

PROJECT TEAM

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PROJECT DATA

A. APN: 342-04-094
 B. ZONING: R1-20
 C. FLOOD ZONE: X
 D. COVERED PARKING SPACES: 2

ZONING COMPLIANCE

	Existing	Proposed	Allowed/Required
LOT COVERAGE: <i>Land area covered by all structures that are over 6 feet in height</i>	3,640 square feet (15.1%)	3,754 square feet (15.6%)	6,015 square feet (25%)
FLOOR AREA: (main house) <i>Measured to the outside surfaces of exterior walls</i>	1st Flr: 3,477 sq ft 2nd Flr: --- sq ft Total: 3,477 sq ft (14.4%)	1st Flr: 3,517 sq ft 2nd Flr: 1,617 sq ft Total: 5,134 sq ft (21.3%)	5,156 square feet (21.4%)
SETBACKS: (main house)			
Front	25 feet	31 feet	30 feet
Rear	64 feet	35 feet	35 feet
Right side (1 st /2 nd)	81 feet / --- feet	50 feet / 63 feet	50 feet / --- feet
Left side (1 st /2 nd)	22 feet / --- feet	36 feet / 41 feet	20 feet / 25 feet
HEIGHT:	16 feet	25'2" feet	27 feet

SQUARE FOOTAGE BREAKDOWN

	Existing	Change in	Total Proposed
HABITABLE LIVING AREA: <i>Includes habitable basement areas</i>	2,222 square feet	2,729 square feet	4,665 square feet
NON-HABITABLE AREA: <i>Does not include covered porches or signs</i>	1,255 square feet	-785 square feet	470 square feet

LOT CALCULATIONS

NET LOT AREA:	24,062 square feet
FRONT YARD HARDSCAPE AREA: <i>Hardscape area in the front yard setback shall not exceed 50%</i>	760 square feet (10%)
LANDSCAPING BREAKDOWN:	
Total hardscape area (existing and proposed):	10,628 sq ft
Existing softscape (undisturbed) area:	10,797 sq ft
New softscape (new or replaced landscaping) area:	2,637 sq ft
<i>Sum of all three should equal the site's net lot area</i>	

E. OCCUPANCY GROUP R3/U
 F. TYPE OF CONSTRUCTION VB

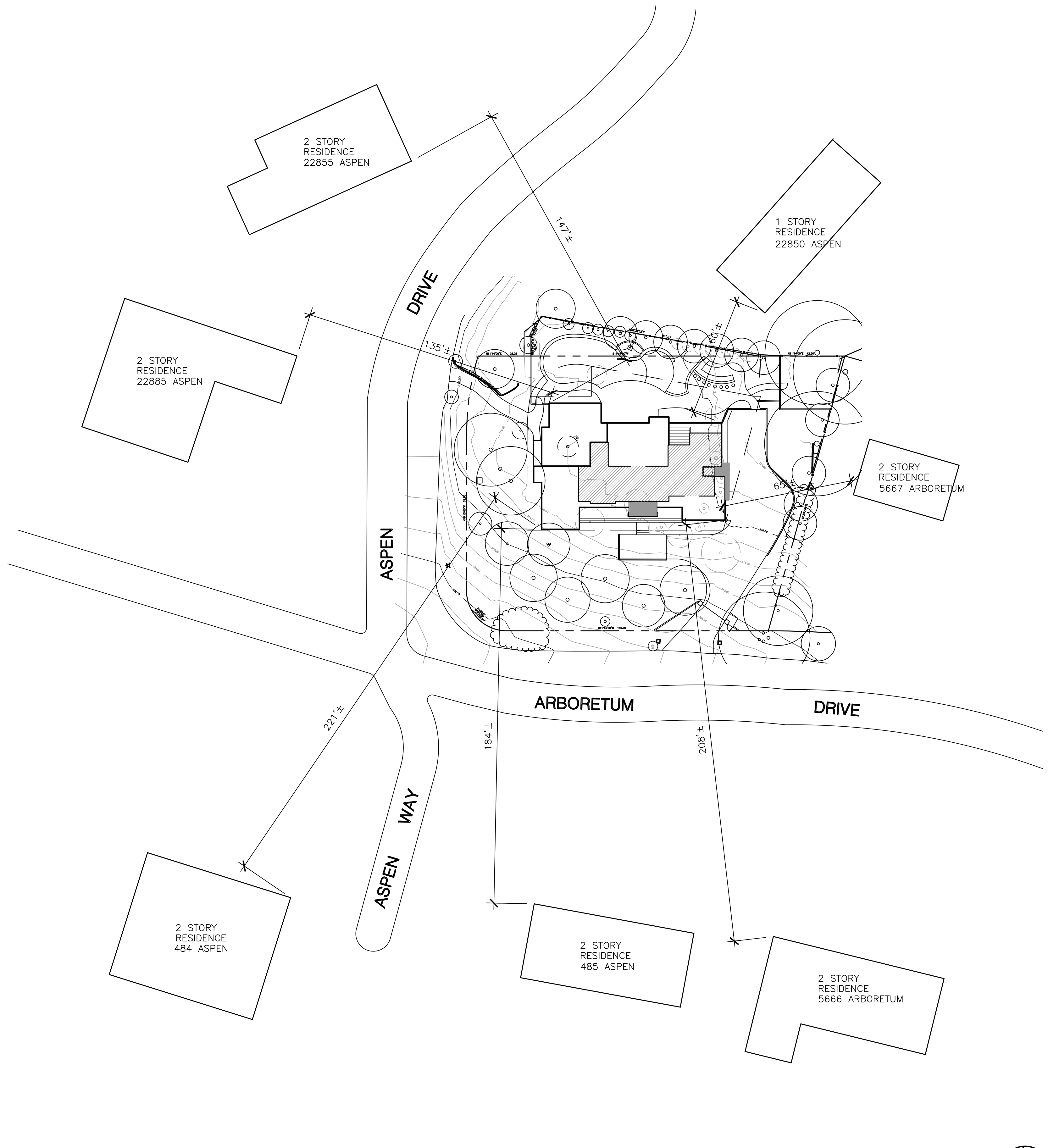
ALL CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING
 2019 CALIFORNIA BUILDING CODE
 2019 CALIFORNIA RESIDENTIAL CODE
 2019 CALIFORNIA ELECTRICAL CODE
 2019 CALIFORNIA MECHANICAL CODE
 2019 CALIFORNIA PLUMBING CODE
 2019 CALIFORNIA ENERGY CODE
 2019 CALIFORNIA GREEN BUILDING CODE

SCOPE OF WORKS

DEMOLISH EXISTING SINGLE STORY RESIDENCE AND DETACHED GARAGE, BACKFILL EXISTING SWIMMING POOL, REDESIGN A NEW 2 STORY RESIDENCE WITH ATTACHED GARAGE AND ATTACHED 2BEDROOM DWELLING UNIT, THE MAIN HOUSE TO HAVE LIVING ROOM, DINING ROOM, GAME ROOM FOR GOLF PRACTICE, KITCHEN OPEN TO HIGH CEILING FAMILY ROOM AND GUEST BEDROOM SUITE ON THE 1st FLOOR, 2 BEDROOM SUITES AND MASTER BEDROOM SUITE ON THE 2nd FLOOR, THE NEW HOUSE WILL BE LOCATED THE SIMILAR FOOTPRINT OF EXISTING HOUSE MOST TREES ALONG BOTH SIDES OF STREETS AND PROPERTY LINE WILL REMAIN.

FIRE DEPARTMENT CONDITIONS

- AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH NATIONAL FIRE PROTECTION ASSOCIATION'S (NFPA) STANDARD 13D IN ALL NEW ONE AND TWO FAMILY DWELLINGS
- REQUIRED FIRE FLOW: THE FIRE FLOW FOR THIS PROJECT IS 2,000 GPM AT 20 PSI RESIDUAL PRESSURE FROM A SINGLE HYDRANT. IF AN AUTOMATIC FIRE SPRINKLER SYSTEM WILL BE INSTALLED, THE FIRE FLOW WILL BE REDUCED BY 50% ESTABLISHING A REQUIRED ADJUSTED FIRE FLOW OF 1,000 GPM AT 20 PSI RESIDUAL PRESSURE.
- WATER SUPPLY REQUIREMENTS: POTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION WATER SUPPLIES. IT IS THE RESPONSIBILITY OF THE APPLICANT AND ANY CONTRACTORS AND SUBCONTRACTORS TO CONTACT THE WATER PURVEYOR SUPPLYING THE SITE OF SUCH PROJECT, AND TO COMPLY WITH THE REQUIREMENTS OF THAT PURVEYOR. SUCH REQUIREMENTS SHALL BE INCORPORATED INTO THE DESIGN OF ANY WATER-BASED FIRE PROTECTION SYSTEMS, AND/OR FIRE SUPPRESSION WATER SUPPLY SYSTEMS OR STORAGE CONTAINERS THAT MAY BE PHYSICALLY CONNECTED IN ANY MANNER TO AN APPLIANCE CAPABLE OF CAUSING CONTAMINATION OF THE POTABLE WATER SUPPLY OF THE PURVEYOR OF RECORD. FINAL APPROVAL OF THE SYSTEM(S) UNDER CONSIDERATION WILL NOT BE GRANTED BY THIS OFFICE UNTIL COMPLIANCE WITH THE REQUIREMENTS OF THE WATER PURVEYOR OF RECORD ARE DOCUMENTED BY THAT PURVEYOR AS HAVING BEEN MET BY THE APPLICANT(S). 2016 CFC SEC. 903.3.5 AND HEALTH AND SAFETY CODE 13114.7
- ADDRESS IDENTIFICATION: NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. WHERE REQUIRED BY THE FIRE CODE OFFICIAL, ADDRESS NUMBERS SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MINIMUM OF 4 INCHES (101.6 MM) HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH (12.7 MM). WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS NUMBERS SHALL BE MAINTAINED. CFC SEC. 505.1
- CONSTRUCTION SITE FIRE SAFETY: ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 33 AND OUR STANDARD DETAIL AND SPECIFICATION SI-7.



AREA PLAN

SCALE: 1" = 30'-0"



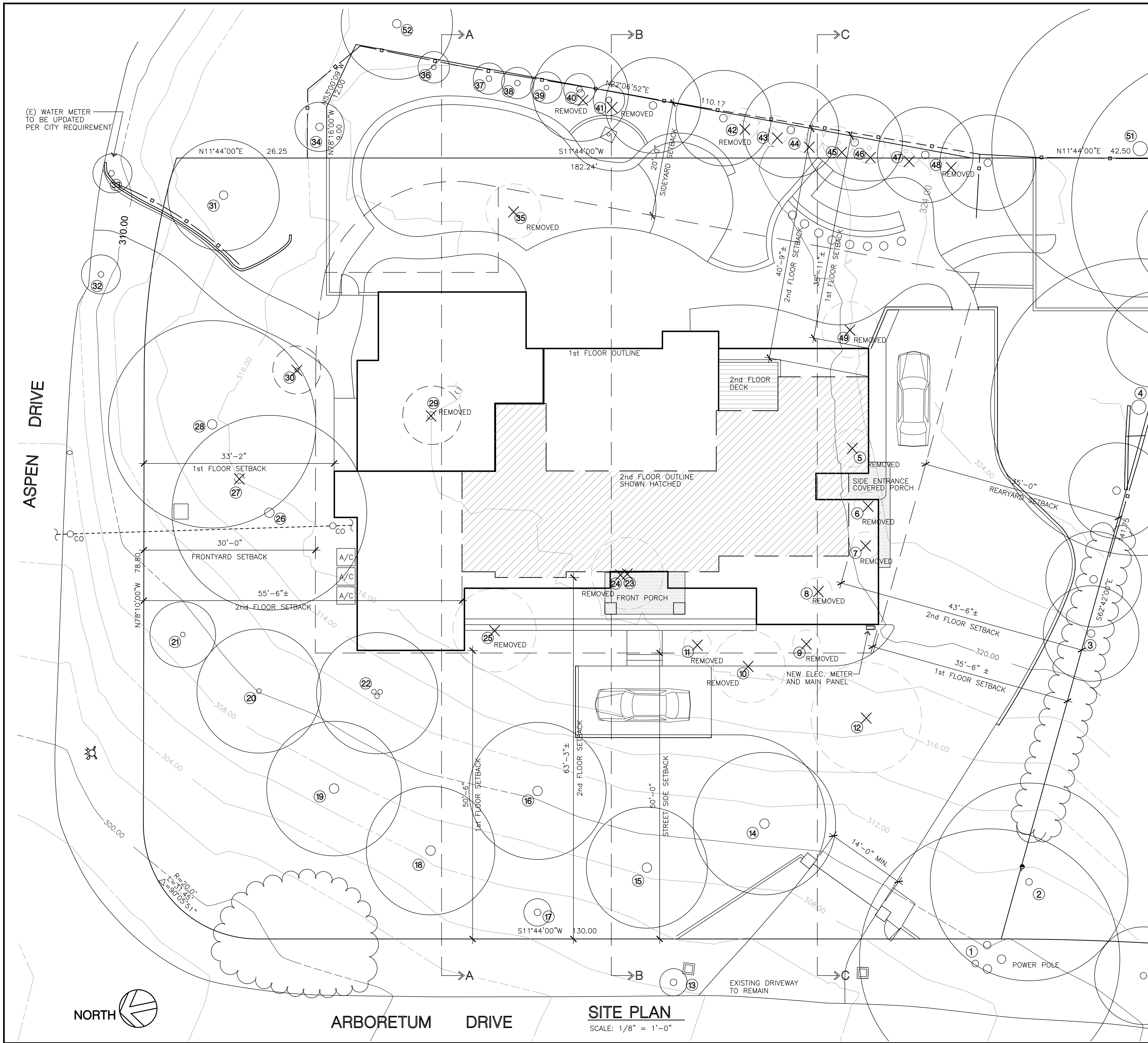
REVISIONS	
△	PLANNING 6-10-2021
△	PLANNING 3-7-2022
△	PLANNING 7-14-2022
△	PLANNING 8-31-2022
△	PLANNING 9-14-2022

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NEW RESIDENCE FOR: Williams Zhang
 5633 ARBORETUM DRIVE,
 LOS ALTOS, CA

AREA PLAN, VICINITY MAP PROJECT DATA

DATE	4/1/2021
SCALE	1/8" = 1'-0"
DRAWN	-
JOB	-
SHEET	SK-0
OF SHEETS	-



Tree #	Tree Name	DBH In Inches	Height / Spread	Health / Structure	Notes	Removed
1	Coast Redwood (Sequoia sempervirens)	17 / 15 / 14 / 12	20 / 30	2 / 4	Topped for Line Clearing; Tree wraps Around Power Pole	no
2	Coast Live Oak (Quercus agrifolia)	13	35 / 30	2 / 1		no
3	Wild Plum (Prunus cerasifera)	5 / 4 / 2 / 2	15 / 20	3 / 1	Canopy Die-Back from Drought Stress	no
4	Coast Live Oak	19	50 / 55	1 / 2		no
5	Italian Cypress (Cupressus sempervirens)	12	60 / 10	2 / 1	Canopy Die-Back from Drought Stress	yes
6	Italian Cypress	12	55 / 10	2 / 1		yes
7	Italian Cypress	12	60 / 10	2 / 1	Canopy Die-Back from Drought Stress	yes
8	Italian Cypress	4	12 / 5	2 / 1		yes
9	Aristocrat Pear (Prunus calleryana 'Aristocrat')	4	15 / 10	2 / 1	Canopy Die-Back from Drought Stress	yes
10	Monterey Cypress (Hesperocyparis macrocarpa)	5	20 / 15	3 / 1	Canopy Die-Back from Drought Stress	yes
11	Victorian Box (Pittosporum undulatum)	6	20 / 15	5 / 3	Significant Canopy Die-Back from Drought Stress	yes
12	Coast Redwood	10	20 / 15	Dead	From Apparent Drought Stress	yes
13	Italian Cypress	8	20 / 6	1 / 1		no
14	Coast Redwood	23	60 / 30	3 / 2	Top 1/3 of Canopy Sparse; Browning	no
15	Coast Redwood	19	60 / 30	3 / 3	Top 1/3 of Canopy Sparse; Browning	no
16	Coast Redwood	16	75 / 35	3 / 1	Top 1/3 of Canopy Sparse; Browning	no
17	Coast Redwood	3 / 3 / 2	10 / 12	2 / 4	Topped at Grade	no
18	Coast Redwood	18	50 / 30	3 / 1	Top 1/3 of Canopy Sparse; Browning	no
19	Coast Redwood	18	60 / 30	3 / 1	Top 1/3 of Canopy Sparse; Browning	no
20	Coast Redwood	8	15 / 15	3 / 1	Sparse Canopy Overall; Browning	no
21	Coast Redwood	6	15 / 15	4 / 2	Significant Canopy Die-Back from Drought Stress	no
22	Victorian Box	8 / 8 / 6 / 5 / 5	30 / 30	3 / 1	Branch Tip Die-Back from Drought Stress	no
23	Italian Cypress	5 / 3	20 / 6	2 / 1	Slight Browning	yes
24	Italian Cypress	5 / 3	20 / 6	2 / 1	Slight Browning	yes
25	Japanese privet (Ligustrum japonicum)	7	20 / 20	2 / 1	Severe Sunscald on Trunk	yes
26	Monterey Cypress (Hesperocyparis macrocarpa)	23	50 / 50	4 / 2	Significant Browning from Drought Stress	no
27	Monterey Cypress (Hesperocyparis macrocarpa)	17	—	Dead	Laying on the Ground	yes
28	Monterey Cypress	18 / 12 / 8	50 / 50	4 / 2	Significant Browning from Drought Stress	no
29	Japanese Maple (Acer palmatum)	6 / 5 / 3	10 / 10	Dead	Apparently from Drought	yes
30	Cypress Species	5 / 3	10 / 10	Dead	Apparently from Drought	yes
31	Coast Redwood (Sequoia sempervirens)	16	45 / 30	3 / 1	Sparse Canopy w/ Browning from Drought Stress	no
32	Italian Cypress (Cupressus sempervirens)	8	15 / 6	1 / 1		no
33	Italian Cypress	8	15 / 6	1 / 1		no
34	Monterey Cypress	10 / 9	40 / 30	2 / 3	CD w/ IB; Some Canopy Browning	no
35	Japanese privet (Ligustrum japonicum)	9	15 / 15	3 / 3	Browning & Die-Back from Drought Stress	yes
36	Monterey Cypress	5	20 / 20	2 / 1	Significant Browning from Drought Stress	no
37	Monterey Cypress	8	20 / 20	2 / 1	Browning from Drought Stress	no
38	Monterey Cypress	6 / 6	20 / 20	2 / 1	Some Browning from Drought Stress	no
39	Monterey Cypress	6 / 6	20 / 20	2 / 1	Some Browning from Drought Stress	no
40	Monterey Cypress	8	20 / 20	2 / 1	Some Browning from Drought Stress	no
41	Monterey Cypress	11	20 / 20	2 / 1	Some Browning from Drought Stress	no
42	Monterey Cypress	11	20 / 20	2 / 1	Some Browning from Drought Stress	no
43	Monterey Cypress	10	20 / 20	2 / 1	Some Browning from Drought Stress	no
44	Monterey Cypress	9	20 / 20	3 / 1	Some Browning from Drought Stress	no
45	Monterey Cypress	10 / 8 / 5	20 / 20	3 / 1	Some Browning from Drought Stress	no
46	Monterey Cypress	6	20 / 20	4 / 3	Topped & Browning from Drought Stress	no
47	Monterey Cypress	8	20 / 20	5 / 4	Significant Browning from Drought Stress	no
48	Monterey Cypress	11	20 / 20	3 / 1	Significant Browning from Drought Stress	no
49	Italian Cypress	6	15 / 6	2 / 1	Some Browning from Drought Stress	yes
50	Coast Live Oak (Quercus agrifolia)	40 (E)	50 / 50	1 / 1		no
51	Coast Live Oak	30 (E)	50 / 60	1 / 1		no
52	Coast Live Oak	20 (E)	50 / 45	1 / 1		no

SITE PLAN
SCALE: 1/8" = 1'-0"

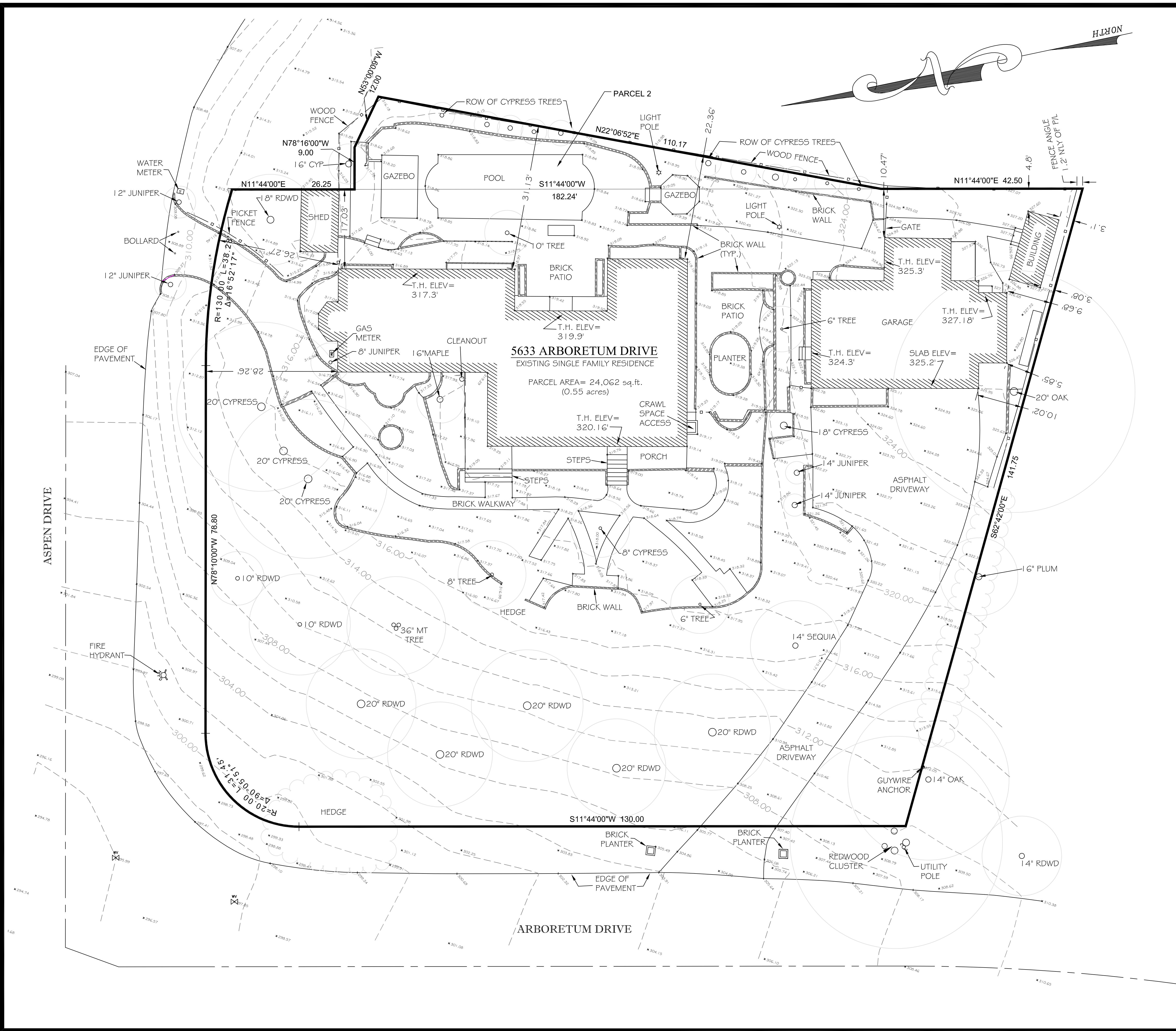
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NEW RESIDENCE FOR: Williams Zhang
5633 ARBORETUM DRIVE, LOS ALTOS, CA

SITE PLAN, PROJECT DATA, TREE LIST

DATE	4/1/2021
SCALE	1/8" = 1'-0"
DRAWN	-
JOB	-
SHEET	SK-1
OF SHEETS	-



LEGEND:

- PROPERTY LINE
- WOOD FENCE
- - - MAJOR CONTOUR
- - - MINOR CONTOUR
- SPOT ELEVATION
- ▨ BUILDING
- ▩ WALL
- ▧ CONCRETE
- ▤ PAVEMENT
- ▥ BRICK
- UTILITY POLE
- ⊕ WATER VALVE
- ⊗ GAS METER
- ⊘ WATER METER
- ⊙ CATCH BASIN
- ⊚ LIGHT
- TREE TRUNK
- DRIPLINE
- BUSHLINE

LEGAL DESCRIPTION

BEING LOT 75 OF TRACT NO. 806, WOODLAND ACRES, UNIT NO. 2 AS RECORDED IN BOOK 31 OF MAPS AT PAGE 63, SANTA CLARA COUNTY RECORDS, AND A PORTION OF LOT 110 OF TRACT NO. 999, WOODLAND ACRES, UNIT NO. 4 AS RECORDED IN BOOK 42 OF MAPS PAGES 4 AND 5, SANTA CLARA COUNTY RECORDS.

SURVEYOR'S NOTES

1. ELEVATIONS ARE ON SANTA CLARA COUNTY DATUM (NAVD 88). SITE BENCHMARK IS LOCATED HEREON.
2. ONLY TREES 6" AND ABOVE WERE LOCATED ON THIS SURVEY, SMALLER TREES AND SHRUBS ARE NOT SHOWN.
3. DISTANCES SHOWN HEREON ARE EXPRESSED IN FEET AND DECIMALS THEREOF.

SURVEYOR'S CERTIFICATE

I, KACIE A. PLOUFF, CERTIFY THAT I AM LICENSED AS A PROFESSIONAL LAND SURVEYOR IN THE STATE OF CALIFORNIA (REF. NO. 9013). I FURTHER CERTIFY THAT THIS PLAN REPRESENTS THE RESULTS OF A TOPOGRAPHIC SURVEY CONDUCTED UNDER MY SUPERVISION AT THE REQUEST OF YAHAV DINAI.



Kacie A. Plouff
KACIE A. PLOUFF, PLS 9013

CHRISTENSEN & PLOUFF
LAND SURVEYING
1500 WOODLAND PARKWAY SUITE 200
SUNNYVALE, CALIFORNIA 94089
408-755-0768 • www.christensenplouff.com

DATE: 6/28/16
DRAWING SCALE: 1" = 10'
PREPARED BY: KACIE PLOUFF
APPROVED BY:
FILE NAME:

5633 ARBORETUM DRIVE, LOS ALTOS
COUNTY OF SANTA CLARA
STATE OF CALIFORNIA
APN: 342-04-094

TOPOGRAPHIC SITE PLAN

PROJECT NO.
NCA-16-035
SHEET NO.
1 OF 1

GRADING AND DRAINAGE NOTES:

- CONTRACTOR TO VERIFY ALL CONTROLLING DIMENSIONS WITH ARCHITECTURAL PLANS AND SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH ALL EXISTING CONDITIONS. THEY SHALL BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING. VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES BEFORE STARTING CONSTRUCTION. ANY SITE WORK THAT DEVIATES FROM WHAT IS SHOWN ON THE PLANS SHALL HAVE THE ENGINEER'S APPROVAL PRIOR TO PROCEEDING WITH THE DEVIATING WORK ITEM. CONTRACTOR SHALL CALL "UNDERGROUND SERVICE ALERT" (800) 642-2444 PRIOR TO EXCAVATION.
- THE SITE SHALL BE FINE GRADED TO PROVIDE A MINIMUM OF 5% ACROSS VEGETATED OR DIRT AREA AND 2% ACROSS HARDSCAPED AREA, AWAY FROM THE BUILDING PERIMETER. EXISTING DRAINAGE COMING FROM ADJACENT PROPERTIES SHALL BE MAINTAINED. IN NO CASE SHALL THE FINAL GRADING INCREASE SHEET FLOW ONTO ADJACENT PROPERTIES.
- UNLESS SHOWN ON THE PLAN OTHERWISE, HOUSE AND GARAGE MUST HAVE DOWN SPOUTS THAT ARE DIRECTED TO SPLASH BLOCKS (2 FEET LONG) THAT DEFLECT THE WATER AWAY FROM BUILDING FOUNDATION BY SURFACE DRAINAGE. ALL DOWNSPOUT AND GUTTER SHALL BE GALV. SHEET METAL.
- CONTRACTOR SHALL OBTAIN A STREET WORK PERMIT FROM PUBLIC WORKS ENGINEERING FOR ANY PROPOSED CONSTRUCTION WHICH WILL IMPACT THE USE OF THE SIDEWALK, STREET AND ALLEY OR ON THE PROPERTY IN WHICH THE CITY HOLDS AN INTEREST.
- ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY MUST HAVE AN APPROVED PERMIT FOR CONSTRUCTION IN THE PUBLIC STREET PRIOR TO COMMENCEMENT OF THIS WORK. THE PERFORMANCE OF THIS WORK IS NOT AUTHORIZED BY THE BUILDING PERMIT ISSUANCE BUT SHOWN ON THE BUILDING PERMIT FOR INFORMATION ONLY.
- IF GROUNDWATER OR RUNOFF WATER IS ENCOUNTERED AND REQUIRES REMOVAL FROM THE EXCAVATION AREA, ALL EXCAVATION AND/OR BUILDING ACTIVITIES MUST IMMEDIATELY STOP. THE PLAN FOR THE DEWATERING OF THE EXCAVATION MUST BE DESIGNED AND SUBMITTED FOR APPROVAL TO THE PUBLIC WORKS-ENGINEERING DIVISION. ONCE APPROVAL OF THE PLAN DESIGN HAS BEEN RECEIVED, IMPLEMENTATION OF THE PLAN IS REQUIRED PRIOR TO THE COMMENCEMENT OF THE EXCAVATION AND/OR BUILDING ACTIVITIES.

UTILITY NOTES:

- CONTRACTOR SHALL PREPARE AN ACCURATE COMPOSITE UTILITY PLAN THAT TAKES INTO ACCOUNT THE ACTUAL LOCATION OF EXISTING UTILITIES. CONTRACTOR SHALL VERIFY (POTHOLE IF NECESSARY) SIZE, MATERIAL, LOCATION AND DEPTH OF ALL GRAVITY SYSTEMS THAT ARE TO BE CONNECTED TO OR CROSSED PRIOR TO THE TRENCHING OR INSTALLATION. ALL WORK FOR GRAVITY SYSTEMS SHALL BEGIN AT THE 1. DOWNSTREAM CONNECTION POINT. ALL DIRECTION CHANGES SHALL BE MADE WITH A WYE CONNECTION. ELBOWS AND TEE SHOULD BE AVOIDED.
- CLEANOUTS, CATCH BASINS AND AREA DRAINS ARE TO BE ACCURATELY LOCATED BY THEIR RELATIONSHIP TO THE BUILDING, FLATWORK, ROOF DRAINS, AND/OR CURB LAYOUT, NOT BY THE LENGTH OF PIPE SPECIFIED IN THE DRAWINGS.
- A MINIMUM OF SIX (6) INCHES VERTICAL CLEARANCE SHALL BE PROVIDED BETWEEN CROSSING UTILITY PIPES, EXCEPT THAT THE MINIMUM VERTICAL CLEARANCE BETWEEN WATER AND SANITARY SEWER PIPELINES SHALL BE 12 INCHES AND ALL NEW WATER PIPES SHALL BE TYPICALLY INSTALLED TO CROSS ABOVE/OVER EXISTING SANITARY SEWER PIPELINES.
- A MINIMUM HORIZONTAL SEPARATION BETWEEN NEW PIPELINES AND ANY EXISTING UTILITIES SHALL BE FIVE (5) FEET, EXCEPT THAT THE MINIMUM HORIZONTAL SEPARATION FOR WATER AND SANITARY SEWER PIPELINES SHALL BE 10 FEET MINIMUM, UNLESS OTHERWISE NOTED. A MINIMUM HORIZONTAL SEPARATION BETWEEN NEW PIPELINES AND JOINT TRENCH SHALL BE 5 FEET.

GENERAL NOTES

5

EARTHWORK QUANTITIES:

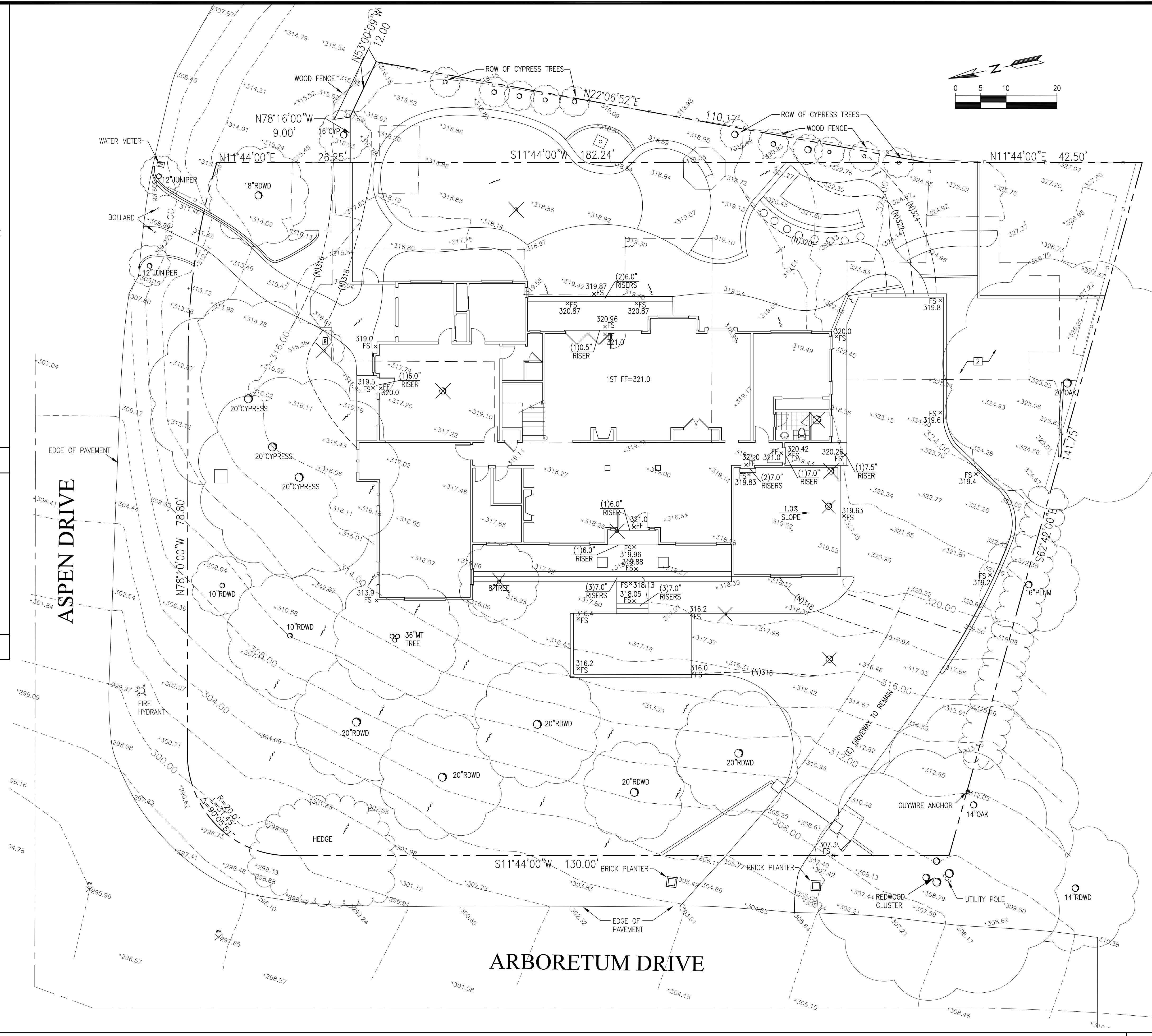
CUT(OUTSIDE BLDG FOOTPRINT)	250 C.Y.
FILL(OUTSIDE BLDG FOOTPRINT)	45 C.Y.
CUT(INSIDE BLDG FOOTPRINT)	95 C.Y.
FILL(INSIDE BLDG FOOTPRINT)	40 C.Y.
BALANCE	260 C.Y.

EARTHWORK QUANTITIES SHOWN ARE FOR PLANNING PURPOSES ONLY. CONTRACTOR SHALL PERFORM THEIR OWN EARTHWORK QUANTITY CALCULATION AND USE THEIR CALCULATION FOR BIDDING AND COST ESTIMATING PURPOSES.

CUT AND FILL EST.

4

EXISTING CONTOUR LINE (MINOR)	---
EXISTING CONTOUR LINE (MAJOR)	---
NEW CONTOUR LINE	---
PROPERTY LINE	---
PERF 4" PVC SD LINE	---
SOLID 4" PVC SD LINE	---
GRADE BREAK	---



NEW RESIDENCE

5633 ARBORETUM DRIVE
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APN: 342-04-094



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LICENSE STAMPS AND SIGNATURE



ISSUED

No.	Description	Date

DATE: MAR 11, 2022
SCALE: AS SHOWN
DRAWN: J
JOB: 10078

SHEET TITLE:

GRADING & DRAINAGE PLAN

SHEET NO.

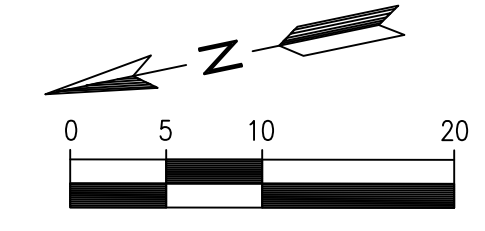
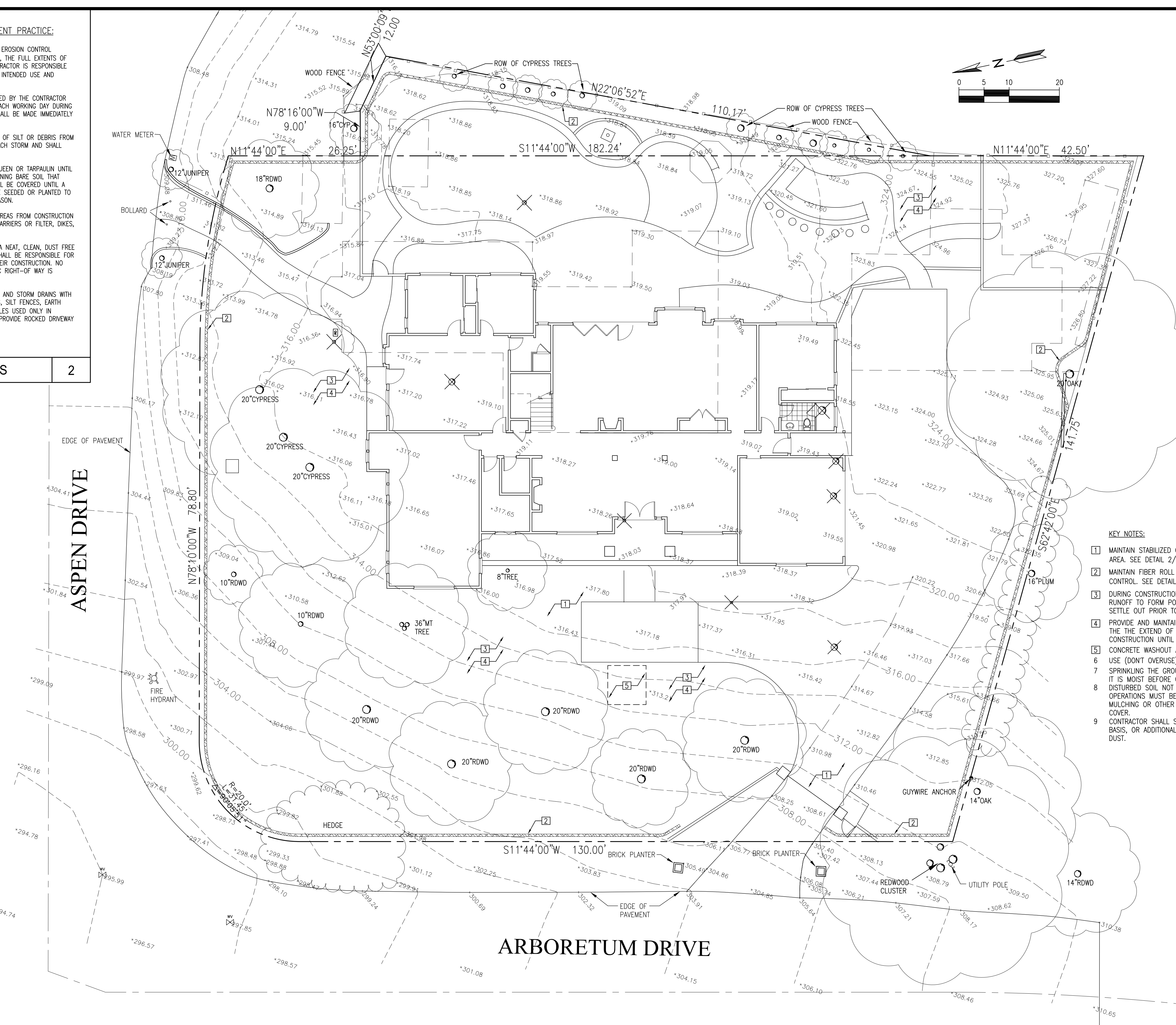
C.1

EROSION CONTROL AND BEST MANAGEMENT PRACTICE:

1. CONTRACTOR SHALL ASSUME THE CONCEPTS ON THE EROSION CONTROL PLAN/NOTES, IF PROVIDED, ARE MINIMUM REQUIREMENTS, THE FULL EXTENTS OF WHICH ARE TO BE DETERMINED BY CONTRACTOR. CONTRACTOR IS RESPONSIBLE FOR THE EXACT DESIGN AND EXTENT OF CONTRACTOR'S INTENDED USE AND MANAGEMENT OF THE CONSTRUCTION SITE.
2. ALL EROSION CONTROL FACILITIES SHALL BE INSPECTED BY THE CONTRACTOR AND REPAIRED AS REQUIRED AT THE CONCLUSION OF EACH WORKING DAY DURING THE RAINY SEASON. REPAIRS TO DAMAGED FACILITIES SHALL BE MADE IMMEDIATELY UPON DISCOVERY.
3. THE CONTRACTOR SHALL REMOVE ANY ACCUMULATION OF SILT OR DEBRIS FROM THE EROSION CONTROL SEDIMENT BASINS FOLLOWING EACH STORM AND SHALL CLEAR THE OUTLET PIPES OF ANY BLOCKAGE.
4. STOCKPILED MATERIAL SHALL BE COVERED WITH VISQUEEN OR TARPULIN UNTIL THE MATERIAL IS REMOVED FROM THE SITE. ANY REMAINING BARE SOIL THAT EXISTS AFTER THE STOCKPILE HAS BEEN REMOVED SHALL BE COVERED UNTIL A NATURAL GROUND COVER IS ESTABLISHED OR IT MAY BE SEEDED OR PLANTED TO PROVIDE GROUND COVER PRIOR TO THE FALL RAINY SEASON.
5. PROTECT ADJACENT PROPERTIES AND UNDISTURBED AREAS FROM CONSTRUCTION IMPACTS USING VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS OR FILTER, DIKES, MULCHING OR OTHER MEASURES AS APPROPRIATE.
6. CONTRACTOR SHALL MAINTAIN ADJACENT STREETS IN A NEAT, CLEAN, DUST FREE AND SANITARY CONDITION AT ALL TIMES. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CLEAN UP ON ADJACENT STREETS AFFECTED BY THEIR CONSTRUCTION. NO STOCKPILING OF BUILDING MATERIALS WITHIN THE PUBLIC RIGHT-OF WAY IS PERMITTED.
7. PROTECT DOWN SLOPE DRAINAGE COURSES, STREAMS AND STORM DRAINS WITH ROCK FILLED SAND BAGS, TEMPORARY DRAINAGE SWALES, SILT FENCES, EARTH BERMS, STORM DRAIN INLET FILTERS AND/OR STRAW BALES USED ONLY IN CONJUNCTION WITH PROPERLY INSTALLED SILT FENCES. PROVIDE ROCKED DRIVEWAY FOR SITE ACCESS DURING CONSTRUCTION.

GENERAL NOTES

2



- KEY NOTES:**
- 1 MAINTAIN STABILIZED CONSTRUCTION AREA. SEE DETAIL 2/C.3
 - 2 MAINTAIN FIBER ROLL FOR EROSION CONTROL. SEE DETAIL 1/C.3
 - 3 DURING CONSTRUCTION ALLOW SEDIMENT-LADEN RUNOFF TO FORM PONDING AND ALLOW SEDIMENTS TO SETTLE OUT PRIOR TO DISCHARGE
 - 4 PROVIDE AND MAINTAIN VEGETATION COVERAGE AROUND THE THE EXTEND OF THE DISTURBED AREA DURING CONSTRUCTION UNTIL PHASED GRADING ACTIVITIES
 - 5 CONCRETE WASHOUT AREA, SEE DETAIL 3/C.3
 - 6 USE (DONT OVERUSE) WATER FOR DUST CONTROL.
 - 7 SPRINKLING THE GROUND SURFACE WITH WATER UNTIL IT IS MOIST BEFORE GRADING ACTIVITIES.
 - 8 DISTURBED SOIL NOT INCLUDED IN IMMEDIATE OPERATIONS MUST BE PROTECTED BY VEGETATION, MULCHING OR OTHER EFFECTIVE MEANS OF GROUND COVER.
 - 9 CONTRACTOR SHALL SWEEP THE STREET ON A WEEKLY BASIS, OR ADDITIONALLY AS NEEDED TO CONTROL DUST.

NEW RESIDENCE

5633 ARBORETUM DRIVE
LOS ALTOS, CA
APN: 342-04-094



2625 MIDDLEFIELD RD #658
PALO ALTO, CA 94306
TEL: (650) 823-6466
FAX: (650) 887-1294

LICENSE STAMPS AND SIGNATURE



ISSUED

No.	Description	Date

DATE: MAR 11, 2022
SCALE: AS SHOWN
DRAWN: J
JOB: 10078

SHEET TITLE:
EROSION CONTROL PLAN

SHEET NO.
C.2

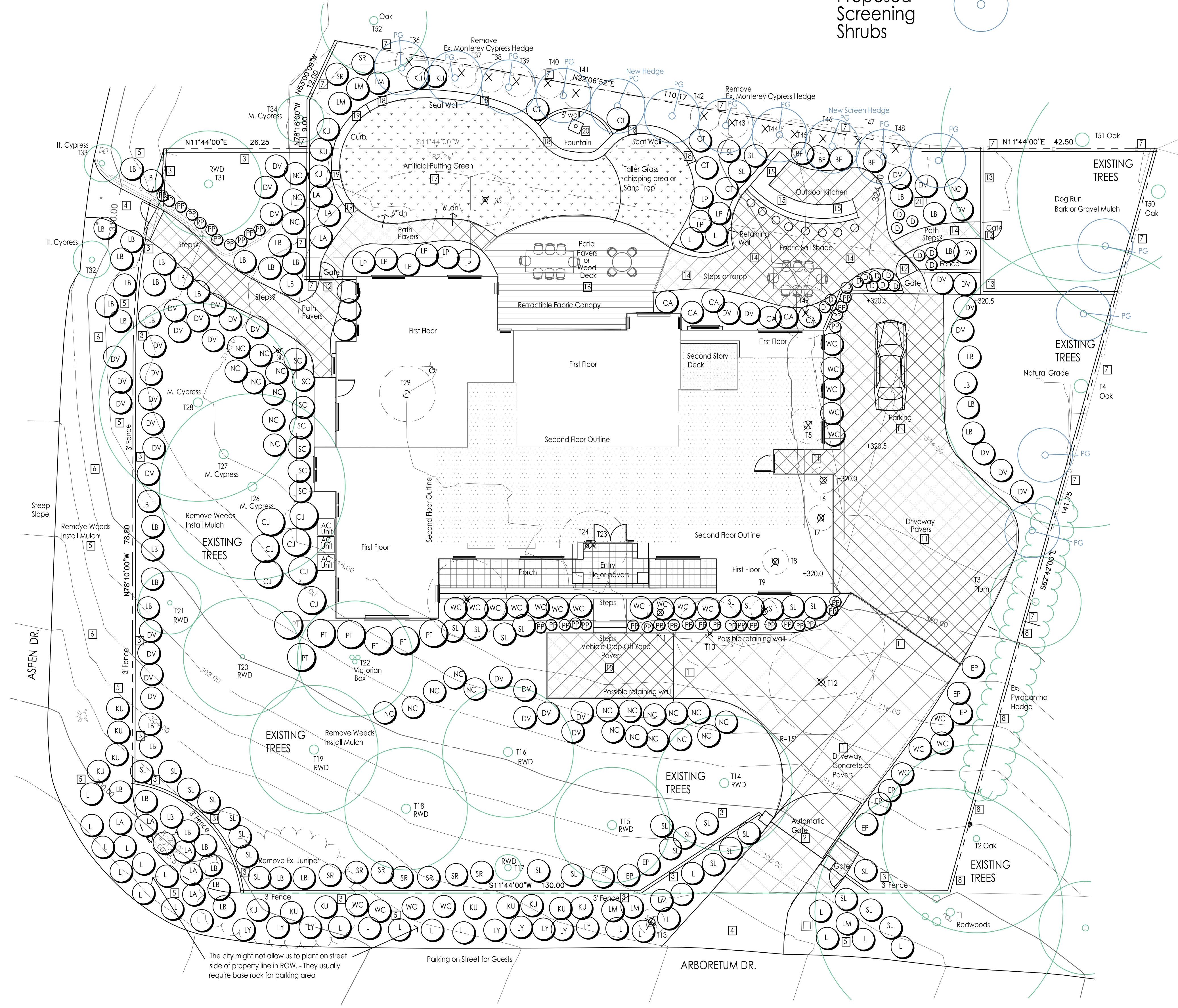
Plant Legend

PHOTO # on Sheet L2	KEY	QTY	SIZE	SPACING	WUCOLS	BOTANICAL NAME	COMMON NAME	MATURE HEIGHT	MATURE WIDTH	GROWTH RATE
TALL SCREENING SHRUBS										
2	PG	-	24" box	10'	MED	Podocarpus gracilior	Fern Pine	65'	10'-20'	1' - 3'/yr
4	CJ	-	15	5'-6'	MED	Camellia japonica	Camellia	5'-8'	6'-12'	4" - 6"/yr
1	PT	-	15	5'-6'	MED	Pittosporum tobira or P. tenuifolium		10'-15'	5'-8'	6" - 24"/yr
GROUND COVERS										
5	CA	-	5	4'-6'	LOW	Crassula ovata	Jade Plant			
-	SR	-	1	4'-6'	LOW	Salvia Furman's Red				
18	LB	-	1	4'-6'	LOW	Lomandra Breeze				
19	LP	-	1	4'-6'	LOW	Lomandra Platinum				
9	LY	-	1	4'-8'	LOW	Lantana SpreadingYellow	Low Yellow Lantana			
13	SL	-	1	4'-8'	LOW	Salvia leucantha	Mexican Sage			
12	DV	-	1	3'-6'	LOW	Dietes irridioides	Fortnight Lily			
8	LM	-	1	3'-5'	LOW	Lantana montevidensis	Purple Lantana			
16	KU	-	1	3'-5'	LOW	Kniphofia uvaria	Red Hot Poker			
15	BF	-	1	3'-5'	LOW	Bulbine frutescens yellow or orange				
11	NC	-	5	3'-5'	LOW	Nandina Gulf Stream				
14	SC	-	5	3'-5'	LOW	Sarcococca ruscifolia				
21	PP	-	1	3'-5'	LOW	Pelargonium peltatum purple and white mixed				
17	L	-	1	3'-5'	LOW	Limonium perreii	Sea Statice			
7	EP	-	5	3'-5'	LOW	Euryops pectinatus	Euryops Daisy			
6	LA	-	1	3'-5'	LOW	Lavandula Provense	Lavender			
20	CT	-	1	3'-5'	LOW	Chondropetalum tectorum	Small Cape Reed			
23	WC	-	5	3'-5'	LOW	Westringia Morning Light or compacta				
22	D	-	1	3'-5'	LOW	Aeonium canariense	Mint Saucer			

Landscape Site Legend

- 1 Driveway - Pavers or Decorative Conc.
- 2 Automatic gate and masonry columns
- 3 3' tall traditional style wood fence
- 4 Paving in right of way to be as per city specifications
- 5 Planting in right of way to be approved by city
- 6 Steep slope will be difficult to plant and require erosion control fabric
- 7 New solid 6 foot high fence + 1 foot of lattice
- 8 New solid 3 foot high fence
- 9 Possible gate and steps/landings
- 10 Pavers - passenger drop off area
- 11 Pavers - driveway
- 12 Gate
- 13 6 foot tall fence for dog run area
- 14 Pavers - outdoor dining - possibly with shade sail
- 15 Outdoor kitchen with grill, burners, sink, fridge, storage, bar height counter for eating
- 16 Wood deck or pavers
- 17 Artificial grass putting green with possible taller grass for chipping or sand trap area
- 18 Raised seat height wall - masonry
- 19 Raised masonry curb
- 20 Modern style fountain with masonry or conc. wall backdrop and water and pump under grill in reservoir.
- 21 Possible additional patio seating area if you want it

Ask owners if they want to upsize some of 1 gal plants to 5 gal plants
 Plant quantities are for planning purposes only. Contractor to do own plant count and install all plants on plan
 See sheet SK-1 for existing tree descriptions, sizes, and species.



Revision

#2176

GREGORY LEWIS LANDSCAPE ARCHITECT
 736 Park Way Santa Cruz, CA 95065 (831) 359-0960
 lewislandscape@sbcglobal.net

LEWIS LANDSCAPE ARCHITECT
 No. 2176
 4/29/2022
 STATE OF CALIFORNIA

Zhang Residence
 5633 Arboretum Dr., Los Altos, CA

1" = 10'-0"
 0' 5' 10'

LANDSCAPE SITE PLAN

Date: 8/3/22
 Scale: As Noted
 Drawn: Greg
 Job Sheet: L1



1 Pittosporum tenuifolium



2 Podocarpus gracilior
Fern Pine



4 Camellia japonica



5 Crassula ovata
Jade Plant



6 Lavandula
Lavender



7 Euryops pectinatis
Euryops Daisy



8 Lantana montevidensis
Low Purple Lantana



9 Lantana Spreading Sunset
Med. Orange Lantana



10 Lantana montevidensis white
Low White Lantana



11 Nandina
Heavenly Bamboo



12 Dietes irridioides
Fortnight Lily



13 Salvia leucantha
Mexican Sage



14 Sarcococca ruscifolia
Sweet Box



15 Bulbine frutescens



16 Kniphofia uvaria
Red Hot Poker



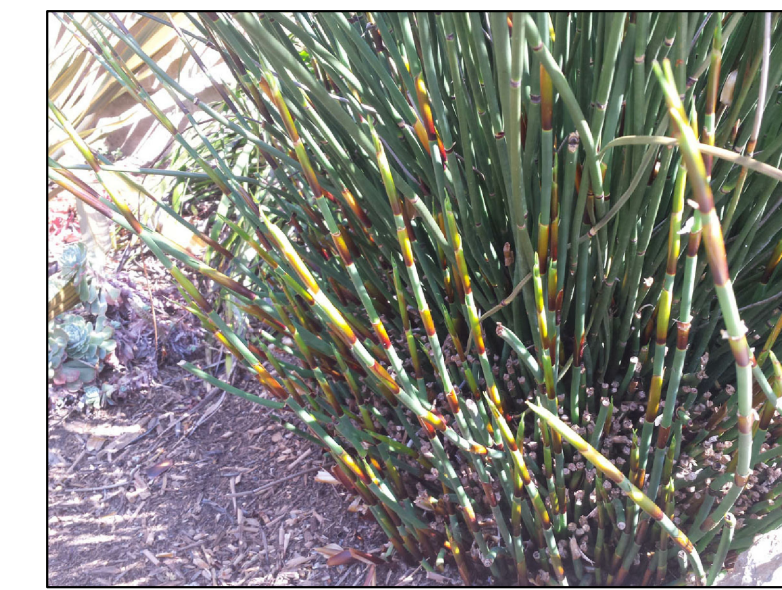
17 Limonium perezii
Sea Statice



18 Lomandra Breeze



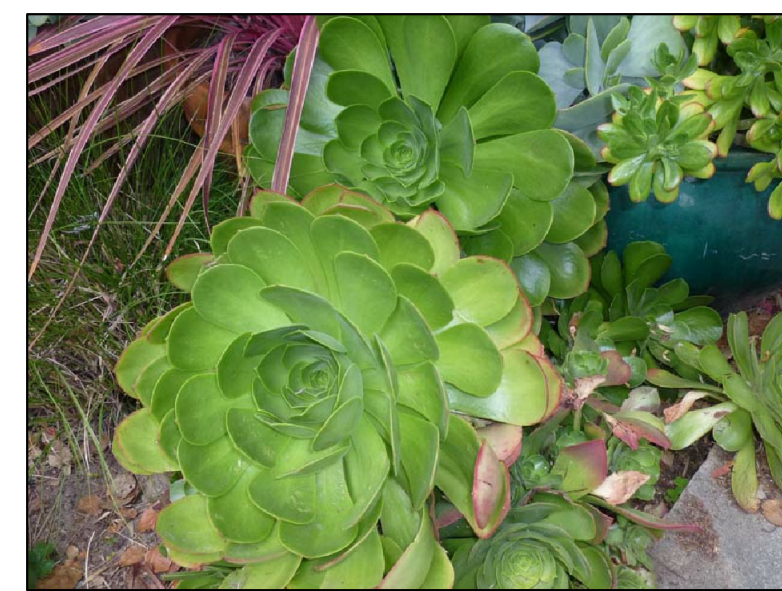
19 Lomandra Platinum



20 Chondropetalum tectorum
Small Cape Rush



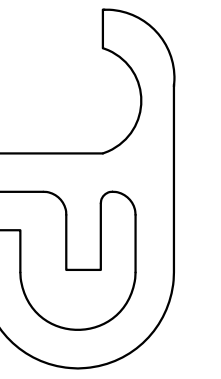
21 Pelargonium peltatum
Ivy Geranium



22 Aeonium canariense
Mint Saucer



23 Westringia Morning Light
Compact Westringia



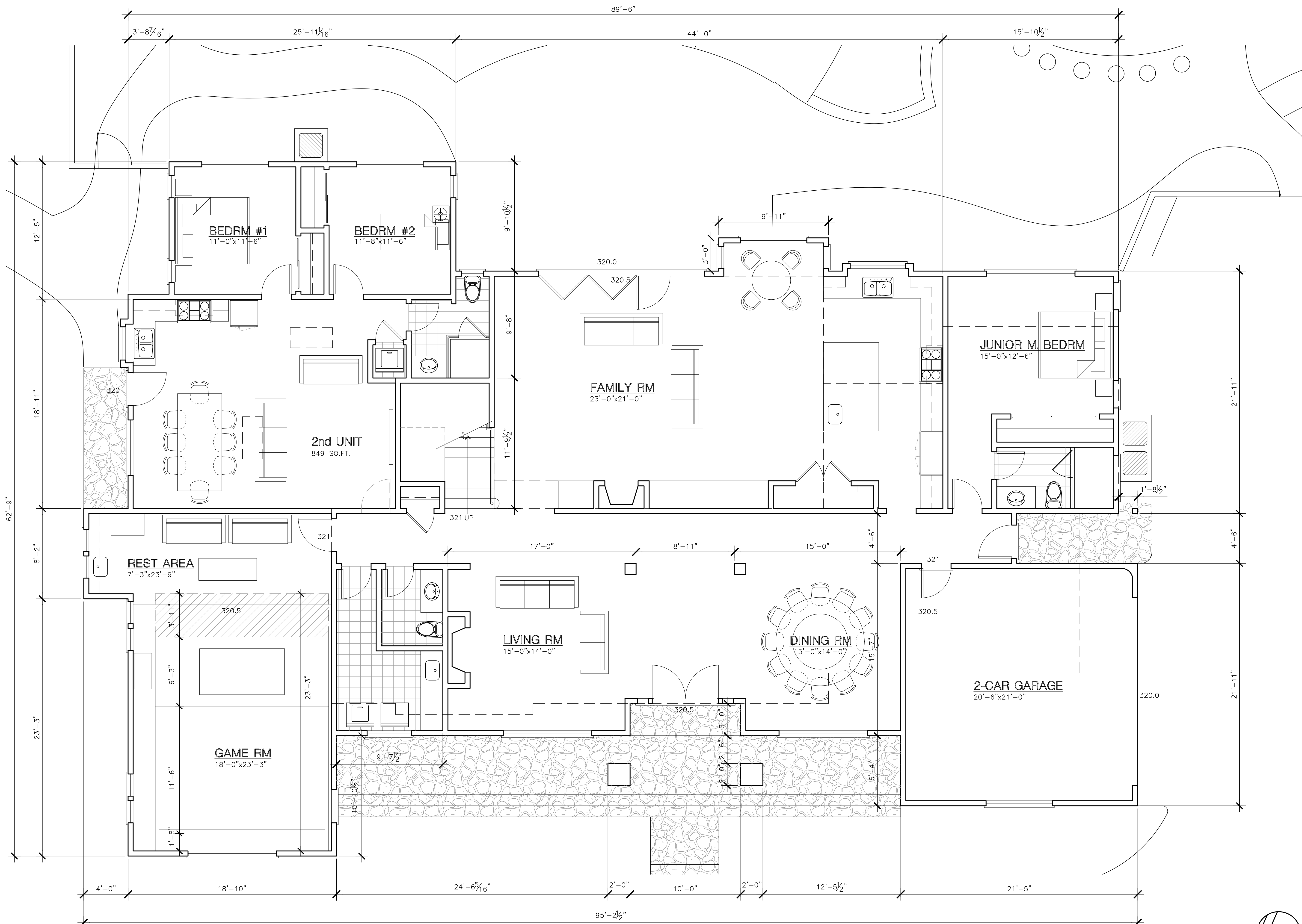
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△	PLANNING 3-7-2022
△	PLANNING 7-14-2022
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 LOS ALTOS, CA

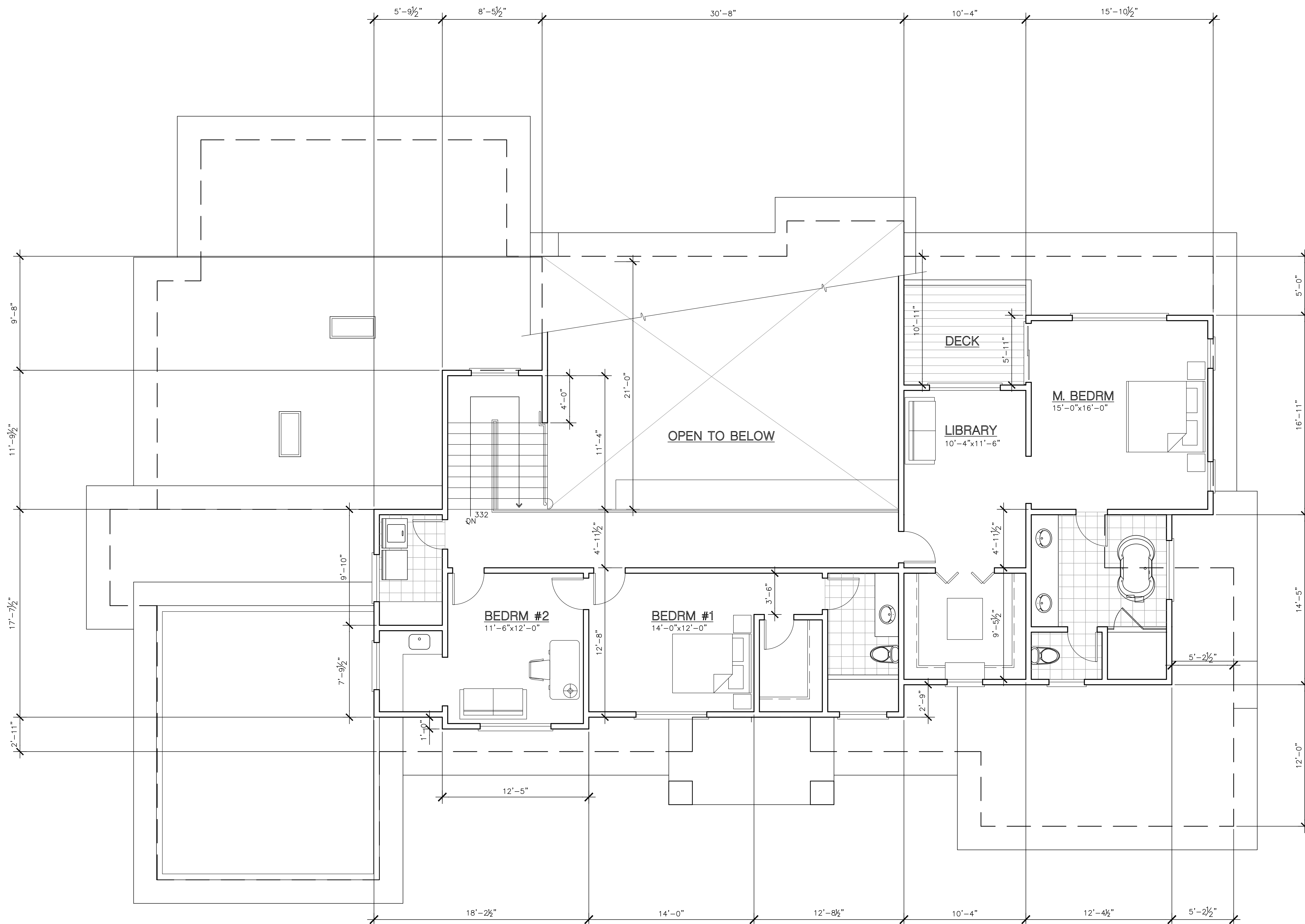
PROPOSED 1st FLOOR PLAN

DATE	4/1/2021
SCALE	1/4" = 1'-0"
DRAWN	-
JOB	-
SHEET	SK-21
OF SHEETS	



1st FLOOR PLAN
 SCALE: 1/4" = 1'-0"





2nd FLOOR PLAN
SCALE: 1/4" = 1'-0"



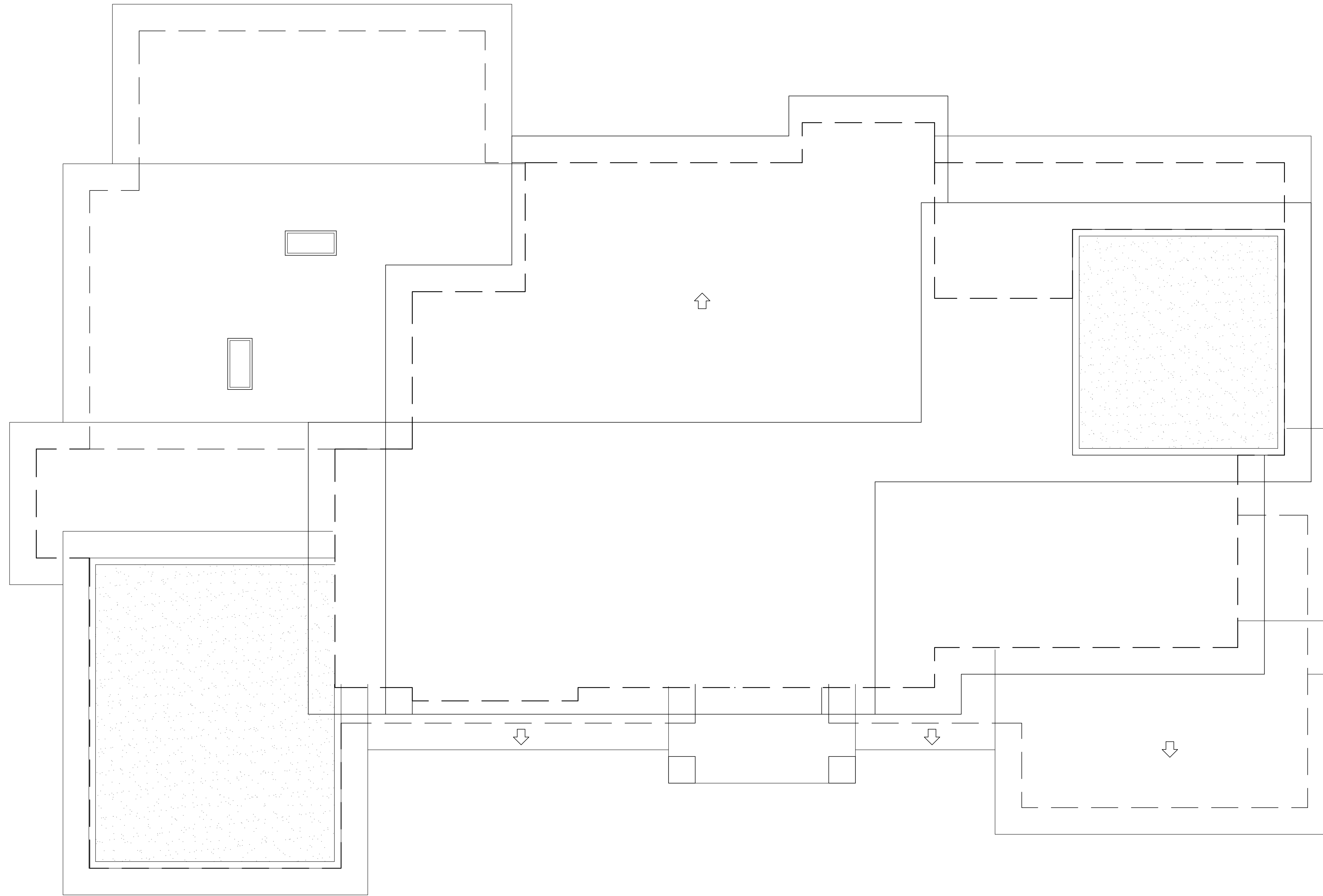
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△	PLANNING 3-7-2022
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△	

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NEW RESIDENCE FOR: Williams Zhang
5633 ARBORETUM DRIVE, LOS ALTOS, CA

PROPOSED 2nd FLOOR PLAN

DATE	4/1/2021
SCALE	1/4"=1'-0"
DRAWN	-
JOB	-
SHEET	-
OF	SK-2.2 SHEETS



ROOF PLAN
SCALE: 1/4" = 1'-0"



REVISIONS	
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△	PLANNING 3-7-2022
△	
△	
△	

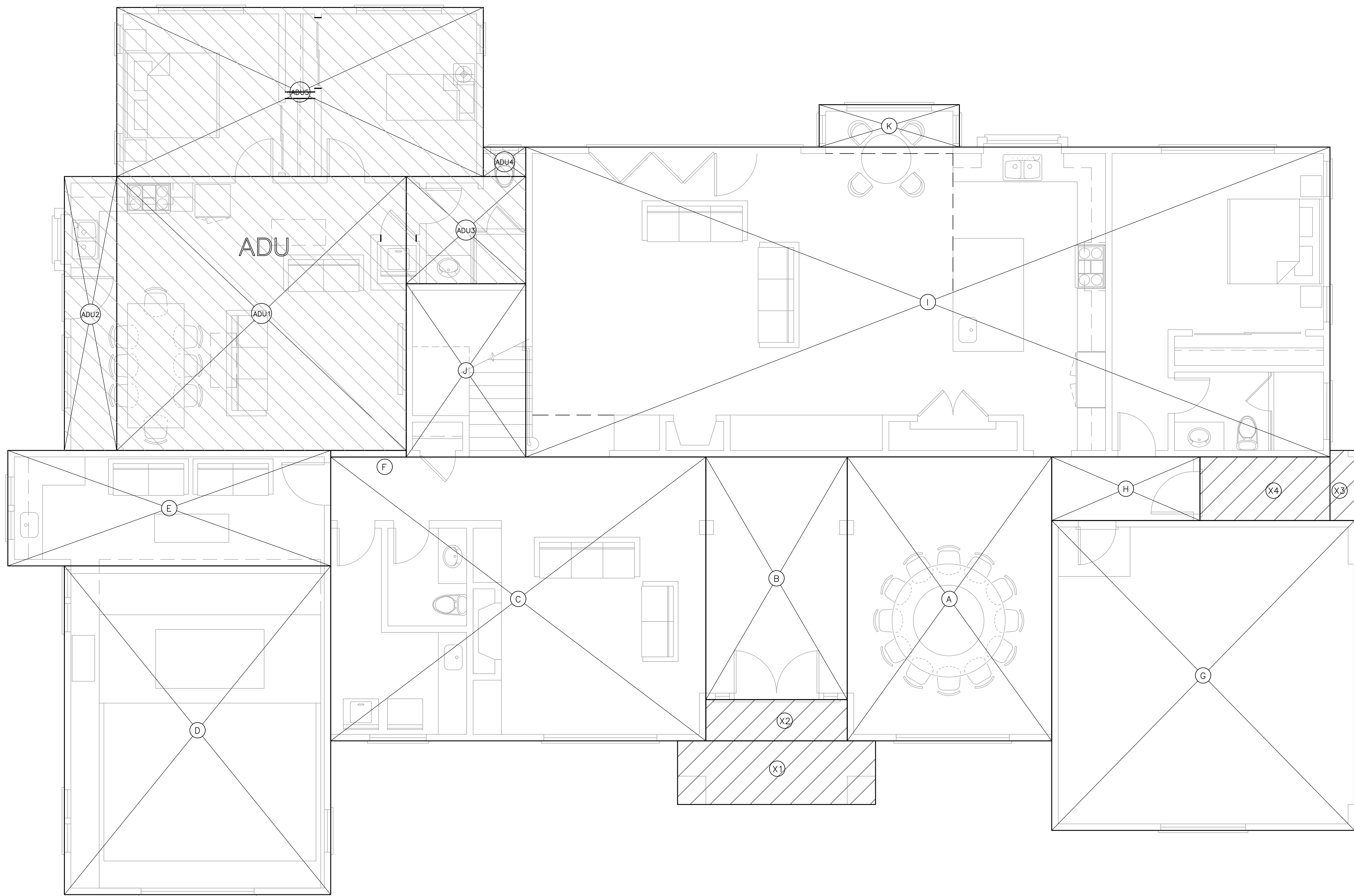
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**NEW RESIDENCE
FOR: Williams Zhang**
5633 ARBORETUM DRIVE,
LOS ALTOS, CA

PROPOSED ROOF PLAN

DATE	4/1/2021
SCALE	1/4"=1'-0"
DRAWN	-
JOB	-
SHEET	SK-2.3
OF SHEETS	

REVISIONS	
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△	PLANNING 3-7-2022
△	
△	
△	



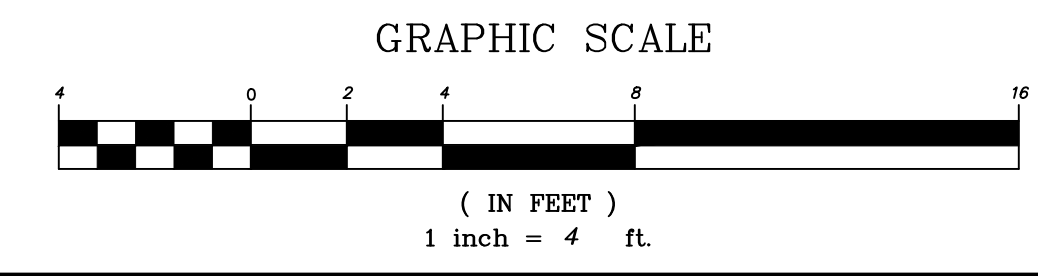
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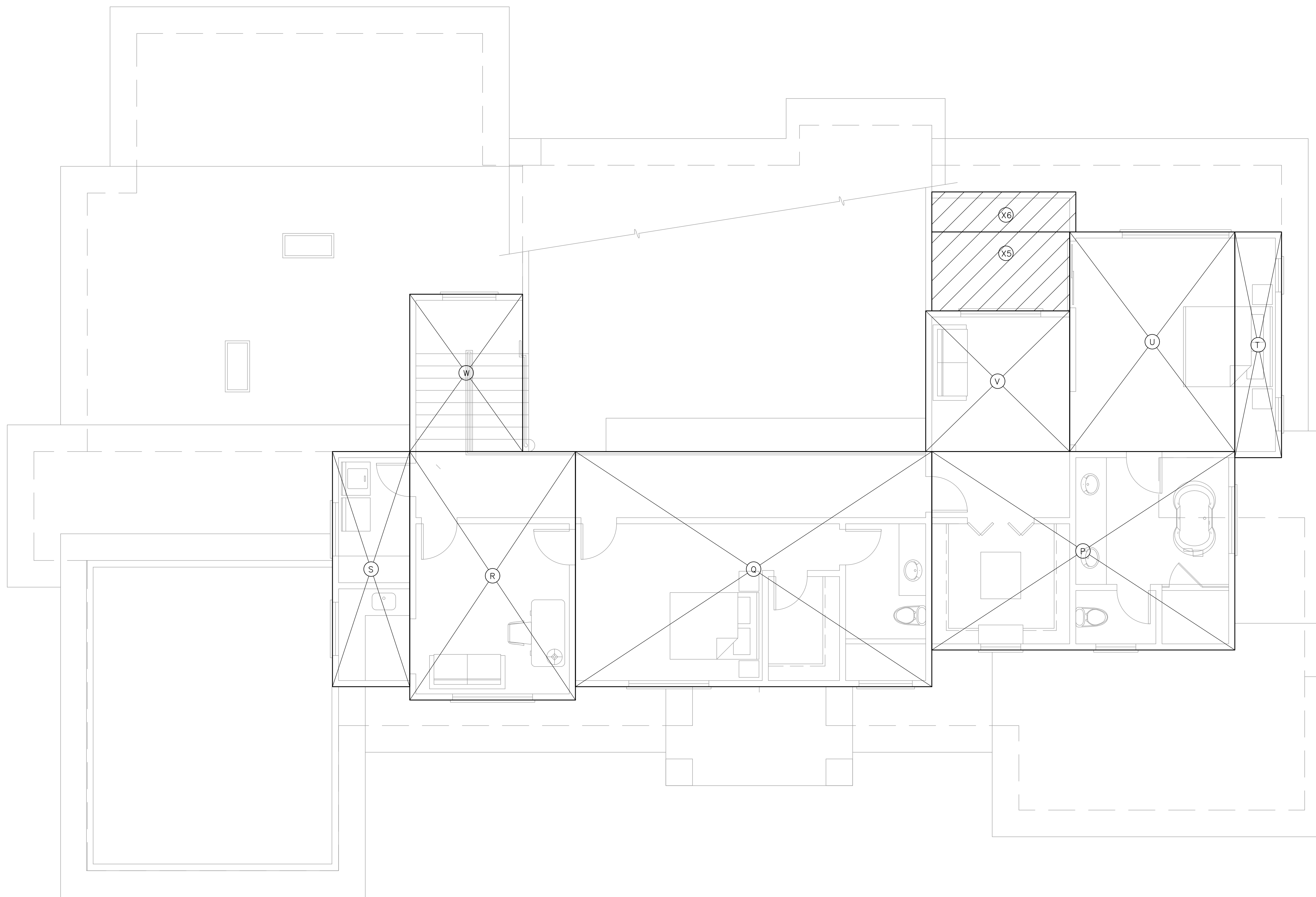
**NEW RESIDENCE
FOR: Williams Zhang**
5633 ARBORETUM DRIVE,
LOS ALTOS, CA

**FLOOR AREA
CALCULATIONS**

DATE	4/1/2021
SCALE	1/4" = 1'-0"
DRAWN	
JOB	
SHEET	A2-4
OF SHEETS	

1st FLOOR AREA CALCULATION
1/4" = 1'-0"





REVISIONS		
△	PLANNING	
△	6-10-2021	
△	PLANNING	
△	3-7-2022	
△		
△		
△		

1ST FLOOR		
G =	21'-5" x 21'-11"	469.5 sq.ft.
		469.5 sq.ft.
A =	14'-5 1/2" x 20'-1"	290.4 sq.ft.
B =	10'-0" x 17'-1 1/2"	171.2 sq.ft.
C =	26'-6 1/2" x 20'-1"	532.9 sq.ft.
D =	18'-10" x 23'-3"	437.8 sq.ft.
E =	22'-10" x 8'-2"	186.3 sq.ft.
F =	5'-4" x 0'-6"	2.7 sq.ft.
H =	10'-5 1/2" x 4'-6"	47.1 sq.ft.
I =	56'-10 1/2" x 21'-11"	1,246.6 sq.ft.
J =	8'-5 1/2" x 12'-3"	103.6 sq.ft.
K =	9'-11" x 3'-0"	29.8 sq.ft.
		3,048.3 sq.ft.

2ND FLOOR		
P =	22'-8" x 14'-10 1/2"	337.0 sq.ft.
O =	26'-8 1/2" x 17'-7 1/2"	470.5 sq.ft.
R =	12'-5" x 18'-7 1/2"	231.3 sq.ft.
S =	5'-9 1/2" x 17'-7 1/2"	102.0 sq.ft.
T =	3'-6" x 16'-11"	59.2 sq.ft.
U =	12'-4 1/2" x 16'-5 1/2"	203.6 sq.ft.
V =	10'-9 1/2" x 10'-6 1/2"	113.7 sq.ft.
W =	8'-5 1/2" x 11'-9 1/2"	99.7 sq.ft.
		1,617.0 sq.ft.

COVERED PORCH/PATIO		
X1 =	14'-0" x 4'-6"	63.0 sq.ft.
X2 =	10'-0" x 2'-11"	29.2 sq.ft.
X3 =	1'-8 1/2" x 4'-11 1/2"	8.4 sq.ft.
X4 =	9'-2 1/2" x 4'-6"	41.4 sq.ft.
X5 =	10'-4" x 5'-11"	61.2 sq.ft.
X6 =	10'-9 1/2" x 3'-0"	32.4 sq.ft.
		235.6 sq.ft.

ATTACHED ADU		
ADU1 =	20'-5 1/2" x 19'-4 1/2"	396.3 sq.ft.
ADU2 =	3'-8 1/2" x 19'-4 1/2"	71.7 sq.ft.
ADU3 =	8'-5 1/2" x 7'-7"	64.1 sq.ft.
ADU4 =	3'-0" x 2'-1"	6.2 sq.ft.
ADU5 =	25'-11" x 11'-11 1/2"	310.0 sq.ft.
		848.3 sq.ft.

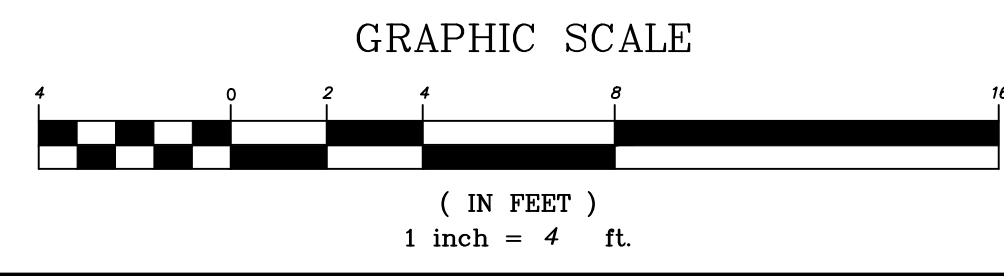
FAR =	5134.8 sq.ft.
MAXIMUM FAR =	5,156.0 sq.ft.
[(24,062-11,000) x 0.1 + 3,850 = 5,156.0 sq.ft.]	

LOT COVERAGE = 15.6%	3,753.4 sq.ft.
MAXIMUM LOT COVERAGE =	6,015.5 sq.ft.
(24,062 x 0.25 = 6,015.5 sq.ft.)	

FAR OF ADU =	848.3 sq.ft.
LOT COVERAGE OF ADU = 3.5%	848.3 sq.ft.
(MAXIMUM ALLOWABLE ADU = 850 sq.ft.)	

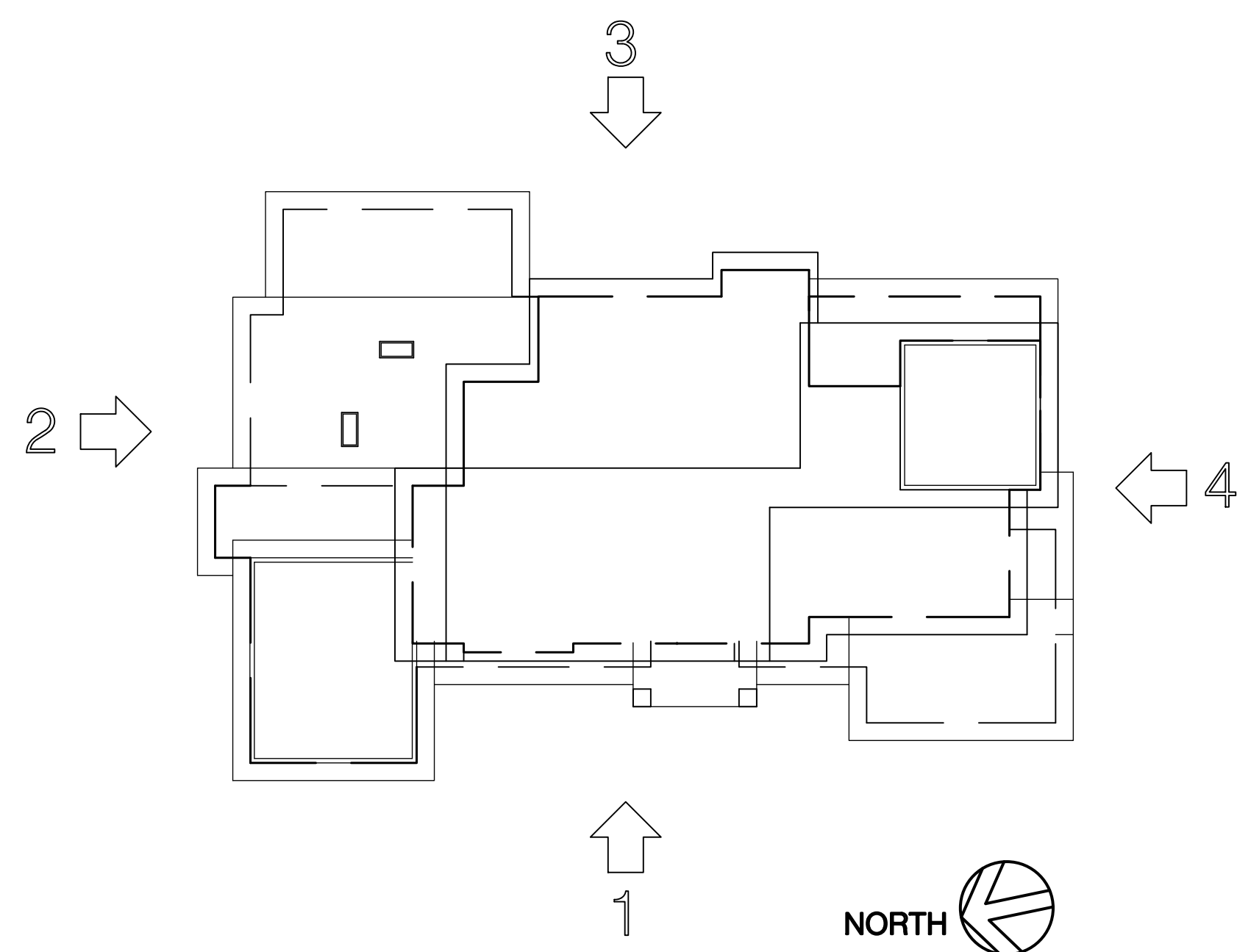
TOTAL FAR (INCLUDES ADU) =	5,983.2 sq.ft.
LOT COVERAGE (INCLUDES ADU) = 24.4%	4,601.7 sq.ft.

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NEW RESIDENCE FOR: Williams Zhang		5633 ARBORETUM DRIVE, LOS ALTOS, CA
FLOOR AREA CALCULATIONS		
DATE	4/1/2021	
SCALE	1/4" = 1'-0"	
DRAWN		
JOB		
SHEET	A2-5	
OF	SHEETS	



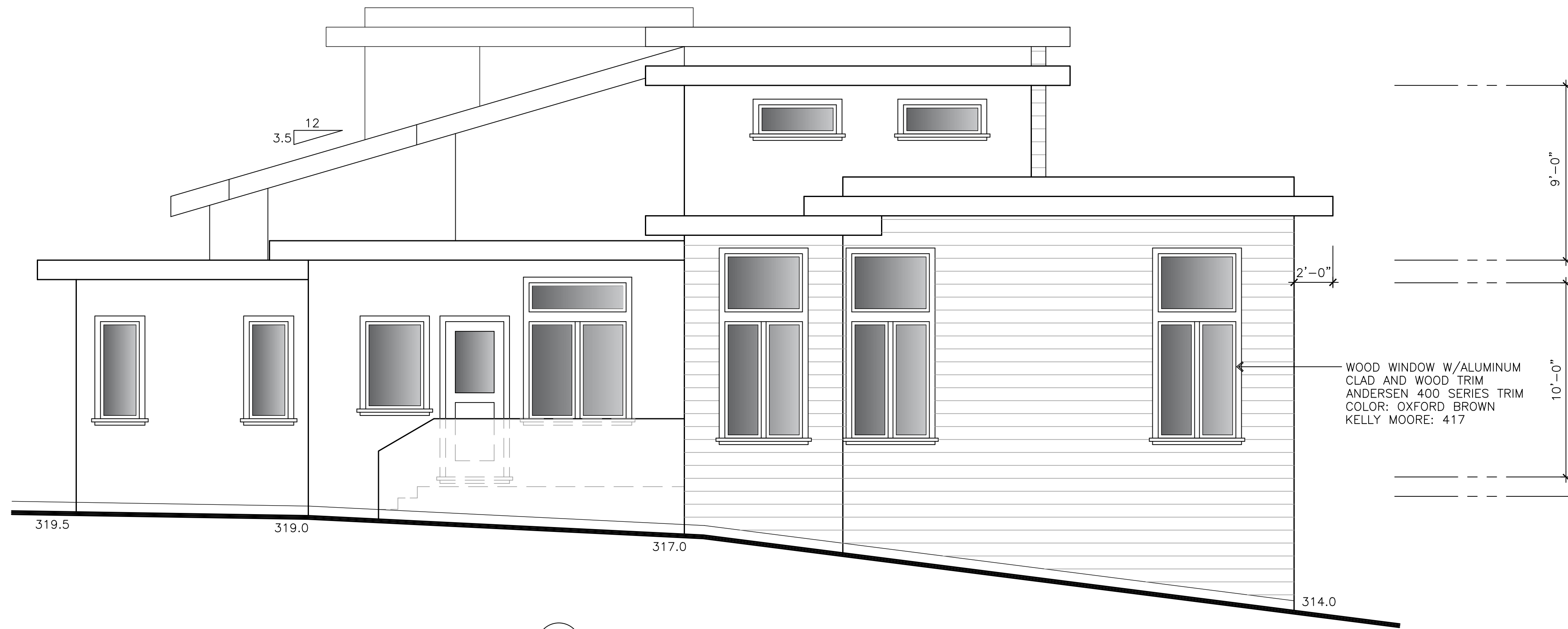
2nd FLOOR PLAN
1/4" = 1'-0"

REVISIONS	
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△	PLANNING 3-7-2022
△	PLANNING 7-14-2022
△	PLANNING 8-31-2022
△	PLANNING 9-14-2022



KEY PLAN
N.T.S.

DAYLIGHT PLATE BASE
11'-0" ABOVE 310'-0"
AT PROPERTY LINE
(316+304)/2= 310'



2 NORTH ELEVATION
SCALE: 1/4" = 1'-0" (LEFT)



1 WEST ELEVATION
SCALE: 1/4" = 1'-0" (FRONT)

ALL GRADE INFORMATION SHOWN
NEXT TO BUILDING CORNER ARE
EXISTING GRADE BASE ON SURVEY
PREPARED BY CHRISTENSEN &
PLOUFF LAND SURVEYING

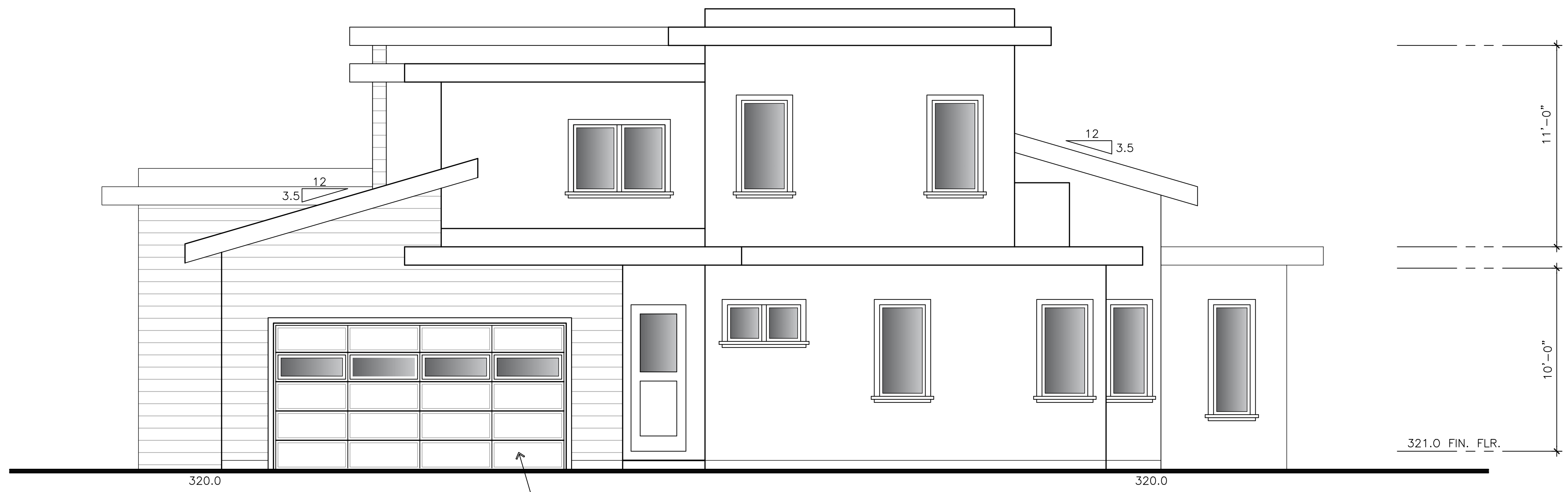
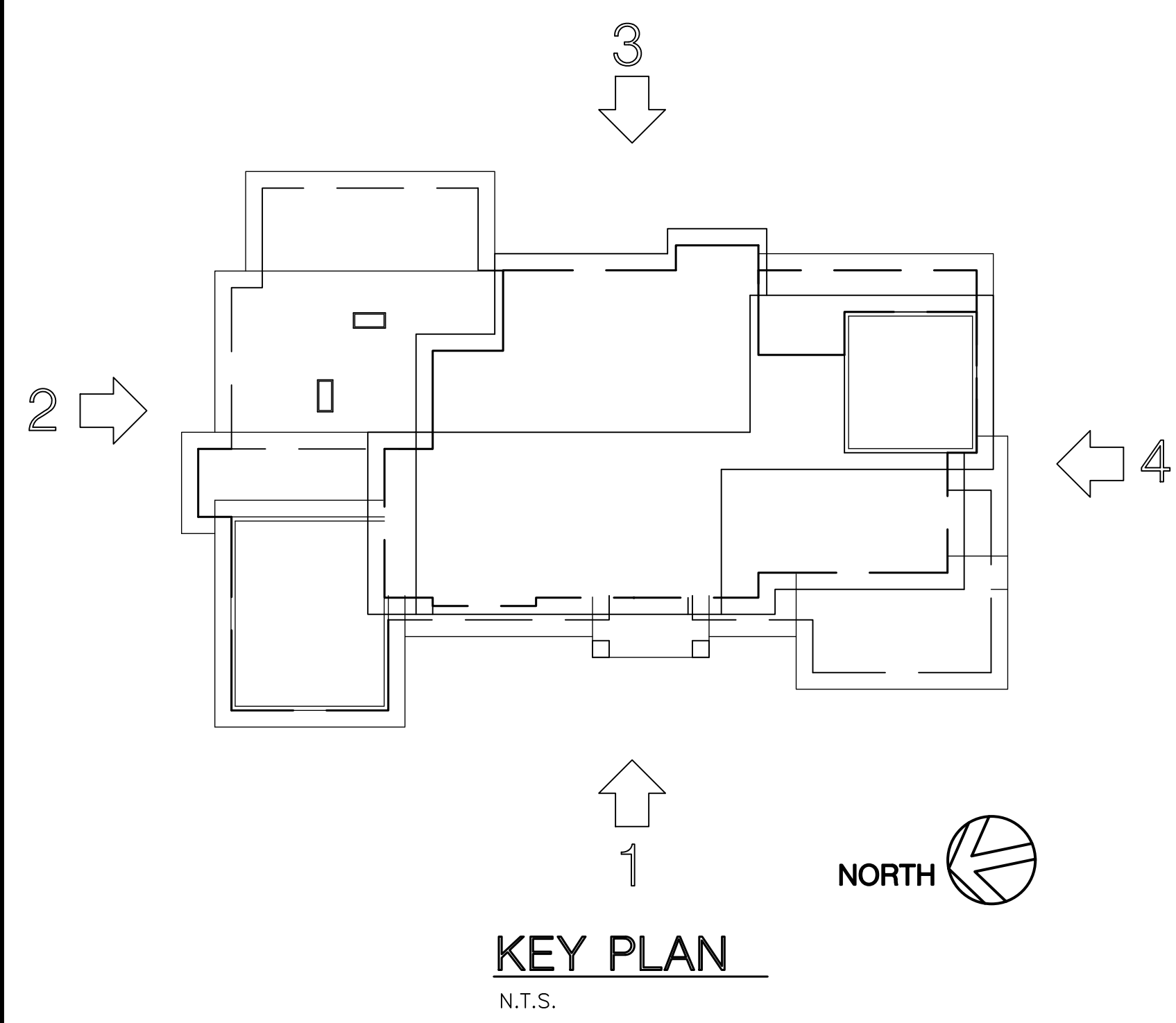
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NEW RESIDENCE FOR: Williams Zhang
5633 ARBORETUM DRIVE,
LOS ALTOS, CA

EXTERIOR ELEVATIONS

DATE 4/1/2021
SCALE 1/4"=1'-0"
DRAWN -
JOB -
SHEET SK-3.1
OF SHEETS

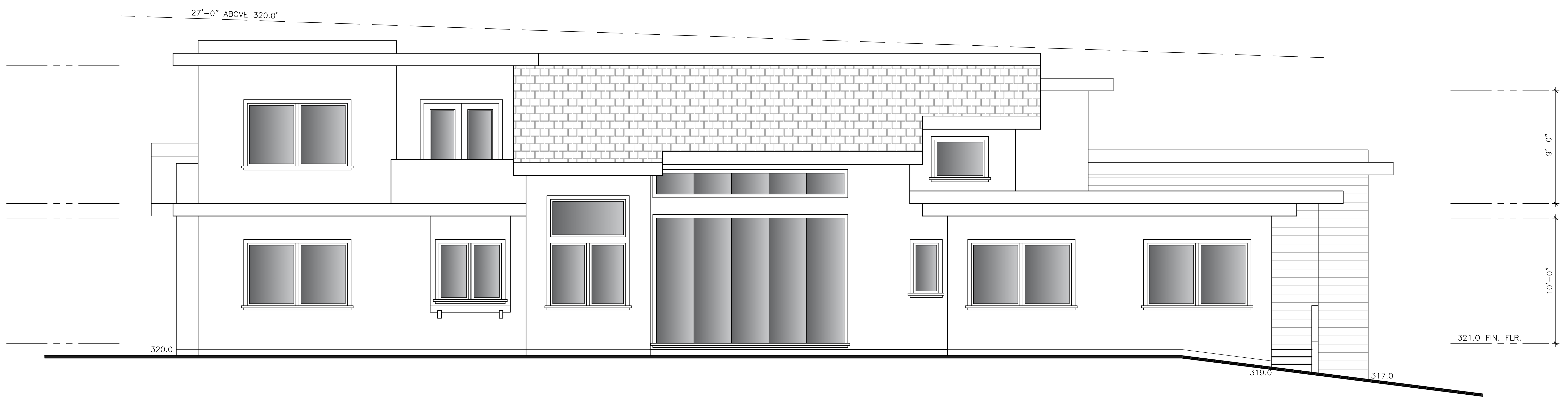
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△	PLANNING 3-7-2022
△	PLANNING 7-14-2022
△	PLANNING 8-31-2022
△	PLANNING 9-14-2022



4 SOUTH ELEVATION
SCALE: 1/4" = 1'-0" (RIGHT)

DAYLIGHT PLATE BASE
11'-0" ABOVE 314'-0"
AT PROPERTY LINE
(320+308)/2= 314'

DAYLIGHT PLATE BASE
11'-0" ABOVE 322'-0"
AT PROPERTY LINE



3 EAST ELEVATION
SCALE: 1/4" = 1'-0" (REAR)

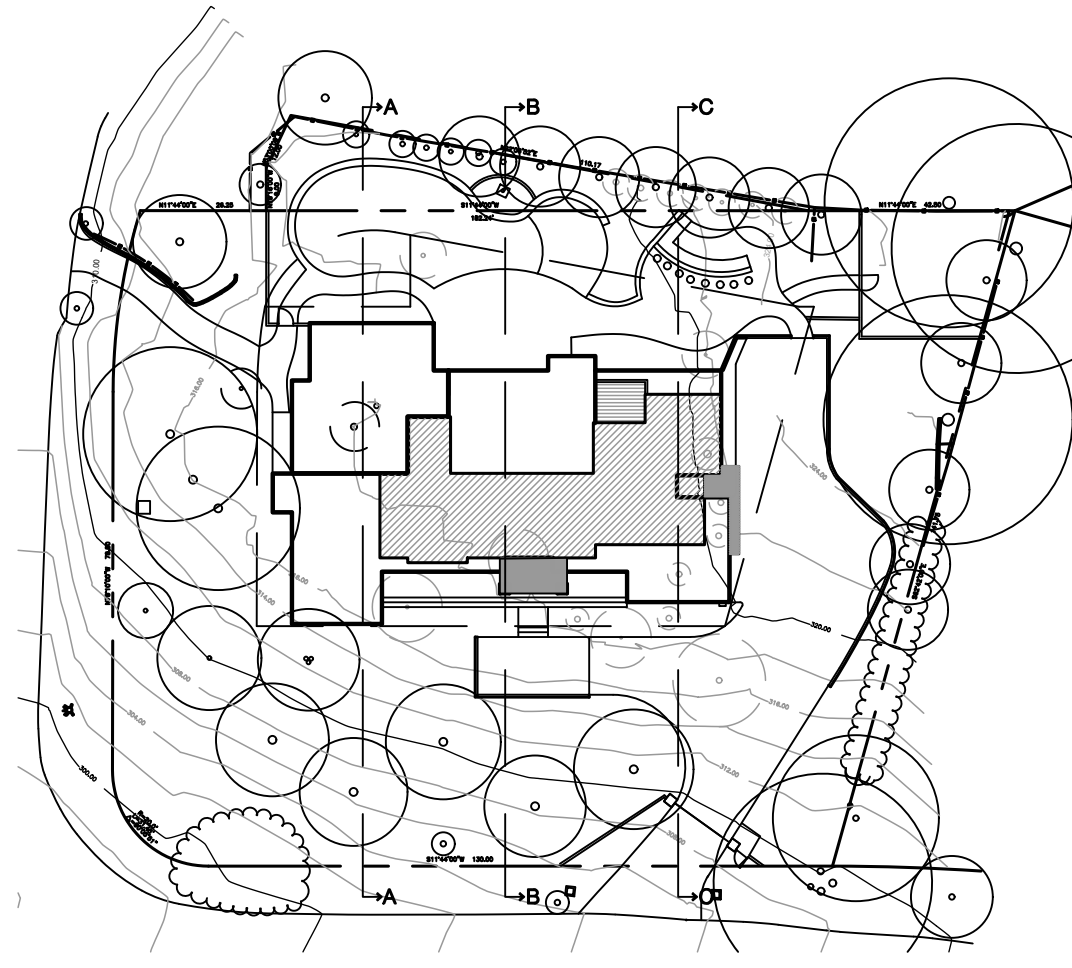
ALL GRADE INFORMATION SHOWN
NEXT TO BUILDING CORNER ARE
EXISTING GRADE BASE ON SURVEY
PREPARED BY CHRISTENSEN &
PLOUFF LAND SURVEYING

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**NEW RESIDENCE
FOR: Williams Zhang**
5633 ARBORETUM DRIVE,
LOS ALTOS, CA

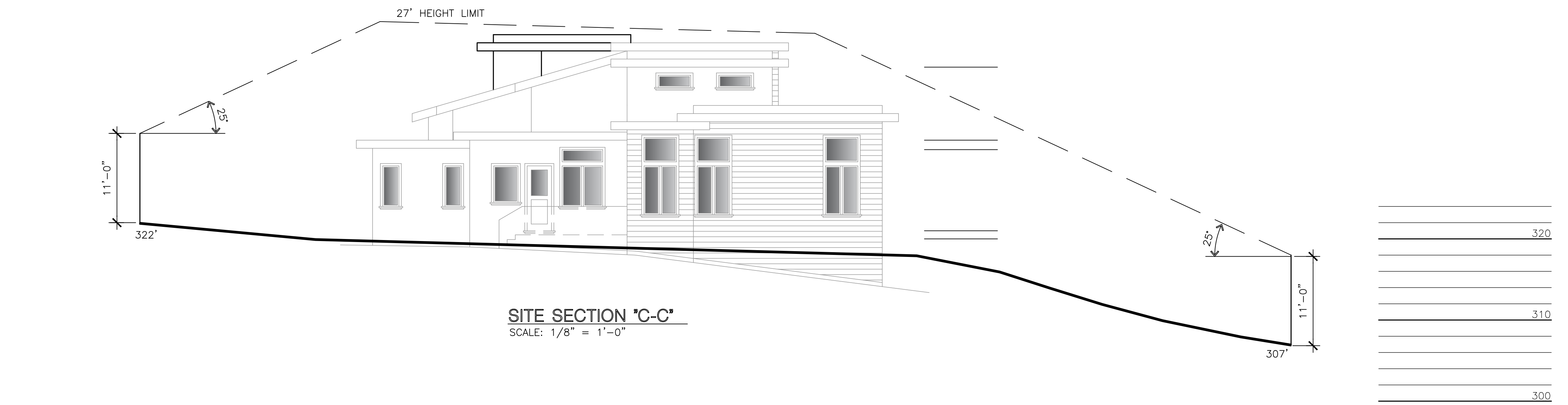
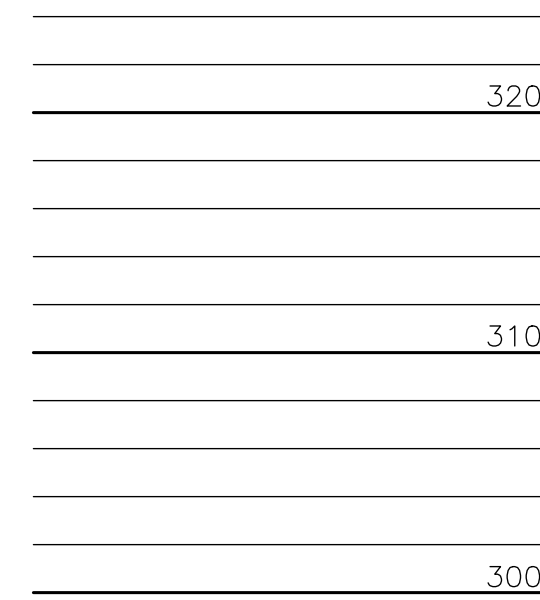
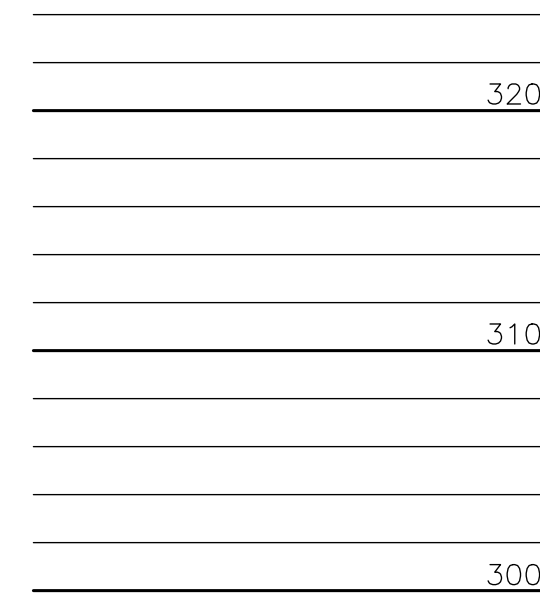
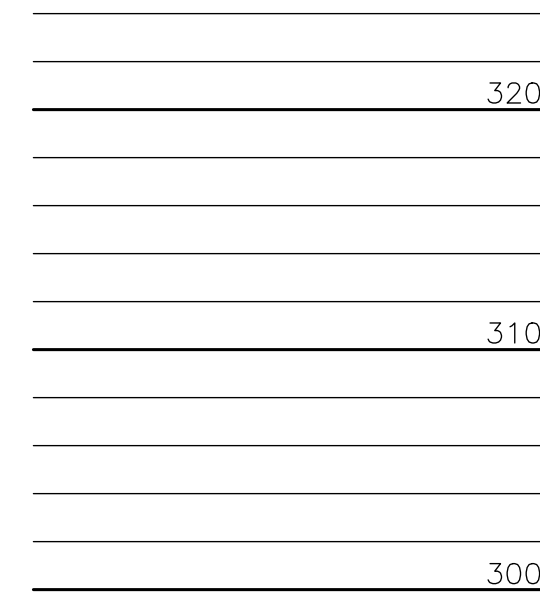
EXTERIOR ELEVATIONS

DATE	4/1/2021
SCALE	1/4"=1'-0"
DRAWN	-
JOB	-
SHEET	SK-3.2
OF SHEETS	-

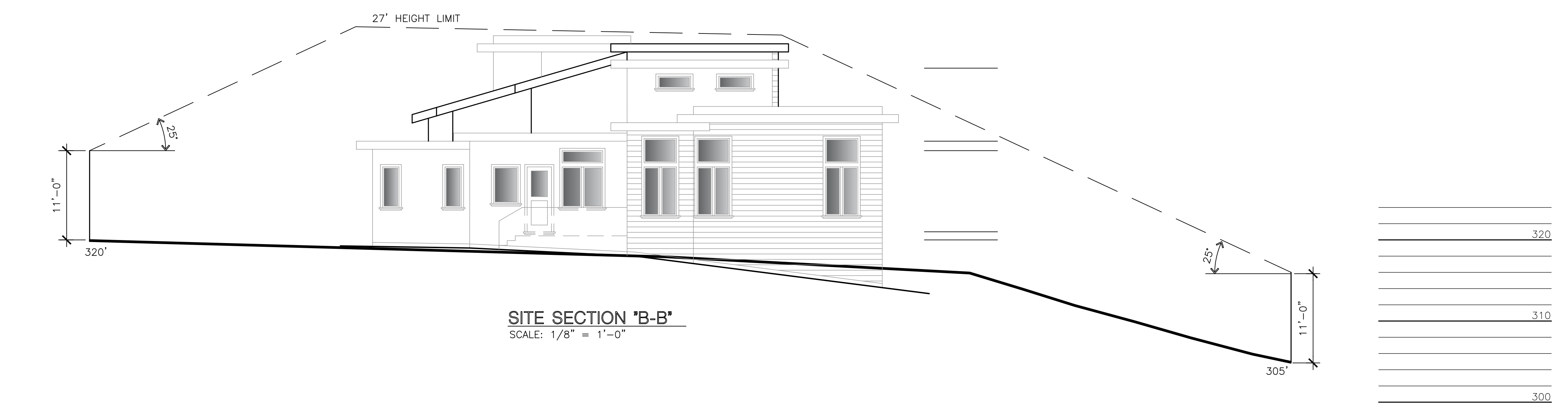


KEY PLAN

N.T.S.



SITE SECTION "C-C"
SCALE: 1/8" = 1'-0"



SITE SECTION "B-B"
SCALE: 1/8" = 1'-0"



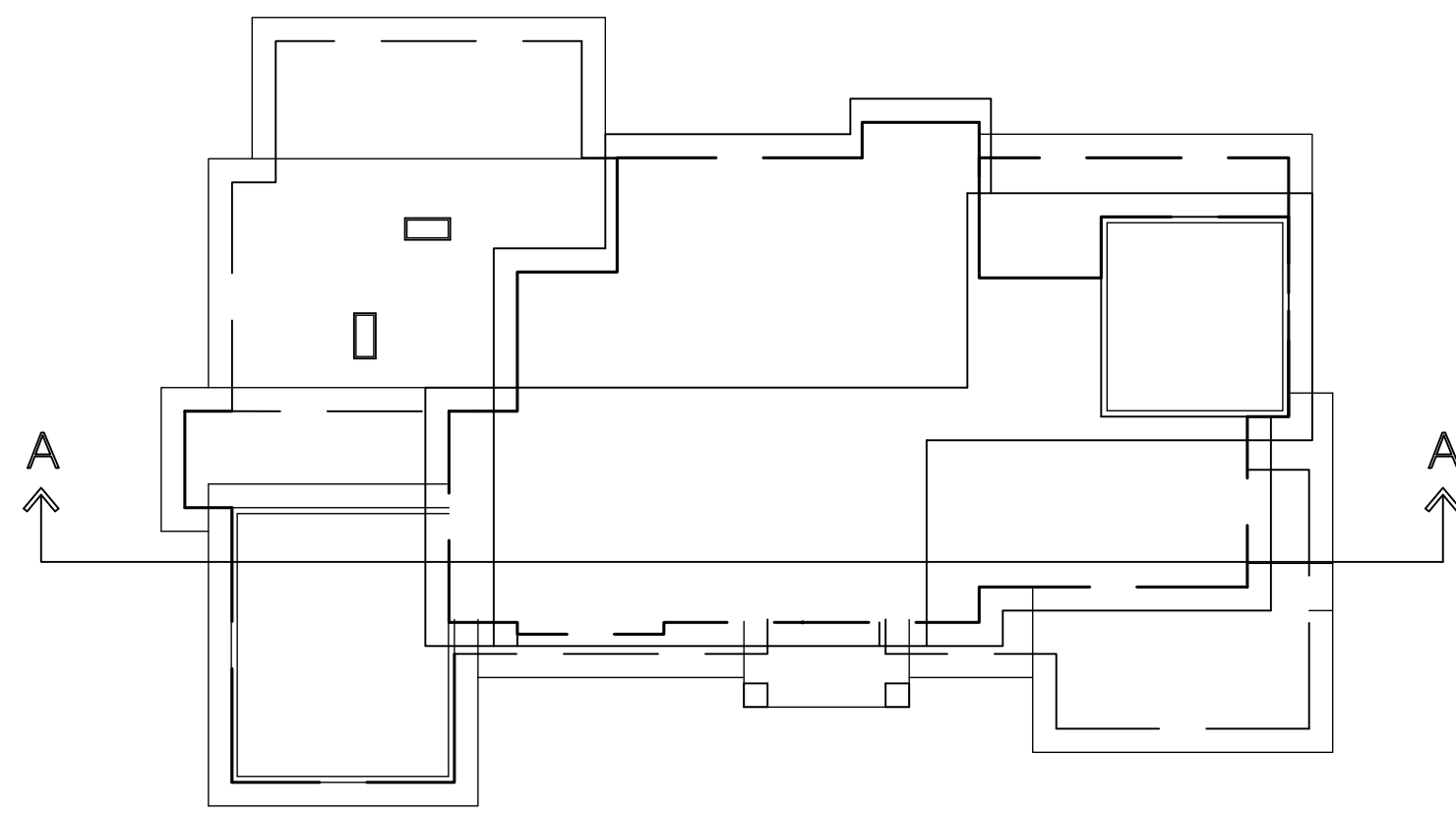
SITE SECTION "A-A"
SCALE: 1/8" = 1'-0"

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△	PLANNING 3-7-2022
△	PLANNING 7-14-2022
△	PLANNING 8-31-2022
△	PLANNING 9-14-2022

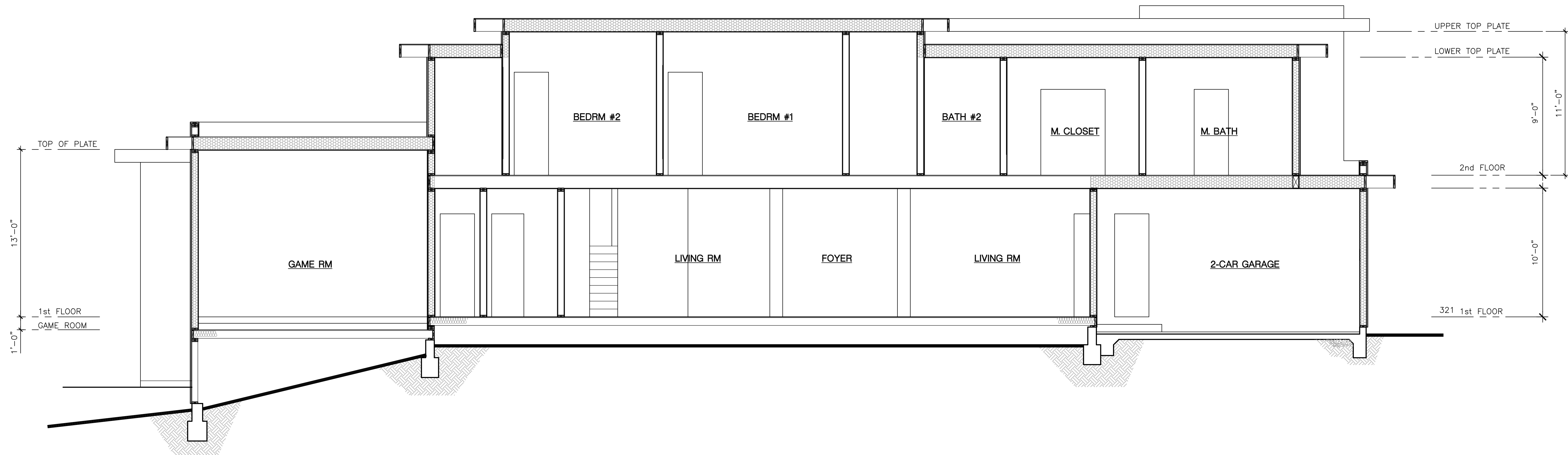
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NEW RESIDENCE FOR: Williams Zhang
5633 ARBORETUM DRIVE,
LOS ALTOS, CA

SITE SECTIONS FOR DAYLIGHT PLANE
DATE: 4/1/2021
SCALE: 1/4" = 1'-0"
DRAWN: -
JOB: -
SHEET: **A3-3**
OF SHEETS



KEY PLAN
N.T.S.



SECTION "A-A"
SCALE: 1/4" = 1'-0"

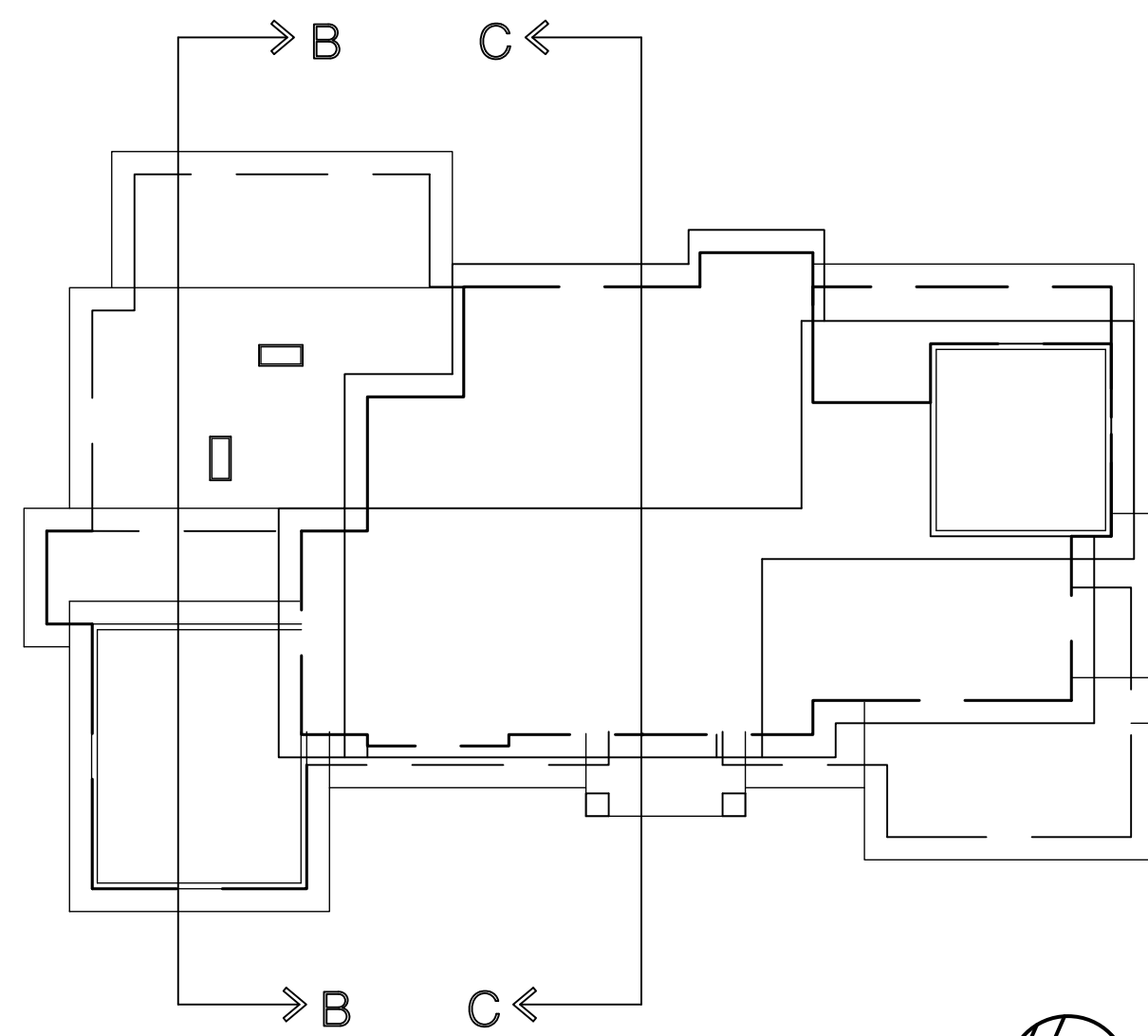
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△	PLANNING 7-14-2022
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△	PLANNING 9-14-2022

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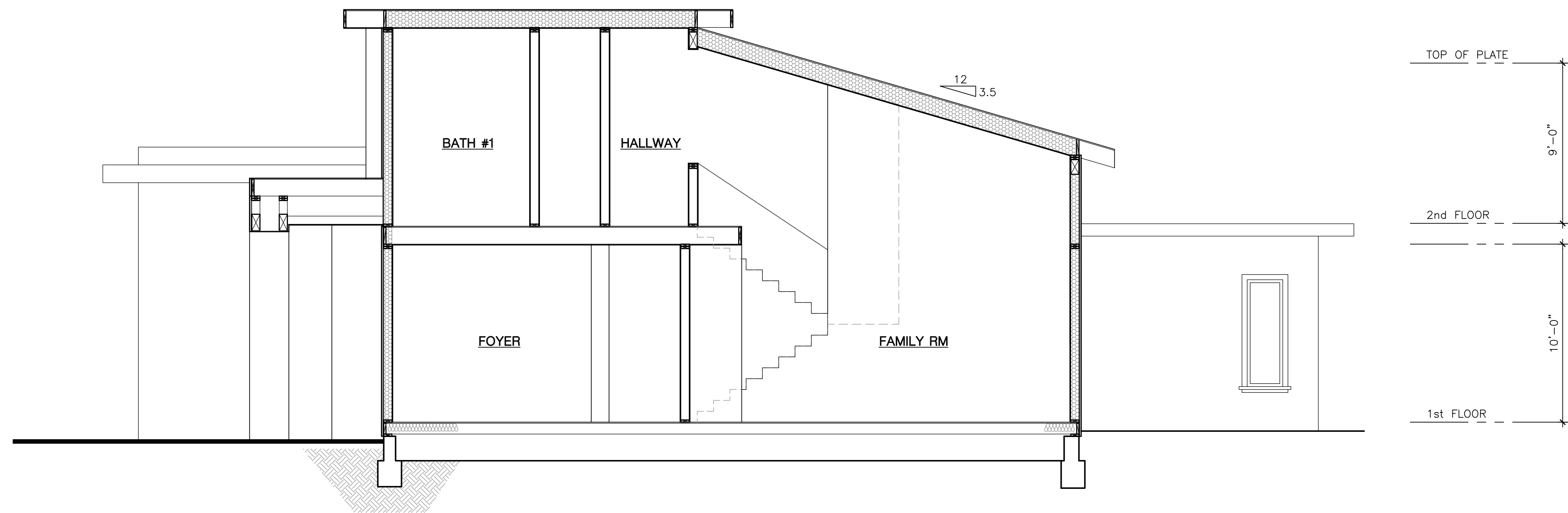
NEW RESIDENCE FOR: Williams Zhang
5633 ARBORETUM DRIVE, LOS ALTOS, CA

BUILDING SECTION

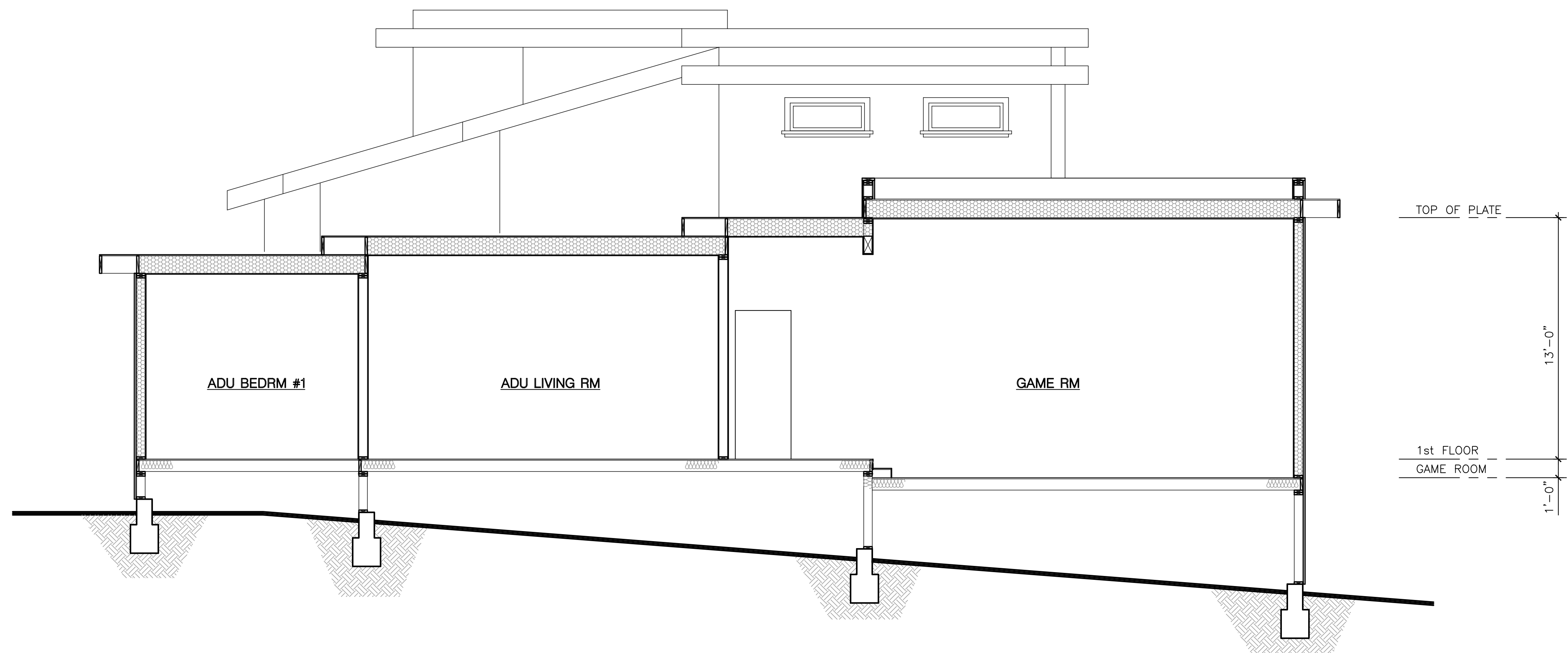
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SCALE	1/4" = 1'-0"
DRAWN	-
JOB	-
SHEET	SK-4.1
OF	SHEETS



KEY PLAN
N.T.S.



SECTION "C-C"
SCALE: 1/4" = 1'-0"



SECTION "B-B"
SCALE: 1/4" = 1'-0"

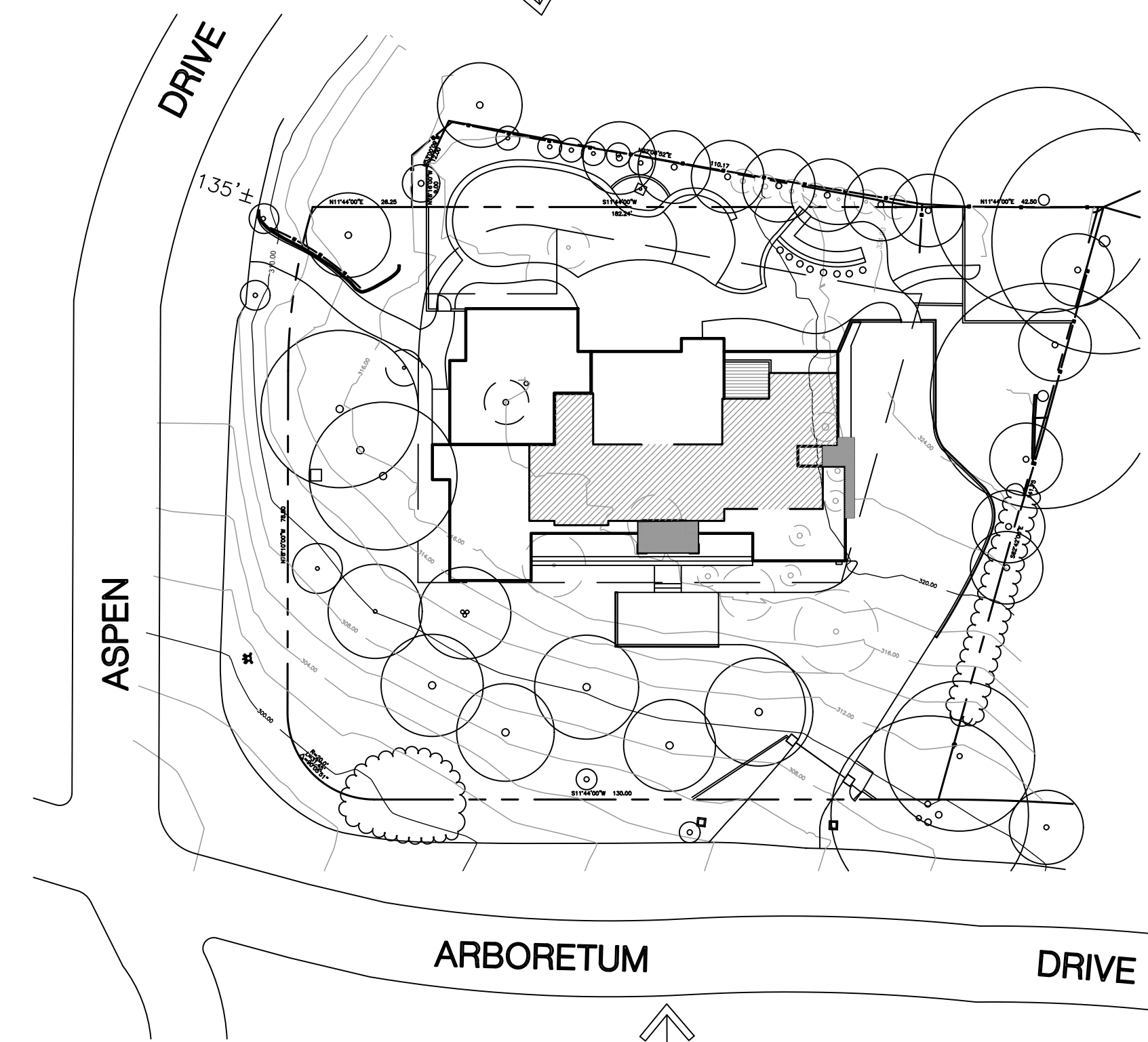
REVISIONS	
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△	PLANNING 3-7-2022
△	
△	
△	

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NEW RESIDENCE FOR: Williams Zhang
5633 ARBORETUM DRIVE, LOS ALTOS, CA

BUILDING SECTIONS

DATE	4/1/2021
SCALE	1/4"=1'-0"
DRAWN	-
JOB	-
SHEET	SK-4.2
OF SHEETS	



REVISIONS	
△	PLANNING 6-10-2021
△	PLANNING 3-7-2022
△	PLANNING 7-14-2022
△	PLANNING 8-31-2022

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NEW RESIDENCE FOR: Williams Zhang
 5633 ARBORETUM DRIVE, LOS ALTOS, CA

3D RENDERINGS & KEY PLAN

DATE	4/1/2021
SCALE	1/8" = 1'-0"
DRAWN	-
JOB	-
SHEET	SK-5
OF	SHEETS

