

TWO STORY ADDITION/ REMODEL

265 MOUNT HAMILTON AVE., LOS ALTOS, CA 94024

Designer: *A. Dulay*
aks BUILDING DESIGN
 AKS BUILDING DESIGN
 AMAN DULAY
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The use of these plans and specifications shall be restricted to the specific site for which they were prepared and publication thereof shall be expressly limited to such use. Reuse, reproduction or publication by any method, in whole or in part, is prohibited. Title to the plans and specifications remains with "AKS BUILDING DESIGN" without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of the restrictions.

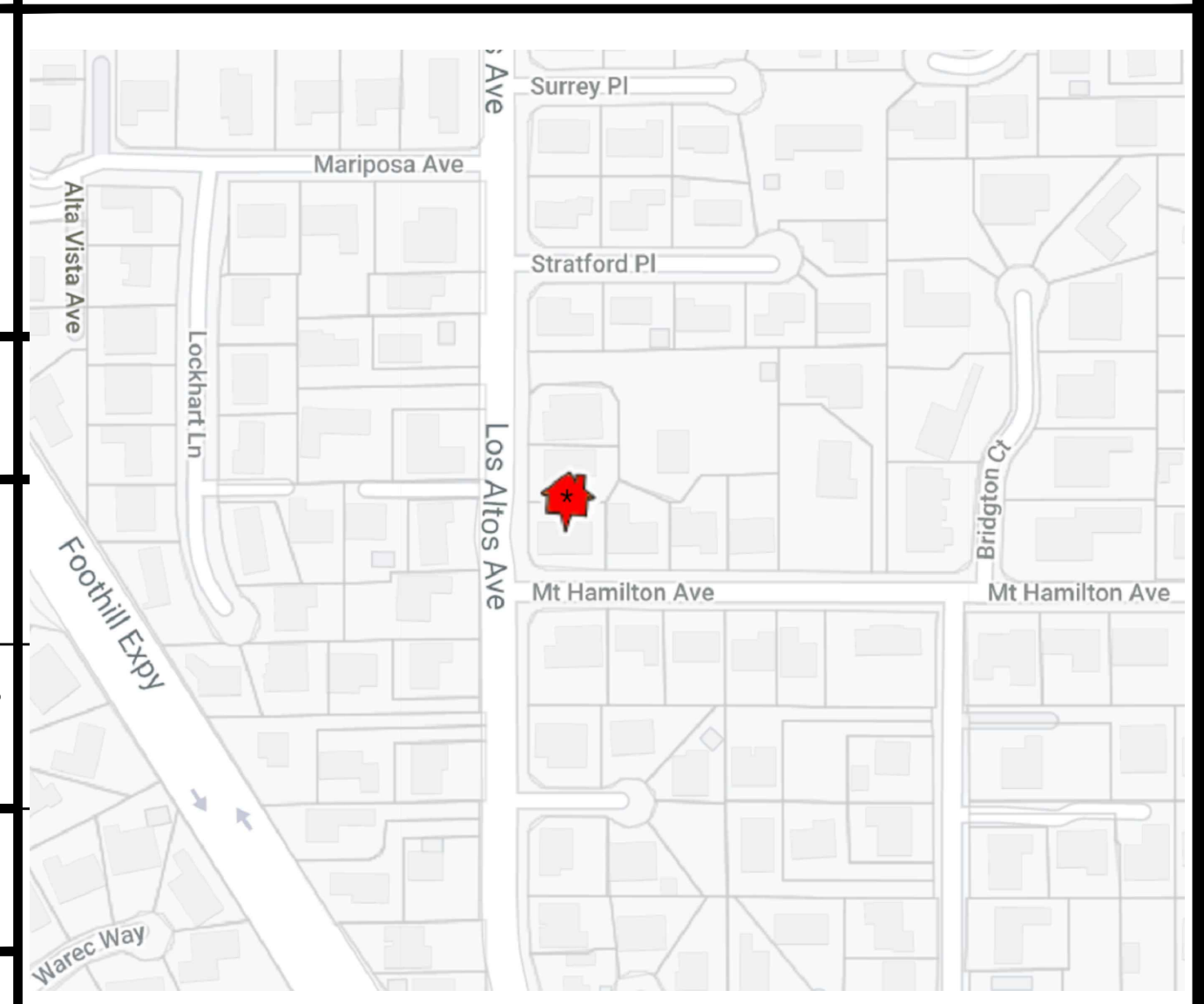
Project:
Single Family Residence
 TWO STORY ADDITION/ REMODEL
 265 MOUNT HAMILTON AVE.
 LOS ALTOS, CA 94024
 APN: 167-31-017

Owners:
 BEHZAD KASHANI
 265 MOUNT HAMILTON AVE.
 LOS ALTOS, CA 94024

PROJECT DATA

A.P.N.: 163-31-017
 ZONING: R1-10
 EXISTING USE: RESIDENTIAL
 TYPE OF CONSTRUCTION: V-B
 OCCUPANCY: R-3/U

VICINITY MAP



CONSULTANTS

1- ARCHITECTURAL: AKS BUILDING DESIGN (408) 375-8351
 Designer: Aman Dulay
 17871 LOS ALAMOS DR.
 SARATOGA, CA 95070
 2- CIVIL/ SURVEY: SMP ENGINEERS (650) 941-8755
 1534 CAROB LANE
 LOS ALTOS, CA 94024

SCOPE OF WORK

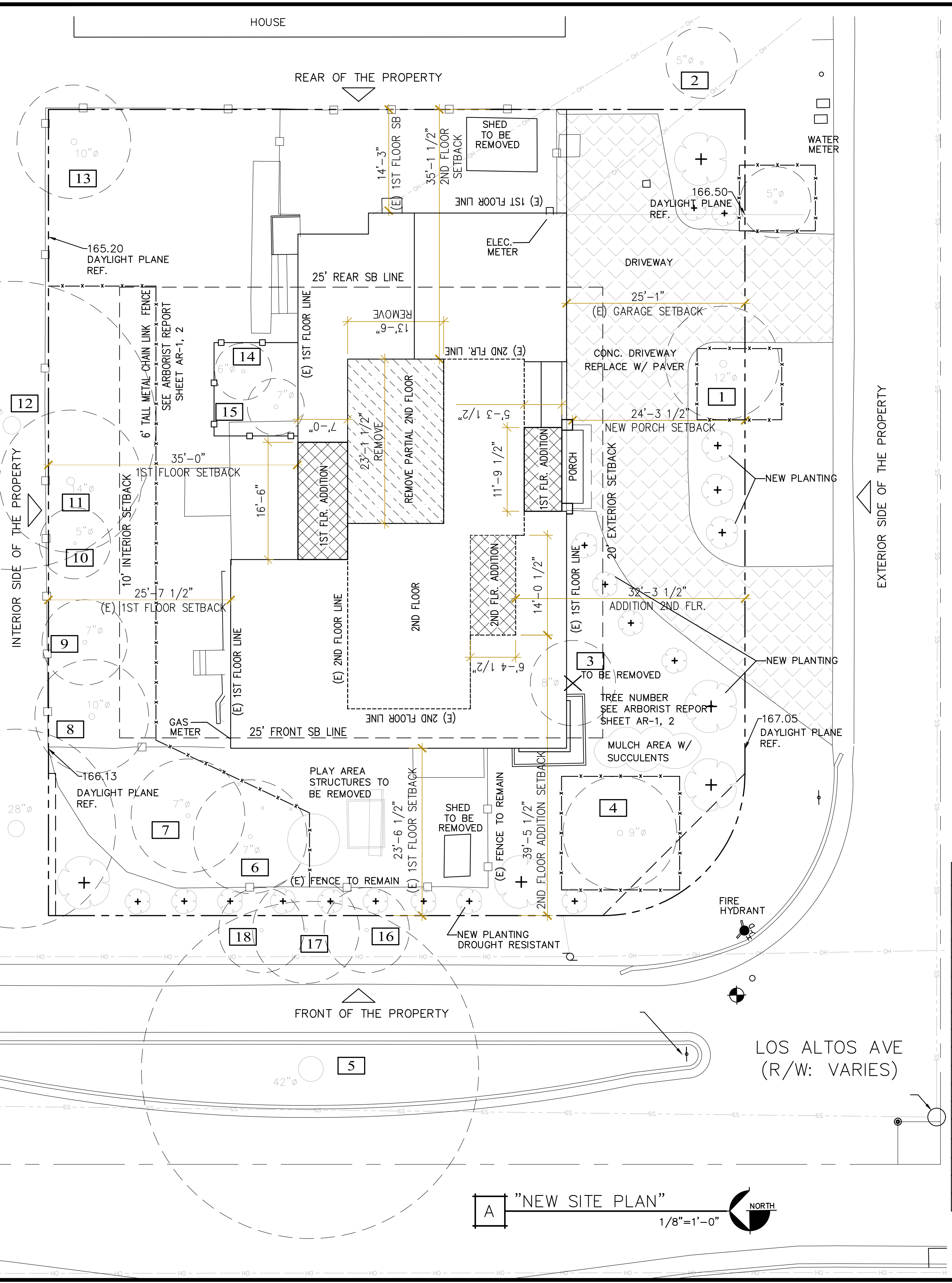
*TOTAL LIVING ADDITION OF 308 SF (219 SF: 1ST FLOOR & 89 SF: 2ND FLOOR)
 *REMOVE PART OF 2ND FLOOR AREA: 312 SF (REMOVE BATH & PARTIAL GAME RM)
 *REMODEL EXISTING HOUSE (1,170 SF)

DRAWING INDEX

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- A-5.02 FLOOR AREA CALCS.
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- A-6 NEW 2ND FLOOR PLAN
- A-7 NEW ROOF PLAN
- A-8 NEW EXTERIOR ELEVATIONS
- A-9 NEW EXTERIOR ELEV/ SECTION

APPLICABLE BUILDING CODES

CALIFORNIA RESIDENTIAL CODE (CRC)	2019 EDITION
CALIFORNIA BUILDING CODE (CBC)	2019 EDITION
CALIFORNIA MECHANICAL CODE (CMC)	2019 EDITION
CALIFORNIA PLUMBING CODE (CPC)	2019 EDITION
CALIFORNIA ELECTRIC CODE (CEC)	2019 EDITION
CALIFORNIA FIRE CODE (CRC)	2019 EDITION
GREEN BUILDING CODE	2019 EDITION
* ANY OTHER APPLICABLE LOCAL AND STATE LAWS AND REGULATIONS	



TREE TABLE

#	TREE NAME (COMMON)	(DBH)	(HT/SP)	COMMENTS
1	Birch	9.1	25/15	
2	Crape Myrtle	5.0	20/12	
3	African Fern Pine	7.3	8/3	REMOVE
4	Camelia	6.0	10/8	
5	Valley Oak	42.1	40/45	PRESERVE
6	Birch	4.1	25/8	
7	Red Maple	5.8	25/10	
8	Chinese Elm	7.7	25/20	
9	Japanese Maple	6.1	15/10	
10	Camelia	6.6	12/6	
11	Magnolia	14.0	30/20	
12	Redwood	30.0	80/25	PRESERVE
13	Cherry	13.8	15/8	
14	Birch	4.9	25/15	
15	Rhododendron	6.5	8/5	
16	Crab Apple	4.0	10/12	
17	Crab Apple	6.0	15/15	
18	Crab Apple	5.0	10/12	

ZONING COMPLIANCE

	Existing	Proposed	Allowed/Required
LOT COVERAGE: <i>Land area covered by all structures that are over 6 feet in height</i>	3,150 square feet (28.5%)	3,155 square feet (28.6%)	3,307.77 square feet (30%)
FLOOR AREA: <i>Measured to the outside surfaces of exterior walls</i>	3,867.5 square feet (35.07%)	3,848.5 square feet (34.9%)	3,852.5 square feet (35%)
SETBACKS:			
Front (Los Altos Ave)	23'6.5" feet	n/a feet	25 feet
Rear	14'3" feet	n/a feet	25 feet
Exterior side (1st/2nd)(Mt. Hamilton Ave)	25'1" feet/ 32'3.5" feet	24'3.5" feet/ 32'3.5" feet	20 feet/20 feet
Left side (1st/2nd)	25'7.5" feet/ 42'1" feet	35" feet/ n/a feet	10 feet/ 17.5 feet
HEIGHT:	23'3" feet	22'11.5" feet	27' feet

SQUARE FOOTAGE BREAKDOWN

	Existing	Change in	Total Proposed
HABITABLE LIVING AREA: <i>Includes habitable basement areas</i>	3,149.5 square feet	251 square feet	3,400.5 square feet
NON- HABITABLE AREA: <i>Does not include covered porches or open structures</i>	448 square feet	0 square feet	448 square feet

LOT CALCULATIONS

NET LOT AREA:	11,025.9 square feet
FRONT YARD HARDSCAPE AREA: <i>Along Los Altos Ave. No Hardscape area. Hardscape area in the front yard setback shall not exceed 50%</i>	0 square feet (0%)
LANDSCAPING BREAKDOWN:	Total hardscape area (existing and proposed): 2,044 sq ft Existing softscape (undisturbed) area: 7,701.9 sq ft New softscape (new or replaced landscaping) area: 1,280 sq ft Sum of all three should equal the site's net lot area

No.	Submittals	Date
1	PLANNING	9/15/2021
2	PLANNING	12/21/2021
3	PLANNING	5/5/2022
4	PLANNING	5/31/2022

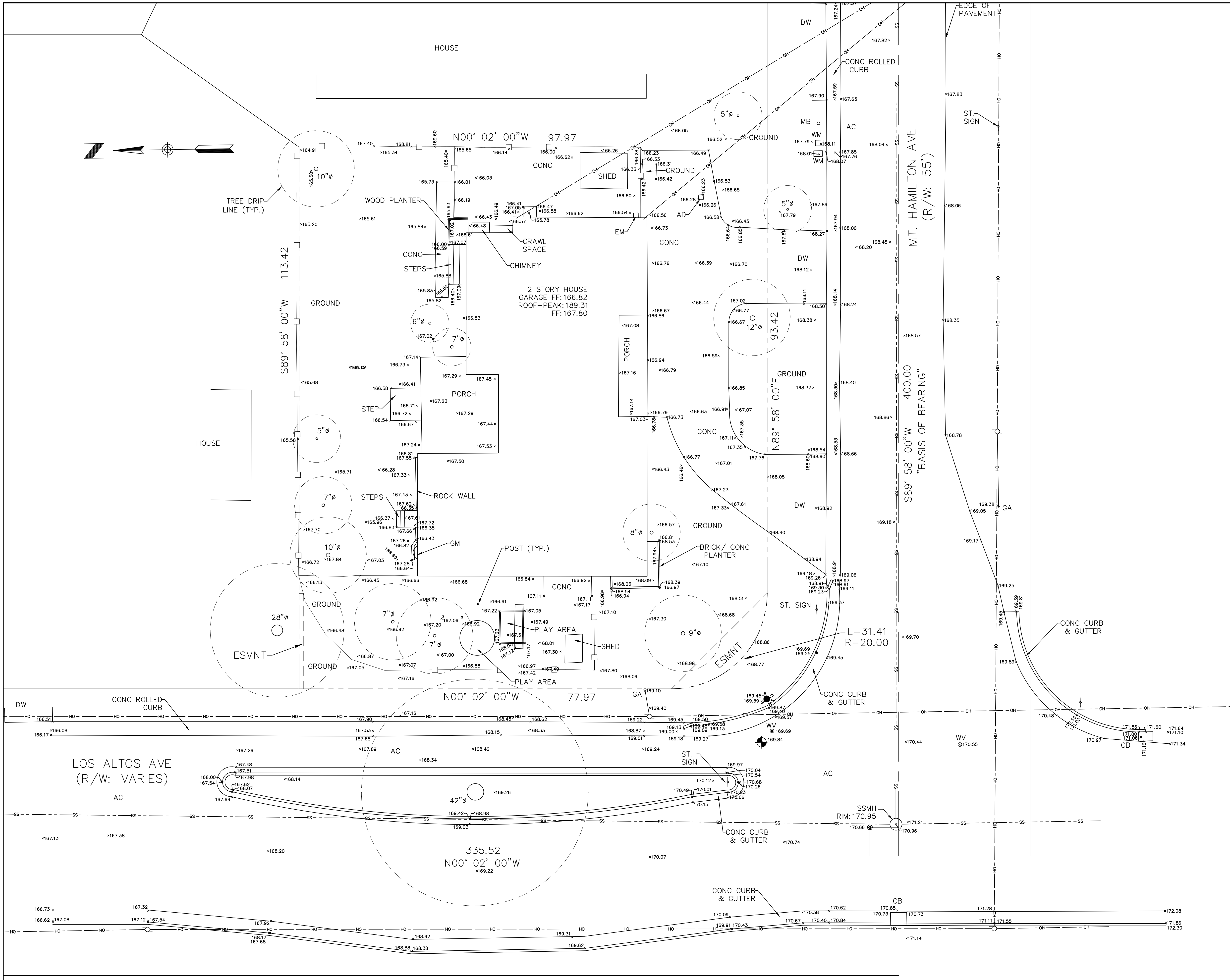
No.	Revision/Issue	Date
1	PLANNING	10/19/2021
2	PLANNING	2/2/2022

Project: MOUNT HAMILTON
 Scale: As Shown
 Date: 6/13/2022

Sheet Title:
 "COVER SHEET/
 PROJECT DATA"

Sheet No:

A-1



LEGEND

---	PROPERTY LINE	AC	ASPHALT
---	EXISTING LOTS	AD	AREA DRAIN
---	CENTERLINE	ANC	ANCHOR
---	EASEMENT LINE	BSBL	BUILDING SETBACK LINE
---	SANITARY SEWER LINE	C&G	CURB AND GUTTER
---	STORM DRAIN LINE	CB	CATCH BASIN
---	OVERHEAD POWER LINE	CO	CLEAN OUT
---	WOOD FENCE	DW	DRIVEWAY
---		EB	ELECTRIC BOX
---		EM	ELECTRIC METER
---		EP	EDGE OF PAVEMENT
---		FM	FIRE HYDRANT
---		GA	GUY ANCHOR
---		GM	GAS METER
---		GV	GAS VALVE
---		IV	IRRIGATION VALVE
---		LP	LIGHT POLE
---		MB	MAIL BOX
---		MH	UTILITY MANHOLE
---		P.U.E.	PUBLIC UTILITY EASEMENT
---		P	BRICK CONC PILLAR
---		PP	POWER POLE
---		(R)	RADIAL BEARING
---		SL	STREET LIGHT
---		SDMH	STORM DRAINAGE MANHOLE
---		SSMH	SANITARY SEWER MANHOLE
---		SSCO	SANITARY SEWER CLEAN OUT
---		TCD	THROUGH CURB DRAIN
---		TS	TRAFFIC SIGN
---		VG	VALLEY GUTTER
---		WM	WATER METER
---		WV	WATER VALVE

DISCLAIMER:
SMP ENGINEERS OR ITS OFFICERS OR AGENTS SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ELECTRONIC COPIES OF THIS PLAN.

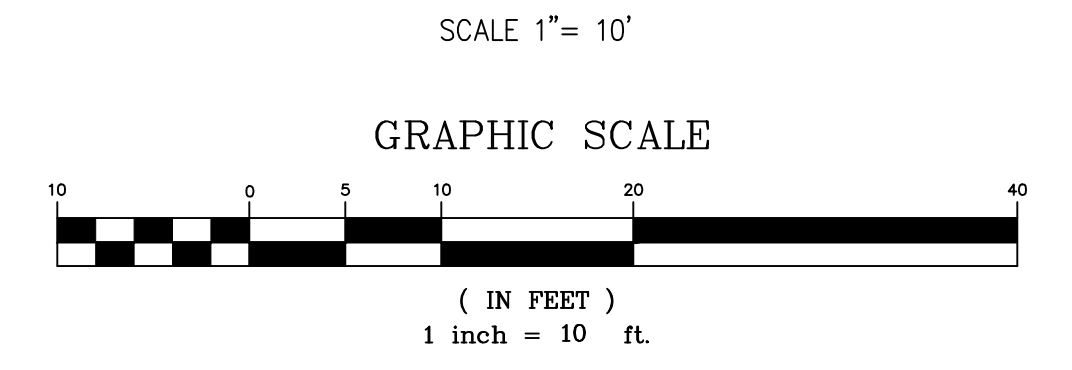
NOTE:
THIS MAP REPRESENTS TOPOGRAPHY OF THE SURFACE FEATURES ONLY. UNLESS SPECIFIED ON THIS MAP, LOCATIONS OF THE UNDERGROUND UTILITIES ARE NEITHER INTENDED NOR IMPLIED. FOR THE LOCATIONS OF UNDERGROUND UTILITIES CALL "USA" (1-800-642-2444). SURFACE FEATURES ARE LOCATED BY MEANS OF A STATION AND OFFSET FROM THE CONTROL LINE.

BASIS OF BEARINGS:
FOUND SURVEY MONUMENTS. RECORD INFORMATION WAS USED, PER RECORD MAP, BOOK:93 PAGE:56 WHICH IS FILED IN THE COUNTY OF SANTA CLARA RECORDER'S OFFICE.

PROJECT BENCHMARK:
S.C.V.W.D. BENCHMARK#288
ELEVATION=186.08' (NAVD 88 DATUM)

SITE BENCHMARK:
SURVEY CONTROL SET MAG NAIL
ELEVATION=169.84' (NAVD 88 DATUM)

- NOTES:**
- ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMALS THEREOF.
 - THE GROSS AREA OF LAND OF RECORD IS 11,025.92 SQ. FT. ±.
 - THE MAP WAS BASED ON AN INTERSPOUSAL TRANSFER GRANT DEED DOC.# 22440179 BY FIRST AMERICAN TITLE CO. DATED 11/08/2013, RECORDED IN SANTA CLARA COUNTY.
 - ALL EXISTING BUILDINGS ARE WOOD.
 - FOR PRECISE SPECIES OF TREES A CERTIFIED ARBORIST SHALL BE CONSULTED.
 - THIS DRAWING REPRESENTS A TOPOGRAPHIC SURVEY PREPARED IN CONFORMANCE WITH THE REQUIREMENTS OF THE LAND SURVEYORS ACT. THE PROPERTY LINES SHOWN HEREON ARE COMPILED FROM RECORD DATA AND REPRESENT THE BEST GRAPHICAL FIT BETWEEN RECORD INFORMATION AND THE TOPOGRAPHICAL FEATURES SURVEYED AND SHOULD NOT BE RELIED UPON OR USED FOR ANY OTHER PURPOSES. PURSUANT TO THE CLIENT'S DIRECTION A BOUNDARY SURVEY WAS NOT PERFORMED AT THIS TIME WHICH MAY HAVE DETERMINED THE ACTUAL PROPERTY LINES.



265 MOUNT HAMILTON AVE.
LOS ALTOS, CA 94022
APN: 167-31-017



SMP ENGINEERS
CIVIL ENGINEERS—LAND SURVEYORS
1534 Carob Lane Los Altos, CA 94024
Tel. (650) 941-8055 Fax (650) 941-8755

Scale: 1" = 10'
Prepared by: J.N.
Checked by: S.R.
Date: 12/08/2020
Project No: 220165

PRELIMINARY BOUNDARY AND TOPOGRAPHIC SURVEY MAP

Sheet No: T-1

REVISIONS	DESIGN BY	DESIGN DATE	CITY APPR.	APPR. DATE

CITY OF LOS ALTOS

Kielty Arborist Services LLC
 Certified Arborist WE#10724A
 P.O. Box 6187
 San Mateo, CA 94403
 650-532-4418

March 25th, 2022

Brad & Gita Kashani

Site: 265 Mt. Hamilton Avenue

Dear Brad & Gita Kashani

As requested on Thursday, March 10th, 2022, Kielty Arborist Services LLC visited the above site for the purpose of providing a Tree Inventory Report/Tree Protection Plan for the proposed construction. A home addition and remodel is proposed for this site, and as needed an Arborist Report is required when submitting plans to the city of Los Altos. Site plan A-1 dated 12/21/21 was reviewed for writing this report. This Tree Inventory Report is not a Tree Risk Assessment. As such, no trees were assessed for risk in accordance with industry standards, nor are there any tree risk ratings or risk mitigation recommendations provided within this preservation plan.

Method:

All inspections were made from the ground; the trees were not climbed for this inspection. No root crown exploration or plant tissue analysis was performed. The trees in question were located on an existing topography map provided by you. The trees were then measured for diameter at 48 inches above ground level (DBH or diameter at breast height). The trees were given a condition rating for form and vitality. The trees condition ratings are based on 50 percent vitality and 50 percent form, using the following scale.

- F- Very Poor
- D- Poor
- C- Fair
- B- Good
- A- Excellent

The height of the trees was measured using a Nikon Forestry 550 Hypsometer. The spread was paced off. Comments and recommendations for future maintenance are provided.

Survey Key:

DBH-Diameter at breast height (48" above grade)

CON- Condition rating (A-F)

HT/SP- Tree height/ canopy spread

*Indicates neighbor's trees

P-Indicates protected tree by city ordinance

R-Indicates proposed tree removal

265 Mt. Hamilton (2)

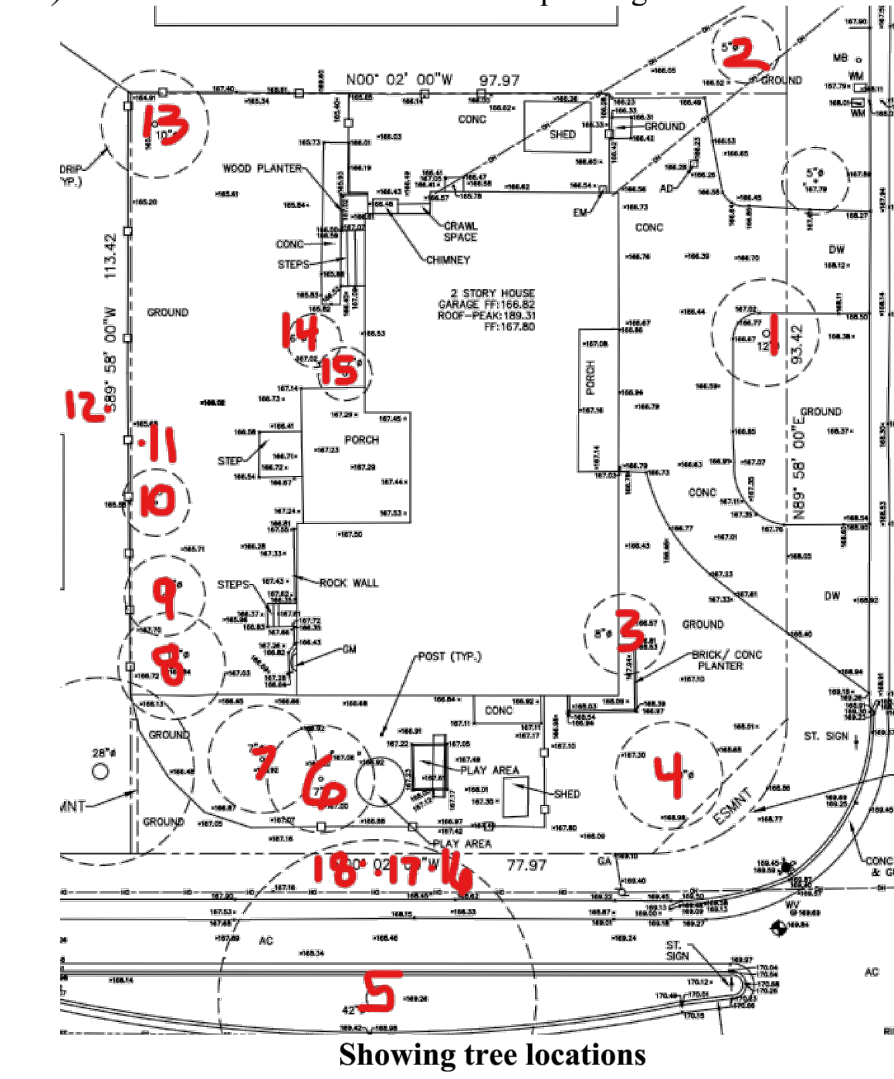
Survey:

Tree#	Species	DBH	CON	HT/SP	Comments
1	Birch (<i>Betula pendula</i>)	9.1	D	25/15	Fair to poor vigor, poor form, decay at root crown
2	Crape Myrtle (<i>Lagerstroemia indica</i>)	5.0	B	20/12	Good vigor, good form.
3R	African Fern Pine (<i>Afrocarpus gracilior</i>)	7.3	C	8/3	Fair vigor, poor form, topiary pruned, against house.
4	Camelia (<i>Camelia japonica</i>)	6.0	C	10/8	Fair vigor, fair form.
5P	Valley Oak (<i>Quercus lobata</i>)	42.1	B	40/45	Good vigor, fair form, pruned for utilities, restricted root zone, street tree.
6	Birch (<i>Betula pendula</i>)	4.1	B	25/8	Fair vigor, fair form
7	Red Maple (<i>Acer rubrum</i>)	5.8	D	25/10	Fair to poor vigor, poor form, in decline.
8	Chinese Elm (<i>Ulmus parvifolia</i>)	7.7	B	25/20	Good vigor, good form.
9	Japanese Maple (<i>Acer palmatum</i>)	6.1	B	15/10	Fair vigor, good form, suppressed by adjacent elm.
10	Camelia (<i>Camelia japonica</i>)	6-6	B	12/6	Good vigor, fair form, good screening.
11	Magnolia (<i>Magnolia grandiflora</i>)	14.0	B	30/20	Good vigor, good form, close to property line.
12*P	Redwood (<i>Sequoia sempervirens</i>)	30.0	C	80/25	Fair vigor, good form, drought stress, minor deadwood.
13	Cherry (<i>Prunus serrulata</i>)	13.8	F	15/8	Poor vigor, poor form, dead
14	Birch (<i>Betula pendula</i>)	4.9	B	25/15	Good vigor, good form, healthy young tree

265 Mt. Hamilton (3)

Survey:

Tree#	Species	DBH	CON	HT/SP	Comments
15	Rhododendron (<i>Rhododendron sp.</i>)	6.5	D	8/5	Fair to poor vigor, fair form, in decline.
16	Crab Apple (<i>Malus</i>)	4.0	B	10/12	Good vigor, good form, aesthetically pleasing.
17	Crab Apple (<i>Malus</i>)	6.0	B	15/15	Good vigor, good form, aesthetically pleasing.
18	Crab Apple (<i>Malus</i>)	5.0	B	10/12	Good vigor, good form, aesthetically pleasing.



265 Mt. Hamilton (4)



Site Observations:

The trees on site are in fair to poor condition. Trees #1, 7, 13, and 15 are trees that are in poor condition. The landscape itself is in fair condition. Drought stress symptoms were observed throughout the site.

Summary of protected trees:

The only protected trees on site observed are Valley Oak street tree #5 and neighboring Redwood tree #12. The remaining trees are all under 15" in diameter (protected size in Los Altos). Valley Oak tree #5 is located within a large planting strip within the street on the Los Altos Avenue side of the property. The tree has a restricted root zone as the tree outside of the planting strip is completely covered by hardscapes (the street). Despite the restricted root zone the tree is in good health with good vigor. The tree has been pruned for utility line clearance in the past.

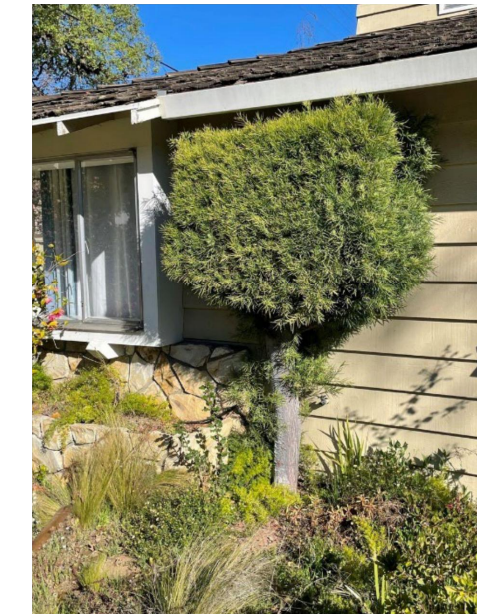
Showing Valley Oak tree #5



Redwood tree #12 is in fair condition. The tree is located on the neighboring property to the north. Drought stress symptoms were observed in the canopy. Any irrigation provided near the tree would help to improve the health of the tree. A limited visual inspection was conducted as the tree is located on the neighboring property.

Showing Redwood tree #12

265 Mt. Hamilton (5)



Impact/Recommendations:

No impacts are expected due to the proposed addition/remodel as no work is proposed near the trees. The only tree that will need to be removed is African Fern Pine tree #3. The tree is located up against the home and the new siding work for the existing home will result in the need to remove the tree. The following tree protection plan will help to reduce impacts to the retained trees on site.

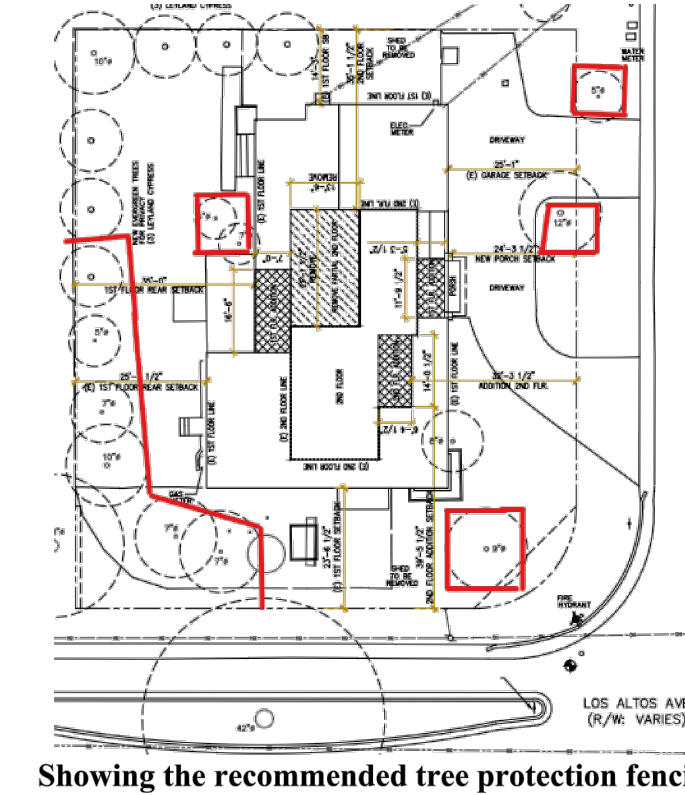
Showing African Fern Pine #3

Tree Protection Plan:

Tree Protection Zones

Tree protection zones should be installed and maintained throughout the entire length of the project. Prior to the commencement of any Development Project, a chain link fence shall be installed at the drip line (canopy spread) of any protected tree which will or will not be affected by the construction. Non-protected trees to be retained shall also be protected by fencing material. Non-protected trees can be protected by orange plastic snow fencing. Due to the location of the Valley Oak tree #5, no tree protection fencing is recommended. Therefore, the only protected tree that will require metal chain link fencing is Redwood tree #12. The drip line shall not be altered in any way so as to increase the encroachment of the construction. When work is to take place underneath a trees dripline, fencing must be placed as close as possible to the tree proposed work. If an area of access is needed underneath a trees canopy, the area shall be protected by a landscape barrier. Fencing for the protected trees shall consist of 6-foot-tall metal chain link type supported by 2 inch metal poles pounded into the ground by no less than 2 feet. The support poles should be spaced no more than 10 feet apart on center. Signs should be placed on fencing signifying "Tree Protection Zone - Keep Out". No materials or equipment should be stored or cleaned inside the tree protection zones. Excavation, grading, soil deposits, drainage and leveling is prohibited within the tree protection zones without the project arborist consent. No wires, signs or ropes shall be attached to the protected trees on site. Utility services and irrigation lines shall all be placed outside of the tree protection zones when possible. When access is needed and tree protection fencing restricts access a landscape barrier shall be installed to protect the non-protected root zone.

265 Mt. Hamilton (6)



Landscape Barrier zone

If for any reason a smaller tree protection zone is needed for access, a landscape buffer consisting of wood chips spread to a depth of six inches with plywood or steel plates placed on top will be placed where tree protection fencing is required. The landscape buffer will help to reduce compaction to the unprotected root zone.

Inspections

The site arborist will need to verify that tree protection fencing has been installed before the start of construction. The site arborist must inspect the site anytime excavation work is to take place underneath a protected trees dripline. It is the contractor's responsibility to contact the site arborist if excavation work is to take place underneath the protected trees on site. Kielty Arborist Services can be reached at davidkieltyarborist@gmail.com or by phone at (650) 532-4418 (David).

Root Cutting and Grading

If for any reason roots are to be cut, they shall be monitored and documented. Large roots (over 2" diameter) or large masses of roots to be cut must be inspected by the site arborist. The site arborist, at this time, may recommend irrigation or fertilization of the root zone. All roots needing to be cut should be cut clean with a saw or lopper. Roots to be left exposed for a period of time should be covered with layers of burlap and kept moist. The site arborist must first give consent if roots over 2 inches in diameter are to be cut.

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No.	Submittals	Date
1	PLANNING	9/15/2021
2	PLANNING	12/21/2021
3	PLANNING	5/5/2022
4	PLANNING	5/31/2022

No.	Revision/Issue	Date
1	PLANNING	10/19/2021
2	PLANNING	2/2/2022

Project: MOUNT HAMILTON
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Sheet Title:
 "ARBORIST REPORT"

Sheet No:

AR-1

265 Mt. Hamilton (7)

Trenching and Excavation

Trenching for foundation, irrigation, drainage, electrical or any other reason shall be done by hand when inside the dripline of a protected tree. Hand digging and the careful placement of pipes below or besides protected roots will significantly reduce root loss, thus reducing trauma to the tree. All trenches shall be backfilled with native materials and compacted to near its original level, as soon as possible and if possible. Trenches to be left open for a period of time, will require the covering of all exposed roots with burlap and be kept moist. The trenches will also need to be covered with plywood to help protect the exposed roots.

Pruning

At this time no pruning is proposed. If during the project pruning is needed, it shall be under the direction of the Project Arborist. All pruning must follow ANSI A300 pruning standards.

Irrigation

Normal irrigation shall be maintained on this site at all times. The imported trees will require normal irrigation. On a construction site, I recommend irrigation during winter months, 1 time per month. Seasonal rainfall may reduce the need for additional irrigation. During the warm season, April – November, my recommendation is to use heavy irrigation, 2 times per month. This type of irrigation should be started prior to any excavation. The irrigation will improve the vigor and water content of the trees. The on-site arborist may make adjustments to the irrigation recommendations as needed. The foliage of the trees may need cleaning if dust levels are extreme. Removing dust from the foliage will help to reduce mite and insect infestation. Native oak trees shall not be irrigated unless directed by the project arborist. **Coast Live Oak, Valley Oak and Blue Oak:** deep water in May and September — do not water during other months. For oaks already in the vicinity of irrigated conditions, automatic sprinklers or regular watering shall not be allowed to spray on or within 8 feet of the trunk. The water shall not be allowed to pool or drain towards the trunk.

The information included in this report is believed to be true and based on sound arboricultural principles and practices.

Sincerely,
David Beckham
Certified Arborist WE#10724A TRAQ Qualification *David Beckham*

265 Mt. Hamilton (8)

Kiely Arborist Services

P.O. Box 6187
San Mateo, CA 94403
650-532-4418

ARBORIST DISCLOSURE STATEMENT

Arborists are tree specialists who use their education, knowledge, training and experience to examine trees, recommend measures to enhance the beauty and health of trees, and attempt to reduce the risk of living near trees. Clients may choose to accept or disregard the recommendations of the arborist, or seek additional advice.

Arborists cannot detect every condition that could possibly lead to the structural failure of a tree. Trees are living organisms that fail in ways we do not fully understand. Conditions are often hidden within trees and below ground. Arborists cannot guarantee that a tree will be healthy or safe under all circumstances, or for a specified period of time. Likewise, remedial treatments, like a medicine, cannot be guaranteed.

Treatment, pruning, and removal of trees may involve considerations beyond the scope of the arborist's services such as property boundaries, property ownership, site lines, disputes between neighbors, landlord-tenant matters, etc. Arborists cannot take such issues into account unless complete and accurate information is given to the arborist. The person hiring the arborist accepts full responsibility for authorizing the recommended treatment or remedial measures.

Trees can be managed, but they cannot be controlled. To live near a tree is to accept some degree of risk. The only way to eliminate all risks is to eliminate all trees.

Arborist: *David Beckham*
David Beckham

Date: March 25th, 2022

Designer: *A. Dulay*



AKS BUILDING DESIGN
AMAN DULAY
(Principal Designer)
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AR-2

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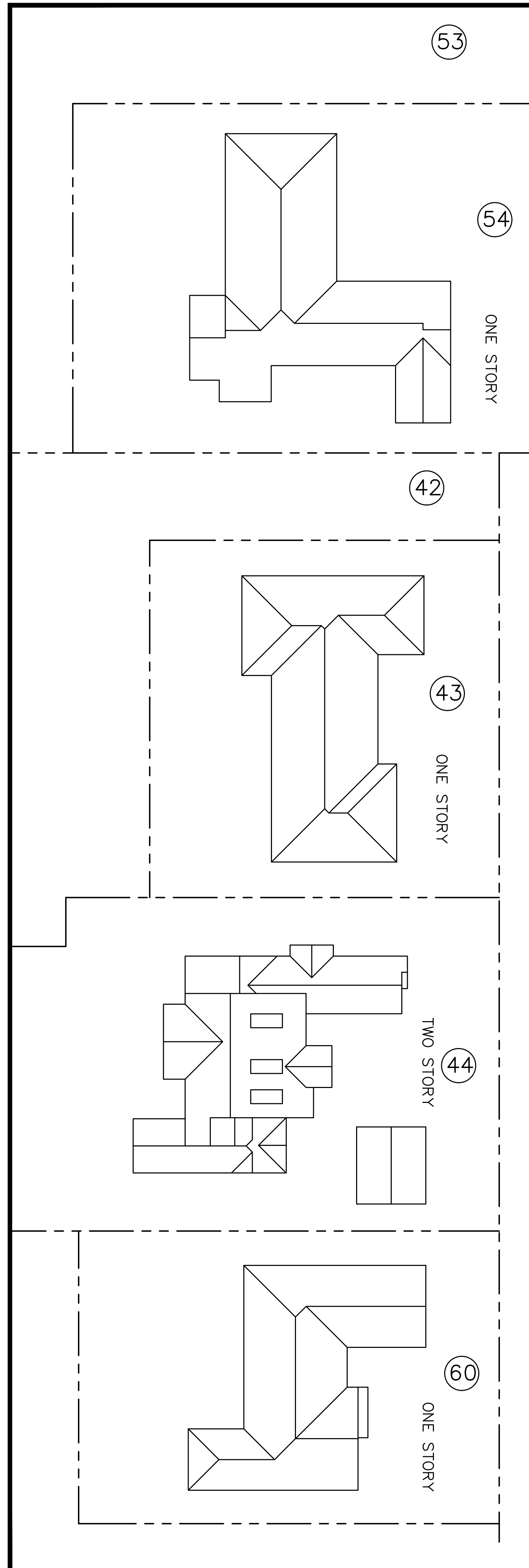
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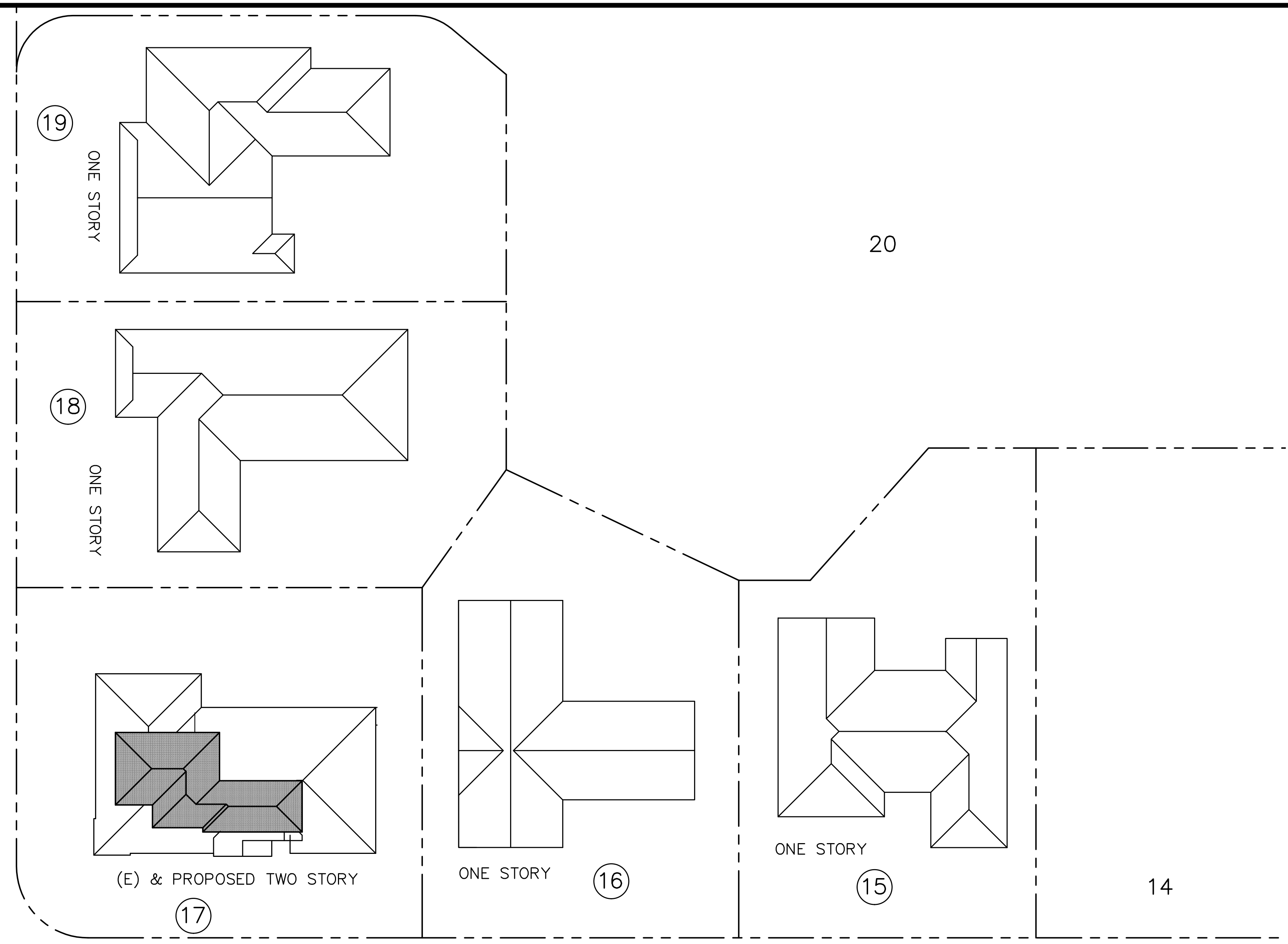
No.	Revision/Issue	Date
1	PLANNING	10/19/2021
2	PLANNING	2/2/2022

Project: MOUNT HAMILTON
 Scale: As Shown
 Date: 6/13/2022
 Sheet Title:
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 MAP"

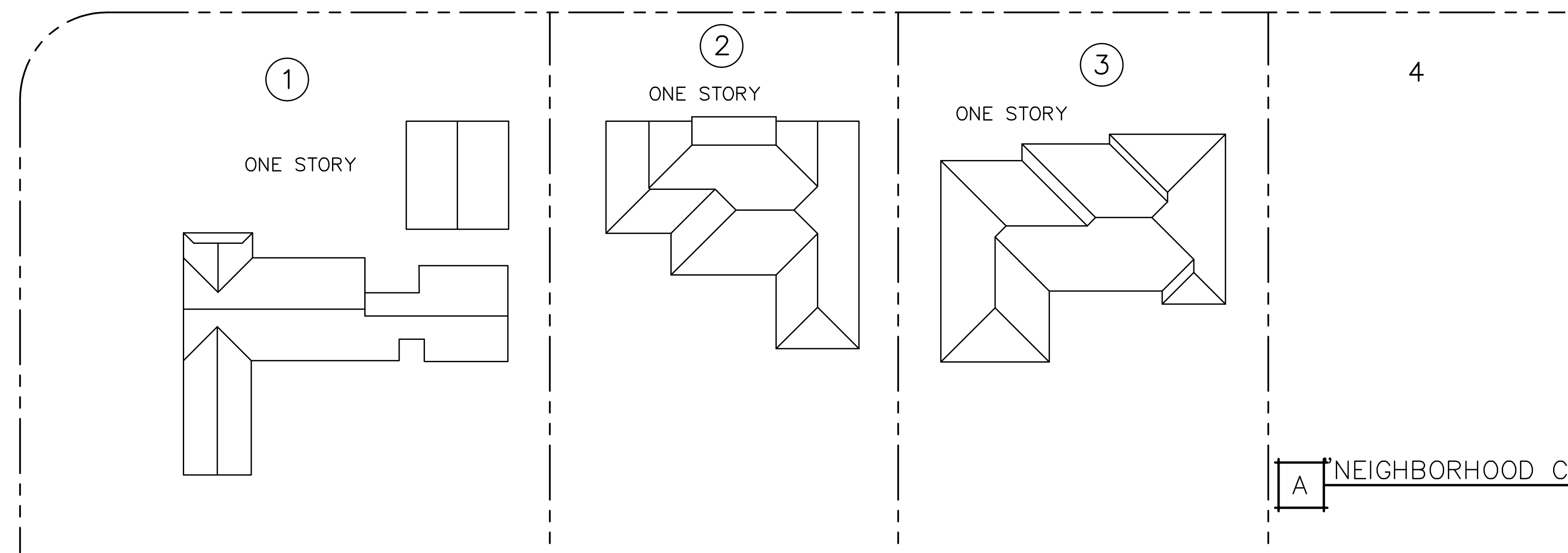
Sheet No:
A-2.0



LOS ALTOS AVE
 (R/W: VARIES)



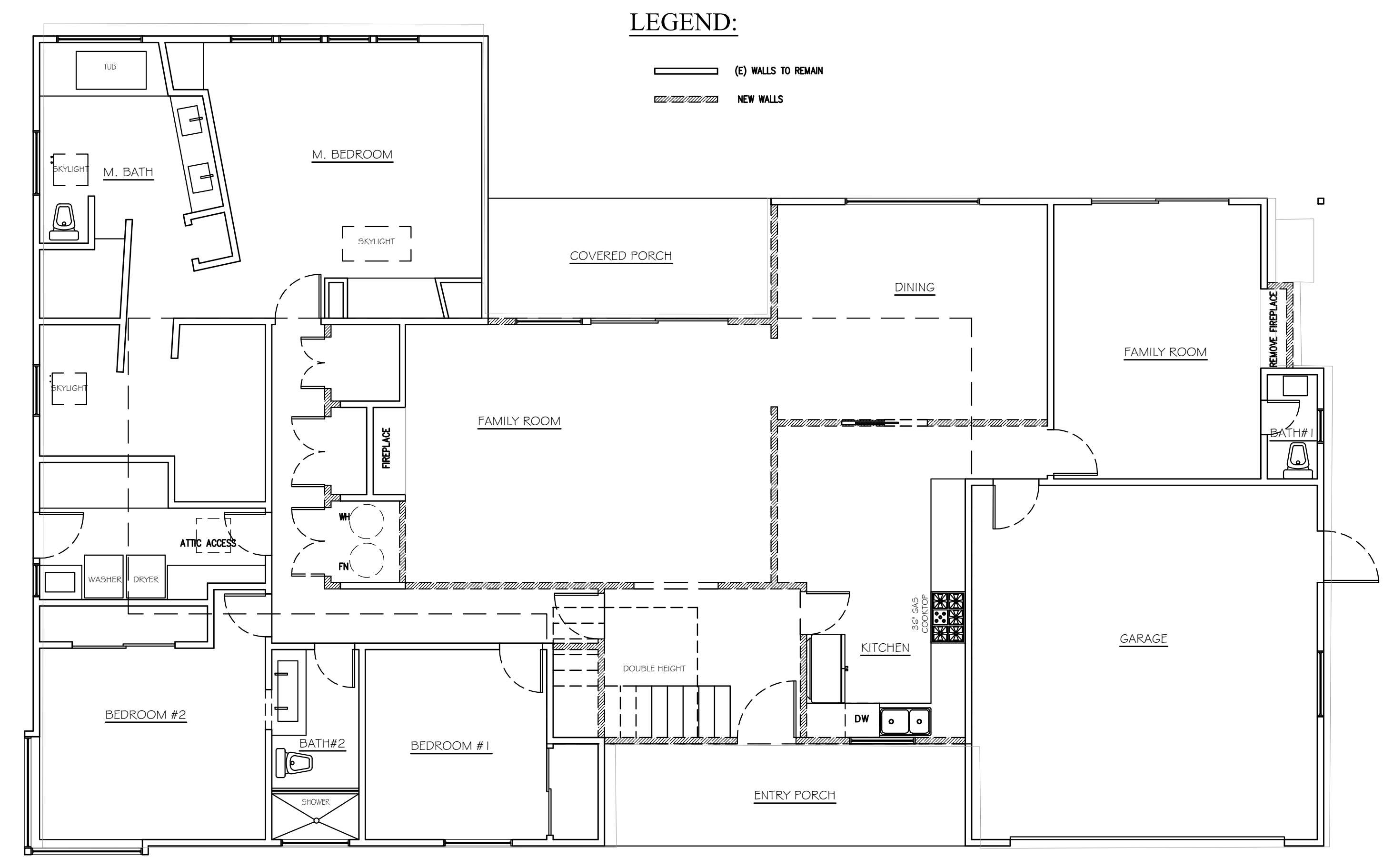
MT. HAMILTON AVE
 (R/W: 55')



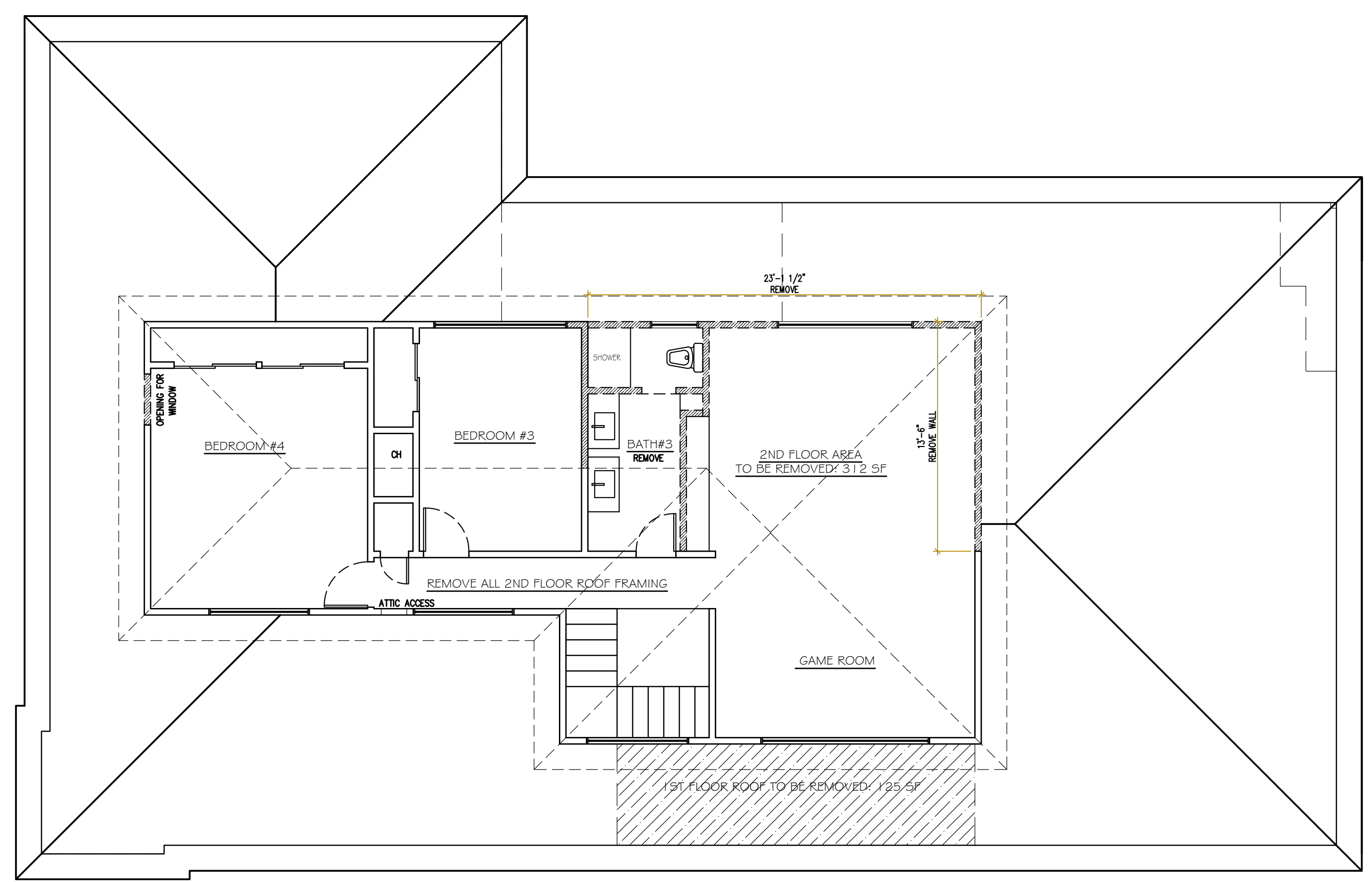
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Project:
 Single Family Residence
 TWO STORY ADDITON/ REMODEL
 265 MOUNT HAMILTON AVE.
 LOS ALTOS, CA 94024
 APN: 167-31-017

Owners:
 BEHZAD KASHANI
 265 MOUNT HAMILTON AVE.
 LOS ALTOS, CA 94024



A " (E) 1ST FLOOR PLAN" 1/4"=1'-0"



B " (E) 2ND FLOOR PLAN" 1/4"=1'-0"

No.	Submittals	Date
1	PLANNING	9/15/2021
2	PLANNING	12/21/2021
3	PLANNING	5/5/2022
4	PLANNING	5/31/2022

No.	Revision/Issue	Date
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Project: MOUNT HAMILTON
 Scale: As Shown
 Date: 6/13/2022

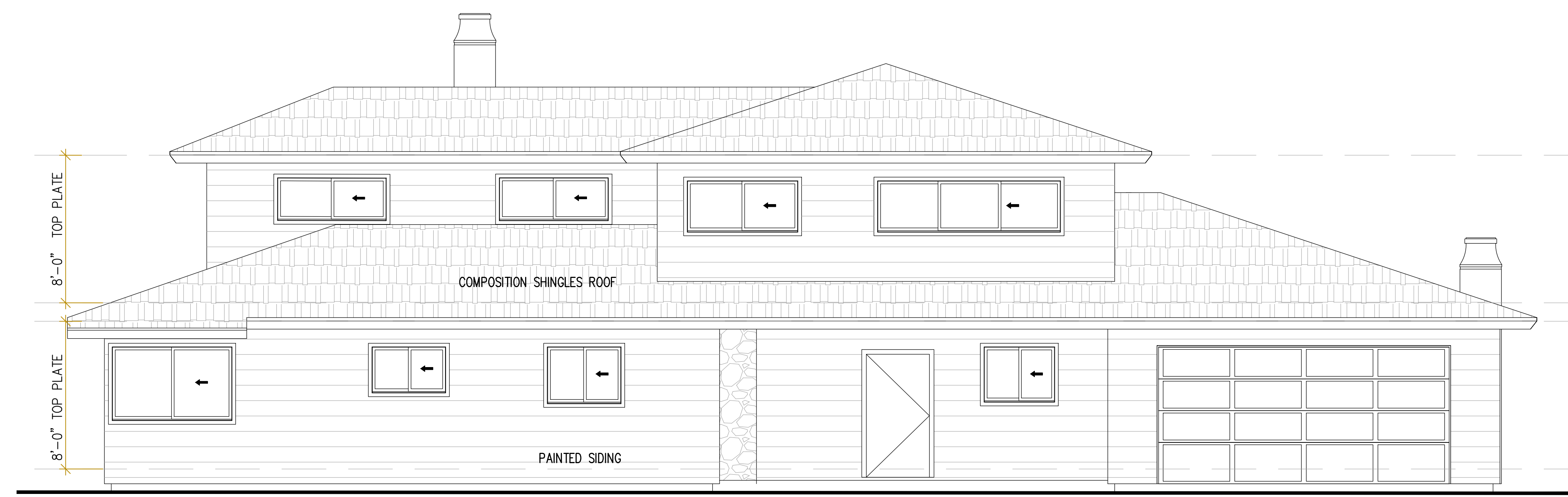
Sheet Title:
 "(E) FLOOR/ ROOF PLAN"

Sheet No:

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 LOS ALTOS, CA 94024
 APN: 167-31-017

Owners:
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 265 MOUNT HAMILTON AVE.
 LOS ALTOS, CA 94024



A "(E) EXTERIOR SIDE ELEVATION (ALONG MT. HAMILTON AVE.)"
 1/4"=1'-0"



B "(E) INTERIOR SIDE ELEVATION"
 1/4"=1'-0"

No.	Submittals	Date
1	PLANNING	9/15/2021
2	PLANNING	12/21/2021
3	PLANNING	5/5/2022
4	PLANNING	5/31/2022

No.	Revision/Issue	Date
①	PLANNING	10/19/2021
②	PLANNING	2/2/2022

Project: MOUNT HAMILTON
 Scale: As Shown
 Date: 6/13/2022

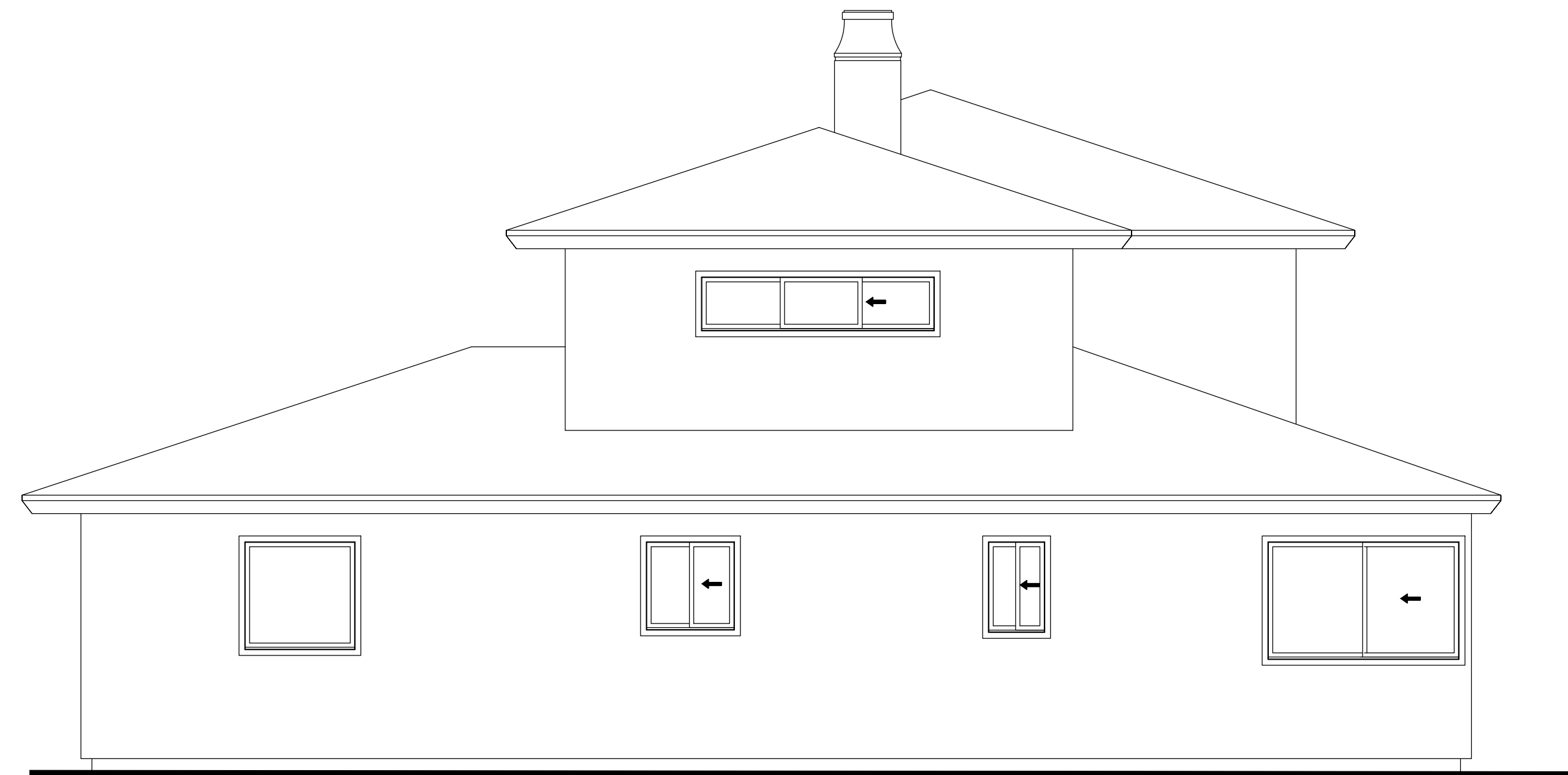
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Sheet No:

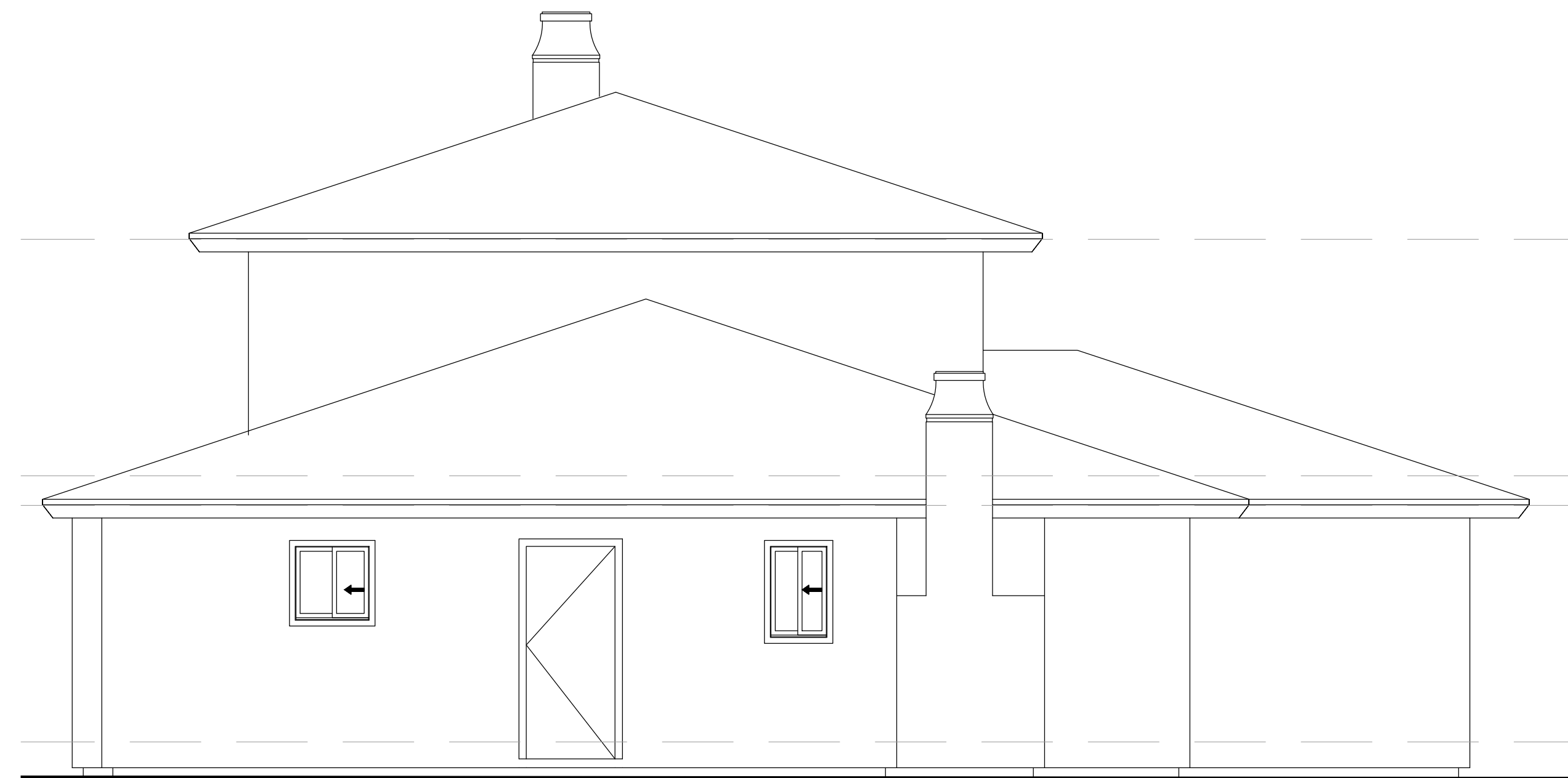
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 265 MOUNT HAMILTON AVE.
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 BEHZAD KASHANI
 265 MOUNT HAMILTON AVE.
 LOS ALTOS, CA 94024



A "(E) FRONT ELEVATION (ALONG LOS ALTOS AVE.)"
 1/4"=1'-0"



B "(E) REAR ELEVATION"
 1/4"=1'-0"

No.	Submittals	Date
1	PLANNING	9/15/2021
2	PLANNING	12/21/2021
3	PLANNING	5/5/2022
4	PLANNING	5/31/2022

No.	Revision/Issue	Date
①	PLANNING	10/19/2021
②	PLANNING	2/2/2022

Project: MOUNT HAMILTON
 Scale: As Shown
 Date: 6/13/2022

Sheet Title:
 "(E) EXTERIOR ELEVATIONS"

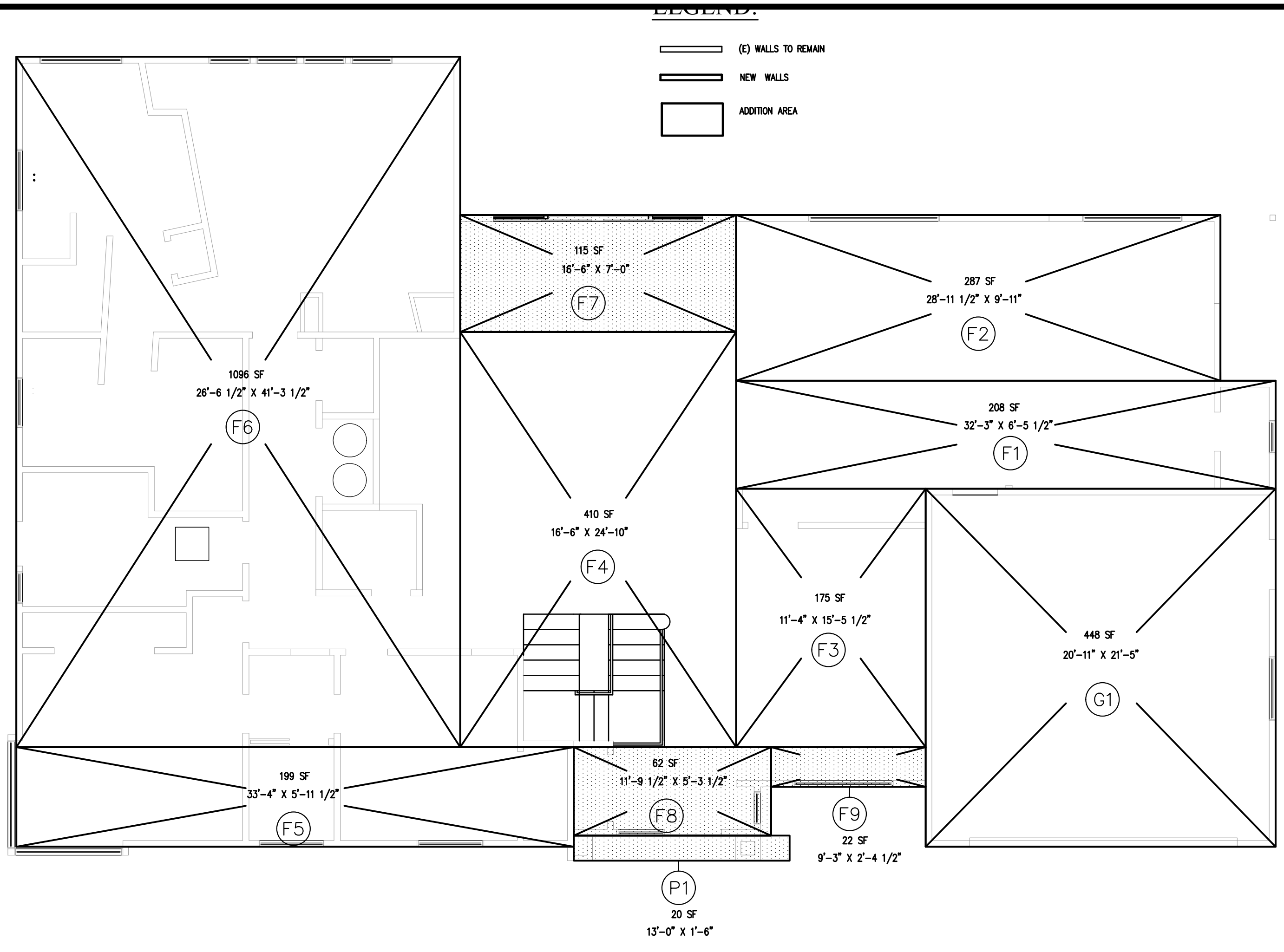
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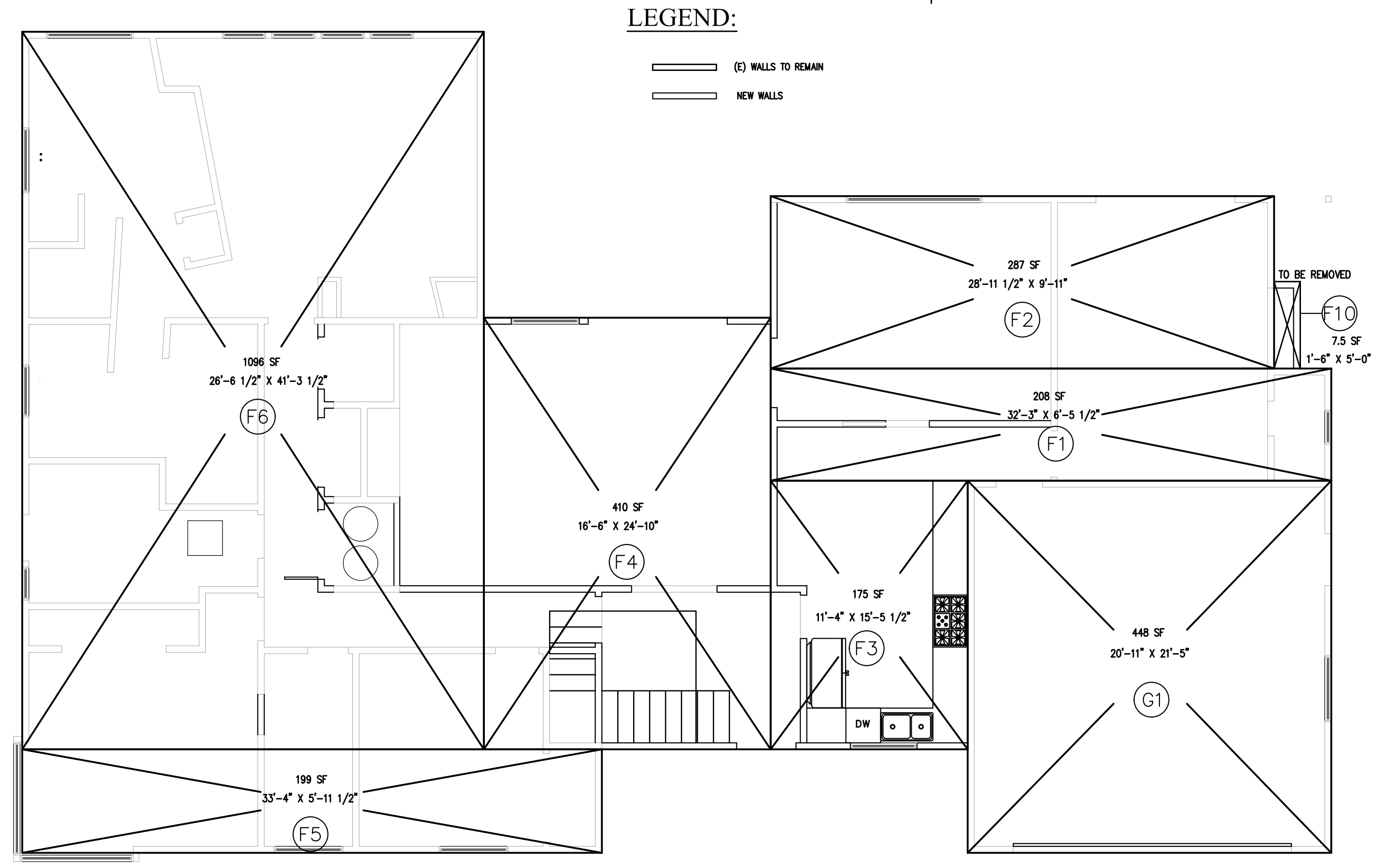
Project:
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 LOS ALTOS, CA 94024

FIRST FLOOR		
GARAGE AREA		
G1	20'-11" X 21'-5"	448 SF
TOTAL GARAGE AREA:		448 SF
F1	32'-3" X 6'-5 1/2"	208 SF
F2	28'-11 1/2" X 9'-11"	287 SF
F3	11'-4" X 15'-5 1/2"	175 SF
F4	16'-6" X 24'-10"	410 SF
F5	33'-4" X 5'-11 1/2"	199 SF
F6	26'-6 1/2" X 41'-3 1/2"	1096 SF
TOTAL (EXISTING) LIVING AREA:		2,375 SF
F7 (ADDITIONAL AREA)	16'-6" X 7'-0"	115 SF
F8 (ADDITIONAL AREA)	11'-9 1/2" X 5'-3 1/2"	62 SF
F9 (ADDITIONAL AREA)	9'-3" X 2'-4 1/2"	22 SF
P1 (ADDITIONAL AREA)	13'-0" X 1'-6"	20 SF
NEW LIVING AREA:		219 SF
EXISTING LIVING AREA (TO BE REMOVED)		
F10	1'-6" X 5'-0"	7.5 SF
1ST FLOOR NEW & LIVING, GARAGE AREA:		3,034.5 SF
2ND FLOOR AREA:		814 SF
TOTAL AREA:		3,848.5 SF



A "NEW 1ST FLOOR AREA CALCS." 1/4"=1'-0" NORTH



B "(E) 1ST FLOOR AREA CALCS." 1/4"=1'-0" NORTH

No.	Submittals	Date
1	PLANNING	9/15/2021
2	PLANNING	12/21/2021
3	PLANNING	5/5/2022
4	PLANNING	5/31/2022

No.	Revision/Issue	Date
1	PLANNING	10/19/2021
2	PLANNING	2/2/2022

Project: MOUNT HAMILTON
 Scale: As Shown
 Date: 6/13/2022

Sheet Title:
 "1ST FLOOR AREA CALCULATIONS"

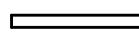

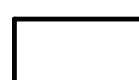
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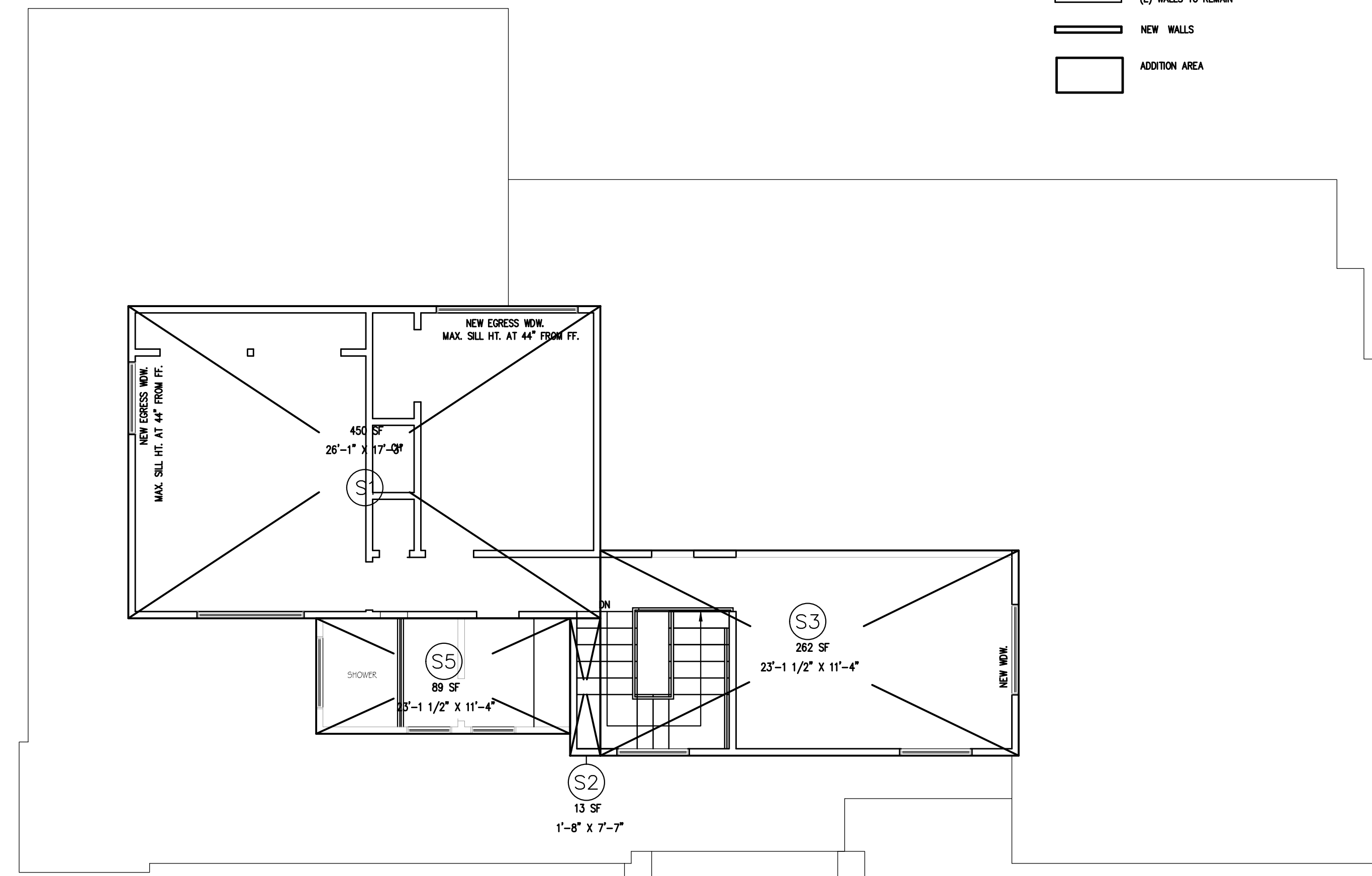
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 TWO STORY ADDITON/ REMODEL
 265 MOUNT HAMILTON AVE.
 LOS ALTOS, CA 94024
 APN: 167-31-017

Owners:
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 265 MOUNT HAMILTON AVE.
 LOS ALTOS, CA 94024

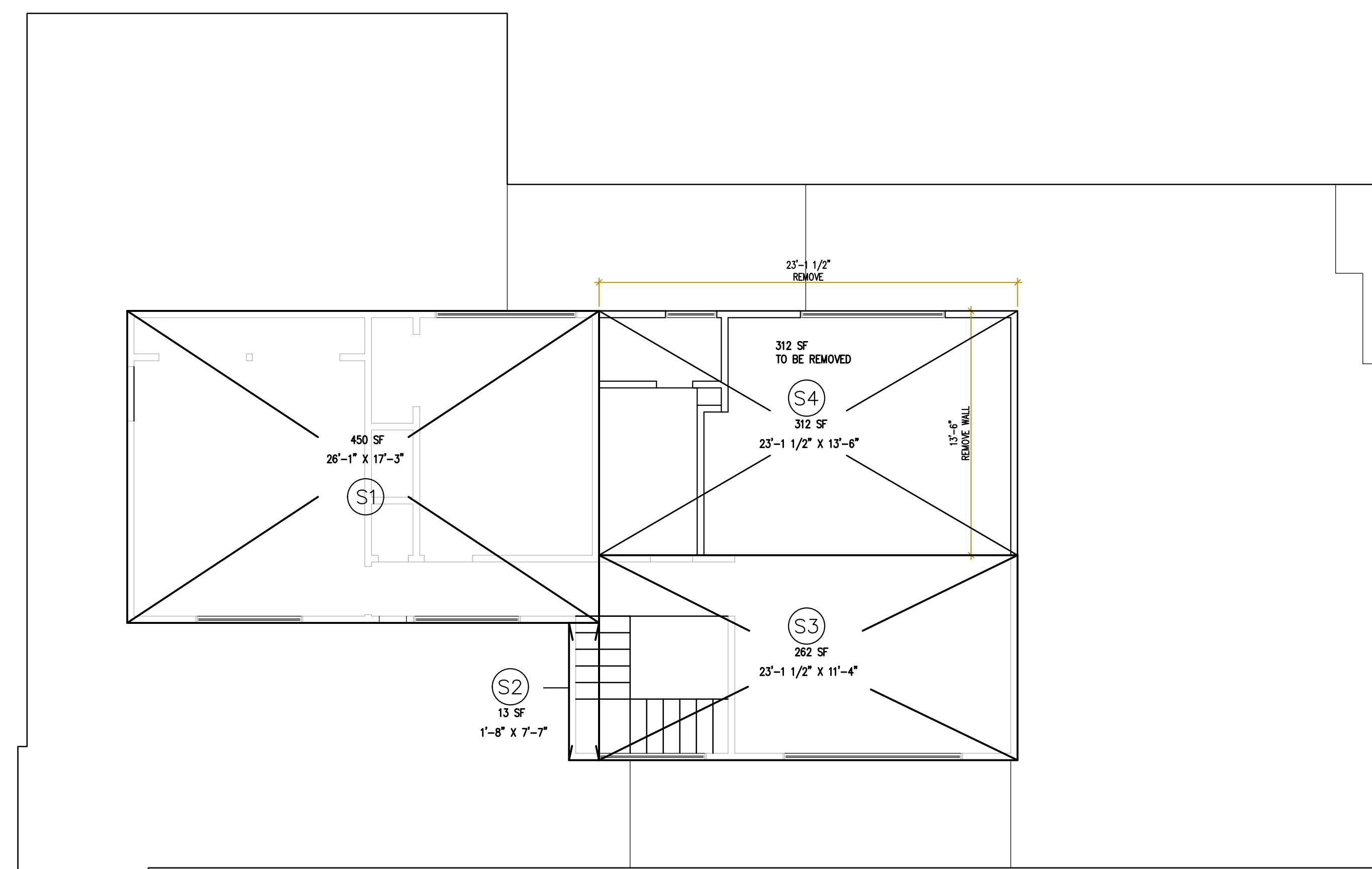
LEGEND:

-  (E) WALLS TO REMAIN
-  NEW WALLS
-  ADDITION AREA



"NEW 1ST FLOOR AREA CALCS."
 A 1/4"=1'-0" HILSON

SECOND FLOOR		
EXISTING LIVING AREA (TO BE REMOVED)		
S4	23'-1 1/2" X 13'-6"	312 SF
TOTAL (E) LIVING AREA:		1,037 SF
S1	26'-1" X 17'-3"	450 SF
S2	1'-8" X 7'-7"	13 SF
S3	23'-1 1/2" X 13'-6"	262 SF
S5 (ADDITIONAL AREA)	23'-1 1/2" X 11'-4"	89 SF
NEW LIVING AREA:		814 SF



"(E) 2ND FLOOR AREA CALCS."
 B 1/4"=1'-0" HILSON

No.	Submittals	Date
1	PLANNING	9/15/2021
2	PLANNING	12/21/2021
3	PLANNING	5/5/2022
4	PLANNING	5/31/2022

No.	Revision/Issue	Date
1	PLANNING	10/19/2021
2	PLANNING	2/2/2022

Project: MOUNT HAMILTON
 Scale: As Shown
 Date: 6/13/2022

Sheet Title:
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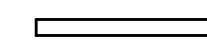

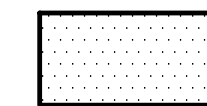
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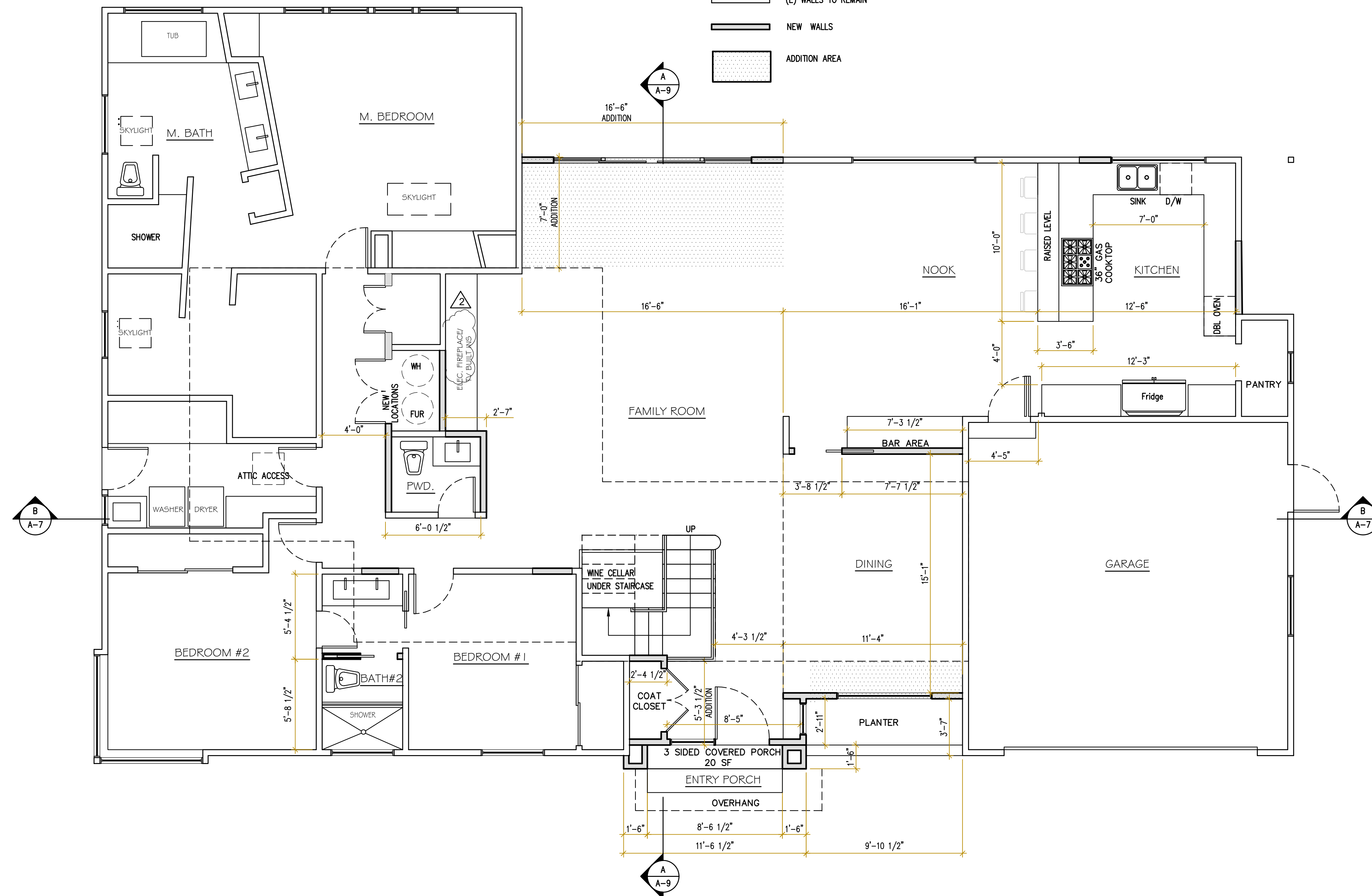
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 LOS ALTOS, CA 94024

LEGEND:

-  (E) WALLS TO REMAIN
-  NEW WALLS
-  ADDITION AREA



A "NEW 1ST FLOOR PLAN" 1/4" = 1'-0" 

No.	Submittals	Date
1	PLANNING	9/15/2021
2	PLANNING	12/21/2021
3	PLANNING	5/5/2022
4	PLANNING	5/31/2022

No.	Revision/Issue	Date
1	PLANNING	10/19/2021
2	PLANNING	2/2/2022

Project: MOUNT HAMILTON
 Scale: As Shown
 Date: 6/13/2022
 Sheet Title:

"NEW 1ST FLOOR PLAN"

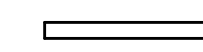

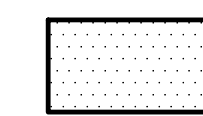
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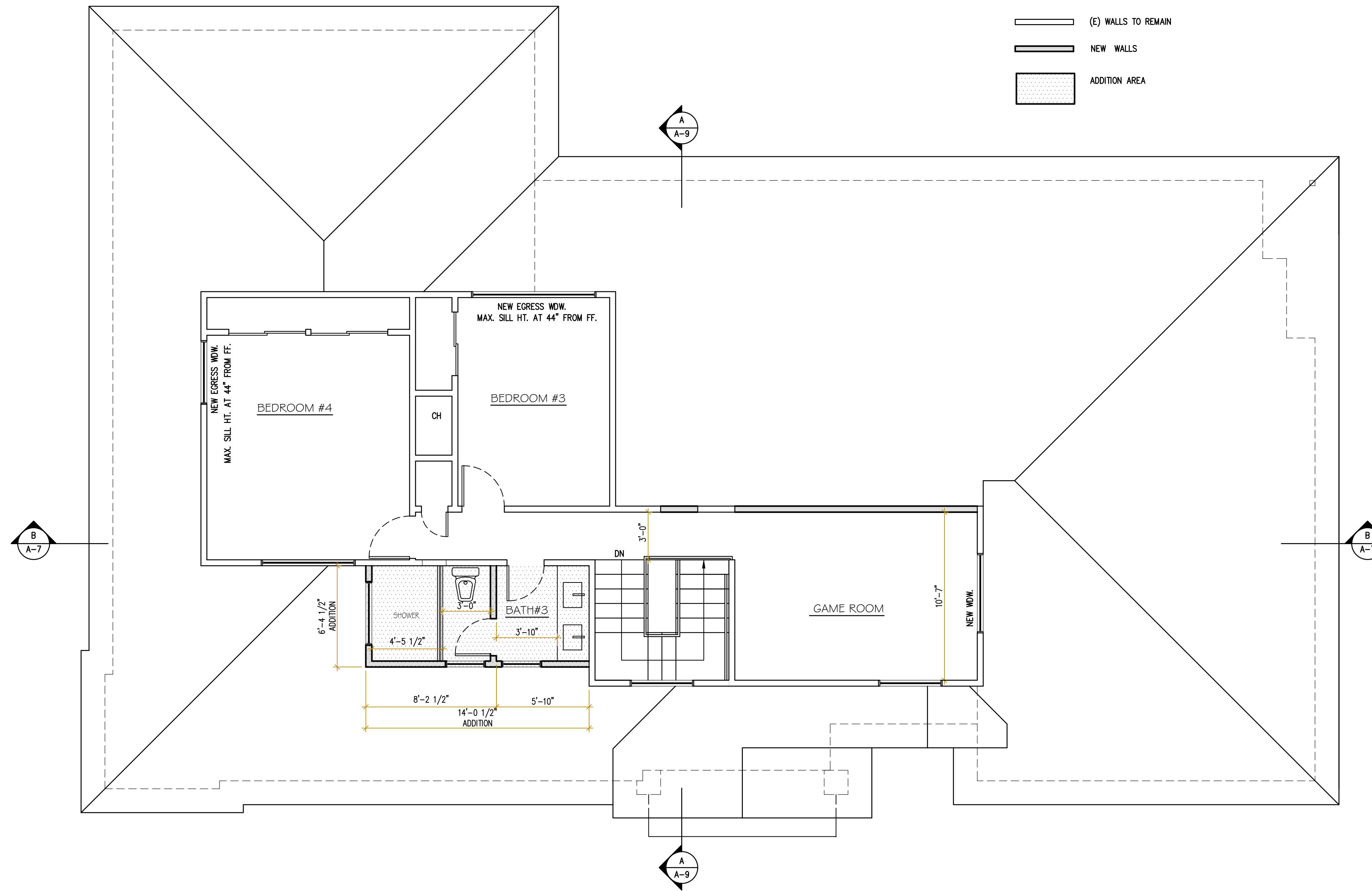
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 LOS ALTOS, CA 94024
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 265 MOUNT HAMILTON AVE.
 LOS ALTOS, CA 94024

LEGEND:

-  (E) WALLS TO REMAIN
-  NEW WALLS
-  ADDITION AREA



A "NEW 2ND FLOOR PLAN"
 1/4" = 1'-0"
 FLOOR

No.	Submittals	Date
1	PLANNING	9/15/2021
2	PLANNING	12/21/2021
3	PLANNING	5/5/2022
4	PLANNING	5/31/2022

No.	Revision/Issue	Date
1	PLANNING	10/19/2021
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Project: MOUNT HAMILTON
 Scale: As Shown
 Date: 6/13/2022
 Sheet Title:

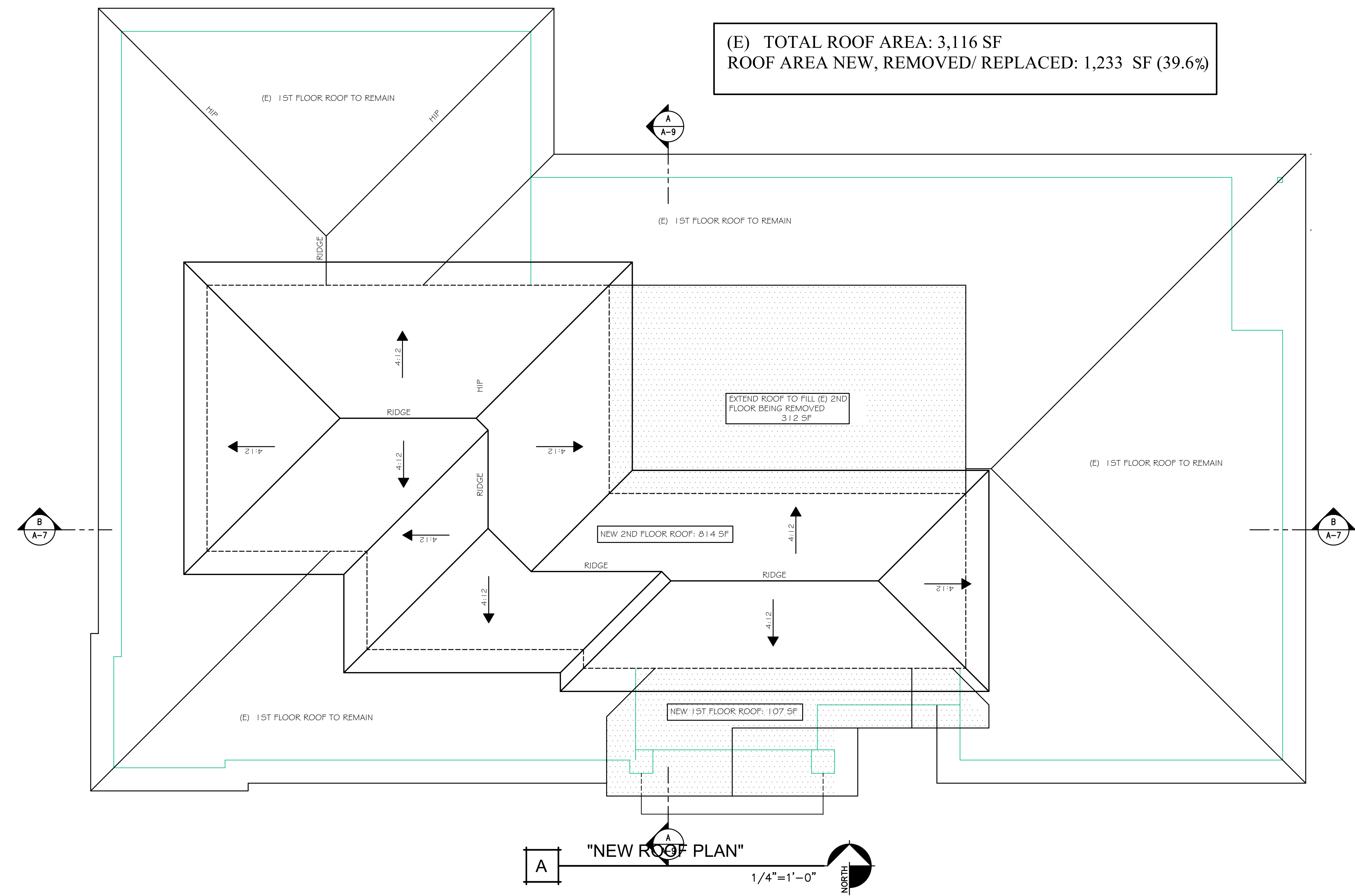
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Sheet No:

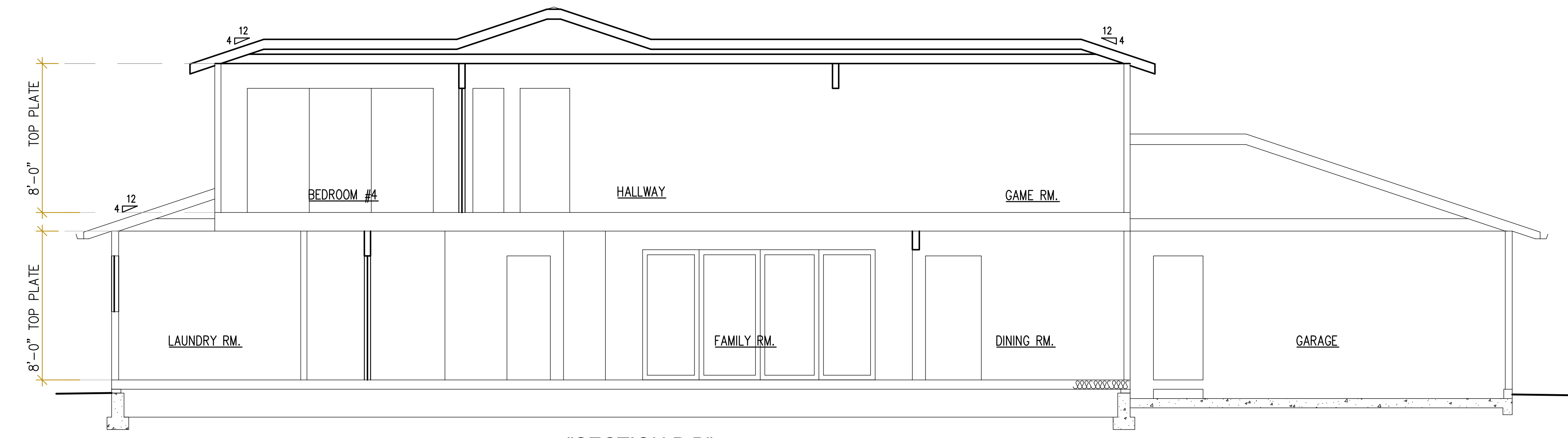
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 LOS ALTOS, CA 94024



"NEW ROOF PLAN"
 1/4"=1'-0"
 NORTH



"SECTION B B"
 1/4"=1'-0"

No.	Submittals	Date
1	PLANNING	9/15/2021
2	PLANNING	12/21/2021
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Project: MOUNT HAMILTON
 Scale: As Shown
 Date: 6/13/2022
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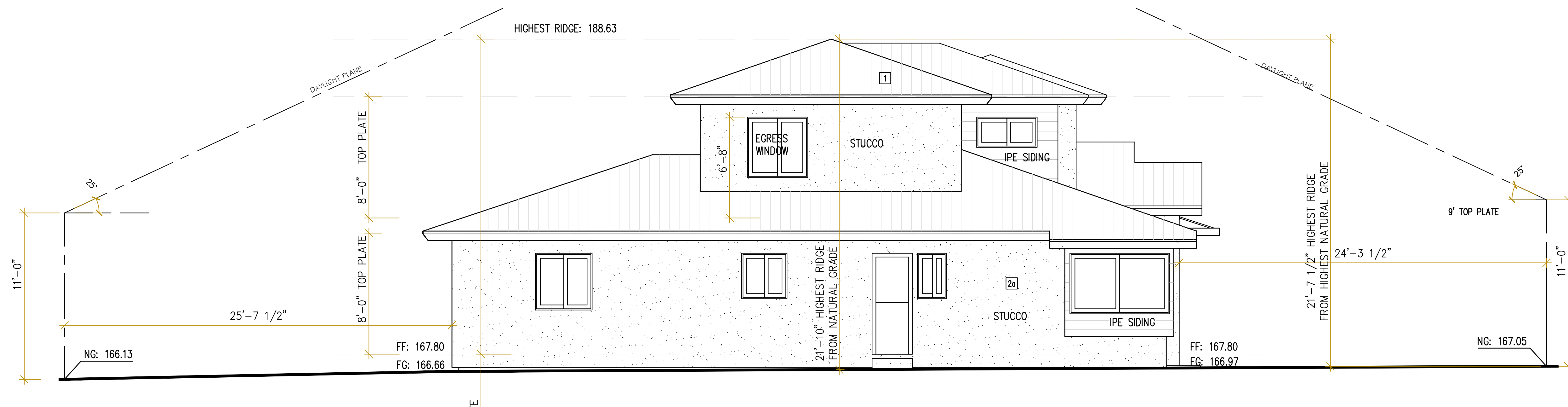
"NEW ROOF PLAN"

Sheet No:

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 LOS ALTOS, CA 94024



A "NEW FRONT ELEVATION (ALONG LOS ALTOS AVE.)"
 1/4"=1'-0"

BUILDING COMPONENTS	
1	ROOF: SEAM DOWN METAL ROOF CLASS "A"
2a	WALL: 7/8" 3 COAT SMOOTH STUCCO OVER 2 LAYERS OF GRADE 'D' PAPER BACKED METAL MESH.
2b	WALL: 5" WOOD SIDING
2c	WALL: CULTURED STONE
3	WINDOW TRIMS: ANDERSEN 100 SERIES (COMPOSITE)
4	EAVE: ENCLOSED EAVE SOFFIT

No.	Submittals	Date
1	PLANNING	9/15/2021
2	PLANNING	12/21/2021
3	PLANNING	5/5/2022
4	PLANNING	5/31/2022



B "NEW REAR ELEVATION"
 1/4"=1'-0"

No.	Revision/Issue	Date
1	PLANNING	10/19/2021
2	PLANNING	2/2/2022

Project: MOUNT HAMILTON
 Scale: As Shown
 Date: 6/13/2022
 Sheet Title:

"NEW EXTERIOR ELEVATIONS"

Sheet No:

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No.	Submittals	Date
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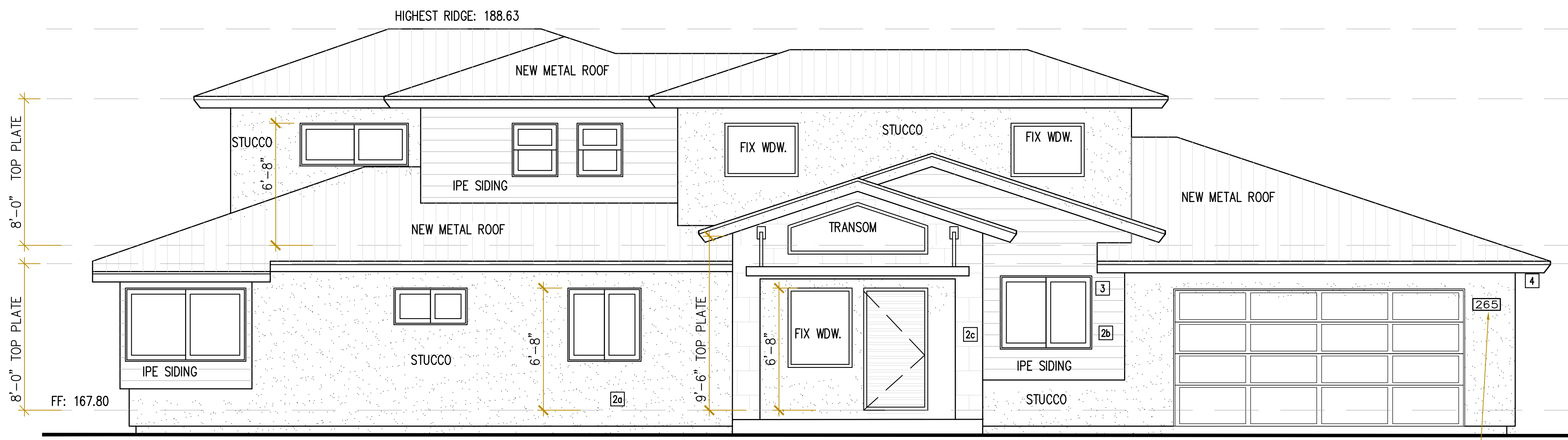
Project: MOUNT HAMILTON
 Scale: As Shown
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Sheet Title:
 "NEW EXTERIOR ELEVATIONS"

Sheet No:

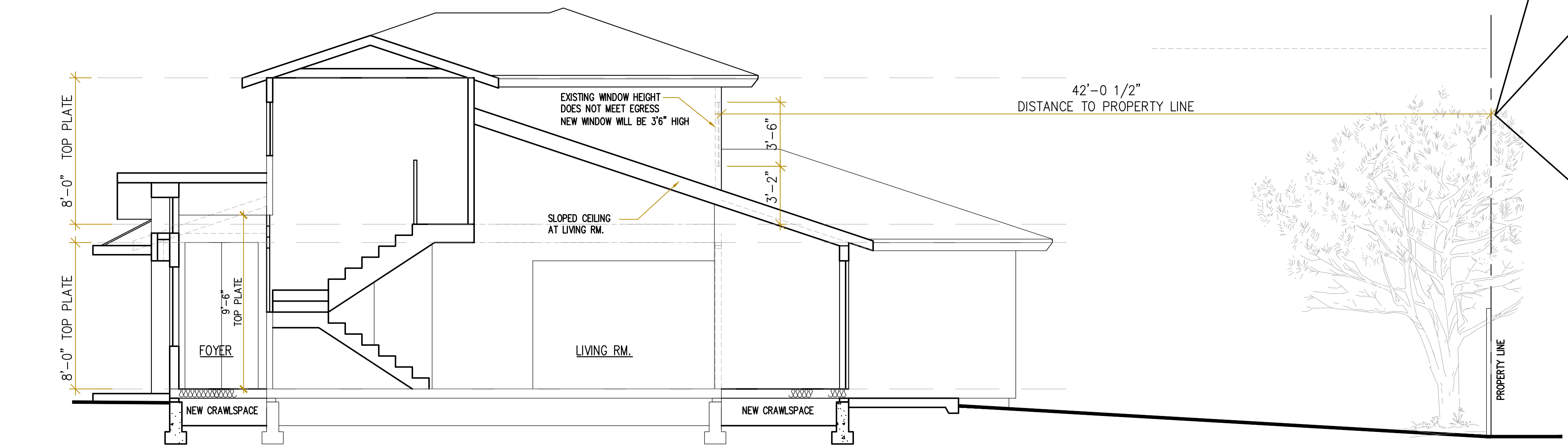


VIEWS FROM THE 2ND FLOOR WDWs.



A "NEW EXTERIOR SIDE ELEVATION (ALONG MT. HAMILTON AVE.)"
 1/4"=1'-0"

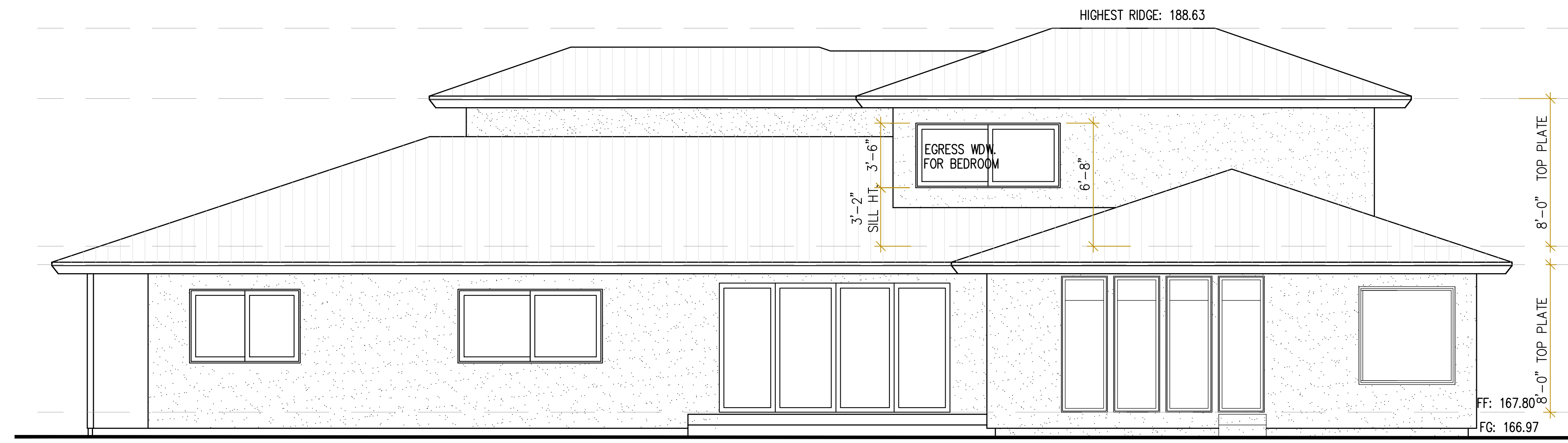
House address to be minimum of 4 inches high with a minimum stroke width of 1/4 inch. Numbers shall contrast with their background and be placed in a position that is plainly visible from the street fronting the property. [CRC §R319.1]



B "SECTION A A"
 1/4"=1'-0"

BUILDING COMPONENTS

1	ROOF: COMPOSITION SHINGLES ROOF CLASS "A"
2a	WALL: 7/8" 3 COAT SMOOTH STUCCO OVER 2 LAYERS OF GRADE 'D' PAPER BACKED METAL MESH.
2b	WALL: 5" WOOD SIDING
3	WINDOW TRIMS: ANDERSEN 100 SERIES (COMPOSITE)
4	EAVE: ENCLOSED EAVE SOFFIT



C "NEW INTERIOR SIDE ELEVATION"
 1/4"=1'-0"