, topped	
36	Oleander hedge (Nerium oleander)	1"x10	C	12/10	Fair vigor, poor structure, codominant at GRADE	

- # = NUMBER TO KEY NOTE BELOW
1. EXISTING PUBLIC RIGHT OF WAY--ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY MUST HAVE AN APPROVED "PERMIT FOR CONSTRUCTION IN THE PUBLIC STREET" PRIOR TO THE COMMENCEMENT OF THIS WORK. THE PERFORMANCE OF THIS WORK IS NOT AUTHORIZED BY THE BUILDING PERMIT ISSUANCE BUT SHOWN ON THE BUILDING PERMIT FOR INFORMATION ONLY
2. APPROXIMATE LOCATION OF NEIGHBORING STRUCTURE
3. (E) WATER METER--CONTRACTOR TO COORDINATE (N) METER WITH LOCAL WATER COMPANY IF REQUIRED BY INCREASED FIXTURE LOAD
4. (N) ELECTRICAL METER LOCATION--CONTRACTOR TO COORDINATE WITH LOCAL ELECTRICAL COMPANY FOR UPGRADE (400 AMPS) TO (E) ELECTRICAL SERVICE--INSTALL UFER GROUND CONNECTION PER CEC 250-52
5. UFER GROUND CONNECTION PER CEC 250-52
6. (N) 4" SEWER LATERAL--CONTRACTOR TO VERIFY LOCATION IN FIELD--PROVIDE CLEANOUT AT THE POINT OF CONNECTION BETWEEN THE BUILDING SEWER AND THE MUNICIPAL LATERAL. USE AN APPROVED FITTING TO BRING THE CLEANOUT RISER TO GRADE. WHERE SEWER CLEANOUTS ARE TO BE CONNECTED TO EXISTING MUNICIPAL LATERALS, SUCH CONNECTIONS SHALL BE ACCOMPLISHED BY USE OF AN APPROVED FITTING
7. (E) TREE(S) TO REMAIN- PROTECT AS REQUIRED DURING CONSTRUCTION - DO NOT LEAVE MATERIALS OR EQUIPMENT IN ROOT AREAS FOR EXTENDED PERIODS OF TIME. SEE ARBORIST REPORT (IF PROVIDED) FOR ADDITIONAL INFORMATION
8. (N) TREE(S)--SEE LANDSCAPE PLAN FOR MORE INFO.
9. (N) SOFTSCAPE--PROVIDE DRIP IRRIGATION. SEE LANDSCAPE PLANS FOR ADDITIONAL INFO.
10. (N) FENCE AND GATE -- VERIFY FINAL DESIGN AND FINISH WITH LANDSCAPE ARCHITECT--NEW FENCES TO CONFORM TO JURISDICTION'S FENCE REGULATIONS. GATES SHALL PROVIDE A MINIMUM OPENING WIDTH AT LEAST 32" FOR EGRESS. PLEASE SEE CRC R311.2 FOR REQUIREMENTS
11. (N) DRIVEWAY, PERMEABLE CONCRETE PAVERS -- TECO-BLOC, MODEL: BLU 80 POLISHED - CHESTNUT BROWN, OVER AT LEAST 6" OF CLASS 2 AGGREGATE BASE PER GEOTECH REPORT--SEE LANDSCAPE AND CIVIL PLANS FOR ADDITIONAL INFO.
12. (N) HARDSCAPE--SLOPE AWAY FROM HOUSE @ 2% MIN.
13. (N) 36" MIN. DEEP LEVEL LANDING PER CRC 311.3 W STEPS (MAX. 7.75" RISER)- PROVIDE EQUAL RISERS IF MORE THAN 1 STEP
14. (N) PORCH COLUMNS
15. (N) WALKWAY -- CONCRETE PADS W/ GRAVEL INFILL
16. (N) HEATPUMP UNIT PAD(S)--PROVIDE ELECTRICAL TO THIS LOCATION AS REQUIRED. VERIFY SIZE AND QUANTITY WITH HVAC CONTRACTOR. HEATPUMP UNITS TO COMPLY WITH JURISDICTION'S NOISE ORDINANCE--SEE HVAC PLANS
17. (N) TRASH BIN STORAGE
18. (N) PLANTER--SEE LANDSCAPE PLANS FOR ADDITIONAL INFO.
19. (E) PERIMETER FENCE TO REMAIN
20. (E) JOINT POLE
21. (E) POOL TO REMAIN
22. (N) SANITARY SEWER LINE , SEE CIVIL PLANS FOR MORE INFO
23. (N) JOINT TRENCH FOR ELECTRICAL, CABLE, TEL, ETC. COORDINATE WITH PG&E FOR DETAILS. SEE CIVIL PLANS FOR MORE INFO
24. (N) WATER LINE . SEE CIVIL PLANS FOR MORE INFO
25. GRAVEL AREA
26. (N) POOL EQUIPMENT
27. (N) OUTDOOR KITCHEN WITH BUILT IN GRILL
28. (N) RAISED VEGETABLE BEDS--SEE LANDSCAPE PLANS FOR ADDITIONAL INFO.
29. (N) CATEGORY II REPLACEMENT TREES--SEE LANDSCAPE PLANS FOR ADDITIONAL INFO.

## SITE PLAN KEYNOTES

PROPERTY LINE--SEE TOPO SURVEY FOR MORE INFO

REQUIRED YARD SETBACK/EASEMENT

TREE PROTECTION FENCING -- TREE PROTECTION TO BE INSTALLED PRIOR TO START OF CONSTRUCTION AND REMAIN IN PLACE TILL COMPLETION. SEE ARBORIST PLANS FOR ADDITIONAL INFO.



  $\frac{+/-XX.XX'}{XX}$  SPOT ELEVATION, SEE CIVIL DRAWINGS FOR MORE INFO

① TREE NUMBER--REFER TO ARBORIST REPORT FOR SPECIES AND OTHER INFO

NOTES:

1. (E) WATER SUPPLY TO BE REPLACED FROM METER IN.
2. (E) SEWER LATERAL TO BE REPLACED FROM PROPERTY LINE IN.
3. SEE LS PLANS FOR ALL SITE CONCRETE AND HARDSCAPE DETAILS--CO-ORDINATE WITH CIVL & GEOTECH. REQUIREMENTS
4. ALL TREE PROTECTION FENCING SHALL BE CHAIN LINK AND A MINIMUM OF FIVE FEET IN HEIGHT WITH POSTS DRIVEN INTO THE GROUND.
5. ALL NEW UTILITY SERVICES ON LOT ARE PLACED UNDERGROUND FROM THE POLE DESIGNATED BY PG&E

## SITE PLAN

 $1/8$ 

1

## SITE PLAN LEGEND

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1. EXISTING PUBLIC RIGHT OF WAY--ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY MUST HAVE AN APPROVED "PERMIT FOR CONSTRUCTION IN THE PUBLIC STREET" PRIOR TO THE COMMENCEMENT OF THIS WORK. THE PERFORMANCE OF THIS WORK IS NOT AUTHORIZED BY THE BUILDING PERMIT ISSUANCE BUT SHOWN ON THE BUILDING PERMIT FOR INFORMATION ONLY
2. APPROXIMATE LOCATION OF NEIGHBORING STRUCTURE
3. (E) WATER METER--CONTRACTOR TO COORDINATE (N) METER WITH LOCAL WATER COMPANY IF REQUIRED BY INCREASED FIXTURE LOAD
4. (E) GAS METER TO BE REMOVED
5. (E) ELECTRICAL PANEL TO BE REMOVED
6. (E) DRIVEWAY TO BE REMOVED
7. (E) FENCE TO BE REMOVED
8. (E) PERIMETER FENCE TO REMAIN IF IN GOOD CONDITION
9. (E)HARDSCAPE TO BE REMOVED
10. (E) TREE(S) TO REMAIN- PROTECT AS REQUIRED DURING CONSTRUCTION - DO NOT LEAVE MATERIALS OR EQUIPMENT IN ROOT AREAS FOR EXTENDED PERIODS OF TIME. SEE ARBORIST REPORT (IF PROVIDED) FOR ADDITIONAL INFORMATION
11. (E) TREE(S) TO BE REMOVED
12. (E) HOUSE TO BE REMOVED
13. (E) SHED TO BE REMOVED
14. (E) JOINT POLE
15. (E) POOL TO REMAIN

EXISTING TREES (refer to Arborist report)						
Survey Key:						
DBH: Diameter at breast height (54" above grade)						
CON: Condition rating (from A - Excellent to V - Very Poor)						
HT/SP: Tree height / canopy spread						
Indicates neighbor's trees						
P-Indicates protected tree by city ordinance						
R-Indicates proposed tree removal						
Tree#	Species	DBH	CON	HT/SP	Comments	
1P/R	Monterey Pine (Pinus radiata)	38	D	75/45	Poor vigor, poor structure, dead limbs, history of limb loss, canker disease, end of natural lifespan, bark beetles.	
2P/R	Monterey Pine (Pinus radiata)	17.8	D	25/20	Fair vigor, poor structure, suppressed, grows horizontally.	
3	Coast Live Oak (Quercus agrifolia)	3.6	B	10/10	Fair vigor, fair structure, suppressed.	
4	Leucadendron Cypress (Cyprusus leylandii)	5.7	D	10/6	Poor vigor, poor structure, topped, suppressed, in decline.	
5P	Liquidambar (Liquidambar styraciflua)	16.1	D	35/20	Fair to poor vigor, poor structure, topped at grade, <b>hazard</b> .	
6P	Liquidambar (Liquidambar styraciflua)	14.5	C	35/20	Fair vigor, fair structure. <b>Street tree</b> .	
7P	Liquidambar (Liquidambar styraciflua)	13.7	C	35/20	Fair vigor, fair structure. <b>Street tree</b> .	
8P	Queen Palm (Syagrus romanzoffiana)	8est	A	15/8	Good vigor, good structure. <b>Street tree</b> .	
9P	Pittosporum (Pittosporum tobira)	6@base	C	12/12	Fair vigor, fair structure, hedge pruned at grade, <b>hazard</b> .	
10	Pittosporum (Pittosporum tobira)	6@base	C	12/12	Fair vigor, fair structure, hedge pruned.	
11	Photinia (Photinia serrulata)	4@base	D	10/10	Poor vigor, poor structure, in decline.	
12	Photinia (Photinia serrulata)	4@base	D	10/10	Poor vigor, poor structure, in decline.	
13	Photinia (Photinia serrulata)	4@base	D	10/10	Poor vigor, poor structure, in decline.	
14*	African Fern Pine (Afrocarpus falcatus)	8est	B	18/12	Good vigor, good structure.	
15P/R	Silver Dollar Euc (Eucalyptus polyanthemos)	18.0	D	45/20	Fair vigor, poor structure, topped in past at 20' at grade, <b>hazard</b> .	
16	Hollywood Juniper (Juniperus chinensis)	4.3	C	15/10	Fair vigor, fair form, poor location against home.	
17	Pittosporum (Pittosporum tobira)	5.0	C	12/10	Fair vigor, fair structure.	
18P/R	Silk Oak (Grevillea robusta)	21.8	F	40/20	Poor vigor, poor structure, topped in past at 25', heartwood decay on trunk at grade, <b>hazard</b> .	
19	Green Ash (Fraxinus uhdei)	9.2	D	30/15	Fair vigor, poor structure, suppressed, no room for tree.	
20P/R	Canary Island Pine (Pinus canariensis)	17.3	F	20/15	Poor vigor, poor structure, topped for utilities, <b>hazard</b> .	
21P	Monterey Pine (Pinus radiata)	21.0	F	20/15	Poor vigor, poor structure, topped for utilities, <b>hazard</b> .	
22	Privet (Ligustrum japonicum)	7.4	D	20/15	Fair vigor, poor structure, topped for utilities.	
23P/R	Monterey Pine (Pinus radiata)	36.2	C	75/50	Fair vigor, fair structure, at end of natural lifespan.	
24	Black Pine (Pinus thunbergii)	12.1	D	30/20	Fair vigor, poor structure, suppressed.	
25	Mulberry (Morus alba)	9.5	F	20/20	Poor vigor, poor structure, severe heartwood decay, <b>hazard</b> .	
26P/R	Liquidambar (Liquidambar styraciflua)	15.5	D	40/35	Fair vigor, poor structure, suppressed decay at root crown.	
27P	Coast Live Oak (Quercus agrifolia)	28est	B	45/45	Fair vigor, fair structure, limited visual inspection.	
28	Mulberry (Morus alba)	9.0	F	15/15	Poor vigor, poor structure, topped for utilities, in decline, nearly dead.	
29P*	Black Acacia (Acacia melanoxylon)	15est	D	20/25	Poor vigor, poor structure, topped for utilities, in decline.	
30P/R	African Fern Pine (Afrocarpus falcatus)	23.0	D	50/45	Fair vigor, poor structure, codominant at 12' with poor union.	
31P/R	Magnolia (Magnolia grandiflora)	17.5	D	40/40	Poor vigor, poor structure, suppressed, drought stressed, in decline.	
32	Cherry Laurel (Prunus caroliniana)	3.0	C	12/6	Fair to poor vigor, fair structure, in decline, drought stressed.	
33*	Green Ash (Fraxinus uhdei)	8est	D	30/20	Fair vigor, poor structure, topped.	
34	Green Ash (Fraxinus uhdei)	10est	D	30/20	Fair vigor, poor structure, topped.	
35	Orange (Citrus sinensis)	9.8	D	15/12	Poor vigor, poor structure, in decline topped.	
36	Oleander hedge (Nerium oleander)	1"x10	C	12/10	Fair vigor poor structure, codominant at GRADE.	

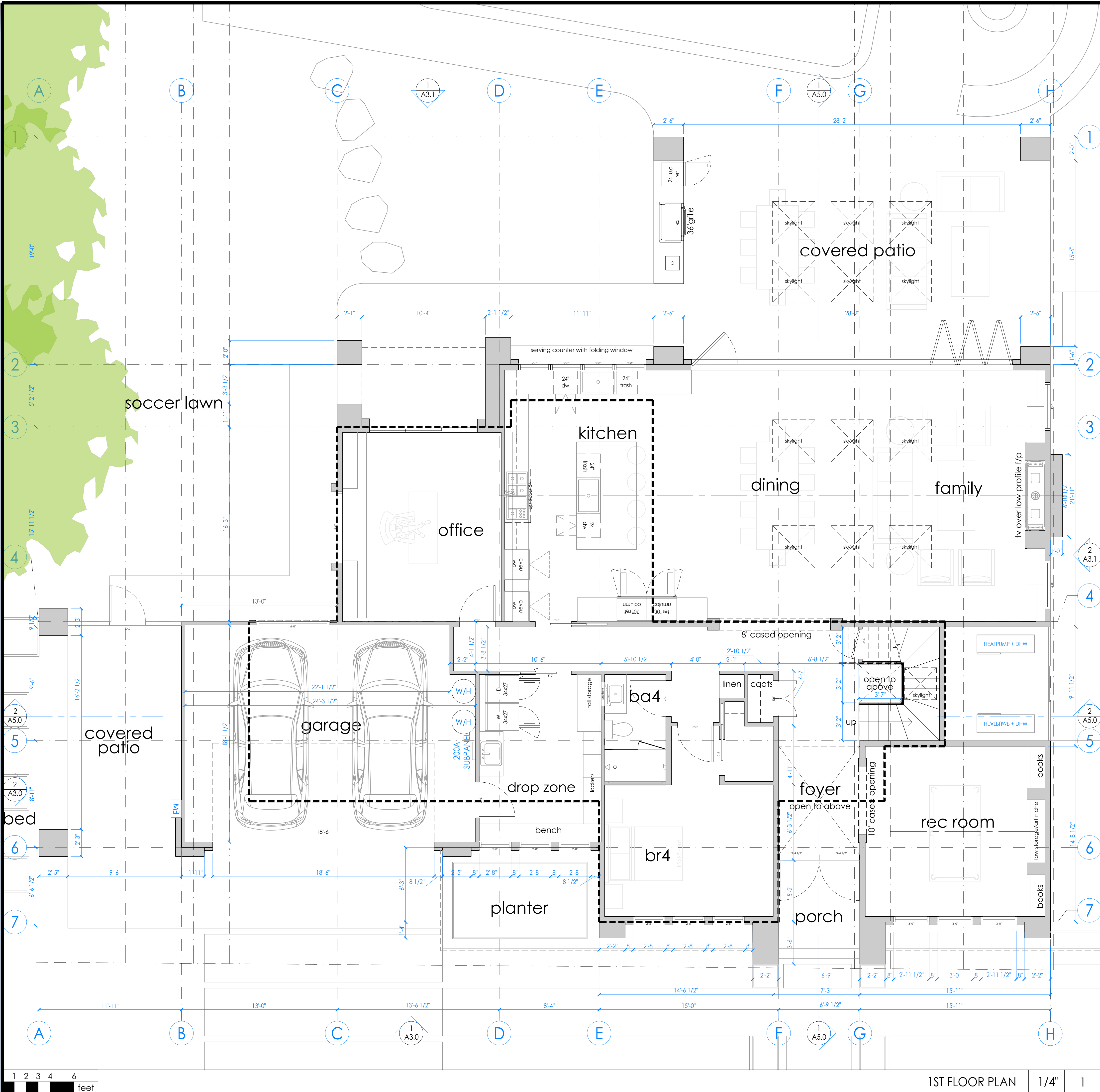
NOTES:

1. (E) WATER SUPPLY TO BE REPLACED FROM METER IN.
2. (E) SEWER LATERAL TO BE REPLACED FROM PROPERTY LINE IN.

DEMO SITE PLAN	1/8"	1
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- NOTE:
1. SEE 2/A0.1a FOR PLUMBING GENERAL NOTES
  2. SEE 3/A0.1a FOR MECHANICAL GENERAL NOTES
  3. SEE 4/A0.1a FOR ELECTRICAL GENERAL NOTES
  4. SEE 5/A0.1a FOR PLAN AND INTERIOR GENERAL NOTES

#### FLOOR PLAN KEYNOTES

(N) WALL: EXTERIOR: 2x6 STUDS @16" O.C.; INTERIOR 2x4 STUDS @16" O.C.--SEE ELEVATIONS AND STRUCTURAL DRAWINGS FOR EXTERIOR WALL MATERIAL ASSEMBLIES. INSTALL 2 LAYERS OF BUILDING PAPER (FOR STUCCO ONLY)/1 LAYER (MIN.) OF WEATHER RESISTIVE BARRIER (TYVEK HOUSE WRAP OR EQ.) OVER EXTERIOR WALLS SHEATHING PER CRC 703.2--INSTALL PER MANUF. INSTRUCTIONS. PROVIDE 5/8" TYPE 'X' GYPSUM BOARD EACH SIDE @ INTERIOR PARTITIONS. PROVIDE CEMENT BOARD OR TILE BACKER BOARD AT SHOWER/TUB LOCATIONS. ALL WALLS TO RECEIVE (N) PAINT FINISH. ALL CEILINGS AT TUB/SHOWERS TO BE M.R. BOARD

1ST FLOOR PLAN

1/4"

1



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22025 Bertran-Angulo Residence  
NEW SINGLE FAMILY HOUSE

Los Altos, 226 Solana Drive

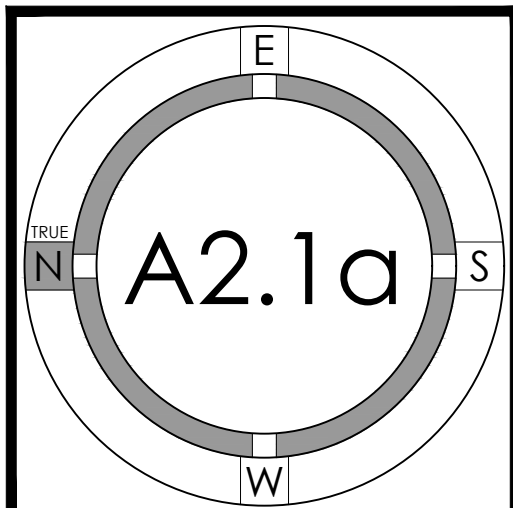
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22025	2023.03.31	DESIGN REVIEW PACKAGE	ES/WC
	2023.07.10	DESIGN PACKAGE RESUBMITAL #1	ES/WC
	2023.08.11	DESIGN PACKAGE RESUBMITAL #2	ES/WC

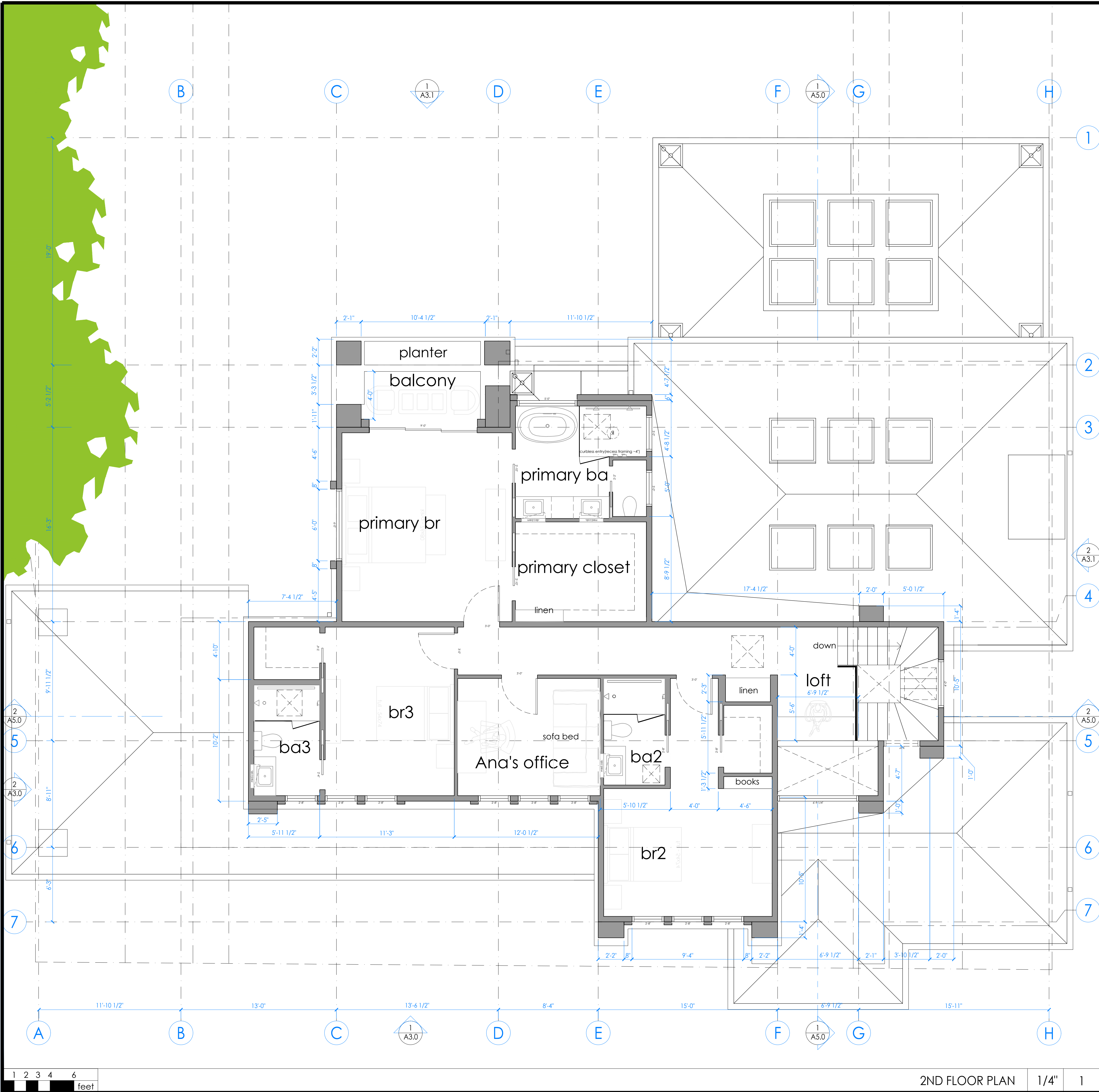
1ST

FLOOR PLAN



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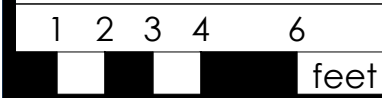




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FLOOR PLAN KEYNOTES

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2ND FLOOR PLAN 1/4" 1



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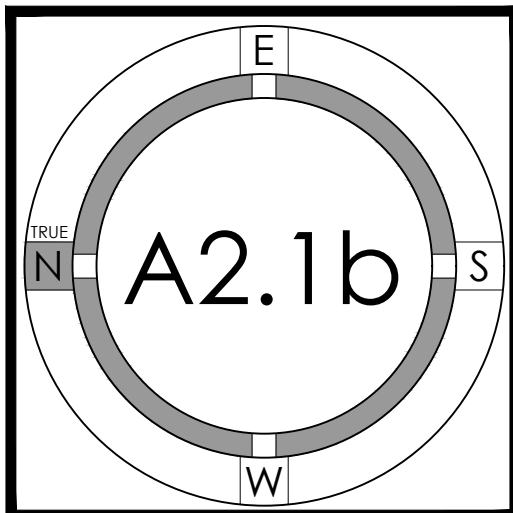
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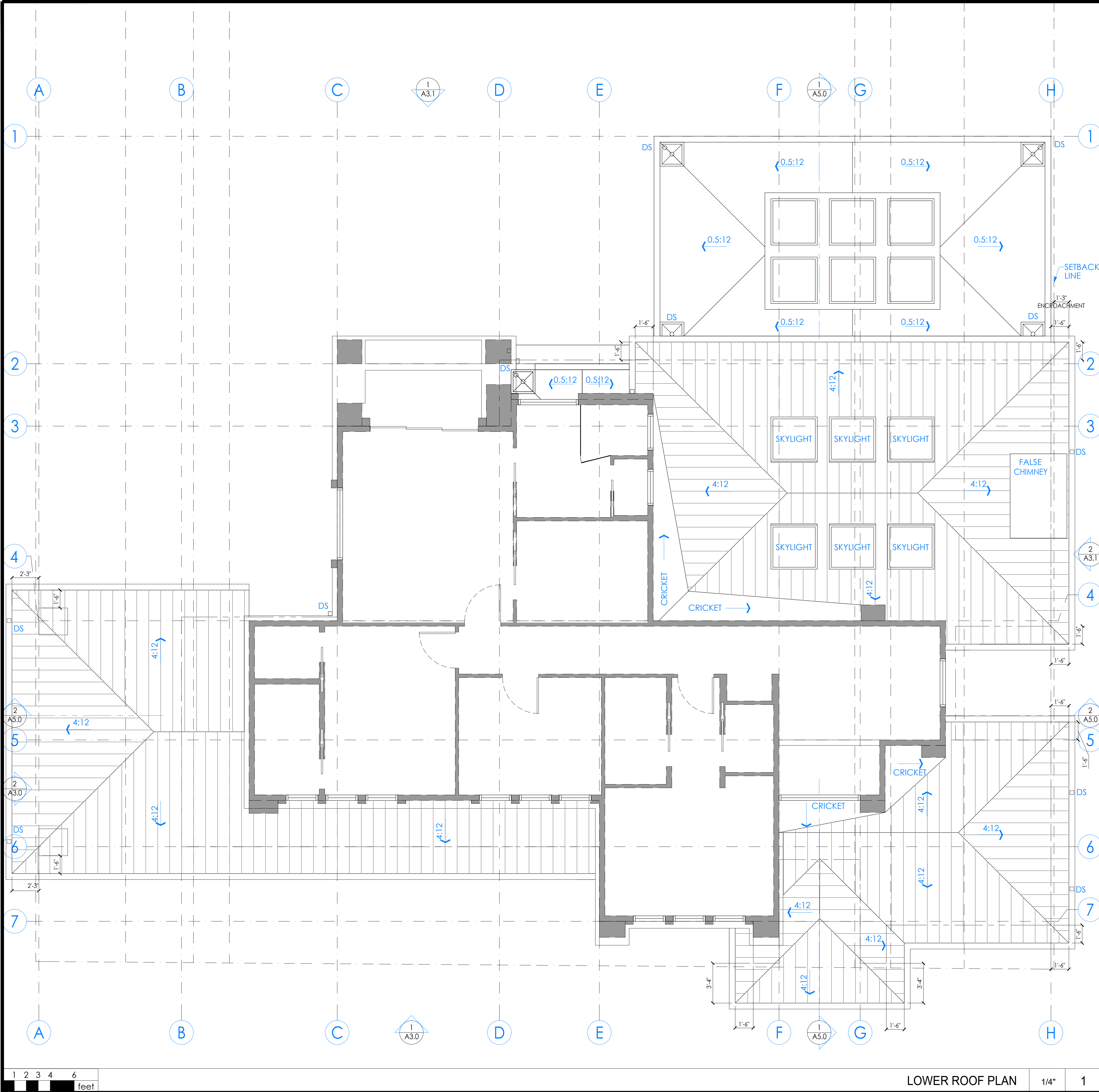
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	2023.08.11	DESIGN PACKAGE RESUBMITTAL #2	ES/WC
			/MBC

2ND

FLOOR PLAN







NOTE:

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- SEE 5/A0.1a FOR PLAN AND INTERIOR GENERAL NOTES

ROOF GENERAL NOTES

-

ATTIC VENTILATION CALCULATIONS AND NOTES

-

SINGLE PLY ROOFING, MIN CLASS "A"--MANUF: GAF OR EQUAL; STYLE: FULLY ADHERED EVERGUARD EXTREME TPO ROOFING MEMBRANE; THICKNESS: 60 MILLIMETER MIN.--INSTALL O/ 1/2" HIGH DENSITY POLYISO BOARD O/ SLOPING PLYWOOD SHEATHING TO ENSURE MIN. 3/8:12 SLOPE. INSTALL RIVER-WASHED ROUND STONE BALLAST o/ 6-OZ MIN. POLYMAT FILTER FABRIC o/ ROOFING MEMBRANE AT LOW ROOFS THAT ARE VISIBLE FROM 2ND FLOOR WINDOWS--INSTALL PER MANUF. 20-YEAR WARRANTY INSTRUCTIONS.

[STANDING SEAM/CORRUGATED] METAL ROOF, MIN CLASS [X]--MANUF: [AEP SPAN]; STYLE: [SELECT SEAM]{staff must check applicable roof slopes at manuf. website}; COVERAGE: [16"]; GAUGE: [22]; COLOR: [COLOR]--VERIFY FINAL SELECTION WITH OWNER PRIOR TO PLACING ORDER. INSTALL PER MANUF. WARRANTY INSTRUCTIONS AND [UES EVALUATION REPORT #0309]

DS DENOTES GUTTER DRAIN (3" DIA.) AND DOWNSPOUT (2" X 3") 26 GA ALUMINUM - PAINTED TO MATCH TRIM COLOR-- VERIFY SPEC. W/ OWNER. INSTALL PER MFR. INSTRUCTIONS

← DENOTES DIRECTION OF SLOPE FROM HIGH TO LOW--ROOF SLOPE APPROX., REFER TO ELEVATIONS FOR MAX HT AND VERTICAL CONTROL

— LINE OF BLDG. BELOW

LOWER ROOF PLAN

1/4"

1

ROOF PLAN LEGEND

-



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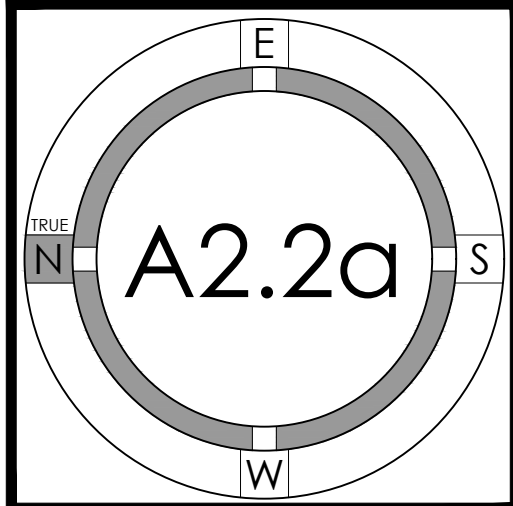
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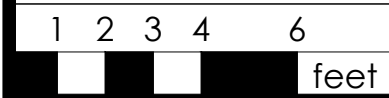
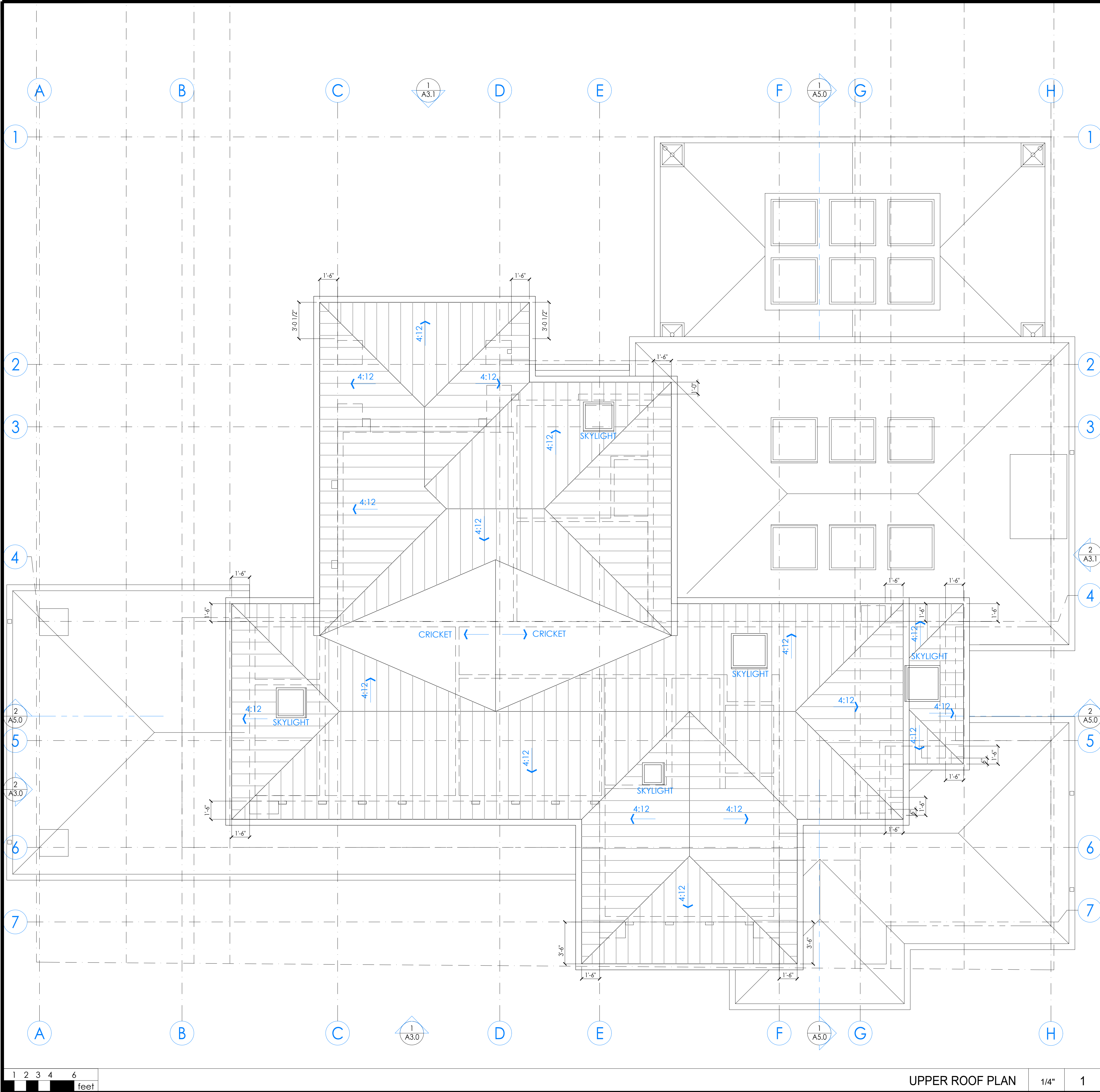
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LOWER

ROOF PLAN







UPPER ROOF PLAN

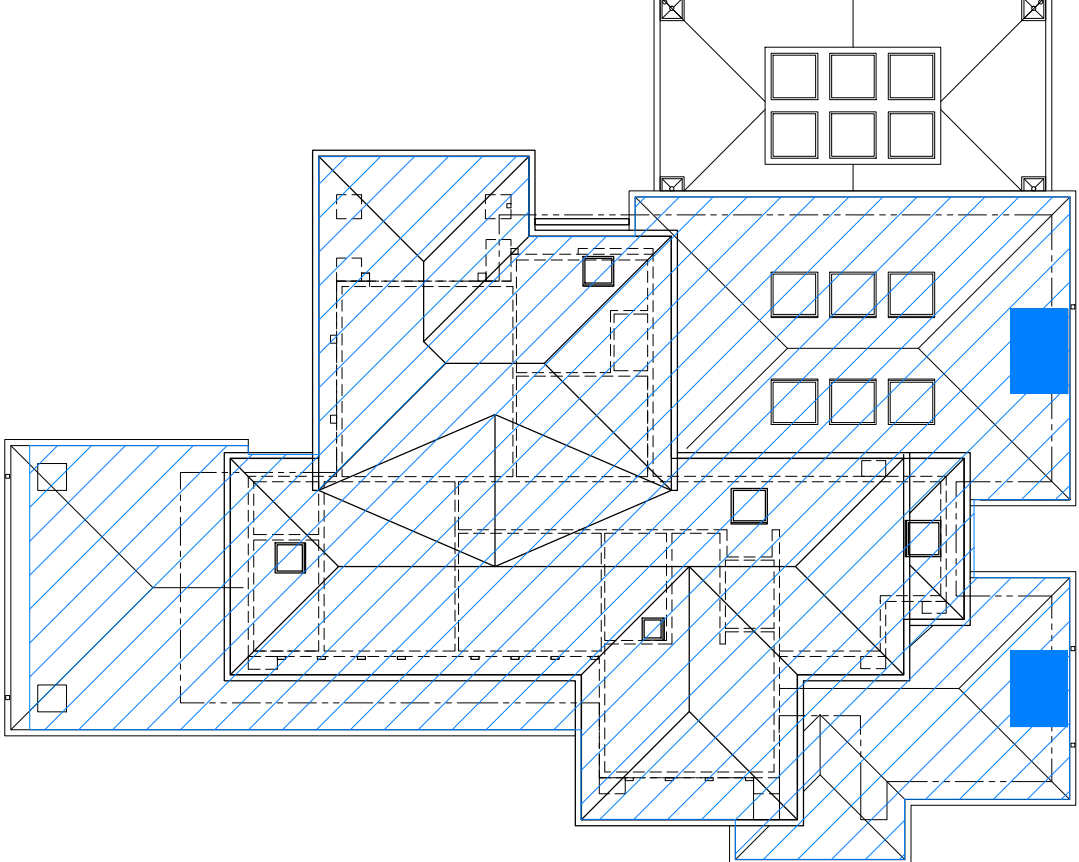
1/4"

1

- NOTE:
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ROOF GENERAL NOTES

GROSS AREA OF THE BUILDING ROOF : 3650 S.F.  
CHIMNEYS : 63 S.F.  
63 S.F. < 4% X 3650 = 146 S.F. (4% OF THE GROSS AREA OF THE BUILDING ROOF)



ATTIC VENTILATION CALCULATIONS AND NOTES

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← DENOTES DIRECTION OF SLOPE FROM HIGH TO LOW--ROOF SLOPE APPROX., REFER TO ELEVATIONS FOR MAX HT AND VERTICAL CONTROL

LINE OF BLDG. BELOW

ROOF PLAN LEGEND



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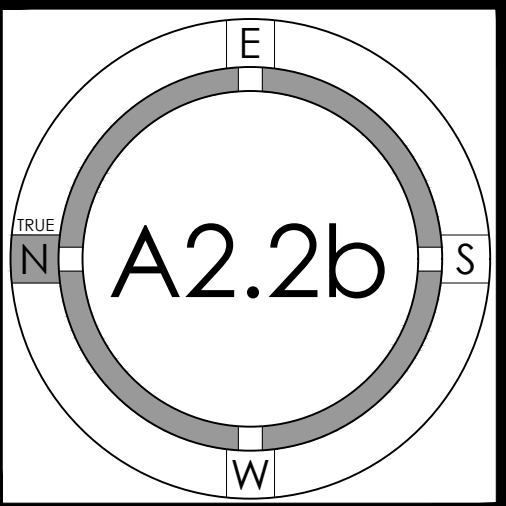
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	2023.08.11	DESIGN PACKAGE RESUBMITAL #2	ES/WC

UPPER

ROOF PLAN



FOR PERMIT REVIEW ONLY--NOT FOR CONSTRUCTION





- # = NUMBER OF KEYNOTE BELOW
- 1 DAYLIGHT PLANE AS DEFINED BY JURISDICTION
  - 2 SEAM METAL ROOFING--SEE ROOF PLAN FOR MORE INFO
  - 3 SKYLIGHT--SEE WINDOW SCHEDULE FOR MORE INFO
  - 4 PAINTED STEEL TROWELED IGNITION RESISTANT CEMENT PLASTER SYSTEM (SMOOTH FINISH) - 7/8" PLASTER O/ METAL LATH O/ 2 LAYERS GRADE 'D' OR BETTER BUILDING PAPER, 3 COAT SYSTEM WITH 26 ga. WEEP SCREED AT WALL BASE AT LEAST 4" ABOVE GRADE OR 2" ABOVE HARDSCAPE--SEE DETAILS [XX/XX]--DO NOT USE "DOUBLE-ROLL" INSTALLATION FOR BUILDING PAPER
  - 5 PAINTED REDWOOD TRIM
  - 6 WOOD FRAMED "FALSE" CHIMNEY WITH 8" TALL PRECAST STONE CORNICE CAP-- www.chimneyking.com--SEE ROOF PLAN FOR LOCATION--INTENT OF CHIMNEY IS TO SCREEN MULTIPLE PLUMBING/HVAC ROOF PENETRATIONS FROM VIEW
  - 7 ARCHITECTURAL LINEAR SERIES BRICK WASHED - MAHAGONY -- DIMENSIONS : 2-1/4" x RANDOM (UP TO 23-5/8") L x 3-3/4" D; COLOR: MAHAGONY-- www.artiscraft.com/?s=architectural+linear+series
  - 8 PAINTED REDWOOD TRIM--2x8 FASCIA WITH 4" SEAMLESS PAINTED SHEET METAL GUTTER--VERIFY GUTTER PROFILE WITH OWNER PRIOR TO FABRICATION--SEE ROOF PLAN FOR MORE INFO
  - 9 FACTORY-FINISHED ALUMINUM GARAGE DOOR--SEE DOOR SCHEDULE FOR MORE INFO
  - 10 WINDOW/DOOR OPENING--SEE WINDOW AND DOOR SCHEDULES FOR MORE INFO--DOORS AND WINDOWS TO HAVE 2" PAINT GRADE WOOD TRIM TYPICAL, U.N.O.
  - 11 ONE PIECE STRAIGHT FIBER GLASS COLUMN, 2'-0" X 2'-6" BASE , 7'-0" OVERALL HEIGHT
  - 12 EXTERIOR LIGHT, OWNER PROVIDE SPECS.
  - 13 PIN MOUNTED LED ILLUMINATED ADDRESS SIGNAGE, CLEARLY VISIBLE FROM ADJACENT STREET-- HEIGHT: 8"; STYLE: LUXELLO LED, MODERN NEUTRA HOUSE NUMBERS LED BACKLIT; FINISH: ANODIZED-- www.surrounding.com/products/luxello--PROVIDE PHOTOSENSOR CONNECTED LED BACKLIGHTING @ EACH NUMBER
  - 14 WOOD EXTERIOR DOOR: W15H GLASS PANEL-- <https://www.jeld-wen.com/en-us/products/exterior-doors/1wp-wood/w15h-glass-panel>



- NOTES:
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  2. SEE 3/A0.1a FOR MECHANICAL GENERAL NOTES
  3. SEE 3/A0.1a FOR ELECTRICAL GENERAL NOTES
  4. SEE 4/A0.1a FOR PLAN AND INTERIOR GENERAL NOTES
  5. EXTERIOR HARDSCAPE AND EXTERIOR STAIRS NOT SHOWN FOR CLARITY--SEE A0.3a FOR 3D MODEL VIEWS

KEYNOTES	-	-
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ELEVATION GRID LINE KEY

A NATURAL GRADE FOR DETERMINING HEIGHT = 100.68'

B 1ST FLOOR FINISH FLOOR ELEVATION= 102.21'

C 1ST FLOOR CEILING HEIGHT TO PLATE (U.N.O.) = 111.54'

D 2ND FLOOR FINISH FLOOR ELEVATION(U.N.O.) = 112.79'

E KITCHEN/FAMILY ROOM CEILING HEIGHT = 115.38'

F 2ND FLOOR CEILING HEIGHT, I.O. PLATE (U.N.O.) = 121.38'

G PROPOSED BUILDING HEIGHT = 25'-7 1/2" 126.32'

H MAX BUILDING HEIGHT ALLOWED = 27'-0" 128.64'

ELEVATION GRID LINE KEY	-	-
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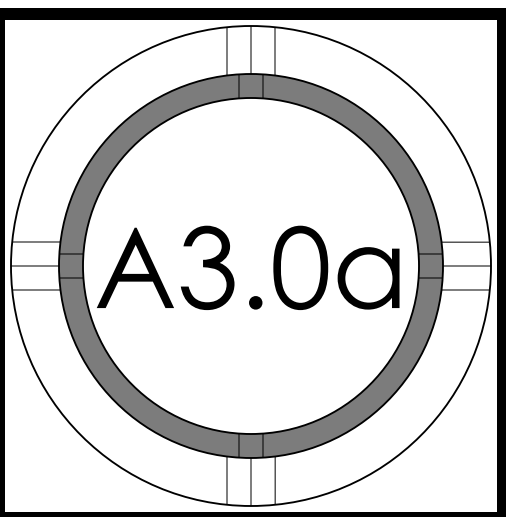
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PROJECT NO.	REVISION	DATE	DESCRIPTION	DESIGNER	DATE	REVISION
		2023.03.31	DESIGN REVIEW PACKAGE	ES/WC		
		2023.07.10	DESIGN REVIEW PACKAGE RESUBMITTAL	ES/WC/MBD		
		2023.08.11	DESIGN REVIEW PACKAGE RESUBMITTAL #2	ES/WC/MBD		

EXTERIOR  
ELEVATIONS







1 2 3 4 6 feet EAST ELEVATION (REAR) 1/4" 1



1 2 3 4 6 feet NORTH ELEVATION (LEFT) 1/4" 2

- # = NUMBER OF KEYNOTE BELOW
- 1 DAYLIGHT PLANE AS DEFINED BY JURISDICTION
  - 2 SEAM METAL ROOFING--SEE ROOF PLAN FOR MORE INFO
  - 3 SKYLIGHT--SEE WINDOW SCHEDULE FOR MORE INFO
  - 4 PAINTED STEEL TROWELED IGNITION RESISTANT CEMENT PLASTER SYSTEM (SMOOTH FINISH) - 7/8" PLASTER O/ METAL LATH O/ 2 LAYERS GRADE 'D' OR BETTER BUILDING PAPER, 3 COAT SYSTEM WITH 26 ga. WEEP SCREED AT WALL BASE AT LEAST 4" ABOVE GRADE OR 2" ABOVE HARDSCAPE--SEE DETAILS [XX/XX]--DO NOT USE "DOUBLE-ROLL" INSTALLATION FOR BUILDING PAPER
  - 5 PAINTED REDWOOD TRIM
  - 6 WOOD FRAMED "FALSE" CHIMNEY WITH 8" TALL PRECAST STONE CORNICE CAP-- www.chimneyking.com--SEE ROOF PLAN FOR LOCATION--INTENT OF CHIMNEY IS TO SCREEN MULTIPLE PLUMBING/HVAC ROOF PENETRATIONS FROM VIEW
  - 7 ARCHITECTURAL LINEAR SERIES BRICK WASHED - MAHAGONY -- DIMENSIONS : 2-1/4" x RANDOM (UP TO 23-5/8") L x 3-3/4" D; COLOR: MAHAGONY-- www.artiscraft.com/?s=architectural+linear+series
  - 8 PAINTED REDWOOD TRIM--2x8 FASCIA WITH 4" SEAMLESS PAINTED SHEET METAL GUTTER--VERIFY GUTTER PROFILE WITH OWNER PRIOR TO FABRICATION--SEE ROOF PLAN FOR MORE INFO
  - 9 FACTORY-FINISHED ALUMINUM GARAGE DOOR--SEE DOOR SCHEDULE FOR MORE INFO
  - 10 WINDOW/DOOR OPENING--SEE WINDOW AND DOOR SCHEDULES FOR MORE INFO--DOORS AND WINDOWS TO HAVE 2" PAINT GRADE WOOD TRIM TYPICAL, U.N.O.
  - 11 ONE PIECE STRAIGHT FIBER GLASS COLUMN, 2'-0" X 2'-6" BASE , 7'-0" OVERALL HEIGHT
  - 12 EXTERIOR LIGHT, OWNER PROVIDE SPECS.
  - 13 PIN MOUNTED LED ILLUMINATED ADDRESS SIGNAGE, CLEARLY VISIBLE FROM ADJACENT STREET-- HEIGHT: 8"; STYLE: LUXELLO LED, MODERN NEUTRA HOUSE NUMBERS LED BACKLIT; FINISH: ANODIZED-- www.surrounding.com/products/luxello--PROVIDE PHOTOSENSOR CONNECTED LED BACKLIGHTING @ EACH NUMBER
  - 14 WOOD EXTERIOR DOOR: W15H GLASS PANEL-- https://www.jeld-wen.com/en-us/products/exterior-doors/iwp-wood/w15h-glass-panel

- NOTES:
1. SEE 2/A0.1a FOR PLUMBING GENERAL NOTES
  2. SEE 3/A0.1a FOR MECHANICAL GENERAL NOTES
  3. SEE 3/A0.1a FOR ELECTRICAL GENERAL NOTES
  4. SEE 4/A0.1a FOR PLAN AND INTERIOR GENERAL NOTES
  5. EXTERIOR HARDSCAPE AND EXTERIOR STAIRS NOT SHOWN FOR CLARITY--SEE A0.3a FOR 3D MODEL VIEWS

KEYNOTES	-	-
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- ELEVATION GRID LINE KEY
- A NATURAL GRADE FOR DETERMINING HEIGHT = 100.68'
  - B 1ST FLOOR FINISH FLOOR ELEVATION= 102.21'
  - C 1ST FLOOR CEILING HEIGHT TO PLATE (U.N.O.) = 111.54'
  - D 2ND FLOOR FINISH FLOOR ELEVATION(U.N.O.) = 112.79'
  - E KITCHEN/FAMILY ROOM CEILING HEIGHT = 115.38'
  - F 2ND FLOOR CEILING HEIGHT, I.O. PLATE (U.N.O.) = 121.38'
  - G PROPOSED BUILDING HEIGHT = 25'-7 1/2" 126.32'
  - H MAX BUILDING HEIGHT ALLOWED = 27'-0" 128.64'

ELEVATION GRID LINE KEY - -



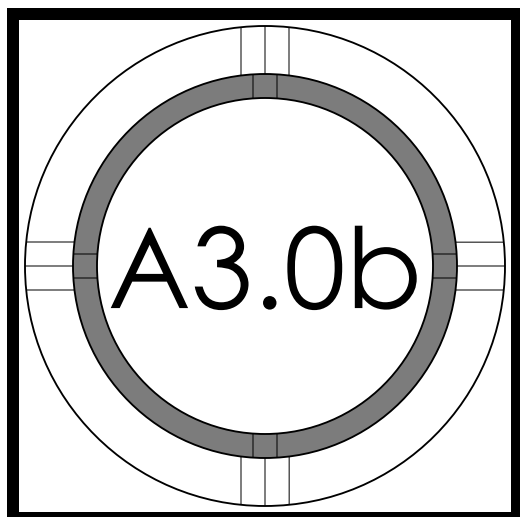
1000 S. Winchester Blvd  
San Jose, CA 95128  
P : (408) 998 - 0983

22025 Bertran-Angulo  
Residence  
NEW SINGLE FAMILY HOUSE  
Los Altos, 2226 Solana Drive  
Ana Bertran and Roberto Angulo



PROJECT NO.	REVISION	DATE	DESCRIPTION	DESIGNER	DATE	DESCRIPTION	DESIGNER
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		2023.07.10	DESIGN REVIEW PACKAGE RESUBMITAL	ES/WC/MBD			
		2023.08.11	DESIGN REVIEW PACKAGE RESUBMITAL #2	ES/WC/MBD			

EXTERIOR  
ELEVATIONS







1 2 3 4 6 feet FRONT-REAR DAYLIGHT PLANE ELEVATION 3/16" 1



1 2 3 4 6 feet SIDE YARD DAYLIGHT PLANE ELEVATION 3/16" 2

# = NUMBER OF KEYNOTE BELOW  
1 DAYLIGHT PLANE AS DEFINED BY JURISDICTION

ELEVATION GRID LINE KEY  
A NATURAL GRADE FOR DETERMINING HEIGHT = 100.68'  
B 1ST FLOOR FINISH FLOOR ELEVATION = 102.21'  
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KEYNOTES - -

ELEVATION GRID LINE KEY - -



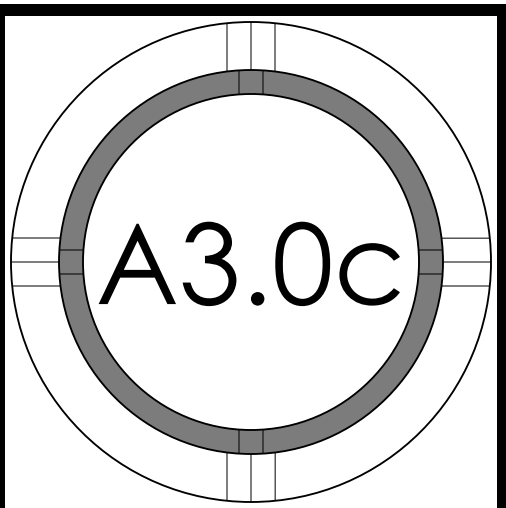
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PROJECT NO.	REVISION	DATE	DESCRIPTION	DESIGN REVIEW PACKAGE	DESIGN REVIEW PACKAGE RESUBMITTAL	DESIGN REVIEW PACKAGE RESUBMITTAL #2	DESIGN REVIEW PACKAGE RESUBMITTAL #3	DESIGN REVIEW PACKAGE RESUBMITTAL #4	DESIGN REVIEW PACKAGE RESUBMITTAL #5	DESIGN REVIEW PACKAGE RESUBMITTAL #6	DESIGN REVIEW PACKAGE RESUBMITTAL #7	DESIGN REVIEW PACKAGE RESUBMITTAL #8	DESIGN REVIEW PACKAGE RESUBMITTAL #9	DESIGN REVIEW PACKAGE RESUBMITTAL #10
		2023.03.31	DESIGN REVIEW PACKAGE	ES/WC	ES/WC/MBD	ES/WC/MBD								
		2023.07.10	DESIGN REVIEW PACKAGE RESUBMITTAL	ES/WC	ES/WC/MBD	ES/WC/MBD								
		2023.08.11	DESIGN REVIEW PACKAGE RESUBMITTAL #2	ES/WC	ES/WC/MBD	ES/WC/MBD								

DAYLIGHT  
PLANE  
ELEVATIONS







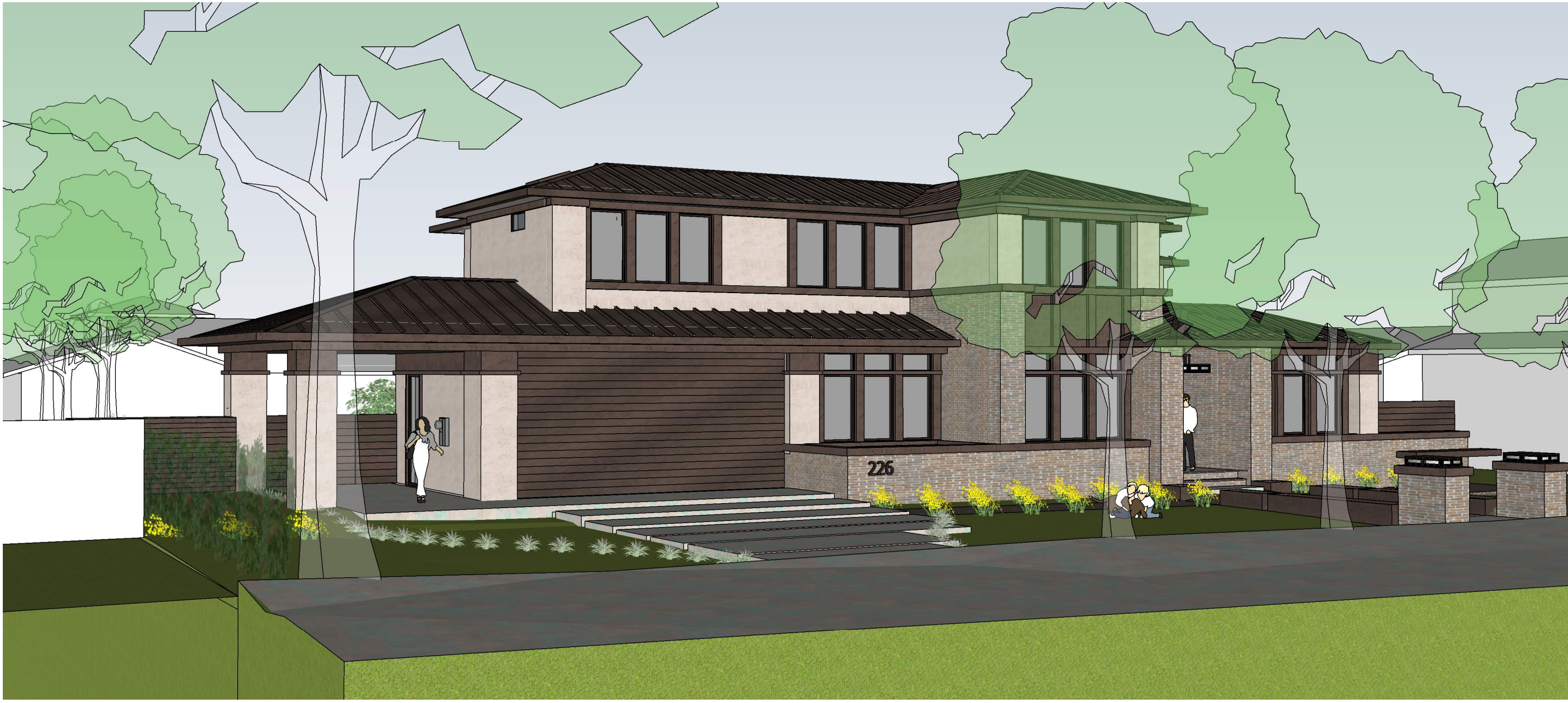
PERSPECTIVE EXTERIOR REAR RIGHT - 4



PERSPECTIVE EXTERIOR FRONT RIGHT - 1



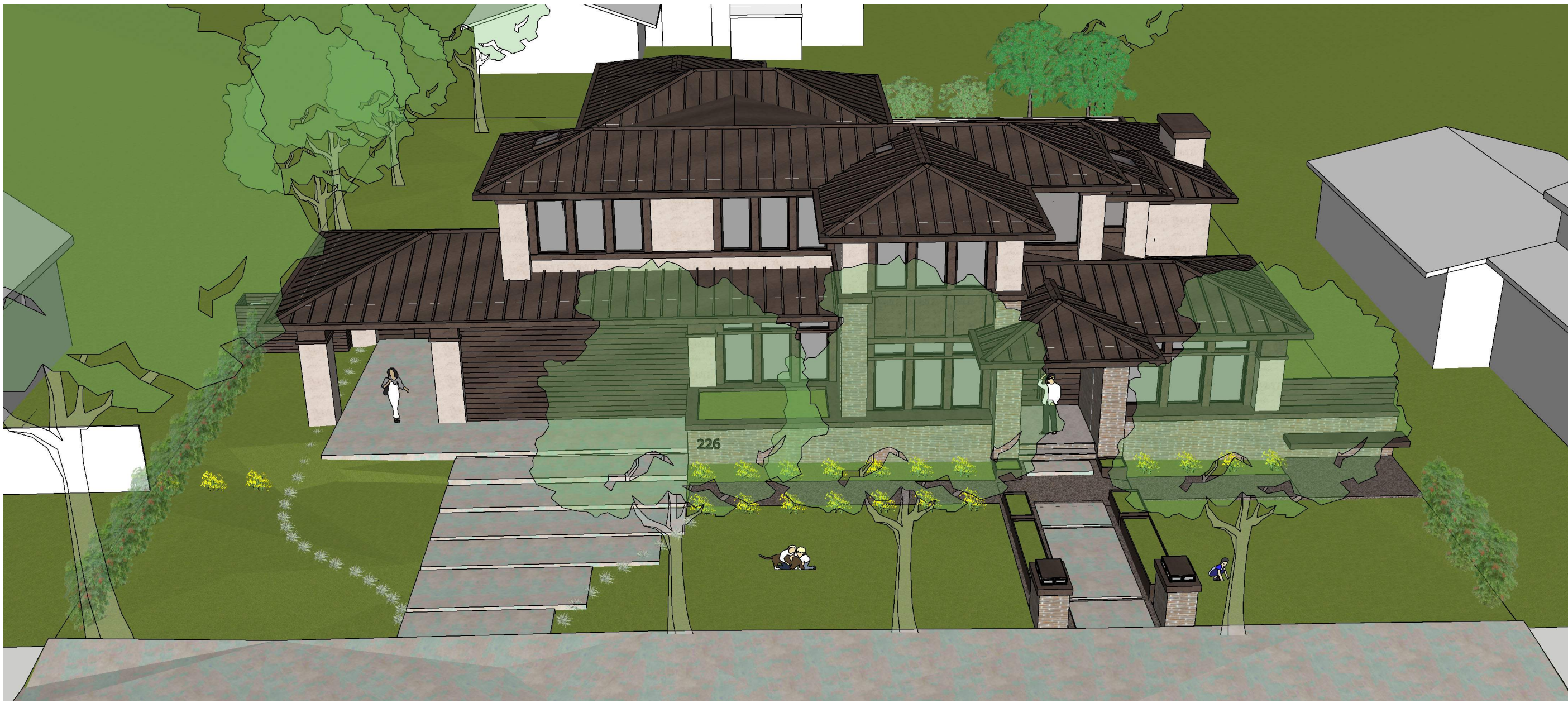
PERSPECTIVE EXTERIOR REAR LEFT - 5



PERSPECTIVE EXTERIOR FRONT LEFT - 2



PERSPECTIVE EXTERIOR REAR HIGH - 6



PERSPECTIVE EXTERIOR FRONT HIGH - 3



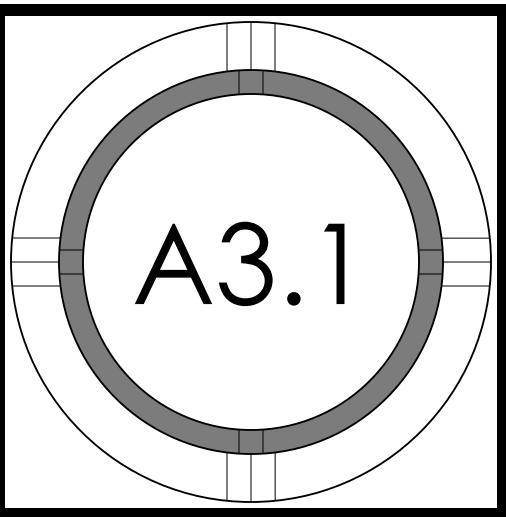
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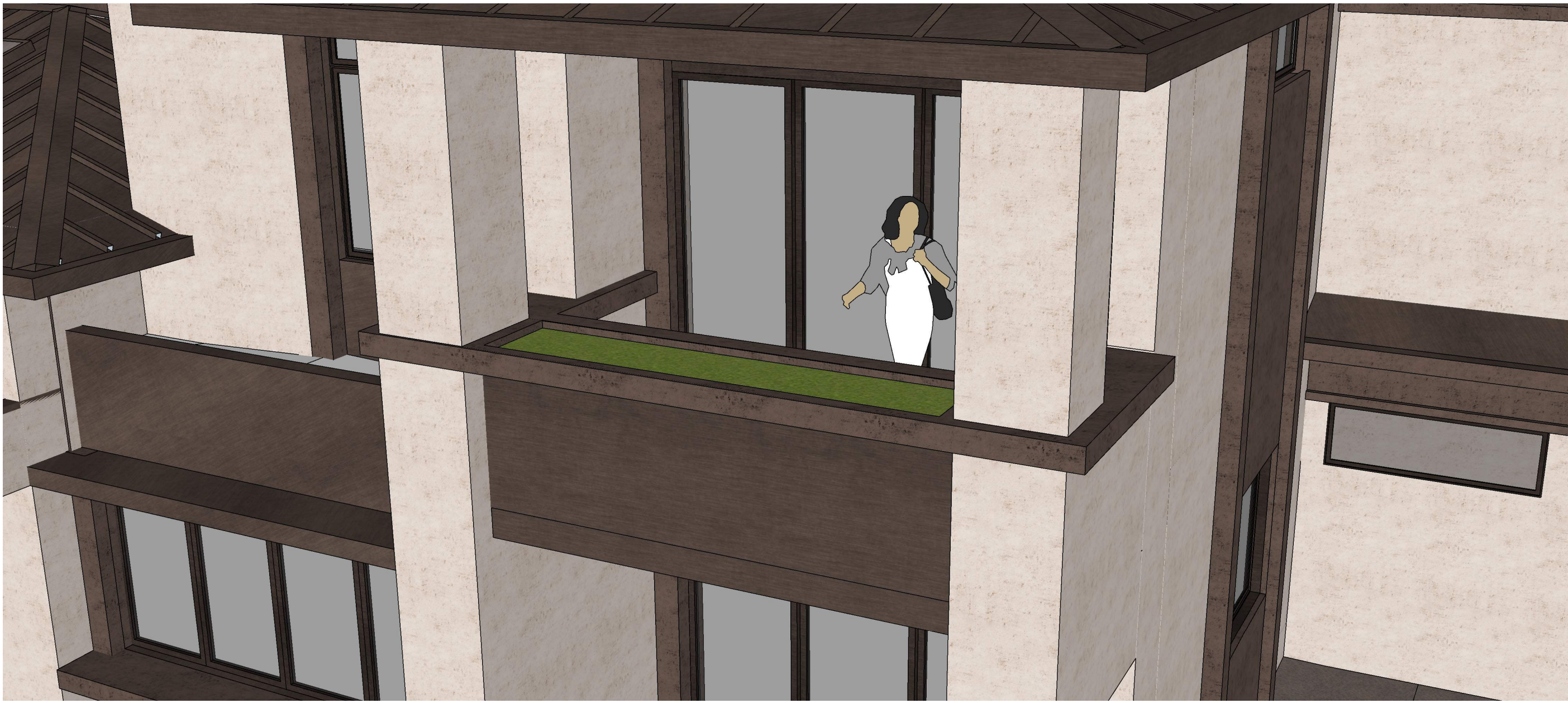
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		2023.08.11	DESIGN REVIEW PACKAGE RESUBMITAL #2	ES/WC/MBD	ES/WC/MBD

EXTERIOR  
PERSPECTIVES



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PERSPECTIVE EXTERIOR REAR BALCONY - 4



PERSPECTIVE EXTERIOR FRONT ENTRY - 1



PERSPECTIVE EXTERIOR LEFT - 5



PERSPECTIVE EXTERIOR REAR PATIO - 2



PERSPECTIVE EXTERIOR FRONT TOWER - 6



PERSPECTIVE EXTERIOR REAR - 3



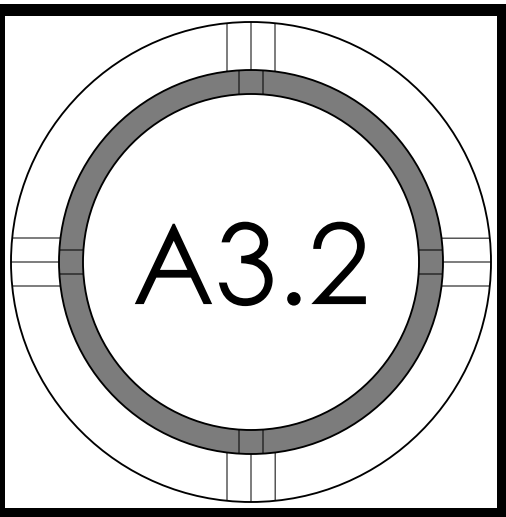
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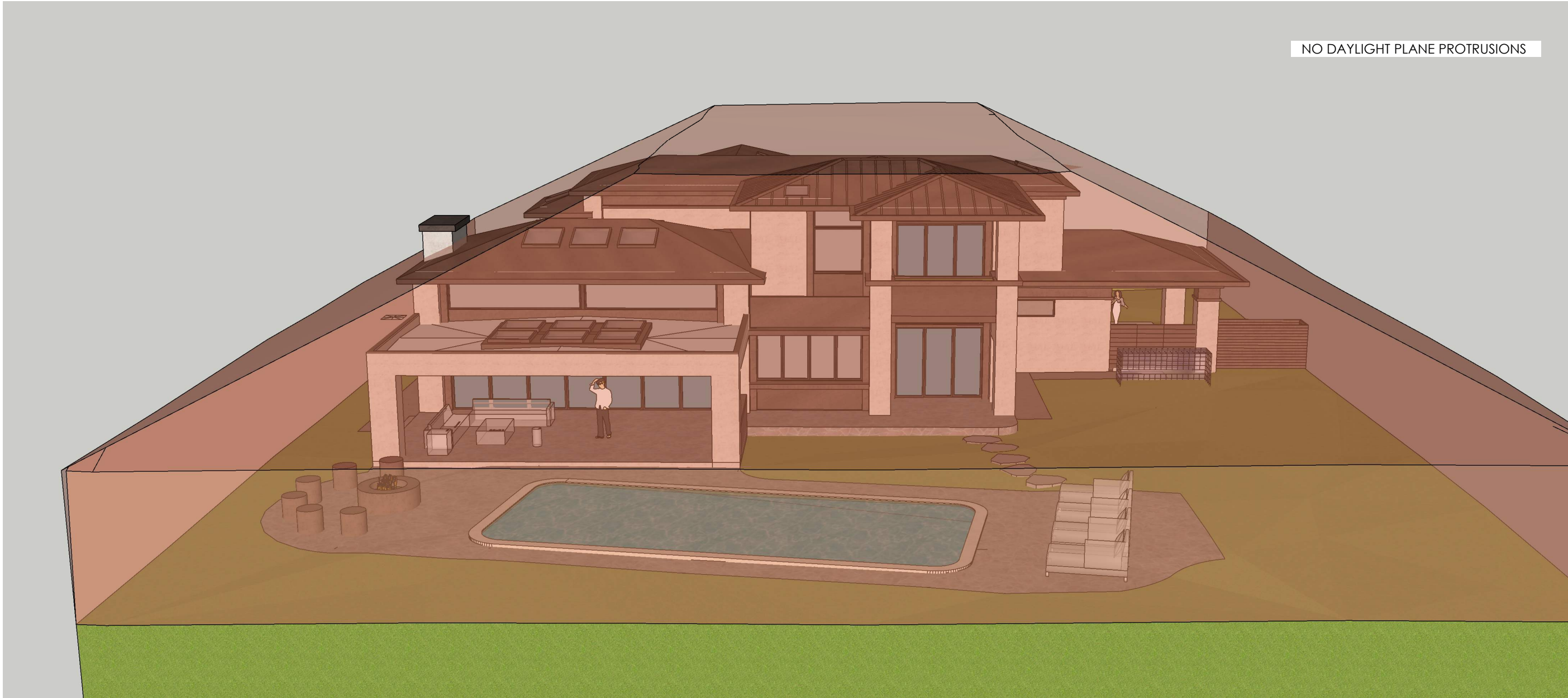
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		2023.07.10	DESIGN REVIEW PACKAGE RESUBMITAL				
		2023.08.11	DESIGN REVIEW PACKAGE RESUBMITAL #2				

EXTERIOR  
PERSPECTIVES

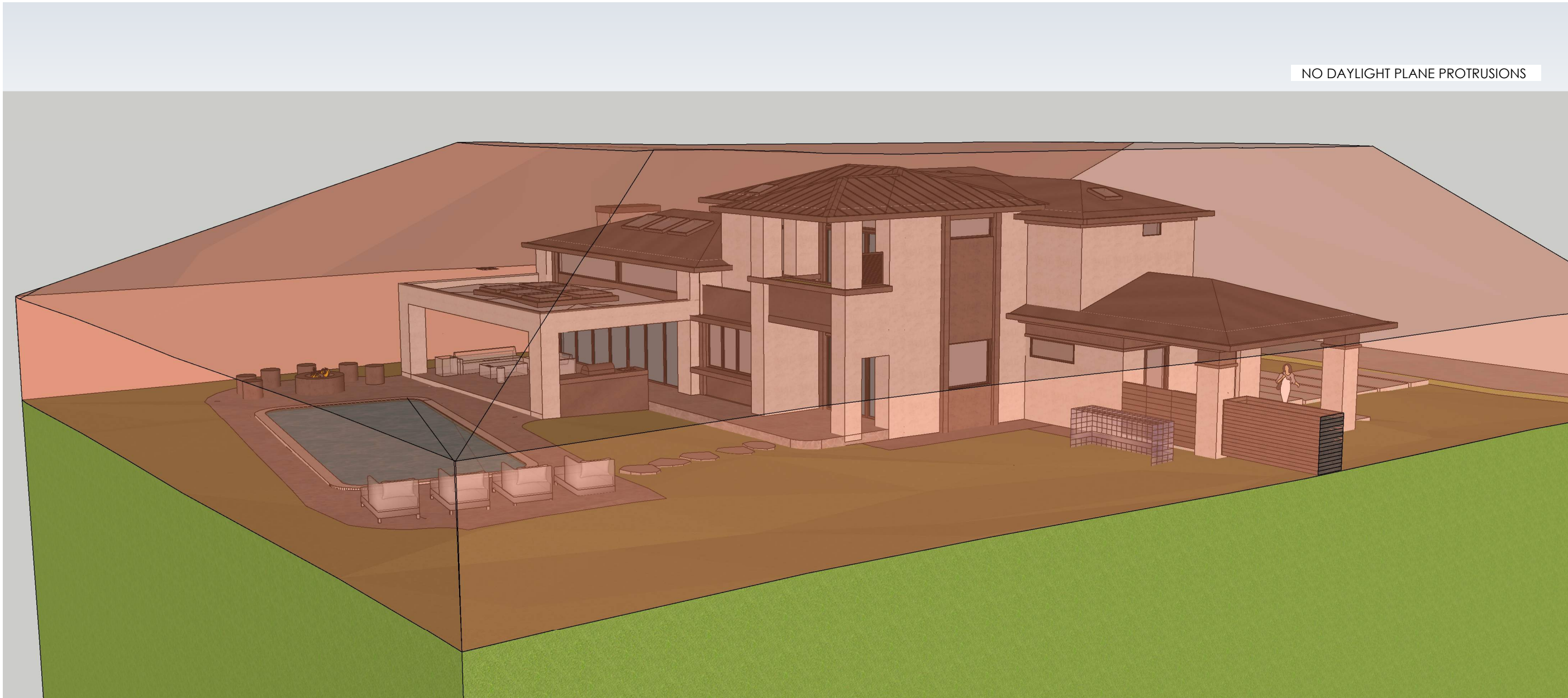


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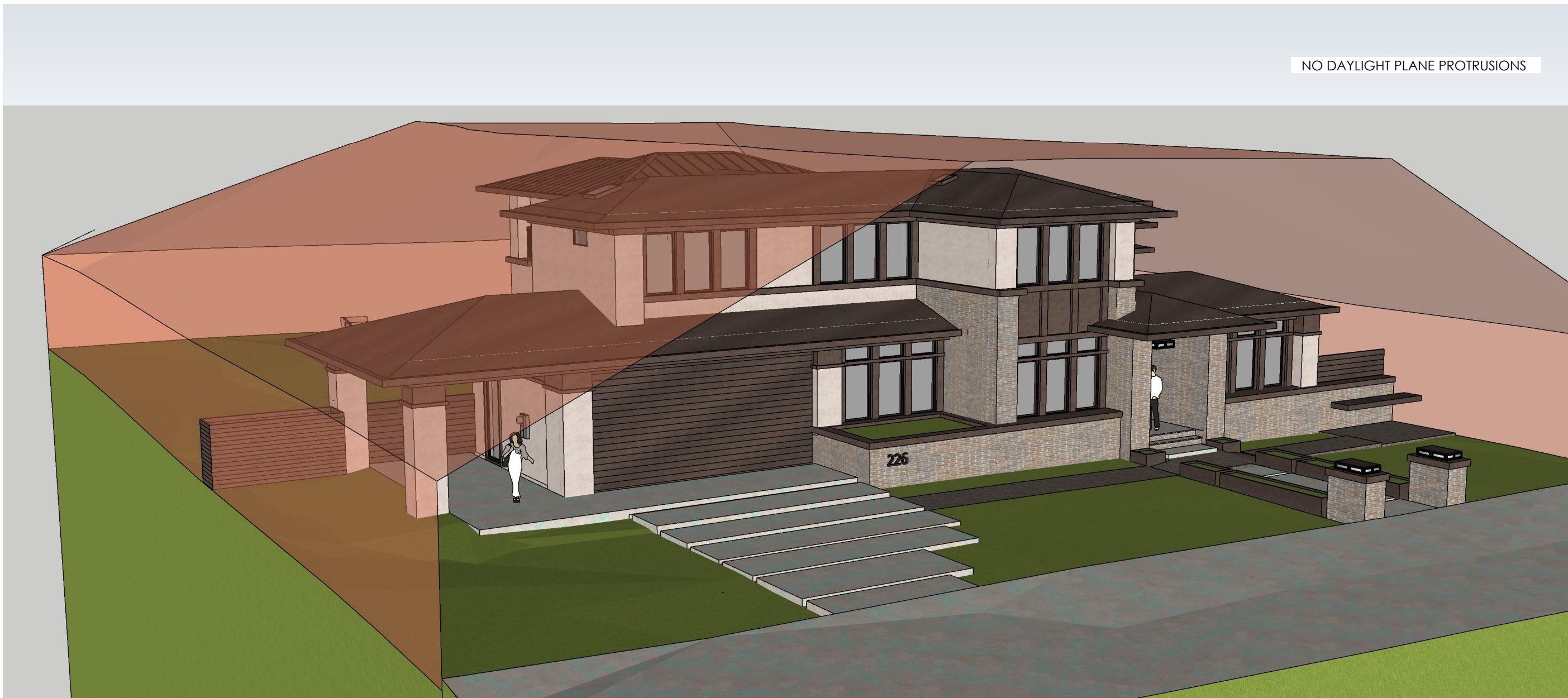




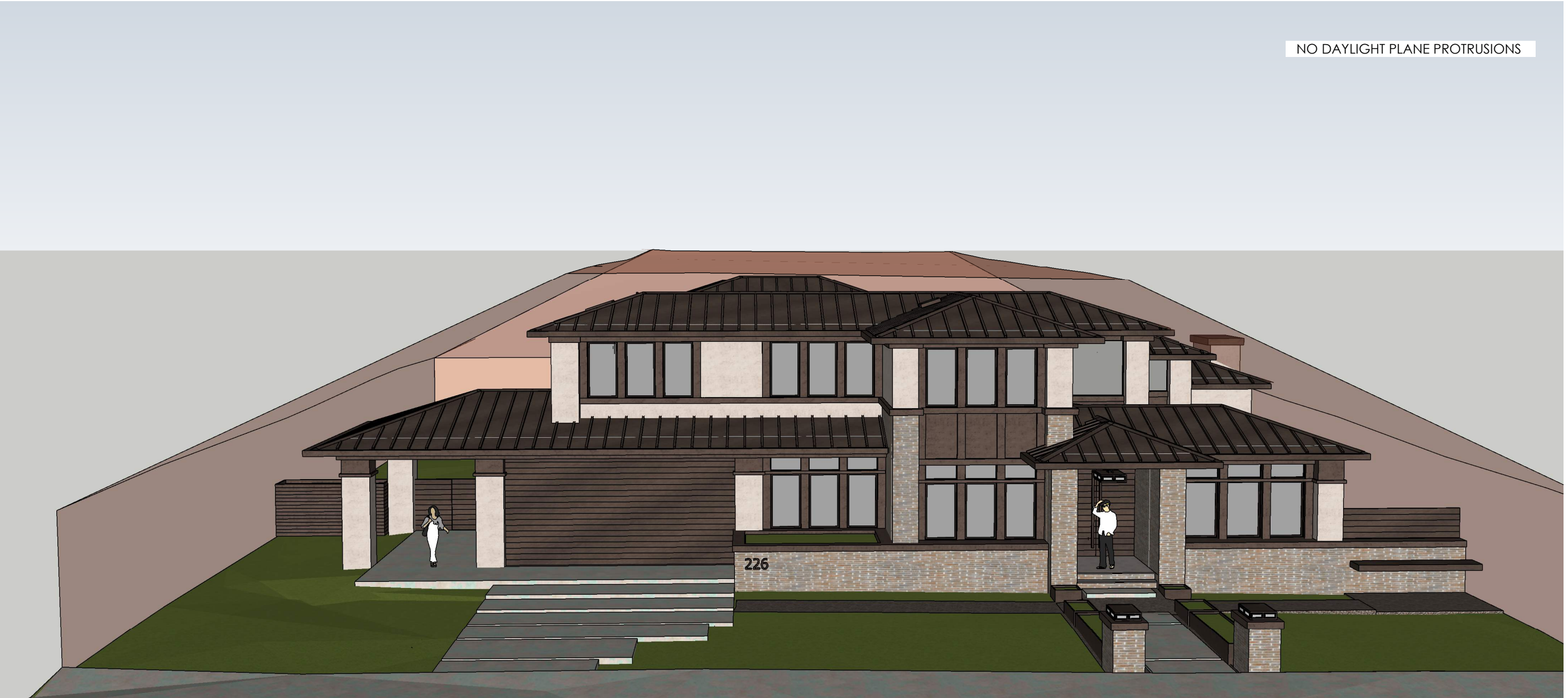
DAYLIGHT PLANE - 4



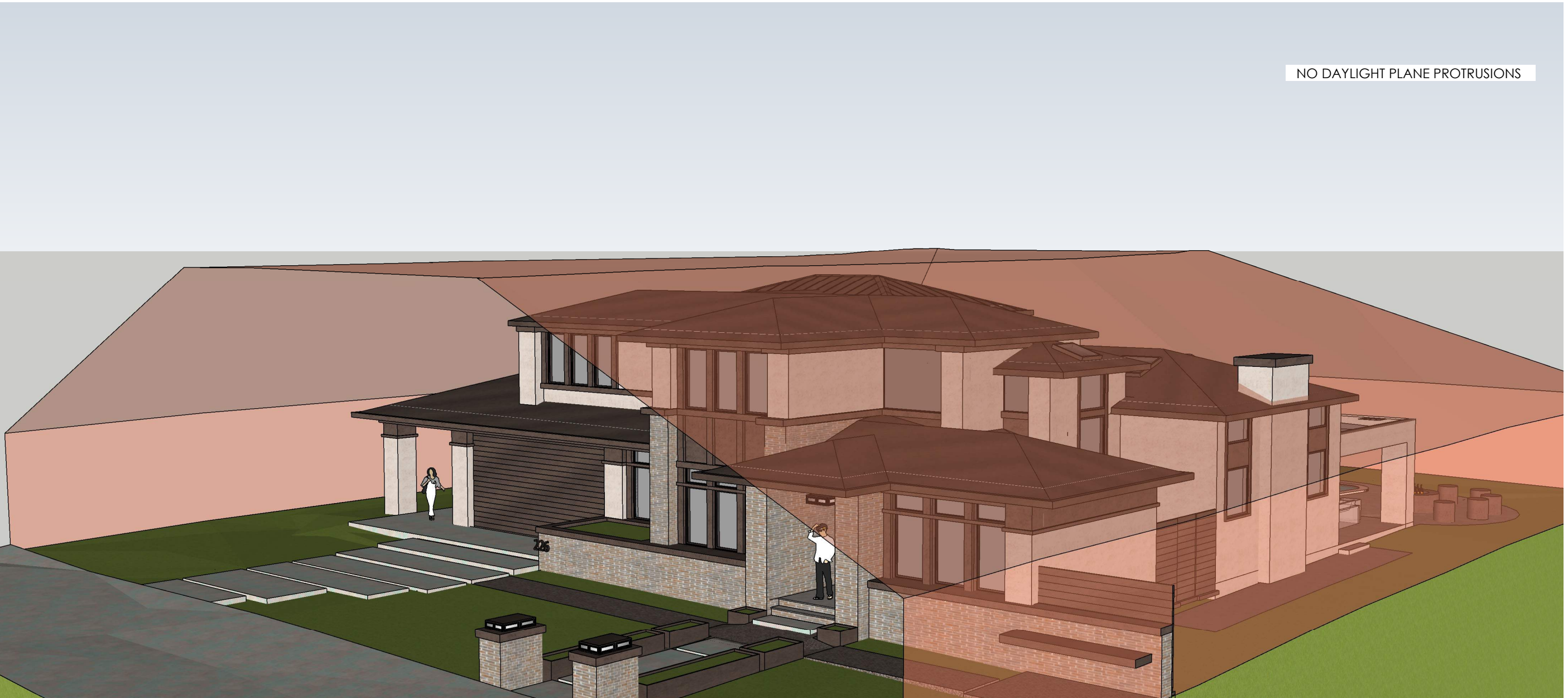
DAYLIGHT PLANE - 5



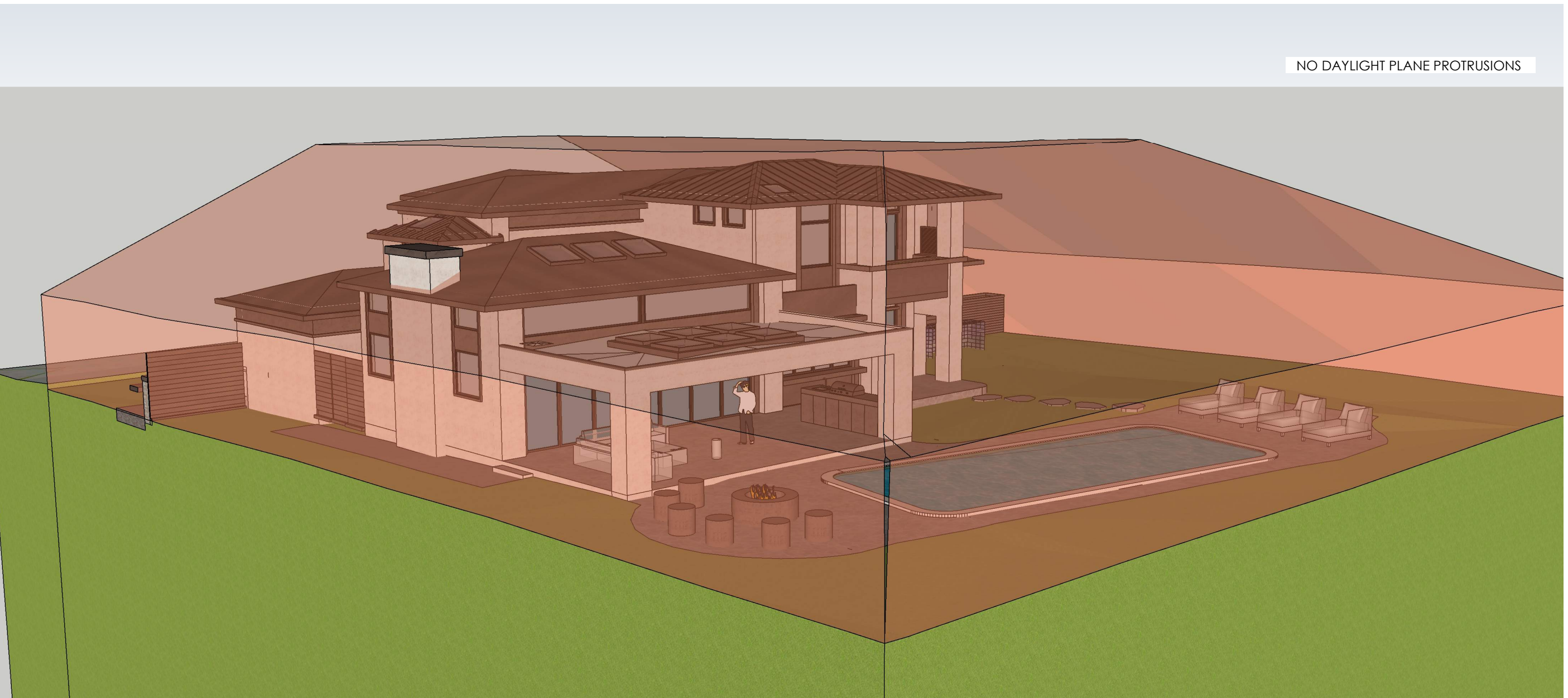
DAYLIGHT PLANE - 6



DAYLIGHT PLANE - 1



DAYLIGHT PLANE - 2



DAYLIGHT PLANE - 3



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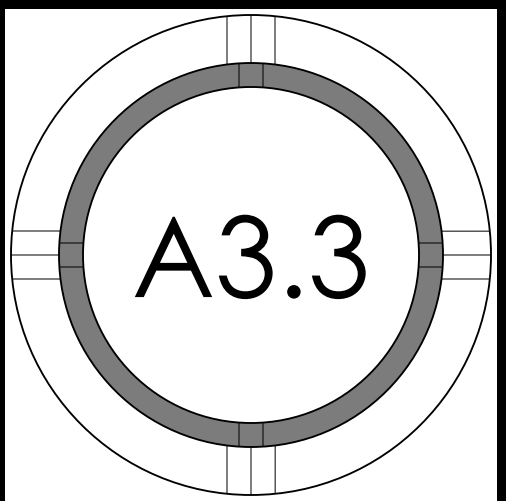
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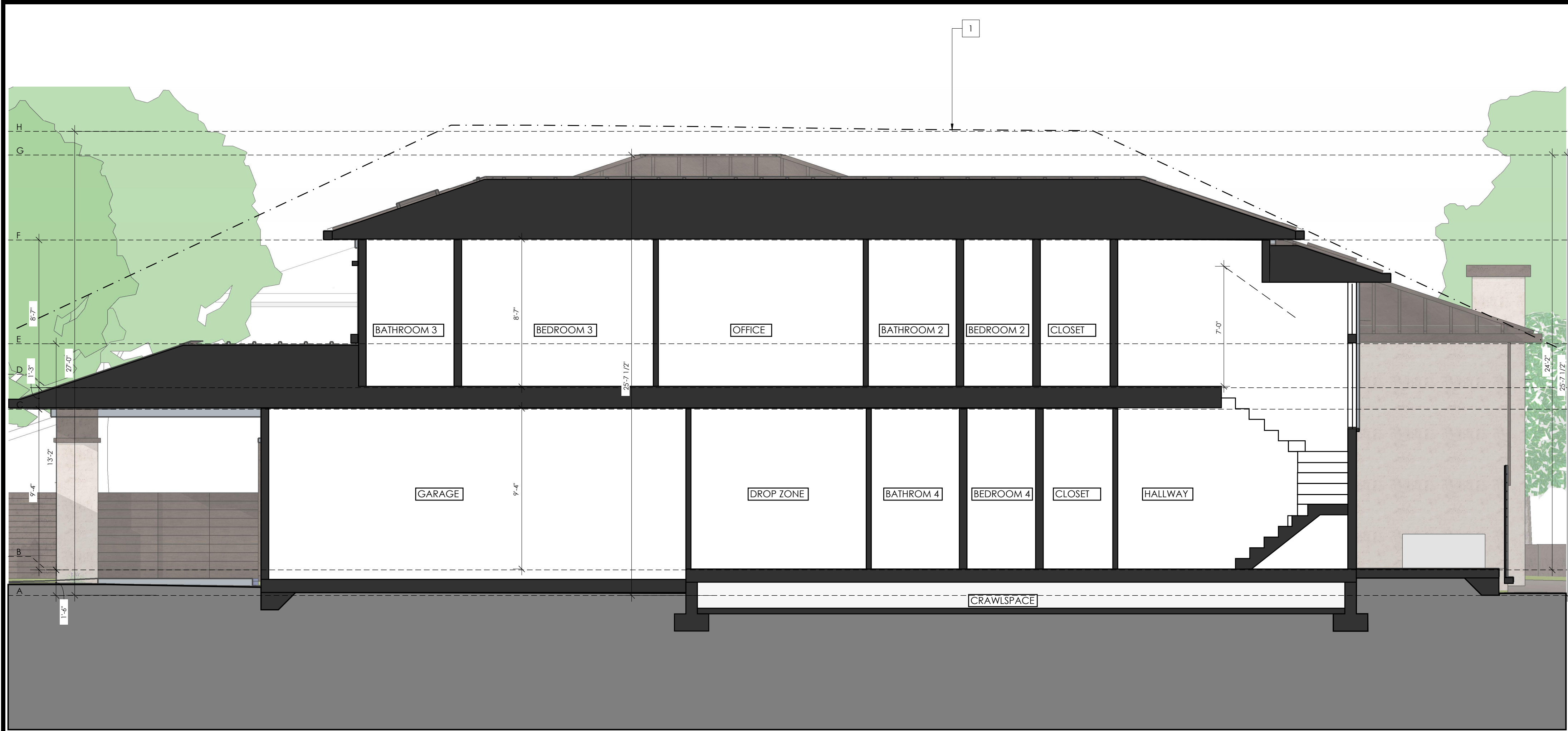


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		2023.07.10	DESIGN REVIEW PACKAGE RESUBMITTAL	ES/WC/MBD	ES/WC/MBD	
		2023.08.11	DESIGN REVIEW PACKAGE RESUBMITTAL #2	ES/WC/MBD	ES/WC/MBD	

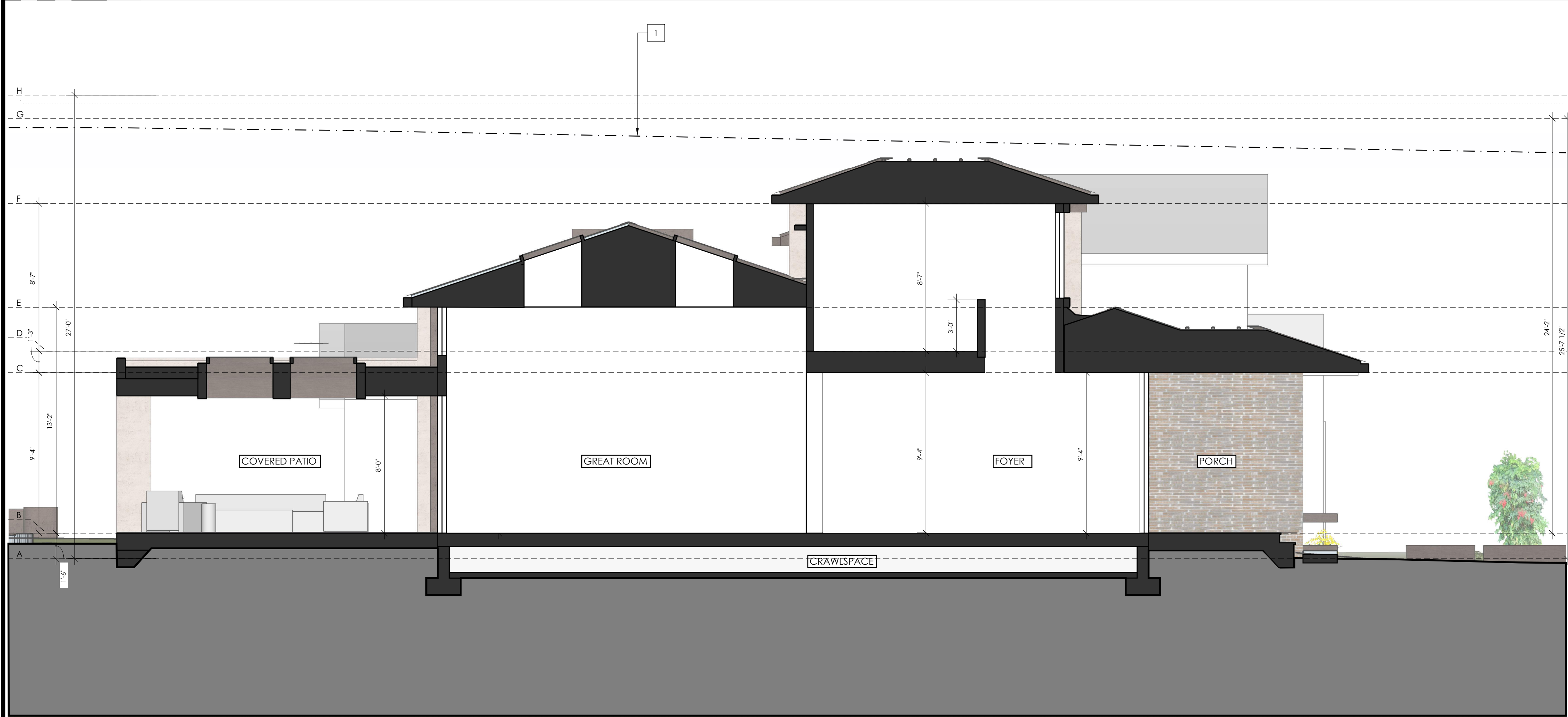
DAYLIGHT PLANE







SECTION 1 1/4" 1



SECTION 2 1/4" 2

# = NUMBER OF KEYNOTE BELOW  
1 DAYLIGHT PLANE AS DEFINED BY JURISDICTION

NOTES:  
1. SEE 2/A0.1a FOR PLUMBING GENERAL NOTES  
2. SEE 3/A0.1a FOR MECHANICAL GENERAL NOTES  
3. SEE 3/A0.1a FOR ELECTRICAL GENERAL NOTES  
4. SEE 4/A0.1a FOR PLAN AND INTERIOR GENERAL NOTES  
5. SEE BID INSTRUCTIONS FOR INSULATION VALUES. INSULATION TO BE NOT LESS THAN AS INDICATED IN T24 REPORT

KEYNOTES	-	-
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ELEVATION GRID LINE KEY	-	-
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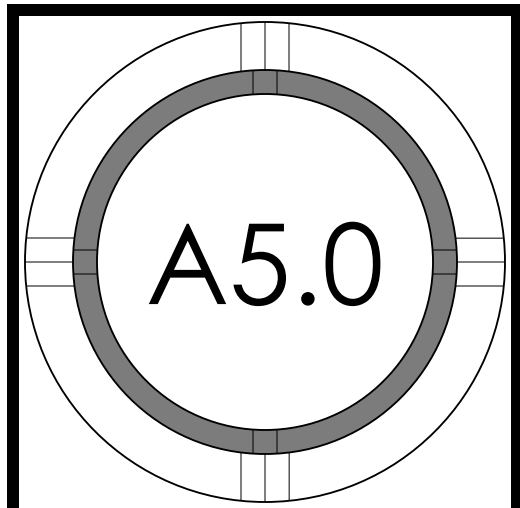
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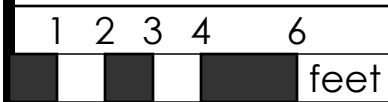
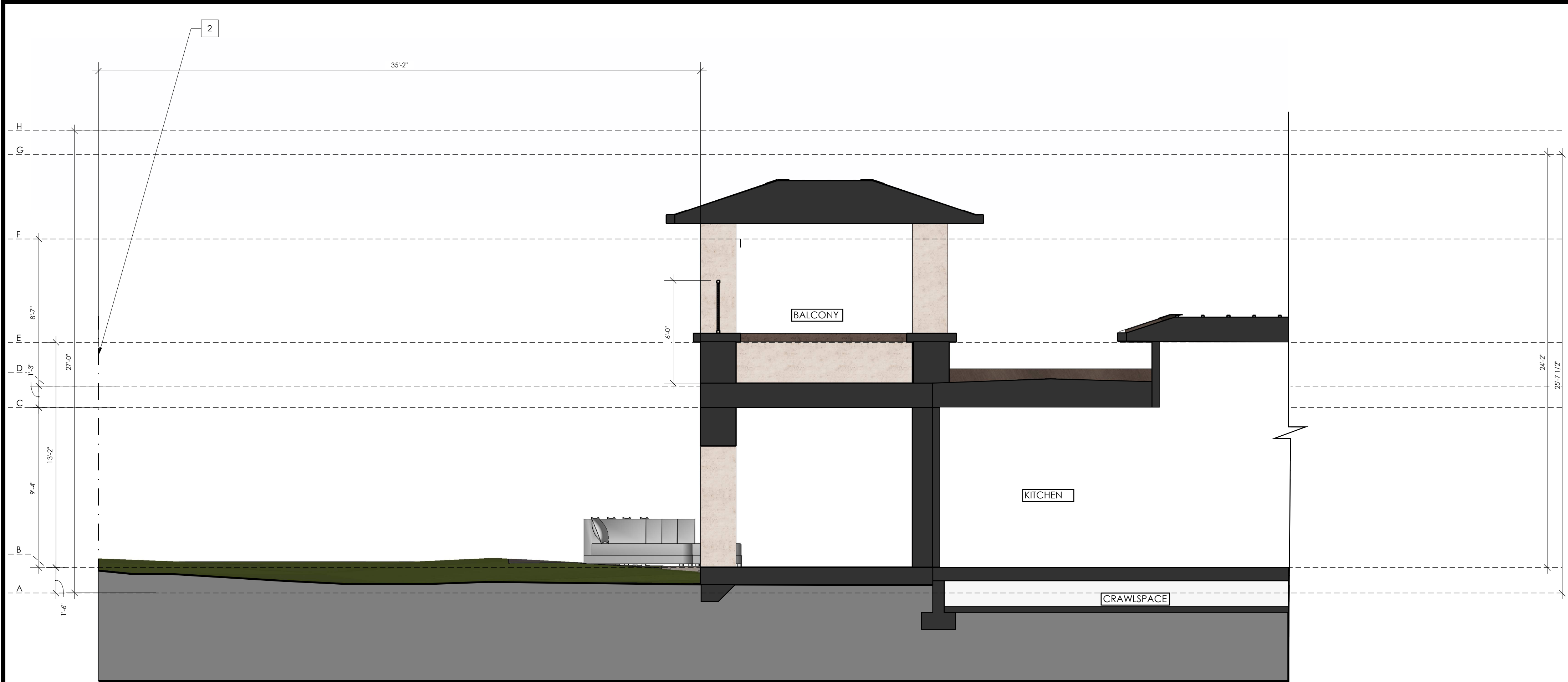


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		2023.08.11	DESIGN REVIEW PACKAGE RESUBMITAL #2	ES/WC/MBD	

SECTIONS







SECTION THROUGH THE BALCONY 3 1/4" 1

# = NUMBER OF KEYNOTE BELOW  
1 DAYLIGHT PLANE AS DEFINED BY JURISDICTION  
2 PROPERTY LINE

NOTES:  
1. SEE 2/A0.1a FOR PLUMBING GENERAL NOTES  
2. SEE 3/A0.1a FOR MECHANICAL GENERAL NOTES  
3. SEE 3/A0.1a FOR ELECTRICAL GENERAL NOTES  
4. SEE 4/A0.1a FOR PLAN AND INTERIOR GENERAL NOTES  
5. SEE BID INSTRUCTIONS FOR INSULATION VALUES. INSULATION TO BE NOT LESS THAN AS INDICATED IN T24 REPORT

KEYNOTES		-	-
SEE EXTERIOR ELEVATIONS FOR ELEVATION GRID LINE KEY			
ELEVATION GRID LINE KEY		-	-



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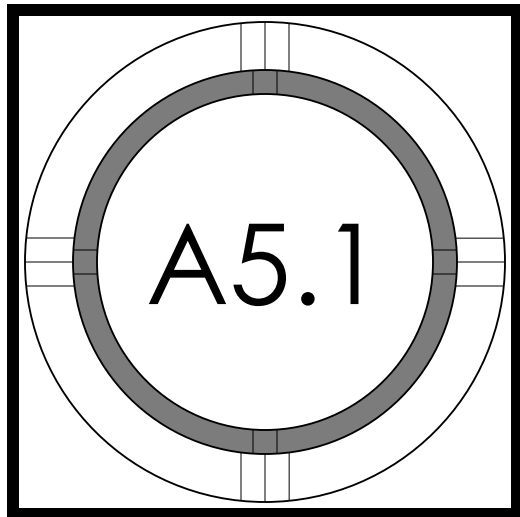
Los Altos, 226 Solana Drive

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MATCH/CAD TITLE BLOCK			
PROJECT NO.	DATE	DESCRIPTION	DRAWN BY
REVISION	2023.03.31	DESIGN REVIEW PACKAGE	ES/WC
	2023.07.10	DESIGN REVIEW PACKAGE RESUBMITAL	ES/WC/MBD
	2023.08.11	DESIGN REVIEW PACKAGE RESUBMITAL#2	ES/WC/MBD

SECTIONS









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(9)



Liquidambar tree #26 is in poor condition. The tree is located up against existing hardscapes and large tree roots have been cut in the past to avoid damage to the landscape. The cut roots have decayed back to the trunk of the tree. Decay was observed at the root crown. This tree is hazardous to the property due to root rot disease at the root crown. Root rot disease will lead to the failure of the tree. Tree removal is recommended as there are no mitigation measures that will reduce risk of tree failure. The tree meets the following criteria for protected tree removal in the city of Los Altos: *The condition of the tree with respect to disease, imminent danger of falling, proximity to existing or proposed structures and interference with utility services.*

Showing decay at root crown where up against hardscapes from past root cutting

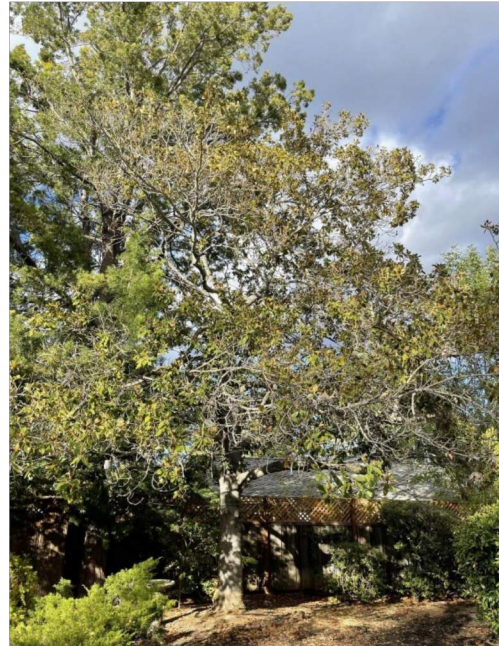


Showing tree #30

African Fern Pine tree #30 is in poor condition. The vigor of the tree is fair but for structure of the tree is poor. The tree is codominant at 12' with a poor aspect ratio. Included bark at the codominant union was observed. Included bark is a type of branch defect that develops when two codominant leaders (trunks) grow closely together in a V-shape. As both the leaders increase in size, the bark that is between them will start to work as a wedge between the growing leaders. When this occurs, the codominant leaders lack the reinforcing ridge required for the codominant leaders to be supported property. These stems can break or tear causing severe cambium damage and making them prone to failure. It increases susceptibility of failure during storms and heavy winds. Tree removal is recommended as the tree is a hazard to the property. No mitigation measures are expected to help improve the risk of leader failure due to included bark. The tree meets the following criteria for protected tree removal in the city of Los Altos: *The condition of the tree with respect to disease, imminent danger of falling, proximity to existing or proposed structures and interference with utility services.*

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(10)



Magnolia tree #31 is in poor condition and has a poor suitability for preservation rating. The tree has poor vigor and poor structure. Magnolia trees are not a drought tolerant species and the past drought and no supplemental irrigation has severely stressed the tree. The tree is not expected to recover from the prolonged drought stress. The tree is nearly dead and recommended to be removed as it is a hazard to the property. The tree meets the following criteria for protected tree removal in the city of Los Altos: *The condition of the tree with respect to disease, imminent danger of falling, proximity to existing or proposed structures and interference with utility services.*

Showing Magnolia #31



Showing Liquidambar trees #5-7

Protected trees to be retained:

Liquidambar trees #5-7 are located within the public right of way and are protected trees. Liquidambar tree #5 was given a poor condition rating due to being topped in the past and less vigorous than Liquidambar trees #6 and #7. This tree is recommended to be inspected in spring of 2023 to look at shoot elongation to get a better idea on the health of the tree as the tree was inspected during the fall when leaves were naturally dropping as the species is deciduous. Poor union formation with poor aspect ratios were observed in the canopies of the Liquidambar trees. Crown reduction pruning and pruning for future tree structure is recommended to reduce risk of limb failure. The trees are recommended to be deeply irrigated every other week during the dry season so that the top foot of soil is saturated starting at 5' from the trees and radiating out to 15' from the trees.

Neighboring Queen Palm tree #8 is in excellent condition. The tree is a street tree as it is in the public right of way. Pittosporum tree #9 is also located in the public right of way and is in fair condition. Every other week during the dry season the pittosporum tree #9 is recommended to be irrigated with 20 gallons of clean water at the edge of the tree's dripline.

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(11)



Neighboring Coast Live Oak tree #27 is in good condition. A limited visual inspection was conducted, and the root crown was not visible due to the tree being on the neighboring property.

Showing neighboring oak tree #27



Neighboring Black Acacia tree #29 is in poor condition. The tree is in decline and has been topped for utility line clearance in the past. This species is highly invasive and generally recommended for removal as it can easily spread throughout a property.

Showing topped Black Acacia tree #29

Non-protected trees:

The remaining trees not discussed above are small non-protected trees. Non-protected trees with a condition rating of either a D or an F are recommended to be removed or mitigated where possible as they are in poor condition. Trees in poor condition are not well suited for preservation within the landscape.

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(12)

Plan Review:

A new driveway is proposed and shown closer to Liquidambar tree #5 than the existing driveway. Because Monterey Pine tree #1 is proposed to be removed, if possible, the proposed driveway should be moved to be outside the dripline of Liquidambar tree #5 to reduce potential impacts to the tree. The driveway excavation when within 13.5' from Liquidambar tree #5 is recommended to be done by hand under the direct supervision of the Project Arborist. Acceptable hand tools include an air spade, rotary hammer with clay spade attachment, and shovels. All encountered roots during excavation are recommended to be retained. Roots encountered within the base rock section can be retained with base rock material being packed around tree roots to avoid the need to cut roots with the driveway built on top of the tree's roots. Encountered roots to be exposed during this process are recommended to be covered in layers of wetted down burlap to help avoid root desiccation. The contractor is recommended to wet down the burlap daily while still exposed. The tree is recommended to be deep water fertilized as a mitigation measure. Impacts are expected to be minor.

A new pathway is shown underneath the dripline of Liquidambar tree #7. Excavation for the pathway is recommended to stay at a maximum of 6" below grade for rough grading purposes when within the dripline of the tree. Impacts are expected to be minor. The tree is recommended to be deep water fertilized as a mitigation measure.

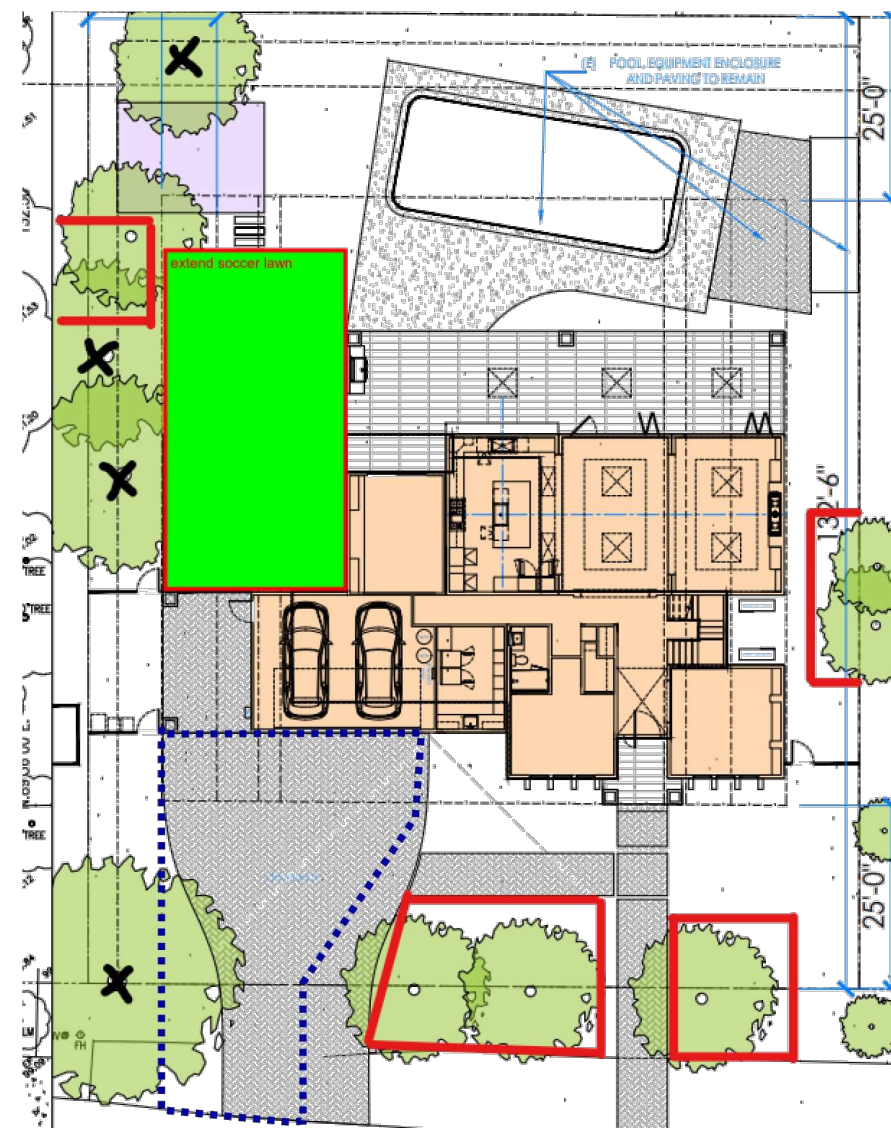
Tree Protection Plan:

Tree Protection Zones

Tree protection zones should be installed and maintained throughout the entire length of the project. Prior to the commencement of any Development Project, a chain link fence shall be installed at the drip line (canopy spread) of any protected tree which will or will not be affected by the construction. Non-protected trees to be retained shall also be protected in the same way. The drip line shall not be altered in any way to increase the encroachment of the construction. When work is to take place underneath a tree's dripline, fencing must be placed as close as possible to the tree proposed work. If an area of access is needed underneath a tree canopy, the area shall be protected by a landscape barrier. Fencing for the protection zones should be 6-foot-tall metal chain link type supported my 2-inch metal poles pounded into the ground by no less than 2 feet. The support poles should be spaced no more than 10 feet apart on center. Signs should be placed on fencing signifying "Tree Protection Zone - Keep Out". No materials or equipment should be stored or cleaned inside the tree protection zones. Excavation, grading, soil deposits, drainage and leveling is prohibited within the tree protection zones without the project arborist consent. No wires, signs or ropes shall be attached to the protected trees on site. Utility services and irrigation lines shall all be place outside of the tree protection zones when possible. When access is needed and tree protection fencing restricts access a landscape barrier shall be installed to protect the non-protected root zone.

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(13)



Red lines showing the recommended tree protection zones

Landscape Barrier zone

If for any reason a smaller tree protection zone is needed for access, a landscape buffer consisting of wood chips spread to a depth of six inches with plywood or steel plates placed on top will be placed where tree protection fencing is required. The landscape buffer will help to reduce compaction to the unprotected root zone.

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(14)

Inspections

The site arborist will need to verify that tree protection fencing has been installed before the start of construction. The site arborist must inspect the site anytime excavation work is to take place underneath a protected trees dripline. It is the contractor's responsibility to contact the site arborist if excavation work is to take place underneath the protected trees on site. Kietly Arborist Services can be reached at davidkietlyarborist@gmail.com or by phone at (650) 532-4418 (David).

Root Cutting and Grading

If for any reason roots are to be cut, they shall be monitored and documented. Large roots (over 2" diameter) or large masses of roots to be cut must be inspected by the site arborist. The site arborist, at this time, may recommend irrigation or fertilization of the root zone. All roots needing to be cut should be cut clean with a saw or lopper. Roots to be left exposed for a period of time should be covered with layers of burlap and kept moist. The site arborist must first give consent if roots over 2 inches in diameter are to be cut.

Trenching and Excavation

Trenching for foundation, irrigation, drainage, electrical or any other reason shall be done by hand when inside the dripline of a protected tree. Hand digging and the careful placement of pipes below or besides protected roots will significantly reduce root loss, thus reducing trauma to the tree. All trenches shall be backfilled with native materials and compacted to near its original level, as soon as possible and if possible. Trenches to be left open for a period of time, will require the covering of all exposed roots with burlap and be kept moist. The trenches will also need to be covered with plywood to help protect the exposed roots.

Irrigation

Normal irrigation shall be maintained on this site at all times for the imported trees. All of the trees except the neighboring oak tree will require irrigation. On a construction site, I recommend irrigation during winter months, 1 time per month for the imported trees. Seasonal rainfall may reduce the need for additional irrigation. During the warm season, April – November, my recommendation is to use heavy irrigation, 2 times per month for the imported trees. This type of irrigation should be started prior to any excavation. The irrigation will improve the vigor and water content of the trees. The on-site arborist may make adjustments to the irrigation recommendations as needed. The foliage of the trees may need cleaning if dust levels are extreme. Removing dust from the foliage will help to reduce mite and insect infestation.

The information included in this report is believed to be true and based on sound arboricultural principles and practices.

Sincerely, *David Beckham*  
David Beckham Certified Arborist WE#10724A TRAQ Qualified

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(15)

Kietly Arborist Services

P.O. Box 6187  
San Mateo, CA 94403  
650-532-4418

ASSUMPTIONS AND LIMITING CONDITIONS

- Any legal description provided to the consultant/appraiser is assumed to be correct. Any titles and ownerships to any property are assumed to be good and marketable. No responsibility is assumed for matters legal in character. Any and all property is appraised or evaluated as though free and clear, under responsible ownership and competent management.
- It is assumed that any property is not in violation of any applicable codes, ordinances, statutes, or other government regulations.
- Care has been taken to obtain all information from reliable sources. All data has been verified insofar as possible; however the consultant/appraiser can neither guarantee nor be responsible for the accuracy of information provided by others.
- The consultant/appraiser shall not be required to give testimony or to attend court by reason of this report unless subsequent contractual arrangements are made, including payment of an additional fee for such services as described in the fee schedule and contract of engagement.
- Loss, alteration, or reproduction of any part of this report invalidates the entire report.
- Possession of this report or a copy thereof does not imply right of publication or use for any purpose by any other than the person to whom it is addressed, without the prior expressed written or verbal consent of the consultant/appraiser.
- Neither all nor any part of this report, nor any copy thereof, shall be conveyed by anyone, including the client, to the public through advertising, public relations, news, sales or other media, without the prior expressed written or verbal consent of the consultant/appraiser particularly as to value conclusions, identity of the consultant/appraiser, or any reference to any professional society or initialed designation conferred upon the consultant/appraiser as stated in his qualification.
- This report and the values expressed herein represent the opinion of the consult/appraiser, and the consult/appraiser's fee is in no way contingent upon the reporting of a specified value, a stipulated result, the occurrence of a subsequent event, nor upon any finding to be reported.
- Sketches, diagrams, graphs, and photographs in this report, being intended as visual aids, are not necessarily to scale and should not be construed as engineering or architectural reports or surveys.

226 Solana

(16)

10. Unless expressed otherwise: 1) information in this report covers only those items that were examined and reflects the condition of those items at the time of inspection; and 2) the inspection is limited to visual examination of accessible items without dissection, excavation, probing, or coring. There is no warranty or guarantee, expressed or implied, that problems or deficiencies of the plants or property in question may not arise in future.

ARBORIST DISCLOSURE STATEMENT

Arborists are tree specialists who use their education, knowledge, training and experience to examine trees, recommend measures to enhance the beauty and health of trees, and attempt to reduce the risk of living near trees. Clients may choose to accept or disregard the recommendations of the arborist, or seek additional advice.

Arborists cannot detect every condition that could possibly lead to the structural failure of a tree. Trees are living organisms that fail in ways we do not fully understand. Conditions are often hidden within trees and below ground. Arborists cannot guarantee that a tree will be healthy or safe under all circumstances, or for a specified period of time. Likewise, remedial treatments, like a medicine, cannot be guaranteed.

Treatment, pruning, and removal of trees may involve considerations beyond the scope of the arborist's services such as property boundaries, property ownership, site lines, disputes between neighbors, landlord-tenant matters, etc. Arborists cannot take such issues into account unless complete and accurate information is given to the arborist. The person hiring the arborist accepts full responsibility for authorizing the recommended treatment or remedial measures.

*Trees can be managed, but they cannot be controlled. To live near a tree is to accept some degree of risk. The only way to eliminate all risks is to eliminate all trees.*

Arborist: *David Beckham*  
David Beckham

Date: January 30<sup>th</sup>, 2023



1000 S Winchester Blvd  
San Jose, CA 95128  
P : (408) 998 - 0983

22025 Bertran-Angulo Residence  
NEW SINGLE FAMILY HOUSE

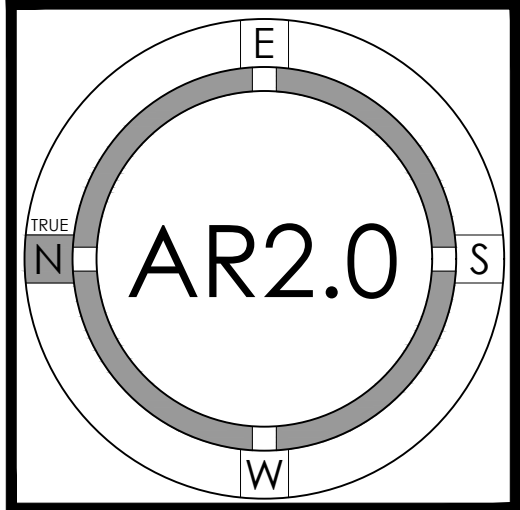
Los Altos, 226 Solana Drive

Ana Bertran and Roberto Angulo



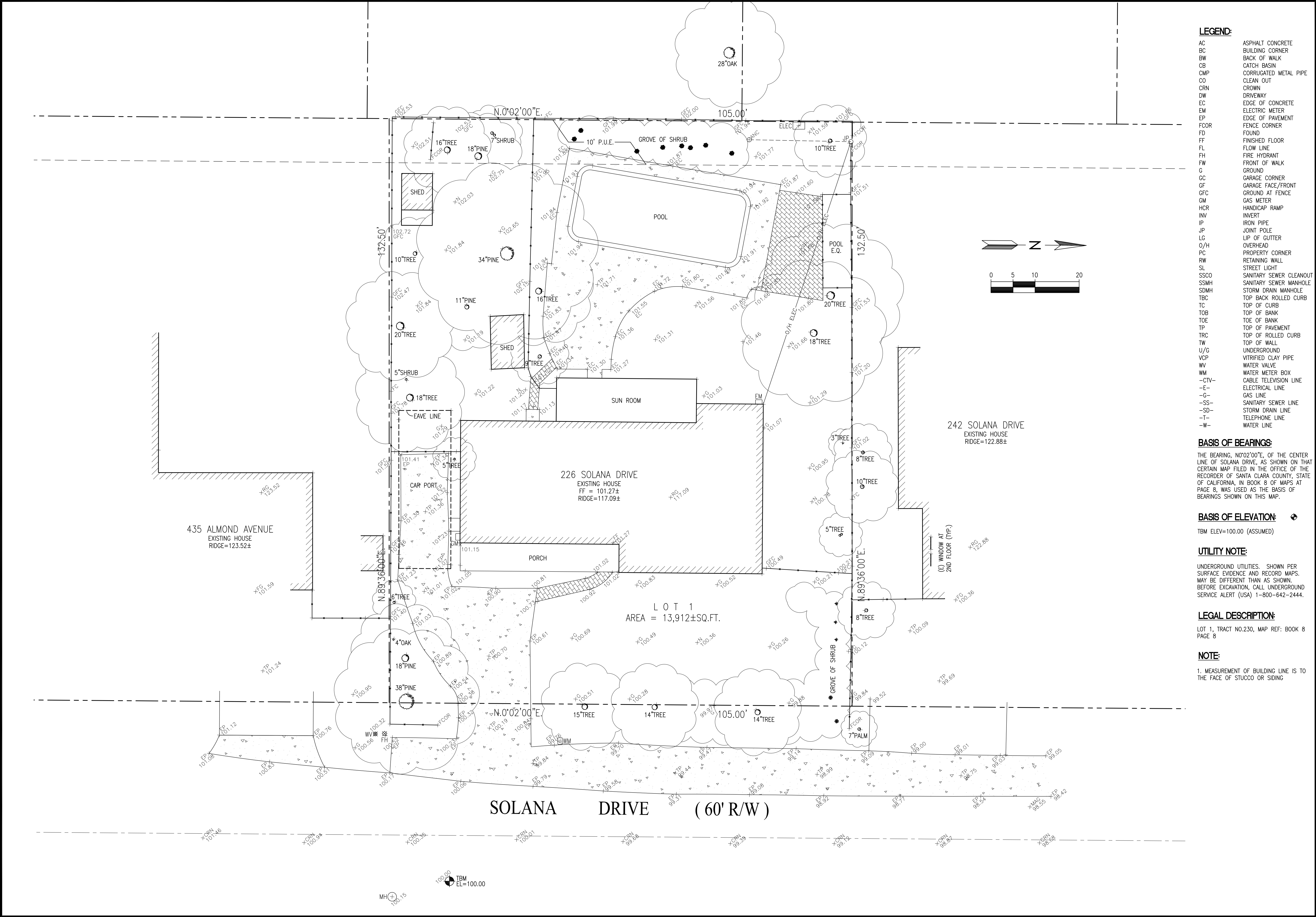
PROJECT NO.	DATE	DESCRIPTION	DRAWN BY
22025	2023.03.31	DESIGN REVIEW PACKAGE	ES/WC
REVISION	2023.07.10	DESIGN PACKAGE RESUBMITTAL	ES/WC /MBD

ARBORIST  
REPORT



©STUDIO S SQUARED ARCHITECTURE, INC.





**LEGEND:**

AC	ASPHALT CONCRETE
BC	BUILDING CORNER
BW	BACK OF WALK
CB	CATCH BASIN
CMP	CORRUGATED METAL PIPE
CO	CLEAN OUT
CRN	CROWN
DW	DRIVEWAY
EC	EDGE OF CONCRETE
EM	ELECTRIC METER
EP	EDGE OF PAVEMENT
FCOR	FENCE CORNER
FD	FOUND
FF	FINISHED FLOOR
FL	FLOW LINE
FH	FIRE HYDRANT
FW	FRONT OF WALK
G	GROUND
GC	GARAGE CORNER
GF	GARAGE FACE/FRONT
GFC	GROUND AT FENCE
GM	GAS METER
HCR	HANDICAP RAMP
INV	INVERT
IP	IRON PIPE
JP	JOINT POLE
LG	LIP OF GUTTER
O/H	OVERHEAD
PC	PROPERTY CORNER
RW	RETAINING WALL
SL	STREET LIGHT
SSCO	SANITARY SEWER CLEANOUT
SSMH	SANITARY SEWER MANHOLE
SDMH	STORM DRAIN MANHOLE
TBC	TOP BACK ROLLED CURB
TC	TOP OF CURB
TOB	TOP OF BANK
TOE	TOE OF BANK
TP	TOP OF PAVEMENT
TRC	TOP OF ROLLED CURB
TW	TOP OF WALL
U/G	UNDERGROUND
VCP	VITRIFIED CLAY PIPE
WV	WATER VALVE
WM	WATER METER BOX
-CTV-	CABLE TELEVISION LINE
-E-	ELECTRICAL LINE
-G-	GAS LINE
-SS-	SANITARY SEWER LINE
-SD-	STORM DRAIN LINE
-T-	TELEPHONE LINE
-W-	WATER LINE

**BASIS OF BEARINGS:**  
THE BEARING, N0°02'00"E, OF THE CENTER LINE OF SOLANA DRIVE, AS SHOWN ON THAT CERTAIN MAP FILED IN THE OFFICE OF THE RECORDER OF SANTA CLARA COUNTY, STATE OF CALIFORNIA, IN BOOK 8 OF MAPS AT PAGE 8, WAS USED AS THE BASIS OF BEARINGS SHOWN ON THIS MAP.

**BASIS OF ELEVATION:**   
TBM ELEV=100.00 (ASSUMED)

**UTILITY NOTE:**  
UNDERGROUND UTILITIES, SHOWN PER SURFACE EVIDENCE AND RECORD MAPS, MAY BE DIFFERENT THAN AS SHOWN. BEFORE EXCAVATION, CALL UNDERGROUND SERVICE ALERT (USA) 1-800-642-2444.

**LEGAL DESCRIPTION:**  
LOT 1, TRACT NO.230, MAP REF: BOOK 8 PAGE 8

**NOTE:**  
1. MEASUREMENT OF BUILDING LINE IS TO THE FACE OF STUCCO OR SIDING

NEW  
RESIDENCE

226 SOLANA DRIVE  
LOS ALTOS, CA  
APN: 170-21-025

**W E C**  
& ASSOCIATES

**WEC** 2625 MIDDLEFIELD RD #658  
PALO ALTO, CA 94306  
TEL: (650) 823-6436  
FAX: (650) 887-1294

LICENSE STAMPS AND SIGNATURE



ISSUED		
No.	Description	Date

DATE:	OCT 12, 2022
SCALE:	1"=10'
DRAWN:	BG
JOB:	10078

SHEET TITLE:

TOPOGRAPHIC  
SURVEY

SHEET NO.

C.0



GRADING AND DRAINAGE NOTES:

1. CONTRACTOR TO VERIFY ALL CONTROLLING DIMENSIONS WITH ARCHITECTURAL PLANS AND SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH ALL EXISTING CONDITIONS. THEY SHALL BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING. VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES BEFORE STARTING CONSTRUCTION. ANY SITE WORK THAT DEVIATES FROM WHAT IS SHOWN ON THE PLANS SHALL HAVE THE ENGINEER'S APPROVAL PRIOR TO PROCEEDING WITH THE DEVIATING WORK ITEM. CONTRACTOR SHALL CALL "UNDERGROUND SERVICE ALERT" (800) 642-2444 PRIOR TO EXCAVATION.
2. THE SITE SHALL BE FINE GRADED TO PROVIDE A MINIMUM OF 5% ACROSS VEGETATED OR DIRT AREA AND 2% ACROSS HARDSCAPED AREA, AWAY FROM THE BUILDING PERIMETER. EXISTING DRAINAGE COMING FROM ADJACENT PROPERTIES SHALL BE MAINTAINED. IN NO CASE SHALL THE FINAL GRADING INCREASE SHEET FLOW ONTO ADJACENT PROPERTIES.
3. UNLESS SHOWN ON THE PLAN OTHERWISE, HOUSE AND GARAGE MUST HAVE DOWN SPOUTS THAT ARE DIRECTED TO SPLASH BLOCKS (2 FEET LONG) THAT DEFLECT THE WATER AWAY FROM BUILDING FOUNDATION BY SURFACE DRAINAGE. ALL DOWNSPOUT AND GUTTER SHALL BE GALV. SHEET METAL.
4. CONTRACTOR SHALL OBTAIN A STREET WORK PERMIT FROM PUBLIC WORKS ENGINEERING FOR ANY PROPOSED CONSTRUCTION WHICH WILL IMPACT THE USE OF THE SIDEWALK, STREET AND ALLEY OR ON THE PROPERTY IN WHICH THE CITY HOLDS AN INTEREST.
5. ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF WAY MUST HAVE AN APPROVED PERMIT FOR CONSTRUCTION IN THE PUBLIC STREET PRIOR TO COMMENCEMENT OF THIS WORK. THE PERFORMANCE OF THIS WORK IS NOT AUTHORIZED BY THE BUILDING PERMIT ISSUANCE BUT SHOWN ON THE BUILDING PERMIT FOR INFORMATION ONLY.
6. IF GROUNDWATER OR RUNOFF WATER IS ENCOUNTERED AND REQUIRES REMOVAL FROM THE EXCAVATION AREA, ALL EXCAVATION AND/OR BUILDING ACTIVITIES MUST IMMEDIATELY STOP. THE PLAN FOR THE DEWATERING OF THE EXCAVATION MUST BE DESIGNED AND SUBMITTED FOR APPROVAL TO THE PUBLIC WORKS-ENGINEERING DIVISION. ONCE APPROVAL OF THE PLAN DESIGN HAS BEEN RECEIVED, IMPLEMENTATION OF THE PLAN IS REQUIRED PRIOR TO THE COMMENCEMENT OF THE EXCAVATION AND/OR BUILDING ACTIVITIES.

GENERAL NOTES

5

AB	AGGREGATE BASE	GB	GRADE BREAK
AC	ASPHALT CONCRETE	GM	GAS METER
AD	AREA DRAIN	GR	GRATE ELEVATION
BW	BOTTOM OF WALL	HP	HIGH POINT
CB	CATCH BASIN	INV	INVERT ELEVATION
CL	CAST IRON PIPE	JT	JOINT TRENCH
CP	CENTER LINE	JP	JOINT POLE
CONC	CONCRETE	LD	LANDSCAPE DRAIN
CS	CRAWL SPACE ELEV.	LF	LINEAR FEET
DD	DECK DRAIN	(N)	NEW
DIP	DUCT IRON PIPE	RIM	RIM ELEVATION
DS	DOWNSPOUT	S	SLOPE
DWY	DRIVEWAY	SD	STORM DRAIN LINE
(E)	EXISTING	SDCO	STORM DRAIN CLEANOUT
EG	EXISTING GRADING	SDFM	STORM DRAIN FORCED MAIN
EM	ELECTRICAL METER	SS	SANITARY SEWER
EP	EDGE OF PAVEMENT	SSCO	SANITARY SEWER CLEANOUT
FF	FINISH FLOOR ELEVATION	TW	TOP OF WALL ELEVATION
FG	FINISHED GROUND ELEV.	TYP	TYPICAL
FP	FINISHED PAVEMENT	W	DOMESTIC WATER LINE
FS	FINISH SURFACE ELEV	WM	WATER METER

ABBREVIATION

4

—SS—	SANITARY SEWER	—SL—	STREET LIGHT
—E—	ELECTRIC	—IRR—	IRRIGATION
—TV—	TV/CABLE TV	—X—	FENCE
—FS—	FIRE SERVICE	—JT—	JOINT TRENCH
—W—	DOMESTIC WATER	—O/H—	OVERHEAD WIRES
—T—	TELEPHONE	×16.07	(E) SPOT ELEVATION
—G—	NATURAL GAS	×16.07	(N) SPOT ELEVATION
—FM—	FORCE MAIN		
DS	SPLASH BLOCK, MIN. 2 FEET LONG DEFLECT THE WATER AWAY FROM BOTH BLDG. DOWNSPOUT		

LEGEND

3

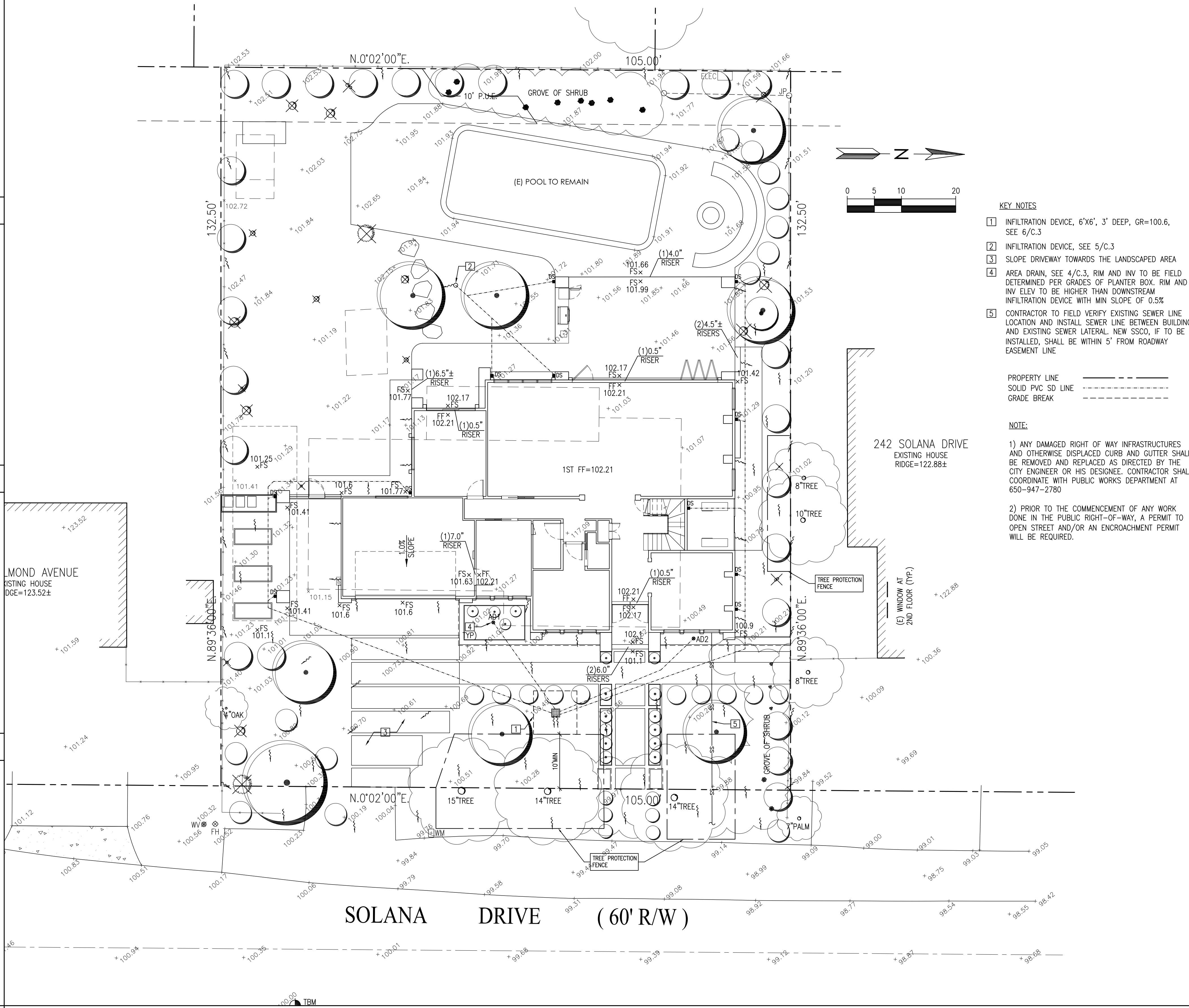
EARTHWORK QUANTITIES:

CUT(OUTSIDE BLDG FOOTPRINT)	20 C.Y.
CUT(INSIDE BLDG FOOTPRINT)	210 C.Y.
FILL	25 C.Y.
BALANCE	205 C.Y.

EARTHWORK QUANTITIES SHOWN ARE FOR PLANNING PURPOSES ONLY. CONTRACTOR SHALL PERFORM THEIR OWN EARTHWORK QUANTITY CALCULATION AND USE THEIR CALCULATION FOR BIDDING AND COST ESTIMATING PURPOSES.

CUT AND FILL EST.

2



KEY NOTES

- INFILTRATION DEVICE, 6'X6', 3' DEEP, GR=100.6, SEE 6/C.3
- INFILTRATION DEVICE, SEE 5/C.3
- SLOPE DRIVEWAY TOWARDS THE LANDSCAPED AREA
- AREA DRAIN, SEE 4/C.3, RIM AND INV TO BE FIELD DETERMINED PER GRADES OF PLANTER BOX. RIM AND INV ELEV TO BE HIGHER THAN DOWNSTREAM INFILTRATION DEVICE WITH MIN SLOPE OF 0.5%
- CONTRACTOR TO FIELD VERIFY EXISTING SEWER LINE LOCATION AND INSTALL SEWER LINE BETWEEN BUILDING AND EXISTING SEWER LATERAL. NEW SSCO, IF TO BE INSTALLED, SHALL BE WITHIN 5' FROM ROADWAY EASEMENT LINE

PROPERTY LINE  
SOLID PVC SD LINE  
GRADE BREAK

NOTE:

- ANY DAMAGED RIGHT OF WAY INFRASTRUCTURES AND OTHERWISE DISPLACED CURB AND GUTTER SHALL BE REMOVED AND REPLACED AS DIRECTED BY THE CITY ENGINEER OR HIS DESIGNEE. CONTRACTOR SHALL COORDINATE WITH PUBLIC WORKS DEPARTMENT AT 650-947-2780
- PRIOR TO THE COMMENCEMENT OF ANY WORK DONE IN THE PUBLIC RIGHT-OF-WAY, A PERMIT TO OPEN STREET AND/OR AN ENCROACHMENT PERMIT WILL BE REQUIRED.

NEW  
RESIDENCE

226 SOLANA DRIVE  
LOS ALTOS, CA  
APN: 170-21-025

**W E C**  
& ASSOCIATES

**AEC** 2625 MIDDLEFIELD RD #658  
PALO ALTO, CA 94306  
TEL: (650) 823-6466  
FAX: (650) 887-1294

LICENSE STAMPS AND SIGNATURE



ISSUED

No.	Description	Date

DATE:	APR 26, 2023
SCALE:	AS SHOWN
DRAWN:	J
JOB:	10078

SHEET TITLE:

GRADING &  
DRAINAGE  
PLAN

SHEET NO.

C.1

GRADING AND DRAINAGE PLAN SCALE: 1"=10'

1

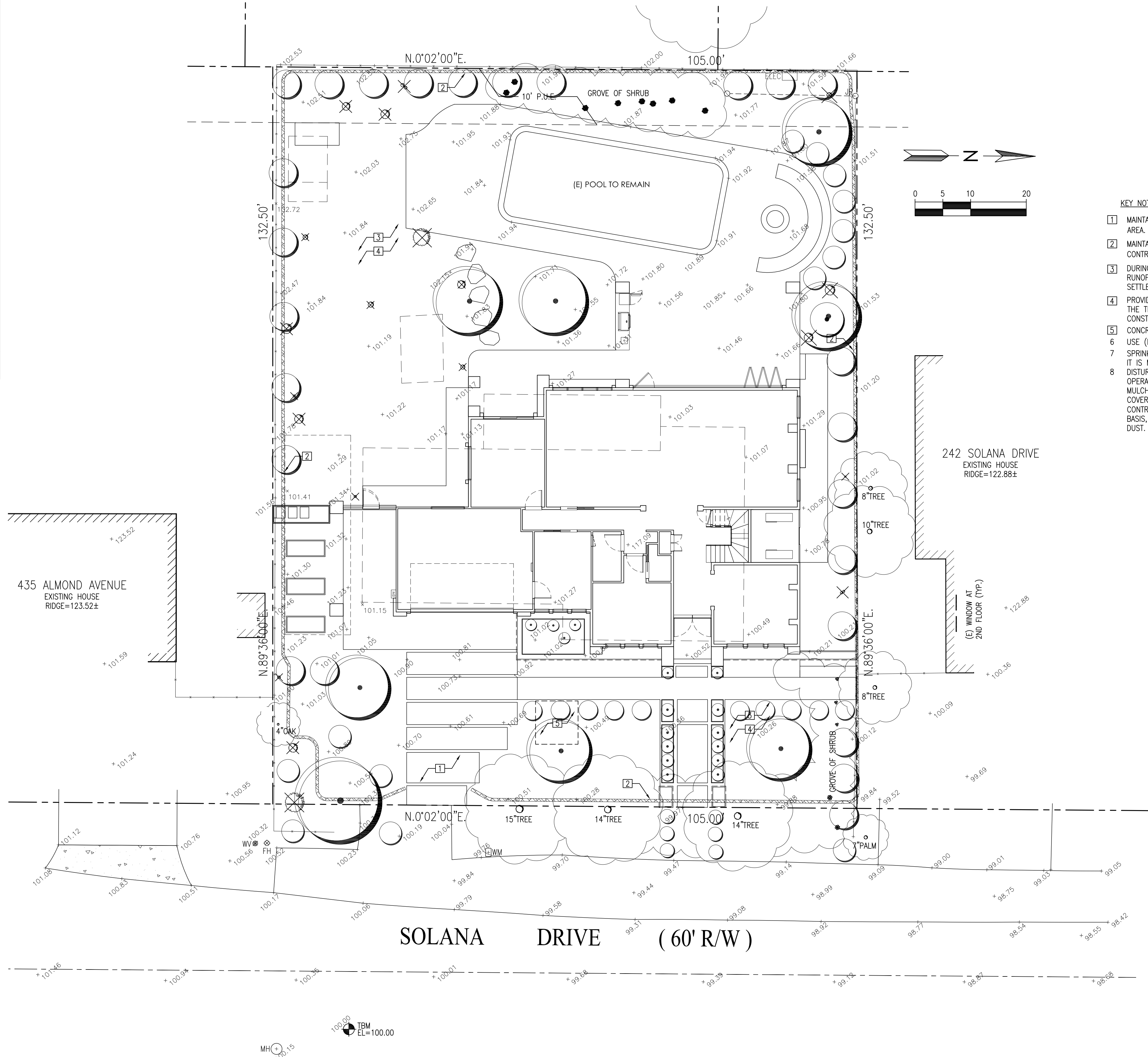


EROSION CONTROL AND BEST MANAGEMENT PRACTICE:

1. CONTRACTOR SHALL ASSUME THE CONCEPTS ON THE EROSION CONTROL PLAN/NOTES, IF PROVIDED, ARE MINIMUM REQUIREMENTS, THE FULL EXTENTS OF WHICH ARE TO BE DETERMINED BY CONTRACTOR. CONTRACTOR IS RESPONSIBLE FOR THE EXACT DESIGN AND EXTENT OF CONTRACTOR'S INTENDED USE AND MANAGEMENT OF THE CONSTRUCTION SITE.
2. ALL EROSION CONTROL FACILITIES SHALL BE INSPECTED BY THE CONTRACTOR AND REPAIRED AS REQUIRED AT THE CONCLUSION OF EACH WORKING DAY DURING THE RAINY SEASON. REPAIRS TO DAMAGED FACILITIES SHALL BE MADE IMMEDIATELY UPON DISCOVERY.
3. THE CONTRACTOR SHALL REMOVE ANY ACCUMULATION OF SILT OR DEBRIS FROM THE EROSION CONTROL SEDIMENT BASINS FOLLOWING EACH STORM AND SHALL CLEAR THE OUTLET PIPES OF ANY BLOCKAGE.
4. STOCKPILED MATERIAL SHALL BE COVERED WITH VISQUEEN OR TARPULIN UNTIL THE MATERIAL IS REMOVED FROM THE SITE. ANY REMAINING BARE SOIL THAT EXISTS AFTER THE STOCKPILE HAS BEEN REMOVED SHALL BE COVERED UNTIL A NATURAL GROUND COVER IS ESTABLISHED OR IT MAY BE SEEDED OR PLANTED TO PROVIDE GROUND COVER PRIOR TO THE FALL RAINY SEASON.
5. PROTECT ADJACENT PROPERTIES AND UNDISTURBED AREAS FROM CONSTRUCTION IMPACTS USING VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS OR FILTER, DIKES, MULCHING OR OTHER MEASURES AS APPROPRIATE.
6. CONTRACTOR SHALL MAINTAIN ADJACENT STREETS IN A NEAT, CLEAN, DUST FREE AND SANITARY CONDITION AT ALL TIMES. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CLEAN UP ON ADJACENT STREETS AFFECTED BY THEIR CONSTRUCTION. NO STOCKPILING OF BUILDING MATERIALS WITHIN THE PUBLIC RIGHT-OF WAY IS PERMITTED.
7. PROTECT DOWN SLOPE DRAINAGE COURSES, STREAMS AND STORM DRAINS WITH ROCK FILLED SAND BAGS, TEMPORARY DRAINAGE SWALES, SILT FENCES, EARTH BERMS, STORM DRAIN INLET FILTERS AND/OR STRAW BALES USED ONLY IN CONJUNCTION WITH PROPERLY INSTALLED SILT FENCES. PROVIDE ROCKED DRIVEWAY FOR SITE ACCESS DURING CONSTRUCTION.

GENERAL NOTES

2



KEY NOTES

- 1 MAINTAIN STABILIZED CONSTRUCTION AREA. SEE DETAIL 2/C.3
- 2 MAINTAIN FIBER ROLL FOR EROSION CONTROL. SEE DETAIL 1/C.3
- 3 DURING CONSTRUCTION ALLOW SEDIMENT-LADEN RUNOFF TO FORM PONDING AND ALLOW SEDIMENTS TO SETTLE OUT PRIOR TO DISCHARGE
- 4 PROVIDE AND MAINTAIN VEGETATION COVERAGE AROUND THE THE EXTEND OF THE DISTURBED AREA DURING CONSTRUCTION UNTIL PHASED GRADING ACTIVITIES
- 5 CONCRETE WASHOUT AREA, SEE DETAIL 3/C.3
- 6 USE (DON'T OVERUSE) WATER FOR DUST CONTROL.
- 7 SPRINKLING THE GROUND SURFACE WITH WATER UNTIL IT IS MOIST BEFORE GRADING ACTIVITIES.
- 8 DISTURBED SOIL NOT INCLUDED IN IMMEDIATE OPERATIONS MUST BE PROTECTED BY VEGETATION, MULCHING OR OTHER EFFECTIVE MEANS OF GROUND COVER.
- CONTRACTOR SHALL SWEEP THE STREET ON A WEEKLY BASIS, OR ADDITIONALLY AS NEEDED TO CONTROL DUST.

NEW  
RESIDENCE

226 SOLANA DRIVE  
LOS ALTOS, CA  
APN: 170-21-025

**W E C**  
& ASSOCIATES

2625 MIDDLEFIELD RD #658  
PALO ALTO, CA 94306  
TEL: (650) 823-6466  
FAX: (650) 887-1294

LICENSE STAMPS AND SIGNATURE



ISSUED

No.	Description	Date

DATE: APR 26, 2023  
SCALE: AS SHOWN  
DRAWN: J  
JOB: 10078

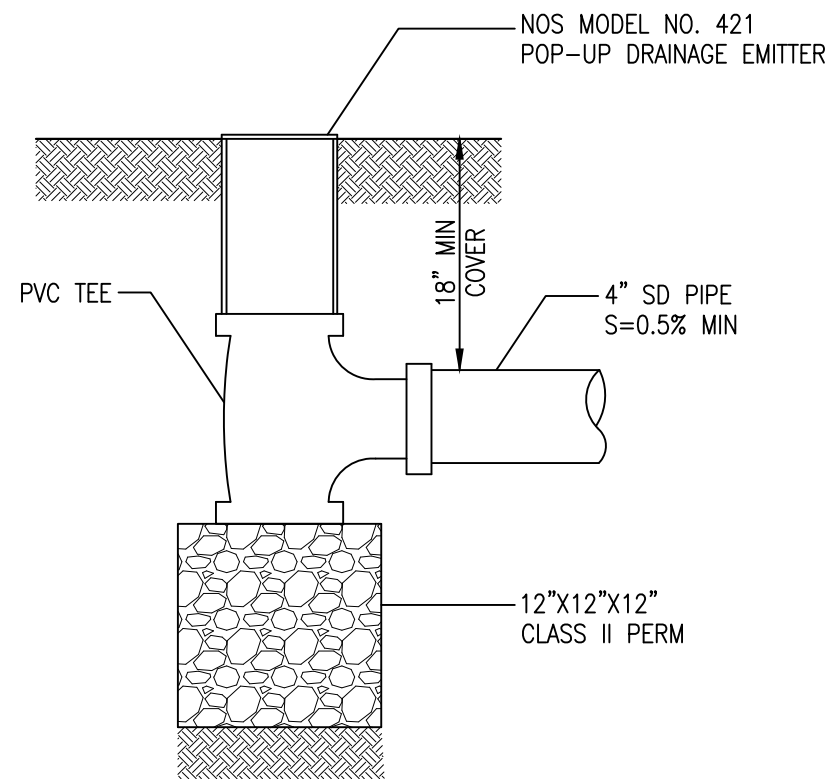
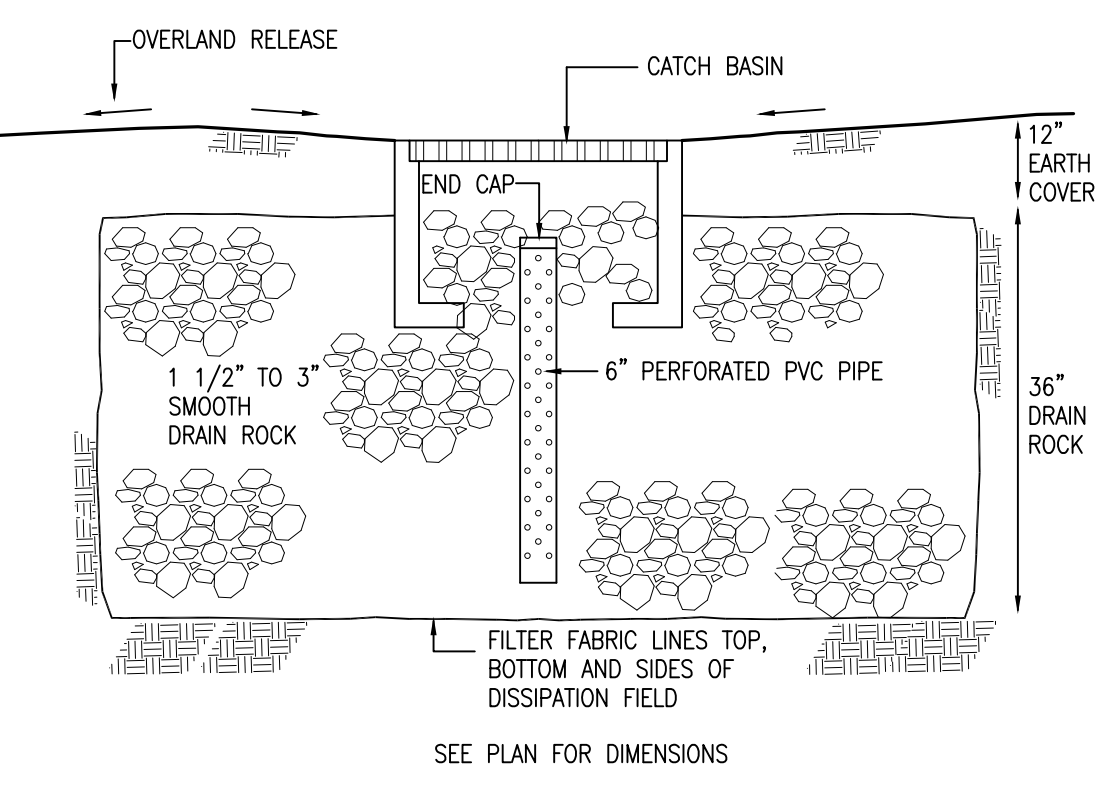
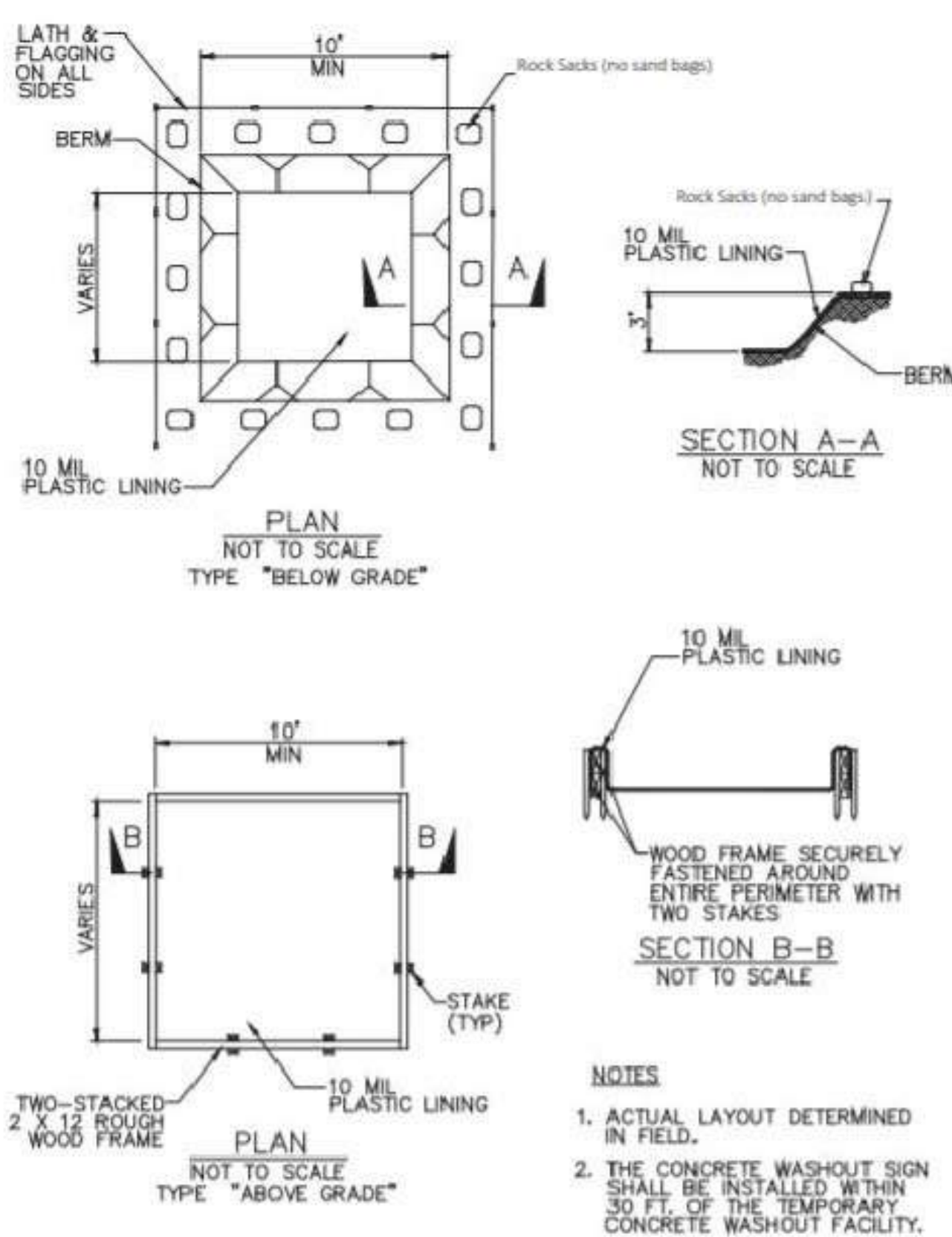
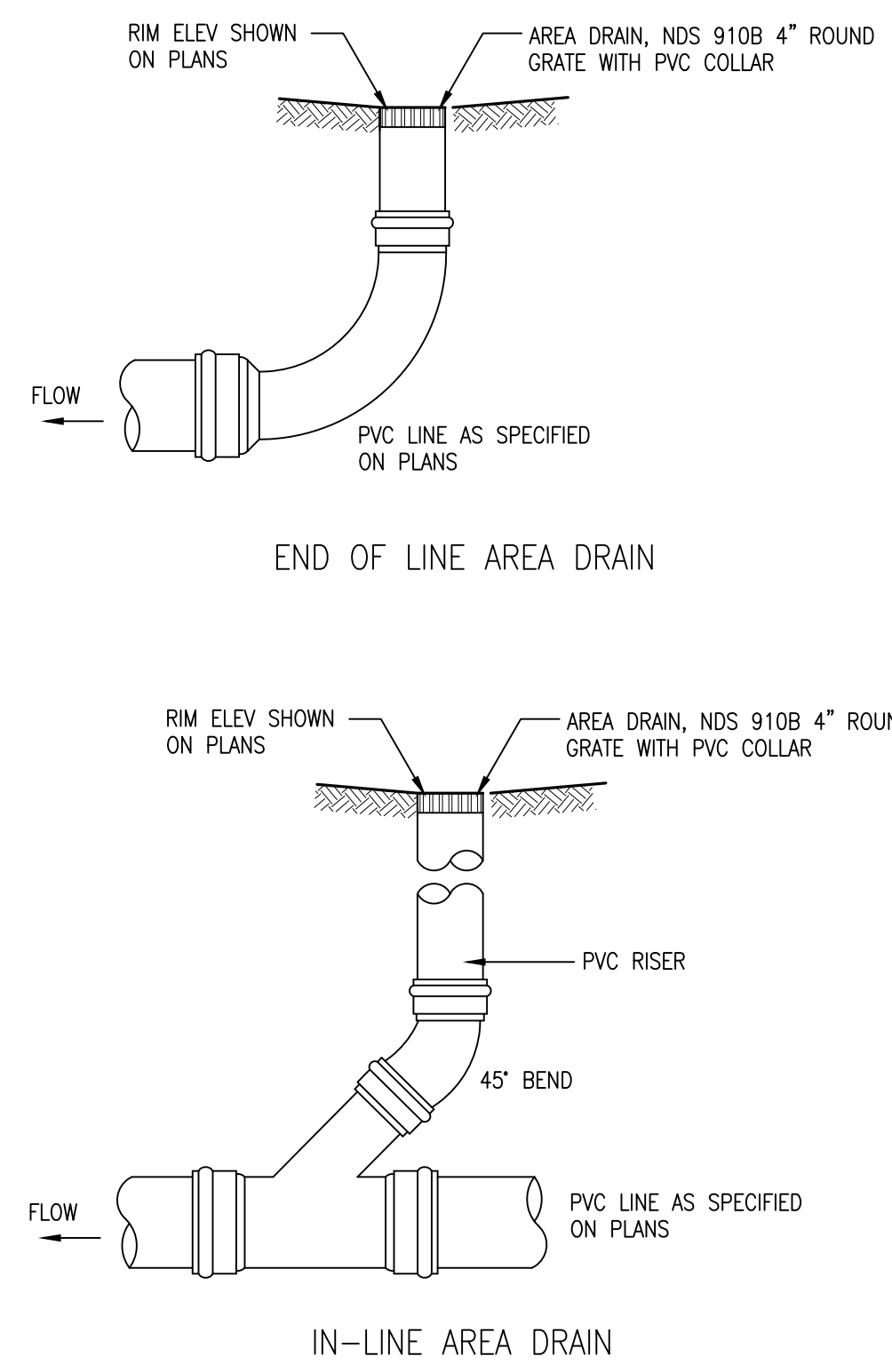
SHEET TITLE:

EROSION  
CONTROL  
PLAN

SHEET NO.

C.2



				
	INFILTRATION DEVICE	5		
				
	INFILTRATION DEVICE	6		
		CONCRETE WASHOUT AREA	3	
		FIBER ROLL DETAIL	1	
				
	AREA DRAIN DETAILS	4	STABILIZED CONSTRUCTION ENTRANCE	2

NEW  
RESIDENCE

226 SOLANA DRIVE  
LOS ALTOS, CA  
APN: 170-21-025

**W E C**  
& ASSOCIATES

2625 MIDDLEFIELD RD #658  
PALO ALTO, CA 94306  
TEL: (650) 823-6466  
FAX: (650) 887-1294



ISSUED		
No.	Description	Date

DATE:	APR 26, 2023
SCALE:	AS SHOWN
DRAWN:	J
JOB:	10078

SHEET TITLE:

DETAILS

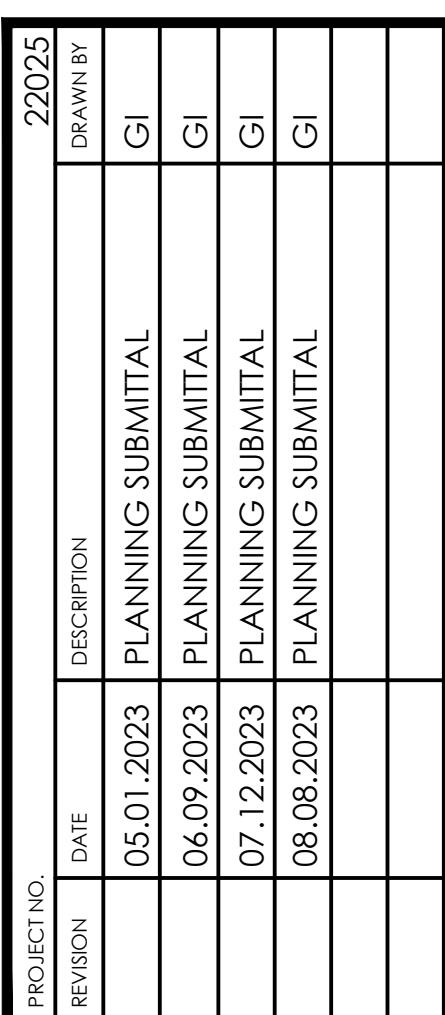
SHEET NO.

C.3

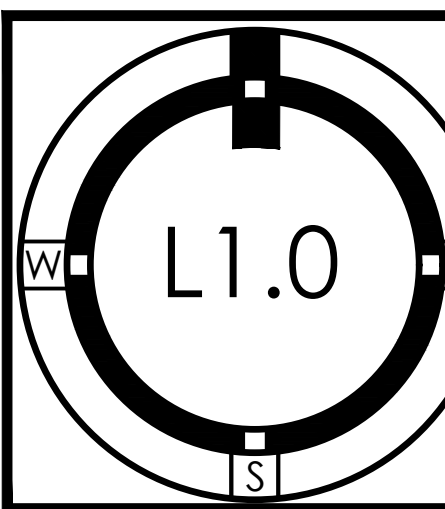




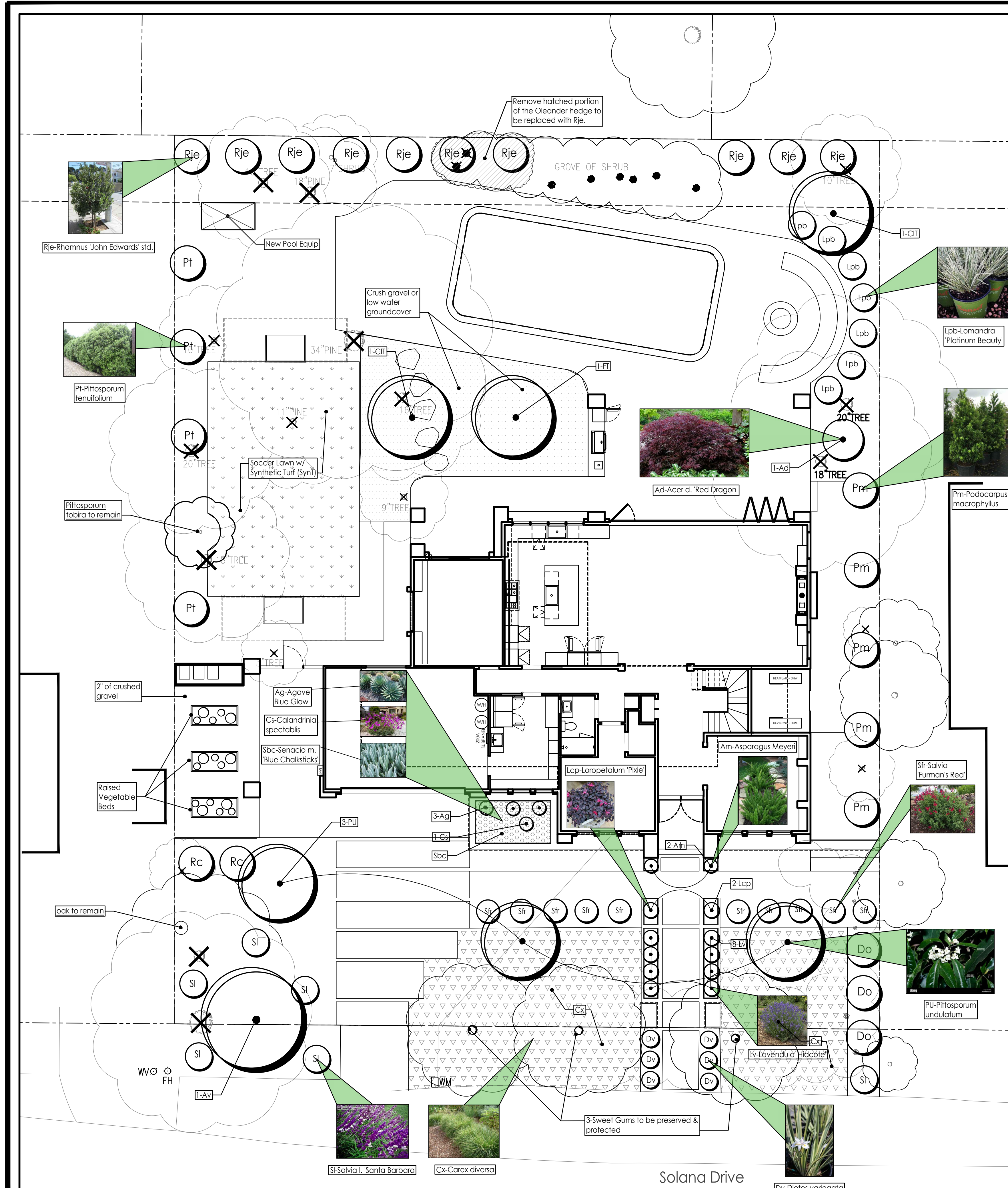
222025 Bertran-Angulo Residence	Los Altos, 226 Solana Drive	And Bertran and Roberto Angulo
NEW SINGLE FAMILY HOUSE		



# LANDSCAPE PLANTING PLAN



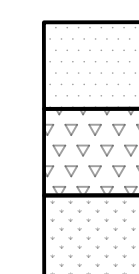
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SYM.	QTY.	SIZE	BOTANICAL NAME	COMMON NAME	COMMENTS	WATER USE
AV	3	5 gal	Avocado	Avocado	Owner to determine variety Owner to determine variety Tree form. Dbl. staked	med
FT		5 gal	Fruit tree	Fruit tree		med
PU		24" box	Pittosporum undulatum std.	Victorian Box		low
			PRIVACY SHRUBS			
Do		15 gal	Dodonea v. 'Purpurea' std.	Purple Hopseed Bush	Tree form	low
Pm		15 gal	Podocarpus macrophylla	Yew Pine		med
Pf		24" box	Pittosporum tenuifolium std.	Kohuhu	Tree form	med
Rje		15 gal	Rhamnus a. 'John Edwards' std.	John Edwards Buckthorn	Tree form	low
			SHRUBS & PERENNIALS			
Ad		15 gal	Acer dissectum 'Red Dragon'	Red Dragon Laceleaf Maple	Owner to determine variety	med
Am		5 gal	Asparagus 'Meyer'	Meyer's Asparagus Fern		med
Cit		5 gal	Citrus	Citrus		
Dv		5 gal	Dietes v. 'variegata'	White Variegated Fortnight Lily		low
Lcp		5 gal	Loropetalum c. 'Pixie'	Pixie Fringe Flower		low
Lpb		5 gal	Lomandra 'Platinum Beauty'	Platinum Beauty Mat Rush		low
Lv		5 gal	Lavendula a. 'Hidcote'	Hidcote English Lavender		low
Rc		5 gal	Rhamnus c. 'Mound San Bruno'	MSB Coffeeberry		low
Sfr		5 gal	Salvia gregii 'Furman's Red'	Furman's Red Autumn Sage		low
Sl	5 gal	Salvia leucantha 'Santa Barbara'	S.B. Mexican Sage	low		
			Succulents in Raised Planter			
Ag		5 gal	Agave 'Blue Glow'	Blue Glow Agave	24" o.c. spacing	low
Cs		5 gal	Calandrinia spectabilis	Rock Purslane		low
Sbc		1 gal	Senecio mandraliscae	Blue Chalksticks		low
			Groundcovers			
Cx		1 gal	Carex divulsa	California Sedge	24" o.c. spacing	low

SynT		'Everbatural Premium'	Everbatural Prem. Synthetic Turf	Available thru Watersavers.com	n.a.
------	--	-----------------------	----------------------------------	--------------------------------	------

NOTE: NO SUBSTITUTIONS OF PLANT SPECIES OR VARIETIES WILL BE ALLOWED  
WITHOUT PRIOR APPROVAL FROM THE PROJECT LANDSCAPE ARCHITECT.



2" layer of 1/2" dia. crushed gravel @ raised vegetable beds.

Cx: Carex diversa. See Planting Legend

SynT: Synthetic turf. See Planting Legend

## GENERAL NOTES

1. ALL MEASUREMENTS SHOULD BE CONFIRMED PRIOR TO ANY WORK. NOTIFY LANDSCAPE ARCHITECT FOR ANY DISCREPANCIES.
2. CONTRACTOR TO VERIFY ALL UNDERGROUND UTILITIES WITH OWNER AND CALL 811 UNDERGROUND SERVICE ALERT PRIOR TO ANY WORK

## PLANTING NOTES

- 1) CONTRACTOR TO VERIFY ALL UNDERGROUND UTILITIES WITH OWNER AND CALL 811 UNDERGROUND SERVICE ALERT, PRIOR TO ANY WORK.
  - 2) EXACT LOCATION OF PLANTS ON SITE TO BE ADJUSTED SO AS TO BEST COORDINATE WITH SPRINKLER HEAD LOCATIONS, LIGHTS, DRAINAGE FEATURES, AND SWALES.
  - 3) DON'T PUT PLANTS IN BOTTOM OF SWALES.
  - 4) DON'T PUT MULCH FLOW LINES OF SWALES SUCH THAT MULCH BLOCKS FLOW OF WATER.
  - 5) USE "3" DEEP MULCH IN ALL PLANTING AREAS WITH MAHOGONY "PRO CH" RECYCLED WOOD MULCH. "GOBELIA HAIR" WILL NOT BE ACCEPTED. PROVIDE 3" OF DEEP MULCH UNDER EXISTING TREES.
  - 6) ANY PLANTS WITH BUBBLERS MUST HAVE PERMANENTLY MAINTAINED BUBBLER SPITS 4' HIGH.
  - 7) INSTALL PLANTS FOR ALL PLANT CIRCLES SHOWN ON THE PLAN EVEN IF THEY AREN'T LABELED. CALL FOR CLARIFICATION. PLANT QUANTITIES IN THE LEGEND ARE TO BE VERIFIED BY CONTRACTOR.
  - 8) THE PLAN IS SCHEMATIC. DON'T INSTALL PLANTS CLOSE TO EDGES OF PAVING OR BUILDINGS. BE SURE PLANTS ARE NOT BLOCKING SPRINKLER SPRAY EXCESSIVELY.
  - 9) FINE GRADING IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR. INSURE ADEQUATE WATER FLOW AWAY FROM BUILDING WALLS, TO DRAINS, AND THROUGH SWALES. PROVIDE WATER WASHED COBBLES / PEBBLES AT END OF DRAIN SPOTS TO PREVENT SOIL EROSION.
  - 10) CONTRACTOR TO INVESTIGATE EXISTING SOIL CONDITIONS AND BE RESPONSIBLE FOR PROPER SOIL PREPARATION AND AMENDING TO INSURE VIGOROUS PLANT GROWTH. SUBMIT ANALYSES FOR A 1/3"3" PACKAGE AT SUNLAND ANALYTICAL, BANCROFT, CALIF. OR APPROVED EQUAL.  
[www.sunland-analytical.com](http://www.sunland-analytical.com)
- 11) PESTICIDES/FERTILIZER REDUCTION: IF FERTILIZERS AND PESTICIDES ARE USED DURING THE CONSTRUCTION PHASE, CONTRACTOR MUST PROPERLY DISPOSE OF EXCESS OR SPILLED FERTILIZERS AND PESTICIDES. CONTRACTOR MUST NOT WASH SPILLED FERTILIZERS OR PESTICIDES DOWN THE STORM DRAINS OR BURY THEM IN THE SOIL. CONTRACTORS MUST DISPOSE OF EXCESS FERTILIZERS OR PESTICIDES BY RECYCLING THEM, REUSING THEM OR DISPOSING OF THEM AS HAZARDOUS WASTE.
- 12) NO GRADING, PLANTING, IRRIGATION, TRENCHING, UTILITIES, MATERIAL STORAGE FORME, EQUIPMENT TRAILER UNDER THE DRIP LINES OF EXISTING TREES, IF POSSIBLE (OR OTHERWISE NOTED).
- 13) PRUNING NOTE: ALLOW ALL PLANTS TO GROW INTO THEIR NATURAL GROWTH FORM. DO NOT SHEAR ANY PLANTS INTO BALLS, FLAT TOPPED OR TOPIARY. CUT WALKWAY BRANCHES MATHE CUT BACK OR PLANT BRANCHES OR POLIAGE MAY BE CUT BACK. INDIVIDUALLY FOR WALKWAY AREAS. IF NEED BE, CUT BRANCHES OR POLIAGE MAY BE CUT UP TO THE GROUND. REMOVE SPITS FROM TREE HEADS IF 2 TIMES A YEAR IS NECESSARY.

WATER EFFICIENT LANDSCAPE  
ORDINANCE STATEMENT

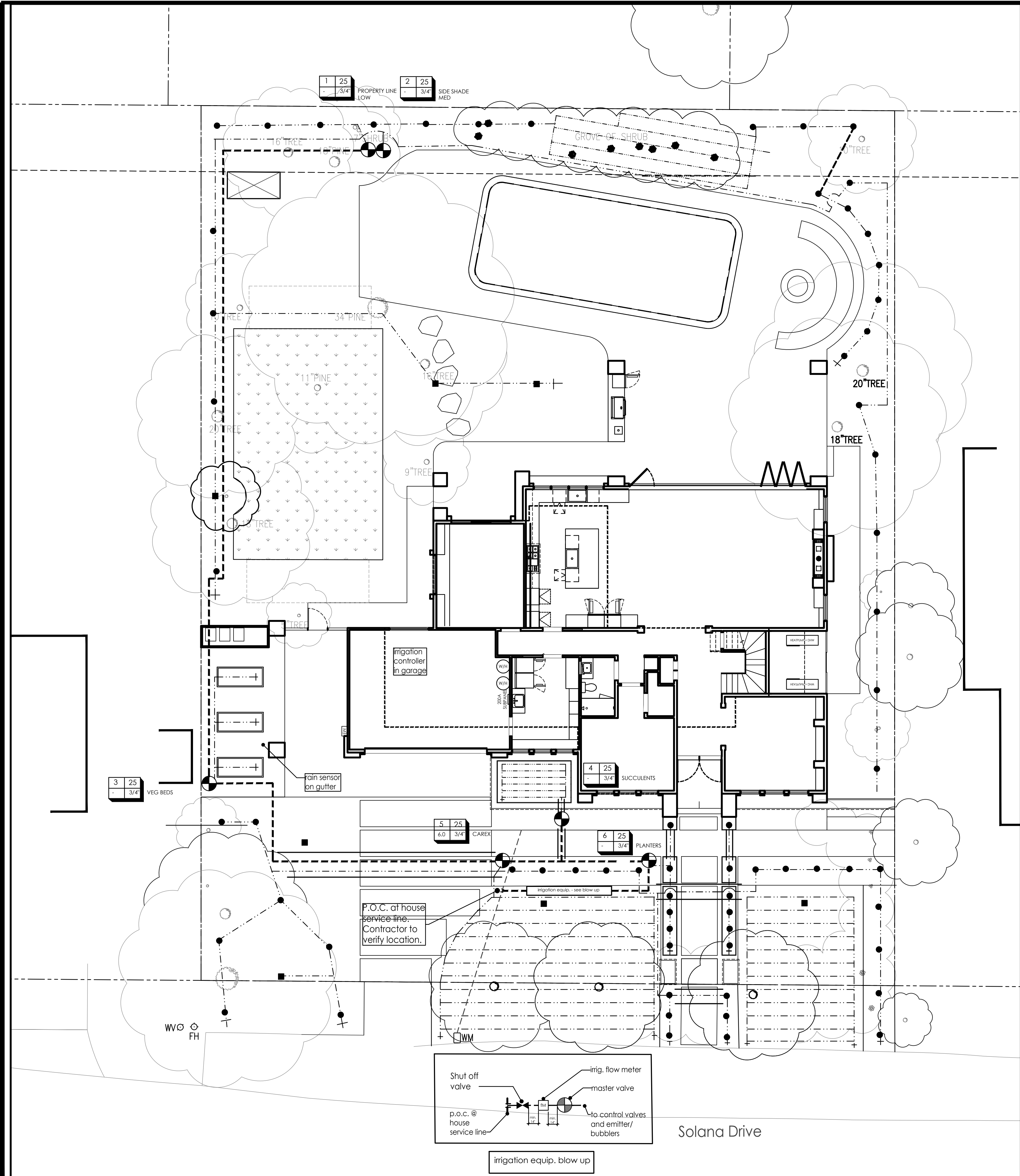
"I HAVE COMPLIED WITH THE CRITERIA OF THE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE AND HAVE APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN."



GREG G. ING, PROJECT LANDSCAPE ARCHITECT

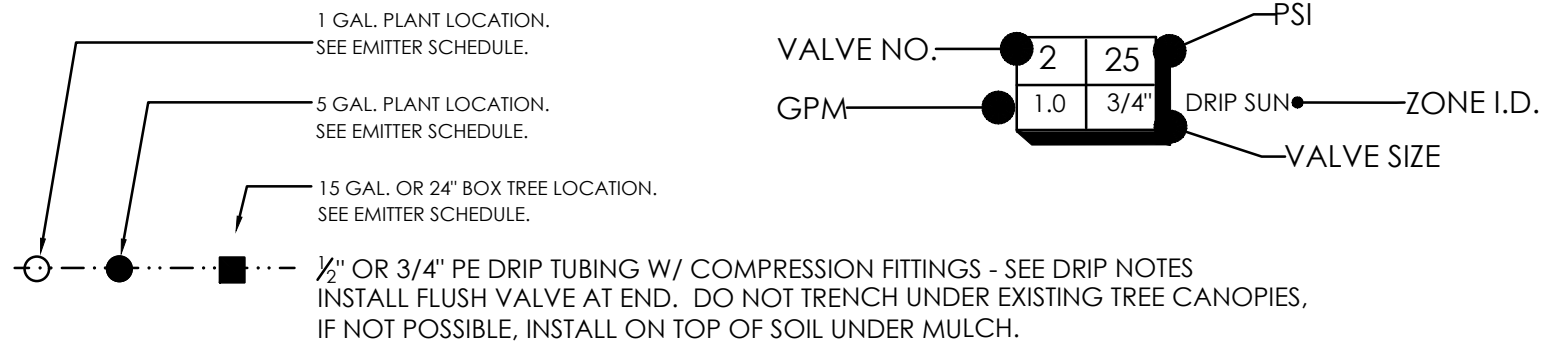
PLANTING LEGEND &amp; NOTES





IRRIGATION LEGEND

KEY	MANUF.	MODEL NO.	DESCRIPTION
⊕	AGRIFIM	PC PLUS	PRESSURE COMPENSATING EMITTER. SEE EMITTER SCHEDULE.
⊗	WEATHERMATIC	SILVER BULLET SERIES	1" ELECTRIC VALVE. FOR SPRAY IRRIGATION. INSTALL BELOW GRADE IN A VALVE BOX.
⊙	RAINBIRD	XCZ-075-PRF SERIES	3/4" CONTROL ZONE KIT. FOR DRIP IRRIGATION. LOW FLOW ELECTRIC VALVE W/ PRESS. REG AND FILTER. INSTALL BELOW GRADE IN A VALVE BOX.
⊖	RAINBIRD	HV SERIES	1" MASTER SHUT OFF VALVE AT POINT OF CONNECTION. INSTALL BELOW GRADE IN A VALVE BOX.
⌘	-	-	1" BRASS SHUT OFF VALVE - SAME SIZE AS MAINLINE. INSTALL BELOW GRADE IN A VALVE BOX.
Ⓢ	HUNTER	PHC-12	PRO-HC WIFI - 12 STATION OUTDOOR. HYDRAWISE CONTROLLER. SEE NOTE #11.
Ⓡ	HUNTER	WR-CLIK	WIRELESS RAIN CLIK.
Ⓜ	HUNTER	HC-100-FLOW	FLOW METER. INSTALL BELOW GRADE IN VALVE/METER BOX.
⌚	-	-	3/4" HOSE BIB ON HOUSE WALL OR IN VEGETABLE GARDEN.
⌚	-	-	AUTOMATIC FLUSH VALVE AT ENDS OF DRIP IRRIGATION PE TUBING.



- 1/2" OR 3/4" PE DRIP TUBING W/ COMPRESSION FITTINGS - SEE DRIP NOTES. INSTALL FLUSH VALVE AT END. DO NOT TRENCH UNDER EXISTING TREE CANOPIES. IF NOT POSSIBLE, INSTALL ON TOP OF SOIL UNDER MULCH.
- 1/2" EMITTER TUBING W/ COMPRESSION FITTINGS - 24" EMITTER SPACING AND 18" 24" ROW SPACING. 1 GALLON PER HR. EMITTER. "RAINBIRD XFS SUBSURFACE DRIPLINE" OR APPROVED EQUAL. SEE DRIP NOTES. INSTALL AUTOMATIC FLUSH VALVE AT END. DO NOT TRENCH UNDER EXISTING TREE CANOPIES. INSTALL ON TOP OF SOIL UNDER MULCH.
- NON PRESSURE LINE - CLASS 200 PVC - 3/4" UNLESS OTHERWISE LABELED
- PRESSURE LINE - SCH. 40 PVC
- ALL PIPING 24" UNDER PAVING: PRESSURE LINE, NONPRESSURE LINE, CONTROL WIRE SLEEVE, OR EXTRA LINE FOR FUTURE USE - MIN 2" OR LARGER AS NOTED.
- CLASS 315 PVC. TWICE THE SIZE OF THE PIPE INSIDE.
- INSTALL A 2" SCH. 40 PVC GREY ELECTRICAL CONDUIT AT ALL PRESSURE LINE PAVING CROSSINGS.

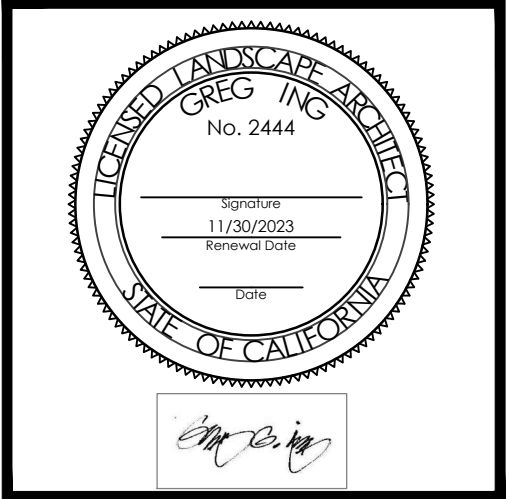
EMITTER SCHEDULE:

PLANT SIZE	NO. OF EMITTERS	EMITTER SIZE	PLANT DESCRIPTION	EMITTER LOCATION
1 GAL.	1	1 GPH	SMALL SHRUBS	AT PLANT
5 GAL.	2	1 GPH	MEDIUM SHRUBS	6"-12"
15 GAL.	2	2 GPH	TREES	1' FROM TREE
24" BOX	3	2 GPH	TREES	2' APART



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22025 Bertran-Angulo Residence  
NEW SINGLE FAMILY HOUSE  
Los Altos, 226 Solana Drive  
Ana Bertran and Roberto Angulo



PROJECT NO.	DATE	DESCRIPTION	22025
REVISION	05.01.2023	PLANNING SUBMITTAL	GI
	06.09.2023	PLANNING SUBMITTAL	GI
	08.08.2023	PLANNING SUBMITTAL	GI

IRRIGATION PLAN

