



LOS ALTOS MIXED-USE

420, 428 2ND STREET, LOS ALTOS, CA 94022

PROJECT DIRECTORY

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VICINITY MAP



PROJECT SCOPE

THE PROJECT IS PROPOSED AS A MIXED USE COMMERCIAL AND RESIDENTIAL CONDOMINIUM LOCATED ON SOUTH SAN ANTONIO ROAD AT THE SOUTHERN EDGE OF THE SAN ANTONIO ROAD DISTRICT.

THE PROJECT, A TOTAL OF 36,354 SQUARE FEET, IS FOUR STORIES IN HEIGHT, BEING THREE STORIES OF RESIDENTIAL ABOVE GROUND LEVEL COMMERCIAL SPACE, ENTRY LOBBY AND PARKING FACILITIES.

THE PROJECT IS CONCEIVED AND ORGANIZED TO FACILITATE THE FUTURE REDEVELOPMENT OF THE ADJACENT PARCEL AT THE CORNER OF LYELL AND S. SAN ANTONIO IN A WAY THAT WILL COMPLETE THE DEVELOPMENT IN A MANNER CONSISTENT WITH THE COMMUNITY VISION.

A TOTAL OF 20 RESIDENTIAL CONDOMINIUM UNITS ARE PROPOSED WITH A MIX OF STUDIOS, ONE, AND TWO BEDROOM UNITS. 3 OF THE 20 UNITS ARE DESIGNATED AS BELOW MARKET RATE [BMR] AND A CONCESSION IS REQUESTED ON BUILDING HEIGHT.

IN ADDITION TO ON-GRADE GARAGE PARKING, THE INCORPORATION OF STACKED HYDRAULIC PARKING FACILITATES A TOTAL OF 47 PARKING SPACES. A SURPLUS OF 9 OVER STANDARD REQUIREMENTS.

ALL VEHICULAR ACCESS IS TAKEN FROM THE ALLEY OFF OF LYELL STREET, AND ALL OF THE FRONTAGE ON S. SAN ANTONIO IS DEVOTED TO STOREFRONTS AND PEDESTRIAN ACCESS POINTS CONTRIBUTING TO THE STREETSCAPE AND VILLAGE CHARACTER. THE SMALL PUBLIC PLAZA WHICH IS NOW BEING UTILIZED AS AN AWKWARD ASPHALT PARKING TARMAC IS INCORPORATED INTO THE FRONTAGE AS A PUBLIC PLAZA WITH LANDSCAPING.

THE BUILDING MASSING IS STEPPED BACK FROM THE FRONTAGES TO CREATE A FORM THAT IS APPROPRIATELY SCALED AND CONSISTENT WITH THE DOWNTOWN PLAN'S GOALS.

RESIDENTIAL AMENITY SPACES ARE PROVIDED IN AN ENTRY LOBBY LOUNGE, A COURTYARD PODIUM TERRACE AND A ROOFTOP TERRACE.

THE FACADES UTILIZE STEPBACKS, REVEALS AND BREAKS, DEEP RECESSED OPENINGS AND FENESTRATION, PROJECTING BALCONIES, AND AWNING ROOF PROJECTIONS TO ARTICULATE THE ARCHITECTURE. MAJOR MATERIALS ARE STANDING SEAM METAL ROOFS, PANELIZED WOOD SIDING, CERAMIC TILE AND POWDER COATED METAL.

CODES & STANDARDS

PLANNING AND ZONING
CITY OF LOS ALTOS MUNICIPAL CODE
DOWNTOWN DESIGN GUIDELINES
DESIGN REVIEW FINDINGS, SECTION 14.78.060
DESIGN CONTROL, SECTION 14.44.130
CALIFORNIA BUILDING CODE 2019

- THIS PROJECT WILL HAVE AN NFPA-13 SPRINKLER SYSTEM UNDER A SEPARATE PERMIT
- FIRE ALARMS TO BE INSTALLED THROUGHOUT BUILDING AS REQUIRED (CFC SEC. 907 / NFPA 72)
- STANDPIPES TO BE INSTALLED AS REQUIRED
- TWO-WAY COMMUNICATION SYSTEM TO BE INSTALLED
- EMERGENCY RESPONDER RADIO COVERAGE SYSTEM TO BE INSTALLED

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DATE:	ISSUANCE OR REVISION
6/24/2022	PLANNING SUBMITTAL
12/30/2022	RESUBMITTAL #1
3/1/2023	FIRE DEPARTMENT
3/31/2023	FIRE DEPT. UPDATE
4/11/2023	RESUBMITTAL #2
10/23/2023	RESUBMITTAL #3
4/11/2024	RESUBMITTAL #4
08/15/2024	RESUBMITTAL #5
10/10/2024	REVISED FINAL

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COVER SHEET

PROJECT NO: 9942

SHEET

A0.1

PROJECT DATA

ADDRESS: 420, 428 2nd ST.
LOS ALTOS, CA 94022

APN: 167-41-072

ZONING: CD / MIXED USE

SITE AREA: 12,968 SF (0.297 ACRES GROSS- PRE DEDICATION)
12,308 SF (0.283 ACRES NET - POST DEDICATION)

EXISTING BLDG. AREA: 7,280 SF

PROPOSED BLDG. FOOTPRINT AREA: 11,161 SF (86% SITE COVERAGE)

PROPOSED GROSS BLDG. AREA:

1ST FLOOR	11,161 SF
2ND FLOOR (R1)	9,641 SF
3RD FLOOR (R2)	9,641 SF
4TH FLOOR (R3)	5,911 SF
TOTAL	36,354 SF

MAX BUILDING HEIGHT: 52'-8"

OCCUPANCY: RESIDENTIAL - R2
COMMERCIAL - B
PARKING - S2

CONSTRUCTION TYPE: PARKING - TYPE I
RESIDENTIAL / COMMERCIAL - TYPE V-A

SETBACKS:

FRONT
REQ'D: 2'-0"
PROVIDED: 3'-7 1/2" (FROM DEDICATION)

SIDES (LEFT/RIGHT)
REQ'D: 0'-0"
PROVIDED: 0'-0"

REAR:
REQ'D: 10'-0"
PROVIDED: 6'-8 5/8" - 1st Story (FROM DEDICATION)
4' - 2nd to fourth Story

*PER LOS ALTOS MUNICIPAL CODE CH. 14.52.060

UNIT COUNT:

STUDIOS	2
1BR	4
2BR	14
TOTAL	20

PARKING SUMMARY:
REQUIRED PER LAMC 14.74.080:

COMMERCIAL -	1 PER 300 SF	5 REQUIRED	(1,495 SF / 300 = 4.98)
RESIDENTIAL -	1.5 PER UNIT w ≥ 2 ROOMS	21 REQUIRED	(14 UNITS X 1.5 SPACES)
	1 PER UNIT w < 2 ROOMS	6 REQUIRED	(6 UNITS X 1 SPACES)
TOTAL		32 REQUIRED	(w/o DENSITY BONUS)

TOTAL PROVIDED w DENSITY BONUS: 40 HYDRALIC LIFT SPACES
5 SPACES ON-GRADE CONVENTIONAL
2 ADA SPACES ON-GRADE
47 TOTAL PARKING SPACES

BICYCLE PARKING: PER SANTA CLARA VALLEY TRANSPORTATION AUTHORITY

RESIDENTIAL REQ'D -	1.5 PER UNIT (LONG TERM) 1 PER 20 UNITS (SHORT TERM)	30 SPACES 1 SPACE
COMMERCIAL REQ'D -	1 PER 10,000 SF OR MIN OF 2 (LONG TERM) 1 PER 2000 SF OR MIN. OF 4 (SHORT TERM)	2 SPACES 4 SPACES
PROVIDED:	CLASS I IN LOCKED STORAGE CLASS II IN BICYCLE RACKS	40 SPACES 8 RACKS

AREA SUMMARY

FLOOR LEVEL	GROSS AREA	NET COMMERCIAL	NET RESIDENTIAL	RES. AMENITIES	UTILITY	CORRIDORS	VERT. CIRCULATION	PARKING	NET INTERIOR	COMMON TERRACES	PRIVATE TERRACES	RESIDUAL / NON-HABITABLE
1 (GROUND)	11,161	1,495		880	851	635	328	5,669	9,858			1,303
2 (R1)	9,641		7,401		222	866	241		8,730		1,355	911
3 (R2)	9,641		7,479		124	866	241		8,710		392	931
4 (R3)	5,911		3,785	299	124	859	241		5,308	2,909	616	603
TOTALS	36,354	1,495	18,665	1,179	1,321	3,226	1,051	5,669	32,606	2,909	2,363	3,748

*ALL VALUES ARE IN SQUARE FEET UNLESS SPECIFIED OTHERWISE

AFFORDABLE HOUSING / BONUS DENSITY

LOT SIZE: 12,968 SF (0.297 ACRES GROSS- PRE DEDICATION)
12,308 SF (0.283 ACRES NET - POST DEDICATION)

ZONING: CD MIXED USE
GENERAL PLAN DESIGNATION: DOWNTOWN COMMERCIAL

F.A.R. PER GENERAL PLAN: 2.0
HEIGHT PER ZONING: 30 FT.*

*NOTE: REVISION TO ZONING ORDINANCE IN OCTOBER, 2023 STIPULATES A BUILDING HEIGHT OF 45 FEET.

BASE DENSITY:
WITHIN 2.0 F.A.R. OR 25,936 SF AND 35 FT. HEIGHT

ASSUME AVG. UNIT SIZE 938 SF @ 16 UNITS = 15,008 SF
ASSUME COMMERCIAL, AMENITIES AND PARKING = 8,500 SF
TOTAL BASE PROJECT = 23,508 SF = 1.9 F.A.R < 2.0 (OK)

BONUS DENSITY:
6.25% BASE DENSITY [16 UNITS] AT VETRY LOW INCOME FACILITATES A BONUS DENSITY OF 22.5% WHICH IS ONE VERY LOWINCOME UNIT.
AN ADDITIONAL 12.5% OF BASE DENSITY , 2 UNITS , AT MODERATE INCOME LEVEL ARE PROVIDED FACILITATING BONUS DENSITY OF 13%
THEREFORE TOTAL BONUS DENSITY IS 35.5%. 16 BASE DENSITY UNITS X 1.35 = 21.62 > 22UNITS
THE PROJECT IS PROPOSING 20 FOR SALE UNITS
A TOTAL OF 18.75% OF BASE DENSITY UNITS ARE AFFORDABLE EXCEEDING THE 155 REQUIRED BY LAMC 14.28.020

THE VERY LOW AFFORDABLE UNIT [6.25% OF BASE DENSITY] ALLOWS FOR ONE CONCESSION INCENTIVE PER STATE BONUS DENSITY LAW

AN INCENTIVE / CONCESSION OF ADDITIONAL BUILDING HEIGHT OF 7 FT 8 INCHES IS REQUESTED

THE FOLLOWING WAIVERS TO ZONING STANDARDS IS REQUESTED:

- REDUCED ALLEY SETBACK- LAMC 14.44.080 (B)
- VARIATION TO PARKING STALL WIDTH DIMENSION STANDARDS -LAMC 14.74.070
- VARIATION TO MECHANICAL LIFT STANDARD 14.74.070.C.1.b
- REDUCTION TO UPPER STORY STEPBACK -LAMC 14.44.130 A.1.a
- ORIENTING PRINCIPAL WINDOWS TOWARDS SIDE SETBACK- LAMC 14.44.130 A.5.a
- EMBEDMENT OF UPPER STORY IN MANSARD / HIPPED ROOF WITH FLOOR BELOW STEPPED BACK - LAMC 14.44.130.A.1.(c)
- EXCLUSION OF 12 INCH CORNICE CAP AT PARAPET WALL - LAMC 14.66.280.C.1

RESIDENTIAL UNIT SIZE & DISTR.

NUMBER	TYPE	BEDROOMS	SQ FT (NET)	INCOME LEVEL
R101	1BR	1	743	MR
R102	2BR	2	1,173	MR
R103	2BR	2	1,113	MR
R104	2BR	2	960	MR
R105	2BR	2	1,071	MR
R106	2BR	2	1,081	MR
R107	2BR	2	1,262	MR
Subtotal		13	7,403	

NUMBER	TYPE	BEDROOMS	SQ FT (NET)	INCOME LEVEL
R201	1BR	1	743	MR
R202	2BR	2	1,173	MR
R203	2BR	2	1,113	MR
R204	2BR	2	960	MR
R205	2BR	2	1,071	MR
R206	2BR	2	1,081	MR
R207	2BR	2	844	M
R208	STUDIO	1	498	MR
Subtotal		14	7,483	

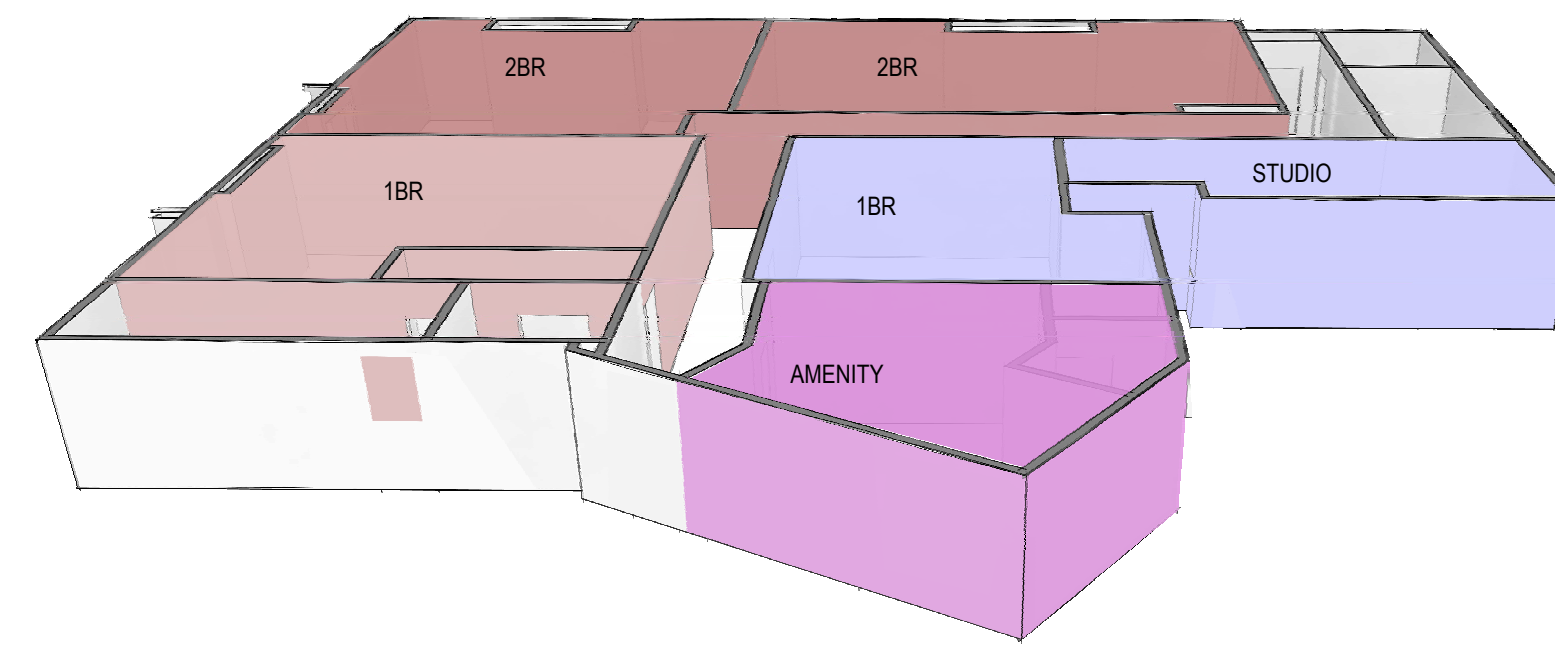
NUMBER	TYPE	BEDROOMS	SQ FT (NET)	INCOME LEVEL
R301	1BR	1	746	MR
R302	2BR	2	1,002	MR
R303	2BR	2	1,081	MR
R304	STUDIO	1	380	M
R305	1BR	1	576	VL
Subtotal		7	3,785	

TOTAL 34 18,671

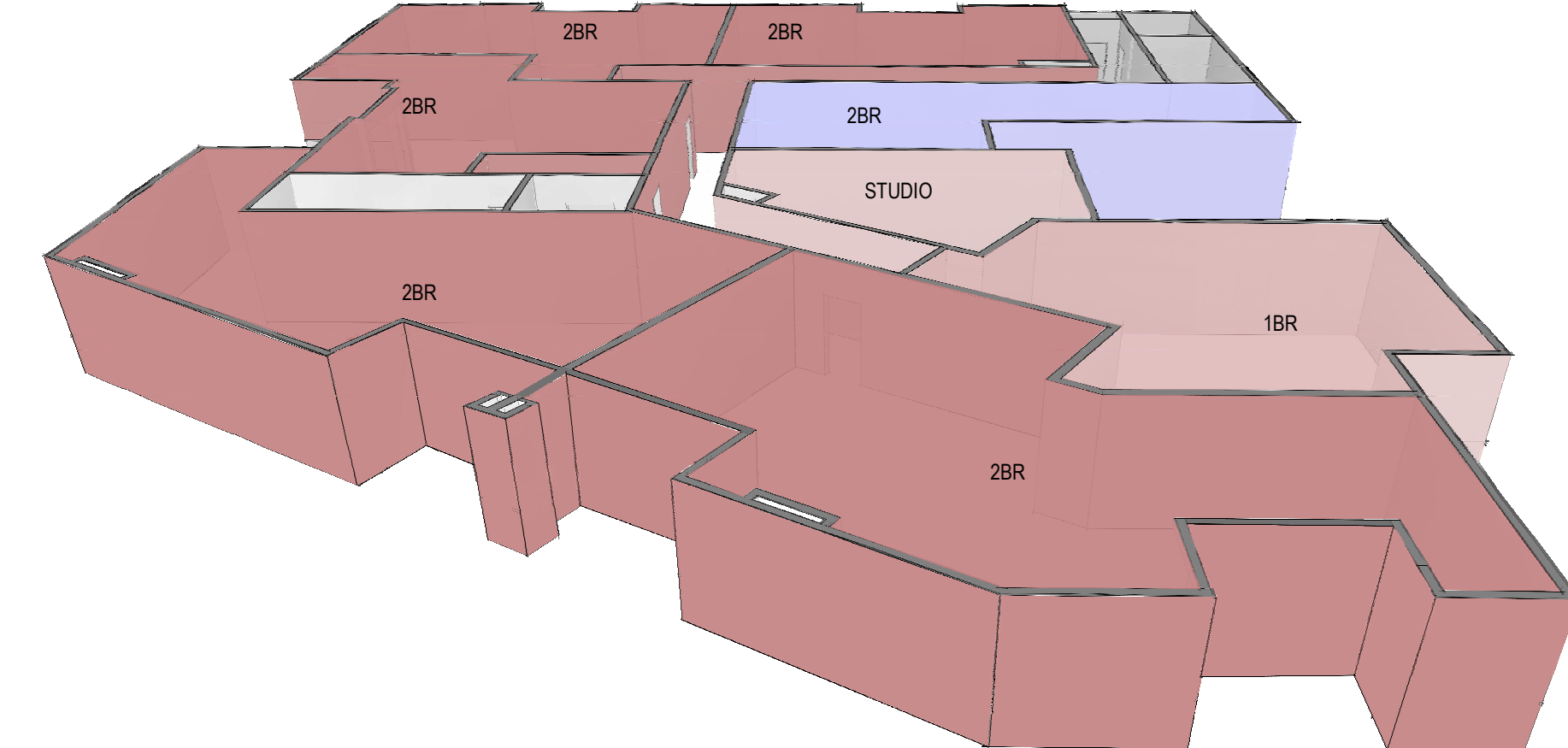
*INDICATES "BELOW MARKET RATE"
MR = MARKET RATE
VL = VERY LOW INCOME
M = MODERATE INCOME

- AFFORDABLE UNITS
- 2BR
- 1BR
- STUDIO
- PARKING
- COMMERCIAL

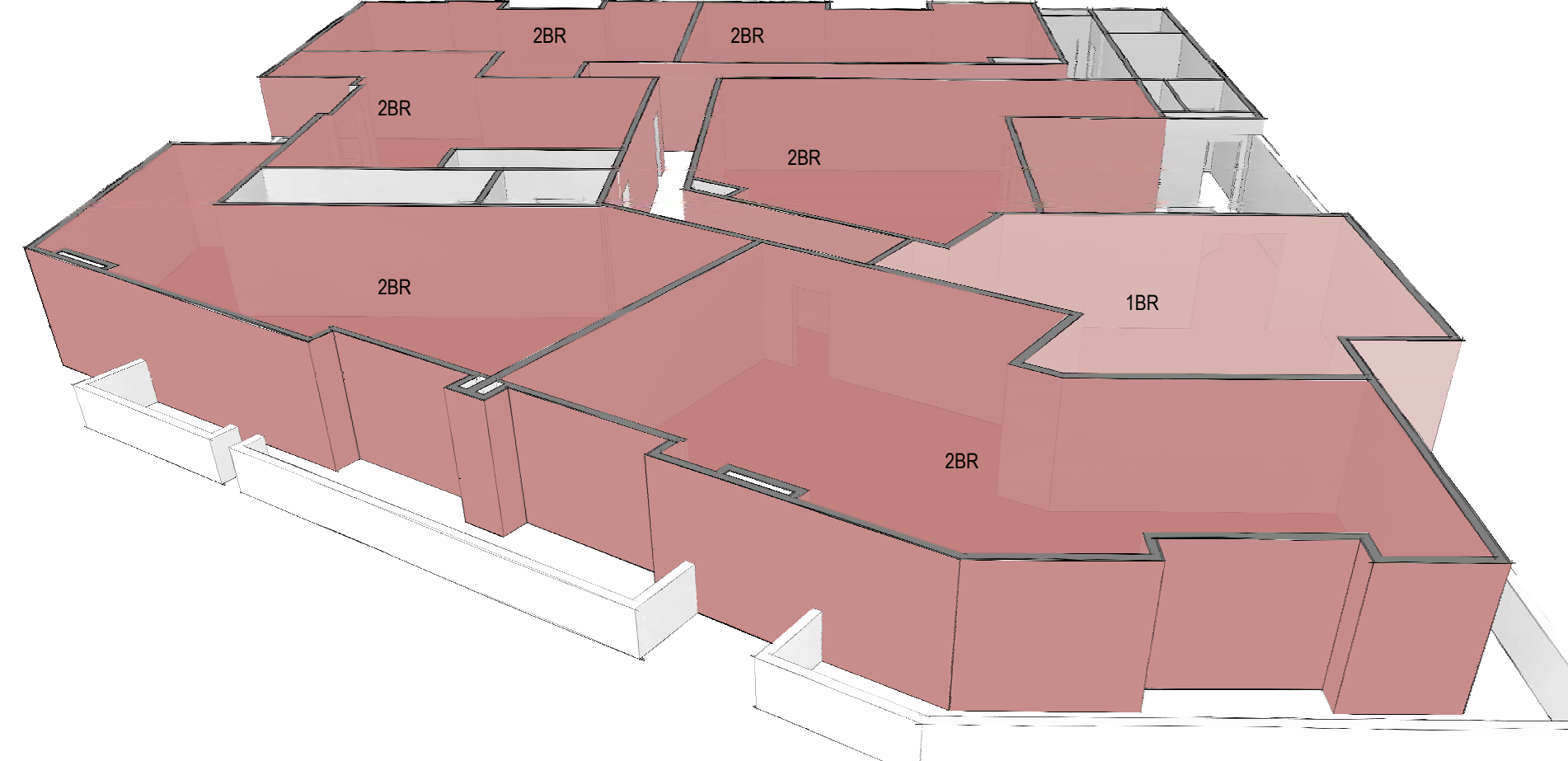
4th FLOOR
R3



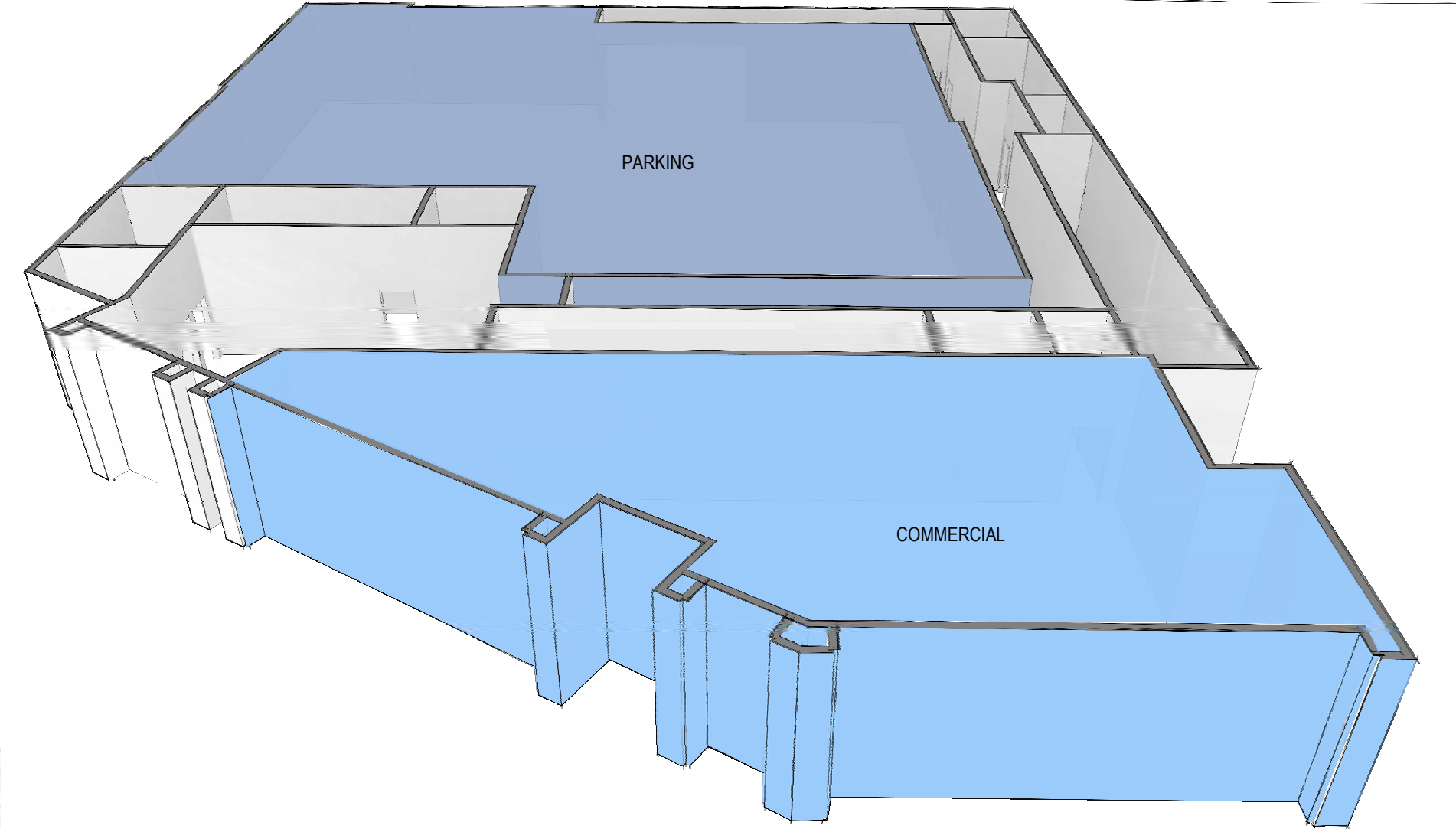
3rd FLOOR
R2



2nd FLOOR
R1



1st FLOOR



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6/17/2024	REVISIONS TAL #5

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SHEET CONTENTS

PROJECT DATA, MASSING

PROJECT NO: 9942

SHEET

A0.2

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4/11/2024	RESUBMITTAL #4
08/15/2024	RESUBMITTAL #5

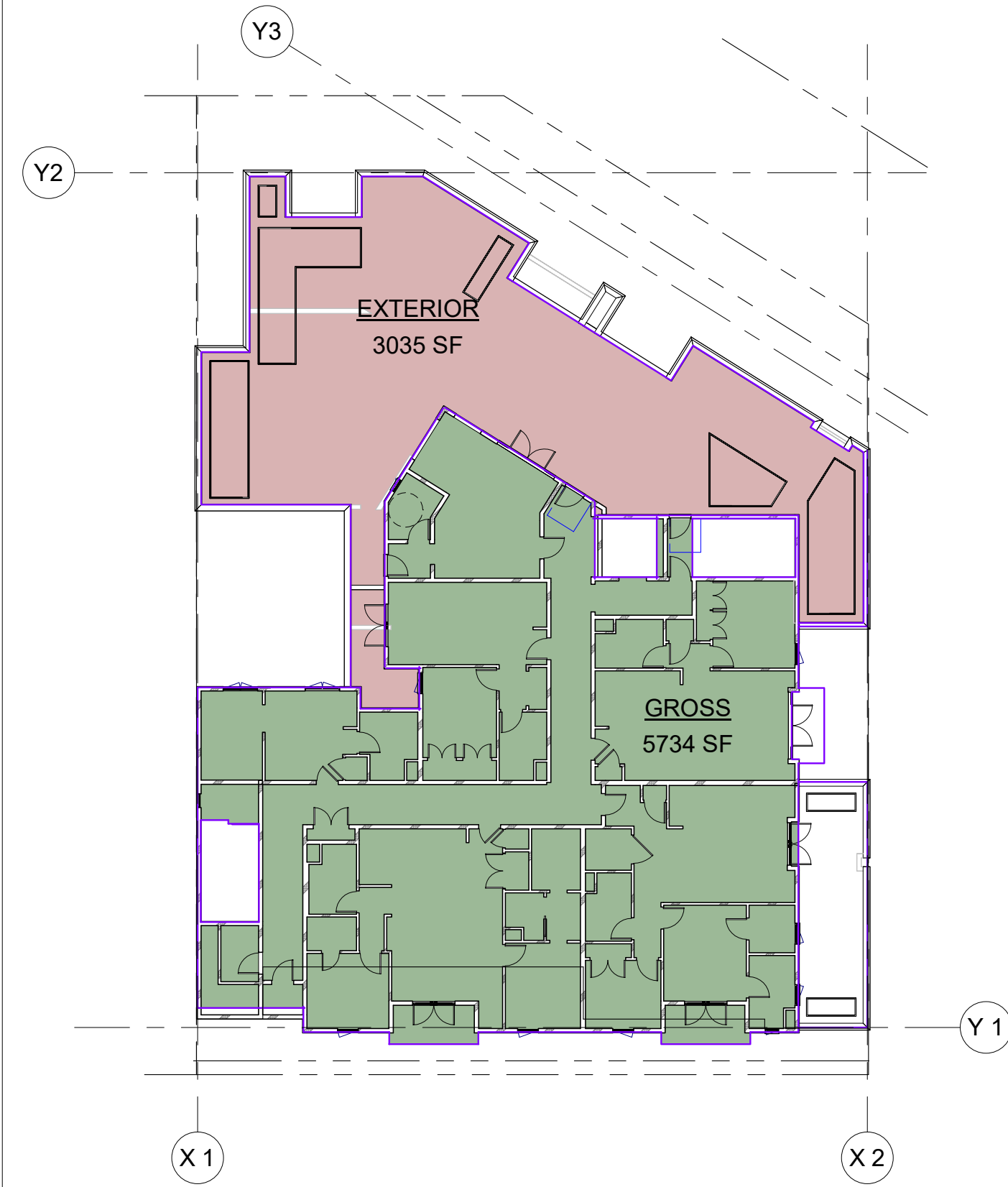
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SHEET CONTENTS
GROSS AREA CALCULATIONS

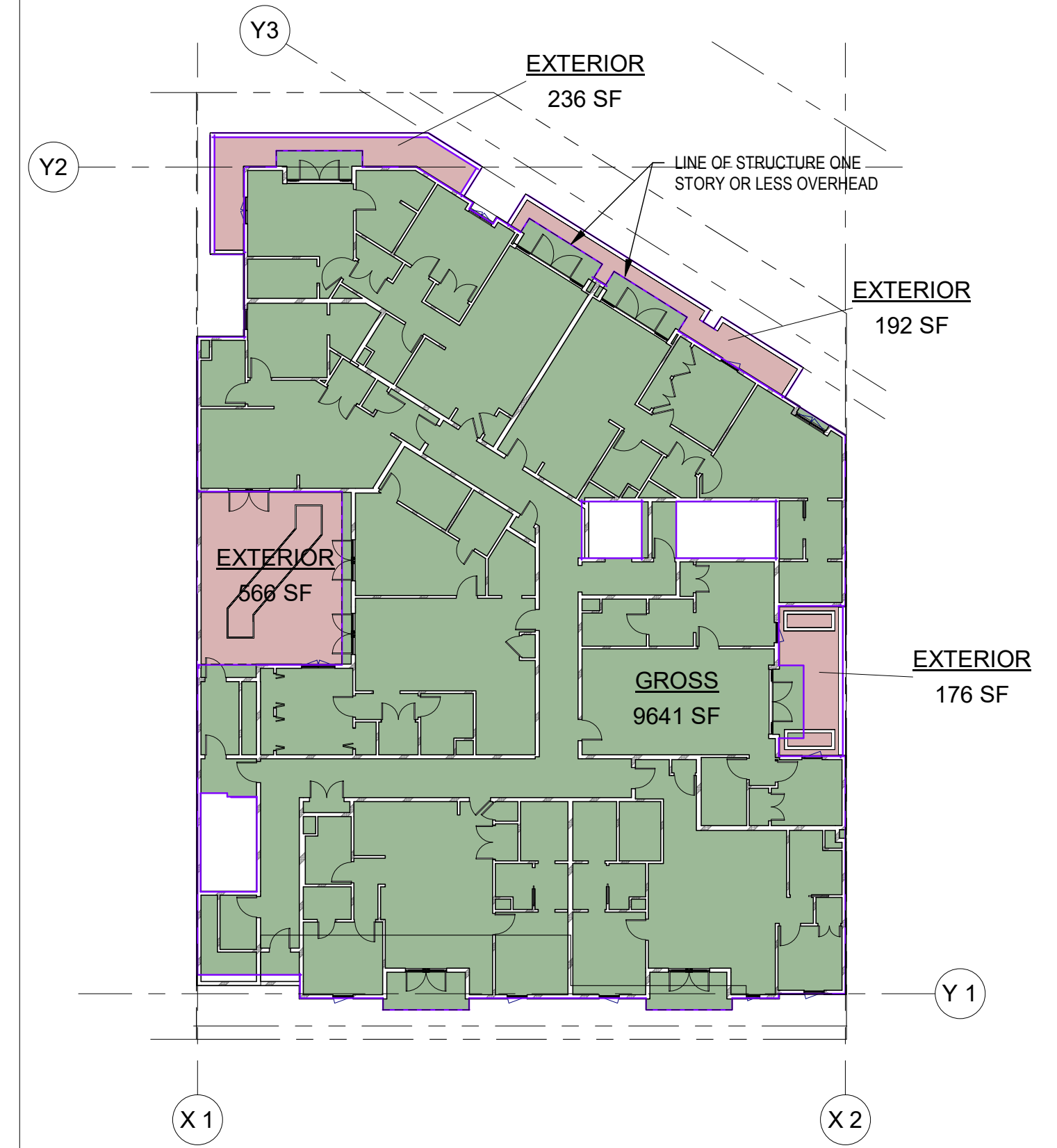
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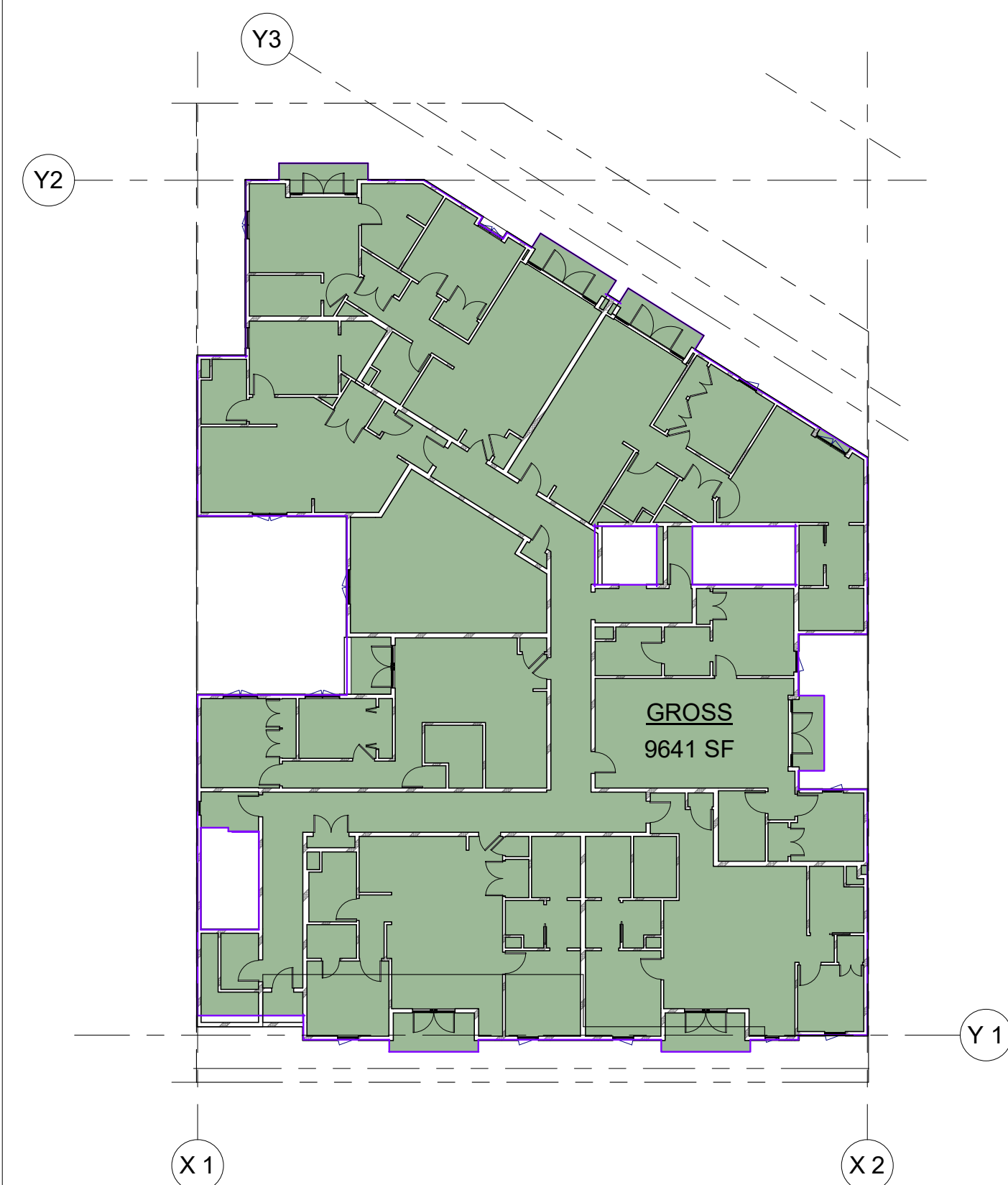
A0.3



GROSS AREA - R3 1" = 20'-0" 4



GROSS AREA - R1 1" = 20'-0" 2



GROSS AREA - R2 1" = 20'-0" 3



GROSS AREA - GROUND FLOOR 1" = 20'-0" 1

Area Schedule (Gross Building)		
Name	Level	Area
GROSS	GROUND FLOOR	11161 SF
GROSS	R1	9641 SF
GROSS	R2	9641 SF
GROSS	R3	5734 SF
		36176 SF
EXTERIOR	R1	1170 SF
EXTERIOR	R3	3035 SF
		4205 SF
		40381 SF



[1] SERENO BUILDING - 467 1ST ST.



[2] 425 1ST STREET



[3] 396 1ST STREET



[4] 385 1ST STREET



CONTEXTUAL BUILDINGS / PROJECTS MAP

3D AERIAL CONTEXT



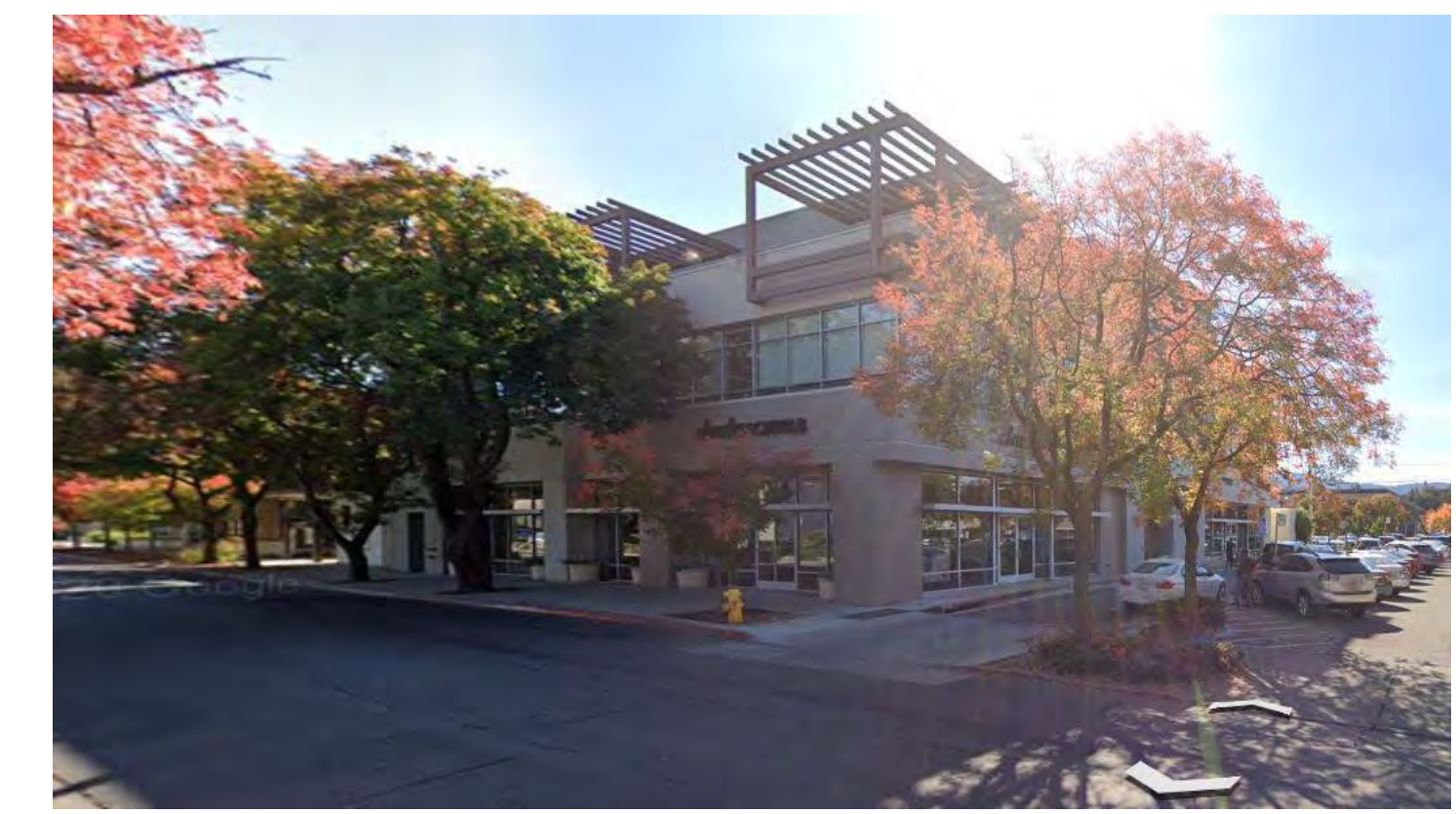
[5] 376 1ST STREET



[6] 355 1ST STREET



[7] 343 2ND STREET



[8] 240 3RD STREET

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CONTEXT SHEET

PROJECT NO: 9942

SHEET
A0.4



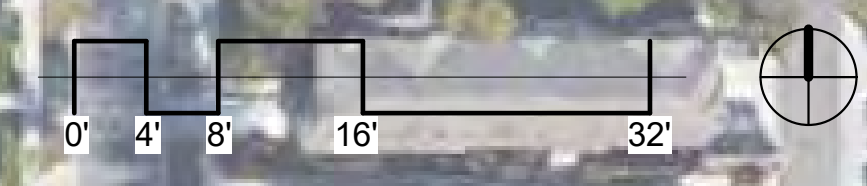
DATE	ISSUANCE OR REVISION
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SHEET CONTENTS
CONTEXT SHEET

PROJECT NO: 9942

SHEET
A0.5



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08/15/2024	RESUBMITTAL #5

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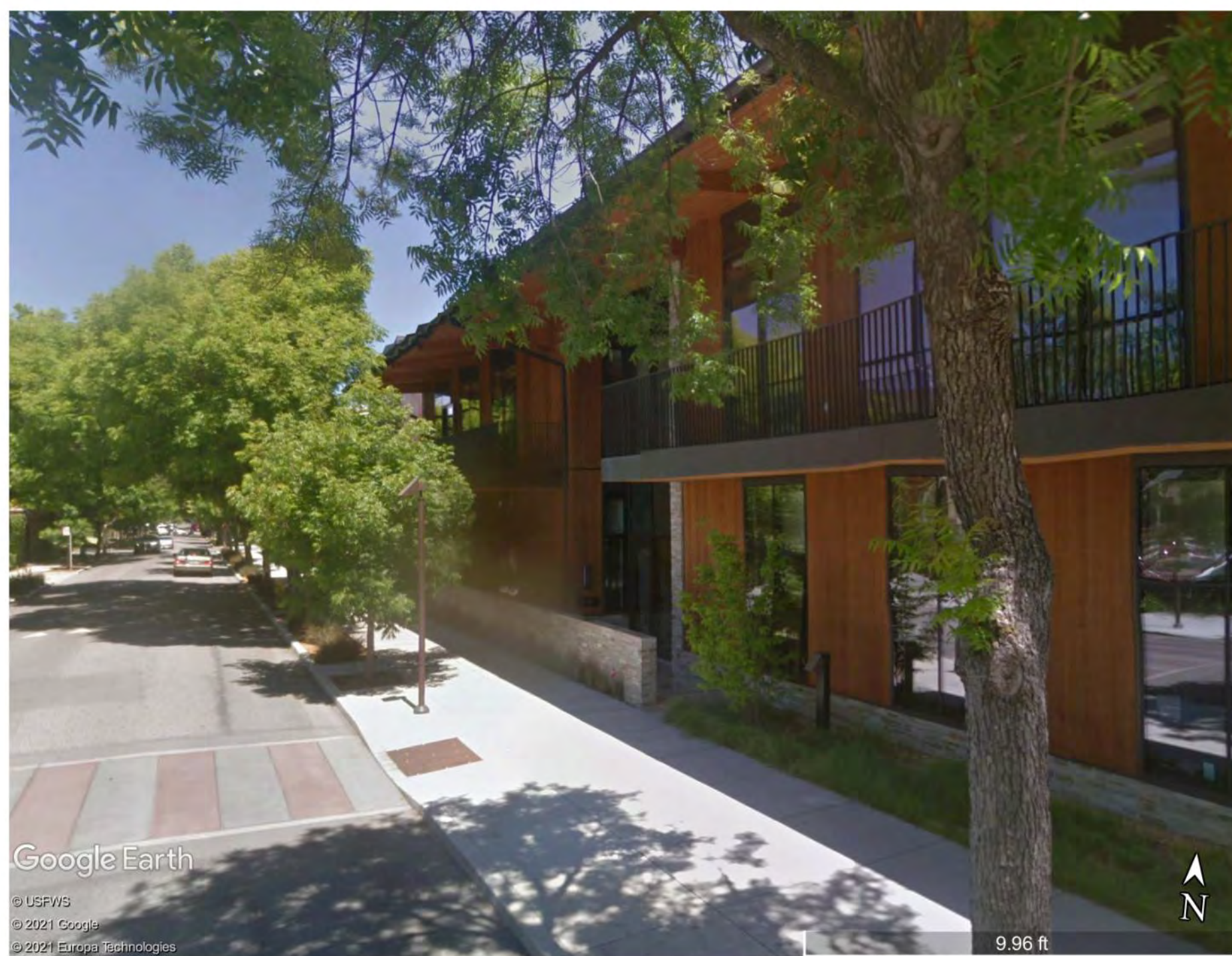
SHEET CONTENTS
CONTEXT SHEET, CONT'D

PROJECT NO: 9942

SHEET
A0.6



EXISTING BUILDINGS FROM ACROSS S. SAN ANTONIO RD.



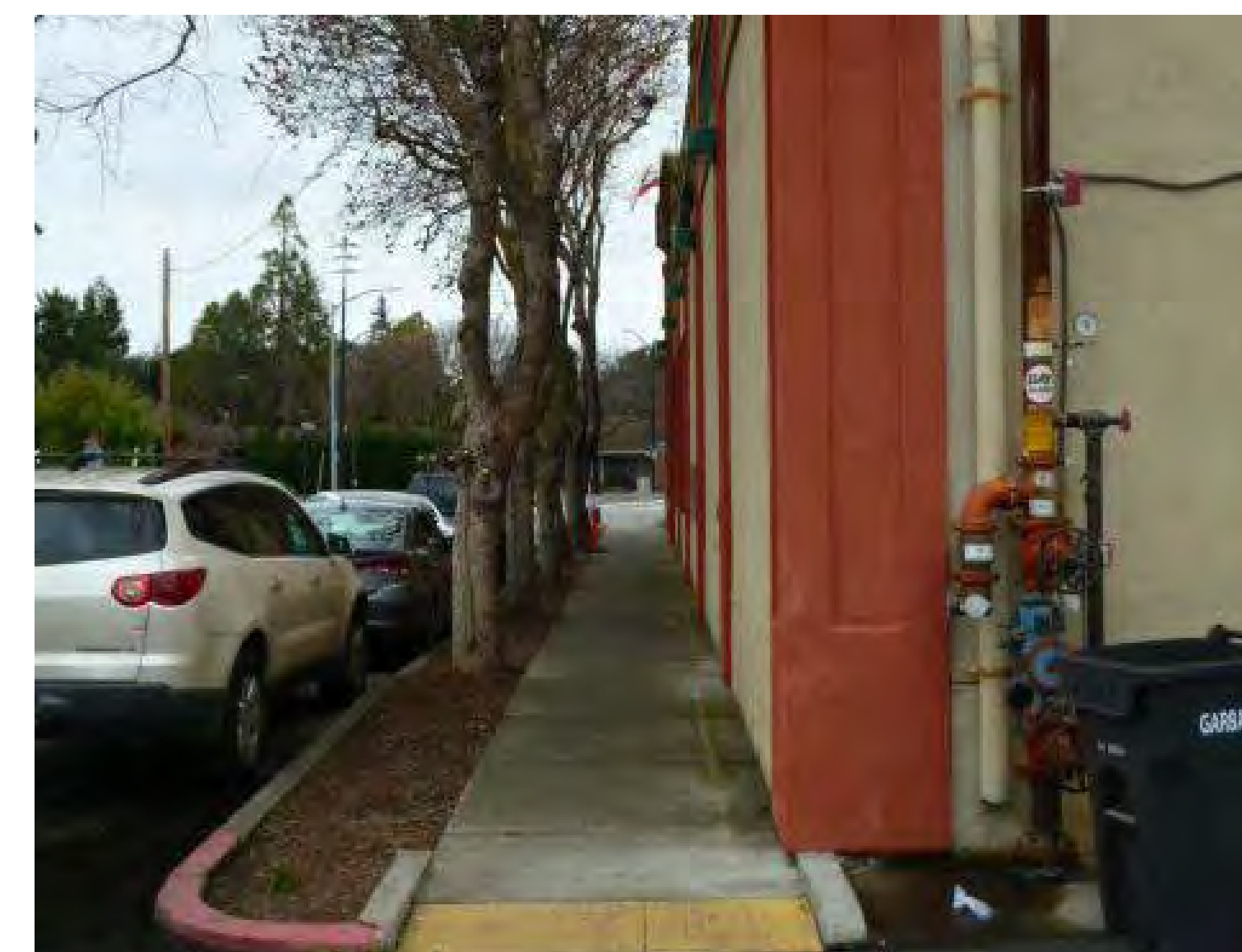
1 PACKARD FOUNDATION BUILDING @ 343 2ND ST.



2 VIEW LOOKING UP S. SAN ANTONIO RD.



3 VIEW FROM SOUTHWEST INTERSECTION OF LYELL AND 1ST ST.



EXISTING BUILDINGS FROM ACCESS ALLEY

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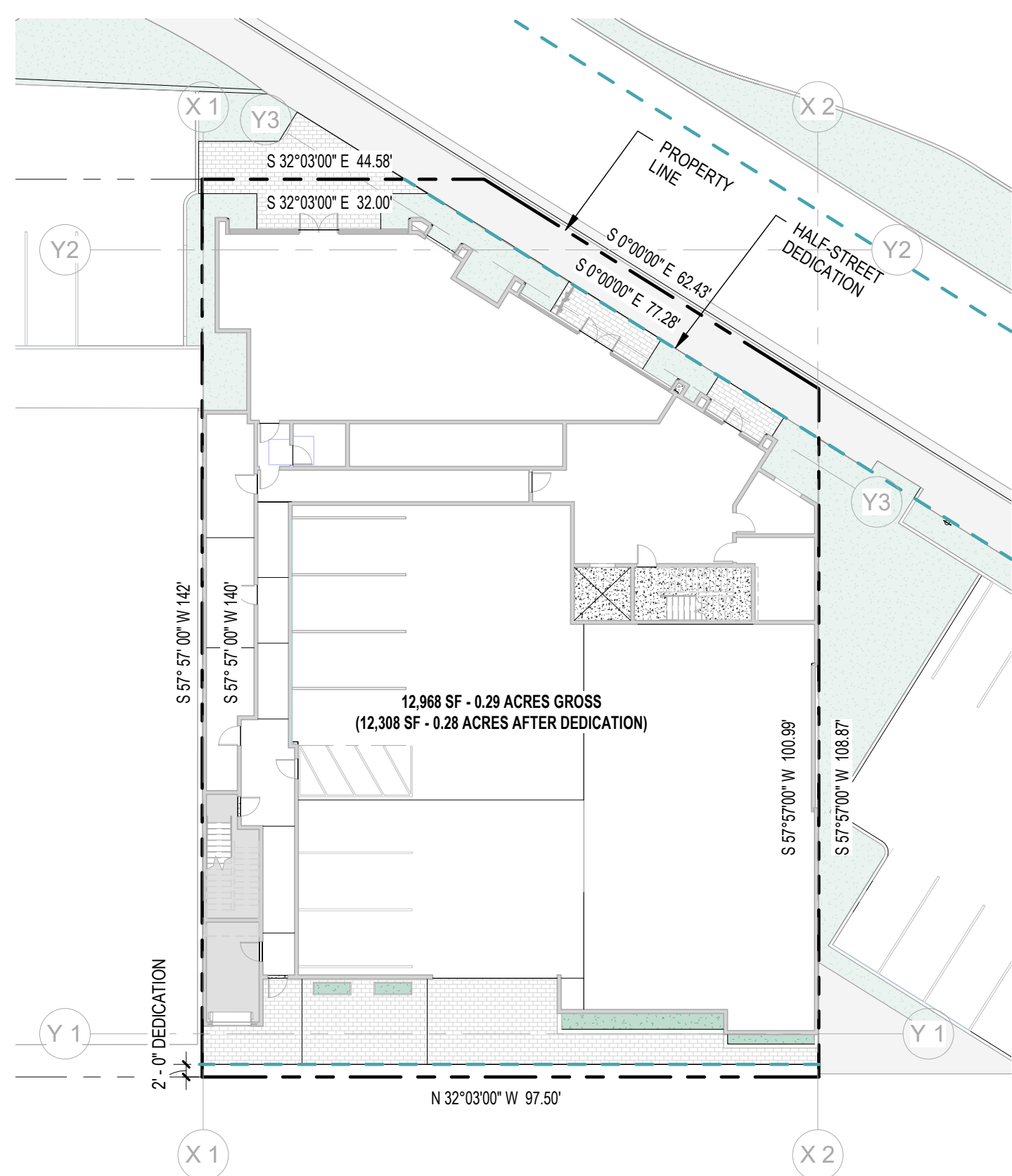
SHEET CONTENTS
SITE PLAN

PROJECT NO: 9942

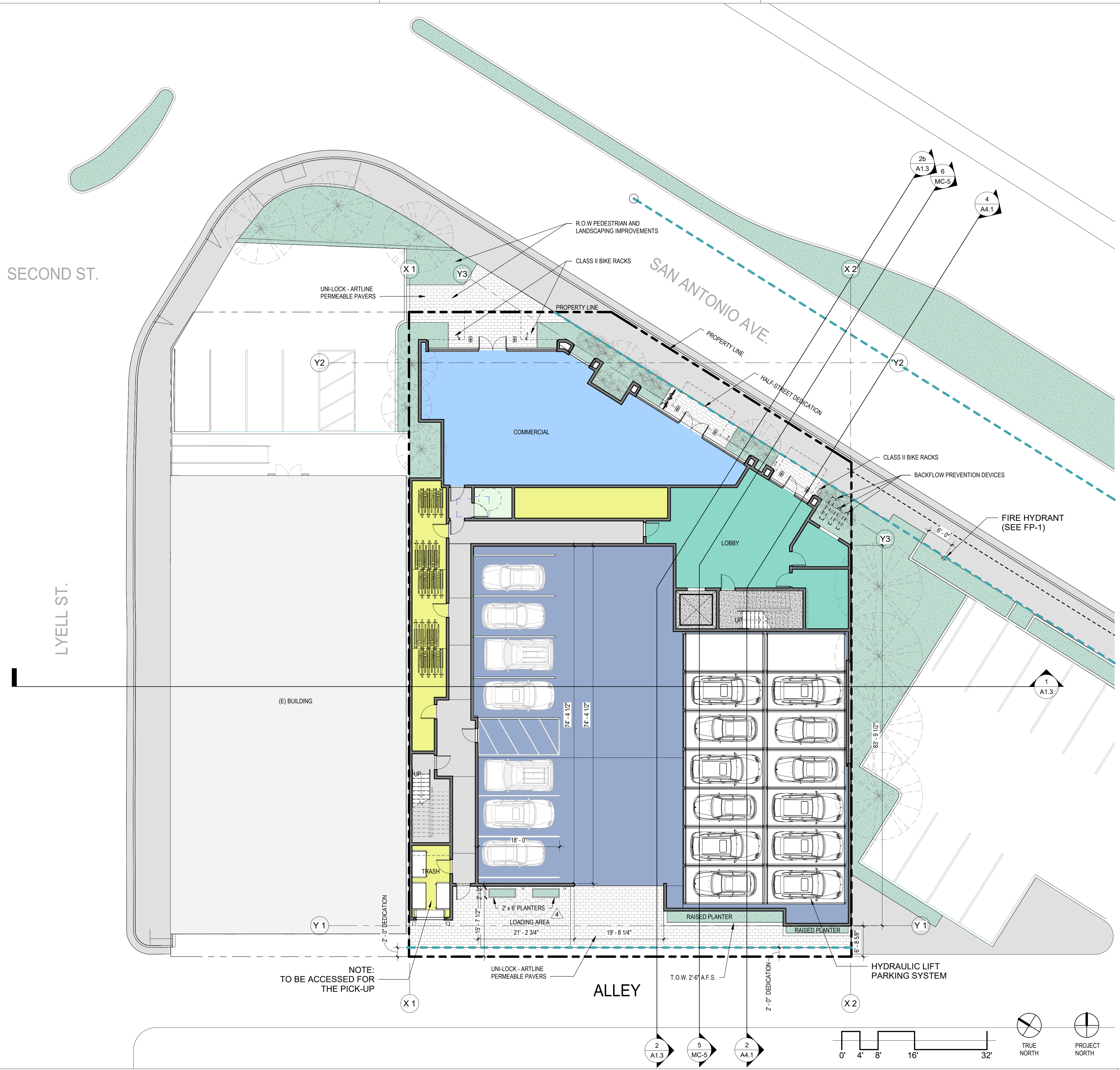
SHEET

A1.1

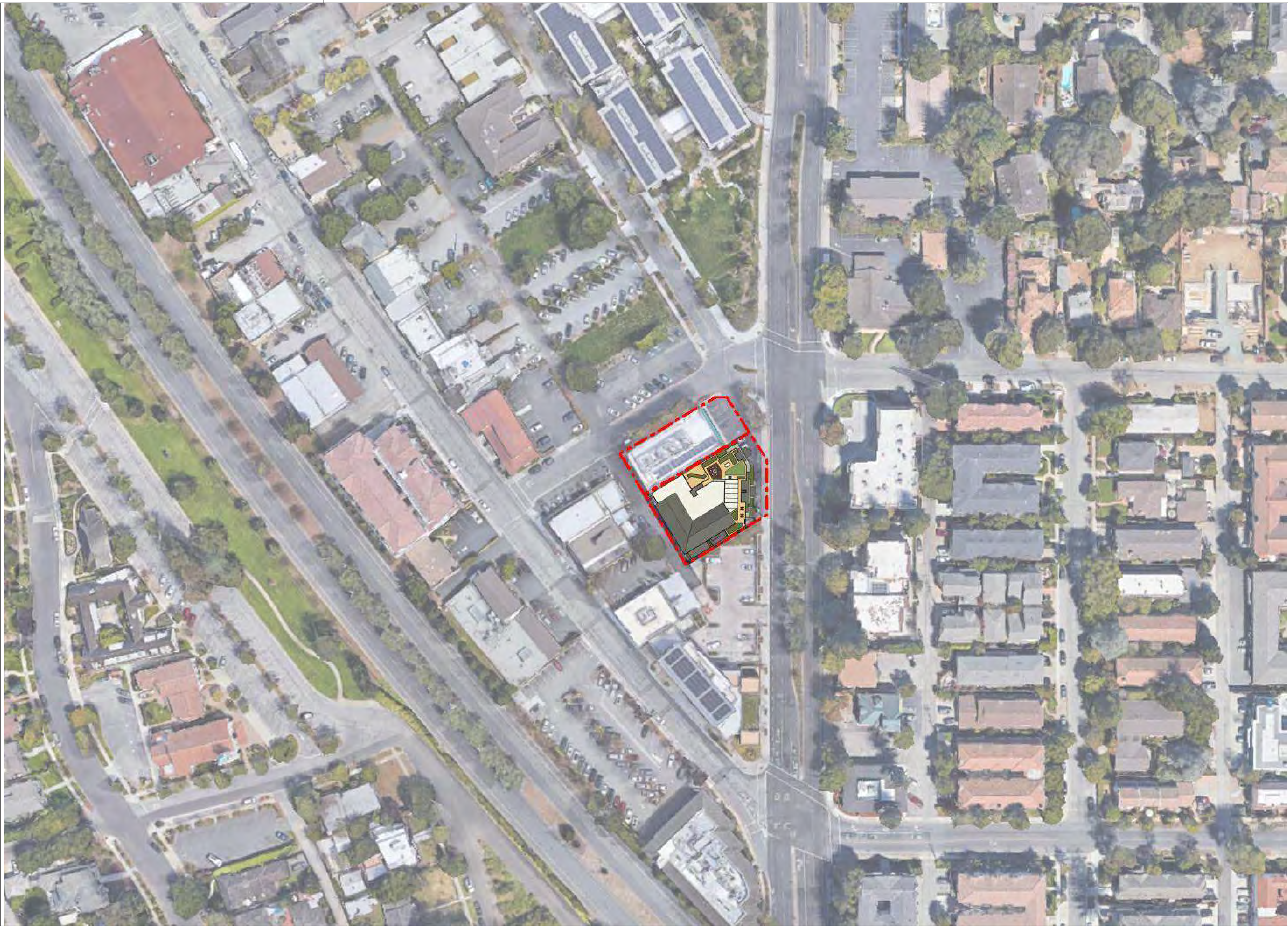
11/12/2024 11:51:56 AM



P.L. AND DEDICATION DIAGRAM 3/64" = 1'-0" 2



SITE PLAN 3/32" = 1'-0" 1



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4/11/2024	RESUBMITTAL #4
08/15/2024	RESUBMITTAL #5

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SHEET CONTENTS
CONTEXTUAL SITE PLAN

PROJECT NO: 9942

SHEET
A1.2

DATE	ISSUANCE OR REVISION
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12/30/2022	RESUBMITTAL #1
3/1/2023	FIRE DEPARTMENT
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10/23/2023	RESUBMITTAL #3
4/11/2024	RESUBMITTAL #4
08/15/2024	RESUBMITTAL #5

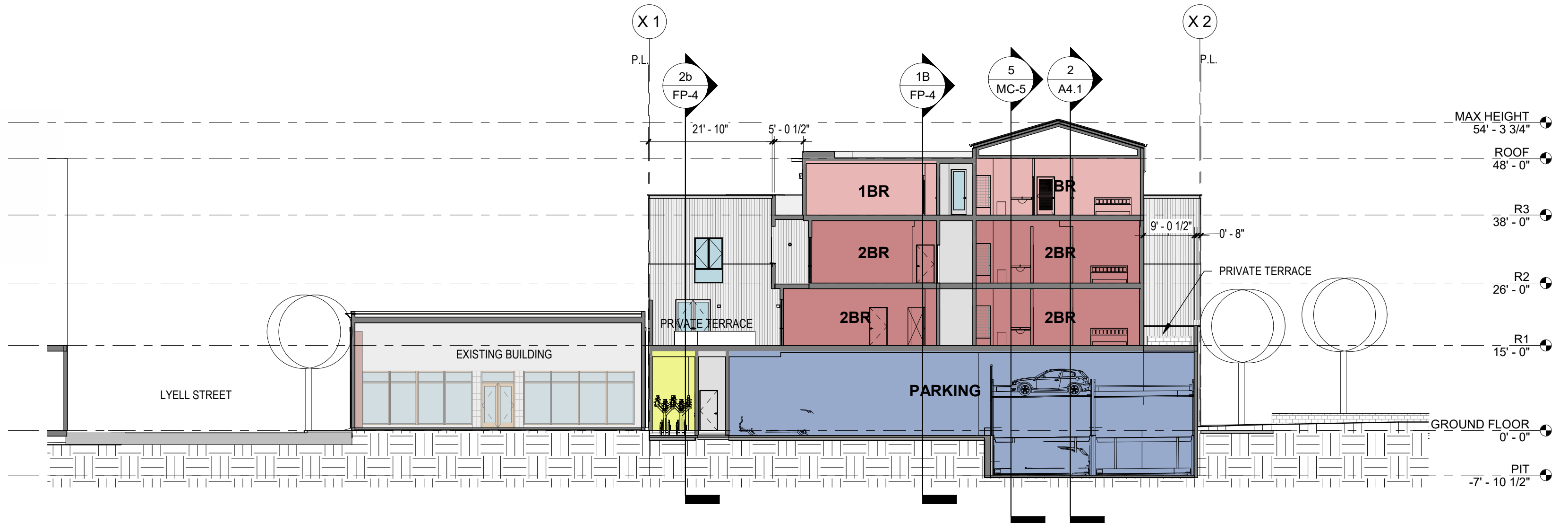
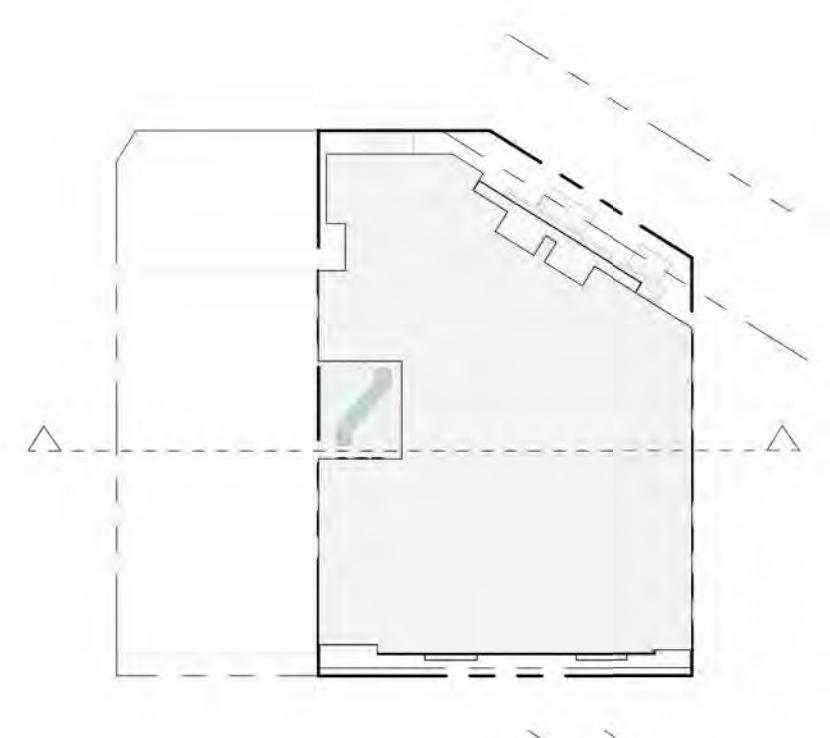
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SHEET CONTENTS
SITE SECTIONS

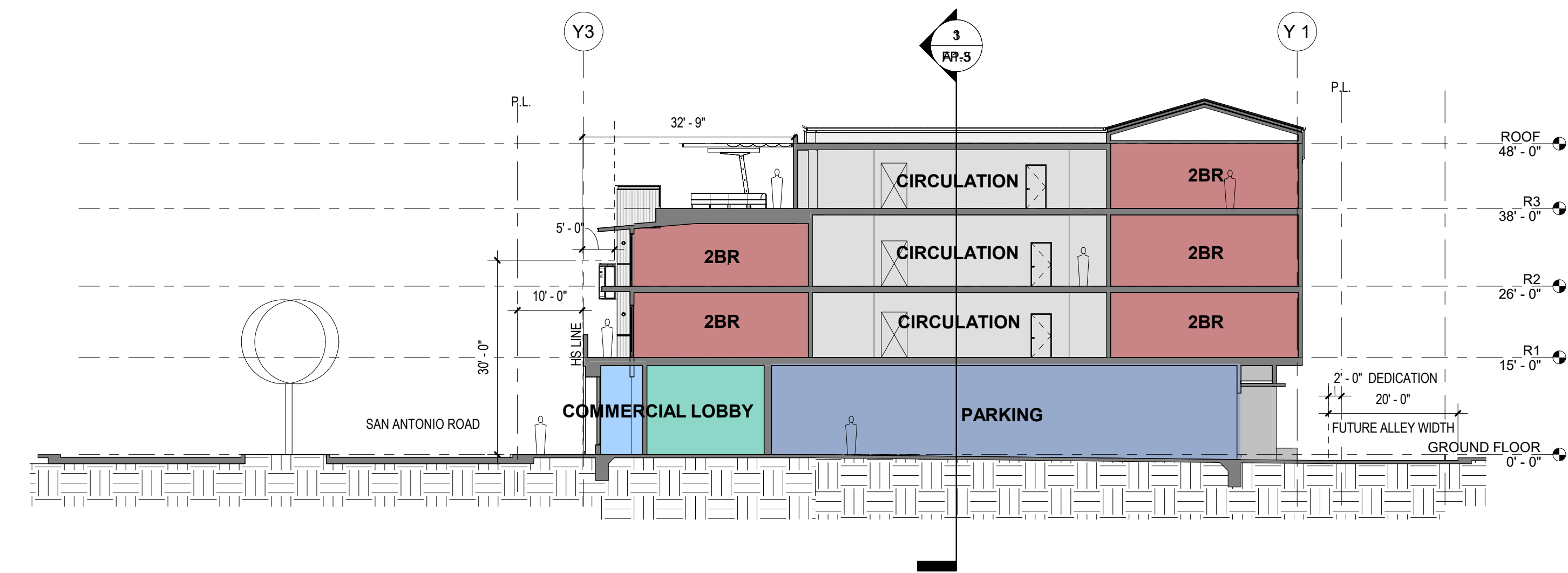
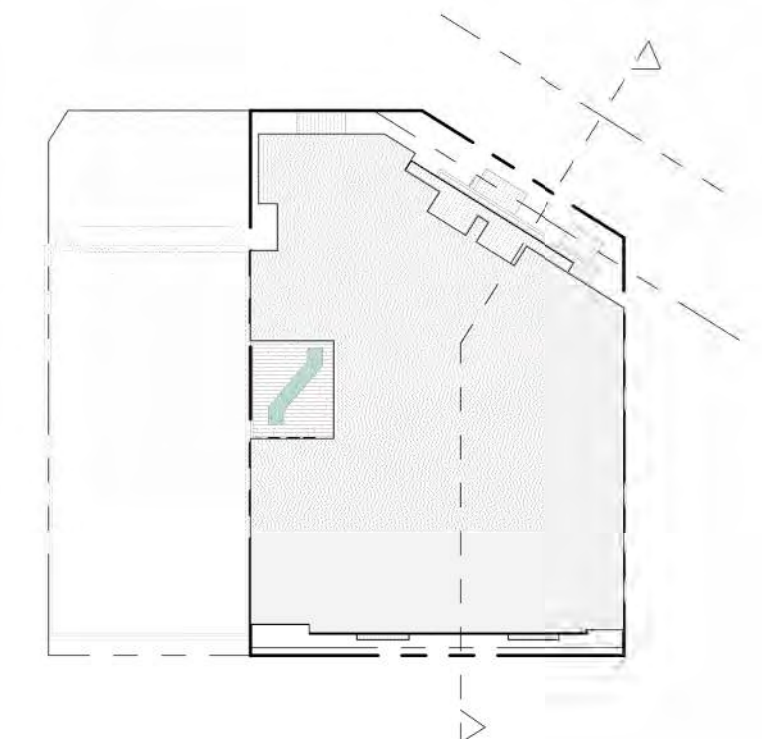
PROJECT NO: 9942

SHEET

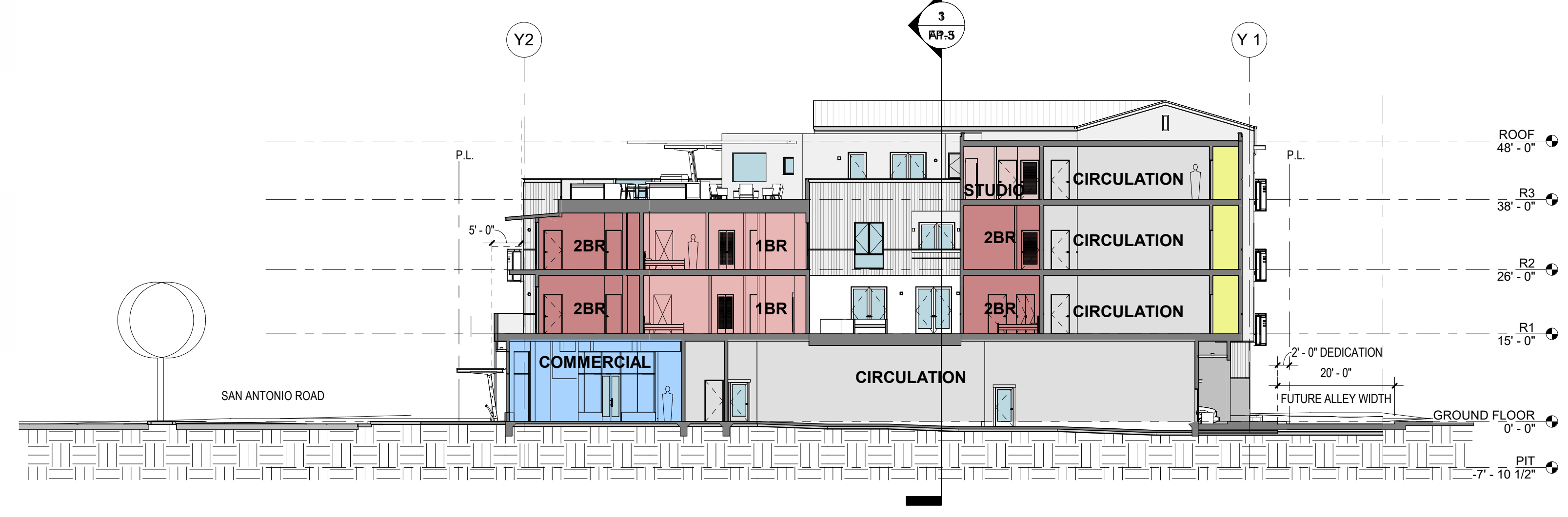
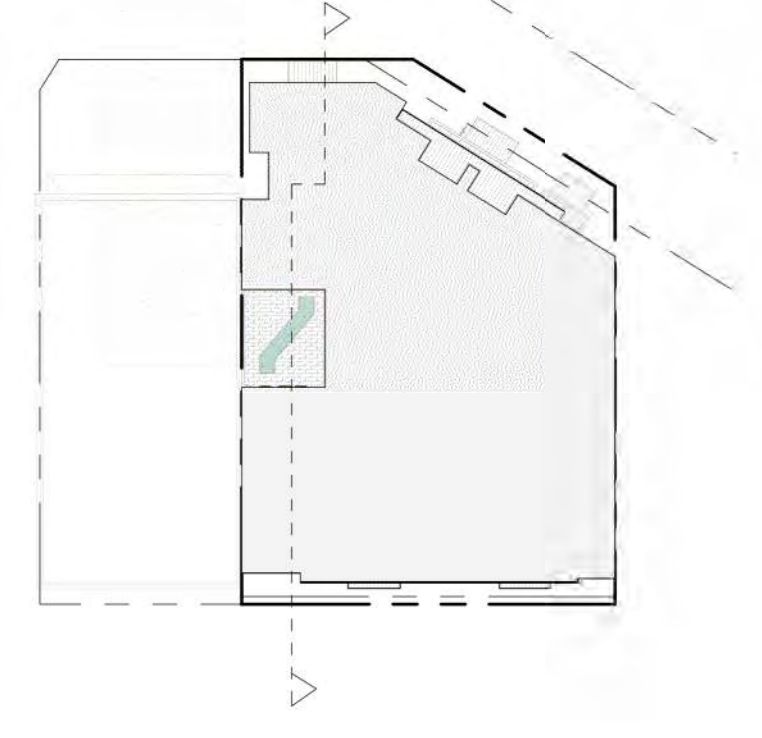
A1.3



SITE SECTION 3 1/16" = 1'-0" 1



SITE SECTION 2 1/16" = 1'-0" 2



SITE SECTION 1, 1/16" = 1'-0" 3

DATE	ISSUANCE OR REVISION
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4/11/2024	RESUBMITTAL #4
05/17/2024	REVISIONTAL #5

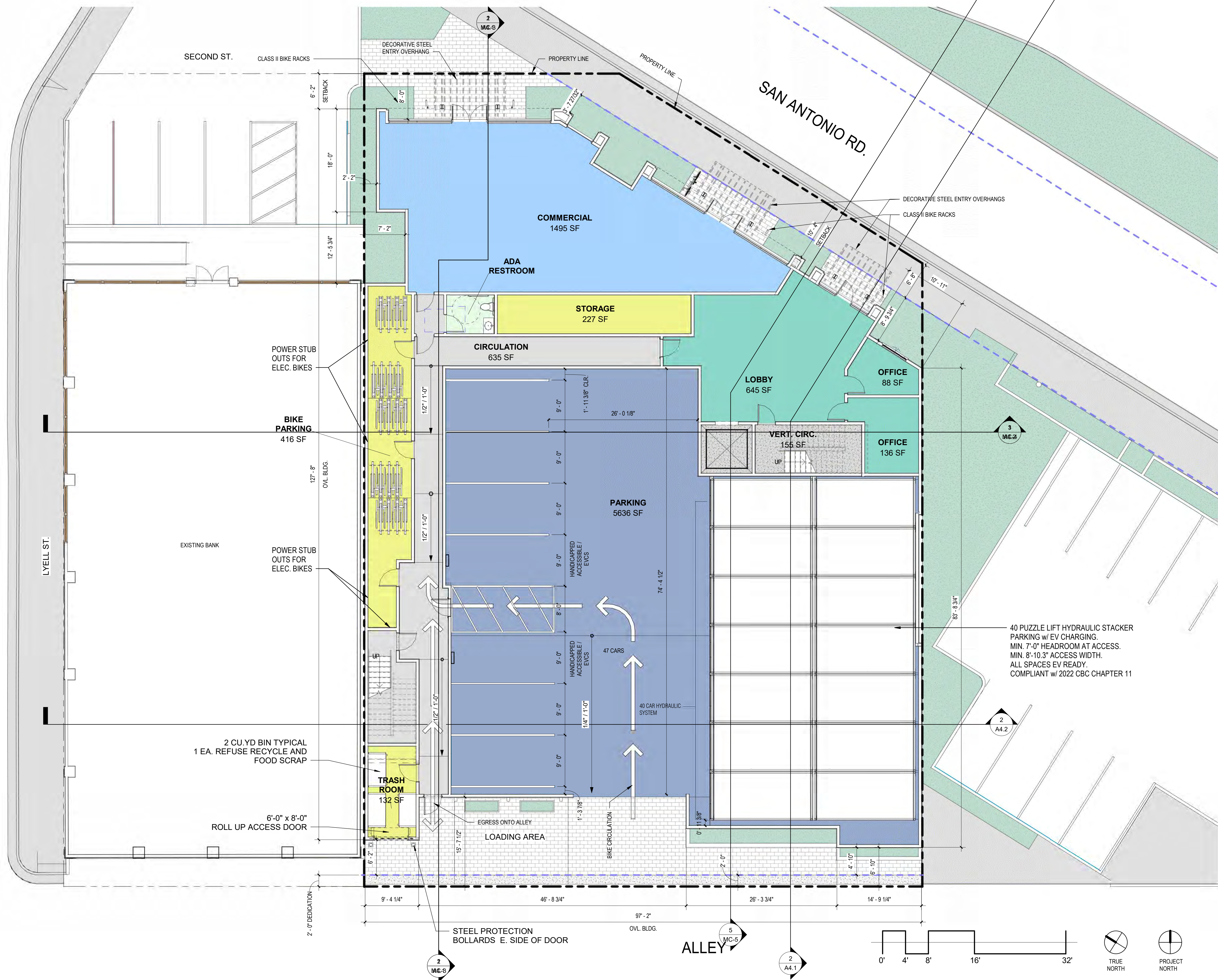
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SHEET CONTENTS
GROUND FLOOR PLAN

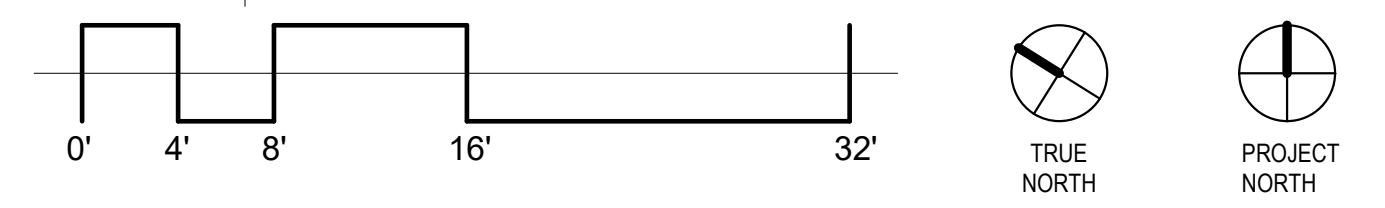
PROJECT NO: 9942

SHEET

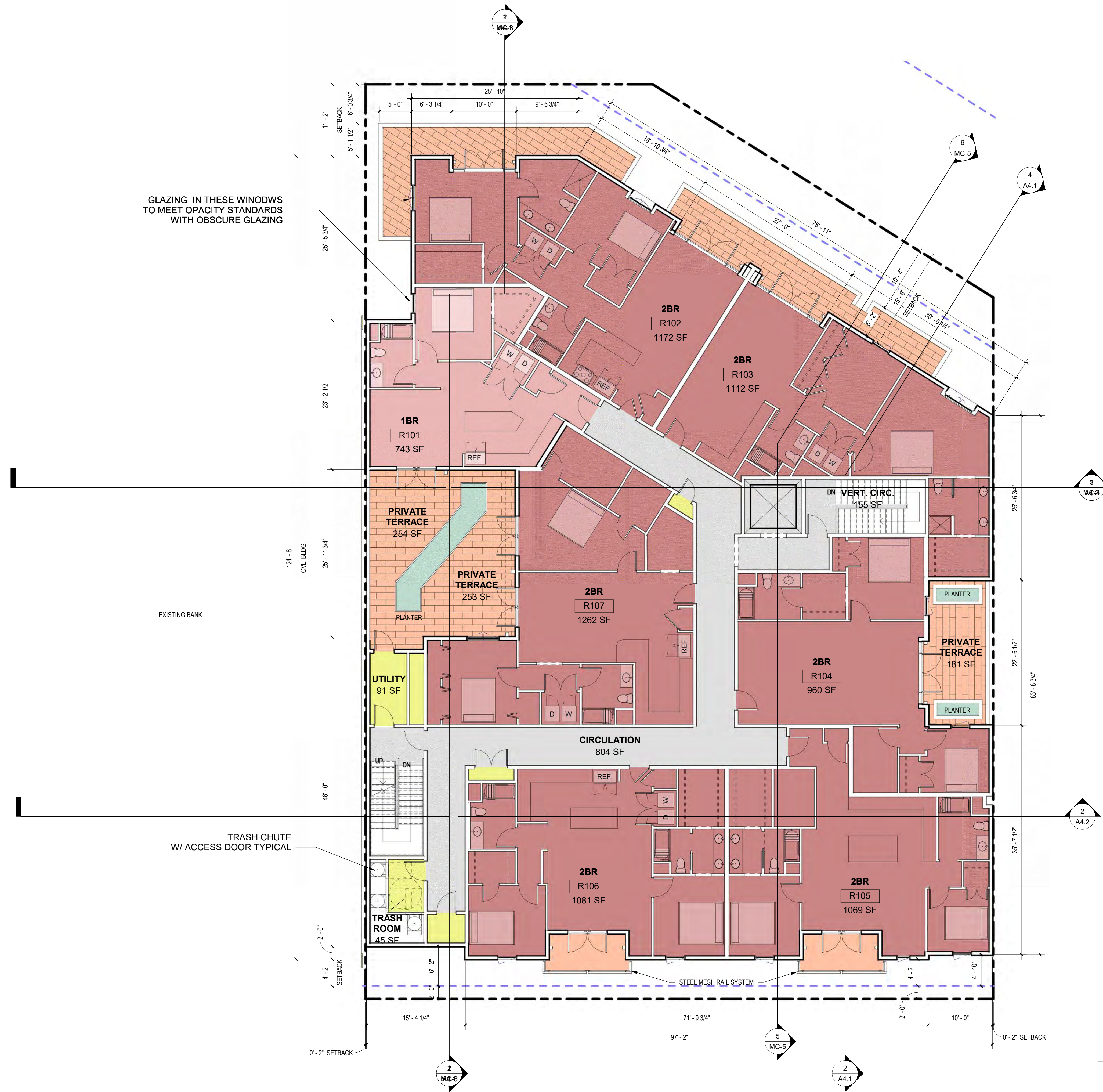
A2.1



40 PUZZLE LIFT HYDRAULIC STACKER PARKING w/ EV CHARGING. MIN. 7'-0" HEADROOM AT ACCESS. MIN. 8'-10.3" ACCESS WIDTH. ALL SPACES EV READY. COMPLIANT w/ 2022 CBC CHAPTER 11



GLAZING IN THESE WINDOW
TO MEET OPACITY STANDARDS
WITH OBSCURE GLAZING



UNIT SCHEDULE

NUMBER	UNIT TYPE	AREA	INCOME LEVEL
R101	1BR	743 SF	MR
R102	2BR	1172 SF	MR
R103	2BR	1112 SF	MR
R104	2BR	960 SF	MR
R105	2BR	1069 SF	MR
R106	2BR	1081 SF	MR
R107	2BR	1262 SF	MR
TOTAL: 7		7399 SF	

MR - MARKET RATE
VL - VERY LOW INCOME
M - MODERATE INCOME

DATE: ISSUANCE OR REVISION

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08/15/2024	RESUBMITTAL #5

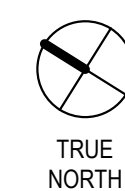
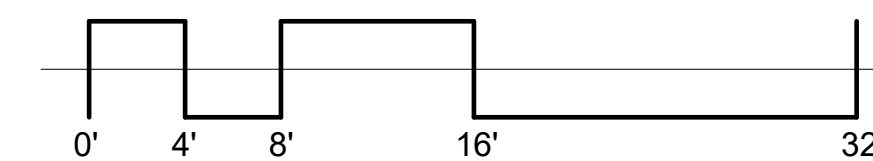
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SHEET CONTENTS
R1 FLOOR PLAN

PROJECT NO: 9942

SHEET

A2.2



DATE:	ISSUANCE OR REVISION
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4/11/2024	RESUBMITTAL #4
08/15/2024	RESUBMITTAL #5
10/10/2024	REVISED FINAL

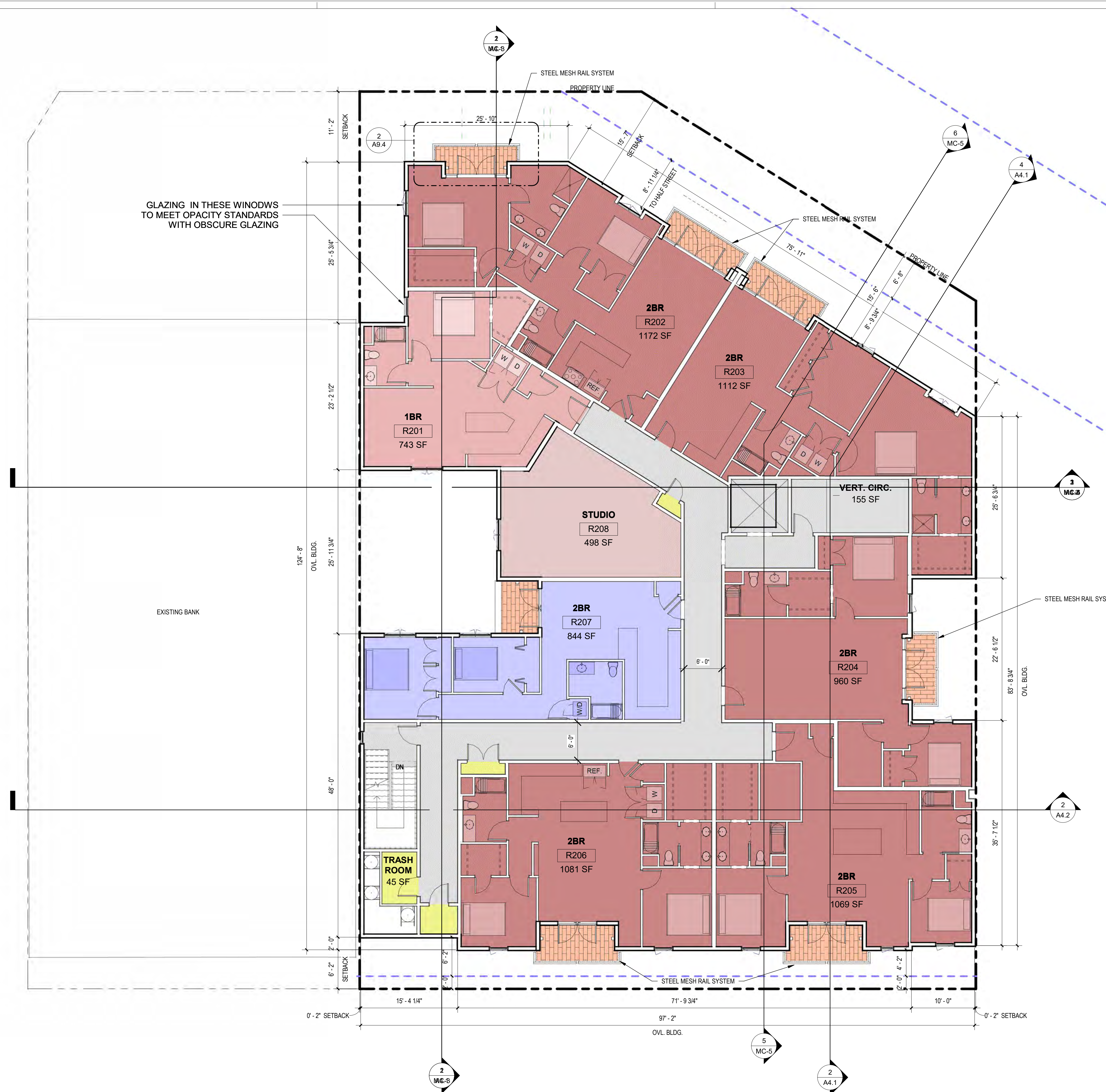
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SHEET CONTENTS
R2 FLOOR PLAN

PROJECT NO: 9942

SHEET

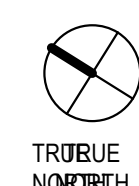
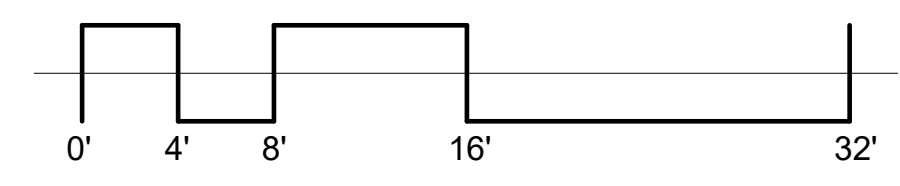
A2.3



UNIT SCHEDULE

NUMBER	UNIT TYPE	AREA	INCOME LEVEL
R201	1BR	743 SF	MR
R202	2BR	1172 SF	MR
R203	2BR	1112 SF	MR
R204	2BR	960 SF	MR
R205	2BR	1069 SF	MR
R206	2BR	1081 SF	MR
R207	2BR	844 SF	M
R208	STUDIO	498 SF	MR
TOTAL: 8		7478 SF	

MR - MARKET RATE
VL - VERY LOW INCOME
M - MODERATE INCOME
DENOTES BELOW MARKET-RATE UNITS



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08/15/2024	RESUBMITTAL #5
10/10/2024	REVISED FINAL

UNIT SCHEDULE			
NUMBER	UNIT TYPE	AREA	INCOME LEVEL
R301	1BR	746 SF	MR
R302	2BR	993 SF	MR
R303	2BR	1081 SF	MR
R304	STUDIO	380 SF	M
R305	1BR	576 SF	VL
TOTAL: 5		3777 SF	

MR - MARKET RATE
VL - VERY LOW INCOME
M - MODERATE INCOME

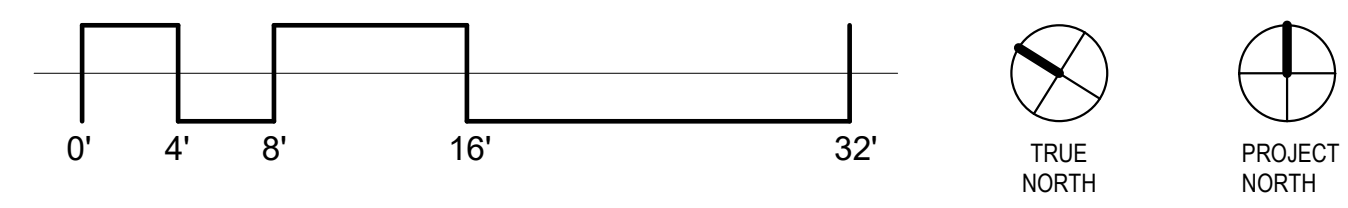
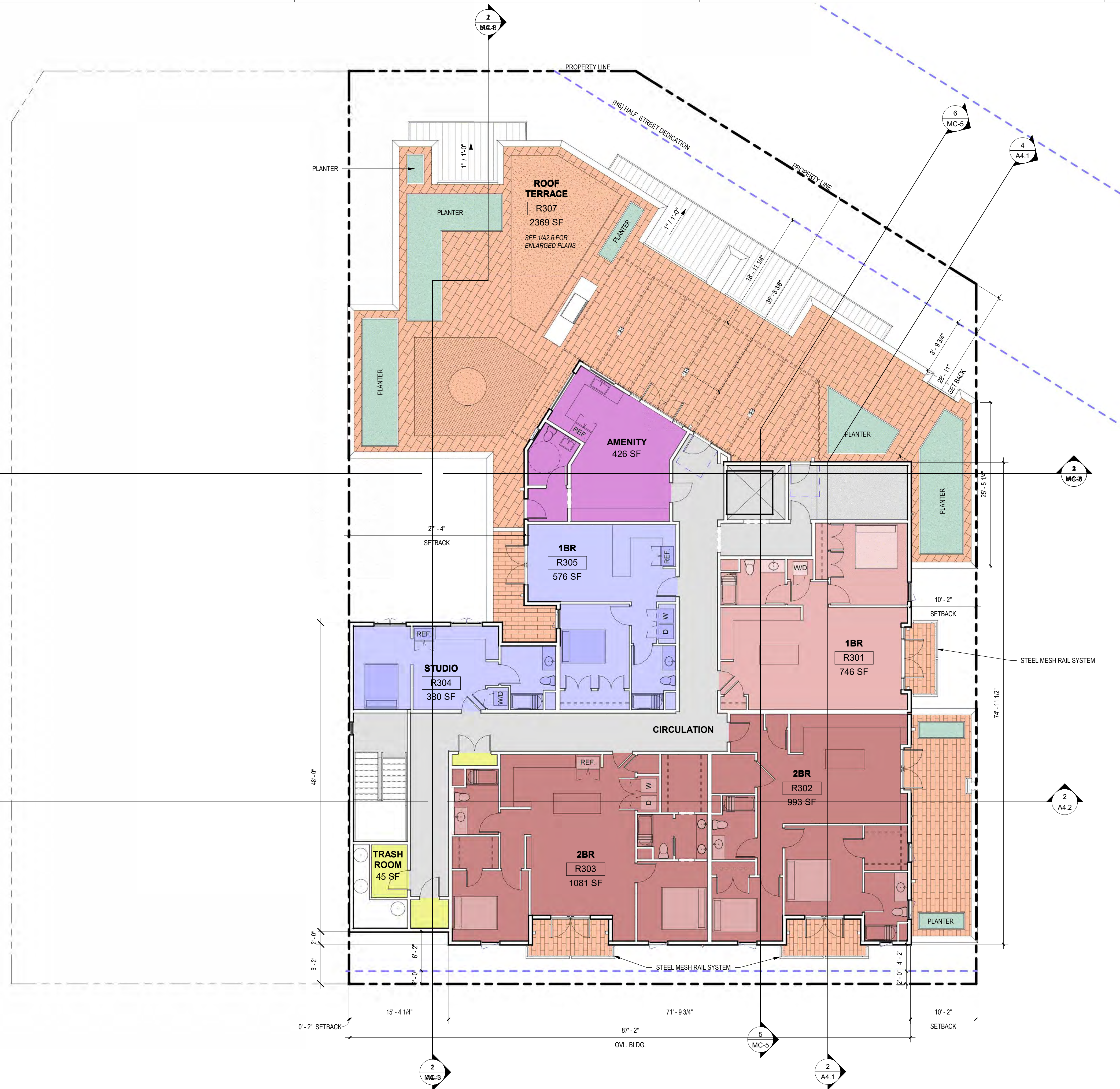
■ DENOTES BELOW MARKET-RATE UNITS

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SHEET CONTENTS
R3 FLOOR PLAN

PROJECT NO: 9942

SHEET
A2.4



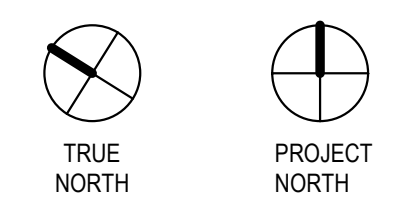
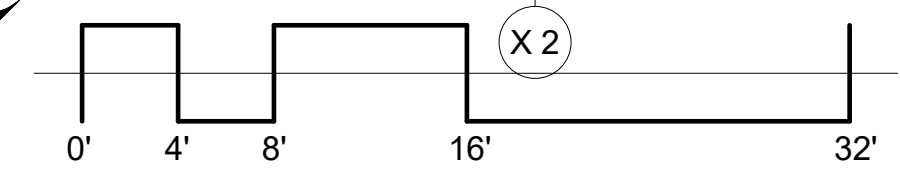
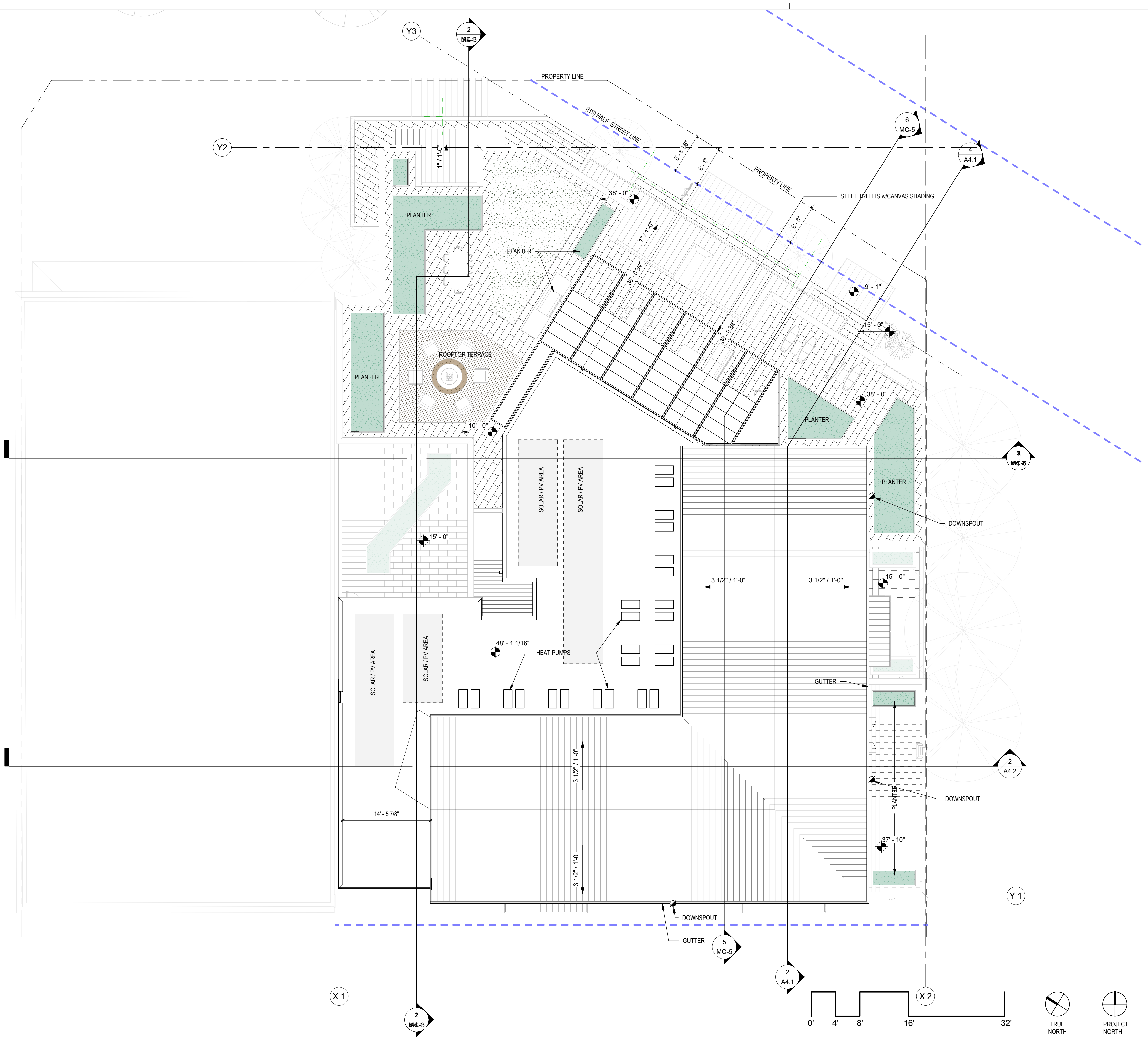
DATE:	ISSUANCE OR REVISION
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10/23/2023	RESUBMITTAL #3
4/11/2024	RESUBMITTAL #4
05/17/2024	REVISIONS TAL #5

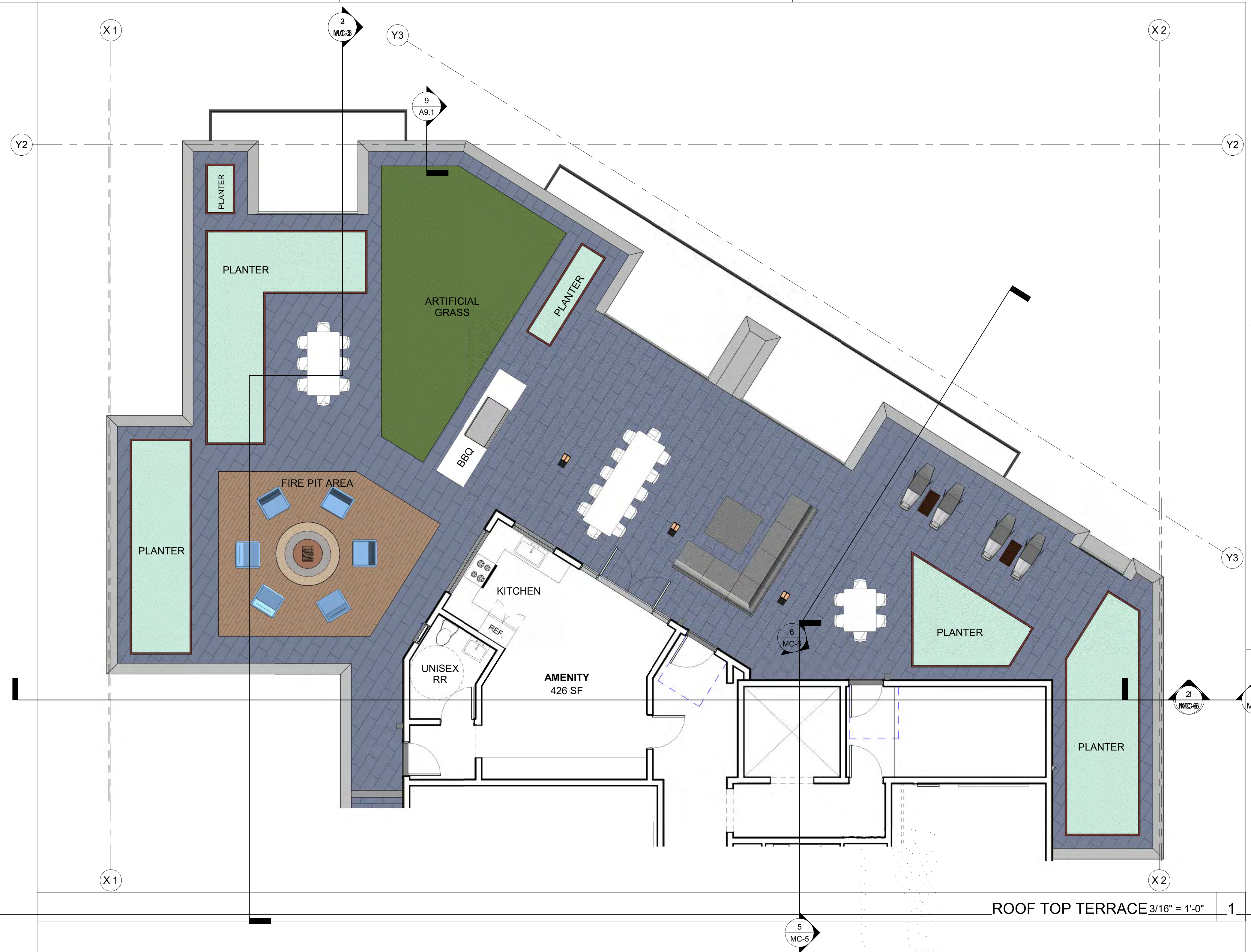
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SHEET CONTENTS
ROOF PLAN

PROJECT NO: 9942

SHEET
A2.5





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08/15/2024	RESUBMITTAL #5

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SHEET CONTENTS
ROOF TOP TERRACE PLAN

PROJECT NO: 9942

SHEET
A2.6



NORTHEAST ELEVATION 1/8" = 1'-0" 2



NORTH ELEVATION 1/8" = 1'-0" 1

DATE	ISSUANCE OR REVISION
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10/23/2023	RESUBMITTAL #3
4/11/2024	RESUBMITTAL #4
08/15/2024	RESUBMITTAL #5

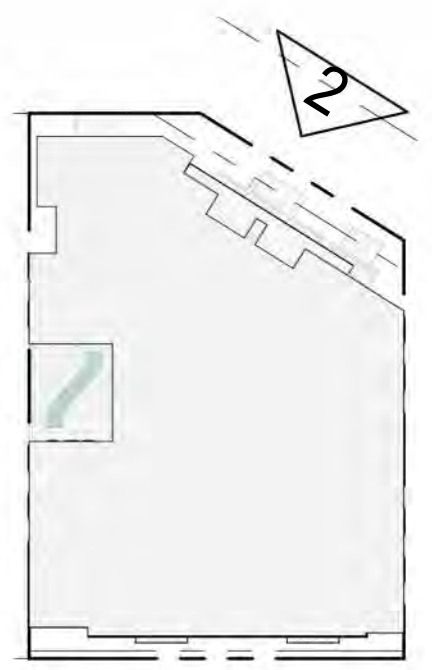
ELEVATION KEYNOTES	
NO.	DESCRIPTION
01	STANDING SEAM METAL ROOF - ZINC
02	VERTICAL SET HARDWOOD RAINSCREEN
03	NATURAL DIMENSIONAL STONE CLADDING - GREY BASALT
04	WEATHERED STANDING SEAM VERTICAL WALL PANELS - RHEINZINK GRAPHITE GREY
05	BOARD-FORMED NATURAL CONCRETE
06	DECORATIVE STONE ACCENT SURROUND - CROSSVILLE STATE OF GRACE
12	SMOOTH STEEL-TROWELED PLASTER - PAINTED - BENJAMIN MOORE - DUNE WHITE
13	SILESTONE - POSIDONIA GREEN - HYBRIQ SIDING
14	WOVEN STAINLESS STEEL MESH GUARDRAIL SCREEN - BANKER + - RIPPLE - FLEXIBLE MESH
16	CLASS II BIKE RACK - FORMS + SURFACES - BIKE GARDEN BIKE RACK
20	DECORATIVE STEEL ENTRY OVERHANG - SEE A9.3 FOR DETAILS
21	STEEL TRELLIS w/CANVAS SHADING
22	GLASS RAILING AT ROOF DECK. SEE A9.5 FOR DETAIL

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SHEET CONTENTS
ELEVATIONS

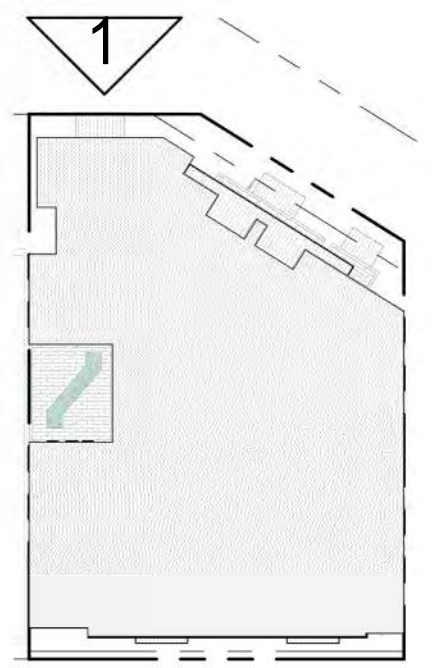
PROJECT NO: 9942

SHEET
A3.1



NORTH EAST ELEVATION 1/8" = 1'-0"

2



NORTH ELEVATION 1/8" = 1'-0"

1

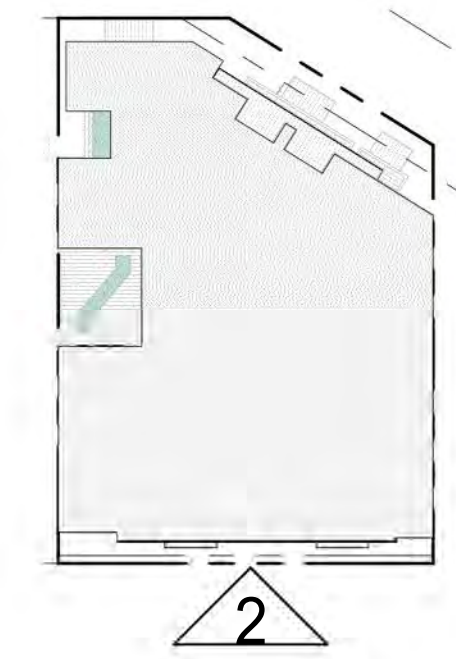
DATE:	ISSUANCE OR REVISION
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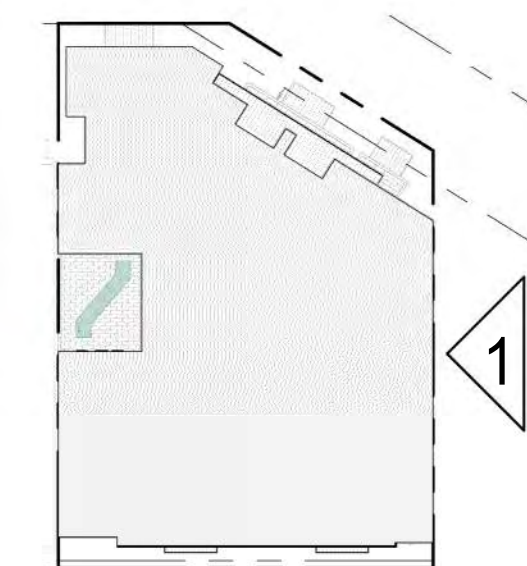
SHEET CONTENTS
ELEVATIONS w/ TREES

PROJECT NO: 9942

SHEET
A3.1a



SOUTH ELEVATION 1/8" = 1'-0" 2



EAST ELEVATION 1/8" = 1'-0" 1

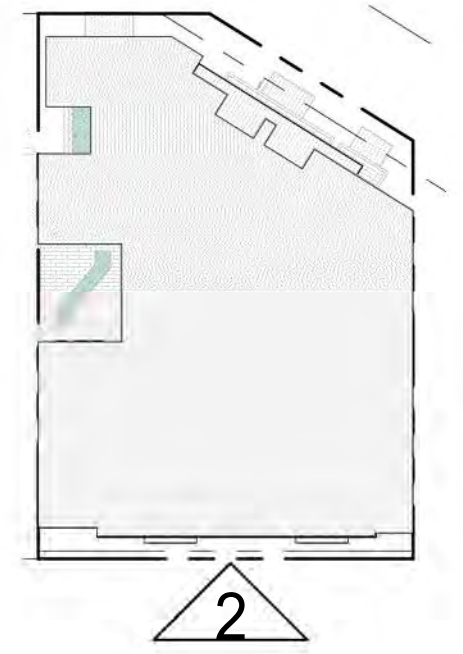
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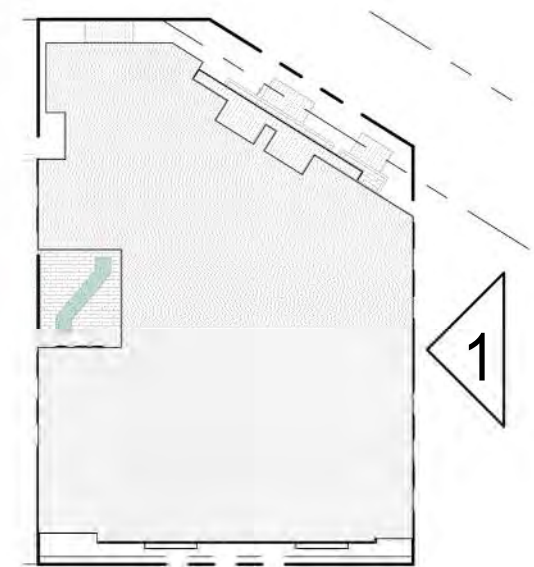
SHEET CONTENTS
ELEVATIONS

PROJECT NO: 9942

SHEET
A3.2



SOUTH ELEVATION 1/8" = 1'-0" 2



EAST ELEVATION 1/8" = 1'-0" 1

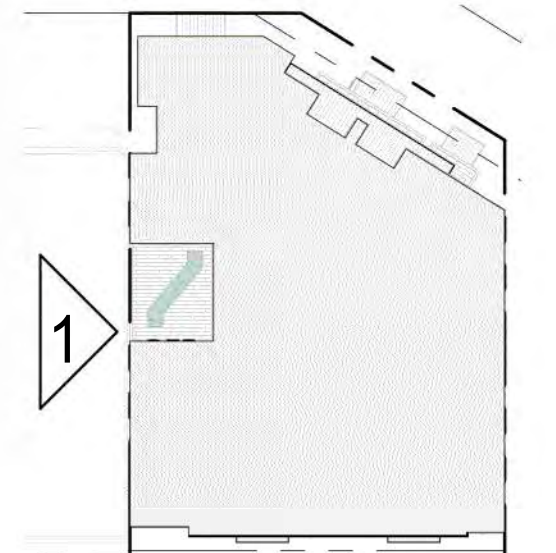
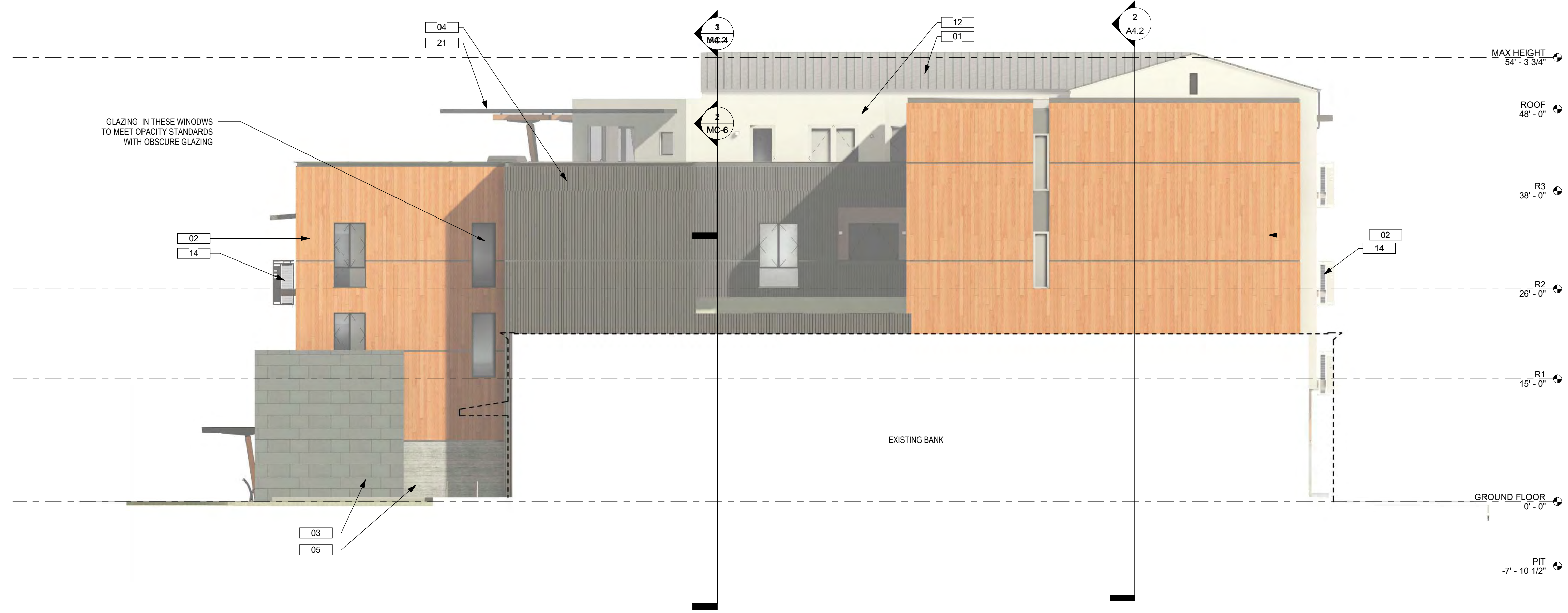
DATE	ISSUANCE OR REVISION
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SHEET CONTENTS
ELEVATIONS w/ TREES

PROJECT NO: 9942

SHEET
A3.2a



DATE:	ISSUANCE OR REVISION
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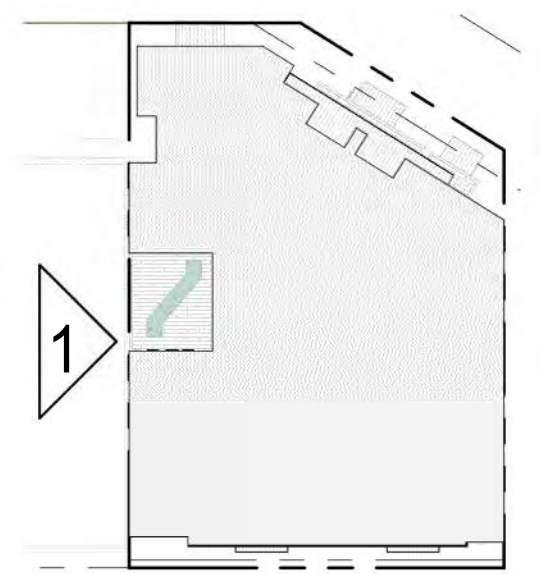
SHEET CONTENTS
ELEVATIONS

PROJECT NO: 9942

SHEET
A3.3

LOS ALTOS MIXED USE

APN: 167-44-072
400 470 & 428 7ND AVE
LOS ALTOS, CA 94022
PLANNING



DATE:	ISSUANCE OR REVISION
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SHEET CONTENTS
ELEVATIONS w/ TREES

PROJECT NO: 9942

SHEET
A3.3a





VIEW FROM DIAGONALLY ACROSS INTERSECTION 12" = 1'-0" 1



VIEW LOOKING UP SAN ANTONIO RD. 12" = 1'-0" 2

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4/11/2024	RESUBMITTAL #4
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SHEET CONTENTS

3D VIEWS

PROJECT NO: 9942

SHEET

A3.4



VIEW FROM ACROSS SAN ANTONIO RD. 12" = 1'-0"

1



VIEW FROM LYELL / 2ND ST. / SAN ANTONIO RD. INTERSECTION 12" = 1'-0"

2

DATE	ISSUANCE OR REVISION
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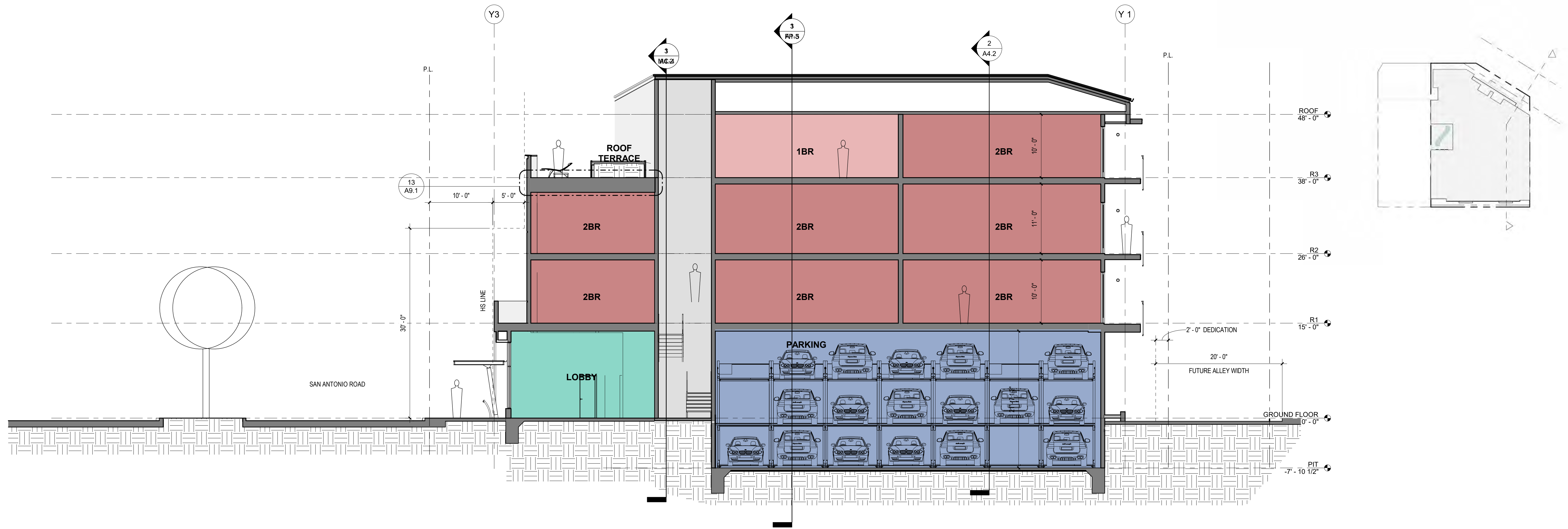
SHEET CONTENTS

3D VIEWS

PROJECT NO: 9942

SHEET

A3.5



SITE SECTION 1 1/8" = 1'-0" 2



SECTION 1 1/8" = 1'-0" 1

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SHEET CONTENTS
SECTIONS

PROJECT NO: 9942

SHEET

A4.1

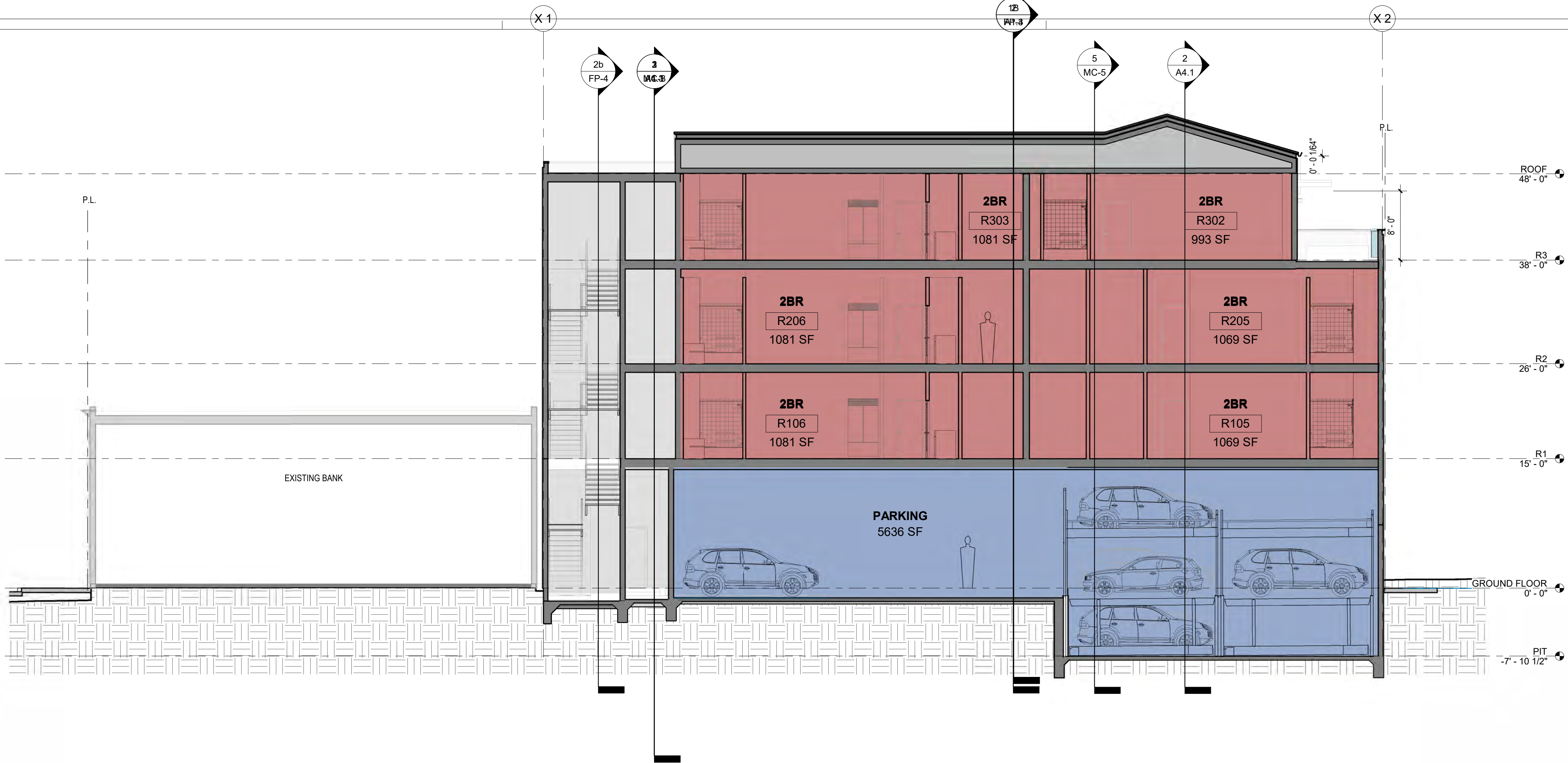
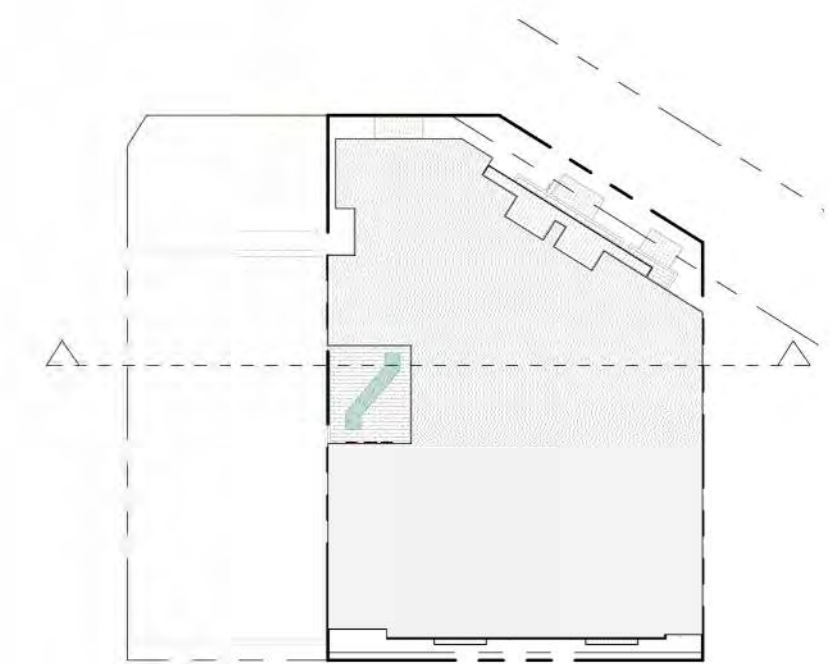
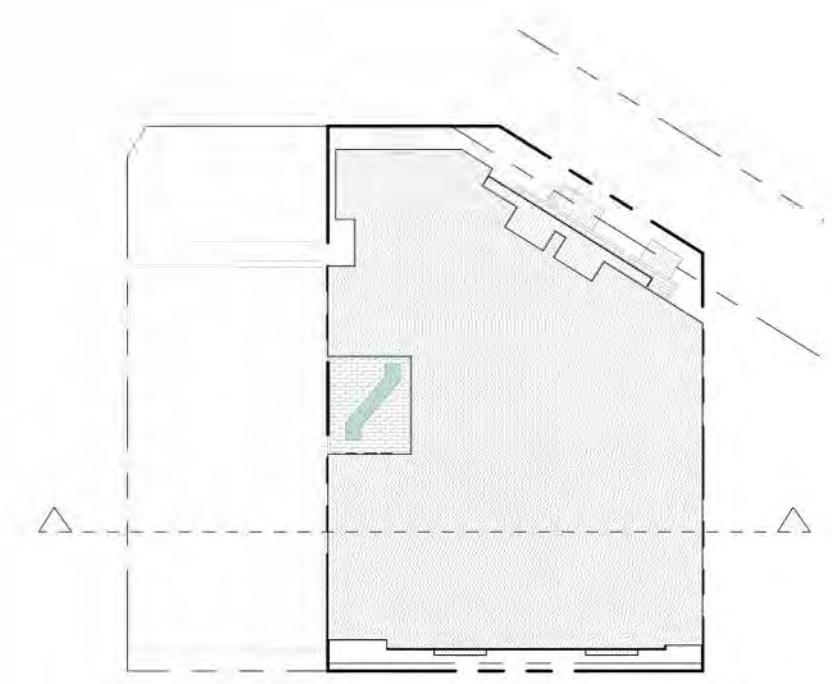
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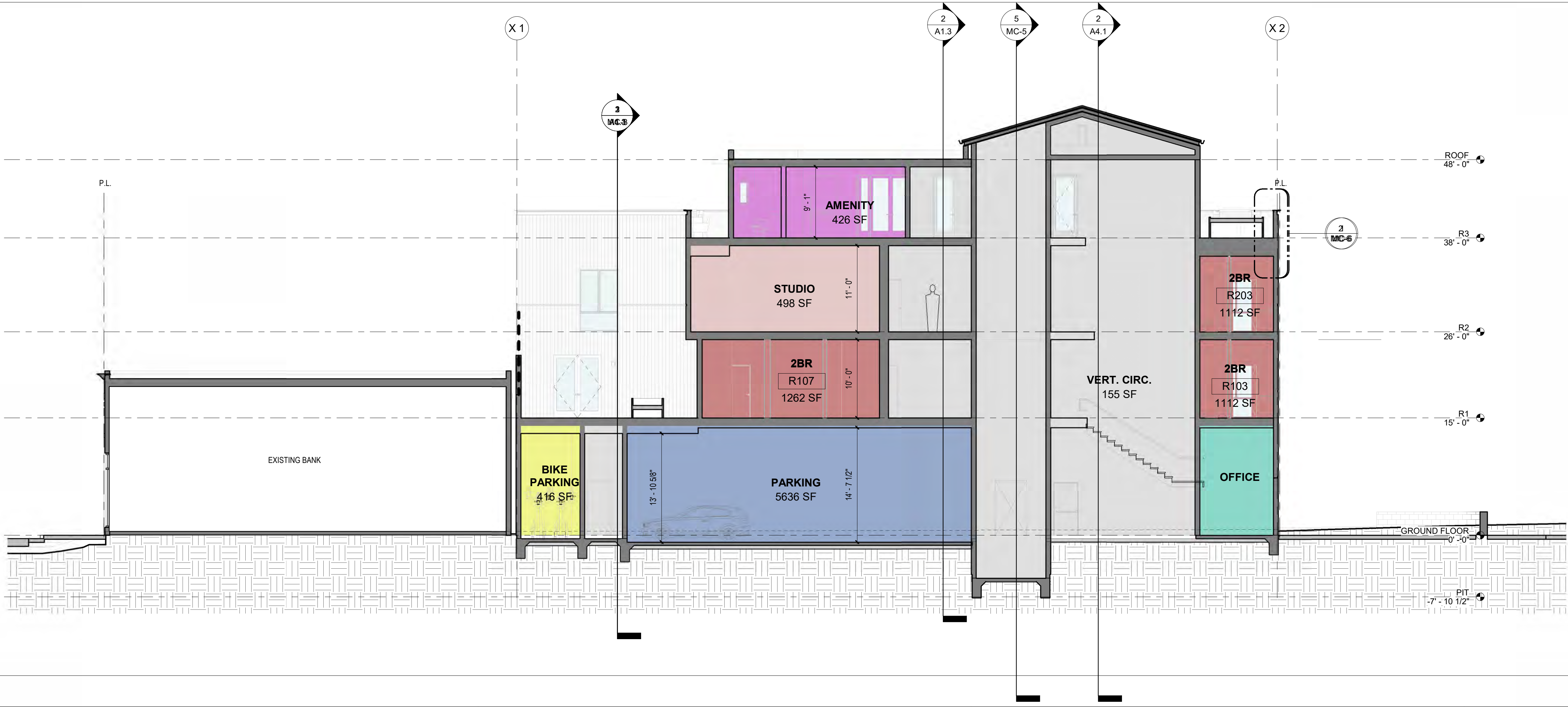
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SECTIONS

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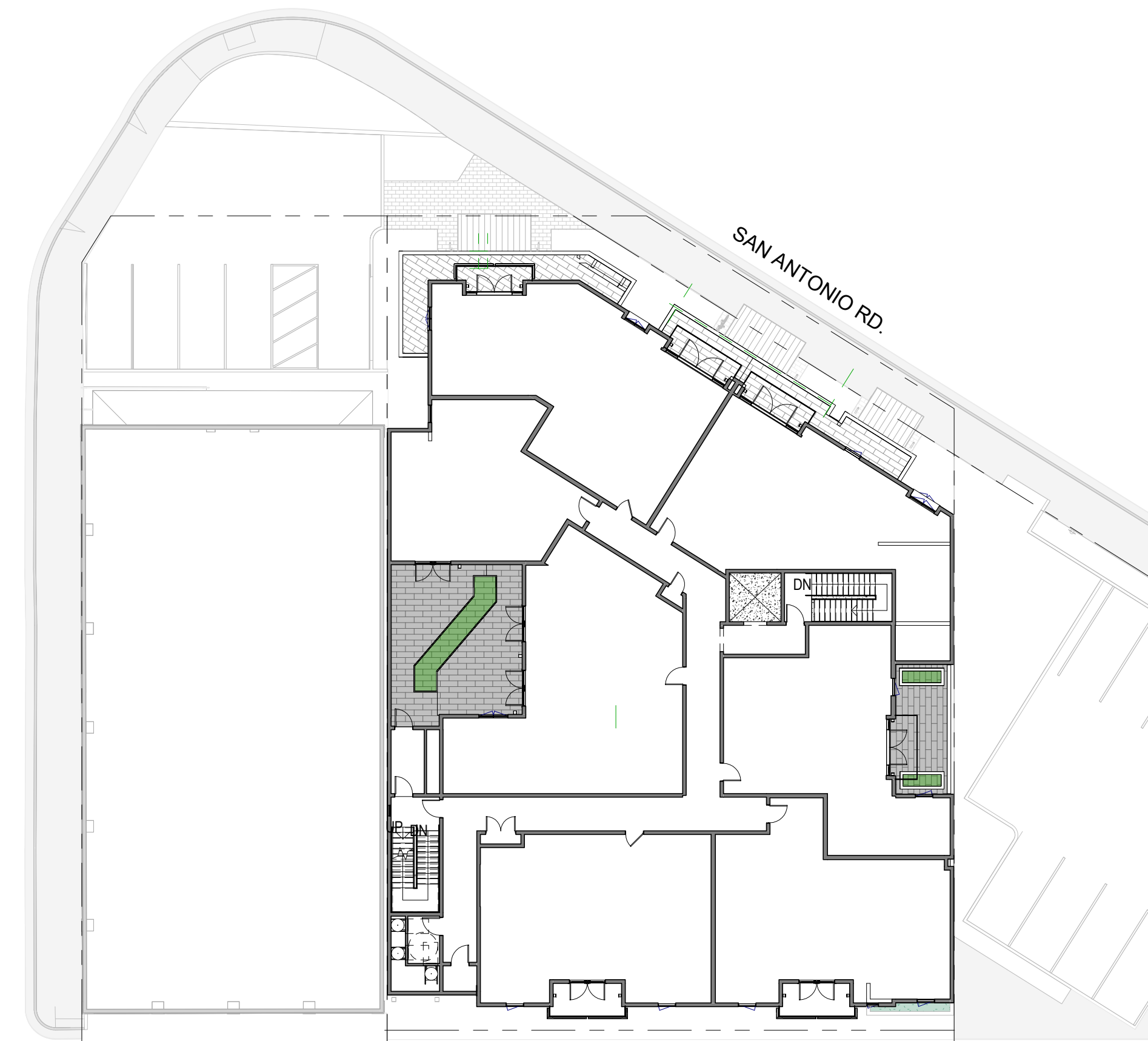
SHEET
A4.2



CROSS SECTION 2 1/8" = 1'-0" 2



CROSS SECTION 1 1/8" = 1'-0" 3



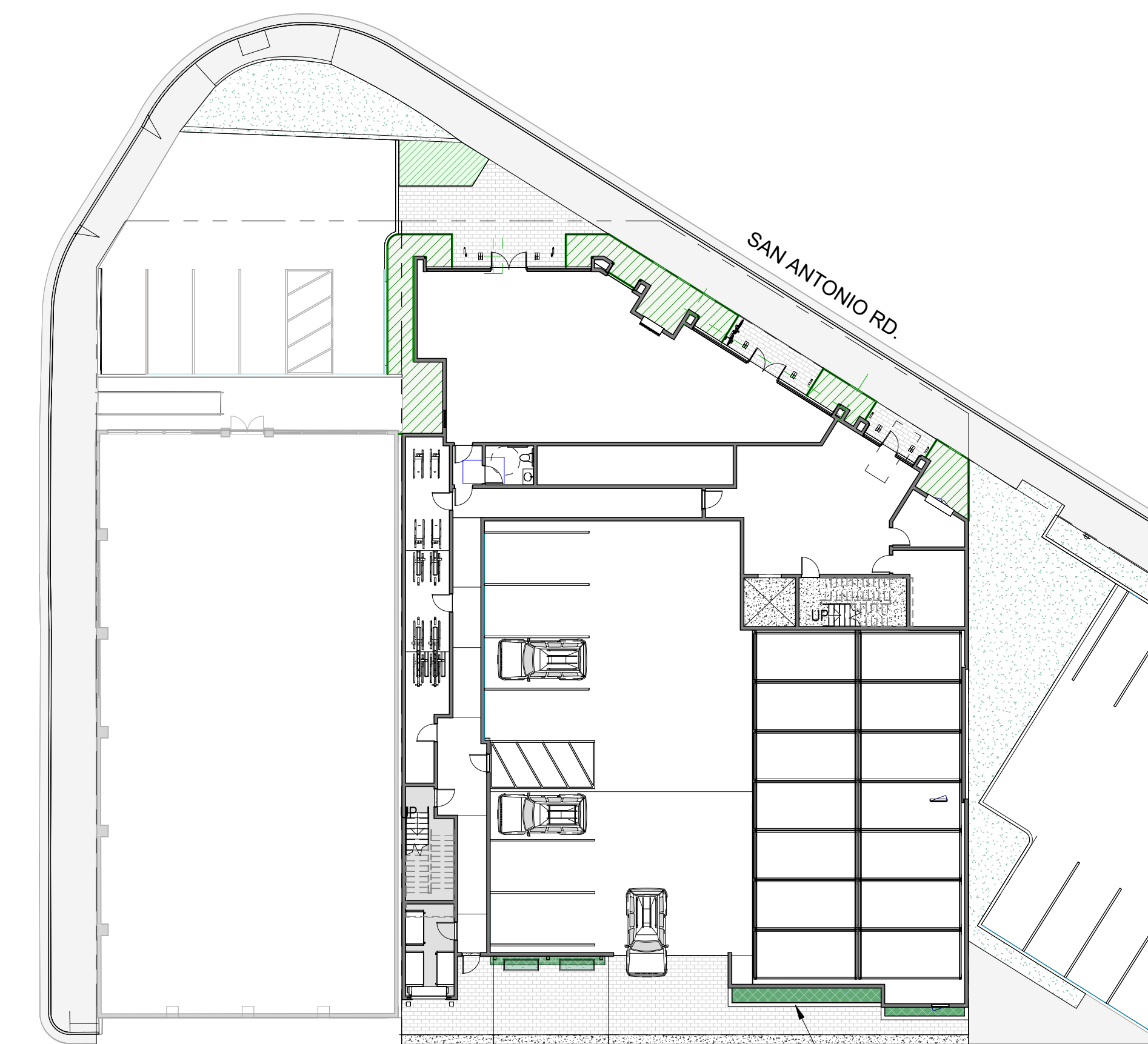
■ ABOVE-GRADE PLANTERS 108 SF
□ BUILDING FOOTPRINT / HARDSCAPE

LANDSCAPE EXHIBIT-PODIUM LEVEL 1" = 20'-0" 2



■ RAISED PLANTERS 528 SF
□ BUILDING FOOTPRINT / HARDSCAPE

LANDSCAPE EXHIBIT-ROOF TERRACE 1" = 20'-0" 3



■ EXISTING PLANTING
■ ON-GRADE PLANTING 680 SF
■ RAISED PLANTERS 116 SF
□ BUILDING FOOTPRINT / HARDSCAPE

LANDSCAPE EXHIBIT - GROUND FLOOR 1" = 20'-0" 1

TOTAL LANDSCAPED AREA - 1360 SF

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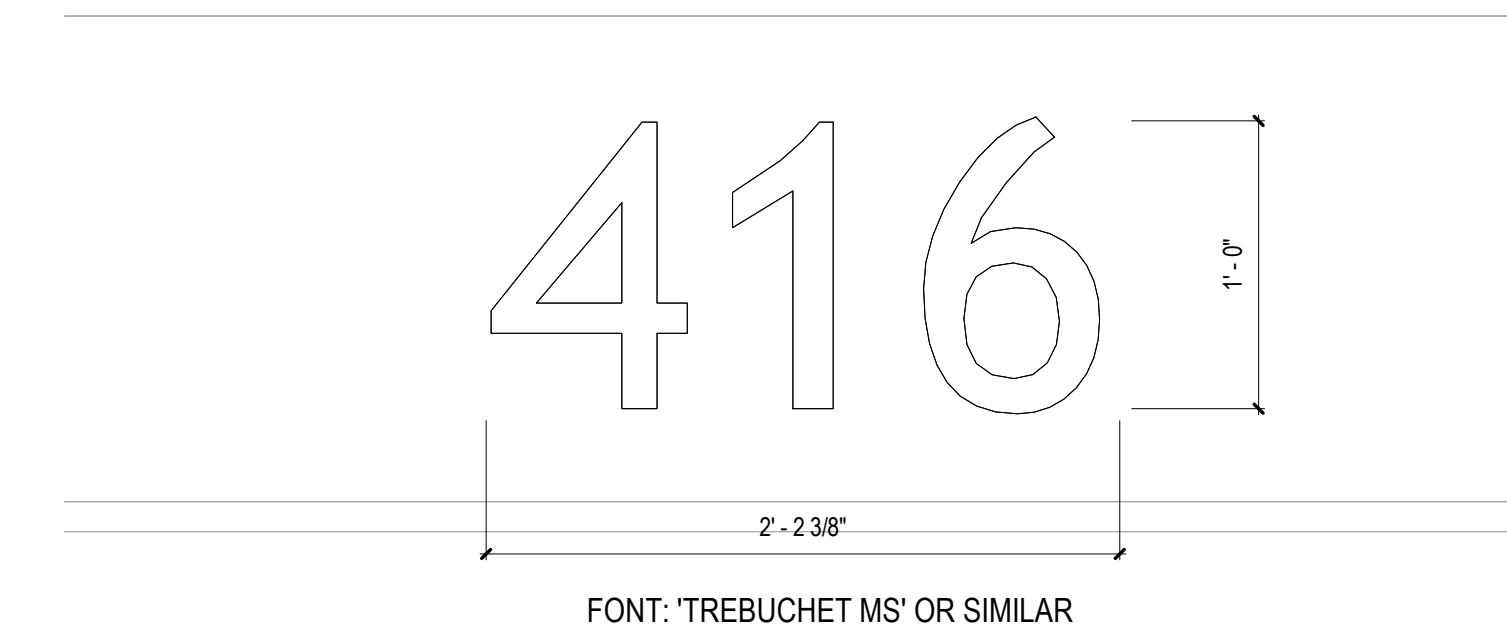
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SIGN EXHIBIT

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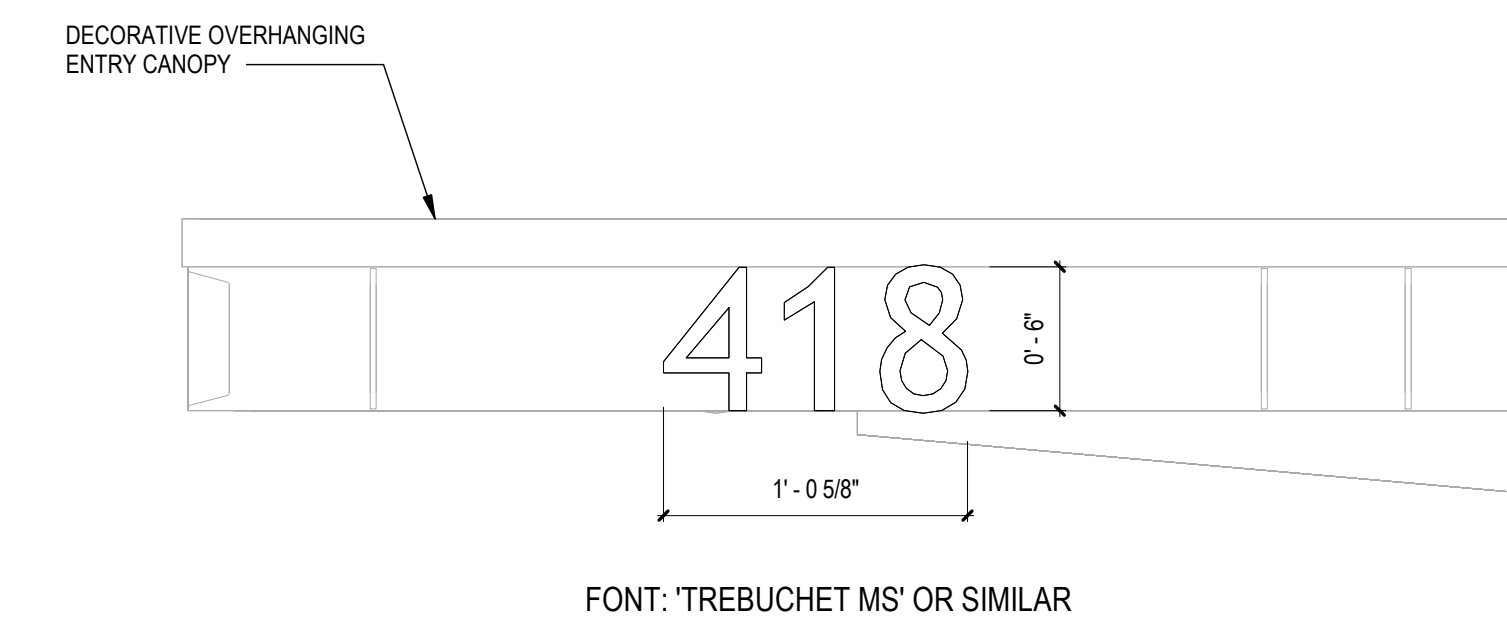


VIEW DOWN S. SAN ANTONIO RD. FROM PEDESTRIAN IMPROVEMENT ZONE



FONT: 'TREBUCHET MS' OR SIMILAR

ADDRESS SIGNAGE - ELEVATION 1/2" = 1'-0" 3

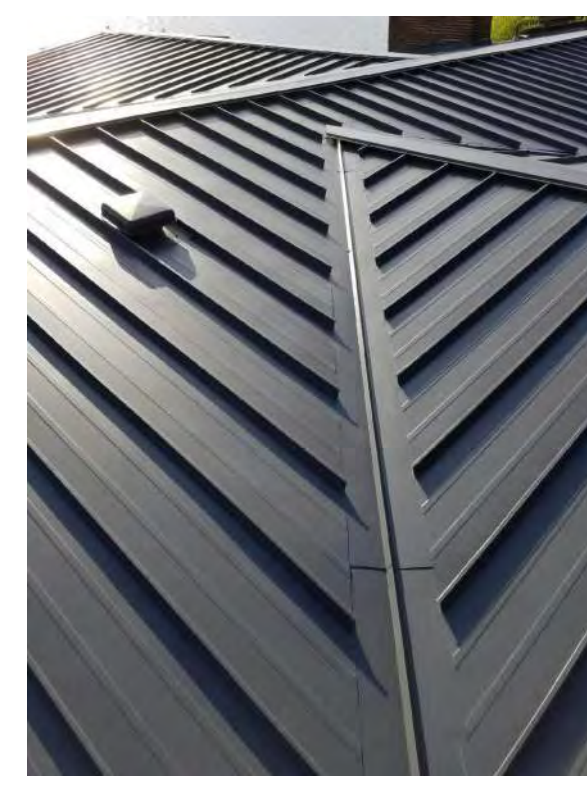


FONT: 'TREBUCHET MS' OR SIMILAR

ADDRESS SIGNAGE ON ENTRY CANOPIES 1/2" = 1'-0" 2



S. SAN ANTONIO STREET FRONTAGE ELEVATION 1/4" = 1'-0" 1



(01) ROOF

WEATHERED STANDING SEAM
ZINC ROOFING

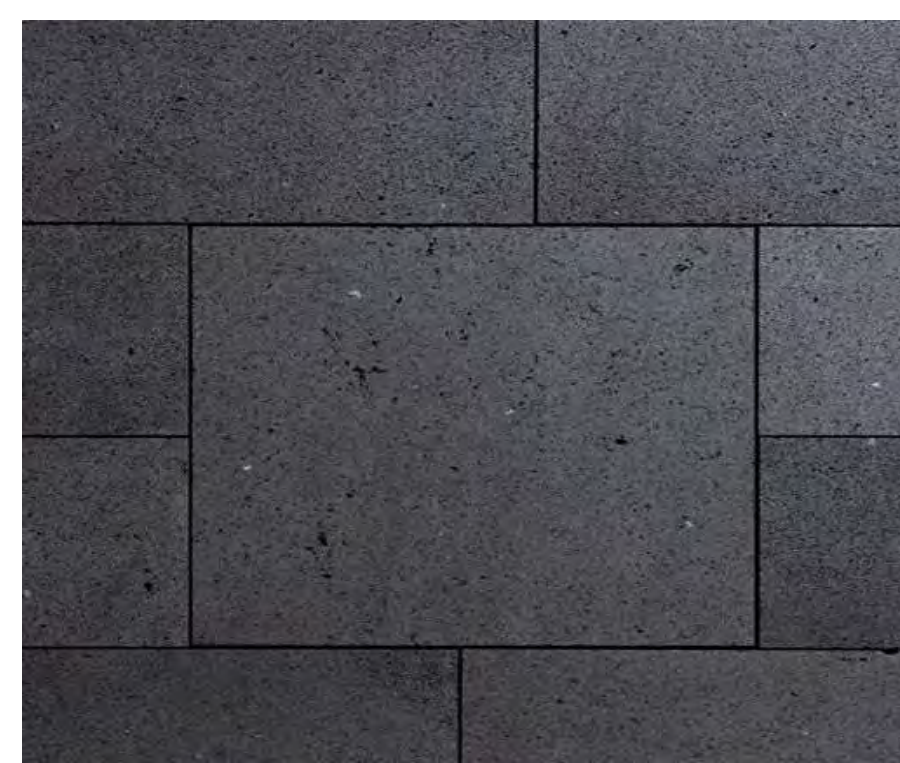
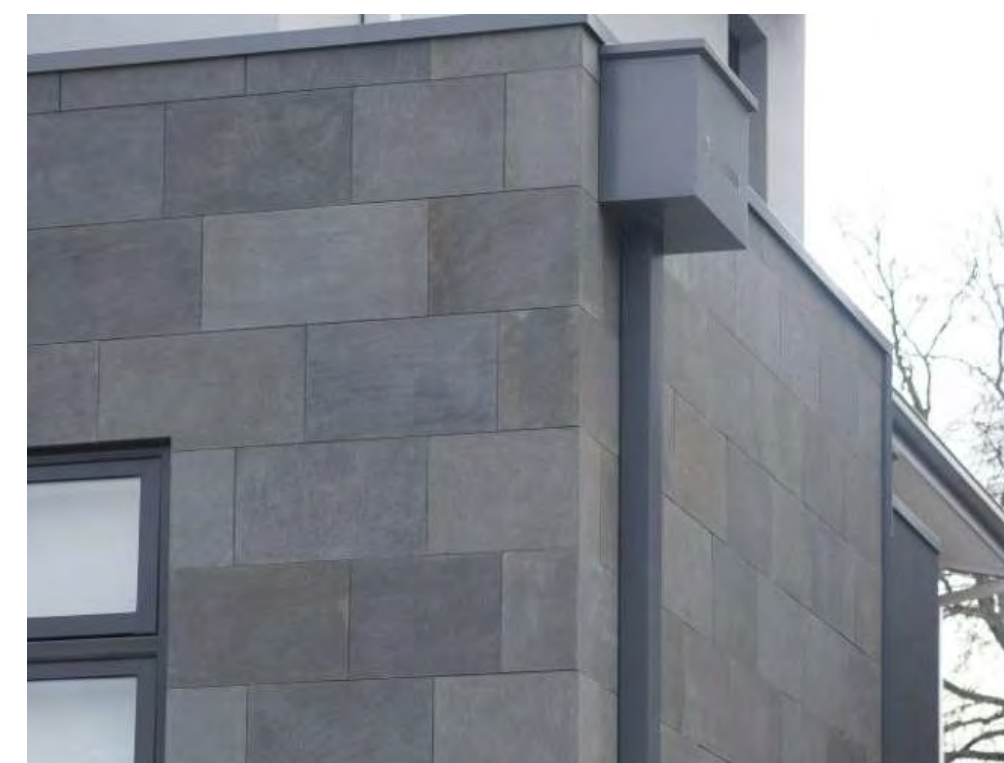
RHEINZINK GRAPHITE GREY



(02) VERTICAL SET HARDWOOD
RAINSCREEN

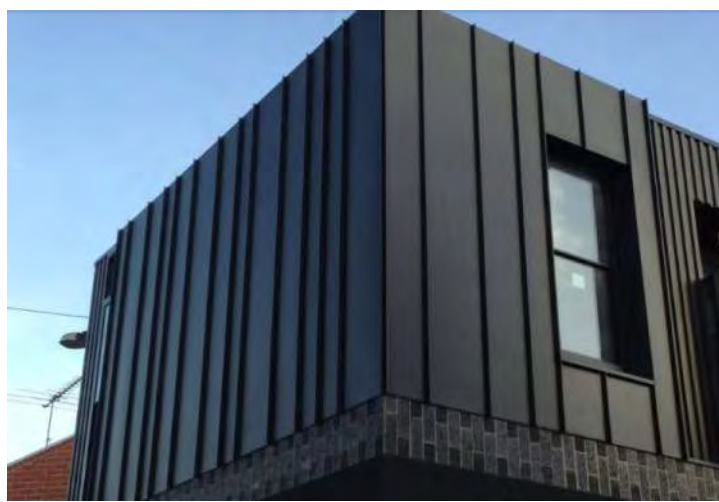
MATAVERDE PREMIUM GARAPA

Blondish yellow softening to a light amber brown with age.
Slight, ribbon-like moiré appearance.
Fine grained with some striping and tropical figuring



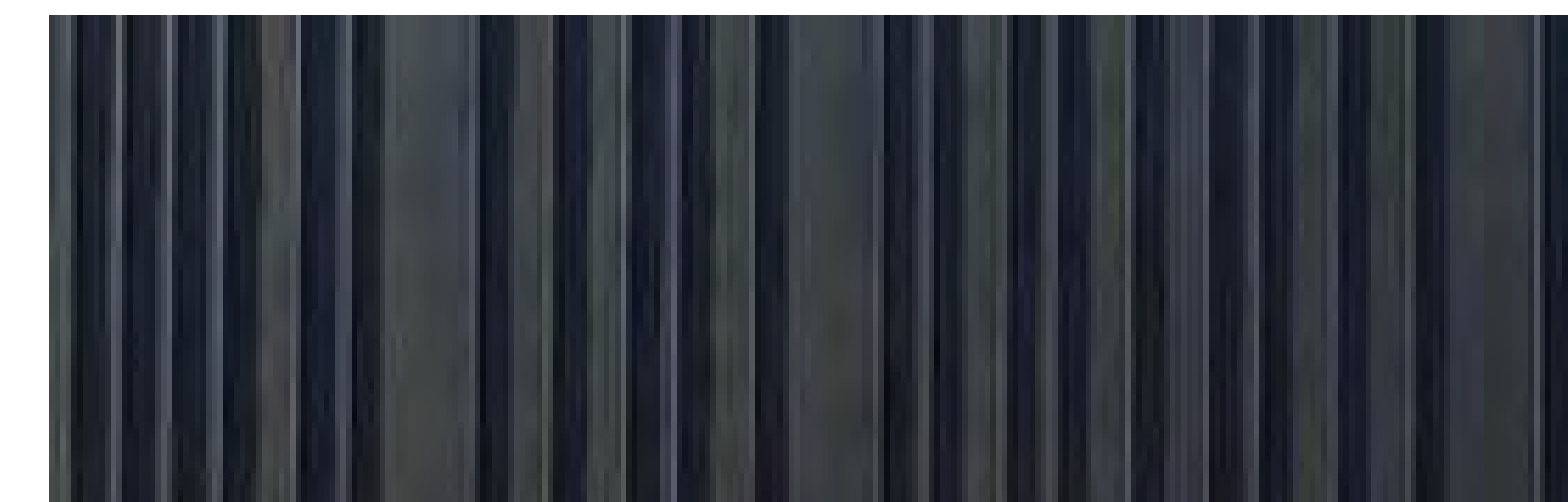
(03) NATURAL DIMENSIONAL
STONE CLADDING

GREY BASALT HONED FINISHED

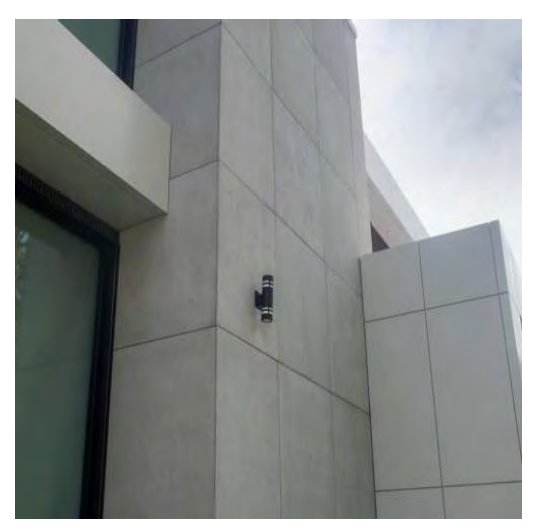
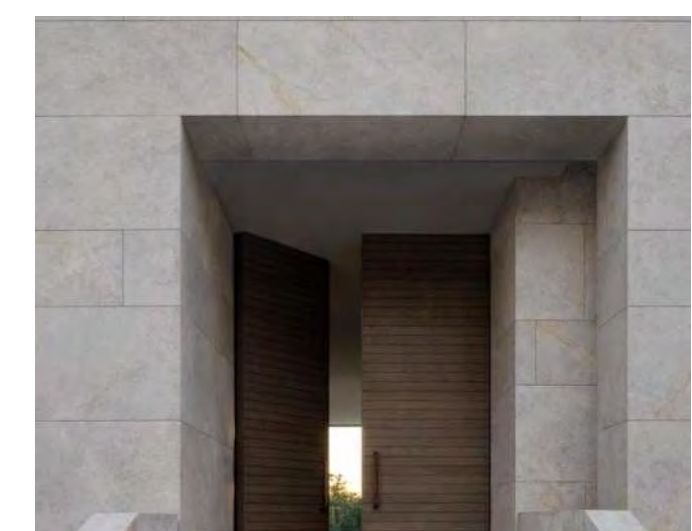
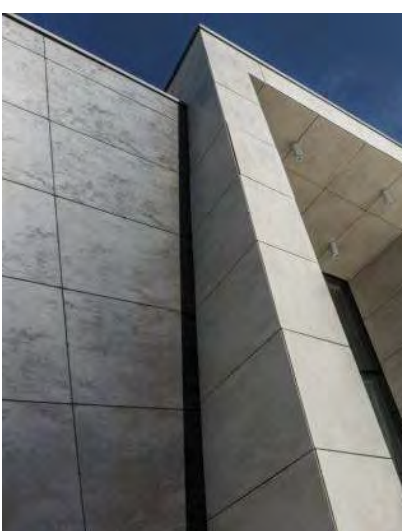
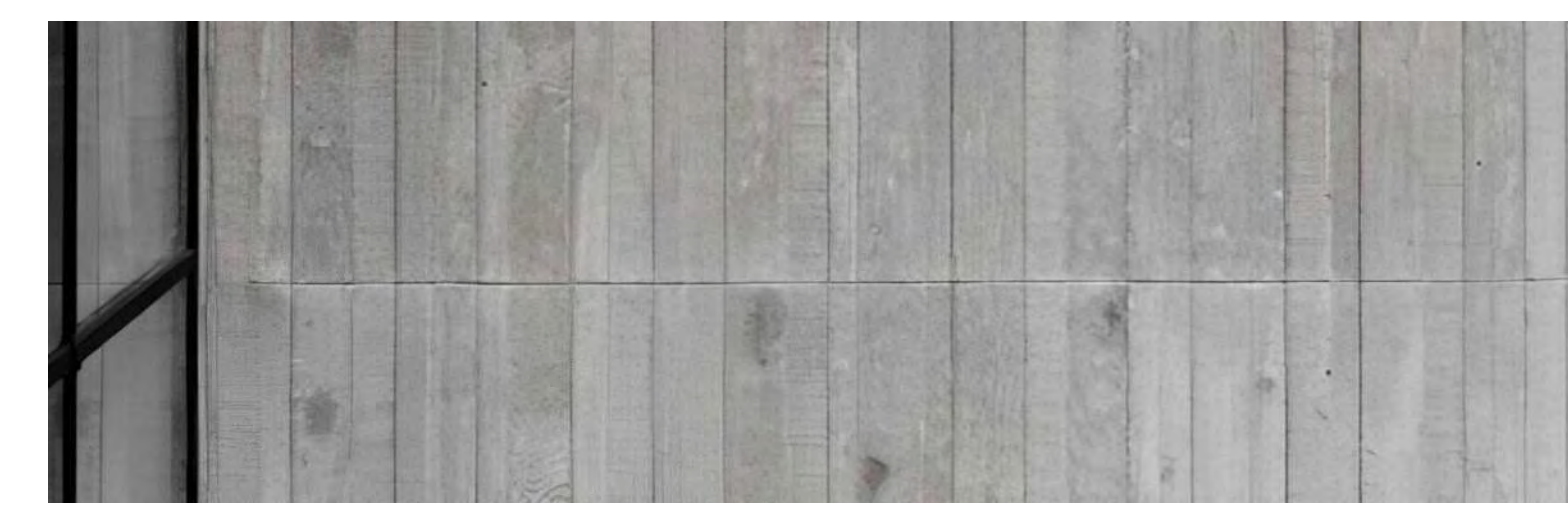


(04) WEATHERED STANDING SEAM
ZINC VERTICAL WALL PANELS

RHEINZINK GRAPHITE GREY



(05) BOARD FORMED
NATURAL CONCRETE



(06) DECORATIVE STONE
ACCENT SURROUNDS

CROSSVILLE
STATE OF GRACE
-UNPOLISHED
SKU-PC0011.1SLAB12



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MATERIALS BOARD

PROJECT NO: 9942

SHEET

A7.0

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SHEET

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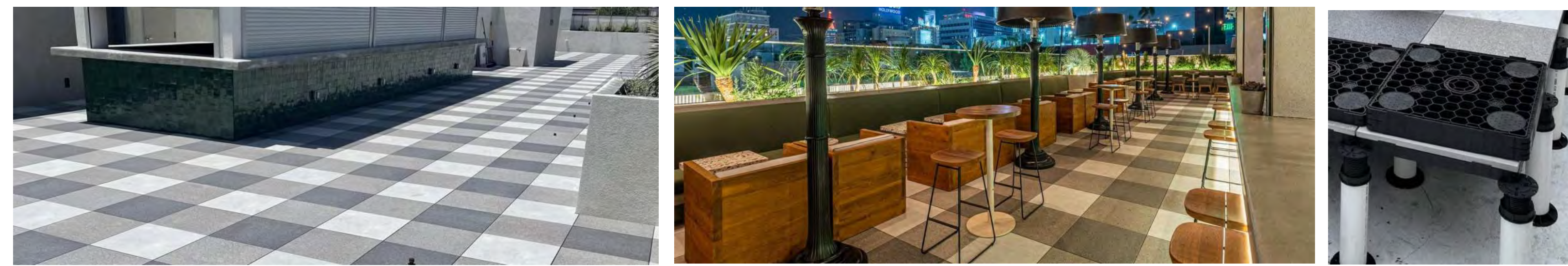


(07) PEDESTAL ROOF DECKING SYSTEM
TILE TECH IPE-TILE
24" x 48" x 1-5/8"
SURFACE - SMOOTH
5.75 LBS/SQ FT.
FIRE RATING - CLASS A

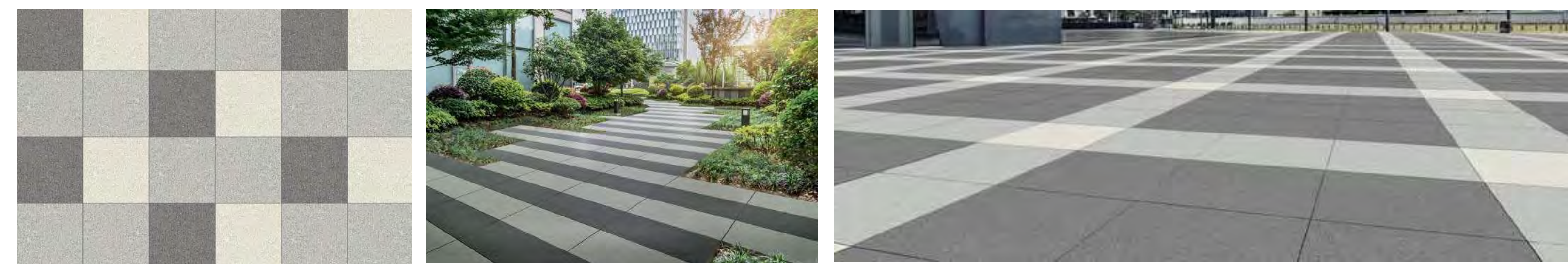


(08) PERMEABLE PAVERS ON GRADE
UNI-LOCK
ARTLINE - UMBRIANO FINISH

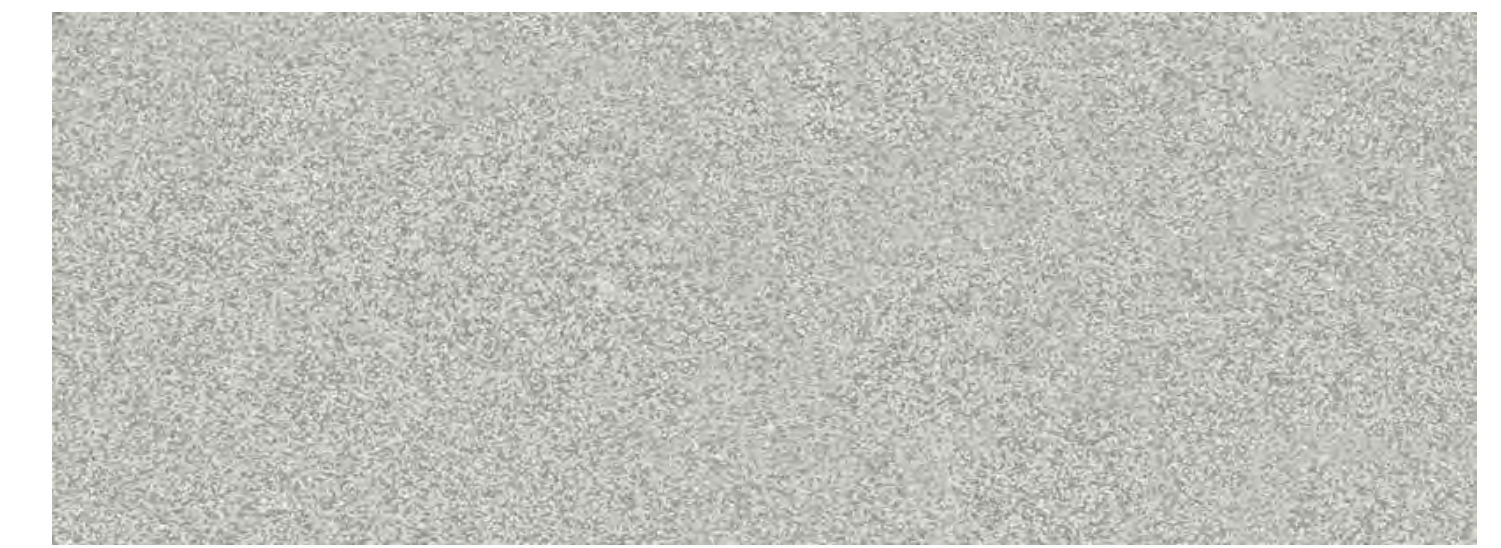
The modern shapes and lengths of the Artline system make it ideal for giving you that modern plank look which is so popular today.
RECOMMENDED BASE STABILIZATION - one layer of DriveGrid™ stabilization grid between subgrade and base material. Recommended depth 8" to 10" below pavers for maximum stability and performance. Use under Standard Base or Permeable Base.
STANDARD BASE - Min. 6" - 8" of 1/2" Crusher Run gravel (any road base standard in accordance with ASTM-D2940) compacted to 98% Standard Proctor Density (SPD).



(09) PORCELAIN PAVERS
TILE-TECH PAVERS SYSTEM
TERRAZZO-SERIES
COOL-GRAY
9.3 LBS/SQ FT.
0.05% WATER ABSORPTION



(10) PORCELAIN PAVERS
TILE-TECH PAVERS SYSTEM
EARTHTONE SERIES
FLAT-ASH
9.3 LBS/SQ FT.
0.05% WATER ABSORPTION



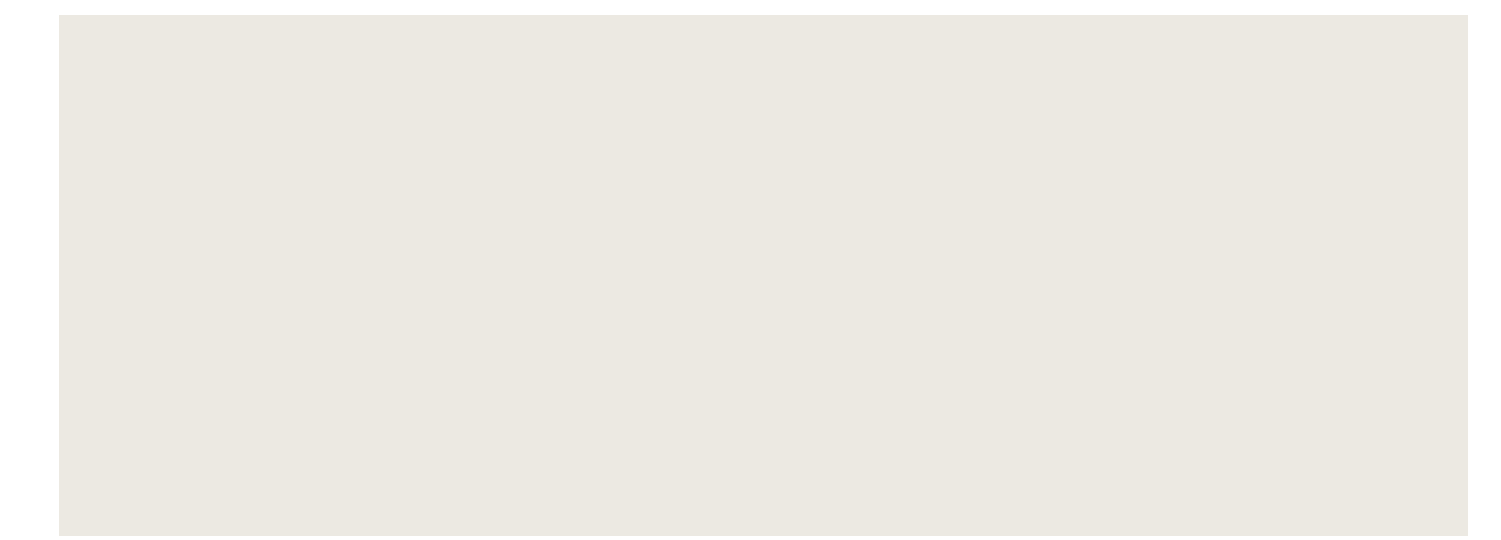
(11A) ARCHITECTURAL AND IRON WORK

BENJAMIN MOORE #1630
OCEAN FLOOR



(12) SMOOTH STEEL-TROWELED

BENJAMIN MOORE #968
DUNE WHITE
PORTLAND CEMENT PLASTER
W/ PAINTED FINISH



(11B) ARCHITECTURAL AND IRON WORK

BENJAMIN MOORE #1602
GUN METAL



(13) SILESTONE SIDING

POSIDONIA GREEN
SUEDE FINISH

HYBRIQ TECHNOLOGY



(11C) ARCHITECTURAL AND IRON WORK

BENJAMIN MOORE #1617
CHEATING HEART



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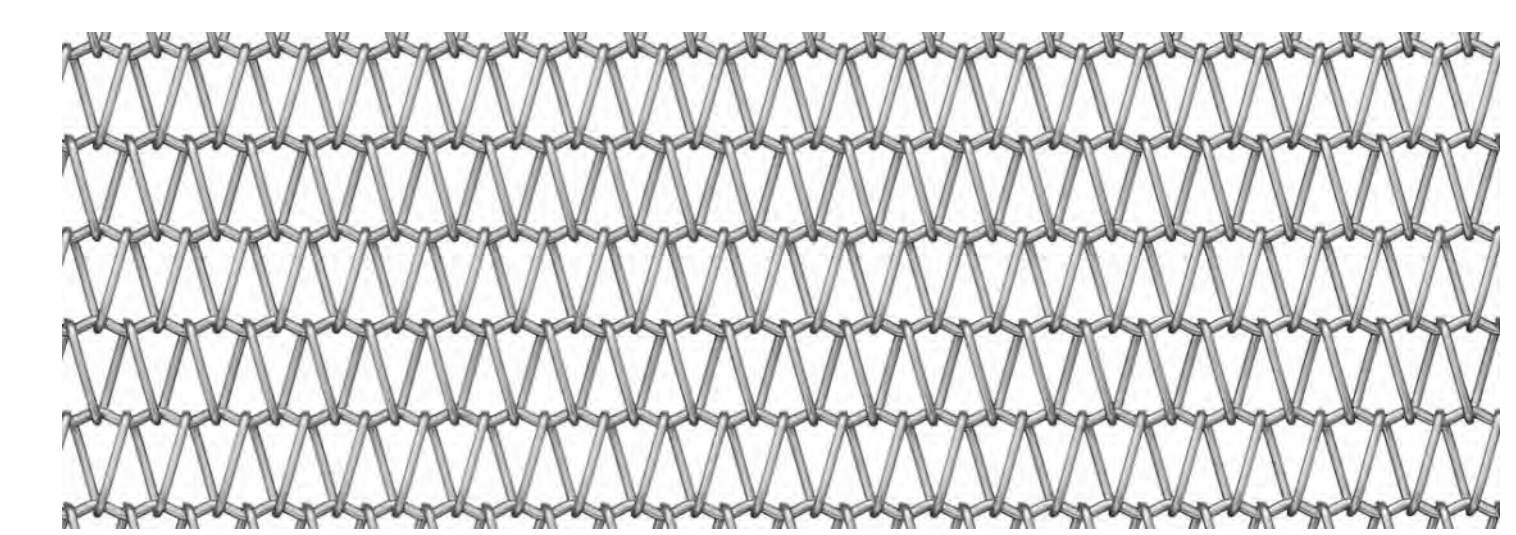
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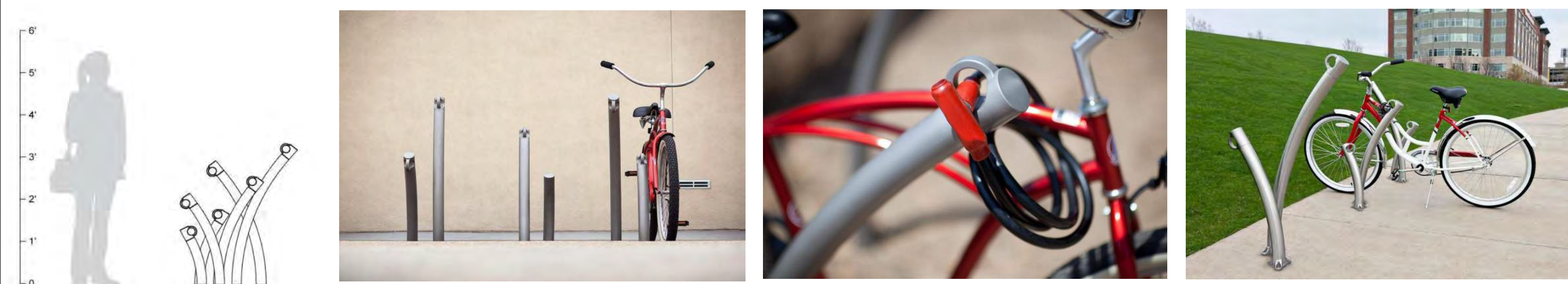


(14) WOVEN STAINLESS STEEL MESH
GUARD-RAIL SCREENS
BANKER + / RIPPLE (R)
FLEXIBLE MESH
50.0% OPEN
1.37 LBS/SQ FT.



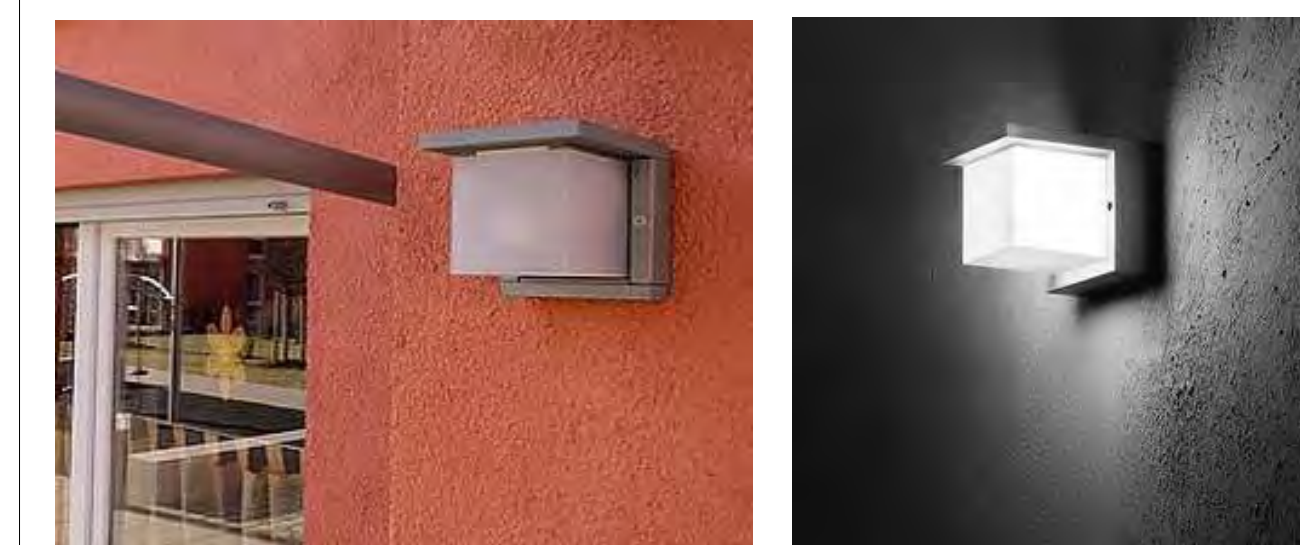
(15) CLASS I BIKE STORAGE
DERO DECKER
MODEL DD-SS-4-GV
CAPACITY - 4 BIKES PER UNIT

ENSURING THE EASE OF USE, SUPERIOR STABILITY AND ASSURED SECURITY EACH TRAY IS DESIGNED WITH STURDY RED HANDLE GRIPS, HINGED LEVERS AND U-LOCK COMPATIBILITY. CONSTRUCTED WITH 12-GAUGE 4" STEEL UPRIGHTS, 11-GAUGE 4" STEEL CANTILEVERS AND 7-GAUGE 4" CROSS BARS WITH ULTRA-RESILIENT FINISHES FOR DURABLE INDOOR AND OUTDOOR PERFORMANCE.
CAPACITY - 4 BIKES PER UNIT
MATERIALS
UPRIGHTS: 4" 11G SQUARE TUBE
UPRIGHT BASE: 1/4" PLATE
CANTILEVERS: 11G PLATE
CANTILEVER BASE: 1/4" PLATE
TRAYS: 11G PLATE
FINISHES
GALVANIZED - AN AFTER FABRICATION HOT DIPPED GALVANIZED FINISH IS OUR STANDARD OPTION
POWDER COAT - OUR POWDER COAT FINISH ASSURES A HIGH LEVEL OF ADHESION AND DURABILITY BY FOLLOWING THESE STEPS:
1. SANDBLAST
2. EPOXY PRIMER ELECTROSTATICALLY APPLIED
3. FINAL THICK TGIC POLYESTER POWDER COAT



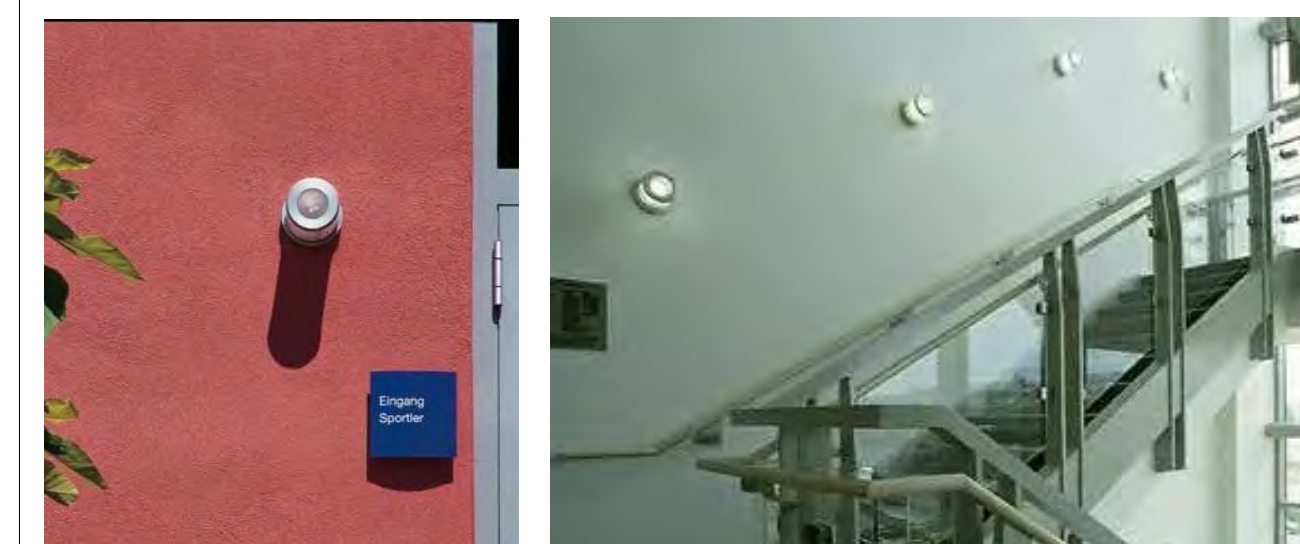
(16) CLASS II BIKE RACK
BIKE GARDEN BIKE RACK
FORMS+SURFACES
STAINLESS STEEL, SATIN FINISH

BODIES OF STAINLESS STEEL TUBING WITH HEADS OF CAST STAINLESS STEEL
SATIN FINISH WITH CERAMILOC, AN INVISIBLE PROTECTIVE SURFACE TREATMENT
DURABLE POWDERCOAT FINISH ALSO AVAILABLE
INDIVIDUAL STEMS OF VARYING HEIGHTS ARRANGED IN THREE STANDARD CONFIGURATIONS
MULTIPLE LOCKING POINTS
HIGH RECYCLED CONTENT; FULLY RECYCLABLE



(17) LIGHTING
HESS/CASSINO 150-CS150

Simple lines are the hallmark of the CASSINO luminaire. Translucent acrylic lens creates soft diffused illumination. Housing is constructed of cast aluminum and heavy aluminum plate. Luminaire is finished in finely textured paint. Fixture may be mounted to wall or ceiling. All hardware is stainless steel.
LED Module 16L - 16w LED
Color Temperature WW - 3000K, NW - 4000K
Volt NV - 120-277V
MountingA - Surface
Finish
SG - Silver Grey, GG - Graphite Grey, DG - Dark Grey, MB - Matte Black, DB - Dark Bronze, CC - Custom RAL Color
LED DELIVERED LUMENS / BUG RATING
3000K: 642 LMS / B0-U3-G1
4000K: 699 LMS / B0-U3-G1



(18) LIGHTING
HESS/TRENTO 150-TR150

Design simplicity and precision machining distinguish the TRENTO. Housing is constructed of high grade billet aluminum with satin anodized finish. Translucent acrylic lens creates a soft ambiance, while the matte acrylic end lens adds a contrasting lighting element. All hardware is stainless steel. Luminaire may be mounted to wall or ceiling.
Color Temperature WW - 3000K, NW - 4000K, A - Amber, B - Blue, RB - Royal Blue, G - Green, R - Red
Volt NV - 120-277V
Mounting A - Surface
Finish SA - Satin Anodized
Option DIM - 0-10v Dimming
LED DELIVERED LUMENS / SYSTEM WATTS / BUG RATING
3000K: 1051 LMS / B0-U3-G1
4000K: 1084 LMS / B0-U3-G1



(19) SEMI-AUTOMATED PARKING
KLAUS TRENDVARIO 6300+

trendvario 6300+
The premium semi-automatic parking system with a pit that can be driven through.
The system can be driven through and is combined with the TrendVario 6100, 6100-plus, 6200-plus, 6300 and 6300-plus.
4 rows behind each other and 4 grids next to each other
- up to 44 parking spaces are possible.
Building height from 335 cm.
Pit depth: 200 cm to 250 cm in 5 cm increments.
Vehicle dimensions: height 150 to 220 cm, length 500 cm to 530 cm.



(22) TEMPERED GLASS RAILING
TRANSPARENT



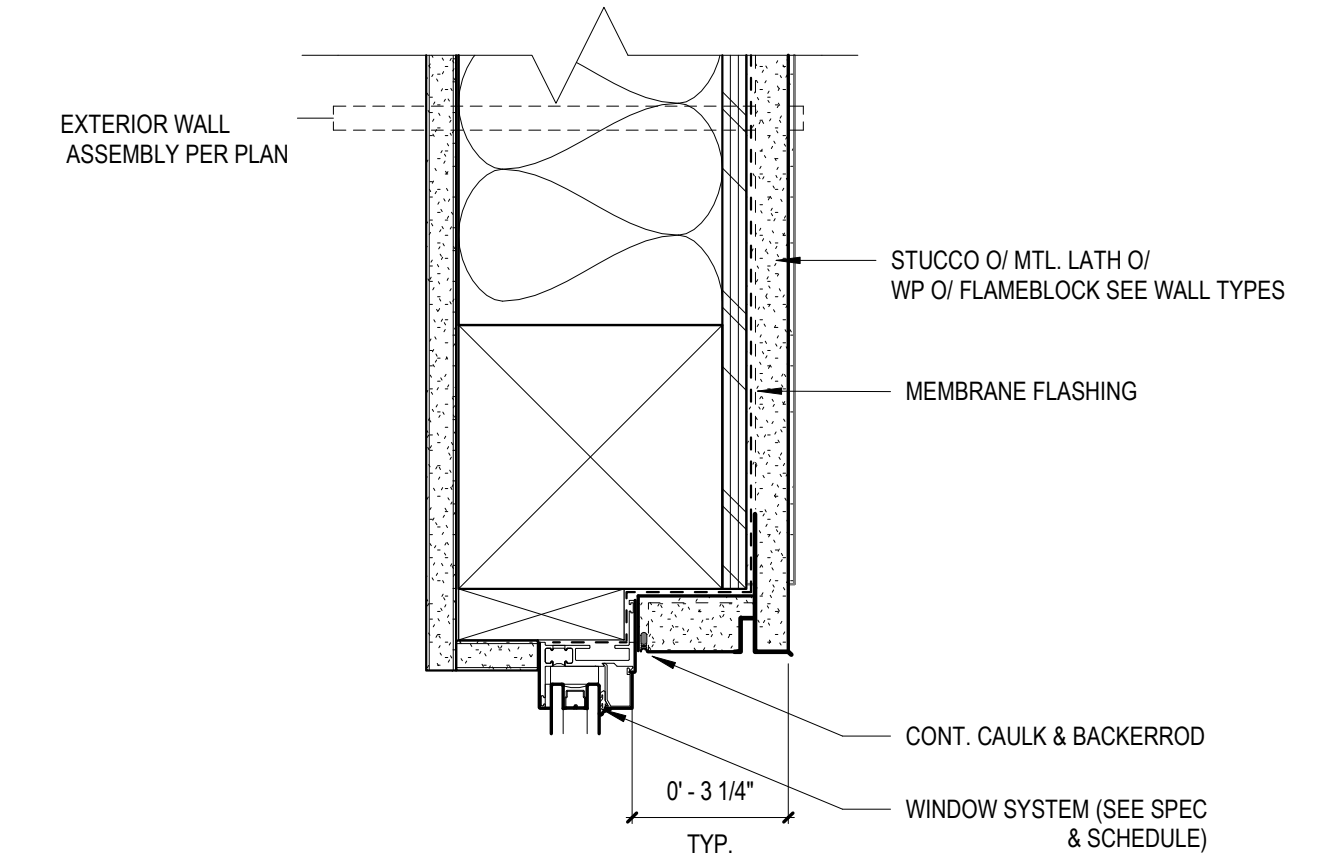
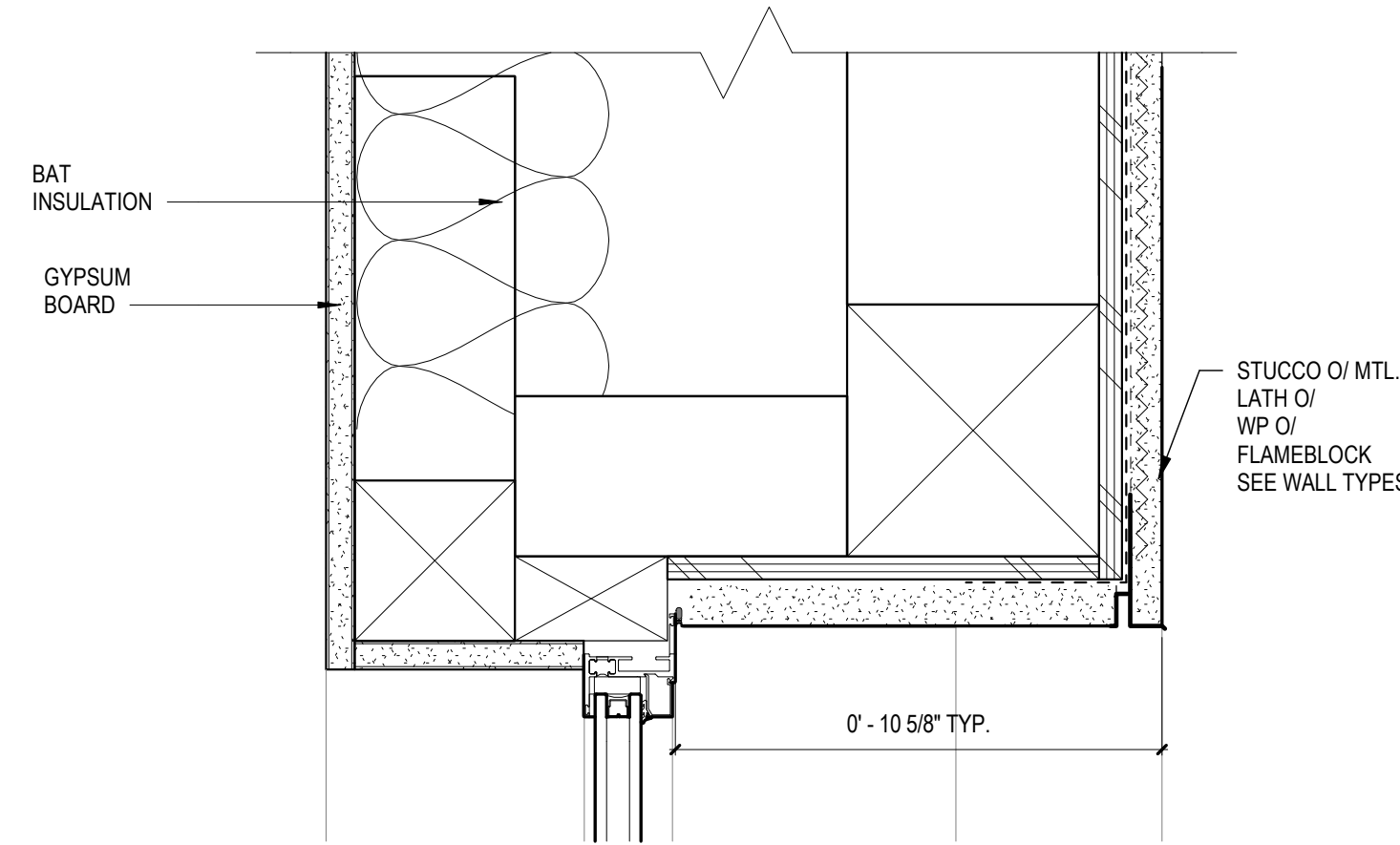
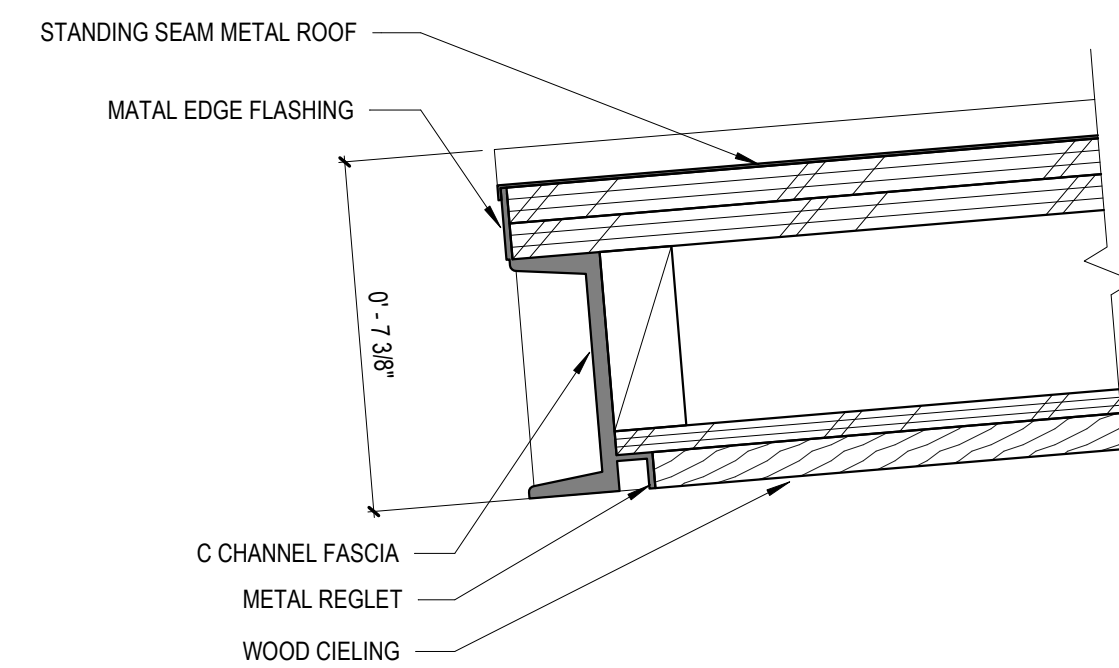
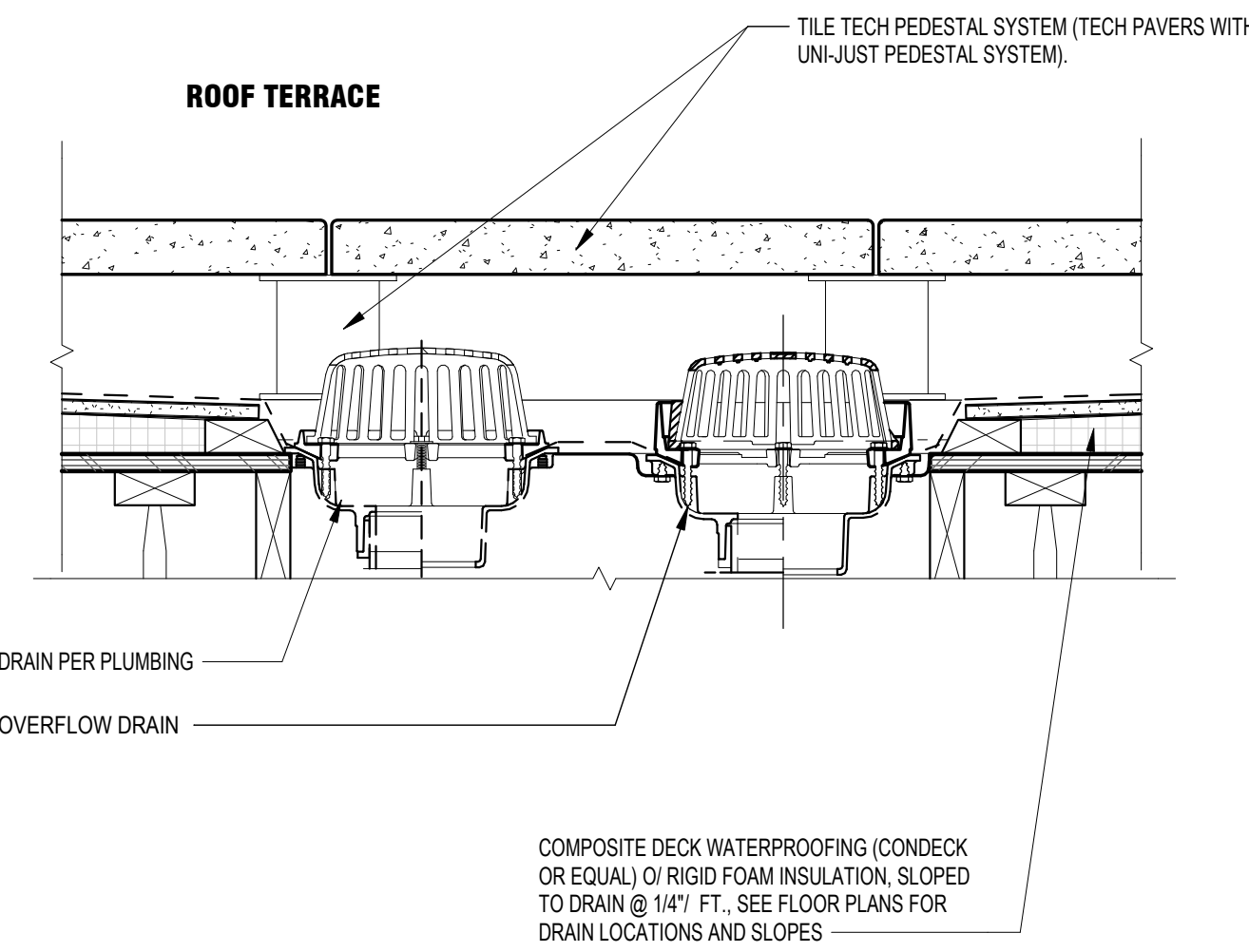
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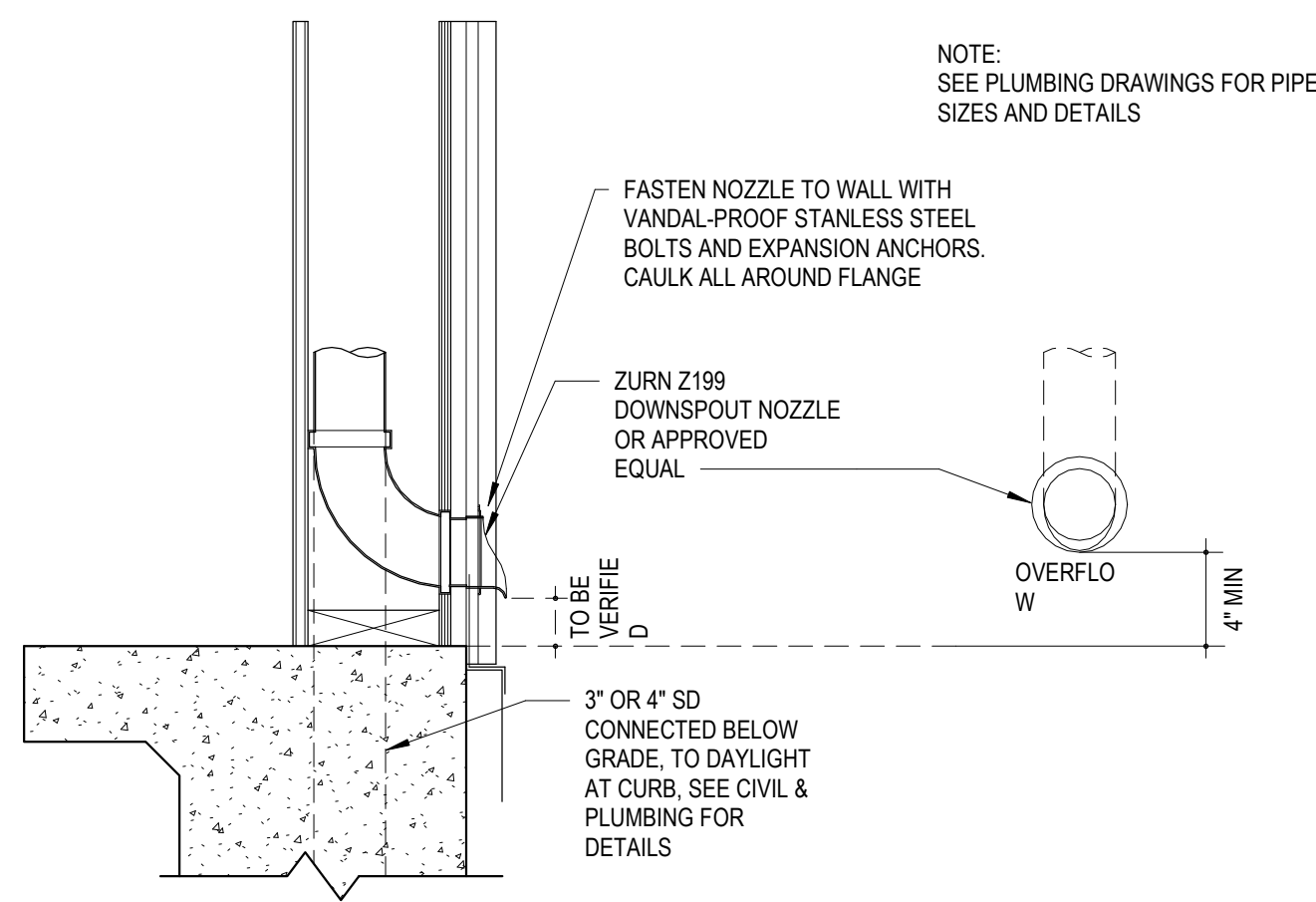
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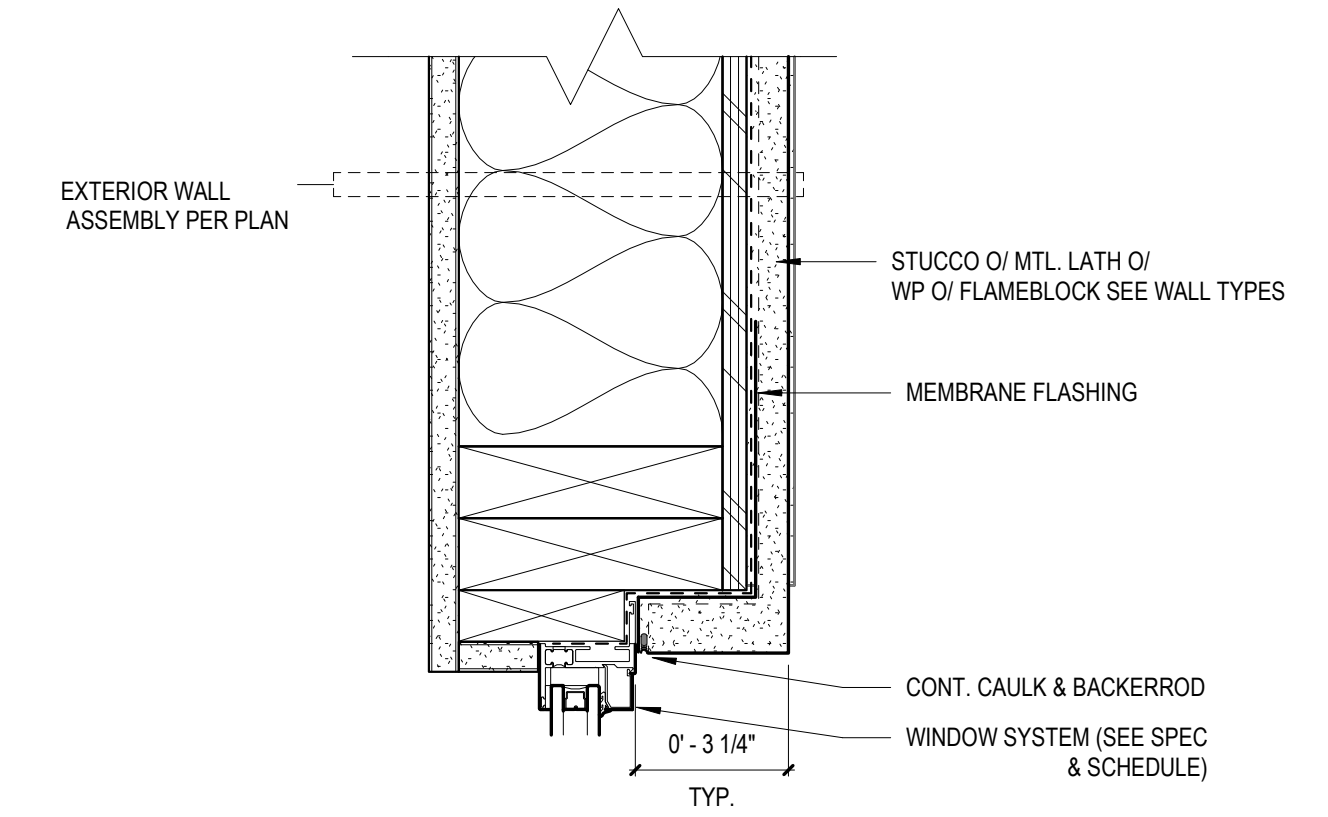
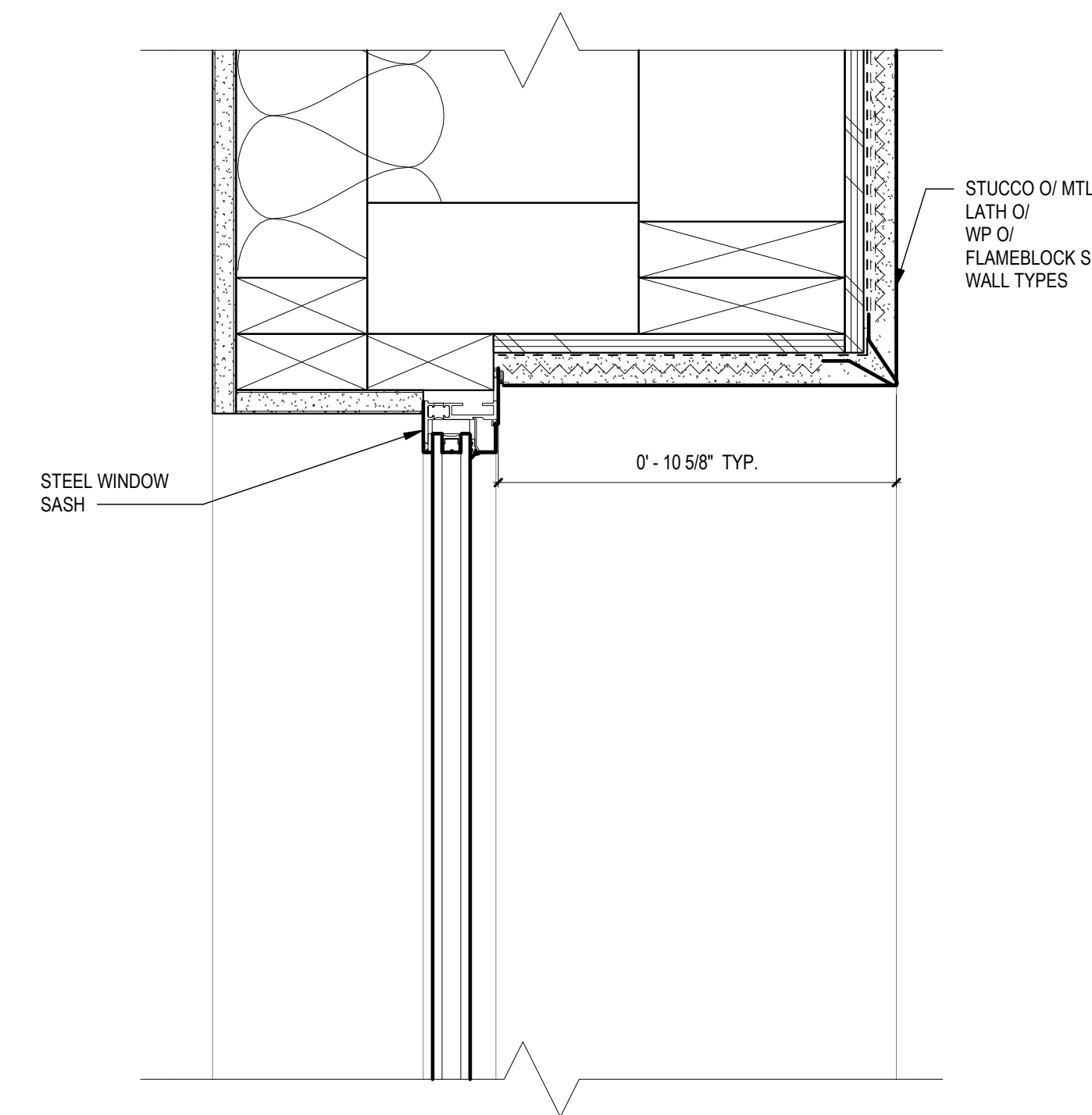
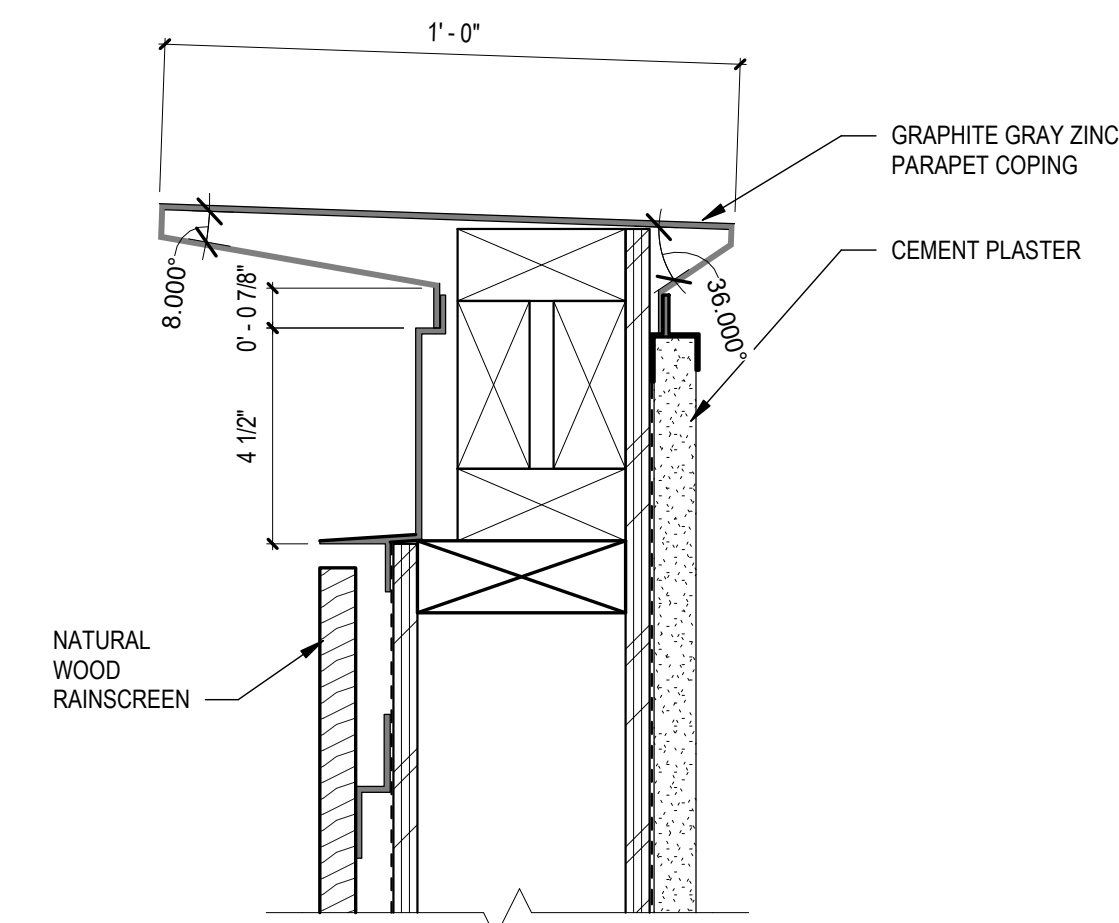
TYP. WINDOW HEAD @ EXT. B STUCCO DEEP 3" = 1'-0" 7

TYP. WINDOW HEAD @ EXT. B STUCCO 3" = 1'-0" 4

PEDESTAL PAVER DRAIN DETAIL 1 1/2" = 1'-0" 13

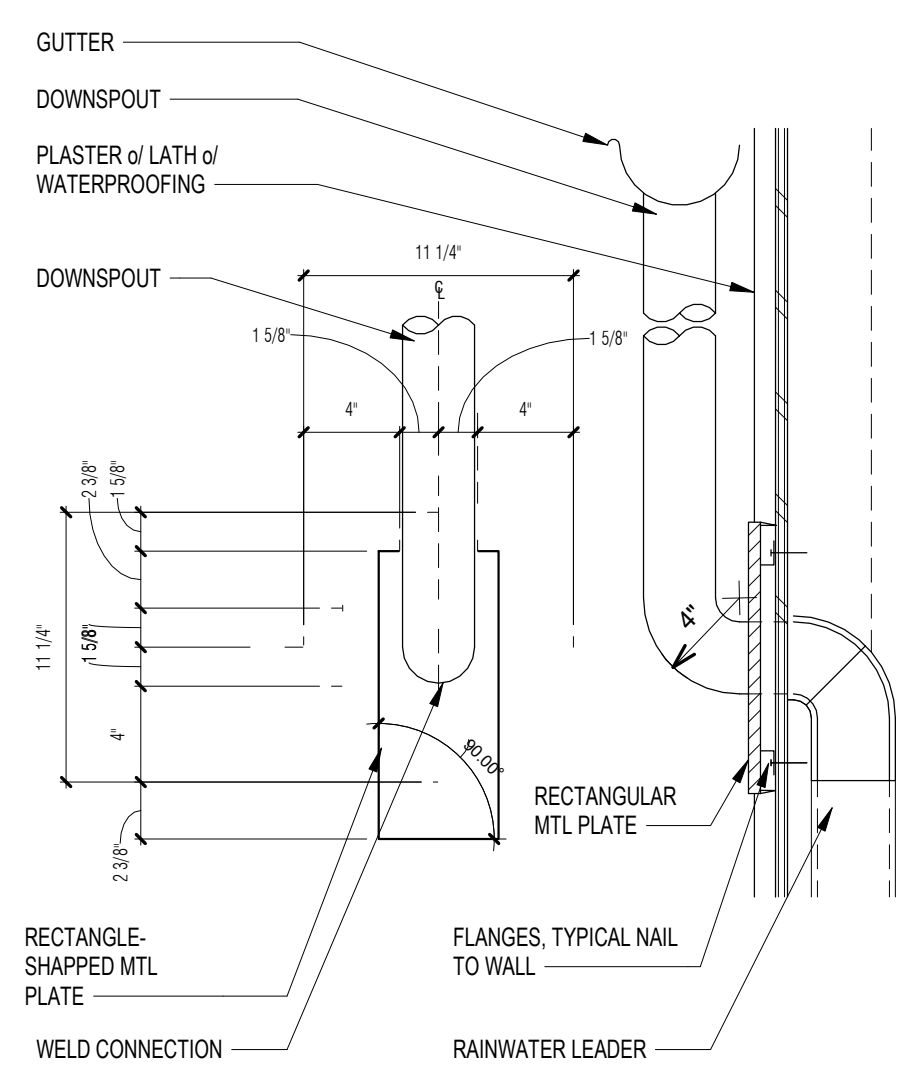


BALCONY AWNING ROOF EAVE 3" = 1'-0" 10

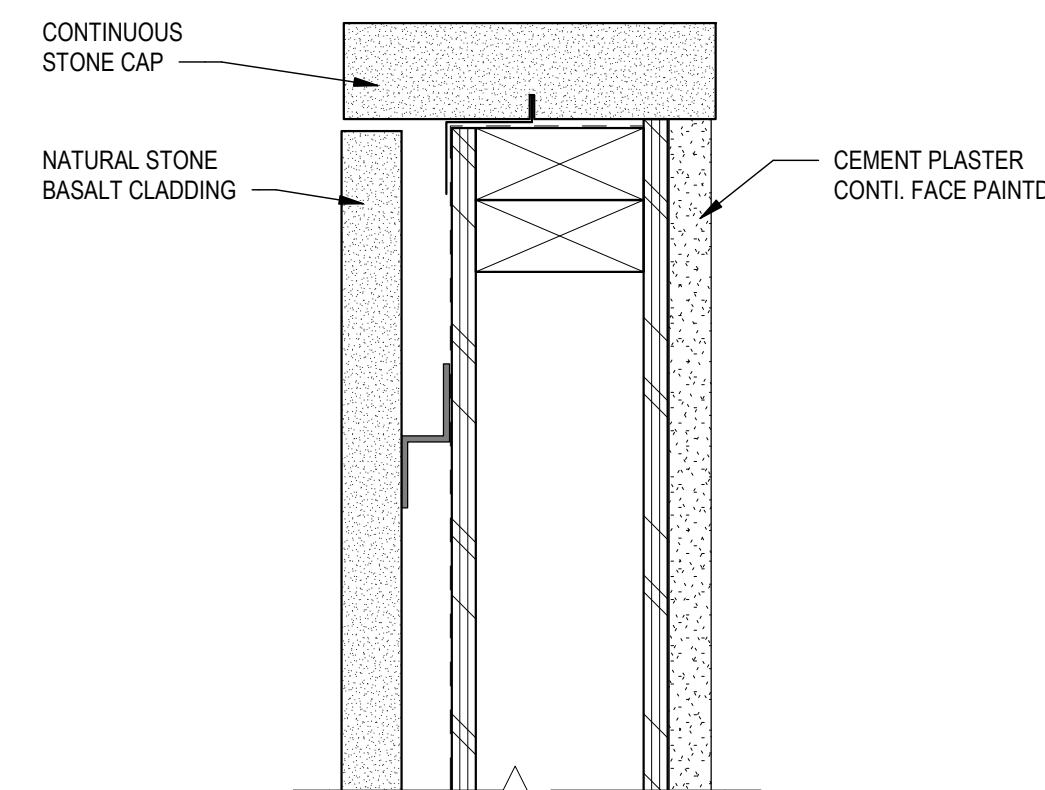


TYP. WINDOW JAMB @ EXT. B STUCCO 3" = 1'-0" 3

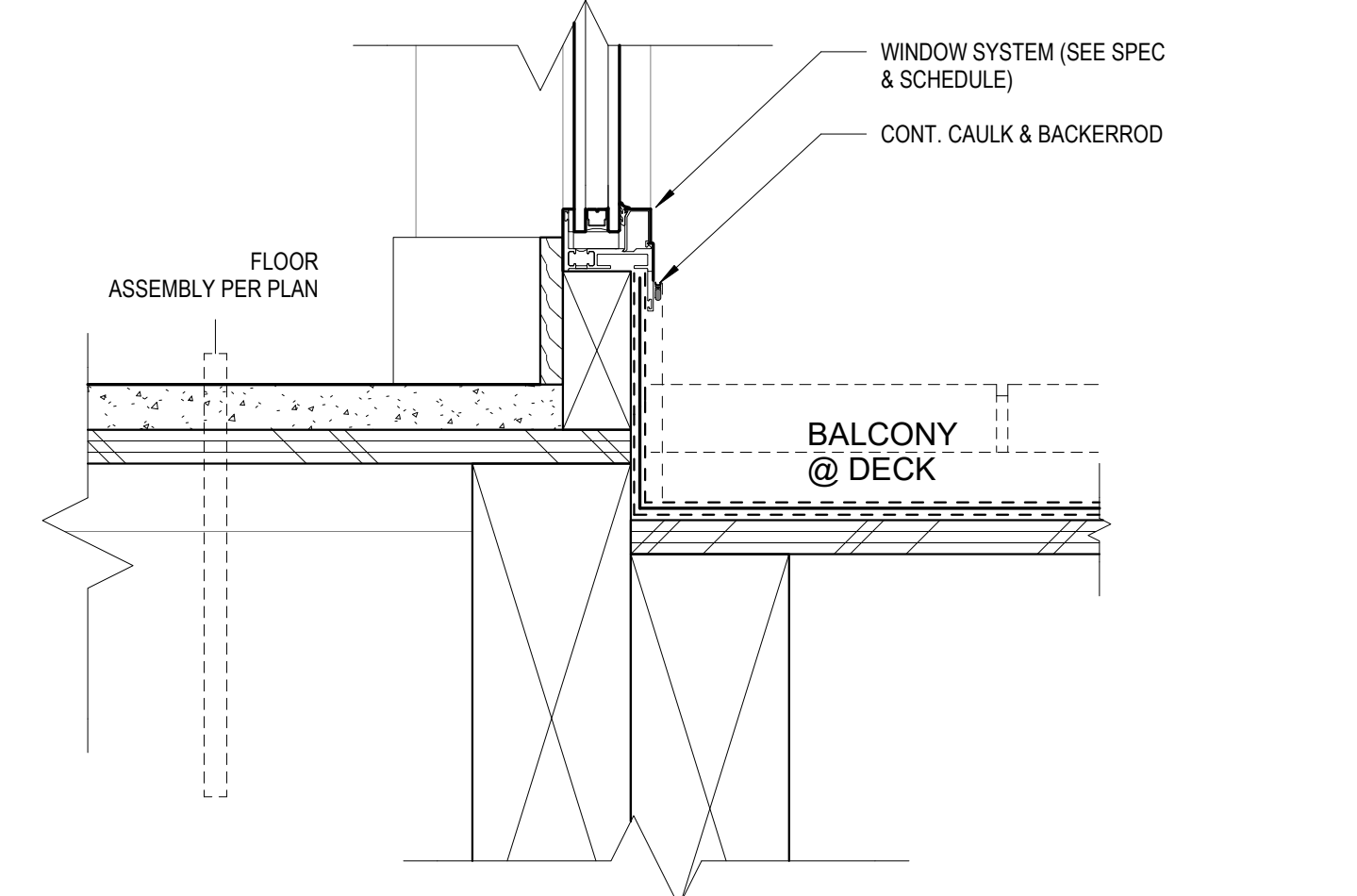
RAINWATER LEADER DETAIL 1 1/2" = 1'-0" 12



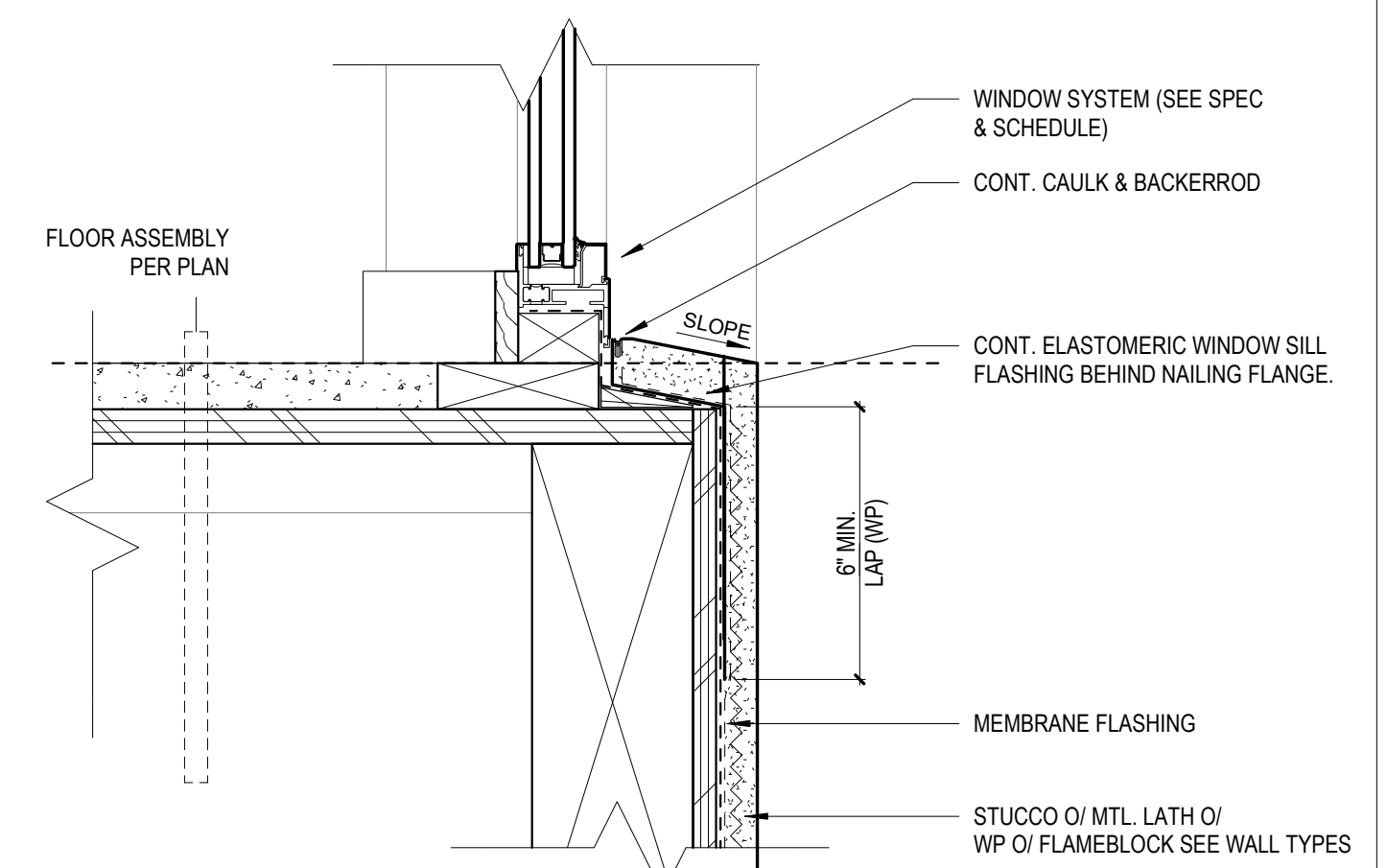
PARAPET CAP @ ROOFTOP TERRACE 3" = 1'-0" 9



TYP. WINDOW JAMB @ EXT. B STUCCO DEEP 3" = 1'-0" 6



TYP. WINDOW SILL @ EXT. STUCCO 3" = 1'-0" 2



TYP. WINDOW SILL @ BALC. B STUCCO DEEP 3" = 1'-0" 5

TYP. WINDOW SILL @ EXT. B STUCCO 3" = 1'-0" 1

DOWNSPOUT DETAIL 1 1/2" = 1'-0" 11

STONE CAP PARAPET 3" = 1'-0" 8

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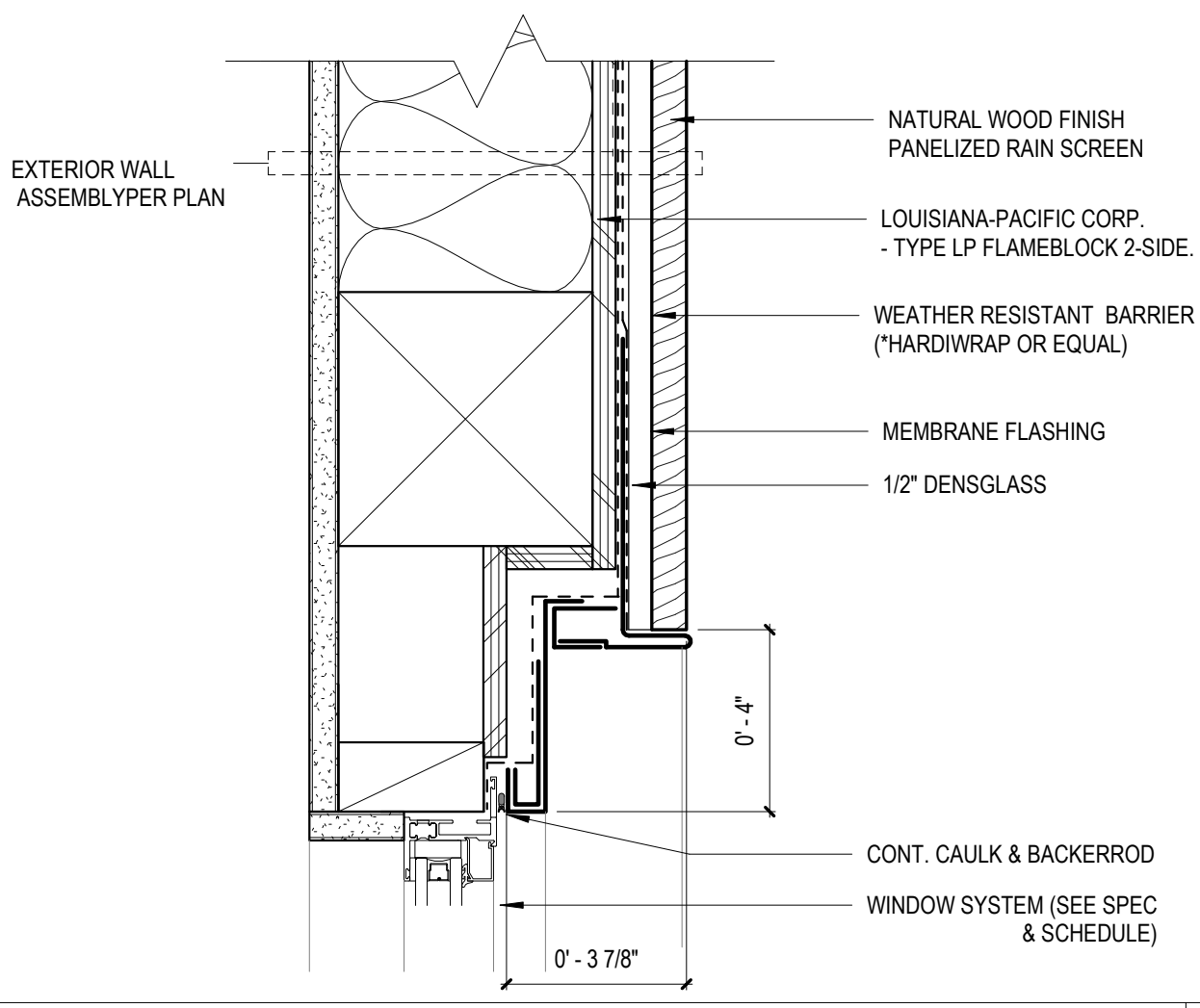
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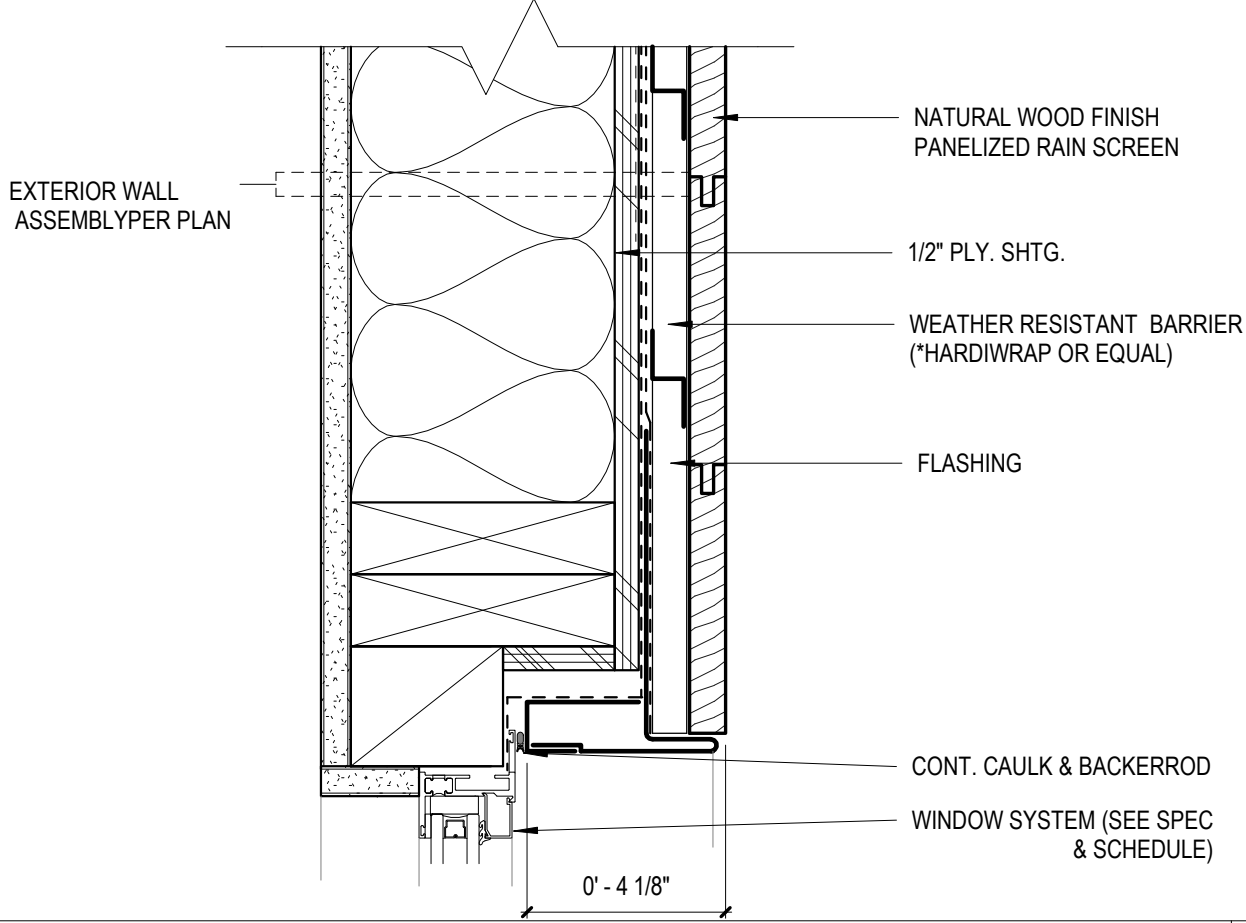
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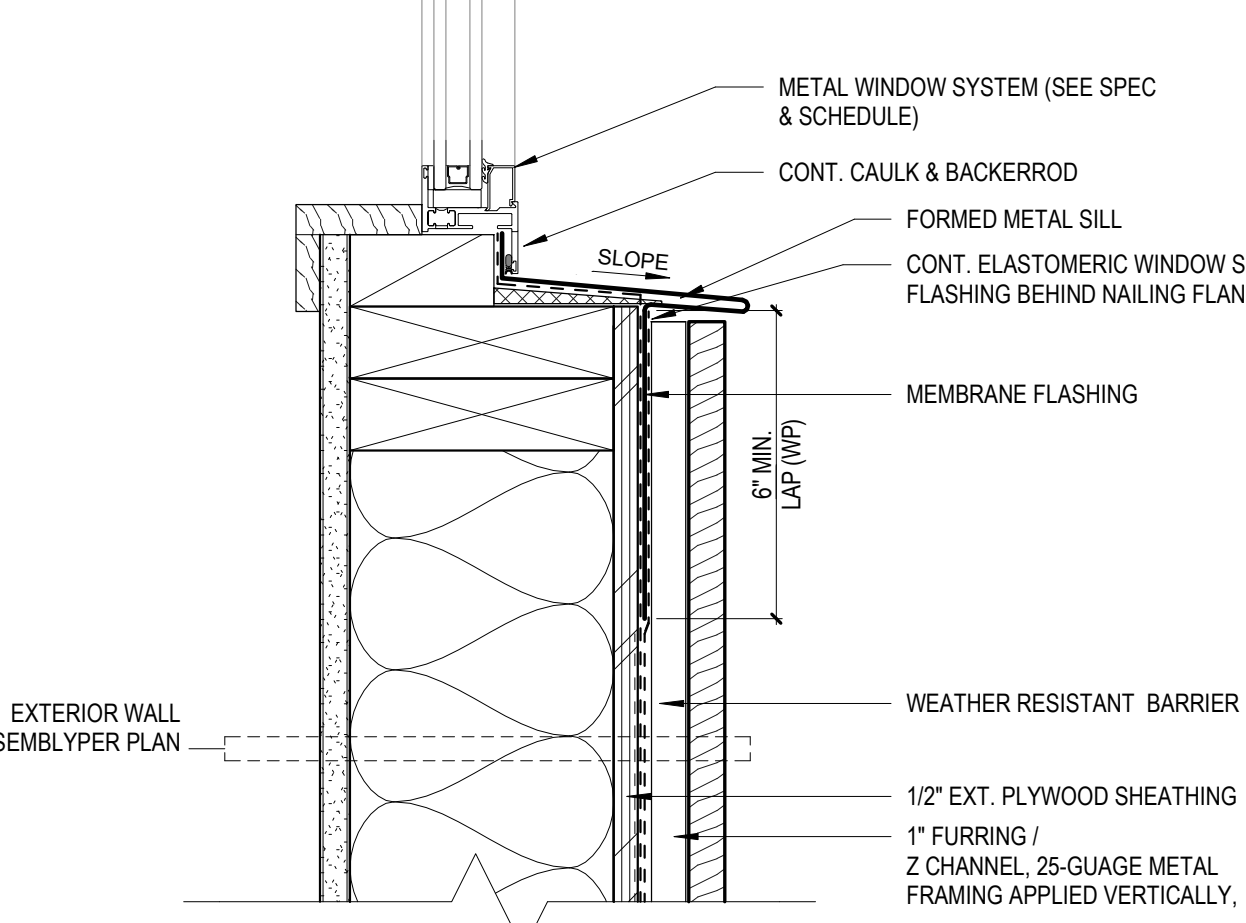
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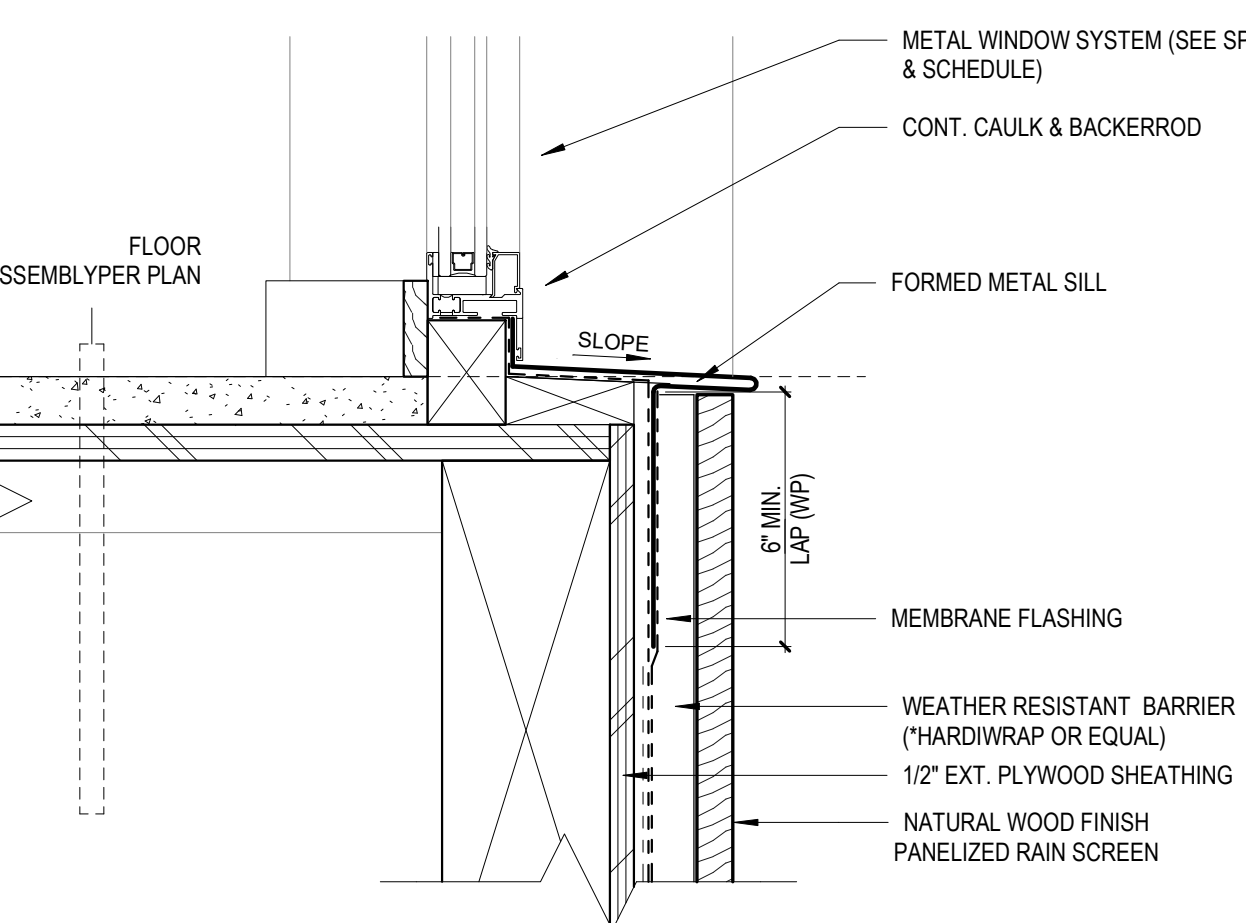
TYP. WINDOW HEAD @ EXT. WOOD PAN. WALL 3" = 1'-0" 11



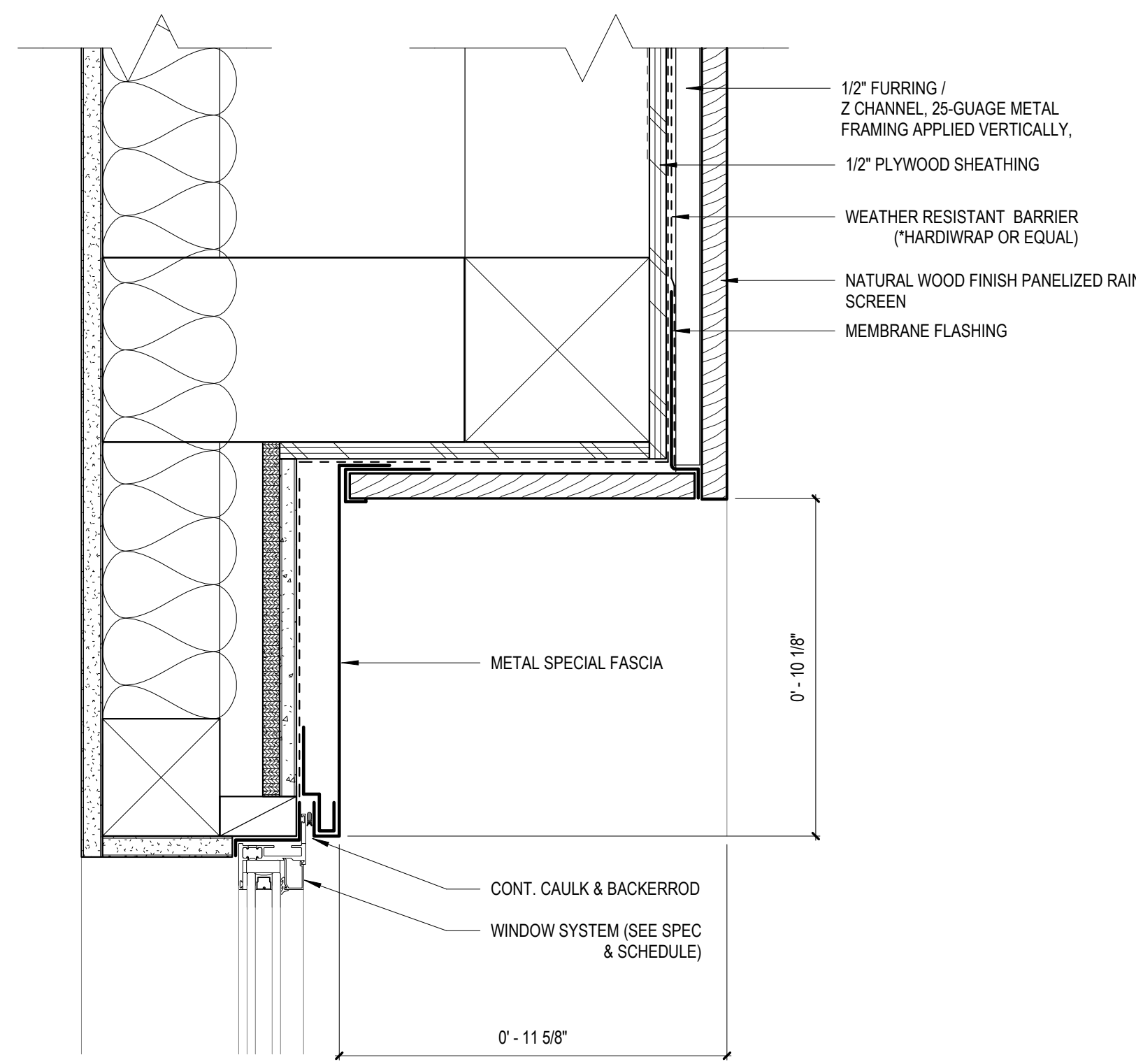
TYP. WIN. JAMB/HEAD @ EXT. WD. PAN. WALL 3" = 1'-0" 10



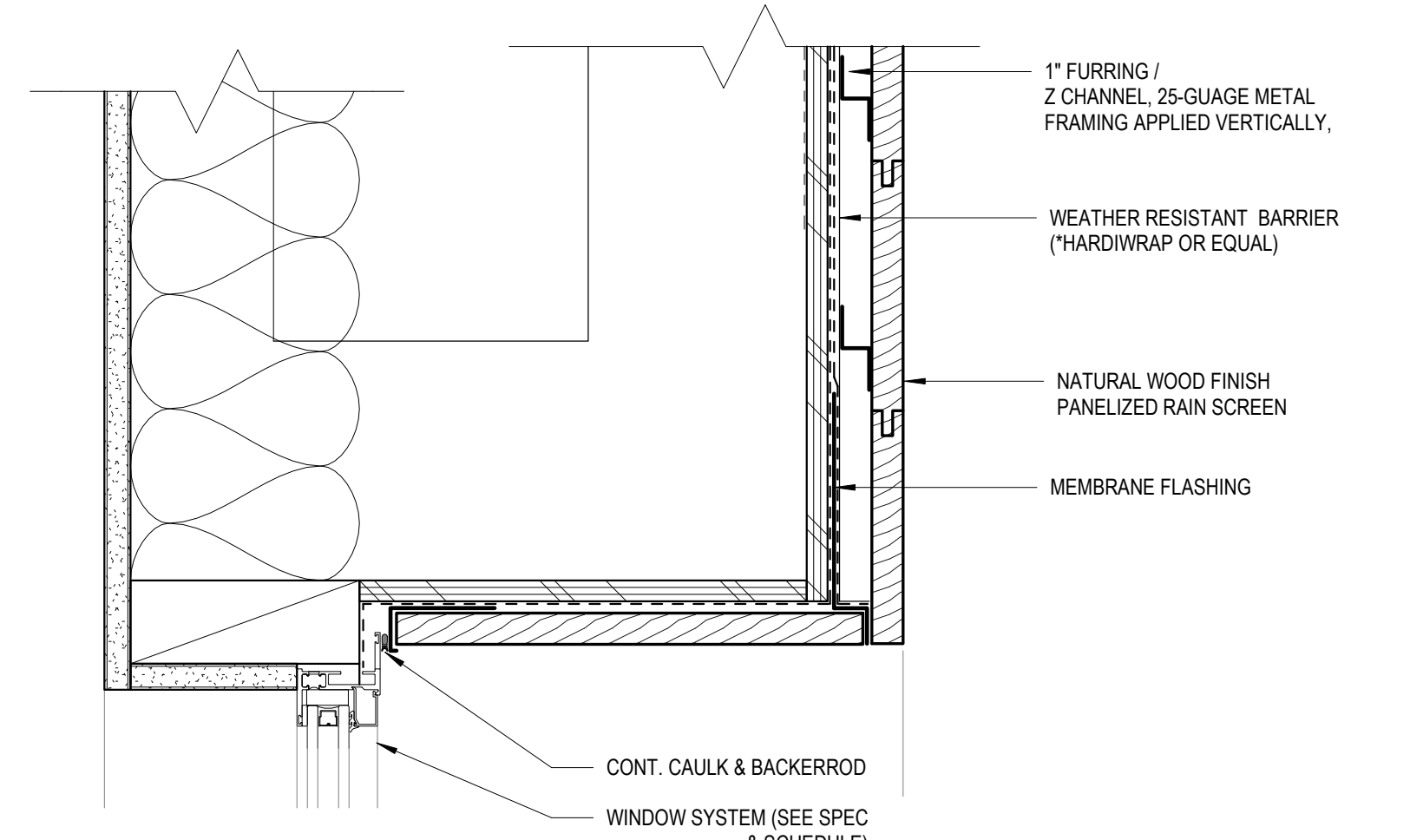
TYP. WINDOW SILL @ EXT. WOOD PANEL WALL 3" = 1'-0" 9



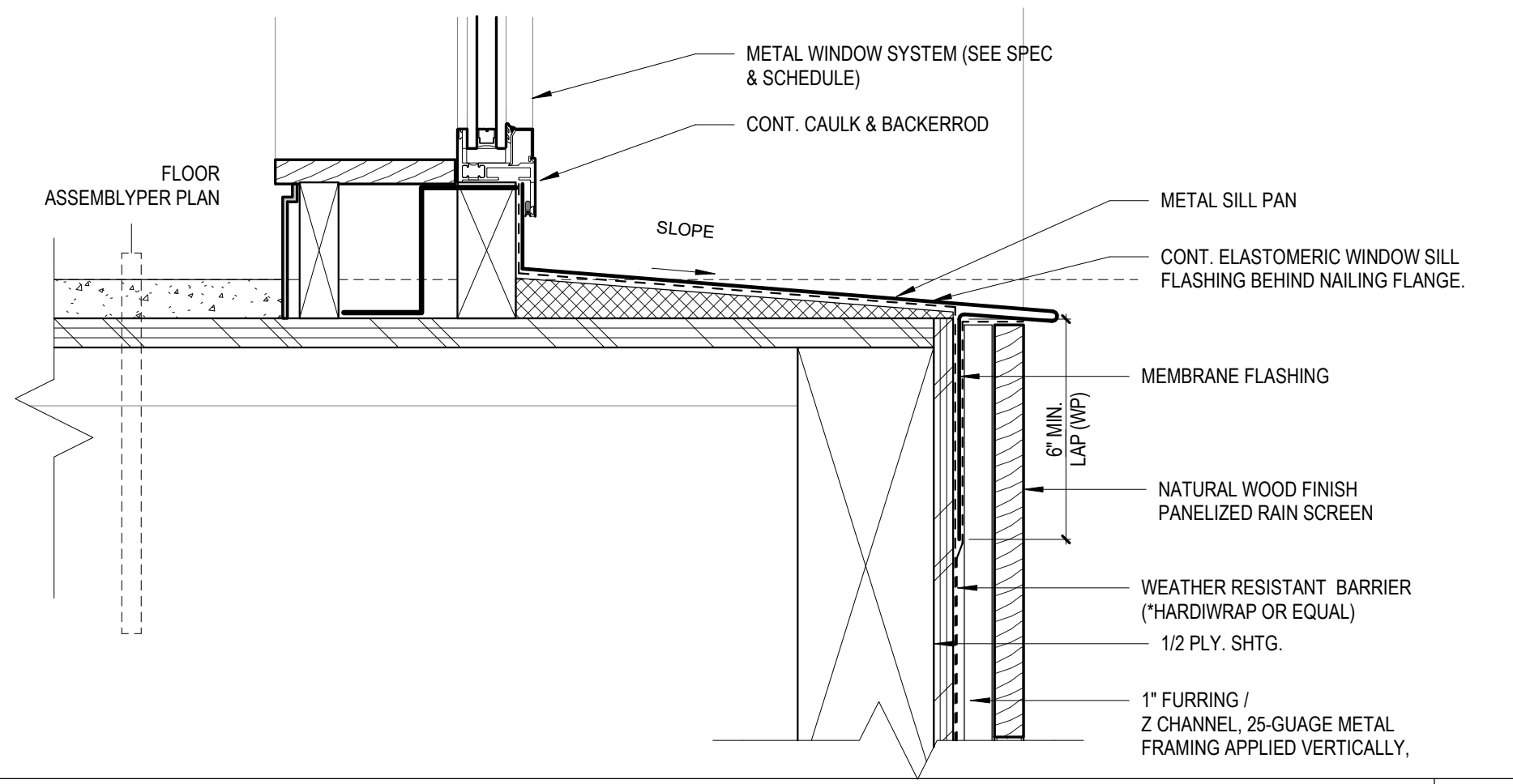
TYP. WIN. SILL @ FLR. & EXT. WOOD PAN. WALL 3" = 1'-0" 8



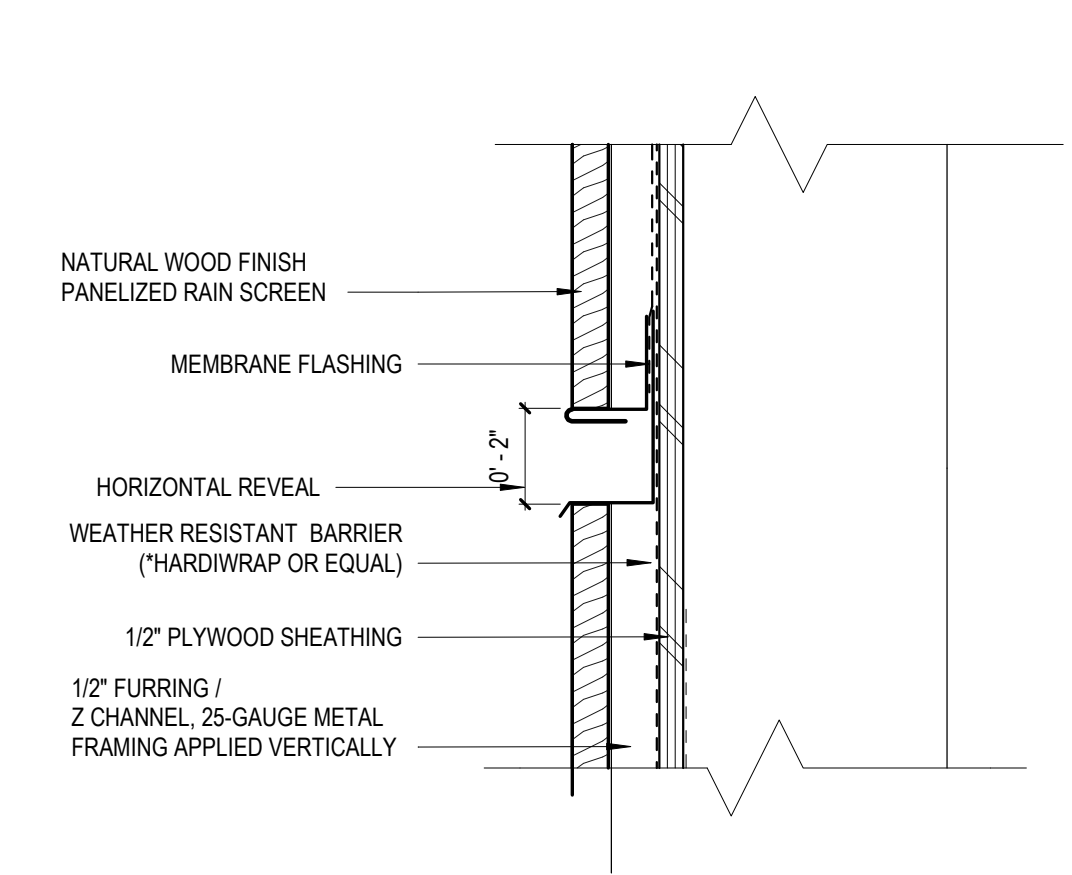
TYP. DEEP WINDOW HEAD @ EXT. WOOD PANEL WALL 3" = 1'-0" 7



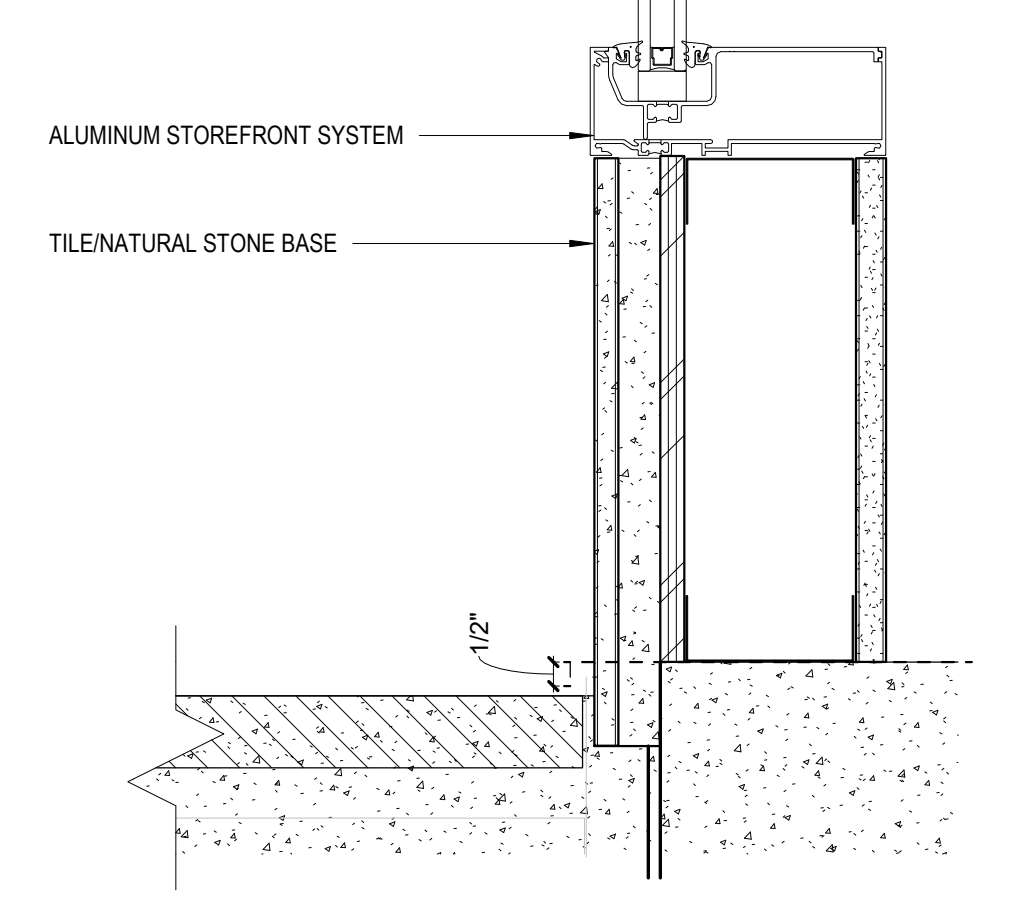
TYP. DEEP WINDOW JAMB @ EXT. WOOD PANEL WALL 3" = 1'-0" 6



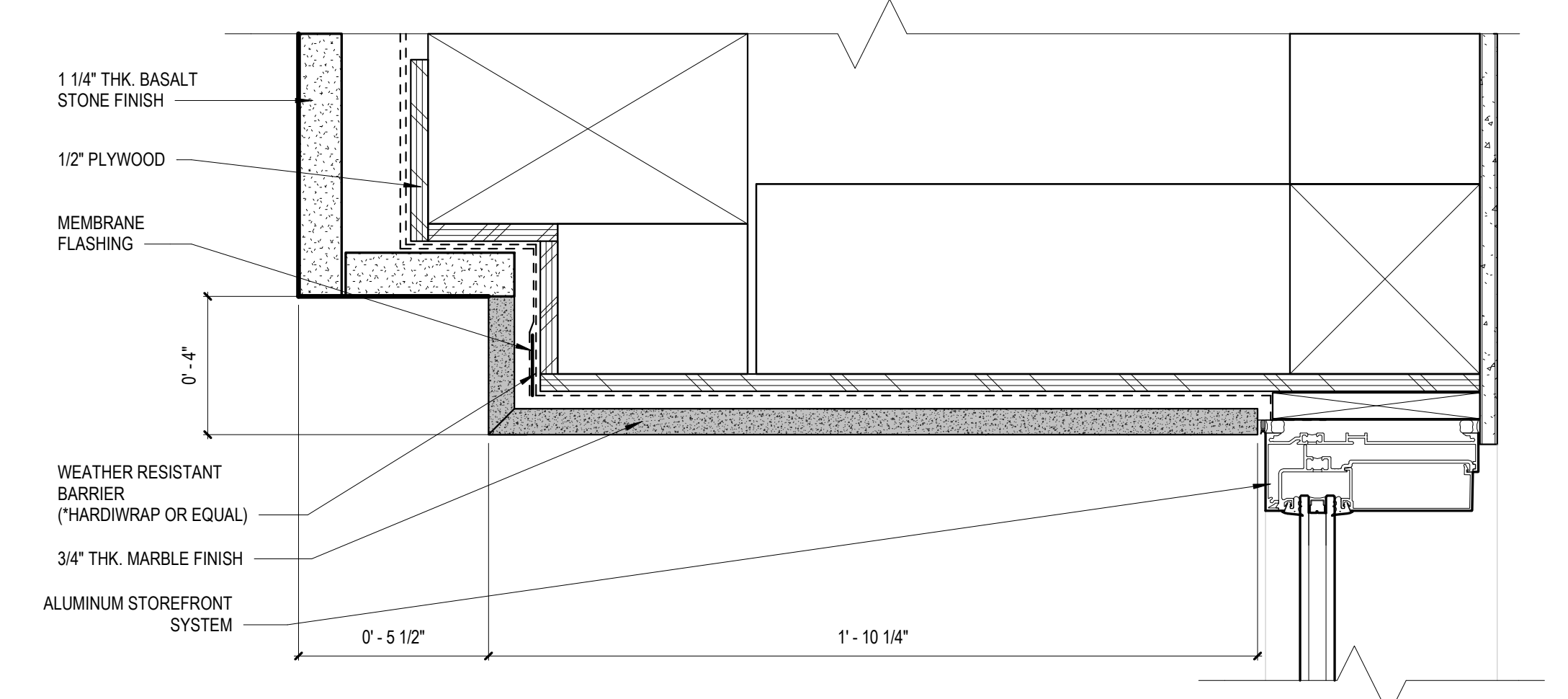
TYP. DEEP WINDOW SILL @ EXT. WOOD PANEL WALL 3" = 1'-0" 5



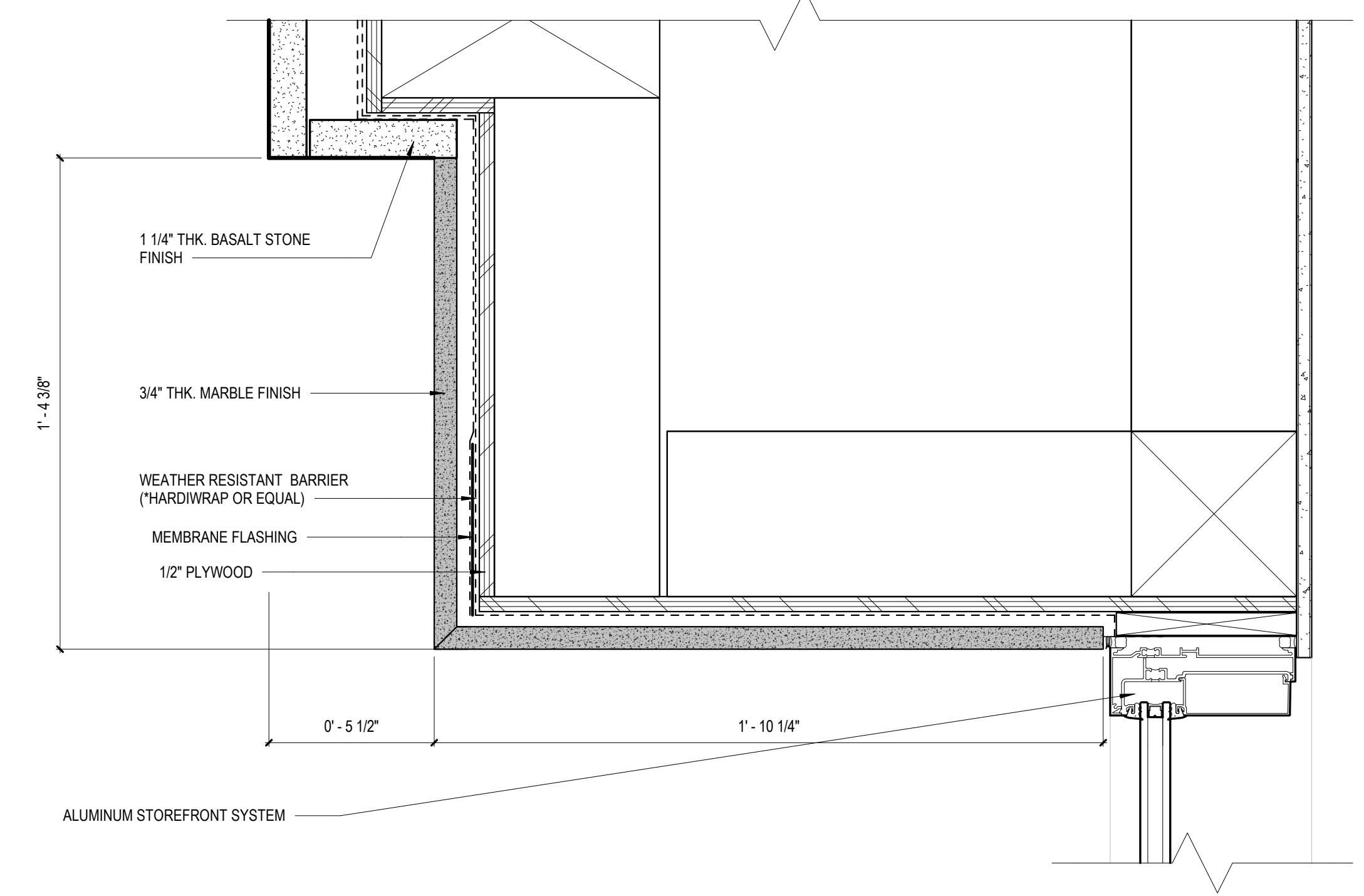
ARCHITECTURAL REVEAL 3" = 1'-0" 4



STOREFRONT SILL @ EXT. CONC. SLAB 3" = 1'-0" 3



STOREFRONT ASSEMBLY - JAMB 3" = 1'-0" 2



STOREFRONT ASSEMBLY - HEADER 3" = 1'-0" 1

DATE:	ISSUANCE OR REVISION
6/24/2022	PLANNING SUBMITTAL
12/30/2022	RESUBMITTAL #1
3/1/2023	FIRE DEPARTMENT
3/31/2023	FIRE DEPT. UPDATE
4/11/2023	RESUBMITTAL #2
10/23/2023	RESUBMITTAL #3
4/11/2024	RESUBMITTAL #4
08/15/2024	RESUBMITTAL #5

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SHEET CONTENTS
DETAILS - ENTRY CANOPY

PROJECT NO: 9942

SHEET

A9.3



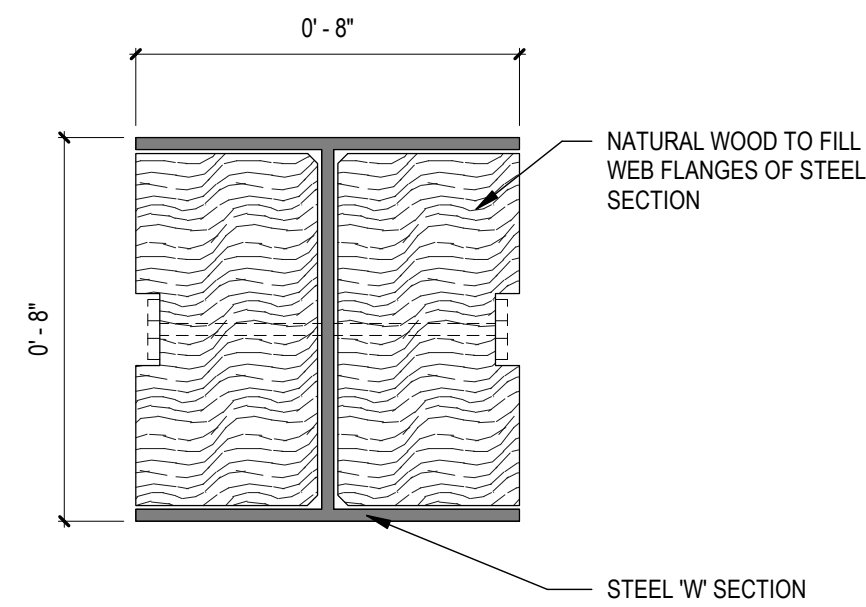
FORMED METAL SILL

WINDOW SILLS SHALL PROJECT BEYOND JAMB PER 14.44130C1(a)(i)

WINDOW SILL DETAIL 1/2" = 1'-0" 4

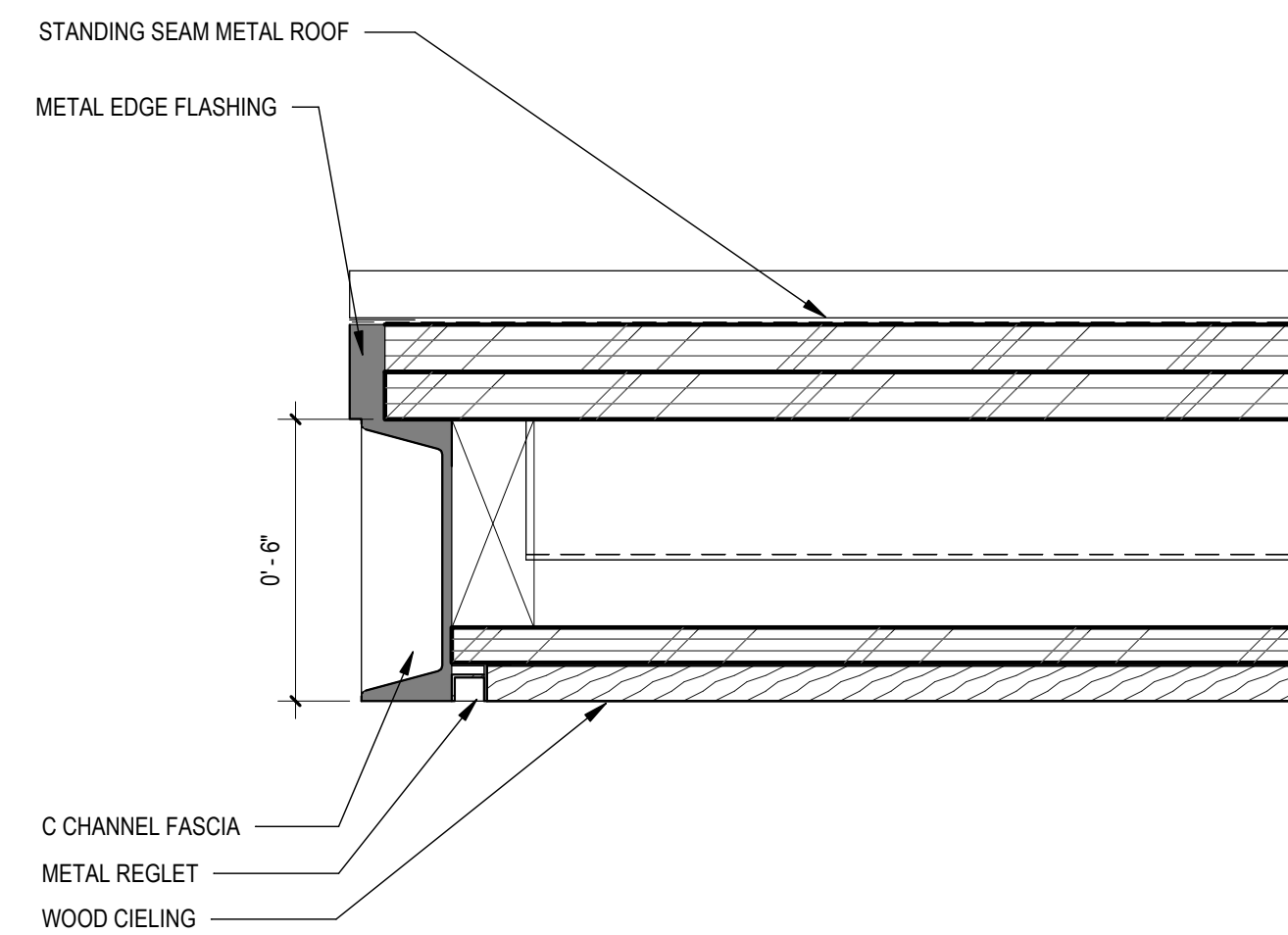


ENTRY CANOPY - 3D VIEW 4



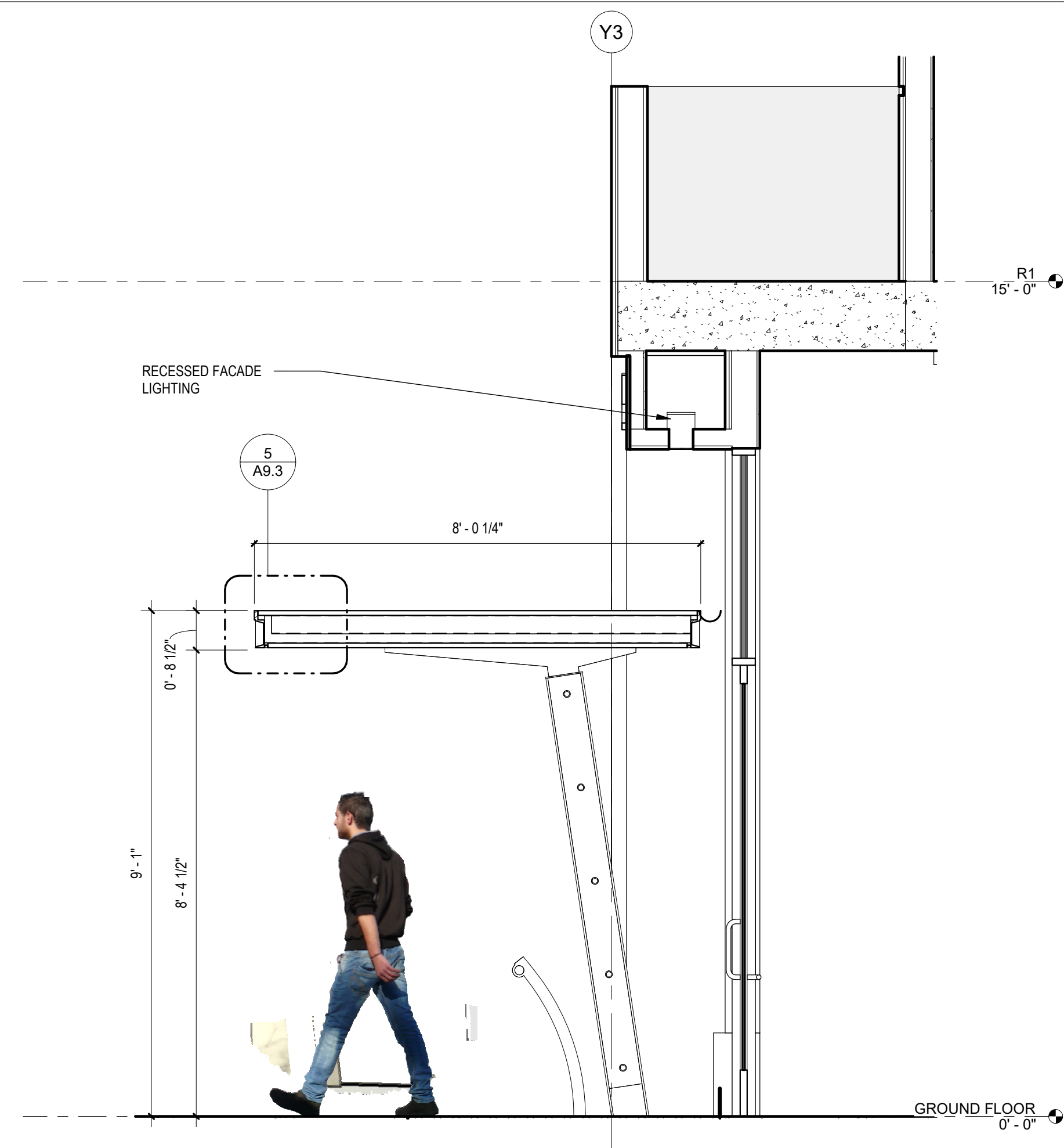
NATURAL WOOD TO FILL WEB FLANGES OF STEEL SECTION
STEEL W SECTION

ENTRY CANOPY COLUMN 3" = 1'-0" 6



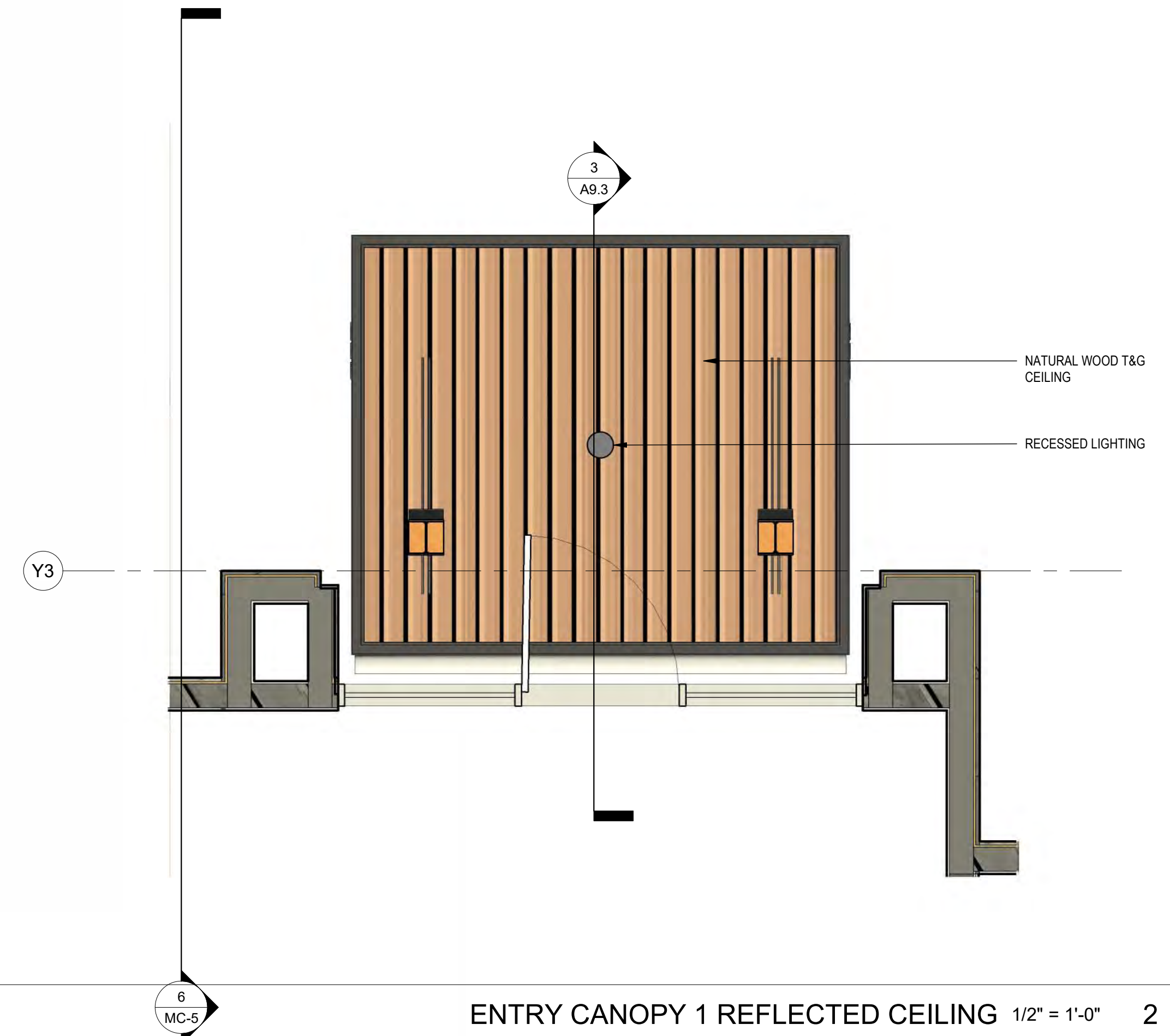
STANDING SEAM METAL ROOF
METAL EDGE FLASHING
C CHANNEL FASCIA
METAL REGLET
WOOD CEILING

Detail 1 3" = 1'-0" 5

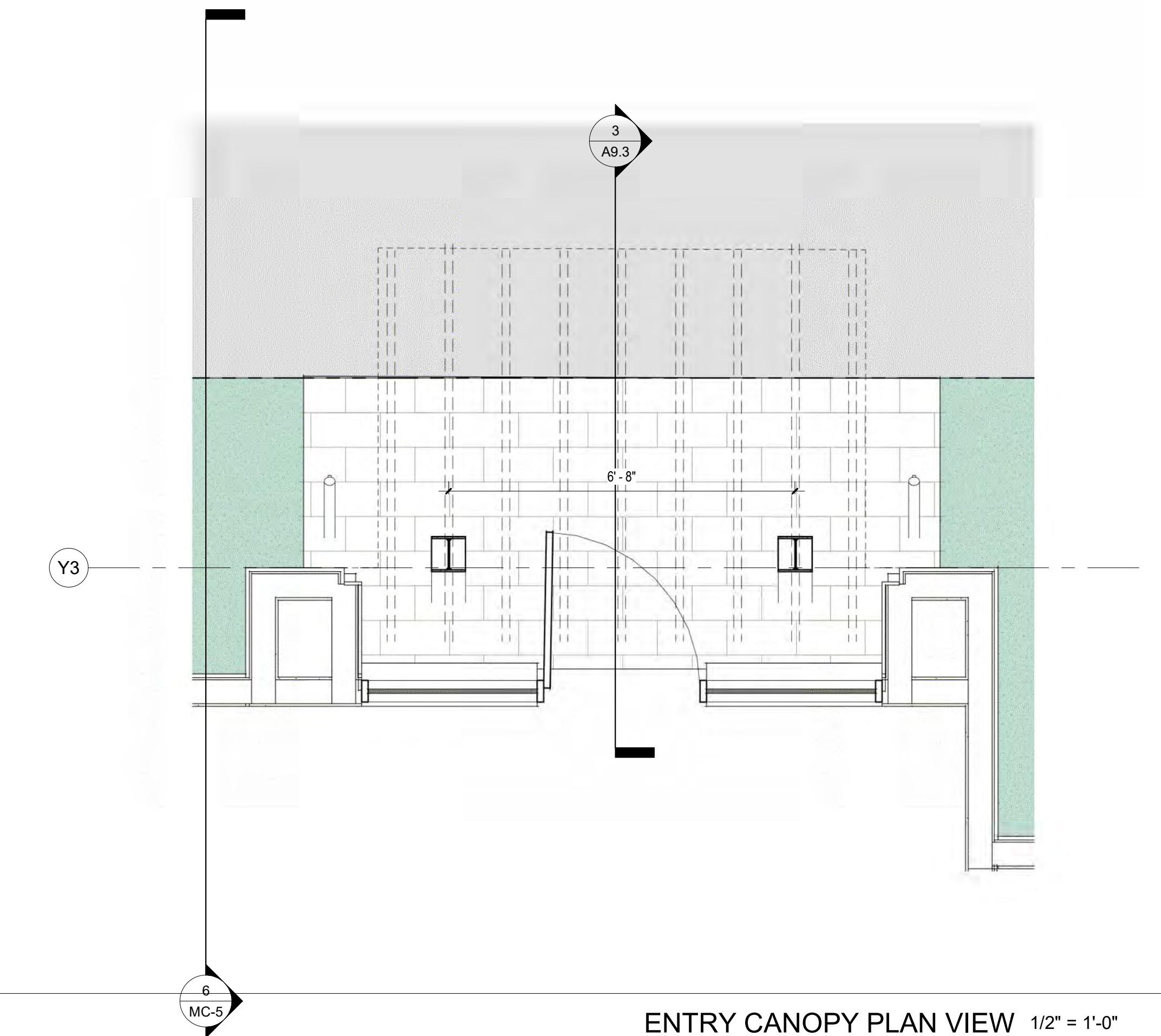


RECESSED FACADE LIGHTING

ENTRY CANOPY 1 SECTION 1/2" = 1'-0" 3



ENTRY CANOPY 1 REFLECTED CEILING 1/2" = 1'-0" 2

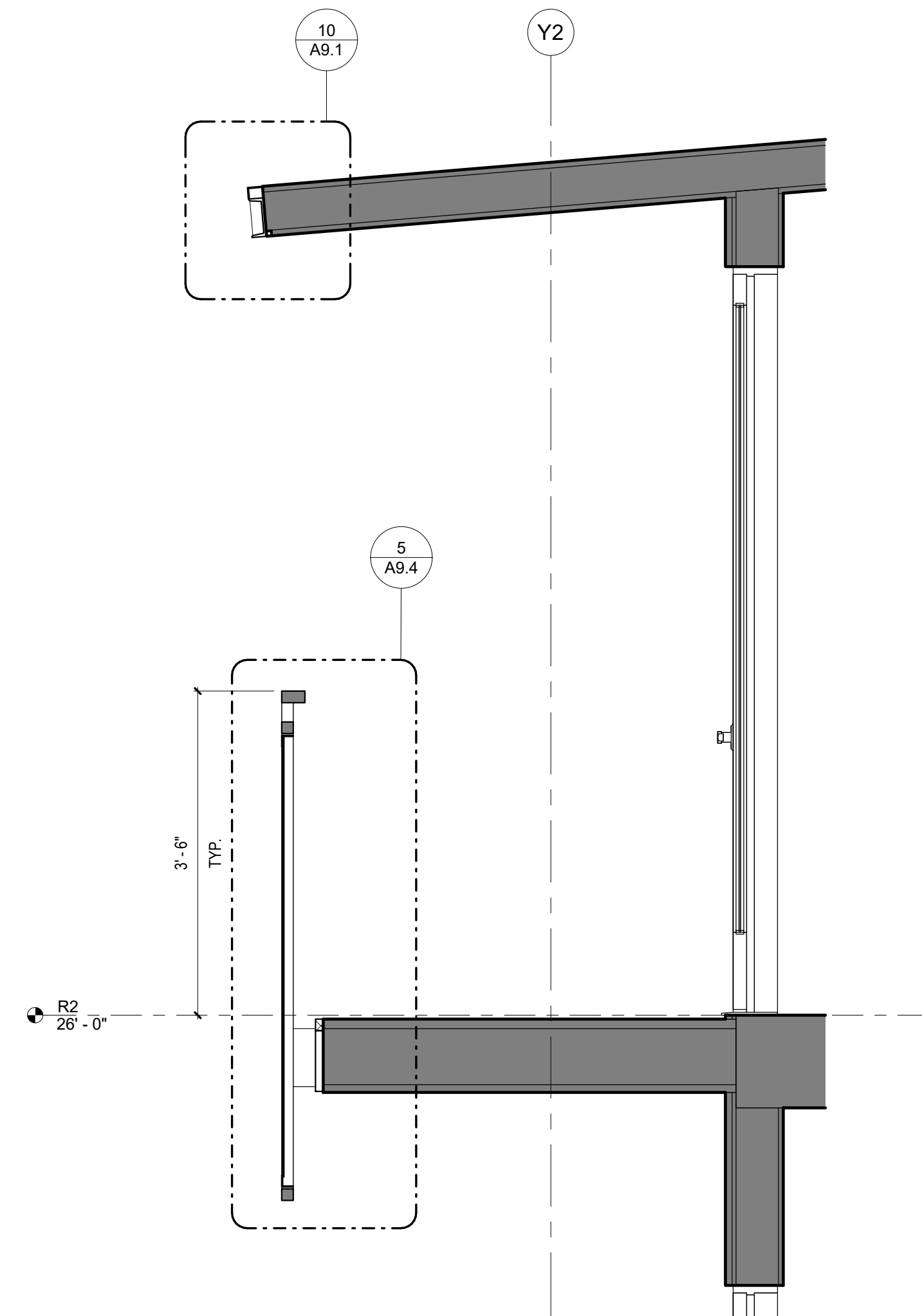


ENTRY CANOPY PLAN VIEW 1/2" = 1'-0" 1



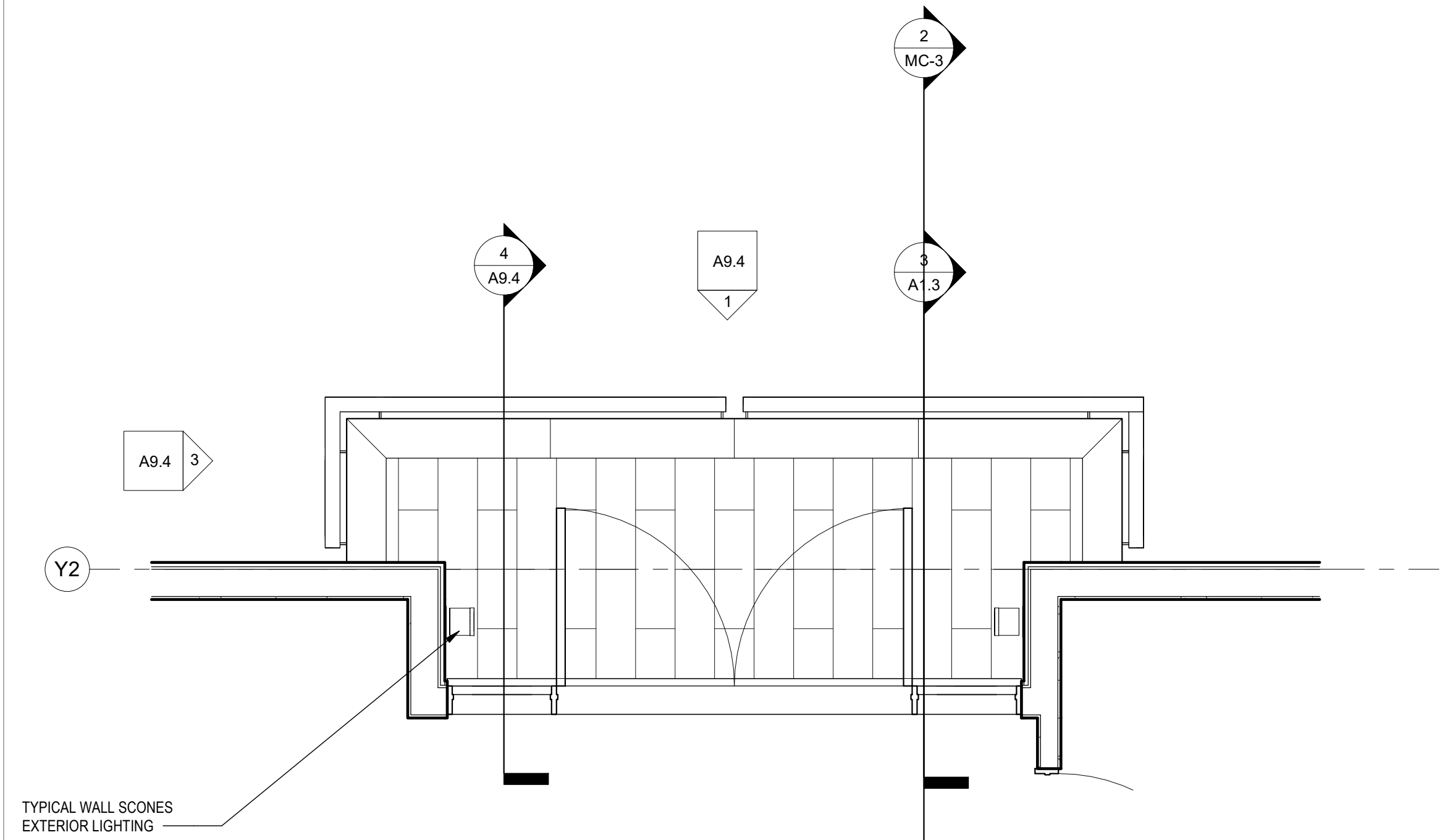
TYPICAL BALCONY 3D VIEW

6



BALCONY A SECTION 3/4" = 1'-0"

4



BALCONY A PLAN VIEW 1/2" = 1'-0"

2

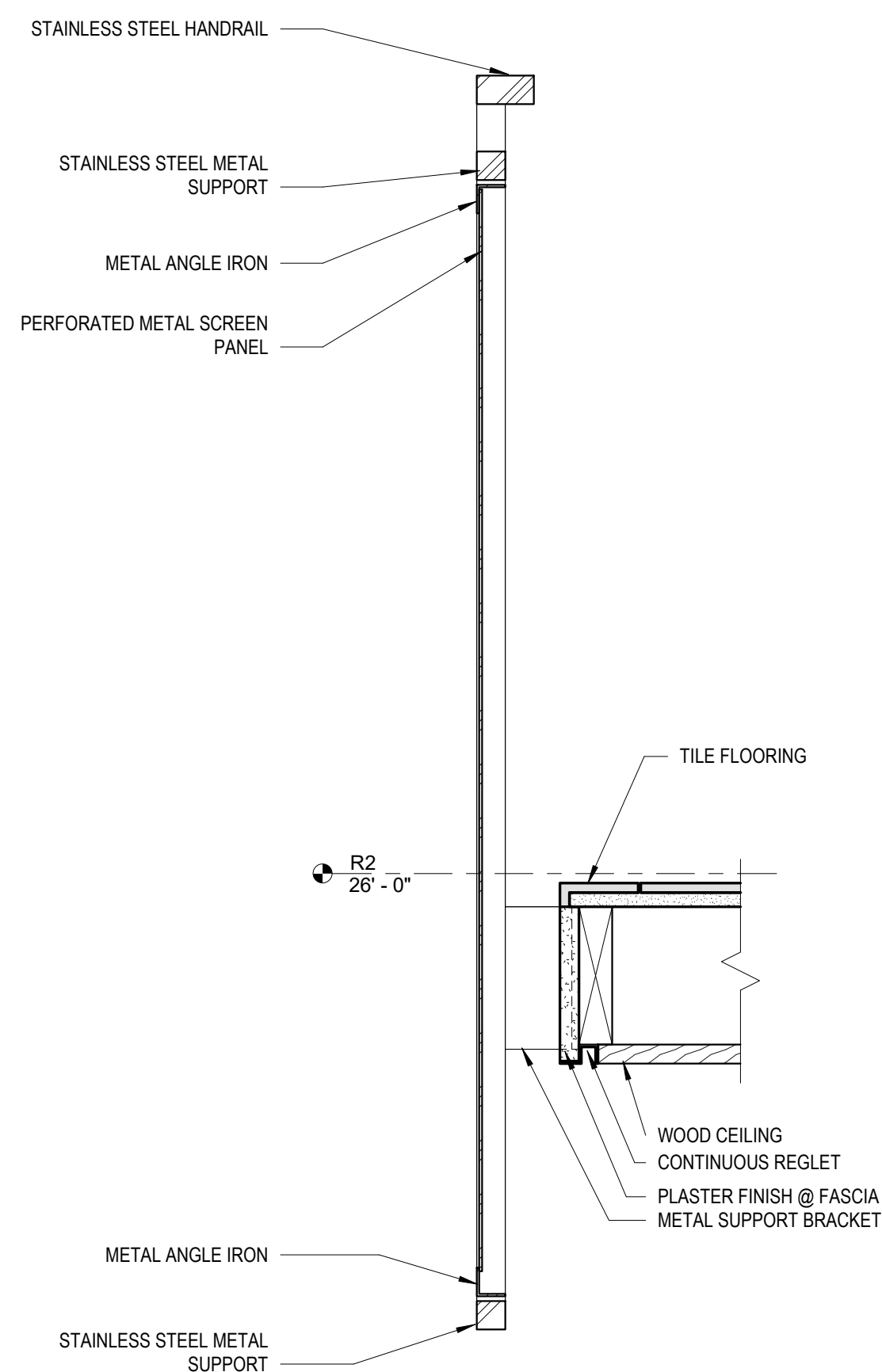
DATE:	ISSUANCE OR REVISION
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08/15/2024	RESUBMITTAL #5

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SHEET CONTENTS
DETAILS - BALCONY RAILING

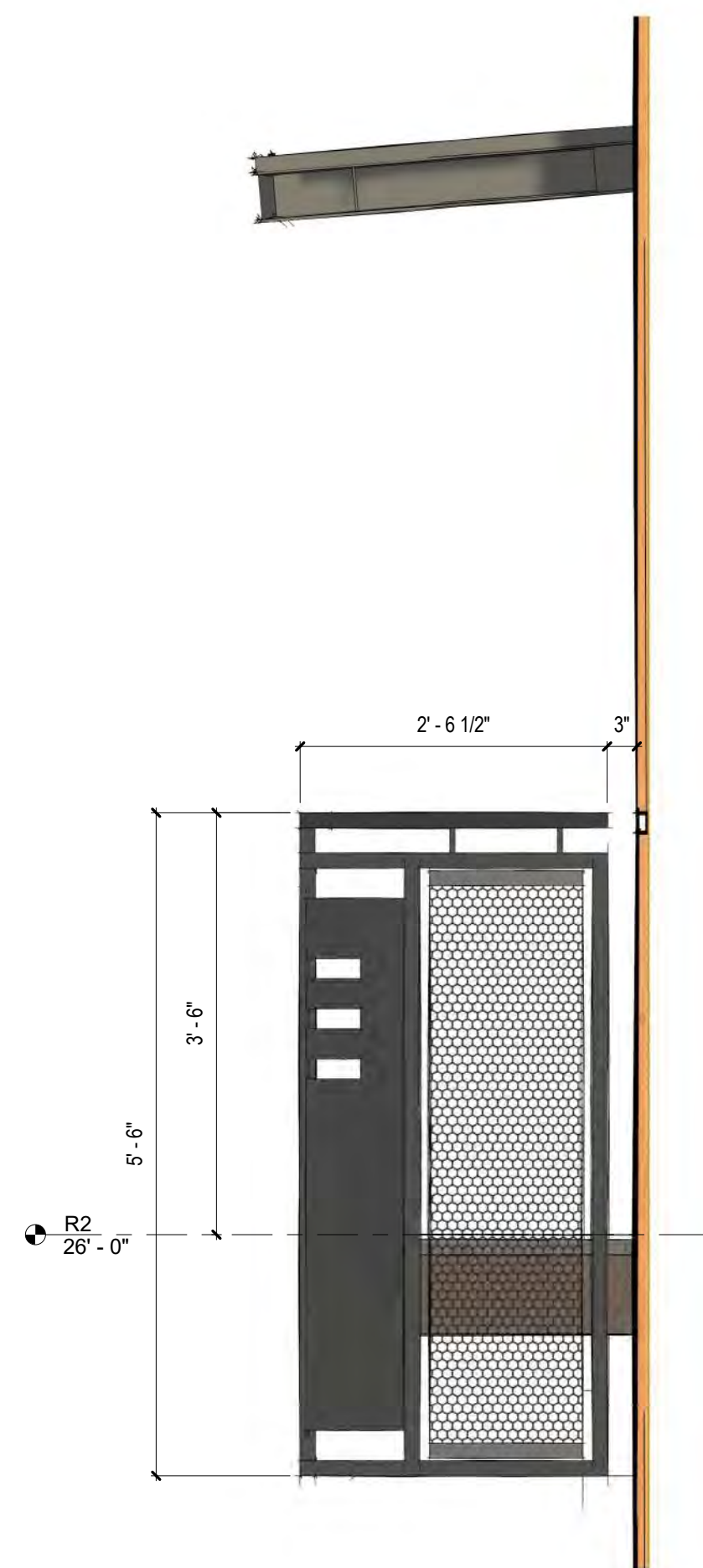
PROJECT NO: 9942

SHEET
A9.4



BALCONY A RAIL DETAIL 1/2" = 1'-0"

5



BALCONY A SIDE ELEVATION 3/4" = 1'-0"

3

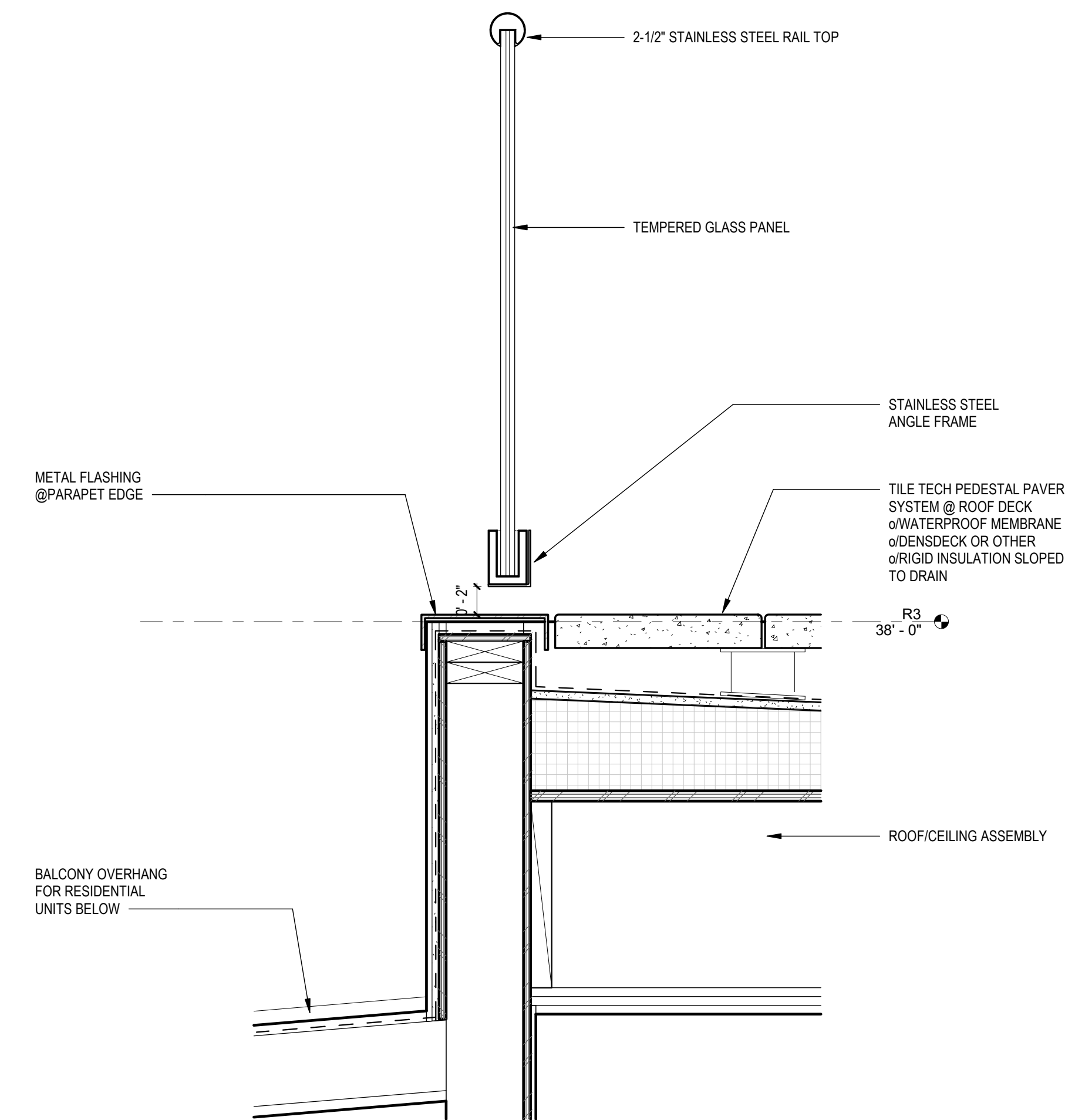


BALCONY A FRONT ELEVATION 1/2" = 1'-0"

1



ROOF DECK RAILING ELEVATION 1/2" = 1'-0" 2



ROOF DECK RAILING DETAIL 1/2" = 1'-0" 1

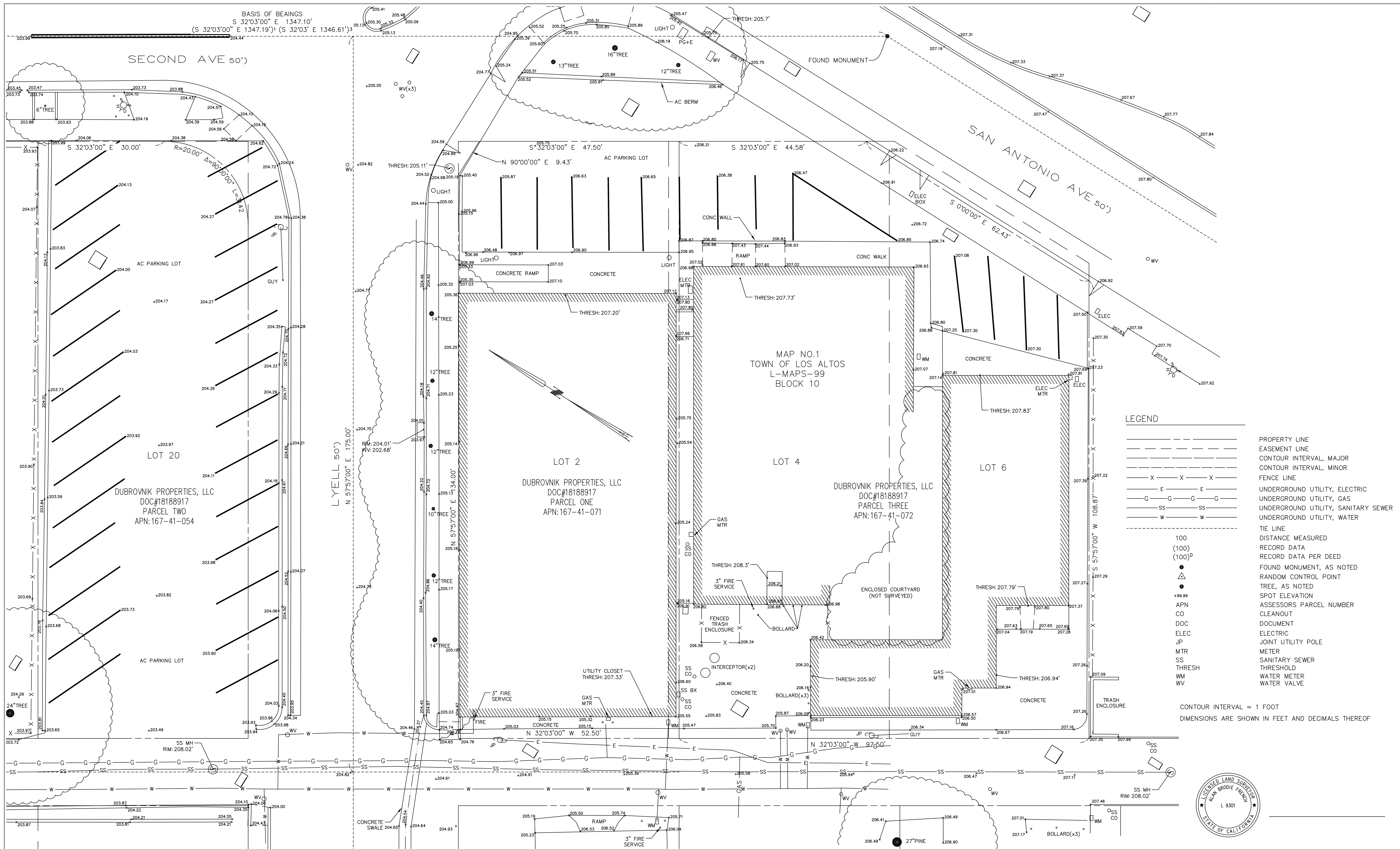
DATE:	ISSUANCE OR REVISION
6/24/2022	PLANNING SUBMITTAL
12/30/2022	RESUBMITTAL #1
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4/11/2024	RESUBMITTAL #4
08/15/2024	RESUBMITTAL #5

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SHEET CONTENTS
DETAILS - OTHER

PROJECT NO: 9942

SHEET
A9.5



LEGEND

---	PROPERTY LINE
---	EASEMENT LINE
---	CONTOUR INTERVAL, MAJOR
---	CONTOUR INTERVAL, MINOR
X-X-X	FENCE LINE
E-E	UNDERGROUND UTILITY, ELECTRIC
G-G	UNDERGROUND UTILITY, GAS
SS-SS	UNDERGROUND UTILITY, SANITARY SEWER
W-W	UNDERGROUND UTILITY, WATER
---	TIE LINE
100	DISTANCE MEASURED
(100)	RECORD DATA
(100) ^D	RECORD DATA PER DEED
●	FOUND MONUMENT, AS NOTED
△	RANDOM CONTROL POINT
●	TREE, AS NOTED
+99.99	SPOT ELEVATION
APN	ASSESSORS PARCEL NUMBER
CO	CLEANOUT
DOC	DOCUMENT
ELEC	ELECTRIC
JP	JOINT UTILITY POLE
MTR	METER
SS	SANITARY SEWER
THRESH	THRESHOLD
WM	WATER METER
WV	WATER VALVE

CONTOUR INTERVAL = 1 FOOT
DIMENSIONS ARE SHOWN IN FEET AND DECIMALS THEREOF

BASIS OF BEARINGS
BEARINGS FOR THIS SURVEY ARE BASED ON THE CENTERLINE OF SECOND AVENUE AND BASED UPON MONUMENTS FOUND AT THE CENTERLINE INTERSECTIONS OF SECOND AVE WITH SAN ANTONIO ROAD AND MAIN STREET

NORTH 32°03' WEST

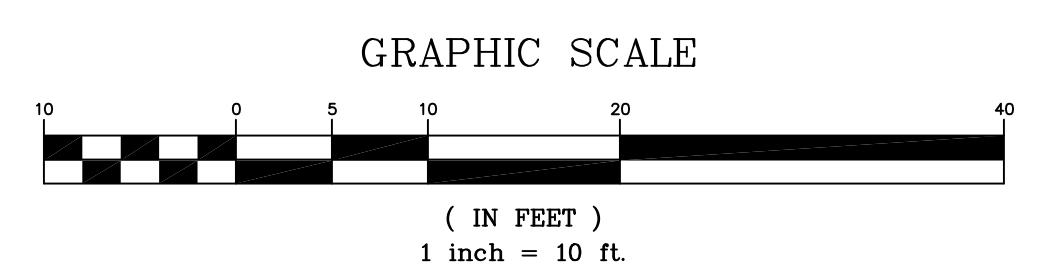
BASIS OF ELEVATIONS
ELEVATIONS FOR THIS SURVEY ARE BASED ON THE CITY OF LOS ALTOS BENCHMARK #22, LOCATED IN THE TOP OF CURB AT THE SOUTHWEST NOSE OF THE TRAFFIC ISLAND AT SAN ANTONIO ROAD AND FIRST STREET.

BENCHMARK ELEVATION = 212.96'

UTILITY NOTE
UTILITY LOCATIONS ARE APPROXIMATE. UTILITIES SHOWN ON THIS MAP WERE DETERMINED FROM SURFACE EVIDENCE OF UNDERGROUND LOCATIONS, DURING A SURVEY BY ALPHA LAND SURVEYS IN NOVEMBER 2019. THE ORIGIN OF THE UNDERGROUND UTILITY MARKINGS SHOWN HEREON ARE UNKNOWN.

CALL U.S.A. (UNDERGROUND SERVICE ALERT) (800) 642-2444 BEFORE ANY EXCAVATION.

BOUNDARY NOTE
THE BOUNDARY SHOWN IS BASED ON FOUND MONUMENTS. A TITLE REPORT WAS NOT PROVIDED FOR THE PREPARATION OF THIS MAP. EASEMENTS SHOWN ARE PER RECORD DATA AS NOTED HEREON. PARCELS MAY BE SUBJECT TO EASEMENTS AND RIGHT OF WAYS OF RECORD THAT ARE NOT SHOWN ON THIS MAP.

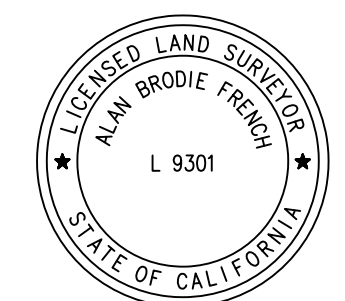


SANTA CLARA COUNTY APN: 167-41-054, -071, & -072

ALPHA LAND SURVEYS, INC.

4444 SCOTTS VALLEY DR. #7 SCOTTS VALLEY, CA 95066 (831) 438-4453	P.O. BOX 1146 MORGAN HILL, CA 95038 (831) 438-4453	TOPOGRAPHIC MAP 400, 420 & 428 2ND AVE LOS ALTOS COUNTY OF SANTA CLARA	SHEET 1 OF ONE
--	--	---	----------------------

DATE: 11/27/19 JOB#: 2019-162



SITE IMPROVEMENT PLANS

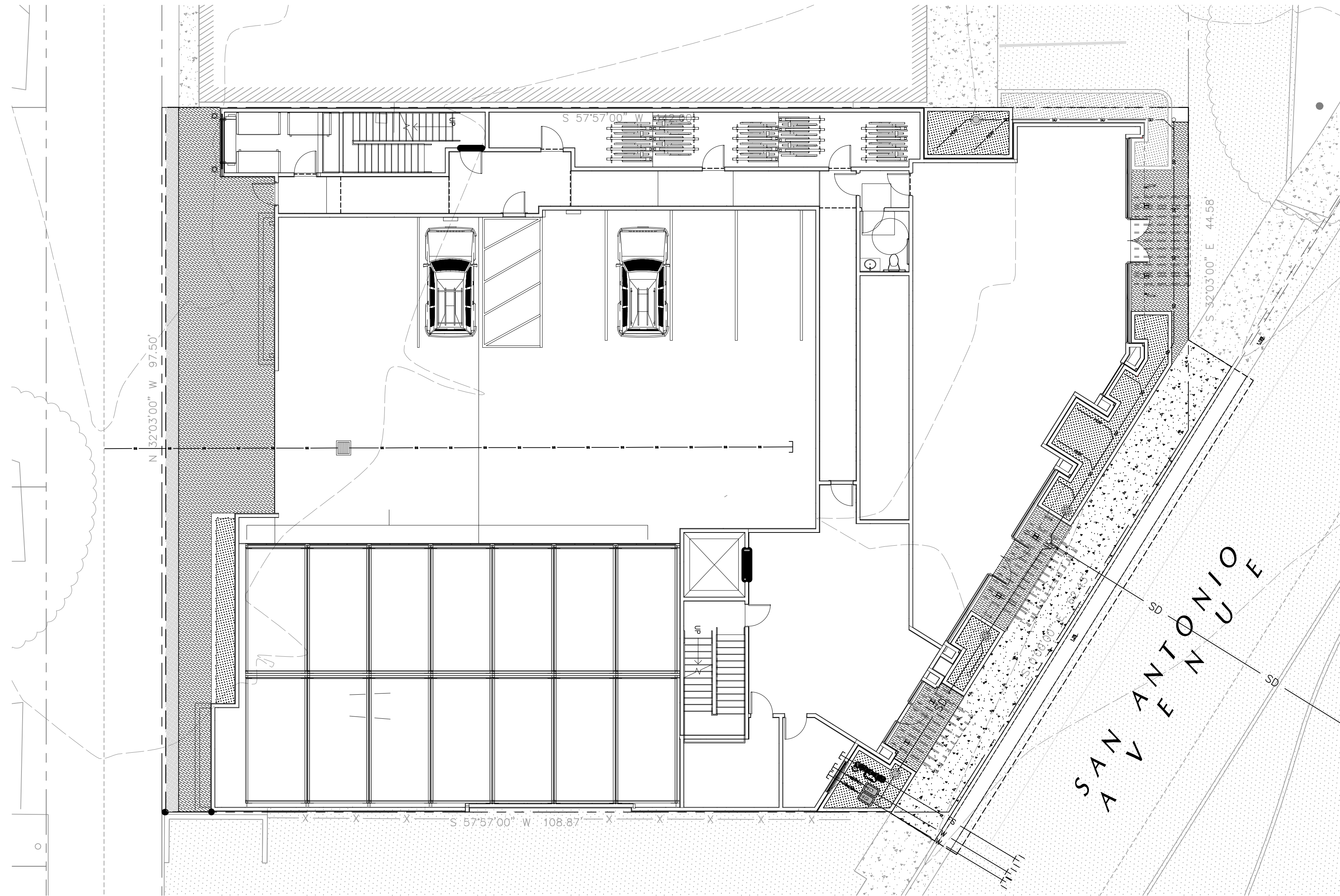
LOS ALTOS MIXED USE

400, 420 & 428 2ND AVENUE

LOS ALTOS, CALIFORNIA 94022

CIVIL SHEET INDEX

- CO.1 - COVER SHEET
- CO.2 - VESTING TENTATIVE MAP
- C1.1 - EXISTING SITE - DEMOLITION PLAN
- C2.1 - SITE IMPROVEMENT - GRADING PLAN
- C3.1 - STORM WATER MANAGEMENT PLAN
- C3.2 - STORM WATER MANAGEMENT PLAN
- C4.1 - EROSION CONTROL PLAN
- C5.1 - CONSTRUCTION DETAILS



SITE MAP
SCALE: 1"=10'



VICINITY MAP
SCAN WITH QR READER

ARCHITECT:

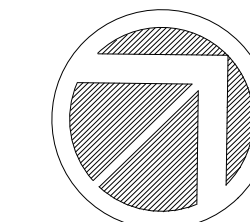
HOCHHAUSER BLATTER ARCHITECTURE & PLANNING
122 E ARRELLAGA STREET
SANTA BARBARA, CA 93101
OFFICE: 805.962.2746

CIVIL ENGINEER:

C2G/CIVIL CONSULTANTS GROUP, INC.
4444 SCOTT'S VALLEY DRIVE, STE. 6
SCOTT'S VALLEY, CA 95066
OFFICE: 831.438.4420

SURVEYOR:

ALPHA SURVEY
4444 SCOTT'S VALLEY DRIVE, STE 6
SCOTT'S VALLEY, CA 95066
OFFICE: 831.438.4453



CONTRACTOR RESPONSIBILITY

CONTRACTOR AGREES THAT HE SHOULD ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY, DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, AND THAT REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED DURING WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE DESIGN PROFESSIONALS HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR DESIGN PROFESSIONAL.

DISCREPANCIES

IF THERE ARE ANY DISCREPANCIES BETWEEN THE CONSTRUCTION DOCUMENTS AND EXISTING CONDITIONS WHICH WILL AFFECT THE WORK, THE CONTRACTOR SHALL BRING SUCH DISCREPANCIES TO THE DESIGN PROFESSIONAL FOR ADJUSTMENT BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER FITTING OF ALL WORK AND FOR THE COORDINATION OF ALL TRADES, SUBCONTRACTORS, AND PERSONS ENGAGED UPON THIS CONTRACT.

EROSION CONTROL NOTE

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE AND MAINTAIN EROSION CONTROL MEASURES AS REQUIRED THROUGHOUT THE LIFE OF THE PROJECT IN CONFORMANCE WITH THE CITY OF LOS ALTOS AND THE ASSOCIATION OF BAY AREA GOVERNMENTS
- CONTRACTOR TO PROVIDE BACK-UP EROSION PREVENTION MEASURES (SOIL STABILIZATION) WITH SEDIMENT CONTROL MEASURES SUCH AS STRAW WATTLES, SILT FENCE, GRAVEL INLET FILTERS, AND/OR SEDIMENT TRAPS OR BASINS. ENSURE CONTROL MEASURES ARE ADEQUATE, IN PLACE, AND IN OPERABLE CONDITIONS. SEDIMENT CONTROLS, INCLUDING INLET PROTECTION, ARE NECESSARY BUT SHOULD BE A SECONDARY DEFENSE BEHIND GOOD EROSION CONTROL MEASURES.
- ALL EROSION PREVENTION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AND REPAIRED THROUGHOUT THE SEASON. REPLACEMENT SUPPLIES SHOULD BE KEPT ON SITE.
- SITE INSPECTIONS SHALL BE CONDUCTED BEFORE AND AFTER EACH STORM EVENT, AND EVERY 24 HOURS FOR EXTENDED STORM EVENTS, TO IDENTIFY AREAS THAT CONTRIBUTE TO EROSION AND SEDIMENT PROBLEMS OR ANY OTHER POLLUTANT DISCHARGES. IF ADDITIONAL MEASURES ARE NEEDED, REVISE THE EROSION CONTROL PLAN AND IMPLEMENT THE MEASURES IMMEDIATELY. DOCUMENT ALL INSPECTION FINDINGS AND ACTIONS TAKEN.
- CONTRACTOR SHALL USE BEST MANAGEMENT PRACTICES DURING CONSTRUCTION FOR CONTROL OF STORM WATER RUNOFF (E.G. GRAVEL BAGS AT CATCH BASIN INLETS).

UNDERGROUND NOTES

- STORMDRAIN PIPE SHALL BE SDR-26 P.V.C., A.D.S. N-12 SMOOTH INTERIOR CORRUGATED POLYETHYLENE PIPE OR APPROVED SUBSTITUTE, OR AS NOTED ON PLAN. ALL DRAINAGE PIPE SHALL BE SHIPPED, STORED, AND INSTALLED PER THE PIPE MANUFACTURER'S RECOMMENDATIONS.
- ALL CONCRETE DRAINAGE INLETS CALLED OUT ON THE PLANS SHALL BE CHRISTY BRAND PRECAST CONCRETE OR EQUIVALENT. ALL STRUCTURES SHALL BE STORED, HANDLED, AND INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS. ALL GRATES IN PAVEMENT AREAS SHALL BE ADA COMPLIANT.
- ALL CONCRETE DRAINAGE INLETS CALLED OUT ON THE PLANS SHALL HAVE A HEAVY RATED FRAME WITH A ADA COMPLIANT GRATE. CATCH BASINS THAT HAVE SILT AND GREASE TRAPS SHALL BE INCLUDED IN THE PROJECT MONITORING AND MAINTENANCE PLAN.
- SANITARY SEWER TRENCH BACKFILL SHALL CONFORM TO CITY OF LOS ALTOS SEWER PIPE TRENCH DETAIL.
- JETTING OF BACKFILL MATERIALS TO ACHIEVE COMPACTION IS NOT ALLOWED.
- ALL THE WATER PIPING SHALL BE AWWA CLASS 150 OR APPROVED EQUAL, ALL VALVES, ANGLES, AND THRUST BLOCKS SHALL BE INSTALLED PER CURRENT CPC SPECIFICATIONS.
- ALL FIRE SERVICE PIPING AND APPURTENANCES SHALL CONFORM TO NFPA STANDARDS AND SPECIFICATIONS
- ANY EXISTING UTILITIES THAT ARE REQUIRED TO BE RELOCATED AS A PART OF THIS CONSTRUCTION SHALL BE RELOCATED AT THE DEVELOPER'S EXPENSE.

UNAUTHORIZED CHANGES AND USES

CAUTION: THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THE PLANS

THE WITHIN PLANS ARE COPYRIGHTED AS AN UNPUBLISHED WORK BY C2G/CIVIL CONSULTANTS GROUP, INC. ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THESE DRAWINGS ARE OWNED BY, AND THE PROPERTY OF C2G/CIVIL CONSULTANTS GROUP, INC. AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF C2G/CIVIL CONSULTANTS GROUP, INC. ©2020 TODD R. CREAMER, D.B.A. AS C2G/CIVIL CONSULTANTS GROUP, INC.

CONSTRUCTION SURVEYING / STAKING

CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL SURVEYING AND OR STAKING BY A LICENSED SURVEYOR FOR ALL CONSTRUCTION PURPOSES.

NOTE:

CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS. CALL USA (800) 227-2600. CONTRACTOR TO NOTIFY ENGINEER OF ANY APPARENT CONFLICTS FOR RESOLUTION PRIOR TO START OF CONSTRUCTION.

GENERAL NOTES

- NO CHANGE TO THE PLANS SHALL BE PERMITTED WITHOUT PRIOR WRITTEN APPROVAL BY THE OWNER OR OWNERS REPRESENTATIVES AND THE CITY OF SCOTT'S VALLEY.
- CONTRACTOR SHALL VERIFY LOCATIONS, ELEVATIONS AND INVERTS OF EXISTING UTILITY PRIOR TO COMMENCEMENT OF WORK AND SHALL NOTIFY OWNER OR OWNERS REPRESENTATIVES OF VARIANCE FROM THOSE SHOWN ON THE PLANS.
- UNDERGROUND FACILITIES AND UTILITIES HAVE BEEN SHOWN BASED ON RECORD DRAWINGS AND VISIBLE EVIDENCE FOUND IN FIELD. NO WARRANTY IS MADE REGARDING THE COMPLETENESS OR ACCURACY OF SUCH INFORMATION. PRIOR TO CONSTRUCTION, DETERMINE THE EXACT LOCATION OF UNDERGROUND FACILITIES AND UTILITIES, AND PRESERVE SAME FROM DAMAGE. PRIOR TO CONSTRUCTION, VERIFY LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES AT THE CROSSING POINTS WITH PROPOSED UTILITIES. THE CONTRACTOR SHALL NOTIFY THE OWNER OR OWNERS REPRESENTATIVES IF CONDITIONS DIFFER FROM THOSE SHOWN ON THE DRAWINGS AND SHALL NOT BEGIN CONSTRUCTION UNTIL THE CHANGED CONDITION HAS BEEN EVALUATED. CONTACT UNDERGROUND SERVICES ALERT (USA) (1-800-227-2600) TWO (2) WORKING DAYS PRIOR TO DIGGING. REPAIR UNDERGROUND UTILITIES DAMAGED BY CONSTRUCTION OPERATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGES ASSOCIATED WITH CONTRACTOR'S FAILURE TO EXACTLY LOCATED AND PRESERVE UNDERGROUND FACILITIES AND UTILITIES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COORDINATION WITH THE APPROPRIATE UTILITY COMPANIES AND/OR AGENCIES TO VERIFY THE EXISTENCE AND/OR LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCEMENT OF WORK, AND SHALL NOTIFY U.S.A. @ (800) 227-2600 AT LEAST 48-HOURS IN ADVANCE OF EXCAVATION.
- IF ANY INDICATIONS OF ARCHEOLOGICAL REMAINS ARE ENCOUNTERED DURING GRADING ACTIVITIES FOR ANY DEVELOPMENT WITHIN THE PROJECT SITE, ALL WORK SHALL BE HALTED WITHIN 200 FOOT RADIUS OF THE FIND. OWNER SHALL RETAIN A QUALIFIED ARCHEOLOGIST RETAINED TO DETERMINE THE NATURE OF THE DISCOVERY AND RECOMMEND APPROPRIATE EVALUATION PROCEDURES.

REVISIONS	BY

COVER

ARCHITECT:
HOCHHAUSER BLATTER ARCHITECTURE & PLANNING
122 E ARRELLAGA STREET
SANTA BARBARA, CA 93101
OFFICE: 805.962.2746

CIVIL ENGINEER:
C2G/CIVIL CONSULTANTS GROUP, INC.
4444 SCOTT'S VALLEY DRIVE, STE. 6
SCOTT'S VALLEY, CA 95066
OFFICE: 831.438.4420

SURVEYOR:
ALPHA SURVEY
4444 SCOTT'S VALLEY DRIVE, STE 6
SCOTT'S VALLEY, CA 95066
OFFICE: 831.438.4453

C2G CIVIL CONSULTANTS GROUP, INC.
Engineers/Planners
4444 Scott's Valley Drive, Suite 6
Scott's Valley, CA 95066
831.438.4420

LOS ALTOS MIXED USE
400, 420 & 428 2ND AVENUE
LOS ALTOS, CALIFORNIA 94022

Date: 08.26.2021
Scale: AS SHOWN
Drawn: JB/DD
Job: 3012.01
Sheet:
CO.1
Of 8 Sheets



VICINITY MAP
SCAN WITH QR READER

GENERAL

OWNERS / SUBDIVIDER: IVAN MARGARETICH AND NICK GERA
122 E. ARRELLAGA ST., SUITE 4
SANTA BARBARA, CA 93101

CIVIL ENGINEER: CIVIL CONSULTANTS GROUP, C2G INC.
4444 SCOTT'S VALLEY DRIVE, SUITE 6
SCOTT'S VALLEY, CA 95066

SURVEYOR: ALPHA SURVEY
4444 SCOTT'S VALLEY DRIVE
SCOTT'S VALLEY, CA 95066
831.438.4420

EXISTING USE: COMMERCIAL

EXISTING ZONING: CD COMMERCIAL DOWNTOWN

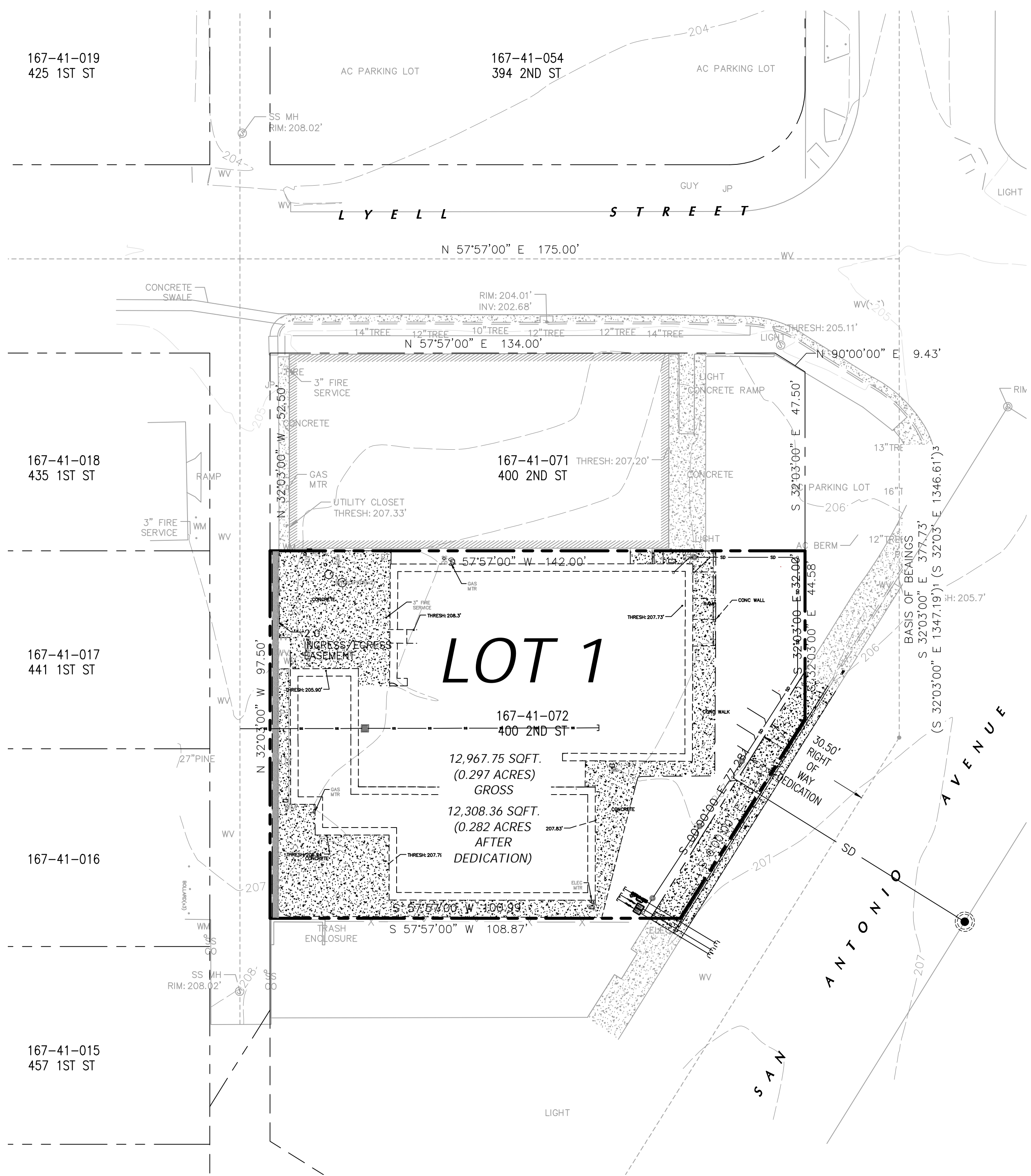
PROPOSED USE: MIXED USE

PROPOSED USE: 1 COMMERCIAL SPACE AND 20 RESIDENTIAL CONDOMINIUM UNITS

GENERAL PLAN DESIGNATION: DOWNTOWN COMMERCIAL

FLOOD HAZARD ZONES AS SHOWN ON FEMA MAPS: FLOOD ZONE X

UNIT OF AIR SPACE - CUBIC FEET = 18,671



LEGEND

- UNIT BOUNDARY
- BOUNDARY LINE
- ADJOINING LOT LINE
- INGRESS EGRESS EASEMENT

ABBREVIATIONS

- APN ASSESSORS PARCEL NUMBER
- CA COMMON AREA
- DOC DOCUMENT
- EVAE EMERGENCY VEHICLE ACCESS EASEMENT
- PM PARCEL NUMBER
- PUE PUBLIC UTILITY EASEMENT
- EUE EXCLUSIVE USE EASEMENT

BOUNDARY NOTE

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SURVEYOR'S STATEMENT

THE SUBJECT PROJECT SITE WAS SURVEYED (BOTH BOUNDARY AND TOPOGRAPHIC) BY ALPHA LAND SURVEYS, INC.

BASIS OF ELEVATIONS

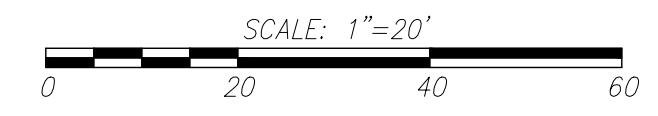
ELEVATIONS FOR THIS SURVEY ARE BASED ON THE CITY OF LOS ALTOS BENCHMARK #22, LOCATED IN THE TOP OF CURB AT THE SOUTHWEST NOSE OF THE TRAFFIC ISLAND AT SAN ANTONIO ROAD AND FIRST STREET.

BENCHMARK ELEVATION = 212.96'

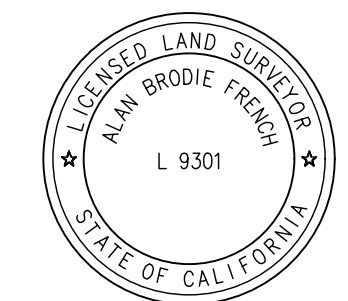
BASIS OF BEARINGS

BEARINGS FOR THIS SURVEY ARE BASED ON THE CENTERLINE OF SECOND AVENUE AND BASED UPON MONUMENTS FOUND AT THE CENTERLINE INTERSECTIONS OF SECOND AVE WITH SAN ANTONIO ROAD AND MAIN STREET

NORTH 32°03' WEST



1 GROUND FLOOR PLAN - COMMERCIAL UNITS



REVISIONS	BY

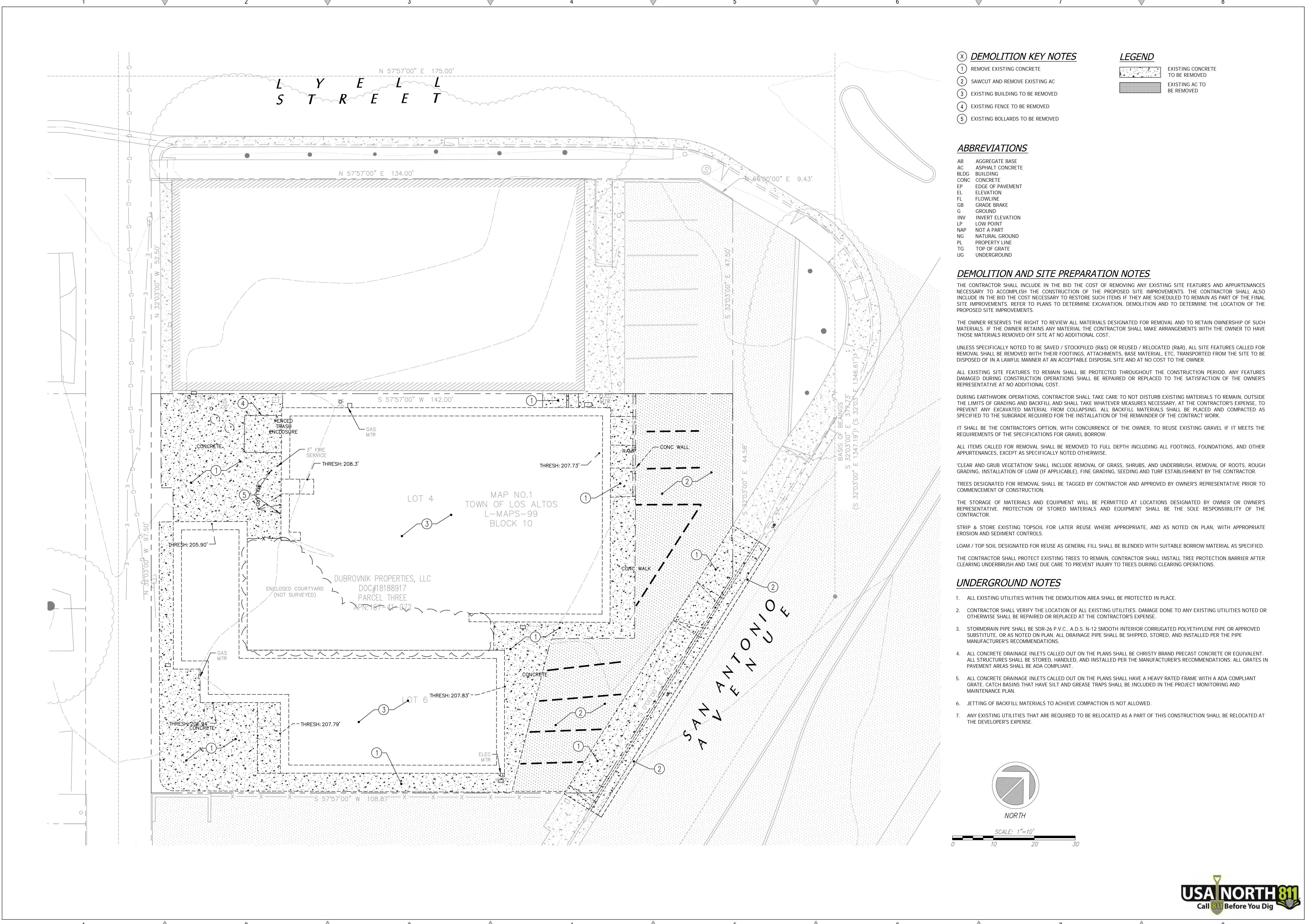
VESTING TENTATIVE MAP
FOR CONDOMINIUM PURPOSES

C2G CIVIL CONSULTANTS GROUP, INC.
Engineers/Planners
4444 Scott's Valley Drive, Suite 6
Scott's Valley, CA 95066
831.438.4420

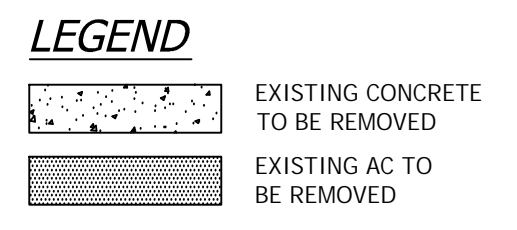
LOS ALTOS MIXED USE
400, 420 & 428 2ND AVENUE
LOS ALTOS, CALIFORNIA 94022

Date:	08.26.2021
Scale:	1" = 20'
Drawn:	JB/DD
Job:	3012.01
Sheet:	C0.2
Of	8 Sheets

Drawing: 2 (Sheet) CAD, 3012.01 - Los Altos Mixed Use Design (CAD) Sheets, 3012.01 - C0.2 - P/M/F/04/21 - 08.26.2021 - 11:25am - Last Printed: Mon Nov 15, 2021 - 11:58am - By: jacob@alpha.com



- DEMOLITION KEY NOTES**
- 1 REMOVE EXISTING CONCRETE
 - 2 SAWCUT AND REMOVE EXISTING AC
 - 3 EXISTING BUILDING TO BE REMOVED
 - 4 EXISTING FENCE TO BE REMOVED
 - 5 EXISTING BOLLARDS TO BE REMOVED



- ABBREVIATIONS**
- AB AGGREGATE BASE
 - AC ASPHALT CONCRETE
 - BLDG BUILDING
 - CONC CONCRETE
 - EP EDGE OF PAVEMENT
 - EL ELEVATION
 - FL FLOWLINE
 - GB GRADE BRAKE
 - G GROUND
 - INV INVERT ELEVATION
 - LP LOW POINT
 - NAP NOT A PART
 - NG NATURAL GROUND
 - PL PROPERTY LINE
 - TG TOP OF GRATE
 - UG UNDERGROUND

DEMOLITION AND SITE PREPARATION NOTES

THE CONTRACTOR SHALL INCLUDE IN THE BID THE COST OF REMOVING ANY EXISTING SITE FEATURES AND APPURTENANCES NECESSARY TO ACCOMPLISH THE CONSTRUCTION OF THE PROPOSED SITE IMPROVEMENTS. THE CONTRACTOR SHALL ALSO INCLUDE IN THE BID THE COST NECESSARY TO RESTORE SUCH ITEMS IF THEY ARE SCHEDULED TO REMAIN AS PART OF THE FINAL SITE IMPROVEMENTS. REFER TO PLANS TO DETERMINE EXCAVATION, DEMOLITION AND TO DETERMINE THE LOCATION OF THE PROPOSED SITE IMPROVEMENTS.

THE OWNER RESERVES THE RIGHT TO REVIEW ALL MATERIALS DESIGNATED FOR REMOVAL AND TO RETAIN OWNERSHIP OF SUCH MATERIALS. IF THE OWNER RETAINS ANY MATERIAL THE CONTRACTOR SHALL MAKE ARRANGEMENTS WITH THE OWNER TO HAVE THOSE MATERIALS REMOVED OFF SITE AT NO ADDITIONAL COST.

UNLESS SPECIFICALLY NOTED TO BE SAVED / STOCKPILED (R&S) OR REUSED / RELOCATED (R&R), ALL SITE FEATURES CALLED FOR REMOVAL SHALL BE REMOVED WITH THEIR FOOTINGS, ATTACHMENTS, BASE MATERIAL, ETC., TRANSPORTED FROM THE SITE TO BE DISPOSED OF IN A LAWFUL MANNER AT AN ACCEPTABLE DISPOSAL SITE AND AT NO COST TO THE OWNER.

ALL EXISTING SITE FEATURES TO REMAIN SHALL BE PROTECTED THROUGHOUT THE CONSTRUCTION PERIOD. ANY FEATURES DAMAGED DURING CONSTRUCTION OPERATIONS SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT NO ADDITIONAL COST.

DURING EARTHWORK OPERATIONS, CONTRACTOR SHALL TAKE CARE TO NOT DISTURB EXISTING MATERIALS TO REMAIN, OUTSIDE THE LIMITS OF GRADING AND BACKFILL AND SHALL TAKE WHATEVER MEASURES NECESSARY, AT THE CONTRACTOR'S EXPENSE, TO PREVENT ANY EXCAVATED MATERIAL FROM COLLAPSING. ALL BACKFILL MATERIALS SHALL BE PLACED AND COMPACTED AS SPECIFIED TO THE SUBGRADE REQUIRED FOR THE INSTALLATION OF THE REMAINDER OF THE CONTRACT WORK.

IT SHALL BE THE CONTRACTOR'S OPTION, WITH CONCURRENCE OF THE OWNER, TO REUSE EXISTING GRAVEL IF IT MEETS THE REQUIREMENTS OF THE SPECIFICATIONS FOR GRAVEL BORROW.

ALL ITEMS CALLED FOR REMOVAL SHALL BE REMOVED TO FULL DEPTH INCLUDING ALL FOOTINGS, FOUNDATIONS, AND OTHER APPURTENANCES, EXCEPT AS SPECIFICALLY NOTED OTHERWISE.

'CLEAR AND GRUB VEGETATION' SHALL INCLUDE REMOVAL OF GRASS, SHRUBS, AND UNDERBRUSH, REMOVAL OF ROOTS, ROUGH GRADING, INSTALLATION OF LOAM (IF APPLICABLE), FINE GRADING, SEEDING AND TURF ESTABLISHMENT BY THE CONTRACTOR.

TREES DESIGNATED FOR REMOVAL SHALL BE TAGGED BY CONTRACTOR AND APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT OF CONSTRUCTION.

THE STORAGE OF MATERIALS AND EQUIPMENT WILL BE PERMITTED AT LOCATIONS DESIGNATED BY OWNER OR OWNER'S REPRESENTATIVE. PROTECTION OF STORED MATERIALS AND EQUIPMENT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

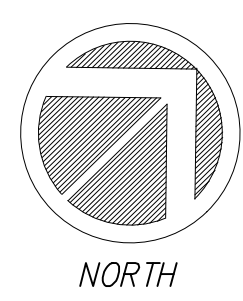
STRIP & STORE EXISTING TOPSOIL FOR LATER REUSE WHERE APPROPRIATE, AND AS NOTED ON PLAN, WITH APPROPRIATE EROSION AND SEDIMENT CONTROLS.

LOAM / TOP SOIL DESIGNATED FOR REUSE AS GENERAL FILL SHALL BE BLENDED WITH SUITABLE BORROW MATERIAL AS SPECIFIED.

THE CONTRACTOR SHALL PROTECT EXISTING TREES TO REMAIN, CONTRACTOR SHALL INSTALL TREE PROTECTION BARRIER AFTER CLEARING UNDERBRUSH AND TAKE DUE CARE TO PREVENT INJURY TO TREES DURING CLEARING OPERATIONS.

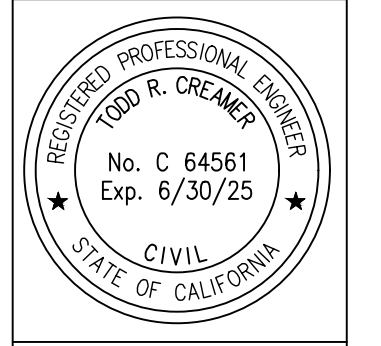
UNDERGROUND NOTES

1. ALL EXISTING UTILITIES WITHIN THE DEMOLITION AREA SHALL BE PROTECTED IN PLACE.
2. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES. DAMAGE DONE TO ANY EXISTING UTILITIES NOTED OR OTHERWISE SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
3. STORMDRAIN PIPE SHALL BE SDR-26 P.V.C., A.D.S. N-12 SMOOTH INTERIOR CORRUGATED POLYETHYLENE PIPE OR APPROVED SUBSTITUTE, OR AS NOTED ON PLAN. ALL DRAINAGE PIPE SHALL BE SHIPPED, STORED, AND INSTALLED PER THE PIPE MANUFACTURER'S RECOMMENDATIONS.
4. ALL CONCRETE DRAINAGE INLETS CALLED OUT ON THE PLANS SHALL BE CHRISTY BRAND PRECAST CONCRETE OR EQUIVALENT. ALL STRUCTURES SHALL BE STORED, HANDLED, AND INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS. ALL GRATES IN PAVEMENT AREAS SHALL BE ADA COMPLIANT.
5. ALL CONCRETE DRAINAGE INLETS CALLED OUT ON THE PLANS SHALL HAVE A HEAVY RATED FRAME WITH A ADA COMPLIANT GRATE. CATCH BASINS THAT HAVE SILT AND GREASE TRAPS SHALL BE INCLUDED IN THE PROJECT MONITORING AND MAINTENANCE PLAN.
6. JETTING OF BACKFILL MATERIALS TO ACHIEVE COMPACTION IS NOT ALLOWED.
7. ANY EXISTING UTILITIES THAT ARE REQUIRED TO BE RELOCATED AS A PART OF THIS CONSTRUCTION SHALL BE RELOCATED AT THE DEVELOPER'S EXPENSE.



REVISIONS	BY

EXISTING SITE - DEMOLITION PLAN

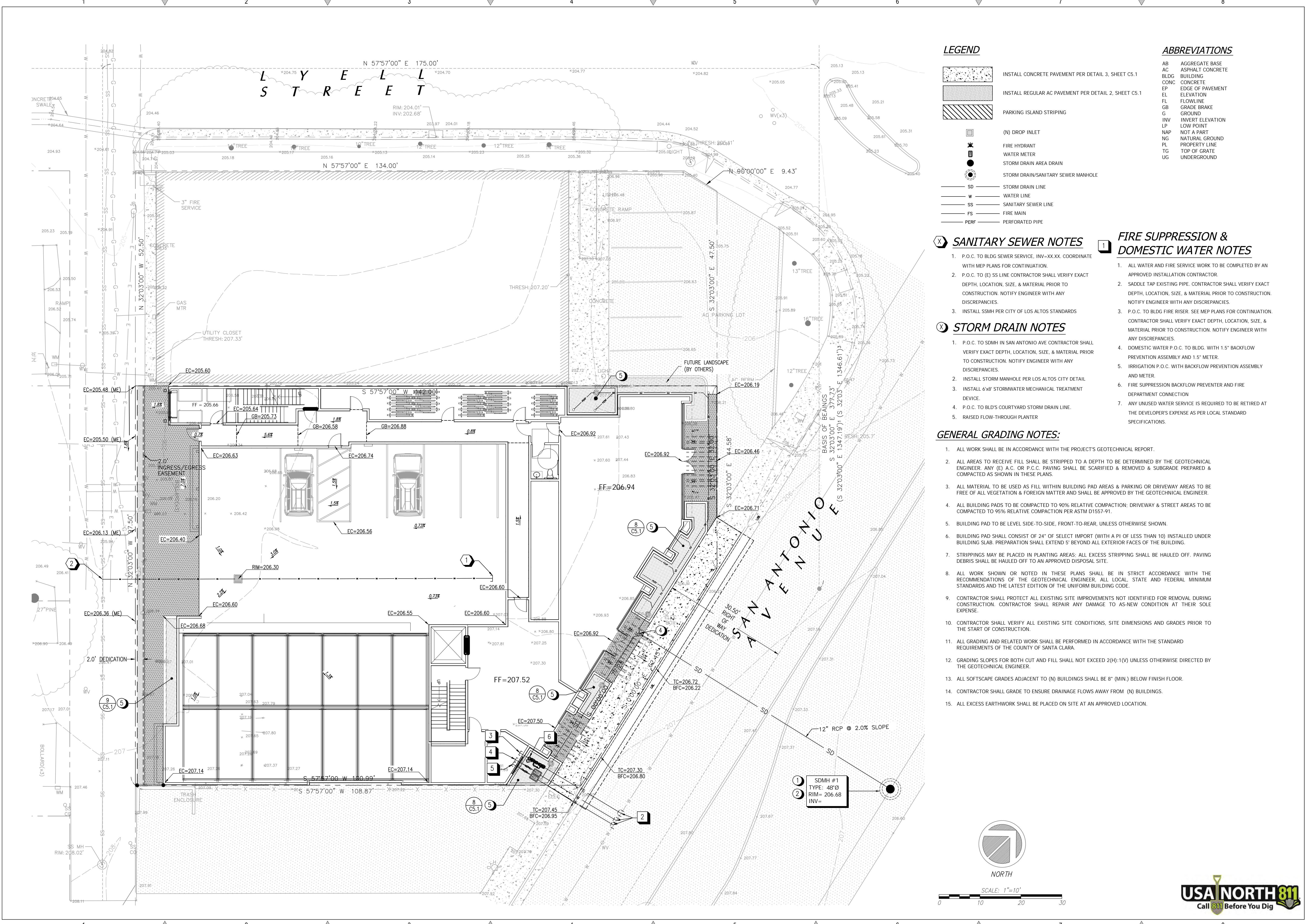


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LEGEND

- INSTALL CONCRETE PAVEMENT PER DETAIL 3, SHEET C5.1
- INSTALL REGULAR AC PAVEMENT PER DETAIL 2, SHEET C5.1
- PARKING ISLAND STRIPING
- (N) DROP INLET
- FIRE HYDRANT
- WATER METER
- STORM DRAIN AREA DRAIN
- STORM DRAIN/SANITARY SEWER MANHOLE
- SD STORM DRAIN LINE
- W WATER LINE
- SS SANITARY SEWER LINE
- FS FIRE MAIN
- PERF PERFORATED PIPE

ABBREVIATIONS

- AB AGGREGATE BASE
- AC ASPHALT CONCRETE
- BLDG BUILDING
- CONC CONCRETE
- EP EDGE OF PAVEMENT
- EL ELEVATION
- FL FLOWLINE
- GB GRADE BRAKE
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(X) SANITARY SEWER NOTES

1. P.O.C. TO BLDG SEWER SERVICE, INV=XX.XX. COORDINATE WITH MEP PLANS FOR CONTINUATION.
2. P.O.C. TO (E) SS LINE CONTRACTOR SHALL VERIFY EXACT DEPTH, LOCATION, SIZE, & MATERIAL PRIOR TO CONSTRUCTION. NOTIFY ENGINEER WITH ANY DISCREPANCIES.
3. INSTALL SSMH PER CITY OF LOS ALTOS STANDARDS

(X) STORM DRAIN NOTES

1. P.O.C. TO SDMH IN SAN ANTONIO AVE CONTRACTOR SHALL VERIFY EXACT DEPTH, LOCATION, SIZE, & MATERIAL PRIOR TO CONSTRUCTION. NOTIFY ENGINEER WITH ANY DISCREPANCIES.
2. INSTALL STORM MANHOLE PER LOS ALTOS CITY DETAIL
3. INSTALL 6x8" STORMWATER MECHANICAL TREATMENT DEVICE.
4. P.O.C. TO BLD'S COURTYARD STORM DRAIN LINE.
5. RAISED FLOW-THROUGH PLANTER

(1) FIRE SUPPRESSION & DOMESTIC WATER NOTES

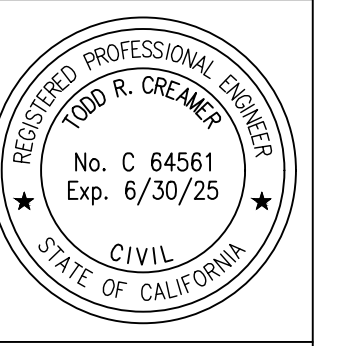
1. ALL WATER AND FIRE SERVICE WORK TO BE COMPLETED BY AN APPROVED INSTALLATION CONTRACTOR.
2. SADDLE TAP EXISTING PIPE. CONTRACTOR SHALL VERIFY EXACT DEPTH, LOCATION, SIZE, & MATERIAL PRIOR TO CONSTRUCTION. NOTIFY ENGINEER WITH ANY DISCREPANCIES.
3. P.O.C. TO BLDG FIRE RISER. SEE MEP PLANS FOR CONTINUATION. CONTRACTOR SHALL VERIFY EXACT DEPTH, LOCATION, SIZE, & MATERIAL PRIOR TO CONSTRUCTION. NOTIFY ENGINEER WITH ANY DISCREPANCIES.
4. DOMESTIC WATER P.O.C. TO BLDG. WITH 1.5" BACKFLOW PREVENTION ASSEMBLY AND 1.5" METER.
5. IRRIGATION P.O.C. WITH BACKFLOW PREVENTION ASSEMBLY AND METER.
6. FIRE SUPPRESSION BACKFLOW PREVENTER AND FIRE DEPARTMENT CONNECTION
7. ANY UNUSED WATER SERVICE IS REQUIRED TO BE RETIRED AT THE DEVELOPER'S EXPENSE AS PER LOCAL STANDARD SPECIFICATIONS.

GENERAL GRADING NOTES:

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE PROJECT'S GEOTECHNICAL REPORT.
2. ALL AREAS TO RECEIVE FILL SHALL BE STRIPPED TO A DEPTH TO BE DETERMINED BY THE GEOTECHNICAL ENGINEER. ANY (E) A.C. OR P.C.C. PAVING SHALL BE SCARIFIED & REMOVED & SUBGRADE PREPARED & COMPACTED AS SHOWN IN THESE PLANS.
3. ALL MATERIAL TO BE USED AS FILL WITHIN BUILDING PAD AREAS & PARKING OR DRIVEWAY AREAS TO BE FREE OF ALL VEGETATION & FOREIGN MATTER AND SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER.
4. ALL BUILDING PADS TO BE COMPACTED TO 90% RELATIVE COMPACTION; DRIVEWAY & STREET AREAS TO BE COMPACTED TO 95% RELATIVE COMPACTION PER ASTM D1557-91.
5. BUILDING PAD TO BE LEVEL SIDE-TO-SIDE, FRONT-TO-REAR, UNLESS OTHERWISE SHOWN.
6. BUILDING PAD SHALL CONSIST OF 24" OF SELECT IMPORT (WITH A PI OF LESS THAN 10) INSTALLED UNDER BUILDING SLAB. PREPARATION SHALL EXTEND 5' BEYOND ALL EXTERIOR FACES OF THE BUILDING.
7. STRIPPINGS MAY BE PLACED IN PLANTING AREAS. ALL EXCESS STRIPPING SHALL BE HAULED OFF. PAVING DEBRIS SHALL BE HAULED OFF TO AN APPROVED DISPOSAL SITE.
8. ALL WORK SHOWN OR NOTED IN THESE PLANS SHALL BE IN STRICT ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER. ALL LOCAL, STATE AND FEDERAL MINIMUM STANDARDS AND THE LATEST EDITION OF THE UNIFORM BUILDING CODE.
9. CONTRACTOR SHALL PROTECT ALL EXISTING SITE IMPROVEMENTS NOT IDENTIFIED FOR REMOVAL DURING CONSTRUCTION. CONTRACTOR SHALL REPAIR ANY DAMAGE TO AS-NEW CONDITION AT THEIR SOLE EXPENSE.
10. CONTRACTOR SHALL VERIFY ALL EXISTING SITE CONDITIONS, SITE DIMENSIONS AND GRADES PRIOR TO THE START OF CONSTRUCTION.
11. ALL GRADING AND RELATED WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE STANDARD REQUIREMENTS OF THE COUNTY OF SANTA CLARA.
12. GRADING SLOPES FOR BOTH CUT AND FILL SHALL NOT EXCEED 2(H):1(V) UNLESS OTHERWISE DIRECTED BY THE GEOTECHNICAL ENGINEER.
13. ALL SOFTSCAPE GRADES ADJACENT TO (N) BUILDINGS SHALL BE 8" (MIN.) BELOW FINISH FLOOR.
14. CONTRACTOR SHALL GRADE TO ENSURE DRAINAGE FLOWS AWAY FROM (N) BUILDINGS.
15. ALL EXCESS EARTHWORK SHALL BE PLACED ON SITE AT AN APPROVED LOCATION.

REVISIONS	BY

SITE IMPROVEMENT PLAN

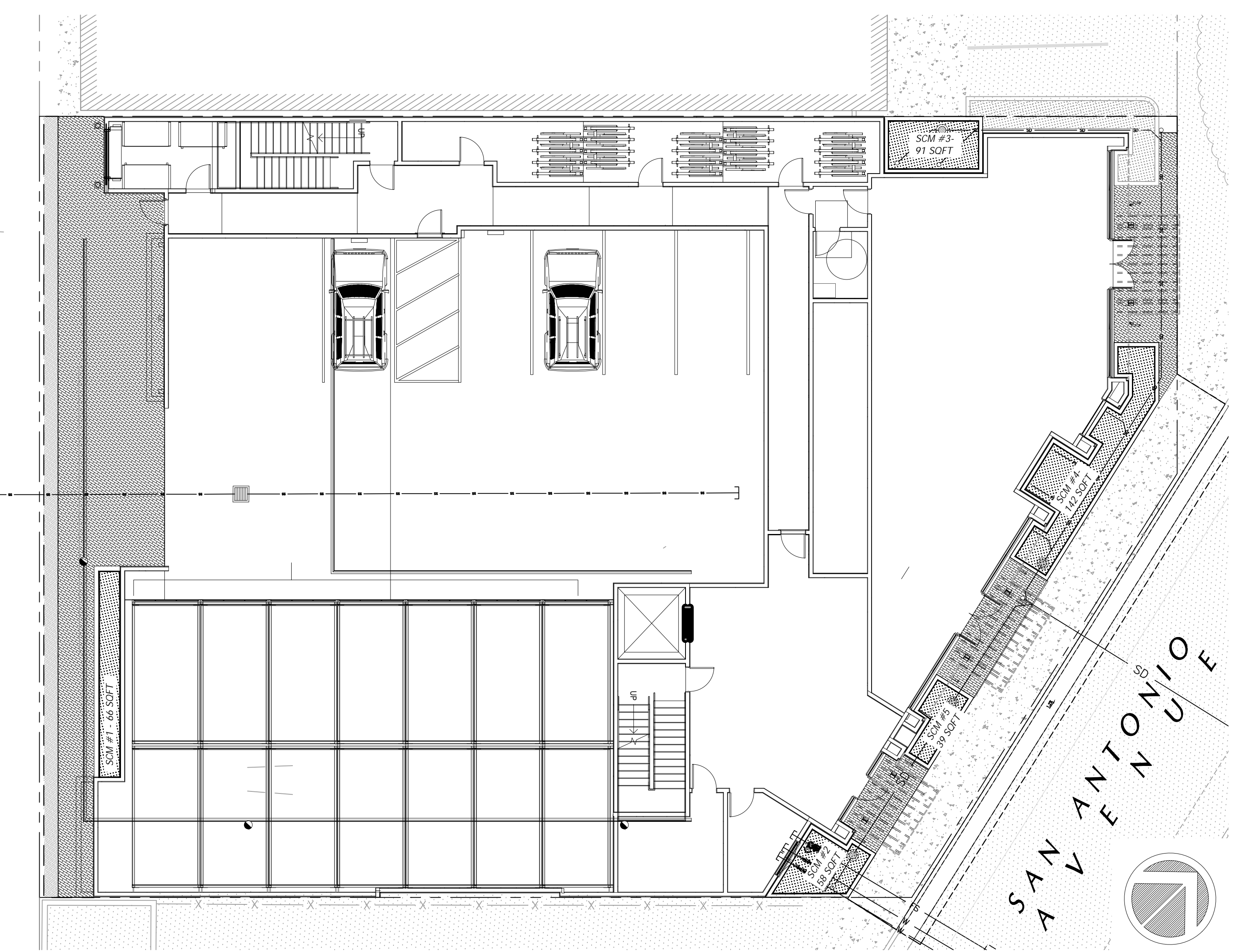


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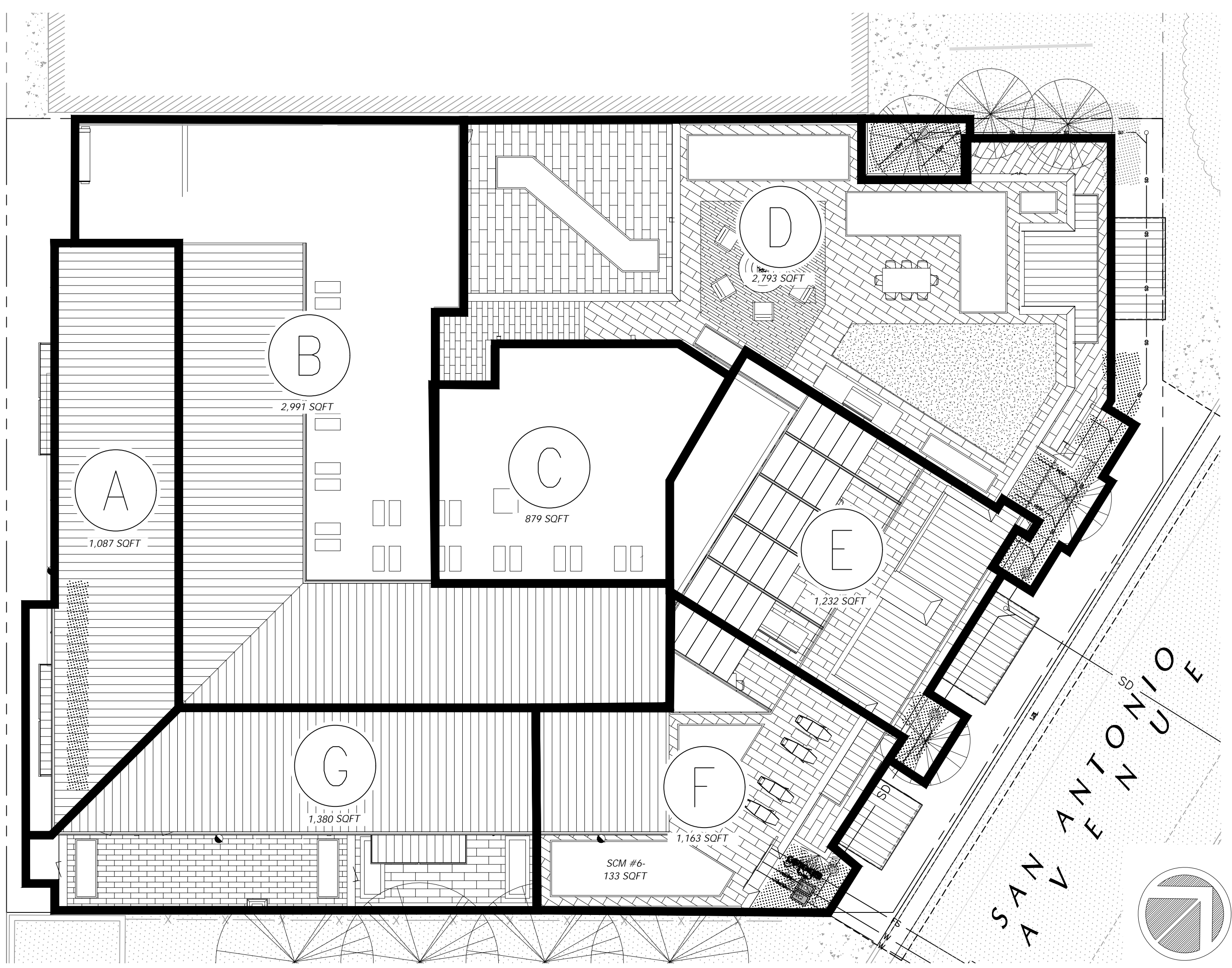
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1 PROPOSED GROUND FLOOR

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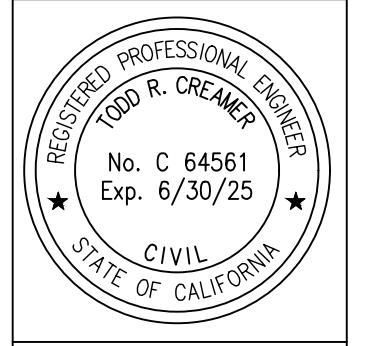


2 PROPOSED ROOF PLAN

Scale: 1"=10'

REVISIONS	BY

TENTATIVE STORM WATER MANAGEMENT PLAN



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BIO RETENTION-VERSION "A" URQM METHOD. Table with columns for parameter, value, and unit. Includes Drainage Area (1087), Watershed Impervious Ratio (1.00), Mean Annual Precipitation (13.7), Rain Gauge Correction Factor (1.02), and Design Volume (55). Includes notes on soil type and unit basin storage volume.

BIO RETENTION-VERSION "B" URQM METHOD. Table with columns for parameter, value, and unit. Includes Drainage Area (2991), Watershed Impervious Ratio (0.97), Mean Annual Precipitation (13.7), Rain Gauge Correction Factor (1.02), and Design Volume (150). Includes notes on soil type and unit basin storage volume.

BIO RETENTION-VERSION "C" URQM METHOD. Table with columns for parameter, value, and unit. Includes Drainage Area (879), Watershed Impervious Ratio (1.00), Mean Annual Precipitation (13.7), Rain Gauge Correction Factor (1.02), and Design Volume (44). Includes notes on soil type and unit basin storage volume.

BIO RETENTION-VERSION "D" URQM METHOD. Table with columns for parameter, value, and unit. Includes Drainage Area (2793), Watershed Impervious Ratio (1.00), Mean Annual Precipitation (13.7), Rain Gauge Correction Factor (1.02), and Design Volume (140). Includes notes on soil type and unit basin storage volume.

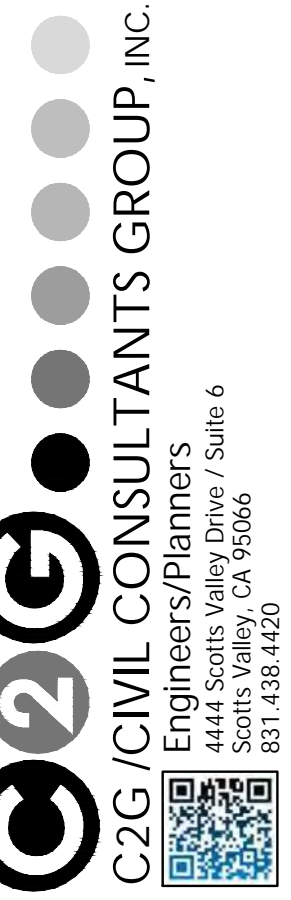
BIO RETENTION-VERSION "E" URQM METHOD. Table with columns for parameter, value, and unit. Includes Drainage Area (1232), Watershed Impervious Ratio (1.00), Mean Annual Precipitation (13.7), Rain Gauge Correction Factor (1.02), and Design Volume (62). Includes notes on soil type and unit basin storage volume.

BIO RETENTION-VERSION "F" URQM METHOD. Table with columns for parameter, value, and unit. Includes Drainage Area (1163), Watershed Impervious Ratio (1.00), Mean Annual Precipitation (13.7), Rain Gauge Correction Factor (1.02), and Design Volume (58). Includes notes on soil type and unit basin storage volume.

BIO RETENTION-VERSION "G" URQM METHOD. Table with columns for parameter, value, and unit. Includes Drainage Area (1380), Watershed Impervious Ratio (1.00), Mean Annual Precipitation (13.7), Rain Gauge Correction Factor (1.02), and Design Volume (69). Includes notes on soil type and unit basin storage volume.

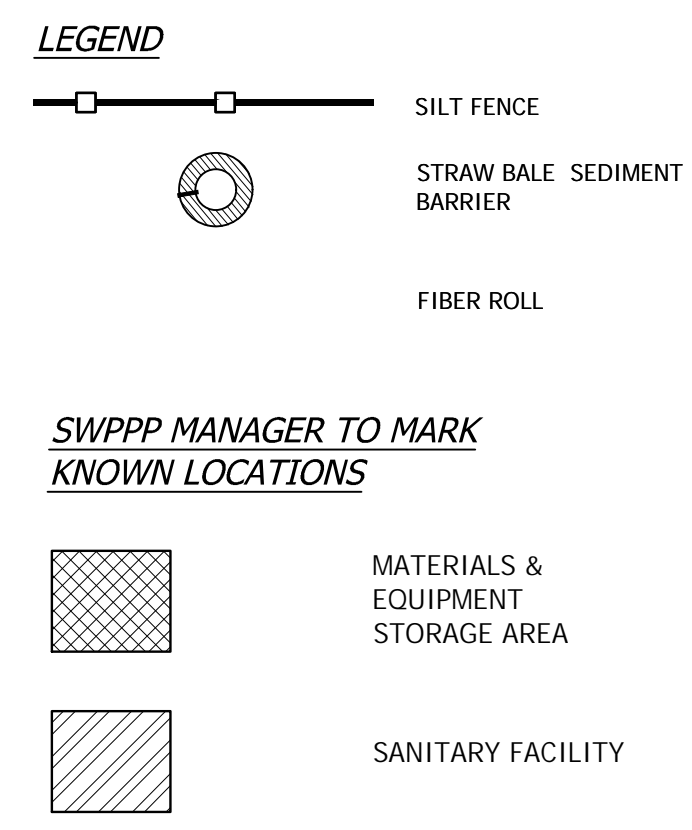
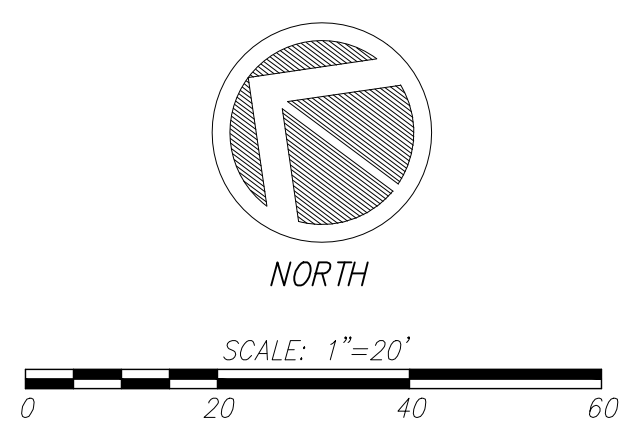
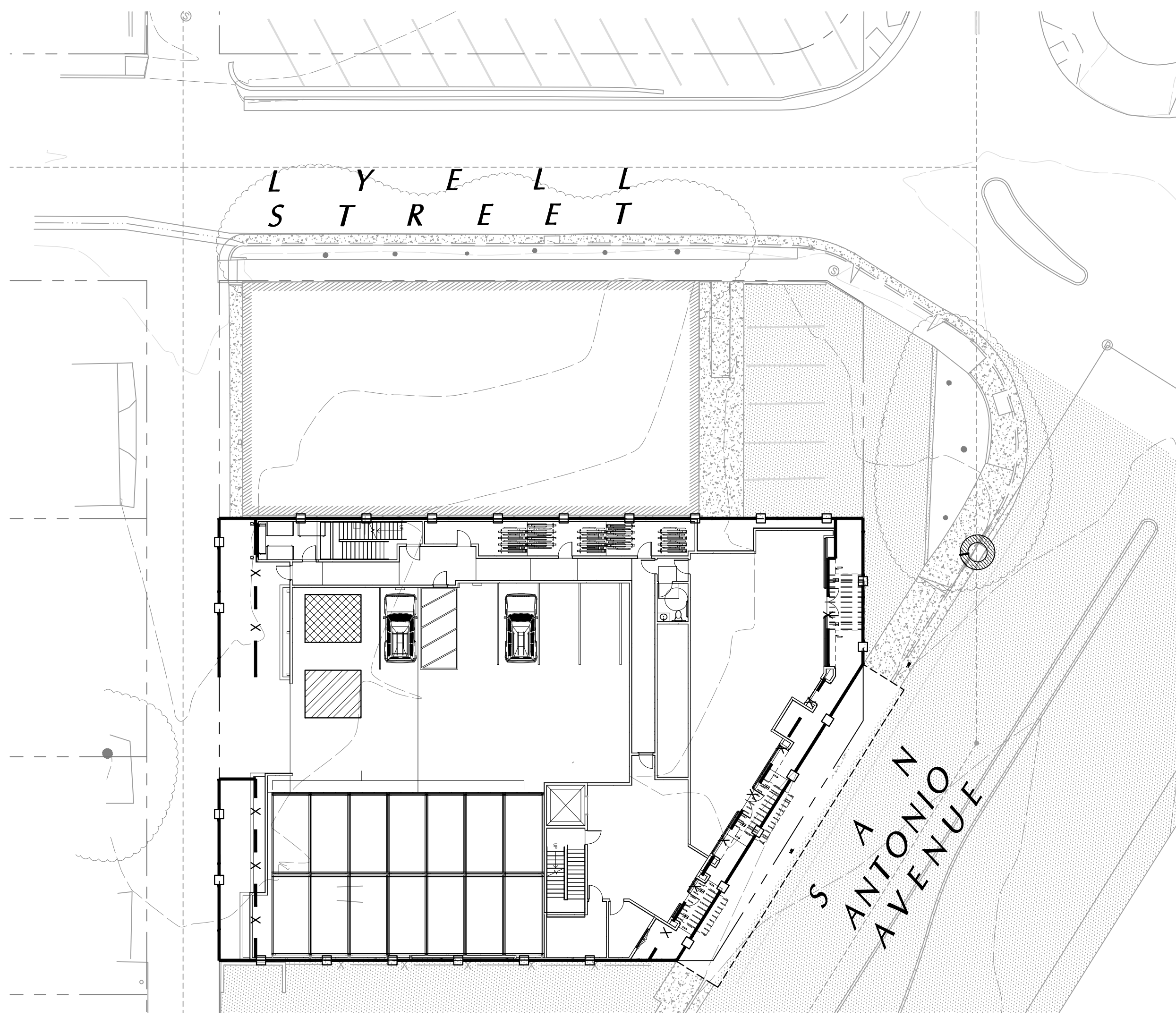
REVISIONS table with columns for revision number and date.

TENTATIVE STORM WATER MANAGEMENT PLAN



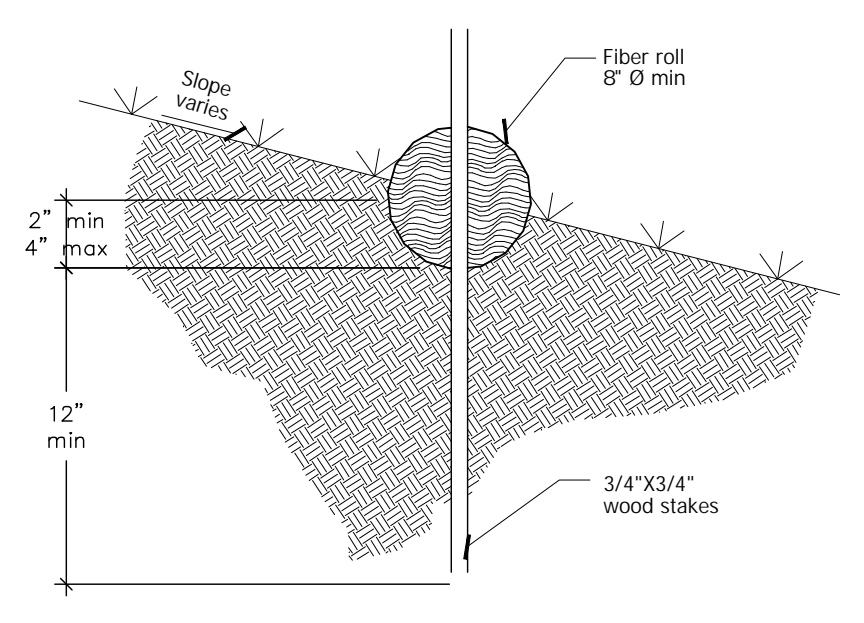
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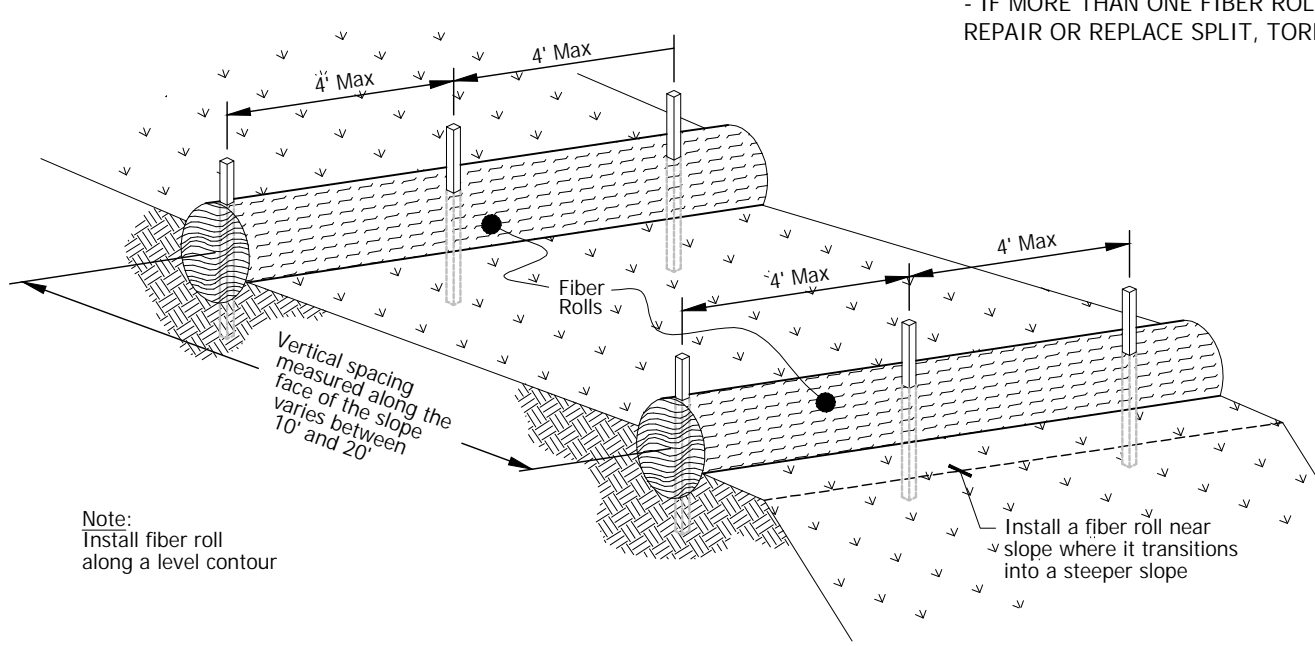


- EROSION CONTROL NOTES**
- BETWEEN OCTOBER 15 AND APRIL 15, EXPOSED SOIL SHALL BE PROTECTED FROM EROSION AT ALL TIMES. HAY BALES, FILTER BERMS, OR OTHER MEANS SHALL BE EMPLOYED TO PREVENT TURBID RUNOFF TO ADJOINING PROPERTIES.
 - ALL AREA ON AND OFF SITE, EXPOSED DURING CONSTRUCTION, IF NOT PERMANENTLY LANDSCAPED PER PLANS, SHALL BE PROTECTED BY MULCHING AND/OR PLANTING OF THE FOLLOWING APPROVED EROSION CONTROL MIX, AT A RATE OF 35 POUNDS PER ACRE:

BLANDO BROME	50%
ROSE CLOVER (PELLET INOCULATED)	35%
CREeping RED RESCUE	15%
ZORRO ANNUAL FESCUE	TRACE
WILDFLOWERS	TRACE
 - UNNECESSARY GRADING AND DISTURBING OR SOIL SHALL BE AVOIDED.
 - ANY EXCESS MATERIAL SHALL BE DISPOSED OF OFF-SITE OR STOCKPILED IN A MANNER TO AVOID RUNOFF ONTO ADJOINING PROPERTIES.
 - UPON COMPLETION OF CONSTRUCTION, ALL REMAINING EXPOSED AREAS SHALL BE PERMANENTLY REVEGETATED PER LANDSCAPE PLANS.
 - ANY MATERIAL STOCKPILED DURING CONSTRUCTION SHALL BE COVERED WITH PLASTIC.
 - DURING CONSTRUCTION, NO TURBID SITE WATER SHALL BE PERMITTED TO ENTER STORM DRAIN SYSTEM. USE OF SILT AND GREASE TRAPS, FILTER BERMS, OR HAY BALES MAY BE USED TO PREVENT SUCH DISCHARGE.
 - CONTRACTOR SHALL NOTIFY COUNTY 48 HOURS BEFORE ANY EARTHWORK IS BEGUN.
 - ALL CONSTRUCTION SHALL CONFORM "EXCAVATION, GRADING, EROSION AND SEDIMENT CONTROL REGULATIONS" PER DSA. NO CLEARING, GRADING, OR EXCAVATION SHALL TAKE PLACE BETWEEN OCTOBER 15, AND APRIL 15 UNLESS THERE IS AN APPROVED WINTER EROSION CONTROL PLAN. ALL DISTURBED SOIL SHALL BE SEEDED, MULCHED, OR OTHERWISE PROTECTED BY OCTOBER 15.



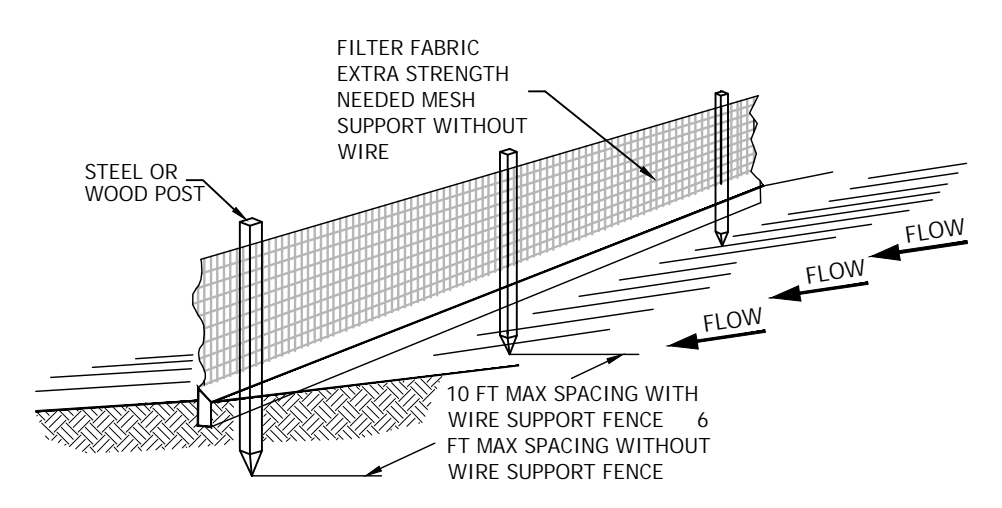
- CONSTRUCTION SPECIFICATIONS**
- LOCATE FIBER ROLLS ON LEVEL CONTOURS SPACED AS FOLLOWS:
- SLOPE INCLINATION OF 4:1 (H:V) OR FLATTER: FIBER ROLLS SHOULD BE PLACED AT A MAXIMUM INTERVAL OF 20 FT.
 - SLOPE INCLINATION BETWEEN 4:1 AND 2:1 (H:V) FIBER ROLLS SHOULD BE PLACED AT A MAXIMUM INTERVAL OF 15 FT. (A CLOSER SPACING IS MORE EFFECTIVE).
 - SLOPE INCLINATION OF 2:1 (H:V) OR GREATER: FIBER ROLLS SHOULD BE PLACED AT A MAXIMUM INTERVAL OF 10 FT. (A CLOSER SPACING IS MORE EFFECTIVE).
 - TURN THE ENDS OF THE FIBER ROLL UP SLOPE TO PREVENT RUNOFF FROM GOING AROUND THE ROLL. STAKE FIBER ROLLS INTO A 2 TO 4 IN. DEEP TRENCH WITH A WIDTH EQUAL TO THE DIAMETER OF THE FIBER ROLL.
 - DRIVE STAKES AT THE END OF EACH FIBER ROLL AND SPACED 4 FT MAXIMUM ON CENTER.
 - USE WOOD STAKES WITH A NOMINAL CLASSIFICATION OF 0.75 BY 0.75 IN. AND A MINIMUM LENGTH OF 24 IN.
 - IF MORE THAN ONE FIBER ROLL IS PLACED IN A ROW, THE ROLLS SHOULD BE OVERLAPPED, NOT ABUTTED. REPAIR OR REPLACE SPLIT, TORN, UNRAVELING OR SLUMPING FIBER ROLLS.



IF THE FIBER ROLL IS USED AS A SEDIMENT CAPTURE DEVICE, OR AS AN EROSION CONTROL DEVICE TO MAINTAIN SHEET FLOWS, SEDIMENT THAT ACCUMULATES IN THE BMP MUST BE PERIODICALLY REMOVED IN ORDER TO MAINTAIN BMP EFFECTIVENESS. SEDIMENT SHOULD BE REMOVED WHEN SEDIMENT ACCUMULATION REACHES ONE-HALF THE DESIGNATED SEDIMENT STORAGE DEPTH, USUALLY ONE-HALF THE DISTANCE BETWEEN THE TOP OF THE FIBER ROLL AND THE ADJACENT GROUND SURFACE. SEDIMENT REMOVED DURING THE MAINTENANCE MAY BE INCORPORATED INTO EARTHWORK ON THE SITE OR DISPOSED AT AN APPROPRIATE LOCATION.

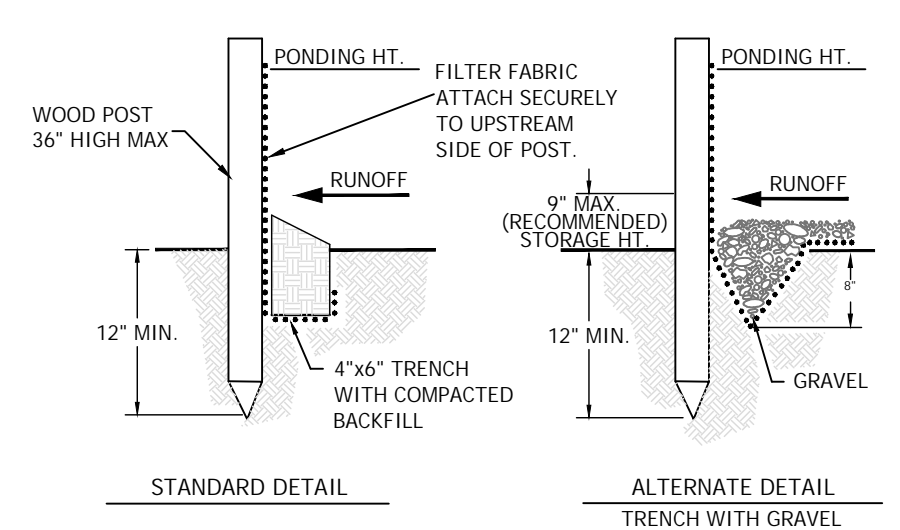
1 FIBER ROLLS

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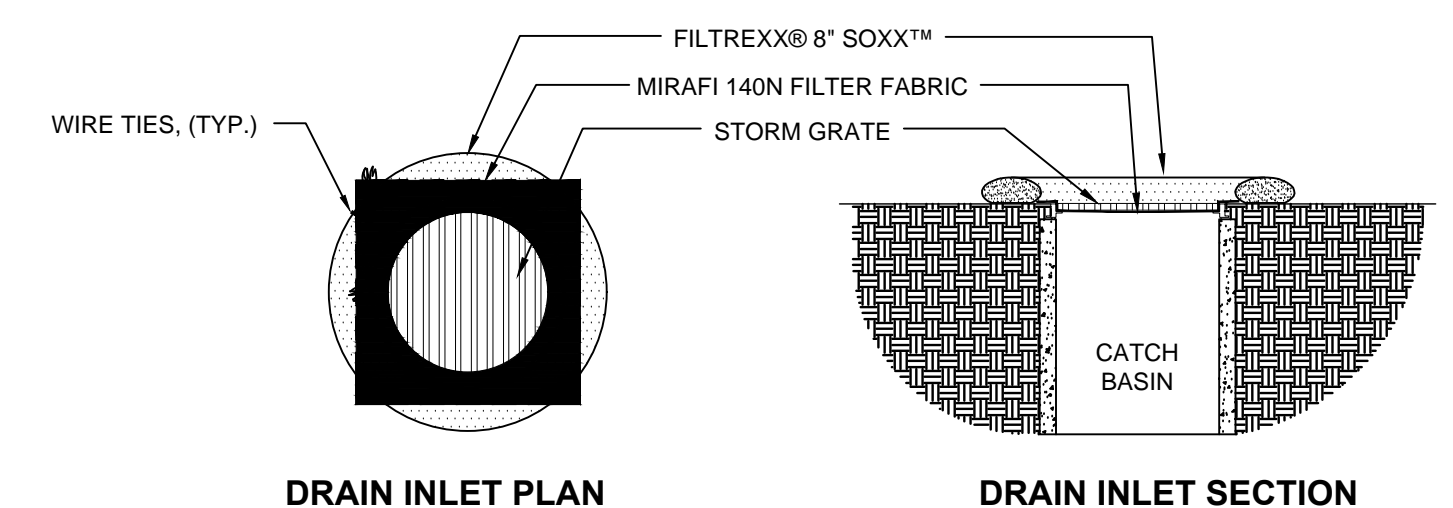
CONSTRUCTION SPECIFICATIONS

- THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED 36 INCHES. STORAGE HEIGHT SHALL NEVER EXCEED 18". THE FENCE LINE SHALL FOLLOW THE CONTOUR AS CLOSELY AS POSSIBLE.
- IF POSSIBLE, THE FILTER FABRIC SHALL BE CUT FROM A CONTINUOUS ROLL TO AVOID THE USE OF JOINTS. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPLICED ONLY AT A SUPPORT POST, WITH A MINIMUM 6-INCH OVERLAP AND BOTH ENDS SECURELY FASTENED TO THE POST.
- POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET APART AND DRIVEN SECURELY INTO THE GROUND (MINIMUM OF 12 INCHES). WHEN EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE, POST SPACING SHALL NOT EXCEED 6 FEET. TURN THE ENDS OF THE FENCE UPHILL.
- A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4 INCHES WIDE AND 6 INCHES DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER.
- WHEN STANDARD-STRENGTH FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST 1 INCH LONG. THE WIRES OR HOG RINGS. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 2 INCHES AND SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
- THE STANDARD-STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE, AND 6 INCHES OF THE FABRIC SHALL EXTEND INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE. FILTER FABRIC SHALL NOT BE STAPLED TO EXISTING TREES.
- WHEN EXTRA-STRENGTH FILTER FABRIC AND CLOSER POST SPACING ARE USED, THE WIRE MESH SUPPORT FENCE MAY BE ELIMINATED. IN SUCH A CASE, THE FILTER FABRIC IS STAPLED OR WIRED DIRECTLY TO THE POSTS.
- THE TRENCH SHALL BE BACKFILLED AND THE SOIL COMPACTED OVER THE TOE OF THE FILTER FABRIC.
- SILT FENCES PLACED AT THE TOE OF A SLOPE SHALL BE SET AT LEAST 6 FEET FROM THE TOE IN ORDER TO INCREASE PONDING VOLUME.
- SILT FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREA HAS BEEN PERMANENTLY STABILIZED, AND ANY SEDIMENT STORED BEHIND THE SILT FENCE HAS BEEN REMOVED.
- INSPECTION AND MAINTENANCE**
- SILT FENCES AND FILTER BARRIERS SHALL BE INSPECTED WEEKLY AND AFTER EACH SIGNIFICANT STORM (1" IN 24 HR.). ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY. SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/3 HEIGHT OF THE FENCE OR 9 INCHES MAXIMUM.
- THE REMOVED SEDIMENT SHALL VEGETATE OR OTHERWISE STABILIZED.



2 SILT FENCE

Scale: NTS



- NOTES**
- ALL MATERIAL TO MEET FILTREX® SPECIFICATIONS.
 - FILTER MEDIA™ FILL TO MEET APPLICATION REQUIREMENTS.
 - COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.
 - CONTRACTOR SHALL EXTEND MIRAFI 140N FABRIC 6" BEYOND CATCH BASIN AFTER PLACEMENT OF GRATE
 - CONTRACTOR SHALL REMOVE ALL FILTER FABRIC FROM ALL STORM DRAIN INLETS UPON COMPLETION OF PROJECT

3 FILTREX® INLET PROTECTION

Scale: NTS



REVISIONS	BY

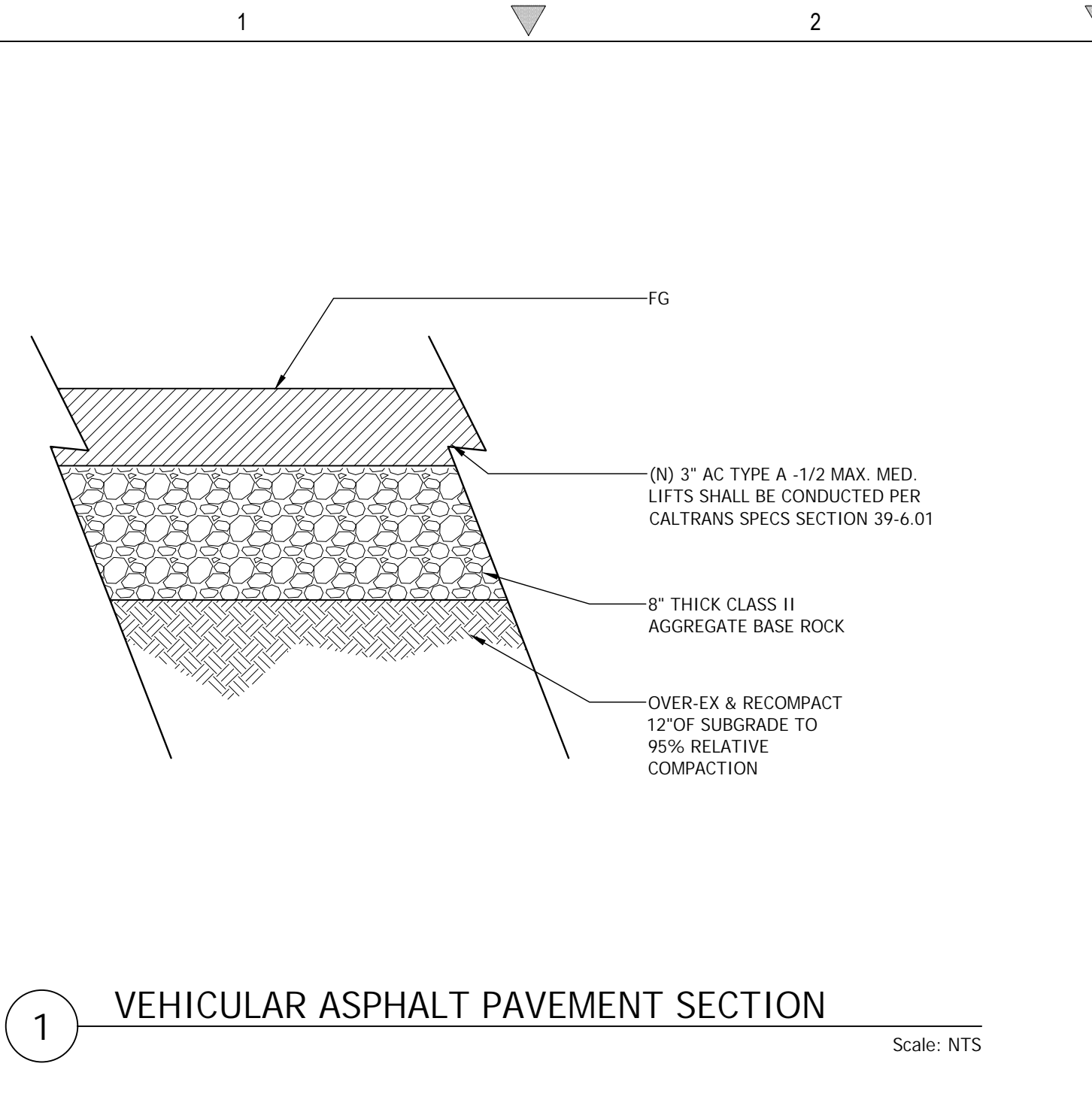
EROSION CONTROL PLAN

REGISTERED PROFESSIONAL ENGINEER
TODD R. CREAGER
No. C 64561
Exp. 6/30/25
CIVIL
STATE OF CALIFORNIA

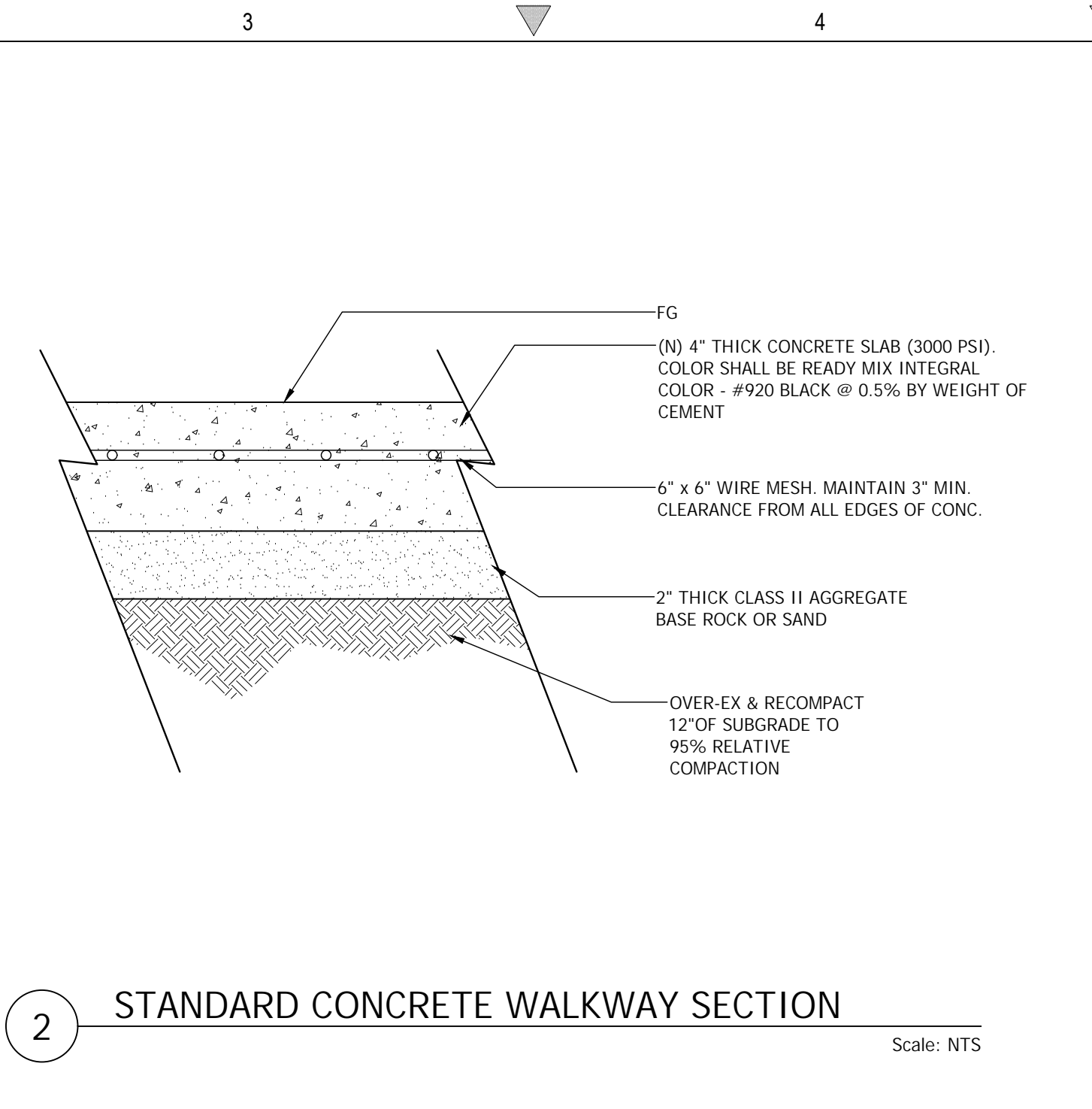
C2G CIVIL CONSULTANTS GROUP, INC.
Engineers/Planners
10000 Valley View Drive, Suite 6
Scotts Valley, CA 95044
831.438.4420

LOS ALTOS MIXED USE
400, 420 & 428 2ND AVENUE
LOS ALTOS, CALIFORNIA 94022

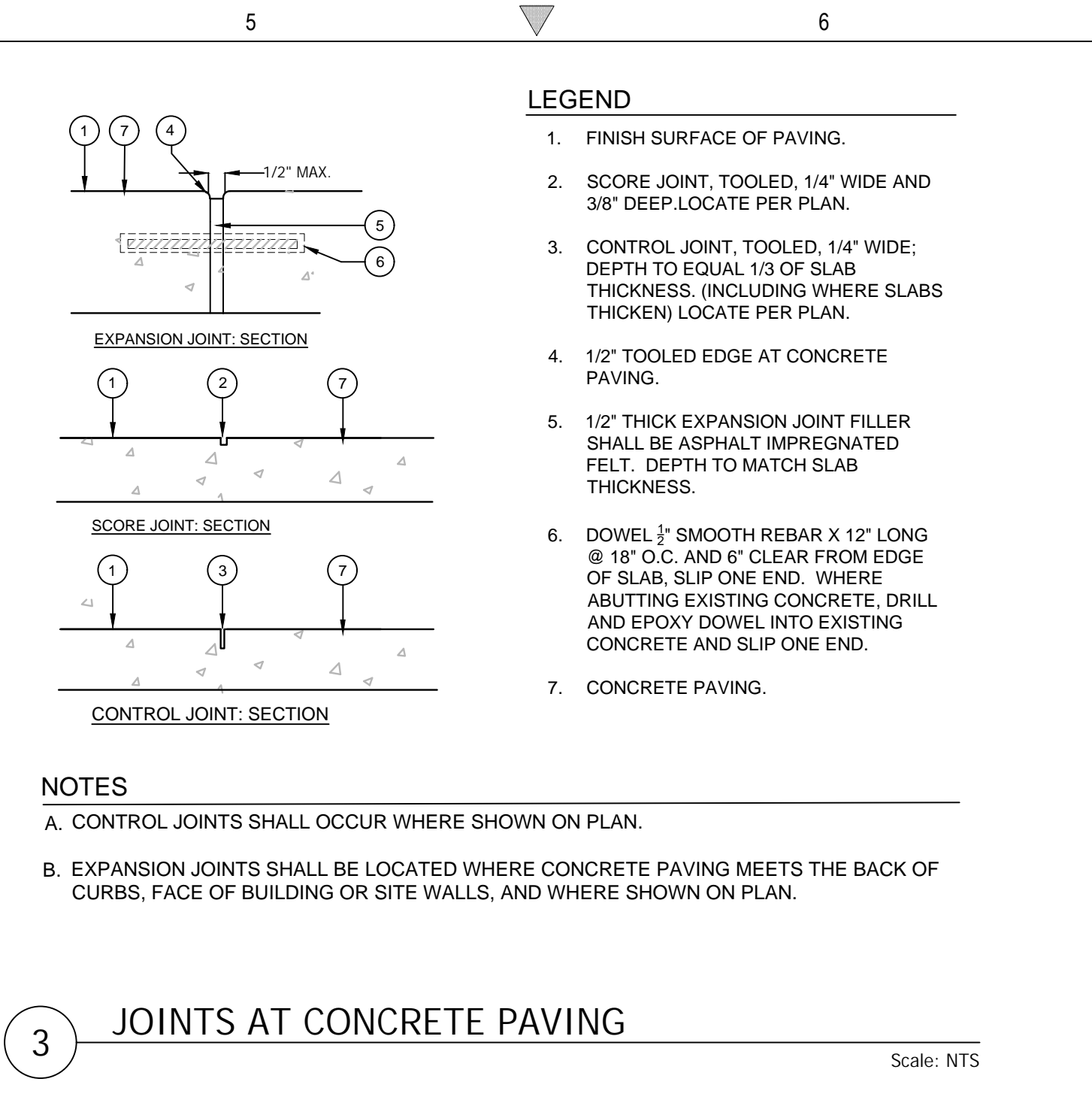
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Job: 3012.01
Sheet: C4.1
Of 8 Sheets



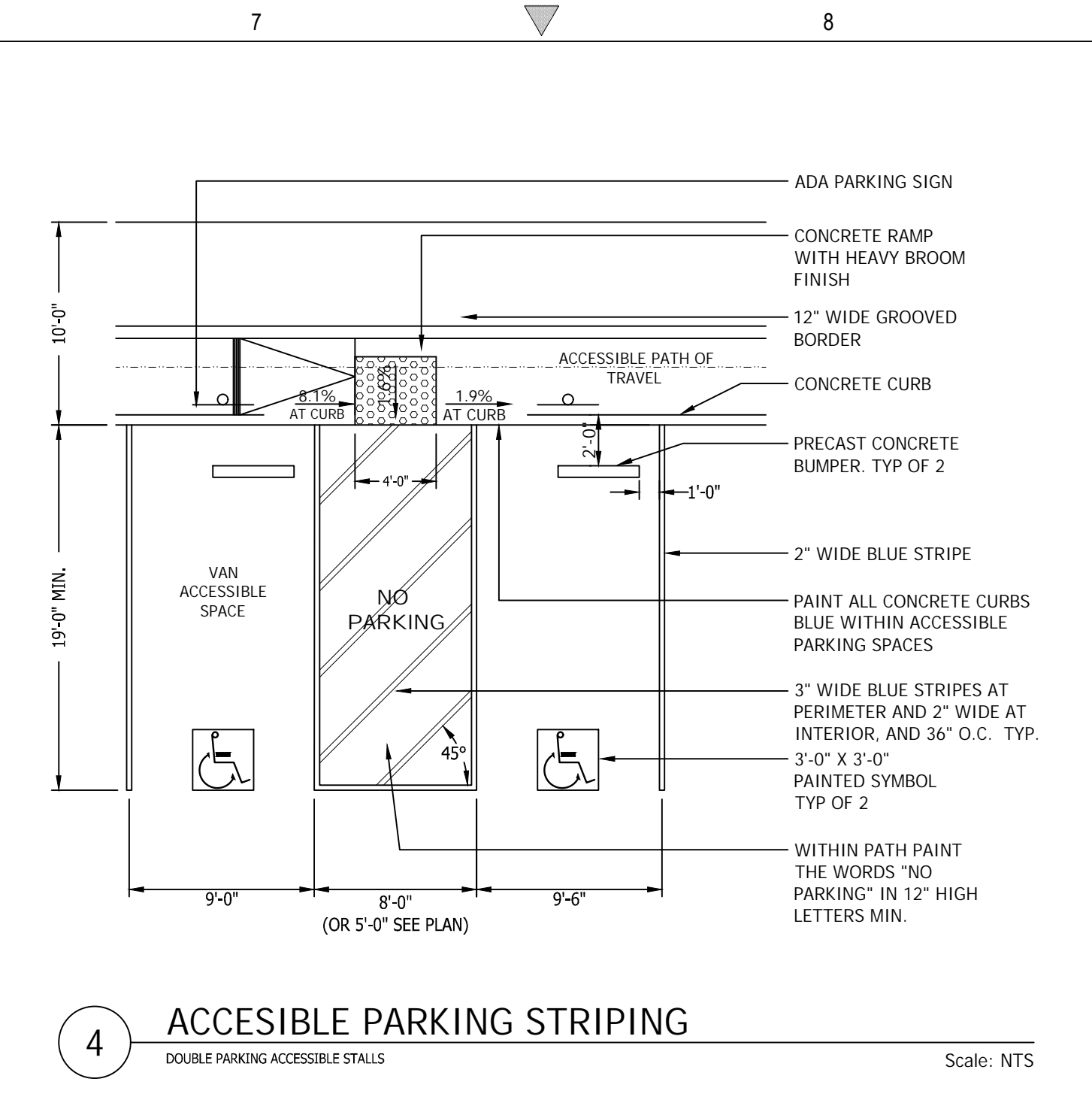
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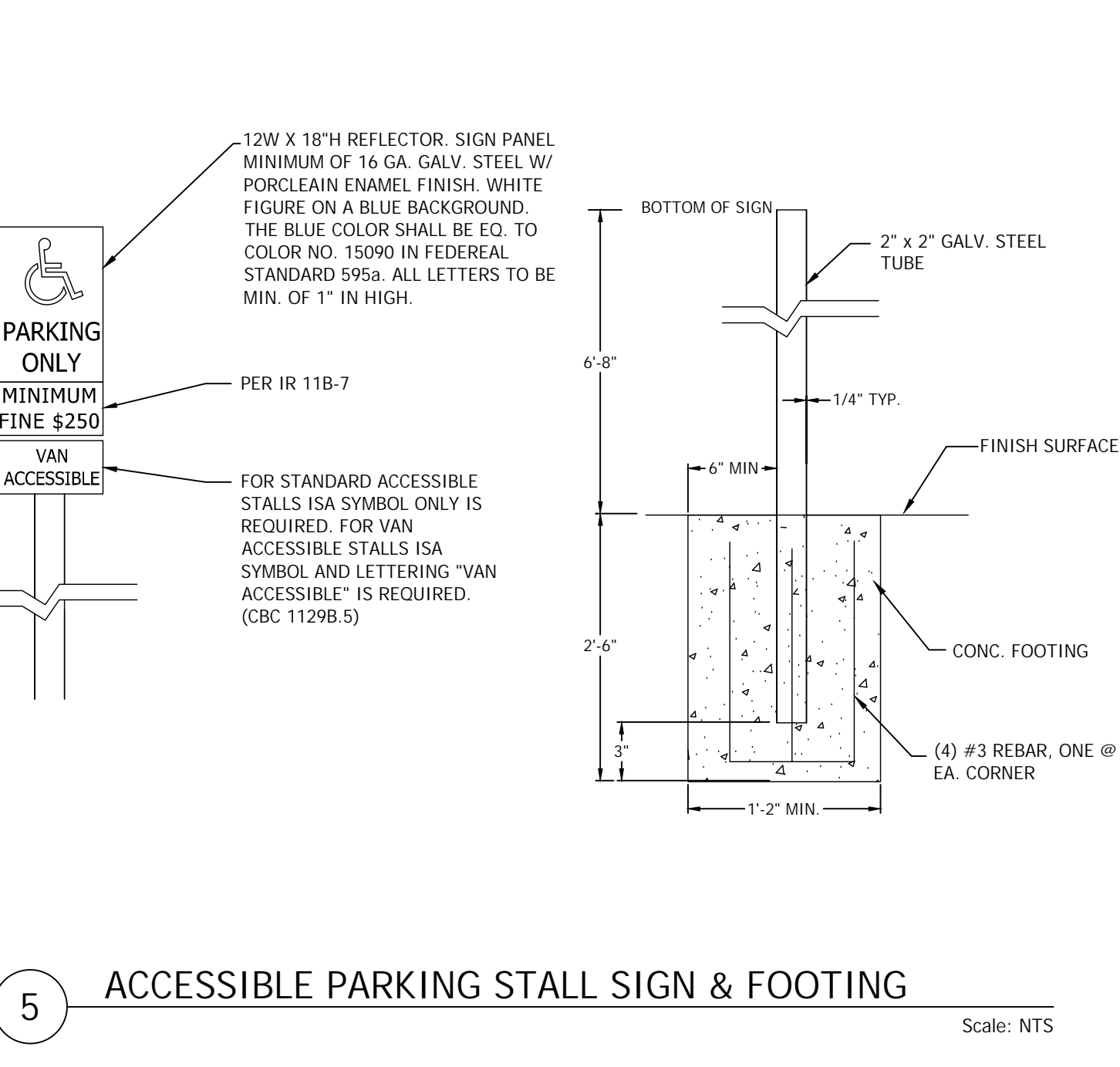
2 STANDARD CONCRETE WALKWAY SECTION Scale: NTS



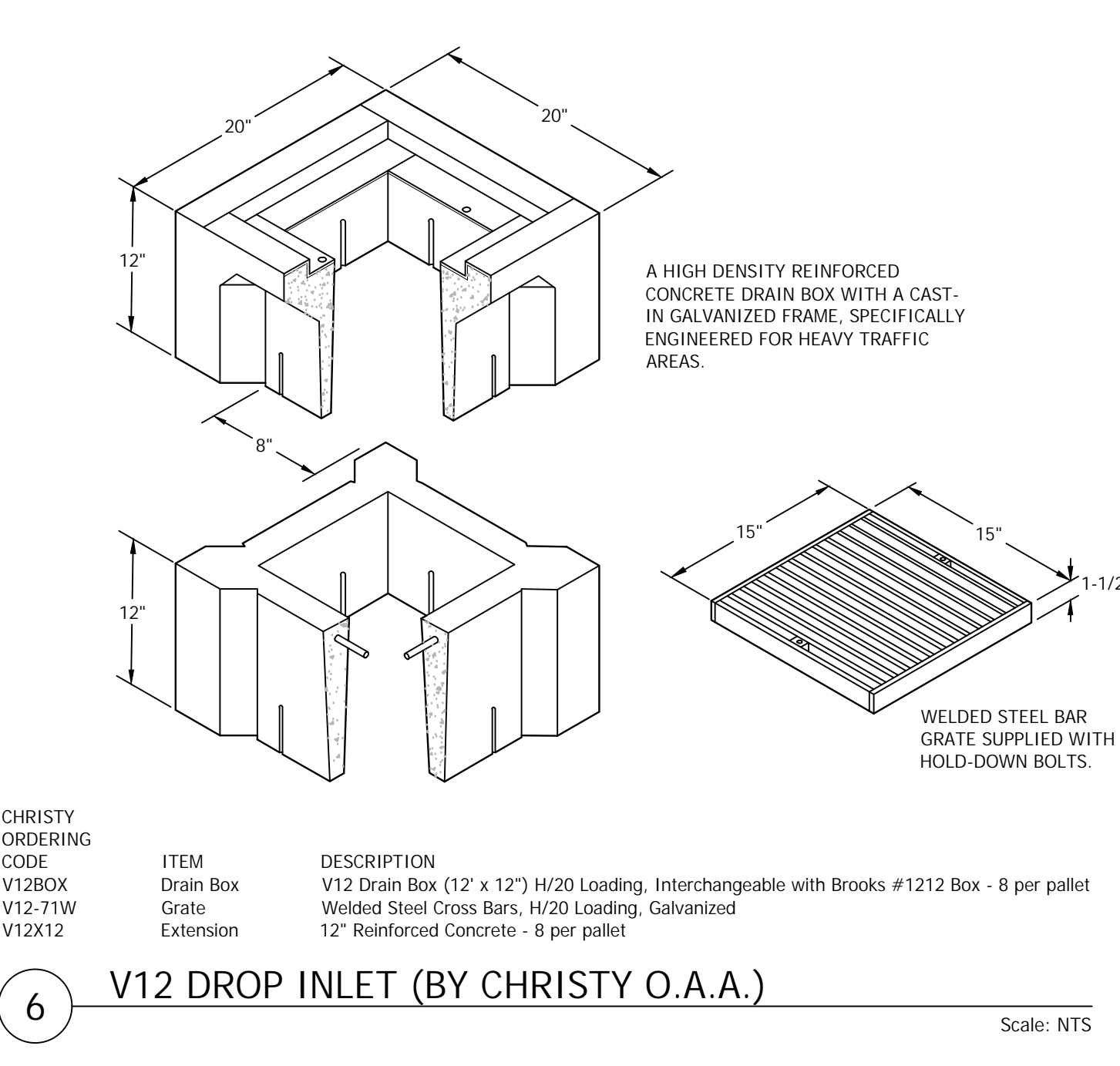
3 JOINTS AT CONCRETE PAVING Scale: NTS



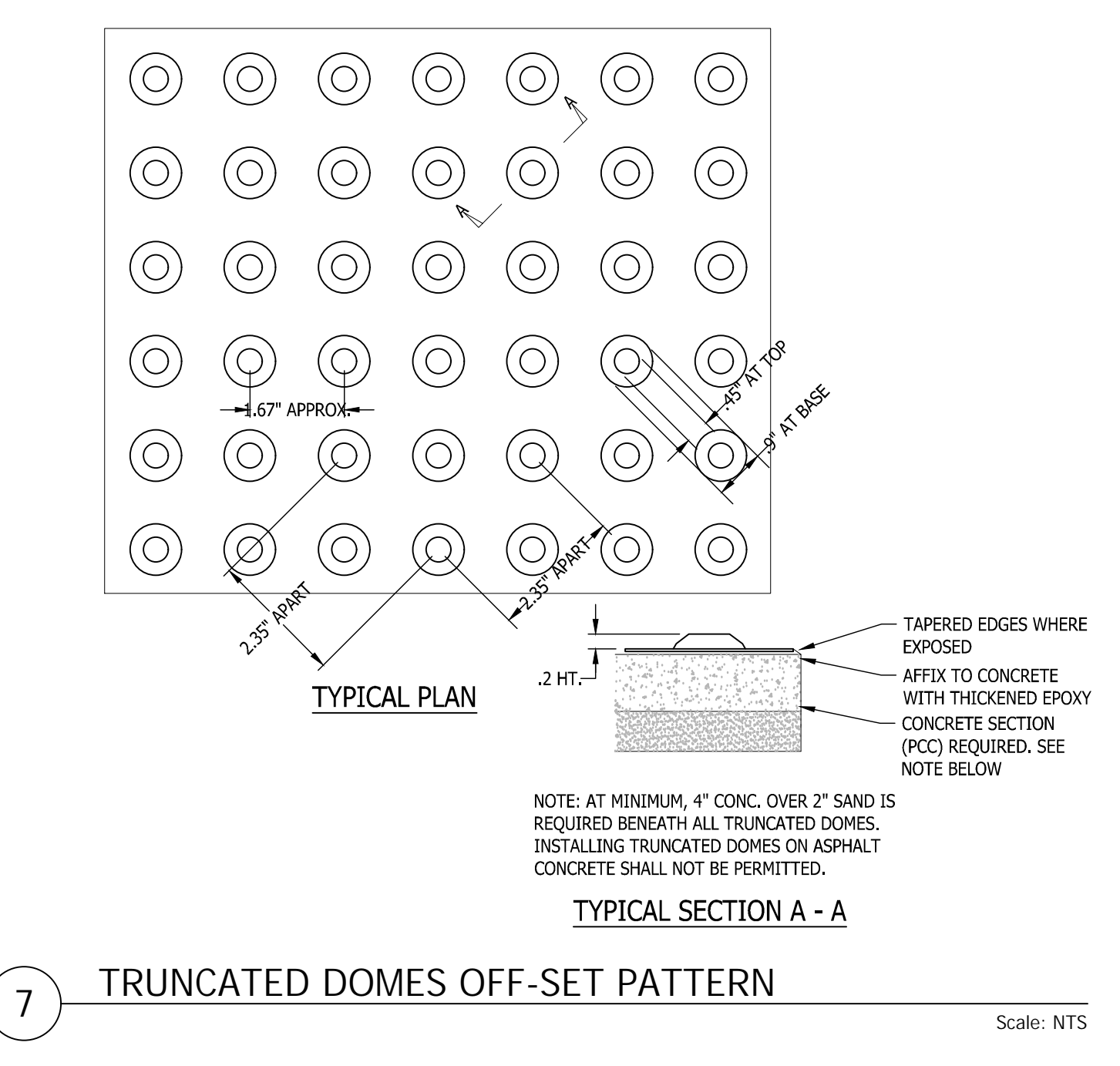
4 ACCESSIBLE PARKING STRIPING Scale: NTS



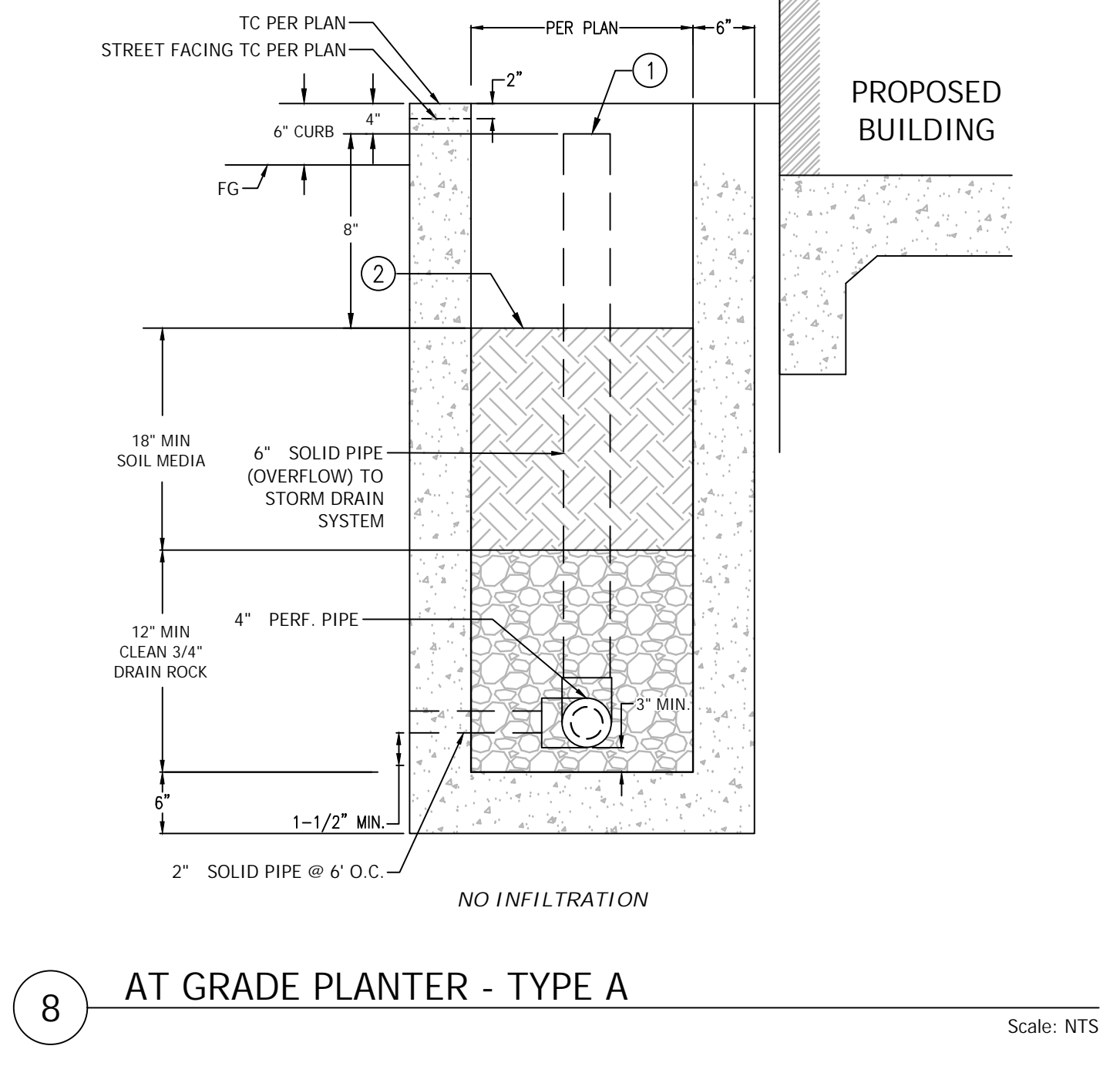
5 ACCESSIBLE PARKING STALL SIGN & FOOTING Scale: NTS



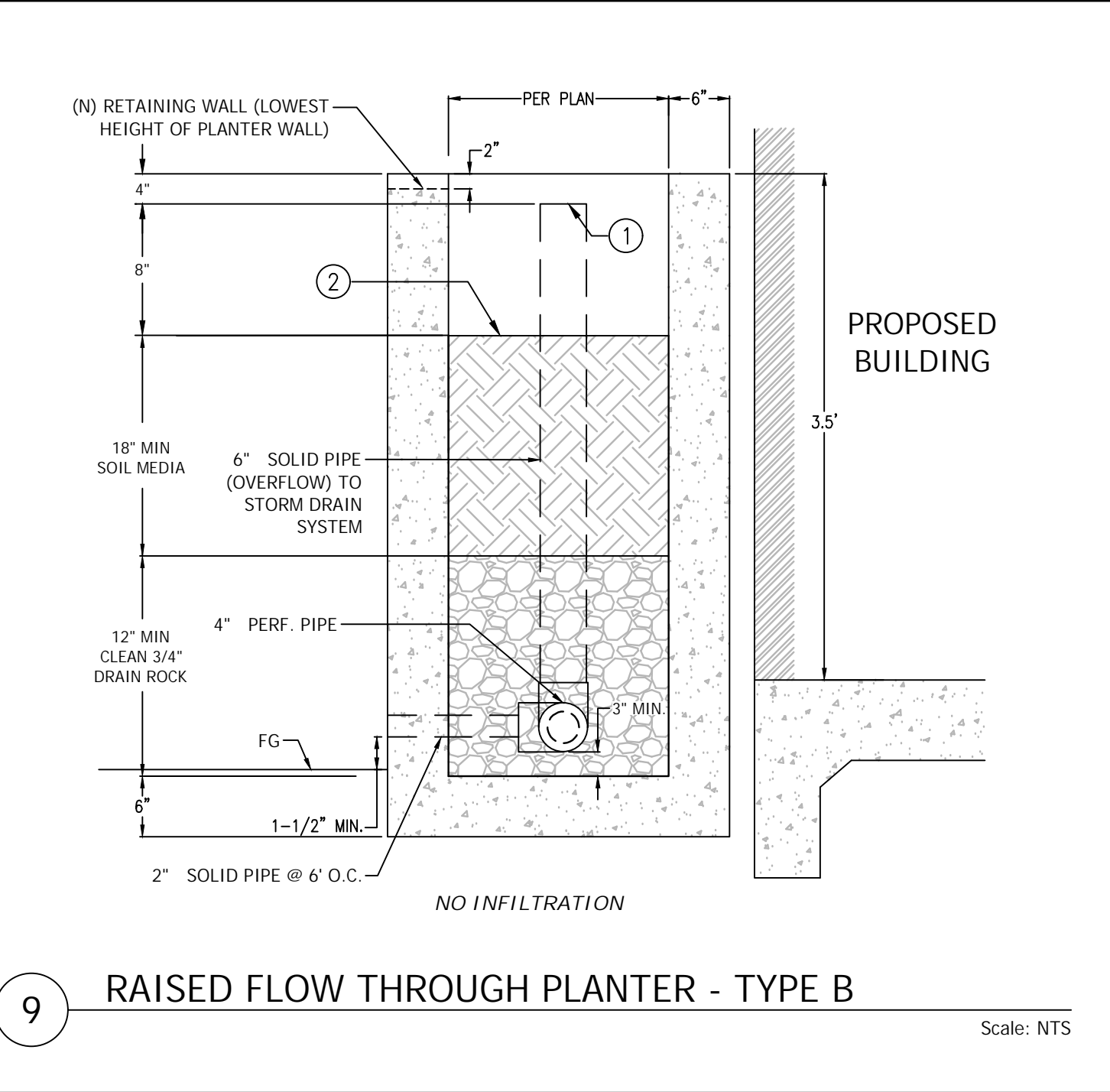
6 V12 DROP INLET (BY CHRISTY O.A.A.) Scale: NTS



7 TRUNCATED DOMES OFF-SET PATTERN Scale: NTS



8 AT GRADE PLANTER - TYPE A Scale: NTS



9 RAISED FLOW THROUGH PLANTER - TYPE B Scale: NTS

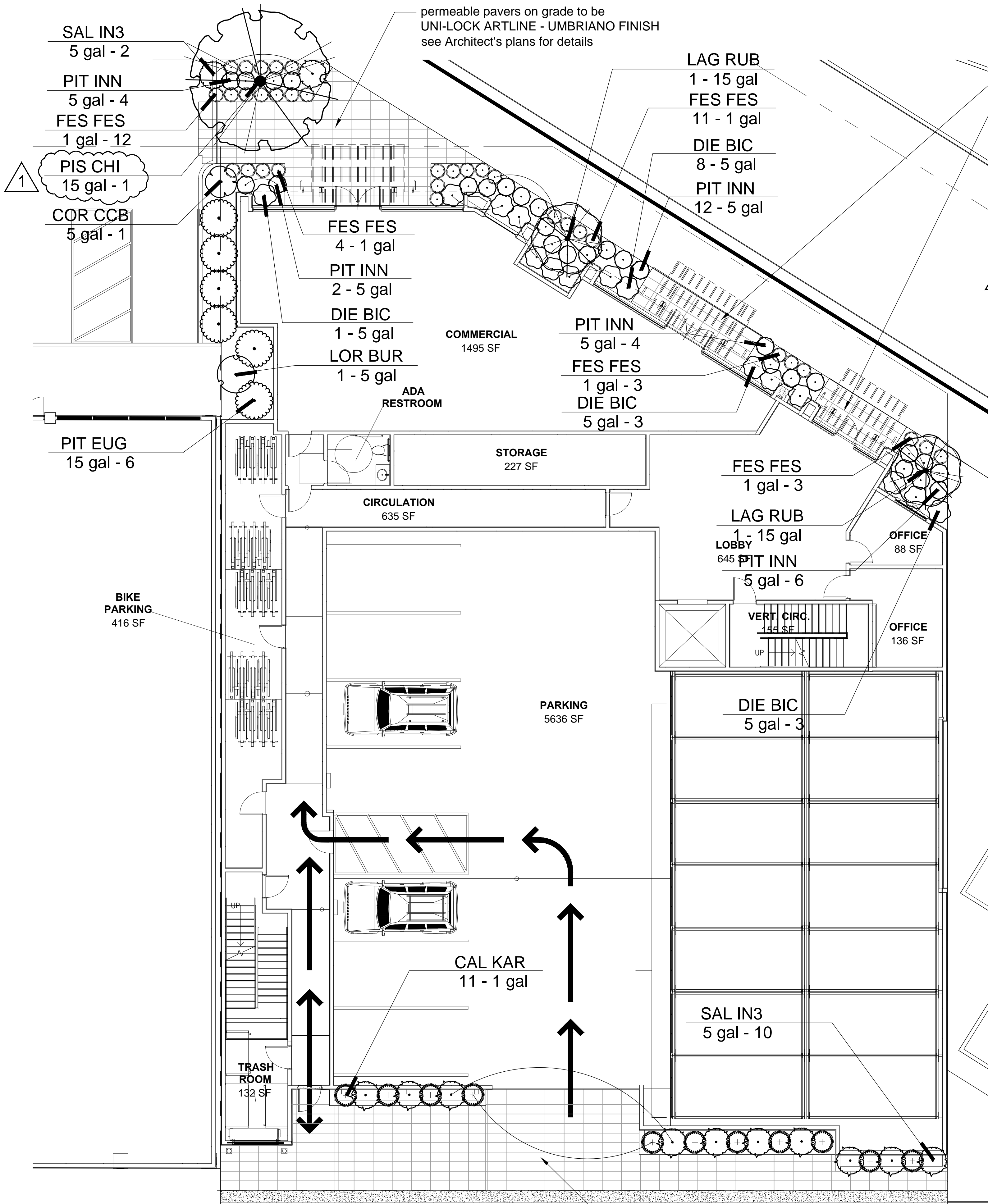
REVISIONS	BY

TENTATIVE DETAILS

C2G CIVIL CONSULTANTS GROUP, INC.
 Engineers/Planners
 400, 428 & 428 2ND AVENUE
 LOS ALTOS, CALIFORNIA 94022
 Phone: 650.947.7811
 Fax: 650.947.7812
 Website: www.c2ginc.com

LOS ALTOS MIXED USE
400, 428 & 428 2ND AVENUE
LOS ALTOS, CALIFORNIA 94022

Date: 08.26.2021
 Scale: AS SHOWN
 Drawn: JB/DD
 Job: 3012.01
 Sheet: **C5.1**
 Of 8 Sheets



PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	CONT	QTY	WATER USE	
LAG RUB	Lagerstroemia indica 'Rubra' / Red Crape Myrtle	15 gal	2	Medium	
PIS CHI	Pistacia chinensis / Chinese Pistache standard	15 gal	1	Low	
SYA QU2	Syagrus romanzoffiana / Queen Palm	15 gal	6	Medium	
SHRUBS	BOTANICAL / COMMON NAME	CONT	QTY	WATER USE	
BAM ALP	Bambusa multiplex 'Alphonse Karr' / Alphonse Karr Hedge Bamboo	15 gal	6	Medium	
COR CCB	Correa x 'Carmine Bells' / Carmine Bells Australian Fuchsia	5 gal	5	Low	
DIE BIC	Diets bicolor / Fortnight Lily	5 gal	15	Low	
IRI COA	Iris douglasiana 'Pacific Coast Hybrids' / PCH Iris	1 gal	14	Low	
LOR WHC	Loropetalum chinense 'Snow Dance' / Snow Dance Fringe Flower	5 gal	4	Low	
LOR BUR	Loropetalum chinense rubrum 'Burgundy' / Burgundy Fringe Flower	5 gal	3	Low	
PIT INN	Pittosporum tobira 'Cream de Mint' / Variegated Pittosporum	5 gal	28	Low	
SAL IN3	Salvia leucantha 'Indigo Spires' / Indigo Spires Sage	5 gal	12	Low	
FERNS	BOTANICAL / COMMON NAME	CONT	QTY	WATER USE	
POL MUN	Polystichum munitum / Western Sword Fern	5 gal	12	Medium	
GRASSES	BOTANICAL / COMMON NAME	CONT	QTY	WATER USE	
CAL KAR	Calamagrostis x acutiflora 'Karl Foerster' / Karl Foerster Feather Reed Grass	1 gal	21	Low	
FES FES	Festuca amethystina / Blue Fescue	1 gal	33	Medium	
PHO XAP	Phormium x 'Apricot Queen' / Apricot Queen New Zealand Flax	5 gal	9	Low	
GROUND COVERS	BOTANICAL / COMMON NAME	CONT	SPACING	QTY	WATER USE
FRA LIP	Fragaria chiloensis 'Lipstick' / Beach Strawberry	4" POT	16" o.c.	250	Medium

LOS ALTOS MIXED USE
 420 & 428 Second Street
 LOS ALTOS, CALIFORNIA

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REVISIONS
 △ 2.27.2024



"I have complied with the criteria of the ordinance and applied them for the efficient use of water in the landscape and irrigation design plan,"

Landscape Architect, CA License #3347

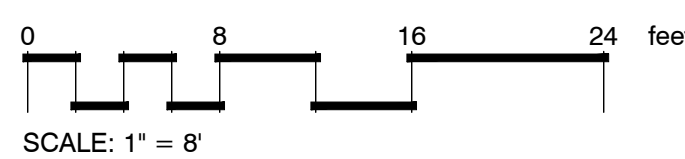
"I agree to comply with the requirements of the water efficient landscape ordinance and submit a complete Landscape Documentation Package,"

Applicant/Owner

PLANTING PLAN
 GROUND FLOOR

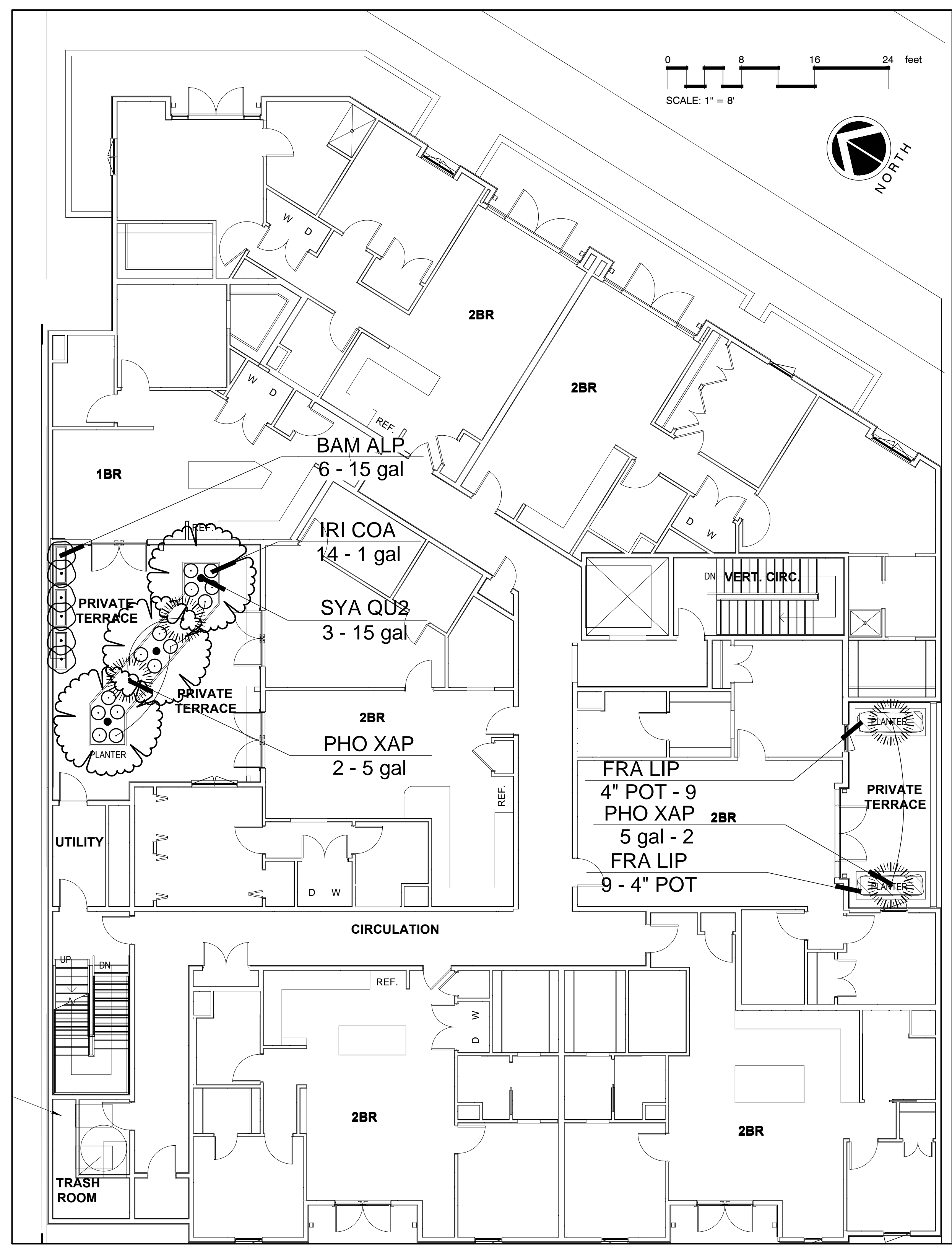
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 CHECK
 DATE 2.27.2024 L-1.0

Resubmittal #3

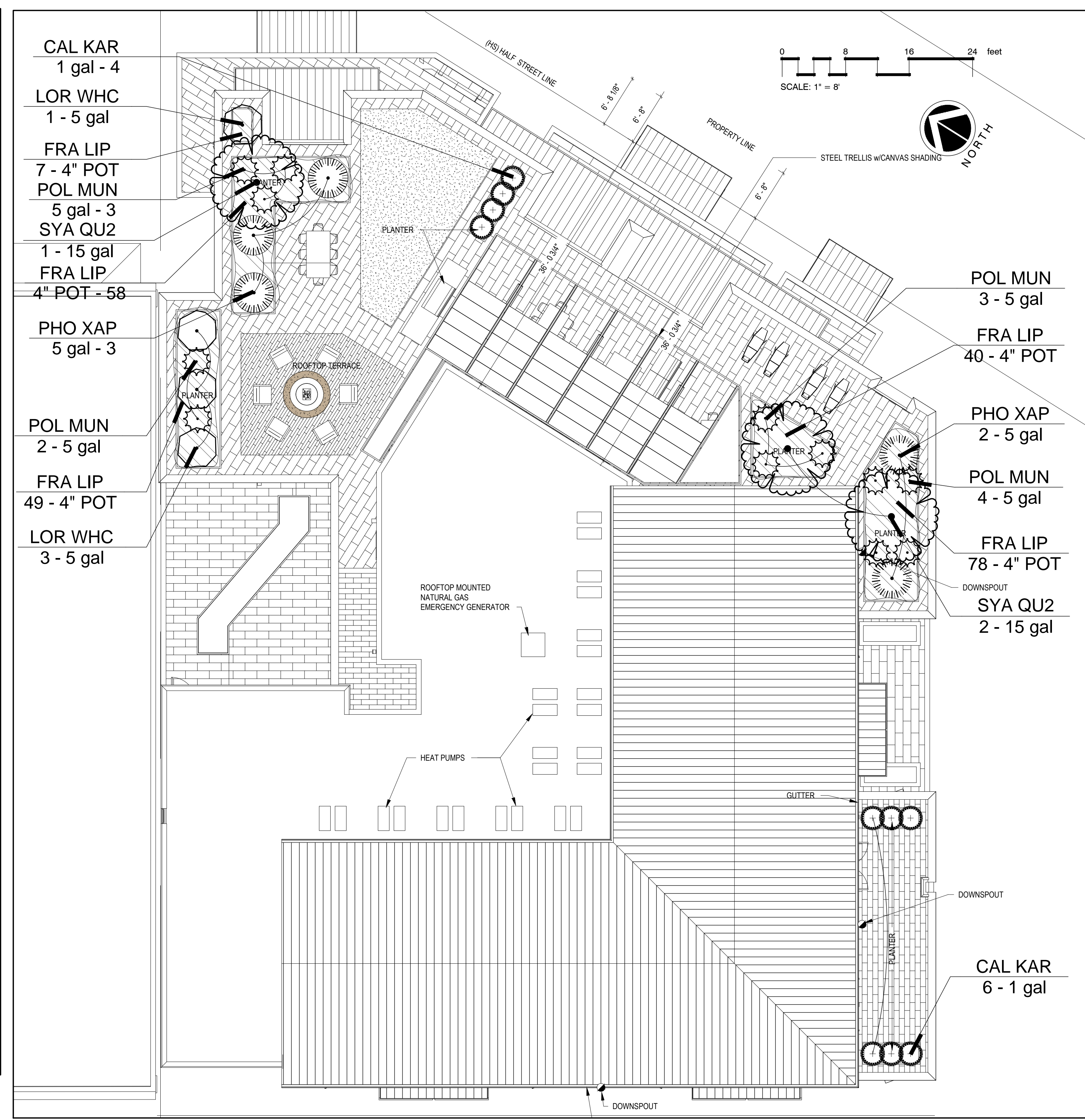


permeable pavers on grade to be
 UNI-LOCK ARTLINE - UMBRIANO FINISH
 see Architect's plans for details

LOS ALTOS MIXED USE
420 & 428 Second Street
LOS ALTOS, CALIFORNIA



R1



R3

- CAL KAR
1 gal - 4
- LOR WHC
1 - 5 gal
- FRA LIP
7 - 4" POT
- POL MUN
5 gal - 3
- SYA QU2
1 - 15 gal
- FRA LIP
4" POT - 58
- PHO XAP
5 gal - 3
- POL MUN
2 - 5 gal
- FRA LIP
49 - 4" POT
- LOR WHC
3 - 5 gal

- POL MUN
3 - 5 gal
- FRA LIP
40 - 4" POT
- PHO XAP
2 - 5 gal
- POL MUN
4 - 5 gal
- FRA LIP
78 - 4" POT
- SYA QU2
2 - 15 gal
- CAL KAR
6 - 1 gal

PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	CONT	QTY	WATER USE
LAG RUB	Lagerstroemia indica 'Rubra' / Red Crape Myrtle	15 gal	2	Medium
PIS CHI	Pistacia chinensis / Chinese Pistache standard	15 gal	1	Low
SYA QU2	Syagrus romanzoffiana / Queen Palm	15 gal	6	Medium
SHRUBS	BOTANICAL / COMMON NAME	CONT	QTY	WATER USE
BAM ALP	Bambusa multiplex 'Alphonse Karr' / Alphonse Karr Hedge Bamboo	15 gal	6	Medium
COR CCB	Correa x 'Carmine Bells' / Carmine Bells Australian Fuchsia	5 gal	5	Low
DIE BIC	Diets bicolor / Fortnight Lily	5 gal	15	Low
IRI COA	Iris douglasiana 'Pacific Coast Hybrids' / PCH Iris	1 gal	14	Low
LOR WHC	Loropetalum chinense 'Snow Dance' / Snow Dance Fringe Flower	5 gal	4	Low
LOR BUR	Loropetalum chinense rubrum 'Burgundy' / Burgundy Fringe Flower	5 gal	3	Low
PIT INN	Pittosporum tobira 'Cream de Mint' / Variegated Pittosporum	5 gal	28	Low
SAL IN3	Salvia leucantha 'Indigo Spires' / Indigo Spires Sage	5 gal	12	Low

FERNS	BOTANICAL / COMMON NAME	CONT	QTY	WATER USE	
POL MUN	Polystichum munium / Western Sword Fern	5 gal	12	Medium	
GRASSES	BOTANICAL / COMMON NAME	CONT	QTY	WATER USE	
CAL KAR	Calamagrostis x acutiflora 'Karl Foerster' / Karl Foerster Feather Reed Grass	1 gal	21	Low	
FES FES	Festuca amethystina / Blue Fescue	1 gal	33	Medium	
PHO XAP	Phormium x 'Apricot Queen' / Apricot Queen New Zealand Flax	5 gal	9	Low	
GROUND COVERS	BOTANICAL / COMMON NAME	CONT	SPACING	QTY	WATER USE
FRA LIP	Fragaria chilensis 'Lipstick' / Beach Strawberry	4" POT	16" o.c.	250	Medium

"I have complied with the criteria of the ordinance and applied them for the efficient use of water in the landscape and irrigation design plan,"

Michael Arnone
Landscape Architect, C.A License #3347

"I agree to comply with the requirements of the water efficient landscape ordinance and submit a complete Landscape Documentation Package,"

Applicant/Owner

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REVISIONS
△ 2.27.2024



PLANTING PLAN
R1 and R3

JOB NO. 202127

SCALE 1/8" = 1' - 0"

DRAWN SHEET

CHECK L-1.1

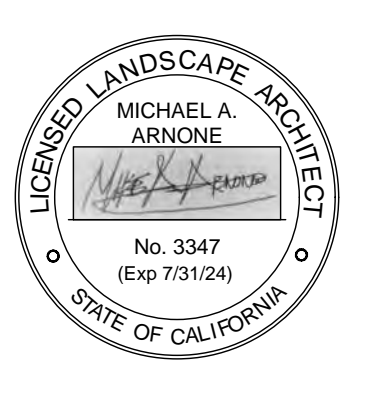
DATE 2.27.2024

Resubmittal #3

LOS ALTOS MIXED USE
420 & 428 Second Street
LOS ALTOS, CALIFORNIA

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REVISIONS
1 2.27.2024



PLANT IMAGES

JOB NO. 202127
SCALE not to scale
DRAWN SHEET
CHECK L-1.2
DATE 2.27.2024
Resubmittal #3

TREES



Lagerstroemia indica 'Rubra'
Red Crape Myrtle



1 Pistacia chinensis
Chinese Pistache standard



Syragus romanzoffiana
Queen Palm

SHRUBS



Correa x 'Carmine Bells'
Carmine Bells Australian Fuchsia



Diets bicolor
Fortnight Lily



Iris douglasiana 'Pacific Coast Hybrids'
PCH Iris



Loropetalum chinense 'Snow Dance'
Snow Dance Fringe Flower

FERNS



Polystichum munitum
Western Sword Fern



Loropetalum chinense rubrum 'Burgundy'
Burgundy Fringe Flower



Pittosporum eugenoides
Lemonwood



Pittosporum tobira 'Cream de Mint'
Variegated Pittosporum



Salvia leucantha 'Indigo Spires'
Indigo Spires Sage

ORNAMENTAL GRASSES



Calamagrostis x acutiflora 'Karl Foerster'
Karl Foerster Feather Reed Grass



Festuca amethystina
Blue Fescue



Phormium x 'Apricot Queen'
Apricot Queen New Zealand Flax

BAMBOO

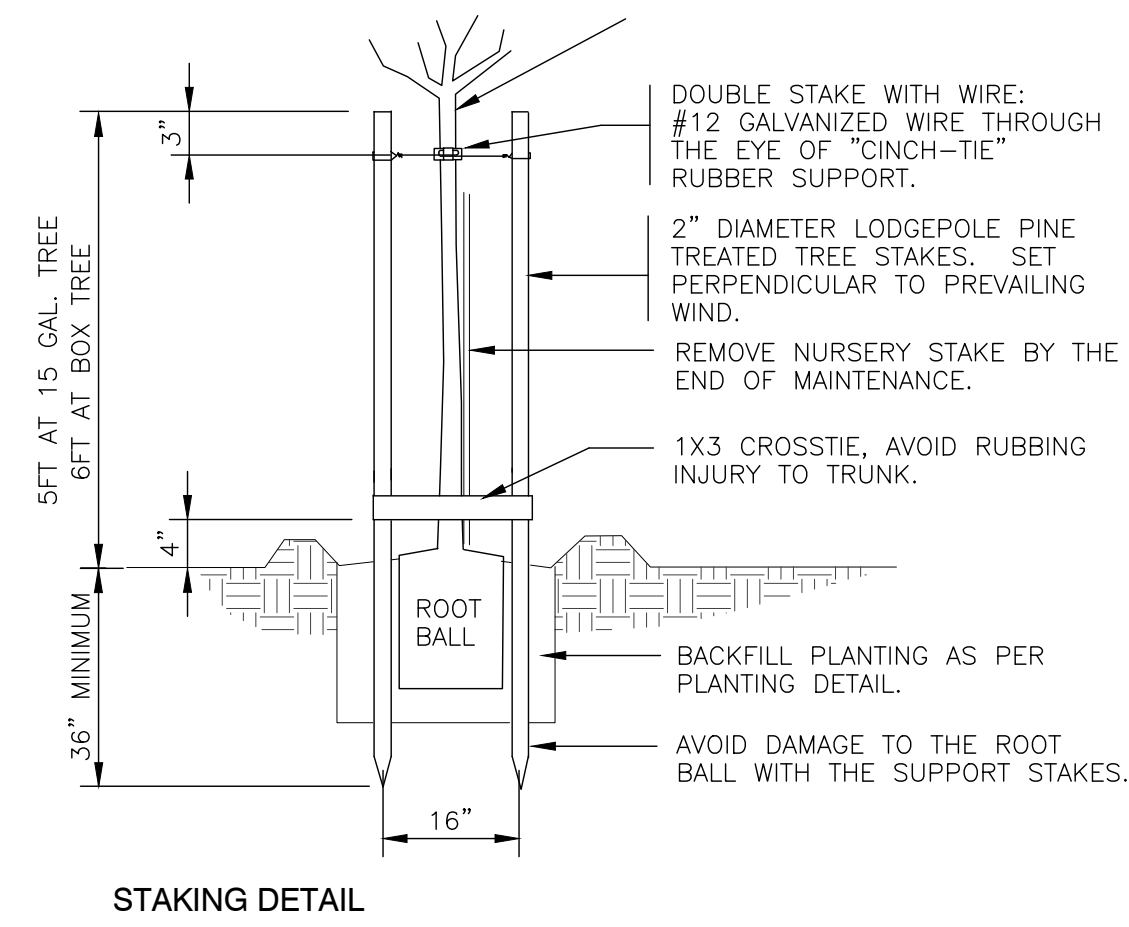


Bambusa multiplex 'Alphonse Karr'
Alphonse Karr Hedge Bamboo

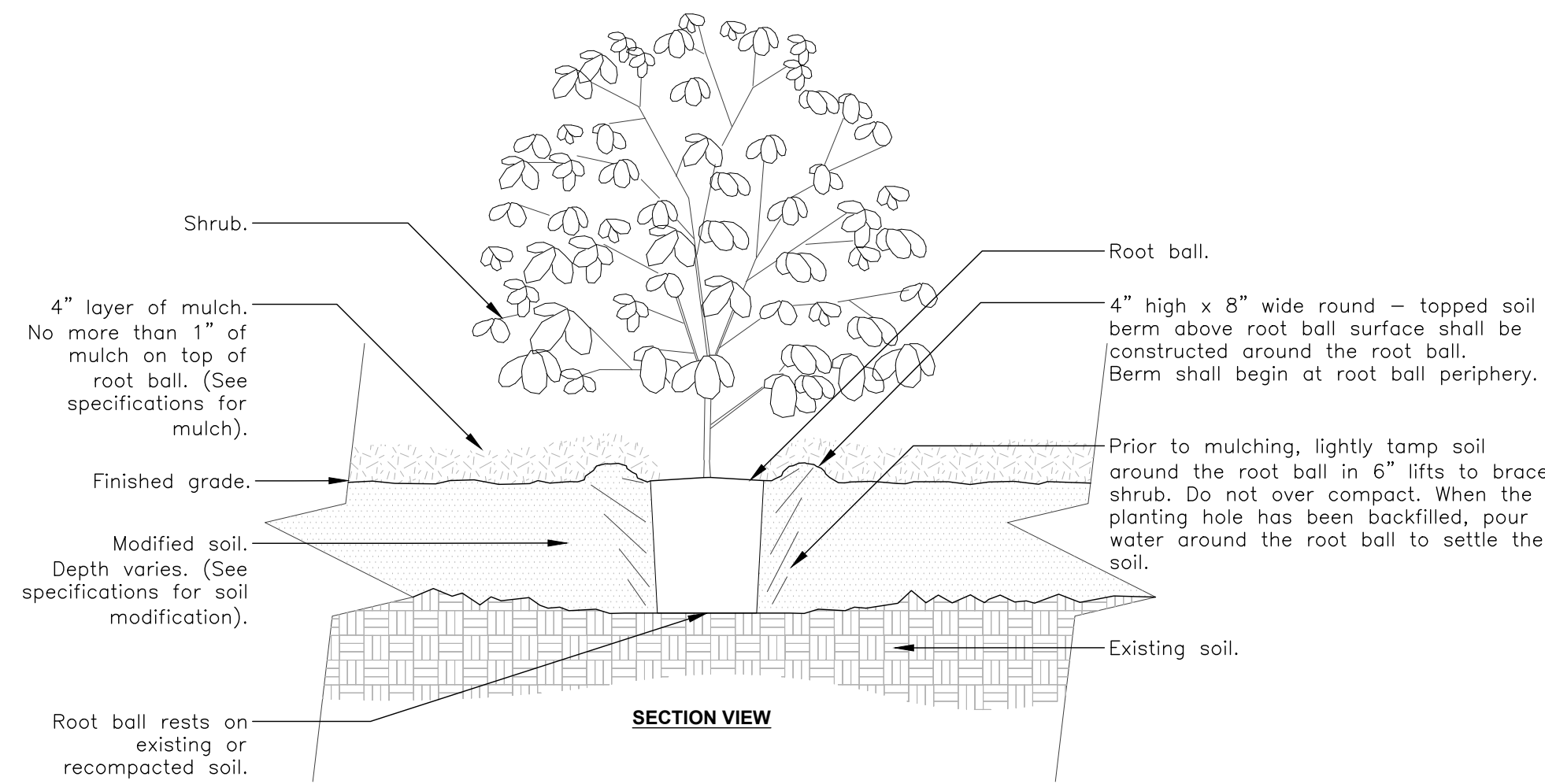
GROUND COVERS



Fragaria chilensis 'Lipstick'
Beach Strawberry



STAKING DETAIL

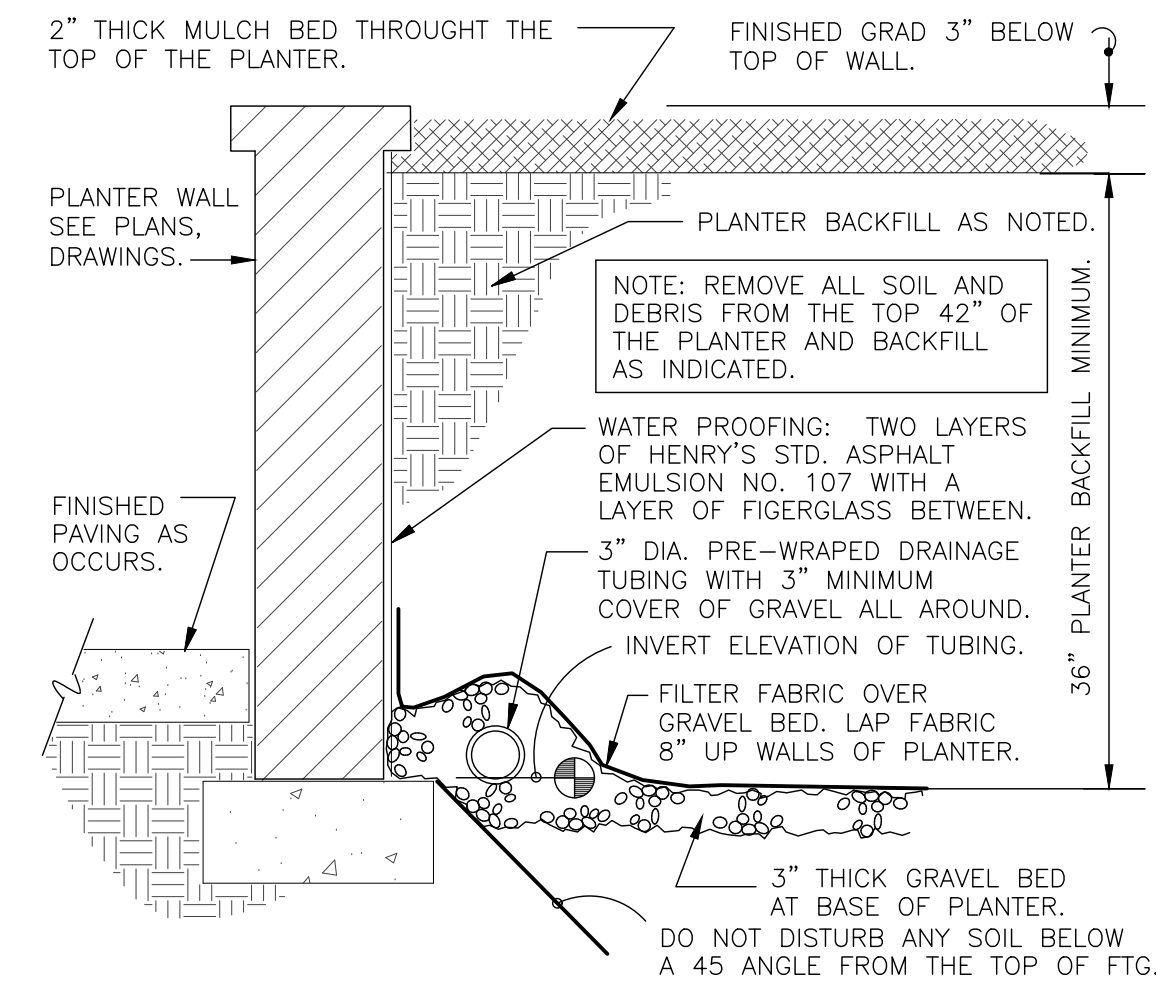


SECTION VIEW

Notes:
1- Shrubs shall be of quality prescribed in the root observations detail and specifications.
2- See specifications for further requirements related to this detail.

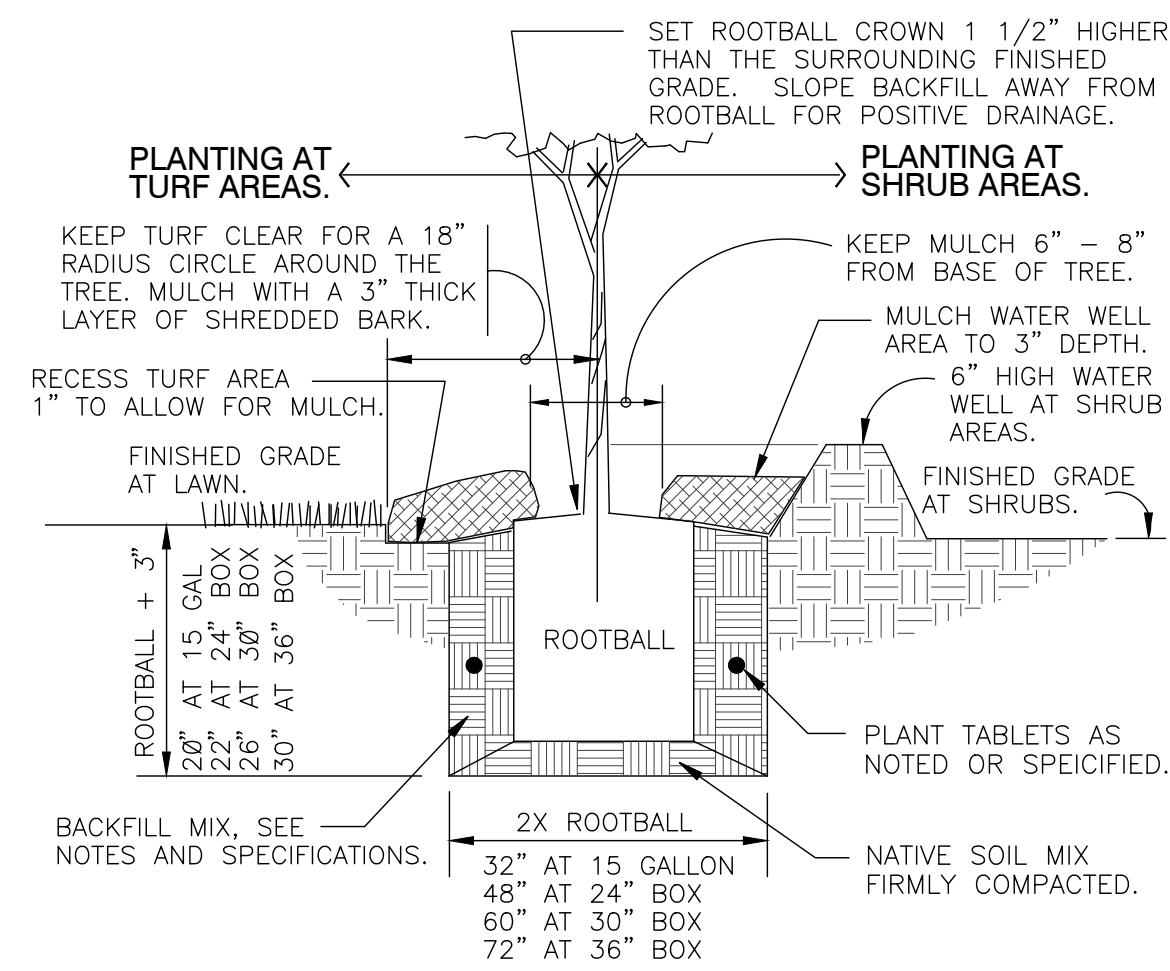
2 SHRUB - MODIFIED SOIL
3/4" = 1'-0"

URBAN TREE FOUNDATION © 2014
OPEN SOURCE FREE TO USE
FX-PL-FX-SHRB-03



3 RAISED PLANTER BACKFILL, 36" SOIL DEPTH
1" = 1'-0"

FX-PL-FX-PLAN-02



PLANT PIT DETAIL

1 TREE PLANTING DOUBLE STAKE
1" = 1'-0"

FX-PL-FX-TREE-10

Old Town Fiberglass Planters
<http://oldtownfiberglass.com> 714.633.3732



rectangle planter - 48" -60" long x 15" wide x 42" high
approx. 600 lbs. with soil



Sand- Add suffix S to color code

Finish options



Med. Gray 18-(add suffix G, M, S or O)

Taupe 19-(add suffix G, M, S or O)

Dark Gray 20-(add suffix G, M, S or O)

Black 21-(add suffix G, M, S or O)

Color options

Planting Notes

- Contractor shall line all interior walls and floors of planters with water proof membrane (Aussie Membrane or equal product). A water proof sealant shall be used to seal drain hole/pipe connection and irrigation pipes coming into planter. Apply membrane and sealants as per manufacturer's instructions.
- Fill planters with Garden Blend soil to top 3" of planter cap. Soil should be lightly compacted using tamping bar and topped off to correct level in planter.
- Quantities are for aiding in bidding only. Contractor shall verify all quantities.
- Contractor shall lay out plant material as per plan and receive approval from Landscape Architect prior to installation.
- No plants shall be planted with root balls or new pits in a dry condition.
- Plant all plants as per planting details in square pits with sides and bottoms thoroughly scarified. Do not amend backfill mix beyond initial topsoil amending unless noted.
- All newly planted material shall be watered by deep soaking within 3 hours of planting.
- All planting areas shall receive 3 inches of mini grind bark chip top dressing (mulch).
- Contractor shall be responsible for irrigating all new plant material until the entire project as been approved and accepted by Owner.
- Thirty days after planting Contractor shall re-stake and straighten all trees as necessary to be approved by Landscape Architect.
- Fill bottom of containers with 3" bed of pea gravel, fill with top soil garden blend soil mix leaving 2" clear at the top for mini grind bark chip mulch.

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REVISIONS

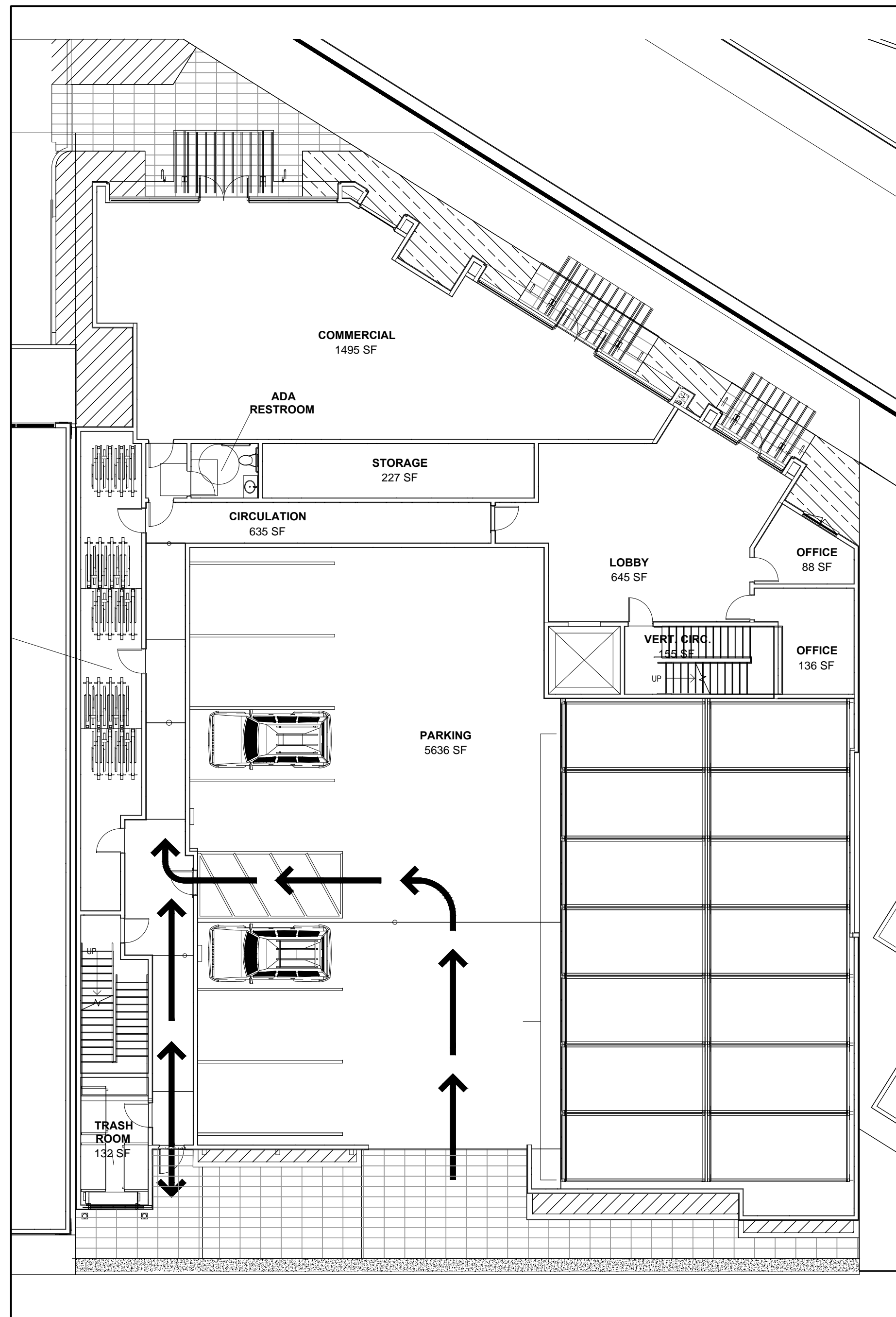


PLANTING DETAILS
PLANTING NOTES
& CONTAINER INFO

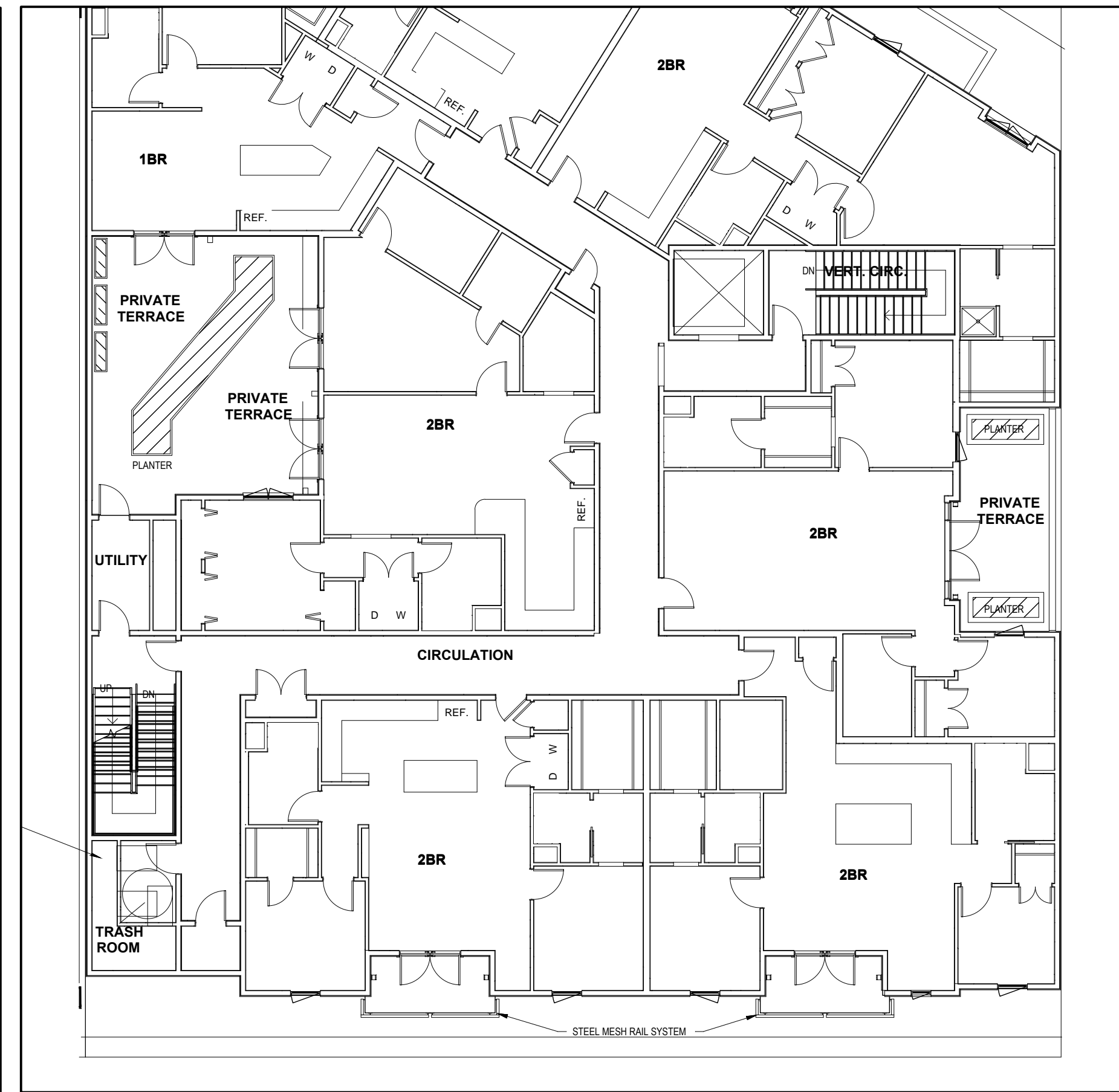
JOB NO. 202127
SCALE as noted
DRAWN SHEET
CHECK
DATE 2.27.2024 L-1.3

Resubmittal #3

LOS ALTOS MIXED USE
420 & 428 Second Street
LOS ALTOS, CALIFORNIA



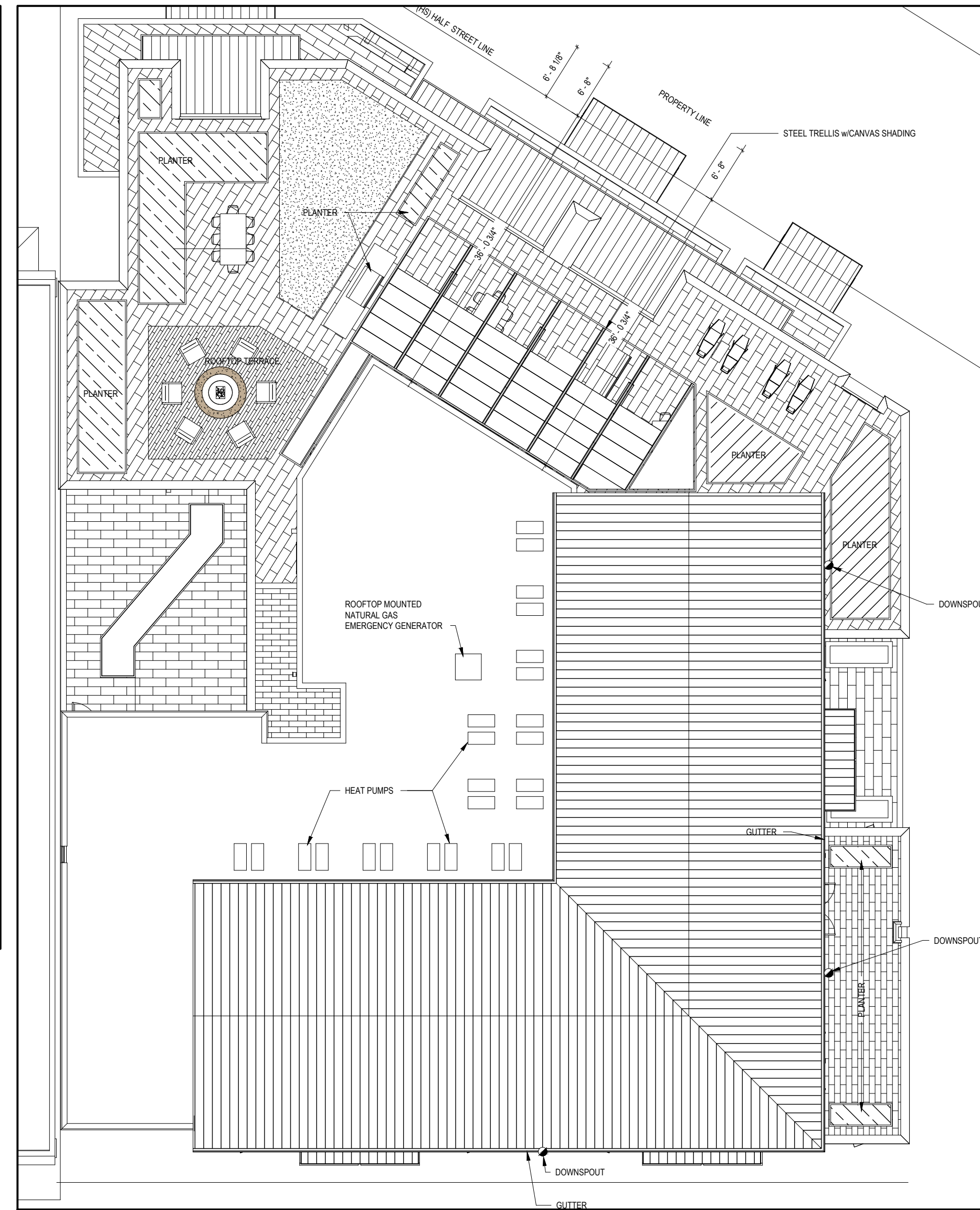
ground floor



1st floor

HYDROZONE MAP LEGEND

SYMBOL	DESCRIPTION	QTY
	DRIP LOW WATER USE	743 s.f.
	DRIP MODERATE WATER USE	645 s.f.
	TOTAL LANDSCAPE AREA	1,388 s.f.



roof

MAWA

Maximum Applied Water Allowance Calculations for New and Rehabilitated Non-Residential Landscapes

Messages and Warnings

Click on the blue cell on right to Pick City Name	Palo Alto	Name of City
ETo of City from Appendix A	43.00Eto (inches/year)	0Overhead Landscape Area (ft2)
	1,388Drip Landscape Area (ft2)	SLA (ft2)
	1,388	Total Landscape Area
Results:	16,652Gallons	2,226Cubic Feet
(ETo) x (0.62) x [(0.45 x LA) + (1.0 - 0.45) X SLA]	22HCF	0Acre-feet
	0Millions of Gallons	
MAWA calculation incorporating Effective Precipitation (Optional)	43Eto (inches/year)	Total annual precipitation (inches/year)
ETo of City from Appendix A	1,388LA (ft2)	0SLA (ft2)
Total Landscape Area		
Special Landscape Area		
Enter Effective Precipitation	0.00Eppt (in/yr)(25% of total annual precipitation)	
Results:		
MAWA = [(ETo - Eppt) x (0.62)] x [(0.45 x LA) + ((1.0 - 0.45) x SLA)]	Gallons	
	Cubic Feet	
	HCF	
	Acre-feet	
	Millions of Gallons	

ETWU

Estimated Total Water Use

Equation: ETWU = ETo x 0.62 x [(PF x HA)/IE] + SLA; Considering precipitation ETWA = (ETo - Eppt) x 0.62 x [(PF x HA)/IE] + SLA

Messages and Warnings

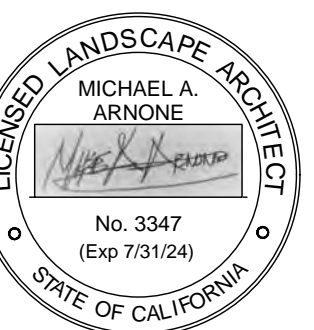
Irrigation Efficiency Default Value for overhead 0.75 and drip 0.81.						
Plant Water Use Type	Plant Factor					
Very Low	0 - 0.1					
Low	0.2 - 0.3					
Medium	0.4 - 0.6					
High	0.7 - 1.0					
SLA	1.0					
Hydrozone	Select System	FromPlant Water Use	Plant Factor	Hydrozone Area (HA)	Irrigation	(PF x HA (ft2))/IE
	the Dropdown List	Type (s) (low, medium, high)	(PF)	(ft2) Without SLA	Efficiency (IE)	
Zone 1	Drip	Low	0.30	743	0.81	275
Zone 2	Drip	Medium	0.40	645	0.81	319
						594
						0
						0
						0
Results						
MAWA =	16,652	ETWU =	15,828Gallons			ETWU complies with MAWA
			2,116Cubic Feet			
			21.16HCF			
			0.05Acre-feet			
			0.02Millions of Gallons			

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REVISIONS



HYDROZONE MAP & WATER USE CALCULATIONS

JOB NO. 202127

SCALE not to scale

DRAWN SHEET
CHECK

DATE 2.27.2024 L-2.0

Resubmittal #3

"I have complied with the criteria of the ordinance and applied them for the efficient use of water in the landscape and irrigation design plan,"

Landscape Architect, CA License #3347

"I agree to comply with the requirements of the water efficient landscape ordinance and submit a complete Landscape Documentation Package,"

Applicant/Owner



SOLID - 147 SF
TRANSPARENT - 390 SF
TOTAL STOREFRONT SF = 537 SF
390 SF / 537 SF = 73% ≥ 60% MIN PER LAMC 14.44.130.B.2

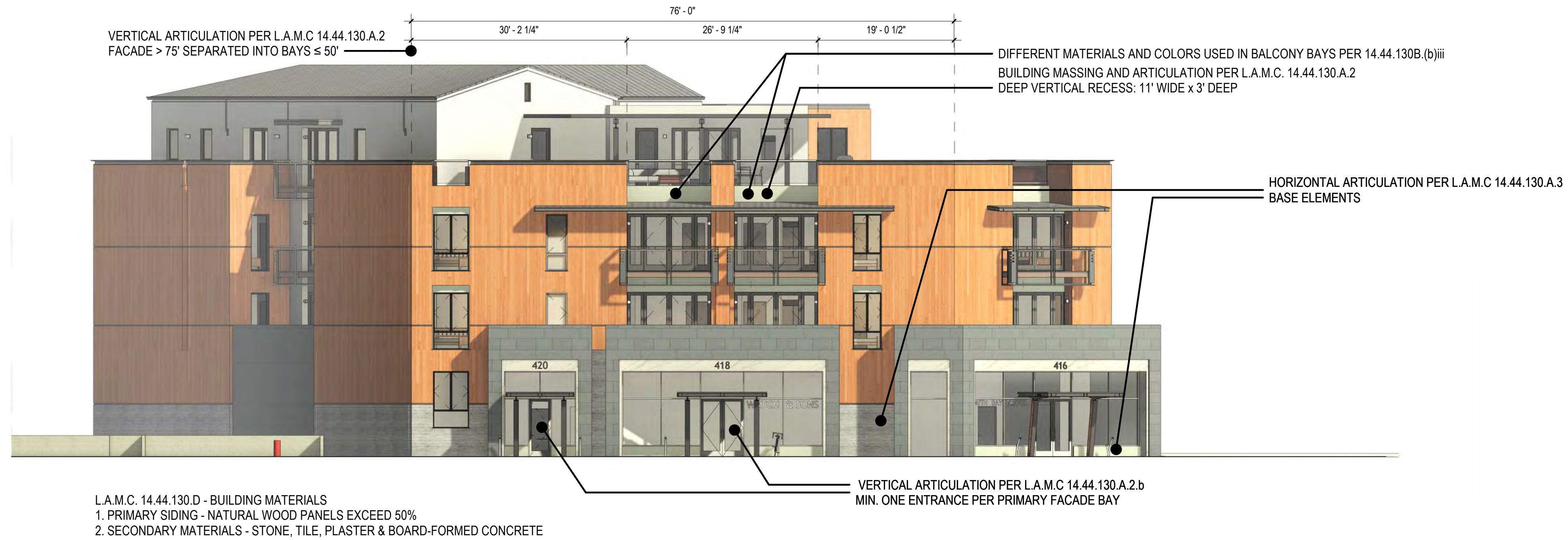
DATE:	ISSUANCE OR REVISION
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3/1/2023	FIRE DEPARTMENT
3/31/2023	FIRE DEPT. UPDATE
4/11/2023	RESUBMITTAL #2
10/23/2023	RESUBMITTAL #3
4/11/2024	RESUBMITTAL #4
08/15/2024	RESUBMITTAL #5

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SHEET CONTENTS
LOS ALTOS MUNICIPAL
CODE EXHIBITS

PROJECT NO: 9942

SHEET
MC-1



S. SAN ANTONIO RD. FRONTAGE - NORTHEAST ELEVATION 3/32" = 1'-0"

2



S. SAN ANTONIO RD. FRONTAGE - NORTH ELEVATION 3/32" = 1'-0"

1

DATE:	ISSUANCE OR REVISION
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SHEET CONTENTS
LOS ALTOS MUNICIPAL
CODE EXHIBITS

PROJECT NO: 9942

SHEET
MC-2

BONUS DENSITY EXHIBIT 130a

WAIVER TO LAMCC 14.44.130.A.1.a

AREA LOST FRONT 10' SETBACK

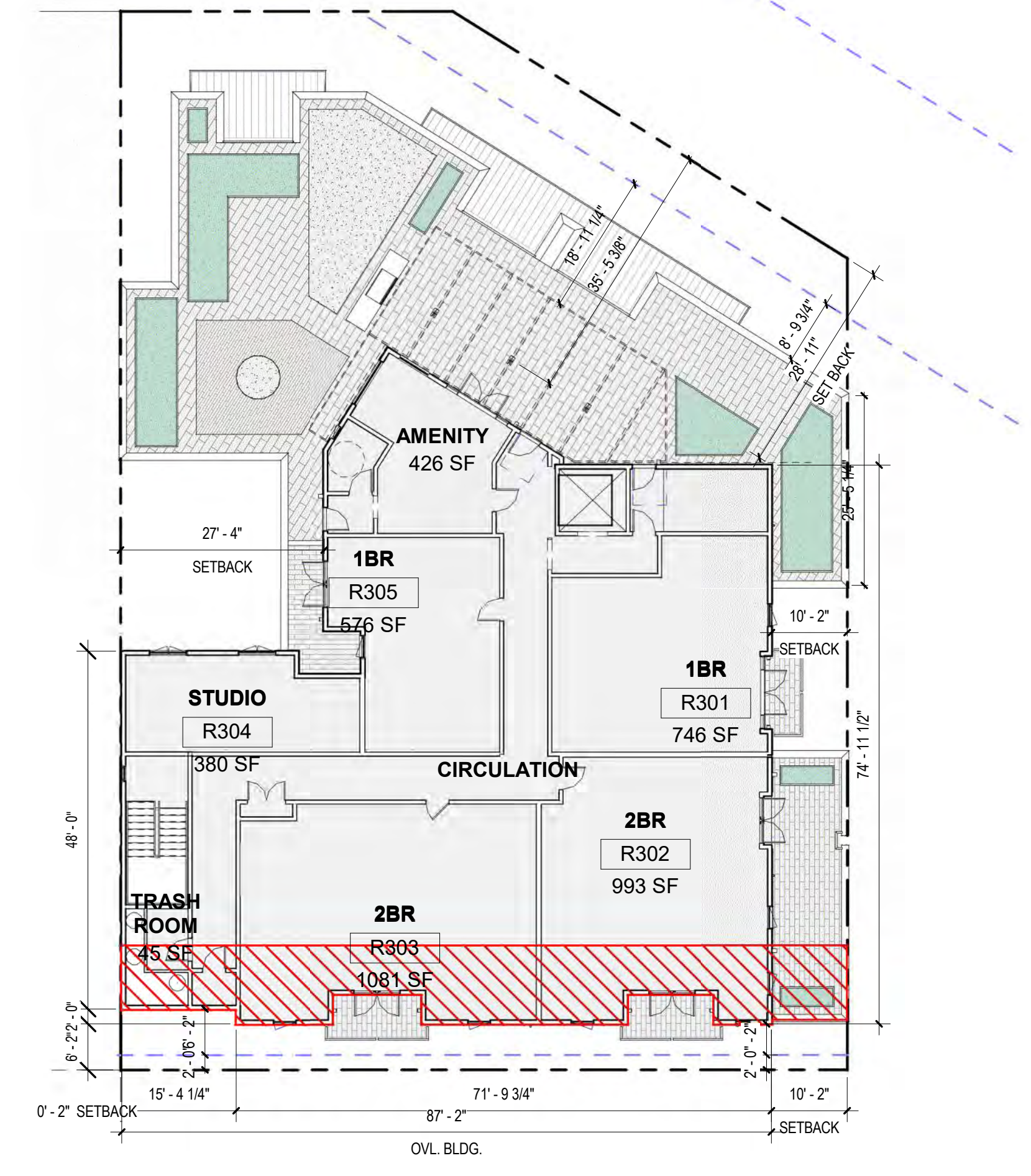
GROUND FLOOR - N/A
 R1 FLOOR - N/A
 R2 FLOOR - 1326 SF
 R3 FLOOR - 907 SF
TOTAL - 2233 SF

 INDICATES AREA IMPACTED
 LOSS OF BUILDING FOOTPRINTS

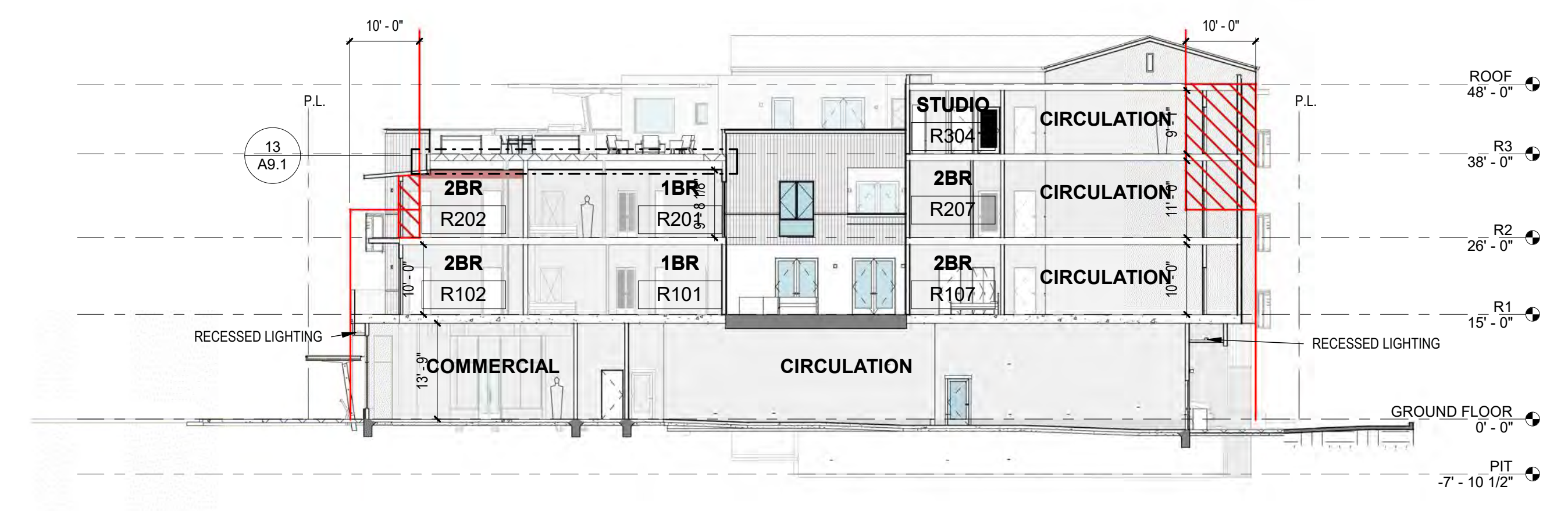


122 E. ARRELAGA
 SANTA BARBARA
 CALIFORNIA 93101
 805 962 2746

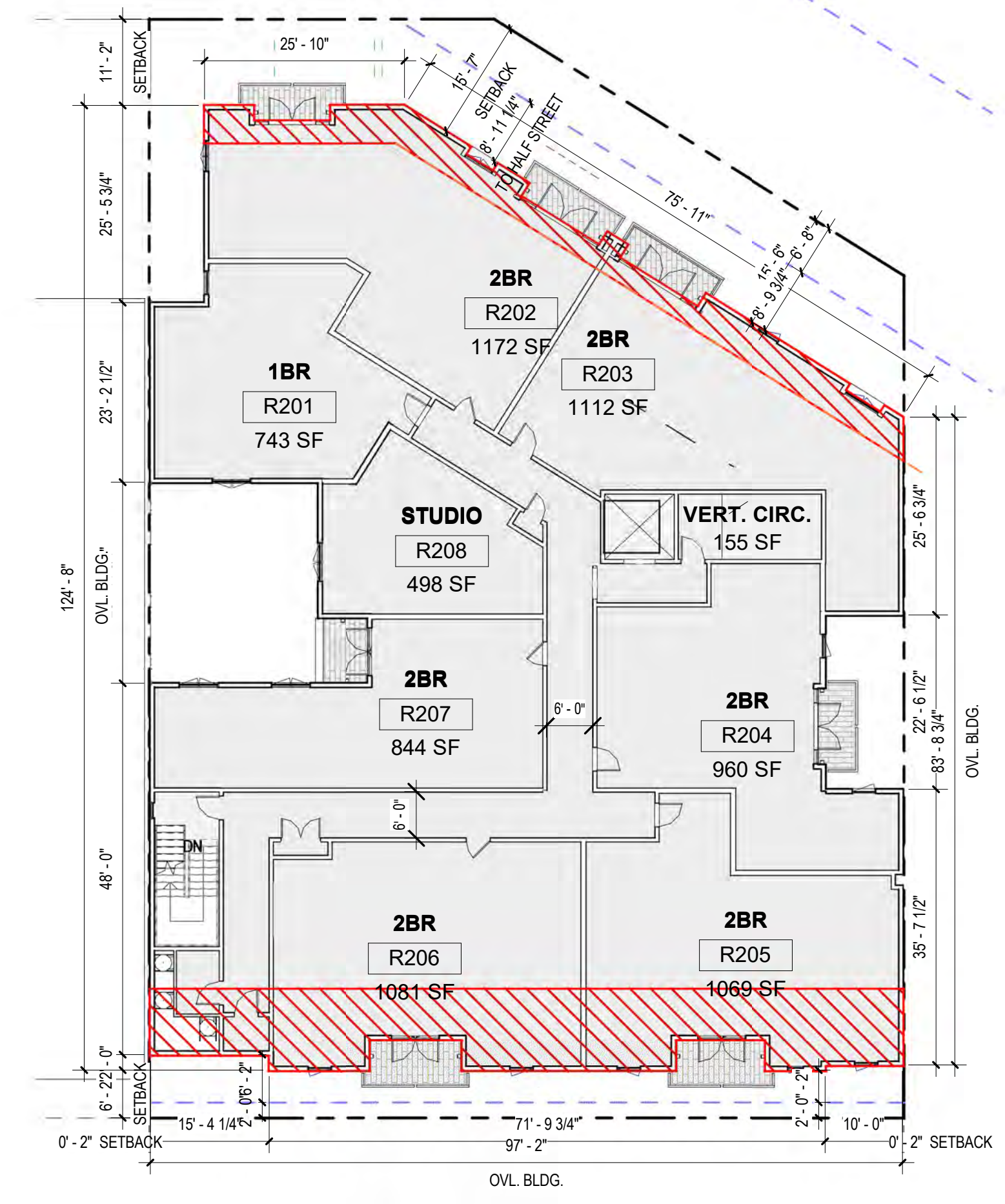
LOS ALTOS MIXED USE
 APN: 167-44-072
 400 470 & 428 7ND AVE
 LOS ALTOS, CA 94022
 PLANNING



R3 1/16" = 1'-0" 4



SECTION 1 1/16" = 1'-0" 2



R2 1/16" = 1'-0" 1

DATE	ISSUANCE OR REVISION
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SHEET CONTENTS
 SETBACK DIAGRAM PLANS

PROJECT NO: 9942

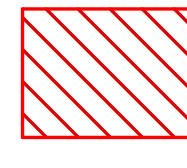
SHEET
MC-3

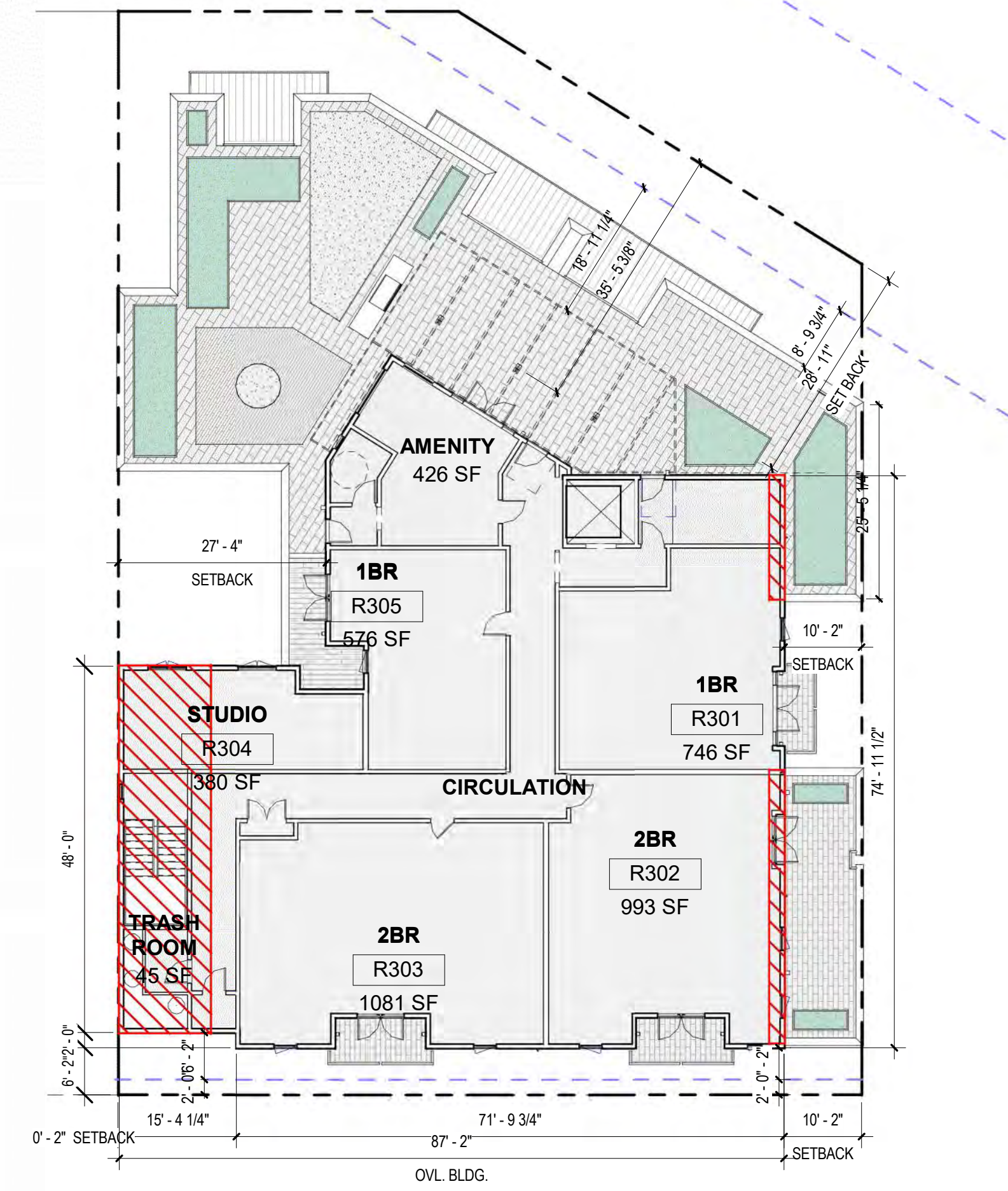
BONUS DENSITY EXHIBIT 130c

WAIVER TO LAMCC 14.44.130.A.1(c)

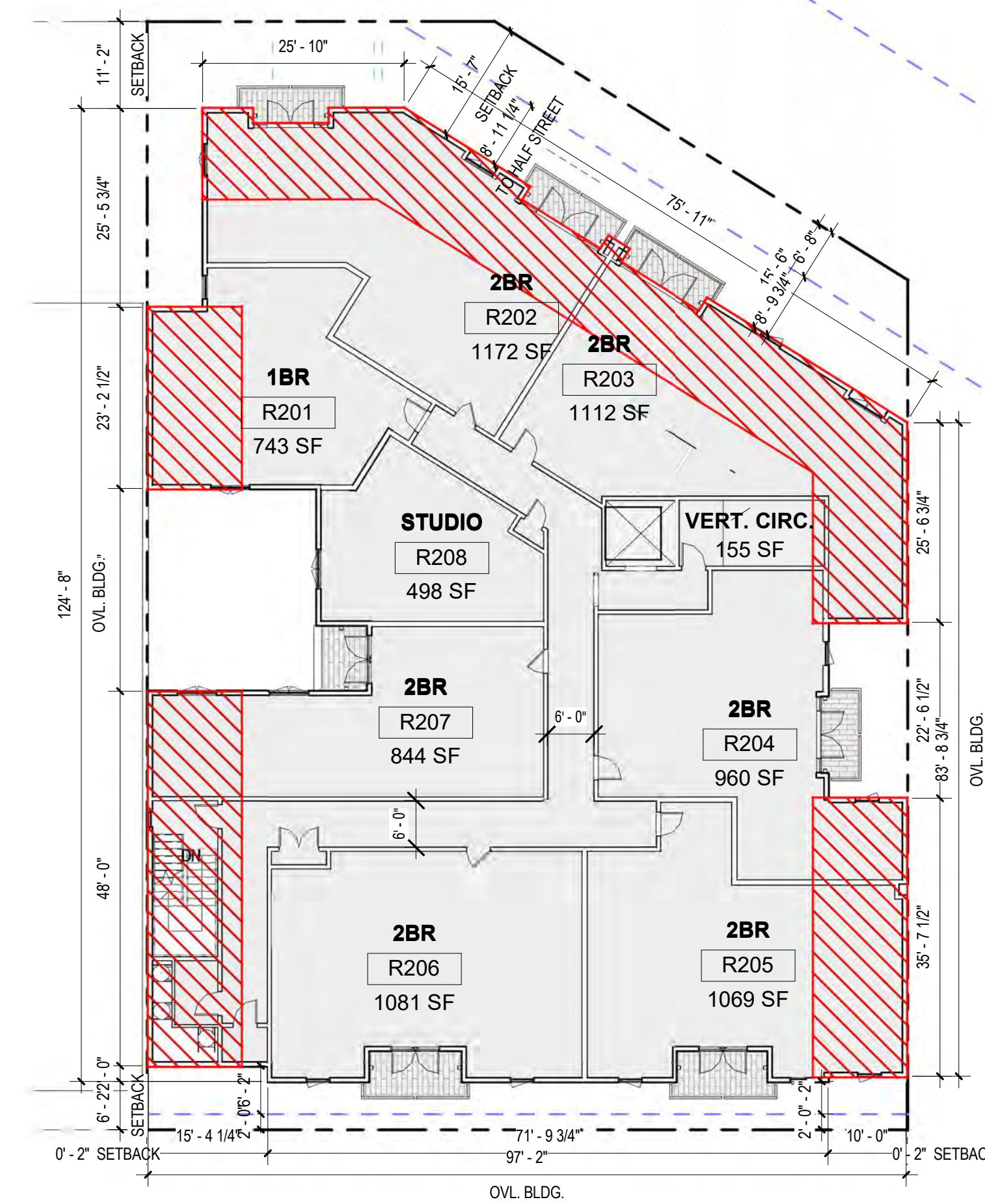
AREA LOST - MANSARD ROOF

GROUND FLOOR	- N/A
R1 FLOOR	- N/A
R2 FLOOR	- 2,625 SF
R3 FLOOR	- 688 SF
TOTAL	- 3,313 SF

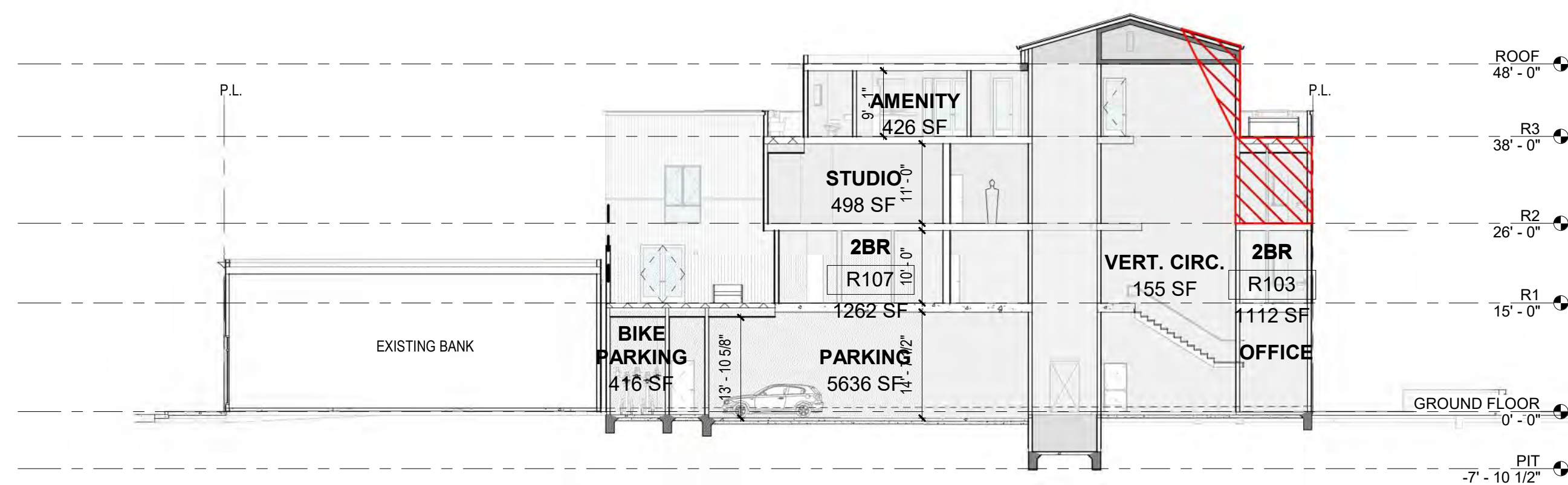
 INDICATES AREA IMPACTED
LOSS OF BUILDING FOOTPRINTS



R3 1/16" = 1'-0" 4



R2 1/16" = 1'-0" 3



CROSS SECTION 1 1/16" = 1'-0" 1



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SANTA BARBARA
CALIFORNIA 93101
805 962 2746

LOS ALTOS MIXED USE

400 470 & 428 2ND AVE
LOS ALTOS, CA 94022

APN: 167-44-072

PLANNING

DATE	ISSUANCE OR REVISION
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SHEET CONTENTS
SETBACK DIAGRAM SECTION

PROJECT NO: 9942

SHEET
MC-4

BONUS DENSITY EXHIBIT 080

WAIVER TO LAMCC 14.44.080

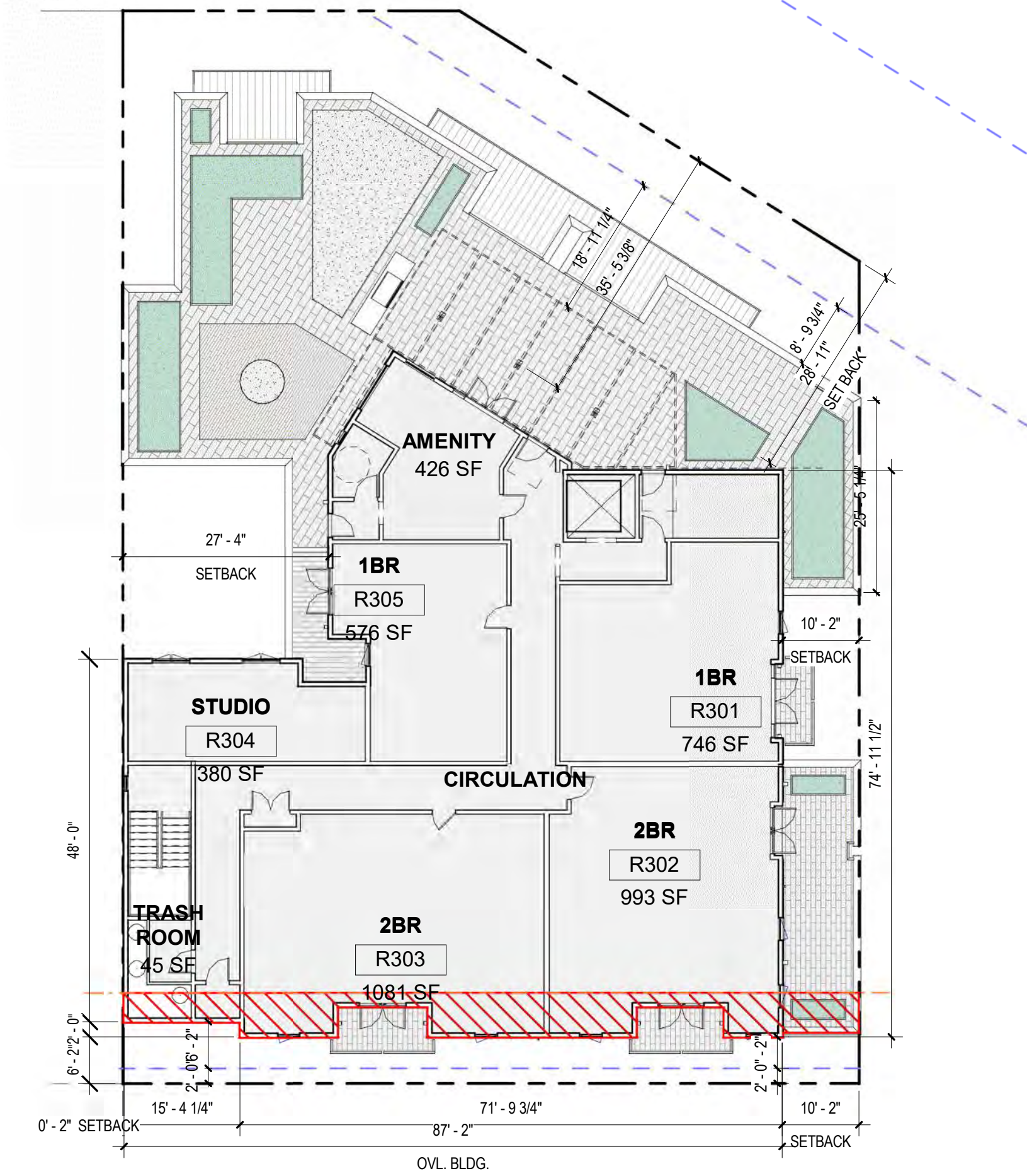
AREA LOST REAR (ALLEY) 10' SETBACK

GROUND FLOOR - 168 SF
 R1 FLOOR - 448 SF
 R2 FLOOR - 448 SF
 R3 FLOOR - 448 SF
TOTAL - 1,512 SF

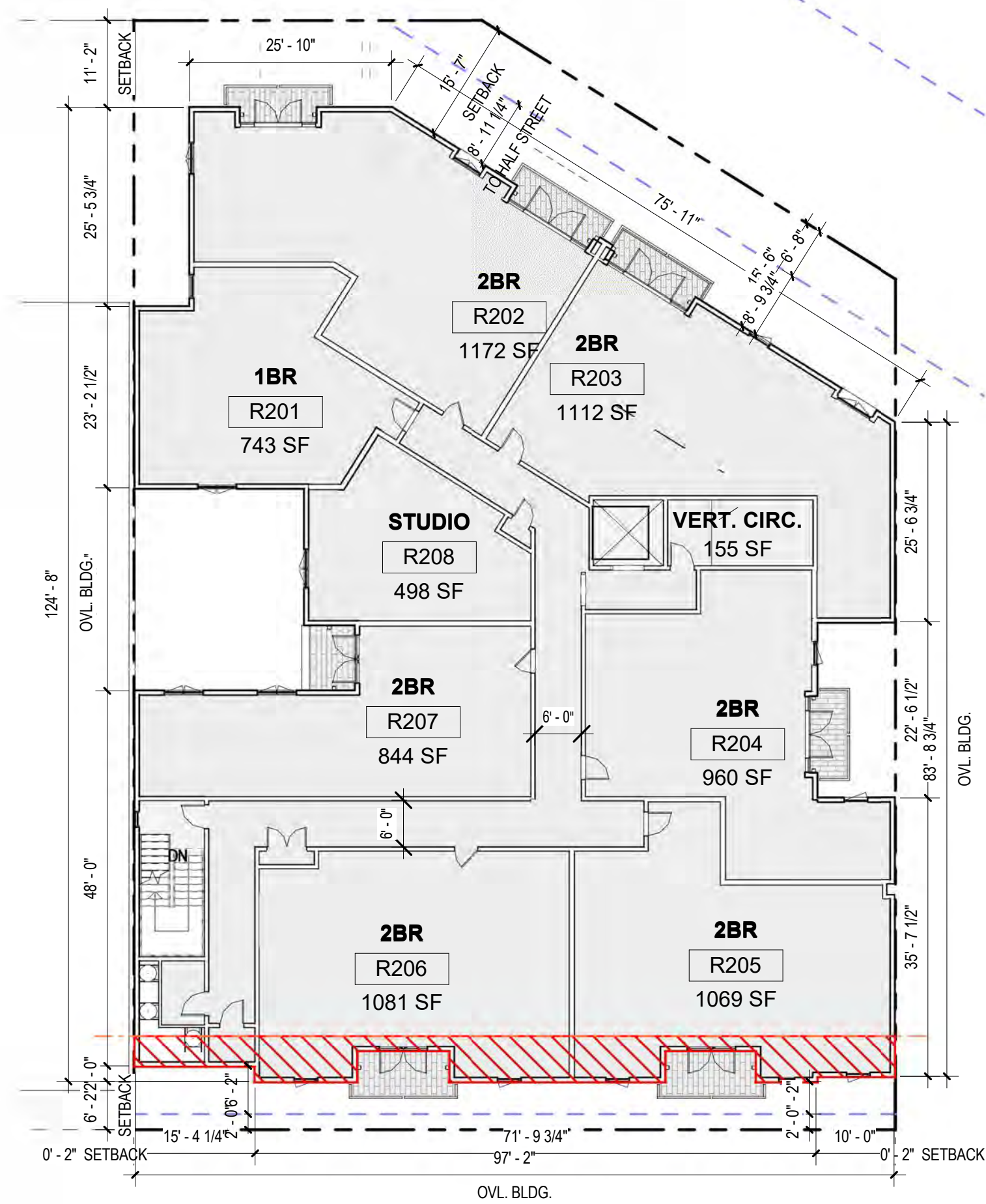
 INDICATES AREA IMPACTED LOSS OF BUILDING FOOTPRINTS



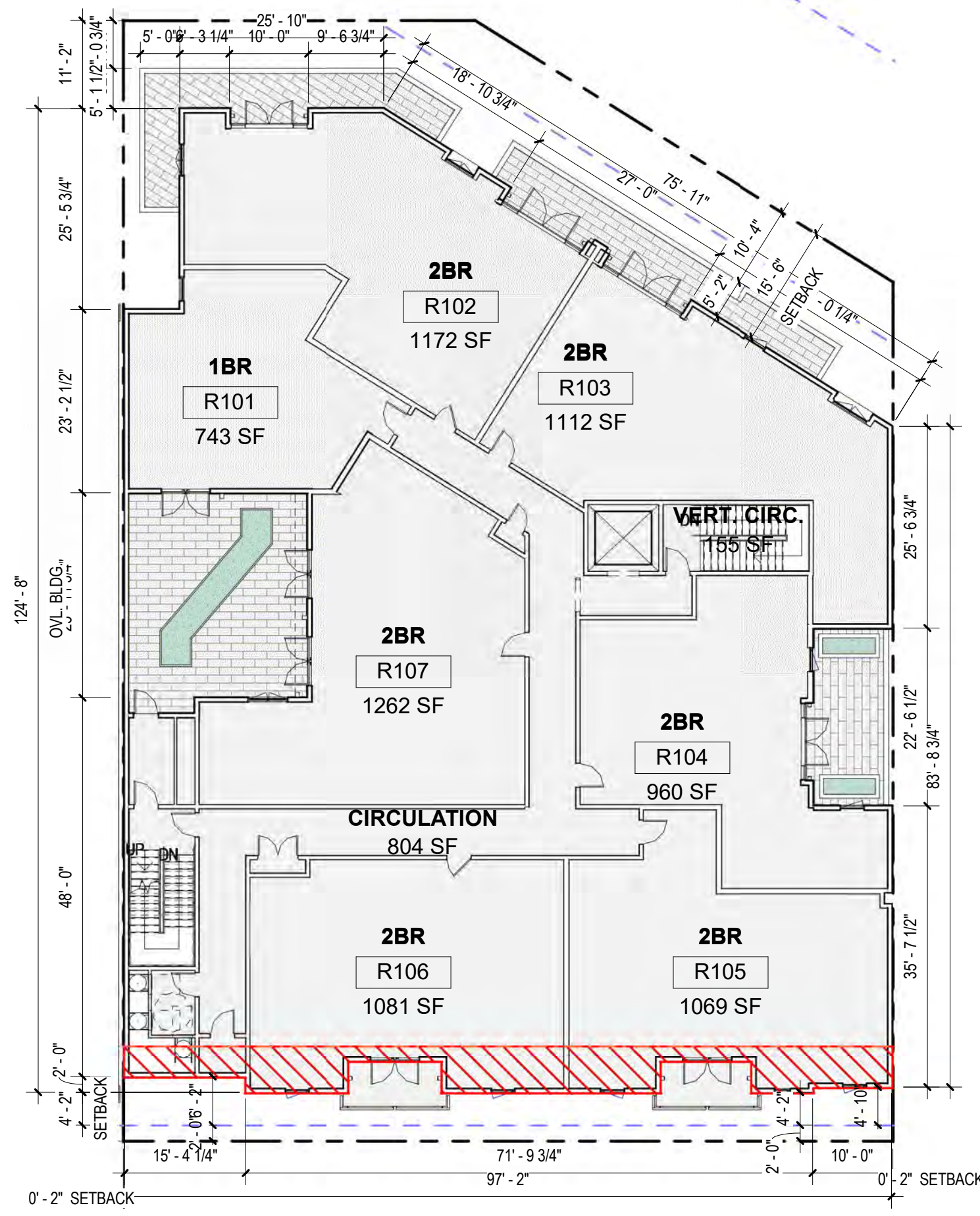
SITE SECTION 1/16" = 1'-0" 5



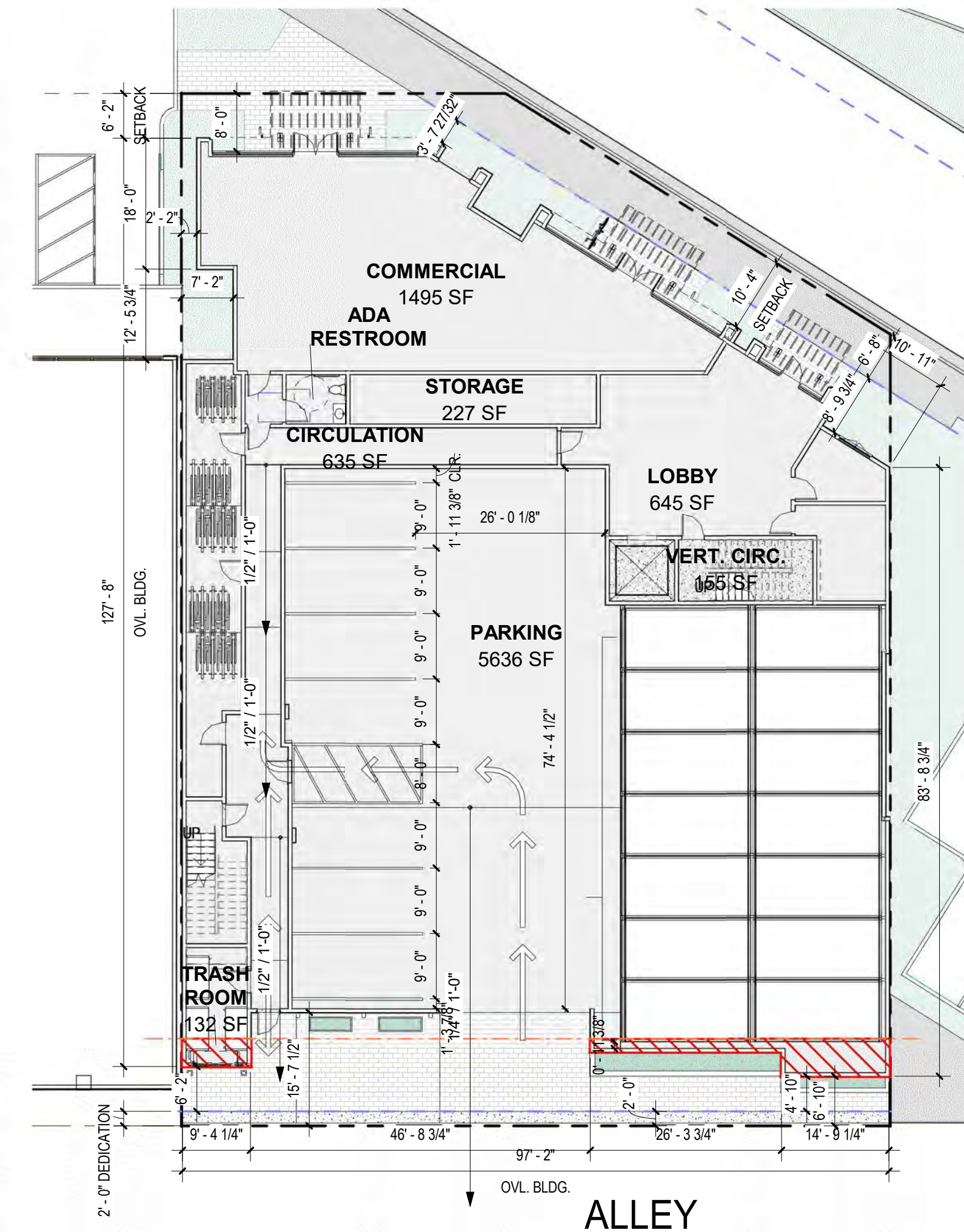
R3 1/16" = 1'-0" 4



R2 1/16" = 1'-0" 3



R1 1/16" = 1'-0" 2



GROUND FLOOR 1/16" = 1'-0" 1



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 APN: 167-44-072
 400 470 & 428 7ND AVE
 LOS ALTOS, CA 94022
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SHEET CONTENTS
 SETBACK DIAGRAM PLANS

PROJECT NO: 9942

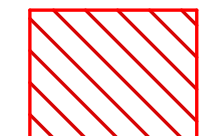
SHEET
MC-5

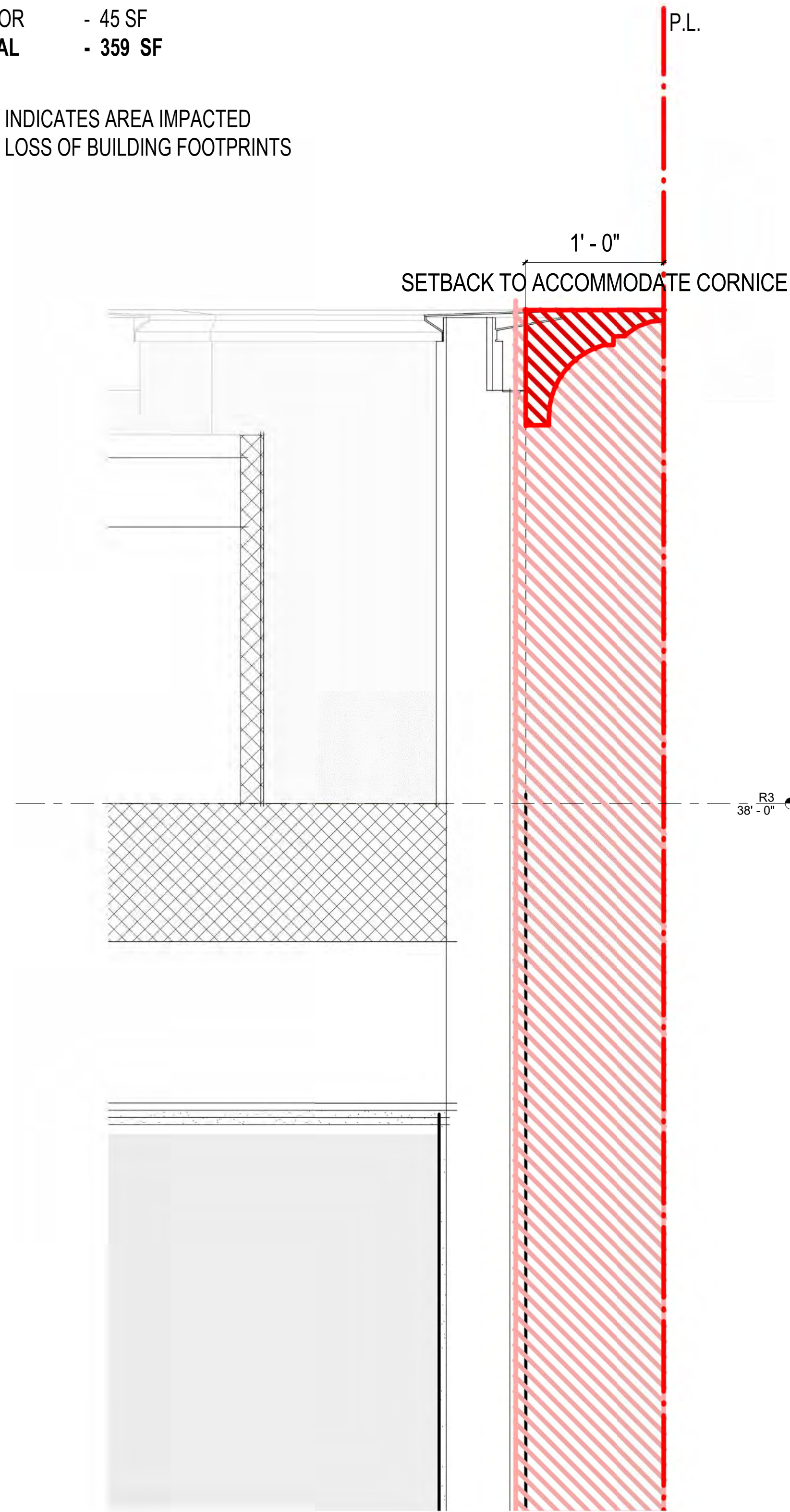
BONUS DENSITY EXHIBIT 280c

WAIVER TO LAMCC 14.66.280.C.1

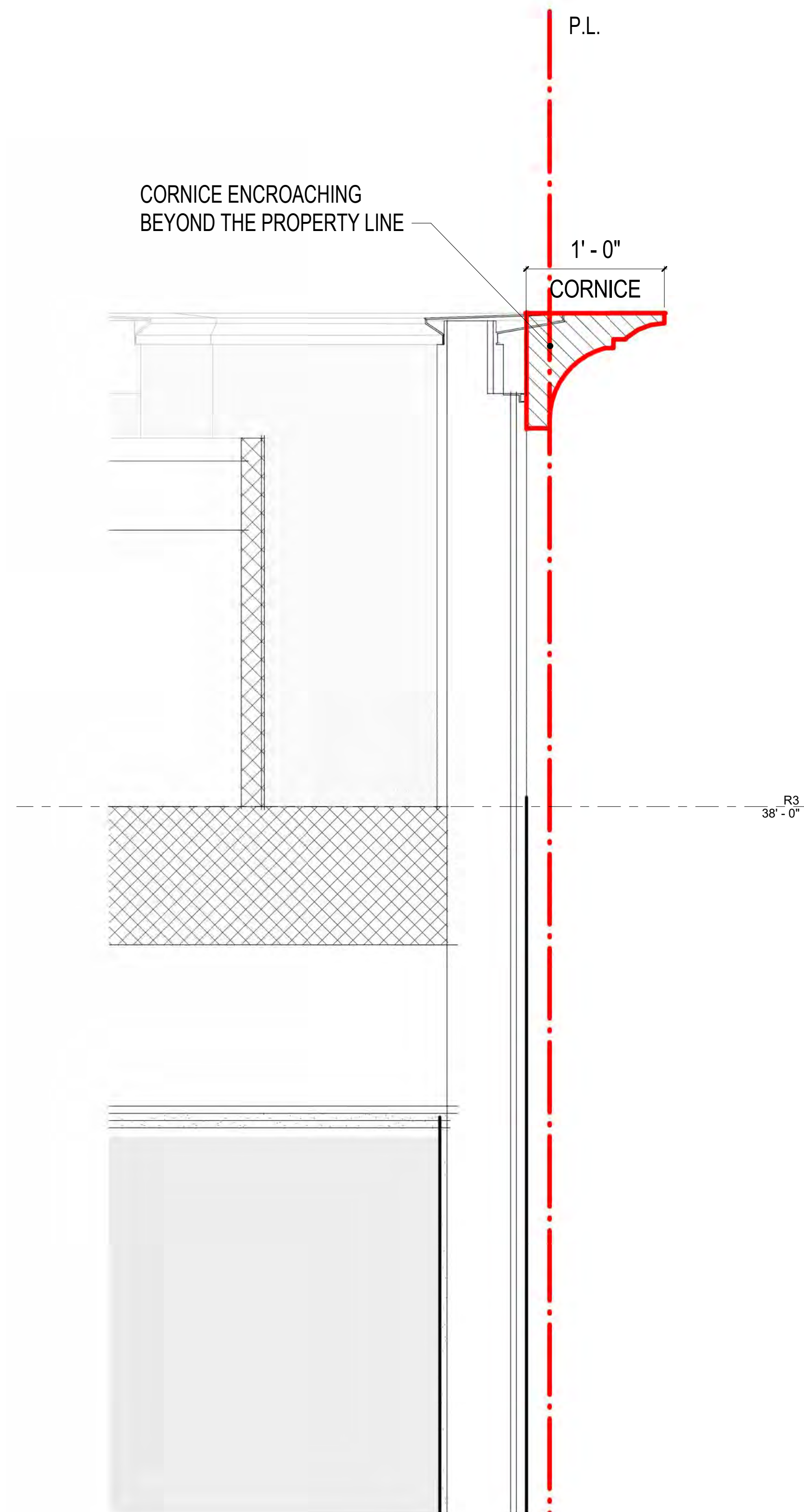
AREA LOST

GROUND FLOOR - 115 SF
 R1 FLOOR - 115 SF
 R2 FLOOR - 84 SF
 R3 FLOOR - 45 SF
TOTAL - 359 SF

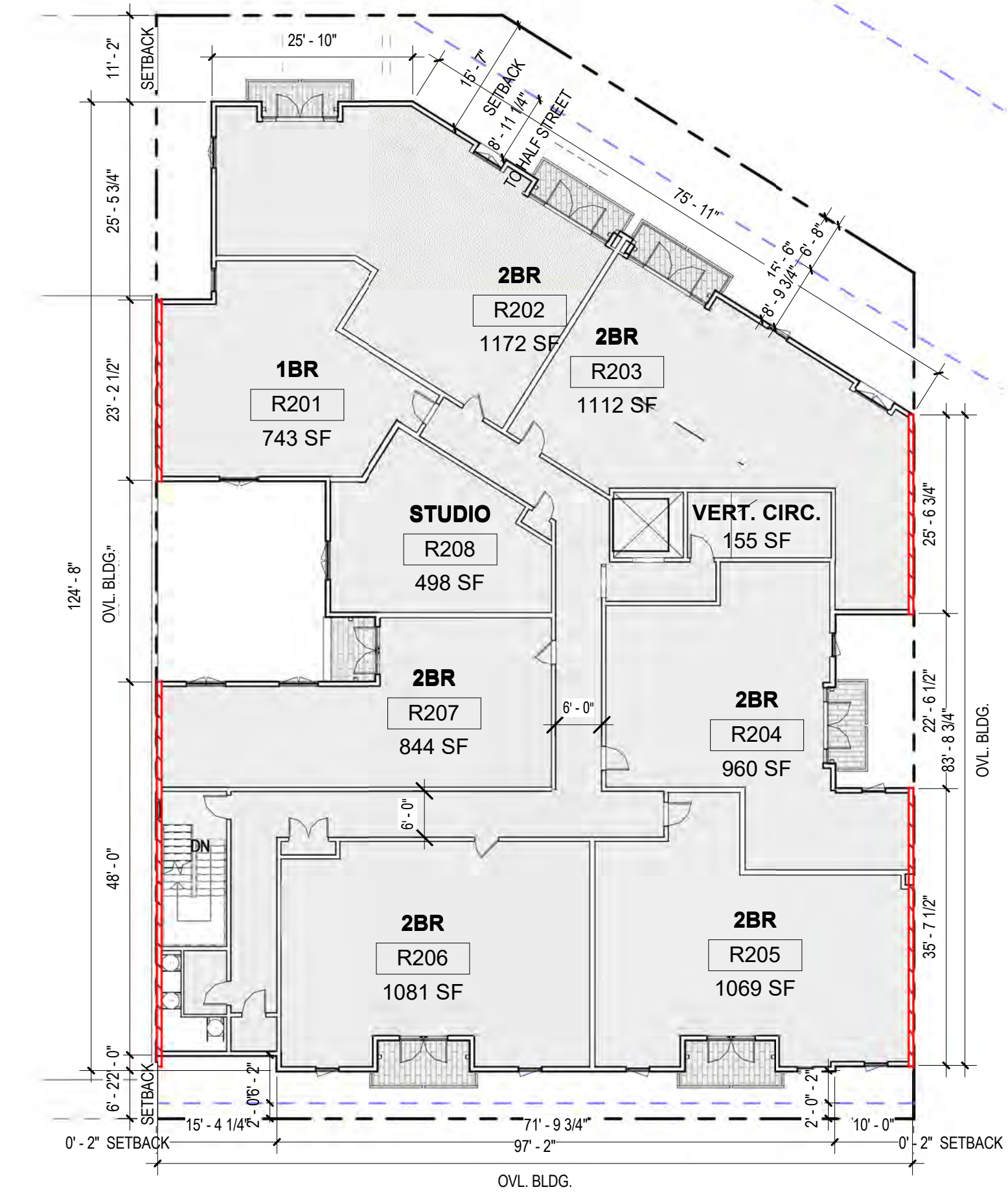
 INDICATES AREA IMPACTED
 LOSS OF BUILDING FOOTPRINTS



TYP. CORNICE CROSS SECTION SETBACK



TYP. CORNICE CROSS SECTION



R2



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LOS ALTOS MIXED USE

APN: 167-44-072
 400 470 & 428 7ND AVE
 LOS ALTOS, CA 94022
 PLANNING

DATE	ISSUANCE OR REVISION
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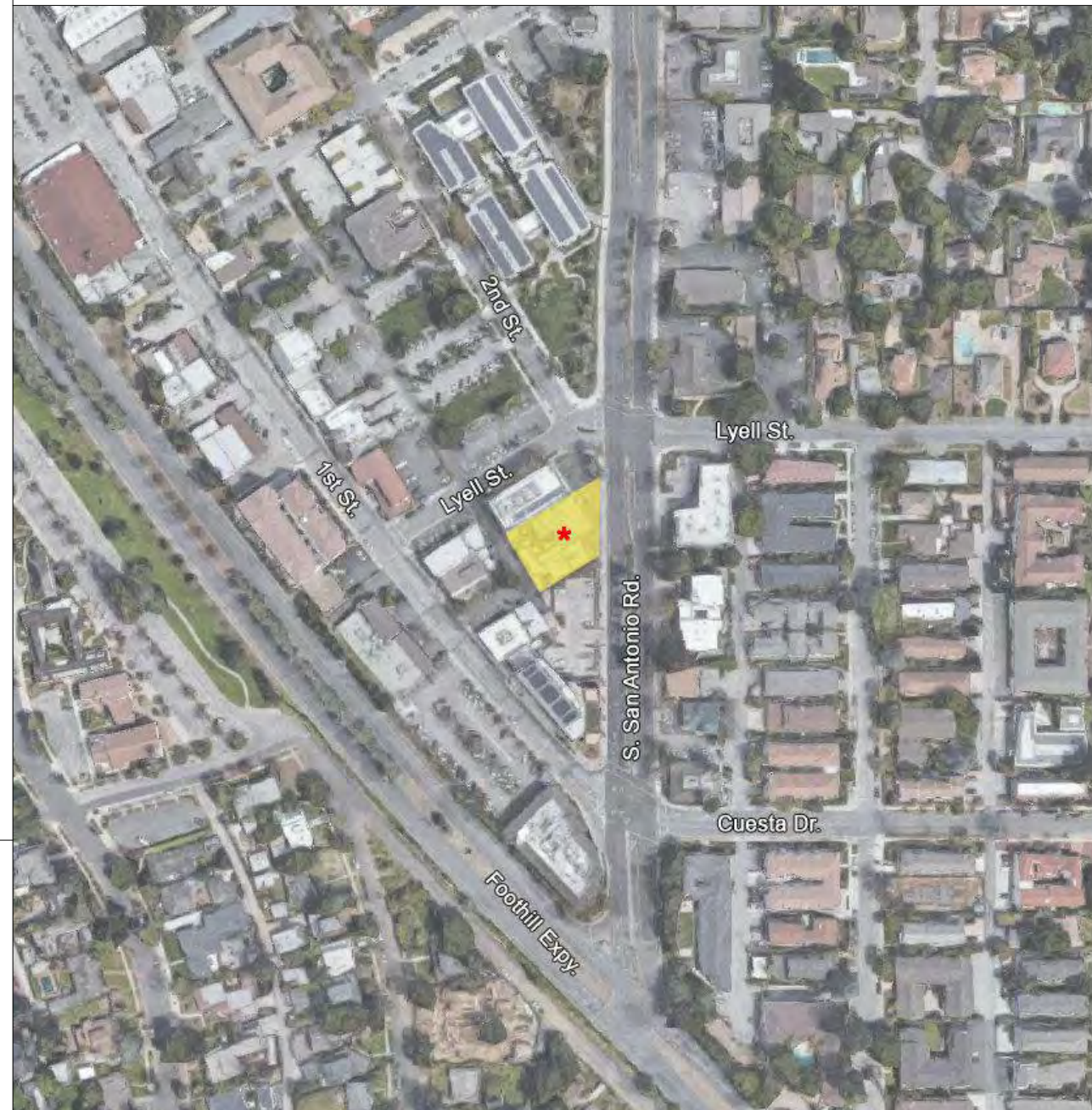
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SHEET CONTENTS
 SETBACK DIAGRAM
 CORNICE

PROJECT NO: 9942

SHEET
MC-6

VICINITY MAP



PROJECT DATA

ADDRESS: 420, 428 2nd ST. LOS ALTOS, CA 94022
APN: 167-41-072
ZONING: CD / MIXED USE
SITE AREA: 12,968 SF (0.3 ACRES)
EXISTING BLDG. AREA: 7,280 SF
PROPOSED BLDG. FOOTPRINT AREA: 10,938 SF (84% SITE COVERAGE)
PROPOSED GROSS BLDG. AREA: 1ST FLOOR 10,938 SF, 2ND FLOOR (R1) 9,835 SF, 3RD FLOOR (R2) 9,835 SF, TOTAL 30,608 SF
MAX BUILDING HEIGHT: 31'-6"
OCCUPANCY: RESIDENTIAL - R2, COMMERCIAL - B, PARKING - S2
CONSTRUCTION TYPE: PARKING - TYPE I, RESIDENTIAL / COMMERCIAL - TYPE V-A
UNIT COUNT: STUDIOS 2, 1BR 4, 2BR 10, TOTAL 16

PARKING SUMMARY: COMMERCIAL - 1 PER 300 SF, 5 REQUIRED (1,697 SF / 300 = 5.65), 1.5 PER 2BR UNIT, 18 REQUIRED (10 UNITS X 1.5 SPACES), 1 PER 1BR/STUDIO UNIT, 4 REQUIRED (2 STD. UNITS + 4 1BR UNITS X 1 SPACES), TOTAL 27 REQUIRED (w/o DENSITY BONUS)

TOTAL PROVIDED: 22 HYDRALIC LIFT SPACES, 5 SPACES ON-GRADE CONVENTIONAL, 2 ADA SPACES ON-GRADE, 29 TOTAL PARKING SPACES

ADDITIONALLY, THE VALLEY TRANSPORTATION AUTHORITY PROVIDES AN ACCESSIBLE TRANSIT STOP (#40 LINE, S. SAN ANTONIO AND ALMOND) WITHIN 1/2 MILE OF THE PROPOSED PROJECT WHICH WOULD ALLOW FOR 5 SPACES PER RESIDENTIAL UNIT PARKING REQUIREMENT, OR 8 SPACES.

BICYCLE PARKING: PER SANTA CLARA VALLEY TRANSPORTATION AUTHORITY
RESIDENTIAL REQ'D - 1 PER UNIT (LONG TERM) 16 SPACES, 1 PER 20 UNITS (SHORT TERM) 1 SPACE
COMMERCIAL REQ'D - 1 PER 4,000 SF OR 120 EMPLOYEES (LONG TERM) 1 SPACE, 4 PER ENTRY (SHORT TERM) 4 SPACES
PROVIDED: CLASS I IN LOCKED STORAGE 30 SPACES, CLASS II IN BICYCLE RACKS 6 RACKS

AFFORDABLE HOUSING / BONUS DENSITY

LOT SIZE: 12,968 SF / .3 ACRES
ZONING: CD MIXED USE
GENERAL PLAN DESIGNATION: DOWNTOWN COMMERCIAL
F.A.R. PER GENERAL PLAN: 2.0
HEIGHT PER ZONING: 35 FT.
BASE DENSITY: WITHIN 2.0 F.A.R. OR 25,936 SF AND 35 FT. HEIGHT
ASSUME AVG. UNIT SIZE 938 SF @ 16 UNITS = 15,008 SF
ASSUME COMMERCIAL, AMENITIES AND PARKING = 8,500 SF
TOTAL BASE PROJECT = 23,508 SF = 1.81 F.A.R. < 2.0 (OK)
BONUS DENSITY: 12% OF BASE DENSITY (16 UNITS) AT VERY LOW INCOME FACILITATES TWO AFFORDABLE UNITS AND A 32.5% DENSITY BONUS INCREASE 16 X 1.325 = 21.2 UNITS OR 22 UNITS
20 TOTAL UNITS PROPOSED
12% VERY LOW INCOME UNITS ALLOWS TWO INCENTIVES OR CONCESSIONS (CALIFORNIA GOV'T. CODE 65925(F)(2))
A SINGLE INCENTIVE IS REQUESTED WITH A BUILDING HEIGHT INCREASE

PROJECT DIRECTORY

OWNER: NICK GERA / IVAN MARGARETICH 100 S. MURPHY AVENUE, SUITE 102 SUNNYVALE, CA 94086
ARCHITECT: HOCHHAUSER BLATTER ASSOCIATES JAN HOCHHAUSER / SEAN MACAULAY 122 EAST ARRELLAGA STREET SANTA BARBARA, CA 93101
CIVIL ENGINEER: C2G CIVIL CONSULTANTS GROUP, INC. DAVID DAUPHIN 4444 SCOTT'S VALLEY DRIVE, SUITE 6 SCOTT'S VALLEY, CA 95066
LANDSCAPE ARCHITECT: MICHAEL ARNONE & ASSOCIATES 3370 SAMUEL PLACE SANTA CRUZ, CA 95062
SURVEYOR: ALPHA LAND SURVEY, INC. JEAN-PAUL HAPPEE 444 SCOTT'S VALLEY ROAD, SUITE 7 SCOTT'S VALLEY, CA 95066

RESIDENTIAL UNIT SIZE & DISTR.

Table with columns: NUMBER, TYPE, BEDROOMS, SQ FT (NET). Rows include R101-108, R201-208, and a TOTAL row showing 28 units and 15,336 sq ft.

AREA SUMMARY

Summary table with columns: FLOOR LEVEL, GROSS AREA, NET COMMERCIAL, NET RESIDENTIAL, RES. AMENITIES, UTILITY, CORRIDORS, VERT. CIRCULATION, PARKING, NET INTERIOR, COMMON TERRACES, PRIVATE TERRACES, RESIDUAL / NON-HABITABLE.

*ALL VALUES ARE IN SQUARE FEET UNLESS SPECIFIED OTHERWISE



LOS ALTOS MIXED-USE/BASE DENSITY

420, 428 2ND STREET, LOS ALTOS, CA 94022

SHEET INDEX

Table with columns: ID, Description. Rows include BD-0 (COVER SHEET), BD-1 (GROUND FLOOR PLAN), BD-2 (R1 FLOOR PLAN), BD-3 (R2 FLOOR PLAN), BD-4 (ROOF PLAN), BD-5 (MASSING EXHIBITS).

PROJECT SCOPE

THE PROJECT IS PROPOSED AS A MIXED USE COMMERCIAL AND RESIDENTIAL CONDOMINIUM LOCATED ON SOUTH SAN ANTONIO ROAD AT THE SOUTHERN EDGE OF THE SAN ANTONIO ROAD DISTRICT. THE PROJECT, A TOTAL OF 30,608 GROSS SQUARE FEET, IS THREE STORIES IN HEIGHT, BEING TWO STORIES OF RESIDENTIAL ABOVE GROUND LEVEL COMMERCIAL SPACE, ENTRY LOBBY AND PARKING FACILITIES. THE PROJECT IS CONCEIVED AND ORGANIZED TO FACILITATE THE FUTURE REDEVELOPMENT OF THE ADJACENT PARCEL AT THE CORNER OF LVELL AND S. SAN ANTONIO IN A WAY THAT WILL COMPLETE THE DEVELOPMENT IN A MANNER CONSISTENT WITH THE COMMUNITY VISION.

CODES & STANDARDS

PLANNING AND ZONING CITY OF LOS ALTOS MUNICIPAL CODE DOWNTOWN DESIGN GUIDELINES DESIGN REVIEW FINDINGS, SECTION 14.78.060 DESIGN CONTROL, SECTION 14.44.130 CALIFORNIA BUILDING CODE 2019



122 E. ARRELLAGA SANTA BARBARA CALIFORNIA 93101 805 962 2746

LOS ALTOS MIXED USE

APN: 167-41-072 400, 470 & 428 2ND AVE LOS ALTOS, CA 94022

Table with columns: DATE, ISSUANCE OR REVISION. Rows include 6/24/2022 PLANNING SUBMITTAL and 08/14/2024 RESUBMITTAL #5.

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SHEET CONTENTS BASE DENSITY - COVER SHEET

PROJECT NO: 9942

SHEET BD-0

LOS ALTOS MIXED USE

APN: 167-44-072
400 470 & 428 7ND AVE
LOS ALTOS, CA 94022

PLANNING

DATE	ISSUANCE OR REVISION
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08/14/2024	RESUBMITTAL #5

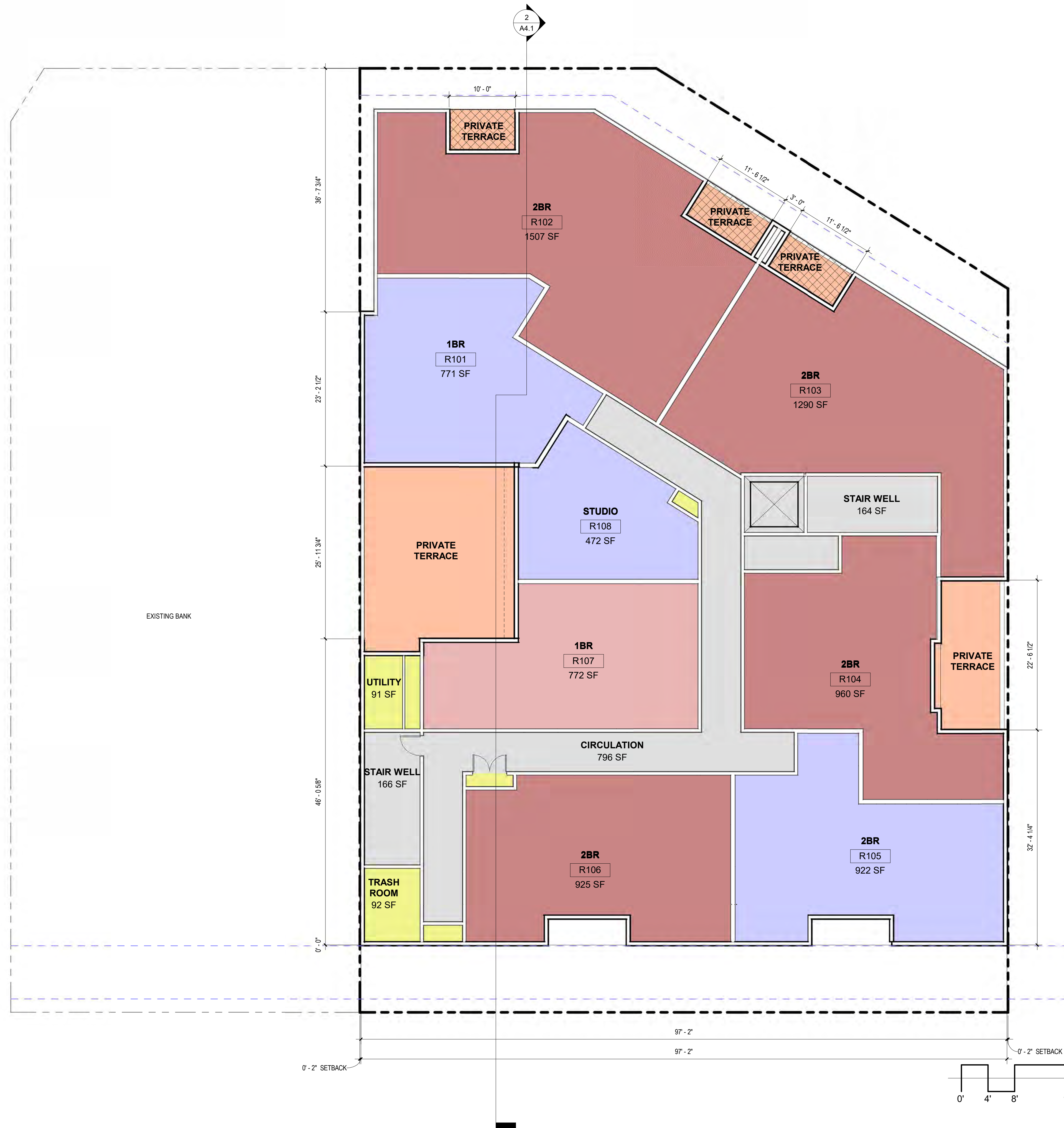
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SHEET CONTENTS
BASE DENSITY - GROUND FLOOR PLAN

PROJECT NO: 9942

SHEET
BD-1





UNIT SCHEDULE

LEVEL	NUMBER	UNIT TYPE	AREA
R1	R101	1BR	771 SF
R1	R102	2BR	1507 SF
R1	R103	2BR	1290 SF
R1	R104	2BR	960 SF
R1	R105	2BR	922 SF
R1	R106	2BR	925 SF
R1	R107	1BR	772 SF
R1	R108	STUDIO	472 SF
R1: 8			7619 SF
R2	R201	1BR	771 SF
R2	R202	2BR	1507 SF
R2	R203	2BR	1290 SF
R2	R204	2BR	960 SF
R2	R205	2BR	922 SF
R2	R206	2BR	925 SF
R2	R207	1BR	844 SF
R2	R208	STUDIO	498 SF
R2: 8			7716 SF
TOTAL: 16			15335 SF

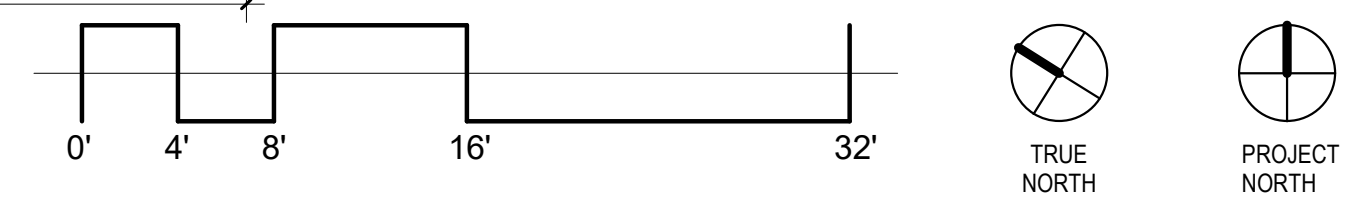
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08/14/2024	RESUBMITTAL #5

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SHEET CONTENTS
BASE DENSITY - R1 FLOOR PLAN

PROJECT NO: 9942

SHEET
BD-2





UNIT SCHEDULE			
LEVEL	NUMBER	UNIT TYPE	AREA
R1	R101	1BR	771 SF
R1	R102	2BR	1507 SF
R1	R103	2BR	1290 SF
R1	R104	2BR	960 SF
R1	R105	2BR	922 SF
R1	R106	2BR	925 SF
R1	R107	1BR	772 SF
R1	R108	STUDIO	472 SF
R1: 8			7619 SF
R2	R201	1BR	771 SF
R2	R202	2BR	1507 SF
R2	R203	2BR	1290 SF
R2	R204	2BR	960 SF
R2	R205	2BR	922 SF
R2	R206	2BR	925 SF
R2	R207	1BR	844 SF
R2	R208	STUDIO	498 SF
R2: 8			7716 SF
TOTAL: 16			15335 SF

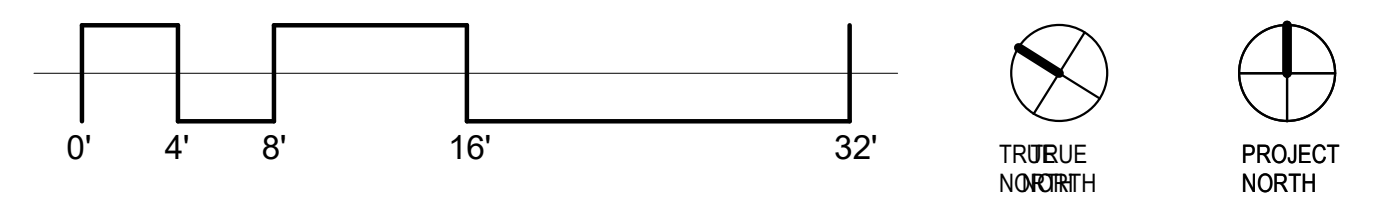
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SHEET CONTENTS
BASE DENSITY - R2 FLOOR PLAN

PROJECT NO: 9942

SHEET
BD-3



LOS ALTOS MIXED USE

APN: 167-44-072
400 470 & 428 7ND AVE
LOS ALTOS, CA 94022

PLANNING

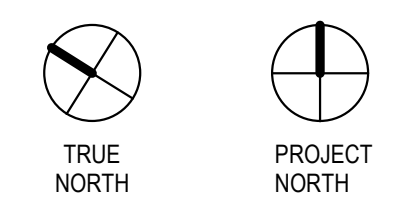
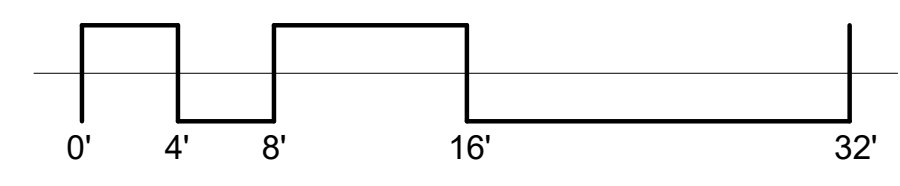
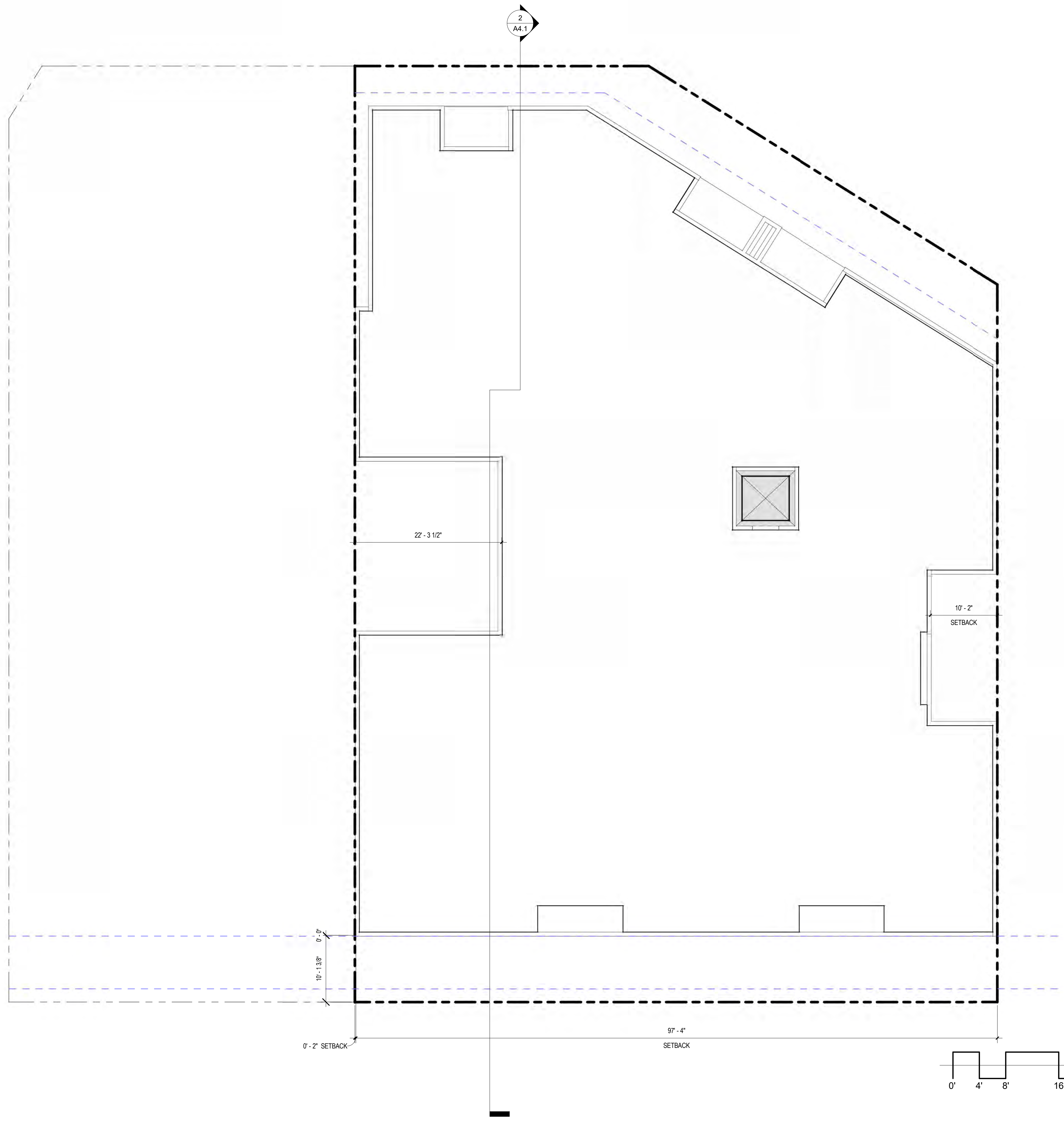
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SHEET CONTENTS
BASE DENSITY - ROOF PLAN

PROJECT NO: 9942

SHEET
BD-4



DATE	ISSUANCE OR REVISION
6/24/2022	PLANNING SUBMITTAL
08/14/2024	RESUBMITTAL #5

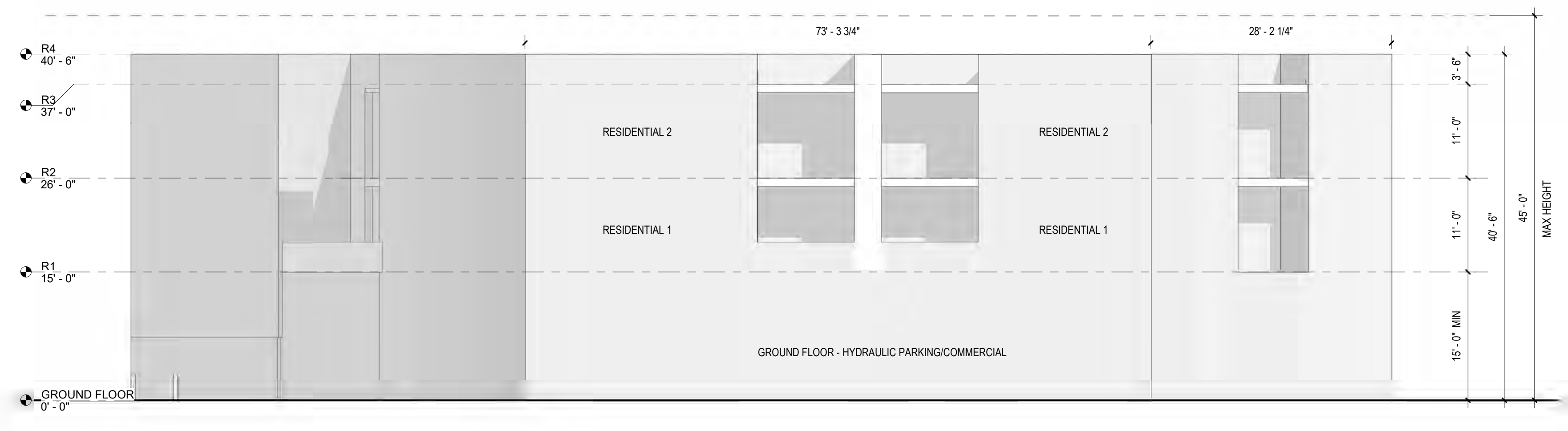
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BASE DENSITY - MASSING EXHIBITS

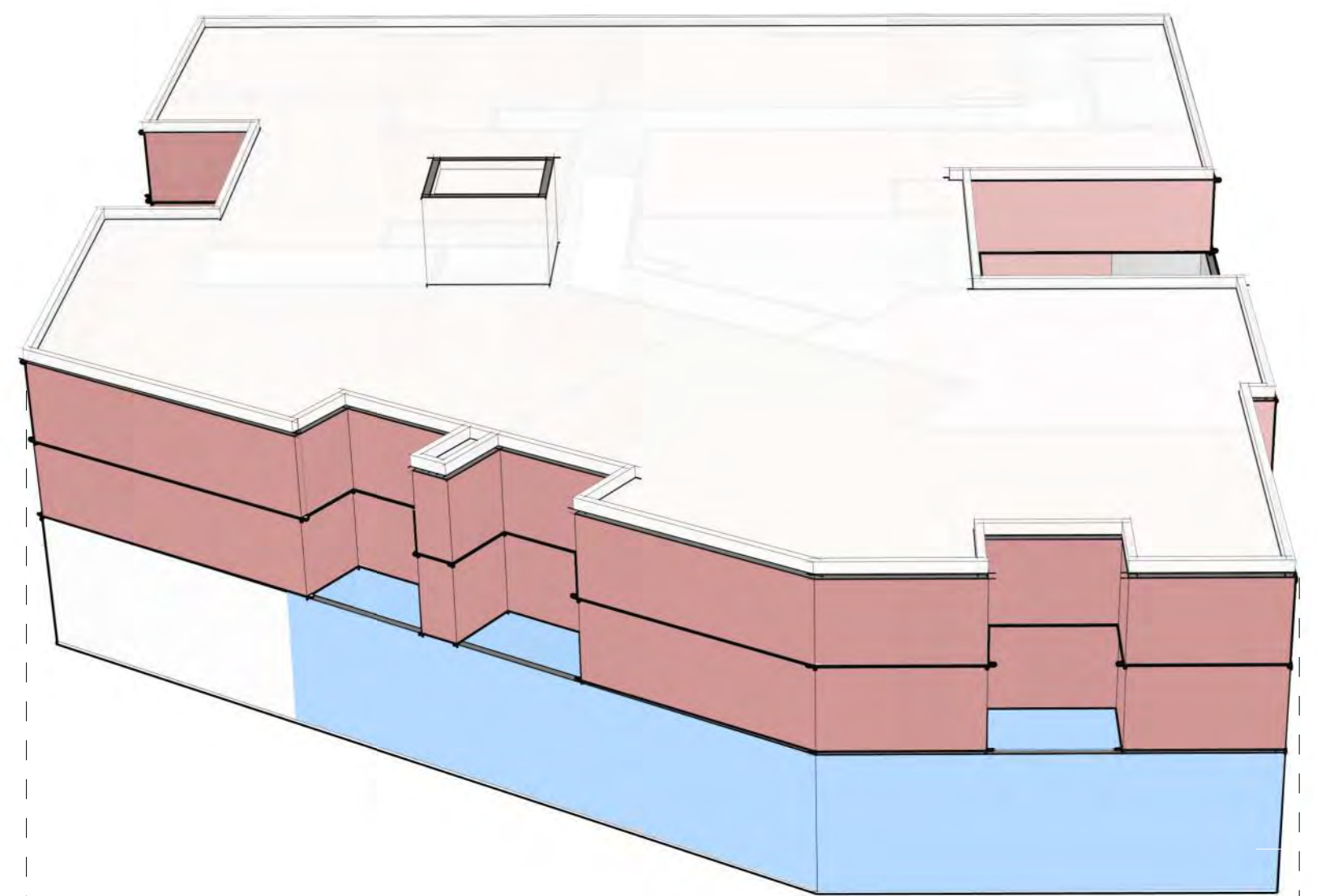
PROJECT NO: 9942

SHEET

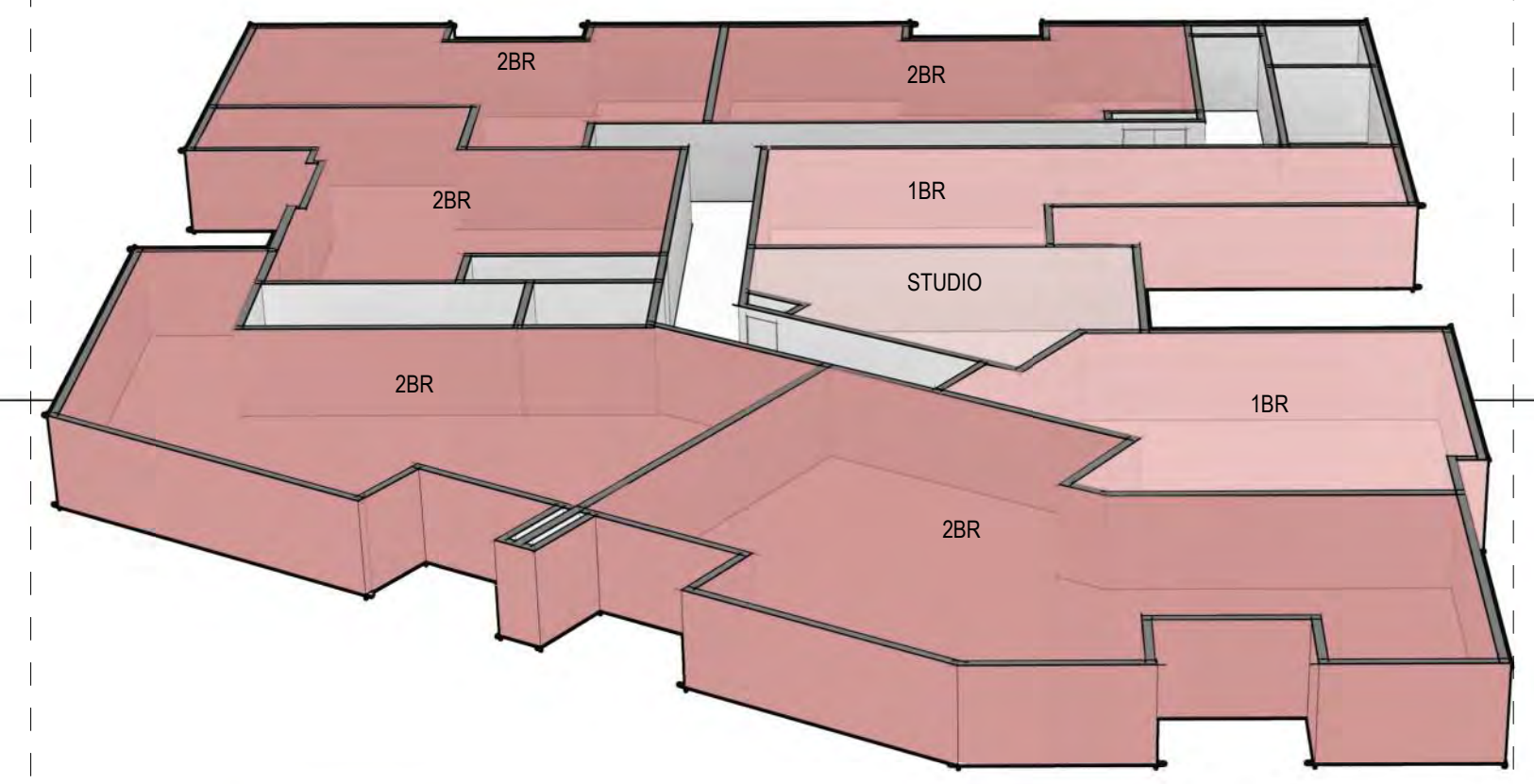
BD-5



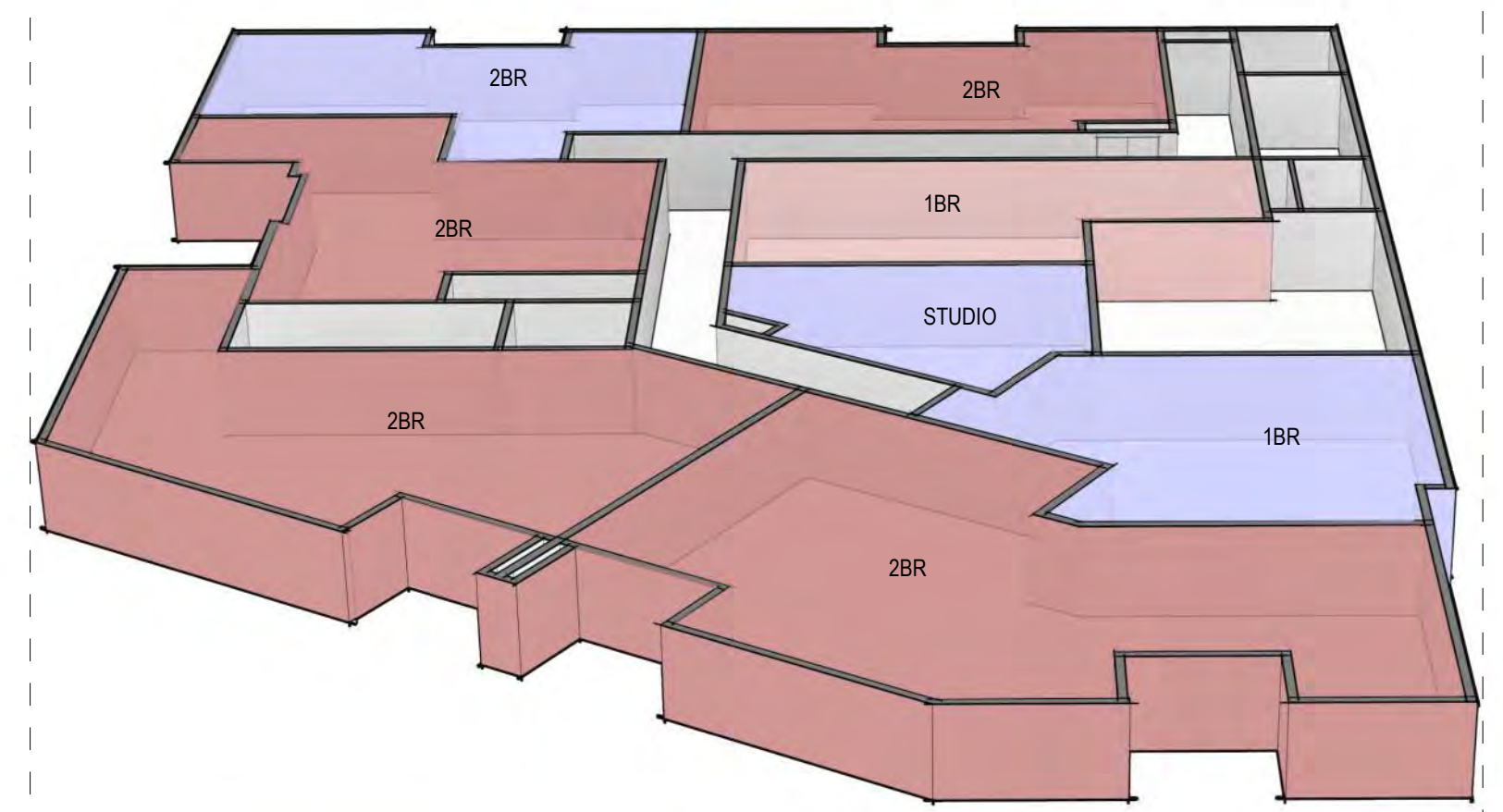
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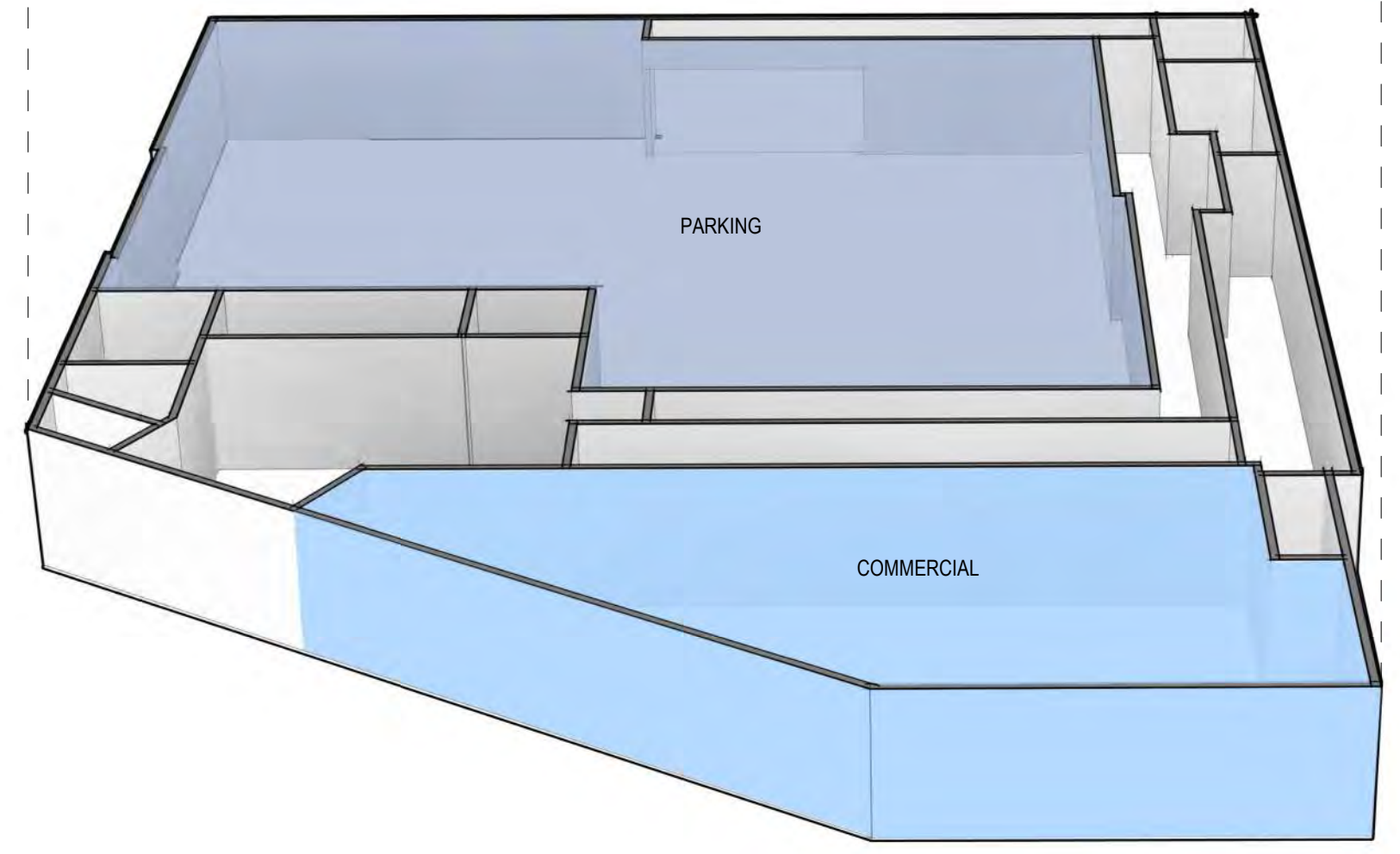
3rd FLOOR
R2



2nd FLOOR
R1



1st FLOOR



- AFFORDABLE UNITS
- 2BR
- 1BR
- STUDIO
- PARKING
- COMMERCIAL

DATE	ISSUANCE OR REVISION
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SHEET CONTENTS
SITE PLAN - FIRE EXHIBIT

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NOTES:

FIRE SPRINKLERS: SHALL BE PROVIDED IN THE LOCATIONS DESCRIBED AND/OR IN SECTIONS 903.2.1 THROUGH 903.2.18 WHICHEVER IS THE MORE RESTRICTIVE. FIREWALLS USED TO REPAIRATE BUILDING AREAS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CALIFORNIA BUILDING CODE AND SHALL BE WITHOUT OPENINGS OR PENETRATIONS. THE OWNER(S), OCCUPANT(S) AND ANY CONTRACTOR(S) OR SUBCONTRACTOR(S) ARE RESPONSIBLE FOR CONSULTING WITH THE WATER PURVEYOR OF RECORD IN ORDER TO DETERMINE IF ANY MODIFICATION OR UPGRADE OF THE EXISTING WATER SERVICE IS REQUIRED. A STATE OF CALIFORNIA LICENSED (C-16) FIRE PROTECTION CONTRACTOR SHALL SUBMIT PLANS, CALCULATIONS, A COMPLETED PERMIT APPLICATION AND APPROPRIATE FEES TO THIS DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO BEGINNING THEIR WORK. CFC SEC. 903.2

FIRE ALARM SYSTEM: REQUIRED FIRE ALARM SYSTEM SHALL BE DESIGNED AND INSTALLED AS REQUIRED IN THE CURRENTLY ADOPTED EDITION OF CFC SEC. 907, AS ADOPTED AND AMENDED BY THE CITY OF LOS ALTOS AND REFERENCED CODES AND STANDARDS, INCLUDING, BUT NOT LIMITED TO, NFPA 72.

FIRE HYDRANT: LOCATIONS ARE INDICATED ON THE PLANS

STANDPIPES REQUIRED: STANDPIPE SYSTEMS SHALL BE PROVIDED IN NEW BUILDINGS AND STRUCTURES IN ACCORDANCE WITH THIS SECTION. FIRE HOSE THREADS USED IN CONNECTION WITH STANDPIPE SYSTEMS SHALL BE APPROVED AND SHALL BE COMPATIBLE WITH FIRE DEPARTMENT HOSE THREADS. THE LOCATION OF FIRE DEPARTMENT HOSE CONNECTIONS SHALL BE APPROVED. STANDPIPES SHALL BE MANUAL WET TYPE. IN BUILDINGS USED FOR HIGHPILED COMBUSTIBLE STORAGE, FIRE HOSE PROTECTION SHALL BE IN ACCORDANCE WITH CHAPTER 32. INSTALLATION STANDARD. STANDPIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THIS SECTION AND NFPA 14 AS AMENDED IN CHAPTER 47. CFC SEC. 905.

FIRE DEPARTMENT CONNECTION: THE FIRE DEPARTMENT CONNECTION (FDC) SHALL BE INSTALLED AT THE STREET ON THE STREET ADDRESS SIDE OF THE BUILDING. IT SHALL BE LOCATED WITHIN 100 FEET OF A PUBLIC FIRE HYDRANT AND WITHIN TEN (10) FEET OF THE MAIN PIV (UNLESS OTHERWISE APPROVED BY THE CHIEF DUE TO PRACTICAL DIFFICULTIES). FDC'S SHALL BE EQUIPPED WITH A MINIMUM OF TWO (2), TWO-AND-ONE-HALF (2- 1/2") INCH NATIONAL STANDARD THREADED INLET COUPLINGS. ORIENTATION OF THE FDC SHALL BE SUCH THAT HOSE LINES MAY BE READILY AND CONVENIENTLY ATTACHED TO THE INLETS WITHOUT INTERFERENCE. FDC'S SHALL BE PAINTED SAFETY YELLOW. [SCCFD, SP-2 STANDARD].

REQUIRED FIRE FLOW: THE MINIMUM REQUIRE FIREFLOW FOR THIS PROJECT IS 1000 GALLONS PER MINUTE (GPM) AT 20 PSI RESIDUAL PRESSURE. THIS FIREFLOW ASSUMES INSTALLATION OF AUTOMATIC FIRE SPRINKLERS PER CFC [903.3.1.3].

BUILDINGS AND FACILITIES ACCESS: APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY, BUILDING OR PORTION OF A BUILDING HEREAFTER CONSTRUCTED OR MOVED INTO OR WITH THE JURISDICTION. THE FIRE APPARATUS ACCESS ROAD SHALL COMPLY WITH THE REQUIREMENTS OF THIS SECTION AND SHALL EXTEND TO WITHIN 150 FEET OF ALL PORTIONS OF THE FACILITY AND ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY OF THE BUILDING AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY. [CFC, SECTION 503.1.1].

REQUIRED AERIAL ACCESS: THE BUILDING OR PORTIONS OF THE BUILDING FACILITY EXCEEDING 30 FEET (9144 MM) IN HEIGHT ABOVE THE LOWEST LEVEL OF FIRE DEPARTMENT VEHICLE ACCESS SHALL BE PROVIDED WITH APPROVED FIRE APPARATUS ACCESS ROADS CAPABLE OF ACCOMMODATING FIRE DEPARTMENT AERIAL APPARATUS. OVERHEAD UTILITY AND POWER LINES SHALL NOT BE LOCATED WITHIN THE AERIAL FIRE APPARATUS ACCESS ROADWAY. 2. WIDTH: FIRE APPARATUS ACCESS ROADS SHALL HAVE A MINIMUM UNOBSTRUCTED WIDTH OF 26 FEET (7925) IN THE IMMEDIATE VICINITY OF ANY BUILDING OR PORTION OF BUILDING MORE THAN 30 FEET (9144 MM) IN HEIGHT. 3. PROXIMITY TO BUILDING: AT LEAST ONE OF THE REQUIRED ACCESS ROUTES MEETING THIS CONDITION SHALL BE LOCATED WITHIN A MINIMUM OF 15 FEET (4572) AND A MAXIMUM OF 30 FEET (9144MM) FROM THE BUILDING, AND SHALL BE POSITIONED PARALLEL TO ONE ENTIRE SIDE OF THE BUILDING, AS APPROVED BY THE FIRE CODE OFFICIAL. SCCFD SD&S A-1.

GROUND LADDER ACCESS: GROUND-LADDER RESCUE FROM SECOND AND THIRD FLOOR ROOMS SHALL BE MADE POSSIBLE FOR FIRE DEPARTMENT OPERATIONS. WITH THE CLIMBING ANGLE OF SEVENTY FIVE DEGREES MAINTAINED, AN APPROXIMATE WALKWAY WIDTH ALONG EITHER SIDE OF THE BUILDING SHALL BE NO LESS THAN SEVEN FEET CLEAR. LANDSCAPING SHALL NOT BE ALLOWED TO INTERFERE WITH THE REQUIRED ACCESS. CFC SEC. 503 AND 1030 NFPA 1932 SEC. 5.1.8 THROUGH 5.1.9.2.

TWO-WAY COMMUNICATION SYSTEM: TWO-WAY COMMUNICATION SYSTEMS SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH NFPA 72 (2016 EDITION), THE CALIFORNIA ELECTRICAL CODE (2013 EDITION), THE CALIFORNIA FIRE CODE (2016 EDITION), THE CALIFORNIA BUILDING CODE (2016 EDITION), AND THE CITY ORDINANCES WHERE TWO WAY SYSTEM IS BEING INSTALLED, POLICIES, AND STANDARDS. OTHER STANDARDS ALSO CONTAIN DESIGN/INSTALLATION CRITERIA FOR SPECIFIC LIFE SAFETY RELATED EQUIPMENT. THESE OTHER STANDARDS ARE REFERRED TO IN NFPA 72.

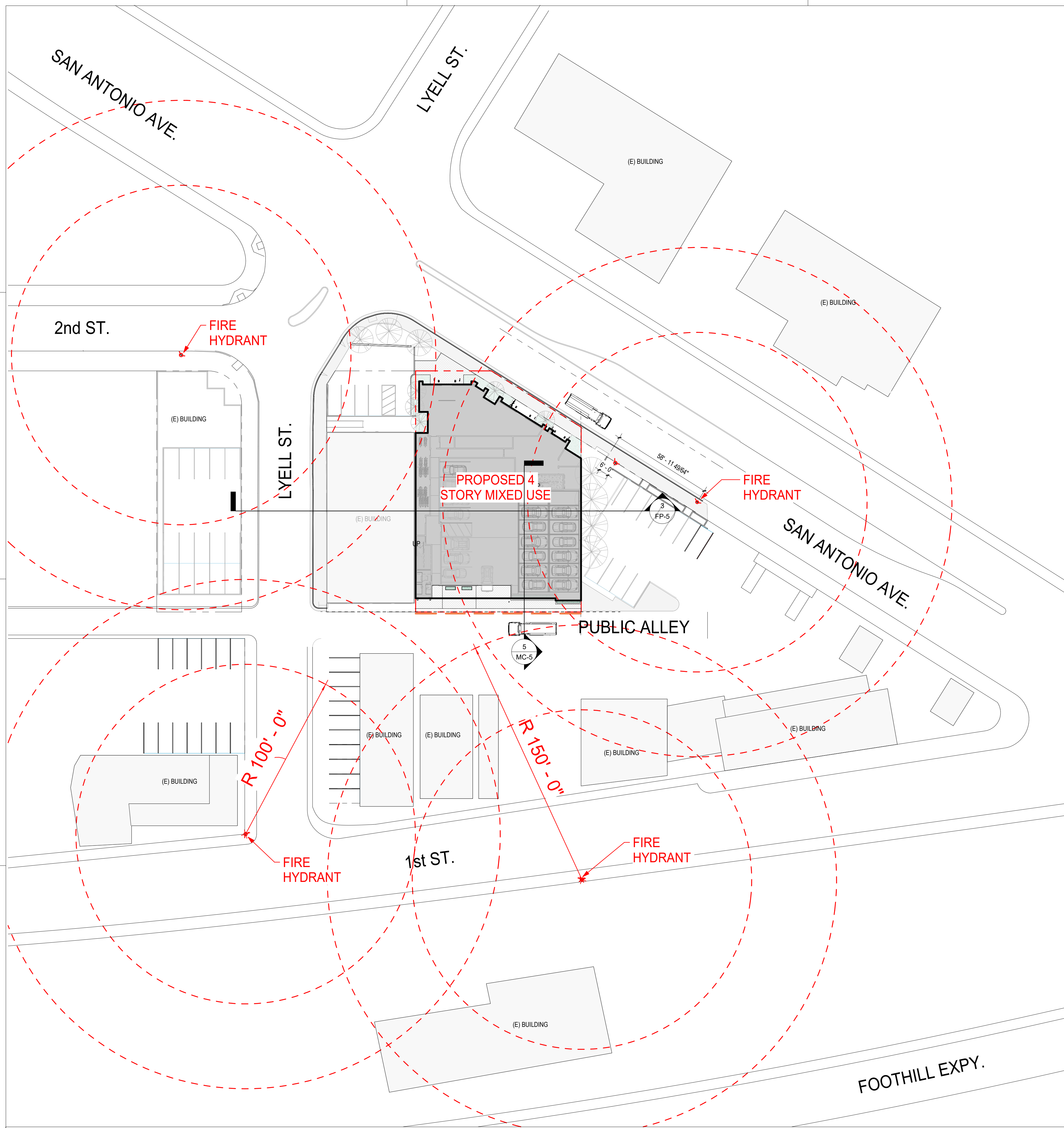
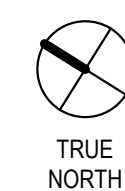
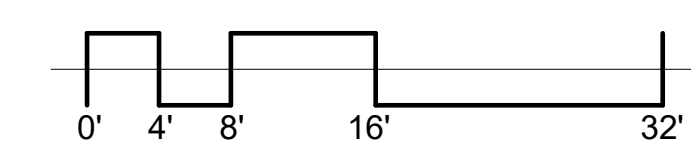
EMERGENCY RESPONDER RADIO COVERAGE IN NEW BUILDINGS: ALL NEW BUILDINGS SHALL HAVE APPROVED RADIO COVERAGE FOR EMERGENCY RESPONDERS WITHIN THE BUILDING BASED UPON THE EXISTING COVERAGE LEVELS OF THE PUBLIC SAFETY COMMUNICATION SYSTEMS OF THE JURISDICTION AT THE EXTERIOR OF THE BUILDING. THIS SECTION SHALL NOT REQUIRE IMPROVEMENT OF THE EXISTING PUBLIC SAFETY COMMUNICATION SYSTEMS. CFC SEC. 510.1.

13. KNOX KEY BOXES/LOCKS WHERE REQUIRED FOR ACCESS: WHERE ACCESS TO OR WITHIN A STRUCTURE OR AN AREA IS RESTRICTED BECAUSE OF SECURED OPENINGS OR WHERE IMMEDIATE ACCESS IS NECESSARY FOR LIFESAVING OR FIREFIGHTING PURPOSES, THE FIRE CODE OFFICIAL IS AUTHORIZED TO REQUIRE A KEY BOX TO BE INSTALLED IN AN APPROVED LOCATION. THE KNOX KEY BOX SHALL BE OF AN APPROVED TYPE AND SHALL CONTAIN KEYS TO GAIN NECESSARY ACCESS AS REQUIRED BY THE FIRE CODE OFFICIAL. **LOCKS.** AN APPROVED KNOX LOCK SHALL BE INSTALLED ON GATES OR SIMILAR BARRIERS WHEN REQUIRED BY THE FIRE CODE OFFICIAL. KEY BOX MAINTENANCE. THE OPERATOR OF THE BUILDING SHALL IMMEDIATELY NOTIFY THE FIRE CODE OFFICIAL AND PROVIDE THE NEW KEY WHEN A LOCK IS CHANGED OR RE-KEYED. THE KEY TO SUCH LOCK SHALL BE SECURED IN THE KEY BOX. [CFC SEC. 506].

14. WATER SUPPLY REQUIREMENTS: POTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION WATER SUPPLIES. IT IS THE RESPONSIBILITY OF THE APPLICANT AND ANY CONTRACTORS AND SUBCONTRACTORS TO CONTACT THE WATER PURVEYOR SUPPLYING THE SITE OF SUCH PROJECT, AND TO COMPLY WITH THE REQUIREMENTS OF THAT PURVEYOR. SUCH REQUIREMENTS SHALL BE INCORPORATED INTO THE DESIGN OF ANY WATER-BASED FIRE PROTECTION SYSTEMS, AND/OR FIRE SUPPRESSION WATER SUPPLY SYSTEMS OR STORAGE CONTAINERS THAT MAY BE PHYSICALLY CONNECTED IN ANY MANNER TO AN APPLIANCE CAPABLE OF CAUSING CONTAMINATION OF THE POTABLE WATER SUPPLY OF THE PURVEYOR OF RECORD. FINAL APPROVAL OF THE SYSTEM(S) UNDER CONSIDERATION WILL NOT BE GRANTED BY THIS OFFICE UNTIL COMPLIANCE WITH THE REQUIREMENTS OF THE WATER PURVEYOR OF RECORD ARE DOCUMENTED BY THAT PURVEYOR AS HAVING BEEN MET BY THE APPLICANT(S). 2019 CFC SEC. 903.3.5 AND HEALTH AND SAFETY CODE 13114.7.

15. ADDRESS IDENTIFICATION: NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. WHERE REQUIRED BY THE FIRE CODE OFFICIAL, ADDRESS NUMBERS SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MINIMUM OF 4 INCHES (101.6 MM) HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH (12.7 MM). WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS NUMBERS SHALL BE MAINTAINED. CFC SEC. 505.1.

CONSTRUCTION SITE FIRE SAFETY: THE CONSTRUCTION SITE MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 33 AND OUR STANDARD DETAIL AND SPECIFICATION S1-7. PROVIDE APPROPRIATE NOTATIONS ON SUBSEQUENT PLAN SUBMITTALS, AS APPROPRIATE TO THE PROJECT. CFC CHP. 33.



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SITE PLAN - FIRE EXHIBIT

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2nd ST.

SECOND ST.

LYELL ST.

FIRE HYDRANT
HYD.

(E) BUILDING

RATED STAIRWAY AND STANDPIPE ROOF TERRACE

(E) BUILDING

RATED STAIRWAY AND STANDPIPE ROOF TERRACE

FIRE LANE MARKING NO PARKING

2'-0" DEDICATION FOR FUTURE ALLEY EXPANSION

(E) POWER POLE

(E) FENCE

(E) BUILDING

(E) BUILDING

(E) BUILDING

TYPE 1 NON-COMBUSTIBLE ON GROUND FLOOR

R 30' - 0"

FIRE HYDRANT
HYD.

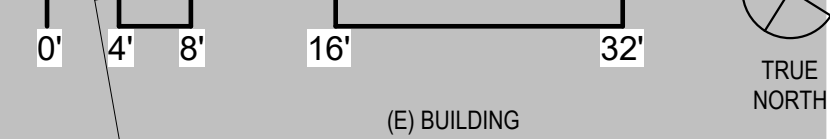
ADJACENT, DEVELOPED PARKING AREA

20' - 0"
(E) PUBLIC ACCESS EASEMENT

(E) OVERHEAD POWER LINES TO BE REMOVED AND UNDERGROUND

PAVEMENT TO BE MIN. 75,000 LBS CAPABLE, ALL-WEATHER ASPHALT OR CONCRETE

26'-0"W STAGING AREA



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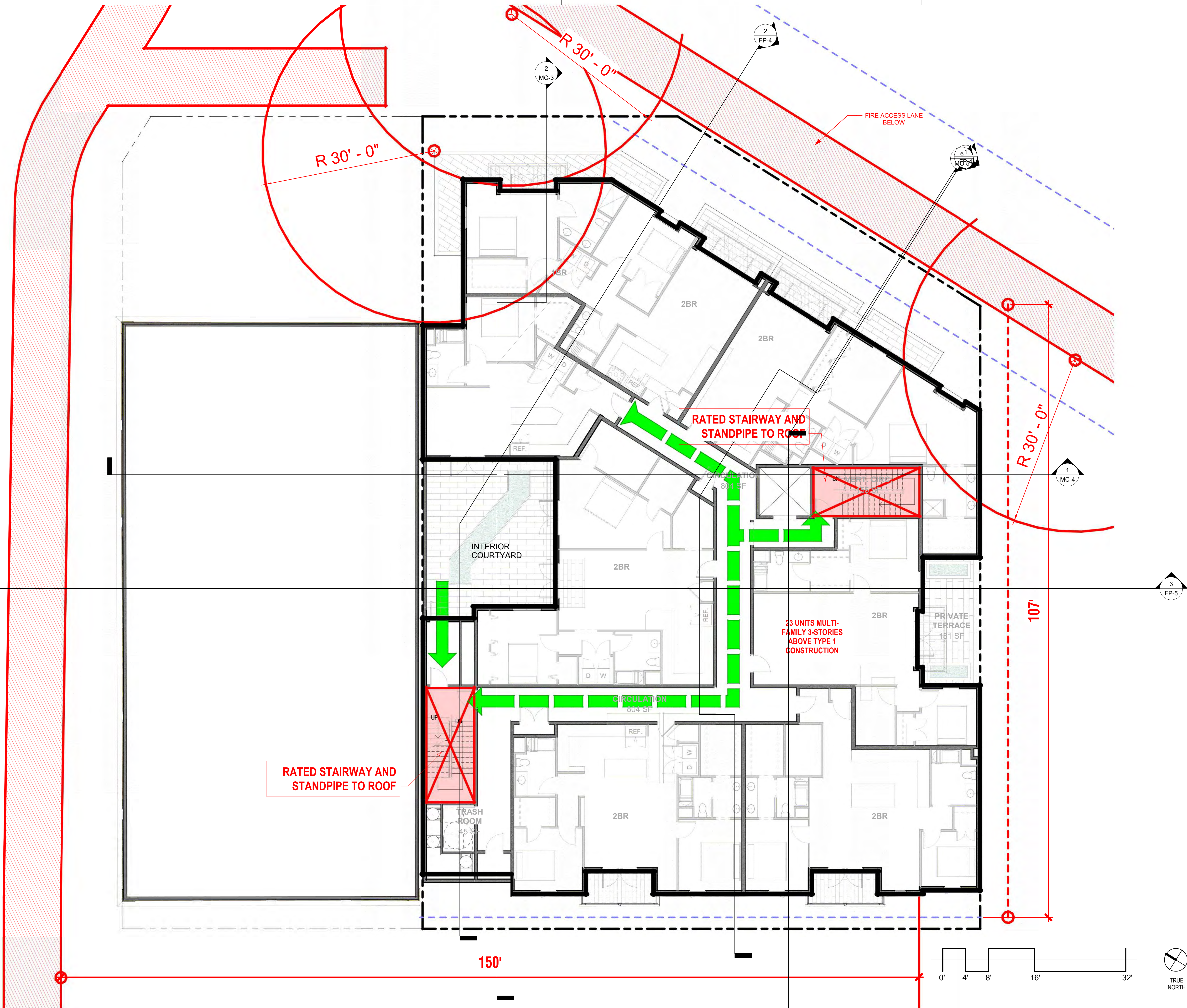
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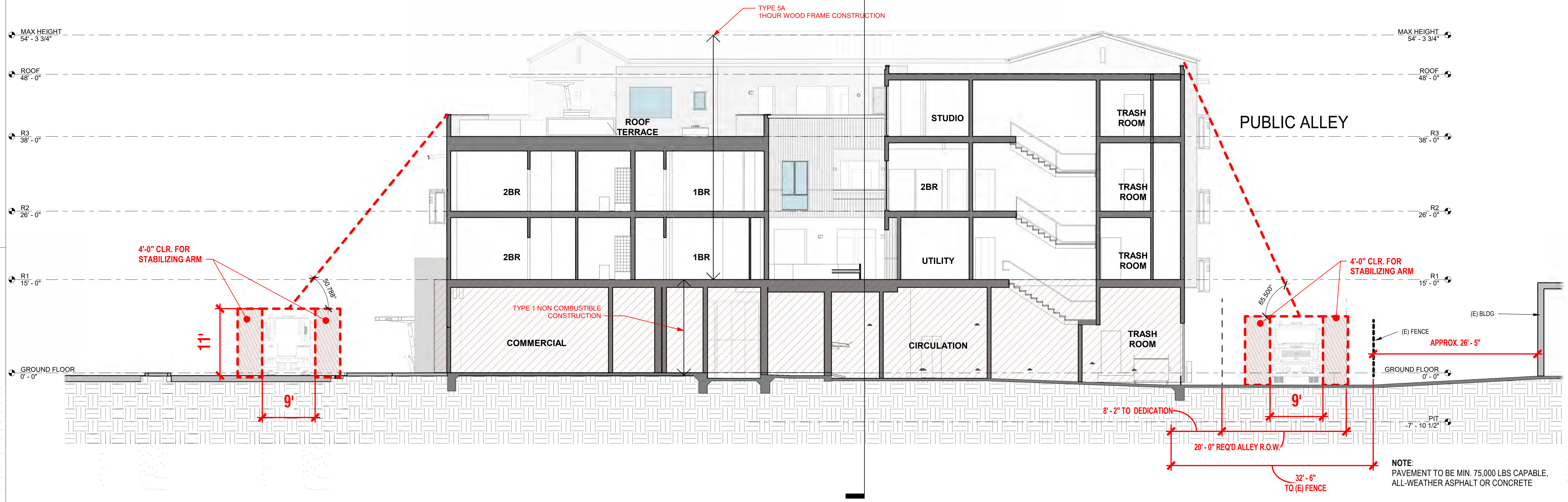
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R1 FLOOR PLAN - FIRE EXHIBIT

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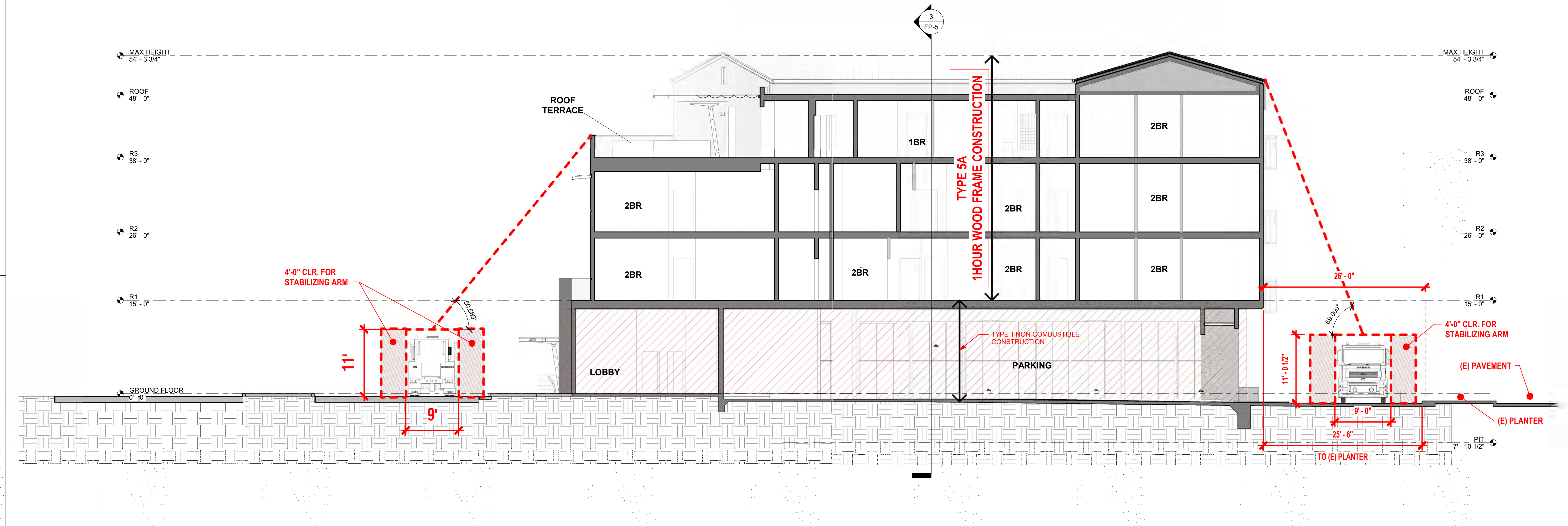
SHEET
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FIRE SECTION 2A 1/8" = 1'-0" 2



FIRE EXHIBIT - SECTION 1 1/8" = 1'-0" 1

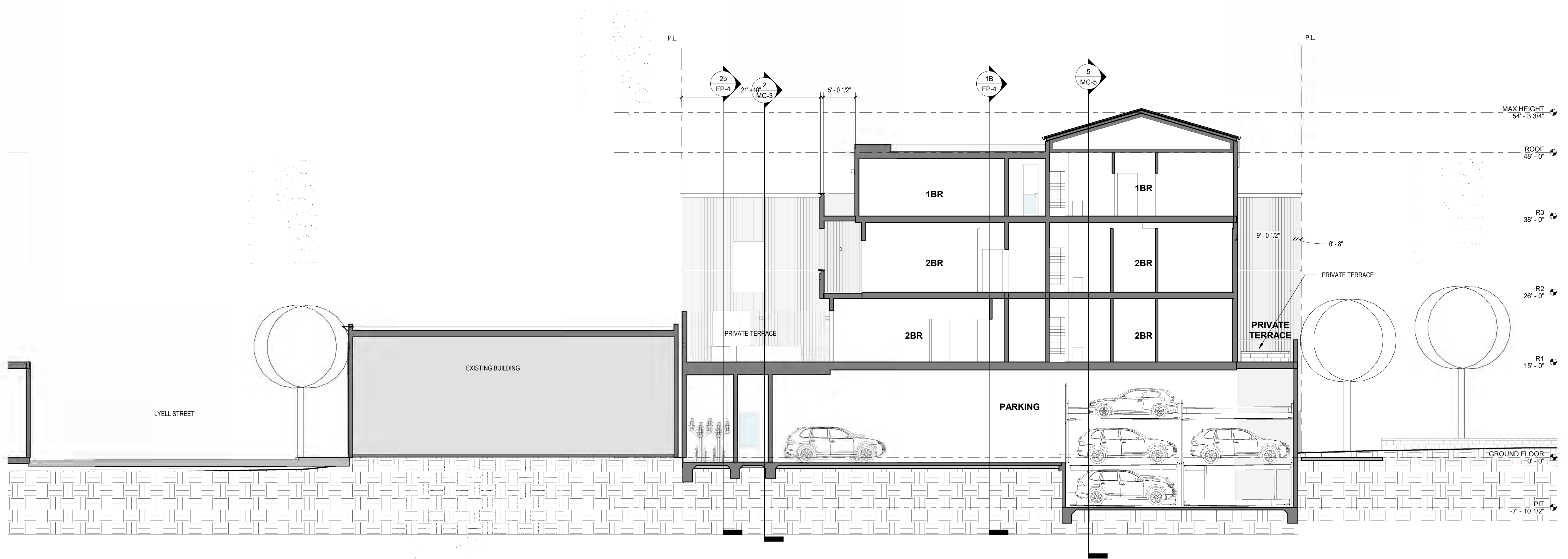
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