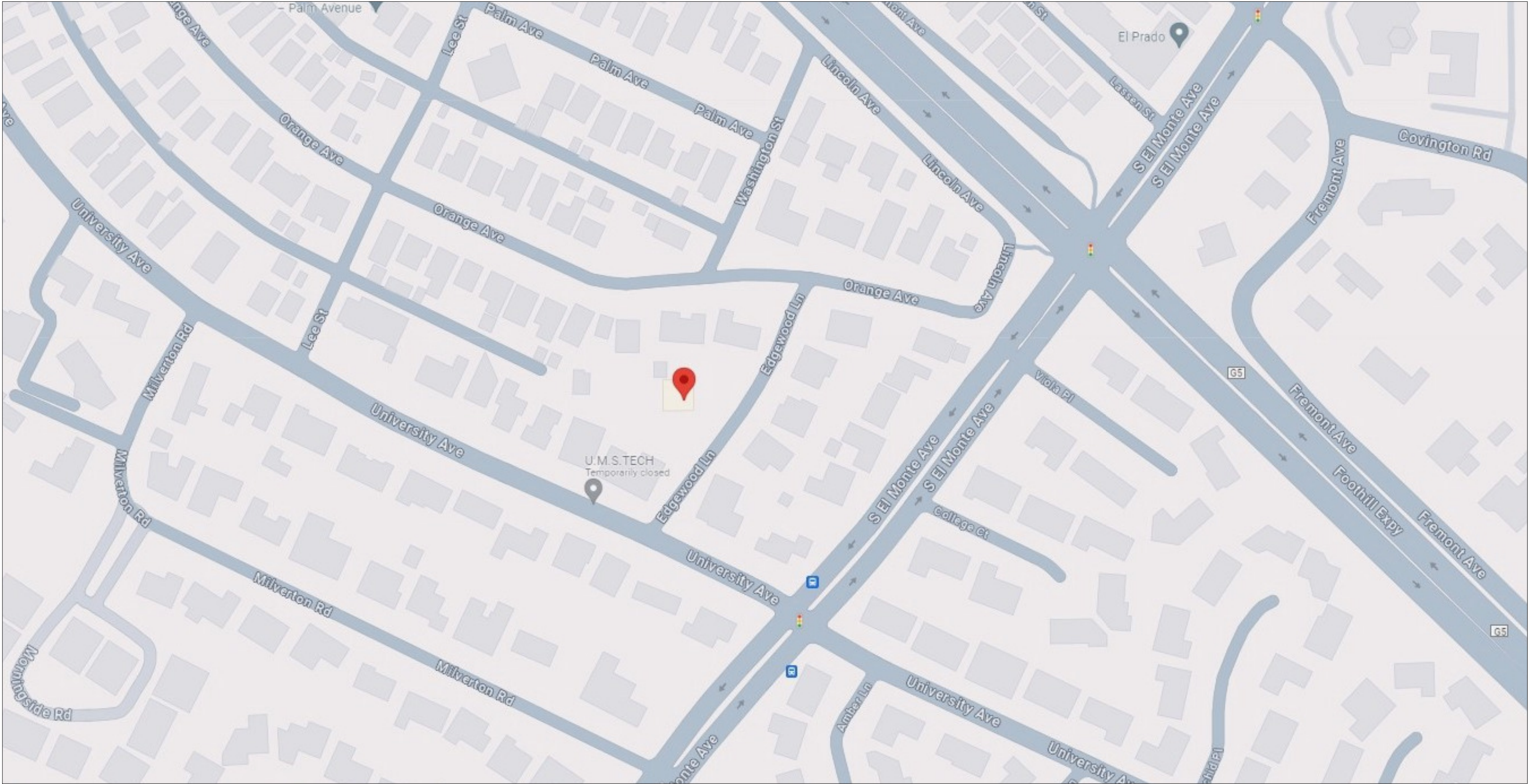




EXISTING FRONT ELEVATION

1/4" = 1'-0"



VICINITY MAP

PROPERTY DESCRIPTION

OWNER	JUNG YOON & WARREN YANG
ADDRESS	762 EDGEWOOD LANE LOS ALTOS, CA 94022
PARCEL	175-18-050
ACREAGE	0.27
ZONING	R1-10
OCCUPANCY	R - 3 / U
CONSTR. TYPE	V - B
PROJECT DESCRIPTION	INTERIOR REMODEL OF FAMILY ROOM & KITCHEN AT MAIN FLOOR, INTERIOR REMODEL OF BEDROOMS 3&4, BATHROOMS 2&3 AND NEW LAUNDRY

CONSULTANT DIRECTORY

SURVEYOR	SAVIOR P. MICALLEF LAND SURVEYING 421, WILLOW DRIVE 422, SOUTH SAN FRANCISCO, CA 94080 (805) 709-2423
SOILS ENGINEER	N/A
CIVIL ENGINEER	N/A
STRUCTURAL ENGINEER	T.B.D.
ENERGY CONSULTANT	T.B.D.
LANDSCAPE ARCHITECT	N/A

SHEET INDEX

ARCHITECTURAL SHEETS

A0.0	COVER SHEET
A1.0	SITE PLAN
A1.1	FLOOR DIAGRAM & AREA CALCULATIONS
A1.2	NEIGHBORHOOD CONTEXT MAP
A2.0	BASEMENT & MAIN FLOOR DEMOLITION PLAN
A2.1	UPPER FLOOR DEMOLITION PLAN
A3.0	PROPOSED MAIN FLOOR PLAN
A3.1	PROPOSED UPPER FLOOR PLAN
A3.2	ROOF PLAN
A5.0	EXISTING & PROPOSED REAR ELEVATIONS
A5.1	EXISTING & PROPOSED RIGHT SIDE ELEVATIONS
A5.2	EXISTING & PROPOSED LEFT SIDE ELEVATIONS
A6.0	CROSS SECTIONS A-A & B-B

LAND SURVEY SHEET

1 of 2	TOPOGRAPHIC SURVEY
2 of 2	TOPOGRAPHIC SURVEY

APPLICABLE CODES

THIS PROJECT SHALL COMPLY (AS REQUIRED) WITH THE:

- 2022 CALIFORNIA BUILDING CODE
- 2022 CALIFORNIA RESIDENTIAL CODE
- 2022 CALIFORNIA MECHANICAL CODE
- 2022 CALIFORNIA ELECTRICAL CODE
- 2022 CALIFORNIA PLUMBING CODE
- 2022 CALIFORNIA FIRE CODE
- 2022 CALIFORNIA ENERGY CODE
- 2022 CALIFORNIA GREEN BUILDING

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CHAPMAN
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ASSOCIATES

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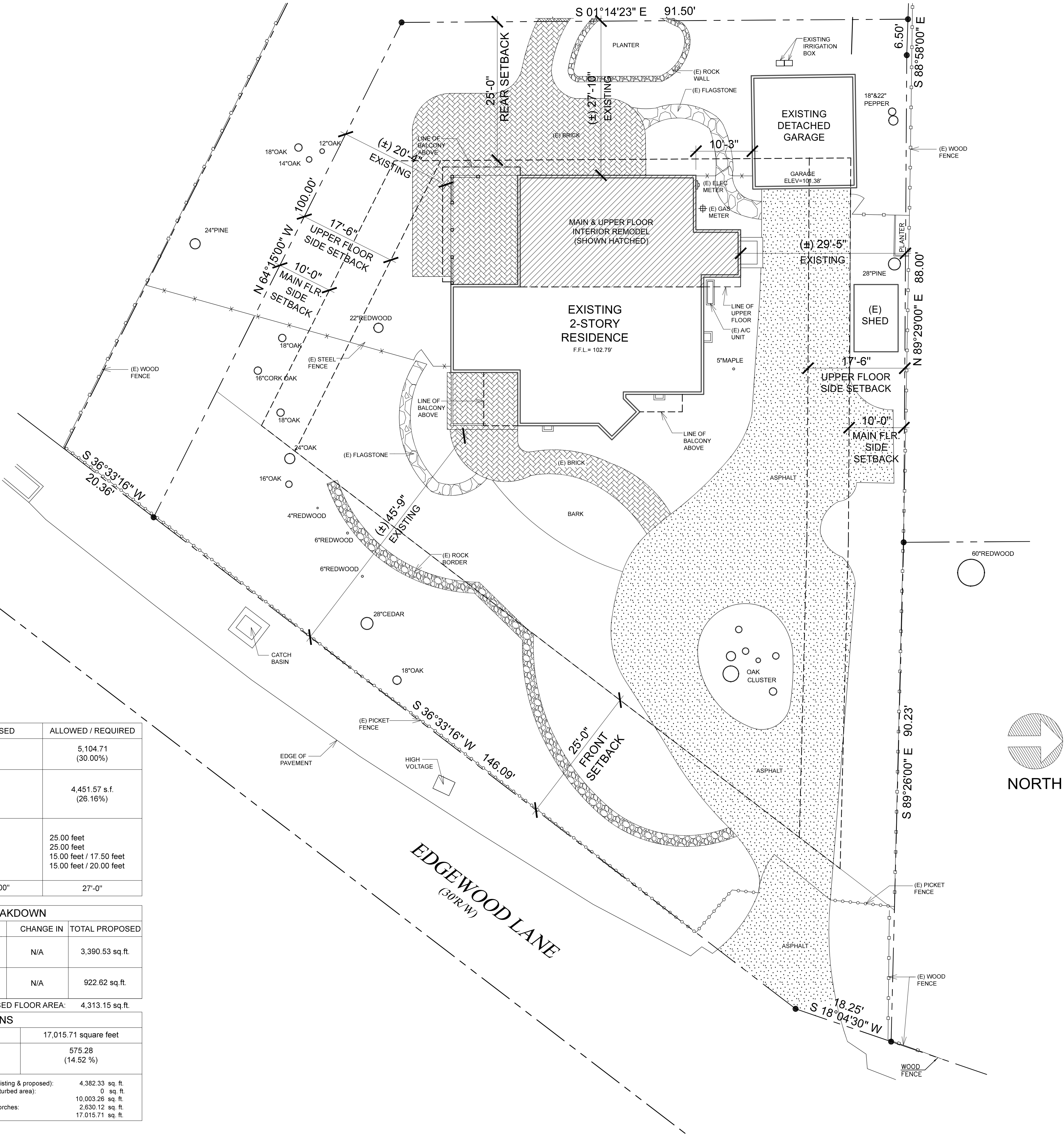
SHEET

A0.0

	EXISTING	PROPOSED	ALLOWED / REQUIRED
LOT COVERAGE: (land area covered by all structures that are over 6 feet in height)	2,525.36 s.f. (14.84 %)	N/A	5,104.71 (30.00%)
FLOOR AREA	4,313.15 s.f. (25.34 %)	N/A	4,451.57 s.f. (26.16%)
SETBACKS: Front (1st / 2nd) Rear (1st / 2nd) Right Side (1st / 2nd) Left Side (1st / 2nd)	45.75 feet / 49.25 feet 27.83 feet / 27.83 feet 29.75 feet / 29.75 feet 20.33 feet / 29.16 feet	N/A N/A N/A N/A	25.00 feet 25.00 feet 15.00 feet / 17.50 feet 15.00 feet / 20.00 feet
HEIGHT:	(±) 33'-0"	(±) 33.00"	27'-0"

SQUARE FOOTAGE BREAKDOWN			
	EXISTING	CHANGE IN	TOTAL PROPOSED
HABITABLE LIVING AREA: Includes habitable basement areas	3,390.53 sq.ft.	N/A	3,390.53 sq.ft.
NON-HABITABLE AREA: Does not include covered porches or open structures	922.62 sq.ft.	N/A	922.62 sq.ft.
TOTAL PROPOSED FLOOR AREA: 4,313.15 sq.ft.			

LOT CALCULATIONS	
NET LOT AREA:	17,015.71 square feet
FRONT YARD HARDSCAPE AREA: Hardscape area in the front yard setback shall not exceed 50%	575.28 (14.52 %)
LANDSCAPING BREAKDOWN:	Total hardscape area (existing & proposed): 4,382.33 sq. ft. Existing softscape (undisturbed area): 0 sq. ft. New softscape area: 10,003.26 sq. ft. Building footprint w/ all porches: 2,630.12 sq. ft. Total (Net size of lot): 17,015.71 sq. ft.



SITE PLAN

1" = 10'-0"

GENERAL NOTES

- A** VERIFICATION CONTRACTOR & ALL SUBCONTRACTORS SHALL VERIFY ALL GRADES, DIMENSIONS & CONDITIONS PRIOR TO START OF WORK
- B** DIMENSIONS DO NOT SCALE THESE DRAWINGS. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DRAWINGS
- C** DISCREP-ANCIES MINOR DISCREPANCIES BETWEEN DRAWINGS & ACTUAL CONDITIONS ARE TO BE EXPECTED. CONDITIONS REQUIRING CLARIFICATION SHALL BE BROUGHT TO THE ATTENTION OF C.D.A. IMMEDIATELY
- D** CONTRACT DOCUMENTS CONSTRUCTION DOCUMENTS TO POST DATE JOB COPY. VERIFY DOCUMENT DATE WITH C.D.A. PRIOR TO START OF WORK. CONTRACTOR TO ENSURE THAT ANY REVISED DOCUMENTS SHALL BE PROVIDED TO SUBCONTRACTORS IMMEDIATELY

SITE PLAN NOTES

- 1** DRIVEWAY EXISTING TO REMAIN
- 2** FLATWORK
- 3** GRADING
- 4** DRAINAGE
- 5** STORM DRAINAGE
- 6** SEWER LATERAL
- 7** GAS & ELEC SERVICE
- 8** SETBACKS
- 9** TREES
- 10** FENCES
- 11** LANDSCAPE

TABULATIONS

EXISTING HABITABLE AREA	
MAIN FLOOR	1,689.44 SQ. FT.
UPPER FLOOR	1,701.09 SQ. FT.
	3,390.53 SQ. FT.

EXISTING NON-HABITABLE AREA	
ATTIC SPACE (HT. OVER 5 FT.)	441.00 SQ. FT.
DETACHED GARAGE	384.82 SQ. FT.
SHED	96.80 SQ. FT.
	922.62 SQ. FT.
TOTAL EXISTING	4,313.15 SQ. FT.

EXISTING ENTRY PORCH	116.21 SQ. FT.
EXISTING COVERD PATIO	238.09 SQ. FT.
	354.30 SQ. FT.

TOTAL COVERAGE	2,525.36 SQ. FT.
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COVERAGE & F.A.R.

	SITE PLAN	17,015.71	SQ. FT. = 0.39 ac
COV:	ALLOWABLE	5,104.71	SQ. FT. = 30.00 %
	EXISTING	2,525.36	SQ. FT. = 14.84 %
	PROPOSED	N/A	SQ. FT. =
FAR:	ALLOWABLE	4,451.57	SQ. FT. = 26.16 %
	EXISTING	4,313.15	SQ. FT. = 25.34 %
	PROPOSED	N/A	SQ. FT. =

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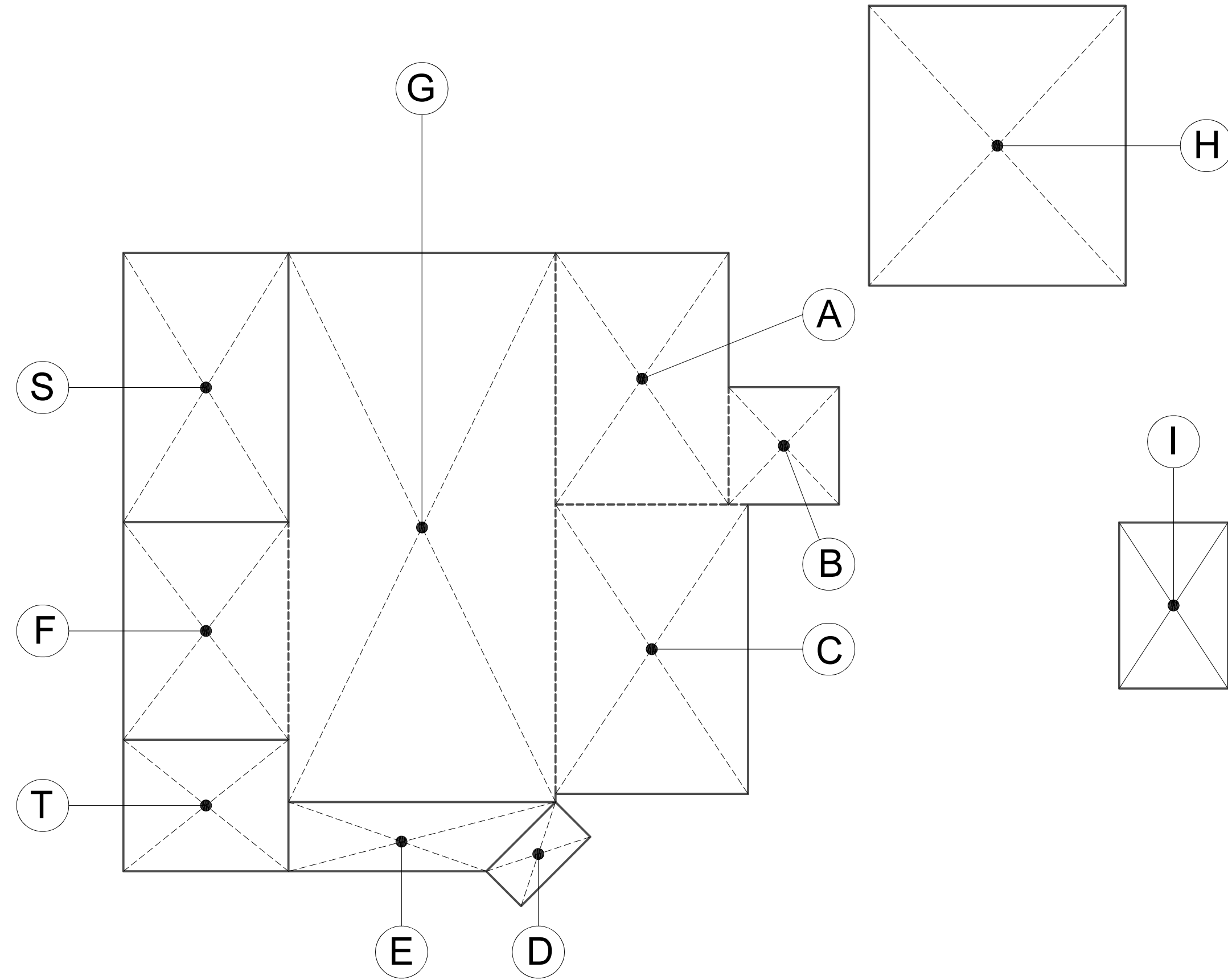
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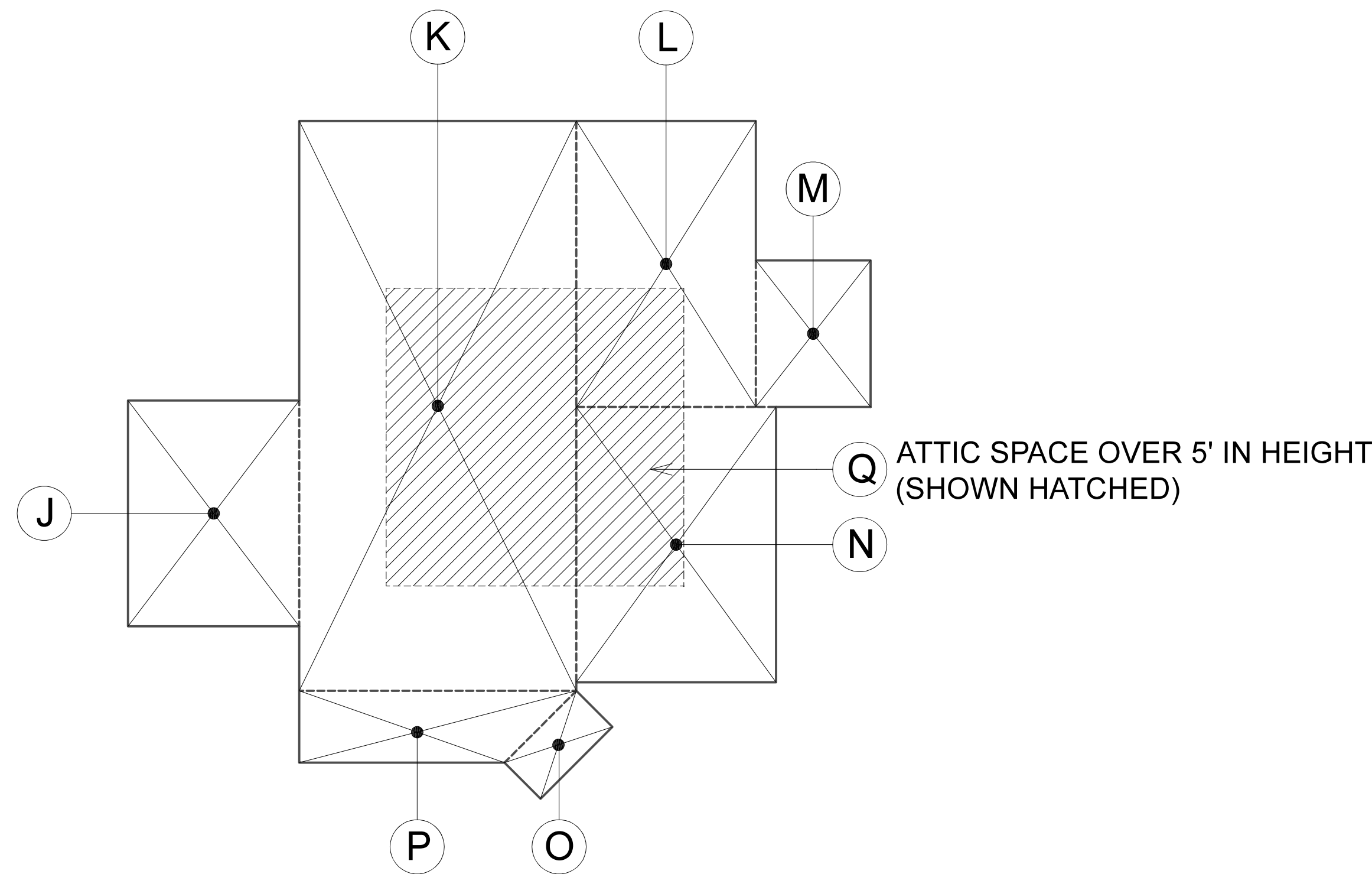
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SHEET

A1.0



MAIN FLOOR AREA DIAGRAM



MAIN FLOOR AREA DIAGRAM

FLOOR DIAGRAM & AREA CALCULATIONS

1/8" = 1'-0"

(E) MAIN FLOOR HABITABLE AREA CAL'CS

A	12.66'	X	18.41'	233.07	S.F.
B	8.08'	X	8.58'	69.32	S.F.
C	14.08'	X	21.16'	297.93	S.F.
D	3.60'	X	7.16'	25.77	S.F.
E	$\frac{14.47' + 19.54'}{2} \times 5.06$			86.04	S.F.
F	12.08'	X	15.91'	192.19	S.F.
G	19.54'	X	40.18'	785.12	S.F.
				1,689.44	S.F.

(E) MAIN FLOOR NON-HABITABLE AREA CAL'CS

H	18.79'	X	20.48' (GARAGE)	384.82	S.F.
I	8.00'	X	12.10' (SHED)	96.80	S.F.
TOTAL (E) HABITABLE SPACE				481.62	S.F.

(E) UPPER FLOOR HABITABLE AREA CAL'CS

J	12.08'	X	15.91'		192.19	S.F.
K	19.54'	X	40.18'		785.12	S.F.
L	12.66'	X	20.16'		255.22	S.F.
M	8.08'	X	10.33'		83.46	S.F.
N	14.08'	X	19.41'		273.29	S.F.
O	3.60'	X	7.16'		25.77	S.F.
P	<u>14.47'</u>	<u>+</u>	<u>19.54'</u>	X 5.06	86.04	S.F.
	2					
					1,701.09	S.F.

(E) ATTIC SPACE OVER 5' IN HEIGHT AREA CAL'CS

Q	21.00'	X	21.00'	441.00	S.F.
TOTAL EXISTING				4,313.15	S.F.

COVERAGE

HOUSE FOOTPRINT	1,689.44	S.F.
EXISTING DETACHED GARAGE	384.82	S.F.
EXISTING SHED	96.80	S.F.
S	12.08' X 19.71' (E) COV. PATO	238.09 S.F.
T	9.62' X 12.08' (E) COV. PORCH	116.21 S.F.
TOTAL COVERAGE		2,525.36 S.F.

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SHEET

A1.1



751 UNIVERSITY AVENUE



736 ORANGE AVENUE



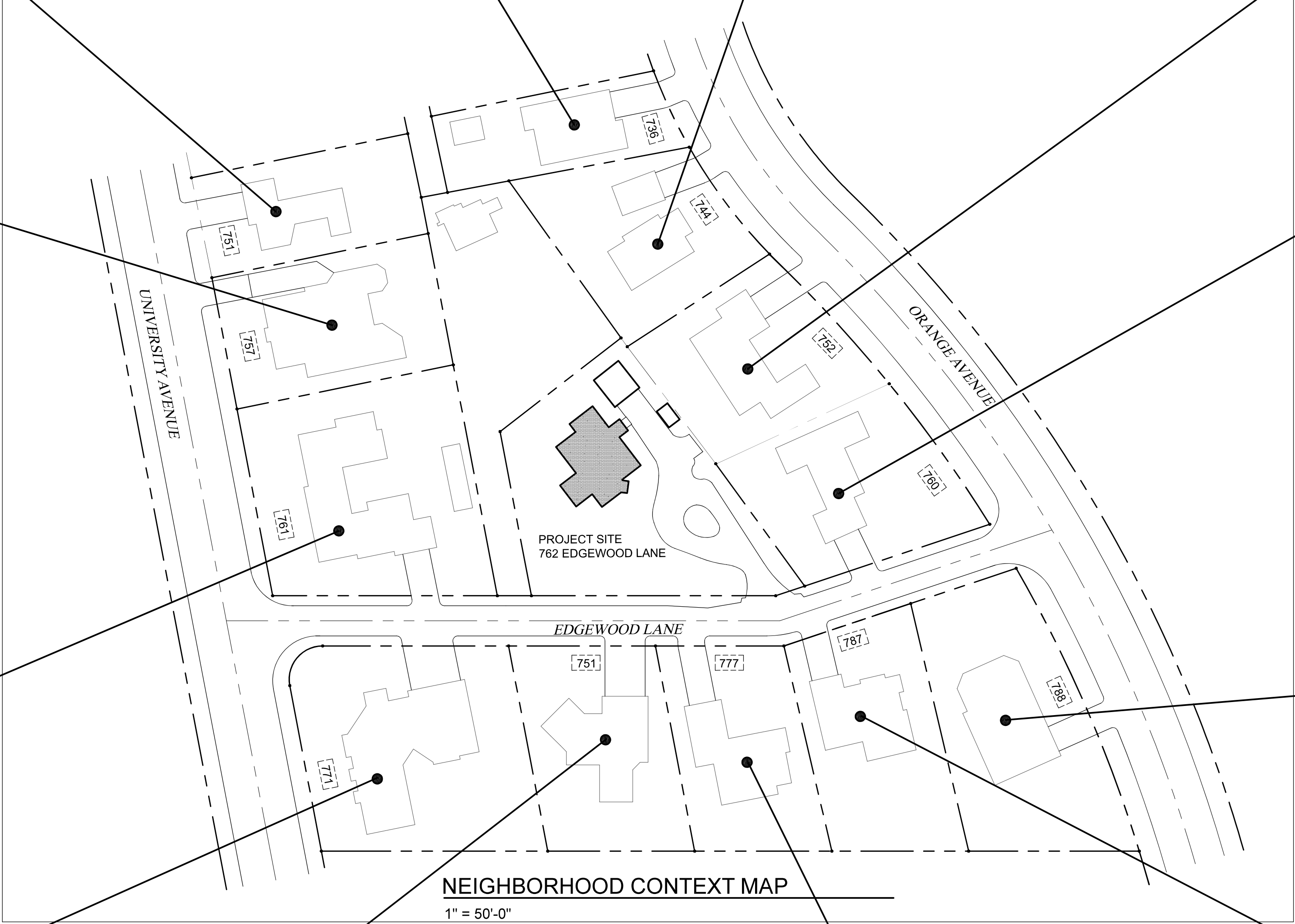
744 ORANGE AVENUE



752 ORANGE AVENUE



757 UNIVERSITY AVENUE



760 ORANGE AVENUE



761 UNIVERSITY AVENUE



788 ORANGE AVENUE



771 UNIVERSITY AVENUE



761 EDGEWOOD LANE



777 EDGEWOOD LANE



787 EDGEWOOD LANE

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William Chapman

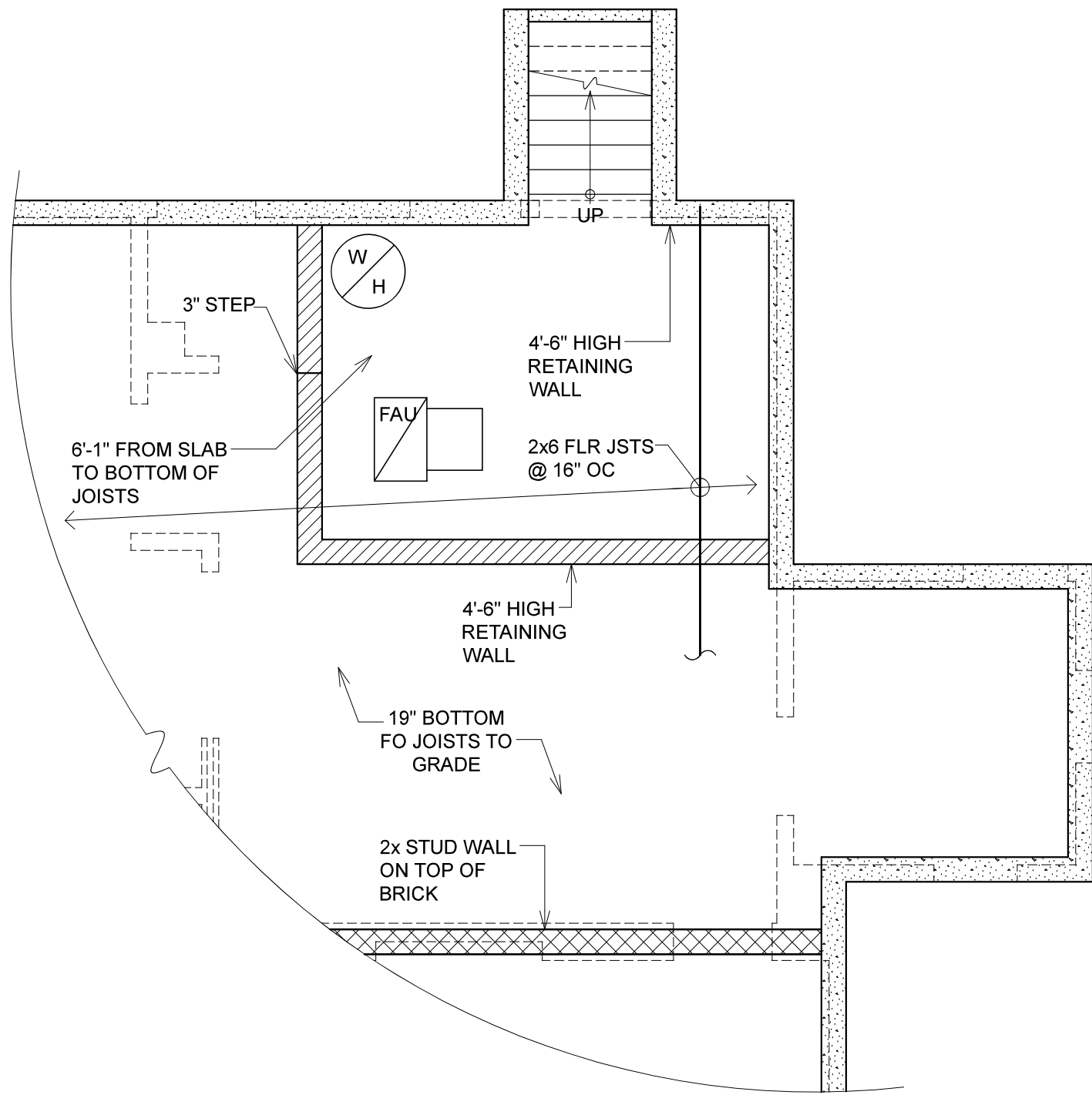
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SHEET

A1.2

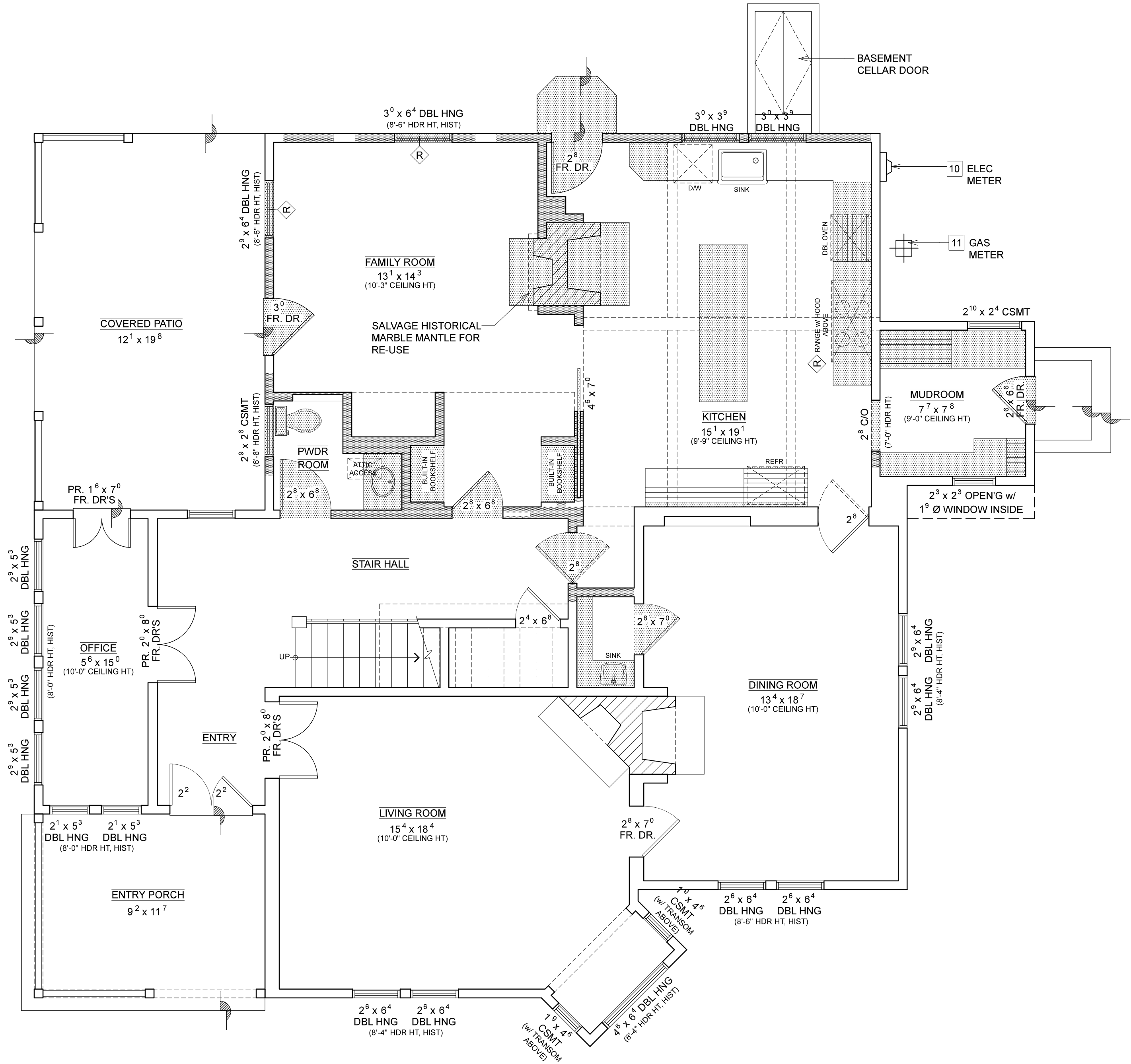
BASEMENT PLAN

1/4" = 1'-0"



MAIN FLOOR DEMOLITION PLAN

1/4" = 1'-0"



GENERAL NOTES

- I PLUMBING CAP OFF, EXTEND OR RELOCATE AFFECTED WATER SUPPLY, DRAIN AND WASTE LINES AS REQUIRED
- II ELECTRICAL REPLACE (OR RELOCATE AS REQUIRED) ALL EXISTING WIRING DAMAGED OR REMOVED DURING CONSTRUCTION
- III DUCTWORK REPLACE, RELOCATE OR EXTEND (AS REQUIRED) ALL EXISTING DUCTWORK DAMAGED OR REMOVED DURING CONSTRUCTION
- IV BRACING CONTRACTOR TO PROVIDE BRACING (WHEN REQUIRED) FOR AREAS WHERE WALLS ARE REMOVED AND WHERE TEMPORARY SUPPORT IS REQUIRED
- V DISPOSAL ALL DEBRIS IS TO BE DISPOSED OF AT AN APPROVED DUMPING LOCATION
- VI HAZARDOUS MATERIALS IF LEAD PAINT, ASBESTOS, ETC., ARE FOUND AT THE JOB SITE, STOP WORK IMMEDIATELY AND CONTACT OWNER AND C.D.A. FOR INSTRUCTIONS

DEMOLITION NOTES

- 1 DOORS REMOVE, SALVAGE OR DISCARD PER OWNER
- 2 WINDOWS & SKYLIGHTS REMOVE, SALVAGE OR DISCARD PER OWNER
- 3 CABINETRY REMOVE, SALVAGE OR DISCARD PER OWNER
- 4 FLOOR COVERINGS PROTECT EXISTING HARDWOOD FLOORS DURING CONSTRUCTION
- 5 LIGHT FIXTURES REMOVE, SALVAGE OR DISCARD PER OWNER
- 6 APPLIANCES REMOVE, SALVAGE OR DISCARD PER OWNER
- 7 LANDSCAPE PROTECT WHERE POSSIBLE
- 8 FLATWORK REMOVE AND DISCARD AS NEEDED
- 9 VENEER N/A
- 10 ELECTRICAL METER EXISTING TO REMAIN
- 11 GAS METER EXISTING TO REMAIN

LEGEND

- EXISTING WALLS TO REMAIN
- EXISTING WALLS, CASEWORK, FIXTURES, ETC. TO BE REMOVED
- (E) EXISTING TO REMAIN
- (R) EXISTING TO BE REMOVED
- EXISTING TO BE RELOCATED

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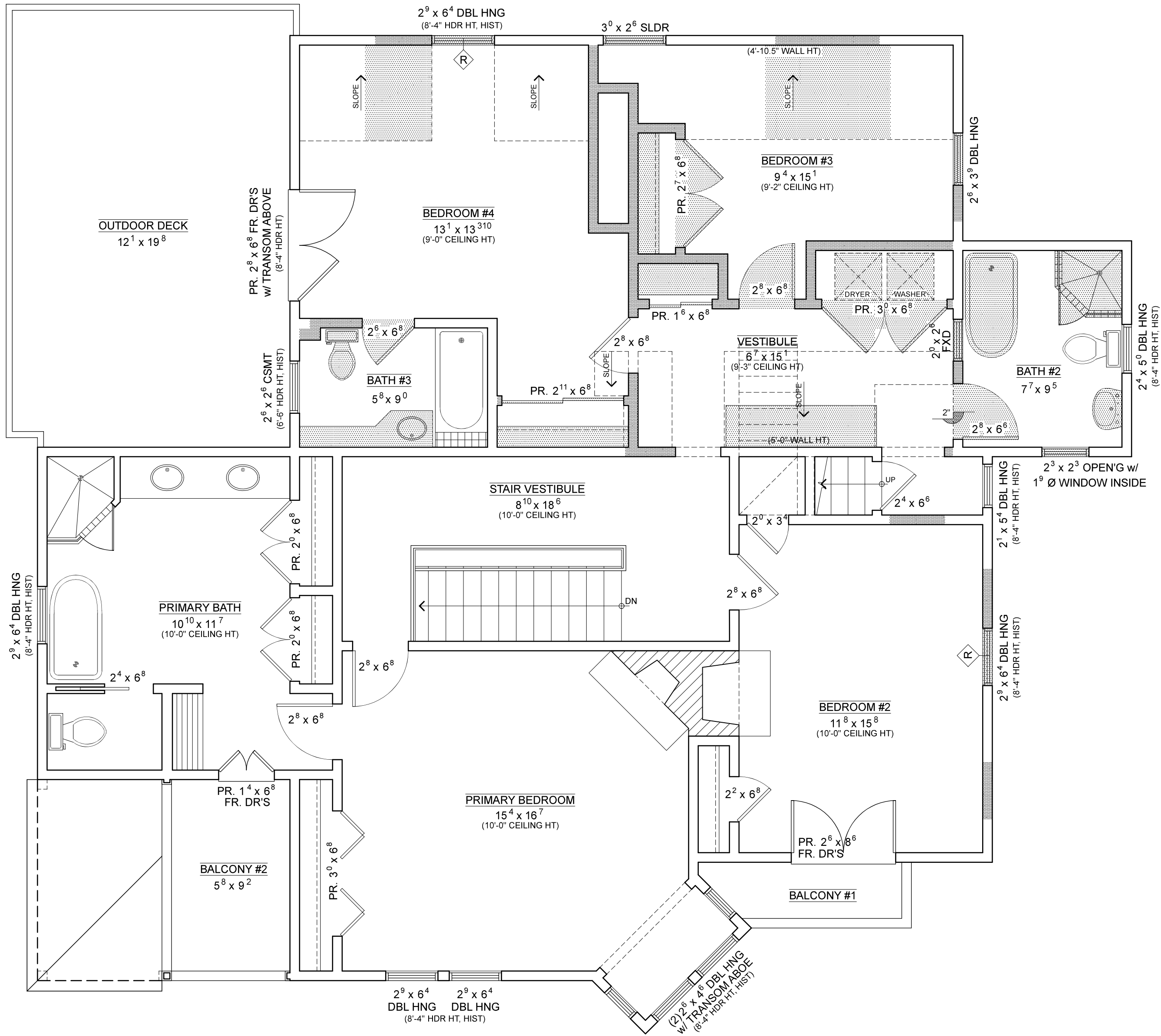
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SHEET

A2.0



UPPER FLOOR DEMOLITION PLAN

1/4" = 1'-0"

GENERAL NOTES

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- V DISPOSAL ALL DEBRIS IS TO BE DISPOSED OF AT AN APPROVED DUMPING LOCATION
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- 9 VENEER N/A
- 10 ELECTRICAL METER EXISTING TO REMAIN
- 11 GAS METER EXISTING TO REMAIN

LEGEND

- EXISTING WALLS TO REMAIN
- EXISTING WALLS, CASEWORK, FIXTURES, ETC. TO BE REMOVED
- (E) EXISTING TO REMAIN
- (R) EXISTING TO BE REMOVED
- R EXISTING TO BE RELOCATED

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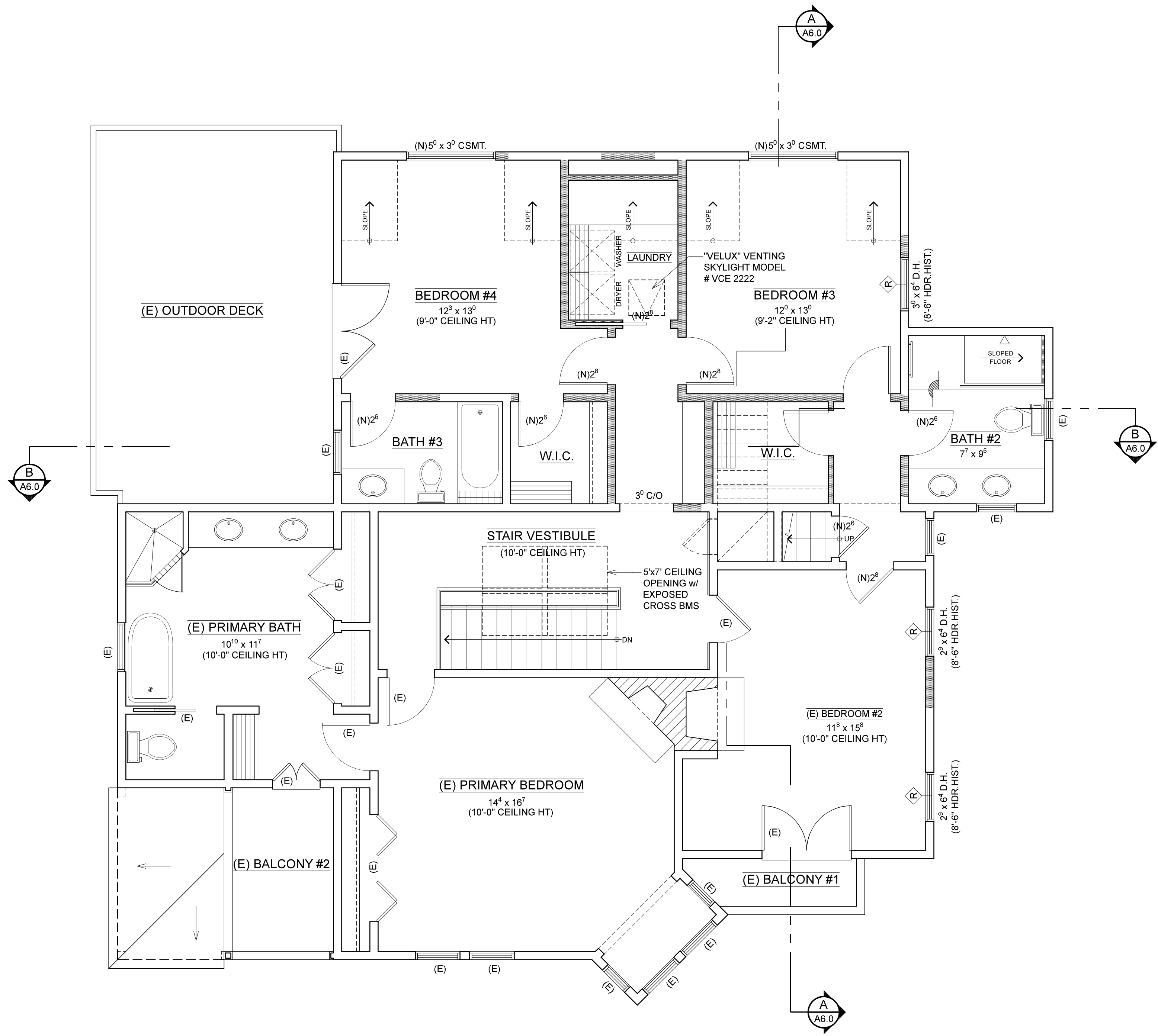
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SHEET

A2.1

$$1/4" = 1'-0"$$

A3.0



PROPOSED UPPER FLOOR PLAN

1/4" = 1'-0"

GENERAL NOTES

- I EGRESS** ALL BEDROOMS TO HAVE WINDOWS MEETING EGRESS REQUIREMENTS PER SEC. 310 & 311 CRC 2022.
- MIN. NET CLEAR OPENABLE AREA 5.7 S.F.
 - MIN. NET CLEAR OPENABLE WIDTH = 20"
 - MIN. NET CLEAR OPENABLE HEIGHT = 24"
- II GARAGE COMMON WALL** GARAGE SHALL BE SEPARATED FROM THE DWELLING UNIT AND ITS ATTIC AREA BY MEANS OF MIN. ½" GYPSUM BOARD (5/8" MIN. @ ATTIC) APPLIED TO THE GARAGE SIDE PER CRC SEC. R302.5&6. DOOR OPENINGS BETWEEN A PRIVATE GARAGE AND DWELLING UNIT SHALL BE EQUIPPED WITH EITHER SOLID WOOD DOORS OR SOLID / HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1¾" THICK & SHALL BE SELF-CLOSING & SELF-LATCHING
- III STAIRWAYS** DESIGN SHALL CONFORM TO SEC. R311.7 CRC 2022. USABLE SPACE UNDER STAIR TO BE 1 HR. RATED CONSTRUCTION. 6'-8" MIN. HEADROOM CLEARANCE FROM TREAD NOSING TO SOFFIT ABOVE. STYLE & FINISH PER OWNER'S SPECIFICATIONS.
- 36" MINIMUM CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT (PROJECTION OF HANDRAIL INTO STAIRWAY TO BE 4.5" MAXIMUM ON EITHER SIDE)
- IV GUARDRAILS** DESIGN SHALL CONFORM TO SEC. R312.2 CRC 2022. GUARDRAIL IS REQUIRED ON THE OPEN SIDE OF THE STAIR LANDINGS AT 42" HIGH, WITH INTERMEDIATE RAILS AT 34"-38" HIGH
- V STAIR & HANDRAILS** DESIGN SHALL CONFORM TO SEC. R311.7.7 & R311.8.3 CRC 2022. STYLE AND FINISH PER OWNER SPECIFICATIONS
- VI FIREPLACE** DESIGN SHALL CONFORM TO CH. 10 CRC 2022, WITH NON-COMBUSTIBLE FACE & HEARTH. SEE SEC. R1001.9 CRC 2022 FOR FURTHER INFORMATION REGARDING THE HEARTH. SEE INTERIOR ELEVATIONS FOR SPECIFICATIONS
- VII TEMPERED GLASS** PROVIDE TEMPERED SAFETY GLASS AT HAZARDOUS LOCATIONS PER SEC. R308.4 CRC 2022
- VIII FIRE BLOCKS** PROVIDE FIRE BLOCKING IN ALL AREAS AS DESCRIBED, OUTLINED & DEFINED IN SEC. R302.11, R302.8 & R1001.12 CRC 2022
- IX WATER CLOSETS** PROVIDE 24" MIN. CLEARANCE IN FRONT OF WATER CLOSET BOWL AND 30" MIN. CLEAR WIDTH FOR WATER CLOSET SPACE (SEC. 407.6 2022 CPC)
- X SHOWERS** ALL SHOWERS SHALL CONFORM TO SECTION R307 2022 CRC
- ALL GLASS SHOWER ENCLOSURE TO BE OF TEMPERED GLASS
 - ALL SHOWER DOORS SHALL OPEN SO AS TO MAINTAIN NOT LESS THAN 22 INCHES UNOBSTRUCTED OPENING FOR EGRESS (2022 CPC 408.5)
- XI WATER CONSERVING FIXTURES** ALL (N) PLUMBING FIXTURES (AS OUTLINED IN SEC. 402, 2022 CPC) SHALL CONFORM TO SEC. 402, 2019 CPC
- WATER CLOSETS TO HAVE A MAXIMUM WATER USE OF 1.28 GPF
 - SHOWERHEADS TO HAVE A MAXIMUM FLOW USE OF 1.8 GPM @ 80 psi
 - BATHROOM FAUCETS TO HAVE A MAXIMUM FLOW USE OF 1.2 GPM @ 80 psi
 - KITCHEN SINK FAUCETS TO HAVE A MAXIMUM FLOW USE OF 1.8 GPM @ 80 psi

ROOM FINISH SCHEDULE

SEE ARCHITECTURAL SPECIFICATIONS SHEET FOR ABBREVIATIONS

ROOM NAME	FLOOR	BASEBOARD	WALLS	CEILING	RE-MARKS

LEGEND

- WINDOW - SEE "WINDOW SCHEDULE" ON SHEET A - FOR FURTHER SPECIFICATIONS
- DOOR - SEE "DOOR SCHEDULE" ON SHEET A - FOR FURTHER SPECIFICATIONS
- EXISTING WALLS TO REMAIN
- NEW WALLS
- (E) EXISTING
- (N) NEW
- (R) RELOCATED

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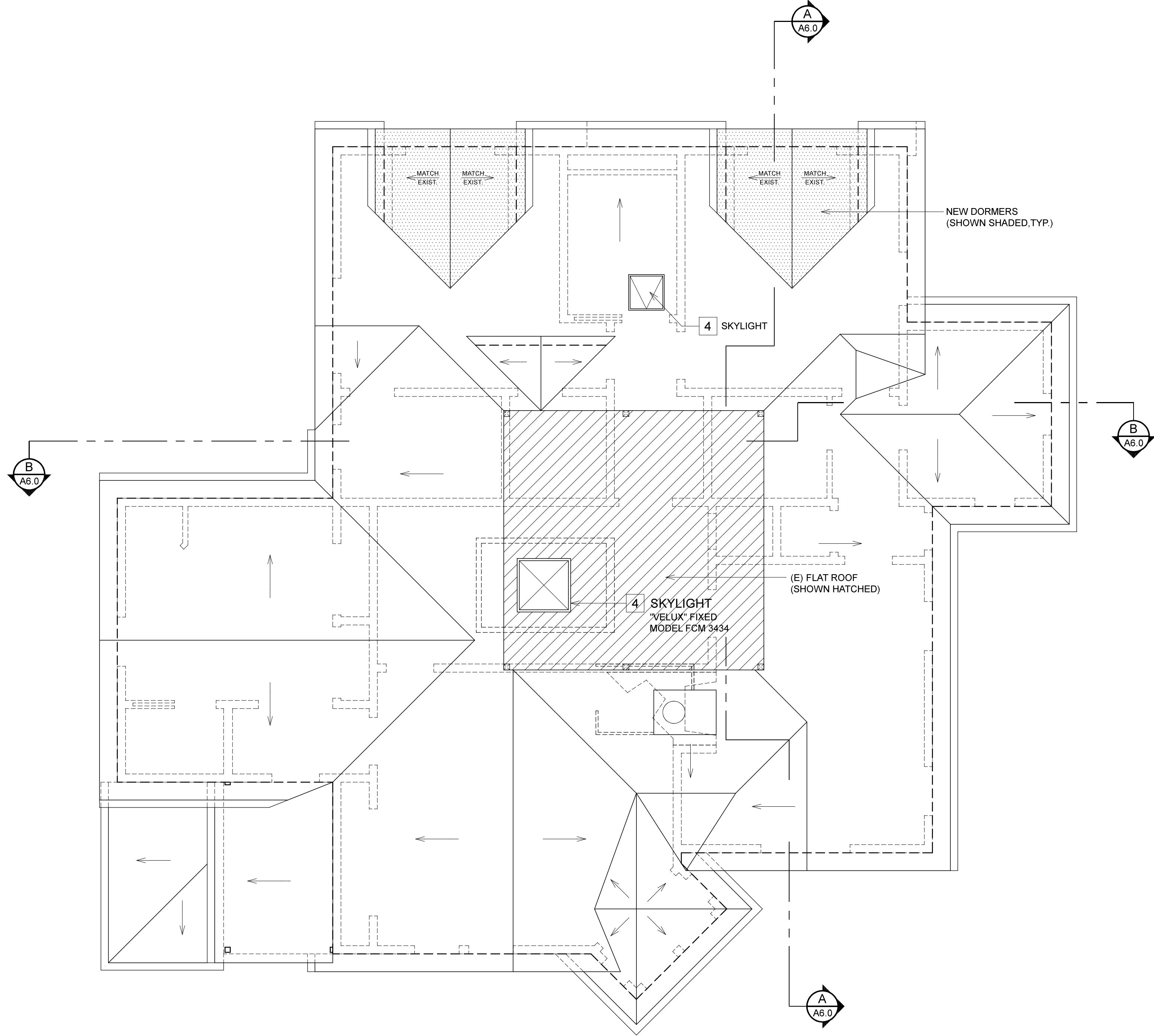
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SHEET

A3.1



ROOF PLAN

1/4" = 1'-0"



GENERAL NOTES

- I ROOF JACKS WHENEVER POSSIBLE, LOCATE ROOF JACKS WHERE THEY ARE NOT VISIBLE
- II VALLEY FLASHING 24 GA. G.I. "L" FLASHING @ ALL VALLEYS
- III CRICKET FLASHING 24 GA. G.I. OVER 1/8" D.F. CDX PLYWOOD (OR BETTER) - 1/2" MIN. SLOPE
- IV ATTIC VENTILATION PROVIDE ATTIC VENTILATION AS OUTLINED IN SEC. R806.2, 2022 CRC
- V FIREPLACE & CHIMNEY DESIGN AND CONSTRUCTION TO FOLLOW PARAMETERS AS OUTLINED IN CHAPTER 10 OF THE 2022 CRC

ROOF PLAN NOTES

- 1 ROOFING MATCH EXISTING FISHSCALE TYPE COMPOSITION SHINGLE
- 2 GUTTERS MATCH EXISTING OGEE GUTTER
- 3 DOWN SPOUTS MATCH EXISTING RECTANGULAR DOWNSPOUTS
- 4 SKYLIGHTS N/A

NOTE

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LOS ALTOS, CA 94022

CLIENT (JOB No. 22320)

YANG - YOON RESIDENCE

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CHAPMAN
DESIGN
ASSOCIATES

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LOS ALTOS, CA 94022 (650) 941-8890

SHEET

A3.2



GENERAL NOTES	
I STUCCO	REQUIREMENTS: 1) 3-COAT & 1/2" MIN. THICK 2) HAS 2 LAYERS OF GRADE D BUILDING PAPER 3) 26 GA. GALVANIZED WEEP SCREED AT FOUNDATION PLATE LINE AT LEAST 4" ABOVE GRADE OR 2" ABOVE CONCRETE OR PAVING (SEC. 2512.11, 2510.6 & 2512.1.2 CBC 2022)
II FLUE CLEARANCE	AS PER SECTION R1003.18 CRC 2022. 2'-0" ABOVE COMBUSTIBLE CONSTRUCTION @ 10'-0" AWAY
III CHIMNEY BRACING	AS PER CH. 10 CRC 2022
IV SPARK ARRESTOR	PROVIDE AS PER SEC. R1003.4.1 CRC 2022
IV TEMPERED GLASS	PROVIDE TEMPERED SAFETY GLASS @ HAZARDOUS LOCATIONS PER SEC. R308.4 CRC 2022

EXT. MATERIAL NOTES	
1 ROOFING	MATCH EXISTING FISHSCALE TYPE COMPOSITION SHINGLE
2 GUTTER	MATCH EXISTING OGEE GUTTER
3 DOWN SPOUTS	MATCH EXISTING RECTANGULAR DOWNSPOUTS
4 SIDING	MATCH EXISTING HORIZONTAL WOOD SIDINGS
5 TRIM	MATCH EXISTING 2x WOOD TRIM
6 STUCCO	N/A
7 VENEER	N/A
8 WINDOWS	DOUBLE GLAZED DOUBLE HANG WOOD WINDOWS
9 WINDOW TRIM	MATCH EXISTING 2x WOOD TRIM AND APRON
10 SKYLIGHTS	N/A
11 CHIMNEY	EXISTING TO REMAIN

LEGEND	
#	WINDOW - SEE "WINDOW SCHEDULE" ON SHEET A - FOR FURTHER SPECIFICATIONS
#	DOOR - SEE "DOOR SCHEDULE" ON SHEET A - FOR FURTHER SPECIFICATIONS

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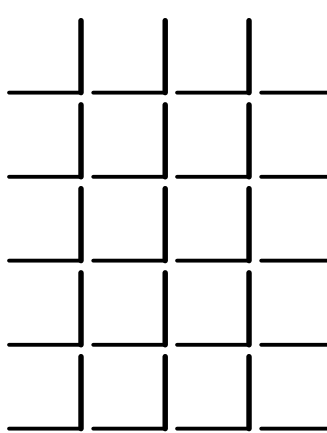
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SHEET

A5.0



EXISTING RIGHT SIDE ELEVATION

1/4" = 1'-0"



PROPOSED RIGHT SIDE ELEVATION

1/4" = 1'-0"

GENERAL NOTES

- I** STUCCO REQUIREMENTS: 1) 3-COAT & 1/2" MIN. THICK 2) HAS 2 LAYERS OF GRADE D BUILDING PAPER 3) 26 GA. GALVANIZED WEEP SCREED AT FOUNDATION PLATE LINE AT LEAST 4" ABOVE GRADE OR 2" ABOVE CONCRETE OR PAVING (SEC. 2512.11, 2510.6 & 2512.1.2 CBC 2022)
- II** FLUE CLEARANCE AS PER SECTION R1003.18 CRC 2022. 2'-0" ABOVE COMBUSTIBLE CONSTRUCTION @ 10'-0" AWAY
- III** CHIMNEY BRACING AS PER CH. 10 CRC 2022
- IV** SPARK ARRESTOR PROVIDE AS PER SEC. R1003.4.1 CRC 2022
- IV** TEMPERED GLASS PROVIDE TEMPERED SAFETY GLASS @ HAZARDOUS LOCATIONS PER SEC. R308.4 CRC 2022

EXT. MATERIAL NOTES

- 1** ROOFING MATCH EXISTING FISHSCALE TYPE COMPOSITION SHINGLE
- 2** GUTTER MATCH EXISTING OGEE GUTTER
- 3** DOWN SPOUTS MATCH EXISTING RECTANGULAR DOWNSPOUTS
- 4** SIDING MATCH EXISTING HORIZONTAL WOOD SIDINGS
- 5** TRIM MATCH EXISTING 2x WOOD TRIM
- 6** STUCCO N/A
- 7** VENEER N/A
- 8** WINDOWS DOUBLE GLAZED DOUBLE HANG WOOD WINDOWS
- 9** WINDOW TRIM MATCH EXISTING 2x WOOD TRIM AND APRON
- 10** SKYLIGHTS N/A
- 11** CHIMNEY EXISTING TO REMAIN

LEGEND

- # WINDOW - SEE "WINDOW SCHEDULE" ON SHEET A - FOR FURTHER SPECIFICATIONS
- # DOOR - SEE "DOOR SCHEDULE" ON SHEET A - FOR FURTHER SPECIFICATIONS

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SHEET

A5.1



EXISTING LEFT SIDE ELEVATION

1/4" = 1'-0"



PROPOSED LEFT SIDE ELEVATION

1/4" = 1'-0"

GENERAL NOTES

- I STUCCO REQUIREMENTS: 1) 3-COAT & 1/2" MIN. THICK 2) HAS 2 LAYERS OF GRADE D BUILDING PAPER 3) 26 GA. GALVANIZED WEEP SCREED AT FOUNDATION PLATE LINE AT LEAST 4" ABOVE GRADE OR 2" ABOVE CONCRETE OR PAVING (SEC. 2512.11, 2510.6 & 2512.1.2 CBC 2022)
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- 5 TRIM MATCH EXISTING 2x WOOD TRIM
- 6 STUCCO N/A
- 7 VENEER N/A
- 8 WINDOWS DOUBLE GLAZED DOUBLE HANG WOOD WINDOWS
- 9 WINDOW TRIM MATCH EXISTING 2x WOOD TRIM AND APRON
- 10 SKYLIGHTS N/A
- 11 CHIMNEY EXISTING TO REMAIN

LEGEND

- # WINDOW - SEE "WINDOW SCHEDULE" ON SHEET A - FOR FURTHER SPECIFICATIONS
- # DOOR - SEE "DOOR SCHEDULE" ON SHEET A - FOR FURTHER SPECIFICATIONS

NOTE

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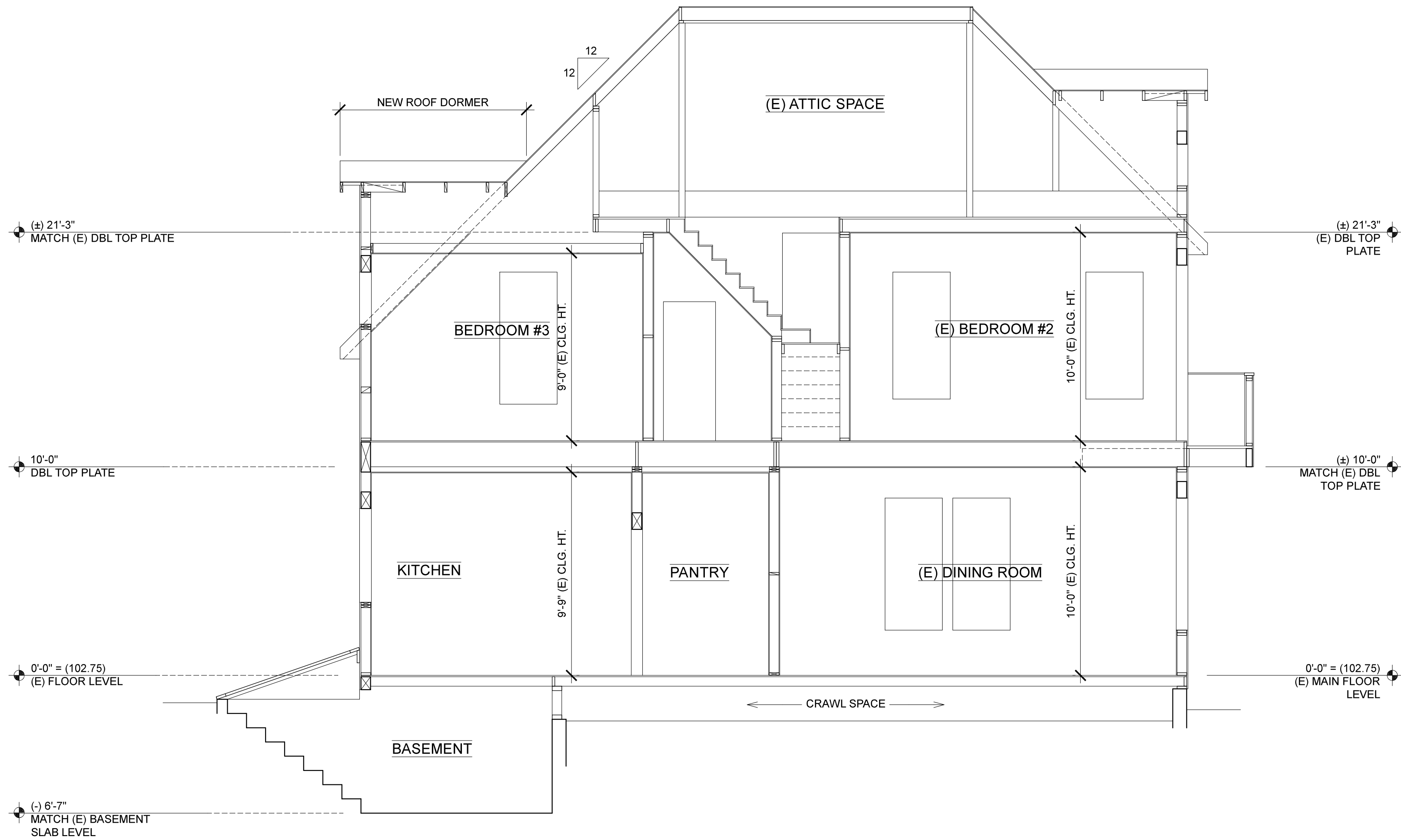
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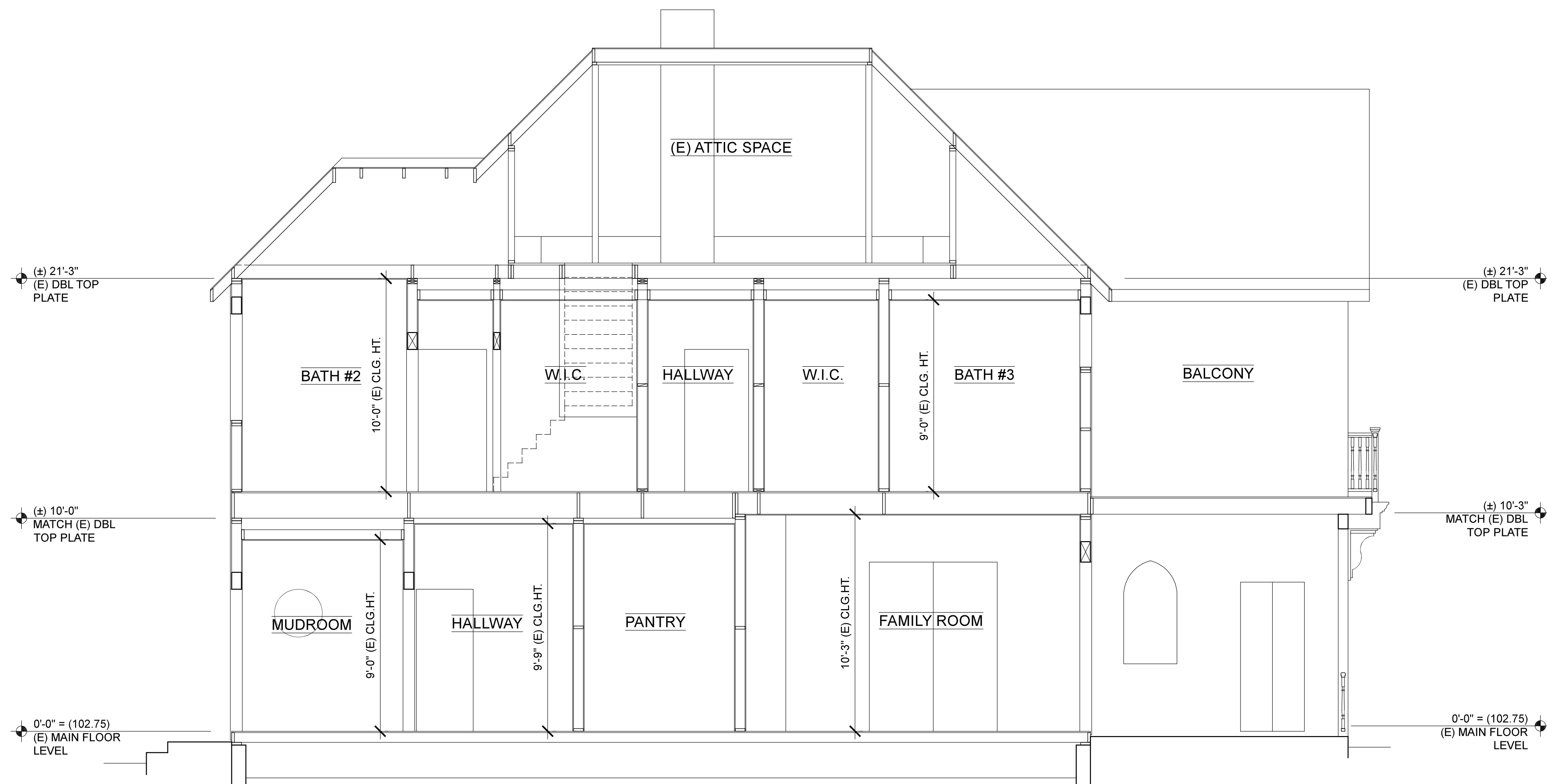
SHEET

A5.2



CROSS SECTION A - A

1/4" = 1'-0"



CROSS SECTION B - B

1/4" = 1'-0"

SECTION NOTES

- 1 ROOF ROOF MATERIAL (SEE ROOF PLAN FOR TYPE) O/ 30# UNDERLAYMENT O/ SHEATHING (SEE SHEATHING SCHEDULE FOR TYPE) O/ RAFTERS (SEE ROOF PLAN AND/OR ROOF FRAMING SCHEDULE FOR TYPE/SIZE & SPACING), TYPICAL U.O.N.
- 2 CEILING @ ATTIC CEILING JOISTS (SEE FRAMING PLAN AND/OR FLOOR/CEILING FRAMING SCHEDULE FOR TYPE/SIZE & SPACING) w/ 1/2" SHETROCK, TYPICAL U.O.N.
- 3 EXTERIOR WALL EXTERIOR FINISH (SEE EXTERIOR ELEVATIONS FOR TYPE) O/ 2 LAYERS CLASS "D" BUILDING PAPER O/ SHEATHING (SEE SHEATHING SCHEDULE FOR TYPE) O/ 2x4 STUDS @ 16"o.c. (2x6 STUDS @ MAIN PLUMBING WALLS) W/ DOUBLE 2x4 TOP PLATE & 2x4 SOLE PLATE W/ 1/2" SHEET ROCK @ INSIDE FACE, TYPICAL U.O.N.
- 4 INTERIOR WALL 2x4 STUDS @ 16"o.c. (2x6 STUDS @ MAIN PLUMBING WALLS) W/ DOUBLE 2x4 TOP PLATE & 2x4 SOLE PLATE W/ 1/2" SHEET ROCK BOTH SIDES, TYPICAL U.O.N.
- 5 FLOOR FLOOR SHEATHING (SEE SHEATHING SCHEDULE FOR TYPE) O/ FLOOR JOISTS (SEE FRAMING PLAN AND/OR FLOOR/CEILING FRAMING SCHEDULE FOR TYPE/SIZE & SPACING), TYPICAL U.O.N.
- 6 FLOOR w/ CEILING FLOOR SHEATHING (SEE SHEATHING SCHEDULE FOR TYPE) O/ FLOOR JOISTS (SEE FRAMING PLAN AND/OR FLOOR/CEILING FRAMING SCHEDULE FOR TYPE/SIZE & SPACING) W/ 1/2" SHEET ROCK, TYPICAL U.O.N.
- 7 CRAWL SPACE SLAB 16" CONCRETE SLAB w/ #5 @ 6" O.C. EA. WAY @ BOTTOM & #5 @ 10" O.C. @ TOP of APPROVED WATER PROOF MEMBRANE of 4" CRUSHED ROCK
- 8 CONCRETE SLAB 5" CONCRETE SLAB w/ #4 BARS @ 18" O.C. of 8" CLASS II CLEAN CRUSHED ROCK
- 9 GARAGE SLAB 5" CONCRETE SLAB w/ #4 BARS @ 18" O.C. of 15 mil VISQ of 8" CLASS II CLEAN CRUSHED ROCK
- 10 INSULATION ATTIC INSULATION R -
EXTERIOR WALL INSULATION R -
RAISED FLOOR INSULATION R -

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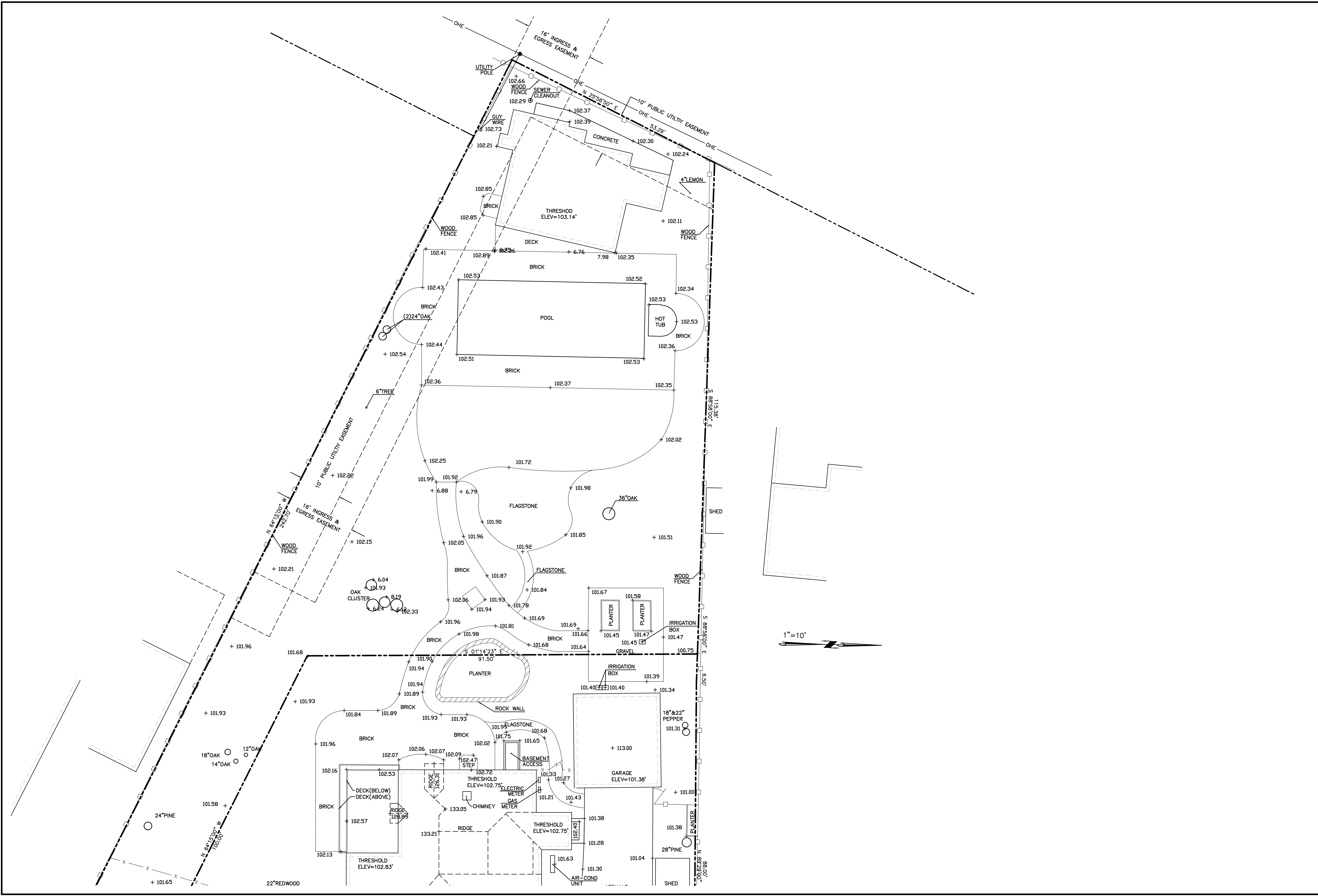
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SHEET

A6.0

01-10-2
DATE



TOPOGRAPHIC SURVEY OF 762 EDGEWOOD LANE		TOWN OF LOS ALTOS SAN MATEO COUNTY CALIFORNIA		SAVIOR P. MICALLEF LAND SURVEYING 3211 WOOD DRIVE SOUTH SAN FRANCISCO, CA 94080 805/7708-2423	
Revisions		No.			
Date 01-10-24		Scale 1"=10'			
Design		SPM			
Drawn		SPM			
Approved		SPM			
Job No.					
Drawing Number:					
2 OF 2					