

ABBREVIATIONS

| | | | | | | | | | | | | | | | |
|--------|-----------------------|--------|-----------------------|--------|---------------------|--------|----------------------------------|-------|------------------|--------|----------------------------|-------|----------------------------|---------|-------------------------------|
| & X | And By | BTW | Between | DIFF | Difference | FLDG | Folding | ID | Inside Diameter | MULL | Mullion | R | Riser | T | Tee |
| DIA | Diameter | BUR | Built-Up Roof | DIFFR | Diffuser | FLUOR | Fluorescent | IN | Inch (es) | MULT | Multiple | RAD | Radius | T&G | Tongue and Groove |
| % | Percent | C | Civil | DISP | Dispenser | FOF | Face of Finish | INL | Inlet | MW | Microwave | RD | Reinforced Concrete | TB | To Be Determined |
| # | Pound [or] Number | C/C | Center to Center | DIV | Divider | FOM | Face of Masonry | INSTL | Installation | MWP | Membrane Waterproofing | REC | Recessed | TEL | Telephone |
| A | Architectural | CAB | Cabinet | DLV | Double Joist | FOS | Face of Studs [or] Face of Steel | INSUL | Insulation | N | North | REF | Reference | TEMP | Temperature [or] Temporary |
| AB | Anchor Bolt | CARP | Carpet | DMFF | Dampproofing | FR | Fire Rated | INT | Invert | REG | Register | REFR | Refrigerator | THK | Thickness |
| ABRSV | Abrasive | CAV | Cavity | DMPR | Damper | FR | Fireproofing | INV | Invent | REINF | Reinforce (d) (ing) (ment) | REG | Register | THRES | Threshold |
| ABT | About | CEM | Cement | DN | Down | FRM | From | JB | Junction Box | NAT | Natural | REM | Removable | THRU | Through |
| ACOUS | Acoustical | CER | Ceramic | DOP | Door Opening | FRMG | Framing | JST | Joist | NIC | Not In Contract | REQD | Required | TMPD | Tempered |
| ACU | Air Conditioning Unit | CFM | Cubic Foot per Minute | DR | Door | FS | Far Side | JT | Joint | NPRN | Neoprene | RESIL | Resilient | TO | Top of |
| AD | Access Door | CH | Ceiling Height | DS | Downspout | FSH | Fire Sprinkler Head | NO | NO | RH | Nominal | RFG | Roofing | TOC | Top of Curb |
| ADDL | Additional | CHAN | Channel | DST | Door Stop | FSTNR | Fastener | KD | Kiln Dried | NOM | Nominal | RH | Right Hand | TOP | Top of Plate |
| ADH | Adhesive | CHFR | Chamber | DT | Drain Tie | FT | Foot [or] Feet | KIT | Kitchen | NTS | Not To Scale | RLG | Railing | TOS | Top of Slab [or] Top of Steel |
| ADJ | Adjustable | CIP | Cast-in-Place | DW | Dishwasher | FTG | Footing | KPL | Kick Plate | NTS | Not To Scale | RM | Room | TO | Top of Wall |
| ADJC | Adjacent | DWG | Construction Joint | DWR | Drawing | FTR | Fire Treated | L | Landscape | O/ | Over | RO | Rough Opening | TOW | Top of Wall |
| ADR | Area Drain | CL | Center Line | DWR | Drawer | FURN | Furniture | LAM | Lamination | OA | Overall | RWC | Rain Water Conductor | TPH | Toilet Paper Holder |
| AF | Above Finish Floor | CLG | Ceiling | E | East | FURR | Furring | LATL | Lateral | OC | On Center | RWL | Rain Water Leader | TRANS | Transparent |
| AGGR | Aggregate | CLJ | Control Joint | (E) | Extending | FUT | Future | LAU | Laundry | OFF | Off | S | South | TYP | Typical |
| AHD | Ahead | CLR | Clear | EA | Each | GA | Gage or Gauge | LB | Lb | OFF | Off | SAD | See Architectural Drawings | TYP | Typical |
| AHR | Anchor | CM | Centimeter | EL | Elevation | GAL | Gallon | LBR | Lumber | OH | Opposite Hand | SB | Splash Block | UNEX | Unexcavated |
| AL | Alarm | CMPTST | Composite | ELAST | Elastomeric | GALV | Galvanized | OPNG | Opening | OPNG | Opening | SC | Solid Core | UNEX | Unexcavated |
| ALM | Alarm | CM | Concrete Masonry Unit | ELEC | Electrical | GR | Grab Bar | OVFL | Overflow | OVFL | Overflow | SCD | See Civil Drawings | UNFIN | Unfinished |
| ALT | Alternate | CNR | Corner | ELEV | Elevator | GDR | Guard Rail | LD | Linear Diffuser | OVH | Overhead | SCHED | Schedule | UNFIN | Unfinished |
| AMT | Amount | CONTR | Counter | EMER | Emergency | GEN | Generator | LDG | Landing | PAR | Parallel | SCMJU | Solid Conc. Masonry Unit | UTIL | Utility |
| ANN | Annunciation | CO | Cased Opening | ENCL | Enclosure | GENL | General | LDR | Leader | PAR | Parallel | SCMJU | Solid Conc. Masonry Unit | UTIL | Utility |
| ANOD | Anodized | COL | Column | ENGR | Engineer | GFI | Ground Fault Interrupt Circuit | LF | Linear Foot | PC | Portland Cement | SD | Smoke Detector | VAP | Vapor |
| ANT | Antenna | COMB | Combination | EQ | Electrical Outlet | GL | Glass | LH | Left Hand | PCP | Portland Cement Plaster | SDRN | Storm Drain | VAP PRF | Vapor Proof |
| AP | Access Panel | COMP | Compact | EQ | Equal | GKMD | Grand Master Keyed | LIB | Library | PERF | Perforated | SED | See Electrical Drawings | VB | Vinyl Base |
| APPROX | Approximate (ly) | COMPL | Compliance | EQUIP | Equipment | GND | Ground | LIN | Linear | PERIM | Perimeter | SHR | Shower | VCT | Vinyl Composition Tile |
| ARCH | Architect (ural) | COMPT | Compartment | EQUIV | Equivalent | GP | Gypsum Plaster | LIQ | Liquid | PERM | Permanent | SHT | Sheet (ing) | VENT | Ventilator |
| ASF | Above Subfloor | CONC | Concrete | ERECT | Erection | GR | Grade/Grading | LOC | Location | PERP | Perpendicular | SHTG | Sheeting | VERT | Vertical |
| ASPH | Asphalt | CONN | Connection | ESMT | Easement | GRP | Group | LONG | Longitudinal | PLAM | Plastic Laminate | SHV | Shelves (ing) | VEST | Vestibule |
| ASSN | Association | CONSTR | Construction | EST | Estimate | GRTG | Grating | LNTH | Length | PLAS | Plaster | SIM | Similar | VIF | Verify In Field |
| ASSY | Assembly | CONT | Continuous (ation) | EXC | Excavate | GSKT | Gasket | LT | Light | PLBG | Plumbing | SL | Slope | VNR | Veneer |
| ATCH | Attachment | COORD | Coordinate | EXP | Expanded, Expansion | GSM | Galvanized Sheet Metal | MAN | Manual | PLT | Plate | SLD | See Landscape Drawings | W | West |
| AV | Audio Visual | CORR | Corridor | EXP BT | Expansion Bolt | GT | Gout | MAS | Masonry | PLYWD | Plywood | SLV | Sieve | W/ | With |
| BD | Board | CS | Cast Stone | EXP JT | Expansion Joint | GUT | Gutter | MATL | Material | PNT | Paint | SM | Sheet Metal | WDTH | Width |
| BEV | Bevel | EXT | Exterior | EXT | Extension | GYP | Gypsum | MAX | Maximum | POL | Polished | SMS | Sheet Metal Screws | WC | Water Closet |
| BITUM | Bituminous | EXTN | Extension | EXTR | Extruded, Extrusion | GYP BD | Gypsum Board | MC | Medicine Cabinet | PORT | Portable | SPC | Suspended Plaster Ceiling | WD | Wood |
| BLDG | Building | MECH | Mechanical | POS | Positive | MEMB | Membrane | POT | Potable | PREFAB | Prefabricated | SPKLR | Speaker | W/O | Without |
| BLKG | Blocking | MEMB | Membrane | POT | Potable | PREFAB | Prefabricated | PREIN | Prefinished | PREIN | Prefinished | SPKR | Speaker | W/O | Without |
| BLW | Below | MEMB | Membrane | POT | Potable | PREFAB | Prefabricated | PREIN | Prefinished | PREIN | Prefinished | SPKR | Speaker | W/O | Without |
| BM | Beam | MEMB | Membrane | POT | Potable | PREFAB | Prefabricated | PREIN | Prefinished | PREIN | Prefinished | SPKR | Speaker | W/O | Without |
| B/M | Bench Mark | MEMB | Membrane | POT | Potable | PREFAB | Prefabricated | PREIN | Prefinished | PREIN | Prefinished | SPKR | Speaker | W/O | Without |
| BOF | Bottom of Footing | MEMB | Membrane | POT | Potable | PREFAB | Prefabricated | PREIN | Prefinished | PREIN | Prefinished | SPKR | Speaker | W/O | Without |
| BOL | Bollard | MEMB | Membrane | POT | Potable | PREFAB | Prefabricated | PREIN | Prefinished | PREIN | Prefinished | SPKR | Speaker | W/O | Without |
| BOT | Bottom | MEMB | Membrane | POT | Potable | PREFAB | Prefabricated | PREIN | Prefinished | PREIN | Prefinished | SPKR | Speaker | W/O | Without |
| BR | Bedroom | MEMB | Membrane | POT | Potable | PREFAB | Prefabricated | PREIN | Prefinished | PREIN | Prefinished | SPKR | Speaker | W/O | Without |
| BR | Bedroom | MEMB | Membrane | POT | Potable | PREFAB | Prefabricated | PREIN | Prefinished | PREIN | Prefinished | SPKR | Speaker | W/O | Without |
| BRD | Bridging | MEMB | Membrane | POT | Potable | PREFAB | Prefabricated | PREIN | Prefinished | PREIN | Prefinished | SPKR | Speaker | W/O | Without |
| BRG | Bearing | MEMB | Membrane | POT | Potable | PREFAB | Prefabricated | PREIN | Prefinished | PREIN | Prefinished | SPKR | Speaker | W/O | Without |
| BRK | Brick | MEMB | Membrane | POT | Potable | PREFAB | Prefabricated | PREIN | Prefinished | PREIN | Prefinished | SPKR | Speaker | W/O | Without |
| BRKT | Bracket | MEMB | Membrane | POT | Potable | PREFAB | Prefabricated | PREIN | Prefinished | PREIN | Prefinished | SPKR | Speaker | W/O | Without |
| BRS | Brass | MEMB | Membrane | POT | Potable | PREFAB | Prefabricated | PREIN | Prefinished | PREIN | Prefinished | SPKR | Speaker | W/O | Without |
| BRZ | Bronze | MEMB | Membrane | POT | Potable | PREFAB | Prefabricated | PREIN | Prefinished | PREIN | Prefinished | SPKR | Speaker | W/O | Without |
| BS | Both Sides | MEMB | Membrane | POT | Potable | PREFAB | Prefabricated | PREIN | Prefinished | PREIN | Prefinished | SPKR | Speaker | W/O | Without |
| BSMT | Basement | MEMB | Membrane | POT | Potable | PREFAB | Prefabricated | PREIN | Prefinished | PREIN | Prefinished | SPKR | Speaker | W/O | Without |

SYMBOLS

| | | |
|--------|--------------------------|-------------------------|
| AS-101 | Window/Skylight Symbol | Item Number |
| AS-102 | Door Symbol | Item Number |
| AS-103 | Millwork Symbol | Item Number |
| AS-104 | Revision Cloud | Revision Number |
| AS-105 | Appliance Symbol | Item Number |
| AS-106 | Fixture/Fitting Symbol | (See Plumbing Drawings) |
| AS-107 | Accessory Symbol | Item Number |
| AS-108 | Louver Symbol | Item Number |
| AS-109 | Datum Point | |
| AS-110 | Dimensions | |
| AS-111 | Center Line Dimension | |
| AS-112 | Face of Finish Dimension | |

| | |
|---------------------------------|-------------------------------------|
| Earth | Masonry Unit |
| Gravel, Rockfill | Metal (omit lines on thin material) |
| Brick | Finish Wood |
| Concrete | Wood Framing |
| Sand, Mortar, Plaster, Gyp. Bd. | Wood Blocking |
| Stone (including Marble) | Plywood |
| Insulation | Backer Board |

GENERAL NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION AND EXECUTION OF THE WORK SHOWN OR IMPLIED IN THE CONSTRUCTION DOCUMENTS AND IS RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, AND PROCEDURES.
- CONTRACTOR SHALL COORDINATE WITH ALL TRADES INVOLVED IN THE WORK TO AVOID CONFLICT IN THE LOCATION, INSTALLATION, AND CONSTRUCTION OF ALL ITEMS OF WORK AS INDICATED ON THE CONSTRUCTION DOCUMENTS. ALLOWANCES SHOULD BE MADE FOR WORK PERFORMED BY THE OWNER AND/OR THE OWNER'S CONTRACTORS.
- CONTRACTOR SHALL COORDINATE WITH APPLICABLE UTILITY COMPANIES WHEN ROUTING ELECTRICAL, TELEPHONE, CABLE TV, GAS, WATER, AND SANITARY SEWER SERVICES.
- CONTRACTOR SHALL LEAVE THE JOBSITE "BROOM CLEAN" AT THE END OF EACH WORKING DAY. ALL MATERIALS SHALL BE STORED IN A SAFE LOCATION AND IN A MANNER AS TO AVOID ACCIDENTAL INJURY.
- CONTRACTOR SHALL REVIEW ALL CONSTRUCTION DOCUMENTS AND COORDINATE ALL STRUCTURAL, MECHANICAL, ELECTRICAL, AND ARCHITECTURAL WORK BEFORE COMMENCING WORK. IN THE CASE OF ANY DISCREPANCY IN THE CONSTRUCTION DOCUMENTS, CONSULT WITH THE ARCHITECT BEFORE PROCEEDING.
- CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS AND SUBSTRATE TO RECEIVE WORK AND SHALL REPORT ALL UNSATISFACTORY CONDITIONS TO OWNER BEFORE PROCEEDING.
- NO DIMENSIONS SHALL BE TAKEN BY SCALING THE DRAWINGS. DETAILS SUPERSEDE GENERAL PLANS AND SECTIONS. CONSULT WITH THE ARCHITECT FOR CLARIFICATION.
- CONTRACTOR SHALL PROVIDE THE OWNER WITH A COPY OF PROOF OF PAYMENT AND RELEASE OF LIENS FROM EACH SUPPLIER AND SUBCONTRACTOR PRIOR TO SUBSTANTIAL COMPLETION.
- CONTRACTOR SHALL INSTALL ALL APPLIANCES AND EQUIPMENT ACCORDING TO MANUFACTURERS INSTRUCTION AND IN COMPLIANCE WITH THEIR RESPECTIVE LISTINGS. ALL GUARANTEES, INSTRUCTION BOOKLETS, OWNERS MANUALS, AND INFORMATION REGARDING NEW EQUIPMENT SHALL BE PROVIDED TO THE OWNER AT SUBSTANTIAL COMPLETION. CONTRACTOR SHALL VERIFY THAT EACH PIECE OF EQUIPMENT IS IN PERFECT WORKING ORDER PRIOR TO SUBSTANTIAL COMPLETION.
- CONTRACTOR SHALL VERIFY ALL EXTERIOR JOINTS AND CONNECTIONS EXPOSED TO THE ELEMENTS ARE WATERTIGHT.
- ADDRESS NUMBER SHALL BE PLAINLY LEGIBLE AND VISIBLE FROM THE ADJACENT ACCESS STREET. THE NUMBERS NEED TO CONTRAST WITH THEIR BACKGROUND, AND BE A MINIMUM OF 4" HIGH, WITH A MINIMUM STROKE OF 1/2". (CRC 319.1)

APPLICABLE CODES

- 2019 CALIFORNIA RESIDENTIAL CODE
- 2019 CALIFORNIA BUILDING CODE
- 2019 CALIFORNIA MECHANICAL CODE
- 2019 CALIFORNIA PLUMBING CODE
- 2019 CALIFORNIA ELECTRICAL CODE
- 2019 CALIFORNIA ENERGY CODE
- 2019 CALIFORNIA FIRE CODE
- 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE

FIRE DEPARTMENT NOTES

- AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM SHALL BE INSTALLED ACCORDANCE WITH NATIONAL FIRE PROTECTION ASSOCIATION'S (FPA) STANDARD 13D. ALL FIRE SPRINKLERS PLANS SHALL BE SUBMITTED DIRECTLY TO THE SANTA CLARA COUNTY FIRE DEPARTMENT BY A LICENSED C-16 FIRE SPRINKLER CONTRACTOR.
- CALIFORNIA WATER SERVICE REQUIRES DOUBLE CHECK VALVES INSTALLED ON BUILDINGS EQUIPPED WITH FIRE SPRINKLERS.
- CONSTRUCTION SITE FIRE SAFETY: ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 33 AND OUR STANDARD DETAIL AND SPECIFICATION S1 -7.
- WATER SUPPLY REQUIREMENTS: POTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION WATER SUPPLIES. DOUBLE CHECK VALVES SHALL BE INSTALLED ON BUILDINGS EQUIPPED WITH FIRE SPRINKLERS CONTRACTOR.
- FIRE APPARATUS (ENGINE) ACCESS DRIVEWAY REQUIRED: PROVIDE AN ACCESS DRIVEWAY WITH A PAVED ALL WEATHER SURFACE, A MINIMUM UNOBSTRUCTED WIDTH OF 14 FEET, VERTICAL CLEARANCE OF 13 FEET 6 INCHES, MINIMUM CIRCULATING TURNING RADIUS OF 36 FEET OUTSIDE AND 23 FEET INSIDE, AND A MAXIMUM SLOPE OF 15%. INSTALLATIONS SHALL CONFORM TO FIRE DEPARTMENT STANDARD DETAILS AND SPECIFICATIONS SHEET D 1.
- ADDRESS IDENTIFICATION: NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, WHERE REQUIRED BY THE FIRE CODE OFFICIAL. ADDRESS NUMBERS SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MINIMUM OF 4 INCHES (101.6 MM) HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH (12.7 MM).

DRAWING INDEX

| | |
|-------------------------------|----------------------------|
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| 1 | TOPOGRAPHIC SURVEY |
| ARCHITECTURAL DRAWINGS | |
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| AX-102 | NEIGHBORHOOD COMPATIBILITY |
| AD-101 | DEMOLITION SITE PLAN |
| AD-102 | DEMOLITION ROOF PLAN |
| AD-201 | DEMOLITION ELEVATIONS |
| AS-101 | SITE PLAN |
| AS-102 | (E)SCREENING PLAN |
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| A-102 | SECOND FLOOR PLAN |
| A-103 | ROOF PLAN |
| A-201 | ELEVATIONS |
| A-201 | ELEVATIONS |
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PATEL RESIDENCE
DUXBURY MCINTOSH ARCHITECTS
 4630 SOQUEL DRIVE, SUITE 5
 SOQUEL, CA 95073
 (650) 917-3840
 duxburymcintosh.com

1370 ENSENADA WAY
LOS ALTOS, CA 94024
 APN: 318-06-034
 SANTA CLARA COUNTY

PROJECT INFORMATION

| | |
|--------------------|--|
| SITE ADDRESS: | 1370 ENSENADA WAY LOS ALTOS, CA 94024 |
| APN: | 318-06-034 |
| ZONING DISTRICT: | R1-10 SINGLE FAMILY |
| OCCUPANCY GROUP: | R-3 / U |
| CONSTRUCTION TYPE: | V-B |
| STORIES: | TWO STORY |

PROJECT DESCRIPTION

ADDITION TO AND REMODEL OF AN EXISTING ONE STOREY SINGLE FAMILY RESIDENCE.
 ADDITION OF 2ND. FLOOR (ONE BEDRM./ BATH/ RECREATION/OFFICE)
 CONVERSION OF (E) FIRST FLOOR TO (587.57 S.F. ADU)
 ADD/ REPLACE DOORS, WINDOWS, HVAC, FIXTURES AS APPLICABLE.

PROJECT TEAM

| | |
|---|--|
| ARCHITECT: | PROPERTY OWNER: |
| DUXBURY MCINTOSH ARCHITECTS WILLIAM MCINTOSH 4630 SOQUEL DRIVE, SUITE 5 SOQUEL, CA 95073 (650) 917-3840 bill@duxburymcintosh.com | PARTHIV AND KAJAL PATEL 1370 ENSENADA WAY LOS ALTOS, CA 94024 |
| CONTRACTOR | STRUCTURAL ENGINEER: |
| QUIROZ CONSTRUCTION INC JOSE QUIROZ 105 N 27TH ST SAN JOSE, CA 95116 JOSE@QUIROZCONSTRUCTION.COM | ROCA3 ENGINEERING STRUCTURAL DESIGN JOEY ROCA 450 SOUTH ABEL STREET, PO BOX 362100 MILPITAS, CA 95036 408.821.1335 JOEY@ROCA3.COM |
| CIVIL ENGINEER: | |
| NNR ENGINEERING SERVICES CO NADIM RAFFOUL 535 WEYBRIDGE DR, SAN JOSE, CA 95123 NNRENGINEERING@YAHOO.COM | |

PROJECT SUMMARY TABLE

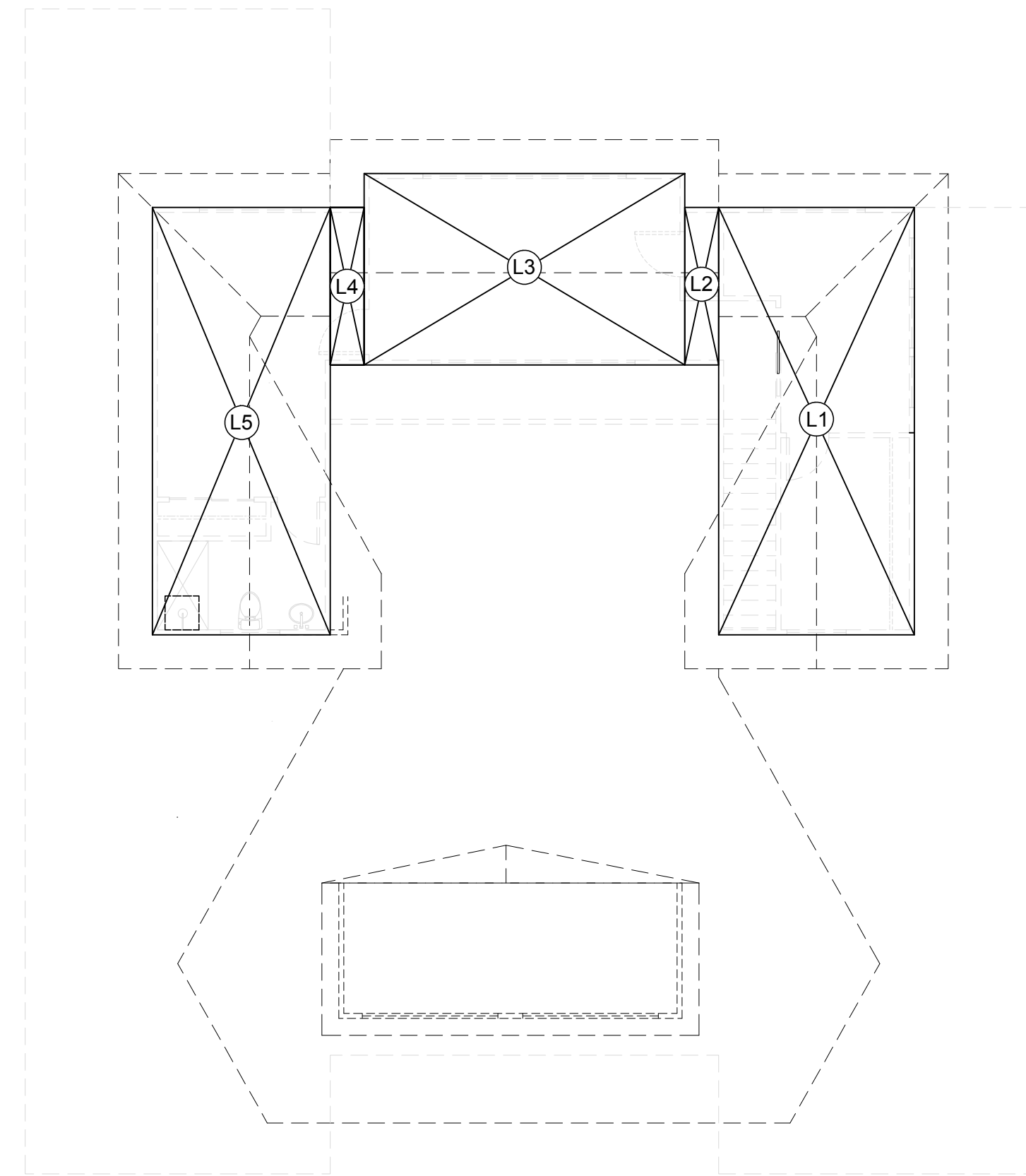
| ZONING COMPLIANCE | | | |
|--|--|--|---|
| LOT COVERAGE: Land area covered by all structures that are over 6 feet in height* | EXISTING 3,305.24 sq.ft. (33%) | PROPOSED 2,927.46 sq.ft. (29.2%) | ALLOWED/ REQUIRED 3,000 sq.ft. (30%) |
| FLOOR AREA: Measured to the outside surfaces of exterior walls | 1st.Flr.: 3,121.36 sq.ft. 2nd.Flr.: 0 sq.ft. Total: 3,121.36 sq.ft. (31.2%) | 1st.Flr.: 2,659.87 sq.ft. 2nd.Flr.: 806.43 sq.ft. Total: 3,466.3 sq.ft. (34.6%) | 3,500 SQ.FT. (35%) |
| SETBACKS: | | | |
| Front: | 25'-0" | 25'-0" | 25'-0" |
| Rear: | 31'-3 1/2" | 31'-3 1/2" | 25'-0" |
| Right side (1st./2nd.) | 10'-0" | 10'-0"/17.5' | 10'-0" |
| Left side (1st./2nd.) | 10'-0" | 10'-0"/17.5' | 10'-0" |
| HEIGHT: | 17'-11" | 21'-9" | 27'-0" |
| SQ. FOOTAGE BREAKDOWN | | | |
| | EXISTING | CHANGE IN | TOTAL PROPOSED |
| HABITABLE BUILDING AREA: Includes habitable basement areas | | | |

FIRST FLOOR AREA CALCULATIONS

| | TAG | DIMENSIONS | AREA (SQ. FT.) | SUB TOTAL | SUB TOTAL | TOTAL |
|--|-----------------------|--------------------------|----------------|-----------|-----------|----------|
| EXISTING FIRST FLOOR AREAS | A | 18'-0" x 20'-8" | 372.75 | 2,110.25 | | |
| | B | 40'-11" x 25'-8 1/2" | 1051.89 | | | |
| | C | 27'-1 1/2" x 7'-8 1/2" | 209.08 | | | |
| | D | 18'-0" x 14'-7" | 262.61 | | | |
| | E | 13'-9 1/2" x 10'-3 1/2" | 141.93 | | | |
| | F | 7'-1 1/2" x 6'-6 1/2" | 46.88 | | | |
| | G | 3'-4 1/2" x 7'-5 1/4" | 25.11 | | | |
| | H1 | 19'-2" x 13'-2/12" | 252.54 | | | |
| | H2 | 15'-7 1/2" x 14'-10 1/4" | 232.56 | | | |
| | H3 | 11'-10" x 6'-6 1/2" | 77.41 | | | |
| H4 | 3'-4 1/2" x 7'-5 1/4" | 25.09 | | | | |
| (E) HOUSE AREA (HABITABLE) | | | | 2,697.82 | | |
| I | 19'-0" x 22'-3 1/2" | 423.54 | | 423.54 | | |
| (E) GARAGE AREA (NON HABITABLE) | | | | | 423.54 | |
| TOTAL (E) HOUSE AREA | | | | | | 3,121.36 |
| (N) FLOOR AREA ADDITION | J1 | 9'-1 1/2" x 2'-7" | 23.57 | | | |
| | J2 | 9'-1 1/2" x 2'-10" | 25.92 | | | |
| | J3 | 13'-9 1/2" x 5'-0" | 68.95 | | | |
| | J4 | 1'-11 1/2" x 2'-2" | 4.24 | | | |
| | J5 | 6'-10" x 0'-6" | 3.40 | | | |
| (N) AREA ADDITION - FIRST FLOOR (HABITABLE) | | | | 126.08 | | |
| TOTAL PROPOSED FLOOR AREA - FIRST FLOOR (3,121.36 +126.08) | | | | | | 3,247.44 |
| (N) FLOOR AREA ADDITION | L1 | 11'-6 1/2" x 25'-2 1/2" | 290.94 | | | |
| | L2 | 2'-0" x 9'-3 1/2" | 18.60 | | | |
| | L3 | 18'-11" x 11'-3 1/2" | 213.65 | | | |
| | L4 | 2'-0" x 9'-31/2" | 18.60 | | | |
| | L5 | 10'-6" x 25'-2 1/2" | 264.64 | | | |
| (N) AREA ADDITION - SECOND FLOOR (HABITABLE) | | | | 806.43 | | |
| TOTAL PROPOSED FLOOR AREA - FIRST AND SECOND FLOOR (3,247.44 +806.64) | | | | | | 4054.08 |

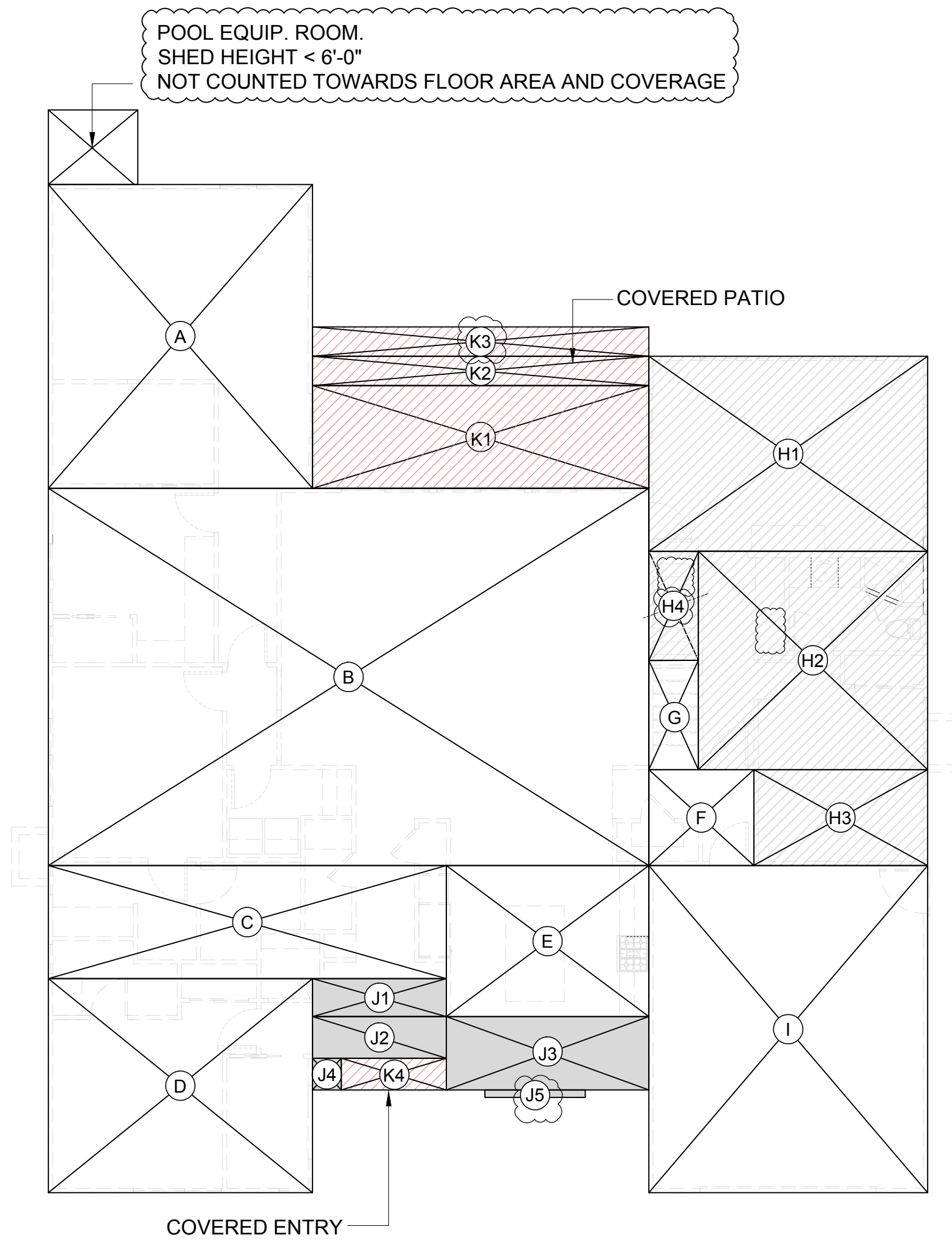
LOT COVERAGE CALCULATIONS

| | TAG | DIMENSIONS | AREA (SQ. FT.) | SUB TOTAL | SUB TOTAL | TOTAL |
|--|-----|--------------------|----------------|-----------|-----------|----------|
| EXISTING FIRST FLOOR AREAS | K1 | (E)22'-11" x 7'-0" | 160.41 | 267.59 | | |
| | K2 | (N)22'-11" x 2'-0" | 45.83 | | | |
| | K3 | (N)22'-11" x 2'-0" | 45.83 | | | |
| | K4 | (N)7'-2" x 2'-2" | 15.52 | | | |
| TOTAL AREA UNDER COVERAGE | | | | 267.59 | | |
| TOTAL PROPOSED COVERAGE (3,243.97 +221.76) | | | | | | 3,465.73 |



AREA CALCULATIONS-SECOND FLOOR 2

SCALE: 1/8"=1'-0"



AREA/COVERAGE CALCULATIONS-FIRST FLOOR 1

SCALE: 1/8"=1'-0"

FLOOR AREA CALCULATION:

| | |
|---|------------------------------------|
| LOT SIZE (NET AREA) : | 10,000 sq.ft. |
| (E) FIRST FLOOR AREA(HABITABLE) | 2,697.82 sq.ft. |
| (E) ATTACHED GARAGE(TO REMAIN) | 423.54 sq.ft. |
| TOTAL (E) FLOOR AREA | 3,121.36 sq.ft. |
| ADU REPLACING (E) FLOOR AREA | 587.57 sq.ft. |
| NET EXISTING FLOOR AREA (3121.36-587.57) | 2,533.79 sq.ft. |
| MAXIMUM ALLOWABLE FLOOR AREA: 35% OF NET LOT AREA | 3,500 sq.ft. |
| (N)FIRST FLOOR ADDITION | 126.08 SQ.FT |
| (N)SECOND FLOOR ADDITION | 806.43SQ.FT |
| (N) TOTAL FLOOR AREA ADDITION (HABITABLE) | 932.51 sq.ft. |
| TOTAL PROPOSED FLOOR AREA (2,533.79+932.59) | 3,466.3 sq.ft. (33.7 sq.ft. under) |
| (E) HOUSE AREA (HABITABLE) | 2,697.82 |
| (N)ADDITION (HABITABLE) | 932.59 |
| TOTAL PROPOSED HABITABLE AREA | 3,630.41 |

LOT COVERAGE CALCULATION:

| | |
|---|--------------------------------------|
| LOT SIZE : | 10,000.0 sq.ft. |
| MAXIMUM ALLOWABLE COVERAGE : 30% OF NET LOT AREA | 3,000.0 sq.ft. |
| TOTAL (E) FLOOR AREA (INCL. GARAGE) | 3,121.36 sq.ft. |
| (E)COVERAGE AT ENTRY AND PATIO (J1+K1)=23.57+160.41 | 183.98 sq.ft. |
| TOTAL (E) LOT COVERAGE (3,121.36+183.98) | 3,305.24 sq.ft. |
| TOTAL PROPOSED FIRST FLOOR AREA (INCL. GARAGE) | 3247.44 sq.ft. |
| ADU REPLACING (E) FLOOR AREA | 587.57 sq.ft. |
| NET PROPOSED FLOOR AREA (3247.44-587.57) | 2,659.87 sq.ft. |
| COVERAGE AT ENTRY AND PATIO (K1+K2+K3+K4) | 267.59 sq.ft. |
| TOTAL PROPOSED LOT COVERAGE (2,659.87+267.59) | 2,927.46 sq.ft. (72.54 sq.ft. under) |



PATEL RESIDENCE
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1370 ENSENADA WAY
 LOS ALTOS, CA 94024

APN: 318-06-034

SANTA CLARA COUNTY

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DATE: 09/09/2022
 SCALE: 1/8"= 1'-0"
 DRAWING NAME:

AREA CALCULATION DIAGRAM

AX-101

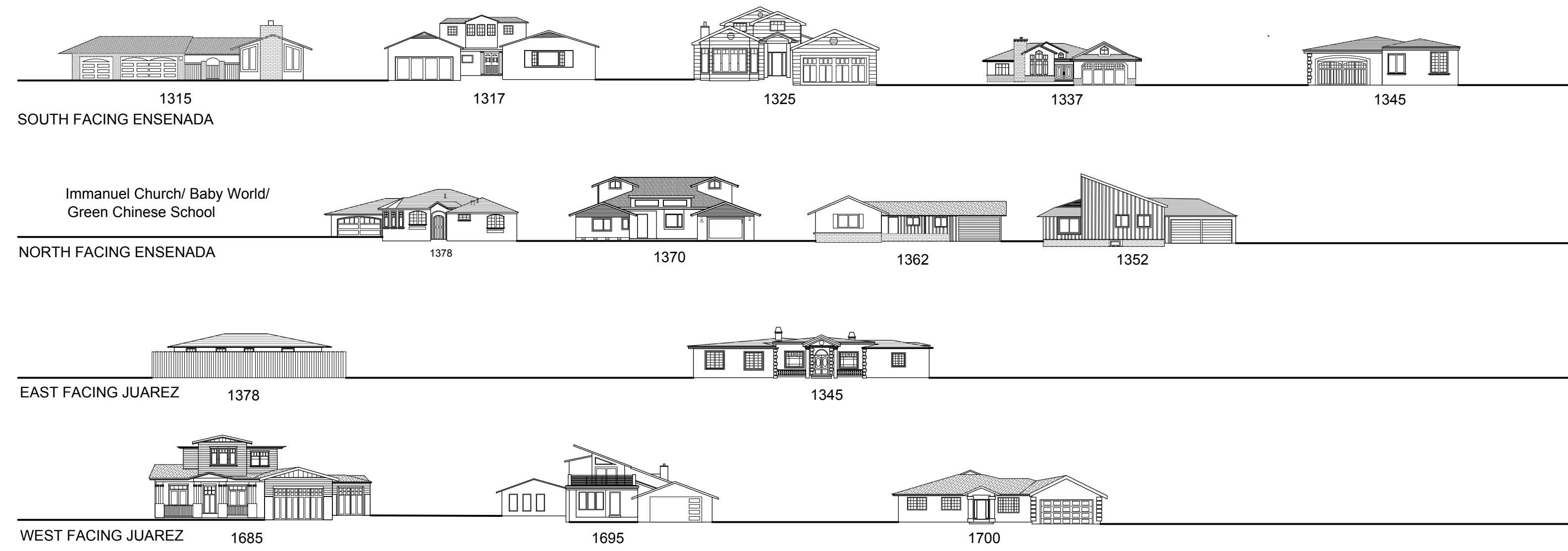
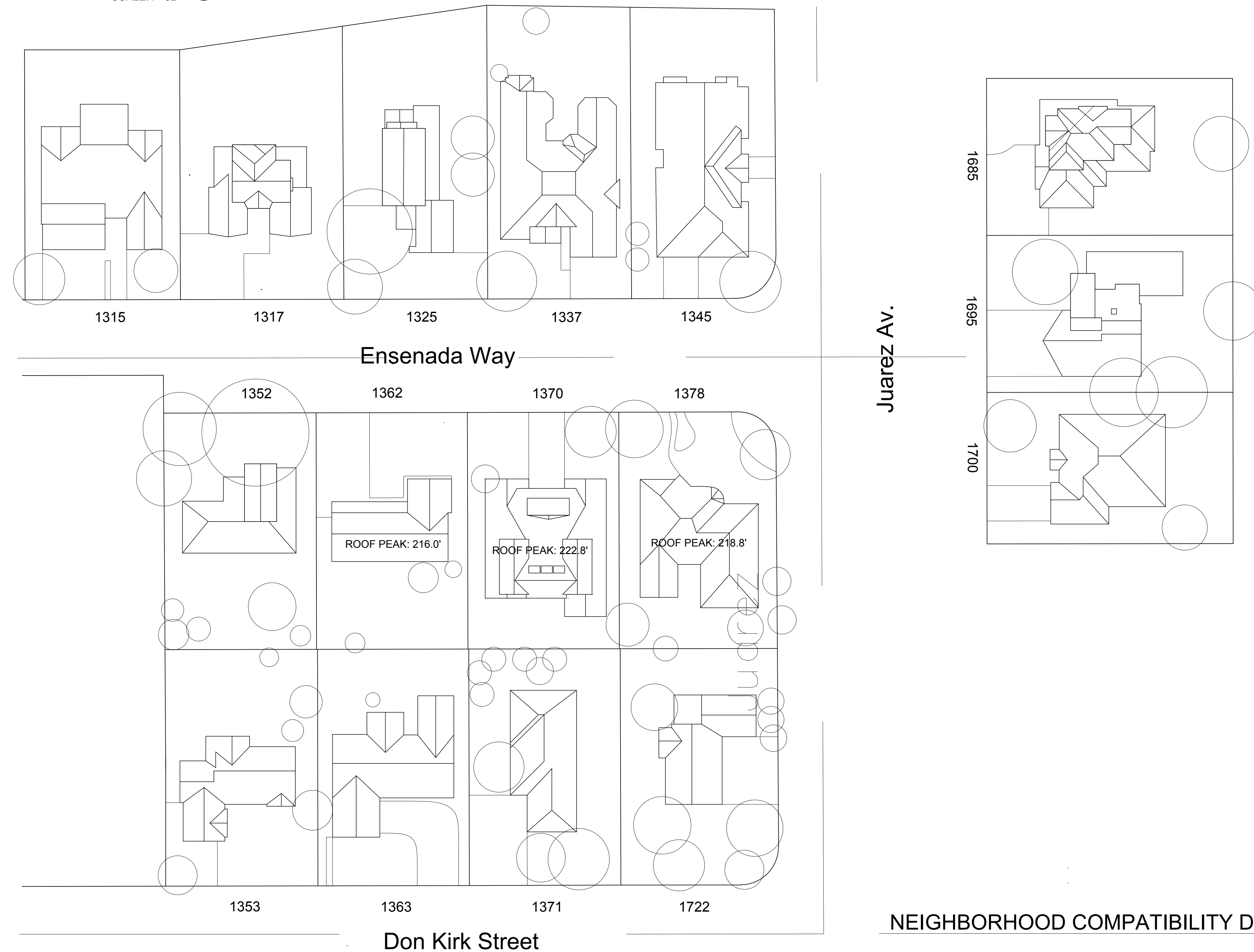
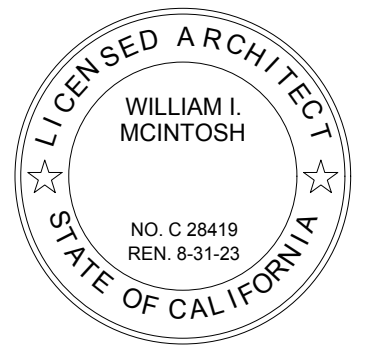
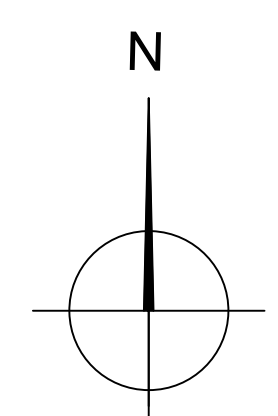


DIAGRAM - NEIGHBORHOOD COMPATIBILITY ELEVATIONS ¹
SCALE: 1"=32'



NEIGHBORHOOD COMPATIBILITY DIAGRAM ¹
SCALE: 1"=32'



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DATE: 09/09/2022
 SCALE:
 DRAWING NAME:
 NEIGHBORHOOD COMPATIBILITY DIAGRAMS

AX-102

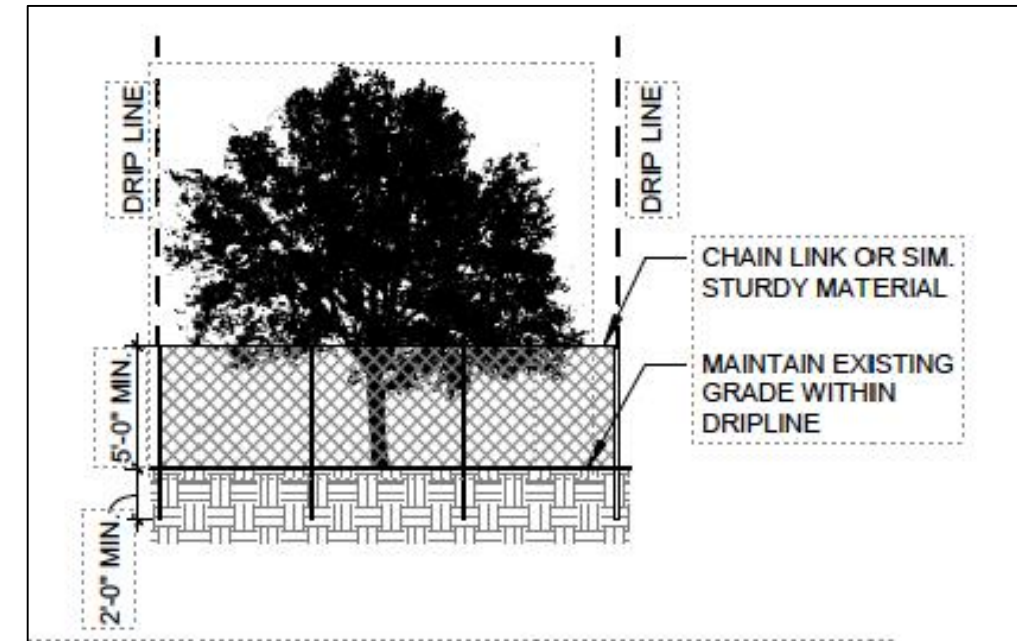
TREE PRESERVATION AND PROTECTION PLAN
(PER SECTION 11.08.120 OF MUNICIPAL CODE):

PROTECTIVE FENCING SHALL BE INSTALLED NO CLOSER TO THE TRUNK THAN THE DRIPLINE, AND FAR ENOUGH FROM THE TRUNK TO PROTECT THE INTEGRITY OF THE TREE.

THE FENCE SHALL BE CHAIN LINK AND A MINIMUM OF FIVE FEET IN HEIGHT. FENCE SHALL BE SUPPORTED BY VERTICAL POSTS DRIVEN 2 FEET (MIN) INTO THE GROUND.

THE EXISTING GRADE LEVEL AROUND A TREE SHALL NORMALLY BE MAINTAINED OUT TO THE DRIPLINE OF THE TREE. NO SIGNS, WIRES OR ANY OBJECT SHALL BE ATTACHED TO THE TREE.

TREES THAT HAVE BEEN DAMAGED BY CONSTRUCTION SHALL BE REPAIRED IN ACCORDANCE WITH ACCEPTED ARBORICULTURE METHODS.

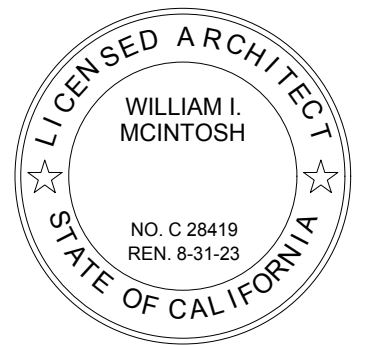
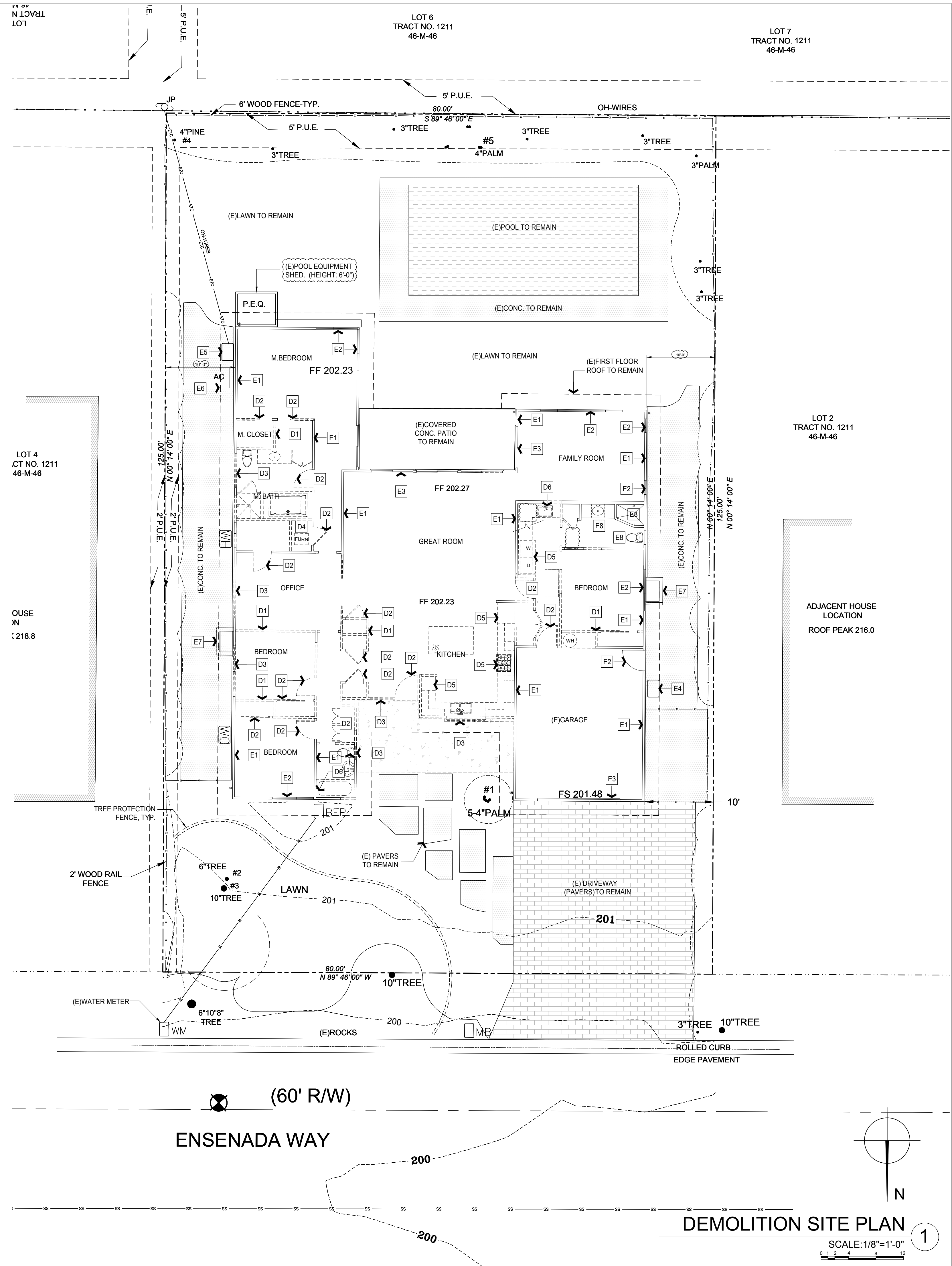


TREE SCHEDULE

| | | |
|----|-----------|----------------|
| #1 | TO REMAIN | 5-4" PALM TREE |
| #2 | TO REMAIN | 6" TREE |
| #3 | TO REMAIN | 10" PALM TREE |
| #4 | TO REMAIN | 4" PINE |
| #5 | TO REMAIN | 4" PALM |

EXISTING/ DEMOLITION LEGEND

| | |
|----|------------------------|
| E1 | (E) WALLS TO REMAIN |
| E2 | (E) WINDOWS TO REMAIN |
| E3 | (E) DOORS TO REMAIN |
| E4 | (E) GAS METER |
| E5 | (E) ELECTRIC METER |
| E6 | (E) CONDENSING UNIT |
| E7 | (E) CRAWL SPACE ACCESS |
| E8 | (E) FIXTURES TO REMAIN |
| D1 | REMOVE (E) WALL/ POST |
| D2 | REMOVE (E) DOOR |
| D3 | REMOVE (E) WINDOWS |
| D4 | REMOVE (E) FURNACE |
| D5 | REMOVE (E) APPLIANCES |
| D6 | REMOVE (E) FIXTURES |



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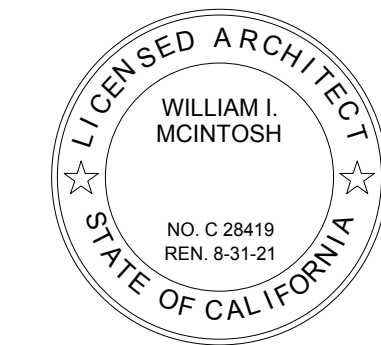
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DATE: 09/09/2022
SCALE: 1/8" = 1'-0"
DRAWING NAME:
DEMOLITION SITE PLAN

AD-101

DEMOLITION SITE PLAN
SCALE: 1/8" = 1'-0"
1



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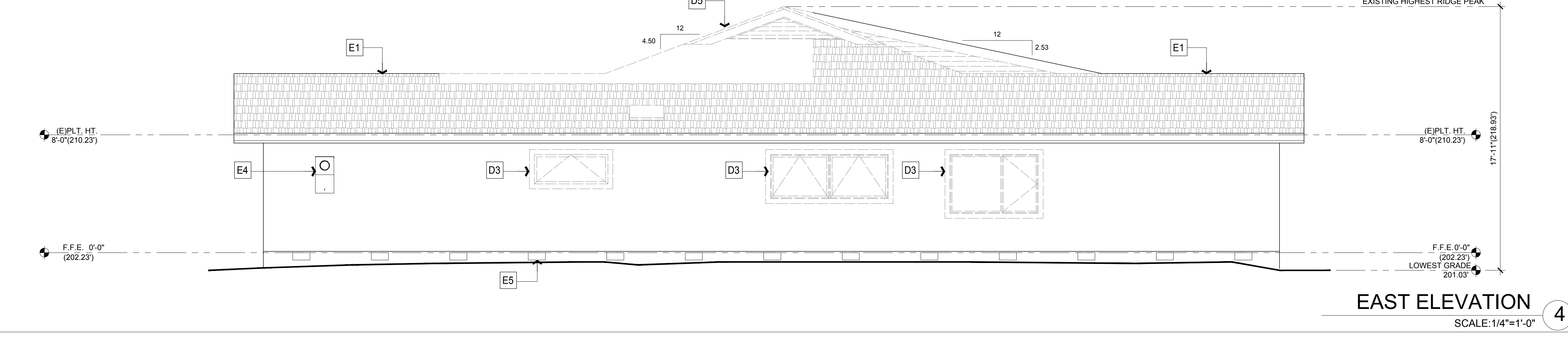
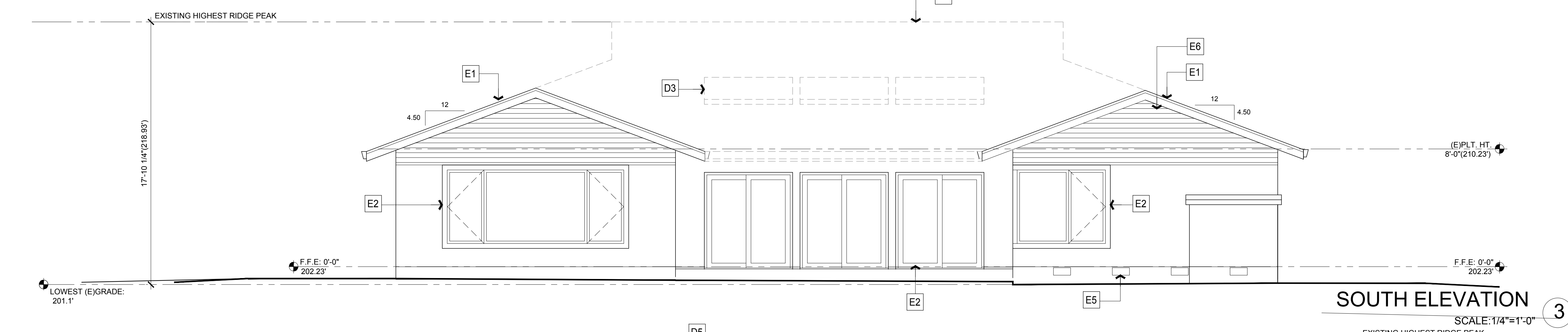
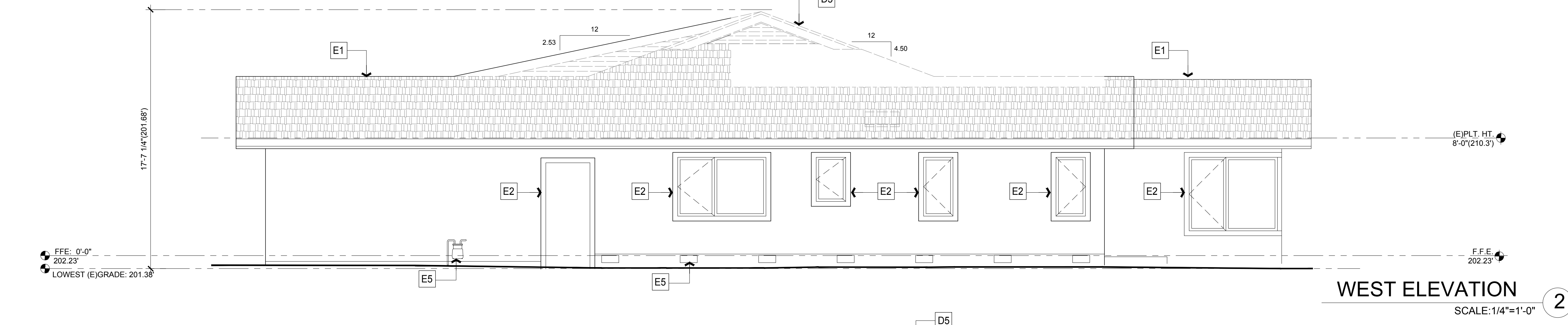
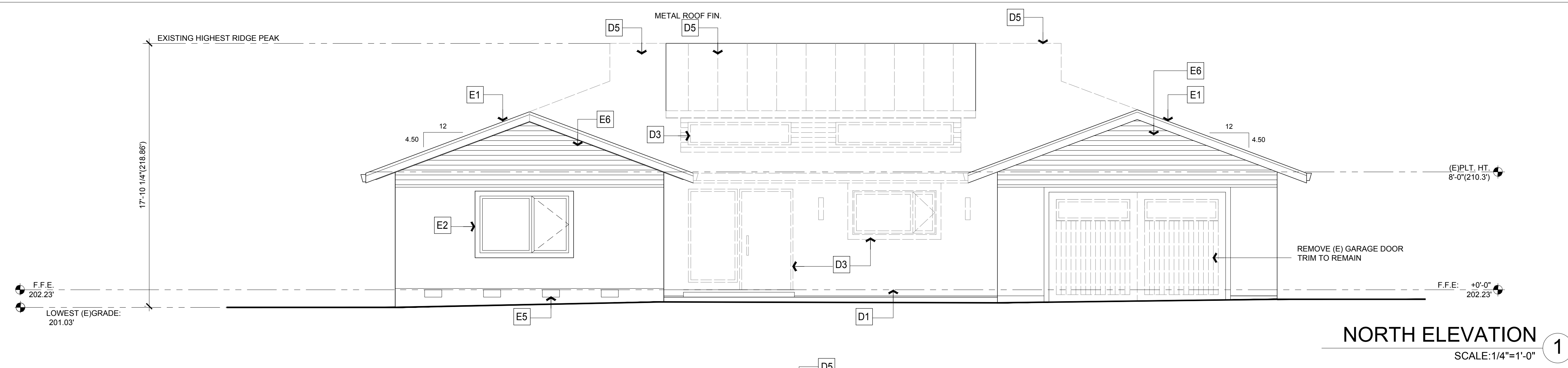
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DATE: 03/03/2021
 SCALE: 1/4" = 1'-0"

DRAWING NAME:
 DEMOLITION ELEVATIONS

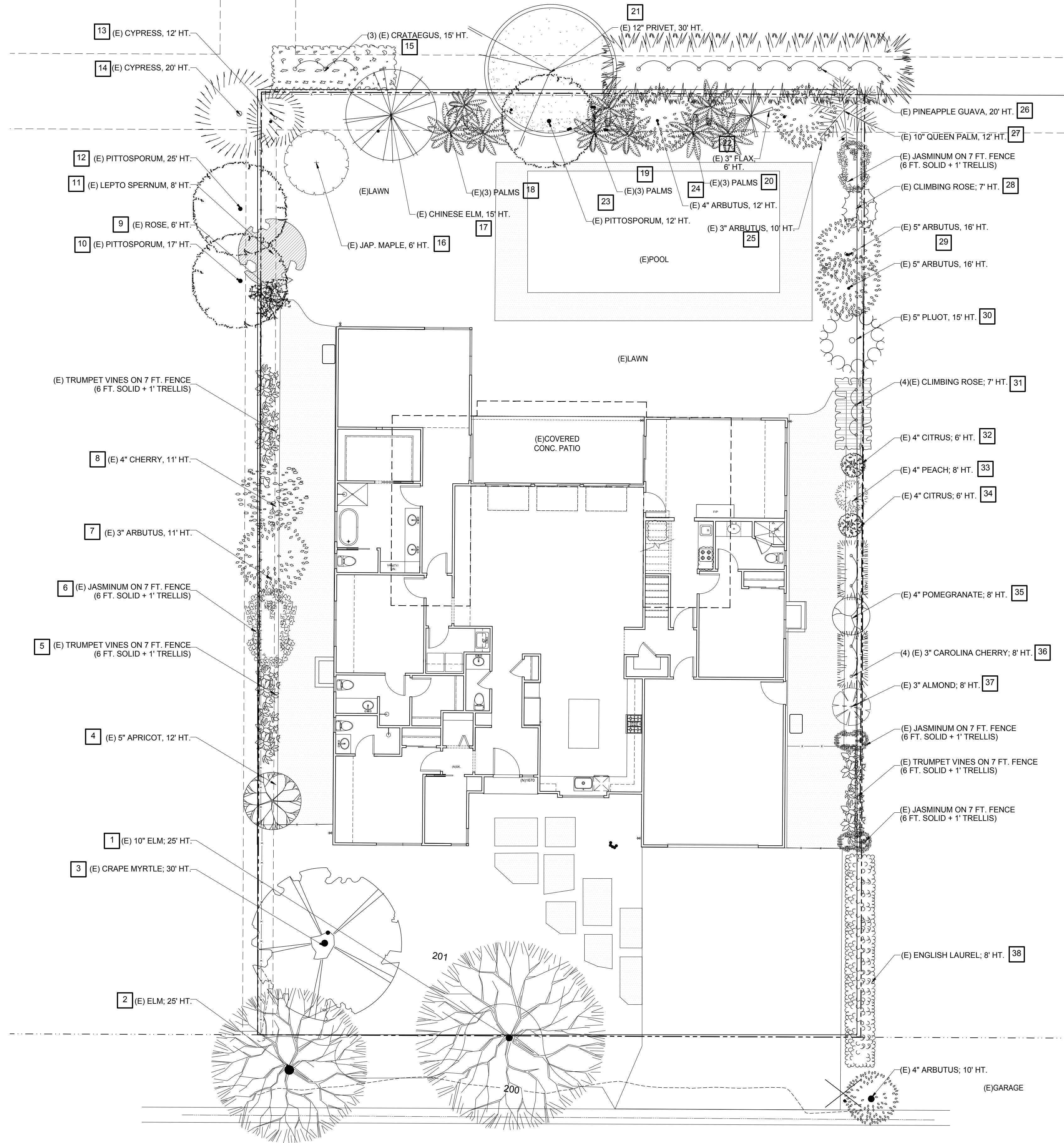
AD-201



EXISTING/ DEMOLITION LEGEND

| | |
|----|--|
| E1 | (E) ROOF TO REMAIN |
| E2 | (E) DOOR/WINDOWS/ TRIMS TO REMAIN |
| E3 | (E) GAS METER TO REMAIN |
| E4 | (E) ELECTRIC METER TO REMAIN |
| E5 | (E) CRAWL SPACE VENTS OPENINGS TO REMAIN |
| E6 | (E) SIDING TO REMAIN |
| E7 | (E) POOL EQUIP. ROOM TO REMAIN |
| D1 | REMOVE (E) WALL/ POST |
| D2 | REMOVE (E) DOOR AND TRIMS |
| D3 | REMOVE (E) WINDOWS/TRIMS |
| D4 | REMOVE (E)SIDING |
| D5 | REMOVE (E) ROOF |

| EXISTING SCREENING TO REMAIN | | |
|------------------------------|-----------------------|------------------------------|
| TAG | COMMON NAME | EXISTING HEIGHT / SPREAD |
| 1 | (E) ELM | 25' HT/ 25' CANOPY |
| 2 | (E) ELM | 25' HT/ 20' CANOPY |
| 3 | (E) CRAPE MYRTLE | 30' HT/ 20' CANOPY |
| 4 | (E) APRICOT | 12' HT/ 8' CANOPY |
| 5 | (3)(E) TRUMPET VINES | 7' HT/ 6' SOLID + 1' TRELLIS |
| 6 | (4)(E) JASMINUM | 7' HT/ 6' SOLID + 1' TRELLIS |
| 7 | (E) ARBUTUS | 11' HT/ 8' CANOPY |
| 8 | (E) CHERRY | 11' HT/ 8' CANOPY |
| 9 | (E) ROSE | 6' HT/ 5' CANOPY |
| 10 | (E) PITTOSPORUM | 17' HT/ 12' CANOPY |
| 11 | (E) LEPTO SPERNUM | 8' HT/ 10' CANOPY |
| 12 | (E) PITTOSPORUM | 25' HT/ 14' CANOPY |
| 13 | (E) CYPRESS | 12' HT/ 10' CANOPY |
| 14 | (E) CYPRESS | 20' HT/ 12' CANOPY |
| 15 | (3) (E) CRATAGEGUS | 15' HT/ 20' CANOPY |
| 16 | (E) JAP. MAPLE | 6' HT/ 10' CANOPY |
| 17 | (E) CHINESE ELM | 15' HT/ 14' CANOPY |
| 18 | (3)(E) PALM | 12' HT. / 10' CANOPY |
| 19 | (3)(E) PALM | 15' HT. / 10' CANOPY |
| 20 | (3)(E) PALM | 12' HT. / 10' CANOPY |
| 21 | (E) PRIVET | 30' HT/ 18' CANOPY |
| 22 | (E) FLAX | 6' HT/ 6' CANOPY |
| 23 | (E) PITTOSPORUM | 12' HT/ 14' CANOPY |
| 24 | (E) ARBUTUS | 12' HT/ 8' CANOPY |
| 25 | (2) (E) ARBUTUS | 10' HT/ 8' CANOPY |
| 26 | (E) PINEAPPLE GUAVA | 20' HT/ 40' CANOPY |
| 27 | (E) QUEEN PALM | 12' HT/ 10' CANOPY |
| 28 | (E) CLIMBING ROSE | 7' HT/ 5' CANOPY |
| 29 | (2) (E) ARBUTUS | 16' HT/ 10' CANOPY |
| 30 | (E) PLOUT | 15' HT/ 8' CANOPY |
| 31 | (4) (E) CLIMBING ROSE | 7' HT/ 8' CANOPY |
| 32 | (E) CITRUS | 6' HT/ 4' CANOPY |
| 33 | (E) PEACH | 8' HT/ 5' CANOPY |
| 34 | (E) CITRUS | 6' HT/ 4' CANOPY |
| 35 | (E) POMEGRANATE | 8' HT/ 6' CANOPY |
| 36 | (E) CAROLINA CHERRY | 8' HT/ 8' CANOPY |
| 37 | (E) ALMOND | 8' HT/ 6' CANOPY |
| 38 | (E) ENGLISH LAUREL | 8' HT/ 25' CANOPY |

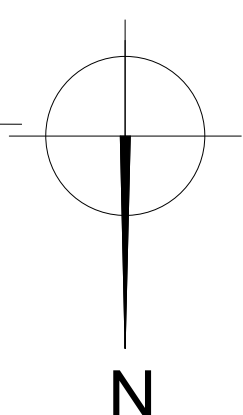


ENSENADA WAY

(60' R/W)

(E)SCREENING PLAN 1

SCALE: 1/8"=1'-0"



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**1370 ENSENADA WAY
 LOS ALTOS, CA 94024**

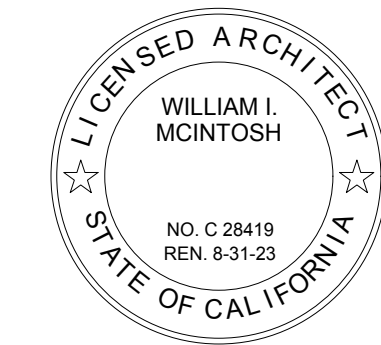
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DATE: 09/09/2022
 SCALE: 1/8"=1'-0"
 DRAWING NAME:
 (E)SCREENING PLAN

AS-102



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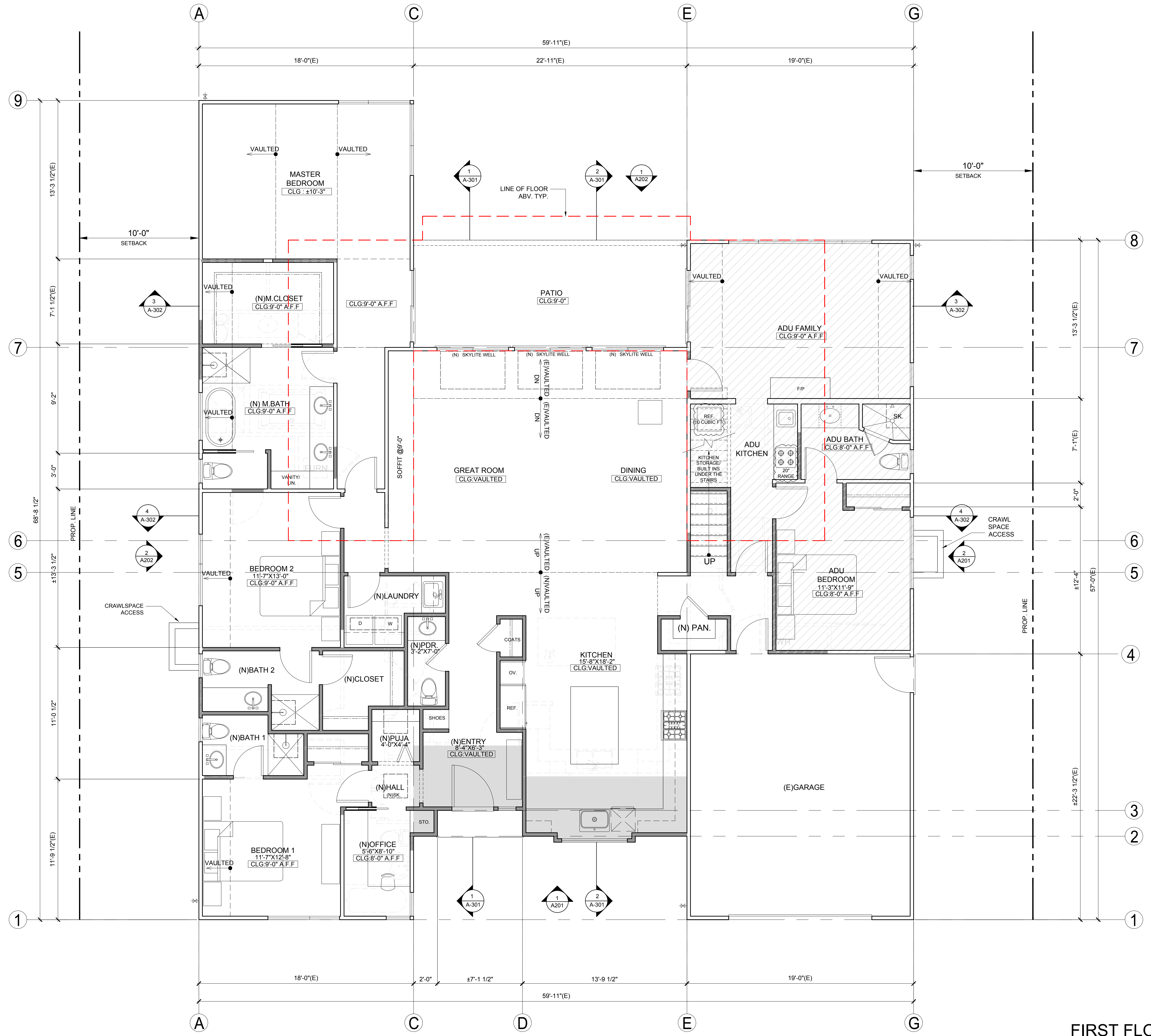
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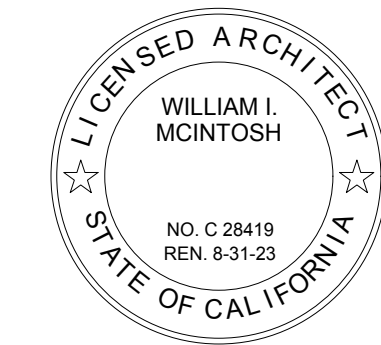
DATE: 09/09/2022
 SCALE: 1/4" = 1'-0"
 DRAWING NAME:
 FIRST FLOOR PLAN

A-101



- (E) WALLS TO BE DEMOLISHED
- (N) 2X STUDS
- NEW FLOOR AREA ADDED
- (E) FLOOR AREA CONVERTED TO ADU

N
FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 1



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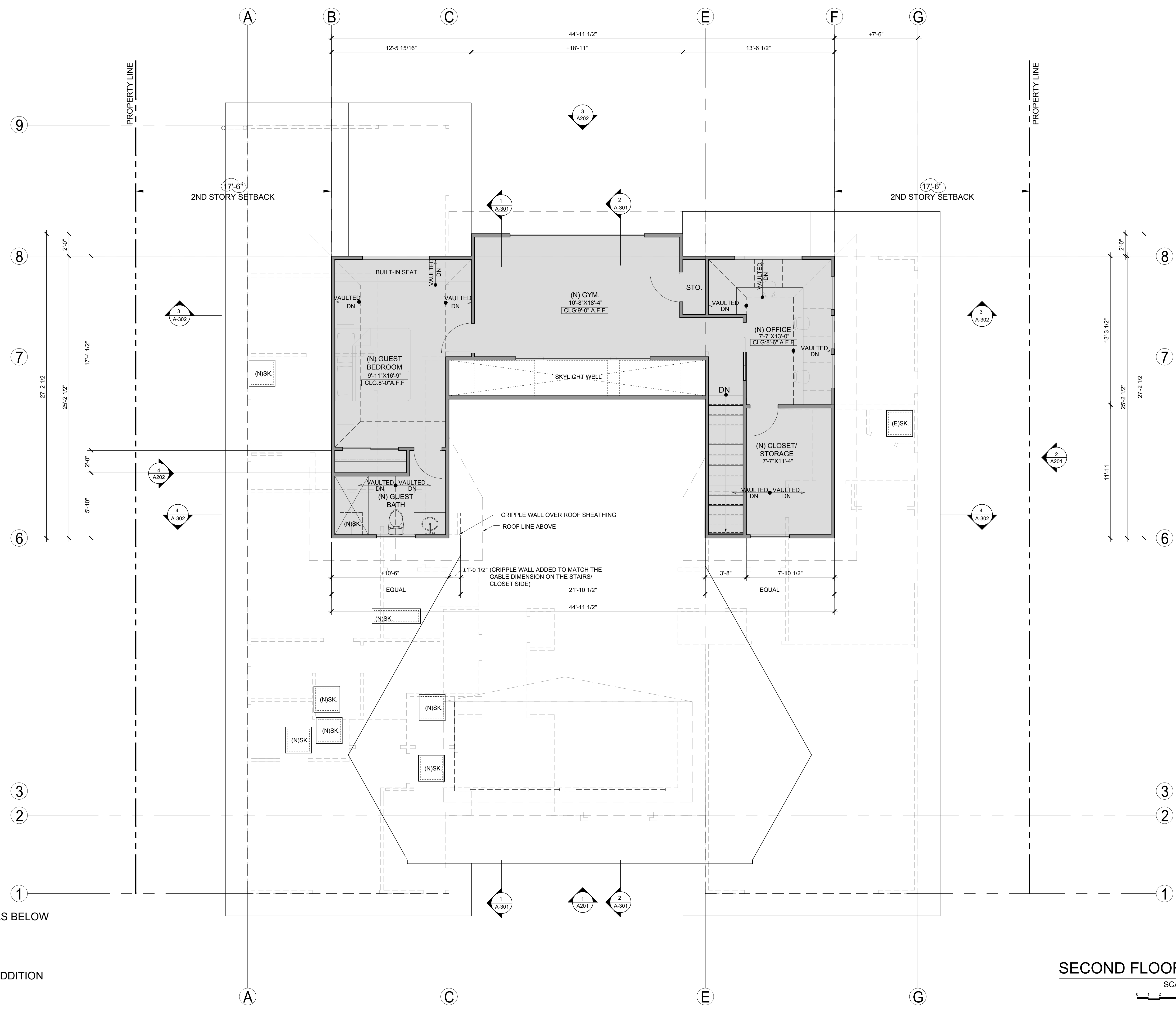
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DATE: 09/09/2022
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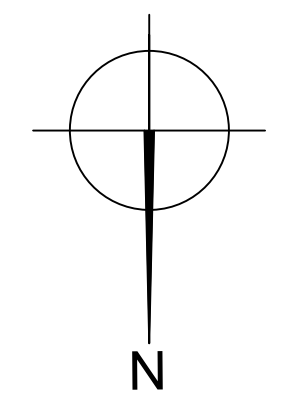
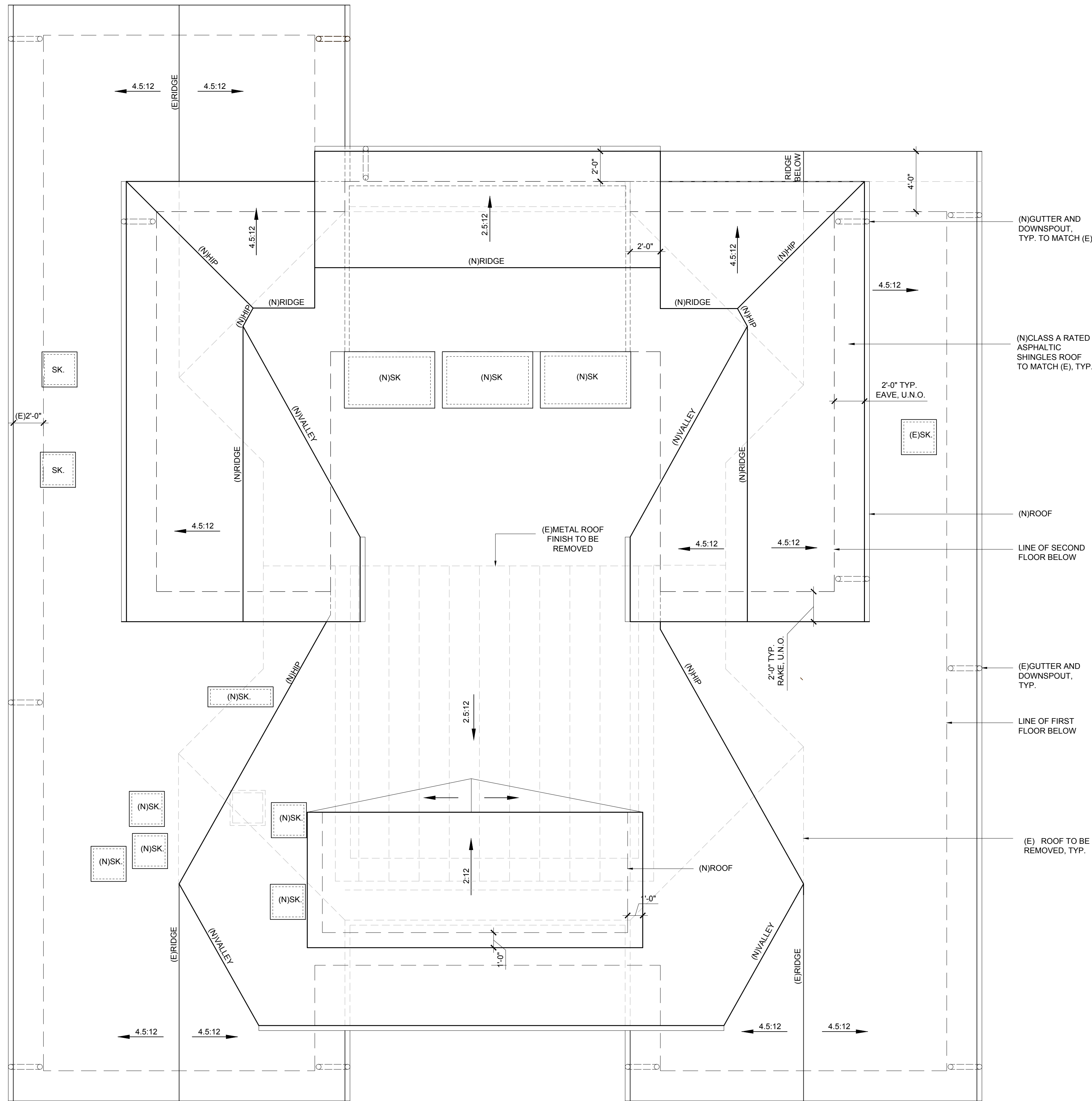
SECOND FLOOR PLAN

A-102



--- (FIRST FLOOR WALLS BELOW)
 — (N)2X STUDS
 ■ NEW FLOOR AREA ADDITION

SECOND FLOOR PLAN 1
 SCALE: 1/4" = 1'-0"
 0 1 2 3 4 5 6 7 8



ROOF PLAN 1
 SCALE: 1/4"=1'-0"
 0 1 2 4 8



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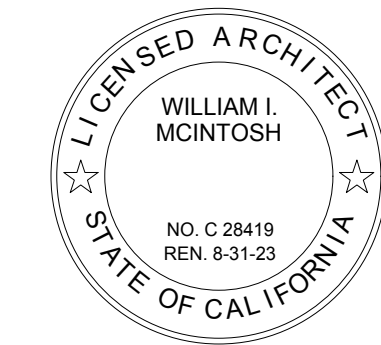
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DATE: 09/09/2022
 SCALE: 1/4"=1'-0"
 DRAWING NAME:
 ROOF PLAN

A-103



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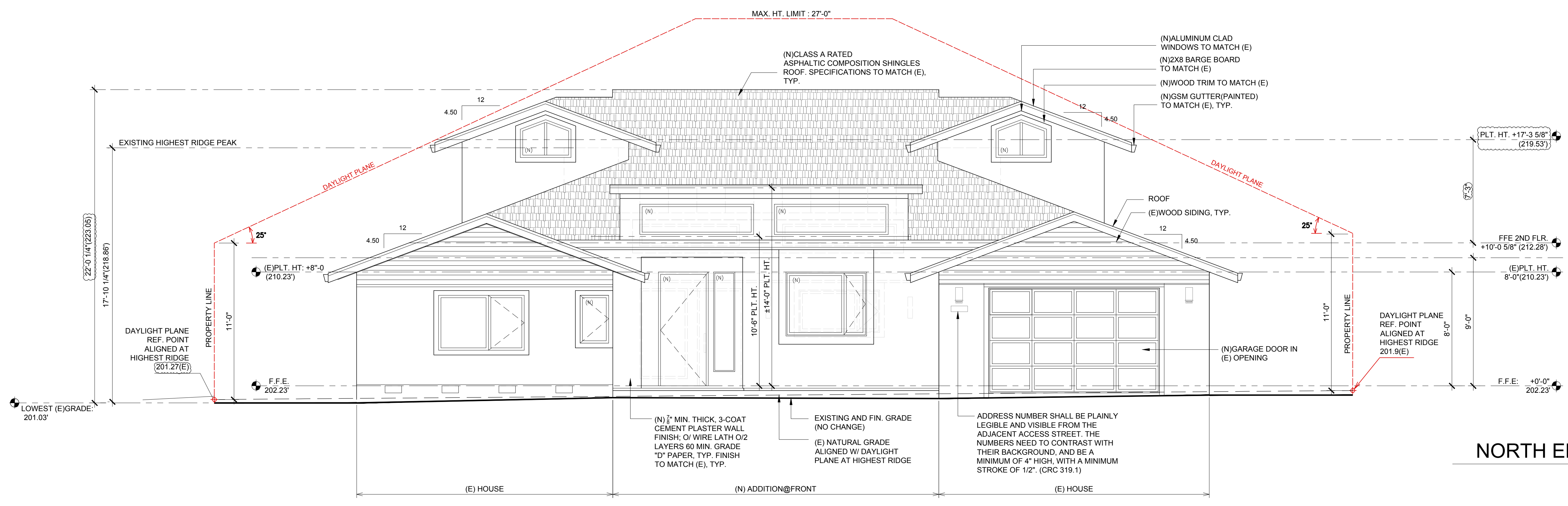
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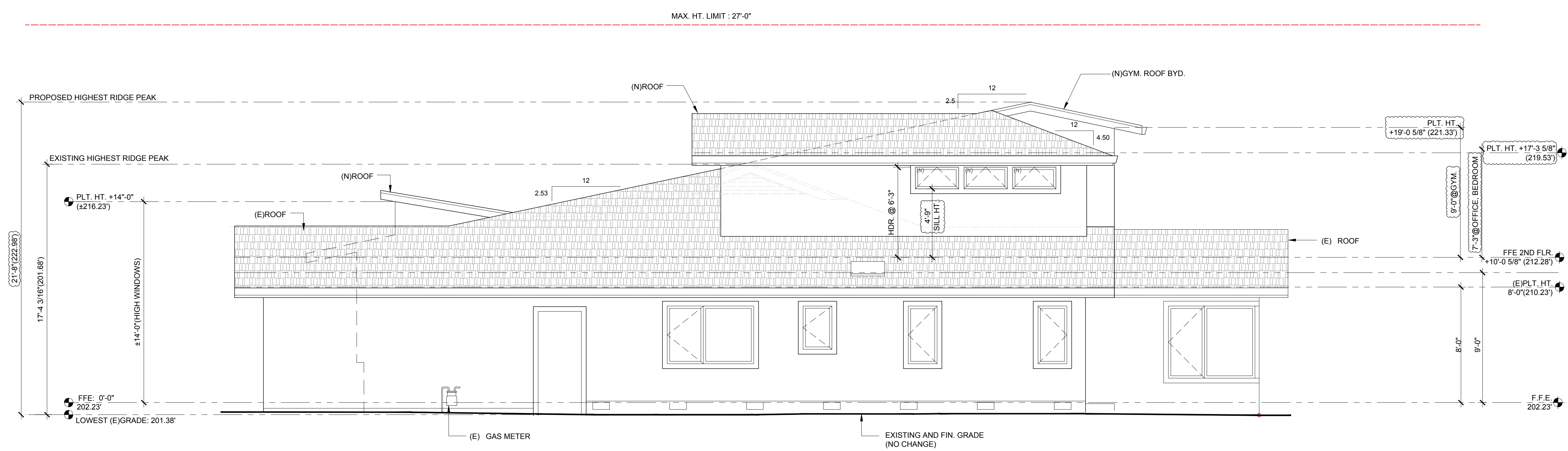
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 DRAWING NAME:

ELEVATIONS

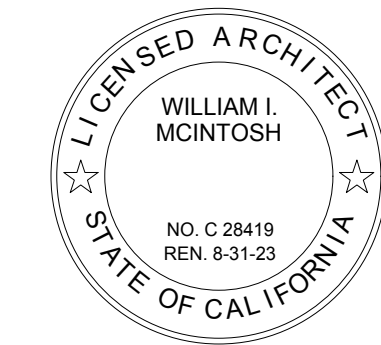
A-201



NORTH ELEVATION ①
 SCALE: 1/4" = 1'-0"



WEST ELEVATION ②
 SCALE: 1/4" = 1'-0"



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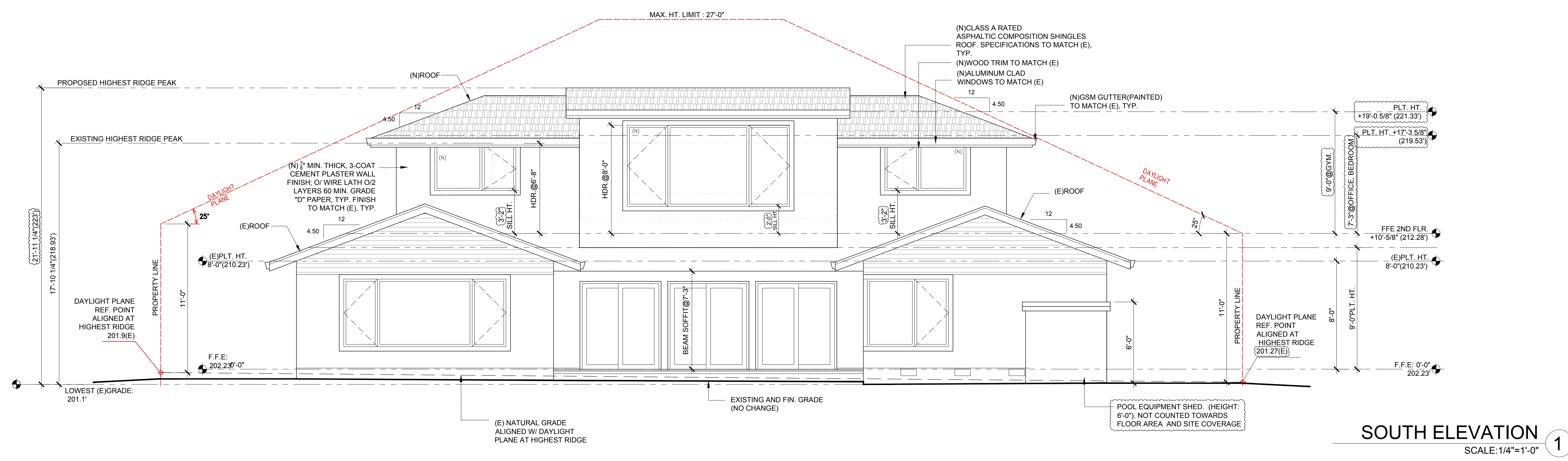
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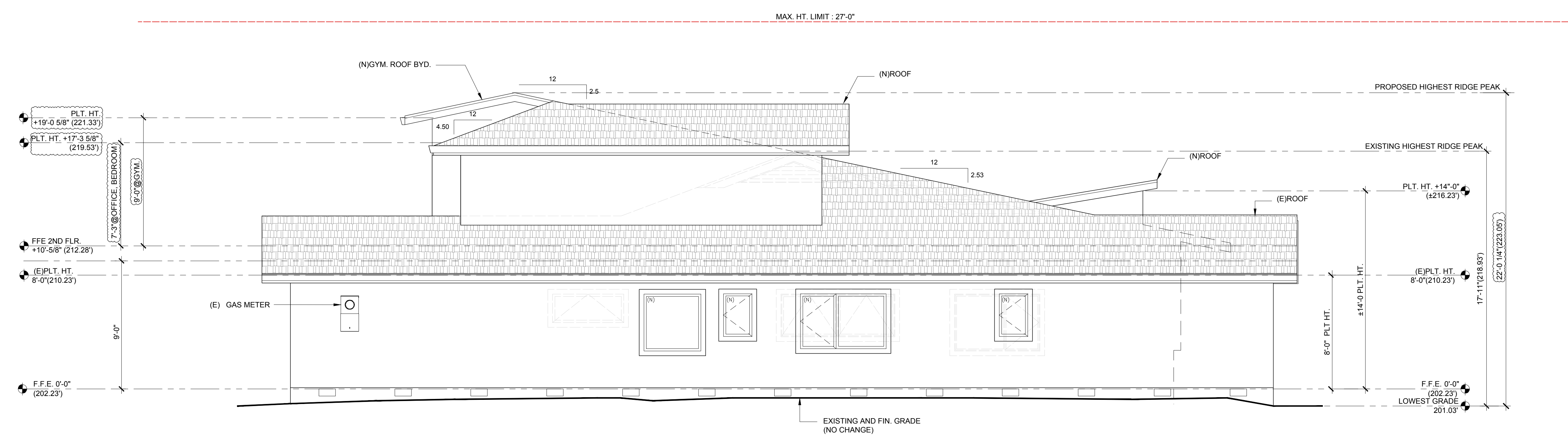
DATE: 09/09/2022
 SCALE: 1/4"=1'-0"
 DRAWING NAME:

ELEVATIONS

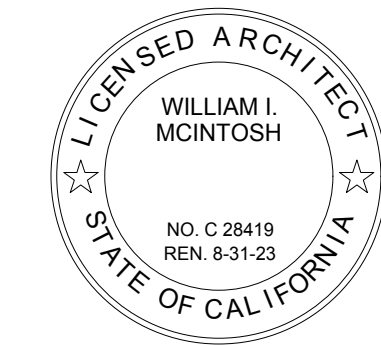
A-202



SOUTH ELEVATION 1
 SCALE: 1/4"=1'-0"



EAST ELEVATION 2
 SCALE: 1/4"=1'-0"



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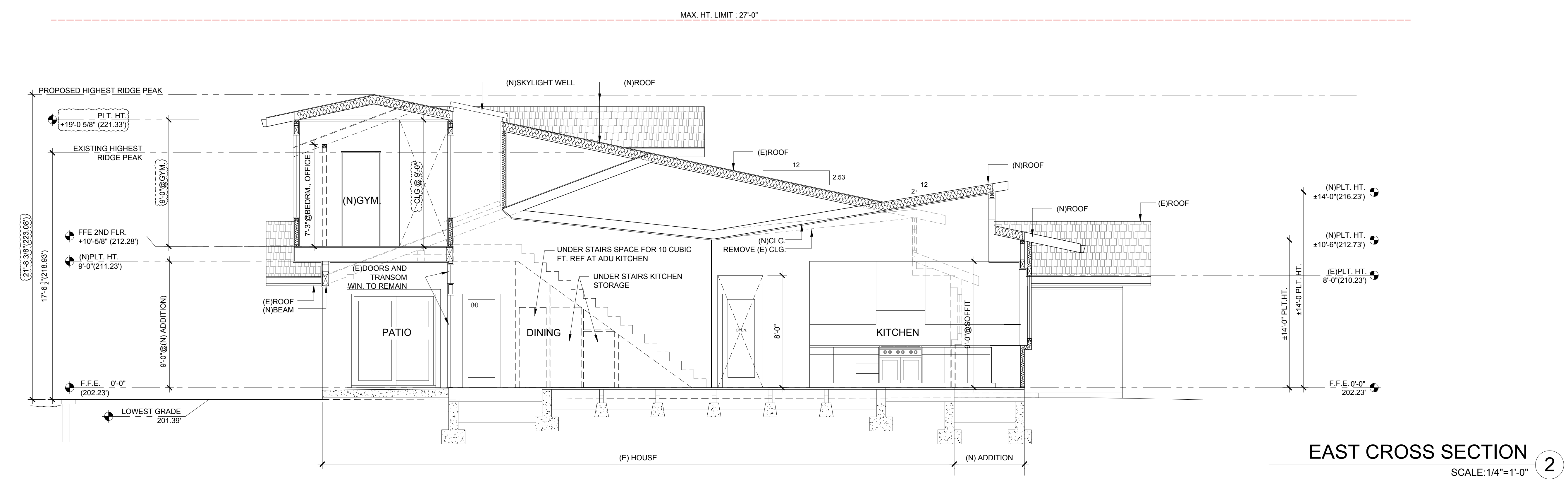
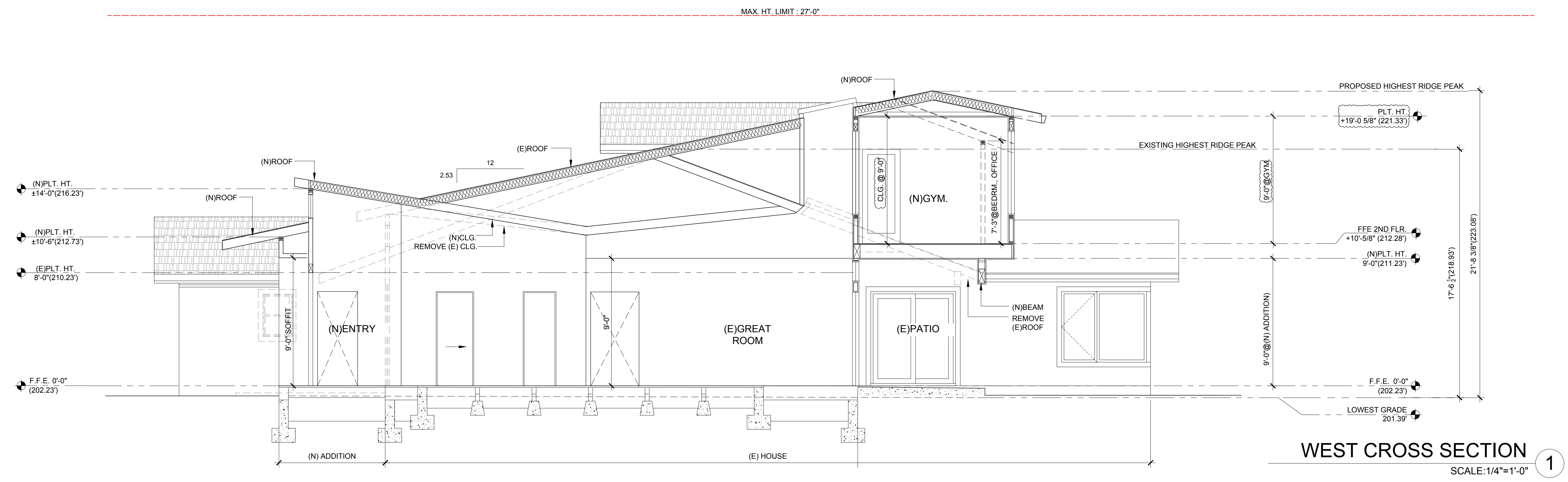
SANTA CLARA COUNTY

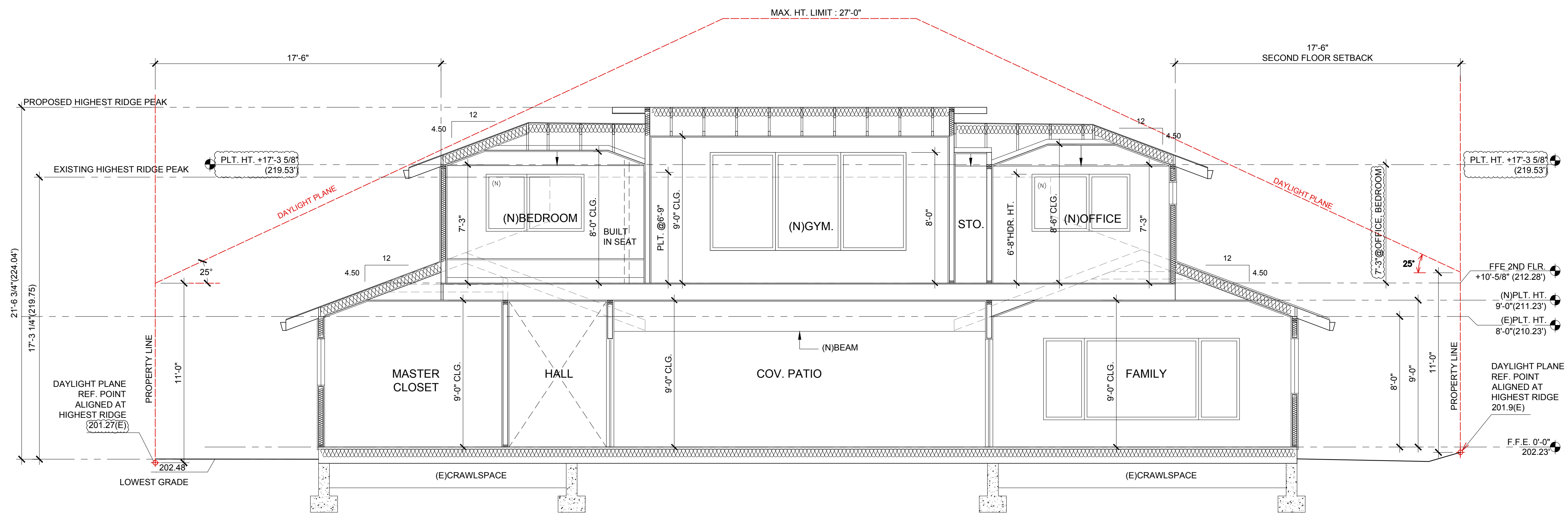
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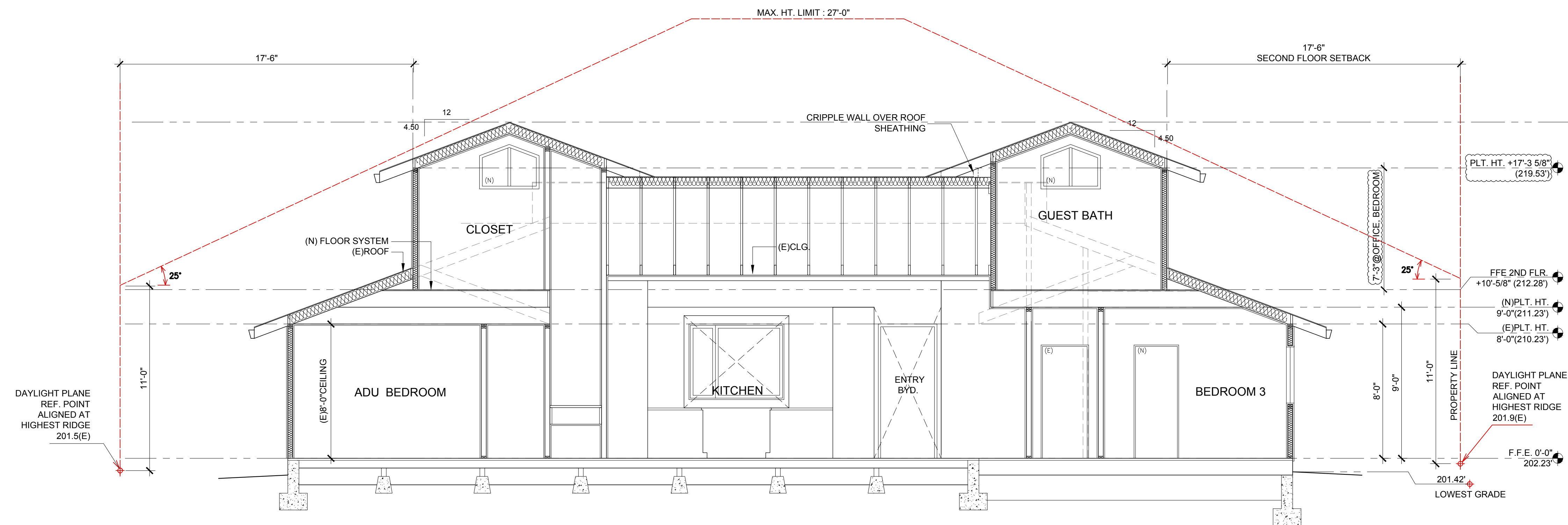
SECTIONS

A-301





SOUTH CROSS SECTION
SCALE: 1/4"=1'-0" 3



NORTH CROSS SECTION
SCALE: 1/4"=1'-0" 4



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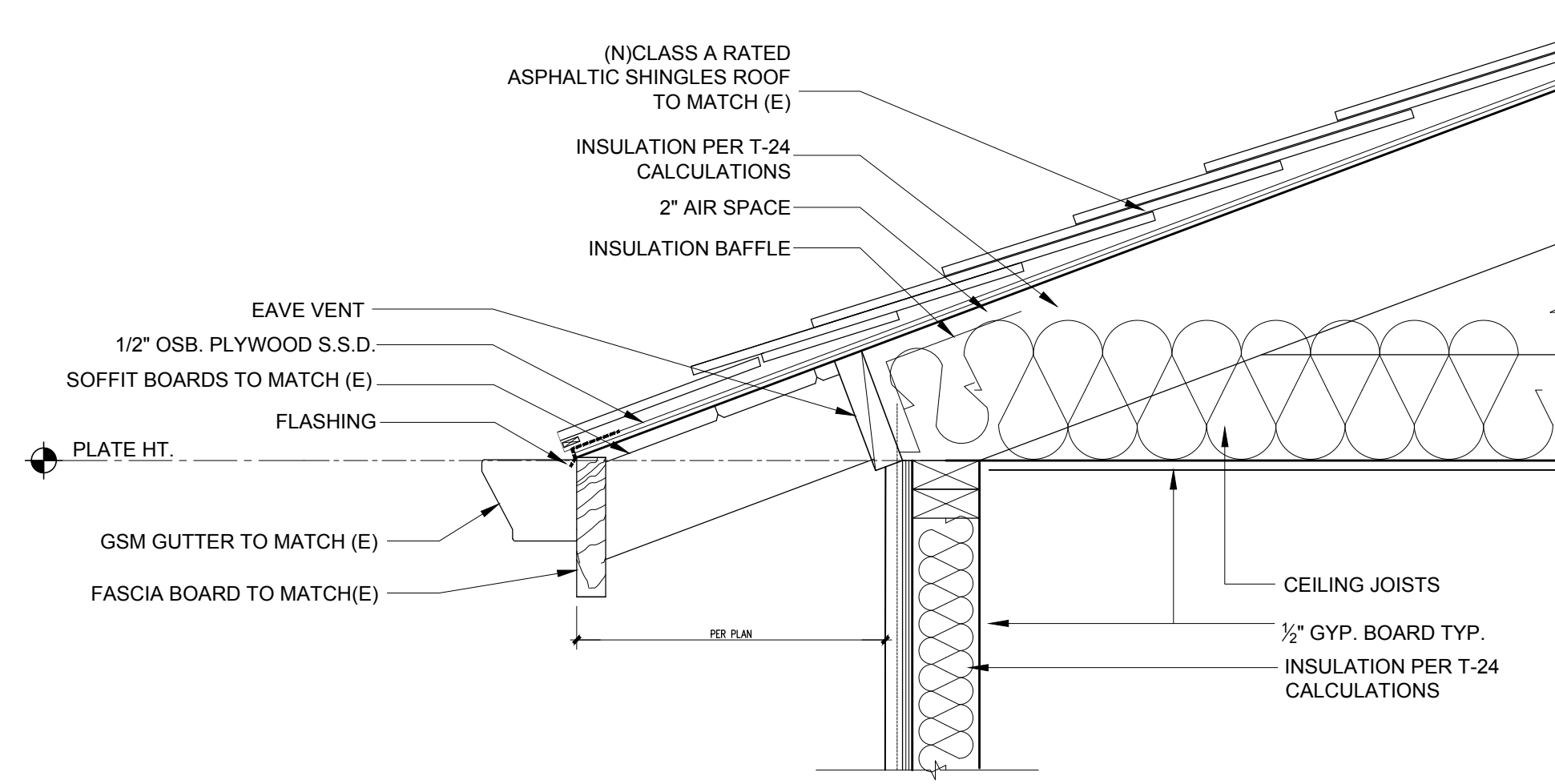
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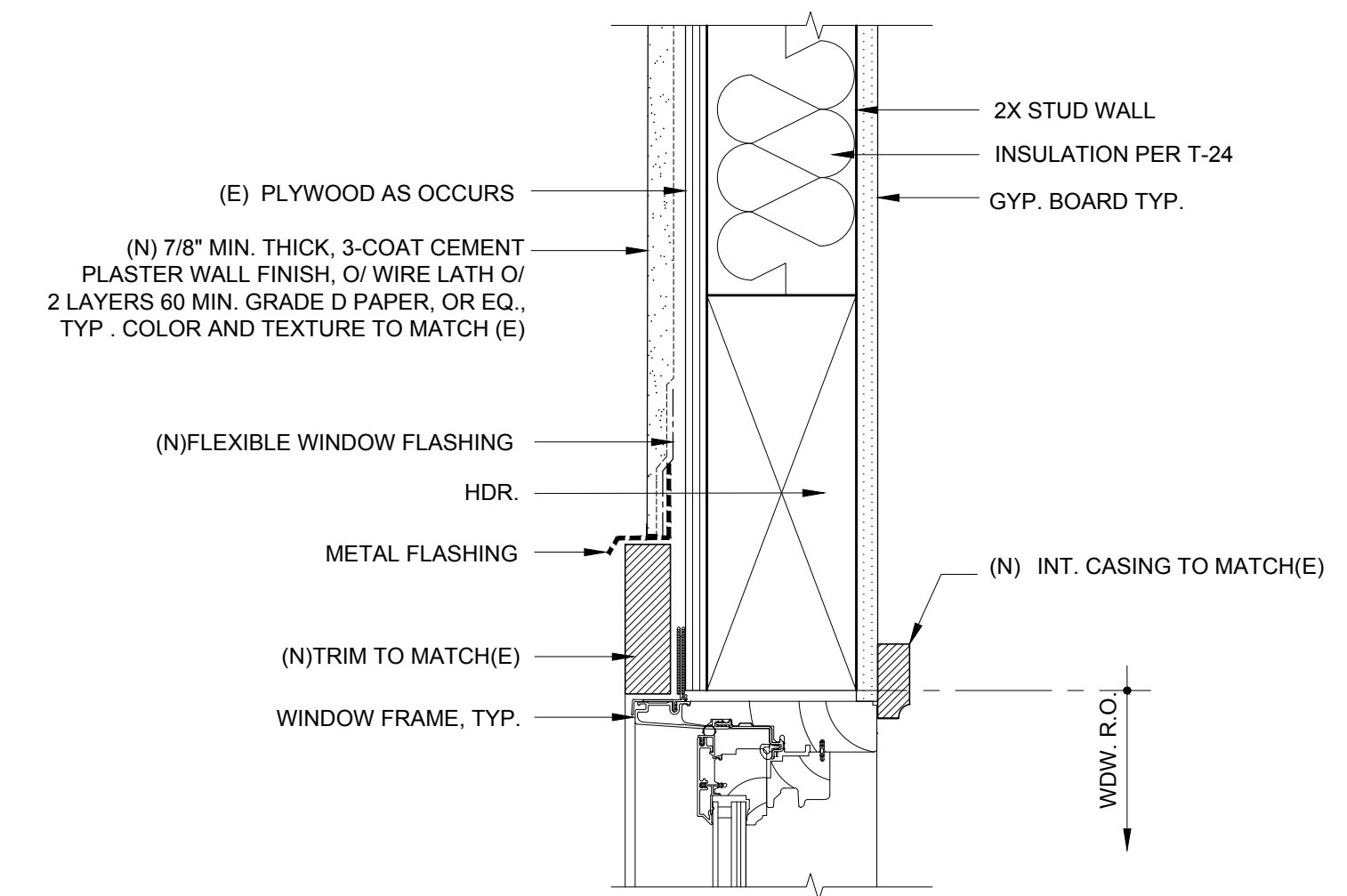
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 SCALE: 1/4"=1'-0"
 DRAWING NAME:

SECTIONS

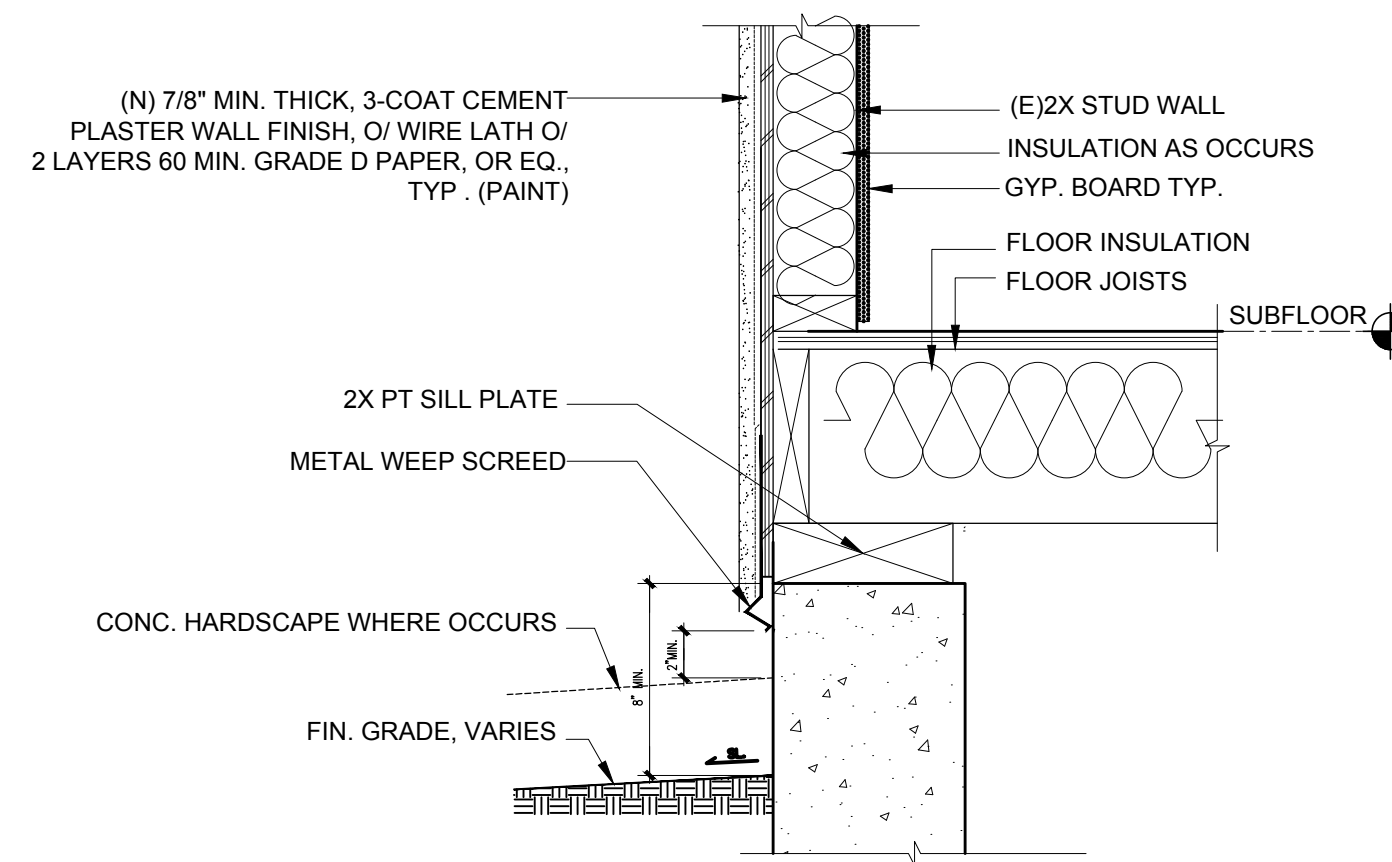
A-302



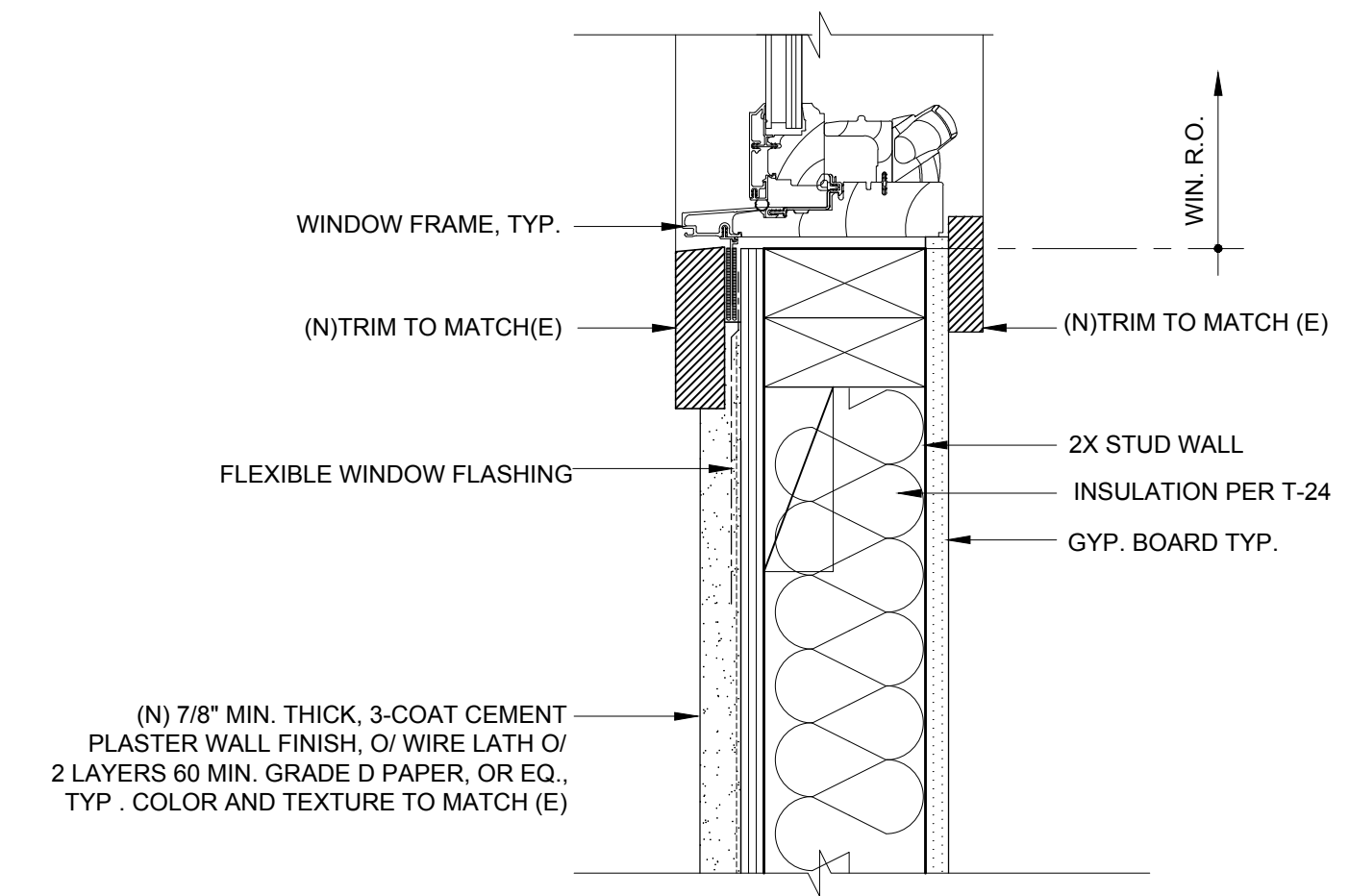
TYP. EAVE DETAIL 4
 SCALE : 1 1/2"-0"



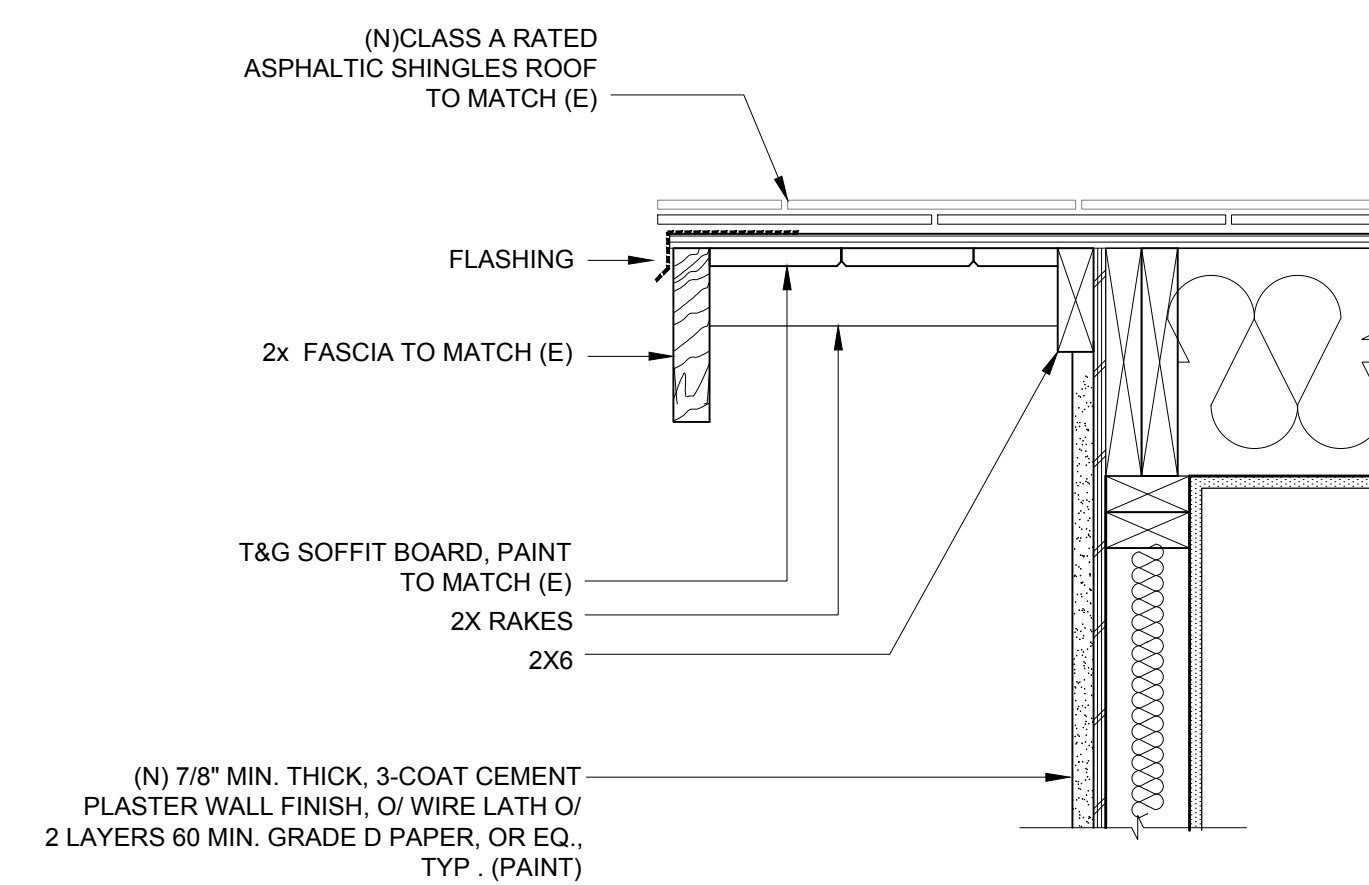
TYP. WINDOW HEAD 1
 SCALE : 3-0"



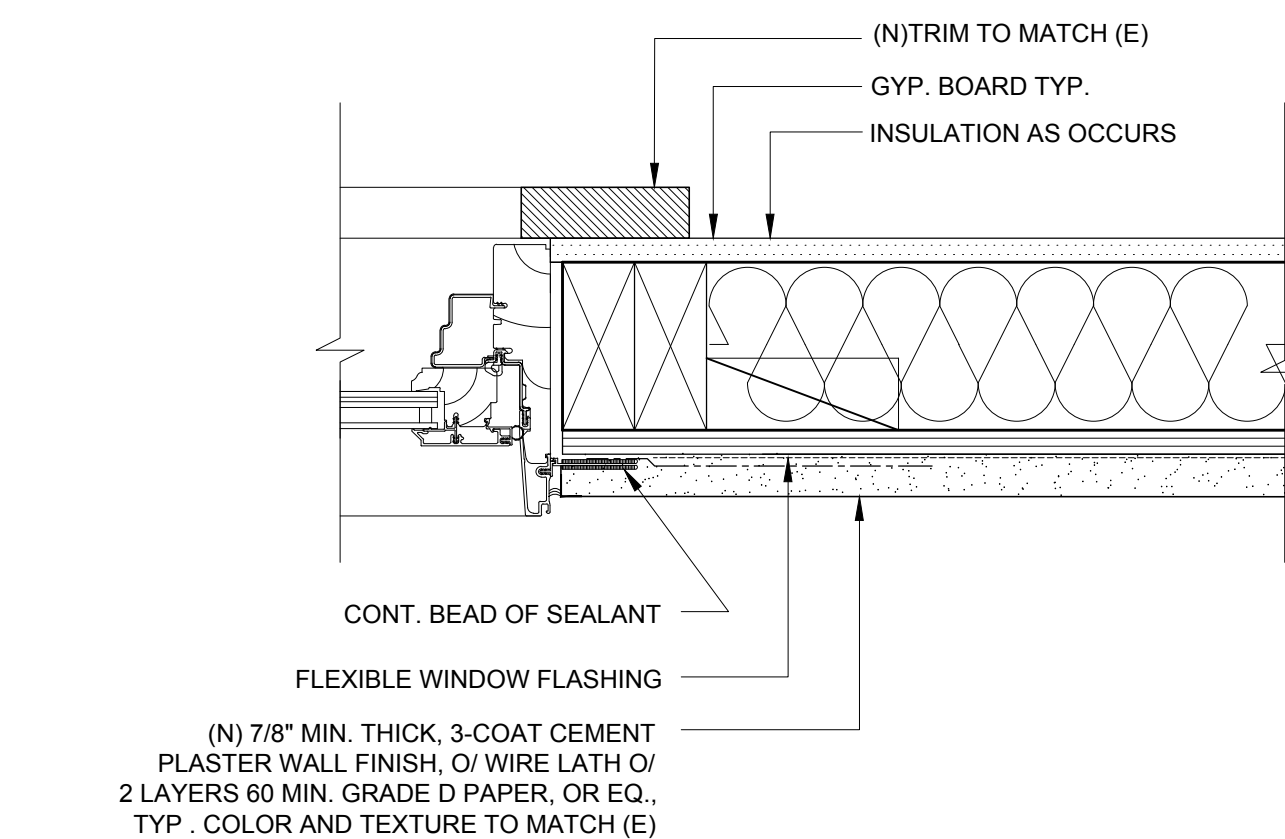
TYP. SCREED DETAIL 5
 SCALE : 1 1/2"-0"



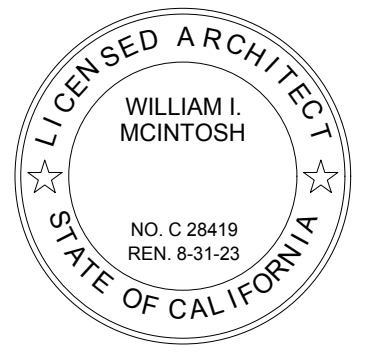
TYP. WINDOW SILL 2
 SCALE : 3-0"



TYP. RAKE DETAIL 6
 SCALE : 1 1/2"-0"



TYP. WINDOW JAMB 3
 SCALE : 3-0"



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| ISSUED / REVISED: | BY: |
|------------------------------------|-------|
| 03/13/2022 DESIGN REVIEW | WM:RS |
| 05/16/2022 DESIGN REVIEW REVISIONS | WM:RS |
| 07/19/2022 DESIGN REVIEW REVISIONS | WM:RS |
| 09/09/2022 DESIGN REVIEW REVISIONS | WM:RS |

DATE: 09/09/2022
 SCALE:
 DRAWING NAME:
 ARCHITECTURAL DETAILS

A801

