

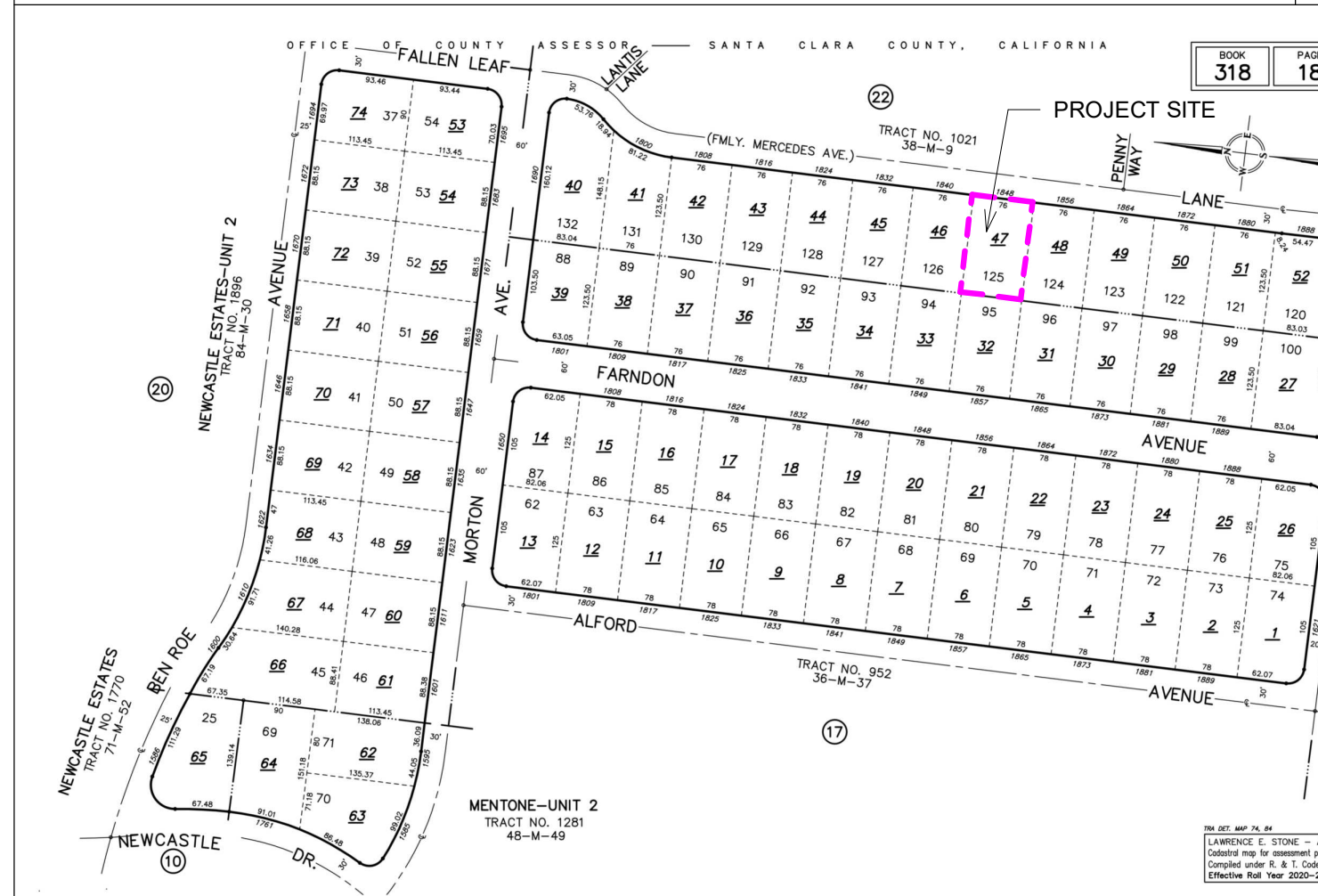


# ROSHYAN RESIDENCE

## 1848 FALLEN LEAF LN, LOS ALTOS, CA 94024

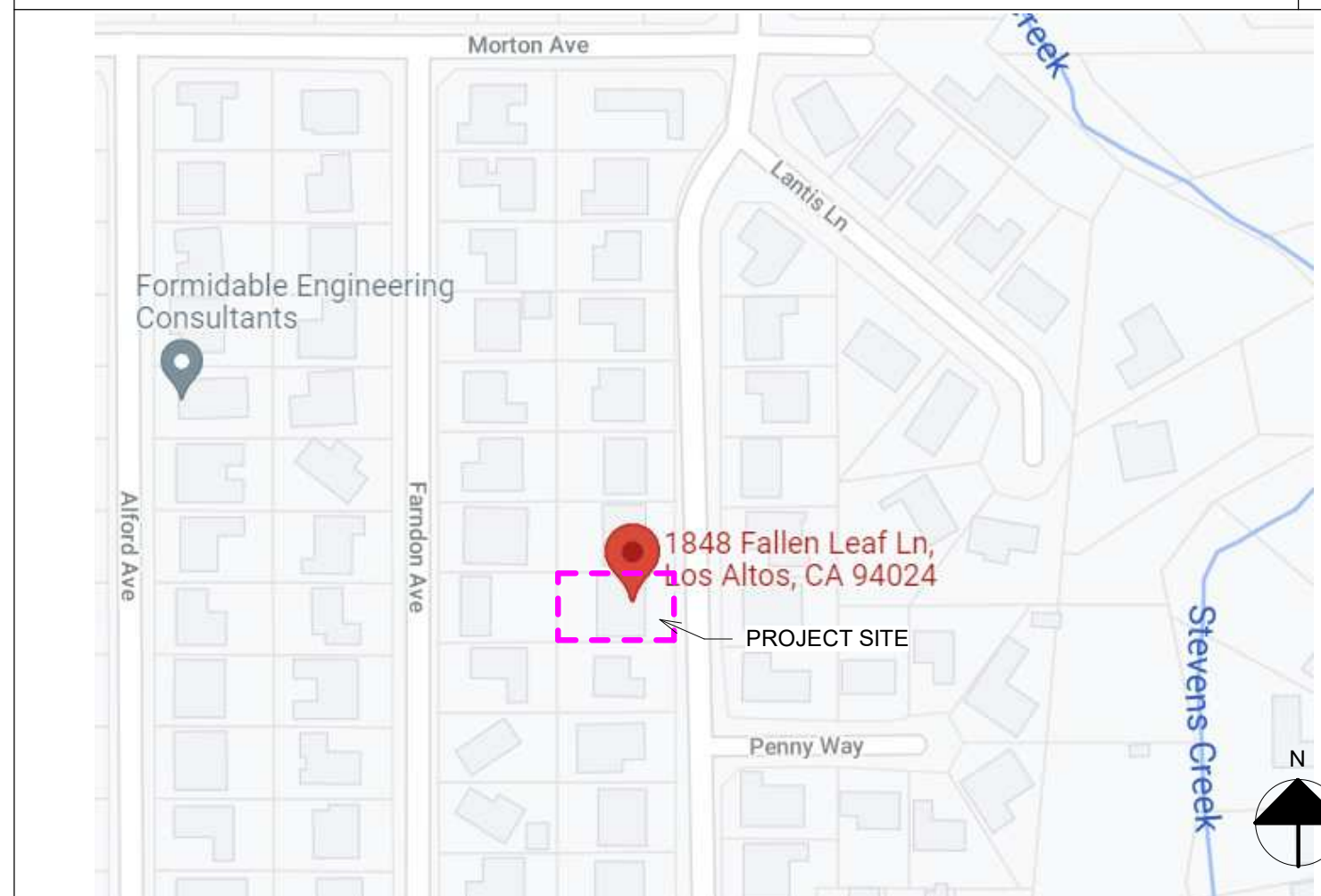
### APN: 318-18-047

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#### VICINITY MAP 2 CODE COMPLIANCE 4 PROJECT SUMMARY 7 (P) LOT COVERAGE KEY PLAN 11



APPLICABLE CODES	CODE SUMMARY
2019 CALIFORNIA BUILDING CODE	R3/U
2019 CALIFORNIA GREEN BUILDING STANDARDS CODE	200 GROSS
2019 CALIFORNIA ELECTRICAL CODE	V-B
2019 CALIFORNIA MECHANICAL CODE	NON-SPRINKLED
2019 CALIFORNIA PLUMBING CODE	1-HOUR
2019 CALIFORNIA FIRE CODE	27'-0"
2019 CALIFORNIA ENERGY CODE	3285.10 SF
2019 CALIFORNIA RESIDENTIAL CODE	2,815.8 SF

#### PROJECT TEAM

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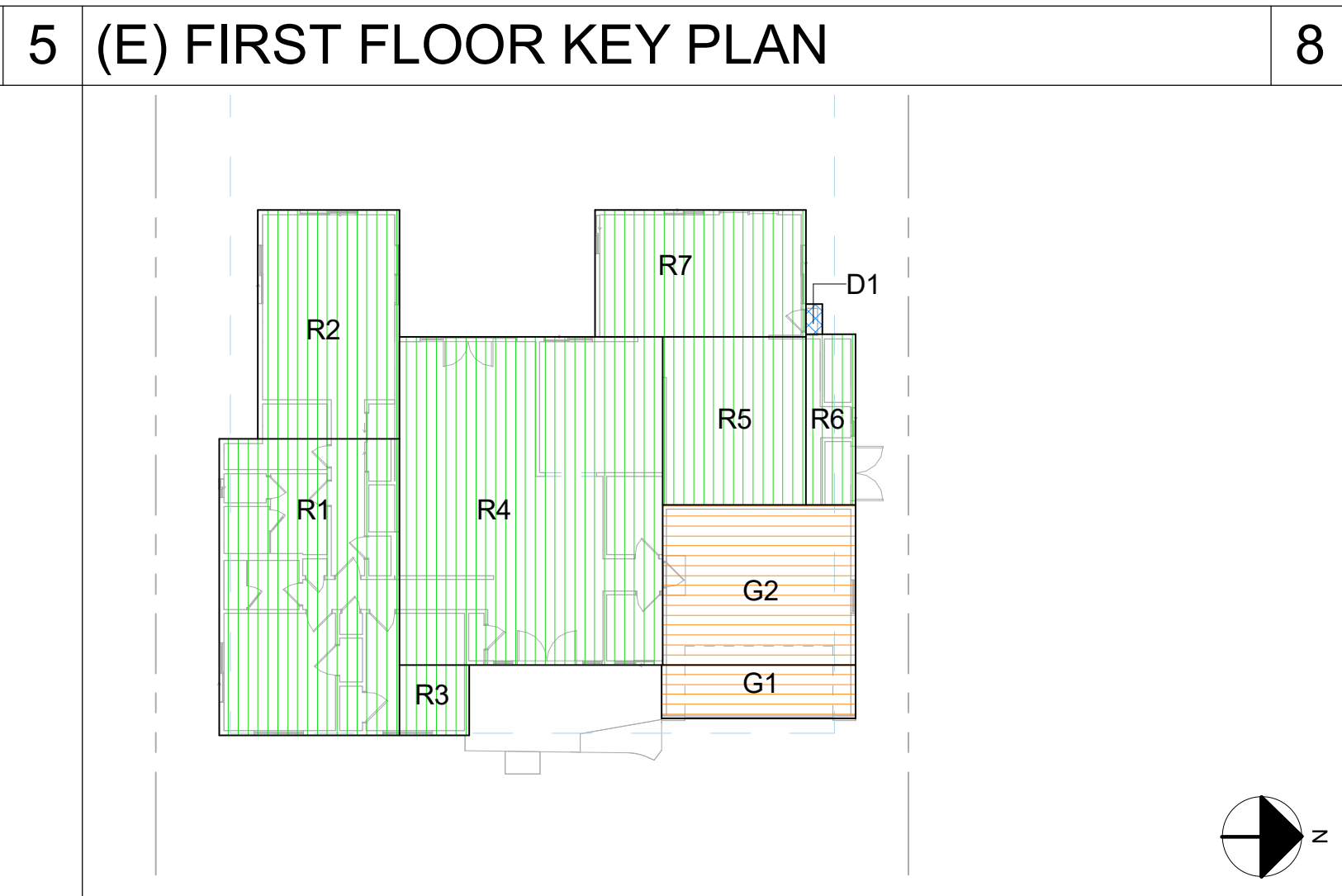
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Description  
Revision 1

Date  
01/07/2022

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#### ZONING COMPLIANCE WORKSHEET 6 (P) FIRST & SECOND FLOOR KEY PLANS 9

#### ZONING COMPLIANCE

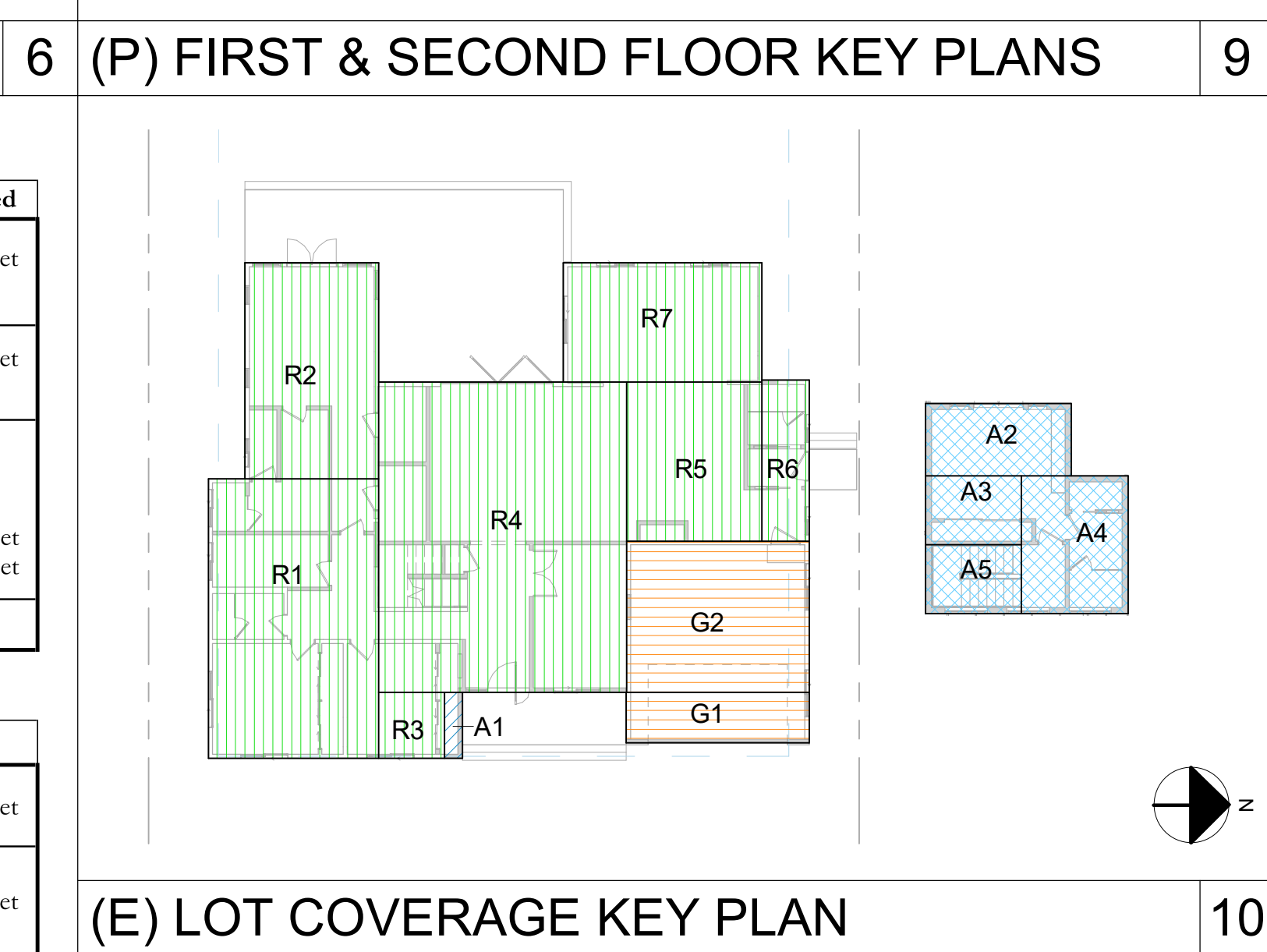
	Existing	Proposed	Allowed/Required
<b>LOT COVERAGE:</b> <i>Land area covered by all structures that are over 6 feet in height</i>	2,976 square feet (31.69 %)	2,974 square feet (31.68 %)	2,815.8 square feet (30 %)
<b>FLOOR AREA:</b> <i>Measured to the outside surfaces of exterior walls</i>	2,836 square feet (30.21 %)	3,285 square feet (34.99 %)	3,285.10 square feet (35 %)
<b>SETBACKS:</b>			
Front (1st/2nd)	24'-9" feet	24'-9" feet/46'-3" feet	25'-0" feet
Rear (1st/2nd)	45'-8" feet	45'-8" feet/41'-9" feet	25'-0" feet
Right side (1st/2nd)	5'-4" feet	5'-4" feet/30'-6" feet	7'-6" feet 15'-0" feet
Left side (1st/2nd)	6'-5" feet	6'-5" feet/23'-11" feet	7'-6" feet 15'-0" feet
<b>HEIGHT:</b>	18'-8" feet	22'-0" feet	27'-0" feet

#### SQUARE FOOTAGE BREAKDOWN

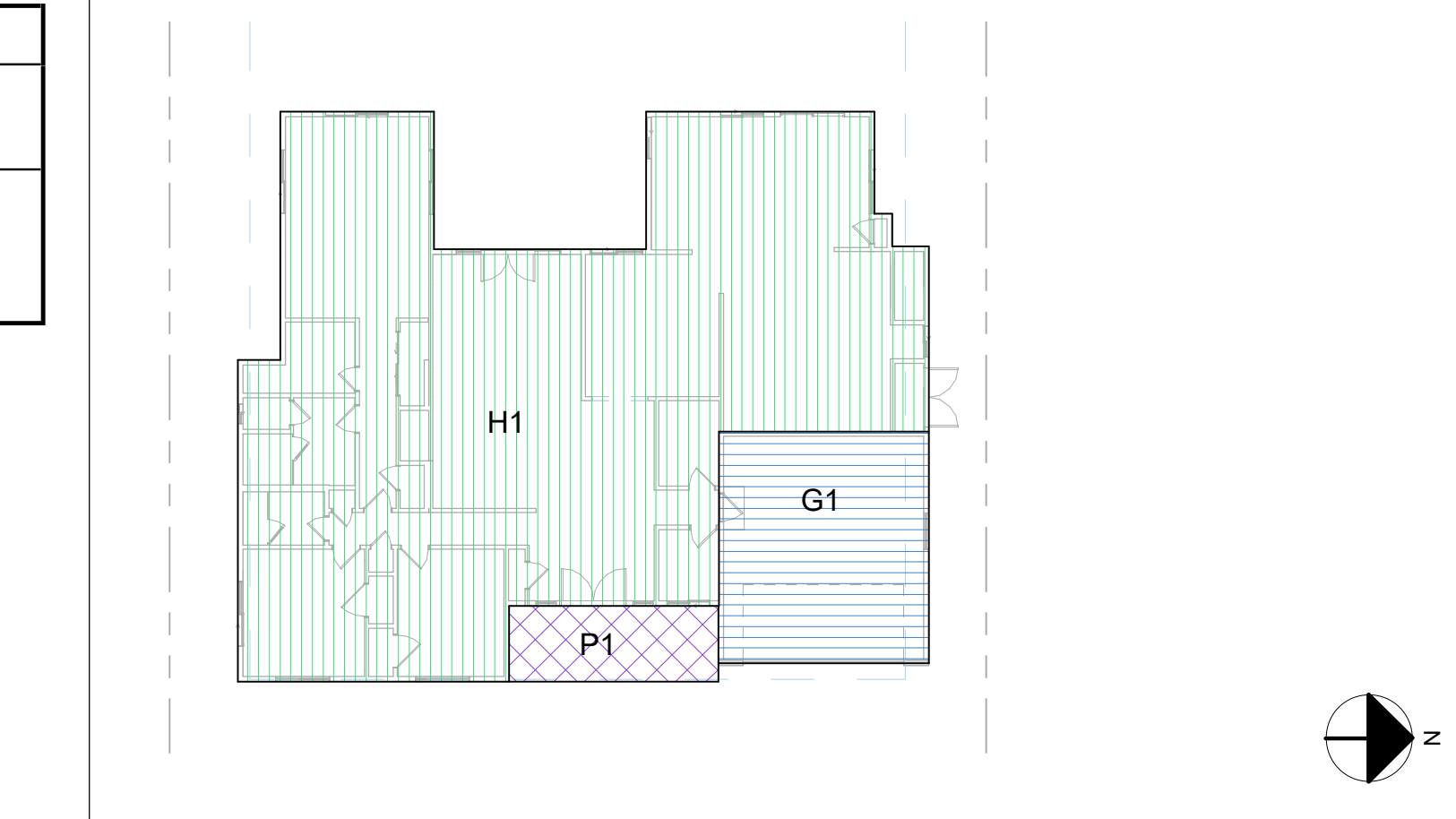
	Existing	Change in	Total Proposed
<b>HABITABLE LIVING AREA:</b> <i>Includes habitable basement areas</i>	2,415 square feet	+449 square feet	2,864 square feet
<b>NON-HABITABLE AREA:</b> <i>Does not include covered porches or open structures</i>	421 square feet	N/A square feet	421 square feet

#### LOT CALCULATIONS

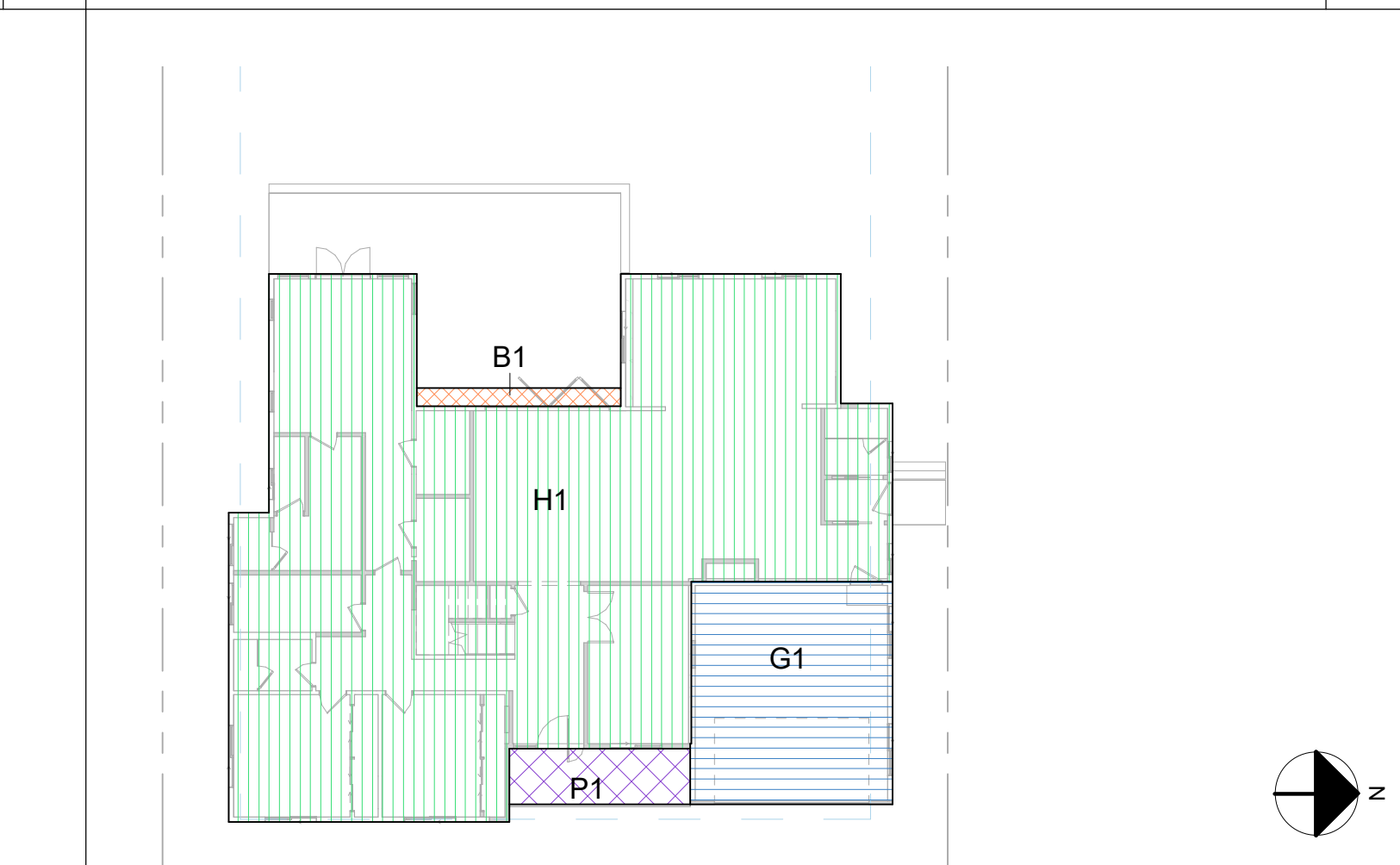
<b>NET LOT AREA:</b>	9,386 square feet
<b>FRONT YARD HARDSCAPE AREA:</b> <i>Hardscape area in the front yard setback shall not exceed 50%</i>	759 square feet (39.94%)
<b>LANDSCAPING BREAKDOWN:</b>	Total hardscape area (existing and proposed): 6560 sq ft Existing softscape (undisturbed) area: 2826 sq ft New softscape (new or replaced landscaping) area: 0 sq ft <i>Sum of all three should equal the site's net lot area</i>



#### (E) LOT COVERAGE KEY PLAN 10



#### 7 (P) LOT COVERAGE KEY PLAN 11



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PLANNING PACKAGE

TITLE SHEET

2022.04.27

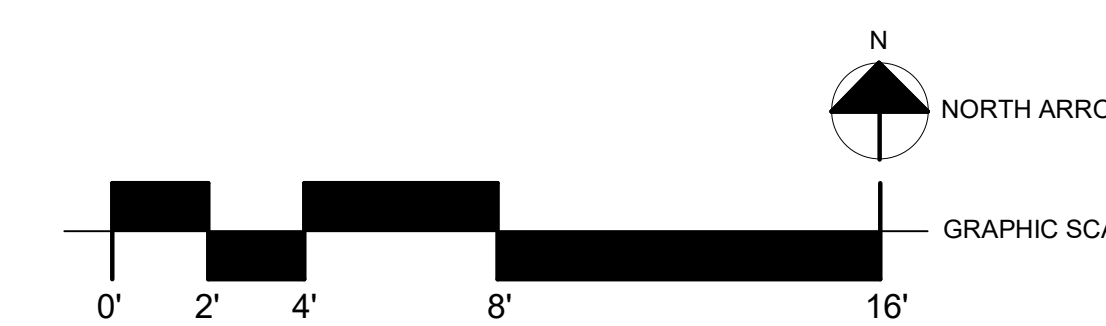
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&	AND	FPRF.	FIREPROOF	PNL.	PANEL
<	ANGLE	FRM.	FRAMING	PR.	PAIR
@	AT	FT.	FOOR OF FEET	PT.	POINT
±	CENTERLINE	FTG.	FOOTING	PTD.	PAINTED
#	PHASABLE @ (E) BLDG POUND OF NUMBER	FURR.	FURRING	PTN.	PARTITION
#	PROPERTY LINE	FUT.	FUTURE	Q.T.	QUARRY TILE
A.B.	ANCHOR BOLT	G.C.	GENERAL CONTRACTOR	R	RISER
A.F.F.	ABOVE FINISHED FLOOR	G.F.R.C.	GLASS FIBER REIN. CONC.	R.D.	ROOF DRAIN
A.P.L.	ASSUMED PROPERTY LINE	G.F.R.G.	GLASS FIBER REIN. GYP.	R.H.	ROBE HOOK
A/C	AIR CONDITIONING	G.I.	GALVANIZED IRON	R.O.	ROUGH OPENING
AC.	ACOUSTICAL	G.L.B.	GLUE-LAMINATED BEAM	R.T.	RESILIENT TILE
ADD'L	ADDITIONAL	G.B.	GRADE BEAM	R.W.L.	RAIN WATER LEADER
ADDN.	ADDITION	GALV.	GALVANIZED	RAD.	RADIUS
ADJ.	ADJUSTABLE	GEN.	GENERAL	RD.	ROUND
AGG.	AGGREGATE	GL.	GLASS	REF.	REFERENCE
AL.	ALUMINUM	GND.	GROUND	REFG.	REFRIGERATOR
ATL.	ALTERNATE	GR.	GRADE	REG.	REGISTER
APPROX.	APPROXIMATE	GYP.	GYP. BD.	REINF.	REINFORCEMENT
ARCH.	ARCHITECTURAL	H.A.	HANDICAP ACCESSIBLE	REQ'D	REQUIRED
B.M.	BENCH MARK	H.B.	HOSE BIBB	RESIL.	RESILIENT
B.O.B.	BOTTOM OF BEAM	H.C.	HOLLOW CORE	REV.	REVISION
BD.	BOARD	H.D.	HOLD DOWN	RFG.	ROOFING
BITUM.	BITUMINOUS	H.S.B.	HIGH-STRENGTH BOLT	RGH.	ROUGH
BLDG.	BUILDING	H.M.	HOLLOW METAL	RM.	ROOM
BLKG.	BLOCKING	H.W.	HOT WATER	RWD.	REDWOOD
BM.	BEAM	HD.	HEAD	S.A.D.	SEE ARCH. DRAWINGS
BOT.	BOTTOM	HDR.	HEADER	S.C.	SOLID CORE
BTWN.	BETWEEN	HDW.	HARDWARE	S.C.D.	SEAT COVER DISPENSER
C.B.	CATCH BASIN	HDWD.	HARDWOOD	S.D.	SOAP DISPENSER
C.C.T.	CUBICLE CURTAIN TRACK	HK	HOOK	S.J.	SAWCUT JOIST
C.D.U.	COMB. DISPENSING UNIT	HORIZ.	HORIZONTAL	S.M.D.	SEE MECH. DRAWINGS
C.I.	CAST IRON	HR.	HOUR	S.M.S.	SHEET METAL SCREW
C.J.	CONTROL JOINT	HT.	HEIGHT	S.O.G.	SLAB ON GRADE
C.L.P.	CENTERLINE OF PIER	HTR.	HEATER	S.S.	STAINLESS STEEL
C.M.U.	CONCRETE MASONRY UNIT	I.D.	INSIDE DIAMETER	S-S	SERVICE SINK
C.O.	CLEAN OUT	I.F.	INSIDE FACE	S.W.	SHEAR WALL
C.T.	CERAMIC TILE	I.J.	ISOLATION JOINT	SCHED.	SCHEDULE
CAB.	CABINET	IN.	INCH	SCR.	SCREW
CEM.	CEMENT	INSUL.	INSULATION	SDG.	SIDING
CER.	CERAMIC	INT.	INTERIOR	SECT.	SECTION
CLG.	CEILING	INV.	INVERT	SEL.	SELECT
CLR.	CLEAR	INT.	INTRAVENOUS TRACK	SEL. STR.	SELECT STRUCTURAL
COL.	COLUMN	JAN.	JANITOR	SH.	SHelf
COMB.	COMBINATION	JST.	JOIST	SH.	SHEET
CONC.	CONCRETE	JT.	JOINT	SHWR.	SHOWER
CONN.	CONNECTION	KIT.	KITCHEN	SIM.	SIMILAR
CONST.	CONSTRUCTION	L.P.	LAMINATED PLASTIC	SLDG.	SLIDING
CONT.	CONTINUOUS	LAM.	LAMINATE	SM.	SMOOTH
CONTR.	CONTRACTOR	LAV.	LAVATORY	SPEC.	SPECIFICATION
CORR.	CORRIDOR	LB.	POUND	SPL.	SPLASH
CTR.	CENTER	LDGR.	LEDGER	SQ.	SQUARE
CTSK.	COUNTERSUNK	LGTH.	LENGTH	STD.	STANDARD
D.B.A.	DEFORMED BAR ANCHOR	LT.	LIGHT	STGR.	STAGGER
D.D.	DECK DRAIN	M	MIRROR	STIFF.	STIRRUP
D.F.	DOUGLAS FIR	M.B.	MACHINE BOLT	STL.	STEEL
D.O.	DO OVER	M.B.H.	MOP AND BROOM HOLDER	STOR.	STORAGE
D.P.	DAMP PROOFING	M.C.	MEDICINE CABINET	STRUCT.	STRUCTURAL
DRK. FTN.	DRINKING FOUNTAIN	M.E.	MATCH EXISTING	SUSP.	SUSPENDED
D.S.	DOWNSPOUT	M.G.P.	MEDICAL GAS PANEL	SW. BD.	SWITCH BOARD
DB.	DECIBEL	M.H.	MANHOLE	SYM.	SYMMETRICAL
DBL.	DOUBLE	M.K.	MARKER BOARD	T	TREAD
DEPT.	DEPARTMENT	M.O.	MASONRY OPENING	T&B	TOP AND BOTTOM
DET.	DETAIL	MAT.	MATERIAL	T&G	TONGUE AND GROOVE
DIA.	DIAMETER	MAX.	MAXIMUM	T.B.	TOWEL BAR
DIAG.	DIAGONAL	MECH.	MECHANICAL	T.D.	TRENCH DRAIN
DIM.	DIMENSION	MEMB.	MEMBRANE	T.O.	TOP OF
DISP.	DISPENSER	MEZZ.	MEZZANINE	T.O.C.	TOP OF CURB/CONC.
DN.	DOWN	MFR.	MANUFACTURER	T.O.F.	TOP OF FOOTING
DR.	DOOR	MIN.	MINIMUM	T.O.P.	TOP OF PLATE
DWG.	DRAWING	MISC.	MISCELLANEOUS	T.O.S.	TOP OF STEEL
(E)	EXISTING	MLDG.	MOULDING	T.O.W.	TOP OF WALL
E.F.	EACH FACE	MTD.	MOUNTED	T.P.	TOP OF PAVEMENT
E.I.F.S.	EXT. INSUL. & FIN. SYSTEM	MTL.	METAL	T.P.D.	TOILET PEPPER DISPENSER
E.J.	EXPANSION JOINT	MUL.	MULLION	TEL.	TELEPHONE
E.N.	EDGE NAIL	(N)	NEW	TER.	TERRAZZO
E.O.R.	ENGINEER OF RECORD	N.F.	NEAR FACE	THK.	THICK
E.W.	EACH WAY	N.G.	NATURAL GRADE	TK. BD.	TACKBOARD
E.W.C.	ELECTRIC WATER COOLER	N.I.C.	NOT IN CONTRACT	TV.	TELEVISION
EA.	EACH	N.T.S.	NOT TO SCALE	TYP.	TYPICAL
EL.	ELEVATION	NO.	NUMBER	V.C.T.	VINYL COMPOSITION TILE
ELEC.	ELECTRICAL	NOM.	NOMINAL	V.C.P.	VITREOUS CLAY PIPE
ELEV.	ELEVATOR	O.A.	OVERALL	V.D.U.	VISUAL DISPLAY UNIT
EMERG.	EMERGENCY	O.C.	ON CENTER	V.G.	VERTICAL GRAIN
ENCL.	ENCLOSURE	O.C.	OUTSIDE DIAMETER	V.T.	VINYL TILE
EQ.	EQUAL	O.D.	OUTSIDE DIAMETER	V.T.R.	VENT THROUGH ROOF
EQPT.	EQUIPMENT	O.F.	OUTSIDE FACE	VERT.	VERTICAL
EXH.	EXHAUST	O.F.C.I.	OWNER FURNISHED, CONTR. INSTALLED	VEST.	VESTIBULE
EXP.	EXPANSION	O.F.D.	OVERFLOW DRAIN	V.I.F.	VERIFY IN FIELD
EXT.	EXTERIOR	O.F.S.	OVERFLOW SCUPPER	W/	WITH
F.A.	FIRE ALARM	O.H.	OPPOSITE HAND	W/O	WITHOUT
F.B.	FLAT BAR	O.L.	OVERALL LENGTH	W.C.	WATER CLOSET
F.C.O.	FLOOR CLEAN OUT	O.S.B.	ORIENTED STRAND BOARD	W.F.	WIDE FLANGE
F.D.	FLOOR DRAIN	O/	OVER	W.H.	WATER HEATER
F.E.	FIRE EXTINGUISHER	OBS.	OBSCURE	W.H.S.	WELDED HEAD STUDS
F.E.C.	FIRE EXTINGUISHER CAB.	OPP.	OPPOSITE	W.P.	WATERPROOF
F.F.	FAR FACE	OPNG.	OPENING	W.S.P.	WOOD STRUCT. PANEL
F.G.	FINISHED GRADE	P.A.D.	POWER ACTUATED DEVICE	W.R.	WASTE RECEPTACLE
F.H.C.	FIRE HOUSE CABINET	P.C.	PRECAST CONCRETE	W.W.F.	WELDED WIRE MESH
F.H.S.	FLAT HEAD SCREW	P.I.P.	POURED-IN-PLACE	WD.	WOOD
F.L.	FLOW LINE	P.J.	TILT-UP PANEL JOIST	WK. PT.	WORK POINT
F.N.	FIELD NAIL	P.L.	PROPERTY LINE	WT.	WEIGHT
F.O.C.	FACE OF CONCRETE	P.O.C.	POINT OF CONNECTION		
F.O.F.	FACE OF FINISH	P.S.F.	POUNDS PER SQ. FOOT		
F.O.M.	FACE OF MASONRY	P.S.I.	POUNDS PER SQ. INCH		
F.O.S.	FACE OF STUD	P.T.	PRESSURE TREATED		
F.R.	FIRE RETARDANT	P.T.D.	PAPER TOWEL DISPENSER		
F.S.	FLR. SINK/FOOD SERVICE	P.W.	PLATE WASHER		
F.S.E.C.	FOOD SERVICE EQUIPMENT CONTR.	PEN.	PENETRATION(S)		
F.S.S.	FOLDING SHOWER SEAT	PERP.	PERPENDICULAR		
FDN.	FOUNDATION	PG.	PAGE		
FIN.	FINISH	PLAM.	PLASTIC LAMINATE		
FIXT.	FIXTURE	PL.	PLATE		
FL.	FLOOR	PLAST.	PLASTER		
FLUOR.	FLUORESCENT	PLBG.	PLUMBING		
		PLYWD.	PLYWOOD		

Description	Date
[Symbol] WALL TAG	(E) WALLS TO REMAIN
[Symbol] WINDOW TAG	(P) NEW WALLS
[Symbol] DOOR TAG	WINDOW
[Symbol] TEMPERED TAG	DOOR
[Symbol] OBSOLETE TAG	
[Symbol] PLAN NOTE	
[Symbol] SIM ELEVATION TAG	BASE CABINET
[Symbol] SIM DETAIL TAG	CORNER BASE CABINET
[Symbol] SIM SECTION TAG	TALL CABINET
[Symbol] GRID MARKER	WALL CABINET
[Symbol] LEVEL MARKER	CORNER WALL CABINET
[Symbol] SPOT ELEVATION	COUNTERTOP
[Symbol] REVISION DELTA	COUNTERTOP L
[Symbol] CENTERLINE	SHELVE & ROD
[Symbol] ROOM TAG	SHOWER
[Symbol] NORTH ARROW	SHOWER
[Symbol] GRAPHIC SCALE	WATER CLOSET
[Symbol] KING BED	BIDET
[Symbol] QUEEN BED	BIDET
[Symbol] DOUBLE BED	WATER HEATER
[Symbol] TWIN BED	AIR CONDITIONING UNIT
[Symbol] RECLINER	FURNACE
[Symbol] SOFA	VANITY SINK
[Symbol] CORNER SOFA	SINGLE SINK
[Symbol] LOVE SEAT	DBL SINK
[Symbol]	BATH TUB
[Symbol]	WASHER
[Symbol]	DRYER
[Symbol]	WASHER/DRYER COMBO
[Symbol]	ELEC. COOKTOP
[Symbol]	COOKTOP
[Symbol]	GAS COOKTOP
[Symbol]	COOKTOP
[Symbol]	GAS RANGE
[Symbol]	RANGE
[Symbol]	BUILT-IN OVEN
[Symbol]	REFRIGERATOR
[Symbol]	GAS METER
[Symbol]	ELECTRIC METER



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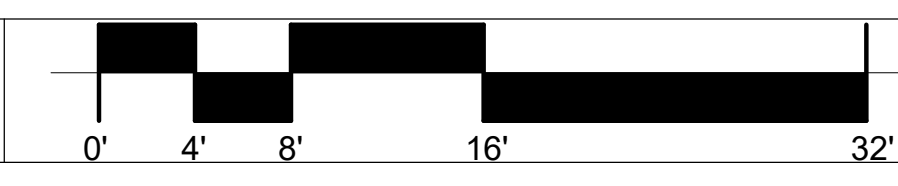


(E) FAR  
 (E) 1ST FLR TO BE DEMOLISHED  
 (E) 1ST FLR TO BE REMODELED  
 (E) GARAGE TO REMAIN



(P) FAR  
 (E) 1ST FLR TO BE REMODELED  
 (E) GARAGE TO REMAIN  
 (P) 1ST FLR ADDITION

(E) 1ST FLOOR AREA DIAGRAM

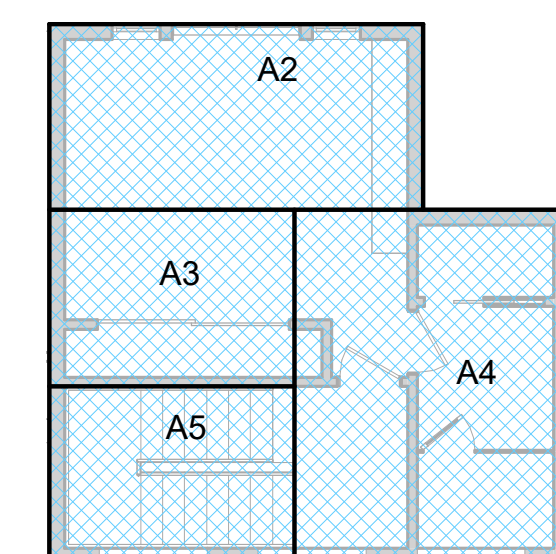


SCALE: 1/8" = 1'-0" 1

(P) 1ST FLOOR AREA DIAGRAM

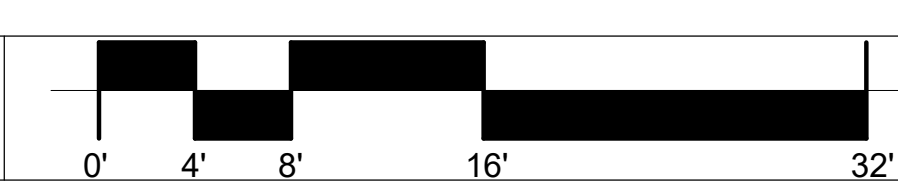


SCALE: 1/8" = 1'-0" 2



(P) FAR  
 (P) 2ND FLR ADDITION

(P) 2ND FLOOR AREA DIAGRAM



SCALE: 1/8" = 1'-0" 3

AREA CALCULATIONS

(E) FAR CALCULATION				(P) FAR CALCULATION			
NO.	Width	Length	AREA	NO.	WIDTH	LENGTH	AREA
<b>(E) 1ST FLR TO BE DEMOLISHED</b>				<b>(E) 1ST FLR TO BE REMODELED</b>			
D1	3' - 1"	1' - 8"	5 SF	R1	29' - 11"	18' - 3"	545 SF
			5 SF	R2	23' - 1"	14' - 3"	330 SF
<b>(E) 1ST FLR TO BE REMODELED</b>				R3	7' - 1"	7' - 0"	50 SF
R1	29' - 11"	18' - 3"	545 SF	R4	33' - 2"	26' - 7"	881 SF
R2	23' - 1"	14' - 3"	330 SF	R5	17' - 0"	14' - 5"	246 SF
R3	7' - 1"	7' - 0"	50 SF	R6	17' - 3"	5' - 1"	87 SF
R4	33' - 2"	26' - 7"	881 SF	R7	21' - 3"	12' - 10"	272 SF
R5	17' - 0"	14' - 5"	246 SF				2410 SF
R6	17' - 3"	5' - 1"	87 SF	<b>(E) GARAGE TO REMAIN</b>			
R7	21' - 3"	12' - 10"	272 SF	G1	19' - 7"	5' - 5"	105 SF
			2410 SF	G2	19' - 6"	16' - 2"	316 SF
<b>(E) GARAGE TO REMAIN</b>							421 SF
G1	19' - 7"	5' - 5"	105 SF	<b>(P) 1ST FLR ADDITION</b>			
G2	19' - 6"	16' - 2"	316 SF	A1	7' - 1"	1' - 11"	14 SF
			421 SF				14 SF
<b>(E) FAR TOTAL</b>				<b>(P) 2ND FLR ADDITION</b>			
			2836 SF	A2	15' - 7"	7' - 9"	121 SF
			2836 SF	A3	10' - 3"	7' - 4"	75 SF
			2836 SF	A4	14' - 9"	11' - 5"	168 SF
			2836 SF	A5	10' - 3"	7' - 4"	75 SF
			2836 SF				440 SF
			2836 SF	<b>(P) FAR TOTAL</b>			
			2836 SF				3285 SF
			2836 SF	<b>ALLOWED FAR</b>			
			2836 SF				3285.10 SF

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**PLANNING PACKAGE**  
 AREA DIAGRAMS &  
 CALCULATIONS

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**ALTOS, CA 94024**




**PLANNING PACKAGE**  
**LOT COV. DIAGRAMS &**  
**CALCULATIONS**

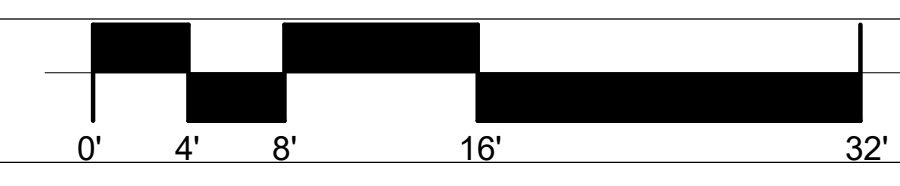
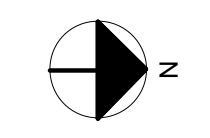
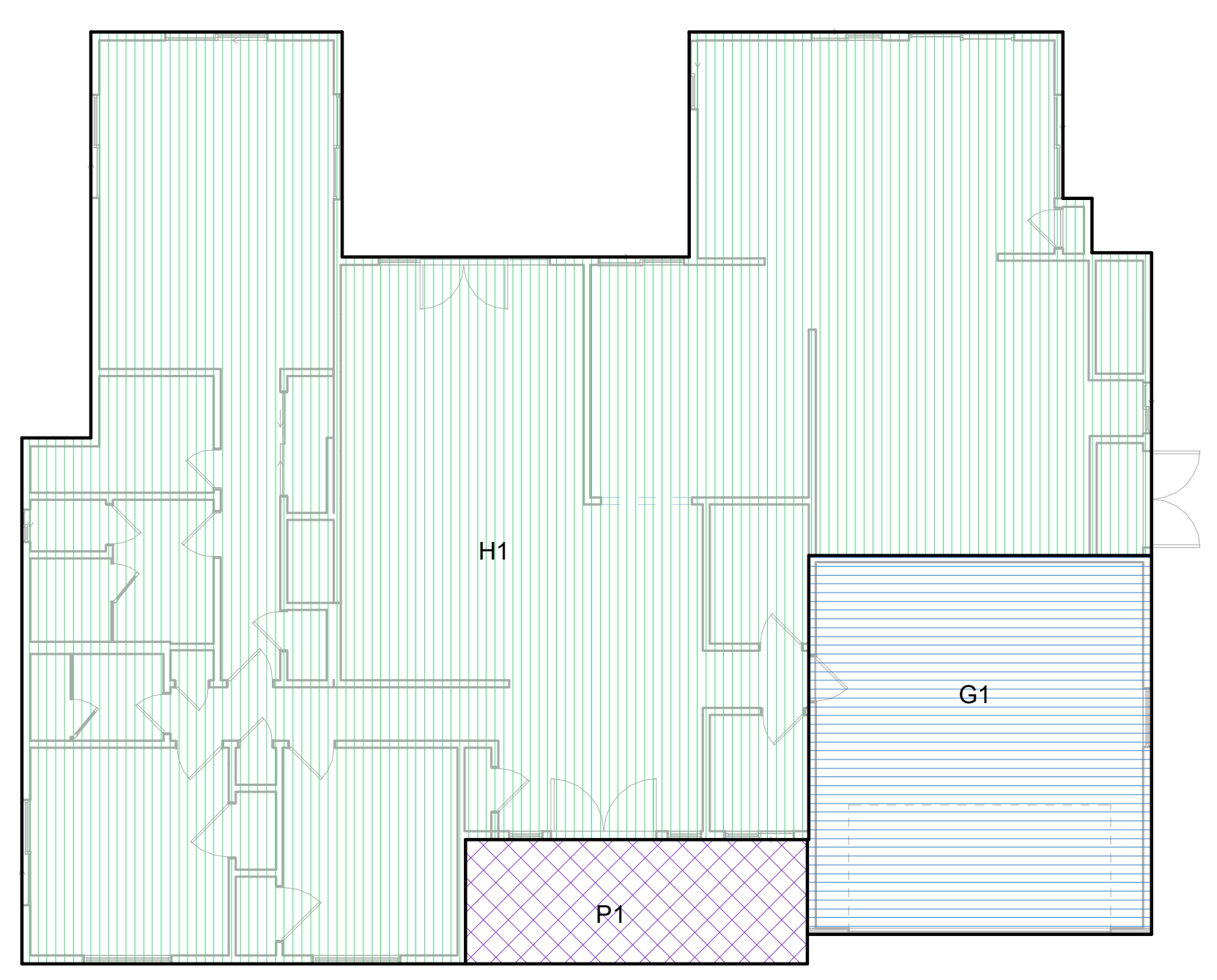
2022.04.27

**A0.08**

4/28/2022 11:13:42 PM

(E) LOT COVERAGE		
NO.	AREA	%
<b>(E) COVERED PORCH</b>		
P1	138 SF	1.47%
	138 SF	1.47%
<b>(E) GARAGE</b>		
G1	421 SF	4.48%
	421 SF	4.48%
<b>MAIN HOUSE</b>		
H1	2416 SF	25.74%
	2416 SF	25.74%
<b>(E) LOT COVERAGE TOTAL</b>	<b>2974 SF</b>	<b>31.69%</b>





- (E) LOT COV.
-  (E) COVERED PORCH
  -  (E) GARAGE
  -  MAIN HOUSE

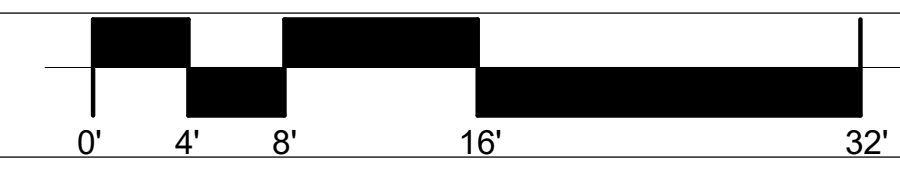
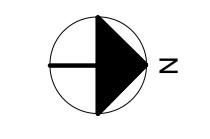
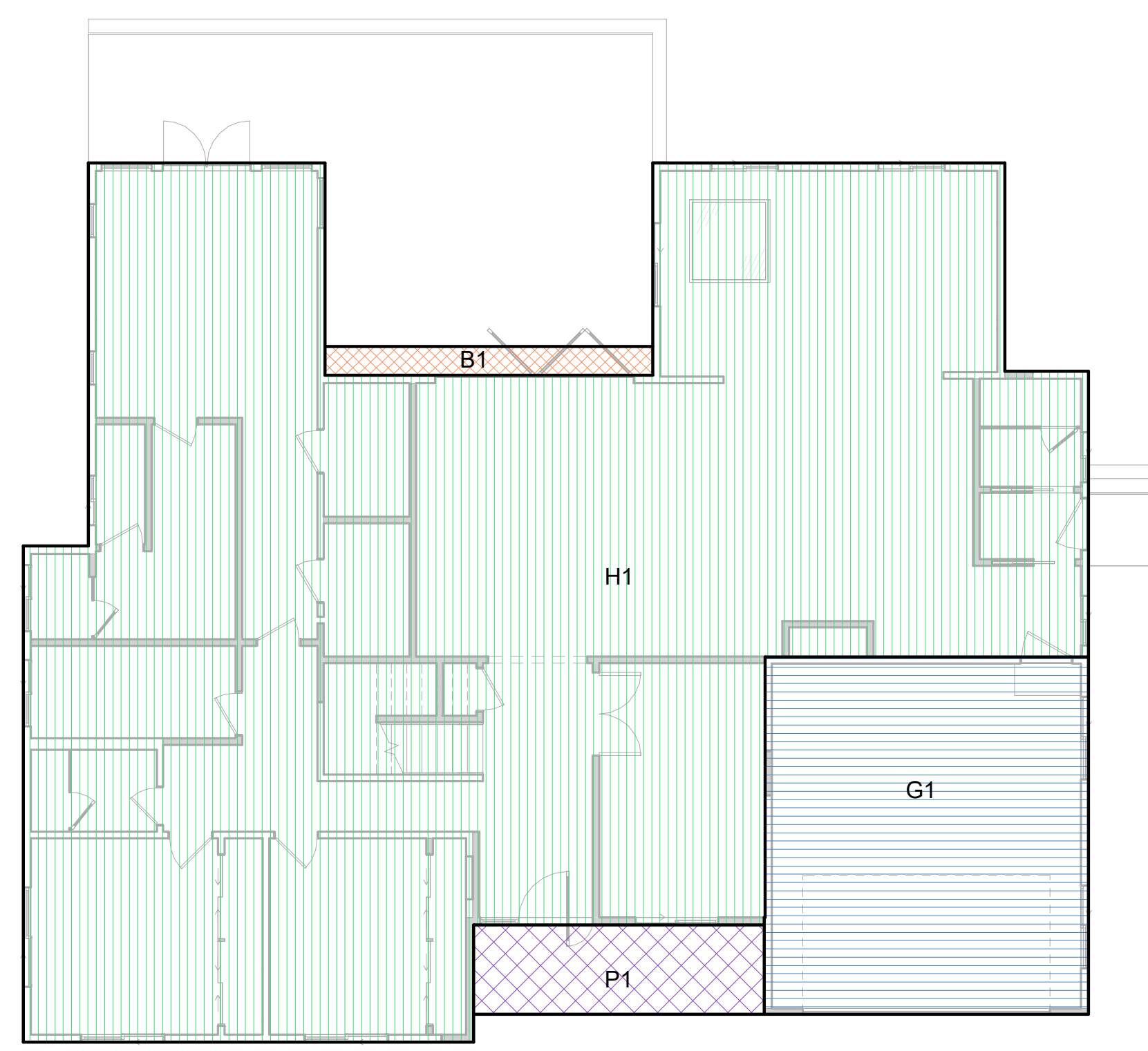


SCALE: 1/8" = 1'-0" 1

(E) LOT COVERAGE

(P) LOT COVERAGE		
NO.	AREA	%
<b>(E) GARAGE</b>		
G1	421 SF	4.49%
	421 SF	4.49%
<b>(P) COVERED PATIO</b>		
B1	35 SF	0.37%
	35 SF	0.37%
<b>(P) COVERED PORCH</b>		
P1	94 SF	1.00%
	94 SF	1.00%
<b>MAIN HOUSE</b>		
H1	2424 SF	25.83%
	2424 SF	25.83%
<b>(P) LOT COVERAGE TOTAL</b>	<b>2974 SF</b>	<b>31.68%</b>
<b>ALLOWED LOT COVERAGE</b>	<b>2,815.8 SF</b>	<b>30%</b>

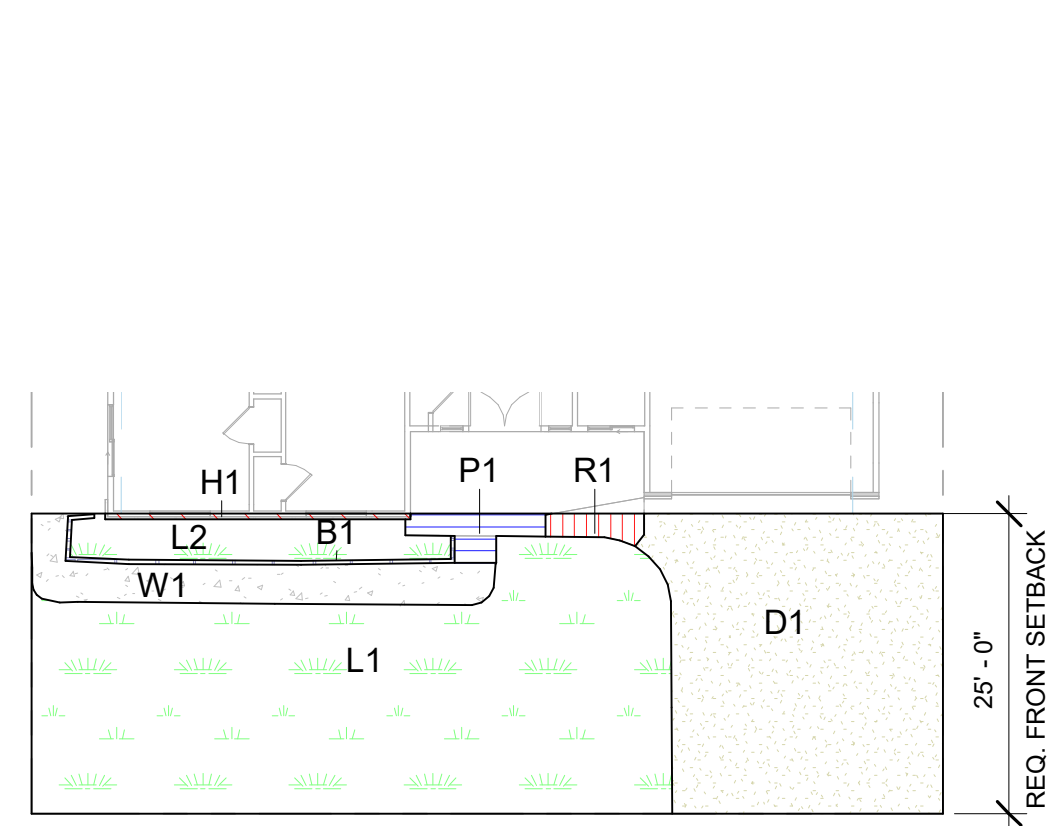
- (P) LOT COV.
-  (E) GARAGE
  -  (P) COVERED PATIO
  -  (P) COVERED PORCH
  -  MAIN HOUSE



SCALE: 1/8" = 1'-0" 2

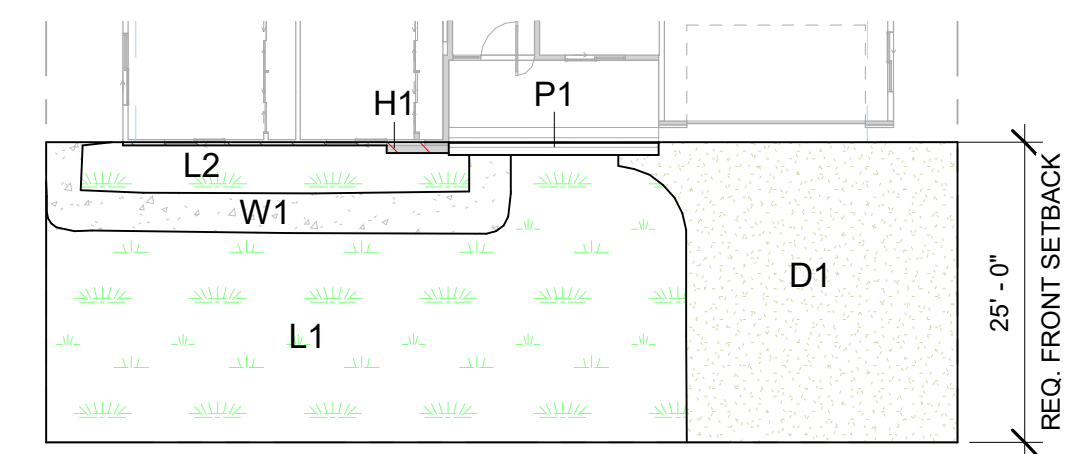
(P) LOT COVERAGE





- (E) FRONT HARDSCAPE
- (E) BRICK WALL
  - (E) DRIVEWAY
  - (E) HOUSE
  - (E) PORCH
  - (E) RAMP
  - (E) WALKWAY
  - (E) LAWN

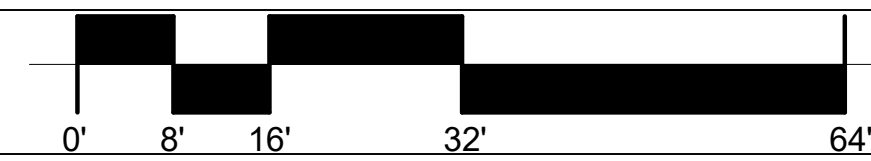
(E) FRONT HARDSCAPE		
NO.	AREA	%
<b>(E) BRICK WALL</b>		
B1	13 SF	0.70%
B1	13 SF	0.70%
<b>(E) DRIVEWAY</b>		
D1	576 SF	30.33%
D1	576 SF	30.33%
<b>(E) HOUSE</b>		
H1	11 SF	0.59%
H1	11 SF	0.59%
<b>(E) PORCH</b>		
P1	29 SF	1.54%
P1	29 SF	1.54%
<b>(E) RAMP</b>		
R1	17 SF	0.90%
R1	17 SF	0.90%
<b>(E) WALKWAY</b>		
W1	140 SF	7.36%
W1	140 SF	7.36%
<b>(E) FRONT HARDSCAPE</b>		
	787 SF	41.42%



- (P) FRONT HARDSCAPE
- (E) DRIVEWAY
  - (E) HOUSE
  - (E) WALKWAY
  - (P) PORCH
  - (E) LAWN

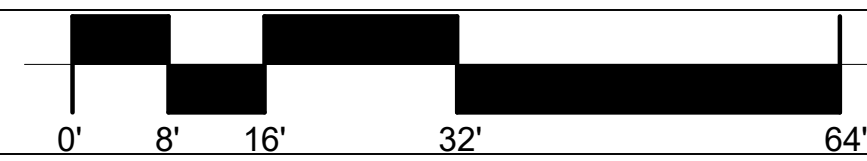
(P) FRONT HARDSCAPE		
NO.	AREA	%
<b>(E) DRIVEWAY</b>		
D1	580 SF	30.55%
D1	580 SF	30.55%
<b>(E) HOUSE</b>		
H1	10 SF	0.50%
H1	10 SF	0.50%
<b>(E) WALKWAY</b>		
W1	150 SF	7.91%
W1	150 SF	7.91%
<b>(P) PORCH</b>		
P1	19 SF	0.98%
P1	19 SF	0.98%
<b>(P) FRONT HARDSCAPE</b>		
	759 SF	39.94%
<b>ALLOWED FRONT HARDSCAPE</b>		
	950 SF	50%

(E) FRONT HARDSCAPE

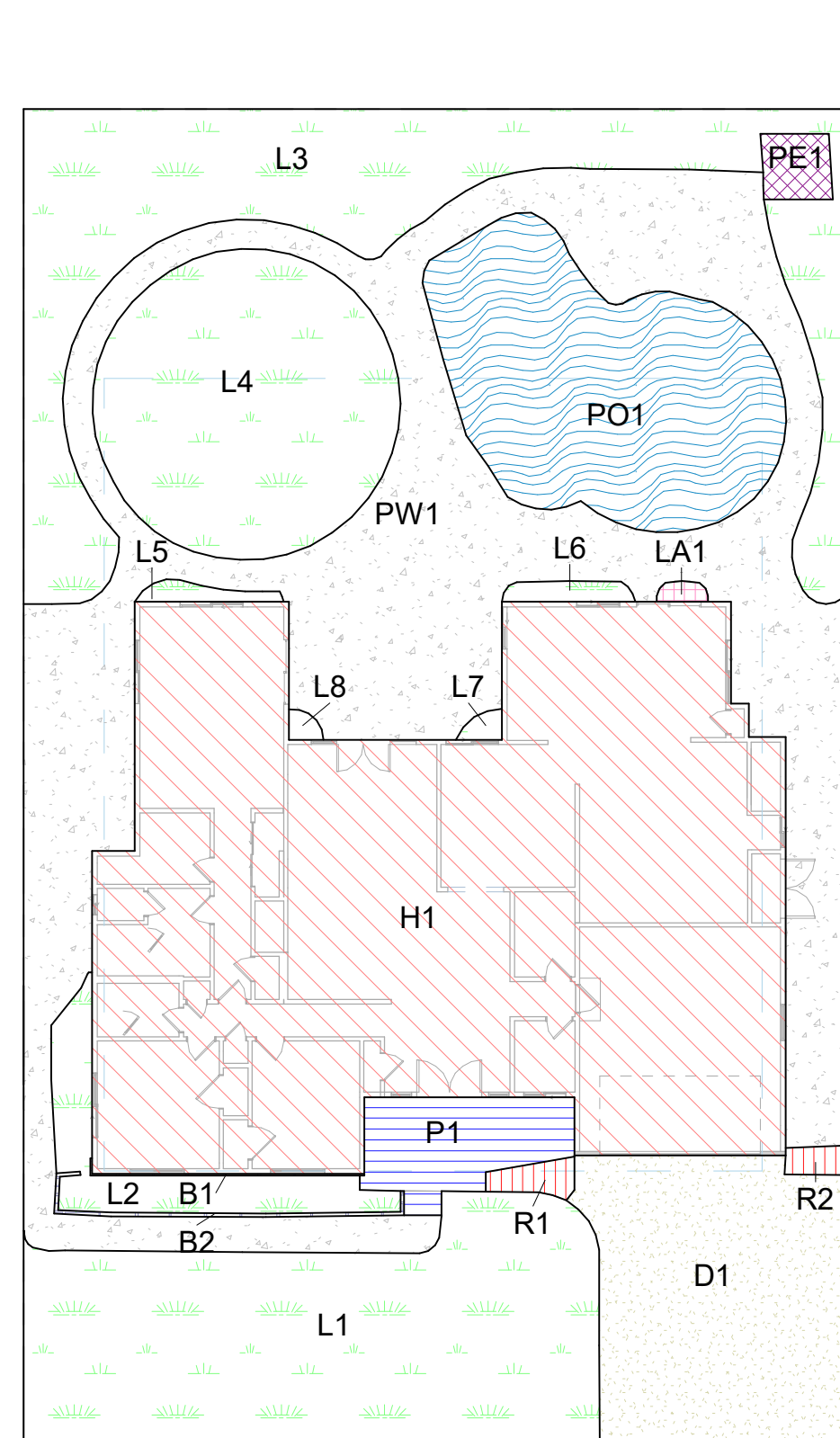


1

(P) FRONT HARDSCAPE



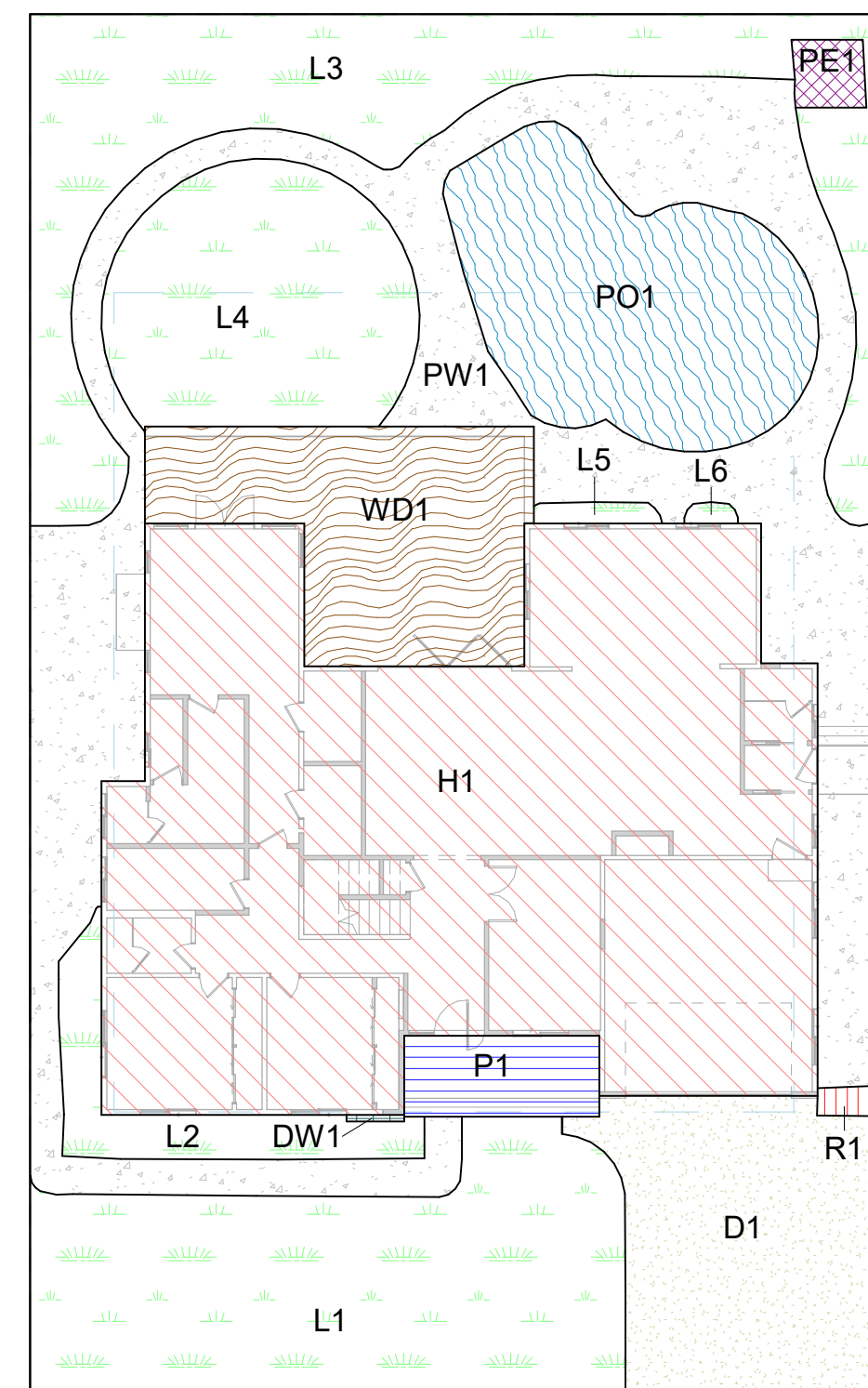
3



- (E) HARDSCAPE
- (E) BRICK WALL
  - (E) DRIVEWAY
  - (E) HOUSE
  - (E) LANDING
  - (E) PATIO / WALKWAY
  - (E) POOL
  - (E) POOL EQU
  - (E) PORCH
  - (E) RAMP
  - (E) LAWN

(E) HARDSCAPE		
NO.	Area	%
<b>(E) BRICK WALL</b>		
B2	13 SF	0.14%
B1	6 SF	0.06%
B1	19 SF	0.20%
<b>(E) DRIVEWAY</b>		
D1	603 SF	6.43%
D1	603 SF	6.43%
<b>(E) HOUSE</b>		
H1	2836 SF	30.22%
H1	2836 SF	30.22%
<b>(E) LANDING</b>		
LA1	8 SF	0.09%
LA1	8 SF	0.09%
<b>(E) PATIO / WALKWAY</b>		
PW1	2134 SF	22.74%
PW1	2134 SF	22.74%
<b>(E) POOL</b>		
PO1	664 SF	7.08%
PO1	664 SF	7.08%
<b>(E) POOL EQU</b>		
PE1	39 SF	0.41%
PE1	39 SF	0.41%
<b>(E) PORCH</b>		
P1	157 SF	1.67%
P1	157 SF	1.67%
<b>(E) RAMP</b>		
R2	14 SF	0.15%
R1	22 SF	0.24%
R1	36 SF	0.38%
<b>(E) HARDSCAPE</b>		
	6496 SF	69.21%

(E) SOFTSCAPE		
NO.	AREA	%
<b>LAWN</b>		
L1	1010 SF	10.76%
L2	162 SF	1.73%
L3	1014 SF	10.80%
L4	648 SF	6.91%
L5	18 SF	0.19%
L6	22 SF	0.23%
L7	9 SF	0.09%
L8	7 SF	0.08%
	2889 SF	30.78%
<b>TOTAL SOFTSCAPE: 8</b>		
	2889 SF	30.78%

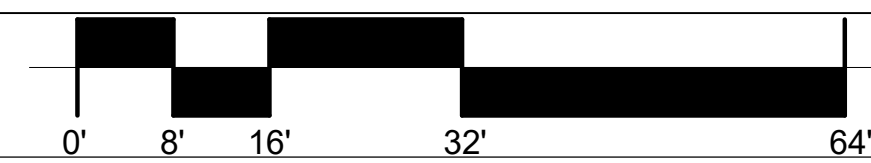


- (P) HARDSCAPE
- (E) DRIVEWAY
  - (E) HOUSE
  - (E) PATIO / WALKWAY
  - (E) POOL
  - (E) POOL EQU
  - (E) RAMP
  - (P) DECORATIVE WALL
  - (P) PORCH
  - (P) WOOD DECK
  - (E) LAWN

(P) HARDSCAPE		
NO.	Area	%
<b>(E) DRIVEWAY</b>		
D1	609 SF	6.49%
D1	609 SF	6.49%
<b>(E) HOUSE</b>		
H1	2845 SF	30.31%
H1	2845 SF	30.31%
<b>(E) PATIO / WALKWAY</b>		
PW1	1703 SF	18.14%
PW1	1703 SF	18.14%
<b>(E) POOL</b>		
PO1	664 SF	7.08%
PO1	664 SF	7.08%
<b>(E) POOL EQU</b>		
PE1	39 SF	0.41%
PE1	39 SF	0.41%
<b>(E) RAMP</b>		
R1	14 SF	0.15%
R1	14 SF	0.15%
<b>(P) DECORATIVE WALL</b>		
DW1	3 SF	0.03%
DW1	3 SF	0.03%
<b>(P) PORCH</b>		
P1	127 SF	1.35%
P1	127 SF	1.35%
<b>(P) WOOD DECK</b>		
WD1	556 SF	5.92%
WD1	556 SF	5.92%
<b>(P) HARDSCAPE</b>		
	6560 SF	69.89%

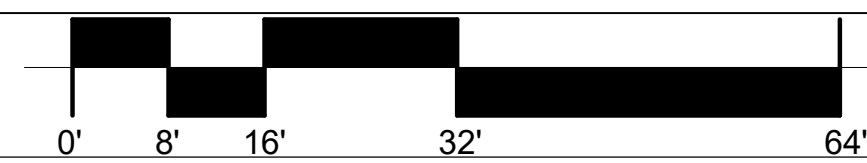
(P) SOFTSCAPE		
NO.	Area	%
<b>LAWN</b>		
L1	1023 SF	10.90%
L2	184 SF	1.96%
L3	1014 SF	10.80%
L4	576 SF	6.14%
L5	21 SF	0.22%
L6	8 SF	0.09%
	2826 SF	30.11%
<b>(P) SOFTSCAPE</b>		
	2826 SF	30.11%

(E) HARDSCAPE



2

(P) HARDSCAPE



4

**ROSHYAN RESIDENCE**  
**1848 FALLEN LEAF LN, LOS ALTOS, CA 94024**  
  
**PLANNING PACKAGE**  
  
**HARDSCAPE CALCULATIONS**

2022.04.27

A0.09



Description	Date
Revision 1	01/07/2022
Revision 2	03/30/2022



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ROSHIAN RESIDENCE  
 1848 FALLEN LEAF LN, LOS ALTOS, CA 94024

PLANNING PACKAGE  
 NEIGHBORHOOD CONTEXT  
 MAP



1815 FALLEN LEAF LN, LOS ALTOS  
 SINGLE -STORY RESIDENCE



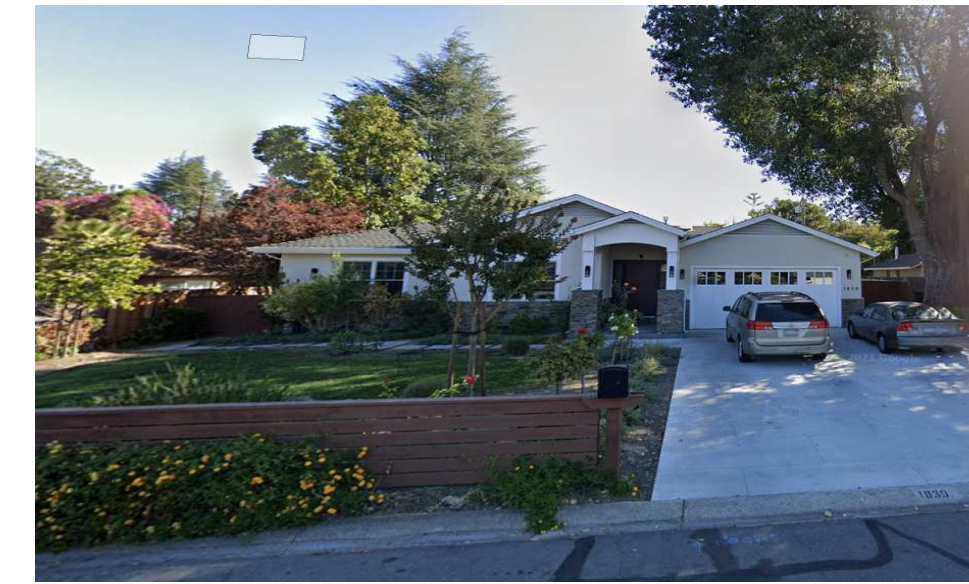
1833 FALLEN LEAF LN, LOS ALTOS  
 SINGLE -STORY RESIDENCE



1848 FALLEN LEAF LN, LOS ALTOS  
 TWO -STORY RESIDENCE  
 (PROPOSED DESIGN)



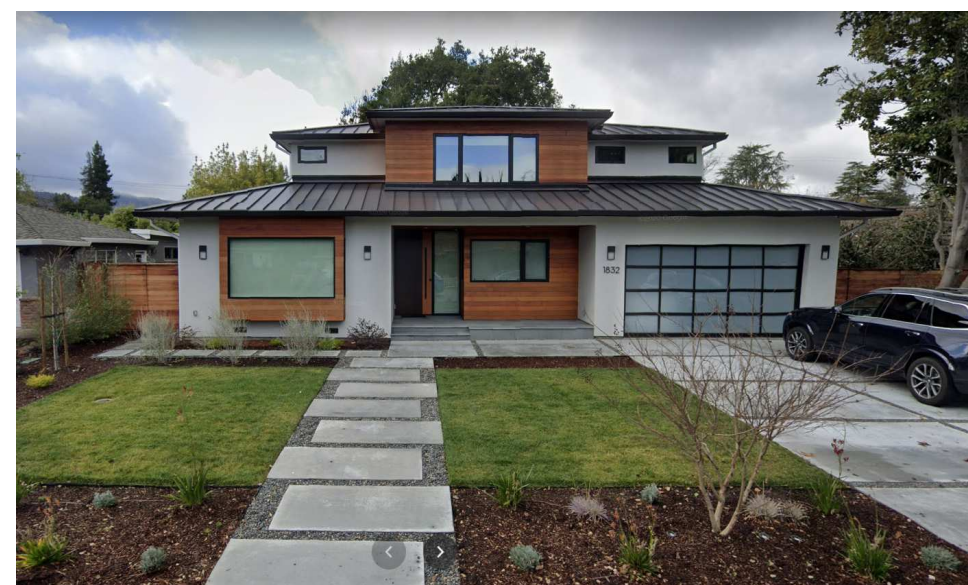
1848 FALLEN LEAF LN, LOS ALTOS  
 SINGLE -STORY RESIDENCE



1839 FALLEN LEAF LN, LOS ALTOS  
 SINGLE -STORY RESIDENCE



1823 FALLEN LEAF LN, LOS ALTOS  
 SINGLE -STORY RESIDENCE



1832 FALLEN LEAF LN, LOS ALTOS  
 TWO -STORY RESIDENCE



1840 FALLEN LEAF LN, LOS ALTOS  
 SINGLE -STORY RESIDENCE



1841 FARNDON AVE, LOS ALTOS  
 SINGLE STORY RESIDENCE



1489 FARNDON AVE, LOS ALTOS  
 SINGLE STORY RESIDENCE



1701 PENNY WAY, LOS ALTOS  
 SINGLE -STORY RESIDENCE



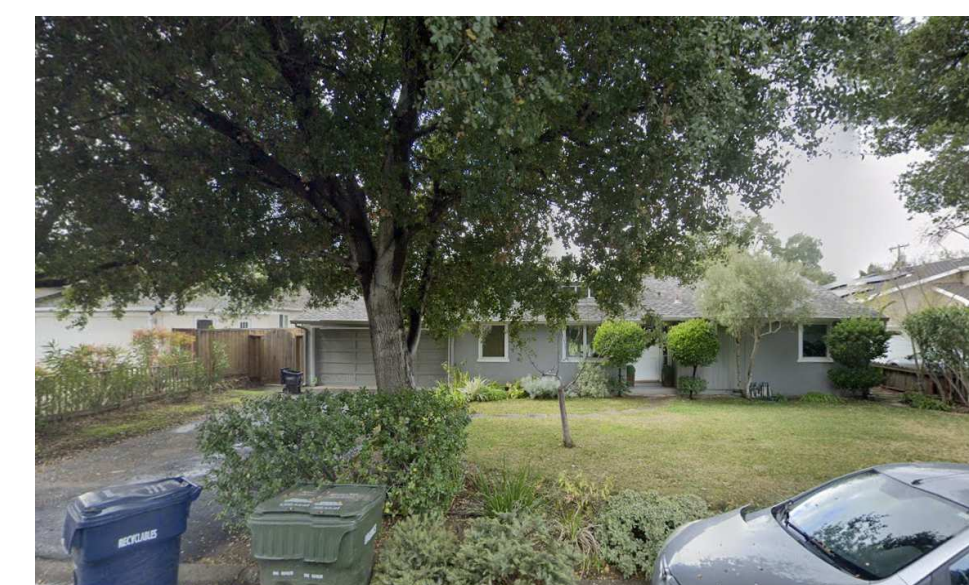
1857 FARNDON AVE, LOS ALTOS  
 SINGLE STORY RESIDENCE



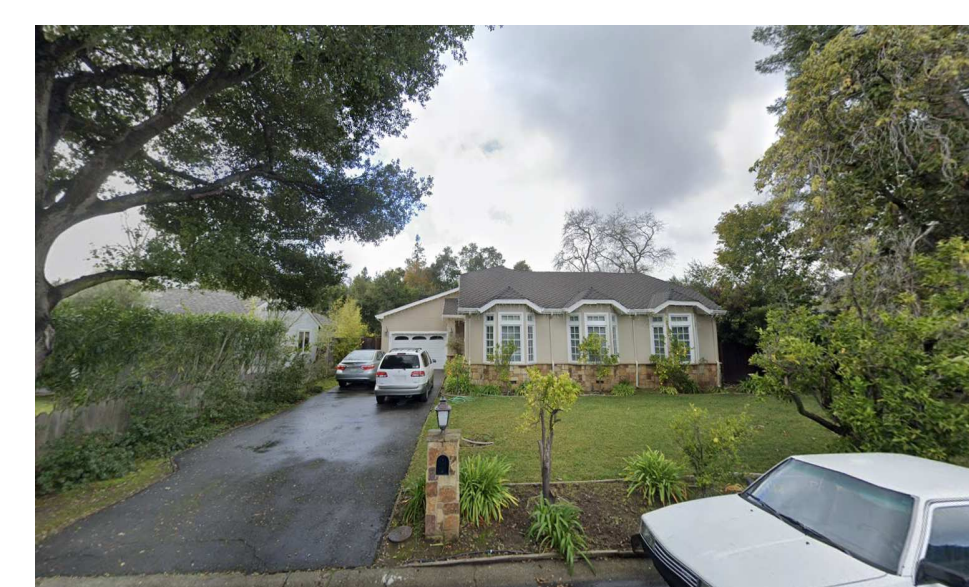
1847 FALLEN LEAF LN, LOS ALTOS  
 SINGLE -STORY RESIDENCE



1856 FALLEN LEAF LN, LOS ALTOS  
 SINGLE -STORY RESIDENCE



1872 FALLEN LEAF LN, LOS ALTOS  
 SINGLE -STORY RESIDENCE



1864 FALLEN LEAF LN, LOS ALTOS  
 SINGLE -STORY RESIDENCE



LEGEND	
	TREE



Description	Date
Revision 1	01/07/2022



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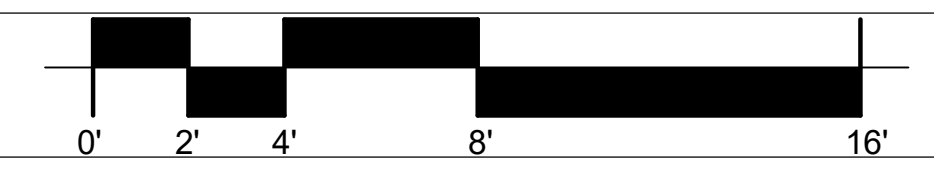
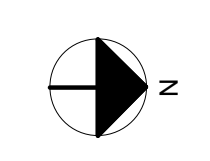
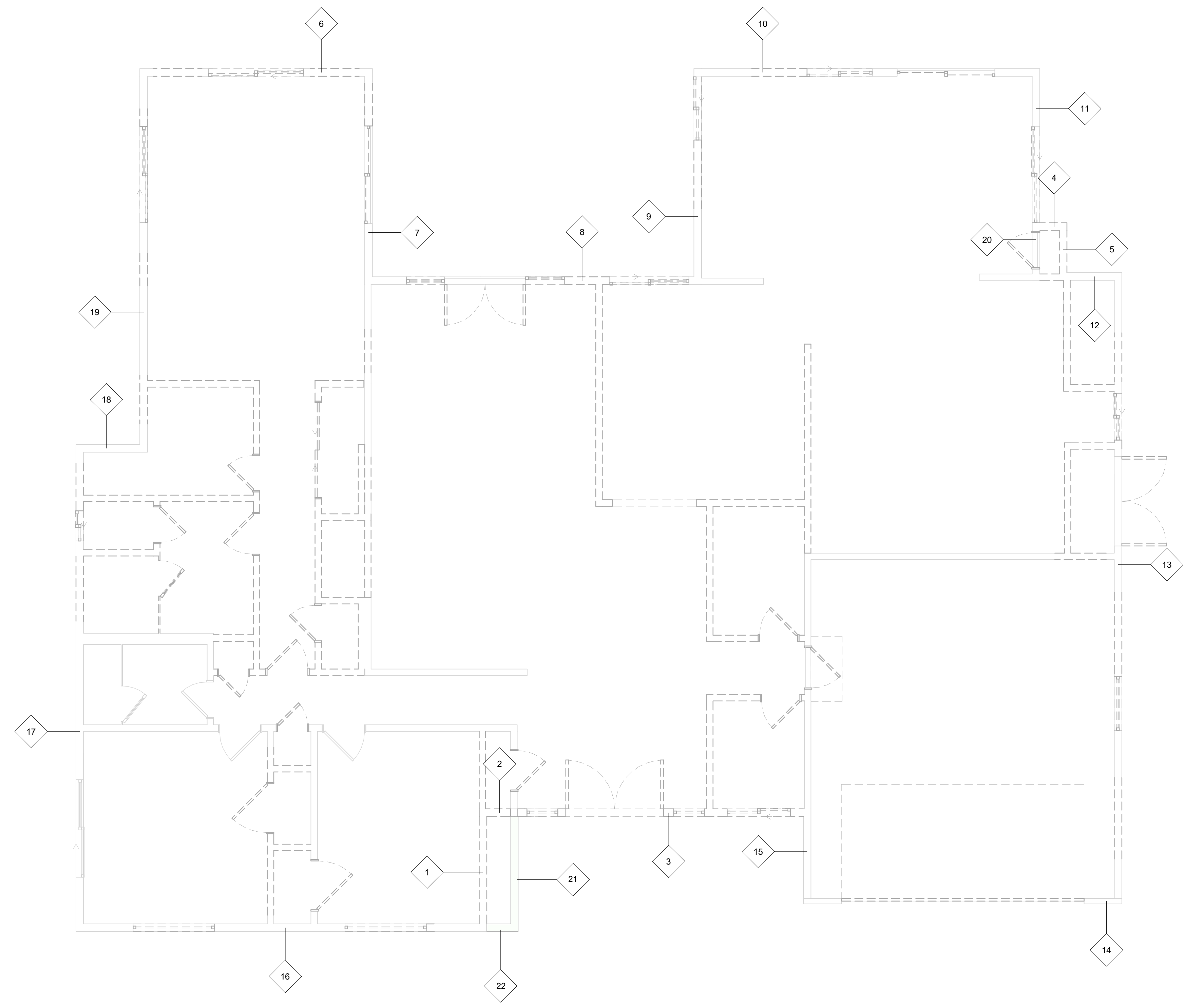
**ROSHYAN RESIDENCE**  
 1848 FALLEN LEAF LN, LOS  
 ALTOS, CA 94024

PLANNING PACKAGE  
 WALL & FOUNDATION  
 DEMOLITION CALCULATION

2022.04.27

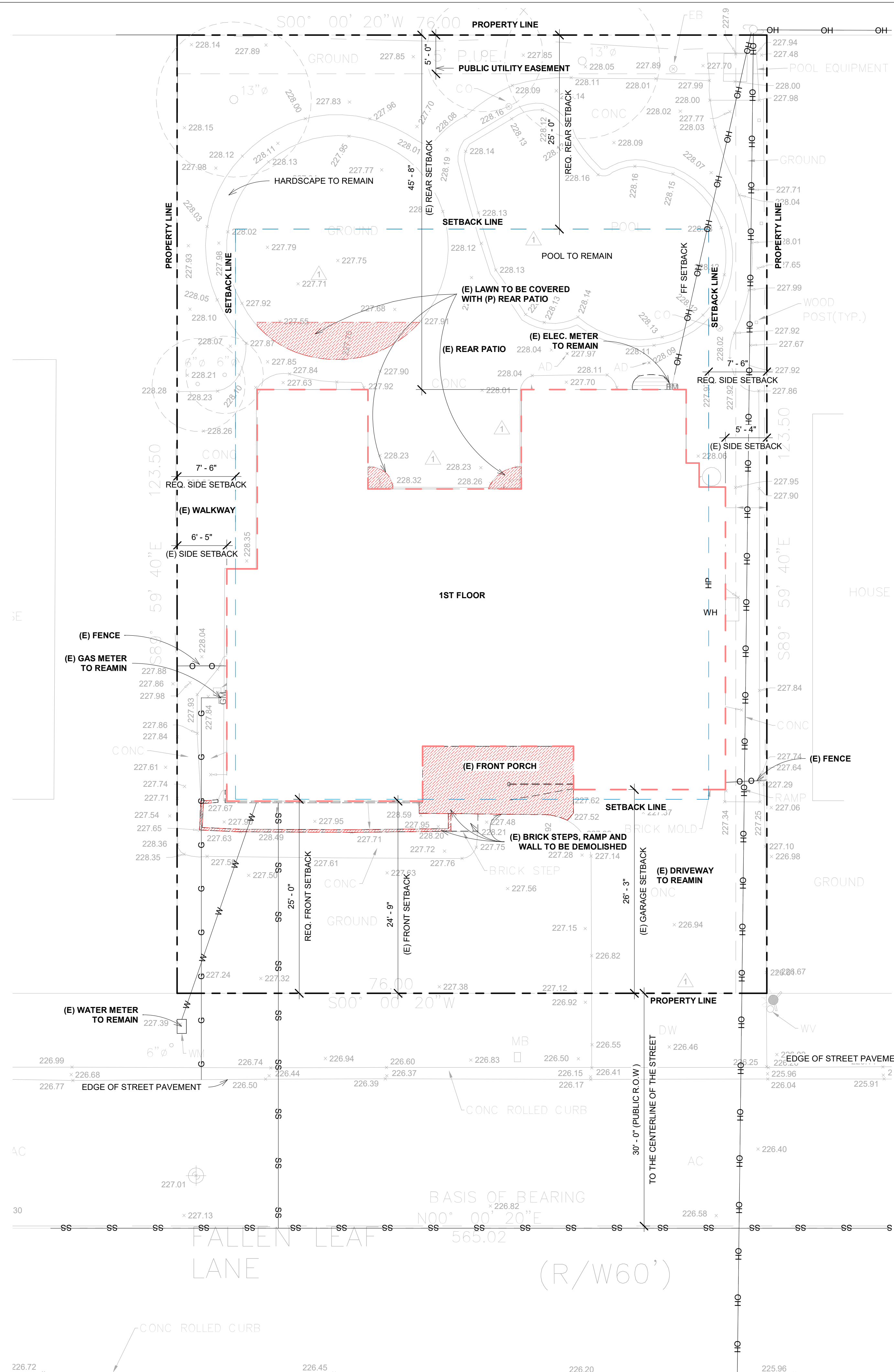
**A0.11**

EXTERIOR WALL & FOUNDATION DEMOLITION SCHEDULE			
NO.	LENGTH	COMMENTS	%
1	7' - 1"	EXISTING TO BE DEMOLISHED	2.51%
2	1' - 11"	EXISTING TO BE DEMOLISHED	0.69%
3	18' - 0"	EXISTING TO BE DEMOLISHED	6.39%
4	1' - 8"	EXISTING TO BE DEMOLISHED	0.59%
5	2' - 11"	EXISTING TO BE DEMOLISHED	1.03%
	31' - 7"		11.23%
6	13' - 10"	EXISTING TO BE REMAINED	4.91%
7	12' - 10"	EXISTING TO BE REMAINED	4.55%
8	20' - 3"	EXISTING TO BE REMAINED	7.19%
9	12' - 10"	EXISTING TO BE REMAINED	4.55%
10	20' - 9"	EXISTING TO BE REMAINED	7.39%
11	9' - 6"	EXISTING TO BE REMAINED	3.37%
12	3' - 2"	EXISTING TO BE REMAINED	1.12%
13	38' - 5"	EXISTING TO BE REMAINED	13.65%
14	19' - 1"	EXISTING TO BE REMAINED	6.80%
15	5' - 9"	EXISTING TO BE REMAINED	2.03%
16	25' - 0"	EXISTING TO BE REMAINED	8.89%
17	29' - 6"	EXISTING TO BE REMAINED	10.48%
18	3' - 11"	EXISTING TO BE REMAINED	1.39%
19	23' - 1"	EXISTING TO BE REMAINED	8.22%
20	3' - 1"	EXISTING TO BE REMAINED	1.09%
	240' - 10"		85.65%
21	7' - 1"	NEW	2.51%
22	1' - 9"	NEW	0.61%
	8' - 9"		3.12%
<b>TOTAL</b>	<b>281' - 2"</b>		<b>100.00%</b>



SCALE: 1/4" = 1'-0" 1





**LEGEND**

- PROPERTY LINES
- SETBACK LINES
- (E) 1ST FLOOR OUTLINE
- (P) 2ND FLOOR OUTLINE
- ELEC. LINE
- GAS LINE
- SANITARY SEWER LINE
- WATER LINE
- FENCE LINE
- TREE PROTECTION LINE
- OVERHEAD POWER LINE

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 Fax: 650-565-7869

Description	Date
Revision 1	01/07/2022

**ROSHYAN RESIDENCE**  
 1848 FALLEN LEAF LN, LOS ALTOS, CA 94024

**PLANNING PACKAGE**  
 (E) SITE PLAN

2022.04.27

**A1.01**



Description	Date
Revision 1	01/07/2022
Revision 3	05/03/2022



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ROSHYAN RESIDENCE  
1848 FALLEN LEAF LN, LOS  
ALTOS, CA 94024

PLANNING PACKAGE  
(P) SITE PLAN

2022.04.27

A1.02

4/28/2022 11:14:01 PM

**Air Handling Equipment/Air Conditioning Unit Setback Guidelines**

Air handling equipment, including air conditioning equipment must be located to comply with the City's Noise Control Ordinance (Municipal Code Chapter 6.16). The Planning Division has estimated the following setback guidelines for locating air handling equipment, including air conditioning units in order to meet the Noise Control Ordinance limit of 50 dBA at the property line for most residentially zoned properties. In addition, if the unit is visible from the street, appropriate screening should be provided.

Sound Rating (Decibels)	Distance to Property Line
64	6 feet
66	8 feet
68	11 feet
70	14 feet
72	18 feet
74	22 feet

- Notes:**
- Air conditioning equipment must maintain a minimum setback of five feet from a property line.
  - If the air conditioning unit is later determined by the City to exceed the limits of the noise ordinance, it must be relocated, replaced, or otherwise modified to achieve compliance with Municipal Code Chapter 6.16.

LEGEND

---	PROPERTY LINES
---	SETBACK LINES
---	(E) 1ST FLOOR OUTLINE
---	(P) 2ND FLOOR OUTLINE
---	ELEC. LINE
---	GAS LINE
---	SANITARY SEWER LINE
---	WATER LINE
---	FENCE LINE
---	TREE PROTECTION LINE
---	OVERHEAD POWER LINE

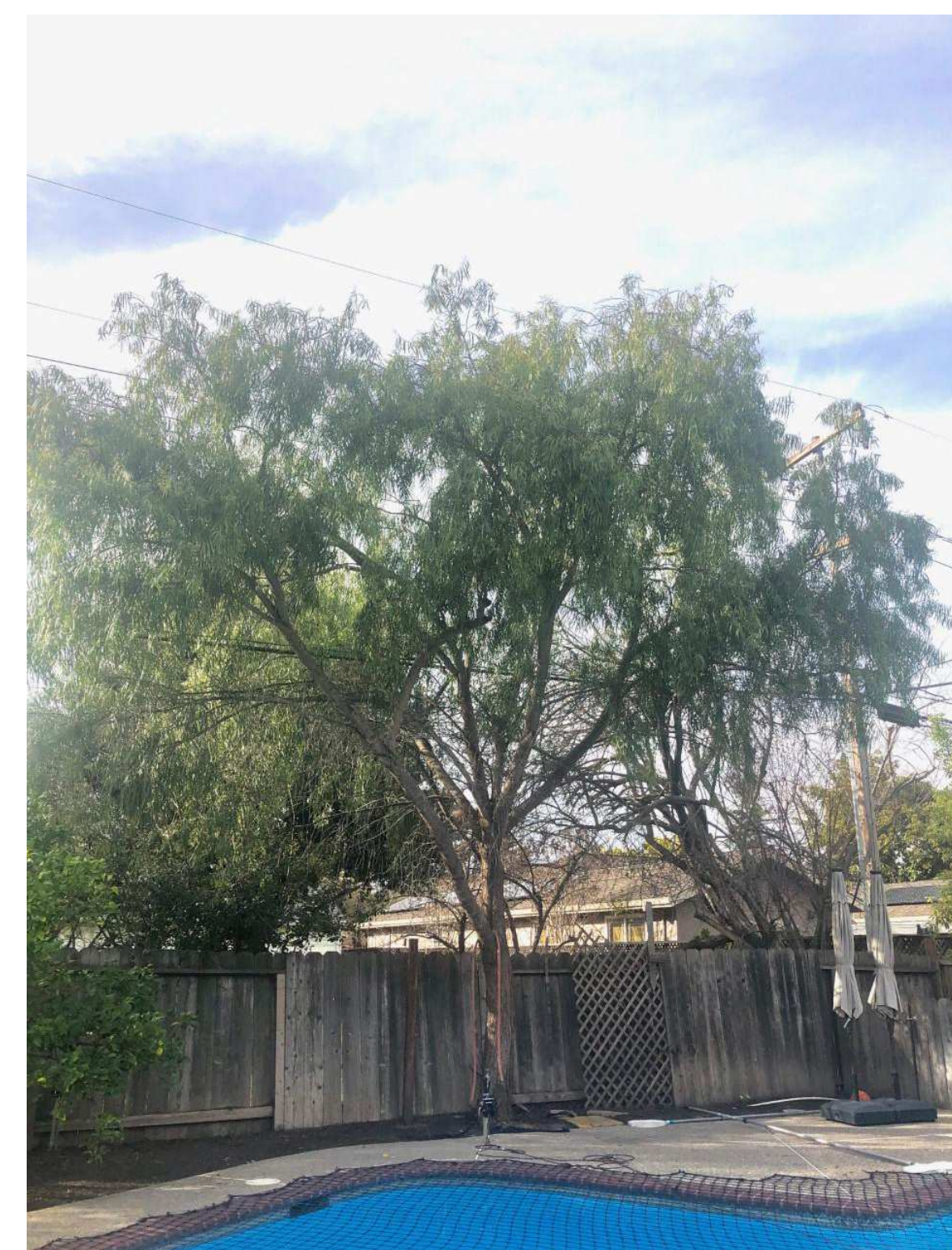
TREE TABLE

NO.	SIZE	SPECIES	REMOVE / RETAIN
1	40' HIGH X 30' SPREAD	MAGNOLIA GRANDIFLORA	(E) TREE TO RETAIN
2	30' HIGH X 30' SPREAD	GEUERA PARVIFLORA	(E) TREE TO RETAIN

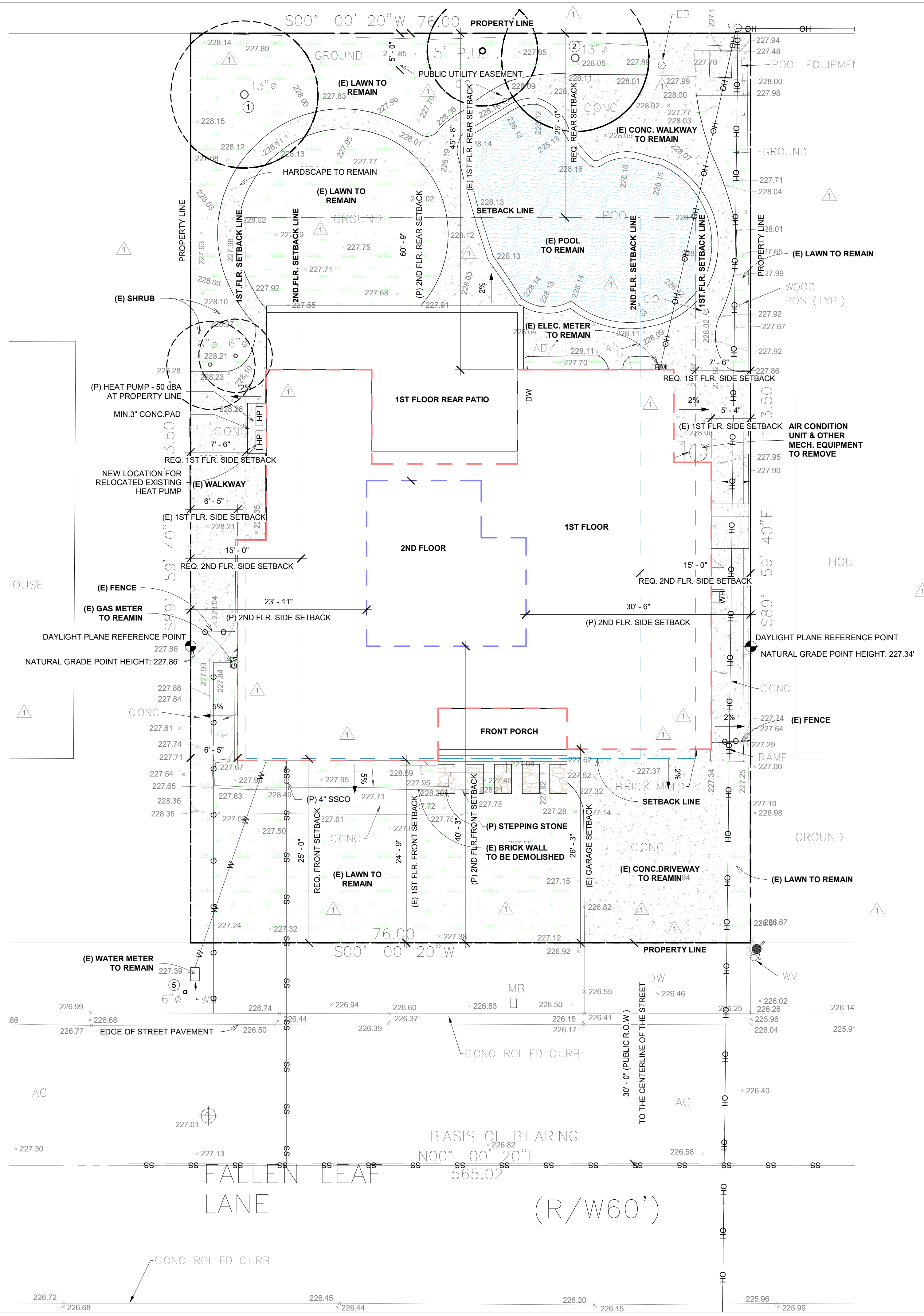
NOTE- EXISTING LANDSCAPE TO BE RETAINED ON THE SITE.



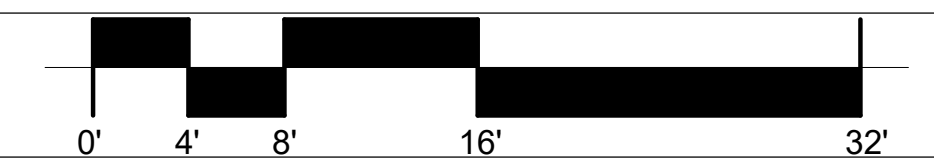
1- I. SOUTHERN MAGNOLIA (MAGNOLIA GRANDIFLORA)  
II. 60-80' HIGH X 30-50' SPREAD  
III. SLOW TO MEDIUM RATE, 2-4' PER YEAR



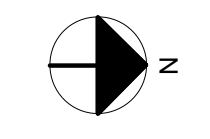
2- I. AUSTRALIAN WILLOW (GEUERA PARVIFLORA)  
II. 20-30' HIGH X 20-30' SPREAD  
III. FAST GROWING, 6'-10' PER YEAR



(P) SITE PLAN



SCALE: 1/8" = 1'-0" 1





Description	Date



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**ROSHYAN RESIDENCE**  
1848 FALLEN LEAF LN, LOS ALTOS, CA 94024

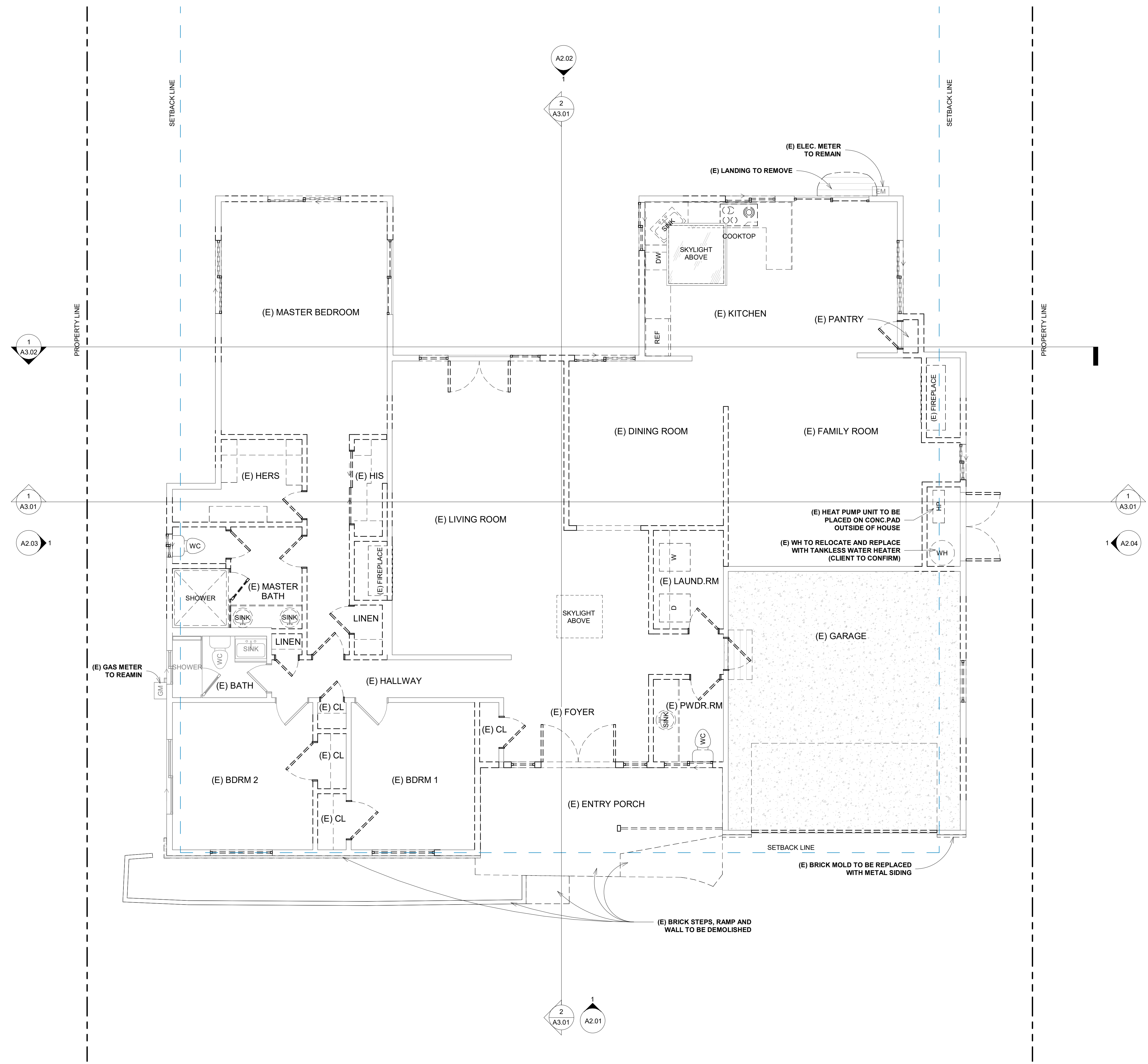
**PLANNING PACKAGE**  
**(E) 1ST FLOOR PLAN**

2022.04.27

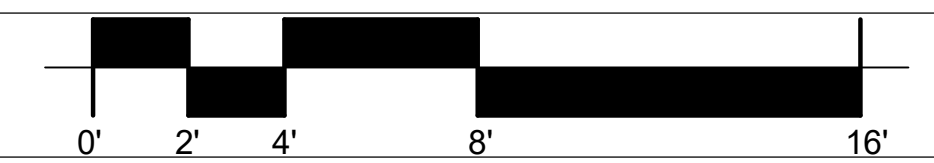
**A1.03**

**LEGEND**

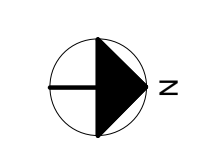
- (E) WALLS TO REMAIN
- (E) WALLS TO BE DEMOLISHED
- SMOKE DETECTOR
- SMOKE & CARBON MONOXIDE DETECTOR
- EM ELECTRIC METER
- GM GAS METER
- PROPERTY LINE
- SETBACK LINE



**(E) 1ST FLOOR PLAN**



**SCALE: 1/4" = 1'-0"** 1



4/28/2022 11:14:03 PM







Description	Date





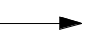


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 Fax: 650-565-7869

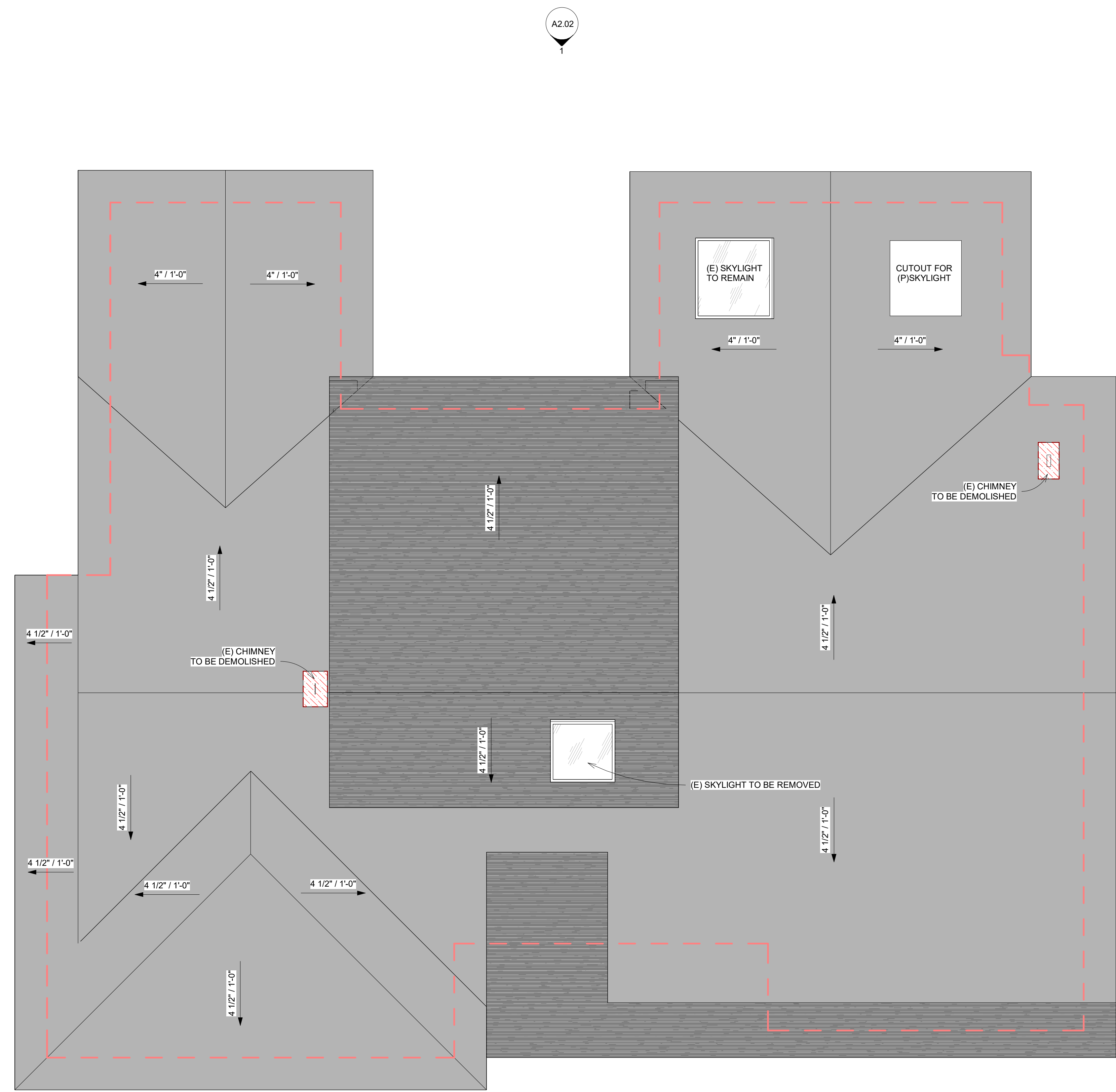
**ROSHYAN RESIDENCE**  
 1848 FALLEN LEAF LN, LOS  
 ALTOS, CA 94024

PLANNING PACKAGE  
 (E) ROOF PLAN

2022.04.27

**A1.11**

- LEGEND
-  (E) ROOF TO REMAIN
  -  (E) ROOF TO BE DEMOLISHED
  -  SLAB ROOF
  -  PLAN NOTE
  -  SPOT SLOPE
  -  1ST FLOOR OUTLINE
  -  PROPERTY LINES

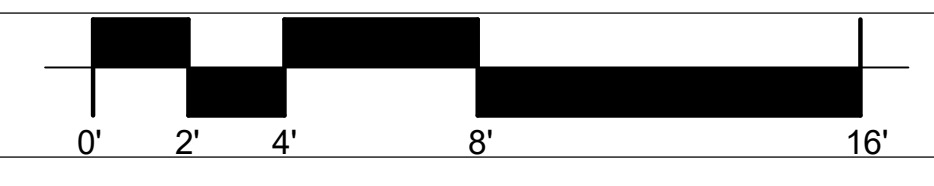
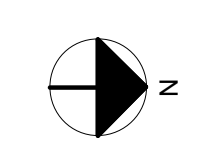


A2.03 1

A2.02

A2.04 1

A2.01



SCALE: 1/4" = 1'-0" 1

(E) ROOF PLAN

4/28/2022 11:14:11 PM



Description	Date
Revision 1	01/07/2022



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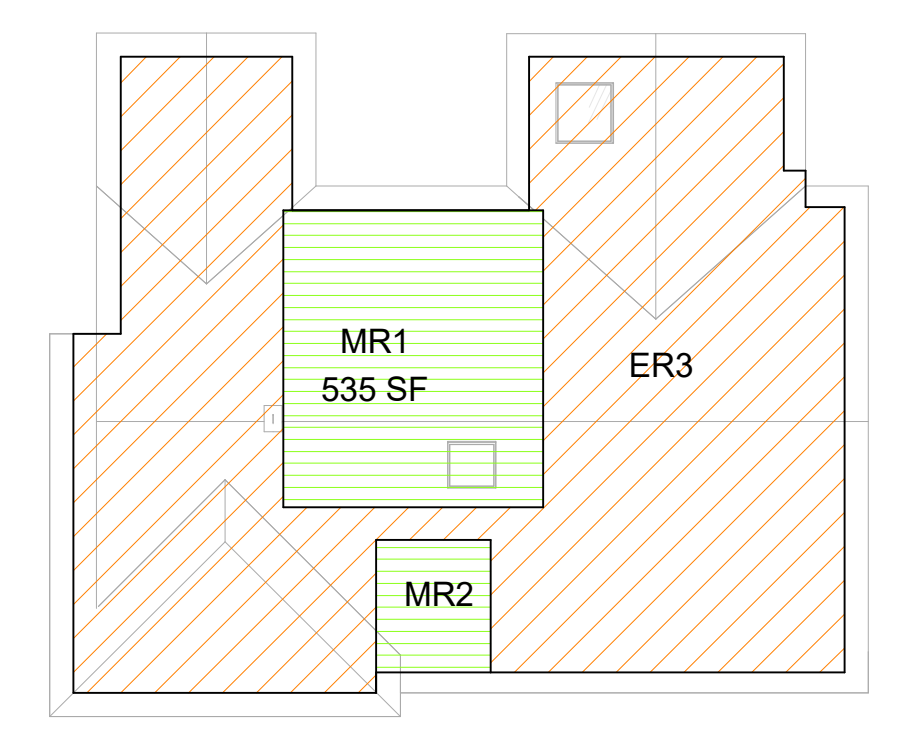
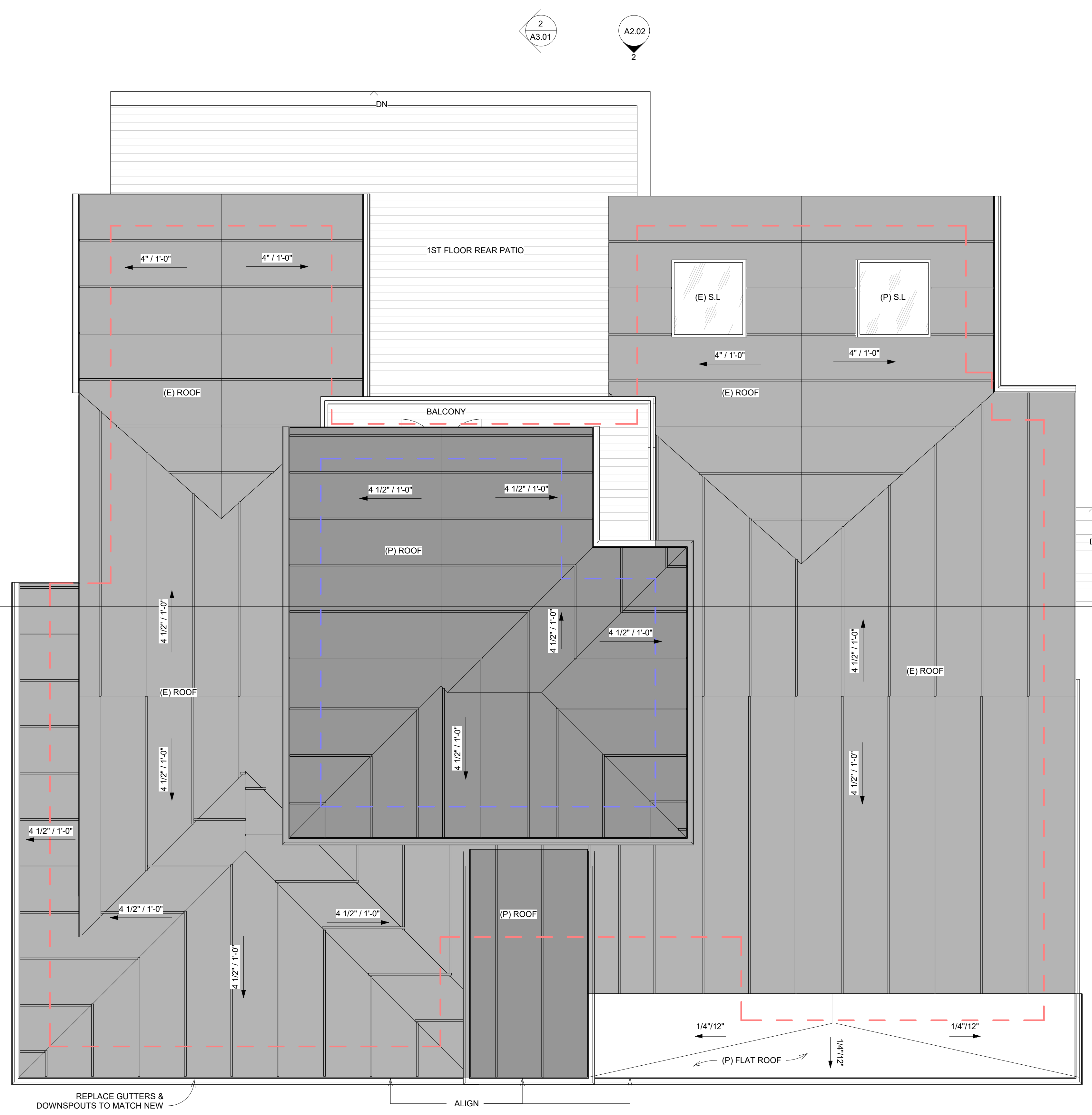
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PLANNING PACKAGE  
 (P) ROOF PLAN

2022.04.27

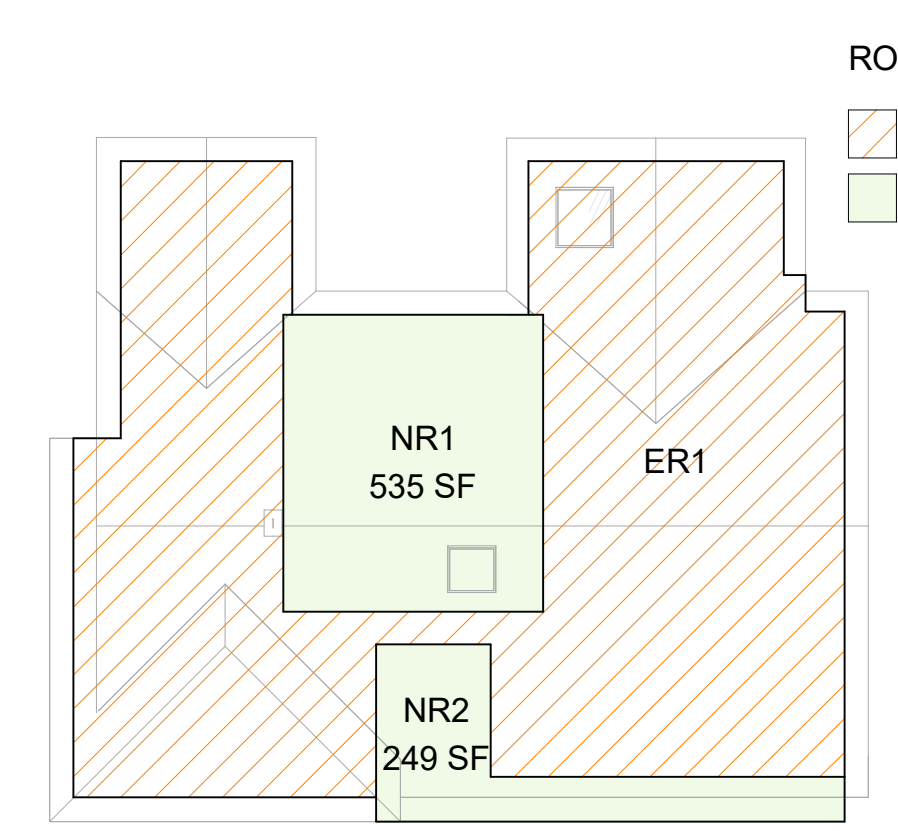
**A1.12**

- LEGEND
- (E) ROOF
  - (P) NEW ROOF
  - (P) NEW SLAB ROOF
  - ⊕ PLAN NOTE
  - SPOT SLOPE
  - 1ST FLOOR OUTLINE
  - 2ND FLOOR OUTLINE
  - PROPERTY LINES
- ROOF AREA LEGEND
- EXISTING ROOF TO BE MODIFIED
  - EXISTING ROOF TO BE REMAINED



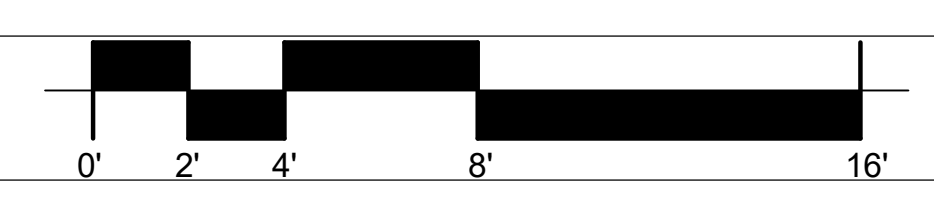
EXISTING ROOF		
Name	Area	%
EXISTING ROOF TO BE MODIFIED		
MR1	535 SF	18.20%
MR2	105 SF	3.57%
	641 SF	21.78%
EXISTING ROOF TO BE REMAINED		
ER3	2301 SF	78.22%
	2301 SF	78.22%
	2941 SF	100.00%

PERCENTAGE OF EXISTING ROOF TO BE REMAINED = 78.22 %  
 PERCENTAGE OF EXISTING ROOF TO BE MODIFIED = 21.78 % < 50%



PROPOSED ROOF		
Name	Area	%
EXISTING ROOF		
ER1	2301 SF	74.57%
	2301 SF	74.57%
NEW ROOF		
NR1	535 SF	17.35%
NR2	249 SF	8.07%
	785 SF	25.43%
	3086 SF	100.00%

PERCENTAGE OF NEW ROOF = 25.43 % < 50%  
 PERCENTAGE OF EXISTING ROOF = 74.57 %



SCALE: 1/4" = 1'-0" 1

(P) ROOF PLAN



Description	Date
Revision 1	01/07/2022

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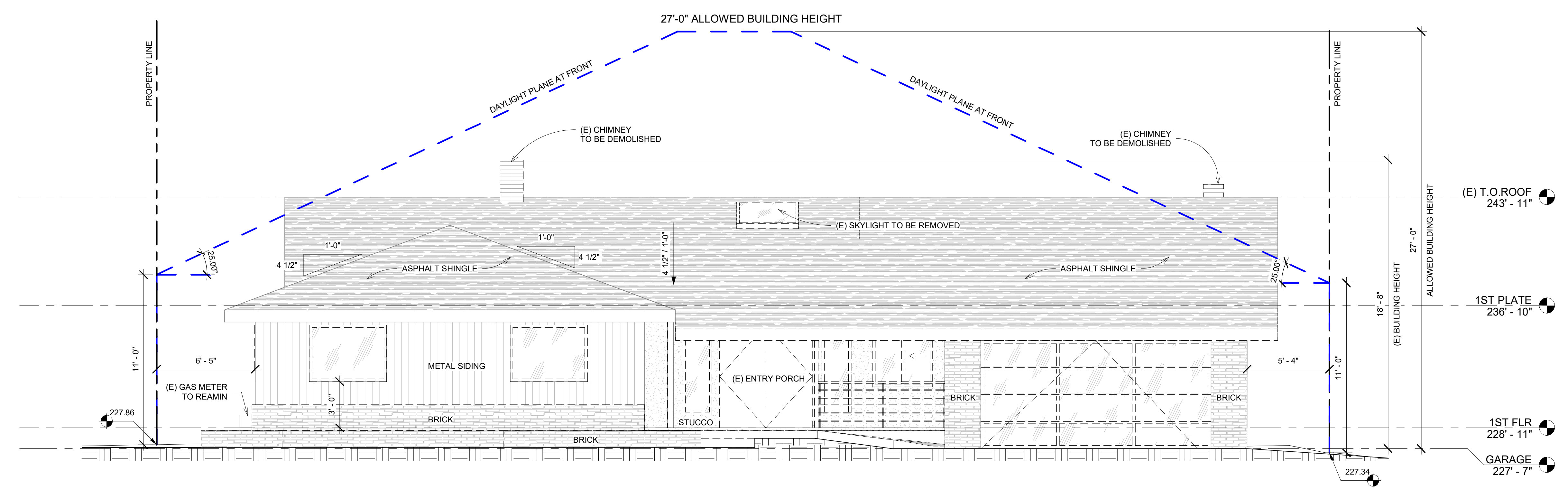
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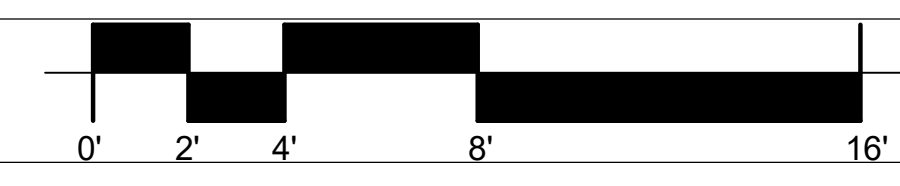
**PLANNING PACKAGE**  
**(E) & (P) EAST ELEVATION**

2022.04.27

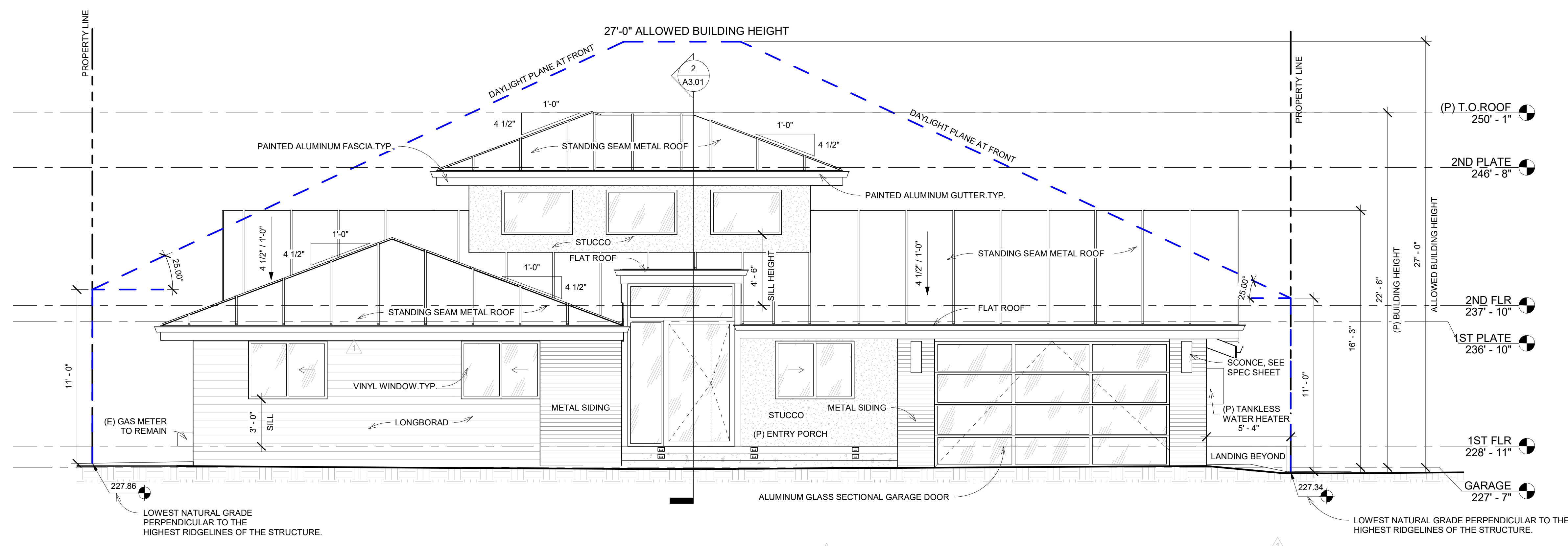
**A2.01**



**(E) EAST ELEVATION**



SCALE: 1/4" = 1'-0" 1



**(P) EAST ELEVATION**



SCALE: 1/4" = 1'-0" 2

- LEGEND
- ◆ WALL TAG
  - ◻ WINDOW TAG
  - ◻ DOOR TAG
  - ⊕ TEMPERED TAG
  - ⊖ OBSOLETE TAG
  - ⊙ PLAN NOTE

4/28/2022 11:14:17 PM



Description	Date
Revision 1	01/07/2022



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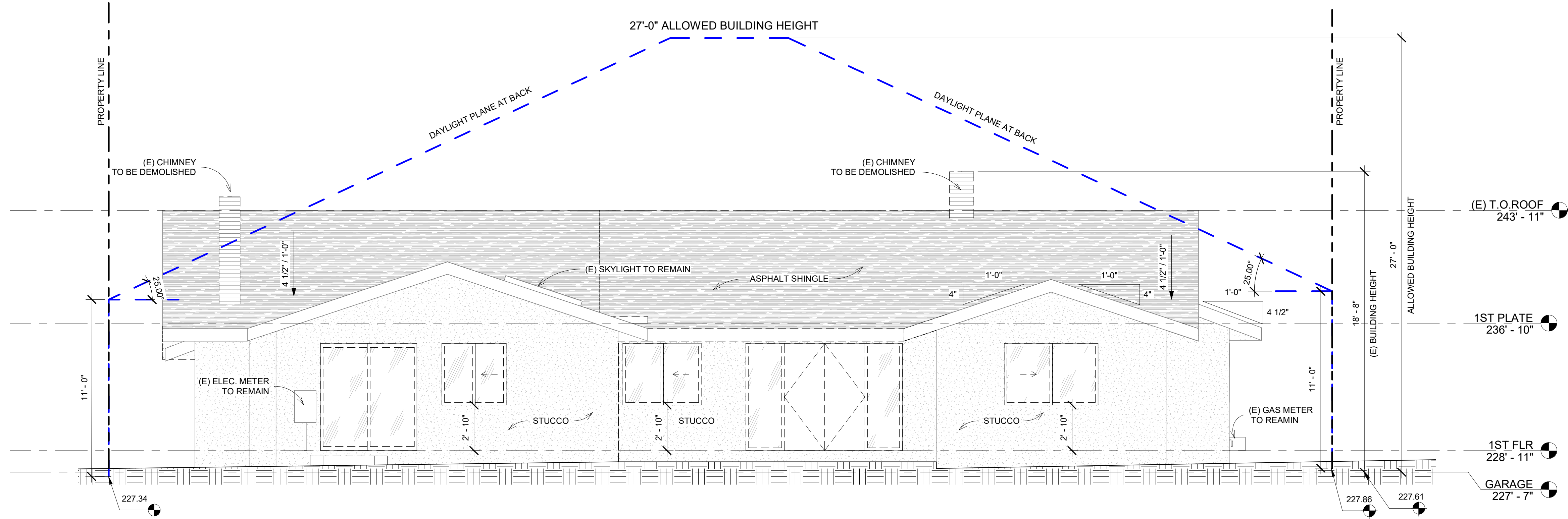
PLANNING PACKAGE

(E) & (P) WEST ELEVATIONS

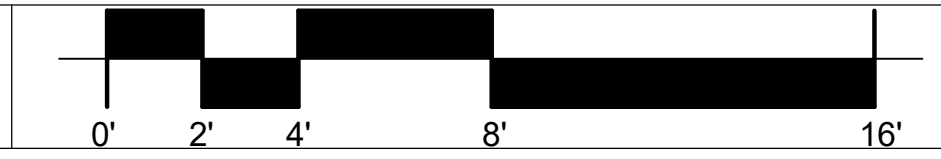
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A2.02

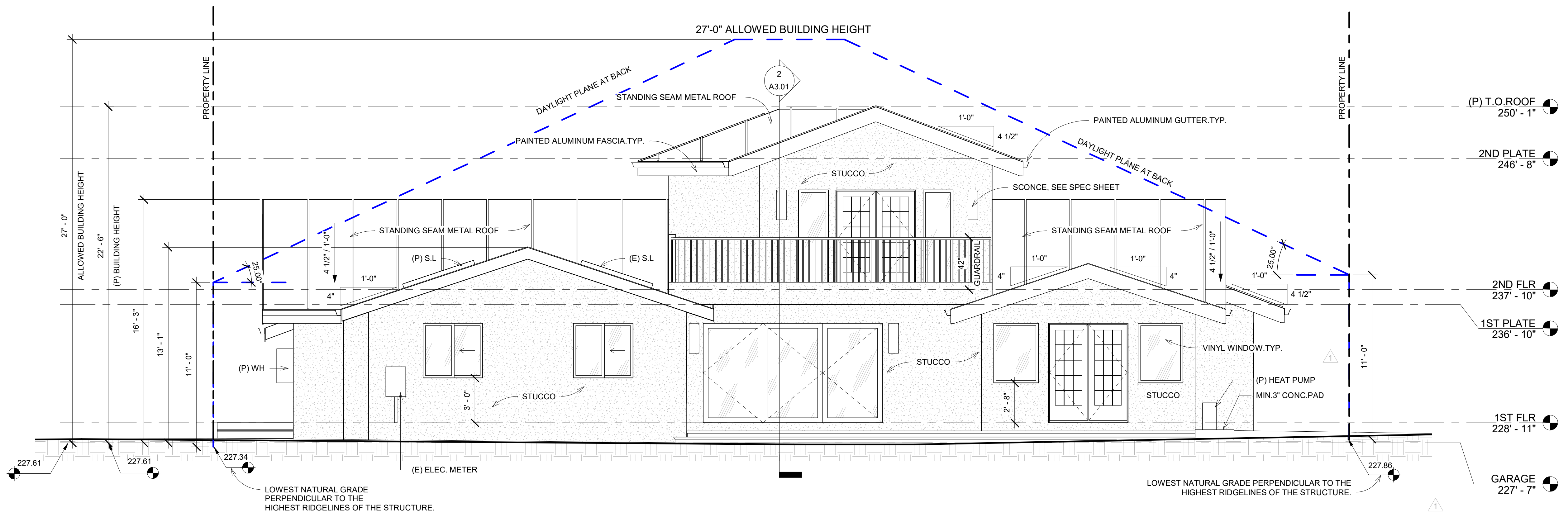
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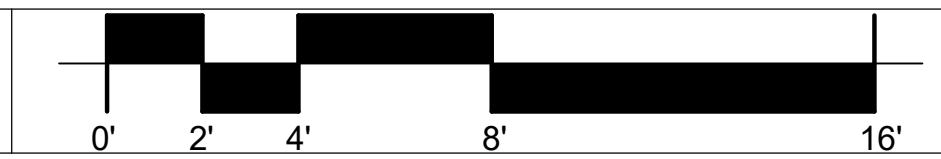
(E) WEST ELEVATION



SCALE: 1/4" = 1'-0" 1



(P) WEST ELEVATION



SCALE: 1/4" = 1'-0" 2

- LEGEND
- ◆ WALL TAG
  - ⊕ WINDOW TAG
  - # DOOR TAG
  - T TEMPERED TAG
  - OBS OBSOLETE TAG
  - # PLAN NOTE



Description	Date
Revision 1	01/07/2022



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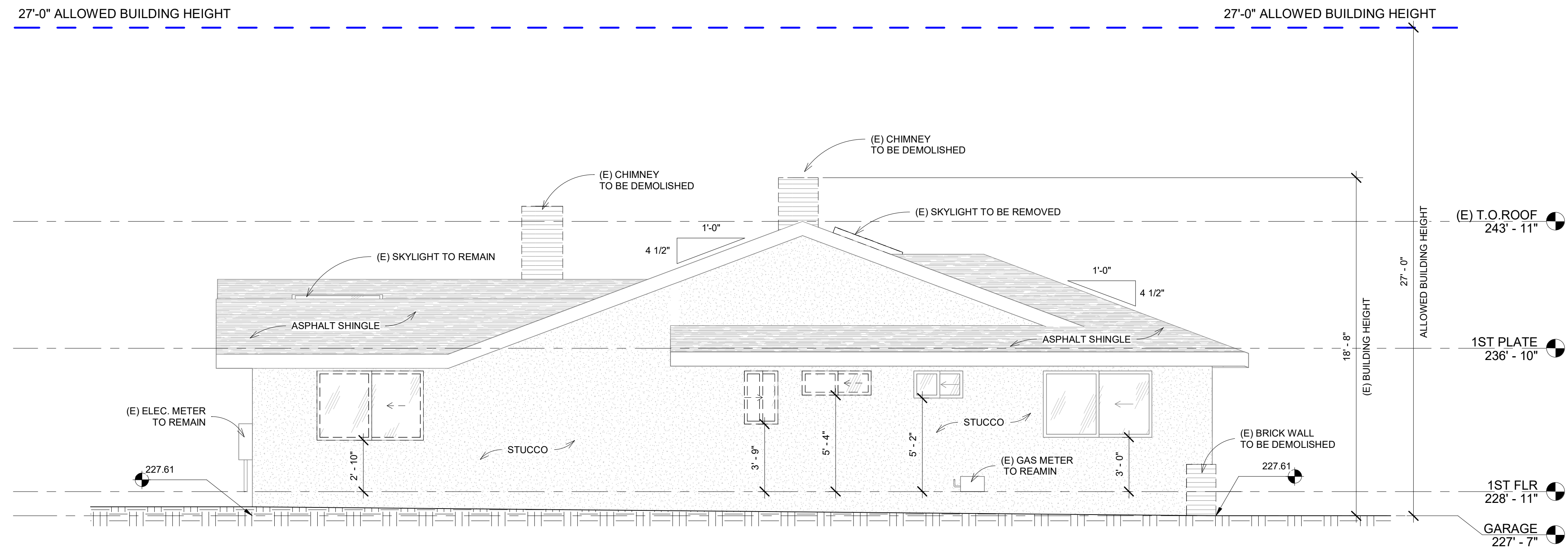
PLANNING PACKAGE

(E) & (P) SOUTH ELEVATION

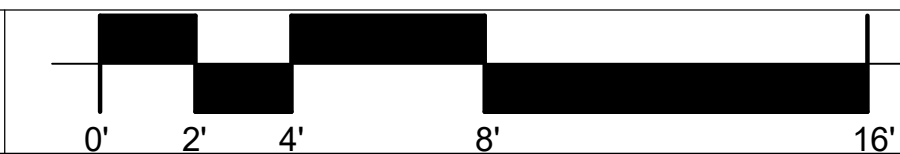
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A2.03

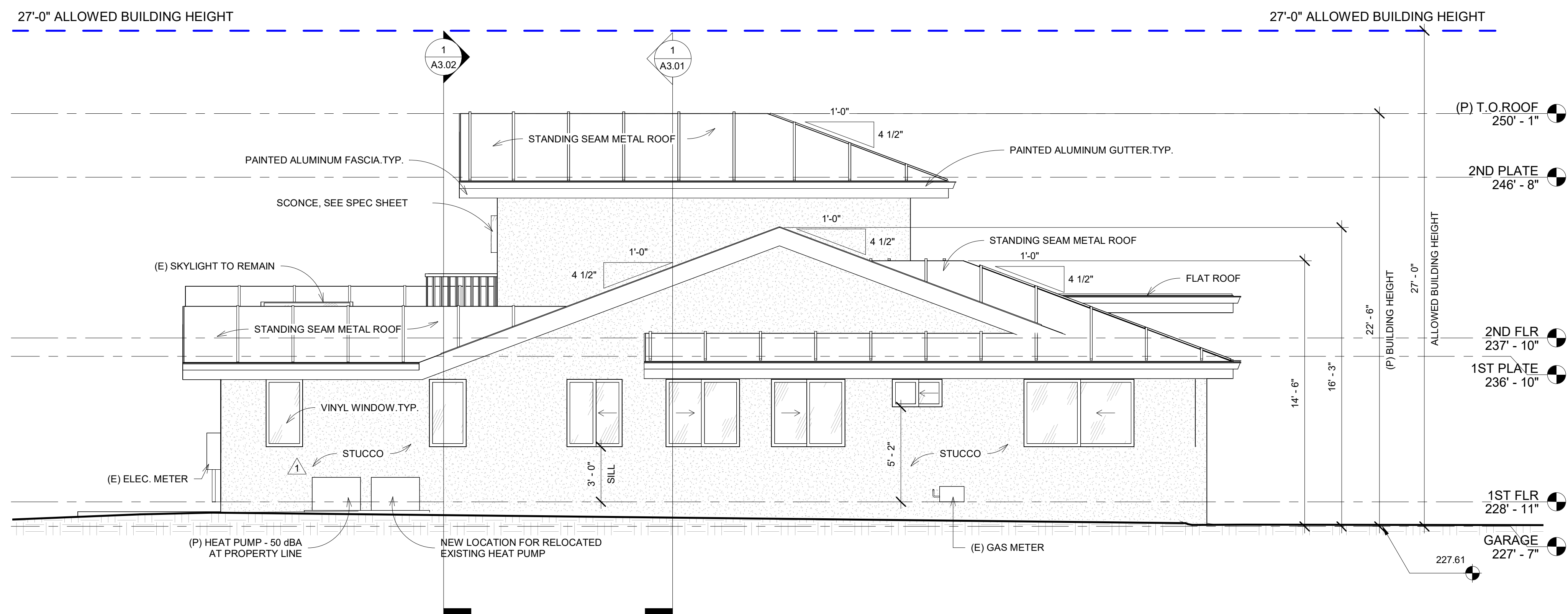
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(E) SOUTH ELEVATION



SCALE: 1/4" = 1'-0" 1



(P) SOUTH ELEVATION



SCALE: 1/4" = 1'-0" 2

- LEGEND
- ◆ WALL TAG
  - ◻ WINDOW TAG
  - ◻ DOOR TAG
  - ⊕ TEMPERED TAG
  - ⊖ OBSOLETE TAG
  - ⊘ PLAN NOTE



Description	Date
Revision 1	01/07/2022



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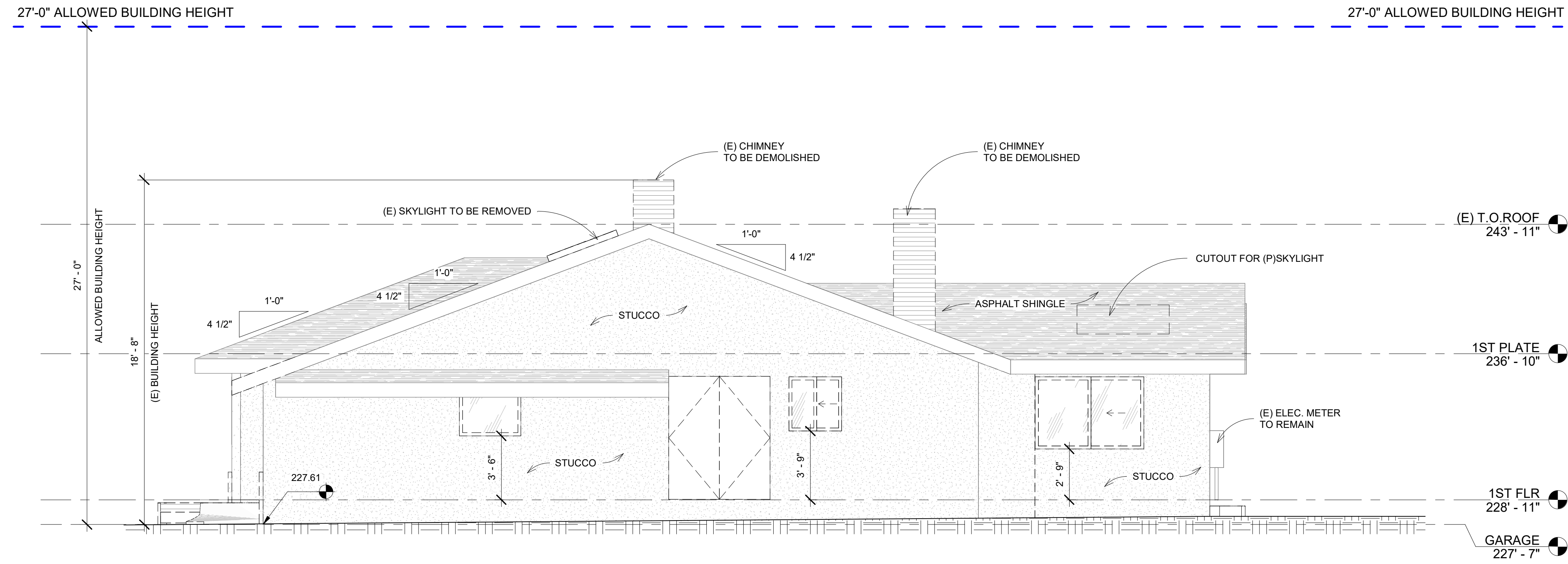
PLANNING PACKAGE

(E) & (P) NORTH ELEVATIONS

2022.04.27

A2.04

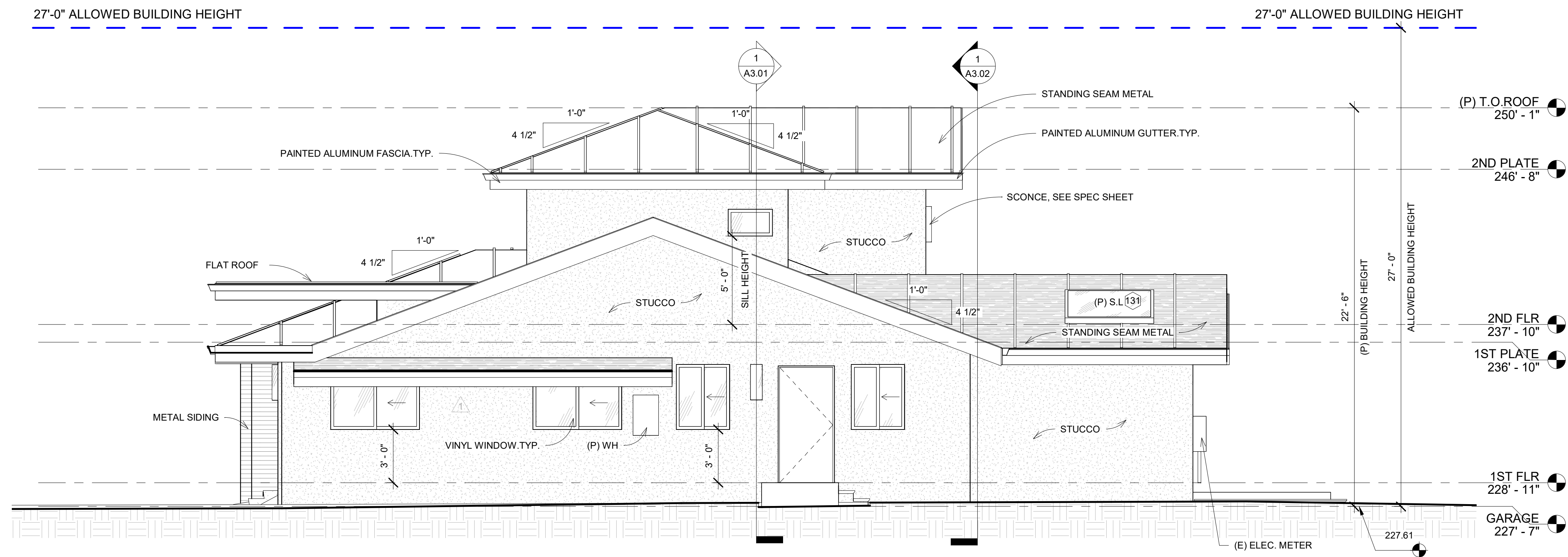
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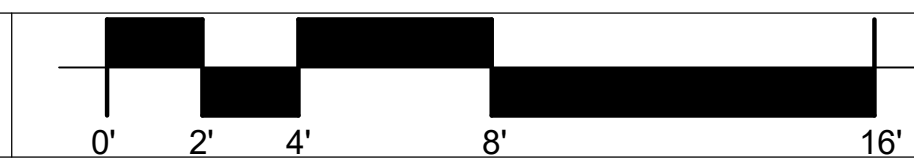
(E) NORTH ELEVATION



SCALE: 1/4" = 1'-0" 1



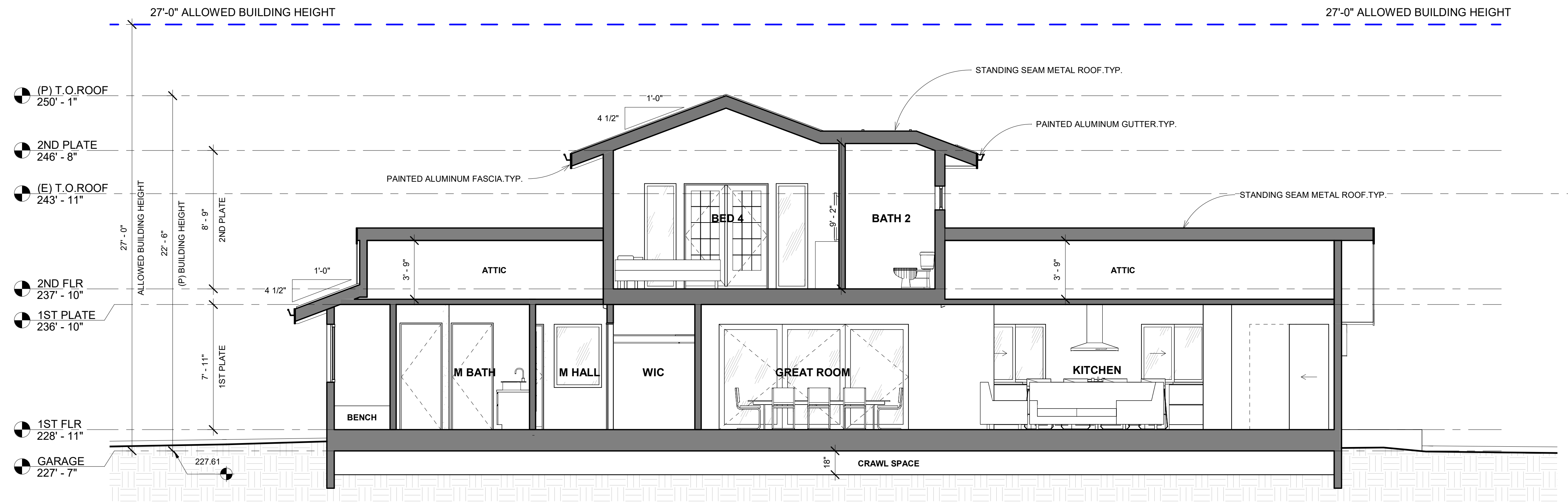
(P) NORTH ELEVATION



SCALE: 1/4" = 1'-0" 2

- LEGEND
- ◆ WALL TAG
  - ◻ WINDOW TAG
  - # DOOR TAG
  - T TEMPERED TAG
  - OBS OBSCURE TAG
  - # PLAN NOTE



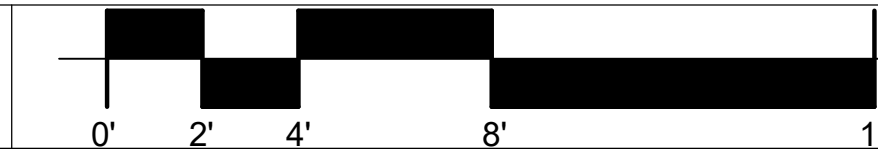


- LEGEND
- (E) WALLS, FLOORS, AND ROOFS TO REMAIN
  - (P) NEW WALLS, FLOORS AND ROOFS
  - ◇ WALL TAG
  - ⊕ WINDOW TAG
  - # DOOR TAG
  - ⊕ TEMPERED TAG
  - (OBS) OBSCURE TAG
  - # PLAN NOTE

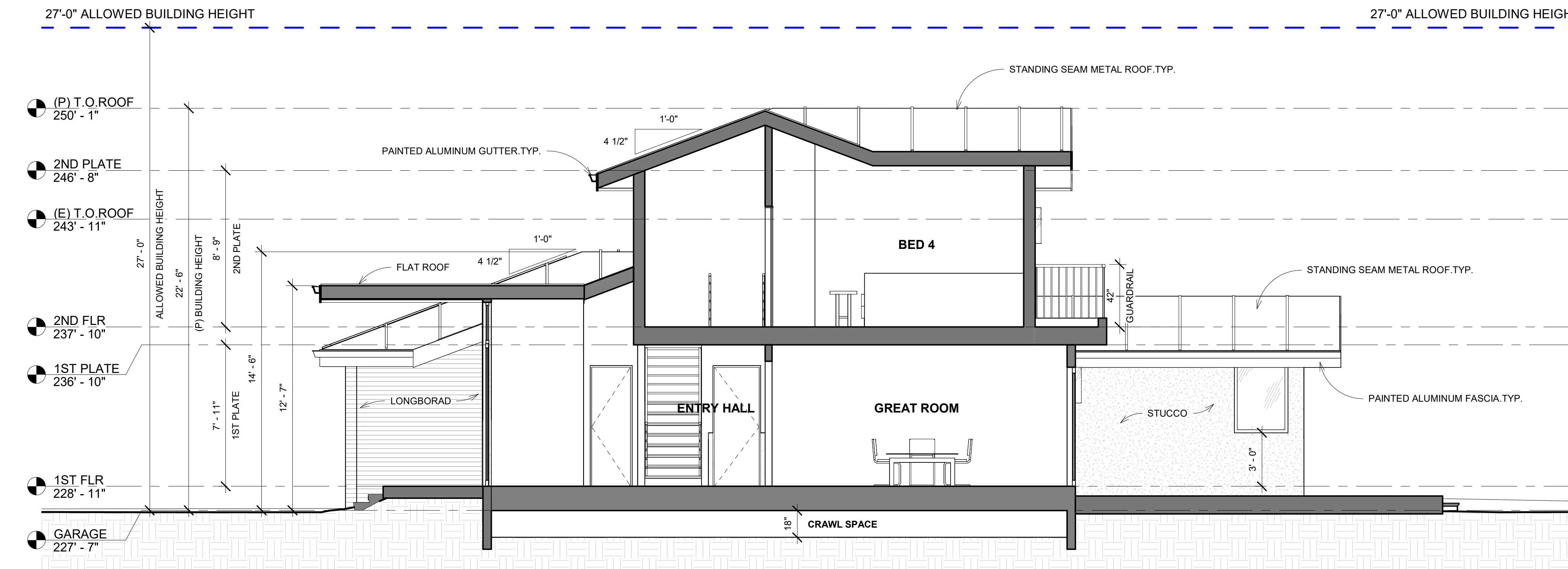


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(P) SECTION 1



SCALE: 1/4" = 1'-0" 1



(P) SECTION 2



SCALE: 1/4" = 1'-0" 2

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PLANNING PACKAGE  
 (P) A-A & B-B SECTIONS

2022.04.27

A3.01



Description	Date



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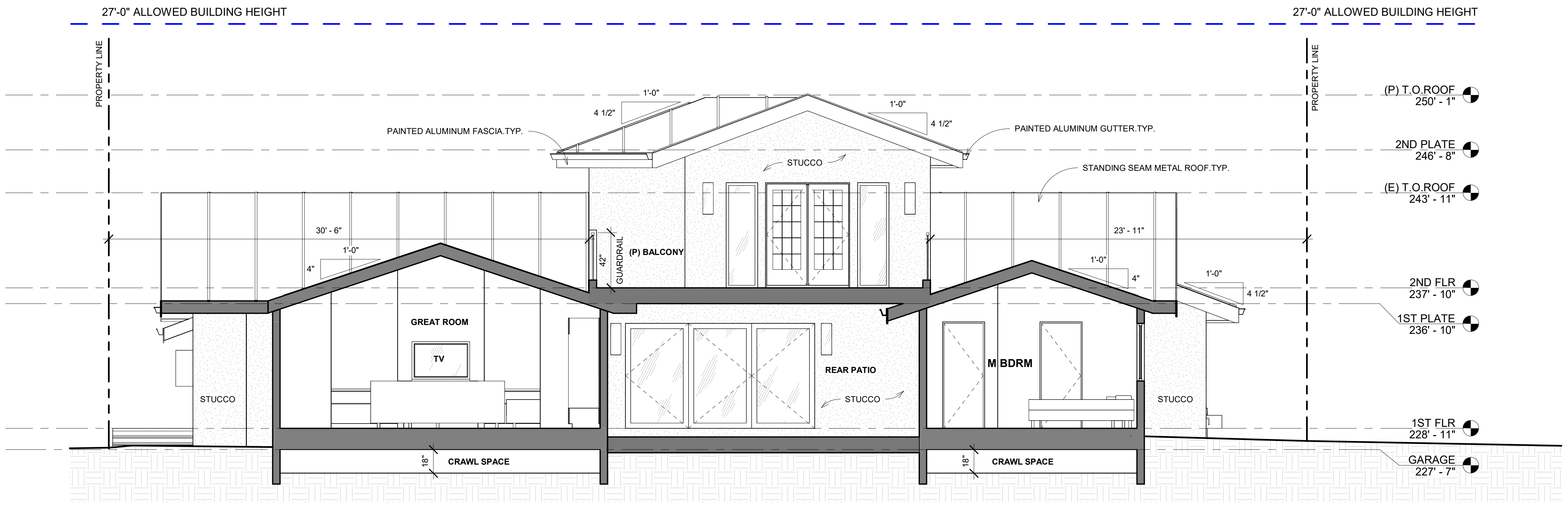
ROSHYAN RESIDENCE  
 1848 FALLEN LEAF LN, LOS ALTOS, CA 94024

PLANNING PACKAGE  
 (P) C-C SECTION

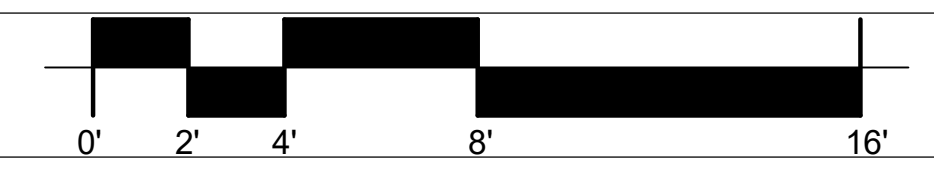
2022.04.27

A3.02

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(P) C-C SECTION



SCALE: 1/4" = 1'-0" 1



SUBMITTAL DATA: Heat Pump SIM Series

SD-SIM-0620

Solstice® Inverter Series Air-to-Water Heat Pumps

- STANDARD FEATURES
• Reliable Mitsubishi Inverter Compressor
• User Friendly Wired Touch Screen Control (24ga shielded 5 wire...)



Table with columns: Model, Units, SIM-036, SIM-060. Rows include Max Heating Capacity, Min Heating Capacity, Max Cooling Capacity, etc.

Test Condition (AHRI 550/590)
\*\*Cooling\*\*: Ambient Temperature, DB: 95°F
Entering/Return Water Temperature: 59°F



260 North Elm St., Westfield, MA 01085
(800) 465-8558 Fax: (413) 564-5815
7555 Tranmere Drive, Mississauga, ONT. L5S 1L4 Canada
(905) 670-5888 Fax: (905) 670-5782

PROJECT: DATE:
LOCATION:
CUSTOMER:
ENGINEER:
SUBMITTED BY:
FOR: Reference Approval Construction
UNIT DESIGNATION:
SCHEDULE NUMBER:

SUBMITTAL DATA: Heat Pump SIM Series

PERFORMANCE

SIM-036 HEATING

Table for SIM-036 Heating performance: Ambient Temp, Compressor Frequency, 86°F Return Water Temperature.

Table for SIM-036 Heating performance: 104°F Return Water Temperature.

Table for SIM-036 Heating performance: 122°F Return Water Temperature.

SIM-036 COOLING

Table for SIM-036 Cooling performance: 45°F Return Water Temperature.

Table for SIM-036 Cooling performance: 59°F Return Water Temperature.

SUBMITTAL DATA: Heat Pump SIM Series

PERFORMANCE

SIM-060 HEATING

Table for SIM-060 Heating performance: Ambient Temp, Compressor Frequency, 86°F Return Water Temperature.

Table for SIM-060 Heating performance: 104°F Return Water Temperature.

Table for SIM-060 Heating performance: 122°F Return Water Temperature.

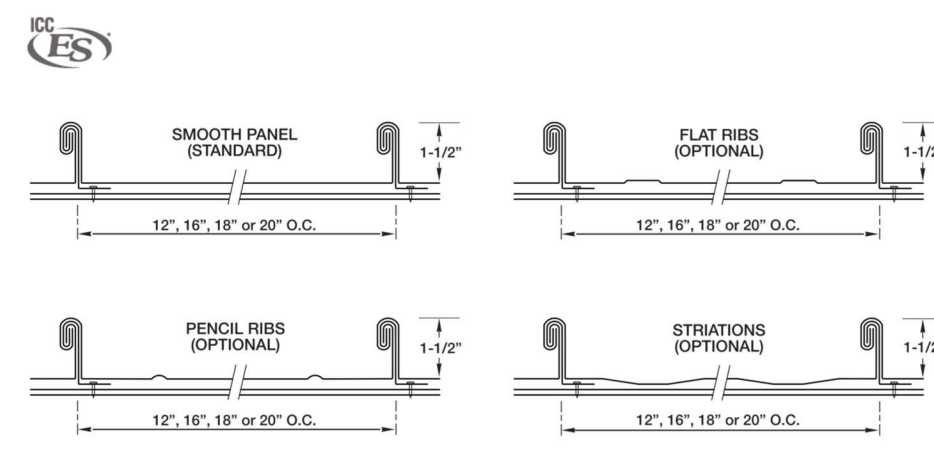
SIM-060 COOLING

Table for SIM-060 Cooling performance: 45°F Return Water Temperature.

Table for SIM-060 Cooling performance: 59°F Return Water Temperature.

PAC-150 180° SEAM

- MATERIALS: .032 aluminum 24 gauge steel, .040 aluminum 22 gauge steel
SPECS: 12", 16", 18" or 20" O.C., 1-1/2" High

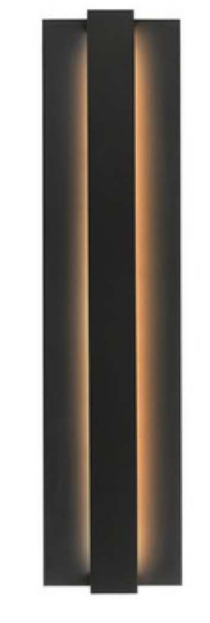


- PRODUCT FEATURES: 30-year non-prorated finish warranty, weather-tightness warranty, available in four pan variations, etc.
MATERIAL: 43 stock colors (D4 gauge steel), 16 stock colors (E2 gauge steel), etc.
UL CLASSIFICATION: UL-580, UL-1897, TAS-125
FLORIDA BUILDING PRODUCT APPROVALS: Contact the Acworth, Georgia facility for PAC-150 product approvals.



Windfall Large Exterior Wall Sconce

DESCRIPTION: Windfall Large Exterior Wall Sconce features a Black or Silver finish. May be mounted vertically or horizontally. One 20 watt, 120 volt LED module is included.



Shown in: Black

Table with columns: SHADE COLOR, BODY FINISH, WATTAGE, DIMMER, DIMENSIONS, LAMP, LUMINOUS FLUX, LUMENS/WATT, LAMP COLOR, COLOR RENDERING, ITEM NUMBER.

COMPANY PROJECT FIXTURE TYPE APPROVED BY DATE

Description Date

Table with 2 columns: Description, Date. Row 1: Revision 1, 01/07/2022



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PLANNING PACKAGE

SPECIFICATION SHEET

2022.04.27

A8.01





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Preventing Pollution: It's Up to Us

In the Santa Clara Valley, storm drains transport water directly to local creeks and San Francisco Bay without treatment. Storm water pollution is a serious problem for wildlife dependent on our waterways and for the people who live near polluted streams or bay lands.

Storm Drain Pollution from Fresh Concrete and Mortar Applications

Storm Drain Pollution from Fresh Concrete and Mortar Applications
Fresh concrete and cement-related mortars that wash into lakes, streams, or estuaries are toxic to fish and the aquatic environment.

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Storm Drain Pollution from Fresh Concrete and Mortar Applications

Storm Drain Pollution from Fresh Concrete and Mortar Applications
Fresh concrete and cement-related mortars that wash into lakes, streams, or estuaries are toxic to fish and the aquatic environment.

Doing The Job Right

General Business Practices

- Don't mix up more fresh concrete or cement than you will use in a two-hour period.
Wash out concrete mixers only in designated wash-out areas...

Storm Drain Pollution from Fresh Concrete and Mortar Applications

Storm Drain Pollution from Fresh Concrete and Mortar Applications
Fresh concrete and cement-related mortars that wash into lakes, streams, or estuaries are toxic to fish and the aquatic environment.

Fresh Concrete and Mortar Application

Best Management Practices for the Construction Industry



Best Management Practices for the Construction Industry

- Masons and bricklayers
Sidewalk construction crews
Patio construction workers
Construction inspectors

Roadwork and Paving

Best Management Practices for the Construction Industry



Best Management Practices for the Construction Industry

- Road crews
Driveway/sidewalk/parking lot construction crews
Steel coat contractors
Operators of grading equipment...

Doing The Job Right

General Business Practices

- Develop and implement erosion/sediment control plans for roadway embankments.
Schedule excavation and grading work during dry weather.

Storm Drain Pollution from Roadwork

Road paving, surfacing and pavement removal happen right in the street, where there are numerous opportunities for asphalt, saw-cut slurry, or excavated material to illegally enter storm drains.

Storm Drain Pollution from Roadwork

Road paving, surfacing and pavement removal happen right in the street, where there are numerous opportunities for asphalt, saw-cut slurry, or excavated material to illegally enter storm drains.

Painting and Application of Solvents and Adhesives

Best Management Practices for the Construction Industry



Best Management Practices for the Construction Industry

- Homeowners
Painters
Paperhangers
Plasterers
Graphic artists

Doing The Job Right

Handling Paint Products

- Keep all liquid paint products and wastes away from the gutter, street, and storm drains.
When thoroughly dry, empty paint cans, used brushes, rags, and drop cloths may be disposed of as garbage in a sanitary landfill.

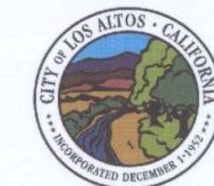
Storm Drain Pollution from Paints, Solvents, and Adhesives

All paints, solvents, and adhesives contain chemicals that are harmful to people, lakes, creeks, San Francisco Bay, and the Pacific Ocean.

Painting Cleanups

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, French drain, or stream.
For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer.

Los Altos Municipal Code Requirements



Los Altos Municipal Code Chapter 10.08.390 Non-storm water discharges

- Unlawful discharges. It shall be unlawful to discharge any domestic waste or industrial waste into storm drains, gutters, creeks, or San Francisco Bay.

Los Altos Municipal Code Section 10.08.430 Requirements for construction operations.

- A spill response plan for hazardous waste, hazardous materials and uncontained construction materials shall be prepared and available at the construction sites.

Criminal and judicial penalties can be assessed for non-compliance.

Spill Response Agencies

DIAL 9-1-1
State Office of Emergency Services Warning Center (24 hours): 800-852-7550

Local Pollution Control Agencies

County of Santa Clara Pollution Prevention Program: (408) 441-1195
County of Santa Clara Integrated Waste Management Program: (408) 441-1198

Local Pollution Control Agencies

County of Santa Clara District Attorney Environmental Crimes Hotline: (408) 299-TIPS

Local Pollution Control Agencies

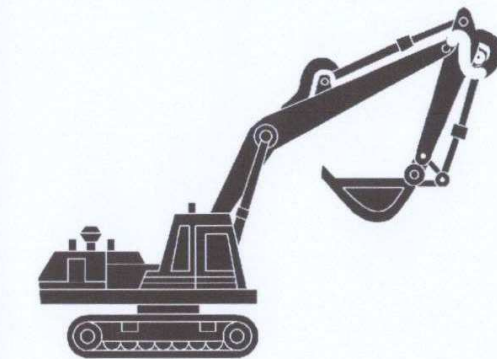
Santa Clara County Recycling Hotline: 1-800-533-8414
Santa Clara Valley Water District: (408) 265-2600

Local Pollution Control Agencies

Santa Clara Valley Water District Pollution Hotline: 1-888-510-5151

Heavy Equipment Operation

Best Management Practices for the Construction Industry



Best Management Practices for the Construction Industry

- Vehicle and equipment operators
Site supervisors
General contractors
Home builders
Developers

Doing The Job Right

Site Planning and Preventive Vehicle Maintenance

- Maintain all vehicles and heavy equipment. Inspect frequently for and repair leaks.
Perform major maintenance, repair jobs, and vehicle and equipment washing off site where cleanup is easier.

Storm water Pollution from Heavy Equipment on Construction Sites

Profilly maintained vehicles and heavy equipment that leak fuel, oil, antifreeze or other fluids on the construction site are common sources of storm drain pollution.

Spill Cleanup

- Clean up spills immediately when they happen.
Never hose down "dirty" pavement or impervious surfaces where fluids have spilled.

Landscaping, Gardening, and Pool Maintenance

Best Management Practices for the Construction Industry



Best Management Practices for the Construction Industry

- Landscapers
Gardeners
Swimming pool/spa service and repair workers
General contractors
Home builders
Developers
Homeowners

Doing The Job Right

General Business Practices

- Protect pesticides and landscaping materials from wind and rain by storing them under tarps or secured plastic sheeting.
Store pesticides, fertilizers, and other chemicals indoors or in a shed or storage cabinet.

Storm Drain Pollution from Landscaping and Swimming Pool Maintenance

Many landscaping activities expose soils and increase the likelihood that earth and garden chemicals will run off into the storm drains during irrigation or when it rains.

Doing The Job Right

General Business Practices

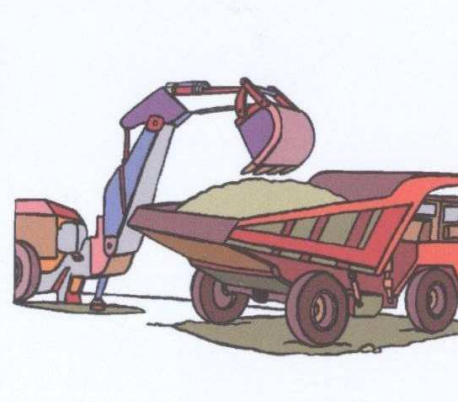
- Do not blow or rake leaves, etc. into the street, or place yard waste in gutters or on dirt shoulders, unless you are piling them for recycling (allowed in unincorporated County only).
In San Jose, leave yard waste for curbside recycling pickup in piles in the street, 18 inches from the curb and completely out of the flow line to any storm drain.

Storm Drain Pollution from Landscaping and Swimming Pool Maintenance

Many landscaping activities expose soils and increase the likelihood that earth and garden chemicals will run off into the storm drains during irrigation or when it rains.

Earth-Moving And Dewatering Activities

Best Management Practices for the Construction Industry



Best Management Practices for the Construction Industry

- Bulldozer, back hoe, and grading machine operators
Dump truck drivers
Site supervisors
General contractors
Home builders
Developers

Doing The Job Right

General Business Practices

- Schedule excavation and grading work during dry weather.
Perform major equipment repairs away from the job site.

Storm Drain Pollution from Earth-Moving Activities and Dewatering

Soil excavation and grading operations loosen large amounts of soil that can flow or blow into storm drains when handled improperly.

Doing The Job Right

General Business Practices

- Cover stockpiles and excavated soil with secured tarps or plastic sheeting.
Check for odors, discoloration, or an oily sheen on groundwater.
If contamination is suspected, have the water tested by a certified laboratory.

Blueprint for a Clean Bay

Remember: The property owner and the contractor share ultimate responsibility for the activities that occur on a construction site. You may be held responsible for any environmental damage caused by your subcontractors or employees.

Best Management Practices for the Construction Industry



Santa Clara Urban Runoff Pollution Prevention Program

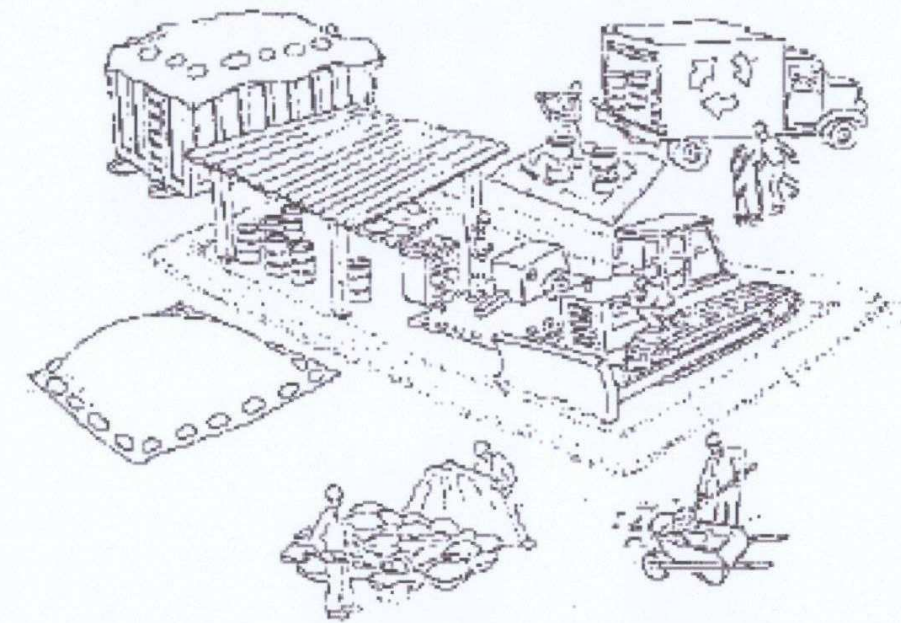


Table with columns for DESIGNED BY, APPROVED BY, CITY OF LOS ALTOS, DATE, DRAWN BY, CITY ENGINEER, SHEETS, SHEETS, CHECKED BY, SHEET, OF, SHEETS, DRAWING NO.

General Construction And Site Supervision

Best Management Practices For Construction



Best Management Practices for the Construction Industry

- General contractors
Site supervisors
Inspectors
Home builders
Developers

Doing The Job Right

General Principals

- Keep an orderly site and ensure good housekeeping practices are used.
Cover materials when they are not in use.
Keep materials away from streets, storm drains and drainage channels.

Doing The Job Right

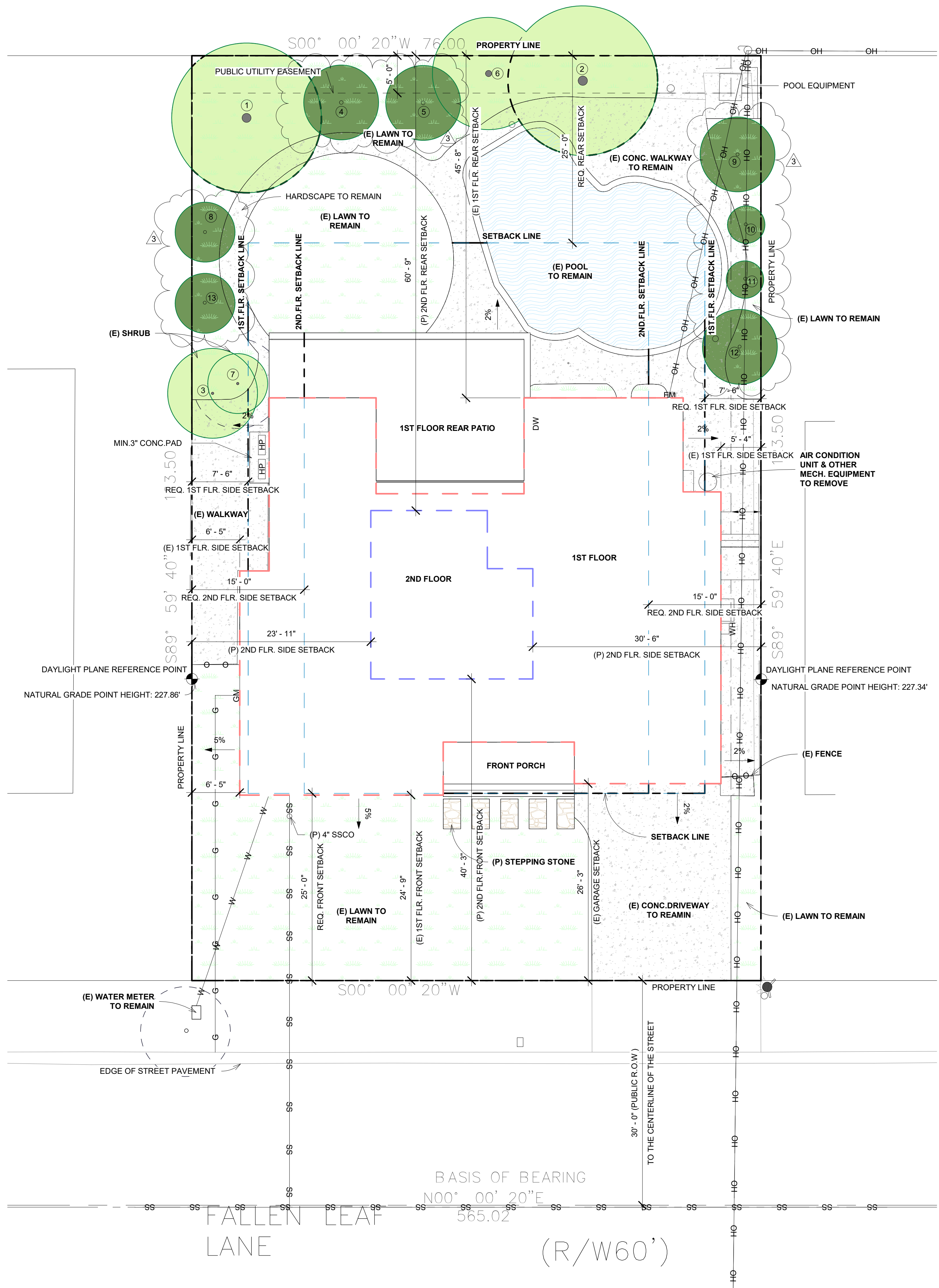
General Principals

- Clean up leaks, drips and other spills immediately so they do not contaminate soil or groundwater or leave residue on paved surfaces.
Cover and maintain dumpsters. Check frequently for leaks.

PLANNING PACKAGE BEST MANAGEMENT PRACTICES

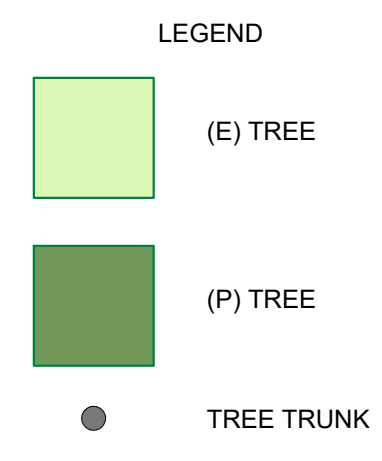
2022.04.27





**TREE TABLE**

NO.	SIZE	BOTANICAL NAME	COMMON NAME	USDA ZONE	SUNSET ZONE	WATER REQ.	COMMENT
1	60' HIGH X 30' SPREAD	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	7 - 9	4 - 12, 14 - 24	MODERATE	(E) TREE TO REMAIN
2	30' HIGH X 30' SPREAD	GEIJERA PARVIFLORA	AUSTRALIAN WILLOW	9 - 11	8, 9, 12 - 24	LOW	(E) TREE TO REMAIN
3	VARIABLE	APPLE RED DELICIOUS	APPLE	4 - 7	1 - 24	REGULAR	(E) TREE TO REMAIN
4	10' HIGH X 8' SPREAD	PRUNUS CAROLINIANA COMPACTA	CHERRY LAUREL	7 - 11	5 - 24	MODERATE	(P) TREE
5	10' HIGH X 8' SPREAD	PRUNUS CAROLINIANA COMPACTA	CHERRY LAUREL	7 - 11	5 - 24	MODERATE	(P) TREE
6	10' HIGH X 10' SPREAD	LEMON EUREKA	LEMON	9 - 11	8, 9, 12 - 24	REGULAR	(E) TREE TO REMAIN
7	10' HIGH X 5' SPREAD	OSMANTHUS FRAGRANS	SWEET OLIVE	8 - 11	8, 9, 12 - 24	REGULAR	(E) TREE
8	10' HIGH X 5' SPREAD	OSMANTHUS FRAGRANS	SWEET OLIVE	8 - 11	8, 9, 12 - 24	REGULAR	(P) TREE
9	10' HIGH X 8' SPREAD	PRUNUS CAROLINIANA COMPACTA	CHERRY LAUREL	7 - 11	5 - 24	REGULAR	(P) TREE
10	10' HIGH X 5' SPREAD	MICHELIA YUN INSPIRATION	YUNNAN MICHELIA	8 - 11	9, 14 - 24	REGULAR	(P) TREE
11	10' HIGH X 5' SPREAD	MICHELIA YUN INSPIRATION	YUNNAN MICHELIA	8 - 11	9, 14 - 24	REGULAR	(P) TREE
12	10' HIGH X 8' SPREAD	PRUNUS CAROLINIANA COMPACTA	CHERRY LAUREL	7 - 11	5 - 24	REGULAR	(P) TREE
13	10' HIGH X 5' SPREAD	OSMANTHUS FRAGRANS	SWEET OLIVE	8 - 11	8, 9, 12 - 24	REGULAR	(P) TREE



**Note- Existing landscape to be retained on the site.**



CHERRY LAUREL



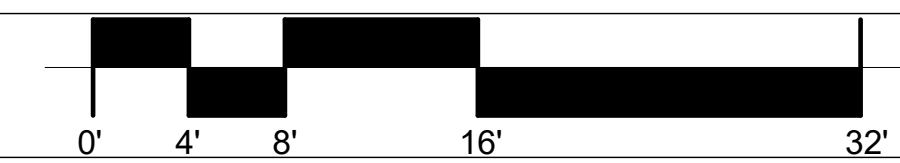
OSMANTHUS FRAGRANS



YUNNAN MICHELIA



GOOGLE VIEW - EXISTING LANDSCAPE



SCALE: 1/8" = 1'-0" 1

Description	Date
Revision 2	03/30/2022
Revision 3	05/03/2022



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PLANNING PACKAGE

LANDSCAPE PLAN

2022.04.27

L-1