



PROJECT TEAM

OWNER:
TRISTAR INVESTMENT LLC.
944 AURA WAY,
LOS ALTOS, CA 94024

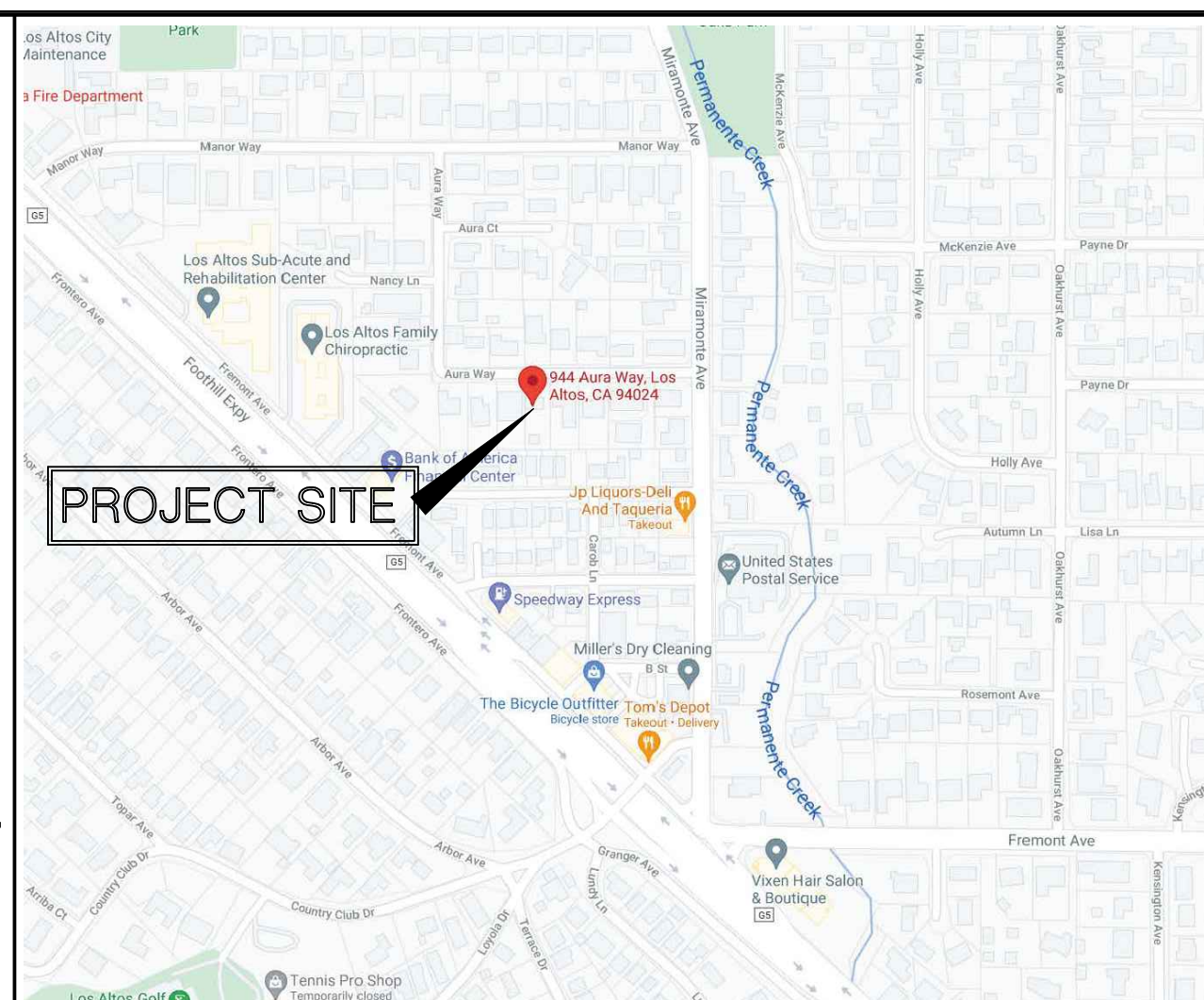
TITLE 24:
TO BE DETERMINED

ARCHITECT:
DL ARCHITECTURE & PLANNING
616 RAMONA ST. STE. 21
PALO ALTO, CA 94301
(650) 321-2808
erickeng@elhome.com

STRUCTURAL ENGINEER:
TO BE DETERMINED

SURVEYOR/CIVIL ENGINEER:
RW ENGINEERING, INC.
505 ALTAMONT DRIVE,
MILPITAS, CA 95035
(408) 262-1899
rweengineering@gmail.com

LANDSCAPE ARCHITECT:
YH LANDSCAPE DESIGN
3357 SAINT MICHAEL CT.
PALO ALTO, CA 94306
(415) 694-0800
huang2010@yahoo.com



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PROJECT DATA

A. APN: 189-14-089
B. ZONING: R1-10
C. FLOOD ZONE: X
D. COVERED PARKING SPACES: 2

ZONING COMPLIANCE

	Existing	Proposed	Allowed/Required
LOT COVERAGE: (main house) <i>Land area covered by all structures that are over 6 feet in height</i>	1,803 square feet (14.2%)	3,036 square feet (24.0%)	3,791 square feet (30.0%)
FLOOR AREA: (main house) <i>Measured to the outside surfaces of exterior walls</i>	1st Flr. 1,709 sq ft 2nd Flr. --- sq ft Total: 1,709 sq ft (13.5%)	1st Flr. 2,692 sq ft 2nd Flr. 1,317 sq ft Total: 4,010 sq ft (31.7%)	4,014 square feet (31.7%)
SETBACKS: (main house)			
Front	43 feet	25 feet	25 feet
Rear	96 feet	81.5 feet	25 feet
Right side (1st/2nd)	10 feet / --- feet	10 feet / 10.8 feet	7 feet / 14.5 feet
Left side (1st/2nd)	10.3 feet / --- feet	8 feet / 20.8 feet	7 feet / 14.5 feet
HEIGHT:	16 feet	24'10" feet	27 feet

SQUARE FOOTAGE BREAKDOWN

	Existing	Change in	Total Proposed
HABITABLE LIVING AREA: <i>Includes habitable basement areas</i>	1,508 square feet	2,062 square feet	3,570 square feet
NON-HABITABLE AREA: <i>Does not include covered porches or open structures</i>	201 square feet	238 square feet	439 square feet

LOT CALCULATIONS

NET LOT AREA:	12,639 square feet
FRONT YARD HARDSCAPE AREA: <i>Hardscape area in the front yard setbacks shall not exceed 50%</i>	728 square feet (41%)
LANDSCAPING BREAKDOWN:	
Total hardscape area (existing and proposed):	5,088 sq ft
Existing softscape (undisturbed) area:	4,000 sq ft
New softscape (new or replaced landscaping) area:	3,551 sq ft
<i>Sum of all three should equal the site's net lot area</i>	

E. OCCUPANCY GROUP: R3/U
F. TYPE OF CONSTRUCTION: VB

ALL CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING
2019 CALIFORNIA BUILDING CODE
2019 CALIFORNIA RESIDENTIAL CODE
2019 CALIFORNIA ELECTRICAL CODE
2019 CALIFORNIA MECHANICAL CODE
2019 CALIFORNIA PLUMBING CODE
2019 CALIFORNIA ENERGY CODE
2019 CALIFORNIA GREEN BUILDING CODE

SCOPE OF WORKS

DEMOLISH EXISTING SINGLE STORY RESIDENCE AND DETACHED GARAGE, REDESIGN A NEW 2 STORY RESIDENCE WITH ATTACHED 2-CAR GARAGE AND DETACHED 2BEDROOM ACCESSORY DWELLING UNIT, THE MAIN HOUSE TO HAVE LIVING ROOM, DINING ROOM, KITCHEN, FAMILY ROOM AND GUEST BEDROOM SUITE ON THE 1st FLOOR, 2 BEDROOM SUITES AND MASTER BEDROOM SUITE ON THE 2nd FLOOR, THE NEW HOUSE WILL BE LOCATED THE SIMILAR FOOTPRINT OF EXISTING HOUSE THE TREES AT FRONT PROPERTY LINE AND WITHIN NEW BUILDING AREA WILL BE REMOVED, OTHER TREES ON SITE WILL BE PROTECTED DURING CONSTRUCTION PER ARBORIST REPORT



AREA PLAN
SCALE: 1" = 20'-0"

REVISIONS	
△	PLANNING 7-10-2021
△	PLANNING 12-6-2021
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DL Architectural & Planning
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PALO ALTO, CA
(650) 321-2808

NEW RESIDENCE FOR: TRISTAR INVESTMENT LLC
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LOS ALTOS, CA

AREA PLAN, VICINITY MAP PROJECT DATA

DATE	7/1/2021
SCALE	1" = 20'-0"
DRAWN	-
JOB	-
SHEET	SK-0.1
OF SHEETS	

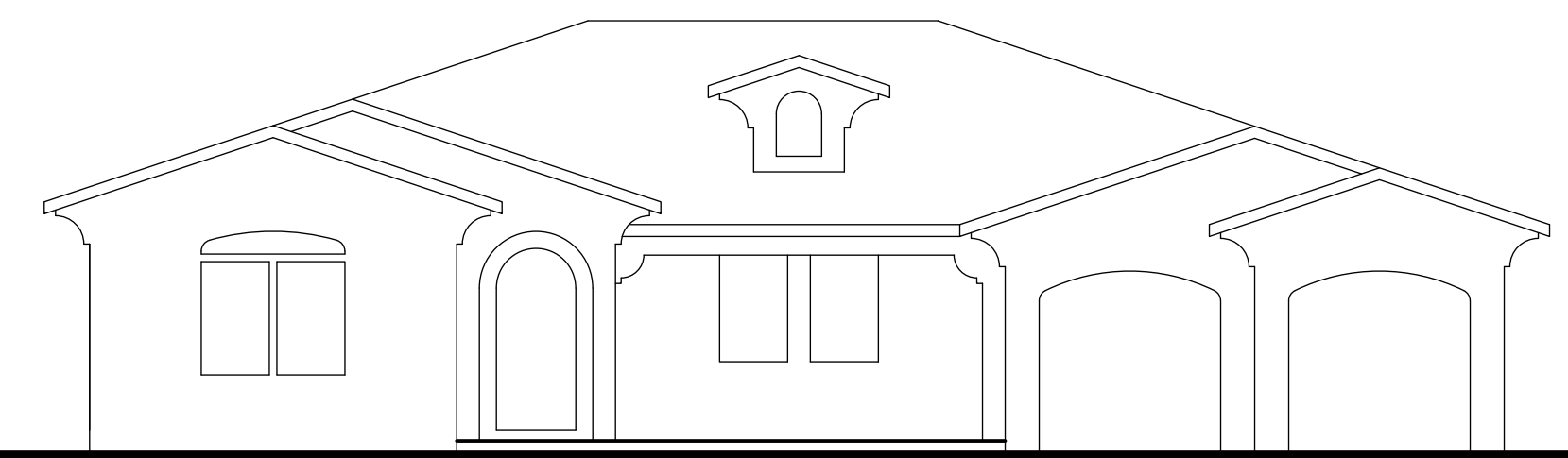
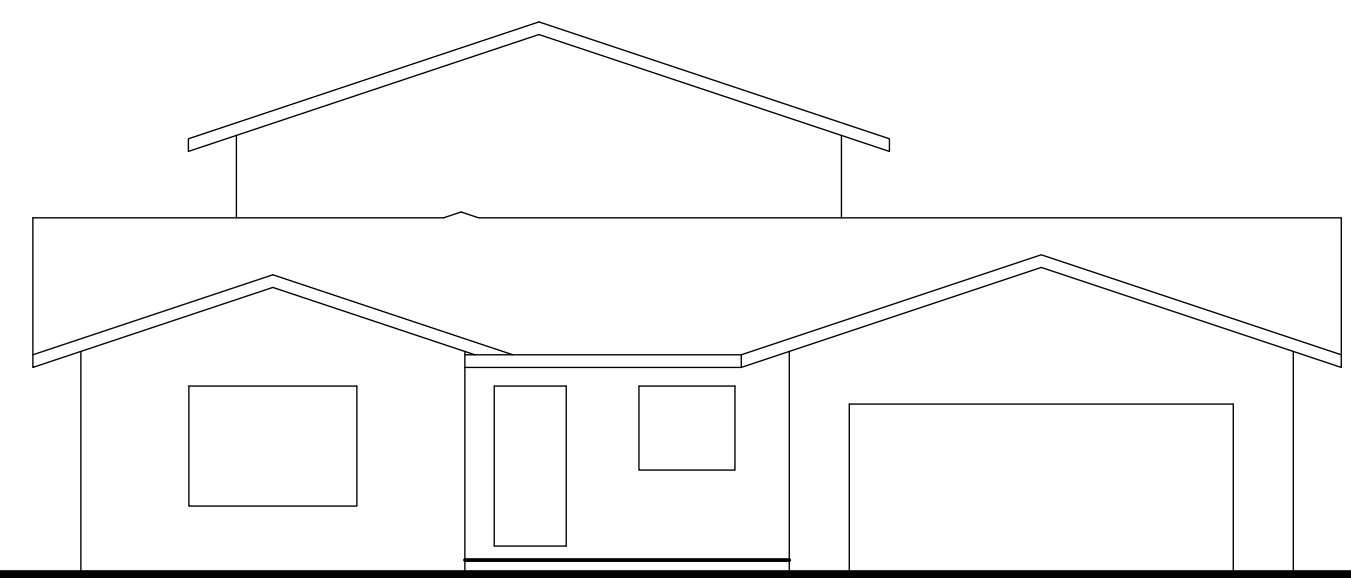
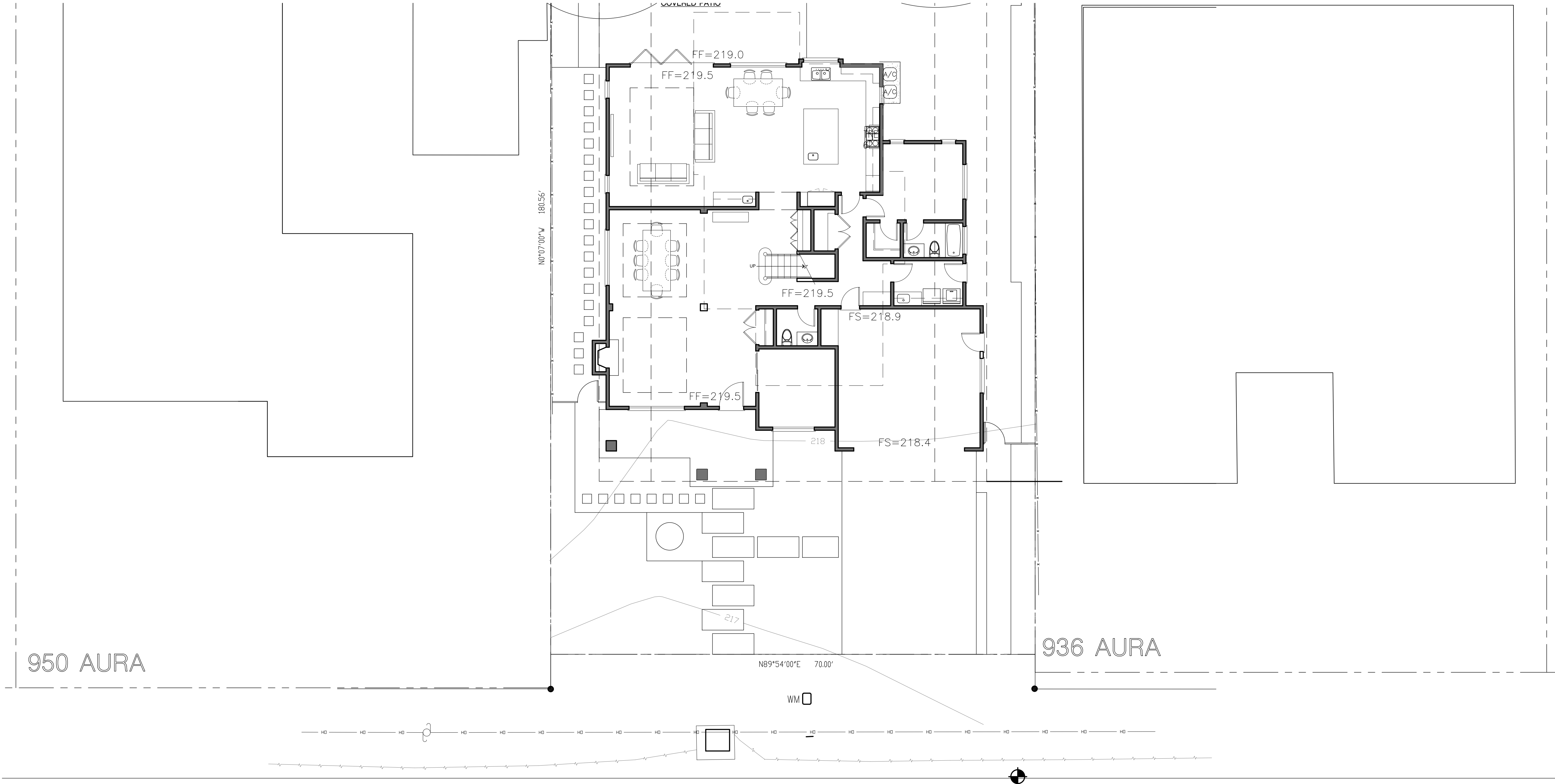
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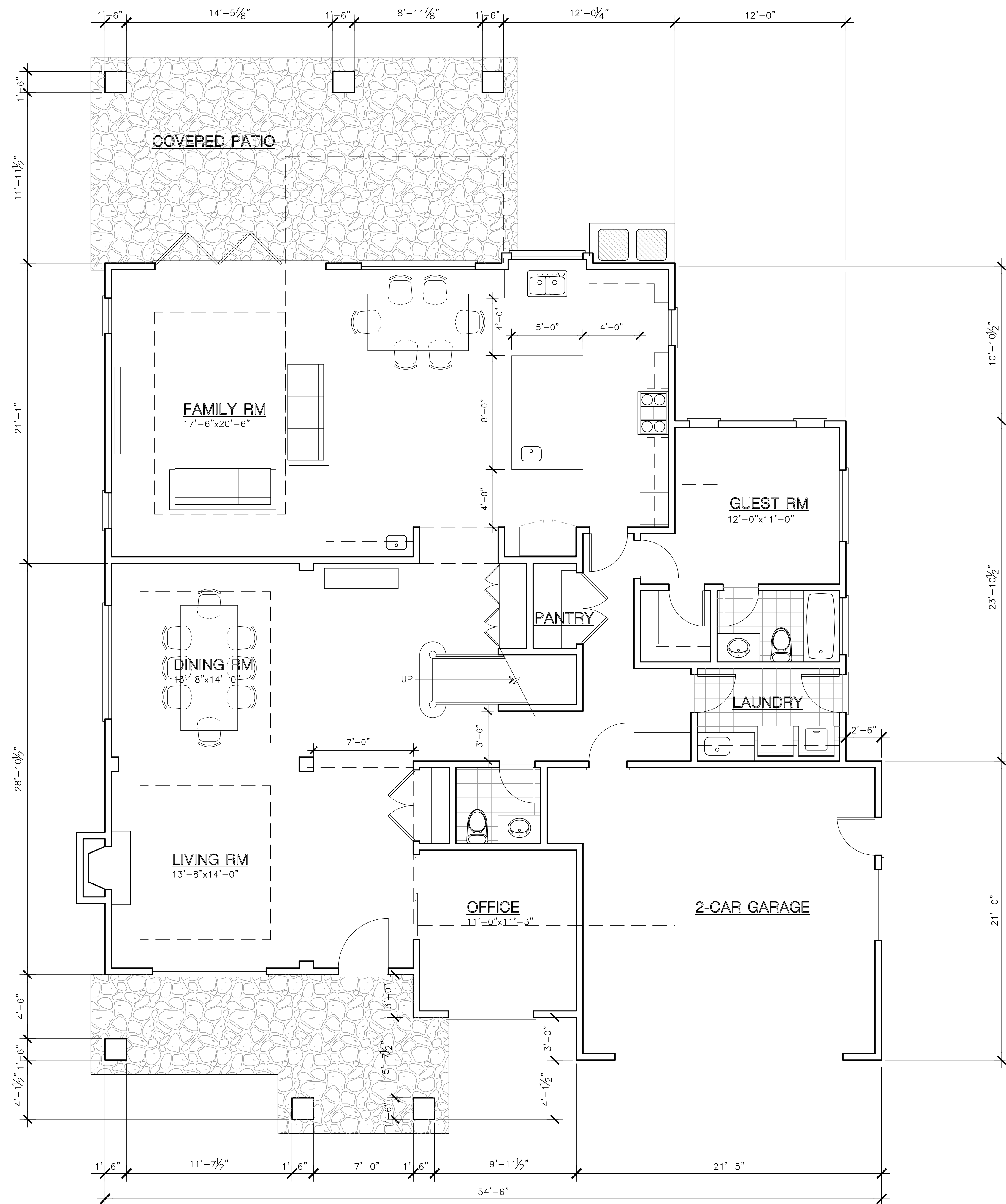
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 LOS ALTOS, CA

STREETSCAPE

DATE	7/1/2021
SCALE	1/8"=1'-0"
DRAWN	-
JOB	-
SHEET	SK-0.2
OF	SHEETS





1st FLOOR PLAN
SCALE: 1/4" = 1'-0"



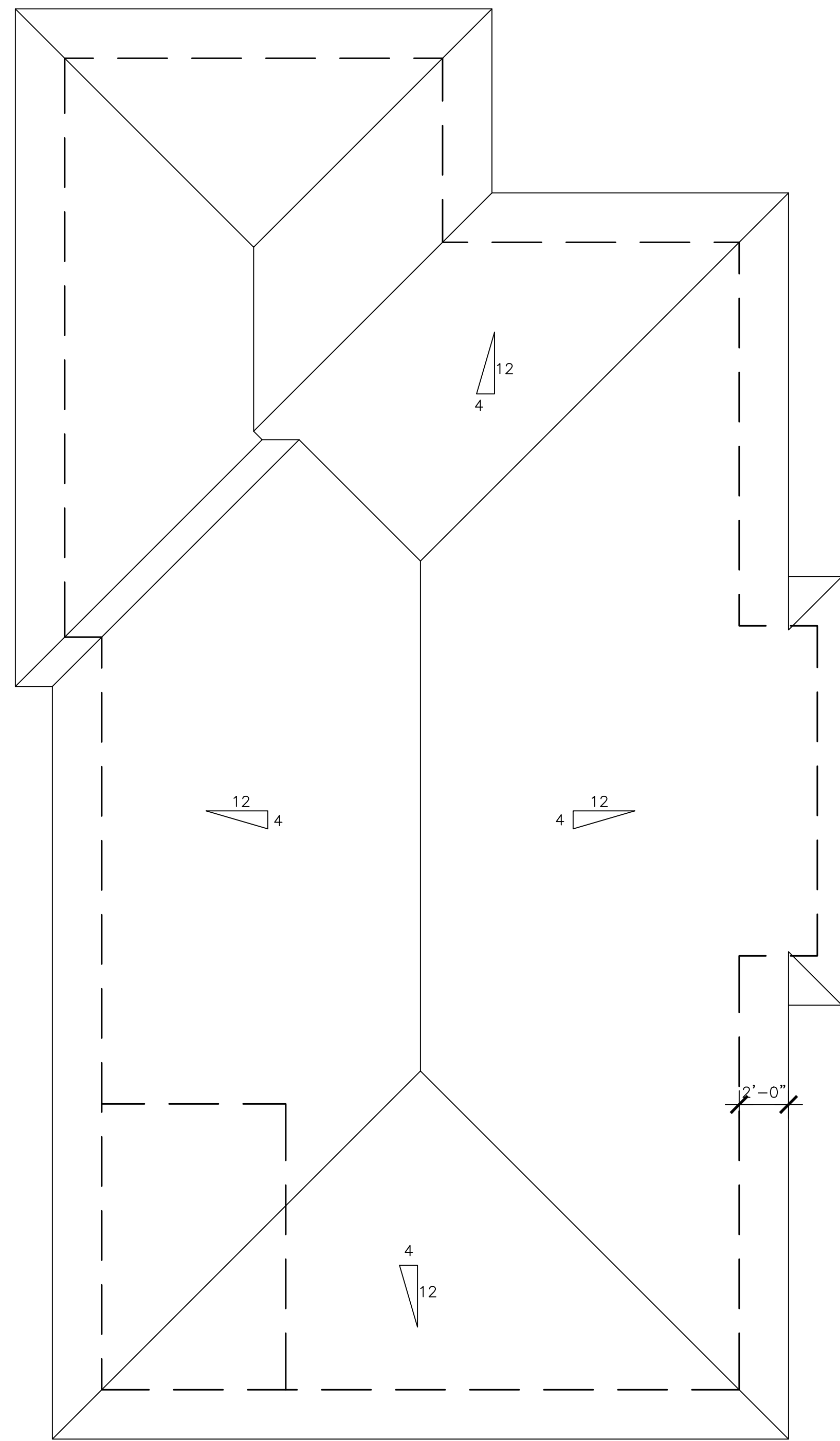
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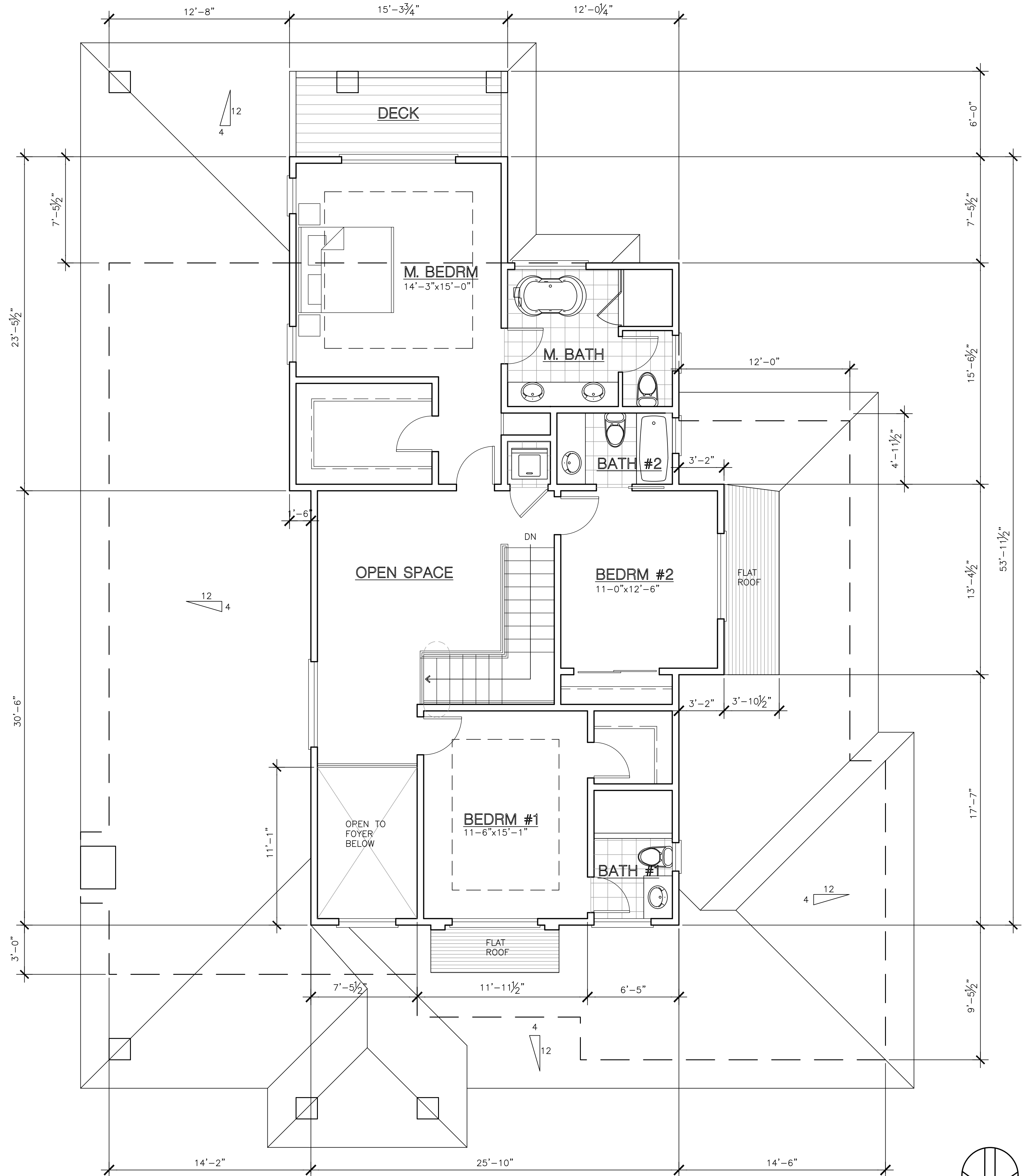
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LOS ALTOS, CA

PROPOSED 1st FLOOR PLAN

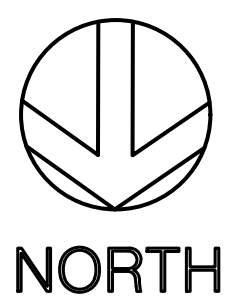
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SCALE	1/4" = 1'-0"
DRAWN	-
JOB	-
SHEET	SK-21
OF SHEETS	



ROOF PLAN
SCALE: 1/4" = 1'-0"



2nd FLOOR PLAN
SCALE: 1/4" = 1'-0"



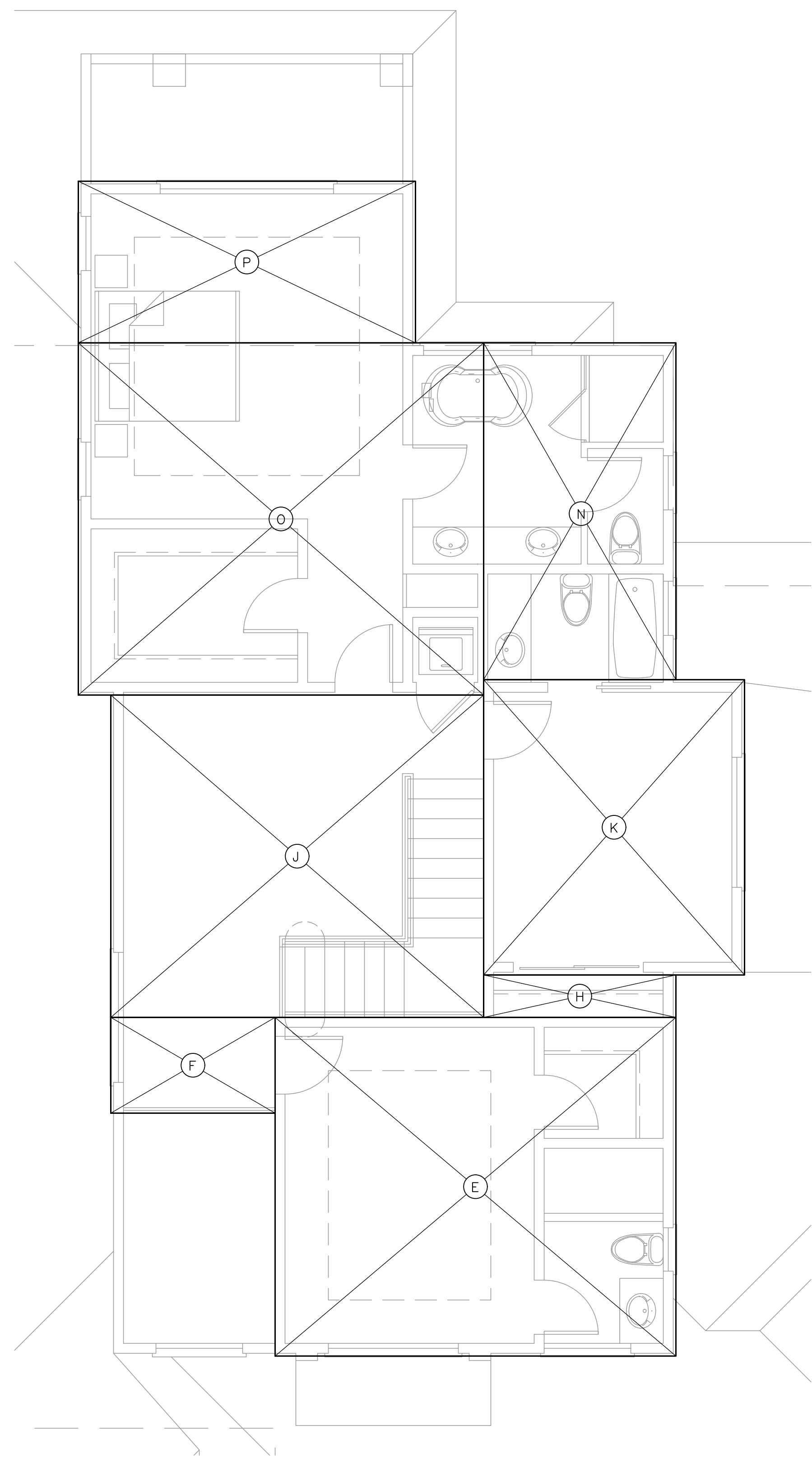
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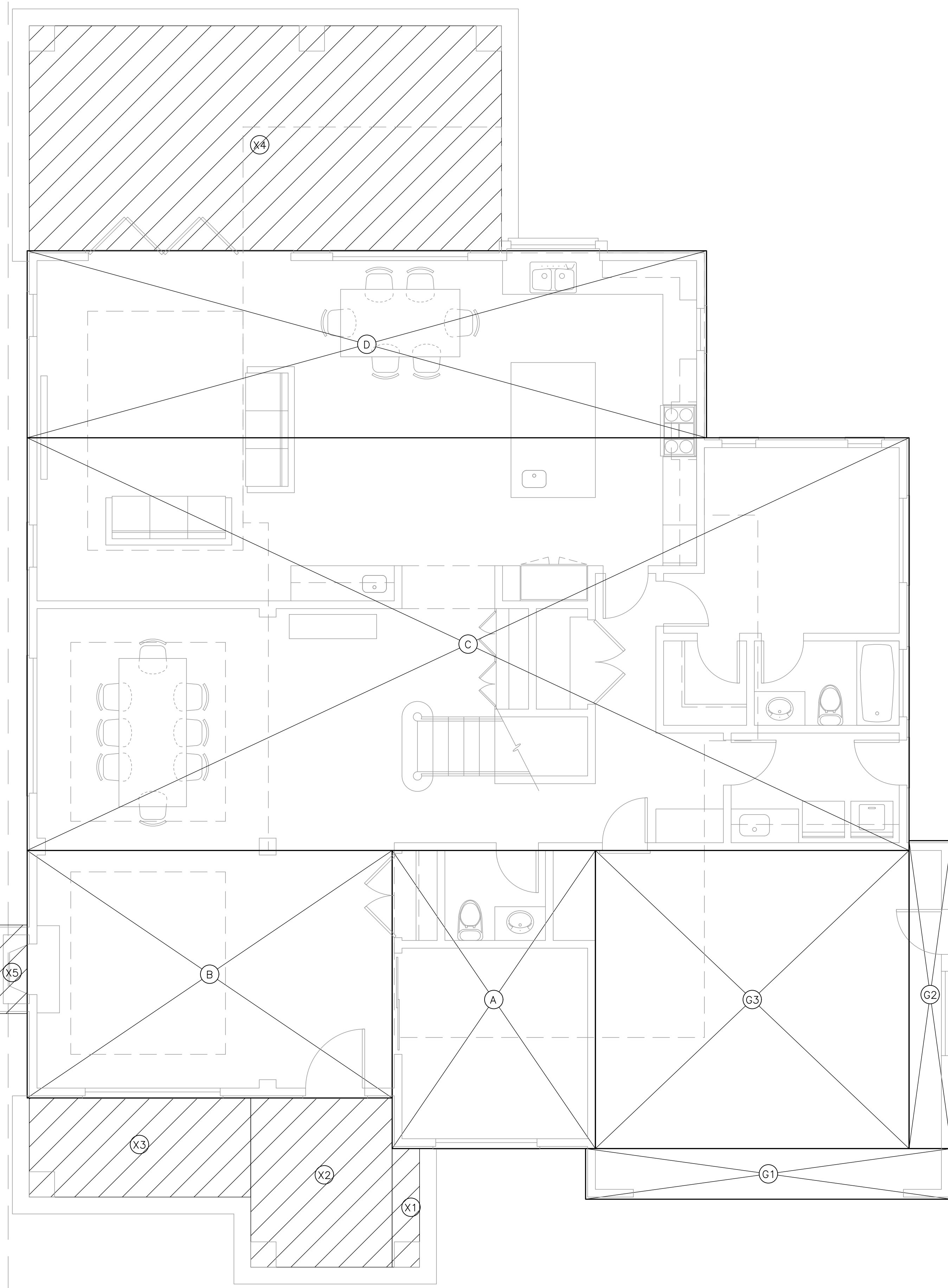
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PROPOSED 1st FLOOR PLAN

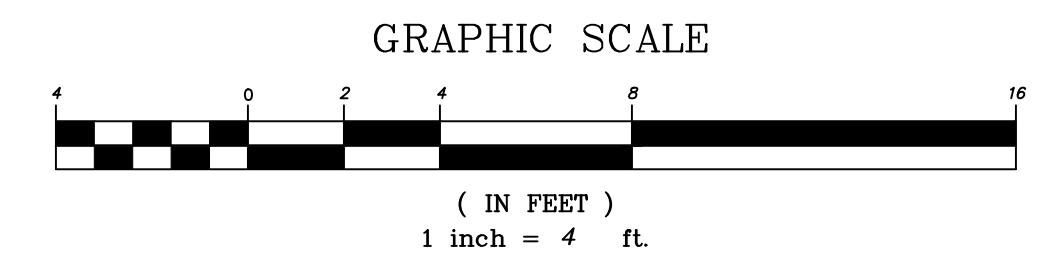
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SCALE	1/4"=1'-0"
DRAWN	-
JOB	-
SHEET	-
OF SHEETS	SK-2.2



2nd FLOOR PLAN
1/4" = 1'-0"



1st FLOOR PLAN
1/4" = 1'-0"



GARAGE	Dimensions	Area
G1	21'-8" x 3'-0"	65.0 sq.ft.
G2	2'-6" x 18'-3"	45.6 sq.ft.
G3	18'-7" x 17'-8"	328.1 sq.ft.
		438.7 sq.ft.

1st FLOOR	Dimensions	Area
A	12'-0 1/2" x 17'-8"	212.6 sq.ft.
B	21'-7 1/2" x 14'-8"	316.9 sq.ft.
C	52'-3" x 24'-5 1/2"	1,278.0 sq.ft.
D	40'-3" x 11'-1"	446.0 sq.ft.
		2,253.6 sq.ft.

2nd FLOOR	Dimensions	Area
E	18'-6" x 15'-7 1/2"	289.0 sq.ft.
F	7'-7" x 4'-5"	33.5 sq.ft.
H	8'-10 1/2" x 1'-11 1/2"	17.4 sq.ft.
J	17'-2 1/2" x 14'-10 1/2"	255.8 sq.ft.
K	12'-0 1/2" x 13'-7 1/2"	164.0 sq.ft.
L	OMIT	--- sq.ft.
M	OMIT	--- sq.ft.
N	8'-10 1/2" x 15'-6 1/2"	137.8 sq.ft.
O	18'-8 1/2" x 16'-3"	303.9 sq.ft.
P	15'-6 1/2" x 7'-5 1/2"	115.9 sq.ft.
		1,317.0 sq.ft.

FAR = 4,009.6 sq.ft.
 MAXIMUM FAR = 4,013.9 sq.ft.
 [(12,639-11,000) x 0.1 + 3,850 = 4,013.9] sq.ft.

COVERED PORCH/PATIO	Dimensions	Area
X1	1'-7" x 7'-0"	11.0 sq.ft.
X2	8'-4 1/2" x 10'-0"	83.7 sq.ft.
X3	13'-1 1/2" x 5'-10 1/2"	77.0 sq.ft.
X4	27'-11 1/2" x 3'-0"	83.9 sq.ft.
X5	2'-0" x 5'-3"	10.5 sq.ft.
X6	17'-6" x 4'-6" (ADU PORCH)	78.8 sq.ft.
		343.9 sq.ft.

MAIN HOUSE 1st FLOOR + ADU PORCH
 438.7 + 2,253.6 + 343.9 = 3,036.2 sq.ft.
 LOT COVERAGE = 24.0%
 MAXIMUM LOT COVERAGE = 3,791.4 SQ.FT.
 (12,638 x 30% = 3,791.4)

FAR FOR MAIN HOUSE = 4,009.6 sq.ft.
 LOT COVERAGE = 3,036.2 sq.ft. (24.0%)

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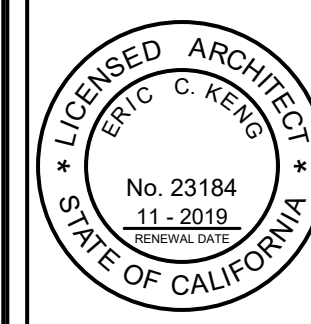
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FLOOR AREA CALCULATIONS

DATE	7/1/2021
SCALE	1/4"=1'-0"
DRAWN	
JOB	
SHEET	SK2-3
OF SHEETS	

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ADU PLANS AND ELEVATIONS

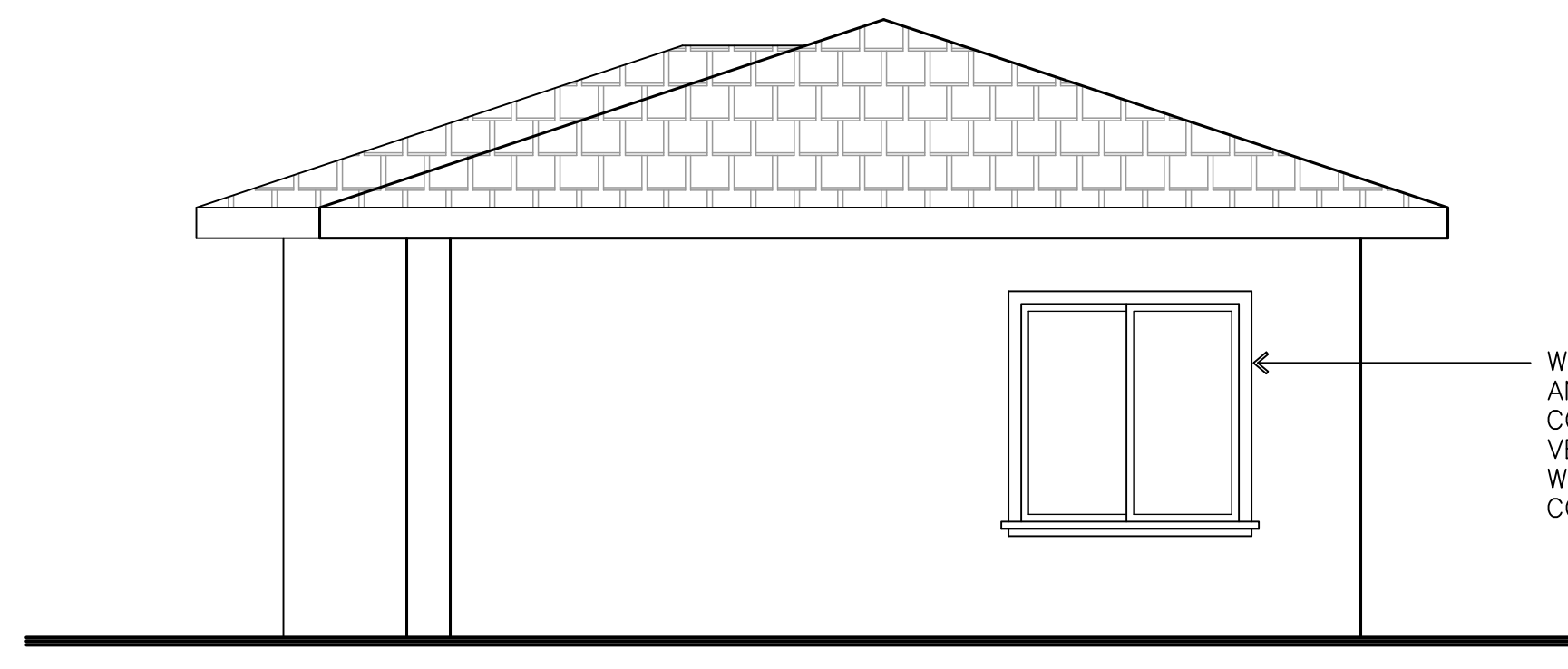
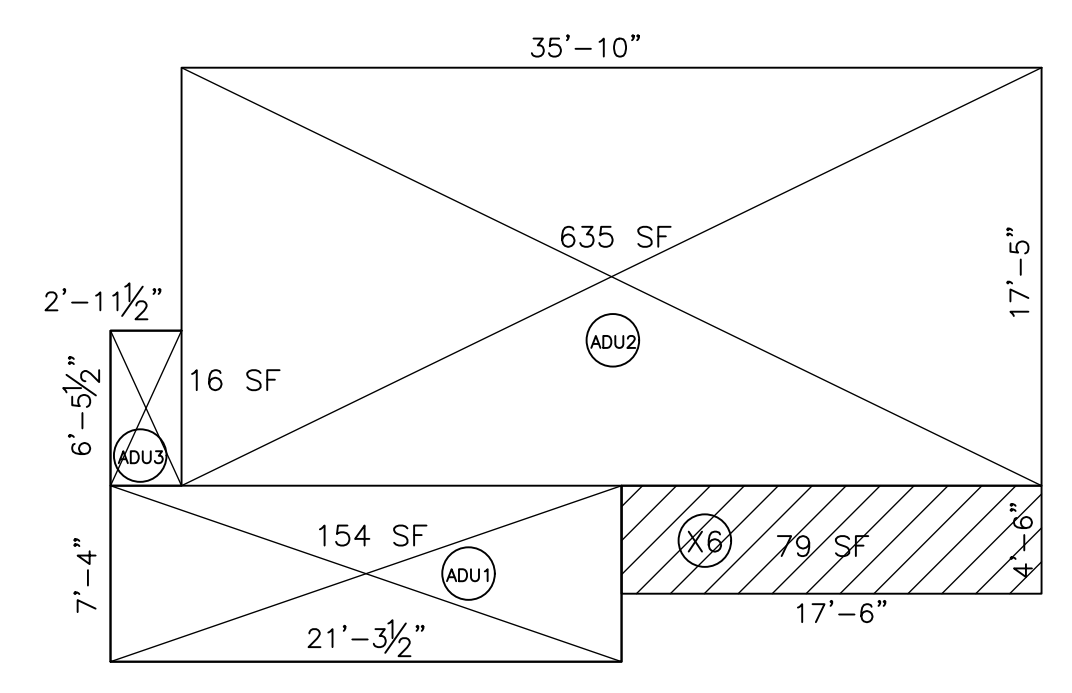
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SCALE	1/4"=1'-0"
DRAWN	-
JOB	-
SHEET	SK-2.4
OF SHEETS	

DETACHED ADU

ADU1=	21'-6 1/2" x 7'-3"	154.4 sq.ft.
ADU2=	35'-10" x 17'-5"	624.2 sq.ft.
ADU3=	2'-11 1/2" x 6'-5 1/2"	19.1 sq.ft.
		797.6 sq.ft.

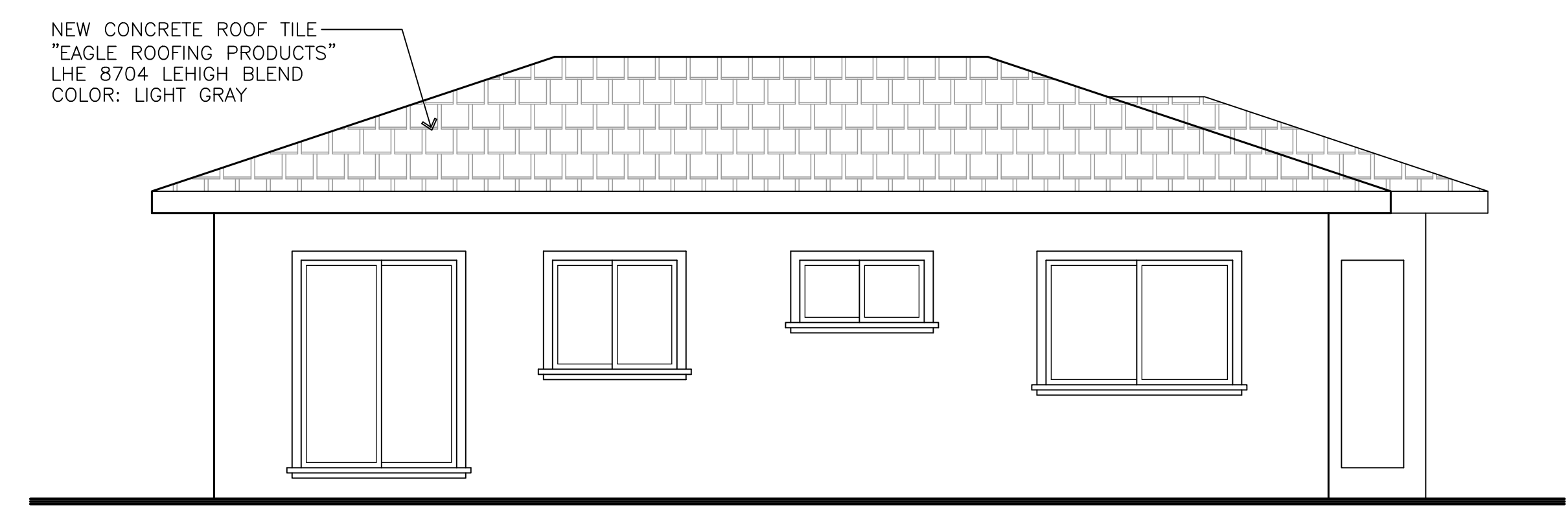
FAR OF ADU = 797.6 sq.ft.
 LOT COVERAGE OF ADU = 4.7% 797.6 sq.ft.

FLOOR AREA CALCULATIONS
 SCALE: 1/8" = 1'-0" 805 SQ.FT.



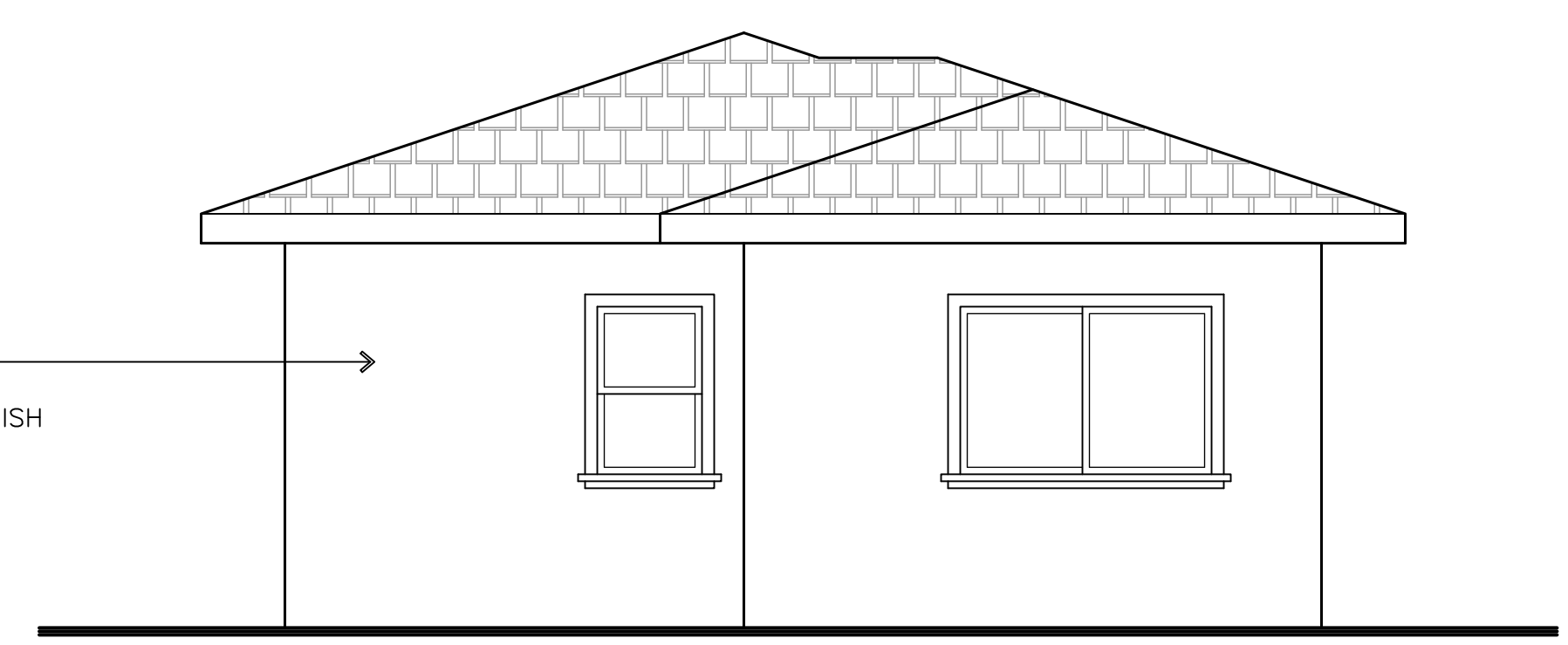
WEST ELEVATION
 SCALE: 1/4" = 1'-0"

WOOD WINDOW W/ ALUMINUM CLAD
 ANDERSEN 400 SERIES
 COLOR: WHITE
 VENTURA PRECAST CONCRETE TRIM
 WITH SANDED TEXTURE
 COLOR: MEDIUM GREY

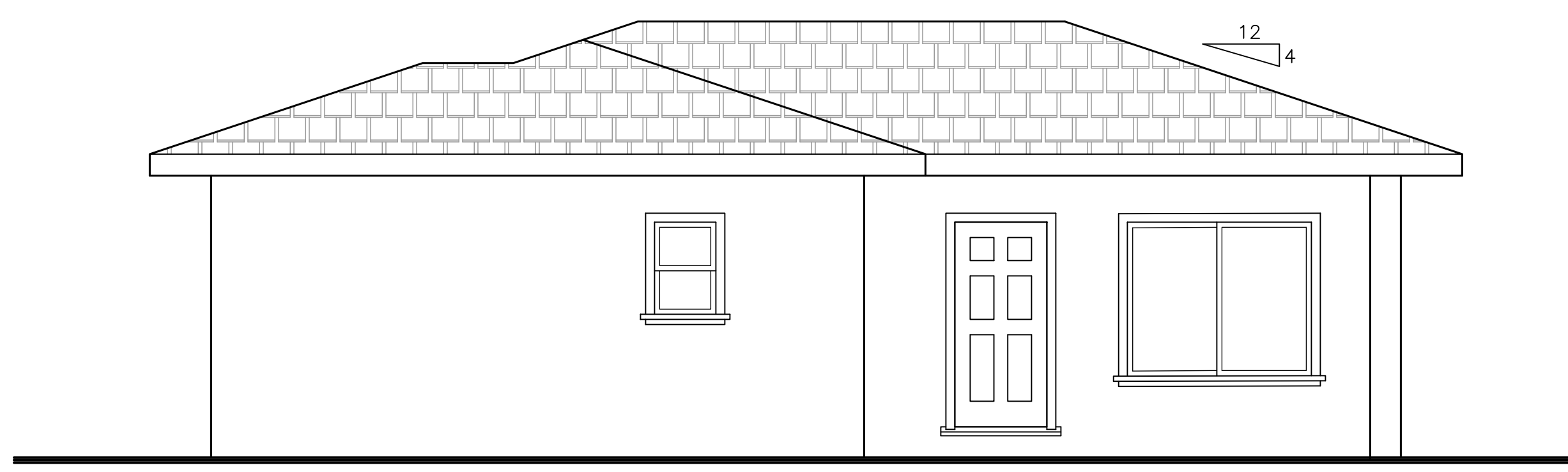


SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"

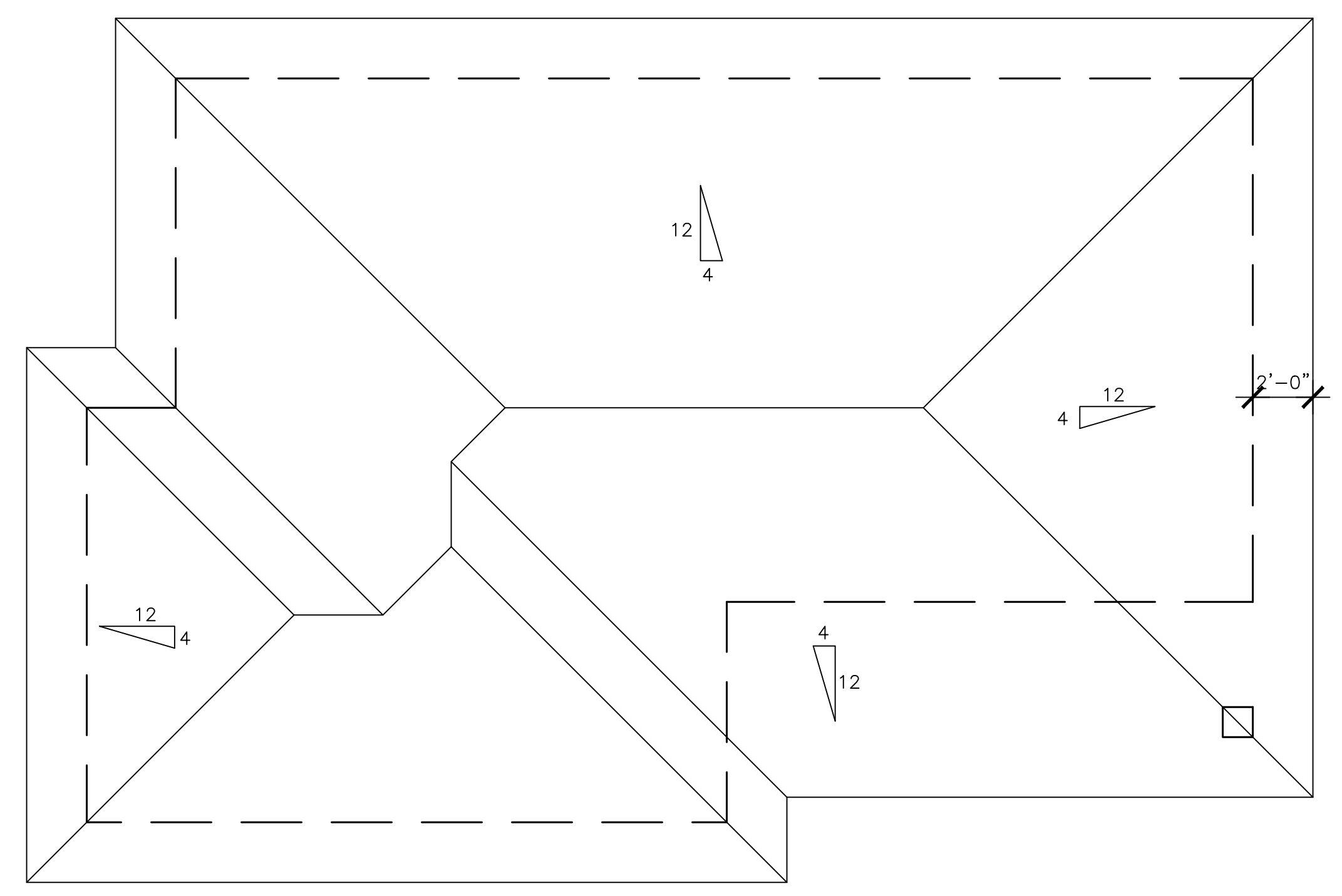
NEW STUCCO
 LA HABRA STUCCO
 SMOOTH PERMA FINISH
 COLOR: DOVE GREY



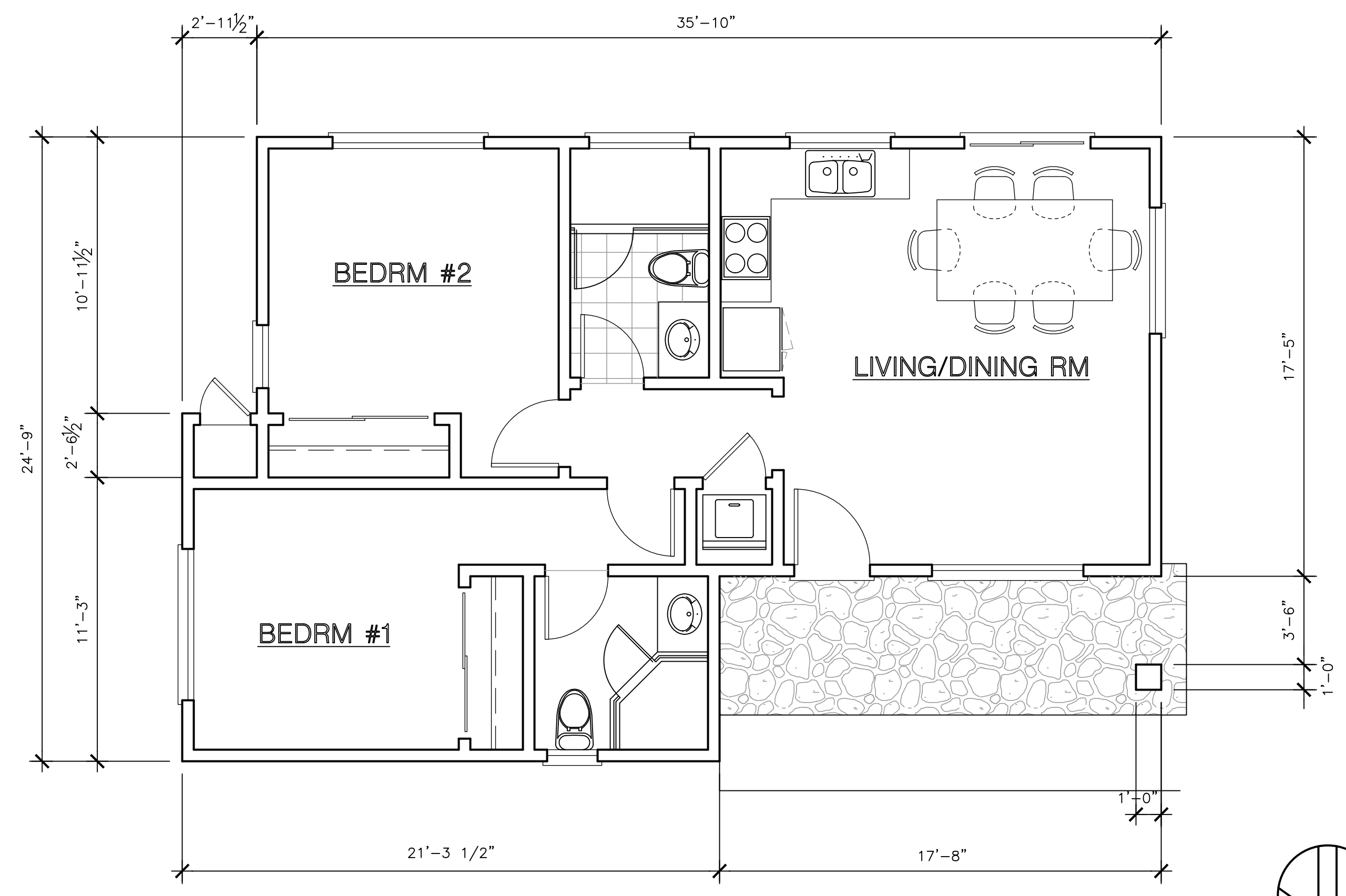
EAST ELEVATION
 SCALE: 1/4" = 1'-0"



NORTH ELEVATION
 SCALE: 1/4" = 1'-0"



ROOF PLAN
 SCALE: 1/4" = 1'-0"



FLOOR PLAN
 SCALE: 1/4" = 1'-0"



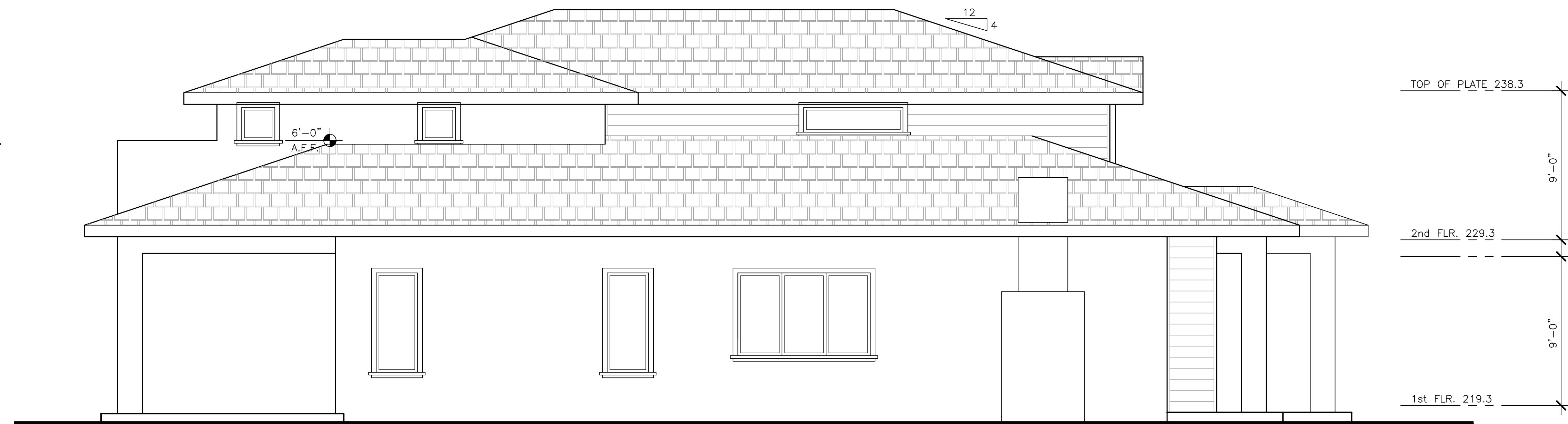
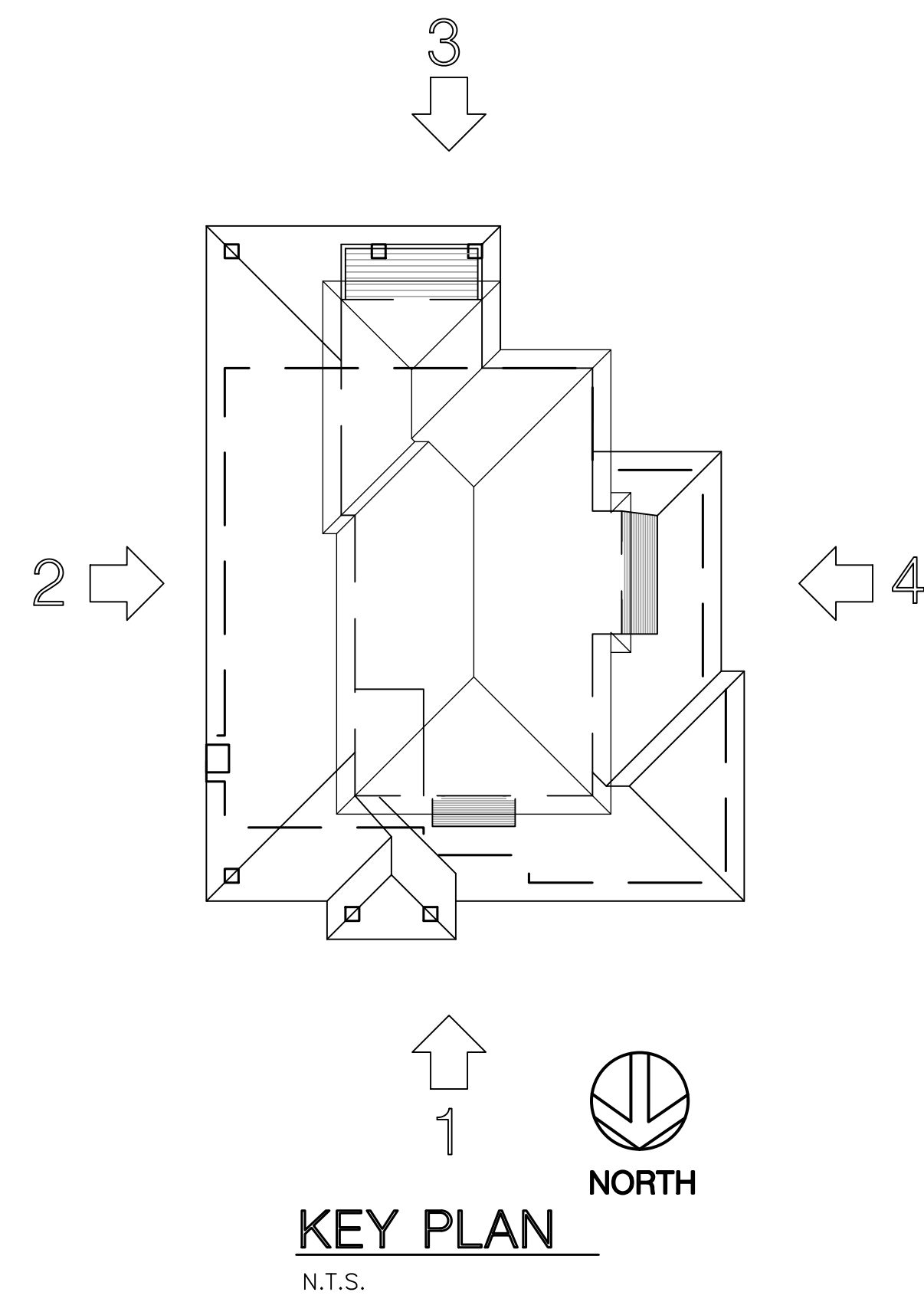
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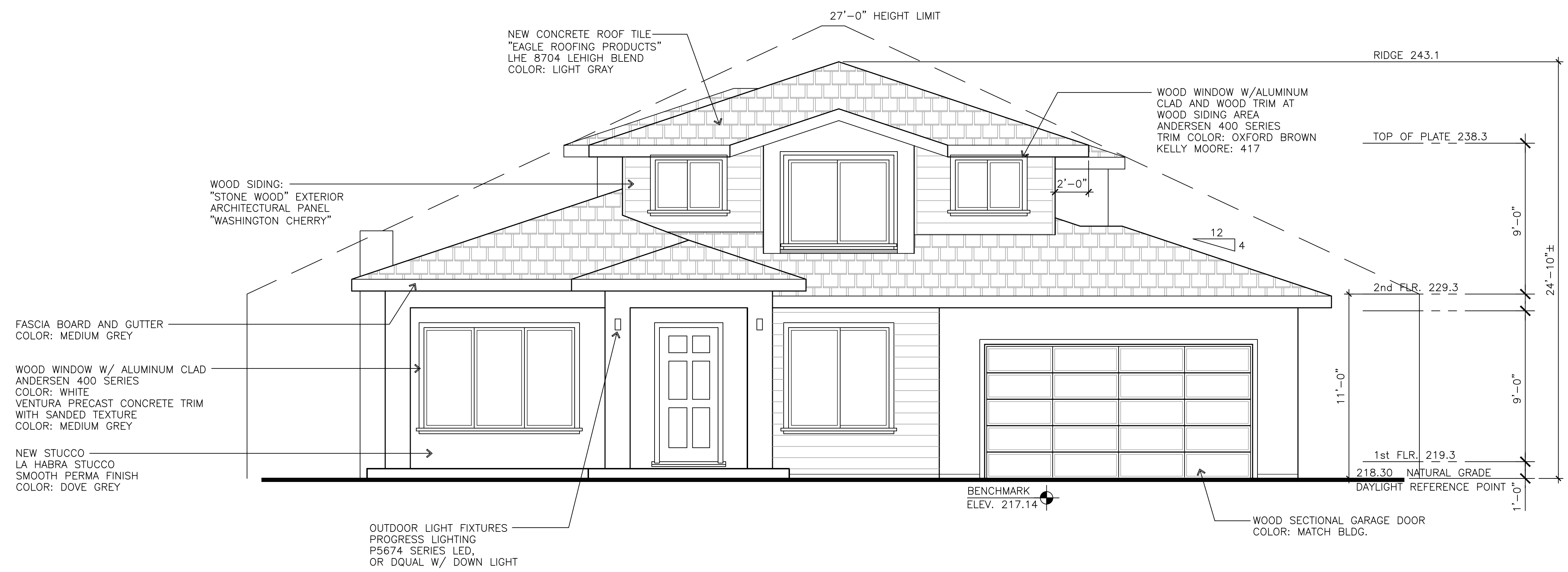
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EXTERIOR ELEVATIONS

DATE	7/1/2021
SCALE	1/4"=1'-0"
DRAWN	-
JOB	-
SHEET	SK-3.1
OF SHEETS	



2 EAST ELEVATION
SCALE: 1/4" = 1'-0" (LEFT)



1 NORTH ELEVATION
SCALE: 1/4" = 1'-0" (FRONT)

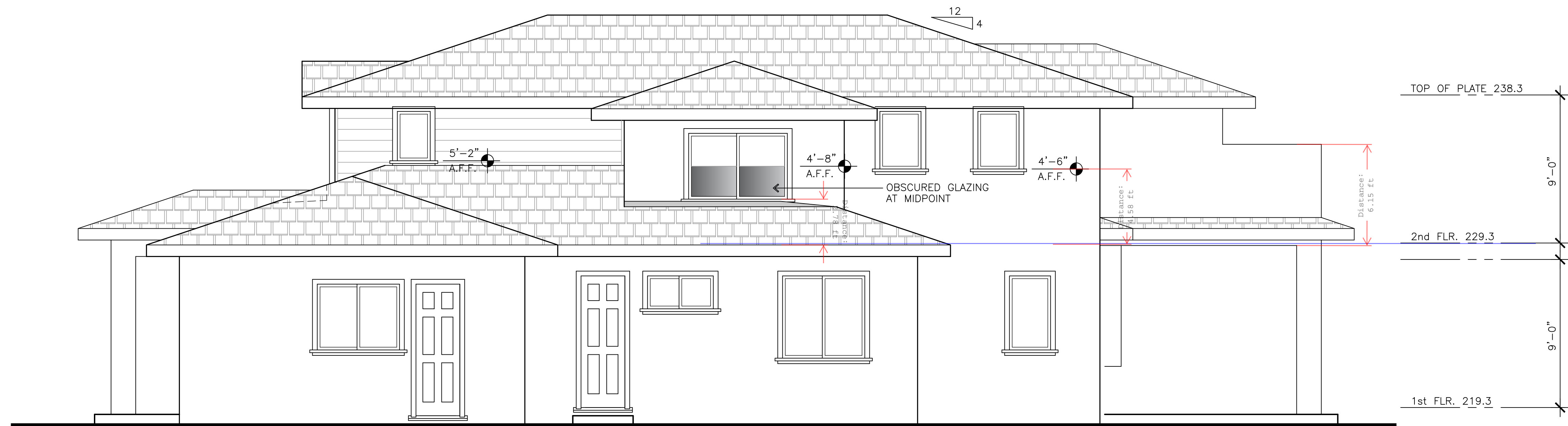
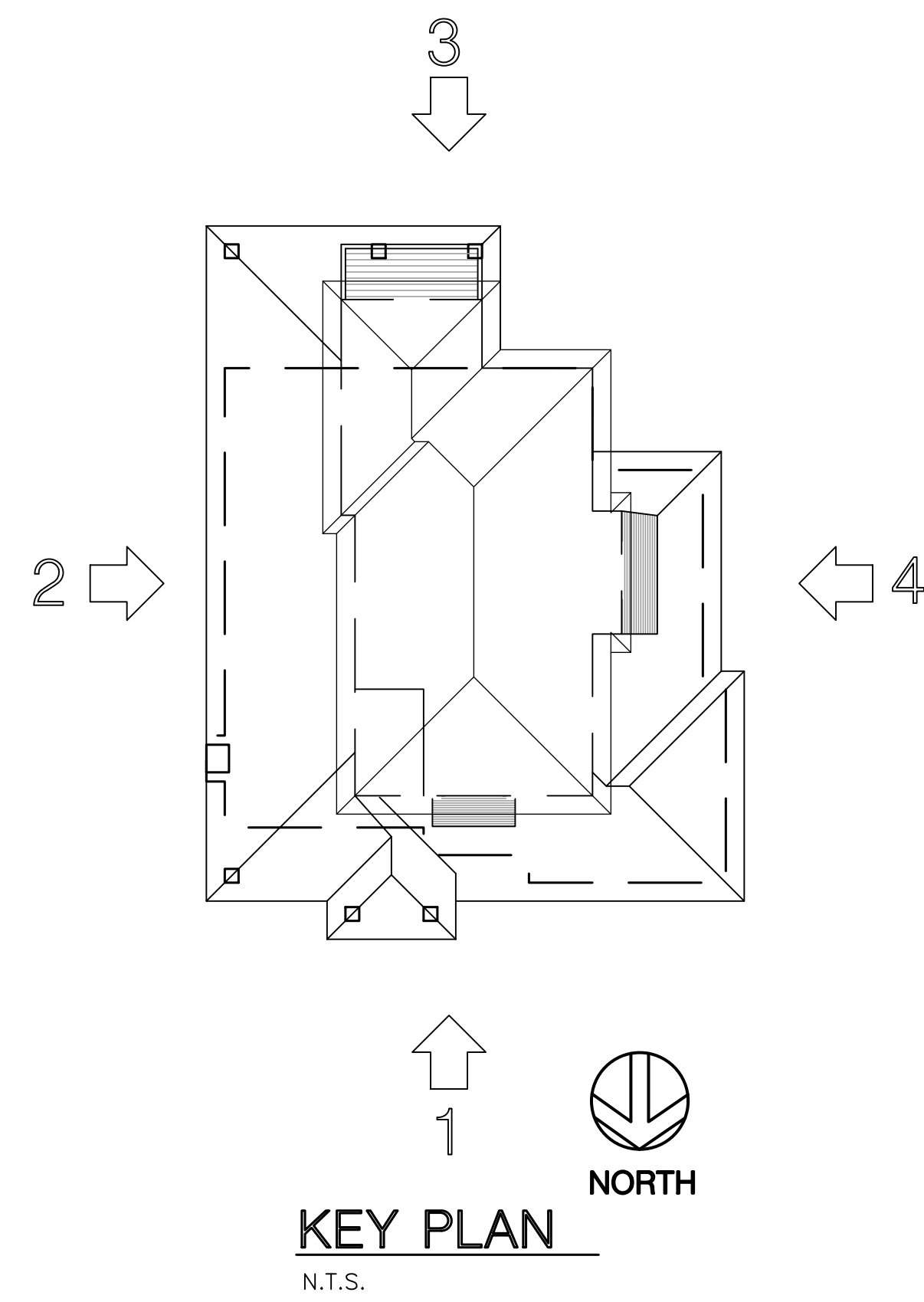
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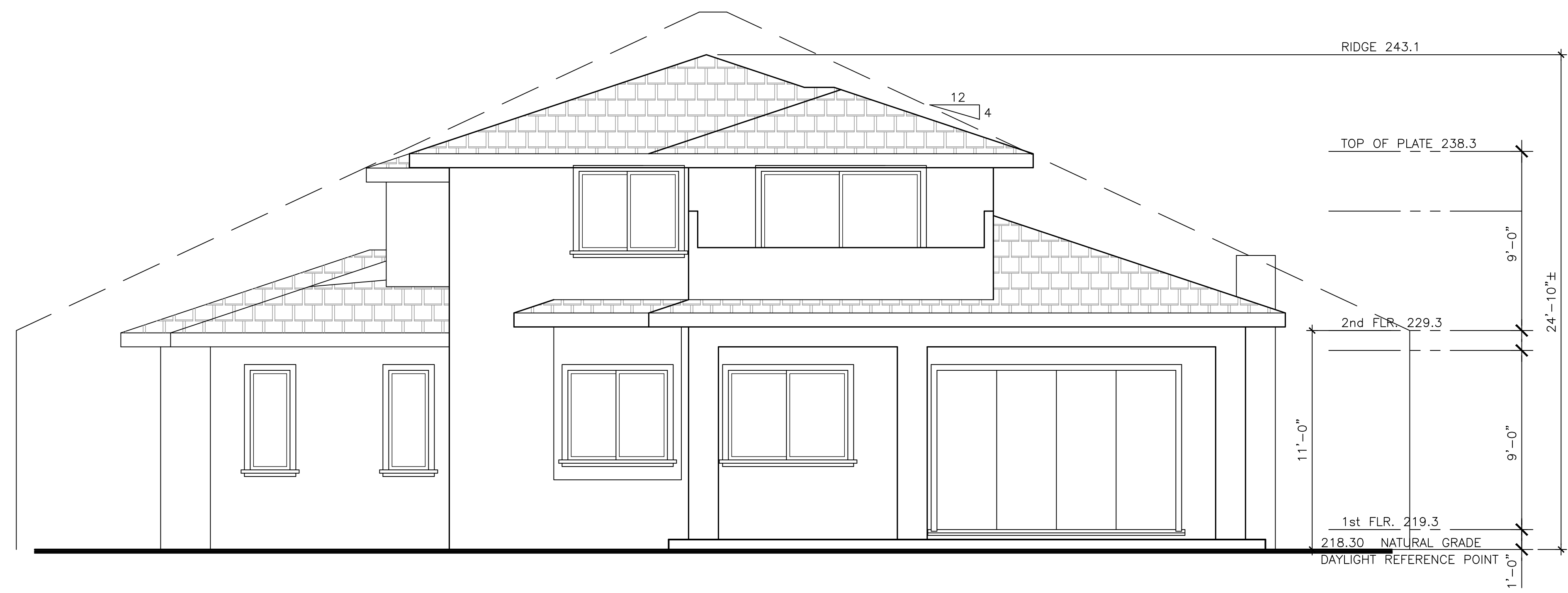
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EXTERIOR ELEVATIONS

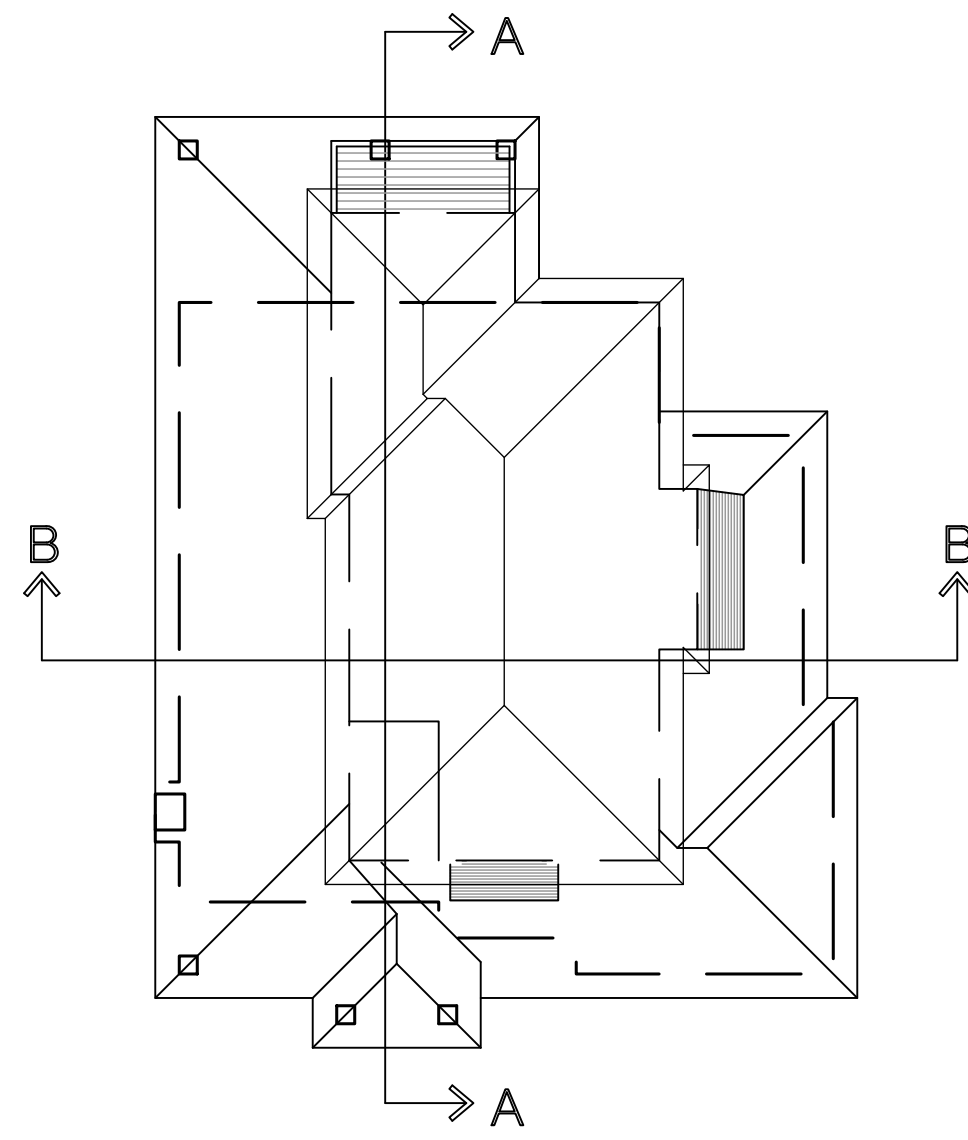
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SCALE	1/4"=1'-0"
DRAWN	-
JOB	-
SHEET	-
OF	SK-3.2



4 WEST ELEVATION
 SCALE: 1/4" = 1'-0" (RIGHT)



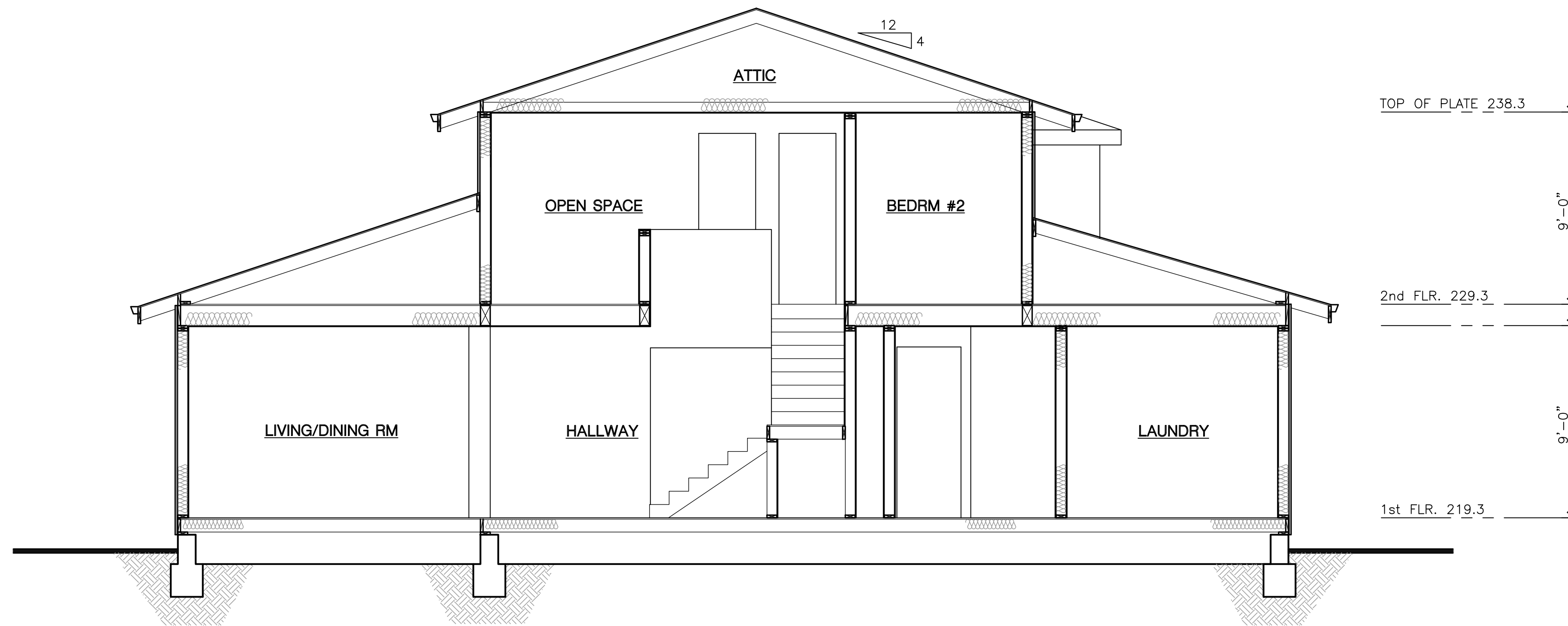
3 SOUTH ELEVATION
 SCALE: 1/4" = 1'-0" (REAR)



KEY PLAN
N.T.S.

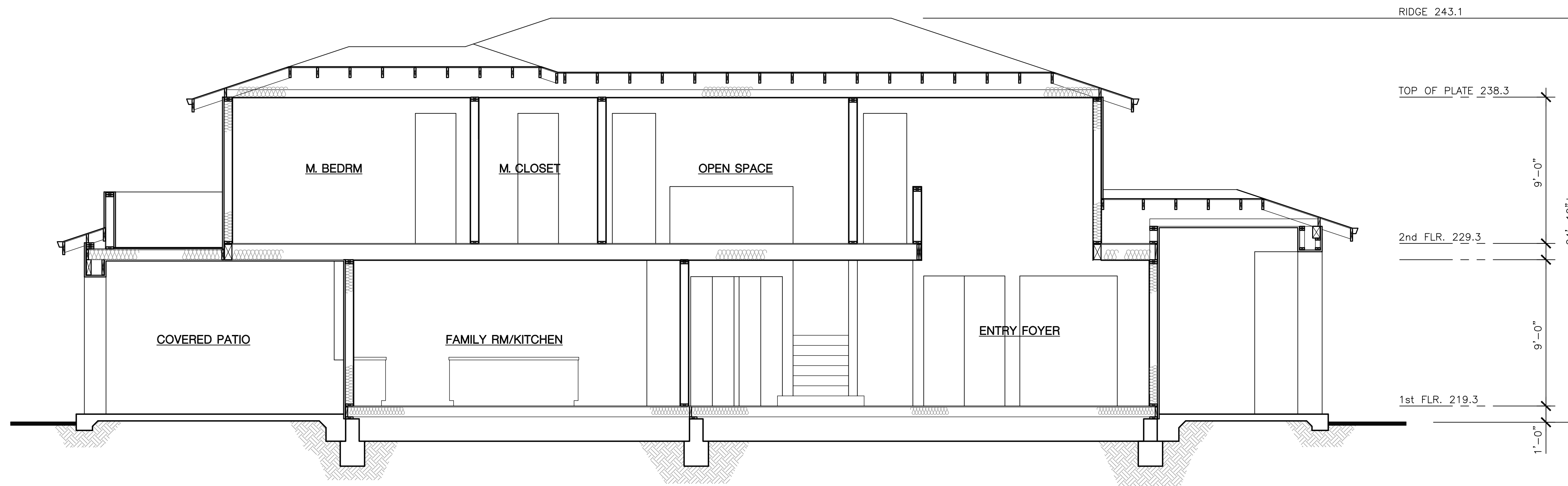


NORTH



SECTION "B-B"

SCALE: 1/4" = 1'-0"



SECTION "A-A"

SCALE: 1/4" = 1'-0"

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NEW RESIDENCE FOR: TRISTAR INVESTMENT LLC

944 AURA WAY
LOS ALTOS, CA

BUILDING SECTION

DATE 7/1/2021
SCALE 1/4"=1'-0"
DRAWN -
JOB -
SHEET -

SK-4.1
OF SHEETS

GRADING NOTES:

- ALL MATERIAL AND WORKMANSHIP SHALL CONFORM TO GENERAL AND SPECIFIC PROVISIONS, STANDARD DRAWINGS, AND REQUIREMENT OF THE CITY OF LOS ALTOS.
- THE OWNER AND THE ENGINEER OF WORK WILL NOT BE RESPONSIBLE FOR ENFORCING SAFETY MEASURES AND REGULATIONS. THE CONTRACTOR MUST DESIGN, CONSTRUCT, INSTALL, AND MAINTAIN ALL SAFETY DEVICES, INCLUDING SHORING, AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE, AND FEDERAL SAFETY AND HEALTH STANDARDS, LAW AND REGULATIONS.
- PRIOR TO START OF CONSTRUCTION, CONTRACTOR MUST VERIFY ALL JOINT/CROSSING LOCATIONS, ELEVATIONS, CURB, GUTTER, SIDEWALK, FLOW LINES, PAVEMENT, STREETS, AND ALL GRADE JOINTS. IF DISCREPANCY IS FOUND, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER AND NOT PROCEED WITH ANY CONSTRUCTION UNTIL VERIFICATION AND REVISION (IF NECESSARY) IS COMPLETED BY THE SAID ENGINEER.
- CONTRACTOR TO EXPOSE EXISTING SEWERS AND CHECK INVERTS BEFORE CONSTRUCTING NEW SEWERS. NOTIFY THE ENGINEER 24 HOURS PRIOR TO EXPOSING SEWERS.
- THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES/STRUCTURES SHOWN HEREON WERE OBTAINED FROM INFORMATION FURNISHED BY OTHERS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE COMPLETENESS AND ACCURACY OF SAID INFORMATION. THE CONTRACTOR MUST ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF THOSE TO BE USED AND SHALL BE RESPONSIBLE FOR DAMAGE TO ANY PUBLIC OR PRIVATE UTILITIES SHOWN OR NOT SHOWN HEREON.
- THE SOIL REPORTS PREPARED FOR THE PROJECT IS A PART OF THIS PLAN. THE MOST STRINGENT REQUIREMENTS BY SOIL ENGINEER OR GOVERNING AGENCIES SHALL PREVAIL.
- GRADING SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS AND RECOMMENDATIONS CONTAINED IN THE SOIL REPORT FOR THIS SITE TOGETHER WITH ANY SUPPLEMENTS THERETO. ALL GRADING WORK SHALL BE DONE UNDER THE OBSERVATION OF THE SOILS ENGINEER. THE SOIL ENGINEER SHALL BE NOTIFIED 48 HOURS BEFORE THE START OF ANY GRADING.
- PRIOR TO START OF ANY WORK, CONTRACTOR MUST REVIEW THE PLANS FOR DESIGN INCONSISTENCIES AND TYPUS SUCH AS ELEVATIONS, CURB HEIGHT, DIMENSIONS, SLOPES, ETC. IF INCONSISTENCIES OR OBVIOUS TYPUS ARE FOUND, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF WORK FOR VERIFICATION BEFORE PROCEEDING WITH ANY WORK.
- THE LANDSCAPE FINISHED GRADES WITHIN FIVE FEET (TEN FEET IF BUILDING SETBACK ALLOWS) OF THE BUILDING OR STRUCTURE SHALL SLOPE AT A 2% MINIMUM FROM THE FOUNDATION. ALL EXTERIOR HARD SURFACING AREAS (INCLUDING TERRACES) SHALL BE INSTALLED WITH A 2% MINIMUM GRADIENT, AND SHALL DRAIN AWAY FROM THE BUILDING. FINISHED GRADE DRAINAGE SWALES SHALL HAVE A MINIMUM SLOPE OF 1%. MAXIMUM GRADED SLOPE IS 3:1 (3 HORIZONTAL TO 1 VERTICAL). SPOT ELEVATIONS SHOWN ON THE PLAN SHALL DICTATE ACTUAL GRADES. SURFACE SLOPE GRADES NOTED ON THE PLAN ARE APPROXIMATE.
- FOR ALL UTILITY NOTES MARKED "VERIFY", CONTRACTOR SHALL VERIFY LOCATION, SIZE, MATERIAL, ETC. OF EXISTING UTILITIES, SUCH AS WATER, GAS/SEWER, ETC., PRIOR TO STARTING CONSTRUCTION.
- SEE ARCHITECTURAL SITE PLAN AND LANDSCAPE PLAN FOR SITE INFORMATION AND NOTES NOT SHOWN HEREIN.

EARTHWORK TABLE

LOCATION	CUT (CY)	FILL (CY)	EXPORT (CY)
DRIVEWAY & SITE	20	10	
HOUSE	160	0	
TOTAL	180	10	170

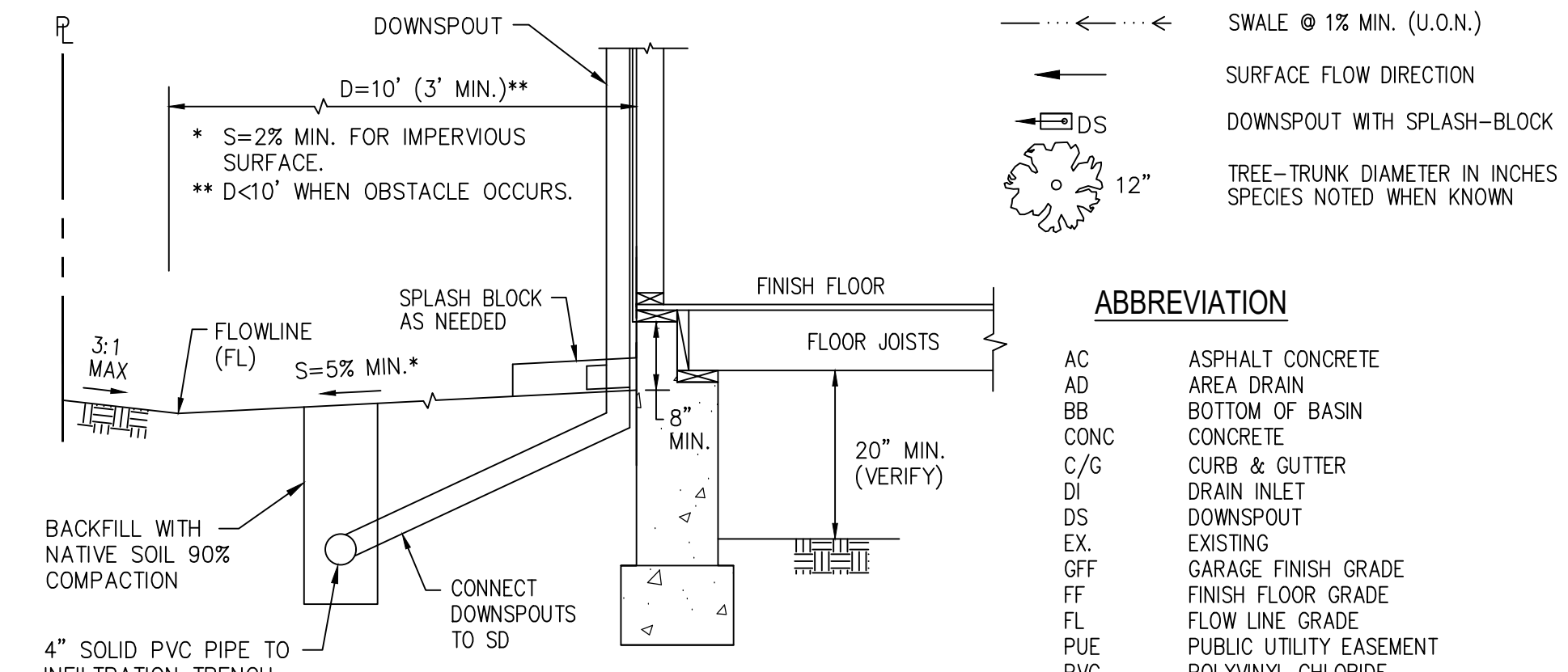
NOTE: EARTHWORK QUANTITIES SHOWN ON THIS TABLE ARE APPROXIMATE AND FOR INFORMATION ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INDEPENDENTLY ESTIMATE QUANTITIES FOR HIS/HER OWN USE.

LEGEND

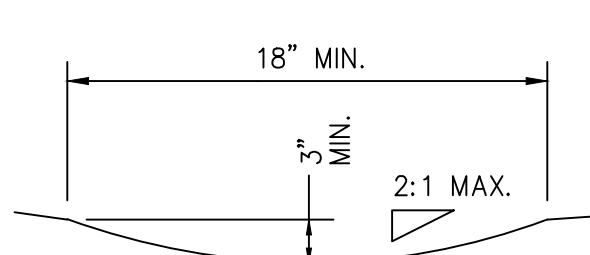
- PROPERTY LINE
- CENTERLINE
- SS --- UTILITY LINE-TYPE AS NOTED
- ELEC --- STREET LIGHT
- ELEC --- UTILITY BOX-TYPE AS NOTED
- WM --- WATER METER
- WV --- WATER VALVE
- CB --- CURB CATCH BASIN
- FH --- FIRE HYDRANT
- MH --- MANHOLE-TYPE AS NOTED
- CO --- SANITARY SEWER CLEANOUT
- PP --- POWER POLE W/ OVERHEAD WIRE
- MON --- BENCHMARK
- 200 --- MONUMENT
- CONTOUR LINE
- SWALE @ 1% MIN. (U.O.N.)
- SURFACE FLOW DIRECTION
- DS --- DOWNSPOUT WITH SPLASH-BLOCK
- 12" --- TREE-TRUNK DIAMETER IN INCHES SPECIES NOTED WHEN KNOWN

ABBREVIATION

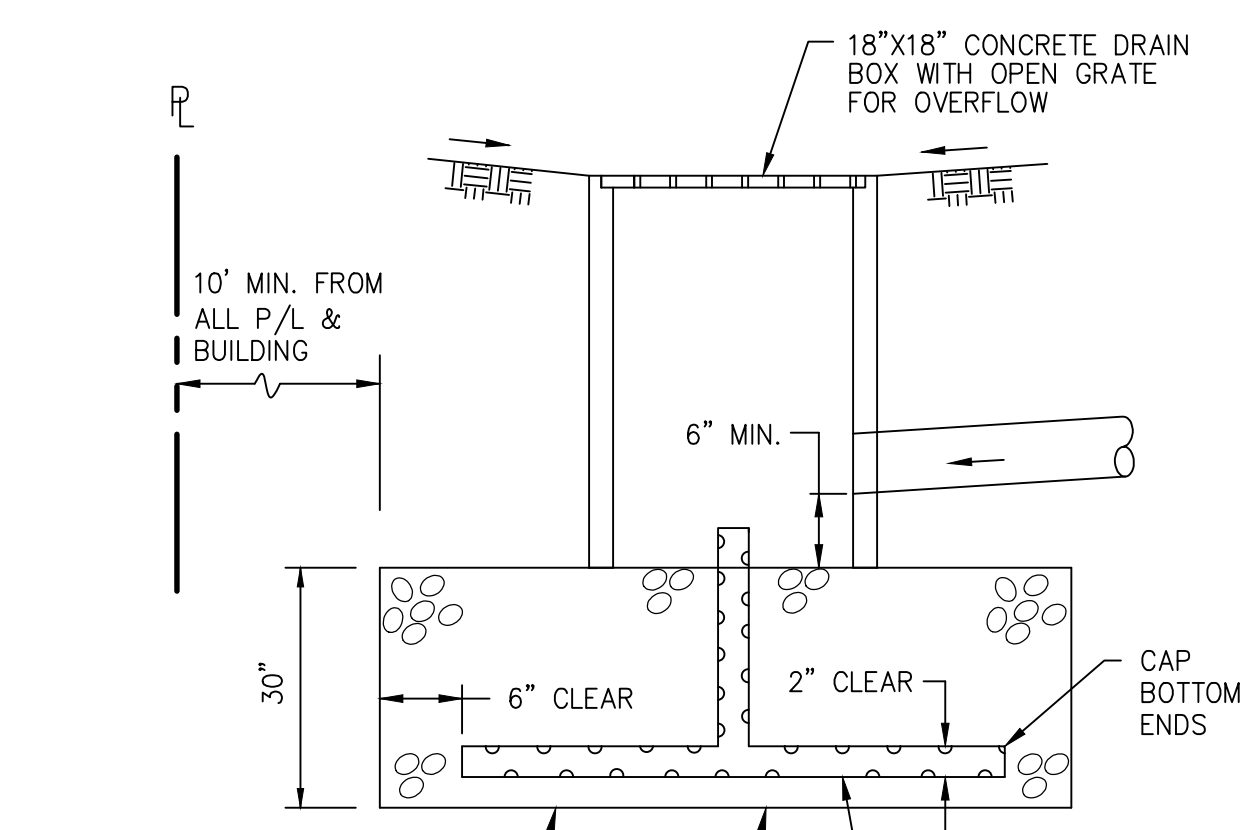
- AC --- ASPHALT CONCRETE
- AD --- AREA DRAIN
- BB --- BOTTOM OF BASIN
- CONC --- CONCRETE
- C/G --- CURB & GUTTER
- DI --- DRAIN INLET
- DS --- DOWNSPOUT
- EX --- EXISTING
- GFF --- GARAGE FINISH GRADE
- FF --- FINISH FLOOR GRADE
- FL --- FLOW LINE GRADE
- PUE --- PUBLIC UTILITY EASEMENT
- PVC --- POLYVINYL CHLORIDE
- SW --- SIDEWALK
- TB --- TOP OF BASIN
- TC --- TOP OF CURB



3 TYPICAL GRADING AROUND FOUNDATION NOT TO SCALE



2 SWALE NOT TO SCALE



1 DETENTION BASIN NOT TO SCALE

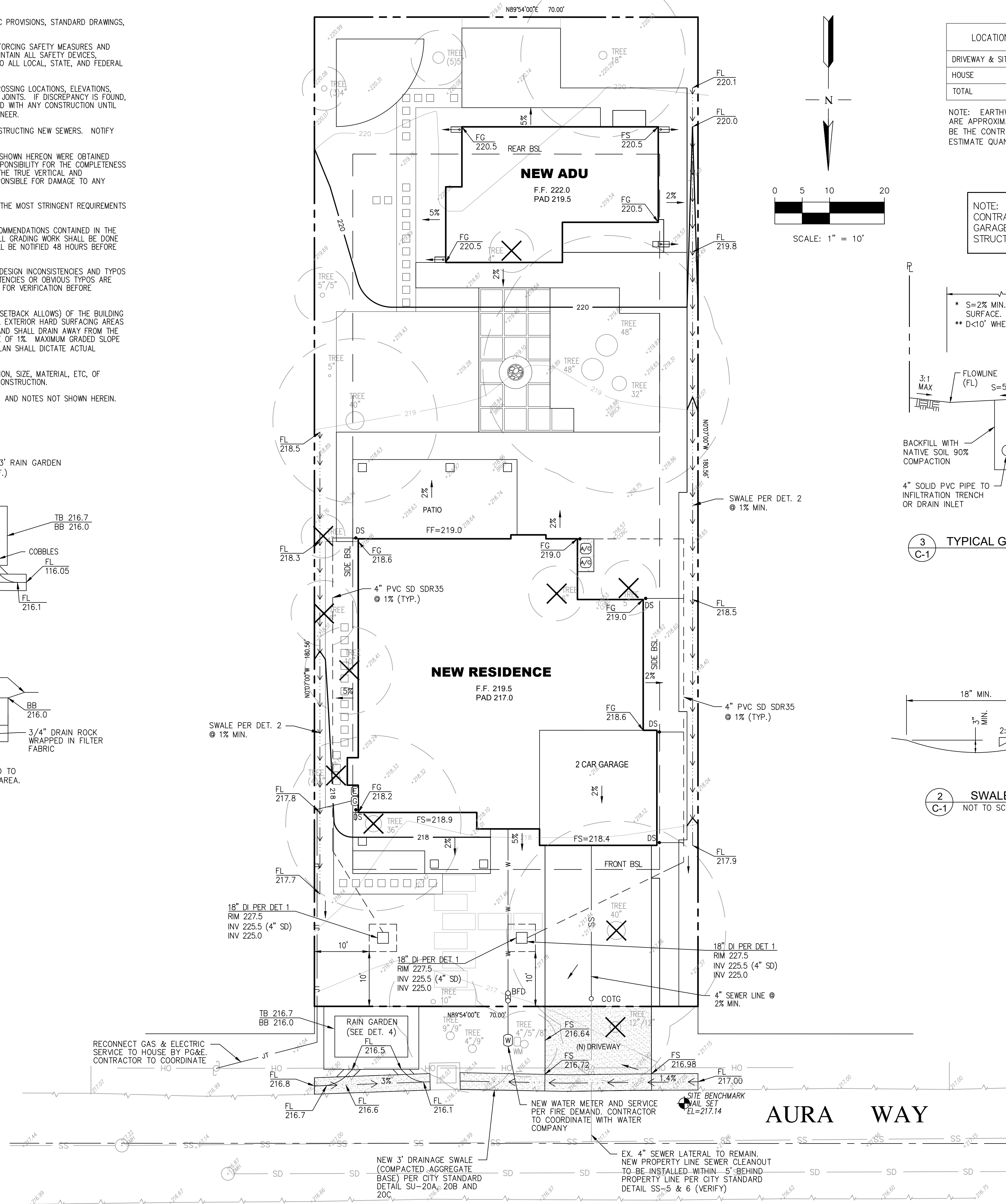
TREE PROTECTION NOTES:
 1 ALL TREE PROTECTION FENCING SHALL BE CHAIN LINK AND A MINIMUM OF FIVE FEET IN HEIGHT WITH POSTS DRIVEN INTO THE GROUND. THE TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ISSUANCE OF THE DEMOLITION PERMIT AND SHALL NOT BE REMOVED UNTIL ALL BUILDING CONSTRUCTION HAS BEEN COMPLETED.

NOTE TO CONTRACTOR:
 1. CONTRACTOR SHALL MANAGE AND CONTROL STORMWATER DURING CONSTRUCTION. INTERIM GRADING AND DRAINAGE IMPROVEMENTS SHALL BE PROVIDED TO ENSURE NO STORMWATER WILL FLOW ONTO ADJACENT PROPERTIES AND TO RETAIN AS MUCH STORMWATER AS FEASIBLE ON-SITE UNTIL FINAL GRADING AND DRAINAGE IMPROVEMENTS ARE IN PLACE.
 2. LOCATION OF DOWNSPOUTS TO BE VERIFIED IN THE FIELD.
 3. CONTRACTOR SHALL VERIFY FINISH FLOOR AND PAD ELEVATIONS WITH ARCHITECTURAL & STRUCTURAL PLANS PRIOR TO CONSTRUCTION. ADJUST ELEVATIONS AS NECESSARY.

CITY RIGHT-OF-WAY NOTES:
 1. ANY DAMAGED RIGHT-OF-WAY INFRASTRUCTURES AND OTHERWISE DISPLACED CURB, GUTTER AND/OR PARKING STRIP SHALL BE REMOVED AND REPLACED AS DIRECTED BY THE CITY ENGINEER OR HIS DESIGNEE. CONTRACTOR SHALL COORDINATE WITH PUBLIC WORKS DEPARTMENT.
 2. PRIOR TO THE COMMENCEMENT OF ANY WORK DONE IN THE PUBLIC RIGHT-OF-WAY, A PERMIT TO OPEN STREET AND/OR AN ENCROACHMENT PERMIT WILL BE REQUIRED.

SITE BENCHMARK:

SET NAIL
 ELEVATION= 217.14' NAVD 1988 DATUM



NO.	REVISION	DATE	BY
1		5/27/21	

RW ENGINEERING, INC.
 CIVIL ENGINEERS • LAND SURVEYORS
 505 ALTIMONT DRIVE
 MILPITAS, CA 95035
 (P) (408) 262-1899
 (FAX) (408) 824-5556
 rwengineering@gmail.com

REGISTERED PROFESSIONAL ENGINEER
 ROBERT Y. WANG
 50541
 RENEWAL DATE: 06-30-23
 CIVIL
 STATE OF CALIFORNIA

NEW RESIDENCE
 944 AURA WAY
 LOS ALTOS, CA
 SANTA CLARA COUNTY
 APN: 189-14-089

GRADING AND DRAINAGE PLAN

DATE: 12/8/2021
 SCALE: AS NOTED
 DESIGNED BY: RW
 DRAWN BY: RW
 SHEET NO. **C-1**

GENERAL EROSION AND SEDIMENT CONTROL NOTES:

1. THIS PLAN IS INTENDED TO BE USED FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY AND IS NOT TO BE USED FOR FINAL ELEVATIONS OR PERMANENT IMPROVEMENTS.
2. OWNER/ CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL MEASURES PRIOR, DURING, AND AFTER STORM EVENTS.
3. REASONABLE CARE SHALL BE TAKEN WHEN HAULING ANY EARTH, SAND, GRAVEL, STONE, DEBRIS, PAPER OR ANY OTHER SUBSTANCE OVER ANY PUBLIC STREET, ALLEY OR OTHER PUBLIC PLACE. SHOULD ANY BLOW, SPILL, OR TRACK OVER AND UPON SAID PUBLIC OR ADJACENT PRIVATE PROPERTY, IMMEDIATE REMEDY SHALL OCCUR.
4. SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE.
5. DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LAIDEN RUNOFF TO ANY STORM DRAINAGE SYSTEM, INCLUDING EXISTING DRAINAGE SWALES AND WATER COURSES.
6. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED. STATE AND LOCAL LAWS CONCERNING POLLUTION ABATEMENT SHALL BE COMPLIED WITH.
7. CONTRACTOR SHALL PROVIDE DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE, AND LOCAL AGENCY REQUIREMENTS.

EROSION AND SEDIMENT CONTROL MEASURES

1. THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 15 TO APRIL 15. FACILITIES ARE TO BE OPERABLE PRIOR TO OCTOBER 1 OF ANY YEAR. GRADING OPERATIONS DURING THE RAINY SEASON WHICH LEAVE DENUDED SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES.
2. THIS PLAN COVERS ONLY THE FIRST WINTER FOLLOWING GRADING WITH ASSUMED SITE CONDITIONS AS SHOWN ON THE EROSION CONTROL PLAN. PRIOR TO SEPTEMBER 15, THE COMPLETION OF SITE IMPROVEMENTS SHALL BE EVALUATED AND REVISIONS MADE TO THIS PLAN AS NECESSARY WITH THE APPROVAL OF THE CITY ENGINEER. PLANS ARE TO BE RESUBMITTED FOR CITY APPROVAL PRIOR TO SEPTEMBER 1 OF EACH SUBSEQUENT YEAR UNTIL SITE IMPROVEMENTS ARE ACCEPTED BY THE CITY AND COUNTY.
3. CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF GRADING. ALL CONSTRUCTION TRAFFIC ENTERING ONTO THE PAVED ROADS MUST CROSS THE STABILIZED CONSTRUCTION ENTRANCE WAYS. (ALSO INCLUDE THIS NOTE ON GRADING PLANS.)
4. CONTRACTOR SHALL MAINTAIN STABILIZED ENTRANCE AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS. ANY MUD OR DEBRIS TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED DAILY AND AS REQUIRED BY THE CITY AND COUNTY.
5. IF HYDROSEEDING IS NOT USED OR IS NOT EFFECTIVE BY 10/10, THEN OTHER IMMEDIATE METHODS SHALL BE IMPLEMENTED, SUCH AS EROSION CONTROL BLANKETS, OR A THREE-STEP APPLICATION OF 1) SEED, MULCH, FERTILIZER 2) BLOWN STRAW 3) TACKIFIER AND MULCH.
6. INLET PROTECTION SHALL BE INSTALLED AT OPEN INLETS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL ARE TO BE BLOCKED TO PREVENT ENTRY OF SEDIMENT.
7. LOTS WITH HOUSES UNDER CONSTRUCTION WILL NOT BE HYDROSEEDED. EROSION PROTECTION FOR EACH LOT WITH A HOUSE UNDER CONSTRUCTION SHALL CONFORM TO THE TYPICAL LOT EROSION CONTROL DETAIL SHOWN ON THIS SHEET.
8. THIS EROSION AND SEDIMENT CONTROL PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN IN THE FIELD. NOTIFY THE CITY REPRESENTATIVE OF ANY FIELD CHANGES.

MAINTENANCE NOTES

1. MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:
 - A. REPAIR DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION AT THE END OF EACH WORKING DAY.
 - B. SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.
 - C. SEDIMENT TRAPS, BERMS, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED.
 - D. SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF 1 FOOT.
 - E. SEDIMENT REMOVED FROM TRAP SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
 - F. RILLS AND GULLIES MUST BE REPAIRED.
2. ROCK BAG INLET PROTECTION SHALL BE CLEANED OUT WHENEVER SEDIMENT DEPTH IS ONE HALF THE HEIGHT OF ONE ROCK BAG.

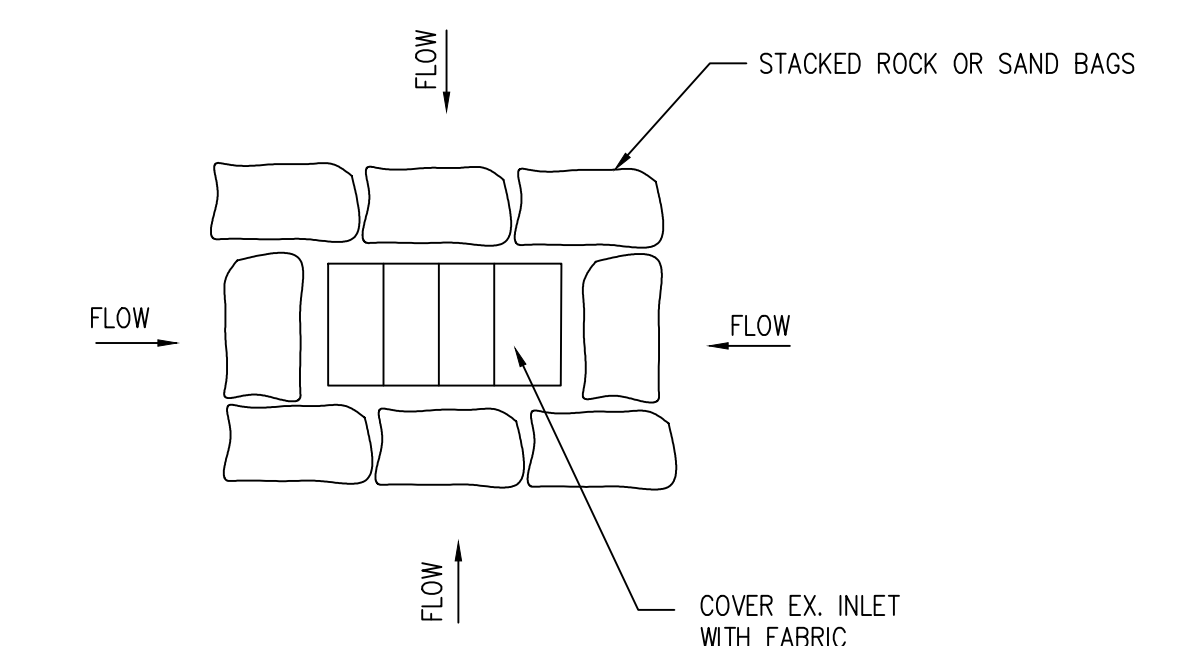
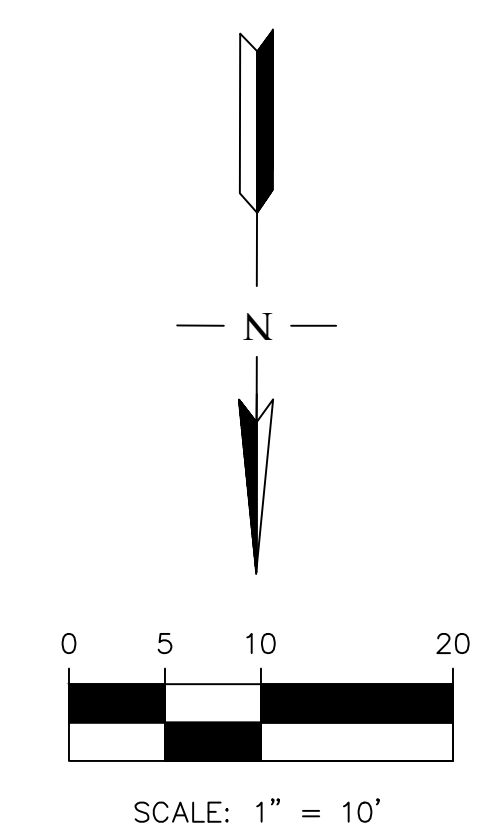
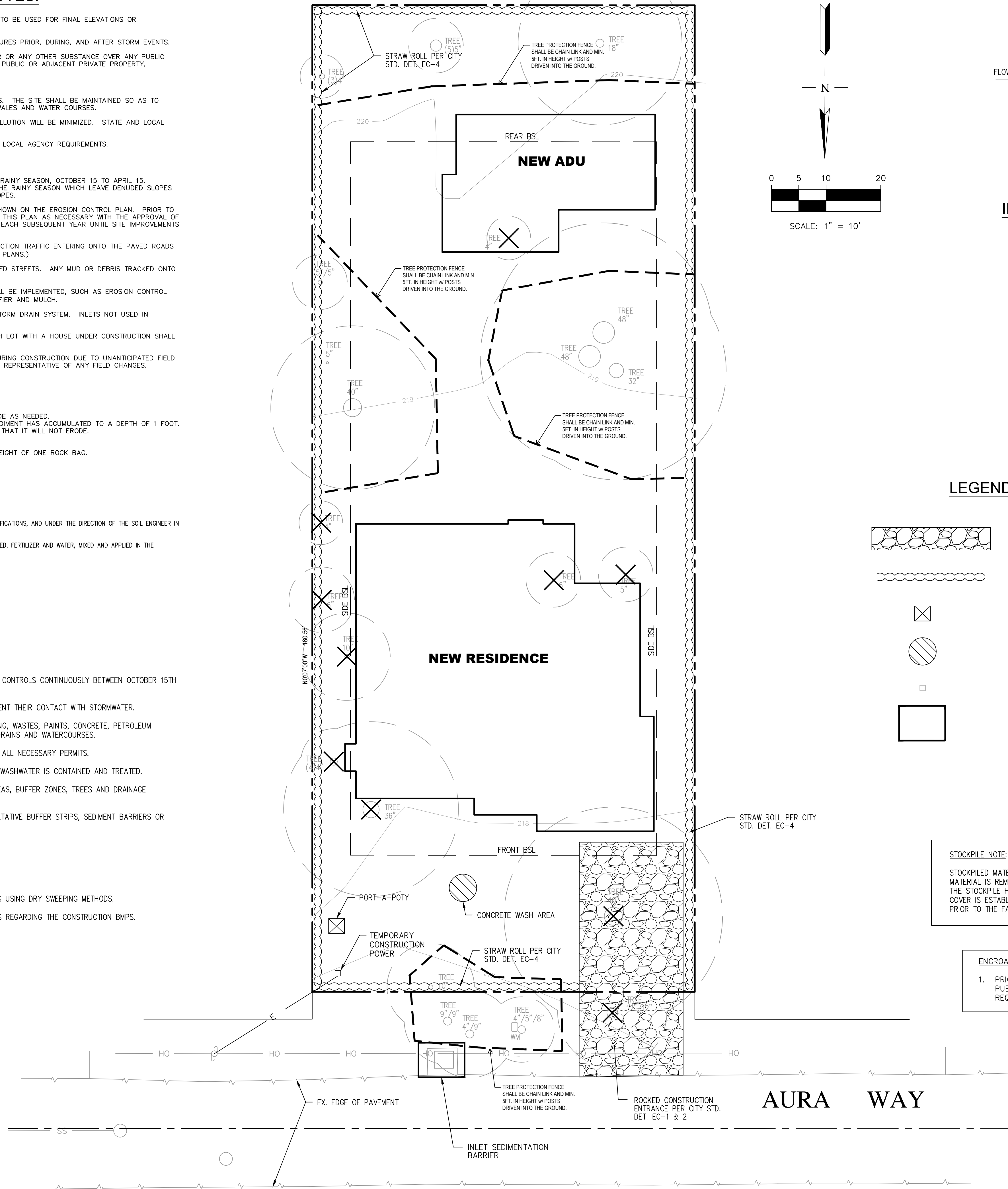
HYDROSEEDING:

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS, CALTRANS STANDARD SPECIFICATIONS, AND UNDER THE DIRECTION OF THE SOIL ENGINEER IN THE FIELD.
2. ALL AREAS SPECIFIED FOR HYDROSEEDING SHALL BE NOZZLE PLANTED WITH STABILIZATION MATERIAL CONSISTING OF FIBER, SEED, FERTILIZER AND WATER, MIXED AND APPLIED IN THE FOLLOWING PROPORTIONS AVAILABLE FROM PACIFIC COAST SEED, LIVERMORE (925) 373-4417:

FIBER (HYDROSTRAW AND TACK MULCH)	2500 LBS/ACRE
COLOR (GREEN TO GOLD)	55 LBS/ACRE
FERTILIZER (16-20-0)	350 LBS/ACRE
M-BINDER	125 LB/ACRE
WATER, AS REQUIRED FOR APPLICATION	

ADDITIONAL NOTES:

1. STABILIZE ALL DENUDED AREAS AND INSTALL AND MAINTAIN ALL TEMPORARY EROSION AND SEDIMENT CONTROLS CONTINUOUSLY BETWEEN OCTOBER 15TH AND APRIL 15TH OF EACH YEAR, UNTIL PERMANENT EROSION CONTROL HAVE BEEN ESTABLISHED.
2. STORE, HANDLE, AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTE PROPERLY, SO AS TO PREVENT THEIR CONTACT WITH STORMWATER.
3. CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAVEMENT CUTTING, WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASHWATER OR SEDIMENTS, AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATERCOURSES.
4. USE SEDIMENT CONTROLS OR FILTRATION TO REMOVE SEDIMENT WHEN DETWATERING SITE AND OBTAIN ALL NECESSARY PERMITS.
5. AVOID CLEANING, FUELING, OR MAINTENING VEHICLE ON-SITE, EXCEPT IN A DESIGNATED AREA WHERE WASHWATER IS CONTAINED AND TREATED.
6. DELINEATE WITH FIELD MARKERS CLEARING LIMITS, EASEMENTS, SETBACKS, SENSITIVE OR CRITICAL AREAS, BUFFER ZONES, TREES AND DRAINAGE COURSES.
7. PROTECT ADJACENT PROPERTIES AND UNDISTURBED AREAS FROM CONSTRUCTION IMPACTS USING VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS OR FILTERS, DIKES, MULCHING, OR OTHER MEASURES AS APPROPRIATE.
8. PERFORM CLEARING AND EARTH MOVING ACTIVITIES ONLY DURING DRY WEATHER.
9. LIMIT AND TIME APPLICATIONS OF PESTICIDES AND FERTILIZERS TO PREVENT POLLUTED RUNOFF.
10. LIMIT CONSTRUCTION ACCESS ROUTES AND STABILIZE DESIGNATED ACCESS POINTS.
11. AVOID TRACKING DIRT OR OTHER MATERIAL OFF-SITE; CLEAN OFF-SITE PAVED AREAS AND SIDEWALKS USING DRY SWEEPING METHODS.
12. THE CONTRACTOR SHALL TRAIN AND PROVIDE INSTRUCTION TO ALL EMPLOYEES AND SUBCONTRACTORS REGARDING THE CONSTRUCTION BMPs.



INLET SEDIMENTATION BARRIER
NOT TO SCALE

LEGEND

- ROCKED CONSTRUCTION ENTRANCE
- FIBER ROLL
- PORT-A-POTY
- CONCRETE WASH AREA
- TEMPORARY CONSTRUCTION POWER
- INLET SEDIMENTATION BARRIER

STOCKPILE NOTE:
STOCKPILED MATERIAL SHALL BE COVERED WITH VISQUEEN OR A TARPULIN UNTIL THE MATERIAL IS REMOVED FROM THE SITE. ANY REMAINING BARE SOIL THAT EXISTS AFTER THE STOCKPILE HAVE BEEN REMOVED SHALL BE COVERED UNTIL A NATURAL GROUND COVER IS ESTABLISHED OR IT MAY BE SEEDED OR PLANTED TO PROVIDE GROUND COVER PRIOR TO THE FALL RAINING SEASON.

ENCROACHMENT PERMIT:
1. PRIOR TO THE COMMENCEMENT OF ANY WORK DONE IN THE PUBLIC RIGHT-OF-WAY, AN ENCROACHMENT PERMIT WILL BE REQUIRED.

TREE PROTECTION FENCING NOTE:
ALL TREE PROTECTION FENCING SHALL BE CHAIN LINK AND A MINIMUM OF FIVE FEET IN HEIGHT WITH POSTS DRIVEN INTO THE GROUND. THE TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ISSUANCE OF THE DEMOLITION PERMIT AND SHALL NOT BE REMOVED UNTIL ALL BUILDING CONSTRUCTION HAS BEEN COMPLETED.

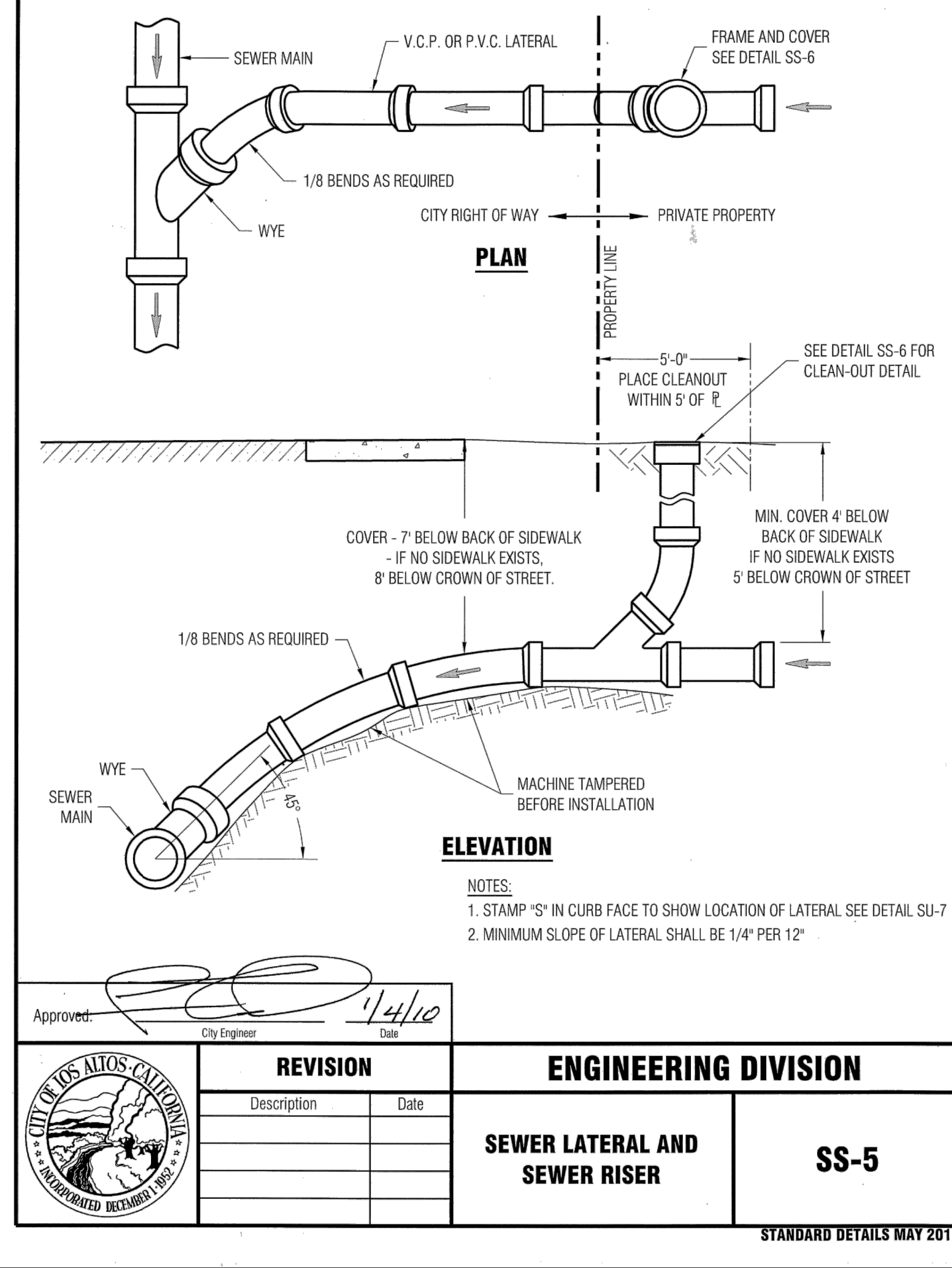
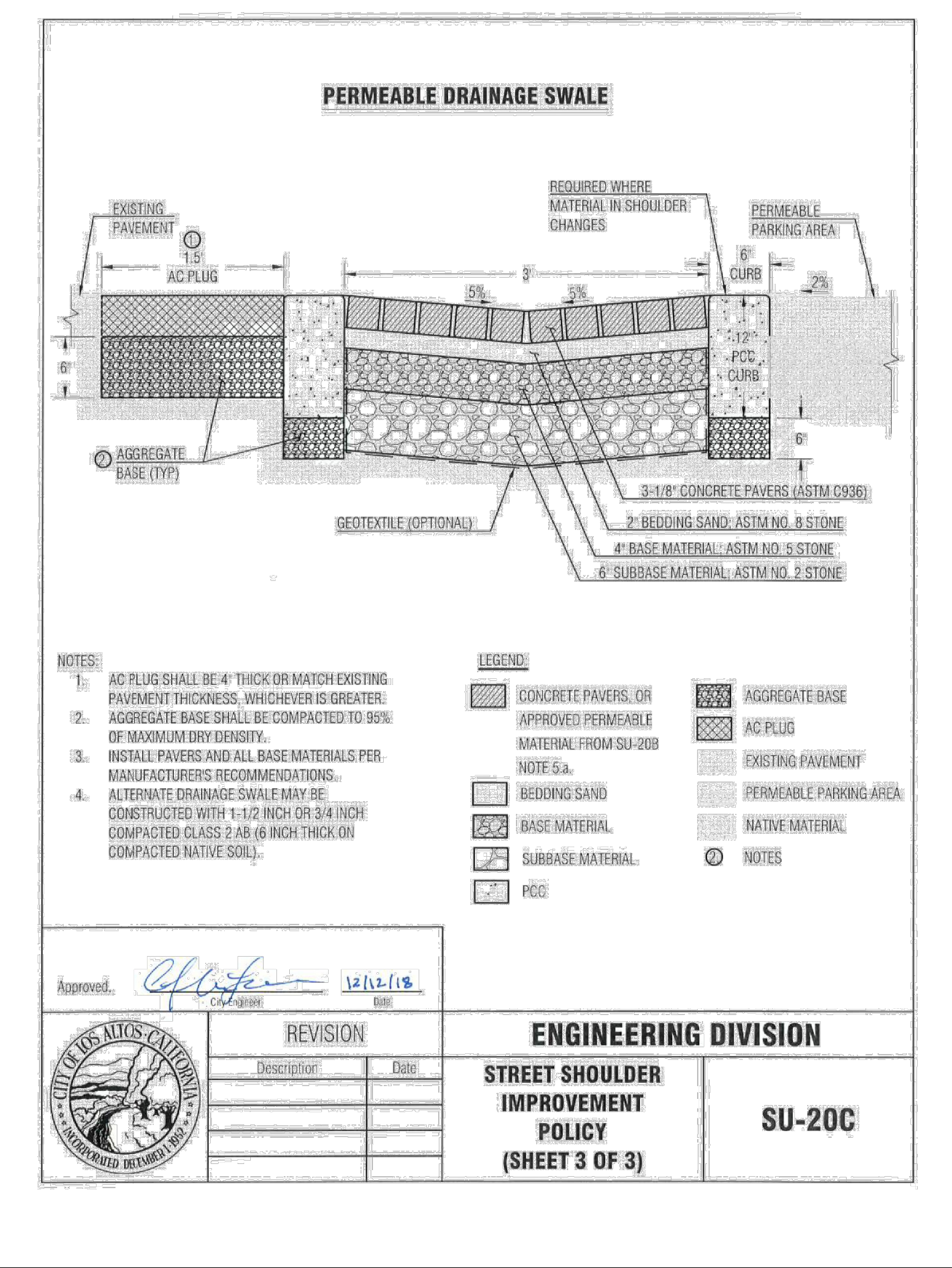
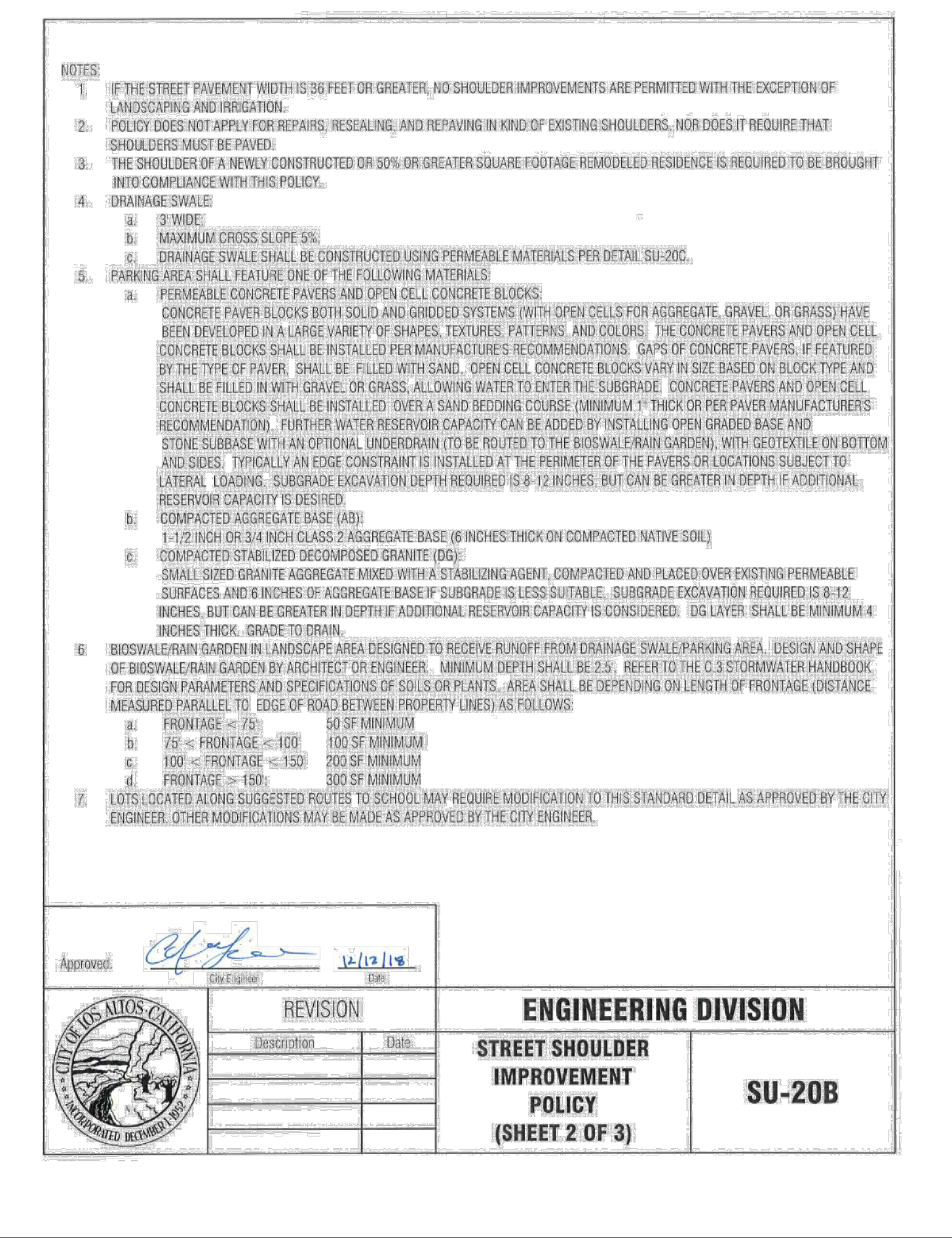
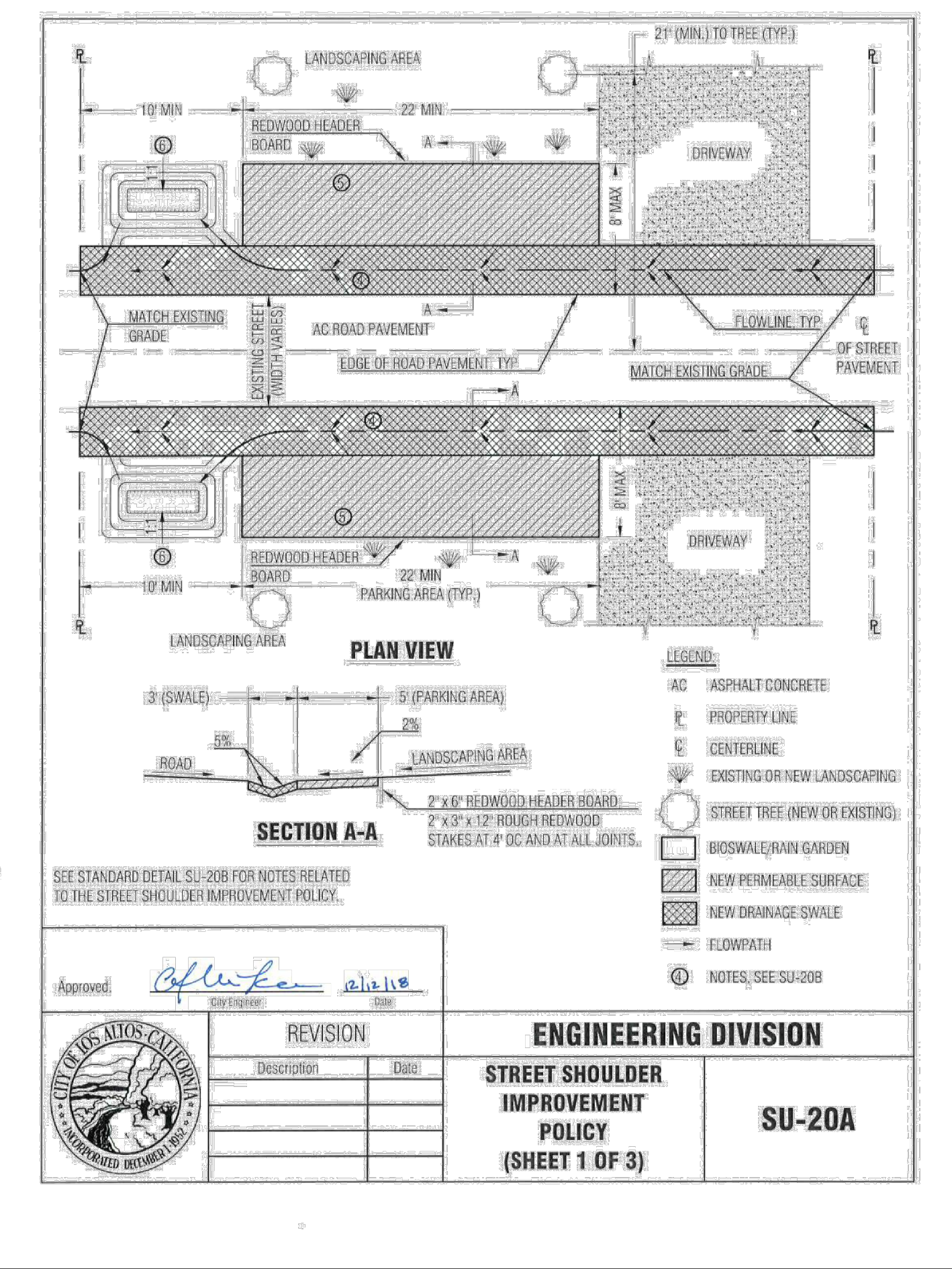
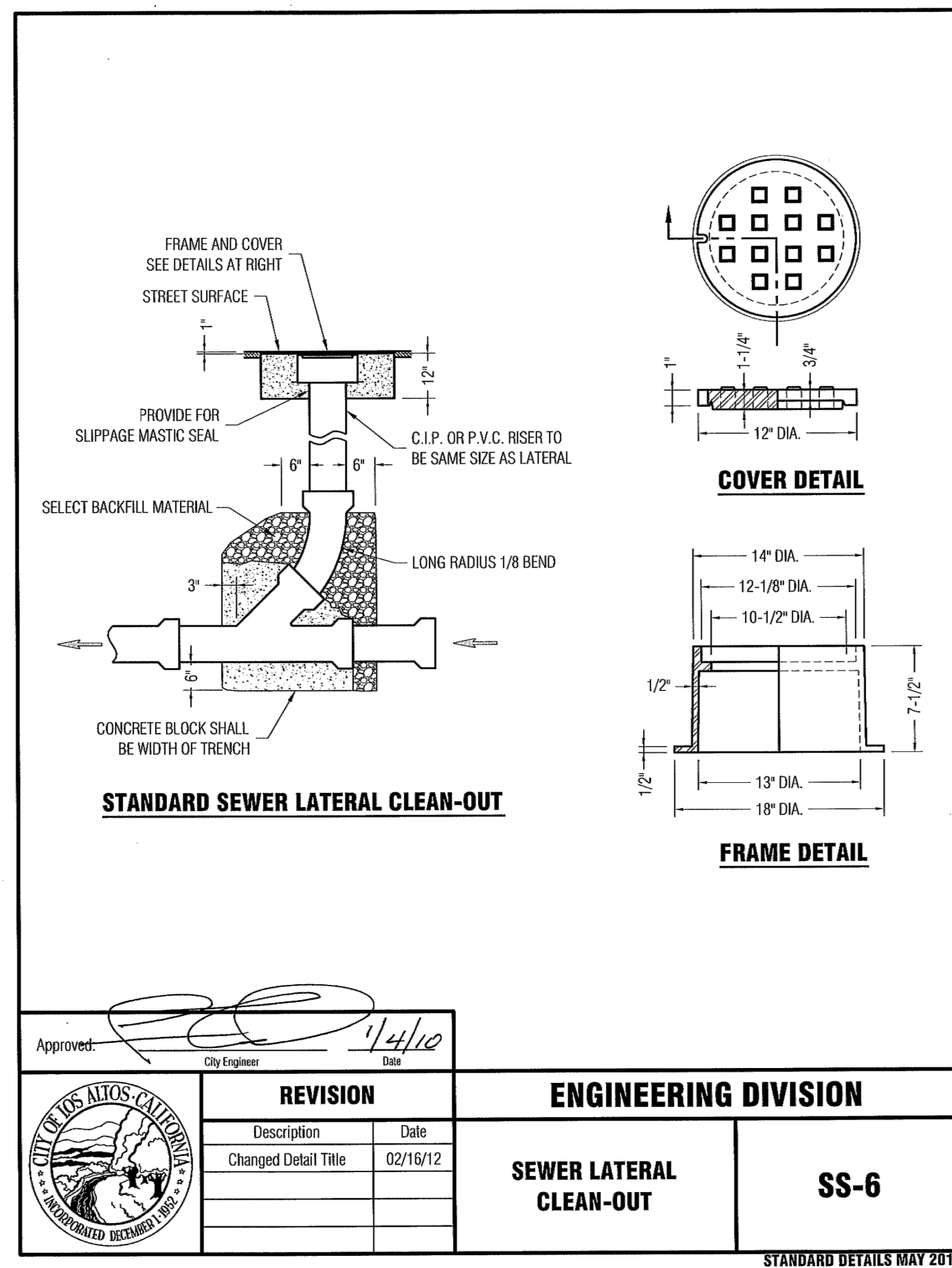
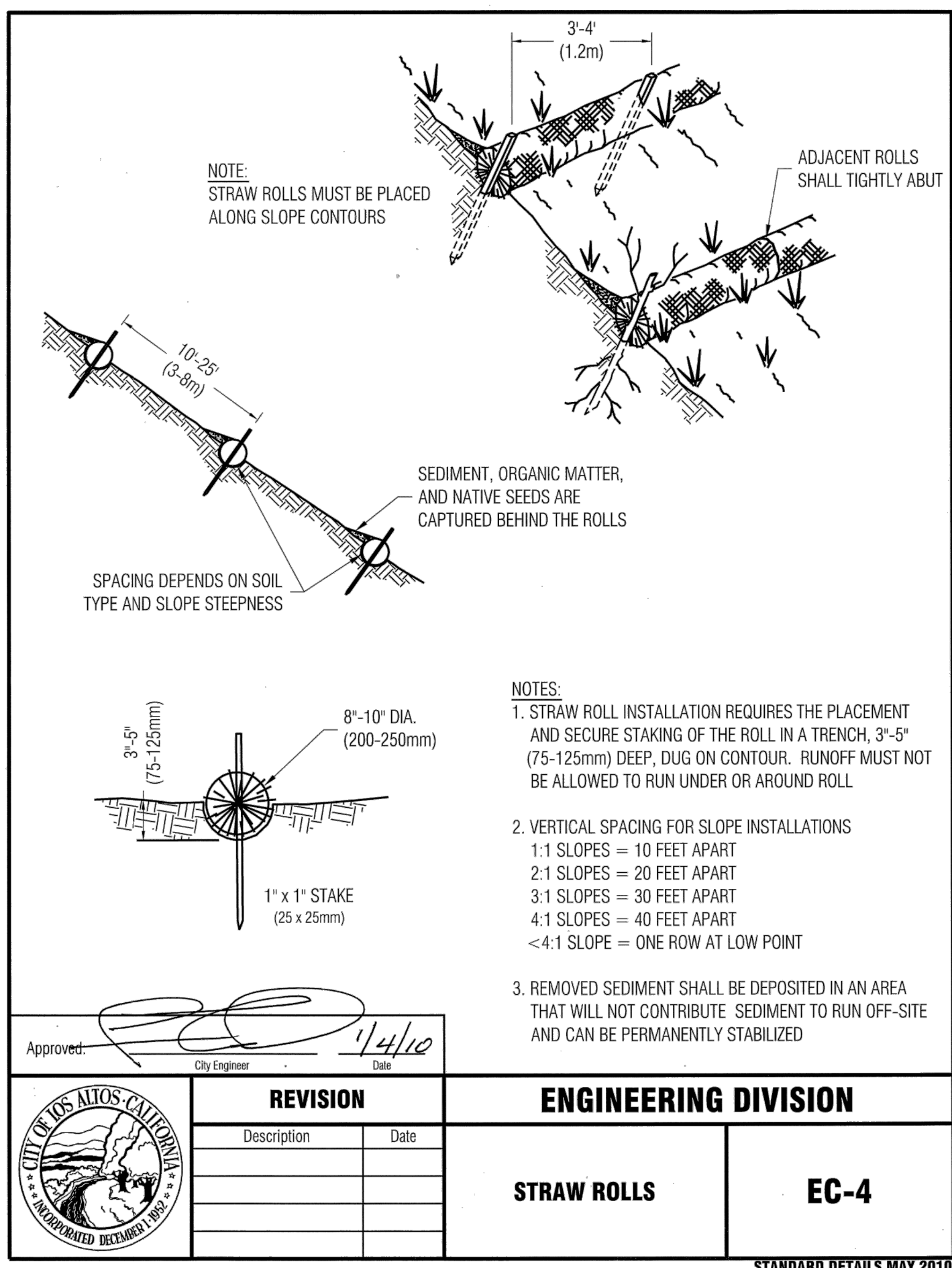
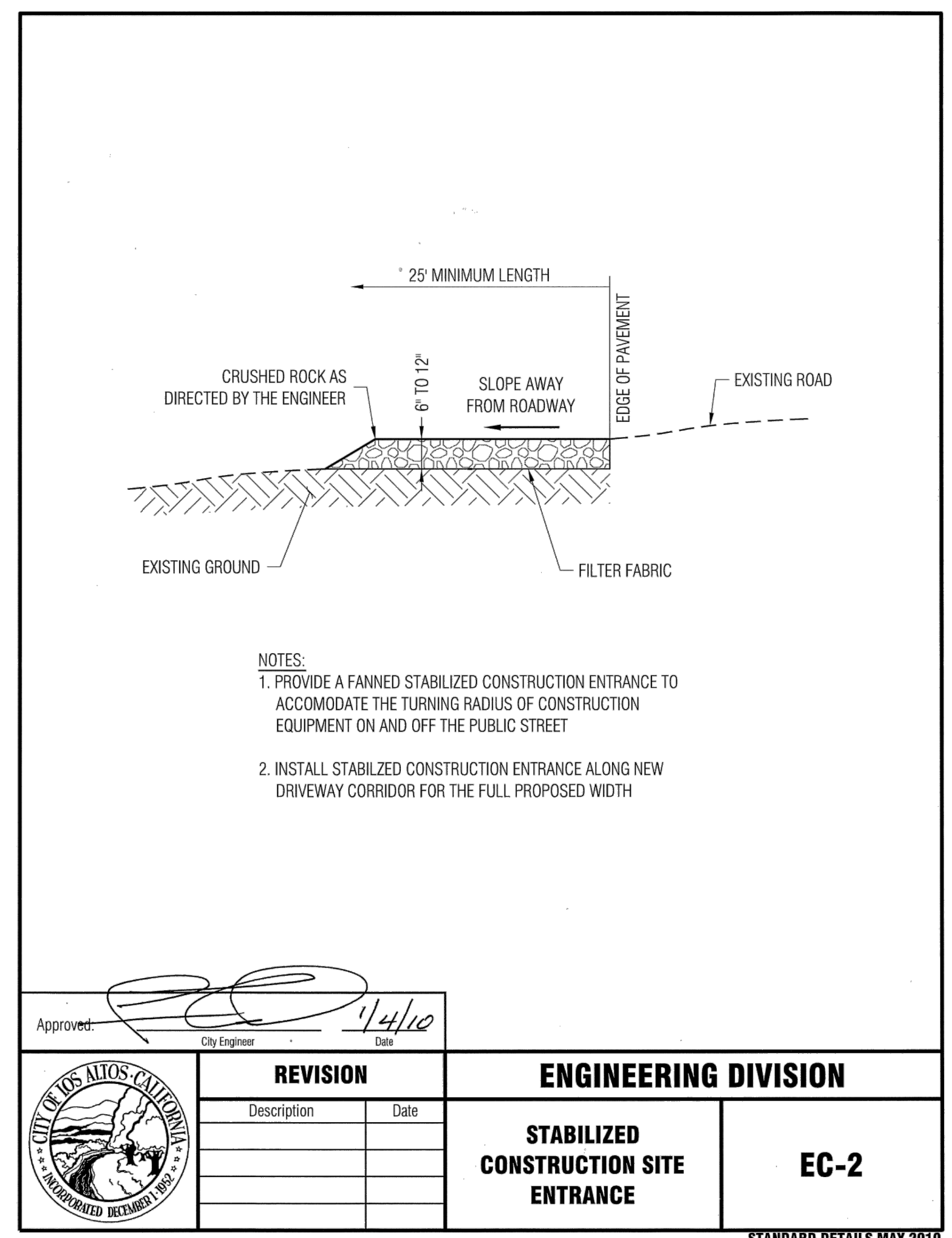
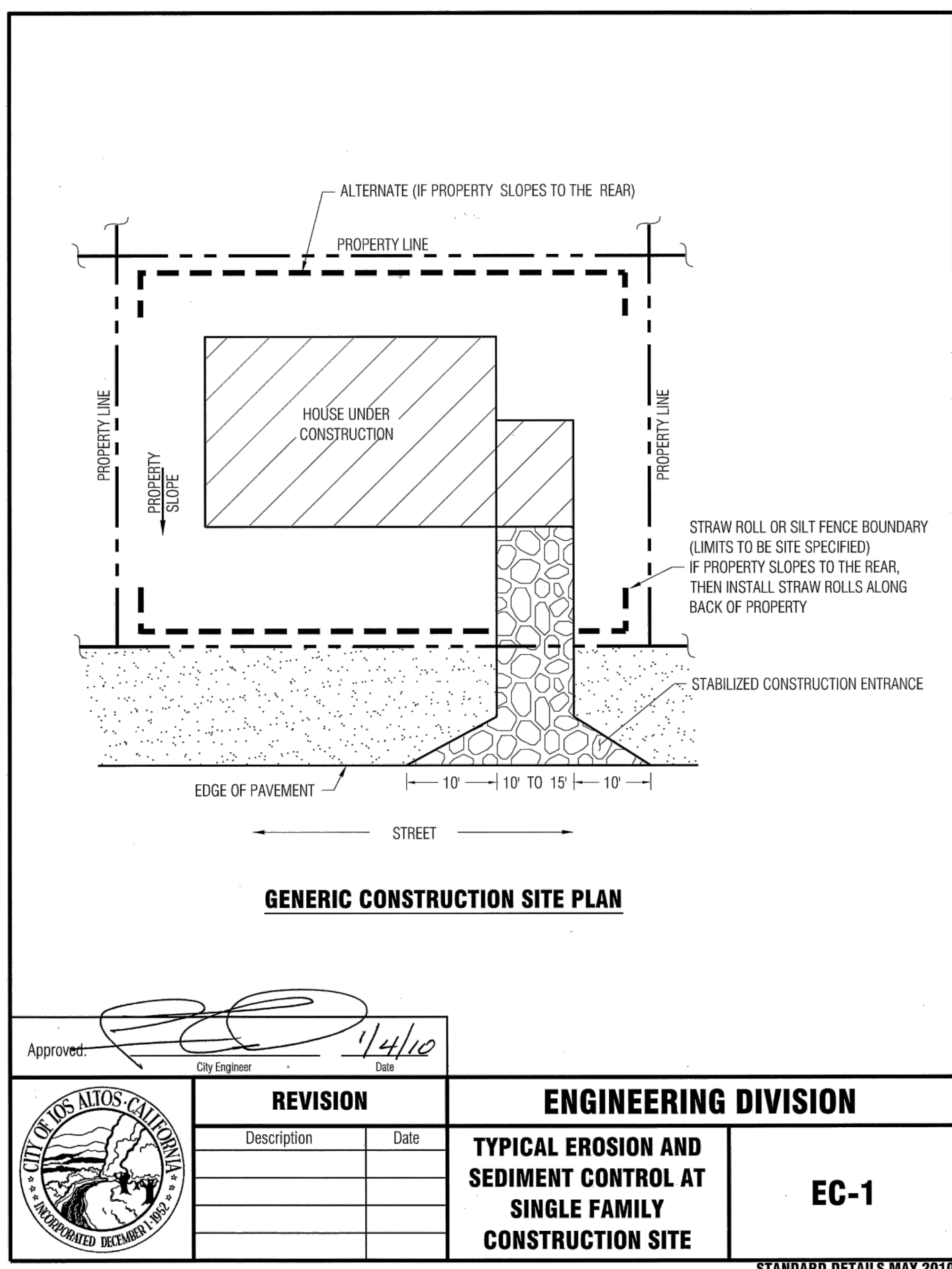
NO.	REVISION	DATE	BY
1		05/19/21	
		05/27/21	

RW ENGINEERING, INC.
CIVIL ENGINEERS • LAND SURVEYORS
505 ALTIMONT DRIVE
MILPITAS, CA 95035
(P) (408) 262-1899
(FAX) (408) 824-5556
rwengineering@gmail.com

NEW RESIDENCE
944 AURA WAY
LOS ALTOS, CA
SANTA CLARA COUNTY
APN: 189-14-089

EROSION CONTROL PLAN

DATE: 12/8/2021
SCALE: AS NOTED
DESIGNED BY: RW
DRAWN BY: RW
SHEET NO. **C-2**



DATE: 5/27/21
 REVISION: 05/19/21
 CITY COMMENTS: 05/19/21
 NO. 1

RW ENGINEERING, INC.
 CIVIL ENGINEERS • LAND SURVEYORS
 505 ALTAMONT DRIVE
 MILPITAS, CA 95035
 (P) (408) 262-1899
 (FAX) (408) 824-5556
 rweengineering@gmail.com

RW
 REGISTERED PROFESSIONAL ENGINEER
 PROPERTY Y. WAKO
 50541
 RENEWAL DATE: 06-30-23
 CIVIL ENGINEER
 STATE OF CALIFORNIA

NEW RESIDENCE
944 AURA WAY
LOS ALTOS, CA
 APN: 189-14-089
 SANTA CLARA COUNTY

STANDARD DETAILS

DATE: 12/8/2021
 SCALE: AS NOTED
 DESIGNED BY: RW
 DRAWN BY: RW
 SHEET NO.

C-3

NEW
RESIDENCE

944 AURA WAY
LOS ALTOS, CA

YH
LANDSCAPE DESIGN

3357 SAINT MICHAEL CT
PALO ALTO, CA 94306
TEL: (415) 694-0800

LICENSE STAMPS AND SIGNATURE



ISSUED

No.	Description	Date

DATE: MARCH 24, 2022

SCALE:

DRAWN: YH

JOB:

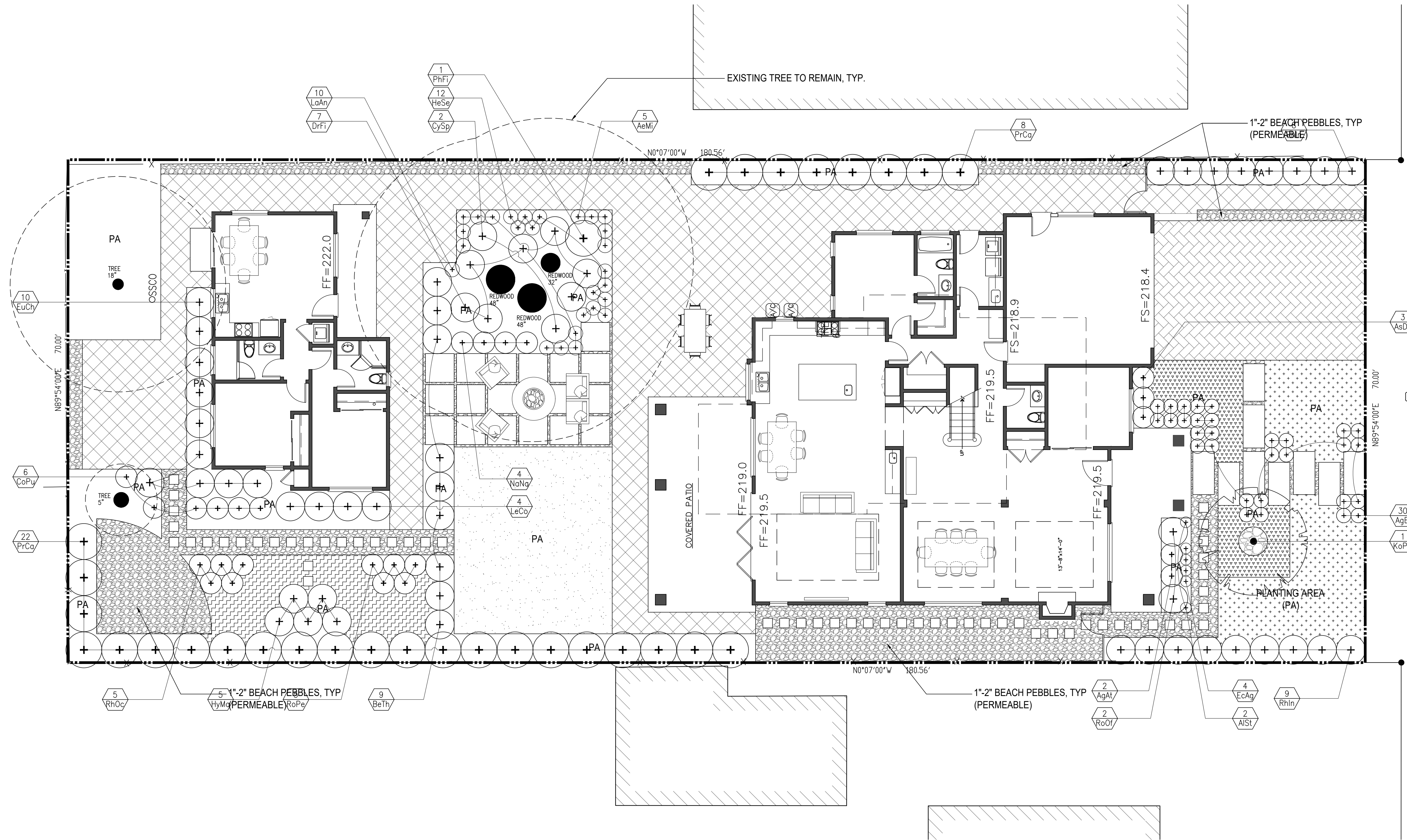
SHEET TITLE:

LANDSCAPE PLAN

SHEET NO.

L-1

AURA WAY



LANDSCAPE DESIGN NOTES

1. FIELD LOCATE ALL PLANT MATERIALS PRIOR TO INSTALLATION.
2. CONTRACTOR TO ENSURE THE HARDSCAPE AREAS SLOPE TOWARDS PLANTING AREAS. SEE CIVIL PLAN FOR GRADING AND DRAINAGE & EROSION CONTROL PLAN.
3. FINISH PLANTING AREA GRADES ADJACENT TO PAVING SHALL BE 3" BELOW FINISH PAVING GRADES.
4. INCORPORATE 4" OF COMPOST PER 1000 SF NATIVE SOIL TO A DEPTH OF 6", UNLESS OTHERWISE DICTATED BY THE SOIL FERTILITY ANALYSIS
5. PLACE A 3-INCH LAYER OF FIR BARK MULCH AS SPECIFIED ON ALL PLANTED AREAS EXCEPT NOTED AREAS ON THE PLAN.
6. QUANTITIES SHOWN ON PLAN AND PLANT SCHEDULE ARE FOR CONTRACTOR'S CONVENIENCE, CONTRACTOR TO CONFIRM ALL PLANT QUANTITIES.
7. I HAVE COMPLIED WITH THE CRITERIA OF THE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE AND HAVE APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

TREE



Goldenrain Tree, 30' H X 15' W, Growth rate: moderate

EVERGREEN SCREENING SHRUB



Carolina Cherry Laurel, 20' H X 5' W, Growth rate: fast

PLANT SCHEDULE

SYM.	BOTANICAL NAME	COMMON NAME	* WUCOLS	QUAN.	SIZE	SPACING
TREE						
KoPa	Koeleria paniculata	Goldenrain Tree	L	1	24" box	As Shown
SHRUBS						
BeTh	Berberis thunbergii 'Atropurpurea'	Red-leaf Japanese Barberry	L	9	15 gal.	4' O.C.
CoPu	Coleonema Pulchrum 'Sunset Gold'	Golden Breath of Heaven	M	6	15 gal.	3' O.C.
CySp	Cytisus x spachianus	Sweet Broom	L	2	15 gal.	5' O.C.
HyMa	Hydrangea macrophylla	Bigleaf Hydrangea	M	5	15 gal.	4' O.C.
LaAn	Lavandula angustifolia	English Lavander	L	10	15 gal.	2' O.C.
LeCo	Leucospermum cordifolium	Nodding Pincushion	L	4	15 gal.	4' O.C.
NaNa	Nandina domestica 'Nana Purpurea'	Dwarf Sacred Bamboo	M	4	15 gal.	3' O.C.
PrCa	Prunus caroliniana	Carolina Cherry Laurel	L	30	15 gal.	5' O.C.
RhIn	Rhaphiolepis indica	Indian Hawthorn 'Pink Lady'	M	17	15 gal.	5' O.C.
RhOc	Rhododendron occidentale	Western Azalea	M	5	15 gal.	3' O.C.
RoPe	Rosa 'Perle d'Or'	Perle d'Or Rose	M	5	15 gal.	3' O.C.
RoOf	Rosmarinus officinalis 'Upright'	Upright Rosemary	L	2	15 gal.	4' O.C.
PERENNIAL and GROUNDCOVER						
AeMi	Aeonium 'Mint Saucer'	Mint Saucer Aeonium	L	4	5 gal.	2' O.C.
AgAt	Agave attenuata	Fox Tail Agave	L	2	15 gal.	5' O.C.
AgBl	Agave 'Blue Glow'	Blue Glow Agave	L	30	15 gal.	2.5' O.C.
AlSt	Aloe striata	Coral Aloe	L	2	15 gal.	2' O.C.
AsDe	Asparagus densiflorus	Foxtail Fern	M	3	15 gal.	3' O.C.
CaPa	Carex pansa	California Meadow Sedge	L	214	1 gal.	18" O.C.
DrFi	Dryopteris filix-mas	Male Fern	M	7	15 gal.	4' O.C.
DyMa	Dymondia margaretae	Silver Carpet	L	115	1 gal.	18" O.C.
EcAg	Echeveria agavoides 'Romeo'	Romeo Wax Agave	L	4	15 gal.	18" O.C.
EuCh	Euphorbia characias 'wulfenii'	Euphorbia (shrub-like)	L	10	15 gal.	5' O.C.
HeSe	Helictotrichon sempervirens	Blue Oat Grass	L	22	5 gal.	2' O.C.
PhFi	Phormium 'Firebird'	'Firebird' New Zealand Flax	L	1	15 gal.	5' O.C.
ThSe	Thymus serpyllum	Creeping Thyme	M	32	5 gal.	3' O.C.
GrBl	90% Tall Fescue & 10% Kentucky Bluegrass Blend	Sod Lawn	M	572 SF		

* WUCOLS water usage level: H-High, M-Moderate, L-Low and VL-Very Low

NEW RESIDENCE

944 AURA WAY
LOS ALTOS, CA

YH
LANDSCAPE DESIGN

3357 SAINT MICHAEL CT
PALO ALTO, CA 94306
TEL: (415) 694-0800

LICENSE STAMPS AND SIGNATURE



ISSUED

No.	Description	Date

DATE: MARCH 24, 2022
SCALE: AS SHOWN
DRAWN: YH
JOB:

SHEET TITLE:

PLANTING SCHEDULE & PLANT PHOTOS

SHEET NO.