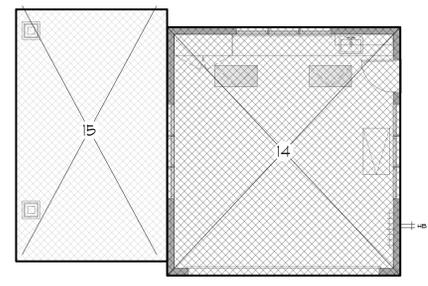
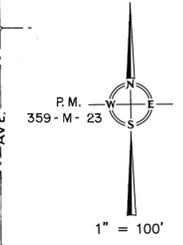
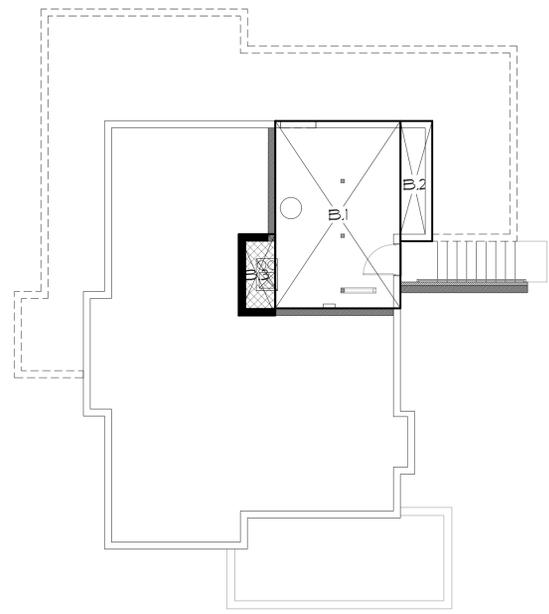


TRA DET. MAP 023
LAWRENCE E. STONE - ASSESSOR
Cadastral map for assessment purposes only.
Compiled under R. & T. Code, Sec. 327.
Effective Roll Year 2020-2021

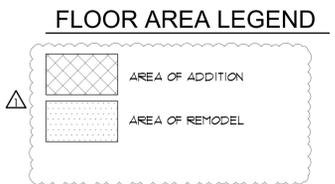
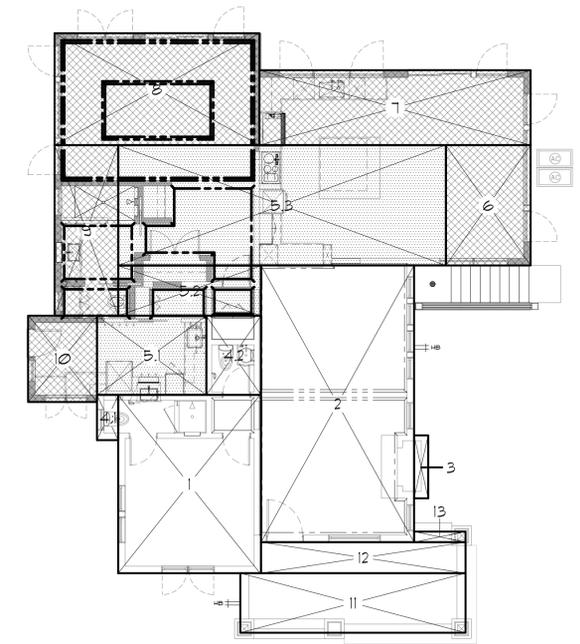


FLOOR CALCULATIONS		
SECTION	DIMENSIONS	AREA
HABITABLE AREAS		
1	13'5.75" x 28'11"	389.77 Sq.ft.
2	14'5.25" x 26'0"	375.38 Sq.ft.
3	14" x 5'11"	7.89 Sq.ft.
4	2'0" x 11'5.5"	22.92 Sq.ft.
EXISTING HABITABLE AREA (NO CHANGE):		795.94 Sq.ft.
4	2'0" x 11'5.5"	22.92 Sq.ft.
5	30'10.75" x 11'3.5"	348.82 Sq.ft.
EXISTING HABITABLE AREA TO BE REMODELED:		371.73 Sq.ft.
6	8'0" x 11'3.75"	90.50 Sq.ft.
7	25'6.5" x 7'0.25"	179.32 Sq.ft.
8	19'4.75" x 10'8"	203.66 Sq.ft.
9	6'0.25" x 16'0.25"	96.46 Sq.ft.
10	6'6" x 8'1.25"	52.68 Sq.ft.
NEW HABITABLE AREA, ADDITION:		622.61 Sq.ft.
TOTAL EXISTING, REMODELED HABITABLE AREA:		1167.67 Sq.ft.
TOTAL EXISTING, REMODELED AND NEW HABITABLE AREA:		1790.27 Sq.ft.
NON-HABITABLE AREAS (COVERED PORCH & GARAGE)		
11	21'3" x 5'5.75"	116.43 Sq.ft.
12	19'3.5" x 2'11.5"	57.07 Sq.ft.
13	4'10.25" x 0'11.5"	4.65 Sq.ft.
EXISTING REMODELED NON-HABITABLE AREA:		178.15 Sq.ft.
14	23'4" x 23'4"	544.44 Sq.ft.
15	12'8" x 23'4"	295.56 Sq.ft.
NEW NON-HABITABLE AREA, ADDITION:		839.99 Sq.ft.
TOTAL EXISTING AND NEW NON-HABITABLE AREA:		1018.14 Sq.ft.
BASEMENT NON-HABITABLE AREAS		
B1	11'9.75" x 18'3.25"	215.82 Sq.ft.
B2	3'0" x 10'11.5"	32.88 Sq.ft.
EXISTING BASEMENT, NON-HABITABLE AREA:		248.70 Sq.ft.
B3	3'5.25" x 7'7.75"	26.28 Sq.ft.
NEW BASEMENT, NON-HABITABLE AREA:		26.28 Sq.ft.
TOTAL EXISTING AND NEW NON-HABITABLE BASEMENT AREA:		59.16 Sq.ft.
TOTALS		
TOTAL EXISTING RESIDENCE AREA:		1345.81 Sq.ft.
TOTAL NEW RESIDENCE AREA:		2808.41 Sq.ft.

FLOOR AREA CALCULATIONS



BASEMENT FLOOR AREA DIAGRAM
SCALE: 1/8" = 1'-0"



FLOOR AREA DIAGRAM AND COVERAGE CALCULATIONS
SCALE: 1/8" = 1'-0"



DESIGNER:
BROWNHOUSE DESIGN, INC.
101 MAIN ST. LOS ALTOS, CA 94022

ARCHITECT OF RECORD:
DAVID BARNIA, ARCHITECT
270 PROMISE WAY
HOLLISTER, CA 95023



CITY SUBMITTAL	
FINISH PLANS	
REVISIONS	BY
90% SET 12/18/2021	LM
PLANNING 01/10/2022	LM
RESPONSE TO PLANNING 05/27/2022	LM
RESPONSE TO MILLS ACT 07/06/2022	LM

DO NOT SCALE THE DRAWINGS DIMENSIONS TAKE PRECEDENCE. REPORT ANY AND ALL DISCREPANCIES TO THE DESIGNER.

WHEN PRINTING PDF-SET SCALE TO "NONE" OTHERWISE DRAWING WILL NOT PRINT TO SCALE.

SCUSSEL-RIFFLE RESIDENCE REMODEL
151 HAWTHORNE AVENUE
LOS ALTOS, CA 94022

APN: 170-41-030

DRAWN BY: LMDB
CHECKED BY: = 1'-0"
SCALE:
DATE: 07/11/2022

T.2

REVISIONS	BY
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SCUSSEL-RIFFLE RESIDENCE REMODEL
151 HAWTHORNE AVENUE
LOS ALTOS, CA 94022
APN: 170-41-030

DRAWN BY: LMDB
CHECKED BY: [Signature] = 1'-0"
SCALE:
DATE: 07/11/2022

T.2

EXISTING FLOOR SPACE UNDER ROOF CALCULATIONS

SECTION		DIMENSIONS		HABITABLE AREA:	AREA
1		1'11.75"	x	3'8.875"	7.40 Sq.ft.
2		13'5.75"	x	16'2.875"	218.90 Sq.ft.
3		14'5.25"	x	26'0"	375.38 Sq.ft.
4		1'4"	x	5'11"	7.89 Sq.ft.
EXISTING HABITABLE AREA:					609.56 Sq.ft.
5		13'5.75"	x	7'11.375"	107.13 Sq.ft.
6		13'5.75"	x	4'9.125"	64.17 Sq.ft.
7		30'11"	x	1'13.5"	349.10 Sq.ft.
EXISTING HABITABLE AREA TO BE REMODELED:					520.40 Sq.ft.
NON-HABITABLE AREAS (COVERED PORCH & GARAGE)					
8		4'10.25"	x	0'11.5"	4.65 Sq.ft.
9		19'3.5"	x	2'11.5"	57.07 Sq.ft.
10		21'3"	x	5'5.75"	116.43 Sq.ft.
EXISTING NON-HABITABLE AREA TO BE REMODELED:					178.16 Sq.ft.
11		16'5"	x	18'7"	305.08 Sq.ft.
EXISTING NON-HABITABLE AREA TO BE REMOVED, REPLACED w/ NEW:					305.08 Sq.ft.
TOTAL EXISTING RESIDENCE AREA:					1129.96 Sq.ft.
EXISTING NON-HABITABLE AREA TO BE REMODELED:					178.16 Sq.ft.
EXISTING HABITABLE AREA:					1129.96 Sq.ft.

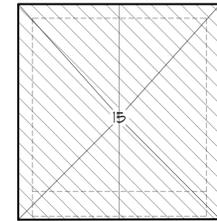
EXISTING ROOF AREA DIAGRAM CALCULATIONS

SECTION	DIMENSIONS		AREA	
1	3'6.25"	x	3'0.5"	10.71 Sq.ft.
2	3'1"	x	7'10.5"	24.28 Sq.ft.
3	25'7"	x	3'1"	78.88 Sq.ft.
4	2'9"	x	2'6.25"	6.93 Sq.ft.
5	12'6"	x	15'2.75"	190.36 Sq.ft.
6	1'2.5"	x	3'0.5"	3.68 Sq.ft.
7	3'1.75"	x	7'1.75"	22.48 Sq.ft.
8	16'2"	x	12'3"	198.04 Sq.ft.
9	14'9.5"	x	11'3.75"	167.33 Sq.ft.
10	19'9.5"	x	13'4.5"	264.71 Sq.ft.
EXISTING ROOF AREA (NO CHANGE):				967.41 Sq.ft.
11	19'9.5"	x	3'0.75"	60.61 Sq.ft.
12	35'7"	x	15'11.5"	567.85 Sq.ft.
13	18'6.5"	x	3'0.5"	56.40 Sq.ft.
14	19'9"	x	4'10.25"	95.87 Sq.ft.
EXISTING ROOF AREA (ALTERATION):				780.73 Sq.ft.
15	19'1"	x	20'3"	386.44 Sq.ft.
EXISTING ROOF AREA (REMOVED, REPLACED)				386.44 Sq.ft.
TOTAL EXISTING ROOF AREA:				2134.58 Sq.ft.
EXISTING ROOF AREA OF WORK:				1167.17 Sq.ft.
PERCENTAGE OF ROOF REMODEL AREA:				54.68%
PERCENTAGE OF TOTAL ROOF AREA OF WORK:				36.58%

FLOOR AREA LEGEND

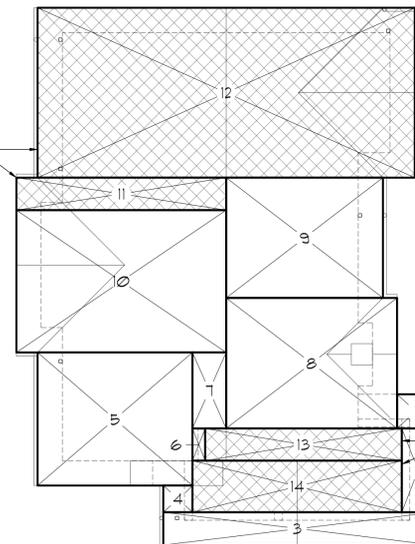
- AREA OF REMODEL
- AREA OF CEILING REMODEL/ ALTERATION
- AREA OF REMOVED GARAGE TO BE REPLACED

EXISTING FLOOR SPACE UNDER ROOF CALCULATIONS
SCALE: 1/8" = 1'-0"



(E)SHED OVER & REMOVED AND REPLACED w/ NEW STRUCTURE. ROOF DIAGONAL HATCH INDICATES WHERE STRUCTURE WILL BE AFFECTED, REMOVED. CALCULATIONS PROVIDED TO THE LEFT.

EXISTING ROOF FRAMING THIS AREA TO BE REVISED PER NEW ROOF PLAN. DIAGONAL HATCH INDICATES WHERE ROOF FRAMING STRUCTURE WILL BE AFFECTED. CALCULATIONS PROVIDED TO THE LEFT.



EXISTING ROOF FRAMING THIS PORCH AREA TO REMAIN. CROSS HATCH INDICATES WHERE NEW CEILING FRAMING AT COVERED PORCH AND FINISH WILL BE VAULTED. CALCULATIONS PROVIDED TO THE LEFT.

ROOF AREA LEGEND

- AREA OF REMOVED ROOF STRUCTURE
- AREA OF ALTERATIONS TO CEILING

EXISTING ROOF AREA DIAGRAM CALCULATIONS
SCALE: 1/8" = 1'-0"

CITY SUBMITTAL

BID SET

FINISH PLANS

REVISIONS	BY
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SCUSSEL-RIFFLE RESIDENCE REMODEL
151 HAWTHORNE AVENUE
LOS ALTOS, CA 94022

APN: 170-41-030

DRAWN BY: LMD8
CHECKED BY: AS NOTED
SCALE:
DATE: 07/11/2022

A1.0

TREE INVENTORY

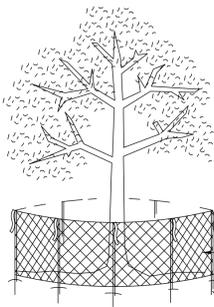
NOTE: TREE INVENTORY PROVIDED FOR REFERENCE. SEE SEPARATE TREE INVENTORY REPORT BY MCGUIRE TREE CARE, INC.

#	TREE	NOTES
1	(E) ±1" ± SHRUB	REMOVE
2	(E) ±12.5" ± DBH OLIVE	REMOVE
3	(E) ±16.5" ± DBH OAK	DO NOT REMOVE. PROTECT TREE PER TREE PROTECTION DETAIL(S) THIS SHEET
4	(E) ±1" ± SHRUB	REMOVE
5	(E) ±1.5" ± DBH OLIVE	REMOVE
6	(E) ±8.5" ± DBH OLIVE	REMOVE
7	(E) ±6.5" ± DBH OLIVE	REMOVE
8	(E) ±18.75" ± DBH PALM	REMOVE
9	(E) ±19.5" ± DBH PALM	REMOVE
10	(E) ±2" ± SHRUB	REMOVE
11	(E) ±2" ± SHRUB	REMOVE
12	(E) ±2" ± SHRUB	REMOVE
13	(E) ±18" ± REDWOOD	SEE SEPARATE LANDSCAPE DESIGN DRAWINGS
14	(E) ±18" ± REDWOOD	REMOVE
15	(E) ±18" ± REDWOOD	SEE SEPARATE LANDSCAPE DESIGN DRAWINGS
16	(E) ±18" ± REDWOOD	REMOVE
17	(E) ±18" ± REDWOOD	SEE SEPARATE LANDSCAPE DESIGN DRAWINGS
18	(E) ±19" ± SMALL PALM	REMOVE
19	(E) ±4.5" ± SHRUB	REMOVE
20	(E) ±15.5" ± DBH EVERGREEN	REMOVE (DEODARA CEDAR)
21	(E) ±1.5" ± SMALL PALM	REMOVE
22	(E) ±4" ± SMALL PALM	REMOVE
23	(E) ±3.05" ± SMALL PALM	REMOVE
24	(E) ±10" ± SMALL PALM	REMOVE

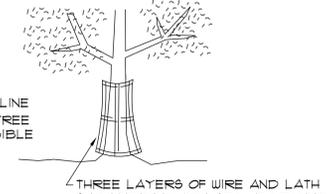
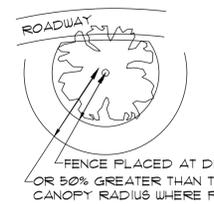
*ALL TREE PROTECTION FENCING SHALL BE CHAIN LINK AND A MINIMUM OF FIVE FEET IN HEIGHT WITH POSTS DRIVEN INTO THE GROUND AND SHALL NOT BE REMOVED UNTIL ALL BUILDING CONSTRUCTION HAS BEEN COMPLETED UNLESS APPROVED BY THE PLANNING DIVISION.

*SEE SEPARATE LANDSCAPE DESIGN DRAWINGS AND SURVEY FOR ADDITIONAL INFORMATION.

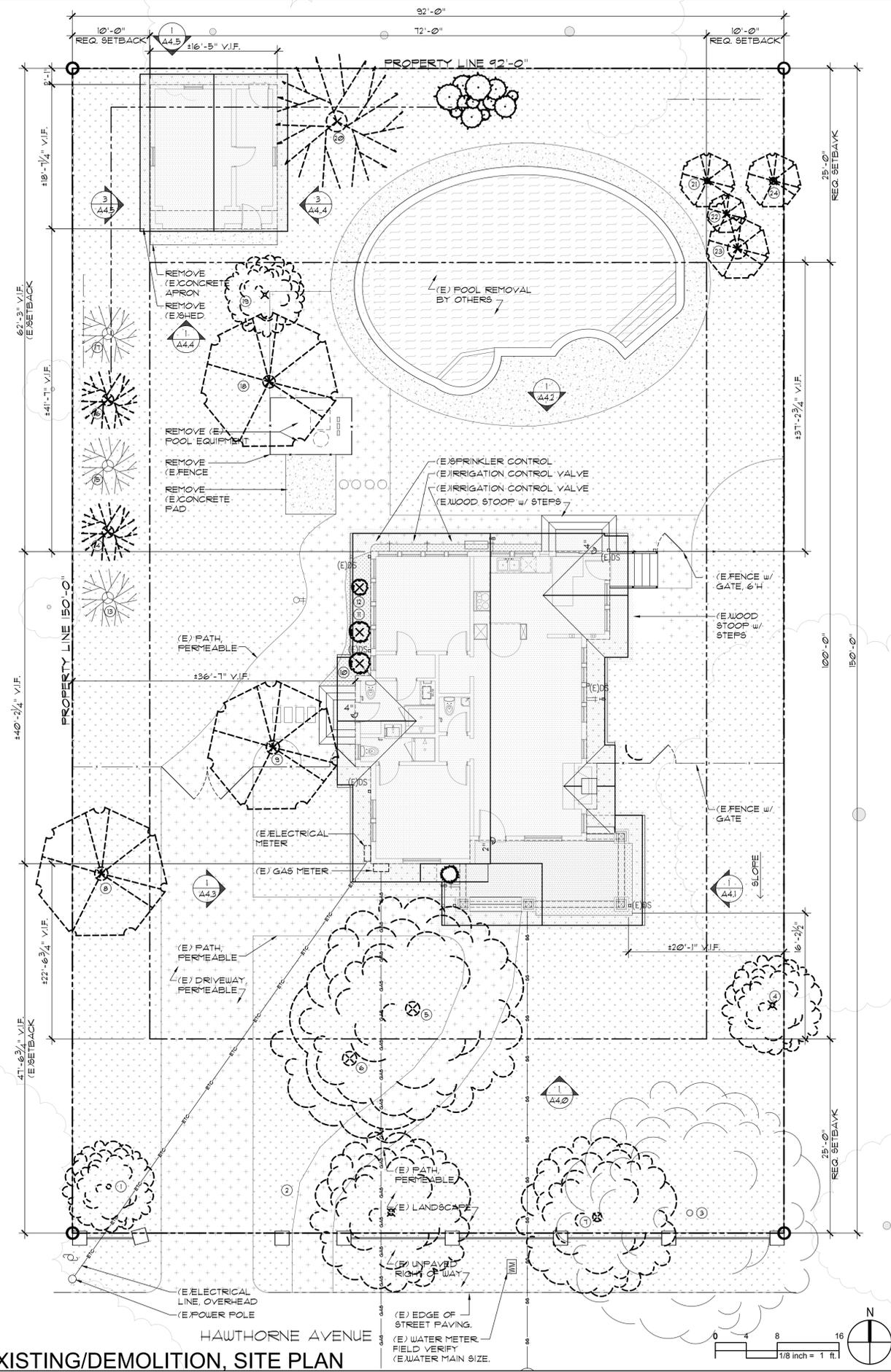
NOTE:
1. ALL TREE PROTECTION FENCING SHALL BE CHAIN LINK AND A MINIMUM OF FIVE FEET IN HEIGHT WITH POSTS DRIVEN INTO THE GROUND AND SHALL NOT BE REMOVED UNTIL ALL BUILDING CONSTRUCTION HAS BEEN COMPLETED UNLESS APPROVED BY THE PLANNING DIVISION.
2. TREE PROTECTION SHOULD BE INSTALLED BEFORE GRADING EQUIPMENT IS MOVED ON SITE.
3. ARBORIST'S RECOMMENDATIONS ON THE TREE PLAN SHALL SUPERCEDE THIS DETAIL.
4. THESE TREE PROTECTION DETAILS PROVIDED FOR REFERENCE.



NOTE:
1. WHERE CONSTRUCTION IS TO TAKE PLACE UNDER THE CANOPY, THE FENCE SHOULD BE CONSTRUCTED 2 TO 3 FEET FROM THE LIMIT OF WORK BUT IN FRONT OF THE TRUNK.
2. IF DRIF LINE FENCING IS NOT PRACTICAL, SNOW FENCING SHOULD BE USED TO PROTECT TRUNKS FROM DAMAGE.

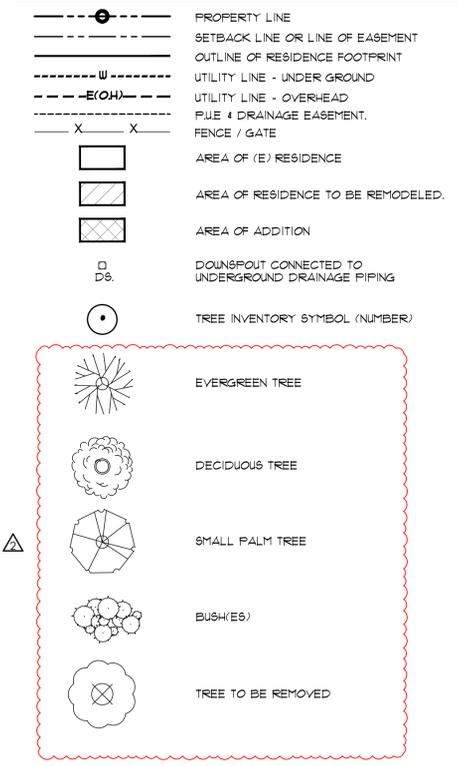


2 TREE PROTECTION
NO SCALE



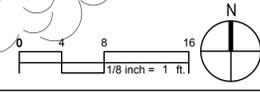
1 EXISTING/DEMOLITION, SITE PLAN
SCALE: 1/8" = 1'-0"

SITE PLAN LEGEND



SITE DEMOLITION NOTES

- *ALL TREE PROTECTION FENCING SHALL BE CHAIN LINK AND A MINIMUM OF FIVE FEET IN HEIGHT WITH POSTS RIVEN INTO THE GROUND.
- VERIFY WITH OWNER ALL ITEMS TO BE SALVAGED.
 - REMOVE ALL EXISTING STRUCTURES, PATIOS, WALKWAYS, ETC. AS REQUIRED FOR REMODEL AND ADDITIONS.
 - EXISTING ELECTRICAL AND GAS SERVICE METERS TO REMAIN. CONTRACTOR TO COORDINATE WITH PG&E AS NECESSARY.
 - CONTRACTOR SHALL OBTAIN ALL NECESSARY DEMOLITION PERMITS AND APPROVALS, INCLUDING ASBESTOS ABATEMENT (IF NEC.) AS PART OF THE BASE BID.
 - TREE PROTECTION SHOWN ON SITE DEMOLITION PLAN IS FOR DEMOLITION OF EXISTING STRUCTURES ONLY. FURTHER TREE PROTECTION IS REQUIRED DURING CONSTRUCTION OF NEW RESIDENCE. REFER TO NEW SITE PLAN ON SHEET A11 AND ARBORIST REPORT FOR FURTHER INFORMATION.
 - SEE SURVEY SHEET SUI FOR ADDITIONAL INFORMATION.



TREE PLANTING SCHEDULE

*NOTE: TREE PLANTING SCHEDULE PROVIDED FOR REFERENCE. SEE SEPARATE LANDSCAPE DESIGN DRAWINGS AND TREE PLANTING SCHEDULE BY GARDEN SENSE, INC (ATTN: JANET BELL)

Tree Planting Schedule

Scussel-Riffle Residence, 151 Hawthorne Ave., Los Altos
Garden Sense, Inc. Landscape Plan v1.2-2022

Common Name	Number of Trees	Size (Gallons/Boxes)	Comment
Cork Oak	2	24" or 36"	Quercus suber – the branching structure is typically better on the larger trees
Chinese Pistache	3	36"	These grow relatively slowly so preferable to get a larger tree
Fuyu Persimmon	1	24" if available	Difficult to find larger than a 15-gallon and these are typically small
Laurus nobilis 'Saratoga' Tree	3	15-gallon or 24" box	Standard Tree; (2) at Rear yard and (1) at side yard
Orange	1	24" if available	
Fuji Apple	1	15-gallon	Espaliered
Santa Rosa Plum	1	15-gallon	Espaliered
Asian Pear	1	15-gallon	Espaliered
Tree A	3	15-gallon	Species TBD; front yard; height 10' to 12'
Tree B	3	15-gallon or 24" box	Species TBD; side yard; height: 10'to 16'
Henry Lauder's Walking Stick	1	15-gallon	Multi-trunk; height 8'
Redwood	3		Existing; (remove 2 of 5 for spacing)
Live Oak	1		Existing

Notes:

- 14 trees will be removed (4 olive, 7 palm, 1 deodara cedar, 2 redwood)
- 4 trees will be retained (1 live oak, 3 redwood) – see above
- 20 new trees will be planted - see above

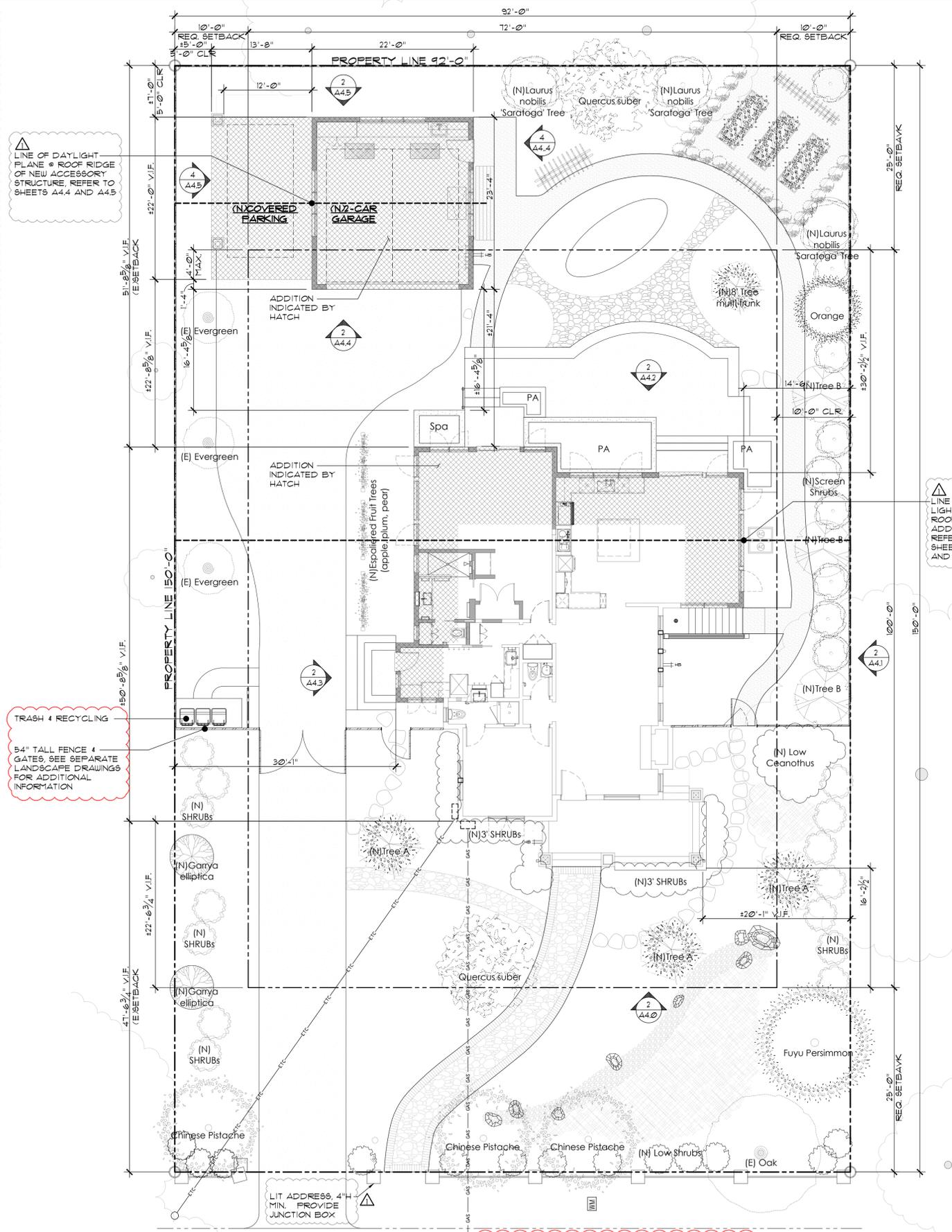
LINE OF DAYLIGHT PLANE = ROOF RIDGE OF NEW ACCESSORY STRUCTURE. REFER TO SHEETS A4.4 AND A4.5

TRASH & RECYCLING
5'4" TALL FENCE & GATES. SEE SEPARATE LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION

LINE OF DAYLIGHT PLANE = ROOF RIDGE OF ADDITION. REFER TO SHEETS A4.0 AND A4.2

SITE PLAN LEGEND

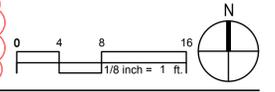
- PROPERTY LINE
- SETBACK LINE OR LINE OF EASEMENT
- OUTLINE OF RESIDENCE FOOTPRINT
- UTILITY LINE - UNDER GROUND
- UTILITY LINE - OVERHEAD
- PIPE & DRAINAGE EASEMENT, FENCE / GATE
- AREA OF (E) RESIDENCE
- AREA OF RESIDENCE TO BE REMODELED.
- AREA OF ADDITION
- D/S.
- TREE INVENTORY SYMBOL (NUMBER)



SITE PLAN NOTES

- VERIFY ALL SETBACK DIMENSIONS NOTED ON THE SITE PLAN, FLOOR PLANS, AND FOUNDATION PLAN IN THE FIELD PRIOR TO COMMENCING THE WORK. NOTIFY THE DESIGNER IMMEDIATELY OF ANY AND ALL DISCREPANCIES.
- VERIFY IN THE FIELD ALL GRADES AND STEP DIMENSIONS.
- ALL DOWNSPOUTS SHALL BE CONNECTED TO THE EXISTING UNDERGROUND DRAINAGE PIPING. COORDINATE SITE AND FOUNDATION UNDERGROUND RAINWATER DRAINAGE PIPING FROM THE DOWNSPOUTS TO THE EXISTING BUBBLERS W/ WHAT IS SHOWN ON THE SITE PLAN.
- SLOPE FINISH GRADE 6" PER 10'-0" (5%) A MINIMUM DISTANCE OF 5'-0" AWAY FROM THE RESIDENCE FOUNDATION AT AREAS OF NEW CONSTRUCTION.
- CONTRACTOR TO VERIFY SIZE AND LOCATION OF ALL UTILITY CONNECTIONS. CONTRACTOR TO PROVIDE ALL NEW UTILITY CONNECTIONS AND/OR UPGRADE EXISTING AS REQUIRED TO ACCOMPLISH WORK. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS AS REQUIRED BY THE JURISDICTION WITH AUTHORITY.
- DEMOLISH AND REMOVE EXISTING RESIDENCE, WALKWAYS, CONCRETE SLABS, WOOD DECKS, FENCES, ETC. AS REQUIRED TO FOR NEW CONSTRUCTION.
- EXCAVATE OR FILL SITE AS REQUIRED PER PLANS, SOILS REPORTS (IF ANY), AND CBC REQUIREMENTS.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY DEMOLITION PERMITS AND APPROVALS INCLUDING ASBESTOS ABATEMENT, (IF NEC.) AS PART OF THE BID.
- REFER TO THE DEMOLITION PLAN ON SHEET A2.0 FOR FURTHER NOTES AND INFORMATION.
- ANY UNDERGROUND UTILITY TRENCH WORK SHALL AVOID THE DRIP-LINES OF ALL PROTECTED TREES UNLESS APPROVED BY PROJECT ARBORIST AND THE PLANNING DIVISION. PROTECTED TREES LISTED ON THIS SHEET TREE INVENTORY LISTED ON TREE INVENTORY.
- AIR CONDITIONER SHALL MEET THE REQUIREMENTS OF THE LOS ALTOS NOISE CONTROL ORDINANCE CHAPTER 6.16 AND BE IN COMPLIANCE WITH PLANNING DEPARTMENT'S SET BACK REQUIREMENTS. (NAIR CONDITIONER ON (N)CONCRETE CURB, FIELD VERIFY EXACT LOCATION WITH OWNER AND BROWNHOUSE DESIGN
- SEE SEPARATE LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.
- SEE SEPARATE SURVEY DRAWINGS FOR ADDITIONAL INFORMATION.
- SEE SEPARATE TREE INVENTORY PROVIDED FOR REFERENCE. SEE SEPARATE TREE INVENTORY REPORT BY MCGUIRE TREE CARE, INC.

NOTE:
1. SEE SURVEY SHEET SUI FOR ADDITIONAL INFORMATION.
2. LANDSCAPE DESIGN PLANS SHALL BE PROVIDED BY OTHERS. LANDSCAPE DEPICTED ON NEW/PROPOSED PLAN PROVIDED FOR REFERENCE ONLY. SEE SEPARATE LANDSCAPE DESIGN PLANS FOR ADD'L INFORMATION.



NEW/PROPOSED SITE PLAN
SCALE: 1/8" = 1'-0"

DESIGNER:
BROWNHOUSE DESIGN, INC.
101 MAIN ST., LOS ALTOS, CA 94022

ARCHITECT OF RECORD:
DAVID BARNIA, ARCHITECT
270 PROMISE WAY
HOLLISTER, CA 95023

CITY SUBMITTAL
BID SET
FINISH PLANS

REVISIONS	BY
90% SET 12/18/2021	LM
PLANNING 01/10/2022	LM
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DO NOT SCALE THE DRAWING'S DIMENSIONS. TAKE PRECEDENCE. REPORT ANY AND ALL DISCREPANCIES TO THE DESIGNER.

WHEN PRINTING PDF- SET SCALE TO "NONE" OTHERWISE DRAWING WILL NOT PRINT TO SCALE.

SCUSSEL-RIFFLE RESIDENCE REMODEL
151 HAWTHORNE AVENUE
LOS ALTOS, CA 94022

APN: 170-41-030

DRAWN BY: LMD/B
CHECKED BY: [Signature] NOTED
SCALE:
DATE: 07/11/2022

A1.1



REVISIONS	BY
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PLANNING 01/10/2022	LM
RESPONSE TO PLANNING 05/27/2022	LM
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151 HAWTHORNE AVENUE
LOS ALTOS, CA 94022

DRAWN BY: LMDB
CHECKED BY: [Signature] = 1'-0"
SCALE:
DATE: 07/11/2022

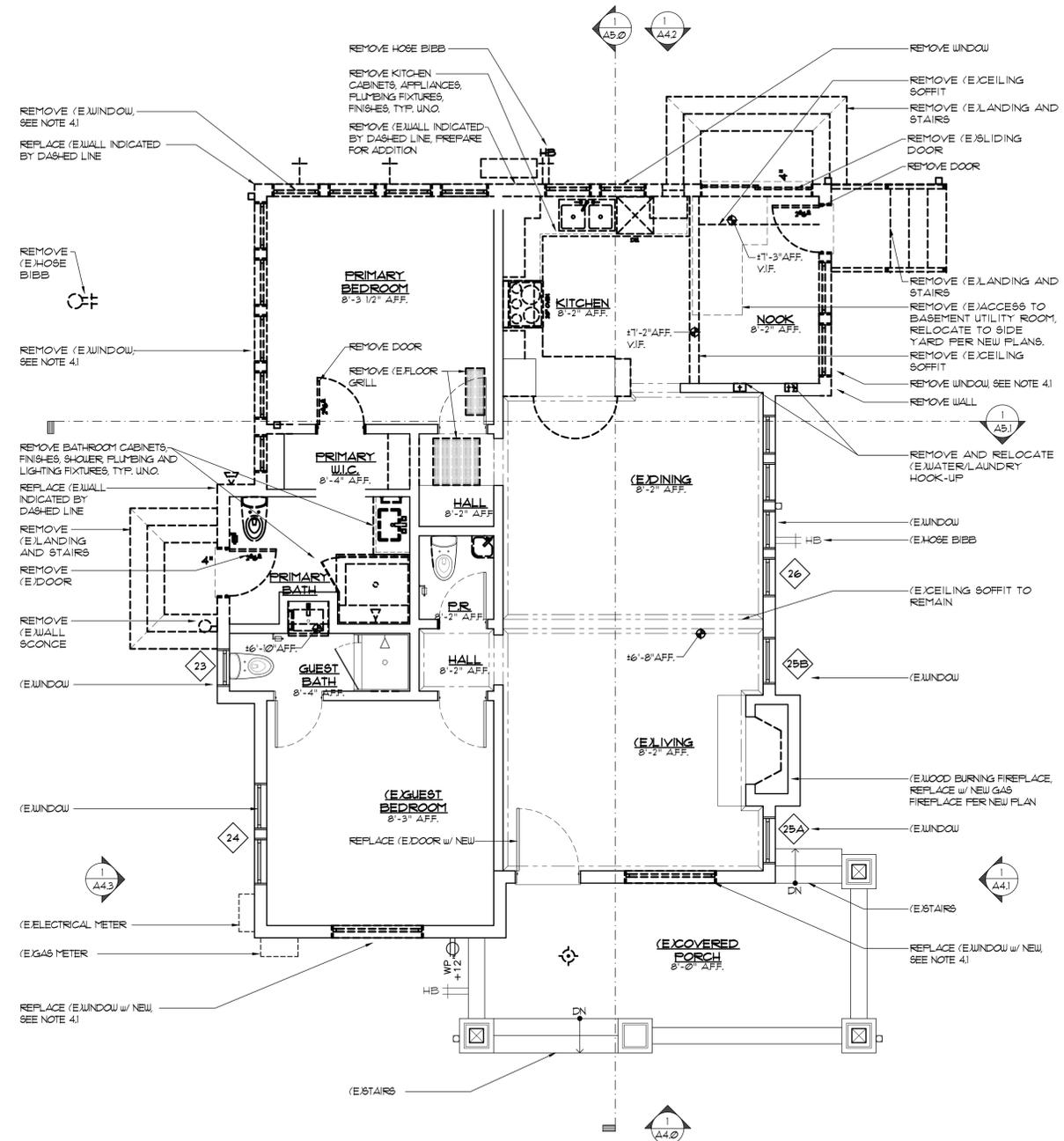
A2.0

WALL / SYMBOL LEGEND

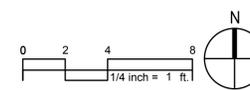
- EXISTING WALL / CONSTRUCTION (DOORS, WINDOWS, BUILT-INS, ETC., TO BE REMOVED).
- EXISTING WALL / CONSTRUCTION (DOORS, WINDOWS, BUILT-INS, ETC., TO REMAIN).
- NEW OPENING IN EXISTING WALL
- NEW 2x FRAMED WALL CONSTRUCTION. PROVIDE 1/2" SHEET ROCK @ INTERIOR FINISH, OR MATCH EXISTING. SEE FINISH SCHEDULE. SEE STRUCTURAL PLANS FOR SHEAR WALL LOCATIONS.
- 2x WALL w/ SOUND ISOLATION BATTS.
- BRICK VENEER
- 4 / A* 2
3
INTERIOR ELEVATION MARKER (NUMBER / SHEET)
- # / A*
DETAIL MARKER (NUMBER / SHEET)
- # / A*
EXTERIOR ELEVATION MARKER
- A / A*
SECTION LINE (LETTER / SHEET)
- 100.00
T.O. SUBFLR.
ELEVATION MARKER
- T
TEMPERED SAFETY GLASS
- E
EGRESS WINDOW
- A
WINDOW TYPE - LETTER
- A / T
WINDOW TYPE w/ TEMPERED GLASS
- 2606
WINDOW / DOOR - SIZE & FUNCTION
- 1
DOOR TYPE - NUMBER
- ROOM NAME
CEILING HEIGHT
FLOOR MATERIAL
ROOM SIZE
ROOM LABEL / INFORMATION
- #
REVISION MARK - NUMBER

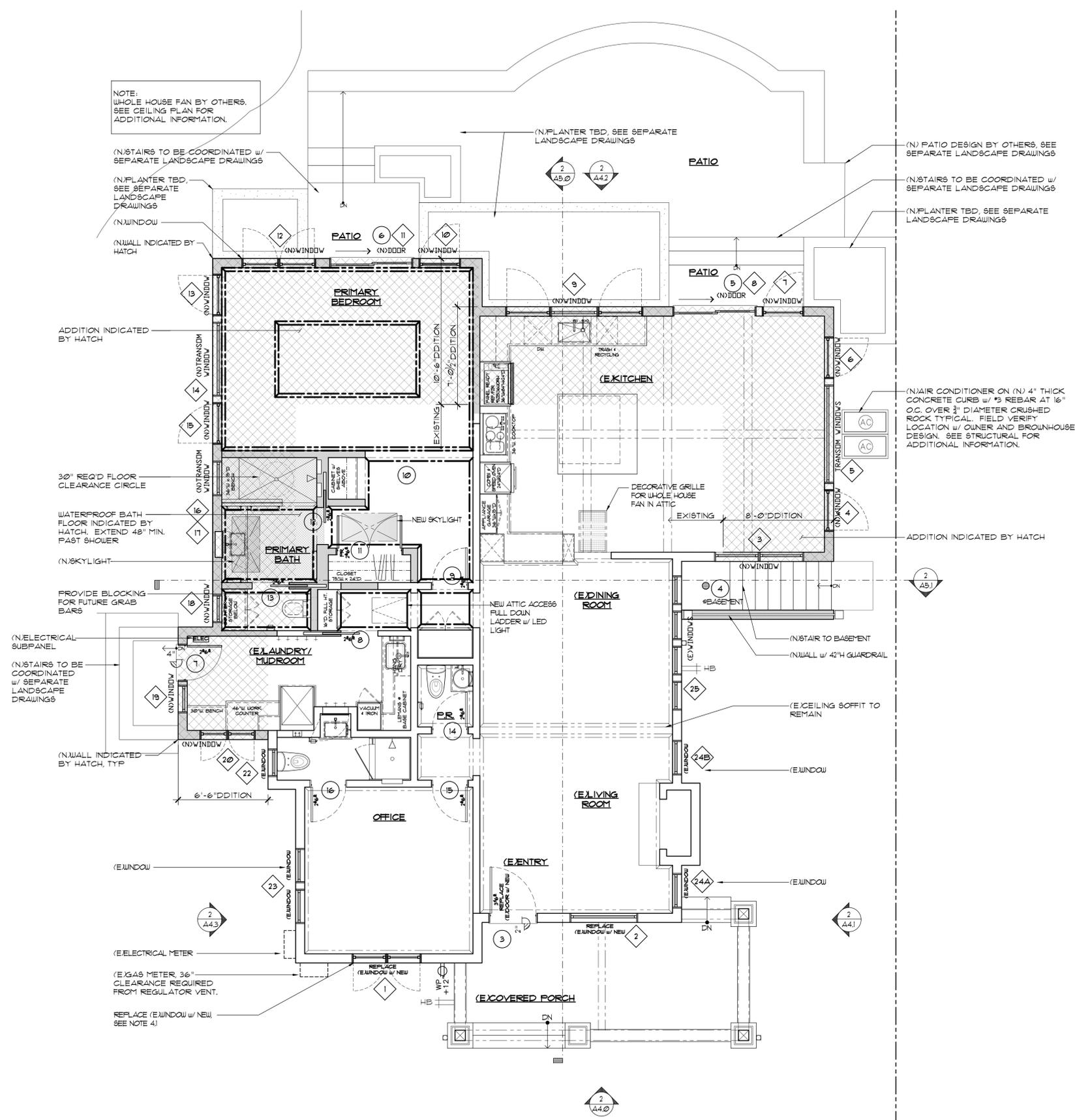
FLOOR PLAN DEMOLITION NOTES

- VERIFY WITH OWNER ALL ITEMS TO BE SALVAGED.
- REMOVE DEMOLITION ITEMS COMPLETELY TO BASE MATERIALS. DEMOLITION INCLUDING CUTTING BACK OF CEILINGS, WALLS, FLOORS AND FINISHES (AS REQUIRED) TO THE EXTENT INSTALLATION OF NEW WORK CAN BE ACCOMPLISHED. COORDINATE WITH DRAWINGS FOR EXTENT OF NEW WORK. SURFACES REMAINING EXPOSED AFTER DEMOLITION WORK SHALL BE CLEANED TO MATCH EXISTING ADJACENT SURFACES OR PREPARED FOR NEW CONSTRUCTION.
- WHERE REQUIRED TO ACCOMPLISH NEW WORK, DISCONNECT, RELOCATE OR REMOVE EXISTING CIRCUIT WIRING OR EQUIPMENT, REMOVE WIRES, CABLES AND CONDUITS BACK TO POWER SOURCE. CONCEALED CONDUITS MAY BE ABANDONED IN PLACE. CAP OR PLUG DISCONNECTED CONDUITS. RE-ROUTE CIRCUITING WHERE NECESSARY TO MAINTAIN CONTINUITY OF SERVICE OR EXISTING OUTLETS TO REMAIN.
- REMOVE WALLS, WINDOWS, CABINETS, APPLIANCES AND FIXTURES AS SHOWN IN DEMOLITION PLAN. EXISTING WINDOWS AND DOORS TO REMAIN AS NOTED.
 - THE RE-USE OF EXISTING WINDOWS ARE ENCOURAGED (INCLUDING WINDOWS NOT FACING STREET). IT IS ALSO ENCOURAGED THAT ALL WINDOWS NOT BEING RE-USED SHALL BE STORED ON SITE AS A PART OF THE MILLS ACT TO BE USED AS REPLACEMENT LATER IF A WINDOW IS DAMAGED IN FUTURE.
- COORDINATE WITH ELECTRICAL, LIGHTING, MECHANICAL AND PLUMBING PLANS FOR THE REMOVAL AND/OR RELOCATION OF WALL SWITCHES / FLOOR OUTLETS, AND MECHANICAL REGISTERS AS REQUIRED. (BUT NOT LIMITED TO THOSE ITEMS).
- REFER TO STRUCTURAL DRAWINGS FOR FURTHER INFORMATION REGARDING DEMOLITION OF WALLS, ROOF FRAMING, AND SLAB FLOOR CUTTING AS REQUIRED FOR NEW CONSTRUCTION. REMOVE EXISTING BASEBOARD, CROWN, AND TRIM IN ROOMS WHERE NEW IS CALLED FOR IN THE FINISH SCHEDULE.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY DEMOLITION PERMITS AND APPROVALS, INCLUDING ASBESTOS ABATEMENT (IF NEC.) AS PART OF THE BASE BID.
- CONTRACTOR SHALL SUPPORT EXISTING ROOF STRUCTURE TEMPORARILY SUCH THAT WILL FACILITATE CONSTRUCTION OF NEW WORK AND ADEQUATELY SUPPORT EXISTING ROOF.



MAIN HOUSE
EXISTING/DEMOLITION FLOOR PLAN
SCALE: 1/4" = 1'-0"





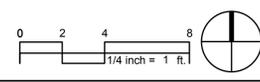
WALL / SYMBOL LEGEND

	EXISTING WALL / CONSTRUCTION (DOORS, WINDOWS, BUILT-INS, ETC., TO BE REMOVED).
	EXISTING WALL / CONSTRUCTION (DOORS, WINDOWS, BUILT-INS, ETC., TO REMAIN).
	NEW OPENING IN EXISTING WALL
	NEW 2x FRAMED WALL CONSTRUCTION. PROVIDE 1/2" SHEET ROCK & INTERIOR FINISH, OR MATCH EXISTING. SEE FINISH SCHEDULE. SEE STRUCTURAL PLANS FOR SHEAR WALL LOCATIONS.
	2x WALL w/ SOUND ISOLATION BATTS.
	BRICK VENEER
	INTERIOR ELEVATION MARKER (NUMBER / SHEET)
	DETAIL MARKER (NUMBER / SHEET)
	EXTERIOR ELEVATION MARKER
	SECTION LINE (LETTER / SHEET)
	ELEVATION MARKER
	TEMPERED SAFETY GLASS
	EGRESS WINDOW
	WINDOW TYPE - LETTER
	WINDOW TYPE w/ TEMPERED GLASS
	WINDOW / DOOR - SIZE & FUNCTION
	DOOR TYPE - NUMBER
	ROOM NAME
	CEILING HEIGHT
	FLOOR MATERIAL
	ROOM SIZE
	REVISION MARK - NUMBER

FLOOR PLAN NOTES

- DO NOT SCALE THE DRAWINGS! VERIFY ALL DIMENSIONS IN THE FIELD. REPORT ANY AND ALL DISCREPANCIES TO THE DESIGNER.
- ALL INTERIOR ELEVATION DIMENSIONS ARE TO FINISH SURFACE, SHEET ROCK OR CABINET, UNLESS OTHERWISE NOTED.
- ALIGN NEW WALLS WITH EXISTING WALLS, TYPICAL UNO CENTER ALL WINDOWS AND/OR DOORS ON OPENINGS ON INSIDE WALLS, UNLESS OTHERWISE DIMENSIONED OR NOTED ONE WINDOW/DOOR FROM EACH SLEEPING ROOM MUST HAVE A NET CLEAR OPENING OF 5.7 SQFT (5.0 SQFT WHEN WINDOW IS AT FLOOR / GRADE LEVEL) WITH A NET CLEAR HEIGHT OF 24", A NET CLEAR WIDTH OF 20" AND THE SILL MUST BE WITHIN 44" OFF THE FLOOR.
- LOCATE ALL WATER CLOSETS AT 15-INCHES MINIMUM FROM CENTER TO ADJACENT WALL AND 30-INCHES MINIMUM CLEAR. PROVIDE 20-INCHES MINIMUM CLEAR IN FRONT OF THE FIXTURE.
- PROVIDE SOLID BLOCKING IN WALL AT ALL AREAS OF TOILET BARS, GRAB BARS, TOILET PAPER DISPENSERS AND/OR OTHER WALL MOUNTED ITEMS. REFER TO INTERIOR ELEVATIONS FOR LOCATIONS.
- ALL FIRE BLOCKING TO BE INSTALLED IN LOCATIONS PER CRC SECTION R219.
- GYPSON BOARD FINISH TO MATCH EXISTING. V.I.F. w/ OWNER.
- AN APPROVED NUMBER OR ADDRESS SHALL BE PROVIDED IN SUCH A POSITION AS TO BE PLAINLY LEGIBLE AND VISIBLE FROM THE STREET FRONTING THE PROPERTY. NUMBERS SHALL CONTRAST w/ THEIR BACKGROUND, SHALL BE ARABIC NUMERALS OR ALPHABETICAL LETTERS, NUMERALS SHALL BE A MIN. OF 4" HIGH, WITH A MIN. STROKE WIDTH OF 1/2 INCH. REFER TO CBC 501.2.
- PROVIDE A MINIMUM INSULATION OF R-13 AT ALL EXTERIOR WALLS, R-30 INSULATION AT CEILING JOISTS LOCATED UNDER THE SLOPED ROOF ATTIC AND R-19 INSULATION AT CEILING JOISTS LOCATED AT THE FLAT ROOF.
- GYPSON BOARD FINISH TBD. V.I.F. w/ DESIGNER AND OWNER.
- SEE INTERIOR ELEVATIONS FOR EXTENT OF CABINETRY, PANEL, CASINGS & TRIM. TYPICAL AT ALL WET (SHOWER-BATH) LOCATIONS. WATER RESISTANT DRYWALL MUST BE INSTALLED AT ALL WET LOCATIONS (NOT RECOMMENDED FOR DIRECT TILE APPLICATION IN A SHOWER STALL). WATER RESISTANT DRYWALL MUST BE INSTALLED TO A POINT A MIN. OF 12" ABOVE THE SHOWER DRAIN. CRC R301.2. DO NOT INSTALL A VAPOR BARRIER BEHIND WATER RESISTANT DRYWALL. DO NOT INSTALL THE WATER RESISTANT DRYWALL ON THE CEILING UNLESS THE CEILING JOIST ARE NO GREATER THAN 12" APART FOR 1/2" THICK WATER RESISTANT DRYWALL AND 16" APART FOR 5/8" WATER RESISTANT DRYWALL. CONCRETE BOARD REQUIRES A VAPOR BARRIER TO BE INSTALLED BETWEEN IT AND THE DRYWALL AND OR FRAMING. LISTED FASTENERS MUST BE USED.
- ALL PLUMBING LOCATIONS TO BE FIELD APPROVED BY DESIGNER BEFORE ANY DRILLING OR INSTALLATION.
- 22"x30" ATTIC ACCESS w/ 30" CLR FROM TOP OF FRAMING TO UNDERSIDE OF FRAMING. ATTIC ACCESS TO MEET REQUIREMENTS FOR 2016 CRC R201.1
- GRAVSPACE ACCESS OPENINGS THROUGH THE FLOOR SHALL BE A MINIMUM OF 18 INCHES BY 24 INCHES PER 2016 CRC R408.4
- ALL FIRE BLOCKING TO BE INSTALLED IN LOCATIONS PER CRC SECTION R219.
- STAIR:
- STAIR RISER HEIGHT SHALL BE 1 3/4" MAX. PER 311.15.1 CRC. THE RISER HEIGHT SHALL BE MEASURED VERTICALLY BETWEEN THE LEADING EDGES OF ADJACENT TREADS.
- STAIR TREAD DEPTH SHALL BE 10" MIN. PER 311.15.2 CRC. THE TREAD DEPTH SHALL BE MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS AND AT A RIGHT ANGLE TO THE TREAD'S LEADING EDGE. WIDER TREADS SHALL HAVE A MINIMUM TREAD DEPTH OF 12" MEASURED AT A RIGHT ANGLE TO THE TREAD'S LEADING EDGE AT A POINT 12" FROM THE SIDE WHERE THE TREADS ARE NARROWER AND A MINIMUM TREAD DEPTH OF 10" PER 311.15.2.1 CRC.
- PROVIDE RODENT PROOFING TYPICAL PER 2016 CBC APPENDIX F. WALL VENTILATION OPENINGS SHALL BE COVERED FOR THEIR HEIGHT AND WIDTH WITH PERFORATED SHEET METAL PLATES NO LESS THAN 0.070 INCH (1.8 MM) THICK, EXPANDED SHEET METAL PLATES NOT LESS THAN 0.041 INCH (1.2 MM) THICK, CAST-IRON GRILLS OR GRATINGS, EXTRUDED ALUMINUM LOAD-BEARING VENTS OR WITH HARDWARE CLOTH OF 0.035 INCH (0.89 MM) WIRE OR HEAVIER, THE OPENINGS THEREIN SHALL NOT EXCEED 1/4 INCH (6.4 MM). FOUNDATION AND EXTERIOR WALL SEALING: ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN THE WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR NON-CORROSIVE METAL.

MAIN HOUSE
NEW/PROPOSED FLOOR PLAN
 SCALE: 1/4" = 1'-0"





DESIGNER:
 BROWNHOUSE DESIGN, INC.
 101 MAIN ST. LOS ALTOS, CA 94022

ARCHITECT OF RECORD:
 DAVID BARRA, ARCHITECT
 270 PROMISE WAY
 HOLLISTER, CA 95023



CITY SUBMITTAL
 BID SET
 FINISH PLANS

REVISIONS	BY
90% SET 12/18/2021	LM
PLANNING 01/10/2022	LM
RESPONSE TO PLANNING 05/27/2022	LM
RESPONSE TO MILLS ACT 07/06/2022	LM

DO NOT SCALE THE DRAWINGS! DIMENSIONS TAKE PRECEDENCE. REPORT ANY AND ALL DISCREPANCIES TO THE DESIGNER.

WHEN PRINTING PDF-SET SCALE TO "NONE" OTHERWISE DRAWING WILL NOT PRINT TO SCALE.

SCUSSEL-RIFFLE RESIDENCE REMODEL
 151 HAWTHORNE AVENUE
 LOS ALTOS, CA 94022

APN: 170-41-030

DRAWN BY: LMD8
 CHECKED BY: [Signature]
 SCALE: 1/4" = 1'-0"
 DATE: 07/11/2022

A2.1

FLOOR PLAN DEMOLITION NOTES

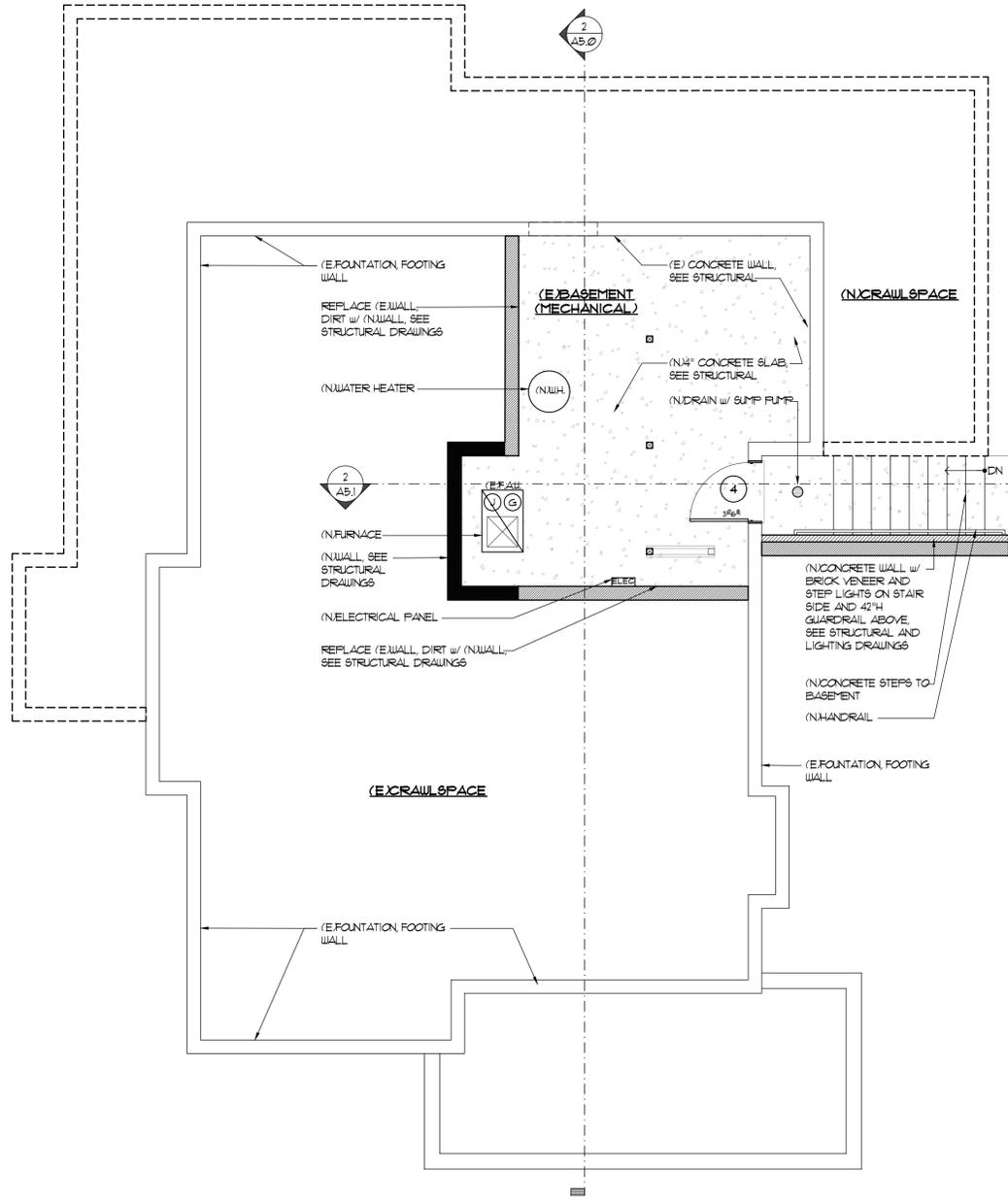
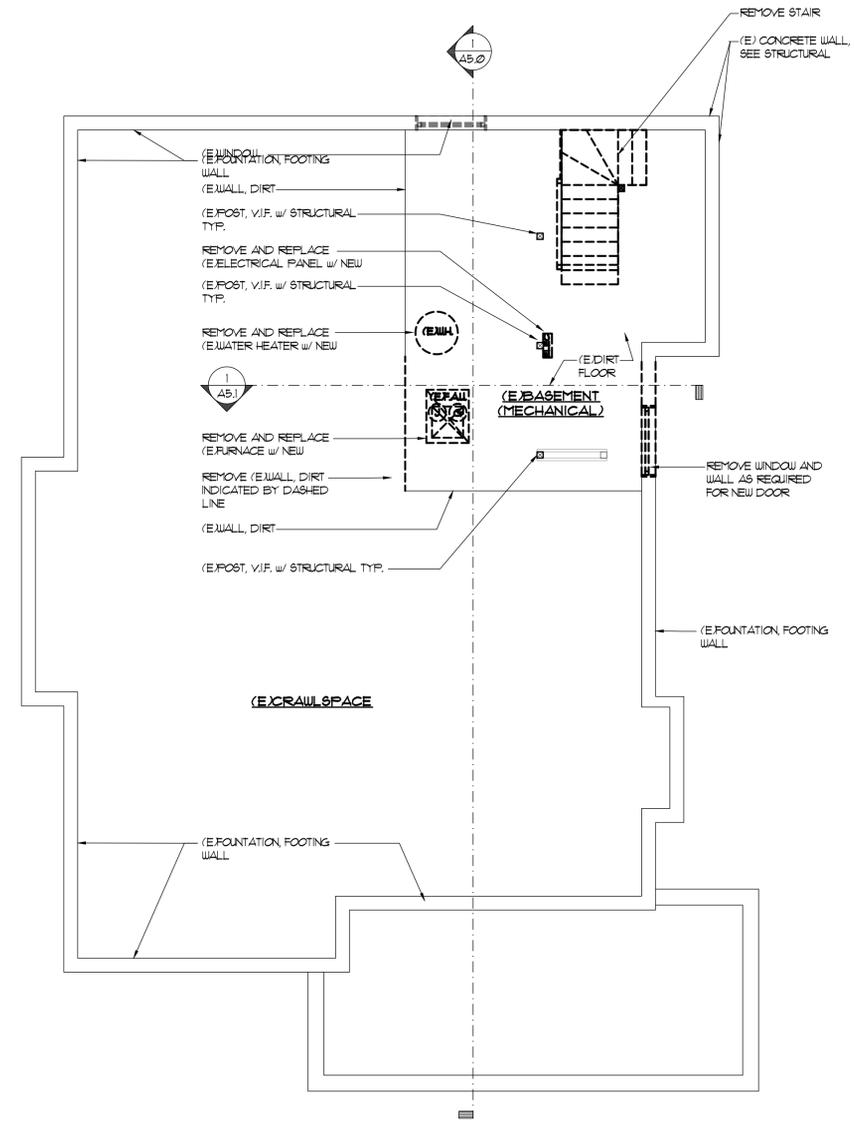
1. VERIFY WITH OWNER ALL ITEMS TO BE SALVAGED.
2. REMOVE DEMOLITION ITEMS COMPLETELY TO BASE MATERIALS. DEMOLITION INCLUDING CUTTING BACK OF CEILING, WALLS, FLOORS AND FINISHES (AS REQUIRED) TO THE EXTENT INSTALLATION OF NEW WORK CAN BE ACCOMPLISHED. COORDINATE WITH DRAWINGS FOR EXTENT OF NEW WORK. SURFACES REMAINING EXPOSED AFTER DEMOLITION WORK SHALL BE CLEANED TO MATCH EXISTING ADJACENT SURFACES OR PREPARED FOR NEW CONSTRUCTION.
3. WHERE REQUIRED TO ACCOMPLISH NEW WORK, DISCONNECT, RELOCATE OR REMOVE EXISTING CIRCUIT WIRING OR EQUIPMENT. REMOVE WIRES, CABLES AND CONDUITS BACK TO FURTER SOURCE. CONCEALED CONDUITS MAY BE ABANDONED IN PLACE. CAP OR PLUG DISCONNECTED CONDUITS. RE-ROUTE CIRCUITING WHERE NECESSARY TO MAINTAIN CONTINUITY OF SERVICE OR EXISTING OUTLETS TO REMAIN.
4. REMOVE WALLS, WINDOWS, CABINETS, APPLIANCES AND FIXTURES AS SHOWN IN DEMOLITION PLAN EXISTING WINDOWS AND DOORS TO REMAIN AS NOTED.
- 4.1. THE RE-USE OF EXISTING WINDOWS ARE ENCOURAGED (INCLUDING WINDOWS NOT FACING STREET). IT IS ALSO ENCOURAGED THAT ALL WINDOWS NOT BEING RE-USED SHALL BE STORED ON SITE AS A PART OF THE MILLS ACT TO BE USED AS REPLACEMENT LATER IF A WINDOW IS DAMAGED IN FUTURE.
5. COORDINATE WITH ELECTRICAL, LIGHTING, MECHANICAL AND PLUMBING PLANS FOR THE REMOVAL AND/OR RELOCATION OF WALL SWITCHES / FLOOR OUTLETS, AND MECHANICAL REGISTERS AS REQUIRED. (BUT NOT LIMITED TO THOSE ITEMS).
6. REFER TO STRUCTURAL DRAWINGS FOR FURTHER INFORMATION REGARDING DEMOLITION OF WALLS, ROOF FRAMING, AND SLAB FLOOR CUTTING AS REQUIRED FOR NEW CONSTRUCTION.
7. REMOVE EXISTING BASEBOARD, CROWN, AND TRIM IN ROOMS WHERE NEW IS CALLED FOR IN THE FINISH SCHEDULE.
8. CONTRACTOR SHALL OBTAIN ALL NECESSARY DEMOLITION PERMITS AND APPROVALS, INCLUDING ASBESTOS ABATEMENT (IF NEC.) AS PART OF THE BASE BID.
9. CONTRACTOR SHALL SUPPORT EXISTING ROOF STRUCTURE TEMPORARILY SUCH THAT WILL FACILITATE CONSTRUCTION OF NEW WORK AND ADEQUATELY SUPPORT EXISTING ROOF.

WALL / SYMBOL LEGEND

- EXISTING WALL / CONSTRUCTION (DOORS, WINDOWS, BUILT-INS, ETC., TO BE REMOVED).
- EXISTING WALL / CONSTRUCTION (DOORS, WINDOWS, BUILT-INS, ETC., TO REMAIN).
- NEW OPENING IN EXISTING WALL
- NEW 2x FRAMED WALL CONSTRUCTION. PROVIDE 1/2" SHEET ROCK @ INTERIOR FINISH, OR MATCH EXISTING. SEE FINISH SCHEDULE. SEE STRUCTURAL PLANS FOR SHEAR WALL LOCATIONS.
- 2x WALL w/ SOUND ISOLATION BATTS.
- BRICK VENEER
- INTERIOR ELEVATION MARKER (NUMBER / SHEET)
- DETAIL MARKER (NUMBER / SHEET)
- EXTERIOR ELEVATION MARKER
- SECTION LINE (LETTER / SHEET)
- ELEVATION MARKER
- TEMPERED SAFETY GLASS
- EGRESS WINDOW
- WINDOW TYPE - LETTER
- WINDOW TYPE w/ TEMPERED GLASS
- WINDOW / DOOR - SIZE & FUNCTION
- DOOR TYPE - NUMBER
- ROOM LABEL / INFORMATION
- REVISION MARK - NUMBER

FLOOR PLAN NOTES

1. DO NOT SCALE THE DRAWINGS! VERIFY ALL DIMENSIONS IN THE FIELD. REPORT ANY AND ALL DISCREPANCIES TO THE DESIGNER.
2. ALL INTERIOR ELEVATION DIMENSIONS ARE TO FINISH SURFACE, SHEET ROCK OR CABINET, UNLESS OTHERWISE NOTED.
3. ALIGN NEW WALLS WITH EXISTING WALLS, TYPICAL UNO
4. CENTER ALL WINDOWS AND/OR DOORS ON OPENINGS ON INSIDE WALLS, UNLESS OTHERWISE DIMENSIONED OR NOTED. ONE WINDOW/DOOR FROM EACH SLEEPING ROOM MUST HAVE A NET CLEAR OPENING OF 5.7 SQFT (5.0 SQFT WHEN WINDOW IS AT FLOOR GRADE LEVEL) WITH A NET CLEAR HEIGHT OF 24". A NET CLEAR WIDTH OF 20" AND THE SILL MUST BE WITHIN 44" OFF THE FLOOR.
5. LOCATE ALL WATER CLOSETS AT 15-INCHES MINIMUM FROM CENTER TO ADJACENT WALL AND 30-INCHES MINIMUM CLEAR. PROVIDE 20-INCHES MINIMUM CLEAR IN FRONT OF THE FIXTURE.
6. PROVIDE SOLID BLOCKING IN WALL AT ALL AREAS OF TOWEL BARS, GRAB BARS, TOILET PAPER DISPENSERS AND/OR OTHER WALL MOUNTED ITEMS. REFER TO INTERIOR ELEVATIONS FOR LOCATIONS.
7. ALL FIRE BLOCKING TO BE INSTALLED IN LOCATIONS PER CRC SECTION R219.
8. GYPSUM BOARD FINISH TO MATCH EXISTING. V.I.F. w/ OWNER
9. AN APPROVED NUMBER OR ADDRESS SHALL BE PROVIDED IN SUCH A POSITION AS TO BE PLAINLY LEGIBLE AND VISIBLE FROM THE STREET FRONTING THE PROPERTY. NUMBERS SHALL CONTRAST w/ THEIR BACKGROUND, SHALL BE ARABIC NUMERALS OR ALPHABETICAL LETTERS. NUMERALS SHALL BE A MIN. OF 4" HIGH WITH A MIN. STROKE WIDTH OF 1/2" INCH. REFER TO CBC 5012.
10. PROVIDE A MINIMUM INSULATION OF R-13 AT ALL EXTERIOR WALLS, R-30 INSULATION AT CEILING JOISTS LOCATED UNDER THE SLOPED ROOF ATTIC AND R-19 INSULATION AT CEILING JOISTS LOCATED AT THE FLAT ROOF.
11. GYPSUM BOARD FINISH TBD. V.I.F. w/ DESIGNER AND OWNER
12. SEE INTERIOR ELEVATIONS FOR EXTENT OF CABINETRY, PANEL, CASINGS & TRIM. TYPICAL AT ALL WET (SHOWER, BATH) LOCATIONS. WATER RESISTANT DRYWALL MUST BE INSTALLED AT ALL WET LOCATIONS (NOT RECOMMENDED FOR DIRECT TILE APPLICATION IN A SHOWER STALL). WATER RESISTANT DRYWALL MUST BE INSTALLED TO A POINT A MIN. OF 12" ABOVE THE SHOWER DRAIN. CRC R3012. DO NOT INSTALL A VAPOR BARRIER BEHIND WATER RESISTANT DRYWALL. DO NOT INSTALL THE WATER RESISTANT DRYWALL ON THE CEILING UNLESS THE CEILING JOISTS ARE NO GREATER THAN 12" APART FOR 1/2" THICK WATER RESISTANT DRYWALL AND 16" APART FOR 5/8" WATER RESISTANT DRYWALL. CONCRETE BOARD REQUIRES A VAPOR BARRIER TO BE INSTALLED BETWEEN IT AND THE DRYWALL AND OR FRAMING. LISTED FASTENERS MUST BE USED.
14. ALL PLUMBING LOCATIONS TO BE FIELD APPROVED BY DESIGNER BEFORE ANY DRILLING OR INSTALLATION.
15. 22"x30" ATTIC ACCESS w/ 30" CLR FROM TOP OF FRAMING TO UNDERSIDE OF FRAMING. ATTIC ACCESS TO MEET REQUIREMENTS FOR 2016 CRC R2011.
16. CRAWLSPACE ACCESS OPENINGS THROUGH THE FLOOR SHALL BE A MINIMUM OF 18 INCHES BY 24 INCHES PER 2016 CRC R408.4
17. ALL FIRE BLOCKING TO BE INSTALLED IN LOCATIONS PER CRC SECTION R219.
18. STAIR:
 - 18.1. STAIR RISER HEIGHT SHALL BE 7 3/4" MAX PER 311.5.1 CRC. THE RISER HEIGHT SHALL BE MEASURED VERTICALLY BETWEEN THE LEADING EDGES OF ADJACENT TREADS.
 - 18.2. STAIR TREAD DEPTH SHALL BE 10" MIN. PER 311.5.2 CRC. THE TREAD DEPTH SHALL BE MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS AND AT A RIGHT ANGLE TO THE TREAD'S LEADING EDGE. WINDERS/TREADS SHALL HAVE A MINIMUM TREAD DEPTH OF 11" MEASURED AT A RIGHT ANGLE TO THE TREAD'S LEADING EDGE AT A POINT 12" FROM THE SIDE WHERE THE TREADS ARE NARROWER AND A MINIMUM TREAD DEPTH OF 10" PER 311.5.2.1 CRC.
19. PROVIDE RODENT PROOFING TYPICAL PER 2016 CBC APPENDIX F. WALL VENTILATION OPENINGS SHALL BE COVERED FOR THEIR HEIGHT AND WIDTH WITH PERFORATED SHEET METAL PLATES NO LESS THAN 0.010 INCH (0.25 MM) THICK. EXPANDED SHEET METAL PLATES NOT LESS THAN 0.041 INCH (1.2 MM) THICK. CAST-IRON GRILLS OR GRATING, EXTRUDED ALUMINUM LOAD-BEARING VENTS OR WITH HARDWARE CLOTH OF 0.035 INCH (0.89 MM) WIRE OR HEAVIER, THE OPENINGS THEREIN SHALL NOT EXCEED 1/4 INCH (6.4 MM). FOUNDATION AND EXTERIOR WALL SEALING: ANNUAL SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN THE WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR NON-CORROSIVE METAL.



BASEMENT EXISTING/DEMOLITION FLOOR PLAN
SCALE: 1/4" = 1'-0"

BASEMENT NEW/PROPOSED FLOOR PLAN
SCALE: 1/4" = 1'-0"

DESIGNER:
BROWNHOUSE DESIGN, INC.
101 MAIN ST. LOS ALTOS, CA 94022

ARCHITECT OF RECORD:
DAVID BARRA, ARCHITECT
270 PROMISE WAY
HOLLISTER, CA 95023

CITY SUBMITTAL
BID SET
FINISH PLANS

REVISIONS	BY
90% SET 12/18/2021	LM
PLANNING 01/10/2022	LM
RESPONSE TO PLANNING 05/27/2022	LM
RESPONSE TO MILLS ACT 07/06/2022	LM

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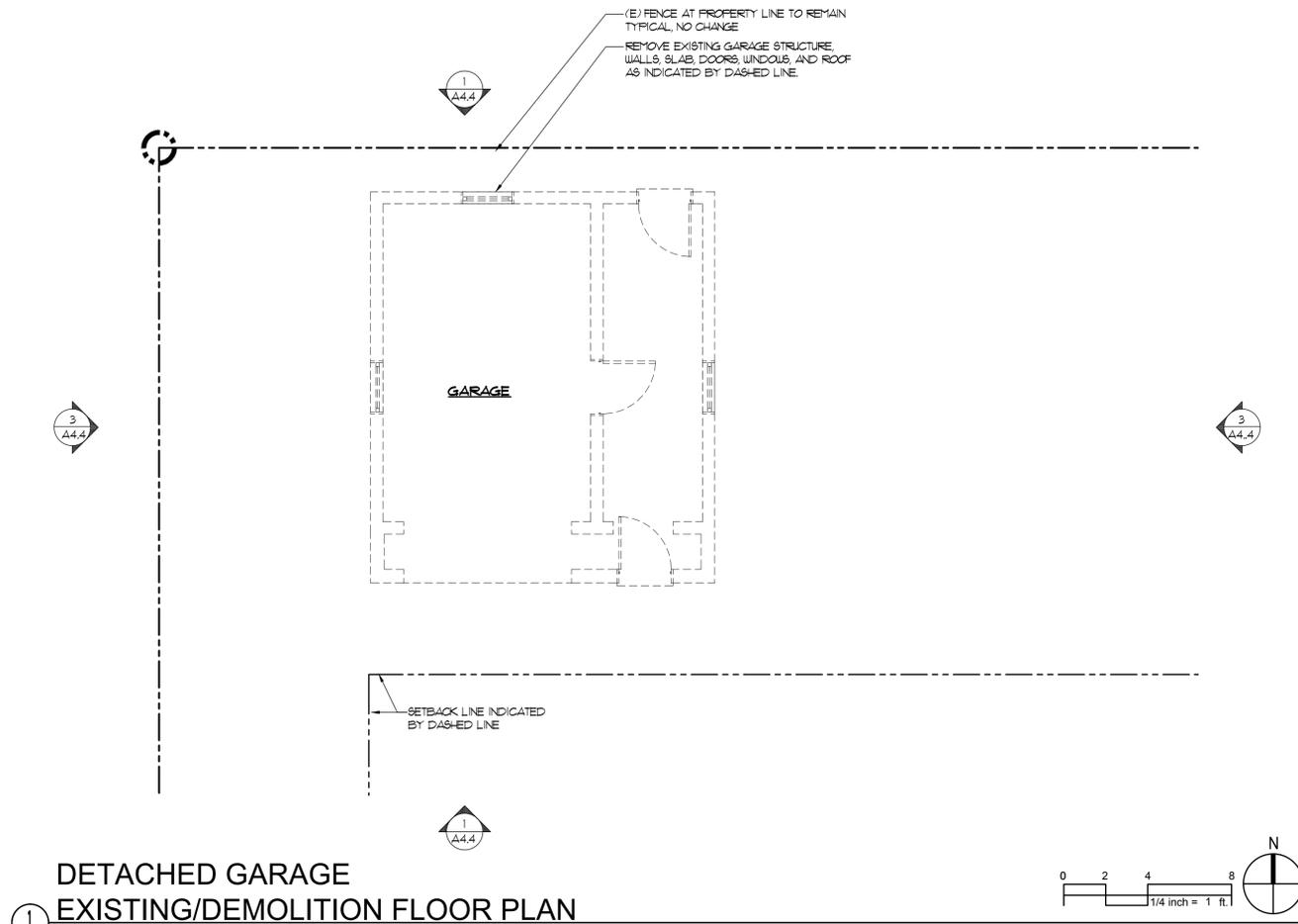
WHEN PRINTING PDF-SET SCALE TO "NONE" OTHERWISE DRAWING WILL NOT PRINT TO SCALE.

SCUSSEL-RIFFLE RESIDENCE REMODEL
151 HAWTHORNE AVENUE
LOS ALTOS, CA 94022

APN: 170-41-030

DRAWN BY: LMD8
CHECKED BY: [Signature] = 1'-0"
SCALE:
DATE: 07/11/2022

A2.2

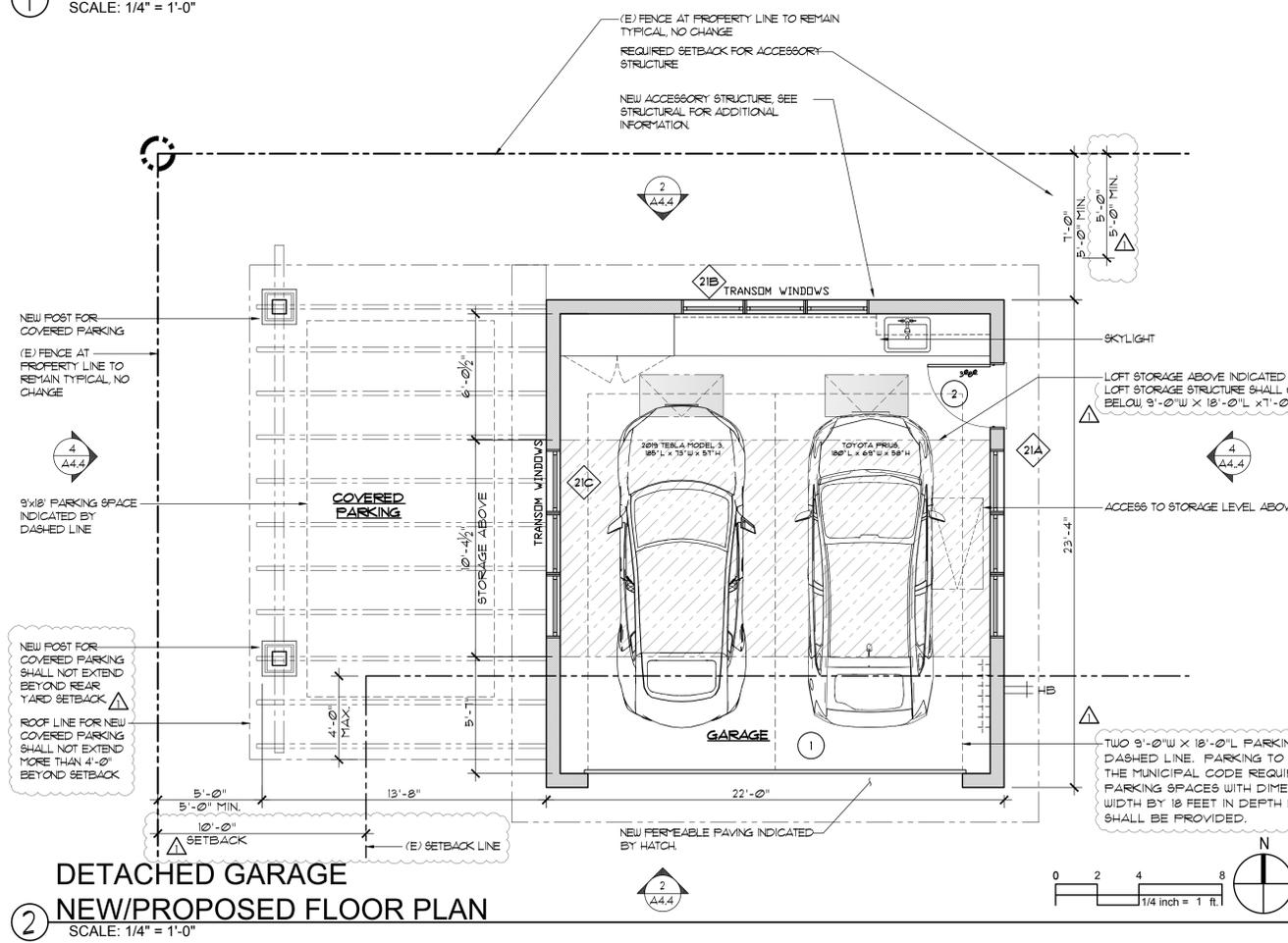


1 DETACHED GARAGE
EXISTING/DEMOLITION FLOOR PLAN
SCALE: 1/4" = 1'-0"

WALL / SYMBOL LEGEND

	EXISTING WALL / CONSTRUCTION (DOORS, WINDOWS, BUILT-INS, ETC. TO BE REMOVED).
	EXISTING WALL / CONSTRUCTION (DOORS, WINDOWS, BUILT-INS, ETC. TO REMAIN).
	NEW OPENING IN EXISTING WALL
	NEW 2x FRAMED WALL CONSTRUCTION. PROVIDE 1/2" SHEET ROCK @ INTERIOR FINISH, OR MATCH EXISTING. SEE FINISH SCHEDULE. SEE STRUCTURAL PLANS FOR SHEAR WALL LOCATIONS.
	2x WALL w/ SOUND ISOLATION BATTS.
	BRICK VENEER
	INTERIOR ELEVATION MARKER (NUMBER / SHEET)
	DETAIL MARKER (NUMBER / SHEET)
	EXTERIOR ELEVATION MARKER
	SECTION LINE (LETTER / SHEET)
	ELEVATION MARKER
	TEMPERED SAFETY GLASS
	EGRESS WINDOW
	WINDOW TYPE - LETTER
	WINDOW TYPE w/ TEMPERED GLASS
	WINDOW / DOOR - SIZE & FUNCTION
	DOOR TYPE - NUMBER
	ROOM LABEL / INFORMATION
	REVISION MARK - NUMBER

- ### FLOOR PLAN DEMOLITION NOTES
- VERIFY WITH OWNER ALL ITEMS TO BE SALVAGED.
 - REMOVE DEMOLITION ITEMS COMPLETELY TO BASE MATERIALS. DEMOLITION INCLUDING CUTTING BACK OF CEILINGS, WALLS, FLOORS AND FINISHES (AS REQUIRED) TO THE EXTENT INSTALLATION OF NEW WORK CAN BE ACCOMPLISHED. COORDINATE WITH DRAWINGS FOR EXTENT OF NEW WORK. SURFACES REMAINING EXPOSED AFTER DEMOLITION WORK SHALL BE CLEANED TO MATCH EXISTING ADJACENT SURFACES OR PREPARED FOR NEW CONSTRUCTION.
 - WHERE REQUIRED TO ACCOMPLISH NEW WORK, DISCONNECT, RELOCATE OR REMOVE EXISTING CIRCUIT WIRING OR EQUIPMENT. REMOVE WIRES, CABLES AND CONDUITS BACK TO PAWER SOURCE. CONCEALED CONDUITS MAY BE ABANDONED IN PLACE. CAP OR FLUG DISCONNECTED CONDUITS. RE-ROUTE CIRCUITING WHERE NECESSARY TO MAINTAIN CONTINUITY OF SERVICE OR EXISTING OUTLETS TO REMAIN.
 - REMOVE WALLS, WINDOWS, CABINETS, APPLIANCES AND FIXTURES AS SHOWN IN DEMOLITION PLAN EXISTING WINDOWS AND DOORS TO REMAIN AS NOTED.
 - THE RE-USE OF EXISTING WINDOWS ARE ENCOURAGED (INCLUDING WINDOWS NOT BEING REUSED). IT IS ALSO ENCOURAGED THAT ALL WINDOWS NOT BEING RE-USED SHALL BE STORED ON SITE AS A PART OF THE MILLS ACT TO BE USED AS REPLACEMENT LATER IF A WINDOW IS DAMAGED IN FUTURE.
 - COORDINATE WITH ELECTRICAL, LIGHTING, MECHANICAL AND PLUMBING PLANS FOR THE REMOVAL AND/OR RELOCATION OF WALL SWITCHES / FLOOR OUTLETS, AND MECHANICAL REGISTERS AS REQUIRED, (BUT NOT LIMITED TO THOSE ITEMS).
 - REFER TO STRUCTURAL DRAWINGS FOR FURTHER INFORMATION REGARDING DEMOLITION OF WALLS, ROOF FRAMING, AND SLAB FLOOR CUTTING AS REQUIRED FOR NEW CONSTRUCTION.
 - REMOVE EXISTING BASEBOARD, CROWN, AND TRIM IN ROOMS WHERE NEW IS CALLED FOR IN THE FINISH SCHEDULE.
 - CONTRACTOR SHALL OBTAIN ALL NECESSARY DEMOLITION PERMITS AND APPROVALS, INCLUDING ASBESTOS ABATEMENT (IF NEC.) AS PART OF THE BASE BID.
 - CONTRACTOR SHALL SUPPORT EXISTING ROOF STRUCTURE TEMPORARILY SUCH THAT WILL FACILITATE CONSTRUCTION OF NEW WORK AND ADEQUATELY SUPPORT EXISTING ROOF.



2 DETACHED GARAGE
NEW/PROPOSED FLOOR PLAN
SCALE: 1/4" = 1'-0"

- ### FLOOR PLAN NOTES
- DO NOT SCALE THE DRAWINGS! VERIFY ALL DIMENSIONS IN THE FIELD. REPORT ANY AND ALL DISCREPANCIES TO THE DESIGNER.
 - ALL INTERIOR ELEVATION DIMENSIONS ARE TO FINISH SURFACE, SHEET ROCK OR CABINET, UNLESS OTHERWISE NOTED.
 - ALIGN NEW WALLS WITH EXISTING WALLS, TYPICAL UNO CENTER ALL WINDOWS AND/OR DOORS ON INSIDE WALLS, UNLESS OTHERWISE DIMENSIONED OR NOTED ONE WINDOW/DOOR FROM EACH SLEEPING ROOM MUST HAVE A NET CLEAR OPENING OF 5.7 SQFT (5'0" SQFT WHEN WINDOW IS AT FLOOR / GRADE LEVEL) WITH A NET CLEAR HEIGHT OF 24", A NET CLEAR WIDTH OF 20" AND THE SILL MUST BE WITHIN 44" OFF THE FLOOR.
 - LOCATE ALL WATER CLOSETS AT 18-INCHES MINIMUM FROM CENTER TO ADJACENT WALL AND 30-INCHES MINIMUM CLEAR. PROVIDE 20-INCHES MINIMUM CLEAR IN FRONT OF THE FIXTURE.
 - PROVIDE SOLID BLOCKING IN WALL AT ALL AREAS OF TOILET BARS, GRAB BARS, TOILET PAPER DISPENSERS AND/OR OTHER WALL MOUNTED ITEMS. REFER TO INTERIOR ELEVATIONS FOR LOCATIONS.
 - ALL FIRE BLOCKING TO BE INSTALLED IN LOCATIONS PER CRC SECTION R219.
 - GYP-SUM BOARD FINISH TO MATCH EXISTING. V.I.F. w/ OWNER.
 - AN APPROVED NUMBER OR ADDRESS SHALL BE PROVIDED IN SUCH A POSITION AS TO BE PLAINLY LEGIBLE AND VISIBLE FROM THE STREET FRONTING THE PROPERTY. NUMBERS SHALL CONTRAST w/ THEIR BACKGROUND, SHALL BE ARABIC NUMERALS OR ALPHABETICAL LETTERS, NUMERALS SHALL BE A MIN. OF 4" HIGH, WITH A MIN. STROKE WIDTH OF 1/2" INCH. REFER TO CBC 501.2.
 - PROVIDE A MINIMUM INSULATION OF R-13 AT ALL EXTERIOR WALLS, R-30 INSULATION AT CEILING JOISTS LOCATED UNDER THE SLOPED ROOF ATTIC AND R-19 INSULATION AT CEILING JOISTS LOCATED AT THE FLAT ROOF.
 - GYP-SUM BOARD FINISH TBD. V.I.F. w/ DESIGNER AND OWNER.
 - SEE INTERIOR ELEVATIONS FOR EXTENT OF CABINETRY, PANEL, CASINGS & TRIM.
 - TYPICAL AT ALL WET (SHOWER-BATH) LOCATIONS, WATER RESISTANT DRYWALL MUST BE INSTALLED AT ALL WET LOCATIONS (NOT RECOMMENDED FOR DIRECT TILE APPLICATION IN A SHOWER STALL). WATER RESISTANT DRYWALL MUST BE INSTALLED TO A POINT A MIN. OF 12" ABOVE THE SHOWER DRAIN, CRC R301.2. DO NOT INSTALL A VAPOR BARRIER BEHIND WATER RESISTANT DRYWALL. DO NOT INSTALL THE WATER RESISTANT DRYWALL ON THE CEILING UNLESS THE CEILING JOIST ARE NO GREATER THAT 12" APART FOR 1/2" THICK WATER RESISTANT DRYWALL AND 16" APART FOR 5/8" WATER RESISTANT DRYWALL. CONCRETE BOARD REQUIRES A VAPOR BARRIER TO BE INSTALLED BETWEEN IT AND THE DRYWALL AND OR FRAMING. LISTED FASTENERS MUST BE USED.
 - ALL PLUMBING LOCATIONS TO BE FIELD APPROVED BY DESIGNER BEFORE ANY DRILLING OR INSTALLATION.
 - 22"x30" ATTIC ACCESS w/ 30" CLR FROM TOP OF FRAMING TO UNDERSIDE OF FRAMING. ATTIC ACCESS TO MEET REQUIREMENTS FOR 2016 CRC R201.1
 - CRUISE SPACE ACCESS OPENINGS THROUGH THE FLOOR SHALL BE A MINIMUM OF 18 INCHES BY 24 INCHES PER 2016 CRC R408.4
 - ALL FIRE BLOCKING TO BE INSTALLED IN LOCATIONS PER CRC SECTION R219.
 - STAIR:
 1. STAIR RISER HEIGHT SHALL BE 7 3/4" MAX. PER 311.15.1 CRC. THE RISER HEIGHT SHALL BE MEASURED VERTICALLY BETWEEN THE LEADING EDGES OF ADJACENT TREADS.
 2. STAIR TREAD DEPTH SHALL BE 10" MIN. PER 311.15.2 CRC. THE TREAD DEPTH SHALL BE MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS AND AT A RIGHT ANGLE TO THE TREAD'S LEADING EDGE. WIDER TREADS SHALL HAVE A MINIMUM TREAD DEPTH OF 10" MEASURED AT A RIGHT ANGLE TO THE TREAD'S LEADING EDGE AT A POINT 12" FROM THE SIDE WHERE THE TREADS ARE NARROWER AND A MINIMUM TREAD DEPTH OF 10" PER 311.15.2.1 CRC.
 3. PROVIDE RODENT PROOFING TYPICAL PER 2016 CBC APPENDIX F. WALL VENTILATION OPENINGS SHALL BE COVERED FOR THEIR HEIGHT AND WIDTH WITH PERFORATED SHEET METAL PLATES NO LESS THAN 0.010 INCH (0.25 MM) THICK, EXPANDED SHEET METAL PLATES NOT LESS THAN 0.041 INCH (1.04 MM) THICK, CAST-IRON GRILLS OR GRATINGS, EXTRUDED ALUMINUM LOAD-BEARING VENTS OR WITH HARDWARE CLOTH OF 0.035 INCH (0.89 MM) WIRE OR HEAVIER. THE OPENINGS THEREIN SHALL NOT EXCEED 1/4 INCH (6.4 MM). FOUNDATION AND EXTERIOR WALL SEALING: ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN THE WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR NON-CORROSIVE METAL.

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ARCHITECT OF RECORD:
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HOLLISTER, CA 95023

CITY SUBMITTAL

BID SET

FINISH PLANS

REVISIONS	BY
90% SET 12/18/2021	LM
PLANNING 01/10/2022	LM
RESPONSE TO PLANNING 05/27/2022	LM
RESPONSE TO MILLS ACT 07/06/2022	LM

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DATE: 07/11/2022

A2.3

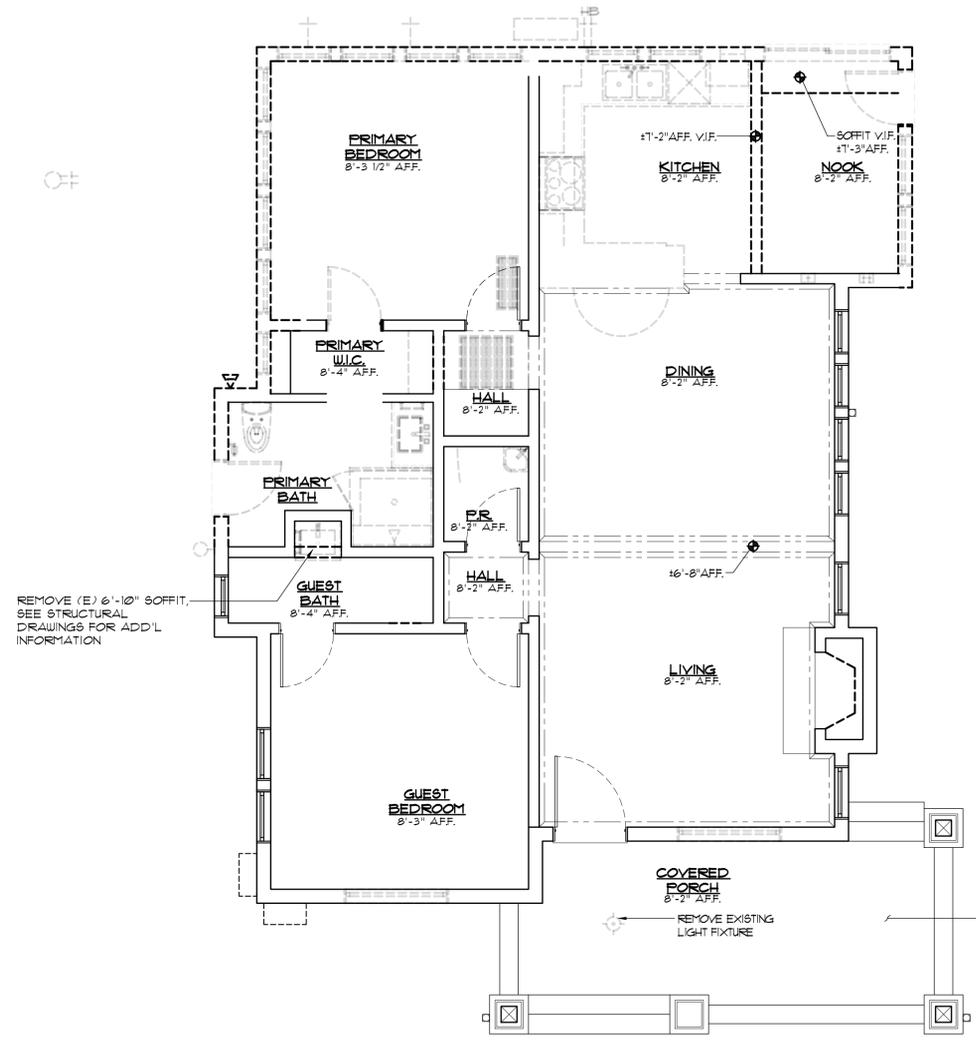
CEILING / SYMBOL LEGEND



SHEETROCK, PLASTER CEILING. SEE SEPARATE PAINT SCHEDULE FOR COLOR.



V-GROOVE. SEE SEPARATE PAINT SCHEDULE FOR PAINT COLOR, STAIN.



CEILING DEMOLITION NOTES

1. XXX



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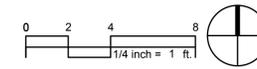
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A2.4

MAIN HOUSE
EXISTING/DEMOLITION CEILING PLAN
SCALE: 1/4" = 1'-0"



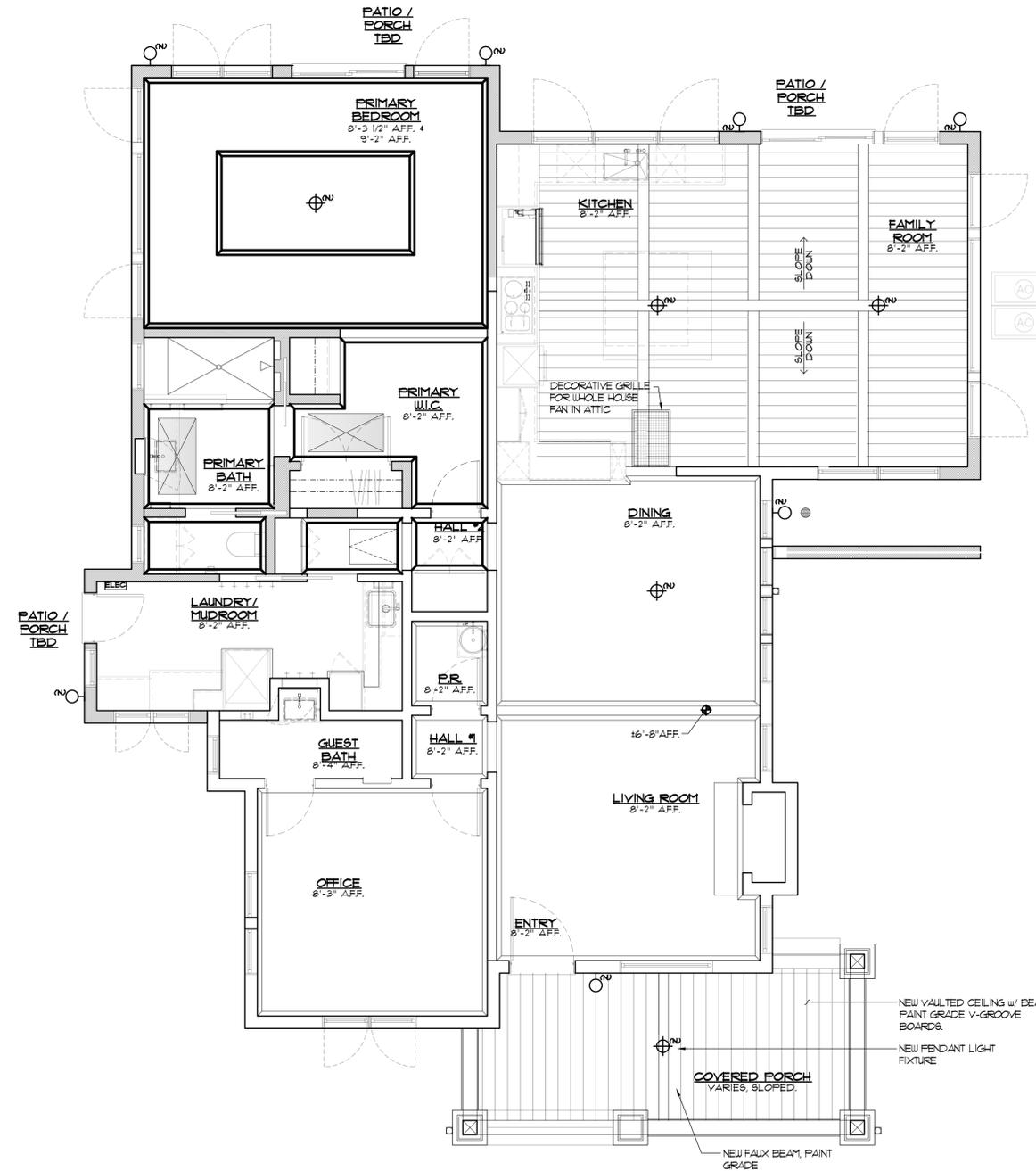
CEILING / SYMBOL LEGEND



SHEETROCK, PLASTER CEILING. SEE SEPARATE PAINT SCHEDULE FOR COLOR.



V-GROOVE. SEE SEPARATE PAINT SCHEDULE FOR PAINT COLOR, STAIN.

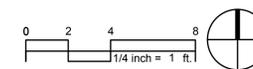


CEILING PLAN NOTES

1. XXX

NOTE:
 1. LIGHTING SHOWN ON THIS PLAN FOR REFERENCE. SEE SHEET LE2.1 LIGHTING PLAN FOR LIGHTING INFORMATION.
 2. C.O. (CARBON MONOXIDE) AND SMOKE DETECTORS SHOWN ON SHEET LE2.3 FLOOR PLAN.

MAIN HOUSE
NEW/PROPOSED CEILING PLAN
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CEILING / SYMBOL LEGEND



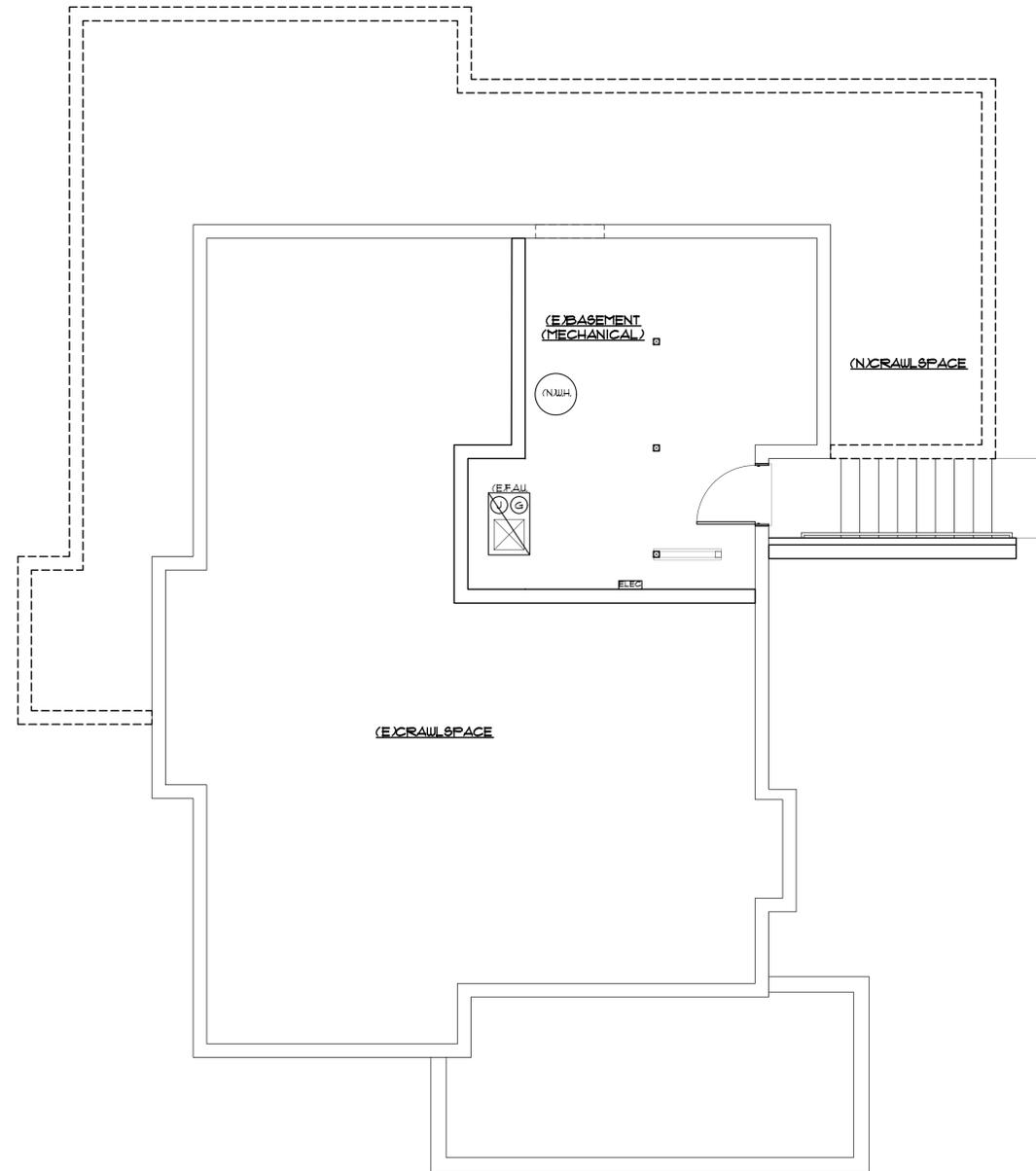
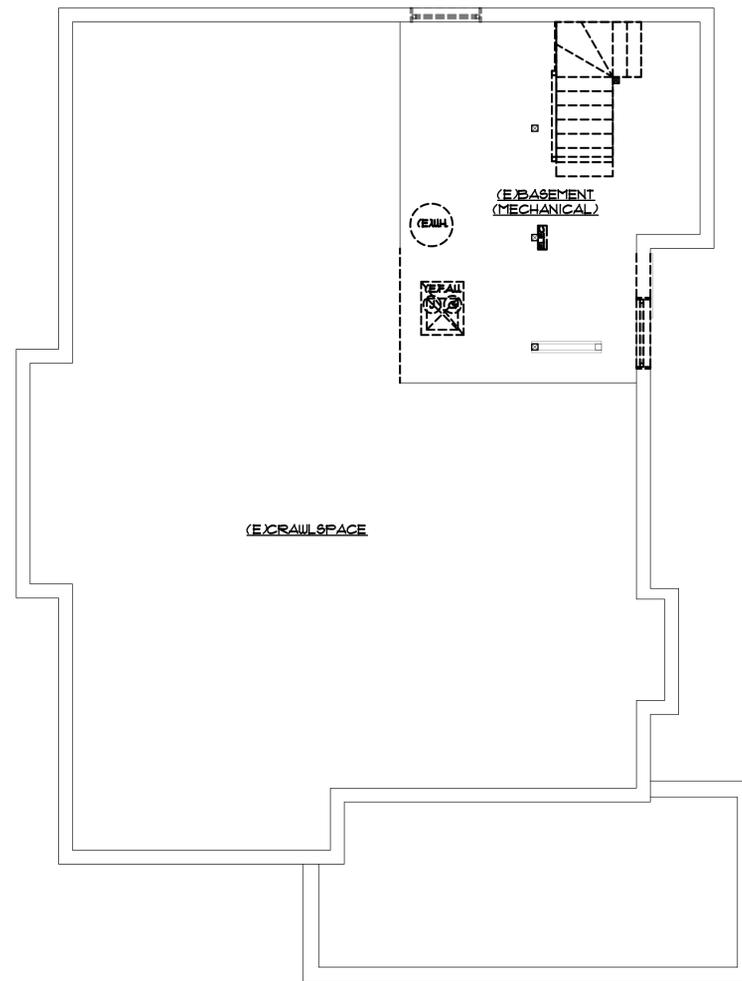
SHEETROCK, FLASTER CEILING. SEE SEPARATE PAINT SCHEDULE FOR COLOR.



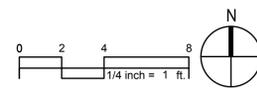
V-GROOVE. SEE SEPARATE PAINT SCHEDULE FOR PAINT COLOR, STAIN.

CEILING DEMOLITION NOTES

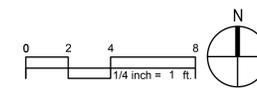
1. xxx



BASEMENT EXISTING/DEMOLITION CEILING PLAN
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BASEMENT NEW/PROPOSED CEILING PLAN
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TO THE DESIGNER.

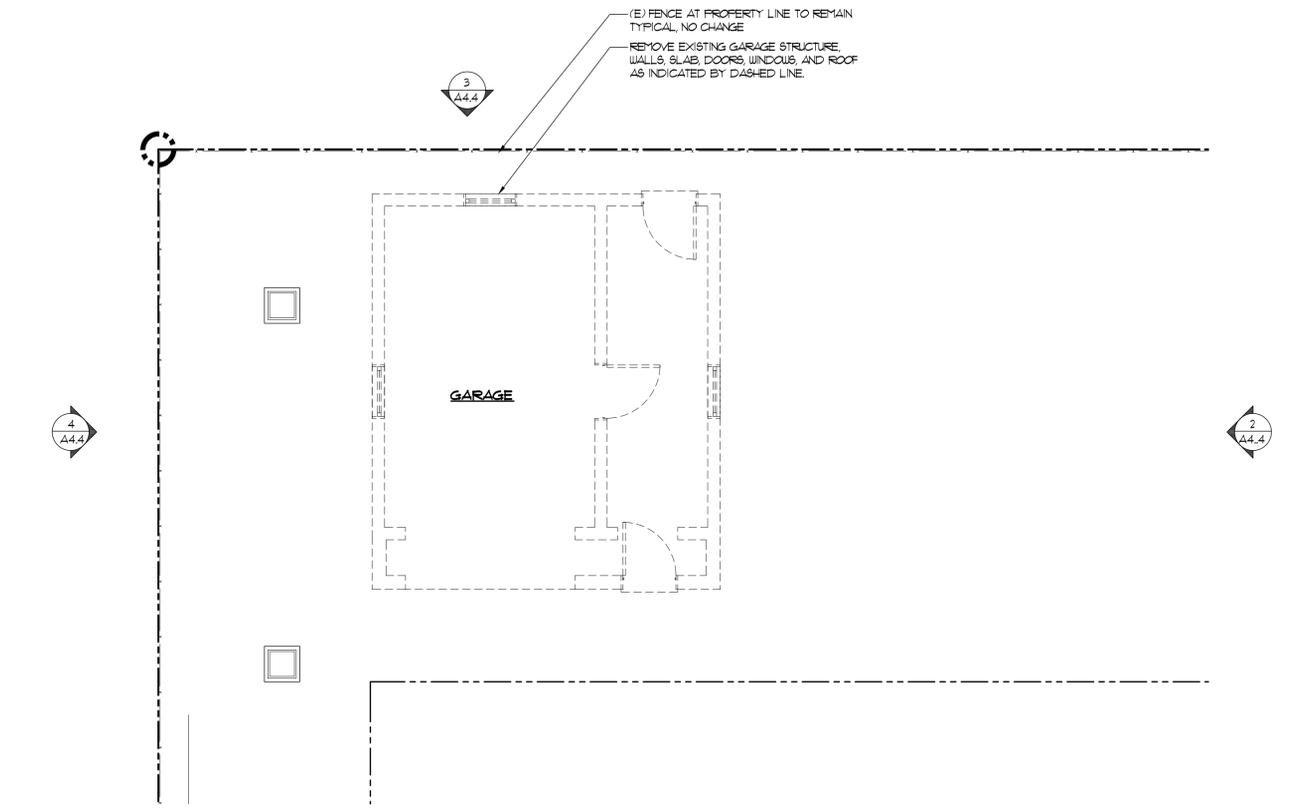
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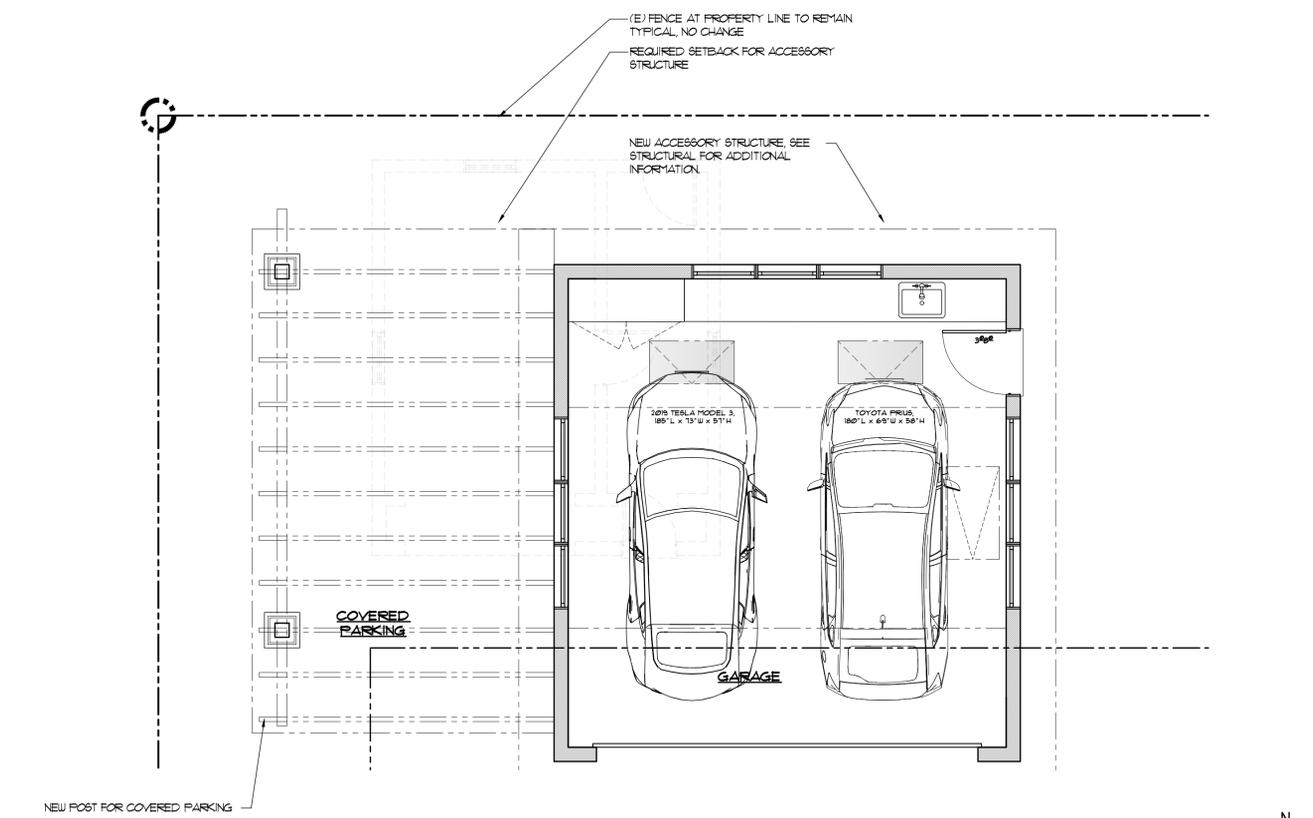
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APN: 170-41-030



1 DETACHED GARAGE
EXISTING/DEMOLITION CEILING PLAN
SCALE: 1/4" = 1'-0"



2 DETACHED GARAGE
NEW/PROPOSED CEILING PLAN
SCALE: 1/4" = 1'-0"

CEILING / SYMBOL LEGEND

-  SHEETROCK, PLASTER CEILING. SEE SEPARATE PAINT SCHEDULE FOR COLOR.
-  V-GROOVE. SEE SEPARATE PAINT SCHEDULE FOR PAINT COLOR, STAIN.

CEILING DEMOLITION NOTES

1. XXX

FLOOR PLAN NOTES

1. DO NOT SCALE THE DRAWINGS! VERIFY ALL DIMENSIONS IN THE FIELD. REPORT ANY AND ALL DISCREPANCIES TO THE DESIGNER.
2. ALL INTERIOR ELEVATION DIMENSIONS ARE TO FINISH SURFACE, SHEET ROCK OR CABINET, UNLESS OTHERWISE NOTED.
3. ALIGN NEW WALLS WITH EXISTING WALLS, TYPICAL UNO.
4. CENTER ALL WINDOWS AND/OR DOORS ON OPENINGS ON INSIDE WALLS, UNLESS OTHERWISE DIMENSIONED OR NOTED. ONE WINDOW/DOOR FROM EACH SLEEPING ROOM MUST HAVE A NET CLEAR OPENING OF 5.7 SQFT (5.0 SQFT WHEN WINDOW IS AT FLOOR / GRADE LEVEL) WITH A NET CLEAR HEIGHT OF 24". A NET CLEAR WIDTH OF 20" AND THE SILL MUST BE WITHIN 44" OFF THE FLOOR.
5. LOCATE ALL WATER CLOSETS AT 15-INCHES MINIMUM FROM CENTER TO ADJACENT WALL AND 30-INCHES MINIMUM CLEAR. PROVIDE 20-INCHES MINIMUM CLEAR IN FRONT OF THE FIXTURE.
6. PROVIDE SOLID BLOCKING IN WALL AT ALL AREAS OF TOILET BARS, GRAB BARS, TOILET PAPER DISPENSERS AND/OR OTHER WALL MOUNTED ITEMS. REFER TO INTERIOR ELEVATIONS FOR LOCATIONS.
7. ALL FIRE BLOCKING TO BE INSTALLED IN LOCATIONS PER CRC SECTION R219.
8. GYPSUM BOARD FINISH TO MATCH EXISTING. V.I.F. w/ OWNER.
9. AN APPROVED NUMBER OR ADDRESS SHALL BE PROVIDED IN SUCH A POSITION AS TO BE PLAINLY LEGIBLE AND VISIBLE FROM THE STREET FRONTING THE PROPERTY. NUMBERS SHALL CONTRAST w/ THEIR BACKGROUND, SHALL BE ARABIC NUMERALS OR ALPHABETICAL LETTERS, NUMERALS SHALL BE A MIN. OF 4" HIGH, WITH A MIN. STROKE WIDTH OF 1/2" INCH. REFER TO CBC 501.2.
10. PROVIDE A MINIMUM INSULATION OF R-19 AT ALL EXTERIOR WALLS, R-30 INSULATION AT CEILING JOISTS LOCATED UNDER THE SLOPED ROOF ATTIC AND R-19 INSULATION AT CEILING JOISTS LOCATED AT THE FLAT ROOF.
11. GYPSUM BOARD FINISH TBD. V.I.F. w/ DESIGNER AND OWNER.
12. SEE INTERIOR ELEVATIONS FOR EXTENT OF CABINETRY, PANEL, CASINGS & TRIM, TYPICAL AT ALL WET (SHOWER-BATH) LOCATIONS. WATER RESISTANT DRYWALL MUST BE INSTALLED AT ALL WET LOCATIONS (NOT RECOMMENDED FOR DIRECT TILE APPLICATION IN A SHOWER STALL). WATER RESISTANT DRYWALL MUST BE INSTALLED TO A POINT A MIN. OF 12" ABOVE THE SHOWER DRAIN, CRC R301.2. DO NOT INSTALL A VAPOR BARRIER BEHIND WATER RESISTANT DRYWALL. DO NOT INSTALL THE WATER RESISTANT DRYWALL ON THE CEILING UNLESS THE CEILING JOIST ARE NO GREATER THAN 12" APART FOR 1/2" THICK WATER RESISTANT DRYWALL AND 16" APART FOR 5/8" WATER RESISTANT DRYWALL. CONCRETE BOARD REQUIRES A VAPOR BARRIER TO BE INSTALLED BETWEEN IT AND THE DRYWALL AND OR FRAMING. LISTED FASTENERS MUST BE USED.
14. ALL PLUMBING LOCATIONS TO BE FIELD APPROVED BY DESIGNER BEFORE ANY DRILLING OR INSTALLATION.
15. 22"x30" ATTIC ACCESS w/ 30" CLR FROM TOP OF FRAMING TO UNDERSIDE OF FRAMING. ATTIC ACCESS TO MEET REQUIREMENTS FOR 2016 CRC R607.1.
16. CRAWLSPACE ACCESS OPENINGS THROUGH THE FLOOR SHALL BE A MINIMUM OF 18 INCHES BY 24 INCHES PER 2016 CRC R408.4.
17. ALL FIRE BLOCKING TO BE INSTALLED IN LOCATIONS PER CRC SECTION R219.
18. STAIR:
 - 18.1. STAIR RISER HEIGHT SHALL BE 1 3/4" MAX. PER 311.15.1 CRC. THE RISER HEIGHT SHALL BE MEASURED VERTICALLY BETWEEN THE LEADING EDGES OF ADJACENT TREADS.
 - 18.2. STAIR TREAD DEPTH SHALL BE 10" MIN. PER 311.15.2 CRC. THE TREAD DEPTH SHALL BE MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS AND AT A RIGHT ANGLE TO THE TREAD'S LEADING EDGE. WINDER TREADS SHALL HAVE A MINIMUM TREAD DEPTH OF 11" MEASURED AT A RIGHT ANGLE TO THE TREAD'S LEADING EDGE AT A POINT 12" FROM THE SIDE WHERE THE TREADS ARE NARROWER AND A MINIMUM TREAD DEPTH OF 10" PER 311.15.2.1 CRC.
19. PROVIDE RODENT PROOFING TYPICAL PER 2016 CBC APPENDIX F. WALL VENTILATION OPENINGS SHALL BE COVERED FOR THEIR HEIGHT AND WIDTH WITH PERFORATED SHEET METAL PLATES NO LESS THAN 0.010 INCH (1.8 MM) THICK, EXPANDED SHEET METAL PLATES NOT LESS THAN 0.041 INCH (1.2 MM) THICK, CAST-IRON GRILLS OR GRATINGS, EXTRUDED ALUMINUM LOAD-BEARING VENTS OR WITH HARDWARE CLOTH OF 0.035 INCH (0.89 MM) WIRE OR HEAVIER. THE OPENINGS THEREIN SHALL NOT EXCEED 1/4 INCH (6.4 MM). FOUNDATION AND EXTERIOR WALL SEALING: ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN THE WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR NON-CORROSIVE METAL.



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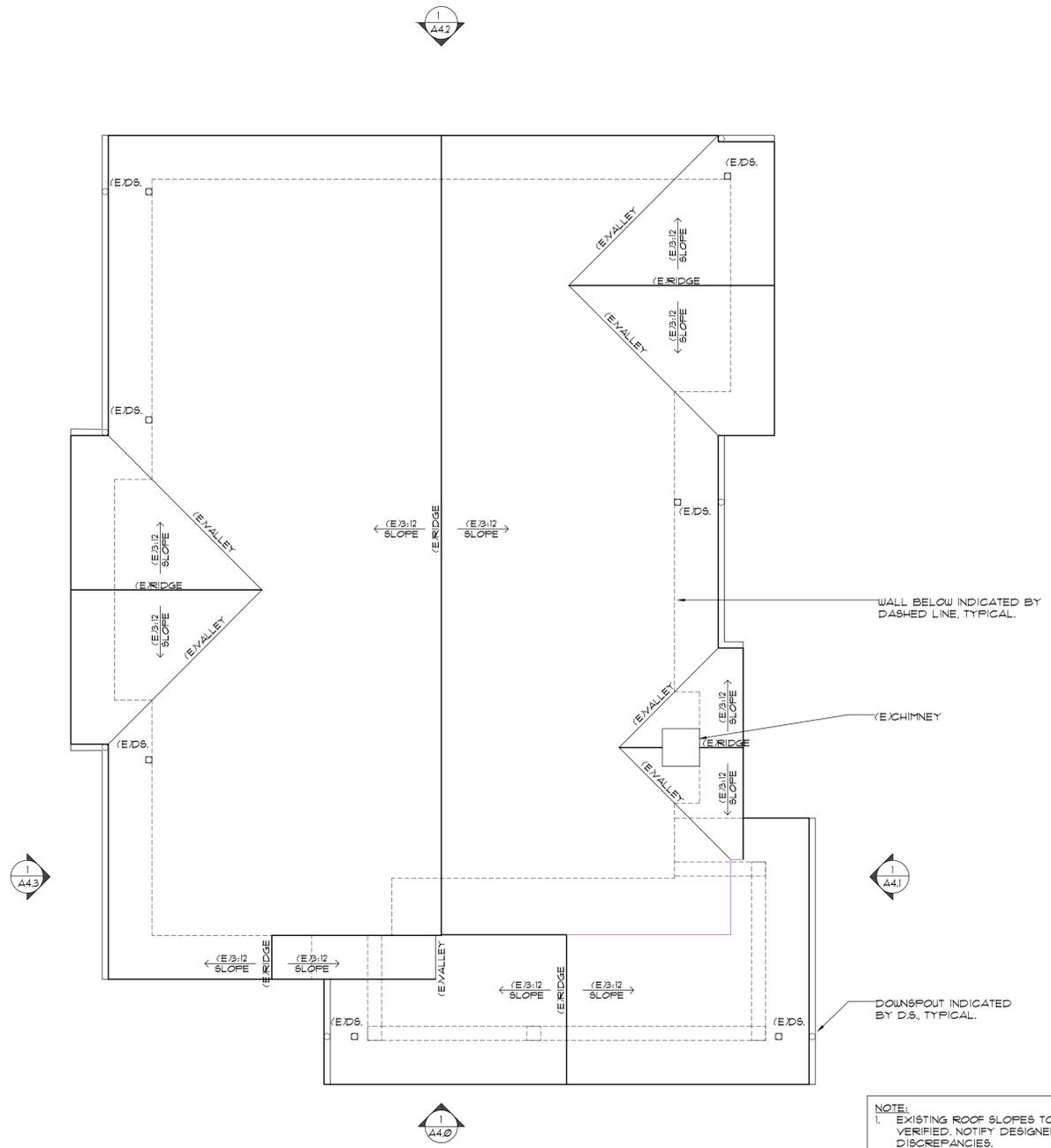
A3.0

ROOF SYMBOL LEGEND

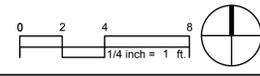
- 2x FRAMED CHIMNEY WALL.
- ROOF LINE
- LINE OF WALL BELOW
- AREA OF ROOF TO BE REMOVED
- AREA OF NEW ROOF FRAMING.
- AREA OF ROOF TO BE REFRAMED ON TOP OF EXISTING ROOF STRUCTURE, (CALIFORNIA FRAMED).
- AREA OF CRICKET
- SKYLIGHT, FIXED. SIZE MAY VARY, SEE PLAN FOR ADDITIONAL INFORMATION.
- SKYLIGHT, OPERABLE. SIZE AND OPERABILITY VARIES, SEE PLAN.
- EXTERIOR ELEVATION MARKER
- SECTION LINE (LETTER / SHEET)
- SKYLIGHT TYPE (LETTER & NUMBER), REFER TO SCHEDULE.

ROOF DEMOLITION NOTES

- EXISTING ROOF TO REMAIN UNLESS NOTED OTHERWISE. SEE NEW ROOF PLAN AND NEW ROOF PLAN NOTES.
- PATCH / REPAIR EXISTING ROOF AT AREAS OF NEW CONSTRUCTION TO MATCH
- EXISTING FASCIA, GUTTER SYSTEM w/ DOWNSPOUTS TO REMAIN UNLESS OTHERWISE NOTED. FIELD VERIFY EXISTING GUTTER GUARD, PROVIDE GUTTER GUARD IF NOT EXISTING.
- EXISTING VENTILATION, RIDGE VENTS AND SOFFIT EAVE VENTS TO REMAIN, NO CHANGE UNLESS OTHERWISE NOTED.



MAIN HOUSE
EXISTING/DEMOLITION ROOF PLAN
SCALE: 1/4" = 1'-0"



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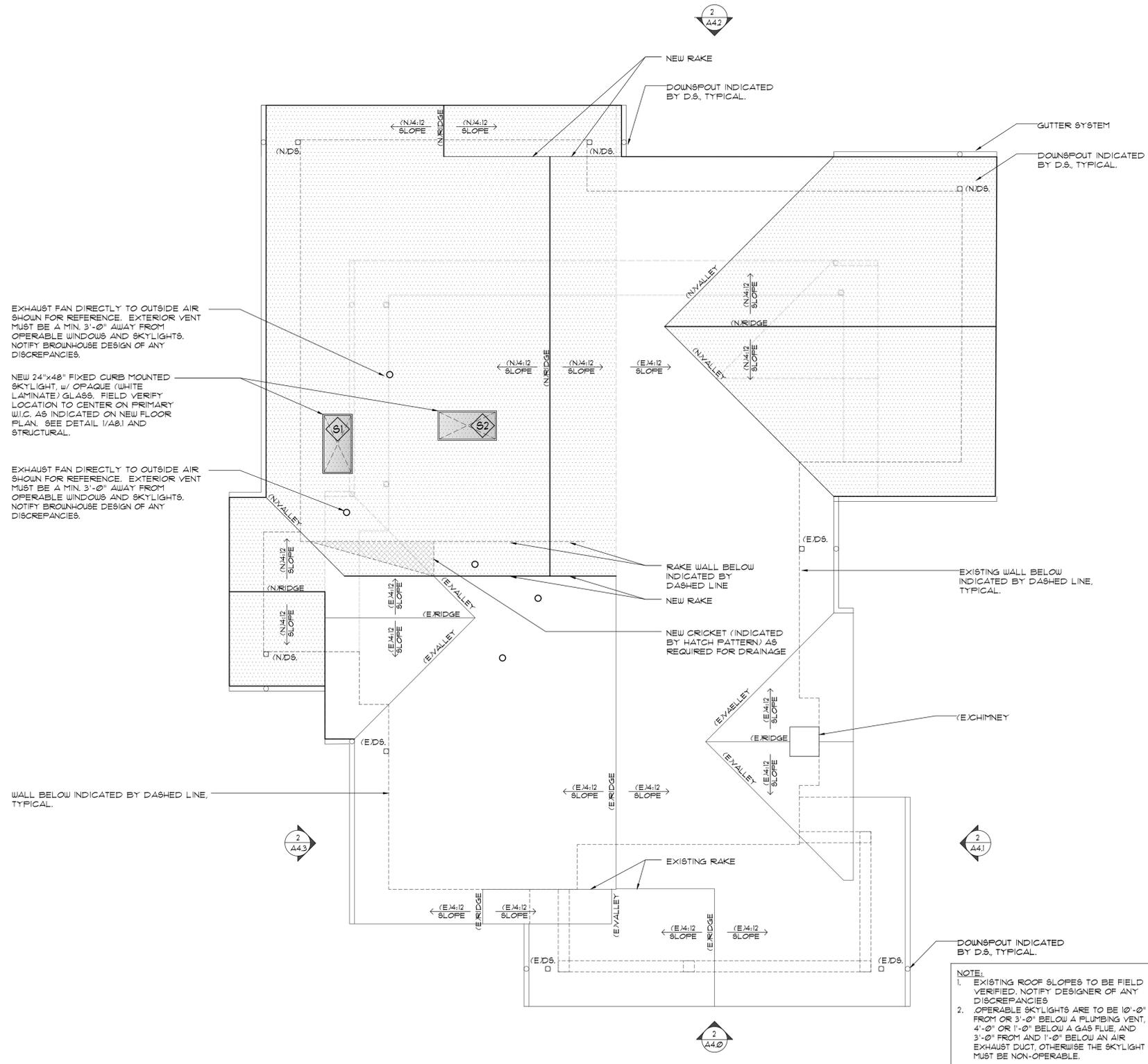
A3.1

ROOF SYMBOL LEGEND

- 2x FRAMED CHIMNEY WALL.
- ROOF LINE
- LINE OF WALL BELOW
- AREA OF ROOF TO BE REMOVED
- AREA OF NEW ROOF FRAMING.
- AREA OF ROOF TO BE REFRAMED ON TOP OF EXISTING ROOF STRUCTURE, (CALIFORNIA FRAMED).
- AREA OF CRICKET
- SKYLIGHT, FIXED. SIZE MAY VARY, SEE PLAN FOR ADDITIONAL INFORMATION.
- SKYLIGHT, OPERABLE. SIZE AND OPERABILITY VARIES, SEE PLAN.
- EXTERIOR ELEVATION MARKER
- SECTION LINE (LETTER / SHEET)
- SKYLIGHT TYPE (LETTER & NUMBER), REFER TO SCHEDULE.

ROOF PLAN NOTES

1. STATE LAW REQUIRES A FIRE RATING OF CLASS C OR BETTER.
2. NEW ROOFING.
3. REPLACE EXISTING ROOFING WITH NEW COMPOSITE ROOFING SHINGLES OVER 30" FELT, CLASS A4.
4. STATE LAW REQUIRES A FIRE RATING OF CLASS C OR BETTER.
5. NEW ROOF SLOPE TO MATCH EXISTING ROOF SLOPES.
6. EXISTING FASCIA STYLE TBD, SEAMLESS GUTTER IN 5 1/2" & 6" STANDARD GUTTER SYSTEM WITH GUTTER GUARD.
- 6.1. EXISTING FASCIA, GUTTER SYSTEM w/ DOWNSPOUTS TO REMAIN. FIELD VERIFY EXISTING GUTTER GUARD, PROVIDE GUTTER GUARD IF NOT EXISTING.
7. DOWNSPOUTS TO BE PAINTED TO MATCH ADJACENT SHINGLE SIDING COLOR. ALL DOWNSPOUTS SHALL BE CONNECTED TO THE EXISTING UNDERGROUND DRAINAGE PIPING.
8. SEE PAINT SCHEDULE AND/OR MATERIALS LEGEND ON SHEETS A4.1-A4.3.
9. OPERABLE SKYLIGHTS ARE TO BE 10'-0" FROM OR 3'-0" BELOW A PLUMBING VENT, 4'-0" OR 1'-0" BELOW A GAS FLUE, AND 3'-0" FROM AND 1'-0" BELOW AN AIR EXHAUST DUCT. OTHERWISE THE SKYLIGHT MUST BE NON-OPERABLE.
10. ALL FLASHING TO BE MINIMUM 26 GA GALVANIZED SHEET METAL.
11. EXISTING VENTILATION, RIDGE VENTS AND SOFFIT EAVE VENTS TO REMAIN, NO CHANGE.



EXHAUST FAN DIRECTLY TO OUTSIDE AIR SHOWN FOR REFERENCE. EXTERIOR VENT MUST BE A MIN. 3'-0" AWAY FROM OPERABLE WINDOWS AND SKYLIGHTS. NOTIFY BROWNHOUSE DESIGN OF ANY DISCREPANCIES.

NEW 24"x48" FIXED CURB MOUNTED SKYLIGHT, w/ OPAQUE (WHITE LAMINATE) GLASS. FIELD VERIFY LOCATION TO CENTER ON PRIMARY W.C. AS INDICATED ON NEW FLOOR PLAN. SEE DETAIL 1/A8.1 AND STRUCTURAL.

EXHAUST FAN DIRECTLY TO OUTSIDE AIR SHOWN FOR REFERENCE. EXTERIOR VENT MUST BE A MIN. 3'-0" AWAY FROM OPERABLE WINDOWS AND SKYLIGHTS. NOTIFY BROWNHOUSE DESIGN OF ANY DISCREPANCIES.

WALL BELOW INDICATED BY DASHED LINE, TYPICAL.

NEW RAKE
DOWNSPOUT INDICATED BY D.S., TYPICAL.

GUTTER SYSTEM
DOWNSPOUT INDICATED BY D.S., TYPICAL.

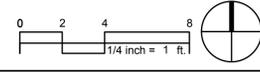
RAKE WALL BELOW INDICATED BY DASHED LINE
NEW RAKE

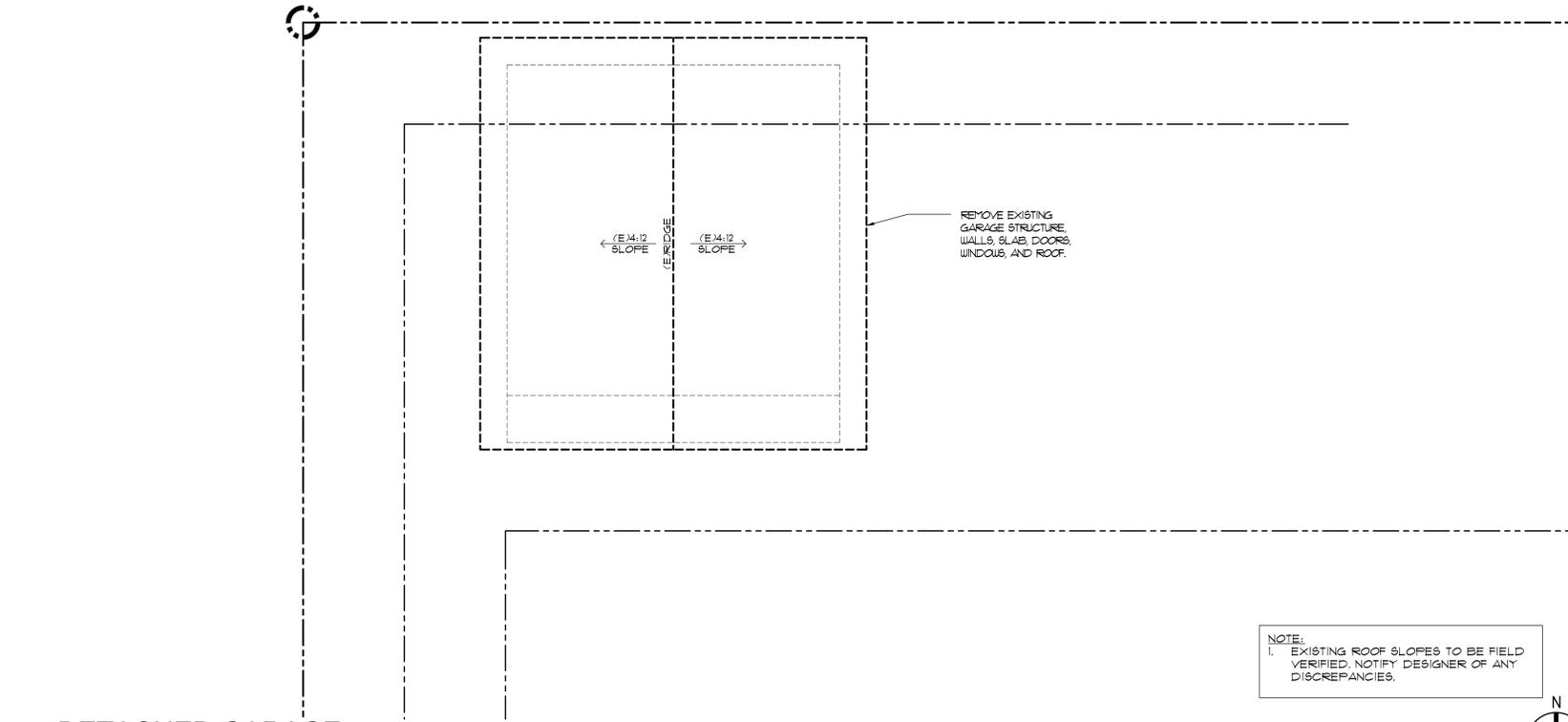
NEW CRICKET (INDICATED BY HATCH PATTERN) AS REQUIRED FOR DRAINAGE

EXISTING WALL BELOW INDICATED BY DASHED LINE, TYPICAL.

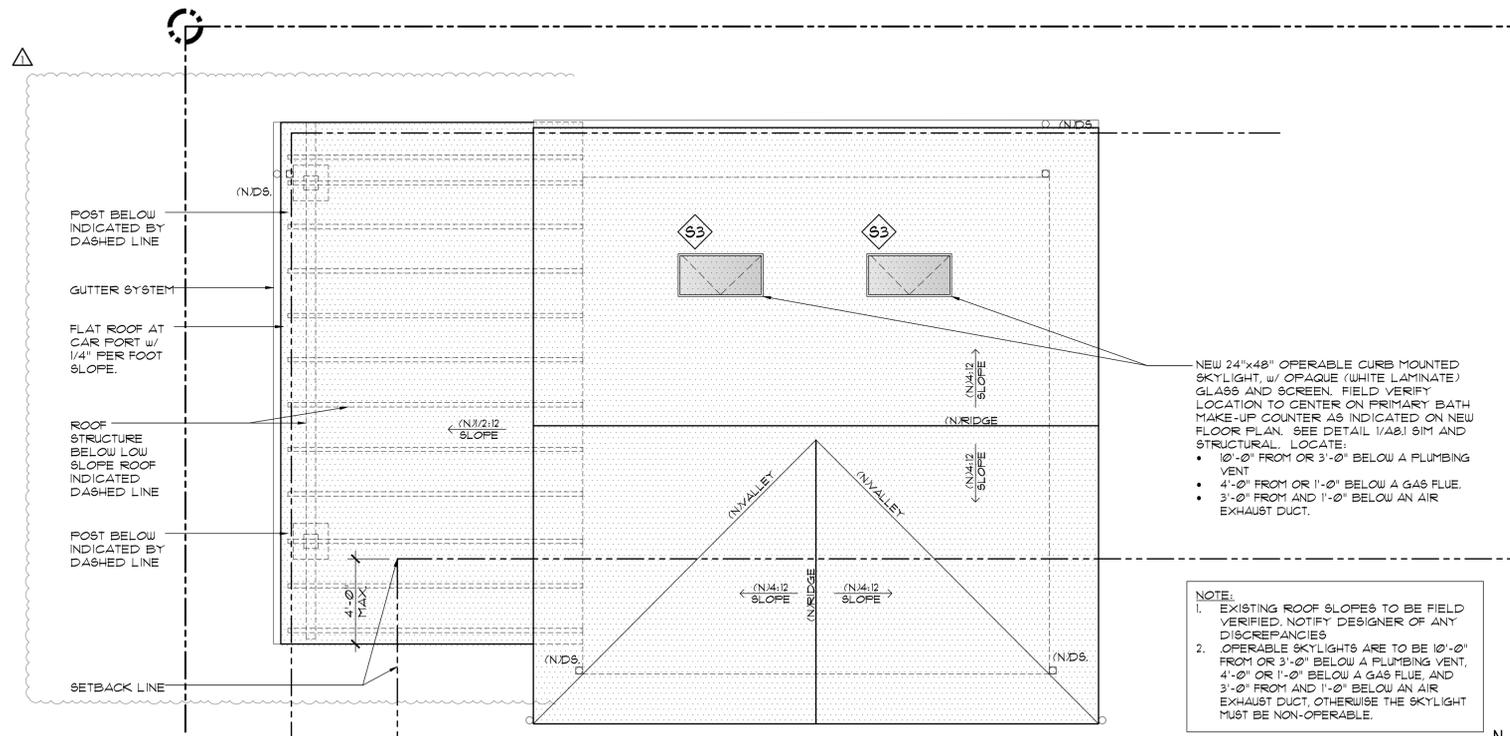
NOTE:
1. EXISTING ROOF SLOPES TO BE FIELD VERIFIED, NOTIFY DESIGNER OF ANY DISCREPANCIES.
2. OPERABLE SKYLIGHTS ARE TO BE 10'-0" FROM OR 3'-0" BELOW A PLUMBING VENT, 4'-0" OR 1'-0" BELOW A GAS FLUE, AND 3'-0" FROM AND 1'-0" BELOW AN AIR EXHAUST DUCT. OTHERWISE THE SKYLIGHT MUST BE NON-OPERABLE.

MAIN HOUSE
EXISTING/DEMOLITION ROOF PLAN
SCALE: 1/4" = 1'-0"





1 DETACHED GARAGE EXISTING/DEMOLITION ROOF PLAN
SCALE: 1/4" = 1'-0"



2 DETACHED GARAGE NEW/PROPOSED ROOF PLAN
SCALE: 1/4" = 1'-0"

ROOF SYMBOL LEGEND

- 2x FRAMED CHIMNEY WALL.
- ROOF LINE
- LINE OF WALL BELOW
- AREA OF ROOF TO BE REMOVED
- AREA OF NEW ROOF FRAMING.
- AREA OF ROOF TO BE REFRAMED ON TOP OF EXISTING ROOF STRUCTURE, (CALIFORNIA FRAMED).
- AREA OF CRICKET
- SKYLIGHT, FIXED. SIZE MAY VARY, SEE PLAN FOR ADDITIONAL INFORMATION.
- SKYLIGHT, OPERABLE. SIZE AND OPERABILITY VARIES, SEE PLAN.
- EXTERIOR ELEVATION MARKER
- SECTION LINE (LETTER / SHEET)
- SKYLIGHT TYPE (LETTER & NUMBER), REFER TO SCHEDULE.

ROOF DEMOLITION NOTES

1. EXISTING ROOF TO REMAIN UNLESS NOTED OTHERWISE. SEE NEW ROOF PLAN AND NEW ROOF PLAN NOTES.
2. PATCH / REPAIR EXISTING ROOF AT AREAS OF NEW CONSTRUCTION TO MATCH EXISTING FASCIA, GUTTER SYSTEM w/ DOWNSPOUTS TO REMAIN UNLESS OTHERWISE NOTED. FIELD VERIFY EXISTING GUTTER GUARD, PROVIDE GUTTER GUARD IF NOT EXISTING.
3. EXISTING VENTILATION, RIDGE VENTS AND SOFFIT EAVE VENTS TO REMAIN, NO CHANGE UNLESS OTHERWISE NOTED.

ROOF PLAN NOTES

1. STATE LAW REQUIRES A FIRE RATING OF CLASS C OR BETTER.
2. NEW ROOFING:
3. REPLACE EXISTING ROOFING WITH NEW COMPOSITE ROOFING SHINGLES OVER 30" FELT, CLASS A-4.
4. STATE LAW REQUIRES A FIRE RATING OF CLASS C OR BETTER.
5. NEW ROOF SLOPE TO MATCH EXISTING ROOF SLOPES.
6. EXISTING FASCIA STYLE TBD, SEAMLESS GUTTER IN 5 1/2" & 6" STANDARD GUTTER SYSTEM WITH GUTTER GUARD.
- 6.1. EXISTING FASCIA, GUTTER SYSTEM w/ DOWNSPOUTS TO REMAIN. FIELD VERIFY EXISTING GUTTER GUARD, PROVIDE GUTTER GUARD IF NOT EXISTING.
7. DOWNSPOUTS TO BE PAINTED TO MATCH ADJACENT SHINGLE SIDING COLOR. ALL DOWNSPOUTS SHALL BE CONNECTED TO THE EXISTING UNDERGROUND DRAINAGE PIPING.
8. SEE PAINT SCHEDULE AND/OR MATERIALS LEGEND ON SHEETS A4.1-A4.3.
9. OPERABLE SKYLIGHTS ARE TO BE 10'-0" FROM OR 3'-0" BELOW A PLUMBING VENT, 4'-0" OR 1'-0" BELOW A GAS FLUE, AND 3'-0" FROM AND 1'-0" BELOW AN AIR EXHAUST DUCT. OTHERWISE THE SKYLIGHT MUST BE NON-OPERABLE.
10. ALL FLASHING TO BE MINIMUM 26 ga GALVANIZED SHEET METAL.
11. EXISTING VENTILATION, RIDGE VENTS AND SOFFIT EAVE VENTS TO REMAIN, NO CHANGE.

NOTE:
1. EXISTING ROOF SLOPES TO BE FIELD VERIFIED. NOTIFY DESIGNER OF ANY DISCREPANCIES.

NOTE:
1. EXISTING ROOF SLOPES TO BE FIELD VERIFIED. NOTIFY DESIGNER OF ANY DISCREPANCIES
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DESIGNER:
BROWNHOUSE DESIGN, INC.
101 MAIN ST. LOS ALTOS,
CA 94022

ARCHITECT OF RECORD:
DAVID BARNIA, ARCHITECT
270 PROMISE WAY
HOLLISTER, CA 95023



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FINISH PLANS

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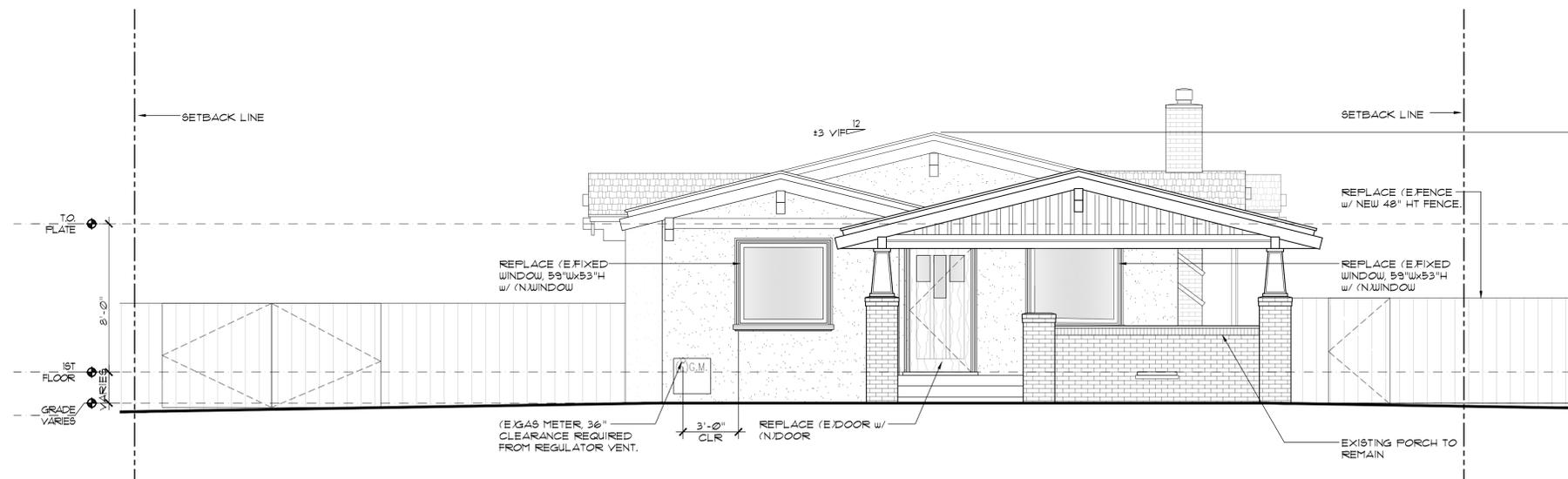
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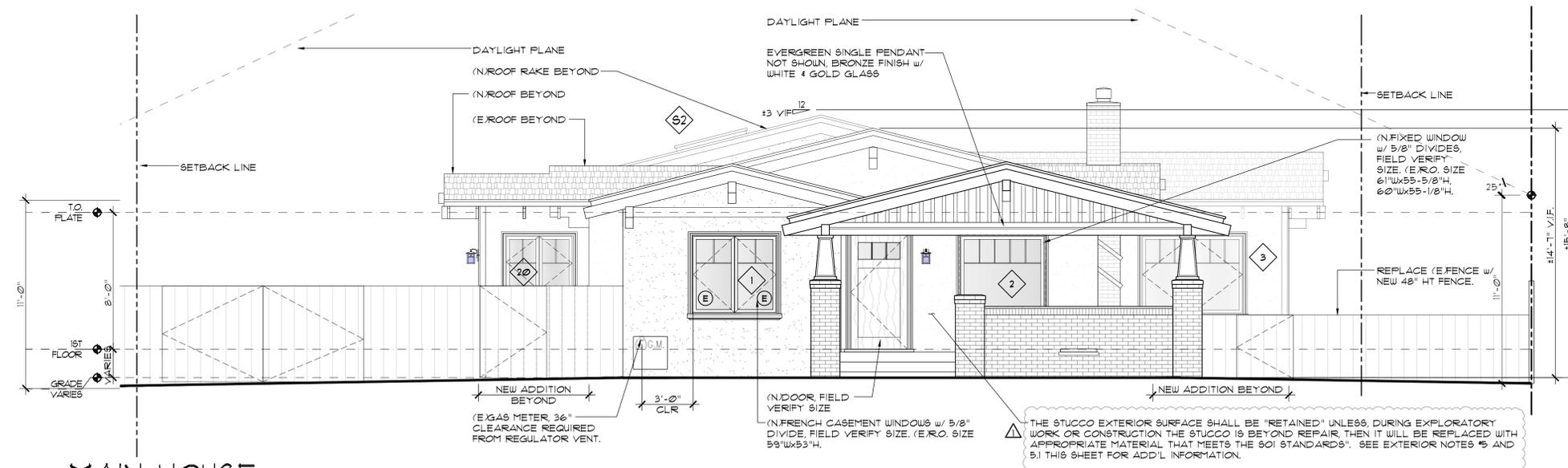
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SCALE:
DATE: 07/11/2022

A3.2



① MAIN HOUSE FRONT ELEVATION, SOUTH -EXISTING/DEMOLITION
SCALE: 1/4" = 1'-0"



② MAIN HOUSE FRONT ELEVATION, SOUTH -NEW/PROPOSED
SCALE: 1/4" = 1'-0"

MATERIAL LEGEND

- GLASS, GLAZING, WINDOW & PATIO DOOR FRAME
FINISH COLOR "BRONZE" BY MARVIN
- OVERHEAD GARAGE AND FRONT ENTRY DOOR
FINISH: STAIN-GRADE, WALNUT CLEAR COAT
- BRICK, 2-1/4" X 8-1/2", 2" X 8", EXISTING
- NOT USED - SHINGLE WOOD SIDING, CEDAR SHINGLE VALLEY SIDING, 5-3 EVEN-KEY-WAY, PAINT COLOR "AVON GREEN" #CG-126 BY BENJAMIN MOORE (LRV:19.68). SEE EXTERIOR NOTE 5 AND 5.1 THIS SHEET.
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- POST, COLUMN, PAINT COLOR "DECORATOR'S WHITE" *OC-149 = FM-3 BY BENJAMIN MOORE (LRV:84.61)
- WOOD FENCE
- FLOORING AT PATIO: TBD

EXTERIOR NOTES

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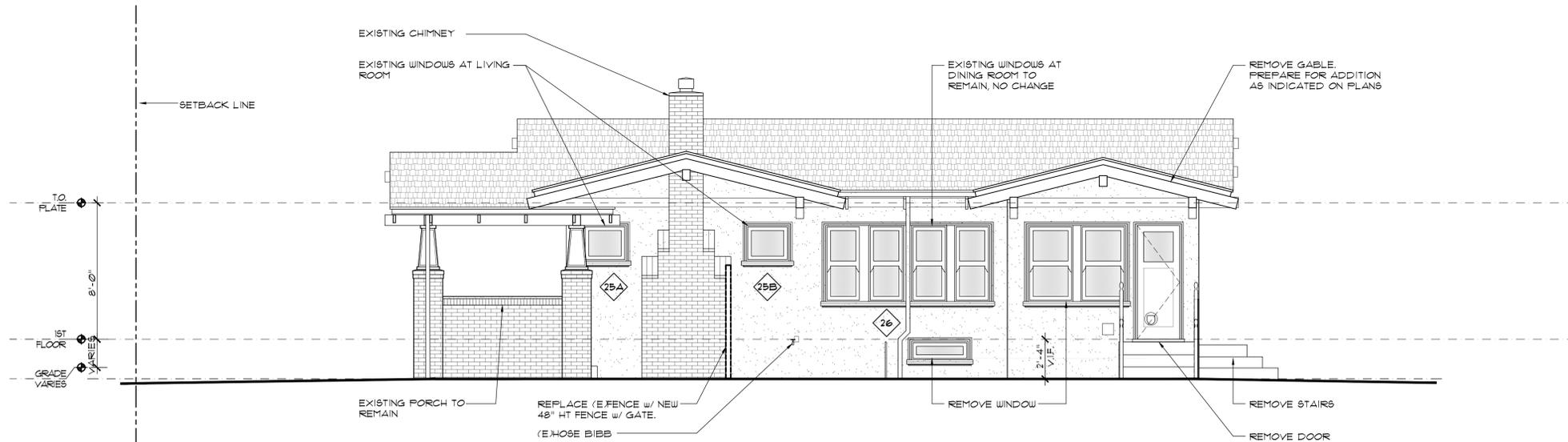
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MATERIAL LEGEND

- GLASS, GLAZING, WINDOW & PATIO DOOR FRAME
FINISH COLOR "BRONZE" BY MARVIN
- OVERHEAD GARAGE AND FRONT ENTRY DOOR
FINISH: STAIN-GRADE, WALNUT CLEAR COAT
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- WOOD FENCE
- FLOORING AT PATIO: TBD

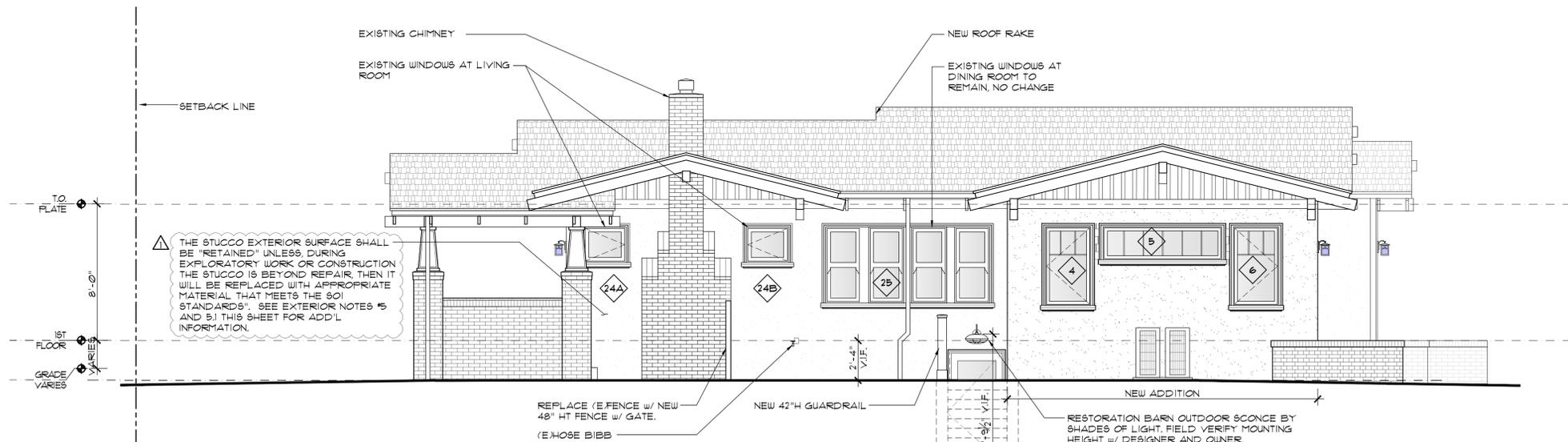
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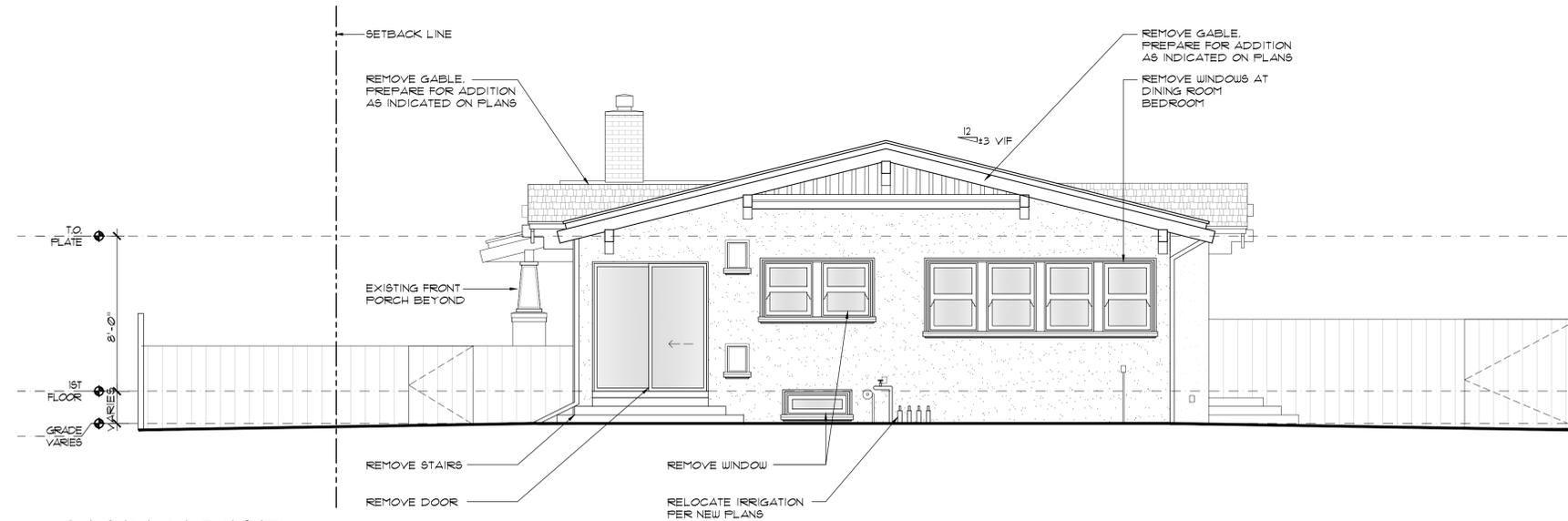
**MAIN HOUSE
RIGHT SIDE ELEVATION, EAST -EXISTING/DEMOLITION**

SCALE: 1/4" = 1'-0"

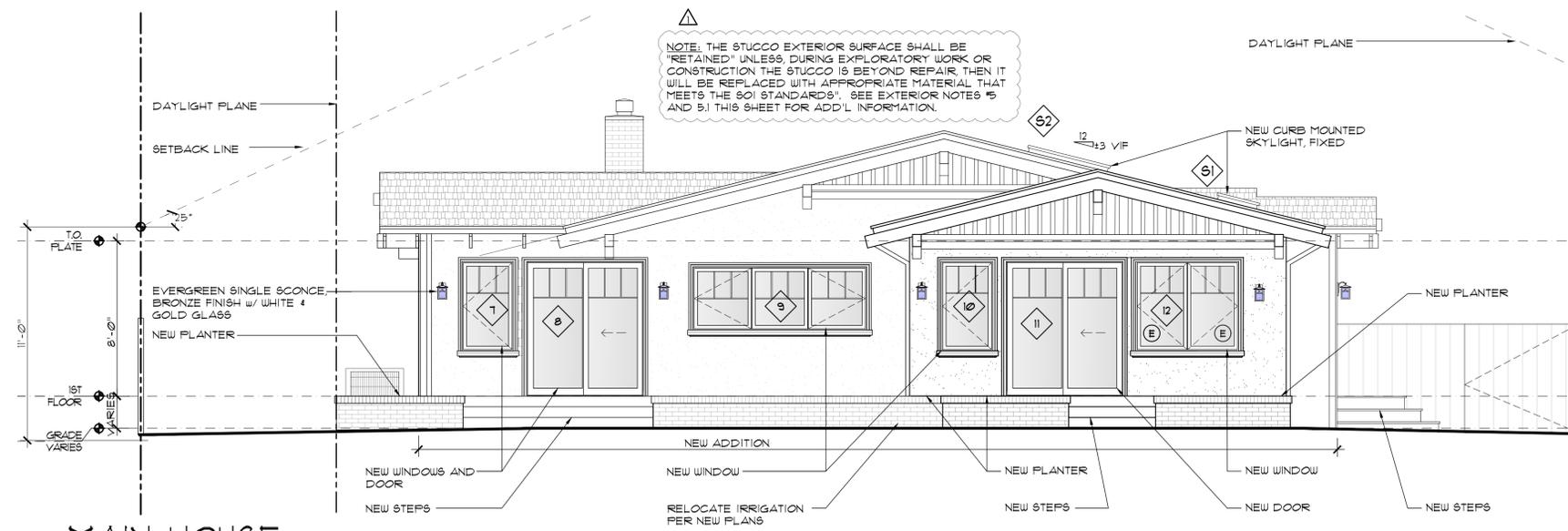


**MAIN HOUSE
RIGHT SIDE ELEVATION, EAST -NEW/PROPOSED**

SCALE: 1/4" = 1'-0"



① MAIN HOUSE
REAR ELEVATION, NORTH -EXISTING/DEMOLITION
SCALE: 1/4" = 1'-0"



② MAIN HOUSE
REAR ELEVATION, NORTH -NEW/PROPOSED
SCALE: 1/4" = 1'-0"

MATERIAL LEGEND

- GLASS, GLAZING, WINDOW & PATIO DOOR FRAME
FINISH COLOR "BRONZE" BY MARVIN
- OVERHEAD GARAGE AND FRONT ENTRY DOOR
FINISH: STAIN-GRADE, WALNUT CLEAR COAT
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- NOT USED - SHINGLE WOOD SIDING, CEDAR SHINGLE VALLEY
SIDING, 5-3 EVEN-KEY-WAY, PAINT COLOR "AVON GREEN"
"HCG-126" BY BENJAMIN MOORE (LRV:19.68). SEE EXTERIOR
NOTE #5 AND 5.1 THIS SHEET.
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COLOR "DECORATOR'S WHITE" "OC-149" = FM-3 BY
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- POST, COLUMN: PAINT COLOR "DECORATOR'S WHITE"
"OC-149" = FM-3 BY BENJAMIN MOORE (LRV:84.61)
- ROOFING: TIMBERLINE@UHD LIFETIME ULTRA HIGH
DEFINITION@SHINGLES BY GAF, COLOR "SHAKEWOOD"
- WOOD FENCE
- FLOORING AT PATIO: TBD

EXTERIOR NOTES

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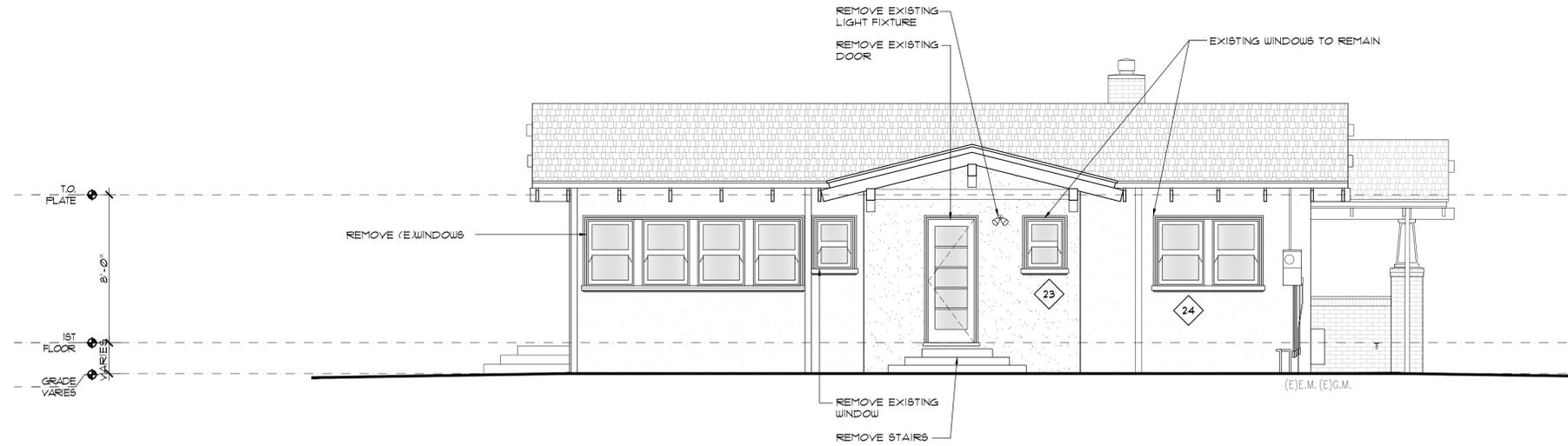
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DATE: 07/11/2022

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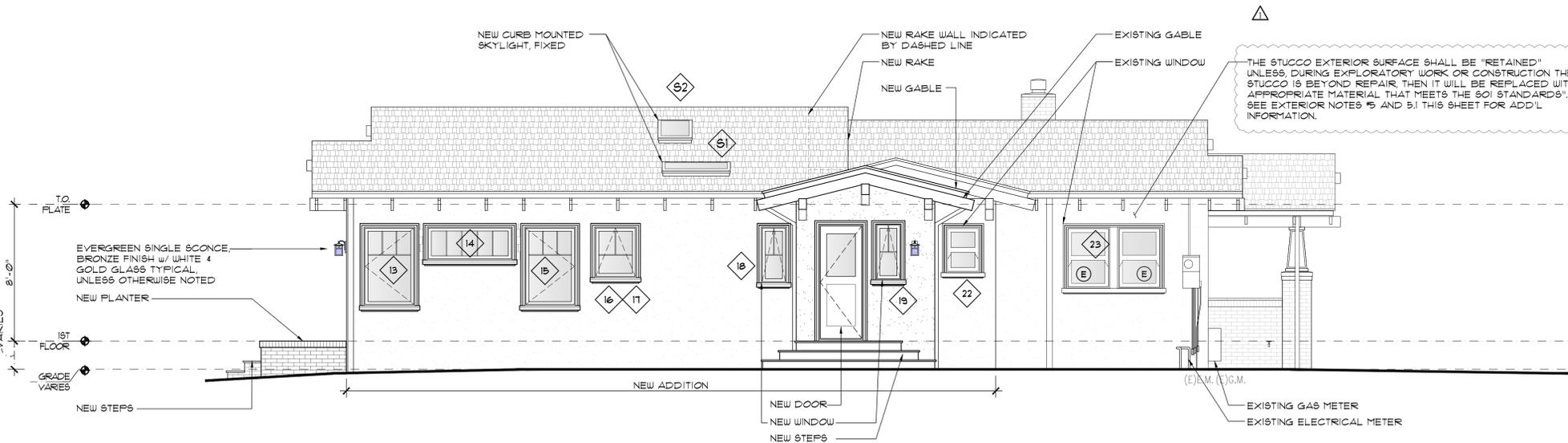
① MAIN HOUSE
LEFT SIDE ELEVATION, WEST -EXISTING/DEMOLITION
SCALE: 1/4" = 1'-0"

MATERIAL LEGEND

- GLASS, GLAZING, WINDOW & PATIO DOOR FRAME
FINISH COLOR "BRONZE" BY MARVIN
- OVERHEAD GARAGE AND FRONT ENTRY DOOR
FINISH: STAIN-GRADE, WALNUT CLEAR COAT
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② MAIN HOUSE
LEFT SIDE ELEVATION, WEST -NEW/PROPOSED
SCALE: 1/4" = 1'-0"

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LOS ALTOS, CA 94022

APN: 170-41-030

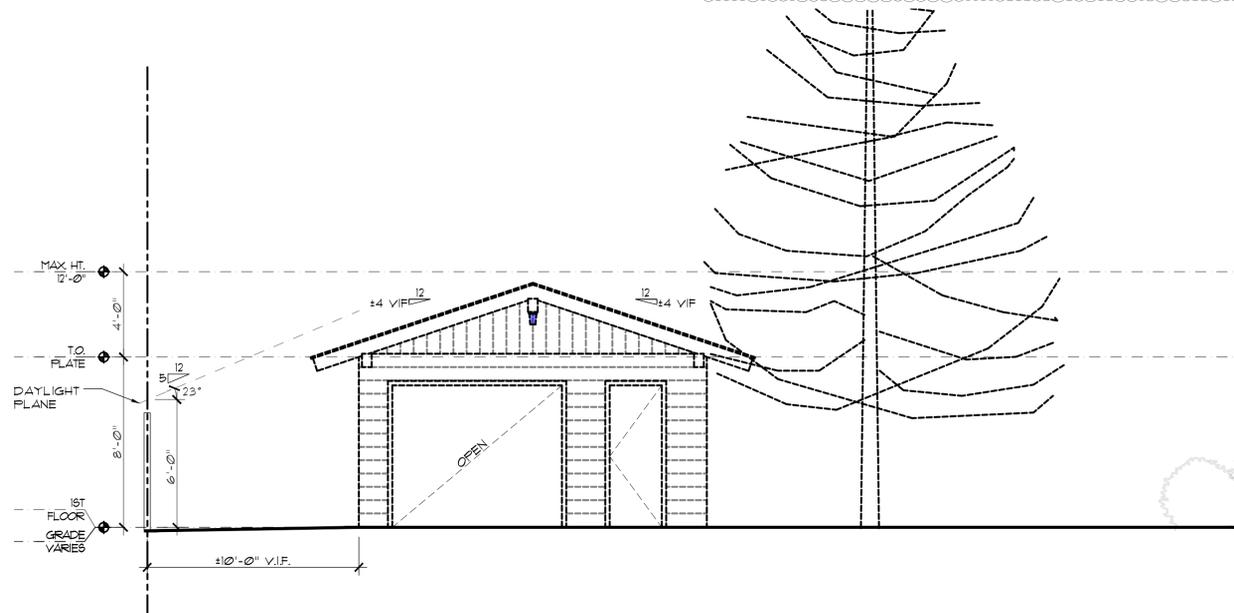
DRAWN BY: LMDB
CHECKED BY: AS NOTED
SCALE:
DATE: 07/11/2022

EXTERIOR NOTES

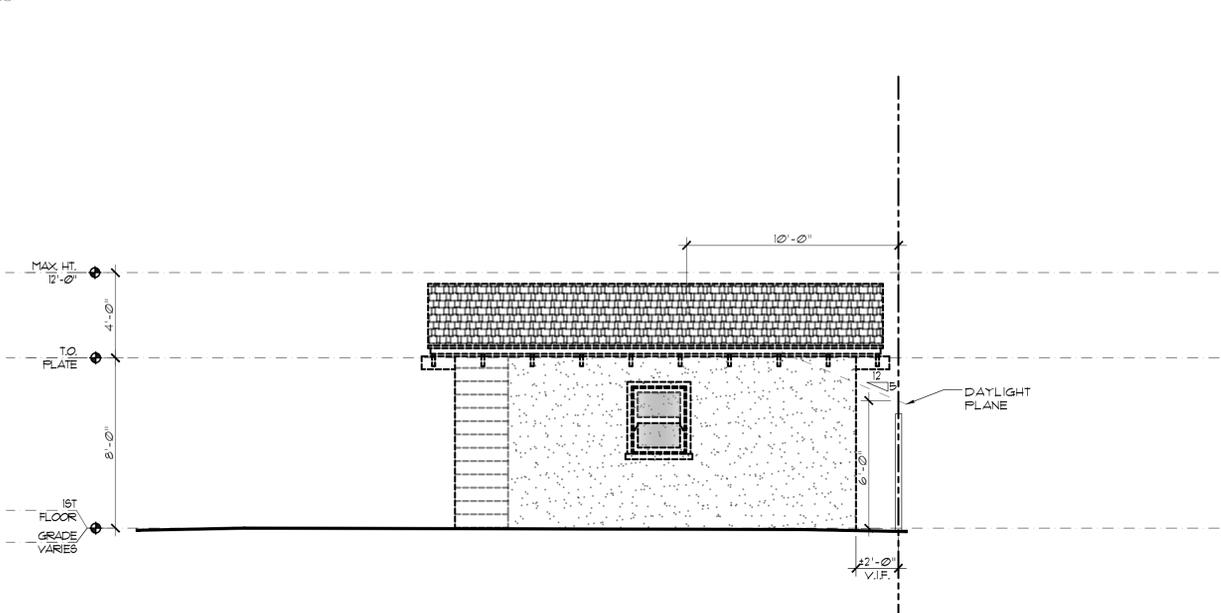
1. THERE IS TO BE NO EXTERIOR WORK, UNLESS NOTED OTHERWISE FOR DOOR AND/OR WINDOW REPLACEMENT.
2. EXISTING WINDOWS AND DOORS TO REMAIN AS NOTED. THE RE-USE OF EXISTING WINDOWS ARE ENCOURAGED (INCLUDING WINDOWS NOT FACING STREET). IT IS ALSO ENCOURAGED THAT ALL WINDOWS NOT BEING RE-USED SHALL BE STORED ON SITE AS A PART OF THE MILLS ACT TO BE USED AS REPLACEMENT LATER IF A WINDOW IS DAMAGED IN FUTURE.
3. EXISTING BRICK TO REMAIN. NEW BRICK TO MATCH EXISTING "IN-KIND".
4. REPLACE EXISTING STUCCO w/ NEW SHINGLE SIDING AS INDICATED ON DRAWINGS. EXISTING GUTTER AND DOWNSPOUT SYSTEM TO REMAIN. NEW GUTTER AND DOWNSPOUTS TO MATCH EXISTING.
5. MAIN HOUSE BUILDING, SECRETARY OF INTERIOR STANDARDS FOR REHABILITATION REVIEW STANDARDS COMMENT:
 5.1. THE STUCCO EXTERIOR SURFACE SHALL BE "RETAINED" UNLESS, DURING EXPLORATORY WORK OR CONSTRUCTION THE STUCCO IS BEYOND REPAIR, THEN IT WILL BE REPLACED WITH APPROPRIATE MATERIAL THAT MEETS THE SOI STANDARDS" - OR THE FULL DEAL. THE STUCCO EXTERIOR SURFACE SHALL BE "RETAINED" UNLESS DURING CONSTRUCTION THE PROJECT HISTORIAN FINDS THE STUCCO IS BEYOND REPAIR, BASED ON PROFESSIONAL JUDGMENT AND PHOTOGRAPHIC EVIDENCE OF THE PROJECT HISTORIAN, AND THE AGREEMENT OF THE COMMUNITY DEVELOPMENT DIRECTOR.

MATERIAL LEGEND

- GLASS, GLAZING, WINDOW & PATIO DOOR FRAME FINISH COLOR "BRONZE" BY MARYN
- OVERHEAD GARAGE AND FRONT ENTRY DOOR FINISH: STAIN-GRADE, WALNUT CLEAR COAT
- BRICK, 2-1/4" X 8-1/2", 2" X 8", EXISTING
- NOT USED - SHINGLE WOOD SIDING, CEDAR SHINGLE VALLEY SIDING, S3-EVEN KEY WAY - PAINT COLOR "AVON-GREEN" #HGG-126" BY BENJAMIN MOORE (LRV:19.68); SEE EXTERIOR NOTE #5 AND 5.1 THIS SHEET.
- STUCCO, PAINT COLOR "AVON GREEN" #HGG-126" BY BENJAMIN MOORE (LRV:19.68); SEE EXTERIOR NOTE #5 AND 5.1 THIS SHEET FOR ADDITIONAL INFORMATION
- BOARD AND BATTEN: PAINT COLOR "DECORATOR'S WHITE" *OC-149 = FM-3 BY BENJAMIN MOORE (LRV:84.61)
- 8" V-GROOVE: PAINT COLOR "DECORATOR'S WHITE" *OC-149 = FM-3 BY BENJAMIN MOORE (LRV:84.61)
- TRIM, CASING, PAINT COLOR "DECORATOR'S WHITE" *OC-149 = FM-3 BY BENJAMIN MOORE (LRV:84.61)
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- POST, COLUMN: PAINT COLOR "DECORATOR'S WHITE" *OC-149 = FM-3 BY BENJAMIN MOORE (LRV:84.61)
- ROOFING: TIMBERLINE@UHD LIFETIME ULTRA HIGH DEFINITION@SHINGLES BY GAF, COLOR "SHAKEWOOD"
- WOOD FENCE

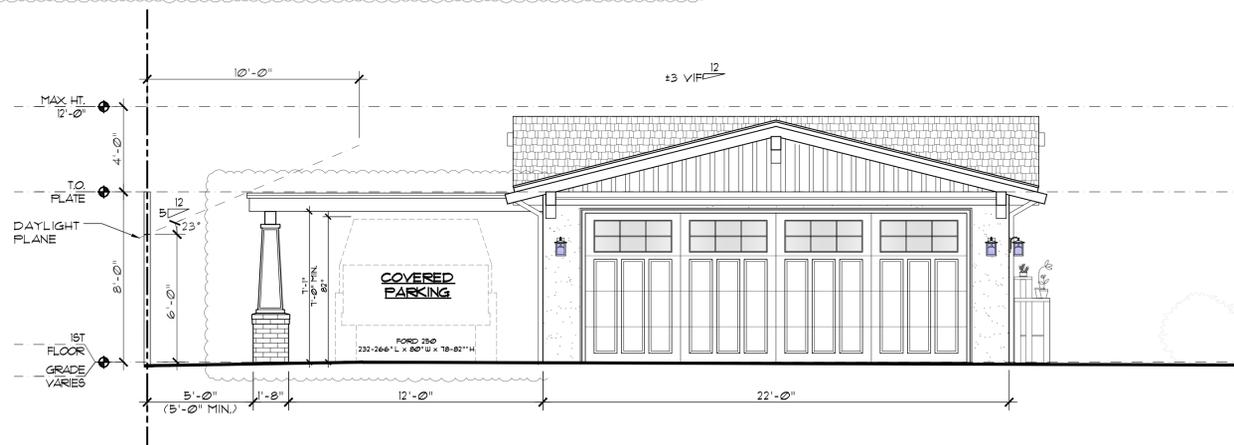


1 DETACHED GARAGE FRONT ELEVATION, SOUTH -EXISTING/DEMOLITION
SCALE: 1/4" = 1'-0"



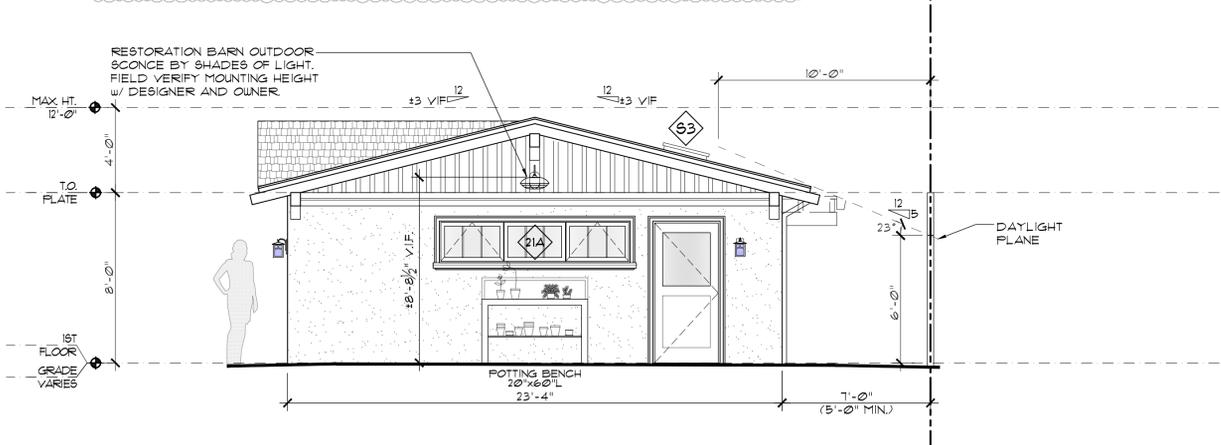
2 DETACHED GARAGE RIGHT SIDE ELEVATION, EAST -EXISTING/DEMOLITION
SCALE: 1/4" = 1'-0"

NOTE:
1. PER SECTION 14.15.040, NO PORTION OF AN ACCESSORY STRUCTURE SHALL EXTEND ABOVE OR BEYOND A DAYLIGHT PLANE THAT STARTS AT A HEIGHT OF SIX FEET AT THE PROPERTY LINE AND PROCEEDS INWARD AT A 5:12 SLOPE TO A DISTANCE OF TEN (10) FEET FROM THE SIDE AND REAR PROPERTY LINES.



3 DETACHED GARAGE FRONT ELEVATION, SOUTH -NEW/PROPOSED
SCALE: 1/4" = 1'-0"

NOTE:
1. PER SECTION 14.15.040, NO PORTION OF AN ACCESSORY STRUCTURE SHALL EXTEND ABOVE OR BEYOND A DAYLIGHT PLANE THAT STARTS AT A HEIGHT OF SIX FEET AT THE PROPERTY LINE AND PROCEEDS INWARD AT A 5:12 SLOPE TO A DISTANCE OF TEN (10) FEET FROM THE SIDE AND REAR PROPERTY LINES.



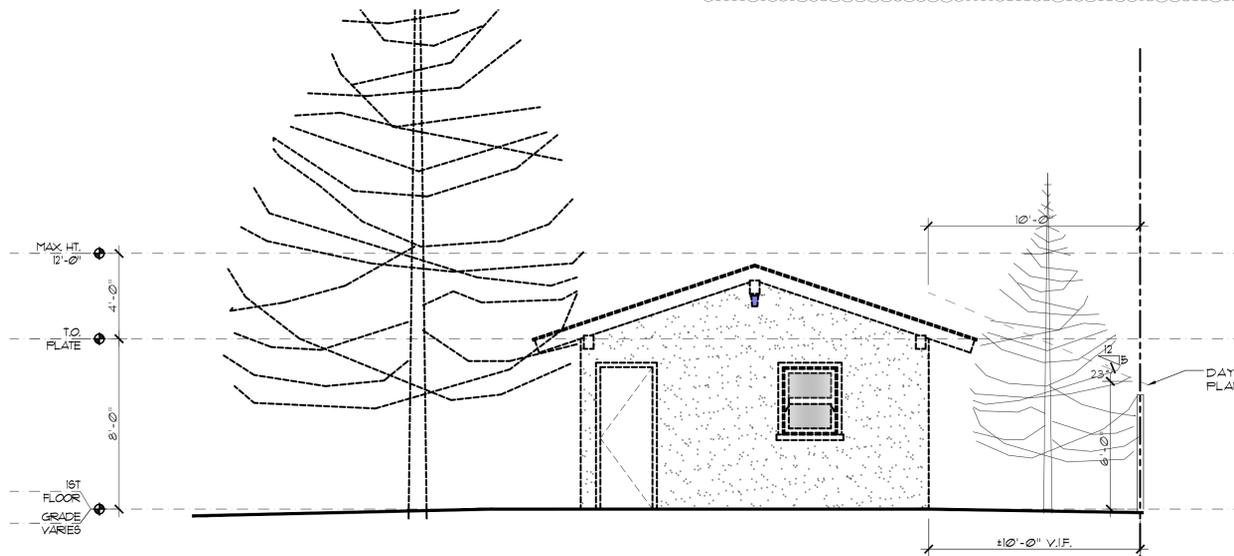
4 DETACHED GARAGE RIGHT SIDE ELEVATION, EAST -NEW/PROPOSED
SCALE: 1/4" = 1'-0"

EXTERIOR NOTES

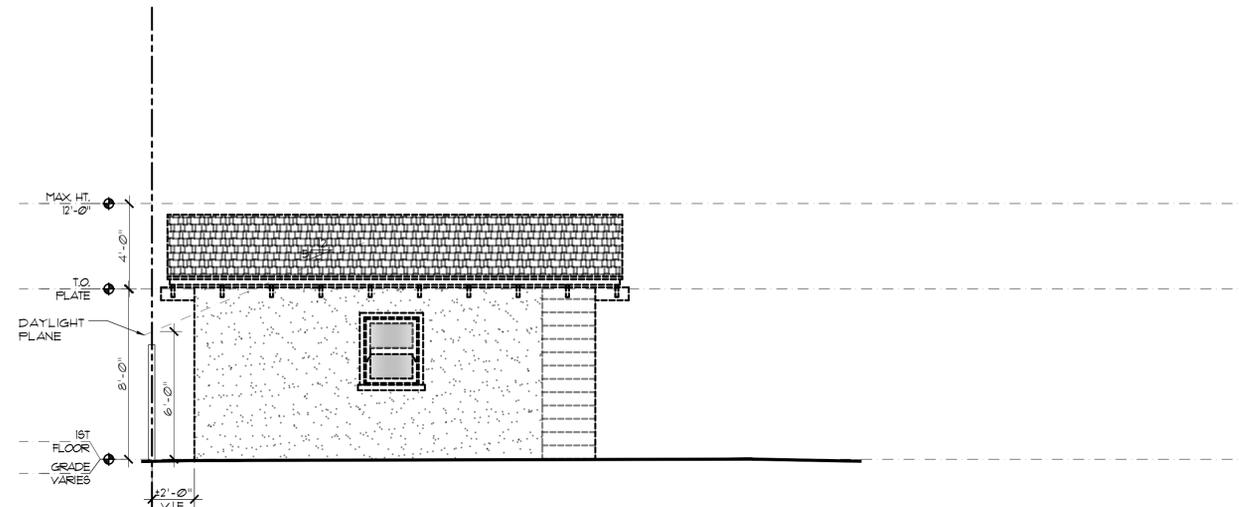
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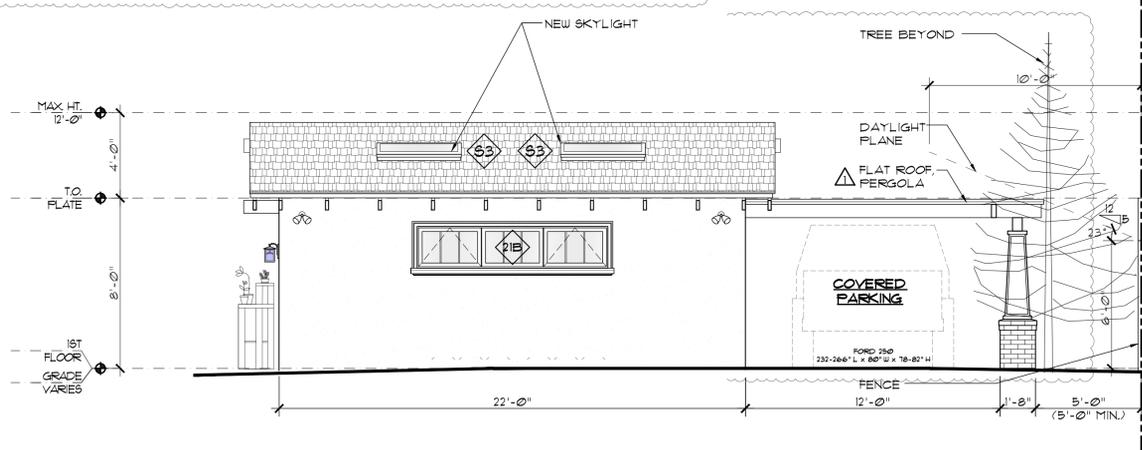


① **DETACHED GARAGE REAR ELEVATION, NORTH -EXISTING/DEMOLITION**
SCALE: 1/4" = 1'-0"



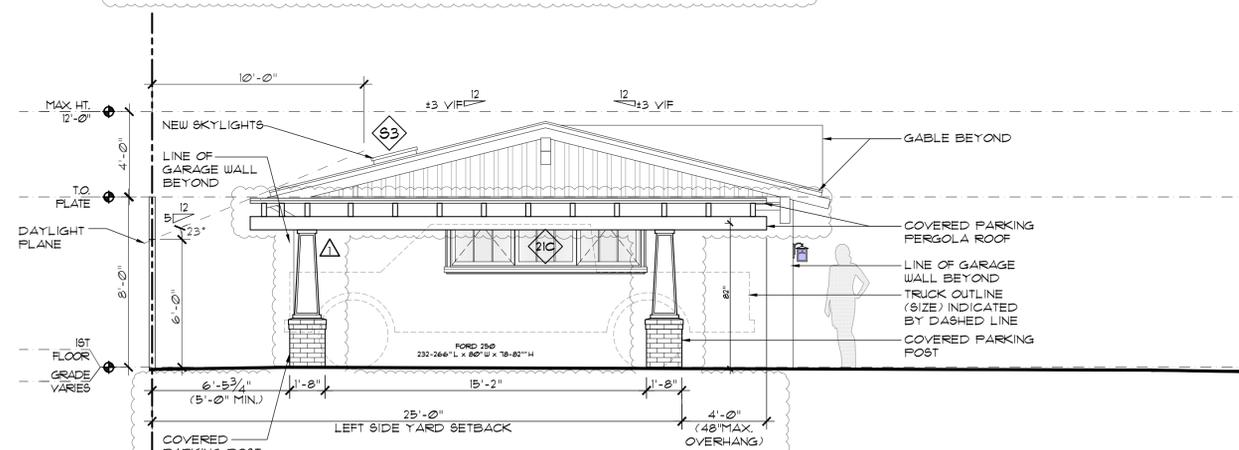
② **DETACHED GARAGE LEFT SIDE ELEVATION, WEST -EXISTING**
SCALE: 1/4" = 1'-0"

NOTE:
1. PER SECTION 14.15.040, NO PORTION OF AN ACCESSORY STRUCTURE SHALL EXTEND ABOVE OR BEYOND A DAYLIGHT PLANE THAT STARTS AT A HEIGHT OF SIX FEET AT THE PROPERTY LINE AND PROCEEDS INWARD AT A 5:12 SLOPE TO A DISTANCE OF TEN (10) FEET FROM THE SIDE AND REAR PROPERTY LINES.



③ **DETACHED GARAGE REAR ELEVATION, NORTH -NEW/PROPOSED**
SCALE: 1/4" = 1'-0"

NOTE:
1. PER SECTION 14.15.040, NO PORTION OF AN ACCESSORY STRUCTURE SHALL EXTEND ABOVE OR BEYOND A DAYLIGHT PLANE THAT STARTS AT A HEIGHT OF SIX FEET AT THE PROPERTY LINE AND PROCEEDS INWARD AT A 5:12 SLOPE TO A DISTANCE OF TEN (10) FEET FROM THE SIDE AND REAR PROPERTY LINES.



④ **DETACHED GARAGE LEFT SIDE ELEVATION, WEST -NEW/PROPOSED**
SCALE: 1/4" = 1'-0"

GREEN CODE NOTES

A SEPARATE SHEET SHALL BE SUBMITTED WITH ALL THE REQUIREMENTS OF 2019 GREEN CODE FOR CONSTRUCTION.

- SITE**
1. RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65% OF THE NON-HAZARDOUS CONSTRUCTION OR DEMOLITION DEBRIS. (CGBSC 4.408.1)
 2. SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN IN CONFORMANCE WITH ITEMS 1 THROUGH 5. THE CONSTRUCTION WASTE MANAGEMENT PLAN SHALL BE UPDATED AS NECESSARY AND SHALL BE AVAILABLE DURING CONSTRUCTION FOR EXAMINATION BY THE ENFORCING AGENCY. (CGBSC 4.408.2)
 - 2.1. IDENTIFY THE CONSTRUCTION AND DEMOLITION WASTE MATERIALS TO BE DIVERTED FROM DISPOSAL BY RECYCLING, REUSE ON THE PROJECT OR SALVAGE FOR FUTURE USE OR SALE.
 - 2.2. SPECIFY IF CONSTRUCTION AND DEMOLITION WASTE MATERIALS WILL BE SORTED ON-SITE (SOURCE-SEPARATED) OR BULK MIXED (SINGLE STREAM).
 - 2.3. IDENTIFY DIVERSION FACILITIES WHERE THE CONSTRUCTION AND DEMOLITION WASTE MATERIAL WILL BE TAKEN.
 - 2.4. IDENTIFY CONSTRUCTION METHODS EMPLOYED TO REDUCE THE AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE GENERATED.
 - 2.5. SPECIFY THAT THE AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE MATERIALS DIVERTED SHALL BE CALCULATED BY WEIGHT OR VOLUME, BUT NOT BY BOTH.
 3. SUBMIT DRAINAGE PLAN SHOWING HOW TO KEEP SURFACE WATER FROM ENTERING THE BUILDING. (CGBSC 4.106.3)
 4. SUBMIT STORM WATER MANAGEMENT PLAN FOR LOTS LESS THAN 1 ACRE. (CGBSC 4.106.2)

- FOUNDATION**
1. CONCRETE SLAB FOUNDATION SHALL HAVE A VAPOR RETARDER AND A CAPILLARY BREAK (E.G. 4-INCH THICK BASE OF 1/2 INCH OF CLEAN AGGREGATE WITH A VAPOR BARRIER). (CGBSC 4.505.2.1)

- OUTDOOR WATER USE**
1. NEW CONSTRUCTION PROJECTS WITH AN AGGREGATE LANDSCAPE AREA EQUAL TO OR GREATER THAN 5000 SQUARE FEET OR REHABILITATED LANDSCAPE PROJECTS WITH AN AGGREGATE LANDSCAPE AREA EQUAL TO OR GREATER THAN 10000 SQUARE FEET SHALL COMPLY WITH THE CITY OF MOUNTAIN VIEW MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MUELCO). (CGBSC 4.304.1)

- INDOOR WATER USE**
1. SHOW ON PLAN COMPLIANCE WITH WATER EFFICIENCY AND CONSERVATION THAT REQUIRES 20% SAVING IN POTABLE WATER USING AS A BASE LINE TABLE 4.303.1
 2. UNDER THE PRESCRIPTIVE USE A MAXIMUM FLOW RATE AS FOLLOWS PER CALGREEN SECTION 4.303.1.3.1, 4.303.1.3.2
 - 2.1. SHOWERHEADS 5.8 GALLON PER MINUTE (GPM) @ 80PSI
 - 2.2. LAVATORY FAUCET 5.2 GPM @ 60PSI
 - 2.3. KITCHEN FAUCETS 5.8 GPM @ 60PSI
 - 2.4. WATER CLOSING PER FLUSH 5.28 GALLONS PER FLUSH
 - 2.5. AS AN ALTERNATIVE TO PRESCRIPTIVE COMPLIANCE, PROVIDE CALCULATIONS TO DEMONSTRATE 20% SAVING. (CGBSC, SECTION 4.303.1)
 3. WHEN A SHOWER IS SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW OF ALL SHOWERHEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 18 GALLONS PER MINUTE AT 80 PSI, OR THE SHOWER SHALL BE DESIGNED TO ALLOW ONE SHOWER OUTLET TO BE IN OPERATION AT A TIME. (CGBSC, SECTION 4.303.1.3.2)
 4. SEE NOTE #14 ON SHEET M2.1 & M2.2 FOR ADD'L NEW PLUMBING INFORMATION.

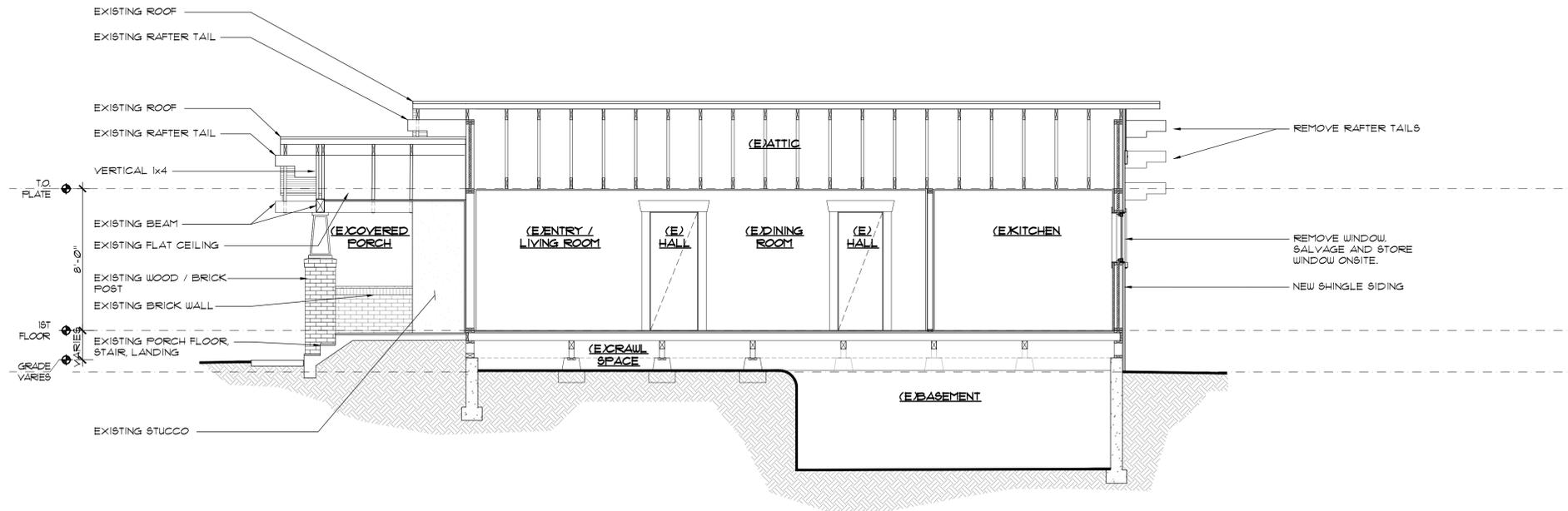
- HEATING, VENTILATION AND AIR CONDITIONING**
1. INSTALL ENERGY STAR BATHROOM FANS ON TIMER OR HUMIDISTAT (CGBSC 4.501.2)
 2. HEATING AND AIR-CONDITIONING SYSTEMS SHALL BE SIZED, DESIGNED AND HAVE THEIR EQUIPMENT SELECTED USING THE FOLLOWING METHODS:
 - 2.1. THE HEAT LOSS AND HEAT GAIN IS ESTABLISHED ACCORDING TO ANSI/ACCA 2 MANUAL J-2011 (RESIDENTIAL LOAD CALCULATION), ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.
 - 2.2. DUCT SYSTEMS ARE SIZED ACCORDING TO ANSI/ACCA 1 MANUAL D-2014 (RESIDENTIAL DUCT SYSTEMS), ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.
 - 2.3. SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ANSI/ACCA 3 MANUAL S-2014 (RESIDENTIAL EQUIPMENT SELECTION) OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.
 - 2.4. EXCEPTION: USE OF ALTERNATE DESIGN TEMPERATURES NECESSARY TO ENSURE THE SYSTEMS FUNCTION ARE ACCEPTABLE.

- ENVIRONMENTAL QUALITY, CGBSC DIV 45**
- PROVIDE PRODUCT CERTIFICATION AND SPECIFICATION TO SHOW COMPLIANCE WITH GREEN CODE.

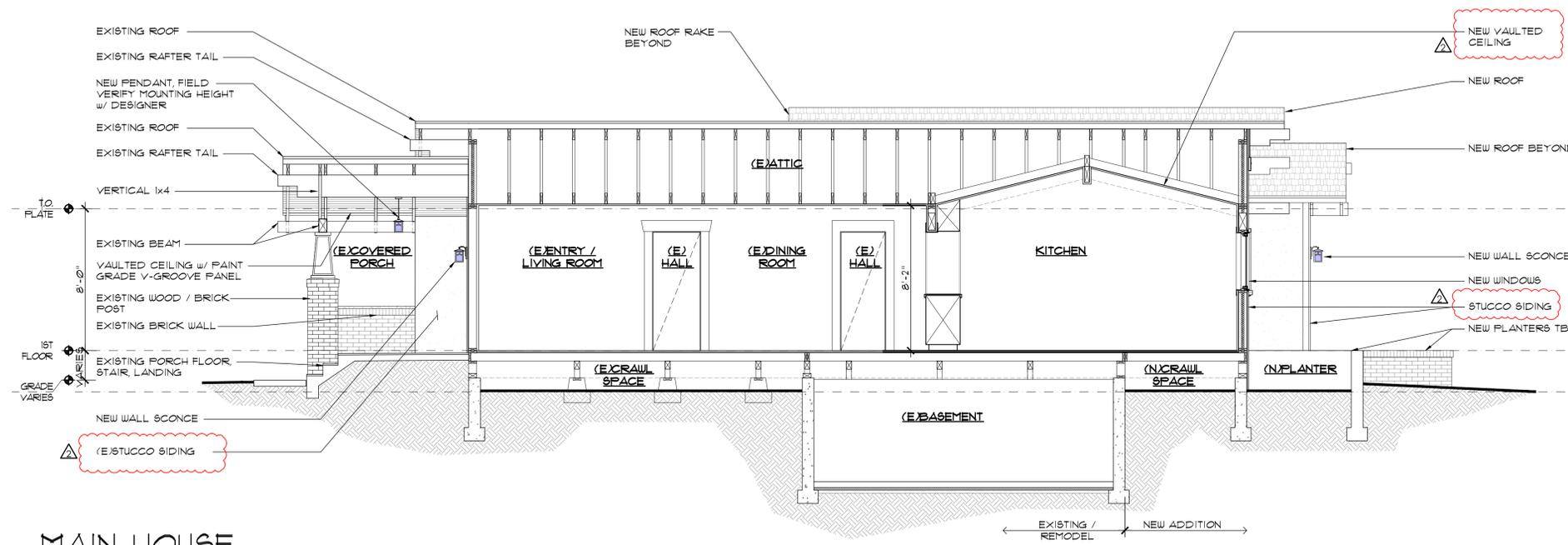
1. GAS FIREPLACE SHALL HAVE A DIRECT-VENT SEALED COMBUSTION TYPE. ANY INSTALLED WOODSTOVE OR PELLET STOVE SHALL COMPLY WITH US EPA NEW SOURCE PERFORMANCE STANDARDS (NSPS) EMISSION LIMITS AS APPLICABLE, AND SHALL HAVE A PERMANENT LABEL INDICATING THEY ARE CERTIFIED TO MEET THE EMISSIONS LIMITS. WOODSTOVES, PELLET STOVES AND FIREPLACES SHALL ALSO COMPLY WITH APPLICABLE LOCAL ORDINANCES (CGBSC 4.504.3.1)
2. AT THE TIME OF ROUGH INSTALLATION OR DURING STORAGE ON THE CONSTRUCTION SITE AND UNTIL FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEET-METAL OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY TO REDUCE THE AMOUNT OF WATER, DUST AND DEBRIS, WHICH MAY ENTER THE SYSTEM. (CGBSC 4.504.1)
3. NOTE ON PLAN: AN ADHESIVE SEALANT, CAULKING, PAINT, COATING WILL BE USED AND THE VOC CONTENT, VOC LIMITS SHALL BE ACCORDING TO CGBSC SECTIONS 4.504.2.1.

- FINISHES**
1. USE LOW-VOC INTERIOR WALL/CEILING PAINTS (450 GRAMS PER LITER (GPL) VOCs REGARDLESS OF SHEEN) (CGBSC 4.504.2.2)
 2. USE LOW-VOC COATINGS THAT MEET SCAQMD RULE 113 (CGBSC 4.504.2.3)
 3. ALL CARPET INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE TESTING AND PRODUCT REQUIREMENTS OF ONE OF THE FOLLOWING: (CGBSC 4.504.3)
 - 3.1. CARPET AND RUG INSTITUTE'S GREEN LABEL PLUS PROGRAM.
 - 3.2. CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS, VERSION 11, FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 01350.)
 - 3.3. NSF/ANSI 140 AT THE GOLD LEVEL.
 - 3.4. SCIENTIFIC CERTIFICATIONS SYSTEMS INDOOR ADVANTAGE™ GOLD.
 4. WHERE RESILIENT FLOORING IS INSTALLED, AT LEAST 90% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING: (CGBSC 4.504.4)
 - 4.1. COC EMISSION LIMITS DEFINED IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) HIGH PERFORMANCE PRODUCTS DATABASE.
 - 4.2. PRODUCTS COMPLIANT WITH CHPS CRITERIA CERTIFIED UNDER THE GREEN GUARD CHILDREN & SCHOOLS PROGRAM.
 - 4.3. CERTIFICATION UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOOR SCORE PROGRAM.
 - 4.4. MEET THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS, VERSION 11, FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 01350.)
 5. HARDWOOD FLYWOOD, PARTICLE-BOARD AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENTS FOR FORMALDEHYDE AS SPECIFIED ON AFB'S AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD (11 COR 93120 ET SEQ.) BY OR BEFORE THE DATES SPECIFIED IN THOSE SECTIONS, AS SHOWN IN TABLE 4.504.5.
 6. ALL CARPET ADHESIVE SHALL MEET THE REQUIREMENTS OF TABLE 4.504.1

- OTHER**
1. AT THE TIME OF FINAL INSPECTION AN OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER (CGBSC SECTION 4.410).



MAIN HOUSE BUILDING SECTION -EXISTING/DEMOLITION
SCALE: 1/4" = 1'-0"



MAIN HOUSE BUILDING SECTION -NEW/PROPOSED
SCALE: 1/4" = 1'-0"

BROWN HOUSE DESIGN

DESIGNER:
BROWNHOUSE DESIGN, INC.
101 MAIN ST., LOS ALTOS,
CA 94022

ARCHITECT OF RECORD:
DAVID BARRA, ARCHITECT
270 PROMISE WAY
HOLLISTER, CA 95023

APR 11 2022
C-36482
STATE OF CALIFORNIA

CITY SUBMITTAL
BID SET

REVISIONS	BY
90% SET 12/18/2021	LM
PLANNING 01/10/2022	LM
RESPONSE TO PLANNING 05/27/2022	LM
RESPONSE TO MILLS ACT 07/06/2022	LM

DO NOT SCALE THE DRAWINGS DIMENSIONS TAKE PRECEDENCE. REPORT ANY AND ALL DISCREPANCIES TO THE DESIGNER.

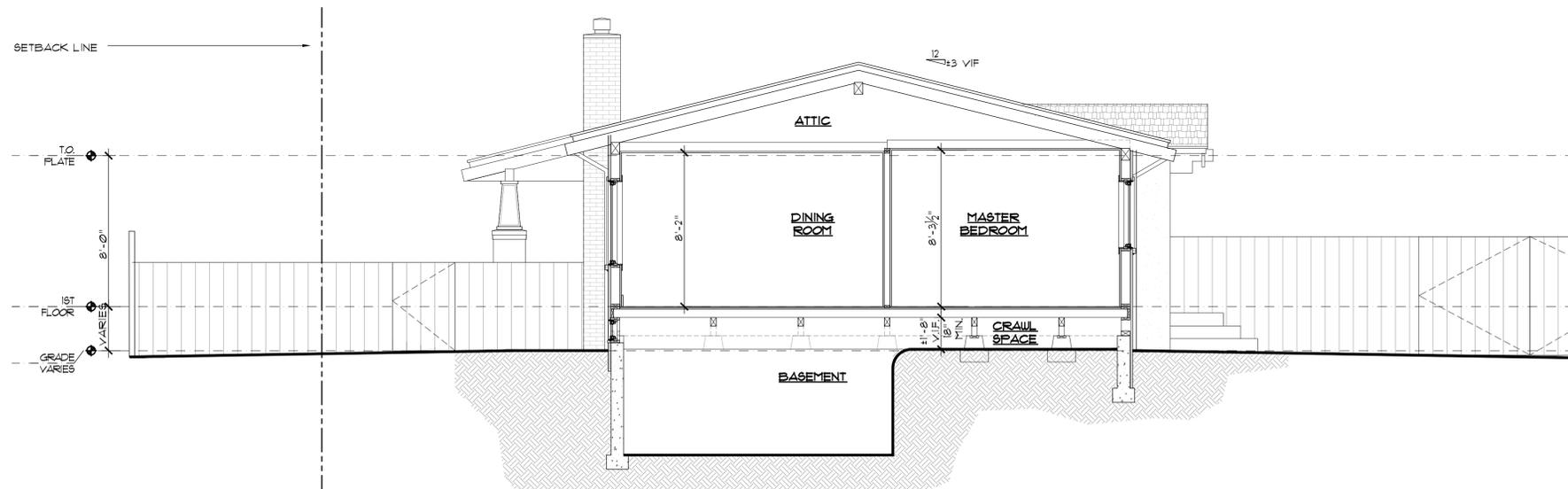
WHEN PRINTING PDF-SET SCALE TO "NONE" OTHERWISE DRAWING WILL NOT PRINT TO SCALE.

SCUSSEL-RIFFLE RESIDENCE REMODEL
151 HAWTHORNE AVENUE
LOS ALTOS, CA 94022

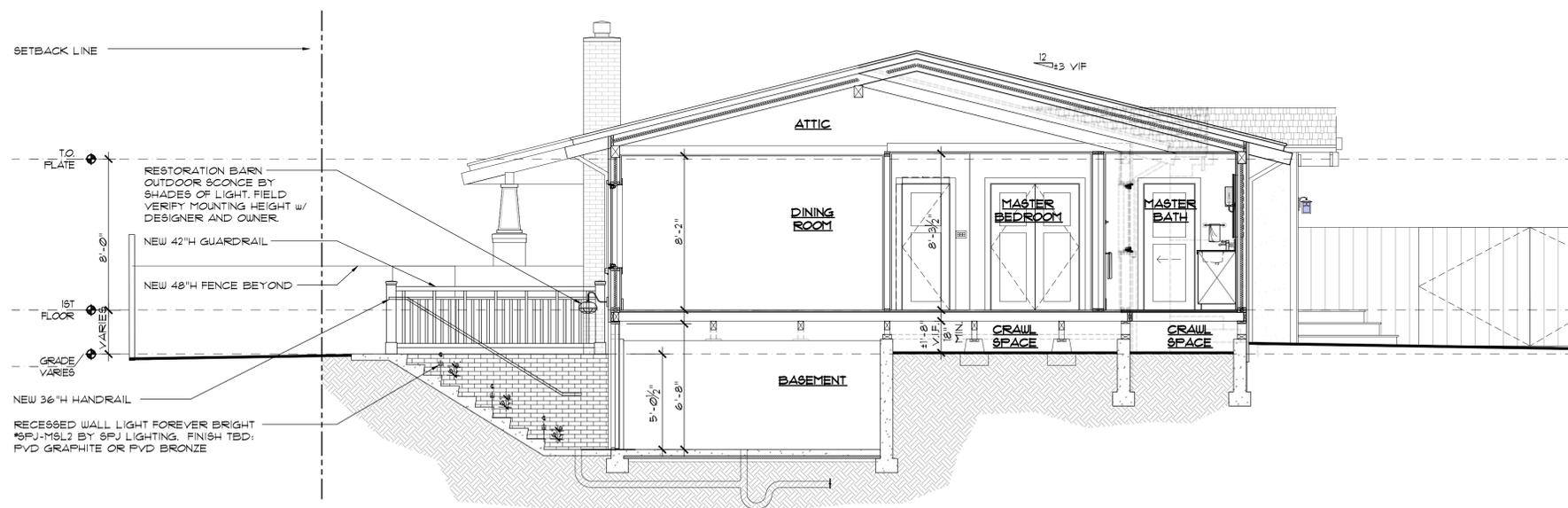
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DATE: 07/11/2022

A5.0



① MAIN HOUSE
BUILDING SECTION - EXISTING/DEMOLITION
SCALE: 1/4" = 1'-0"



① MAIN HOUSE
BUILDING SECTION - NEW/PROPOSED
SCALE: 1/4" = 1'-0"

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2.2. LAVATORY FAUCET	5.2 GPM @ 60PSI
2.3. KITCHEN FAUCETS	5.8 GPM @ 60PSI
2.4. WATER CLOSETS	5.2 GALLONS PER FLUSH
 - 2.5. AS AN ALTERNATIVE TO PRESCRIPTIVE COMPLIANCE, PROVIDE CALCULATIONS TO DEMONSTRATE 20% SAVING. (CGBSC, SECTION 4.303.1)
 3. WHEN A SHOWER IS SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW OF ALL SHOWERHEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 18 GALLONS PER MINUTE AT 80 PSI, OR THE SHOWER SHALL BE DESIGNED TO ALLOW ONE SHOWER OUTLET TO BE IN OPERATION AT A TIME. (CGBSC 4.303.1.2)
 4. SEE NOTE #14 ON SHEET M2.1 & M2.2 FOR ADD'L NEW PLUMBING INFORMATION.

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1. INSTALL ENERGY STAR BATHROOMS ON TIMER OR HUMIDISTAT (CGBSC 4.501.2)
 2. HEATING AND AIR-CONDITIONING SYSTEMS SHALL BE SIZED, DESIGNED AND HAVE THEIR EQUIPMENT SELECTED USING THE FOLLOWING METHODS:
 - 2.1. THE HEAT LOSS AND HEAT GAIN IS ESTABLISHED ACCORDING TO ANSI/ACCA 2 MANUAL J-2011 (RESIDENTIAL LOAD CALCULATION); ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.
 - 2.2. DUCT SYSTEMS ARE SIZED ACCORDING TO ANSI/ACCA 1 MANUAL D-2014 (RESIDENTIAL DUCT SYSTEMS); ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.
 - 2.3. SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ANSI/ACCA 3 MANUAL S-2014 (RESIDENTIAL EQUIPMENT SELECTION) OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.
 4. EXCEPTION: USE OF ALTERNATE DESIGN TEMPERATURES NECESSARY TO ENSURE THE SYSTEMS FUNCTION ARE ACCEPTABLE.

ENVIRONMENTAL QUALITY, CGBSC DIV 45
PROVIDE PRODUCT CERTIFICATION AND SPECIFICATION TO SHOW COMPLIANCE WITH GREEN CODE.

1. GAS FIREPLACE SHALL HAVE A DIRECT-VENT SEALED COMBUSTION TYPE. ANY INSTALLED WOODSTOVE OR PELLET STOVE SHALL COMPLY WITH US EPA NEW SOURCE PERFORMANCE STANDARDS (NSPS) EMISSION LIMITS AS APPLICABLE, AND SHALL HAVE A PERMANENT LABEL INDICATING THEY ARE CERTIFIED TO MEET THE EMISSIONS LIMITS. WOODSTOVES, PELLET STOVES AND FIREPLACES SHALL ALSO COMPLY WITH APPLICABLE LOCAL ORDINANCES (CGBSC 4.504.1)
2. AT THE TIME OF ROUGH INSTALLATION OR DURING STORAGE ON THE CONSTRUCTION SITE AND UNTIL FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEET-METAL OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY TO REDUCE THE AMOUNT OF WATER, DUST AND DEBRIS, WHICH MAY ENTER THE SYSTEM. (CGBSC 4.504.1)
3. NOTE ON PLAN LIST OF ADHESIVES, SEALANT, CAULKING, PAINT, COATING WILL BE USED AND THE VOC CONTENT, VOC LIMITS SHALL BE ACCORDING TO CGBSC SECTIONS 4.504.2.1.

- FINISHES**
1. USE LOW-VOC INTERIOR WALL/CEILING PAINTS (450 GRAMS PER LITER (GPL) VOCs REGARDLESS OF SHEEN) (CGBSC 4.504.2.2)
 2. USE LOW-VOC COATINGS THAT MEET SCAQMD RULE 1113 (CGBSC 4.504.2.3)
 3. ALL CARPET INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE TESTING AND PRODUCT REQUIREMENTS OF ONE OF THE FOLLOWING: (CGBSC 4.504.3)
 - 3.1. CARPET AND RUG INSTITUTE'S GREEN LABEL PLUS PROGRAM.
 - 3.2. CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS, VERSION 11, FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 01350.)
 - 3.3. NSF/ANSI 140 AT THE GOLD LEVEL.
 - 3.4. SCIENTIFIC CERTIFICATIONS SYSTEMS INDOOR ADVANTAGE™ GOLD.
 4. WHERE RESILIENT FLOORING IS INSTALLED, AT LEAST 90% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING: (CGBSC 4.504.4)
 - 4.1. COC EMISSION LIMITS DEFINED IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) HIGH PERFORMANCE PRODUCTS DATABASE.
 - 4.2. PRODUCTS COMPLAINT WITH CHPS CRITERIA CERTIFIED UNDER THE GREEN GUARD CHILDREN & SCHOOLS PROGRAM.
 - 4.3. CERTIFICATION UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOOR SCORE PROGRAM.
 - 4.4. MEET THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS, VERSION 11, FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 01350.)
 5. HARDWOOD FLYWOOD, PARTICLE-BOARD AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENTS FOR FORMALDEHYDE AS SPECIFIED ON AFB'S AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD (11 COR 93120 ET SEQ.) BY OR BEFORE THE DATES SPECIFIED IN THOSE SECTIONS, AS SHOWN IN TABLE 4.504.5.
 6. ALL CARPET ADHESIVE SHALL MEET THE REQUIREMENTS OF TABLE 4.504.1

OTHER

1. AT THE TIME OF FINAL INSPECTION AN OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER (CGBSC SECTION 4.410).



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101 MAIN ST. LOS ALTOS, CA 94022

ARCHITECT OF RECORD:
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HOLLISTER, CA 95023



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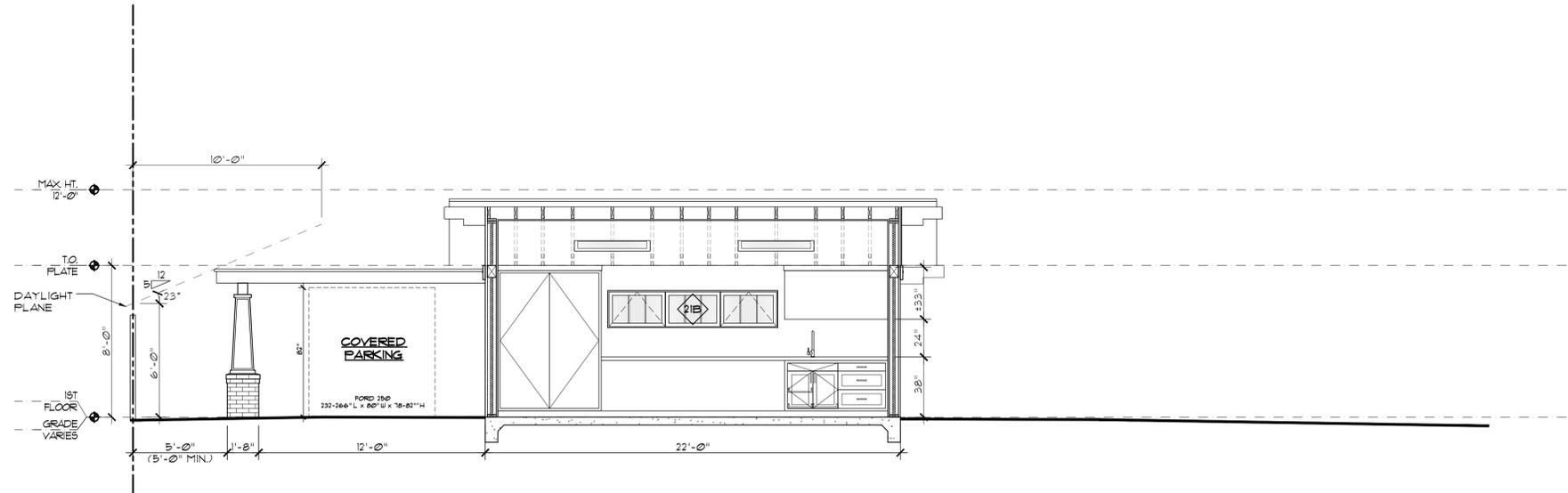
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A5.1



DETACHED GARAGE
SECTION -NEW/PROPOSED

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GREEN CODE NOTES

A SEPARATE SHEET SHALL BE SUBMITTED WITH ALL THE REQUIREMENTS OF 2019 GREEN CODE FOR CONSTRUCTION.

- SITE**
1. RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65% OF THE NON-HAZARDOUS CONSTRUCTION OR DEMOLITION DEBRIS. (CGBSC 4.408.1)
 2. SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN IN CONFORMANCE WITH ITEMS 1 THROUGH 5. THE CONSTRUCTION WASTE MANAGEMENT PLAN SHALL BE UPDATED AS NECESSARY AND SHALL BE AVAILABLE DURING CONSTRUCTION FOR EXAMINATION BY THE ENFORCING AGENCY. (CGBSC 4.408.2)
 - 2.1. IDENTIFY THE CONSTRUCTION AND DEMOLITION WASTE MATERIALS TO BE DIVERTED FROM DISPOSAL BY RECYCLING, REUSE ON THE PROJECT OR SALVAGE FOR FUTURE USE OR SALE.
 - 2.2. SPECIFY IF CONSTRUCTION AND DEMOLITION WASTE MATERIALS WILL BE SORTED ON-SITE (SOURCE-SEPARATED) OR BULK MIXED (SINGLE STREAM).
 - 2.3. IDENTIFY DIVERSION FACILITIES WHERE THE CONSTRUCTION AND DEMOLITION WASTE MATERIAL WILL BE TAKEN.
 - 2.4. IDENTIFY CONSTRUCTION METHODS EMPLOYED TO REDUCE THE AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE GENERATED.
 - 2.5. SPECIFY THAT THE AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE MATERIALS DIVERTED SHALL BE CALCULATED BY WEIGHT OR VOLUME, BUT NOT BY BOTH.
 3. SUBMIT DRAINAGE PLAN SHOWING HOW TO KEEP SURFACE WATER FROM ENTERING THE BUILDING. (CGBSC 4.106.3)
 4. SUBMIT STORM WATER MANAGEMENT PLAN FOR LOTS LESS THAN 1 ACRE. (CGBSC 4.106.2)

- FOUNDATION**
1. CONCRETE SLAB FOUNDATION SHALL HAVE A VAPOR RETARDER AND A CAPILLARY BREAK (E.G. 4-INCH THICK BASE OF 1/2 INCH OF CLEAN AGGREGATE WITH A VAPOR BARRIER). (CGBSC 4.505.2)

- OUTDOOR WATER USE**
1. NEW CONSTRUCTION PROJECTS WITH AN AGGREGATE LANDSCAPE AREA EQUAL TO OR GREATER THAN 500 SQUARE FEET OR REHABILITATED LANDSCAPE PROJECTS WITH AN AGGREGATE LANDSCAPE AREA EQUAL TO OR GREATER THAN 1000 SQUARE FEET SHALL COMPLY WITH THE CITY OF MOUNTAIN VIEW MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MUELO). (CGBSC 4.304.1)

- INDOOR WATER USE**
1. SHOW ON PLAN COMPLIANCE WITH WATER EFFICIENCY AND CONSERVATION THAT REQUIRES 20% SAVING IN POTABLE WATER USING AS A BASE LINE TABLE 4.303.1
 2. UNDER THE PRESCRIPTIVE USE A MAXIMUM FLOW RATE AS FOLLOWS PER CALGREEN SECTION 4.303.1.3.1, 4.303.1.3.2

2.1. SHOWERHEADS	5/8 GALLON PER MINUTE (GPM) @ 80PSI
2.2. LAVATORY FAUCET	5/2 GPM @ 80PSI
2.3. KITCHEN FAUCETS	5/8 GPM @ 80PSI
2.4. WATER CLOSETS	5/2 GALLONS PER FLUSH
 - 2.5. AS AN ALTERNATIVE TO PRESCRIPTIVE COMPLIANCE, PROVIDE CALCULATIONS TO DEMONSTRATE 20% SAVING. (CGBSC, SECTION 4.303.1)
 3. WHEN A SHOWER IS SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW OF ALL SHOWERHEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 18 GALLONS PER MINUTE AT 80 PSI, OR THE SHOWER SHALL BE DESIGNED TO ALLOW ONE SHOWER OUTLET TO BE IN OPERATION AT A TIME. 4.303.1.3.2
 4. SEE NOTE #14 ON SHEET M2.1 & M2.2 FOR ADD'L NEW PLUMBING INFORMATION.

- HEATING, VENTILATION AND AIR CONDITIONING**
1. INSTALL ENERGY STAR BATHROOMS ON TIMER OR HUMIDISTAT (CGBSC 4.501.2)
 2. HEATING AND AIR-CONDITIONING SYSTEMS SHALL BE SIZED, DESIGNED AND HAVE THEIR EQUIPMENT SELECTED USING THE FOLLOWING METHODS:
 - 2.1. THE HEAT LOSS AND HEAT GAIN IS ESTABLISHED ACCORDING TO ANSI/ACCA 2 MANUAL J-2011 (RESIDENTIAL LOAD CALCULATION); ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.
 - 2.2. DUCT SYSTEMS ARE SIZED ACCORDING TO ANSI/ACCA 1 MANUAL D-2014 (RESIDENTIAL DUCT SYSTEMS); ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.
 - 2.3. SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ANSI/ACCA 3 MANUAL S-2014 (RESIDENTIAL EQUIPMENT SELECTION) OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.
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2. AT THE TIME OF ROUGH INSTALLATION OR DURING STORAGE ON THE CONSTRUCTION SITE AND UNTIL FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEET-METAL OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY TO REDUCE THE AMOUNT OF WATER, DUST AND DEBRIS, WHICH MAY ENTER THE SYSTEM. (CGBSC 4.504.1)
3. NOTE ON PLAN LIST OF ADHESIVES, SEALANT, CAULKING, PAINT, COATING WILL BE USED AND THE VOC CONTENT, VOC LIMITS SHALL BE ACCORDING TO CGBSC SECTIONS 4.504.2.

- FINISHES**
1. USE LOW-VOC INTERIOR WALL/CEILING PAINTS (450 GRAMS PER LETTER (GPL) VOCs REGARDLESS OF SHEEN) (CGBSC 4.504.2)
 2. USE LOW-VOC COATINGS THAT MEET SCAQMD RULE 113 (CGBSC 4.504.2.3)
 3. ALL CARPET INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE TESTING AND PRODUCT REQUIREMENTS OF ONE OF THE FOLLOWING: (CGBSC 4.504.3)
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 - 3.2. CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS, VERSION 11, FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 01350.)
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 4. WHERE RESILIENT FLOORING IS INSTALLED, AT LEAST 90% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING: (CGBSC 4.504.4)
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 - 4.2. PRODUCTS COMPLIANT WITH CHPS CRITERIA CERTIFIED UNDER THE GREEN GUARD CHILDREN & SCHOOLS PROGRAM.
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 6. ALL CARPET ADHESIVE SHALL MEET THE REQUIREMENTS OF TABLE 4.504.1

OTHER

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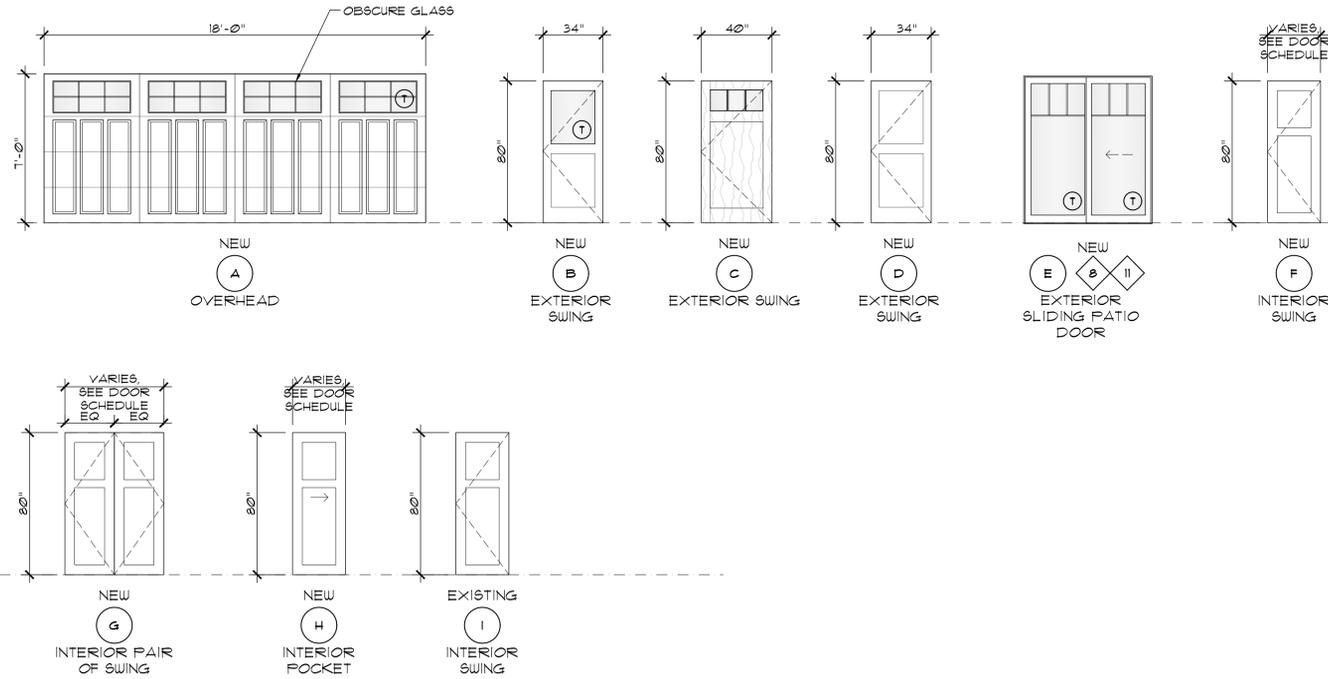
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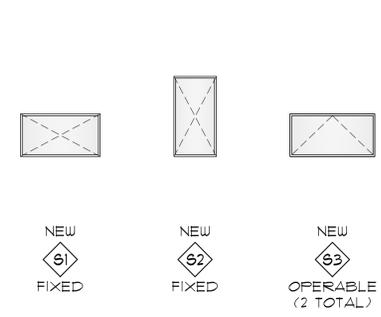
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A5.2

DOOR TYPES



SKYLIGHT TYPES



DOOR NOTES

- (C) 20 MINUTE FIRE RATED, SELF-CLOSING GARAGE DOOR
 - (W) FULL PERIMETER WEATHER STRIPPING
 - (TH) THRESHOLD
 - (T) TEMPERED GLASS. PROVIDE AT ALL HAZARDOUS LOCATIONS. SEE PLANS.
1. REFER TO SHEET A1.1 FOR DOOR, WINDOW AND SKYLIGHT SCHEDULES.
 2. REFER TO SHEET A1.2 FOR DOOR, WINDOW AND SKYLIGHT TYPES.
 3. REFER TO PLANS FOR DOOR SWINGS AND OPERATION TYPE.
 4. ALL DOOR SIZES ARE NOMINAL, VERIFY DOOR ROUGH OPENING WITH DOOR MFR.
 5. REPLACE ALL INTERIOR DOORS WITH NEW INTERIOR DOORS TO BE PAINT GRADE WOOD OR MASONITE. SEE DOOR SCHEDULE AND DOOR SPECS.
 6. HC: HOLLOW CORE DOOR
 7. SC: SOLID CORE DOOR
 8. DOOR MANUFACTURER T.B.D.
 9. ALL DOOR HARDWARE TO BE SELECTED BY OWNER, SEE DOOR HARDWARE SCHEDULE AND SPECS.
 10. PROVIDE DOOR STOPS AS REQUIRED. LOCATED AT FLOOR, WALL, DOOR OR ETC.

WINDOW AND GLASS NOTES

- (W) FULL PERIMETER WEATHER STRIPPING
 - (TH) THRESHOLD
 - (T) TEMPERED GLASS. PROVIDE AT ALL HAZARDOUS LOCATIONS. SEE PLANS.
 - (M) MULLED WINDOW SET
 - (E) EGRESS WINDOW
1. ALL WINDOWS, SKYLIGHTS AND TRANSOMS TO HAVE DUAL GLAZED GLASS AND INSULATED FRAMES.
 2. ALL GLASS DOORS TO HAVE DUAL GLAZED GLASS AND INSULATED FRAMES.
 3. ALL BEDROOMS SHALL HAVE AT LEAST ONE OPERABLE WINDOW/DOOR WHICH MEETS THE CBC SECTION 1026.2 EXITING REQUIREMENTS. 5.7 SF. NET CLEAR OPERABLE AREA, 24" MIN. NET CLEAR HEIGHT AND 20" MIN. NET CLEAR WIDTH. THE SILL OF SAID WINDOW SHALL NOT EXCEED 44" ABOVE THE FINISH FLOOR. DOORS TO EXTERIOR MAY SATISFY EXITING REQUIREMENTS. SEE PLANS FOR LOCATIONS.
 4. ALL INTERIOR WINDOW FRAMES AND SASHES SHALL BE PRIMED WOOD, UNLESS OTHERWISE NOTED.
 5. WINDOW MANUFACTURER: MARVIN ULTIMATE, TYPICAL UNO. REFER TO WINDOW ORDER FROM BRUCE BAUER.
 6. REFER TO FLOOR PLAN AND ELEVATIONS FOR WINDOW AND DOOR SWINGS AND OPERATION.
 7. ALL SKYLIGHTS TO BE ROYALITE OR VELUX. SINGLE LITE GLASS. EXTRUDED BRONZE FINISHED ALUMINUM EXTERIOR FRAME W/ LAMINATED SAFETY GLASS AT INNER PANE AND TEMPERED GLASS AT EXTERIOR PANE. ALL UNITS TO CONFORM TO APPLICABLE CBC SECTIONS. THE NEW SKYLIGHT(S) SHALL BE TESTED AND LABELED IN COMPLIANCE WITH AAMA/WDMA/CSA 101/32/A440 PER CRC SECTION R308.6.3.
 8. ALL WINDOW AND DOOR HARDWARE TO BE SELECTED BY OWNER, SEE SPECS.
 9. EXISTING WINDOW AND DOORS TO REMAIN AS NOTED. THE RE-USE OF EXISTING WINDOWS ARE ENCOURAGED (INCLUDING WINDOWS NOT FACING STREET). IT IS ALSO ENCOURAGED THAT ALL WINDOWS NOT BEING RE-USED SHALL BE STORED ON SITE AS A PART OF THE MILLS ACT TO BE USED AS REPLACEMENT LATER IF A WINDOW IS DAMAGED IN FUTURE.

NEW DOOR SCHEDULE @ MAIN HOUSE & GARAGE

DOOR TYPE	DOOR # (SYM)	QTY	ROOM	SIZE	THICK	HC. / SC.	MATERIAL	FINISH	NOTES	REMARKS
(A)	(1)	1	GARAGE OVERHEAD DOOR	(N) 18'-0"W x 7'-0"H. V.I.F.	-	SC.	WOOD, OBSCURE GLASS	STAIN, WALNUT CLEAR	(W) (TH) (T)	NEW EXTERIOR OVERHEAD GARAGE DOOR w/ OBSCURE GLASS, INSULATED
(B)	(2)	1	GARAGE SWING DOOR	(N) SWING 2'-10"W x 6'-8"H	1-3/4"	SC.	WOOD/ GLASS	PAINT, DECORATOR'S WHITE	(W) (TH) (T)	NEW EXTERIOR DOOR w/ HALF LITE
(C)	(3)	1	ENTRY, FRONT DOOR	(N) SWING 3'-4" x 6'-8"H	1-3/4"	SC.	CLAD, GLASS	STAIN, WALNUT CLEAR	(W) (TH) (T)	NEW EXTERIOR CUSTOM FRONT DOOR. SEE TYPE AND ELEVATION FOR ADDITIONAL INFORMATION.
(D)	(4)	1	ENTRY, BASEMENT DOOR	(N) SWING 3'-4" x 6'-8"H	1-3/4"	SC.	WOOD	PAINT, DECORATOR'S WHITE	(W) (TH) (T)	NEW EXTERIOR DOOR
(E)	(5) (6)	2	FAMILY & PRIMARY BEDROOM	(N) SLIDING PATIO DOOR F.S. 13 1/8"W x 82"H R.O. 13 5/8"W x 82 1/2"H	-	-	CLAD, GLASS	WHITE INTERIOR, BRONZE EXTERIOR	(W) (TH) (T)	NEW EXTERIOR SLIDING PATIO DOOR w/ SCREEN, SEE WINDOW TYPES (B) AND (I)
(F)	(7)	1	LAUNDRY / MUDROOM	(N) SWING DOOR F.S. 31 1/8"W x 82"H R.O. 32 1/16" x 82 1/2"	1-3/4"	SC.	WOOD, GLASS	PAINT, DECORATOR'S WHITE	(W) (TH) (T)	NEW EXTERIOR SWING DOOR
(F)	(8)	1	LAUNDRY / PRIMARY BEDROOM	(N) SWING 2'-6" x 6'-8"H	1-3/8"	SC.	WOOD	PAINT, CHATILLY LACE		NEW INTERIOR SWING DOOR, SOLID CORE AT LAUNDRY, BEDROOMS
(F)	(10)	1	PRIMARY BEDROOM	(N) SWING 2'-6" x 6'-8"H	1-3/8"	HC.	WOOD	PAINT, CHATILLY LACE		NEW INTERIOR SWING DOOR, HOLLOW CORE AT CLOSETS, PANTRY'S
(G)	(11)	1	PRIMARY BEDROOM, CLOSET	PAIR OF SWING 2'-6"W x 6'-8"H	1-3/8"	HC.	WOOD	PAINT, CHATILLY LACE		NEW INTERIOR PAIR OF SWING DOOR w/ BALL CATCH, HOLLOW CORE AT CLOSETS
(H)	(12) (13)	2	PRIMARY BATH	(N) POCKET 2'-8"W x 6'-8"H	1-3/8"	SC.	WOOD	PAINT, CHATILLY LACE		NEW INTERIOR POCKET DOOR, SOLID CORE AT BATH

EXISTING DOOR SCHEDULE @ MAIN HOUSE & GARAGE

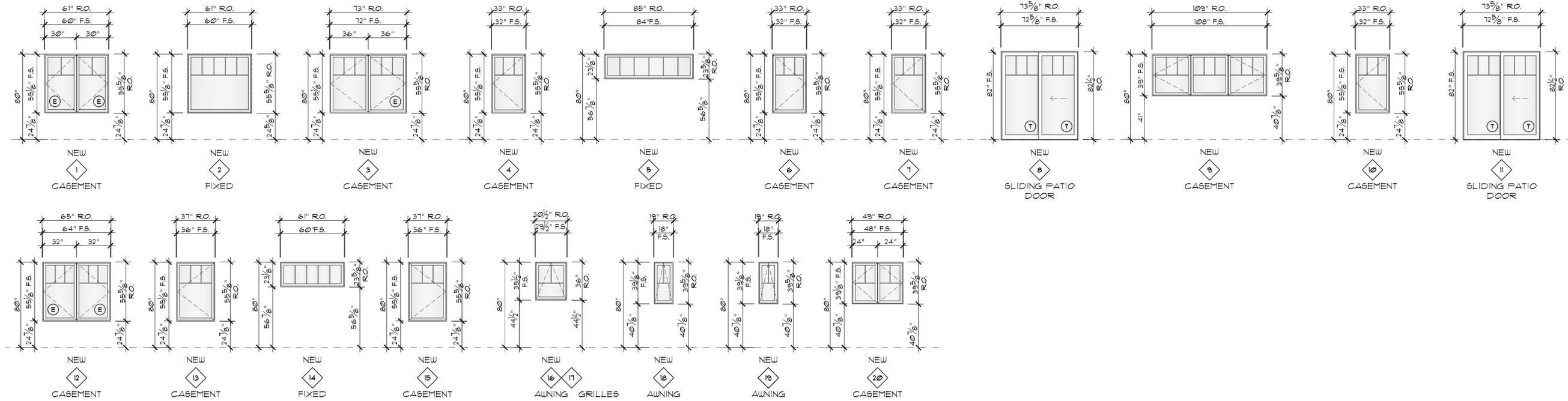
EXISTING	DOOR TYPE	DOOR # (SYM)	QTY	ROOM	SIZE	THICK	HC. / SC.	MATERIAL	FINISH	NOTES	REMARKS
(I)	(9)	4	PRIMARY BEDROOM, P.R. OFFICE, OFFICE BATH	(E) SWING 2'-6" x 6'-8"H	-	-	WOOD	PAINT, CHATILLY LACE			EXISTING INTERIOR SWING DOORS TO REMAIN

SKYLIGHT SCHEDULE, NEW

SYM.	QTY	ROOM	FUNCTION	SIZE	FRAME / MATERIAL	FINISH	NOTES	MFR	MODEL #	GLASS	U-FACTOR	SHADE	REMARKS
(S1)	1	PRIMARY BATH.	FIXED	(NEW) 22" x 46" V.I.F.	METAL	FACTORY PAINT	(T)	VELUX	FCM2246 V.I.F.	FLAT, OPAQUE (WHITE LAMINATE) GLASS	53	LIGHT FILTERING SHADE	CURB MOUNT, FIELD VERIFY SIZE & COUNT PRIOR TO FRAMING OR ORDERING SKYLIGHTS.
(S2)	1	PRIMARY SUITE	FIXED	(NEW) 22" x 46" V.I.F.	METAL	FACTORY PAINT	(T)	VELUX	FCM2246 V.I.F.	FLAT, OPAQUE (WHITE LAMINATE) GLASS	53	NONE	CURB MOUNT, FIELD VERIFY SIZE PRIOR TO FRAMING OR ORDERING SKYLIGHTS. SOLAR VENTING W/ INTEGRATED RAIN SENSOR.
(S3)	2	GARAGE	OPERABLE, SOLAR VENTING w/ INTEGRAL RAIN SENSOR	(NEW) 22" x 46" V.I.F.	METAL	FACTORY PAINT	(T)	VELUX	VC5-2246	FLAT, OPAQUE (WHITE LAMINATE) GLASS	53	NONE	CURB MOUNT, FIELD VERIFY SIZE PRIOR TO FRAMING OR ORDERING SKYLIGHTS. SOLAR VENTING W/ INTEGRATED RAIN SENSOR.

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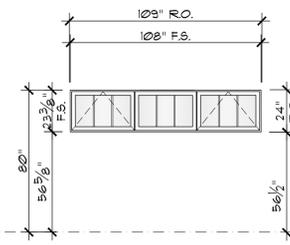
NEW WINDOW TYPES @ MAIN HOUSE



NEW WINDOW SCHEDULE @ MAIN HOUSE & GARAGE

WINDOW TYPE	WINDOW # (SYM)	QTY	ROOM	FUNCTION	SIZE	FRAME / MATERIAL	FINISH	NOTES	MFR	MODEL #	GLASS	GRILLE	U-FACTOR	SHGC	SCREEN	REMARKS
1	1	1	OFFICE	FRENCH CASEMENT, PUSH-OUT	F.S. 60" x 55 1/8" H R.O. 61" x 55 5/8" H	WOOD INTERIOR & CLAD EXTERIOR	WHITE INTERIOR, BRONZE EXTERIOR	(W) (E) (M)	MARVIN	ULTIMATE, CLAD	CLEAR, LOW-E GLASS	YES	03	.18	YES	-
2	2	1	LIVING	FIXED	F.S. 60" x 55 1/8" H R.O. 61" x 55 5/8" H	WOOD INTERIOR & CLAD EXTERIOR	WHITE INTERIOR, BRONZE EXTERIOR	(W)	MARVIN	ULTIMATE, CLAD	CLEAR, LOW-E GLASS	YES	028	.12	NO	-
3	3	1	FAMILY	FRENCH CASEMENT	F.S. 73" x 55 1/8" H R.O. 73" x 55 5/8" H	WOOD INTERIOR & CLAD EXTERIOR	WHITE INTERIOR, BRONZE EXTERIOR	(W)	MARVIN	ULTIMATE, CLAD	CLEAR, LOW-E GLASS	YES	029	.11	YES	-
4	4	1	FAMILY	CASEMENT	F.S. 32" x 55 1/8" H R.O. 33" x 55 5/8" H	WOOD INTERIOR & CLAD EXTERIOR	WHITE INTERIOR, BRONZE EXTERIOR	(W) (M)	MARVIN	ULTIMATE, CLAD	CLEAR, LOW-E GLASS	YES	029	.11	YES	-
5	5	1	FAMILY	AWNING, CLERESTORY	F.S. 84" x 23 1/8" H R.O. 85" x 23 5/8" H	WOOD INTERIOR & CLAD EXTERIOR	WHITE INTERIOR, BRONZE EXTERIOR	(W)	MARVIN	ULTIMATE, CLAD	CLEAR, LOW-E GLASS	YES	021	.2	NO	-
6	6	1	FAMILY	CASEMENT	F.S. 32" x 55 1/8" H R.O. 33" x 55 5/8" H	WOOD INTERIOR & CLAD EXTERIOR	WHITE INTERIOR, BRONZE EXTERIOR	(W)	MARVIN	ULTIMATE, CLAD	CLEAR, LOW-E GLASS	YES	029	.11	YES	-
7	7	1	FAMILY	PUSH-OUT CASEMENT	F.S. 32" x 55 1/8" H R.O. 33" x 55 5/8" H	WOOD INTERIOR & CLAD EXTERIOR	WHITE INTERIOR, BRONZE EXTERIOR	(W) (T)	MARVIN	ULTIMATE, CLAD	CLEAR, LOW-E GLASS	YES	029	.11	YES	-
8	8	1	FAMILY	SLIDING PATIO DOOR	F.S. 73 5/8" x 82" H R.O. 73 5/8" x 82 1/2" H	WOOD INTERIOR & CLAD EXTERIOR	WHITE INTERIOR, BRONZE EXTERIOR	(W) (E) (T) (M)	MARVIN	ULTIMATE, CLAD	CLEAR, LOW-E GLASS	YES	029	.19	YES	-
9	9	1	KITCHEN	CASEMENT, FIXED, CASEMENT	F.S. 108" x 39 1/8" H R.O. 109" x 39 5/8" H	WOOD INTERIOR & CLAD EXTERIOR	WHITE INTERIOR, BRONZE EXTERIOR	(W)	MARVIN	ULTIMATE, CLAD	CLEAR, LOW-E GLASS	YES	029	.11	YES	-
10	10	1	PRIMARY BEDROOM	PUSH-OUT CASEMENT	F.S. 32" x 55 1/8" H R.O. 33" x 55 5/8" H	WOOD INTERIOR & CLAD EXTERIOR	WHITE INTERIOR, BRONZE EXTERIOR	(W) (T)	MARVIN	ULTIMATE, CLAD	CLEAR, LOW-E GLASS	YES	029	.11	YES	-
11	11	1	PRIMARY BEDROOM	SLIDING PATIO DOOR	F.S. 73 1/8" x 82" H R.O. 73 5/8" x 82 1/2" H	WOOD INTERIOR & CLAD EXTERIOR	WHITE INTERIOR, BRONZE EXTERIOR	(W) (E) (T)	MARVIN	ULTIMATE, CLAD	OPAQUE, LOW-E GLASS	YES	029	.19	YES	-
12	12	1	PRIMARY BEDROOM	PUSH-OUT CASEMENT	F.S. 64" x 55 1/8" H R.O. 65" x 55 5/8" H	WOOD INTERIOR & CLAD EXTERIOR	WHITE INTERIOR, BRONZE EXTERIOR	(W)	MARVIN	ULTIMATE, CLAD	CLEAR, LOW-E GLASS	YES	029	.11	YES	-
13	13	1	PRIMARY BEDROOM	PUSH-OUT CASEMENT	F.S. 36" x 55 1/8" H R.O. 37" x 55 5/8" H	WOOD INTERIOR & CLAD EXTERIOR	WHITE INTERIOR, BRONZE EXTERIOR	(W) (M)	MARVIN	ULTIMATE, CLAD	CLEAR, LOW-E GLASS	YES	029	.11	YES	-
14	14	1	PRIMARY BEDROOM	AWNING, CLERESTORY	F.S. 60" x 23 1/8" H R.O. 61" x 23 5/8" H	WOOD INTERIOR & CLAD EXTERIOR	WHITE INTERIOR, BRONZE EXTERIOR	(W) (M)	MARVIN	ULTIMATE, CLAD	CLEAR, LOW-E GLASS	YES	021	.2	NO	-
15	15	1	PRIMARY BEDROOM	PUSH-OUT CASEMENT	F.S. 36" x 55 1/8" H R.O. 37" x 55 5/8" H	WOOD INTERIOR & CLAD EXTERIOR	WHITE INTERIOR, BRONZE EXTERIOR	(W) (M)	MARVIN	ULTIMATE, CLAD	CLEAR, LOW-E GLASS	YES	029	.18	YES	-
16	16	1	PRIMARY BATH SHOWER	AWNING	F.S. 29" x 35" H R.O. 30" x 36" H	FIBERGLASS	WHITE INTERIOR, BRONZE EXTERIOR	(W) (T)	MARVIN	ULTIMATE, CLAD	CLEAR, LOW-E GLASS	YES	028	.18	YES	-
17	17	1	PRIMARY BATH SHOWER	MATERIALS BLS TO APPLY INTERIOR - EXTERIOR GRILLES		WOOD INTERIOR & CLAD EXTERIOR	WHITE INTERIOR, BRONZE EXTERIOR		MARVIN	ULTIMATE, CLAD	-	YES	-	-	-	-
18	18	1	PRIMARY BATH TOILET	AWNING	F.S. 18" x 39 1/8" H R.O. 19" x 39 5/8" H	WOOD INTERIOR & CLAD EXTERIOR	WHITE INTERIOR, BRONZE EXTERIOR	(W)	MARVIN	ULTIMATE, CLAD	CLEAR, LOW-E GLASS	YES	029	.11	YES	-
19	19	1	LAUNDRY / MUDROOM	AWNING	F.S. 18" x 39 1/8" H R.O. 19" x 39 5/8" H	WOOD INTERIOR & CLAD EXTERIOR	WHITE INTERIOR, BRONZE EXTERIOR	(W) (T)	MARVIN	ULTIMATE, CLAD	CLEAR, LOW-E GLASS	YES	029	.11	YES	-
20	20	1	LAUNDRY / MUDROOM	PUSH-OUT CASEMENT	F.S. 48" x 39 1/8" H R.O. 49" x 39 5/8" H	WOOD INTERIOR & CLAD EXTERIOR	WHITE INTERIOR, BRONZE EXTERIOR	(W)	MARVIN	ULTIMATE, CLAD	CLEAR, LOW-E GLASS	YES	029	.11	YES	-
21	21A, 21B, 21C	3	GARAGE	AWNING, FIXED, AWNING	F.S. 108" x 23 1/8" H R.O. 109" x 23 5/8" H	WOOD INTERIOR & CLAD EXTERIOR	WHITE INTERIOR, BRONZE EXTERIOR	(W)	MARVIN	ULTIMATE, CLAD	CLEAR, LOW-E GLASS	YES	029	.11	YES	-

NEW WINDOW TYPES @ GARAGE



NEW @ GARAGE
21A, 21B, 21C
AWNING, FIXED, AWNING

WINDOW AND GLASS NOTES

- (W) FULL PERIMETER WEATHER STRIPPING
 - (TH) THRESHOLD
 - (T) TEMPERED GLASS, PROVIDE AT ALL HAZARDOUS LOCATIONS. SEE PLANS.
 - (M) MULLED WINDOW SET
 - (E) EGRESS WINDOW
1. ALL WINDOWS, SKYLIGHTS AND TRANSOMS TO HAVE DUAL GLAZED GLASS AND INSULATED FRAMES.
 2. ALL GLASS DOORS TO HAVE DUAL GLAZED GLASS AND INSULATED FRAMES.
 3. ALL BEDROOMS SHALL HAVE AT LEAST ONE OPERABLE WINDOW/DOOR WHICH MEETS THE CBC SECTION 1026.2 EXITING REQUIREMENTS. 5.1 SF, NET CLEAR OFFERABLE AREA, 24" MIN. NET CLEAR HEIGHT AND 20" MIN. NET CLEAR WIDTH. THE SILL OF SAID WINDOW SHALL NOT EXCEED 44" ABOVE THE FINISH FLOOR. DOORS TO EXTERIOR MAY SATISFY EXITING REQUIREMENTS. SEE PLANS FOR LOCATIONS.
 4. ALL INTERIOR WINDOW FRAMES AND SASHES SHALL BE PRIMED WOOD, UNLESS OTHERWISE NOTED.
 5. WINDOW MANUFACTURER: MARVIN ULTIMATE, TYPICAL UNO. REFER TO WINDOW ORDER FROM BRUCE BAUER.
 6. REFER TO FLOOR PLAN AND ELEVATIONS FOR WINDOW AND DOOR SWINGS AND OPERATION.
 7. ALL SKYLIGHTS TO BE ROYALITE OR VELUX. SINGLE LITE GLASS, EXTRUDED BRONZE FINISHED ALUMINUM EXTERIOR FRAME w/ LAMINATED SAFETY GLASS AT INNER PANE, AND TEMPERED GLASS AT EXTERIOR PANE. ALL UNITS TO CONFORM TO APPLICABLE CBC SECTIONS. THE NEW SKYLIGHT(S) SHALL BE TESTED AND LABELED IN COMPLIANCE WITH AAMA/WDMA/CSA 101/182/4440 PER CRC SECTION R308.6.9.
 8. ALL WINDOW AND DOOR HARDWARE TO BE SELECTED BY OWNER, SEE SPECS.
 9. EXISTING WINDOW AND DOORS TO REMAIN AS NOTED. THE RE-USE OF EXISTING WINDOWS ARE ENCOURAGED (INCLUDING WINDOWS NOT FACING STREET). IT IS ALSO ENCOURAGED THAT ALL WINDOWS NOT BEING RE-USED SHALL BE STORED ON SITE AS A PART OF THE MILLS ACT TO BE USED AS REPLACEMENT LATER IF A WINDOW IS DAMAGED IN FUTURE.

BROWN HOUSE DESIGN

DESIGNER:
BROWNHOUSE DESIGN, INC.
101 MAIN ST. LOS ALTOS, CA 94022

ARCHITECT OF RECORD:
DAVID BARNIA, ARCHITECT
270 PROMISE WAY
HOLLISTER, CA 95023

CITY SUBMITTAL
BID SET
FINISH PLANS

REVISIONS	BY
90% SET 12/18/2021	LM
PLANNING 01/10/2022	LM
RESPONSE TO PLANNING 05/27/2022	LM
RESPONSE TO MILLS ACT 07/06/2022	LM

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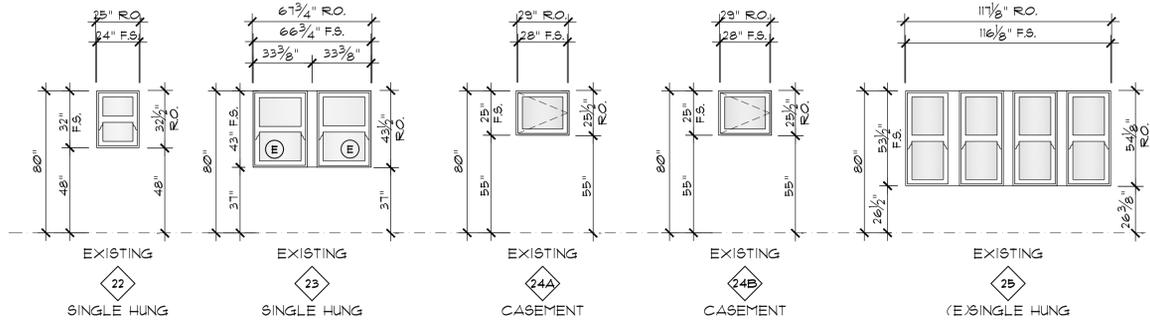
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151 HAWTHORNE AVENUE
LOS ALTOS, CA 94022

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EXISTING WINDOW TYPES @ MAIN HOUSE



EXISTING WINDOW SCHEDULE @ MAIN HOUSE

	WINDOW TYPE	WINDOW (SYM)	QTY	ROOM	FUNCTION	SIZE	FRAME / MATERIAL	FINISH	NOTES	MFR	MODEL #	GLASS	GRILLE	U-FACTOR	SHGC	SCREEN	REMARKS
EXISTING TO REMAIN	22	22	1	EXISTING BATH	(E) SINGLE HUNG	(E) 24"W x 32"H V.I.F.	WOOD INTERIOR & EXTERIOR	WHITE INTERIOR & EXTERIOR	(W) (E) (M)	EXISTING	(E) WOOD	(E) SINGLE PANE GLASS	NO	-	-	-	EXISTING WINDOW TO REMAIN (HISTORIC)
	23	23	1	OFFICE	(E) SINGLE HUNG	(E) 66 3/4"W x 43"H V.I.F.	WOOD INTERIOR & EXTERIOR	WHITE INTERIOR & EXTERIOR	(W) (M)	EXISTING	(E) WOOD	(E) SINGLE PANE GLASS	NO	-	-	-	EXISTING WINDOW TO REMAIN (HISTORIC)
	24A	24A	1	LIVING	(E) CASEMENT	(E) 28"W x 25"H V.I.F.	WOOD INTERIOR & EXTERIOR	WHITE INTERIOR & EXTERIOR	(W)	EXISTING	(E) WOOD	(E) SINGLE PANE GLASS	NO	-	-	-	EXISTING WINDOW TO REMAIN (HISTORIC)
	24B	24B	1	LIVING	(E) CASEMENT	(E) 28"W x 25"H V.I.F.	WOOD INTERIOR & EXTERIOR	WHITE INTERIOR & EXTERIOR	(W)	EXISTING	(E) WOOD	(E) SINGLE PANE GLASS	NO	-	-	-	EXISTING WINDOW TO REMAIN (HISTORIC)
	25	25	1	DINING	(E) SINGLE HUNG	(E) 116 1/8"W x 53 1/2"H V.I.F.	WOOD INTERIOR & EXTERIOR	WHITE INTERIOR & EXTERIOR	(W) (M)	EXISTING	(E) WOOD	(E) SINGLE PANE GLASS	NO	-	-	-	EXISTING WINDOW TO REMAIN (HISTORIC)

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SCUSSEL-RIFFLE RESIDENCE REMODEL
151 HAWTHORNE AVENUE
LOS ALTOS, CA 94022

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