

Z S D ARCHITECTS, INC.  
ARCHITECTURE . PLANNING . ILLUSTRATION

353 Costello Dr.  
Los Altos CA 94024  
tel. 408.348.6885  
cel. 408.464.5631



henryzheng@yahoo.com  
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## PROPOSED RESIDENCE

501 CHERRY AVE.  
RESIDENCE

### PROJECT DESCRIPTIONS

THIS PROJECT IS TO DEMOLISH AN EXISTING ONE STORY HOUSE, BUILD A NEW 4,290.3 S.F. ONE STORY SINGLE-FAMILY RESIDENCE WITH A 2-CAR GARAGE AND AN ATTACHED 797.4 S.F. ADU.

|                    |                                   |
|--------------------|-----------------------------------|
| OWNER:             | JUN ZHANG                         |
| ADDRESS:           | 353 COSTELLO DRIVE, LOS ALTOS, CA |
| APN:               | 167-28-009                        |
| OCCUPANCY:         | R-3 / U                           |
| CONSTRUCTION TYPE: | VB                                |
| ZONING:            | R1-10                             |
| FEMA:              | Zone X                            |
| NUMBER OF STORIES: | 1                                 |

### CODE INFORMATION

2023 CALIFORNIA BUILDING CODE (C.B.C.) STRUCTURAL ONLY

2023 CALIFORNIA RESIDENTIAL CODE

2023 CALIFORNIA MECHANICAL CODE

2023 CALIFORNIA PLUMBING CODE

2023 CALIFORNIA ELECTRIC CODE

2019 CALIFORNIA ENERGY CODE  
(2019 BUILDING ENERGY EFFICIENCY STANDARDS)

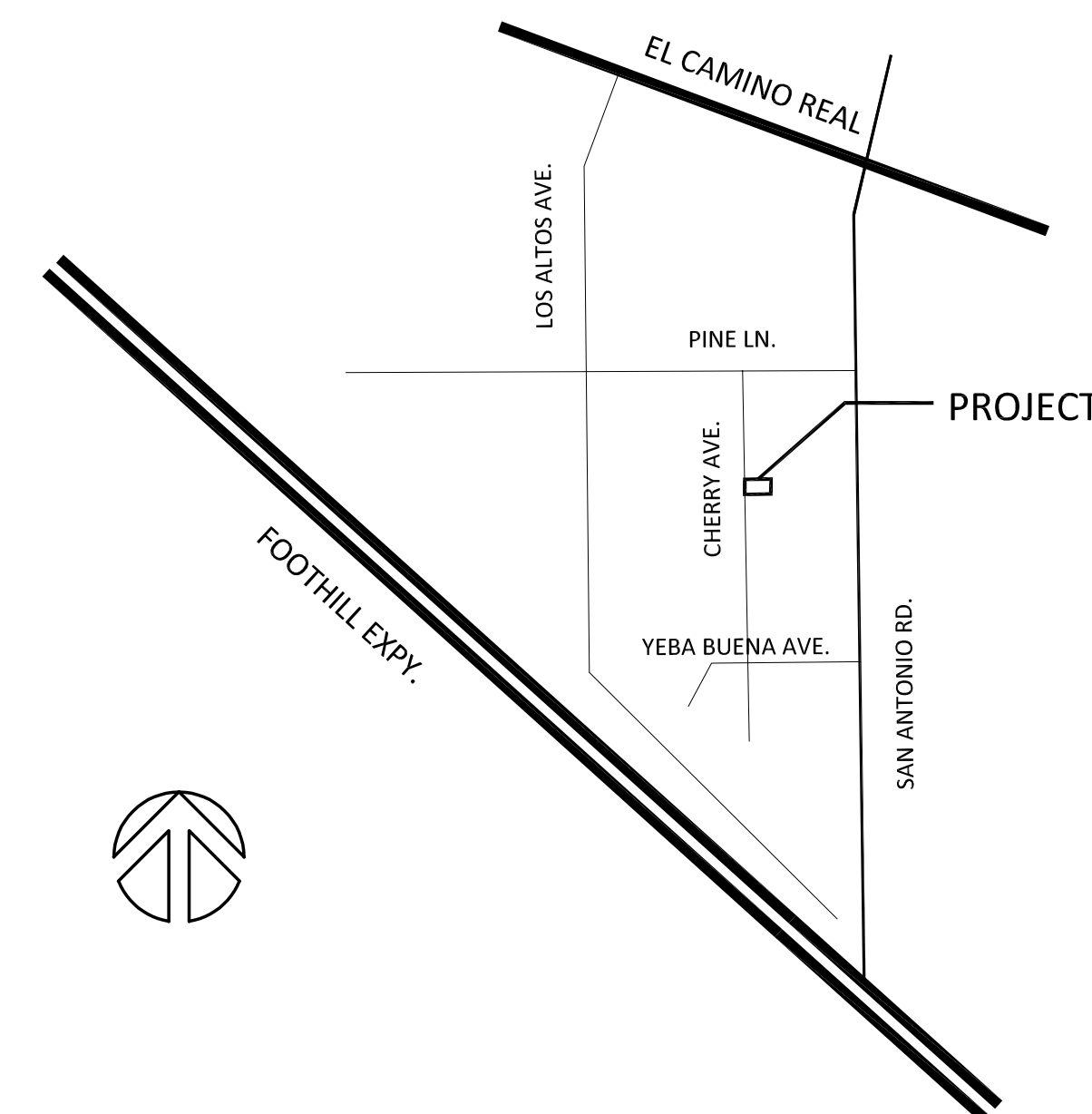
2019 CALIFORNIA GREEN BUILDING STANDARDS CODE

CITY OF LOS ALTOS ORDINANCES

### PROJECT DATA

|                            |                             |                                      |                             |
|----------------------------|-----------------------------|--------------------------------------|-----------------------------|
| NET LOT AREA:              | (0.39± ACRES) 16,852 ± S.F. |                                      |                             |
| LOT COVERAGE               | EXISTING                    | PROPOSED                             | ALLOWED / REQUIRED          |
|                            | 1,249 ± S.F.                | 4,290.03 S.F. +797.41 S.F. (ADU)     | 4,435.2 S.F.+800 S.F. (ADU) |
| FLOOR AREA                 | 7.41 %                      | 25.46 % +4.73% (ADU)                 | 5,898.2 SF (35 %)           |
|                            | 1,249 S.F.                  | 4,290.03 +797.41 (ADU)=5,087.44 S.F. | 4,435.2 S.F.+800 S.F. (ADU) |
| LIVABLE AREA               | 7.41 %                      | 30.19 %                              |                             |
|                            | 1,249 S.F.                  | 4,583.44 S.F.                        | 5,235.2 S.F.                |
| SETBACK                    |                             |                                      |                             |
| FRONT                      | 1ST STORY                   | 59.7± FEET                           | 39.75 FEET                  |
|                            | 2ND STORY                   |                                      | 25 FEET                     |
| REAR                       | 1ST STORY                   | 68.5± FEET                           | 36.9± FEET                  |
|                            | 2ND STORY                   |                                      | 25 FEET                     |
| RIGHT SIDE                 | 1ST STORY                   | 3± FEET                              | 7.25 FEET                   |
|                            | 2ND STORY                   |                                      | 7.2 FEET                    |
| LEFT SIDE                  | 1ST STORY                   | 8.0± FEET                            | 8 FEET                      |
|                            | 2ND STORY                   | 8.1 FEET (4 FEET ADU)                | 17.5 FEET                   |
| HEIGHT                     | 1ST STORY                   |                                      | 8 FEET                      |
|                            | 2ND STORY                   |                                      | 17.5 FEET                   |
| HEIGHT                     | 1ST STORY                   | 16.5 ± FEET                          | 21.5 ± FEET                 |
|                            | 2ND STORY                   |                                      | 27 FEET                     |
| NET LOT AREA:              | (0.39± ACRES) 16,852 ± S.F. |                                      |                             |
| FRONT YARD HARDSCAPE AREA  | 1,676.5 S.F.                |                                      |                             |
| LANDSCAPE BREAKDOWN        | EXISTING                    | PROPOSED CHANGE                      | EXISTING / PROPOSED         |
| HARDSCAPE AREA             | 768.4 S.F.                  | 908.1 S.F.                           | 1,676.5 S.F.                |
| SOFTSCAPE AREA             | 3,657.6 S.F.                | -362 S.F.                            | 3,295.6 S.F.                |
| BUILDING BREAKDOWN         | EXISTING                    | CHANGE IN                            | TOTAL PROPOSED              |
| HABITABLE LIVING AREA      | 1,249 ± S.F.                | 3,334.44 S.F.                        | 4,583.44 S.F.               |
| NON- HABITABLE LIVING AREA | 400 S.F.                    | 104 S.F.                             | 504 S.F.                    |

### VICINITY MAP



### DRAWING INDEX

- T.0 PROJECT DATA, VICINITY MAP, DRAWING INDEX
- C.0 TOPOGRAPHICAL & BOUNDARY SURVEY
- CC1 GRADING & DRAINAGE PLAN
- L-1 PRELIMINARY LANDSCAPE PLAN
- A1.0 SITE PLAN
- A1.1 AREA CALCULATION & STREETScape
- A1.2 NEIGHBORHOOD CONTEXT MAP
- A1.3 TREE PROTECTION PLAN
- A2.1 FLOOR PLAN
- A2.2 ADU FLOOR PLAN
- A2.3 ROOF PLAN
- A3.0 EXISTING ELEVATIONS
- A3.1 FRONT AND REAR ELEVATIONS
- A3.2 LEFT AND RIGHT ELEVATIONS
- A4.1 SECTIONS 1-1 AND 2-2
- MATERIAL/COLOR BOARD

JUN ZHANG

353 COSTELLO DRIVE  
LOS ALTOS,  
CALIFORNIA, 94024  
408.348.6885 cel

10.04.23 PLANNING RESUBMITTAL

08.23.23 PLANNING RESUBMITTAL

06.16.23 PLANNING SUBMITTAL

Rev. Date Issue

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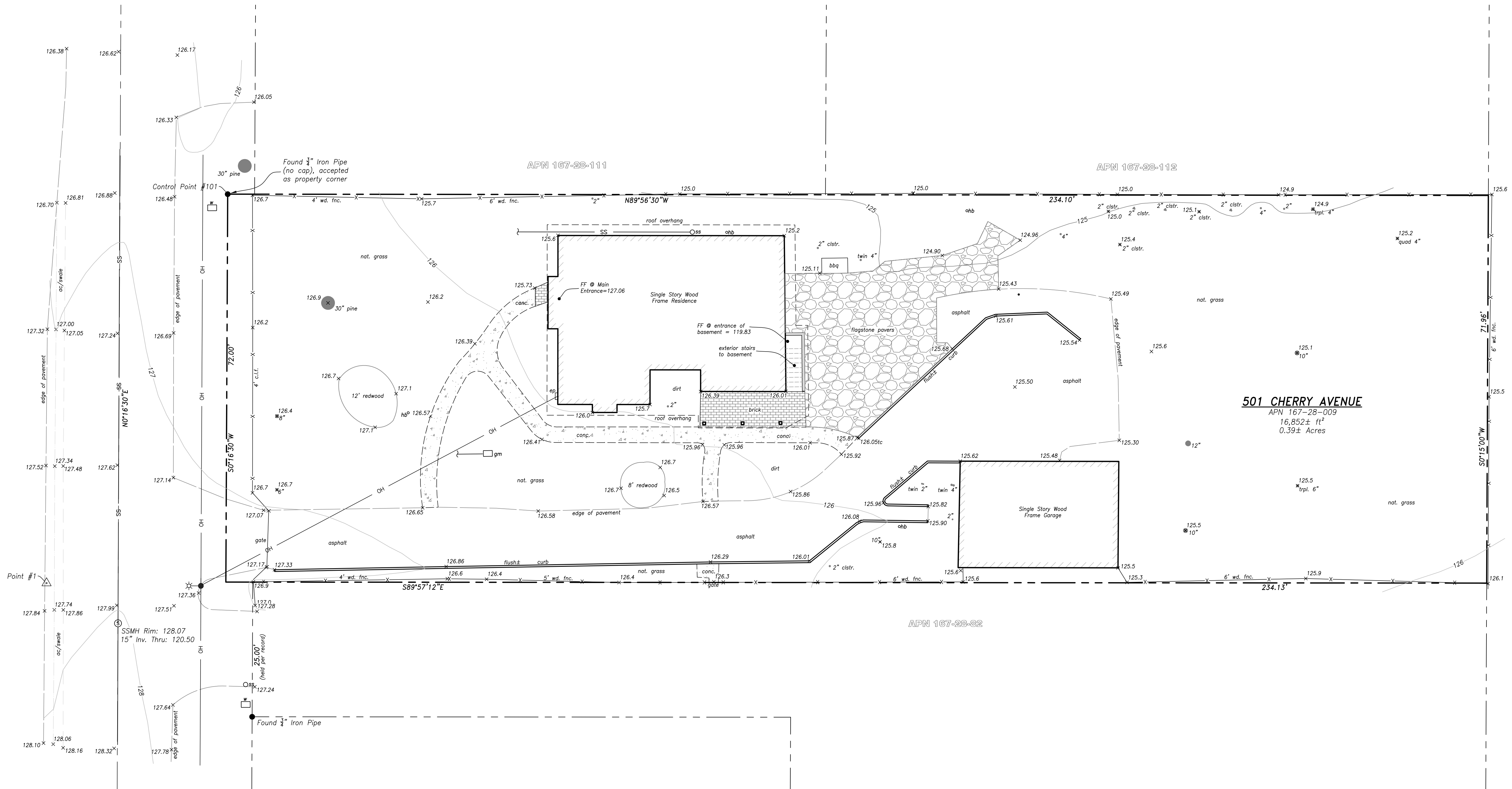
Project No: 2022-018

Date: 12-18-2022

Scale: N.T.S.

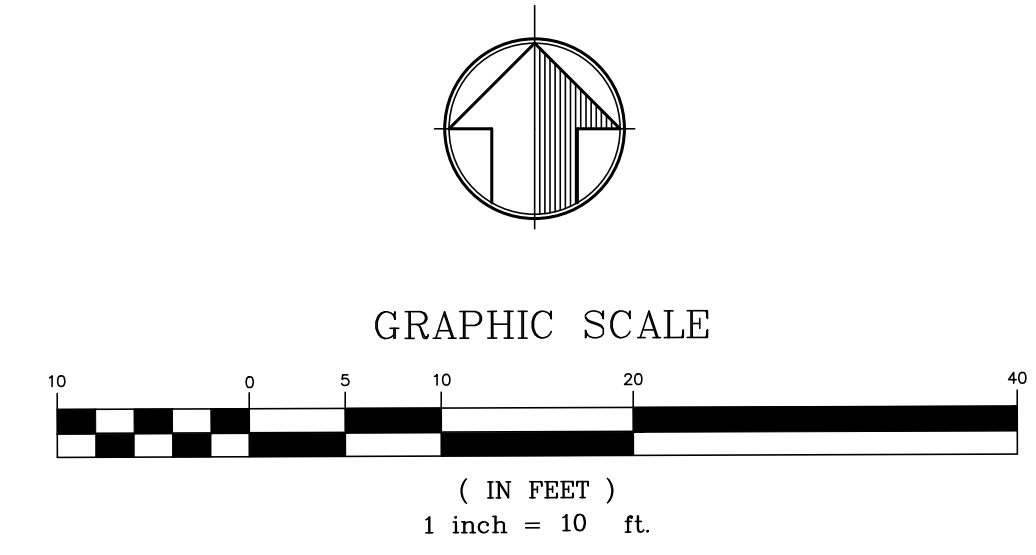
TITLE SHEET

T.0



**Legend**

|  |                                      |  |                             |
|--|--------------------------------------|--|-----------------------------|
|  | Adjoiner                             |  | Electrical Panel            |
|  | Building Footprint                   |  | Gas Meter                   |
|  | Building Overhang                    |  | Hose Bib                    |
|  | Boundary                             |  | Sanitary Sewer Cleanout     |
|  | Centerline                           |  | Sanitary Sewer Manhole      |
|  | Concrete                             |  | Sign                        |
|  | Concrete Grade Break                 |  | Spot Elevation              |
|  | Curb                                 |  | Survey Control Point        |
|  | Edge of Pavement                     |  | Survey Monument             |
|  | Fenceline                            |  | Tree Trunk / Diameter       |
|  | Overhead Utility Line                |  | Utility Pole & Street Light |
|  | Underground Utility - Gas            |  | Water Meter                 |
|  | Underground Utility - Sanitary Sewer |  |                             |
|  | Wall                                 |  |                             |



**SURVEY CONTROL POINTS**

| DESIGNATION | NORTHING | EASTING | ELEVATION | DESCRIPTION        |
|-------------|----------|---------|-----------|--------------------|
| 1           | 5503.25  | 4003.10 | 127.75    | MAG NAIL           |
| 101         | 5575.46  | 4036.74 |           | BRASS DISC IN WELL |

**General Notes:**

- 1) All features shown hereon represent surface conditions of the project area as compiled from a ground survey conducted on December 5, 2022. Surveyor made no attempt to determine the extent or existence of underground utilities or other features not surface visible.
- 2) Boundary information shown hereon is based upon a combination of limited found survey monumentation, available record mapping, existing lines of occupation, and information contained in the Preliminary Title Report prepared by Old Republic Title Company. The referenced title report does not disclose any record easements affecting the property.

**Datum Notes:**

- 1) Horizontal datum is based upon an assumed local coordinate system. Bearings are based upon the centerline of Cherry Avenue taken as N0°16'30"E per 543 Maps 32.
- 2) Elevations are based upon City of Los Altos BM #8, a brass disc set in the top of curb at the NE return of the intersection of Pine Lane and Los Altos Avenue. Elevation 122.89 (NAVD88).
- 3) Temporary control points have been established hereon to perpetuate the project datum for future use.

|  |             |
|--|-------------|
|  | BY          |
|  | DESCRIPTION |
|  | DATE        |
|  | REV.        |
|  | DATE        |
|  | APPROVED    |

**MOUNTAIN PACIFIC SURVEYS**  
 1735 Enterprise Dr, Suite 109  
 Fairfield, CA 94533  
 PH (707) 435-6334  
 FAX (707) 435-1969

**BOUNDARY AND PARTIAL TOPOGRAPHIC SURVEY**  
**501 CHERRY AVENUE**  
 APN 167-28-009  
 CITY OF LOS ALTOS - SANTA CLARA COUNTY - CALIFORNIA

|           |           |
|-----------|-----------|
| DATE      | 12-09-22  |
| SCALE     | 1" = 10'  |
| DRAWN     | C.Weakley |
| CHECKED   |           |
| JOB NO.   | 522094    |
| SHEET NO. | 1         |
| OF        | 1         |

**GENERAL GRADING NOTES:**

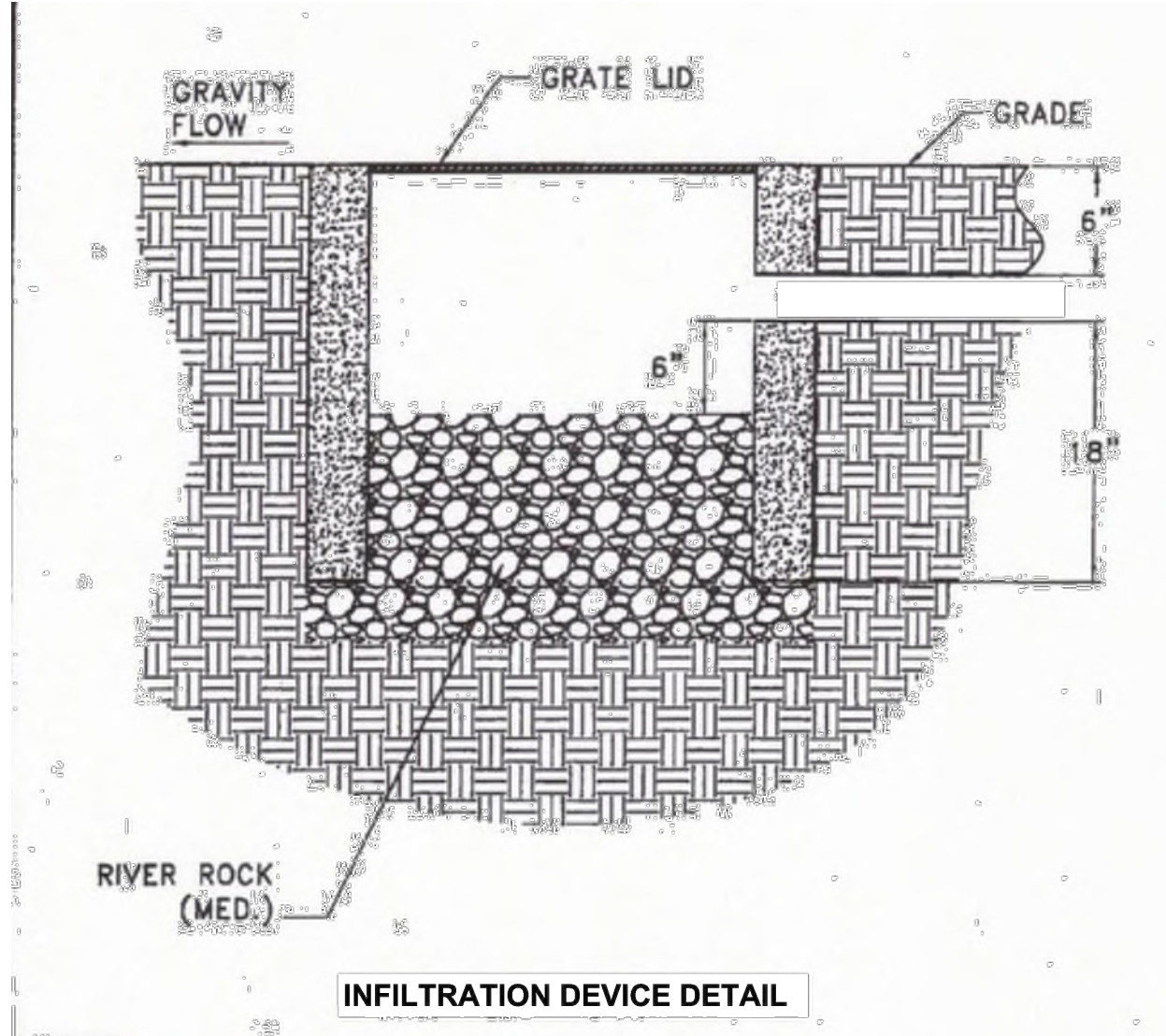
1. ALL GRADING AND SITE PREPARATION SHALL CONFORM WITH SPECIFICATIONS CONTAINED IN THE GEOTECHNICAL REPORT
2. ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE TO THE COUNTY LATEST CONSTRUCTION SPECIFICATIONS AND DETAILS
3. PRIOR TO ANY EXCAVATION OF THE PROJECT SITE, THE OPERATOR SHALL NOTIFY THE COUNTY 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
4. THE CONTRACTOR SHALL CAREFULLY PRESERVE BENCHMARKS, REFERENCE POINTS AND STAKES.
5. ALL INDICATED ELEVATIONS ARE FINISHED ELEVATIONS.
6. FIELD VERIFY LOCATIONS, SIZES AND IF APPLICABLE INVERTS OF EXISTING UTILITIES FOR PROPOSED CONNECTIONS PRIOR TO CONSTRUCTION.
7. LOCATE AND PROTECT ALL UTILITIES ASSOCIATED WITH THE PROJECT PRIOR TO CONSTRUCTION.
8. INSTALL SILT CONTROL MEASURES BEFORE BEGINNING SITE WORK. THESE MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
9. MAINTAIN PROPER SITE DRAINAGE AT ALL TIMES DURING CONSTRUCTION. PREVENT STORM WATER FROM RUNNING INTO OR STANDING IN EXCAVATED AREAS.
10. INSTALL ALL APPROPRIATE TREE PROTECTION MEASURES PRIOR TO GRADING.
11. ALL ROOF DRAIN WILL BE DISCHARGED ONTO VEGETATED AREA PRIOR TO LEAVING SITE

**STORMWATER COMPLIANCE NOTES:**

1. THE PROJECT CREATES AND/OR REPLACES LESS THAN ONE ACRE OF IMPERVIOUS SURFACES.
2. THE FOLLOWING SITE DESIGN MEASURES ARE PROPOSED:
  - PROTECT EXISTING TREES AND SOIL.
  - DIRECT ROOF RUNOFF ONTO VEGETATED AREA
3. THE FOLLOWING SOURCE CONTROL MEASURES ARE PROPOSED:
  - DROUGHT TOLERANT LANDSCAPING
  - USE WATER EFFICIENT IRRIGATION SYSTEM

**GENERAL NOTES:**

1. DO NOT DOWEL IN NEW DRIVEWAY AND WALKWAY INTO THE BACK OF EXISTING CONCRETE CURB
2. ANY DAMAGED RIGHT-OF-WAY INFRASTRUCTURES AND OTHERWISE DISPLACED CURBS & GUTTERS SHALL BE REMOVED AND REPLACED AS DIRECTED BY THE CITY ENGINEER OR HIS DESIGNEE. CONTRACTOR SHALL COORDINATE WITH PUBLIC WORKS DEPARTMENT AT (650) 974-2680.
3. PRIOR TO COMMENCEMENT OF ANY WORK DONE IN THE PUBLIC RIGHT-OF-WAY, A PERMIT TO OPEN STREET AND/OR AN ENCROACHMENT PERMIT ILL BE REQUIRED.



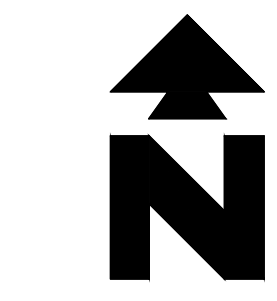
- NOTES:**
1. Rigid plastic, A.C. C.I., or steel pipe allowed to box from pump.
  2. Box shall be set with adjacent grades sloping away to prevent rainwater & landscape water from entering.
  3. Box shall be set in landscaped area to facilitate percolation.
  4. Box shall not have concrete bottom to facilitate percolation.
  5. Box must be located at least 10 feet from back of sidewalk and 10 feet minimum from all property lines, appropriately located in swale, vegetated or retention area.

**EXISTING LEGEND:**

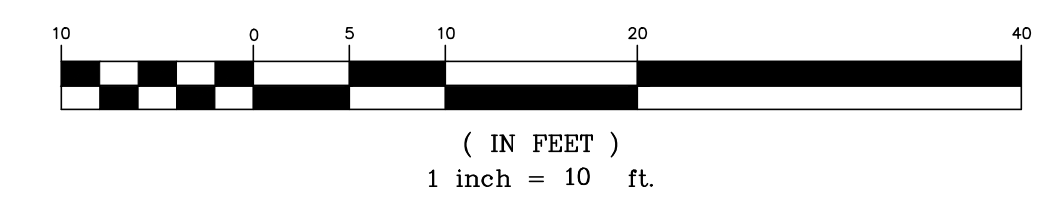
|  |                                      |  |                             |
|--|--------------------------------------|--|-----------------------------|
|  | Adjoiner                             |  | Electrical Panel            |
|  | Building Footprint                   |  | Gas Meter                   |
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|  | Centerline                           |  | Sanitary Sewer Manhole      |
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|  | Curb                                 |  | Survey Control Point        |
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|  | Overhead Utility Line                |  | Utility Pole & Street Light |
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|  | Underground Utility - Sanitary Sewer |  |                             |
|  | Wall                                 |  |                             |

**PROPOSED LEGEND:**

|  |   |
|--|---|
|  | EXISTING SPOT ELEVATION                               |
|  | FLOWLINE ELEVATION                                    |
|  | RIM ELEVATION   |
|  | DRAINAGE SLOPE AND DIRECTION                          |
|  | 4" HDPE @ MIN 1.2%                                    |
|  | 8" DRAIN BASIN W/ GRATE TOP (NYLOPLAST OR EQUIVALENT) |
|  | INFILTRATION DEVICE                                   |
|  | ROOF DRAIN DOWNSPOUT                                  |



**GRAPHIC SCALE**



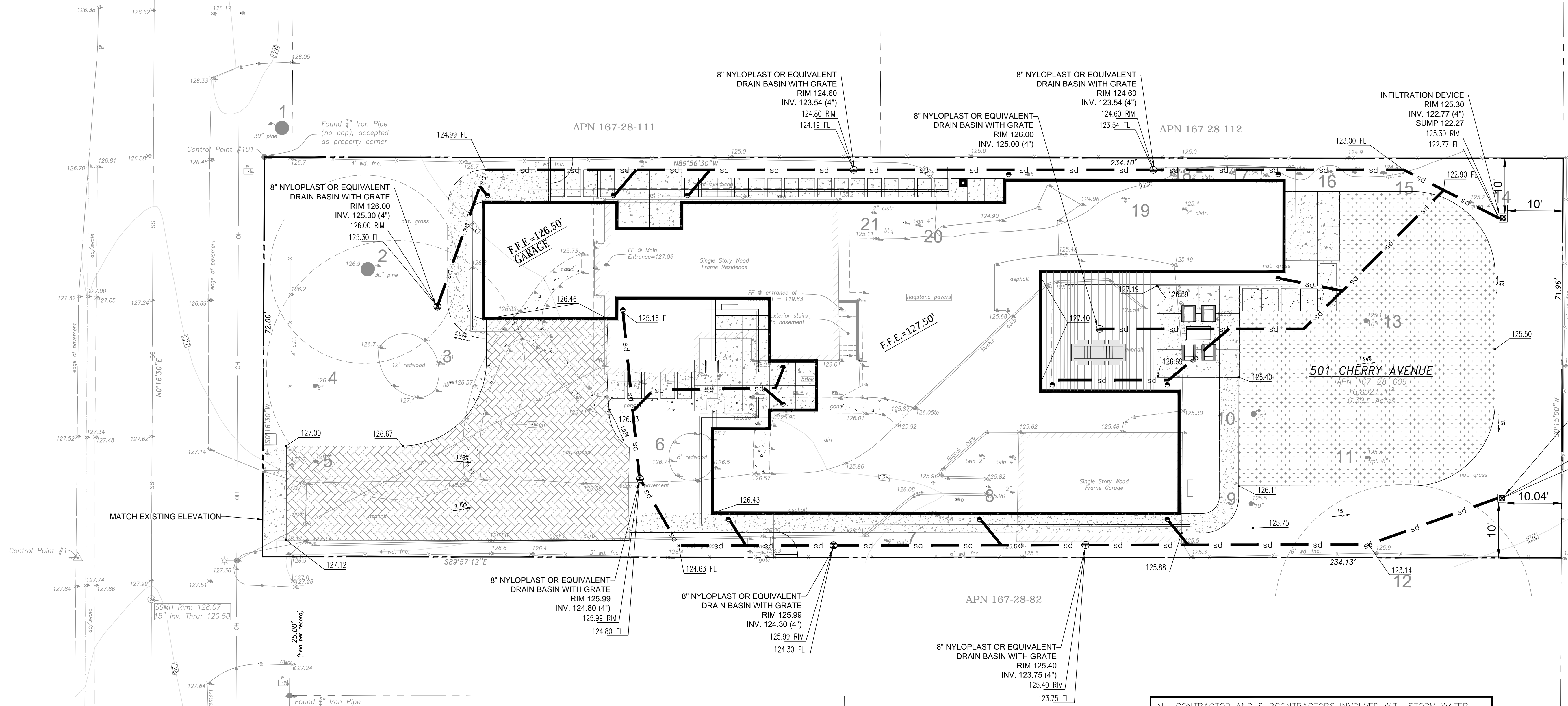
TOPOGRAPHIC SURVEY BY MOUNTAIN PACIFIC SURVEYS, DATED DECEMBER 09, 2022

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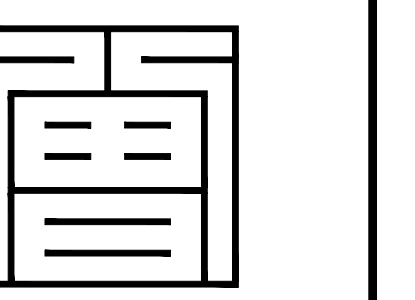


ALL CONTRACTOR AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL REFER TO SCOUR POLLUTION PREVENTION PROGRAM- CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs) AND BECOME FAMILIAR WITH ITS CONTENTS PRIOR TO CONSTRUCTION

Call USA at:  
1-800-227-2600



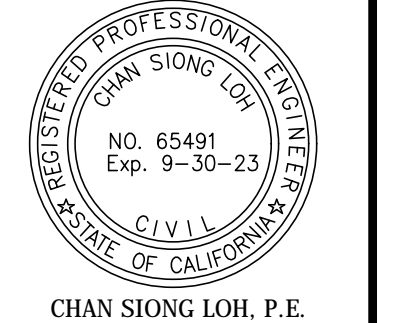
**AT LEAST 48 HOURS BEFORE YOU DIG!**



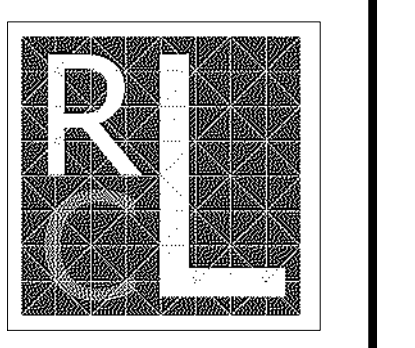
**Z S D ARCHITECTS, INC.**  
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| REV | BY | DATE | REVISIONS |
|-----|----|------|-----------|
|     |    |      |           |
|     |    |      |           |
|     |    |      |           |
|     |    |      |           |



**ECL STRUCTURAL ENGINEERS, INC.**  
P. 408.463.6632  
info@eclse.com  
570 E. El Camino Real Ste. D  
Sunnyvale, CA 94087



**RESIDENCE GRADING & DRAINAGE PLAN**  
501 CHERRY AVE. CALIFORNIA  
LOS ALTOS, CA  
Project No: XXXX-XX  
Designed: RK  
Checked: RL  
Date: 08-13-23

**SHEET CC1**  
PROJECT #



COMMON NAME // JAPANESE MAPLE  
HEIGHT AND SPREAD IN FEET // 10 X 10  
GROWTH RATE // SLOW-MODERATE



COMMON NAME // FOOTHILL SEDGE  
HEIGHT AND SPREAD IN FEET // 2 X 2  
GROWTH RATE // FAST-MODERATE



COMMON NAME // SMALL CAPE RUSH  
HEIGHT AND SPREAD IN FEET // 3 X 3  
GROWTH RATE // MODERATE



COMMON NAME // POKER  
HEIGHT AND SPREAD IN FEET // 2.5 X 2  
GROWTH RATE // MODERATE



COMMON NAME // TEXAS PRIVET  
HEIGHT AND SPREAD IN FEET // 6 X 4  
GROWTH RATE // MODERATE



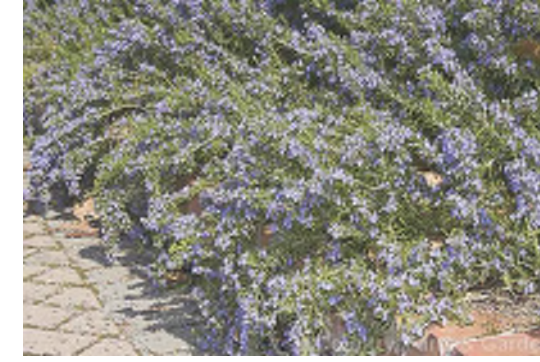
COMMON NAME // SHRUB OLIVE  
HEIGHT AND SPREAD IN FEET // 3.5 X 3.5  
GROWTH RATE // MODERATE



COMMON NAME // RYE PUFFS  
HEIGHT AND SPREAD IN FEET // 3 X 2.5  
GROWTH RATE // MODERATE



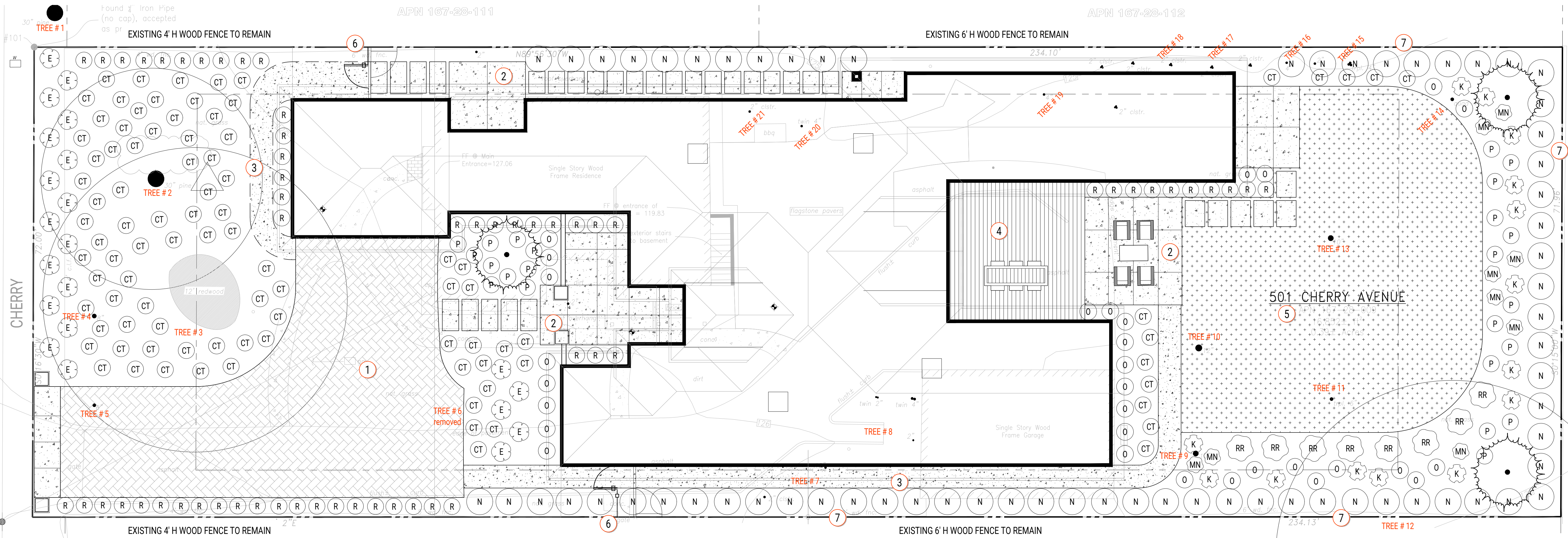
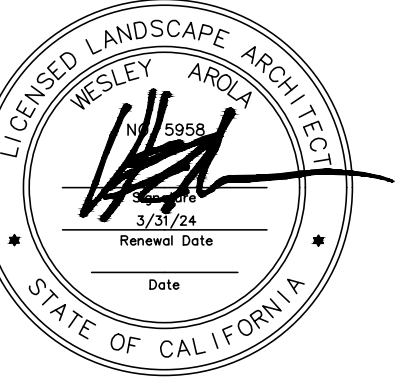
COMMON NAME // GULF INDIAN HAWTHORN  
HEIGHT AND SPREAD IN FEET // 4 X 3  
GROWTH RATE // MODERATE



COMMON NAME // TRAILING ROSEMARY  
HEIGHT AND SPREAD IN FEET // 1.5 X 5  
GROWTH RATE // FAST-MODERATE



COMMON NAME // MAY NIGHT SAGE  
HEIGHT AND SPREAD IN FEET // 2 X 3  
GROWTH RATE // MODERATE



**DESIGN CRITERIA**

**PLANTING DESIGN CRITERIA**

THE PROPOSED PLANT LIST IS COMPRISED OF PLANT MATERIAL AND TREES KNOWN TO THRIVE IN THE LOCAL CLIMATE AND SOIL CONDITIONS. ABOVE GROUND UTILITIES WILL BE SCREENED BY PLANTING. ALL LANDSCAPE AREAS WILL BE COVERED IN MIN 3" OF BARK MULCH

**IRRIGATION DESIGN CRITERIA**

THE IRRIGATION DESIGN WILL COMPLY WITH THE LOCAL AND STATE WATER CONSERVATION REQUIREMENTS. THE WATER CONSERVATION METHOD FOR THE PROPOSED LANDSCAPE MATERIAL HAS A LOW TO MEDIUM WATER USE.

A WEATHER SENSING 'SMART CONTROLLER' WILL BE USED TO MONITOR THE IRRIGATION WATER AND MANAGE DAILY WATER CONSUMPTION TO THE MINIMUM REQUIREMENTS FOR EACH HYDROZONE.

ALL TREES, SHRUB AND GROUND COVER AREAS WILL BE IRRIGATED BY DRIP, ON SEPARATE HYDROZONES, SO THAT ONCE ESTABLISHED, WATER CAN BE REGULATED IN A MORE EFFICIENT MANNER.

**COMPLIANCE STATEMENT**

THE DESIGN WILL MEET OR EXCEED THE STATE AND LOCAL STANDARDS FOR WATER CONSERVATION THROUGH WATER EFFICIENT LANDSCAPE IRRIGATION DESIGN. I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE MWEL0

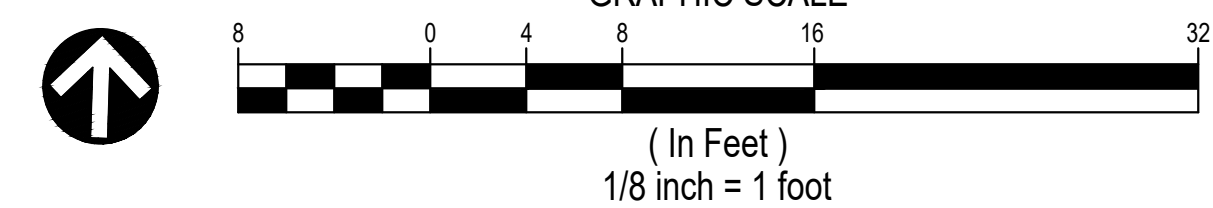
WES AROLA - CA 5958

**DESIGN KEY**

- 1 PAVER DRIVEWAY
- 2 CONCRETE PADS AND PATIO
- 3 GRAVEL WALKWAY
- 4 RAISED DECKING
- 5 SODDED TURF
- 6 SIDE YARD FENCE / GATES. WOOD 6' MAX HEIGHT
- 7 LAYERED PRIVACY SHRUBS

**PLANTING SCHEDULE**

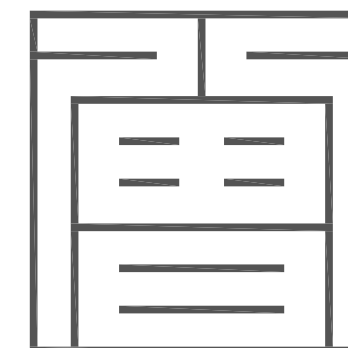
| TREES | BOTANICAL / COMMON NAME                                      | SHRUBS | BOTANICAL / COMMON NAME                                     |
|-------|--|--------|---|
|       | ACER PALMATUM / JAPANESE MAPLE                               | P      | PENNISETUM SPATHIOLATUM / RYE PUFFS                         |
|       |  | R      | RHAPHIOLEPIS INDICA 'MINOR' TM / GULF GREEN INDIAN HAWTHORN |
|       | BOTANICAL / COMMON NAME                                      | RR     | ROSMARINUS OFFICINALIS 'IRENE' TM / IRENE TRAILING ROSEMARY |
| CT    | CAREX TUMULICOLA / FOOTHILL SEDGE                            | MN     | SALVIA NEMOROSA 'MAY NIGHT' / MAY NIGHT SAGE                |
| E     | CHONDROPETALUM TECTORUM / SMALL CAPE RUSH                    |        |   |
| K     | KNIPHOFIA UVARIA - MIX / POKER - MIX EQUAL RED ORANGE YELLOW |        |   |
| N     | LIGUSTRUM JAPONICUM 'TEXANUM' / TEXAS JAPANESE PRIVET        |        |   |
| O     | OLEA EUROPAEA 'LITTLE OLLIE' TM / SHRUB OLIVE                |        |   |



CUSTOM RESIDENCE  
501 CHERRY AVENUE . LOS ALTOS . 94022  
LANDSCAPE PLANS

| # | ITEM | DATE |
|---|------|------|
|   |      |      |

PRELIMINARY  
LANDSCAPE PLAN

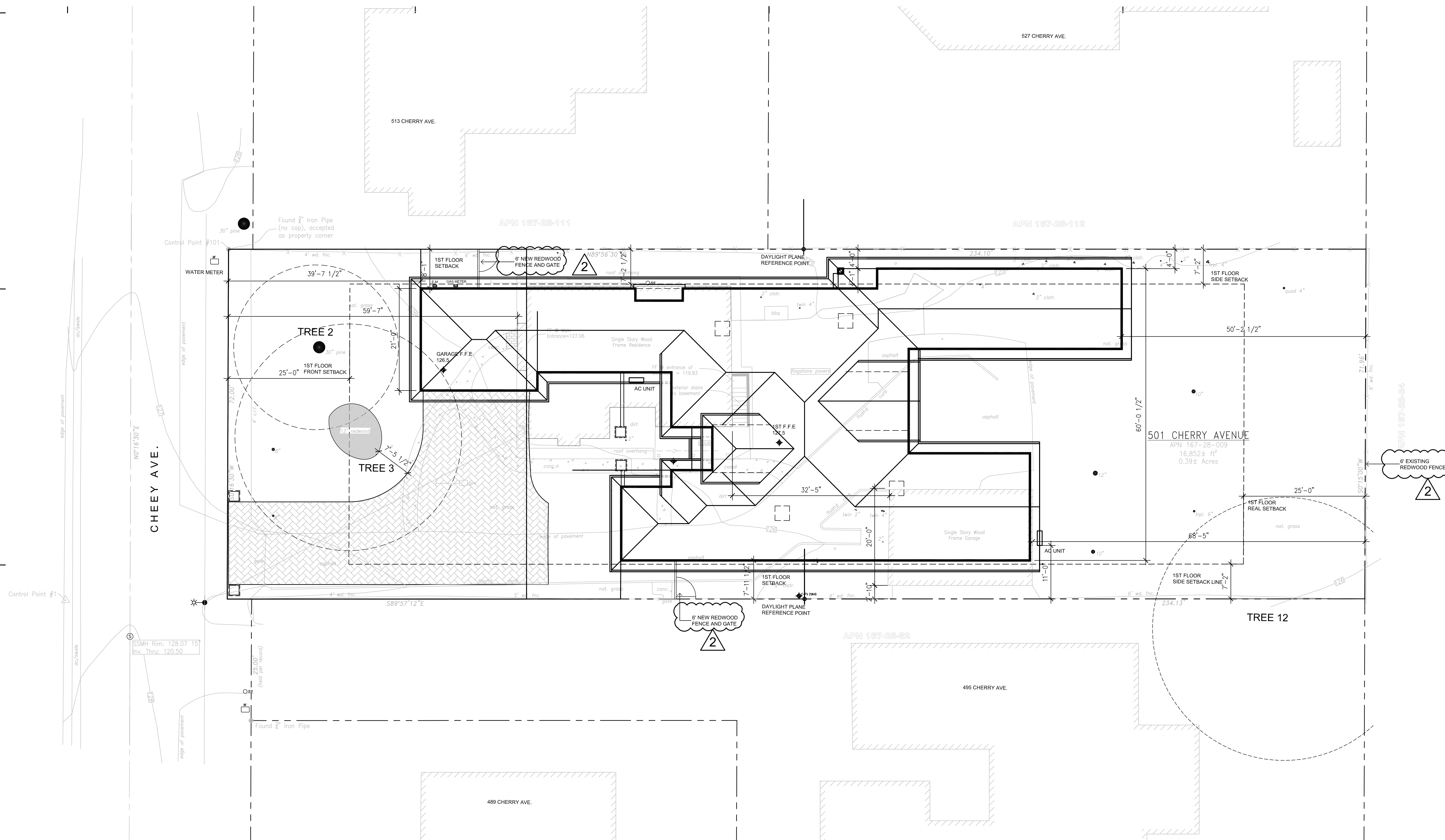


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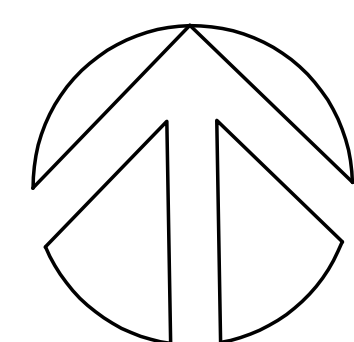
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501 CHERRY AVE.  
RESIDENCE

JUN ZHANG

353 COSTELLO DRIVE  
LOS ALTOS,  
CALIFORNIA, 94024  
408.348.6885 cel



# SITE PLAN

1"=10'-0"



|   |          |                      |
|---|----------|----------------------|
| △ | 10.04.23 | PLANNING RESUBMITTAL |
| △ | 08.23.23 | PLANNING RESUBMITTAL |
|   | 06.16.23 | PLANNING SUBMITTAL   |

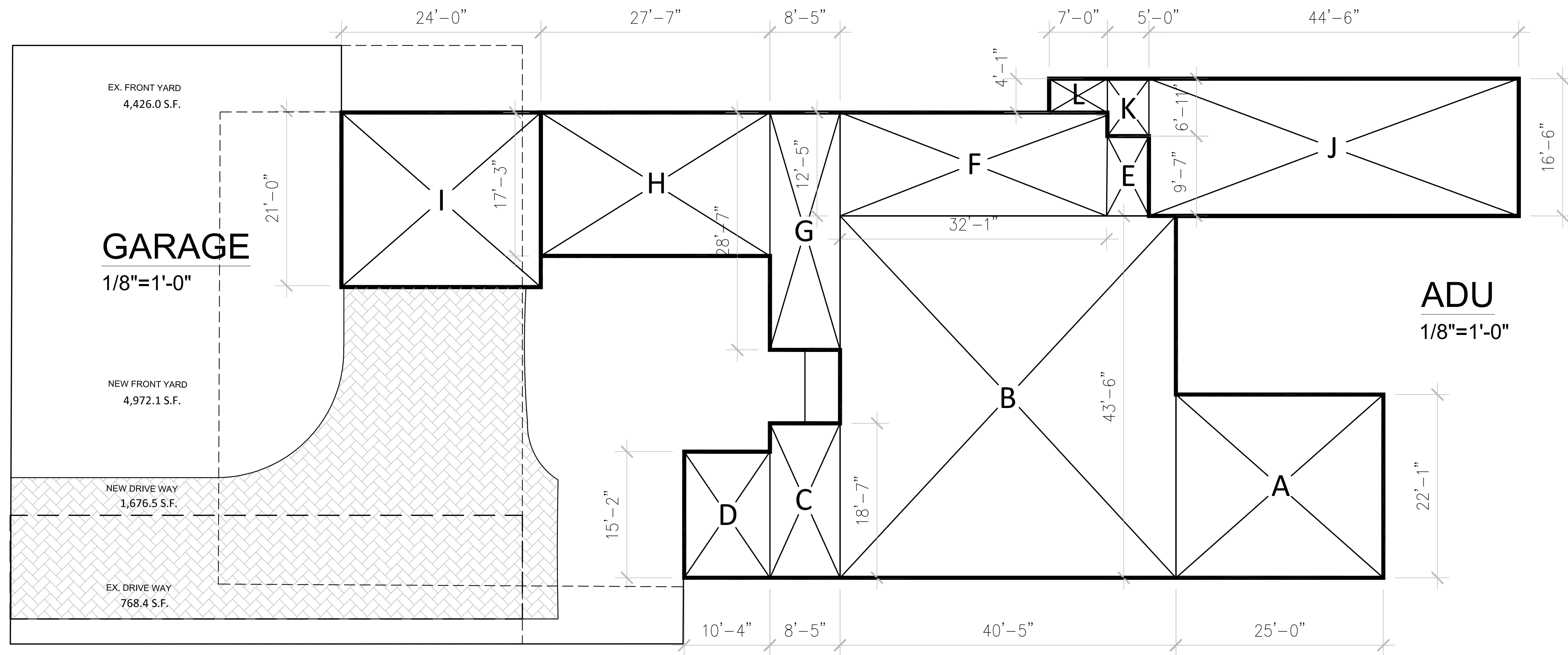
Rev. Date Issue

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Project No: 2022-018  
Date: 12-18-2022  
Scale: 1"=10'-0"

SITE PLAN

# A1.0



### FLOOR AREA CALCULATION DIAGRAM

1/8"=1'-0"

### FLOOR AREA AND COVERAGE CALCULATION

| SECTION                  | DIMENTION       | AREA                                    |
|--------------------------|-----------------|---|
| A                        | 22'-1" X 25'-0" | 552.08 S.F.                             |
| B                        | 43'-6" X 40'-5" | 1,758.13 S.F.                           |
| C                        | 8'-5" X 18'-7"  | 156.41 S.F.                             |
| D                        | 10'-4" X 15'-2" | 156.72 S.F.                             |
| E                        | 5'-0" X 9'-7"   | 47.92 S.F.                              |
| F                        | 32'-1" X 12'-5" | 398.37 S.F.                             |
| G                        | 8'-5" X 28'-7"  | 240.58 S.F.                             |
| H                        | 27'-7" X 17'-3" | 475.82 S.F.                             |
| 1ST FLOOR AREA SUBTOTAL  |                 | 3,786.03 S.F.                           |
| I                        | 2 CAR GARAGE    | 504 S.F.                                |
| TOTAL 1ST FLOOR AREA     |                 | 4,290.03 S.F.                           |
| I                        | 16'-6" X 44'-6" | 734.25 S.F.                             |
| K                        | 6'-11" X 5'-0"  | 34.58 S.F.                              |
| L                        | 7'-0" X 4'-1"   | 28.58 S.F.                              |
| ADU AREA SUBTOTAL        |                 | 797.41 S.F.                             |
| TOTAL PROJECT FLOOR AREA |                 | 5,087.44 S.F.                           |
| LIVABLE AREA             |                 | 3,786.03 + 797.41 (ADU) = 4,583.44 S.F. |
| LOT COVERED AREA         |                 | 5,087.44 S.F.                           |



### STREETSCAPE

1/16"=1'-0"



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08.23.23 PLANNING RESUBMITTAL

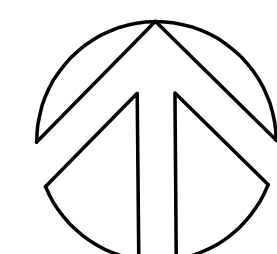
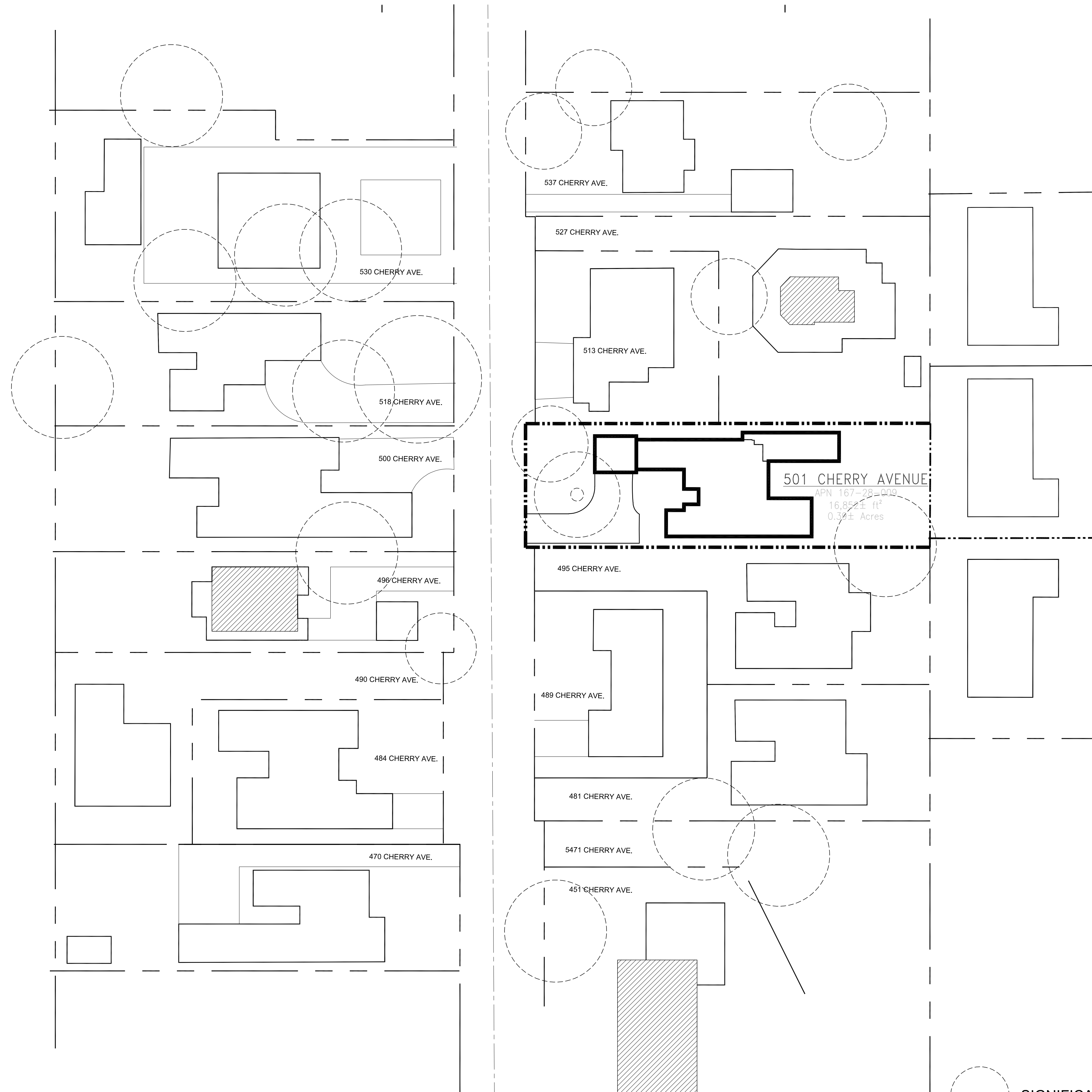
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Rev. Date Issue

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Date: 12-18-2022  
Scale: AS SHOWN

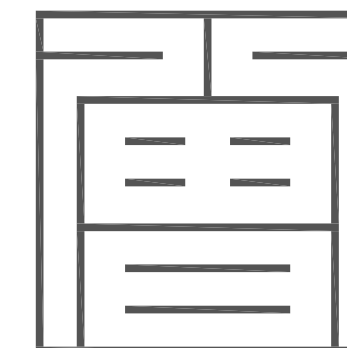
AREA CALCULATION  
AND STREET SCAPE

A1.1



**NEIGHBORHOOD CONTEXT MAP**

1"=40'-0"



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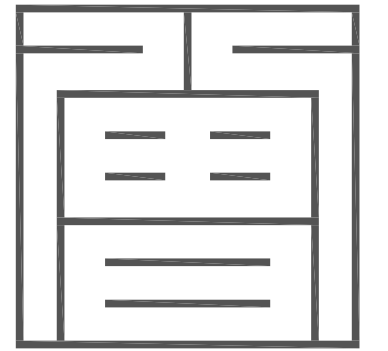
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NEIGHBORHOOD MAP

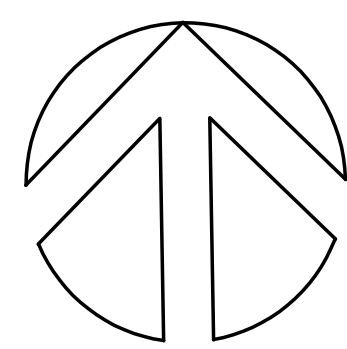
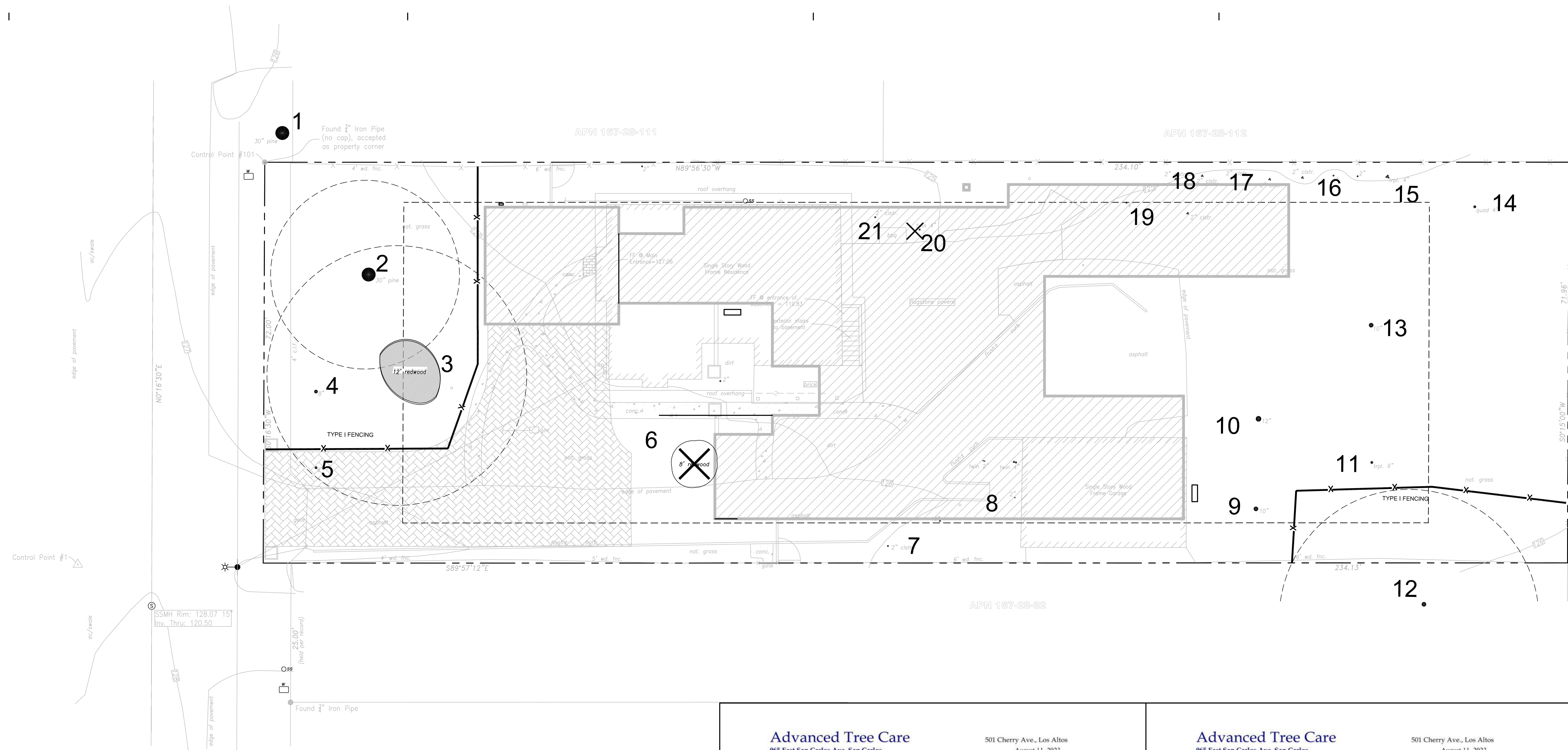


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# TREE PROTECTION PLAN

1"=10'-0"

**NOTE:** ALL TREE PROTECTION FENCING SHALL BE CHAIN LINK AND A MINIMUM OF FIVE FEET IN HEIGHT WITH POSTS DRIVEN INTO THE GROUND.

## Advanced Tree Care

965 East San Carlos Ave, San Carlos

501 Cherry Ave., Los Altos  
August 11, 2023

### Tree Survey

| Tree# | Species                     | DBH                    | Ht/Sp | Con Rating | Comments   |
|-------|-----------------------------|------------------------|-------|------------|--|
| 19    | Citrus<br>Citrus species    | 6.8" x 3.1"            | 12/6  | 30         | Poor health and condition<br><b>Not Regulated</b>      |
| 20    | Citrus<br>Citrus species    | 6.1"                   | 15/6  | 10         | Very poor health and condition<br><b>Not Regulated</b> |
| 21    | Oleander<br>Nerium oleander | 20 trunks @ 2" average | 10/10 | 50         | Fair health and condition<br><b>Regulated</b>          |

### Summary:

There are 21 trees on this property with trunk diameters greater than 4 inches at 48 inches above grade.

Tree #s 1 and 12 are Regulated trees on neighboring properties and should be protected during construction.

Tree # 2 is a deodar cedar in fair health and condition that should be protected during construction.

Tree # 3 is very large redwood on this property in good health and condition that should be protected during construction.

Tree # 6 is very large redwood on this property in good health and condition. It has been requested that this tree be removed. See Addendum.

Tree # 21 is an oleander on this property. The oleander is a multi-trunked tree of approximately 20 trunks averaging 2" in diameter and therefore a protected tree. This tree has been requested for removal.

All other trees are not Regulated and can be removed if desired.

## Advanced Tree Care

965 East San Carlos Ave, San Carlos

501 Cherry Ave., Los Altos  
August 11, 2023

### Tree Survey

| Tree# | Species  | DBH                | Ht/Sp | Con Rating | Comments   |
|-------|--|--------------------|-------|------------|--|
| 1     | Douglas fir<br><i>Pseudotsuga menziesii</i>      | 32.2"              | 60/30 | 45         | Poor health and condition, declining, one-sided, neighbor's tree, <b>Regulated</b> |
| 2     | Deodar cedar<br><i>Cedrus deodara</i>            | 36.1"              | 60/30 | 60         | Fair health and condition<br><b>Regulated</b>                                      |
| 3     | Coastal redwood<br><i>Sequoia sempervirens</i>   | 65.2"              | 90/40 | 70         | Good health and condition<br><b>Regulated</b>                                      |
| 4     | Fig<br><i>Ficus spp</i>                          | 8.5"               | 15/6  | 50         | Fair health and condition, suppressed by #3, <b>Not Regulated</b>                  |
| 5     | Camphor<br><i>Cinnamomum camphor</i>             | 6.5"               | 15/6  | 50         | Fair health and condition, suppressed by #3, <b>Not Regulated</b>                  |
| 6     | Coastal redwood<br><i>Sequoia sempervirens</i>   | 73.4"              | 90/40 | 70         | Good health and condition, codominant at 60', <b>Regulated</b>                     |
| 7     | Persimmon<br><i>Diostyros japonica</i>           | 11.5"              | 20/20 | 70         | Good health and condition<br><b>Not Regulated</b>                                  |
| 8     | Pittosporum<br><i>Pittosporum tobira</i>         | 4.8" x 3.6"        | 10/6  | 50         | Fair health and condition<br><b>Not Regulated</b>                                  |
| 9     | American walnut<br><i>Juglans hindsii</i>        | 8.5"               | 20/10 | 60         | Fair health and condition<br><b>Not Regulated</b>                                  |
| 10    | Southern magnolia<br><i>Magnolia grandiflora</i> | 12.1"              | 25/10 | 40         | Poor health and condition, drought stressed, <b>Not Regulated</b>                  |
| 11    | Apricot<br><i>Prunus armeniaca</i>               | 9.9"               | 10/6  | 10         | Very poor health and condition<br><b>Not Regulated</b>                             |
| 12    | Deodar cedar<br><i>Cedrus deodara</i>            | 34" est            | 60/50 | 70         | Good health and condition, neighbor's tree, <b>Regulated</b>                       |
| 13    | Field maple<br><i>Acer campestre</i>             | 11.8"              | 20/18 | 80         | Very good health and condition<br><b>Not Regulated</b>                             |
| 14    | American walnut<br><i>Juglans hindsii</i>        | 9.5"               | 20/20 | 50         | Fair health, poor condition<br><b>Not Regulated</b>                                |
| 15    | Pittosporum<br><i>Pittosporum eugenioides</i>    | 5.8" x 4.1"        | 20/10 | 30         | Poor health and condition<br><b>Not Regulated</b>                                  |
| 16    | Pittosporum<br><i>Pittosporum eugenioides</i>    | 5.1"               | 18/8  | 20         | Very poor health and condition<br><b>Not Regulated</b>                             |
| 17    | Pittosporum<br><i>Pittosporum eugenioides</i>    | 4.1" x 2.0" x 1.6" | 20/5  | 30         | Poor health and condition<br><b>Not Regulated</b>                                  |
| 18    | Pittosporum<br><i>Pittosporum eugenioides</i>    | 5.2"               | 15/8  | 30         | Poor health and condition<br><b>Not Regulated</b>                                  |

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08.23.23 PLANNING RESUBMITTAL

06.16.23 PLANNING SUBMITTAL

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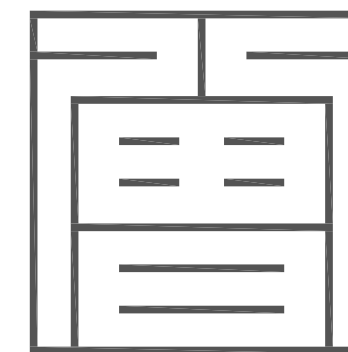
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Scale: 1/10"=1'-0"

TREE PROTECTION PLAN

# A1.3





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| 08.23.23 | PLANNING RESUBMITTAL |
| 06.16.23 | PLANNING SUBMITTAL   |

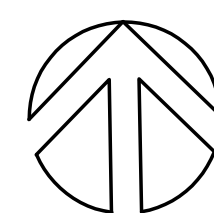
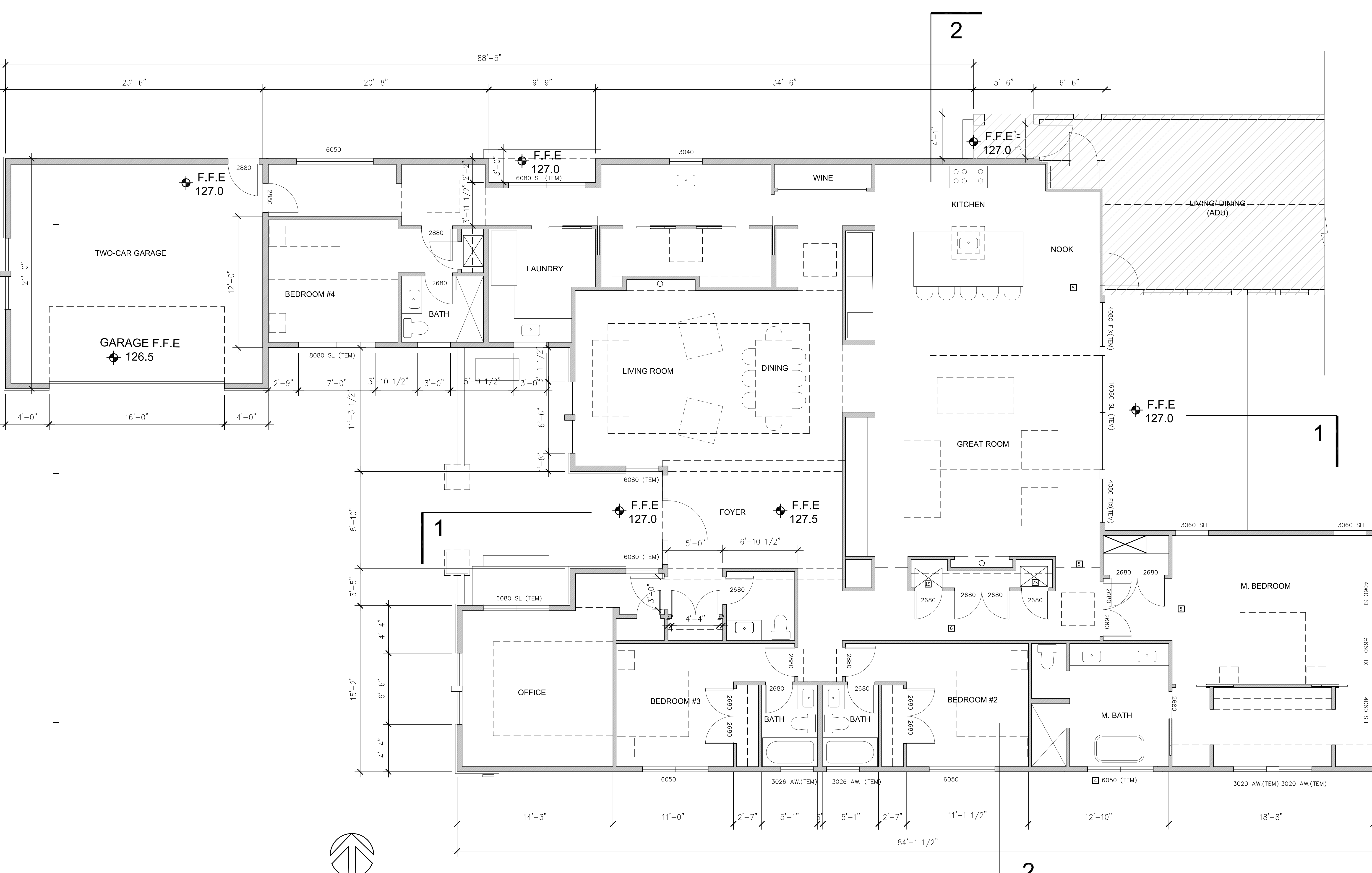
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Scale: 1/4"=1'-0"

FLOOR PLAN

A2.1



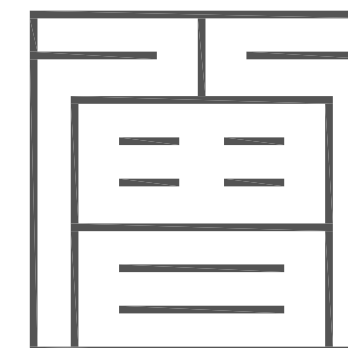
# FLOOR PLAN

1/4"=1'-0"

2

1

2

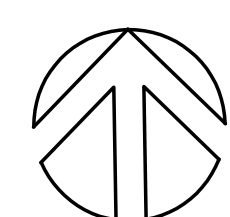
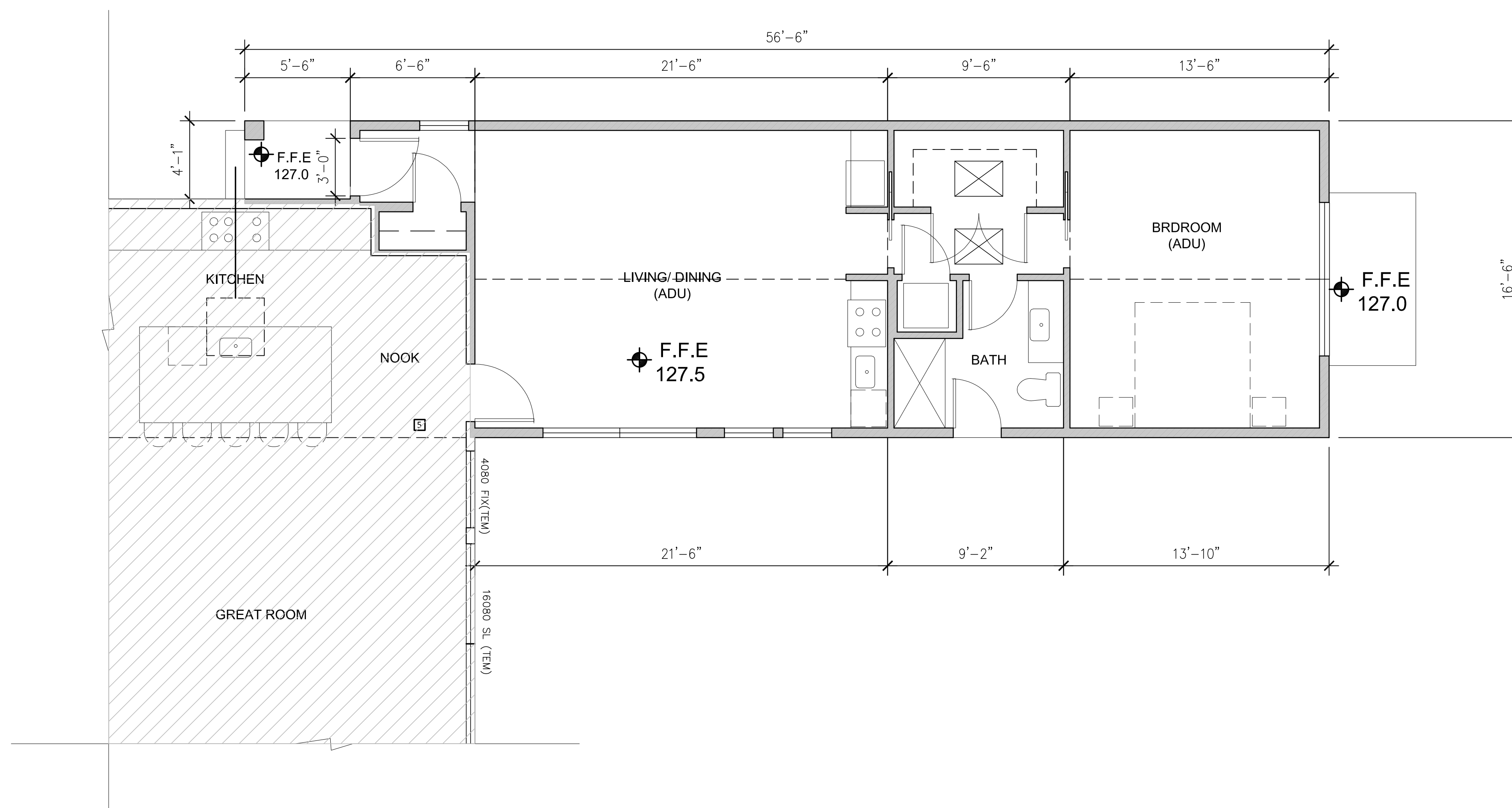


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### ADU FLOOR PLAN

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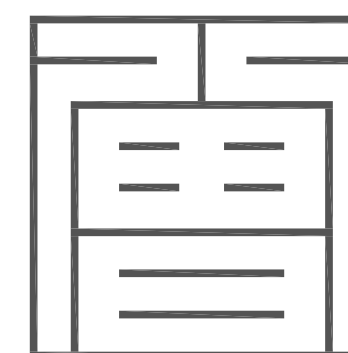
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Date: 12-18-2022

Scale: 1/4"=1'-0"

ADU FLOOR PLAN

# A2.2

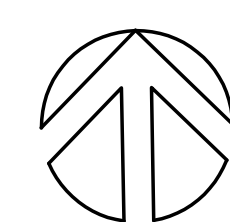
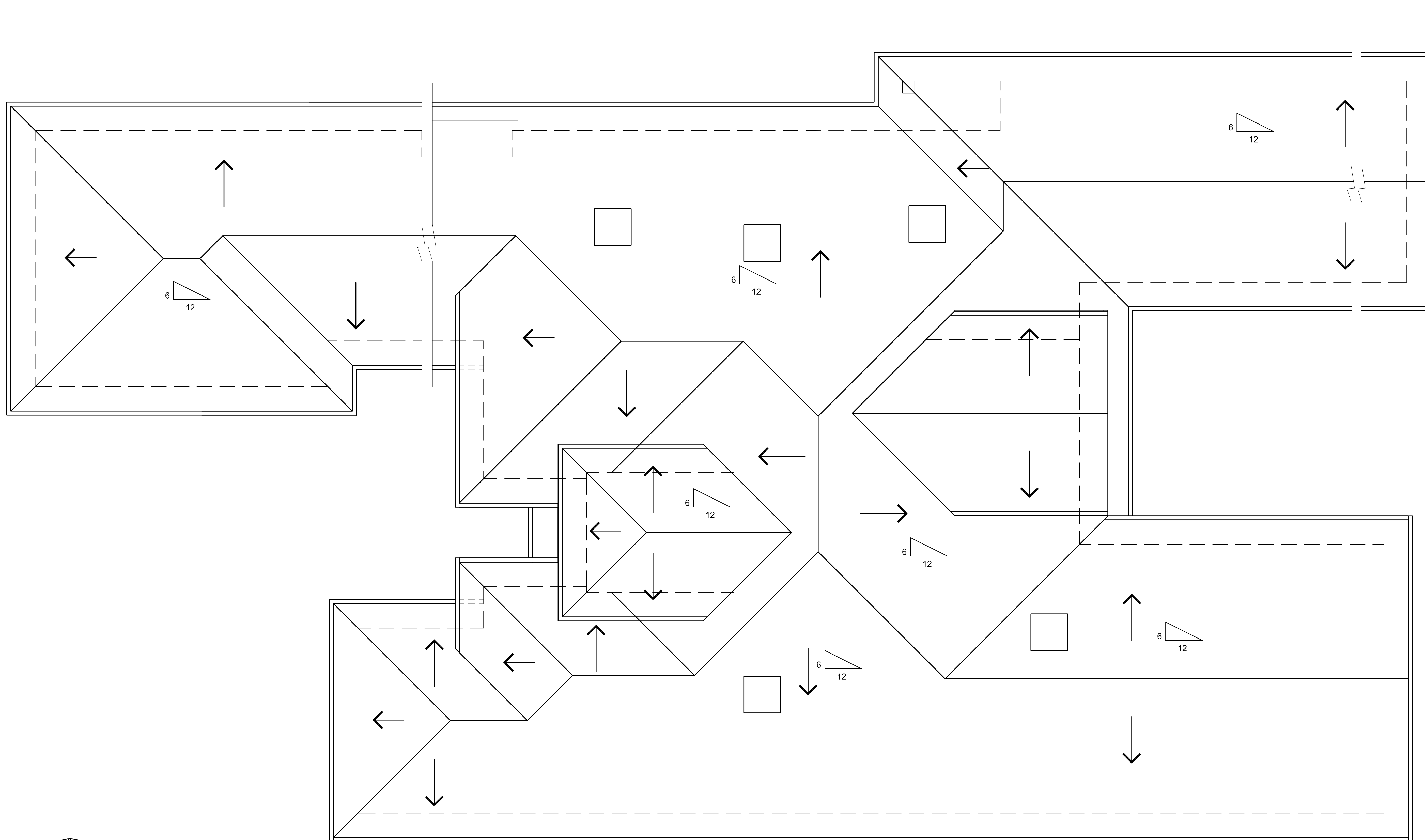


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# ROOF PLAN

1/4"=1'-0"

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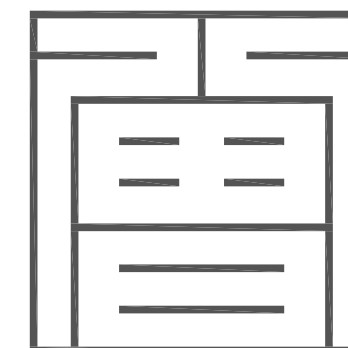
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ROOF PLAN

# A2.3

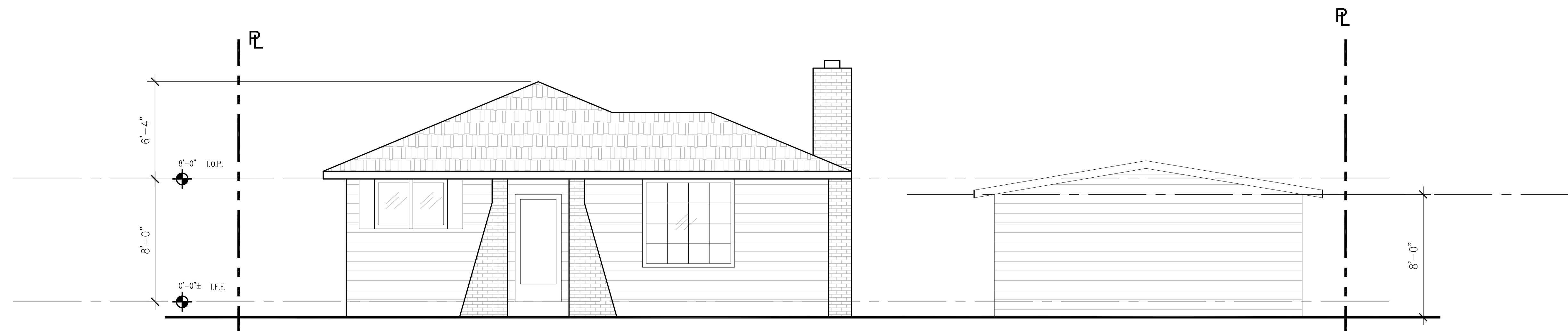


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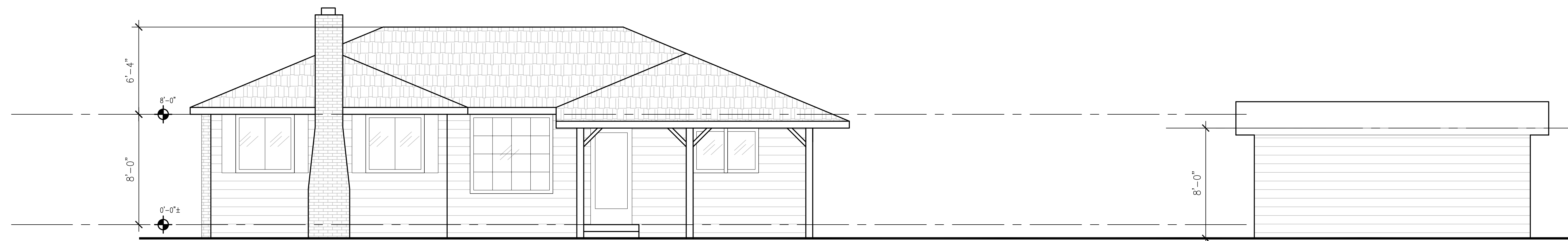


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### EX. WEST (FRONT) ELEVATION

1/4"=1'-0"



### EX. SOUTH ELEVATION

1/4"=1'-0"

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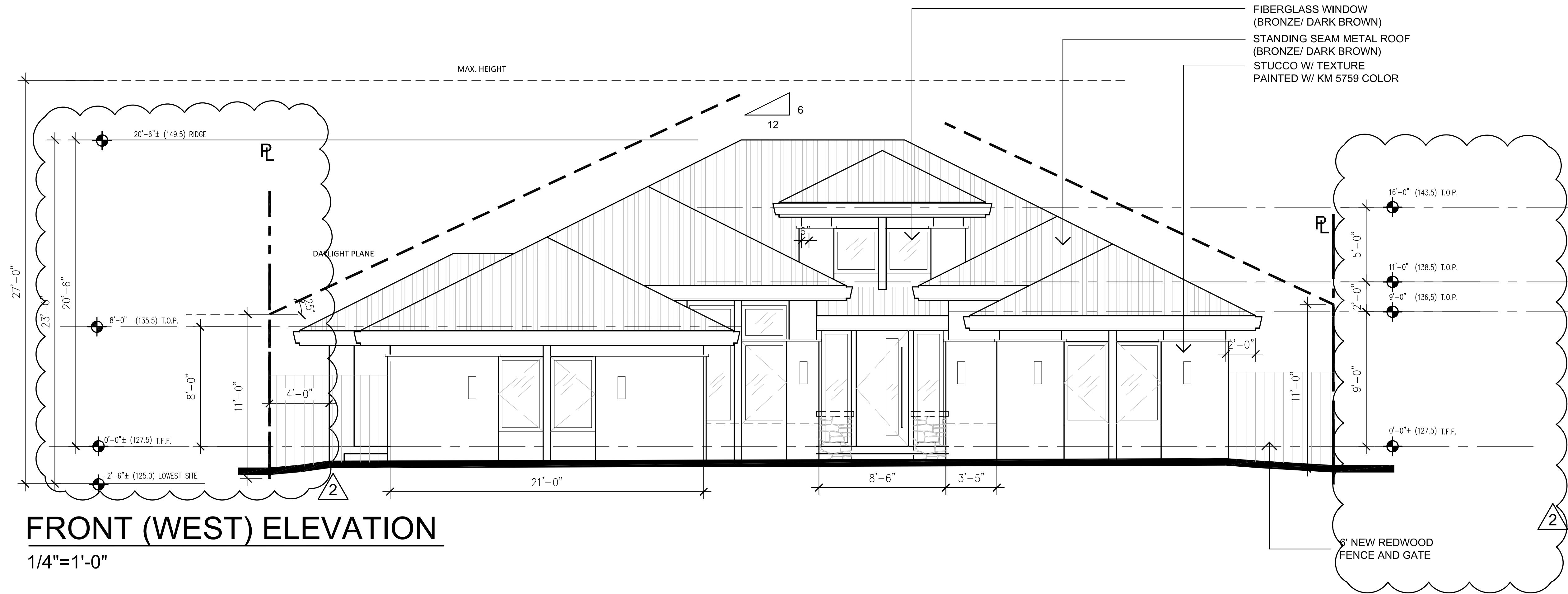
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EX. ELEVATIONS

# A3.0

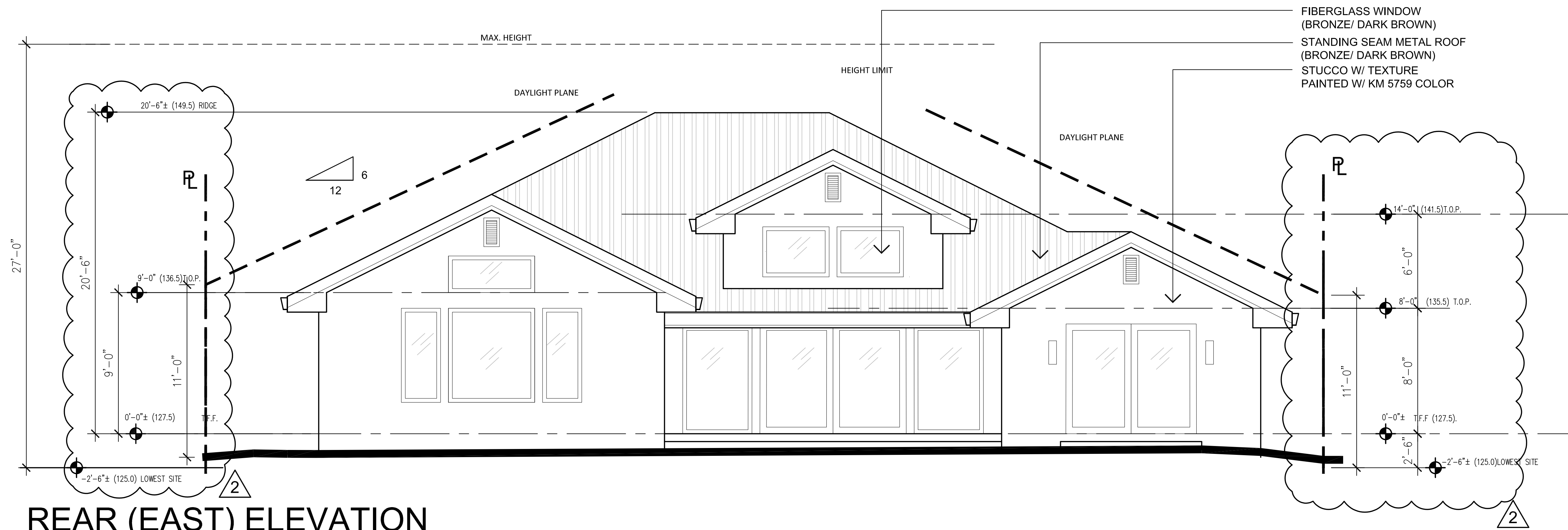


**FRONT (WEST) ELEVATION**

1/4"=1'-0"

FIBERGLASS WINDOW  
(BRONZE/ DARK BROWN)  
STANDING SEAM METAL ROOF  
(BRONZE/ DARK BROWN)  
STUCCO W/ TEXTURE  
PAINTED W/ KM 5759 COLOR

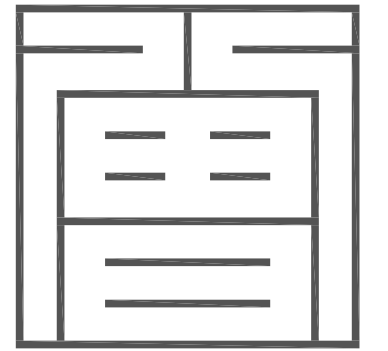
6' NEW REDWOOD  
FENCE AND GATE



**REAR (EAST) ELEVATION**

1/4"=1'-0"

FIBERGLASS WINDOW  
(BRONZE/ DARK BROWN)  
STANDING SEAM METAL ROOF  
(BRONZE/ DARK BROWN)  
STUCCO W/ TEXTURE  
PAINTED W/ KM 5759 COLOR



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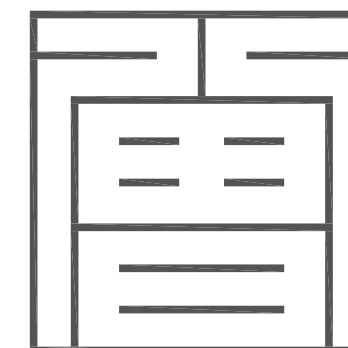
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ELEVATIONS

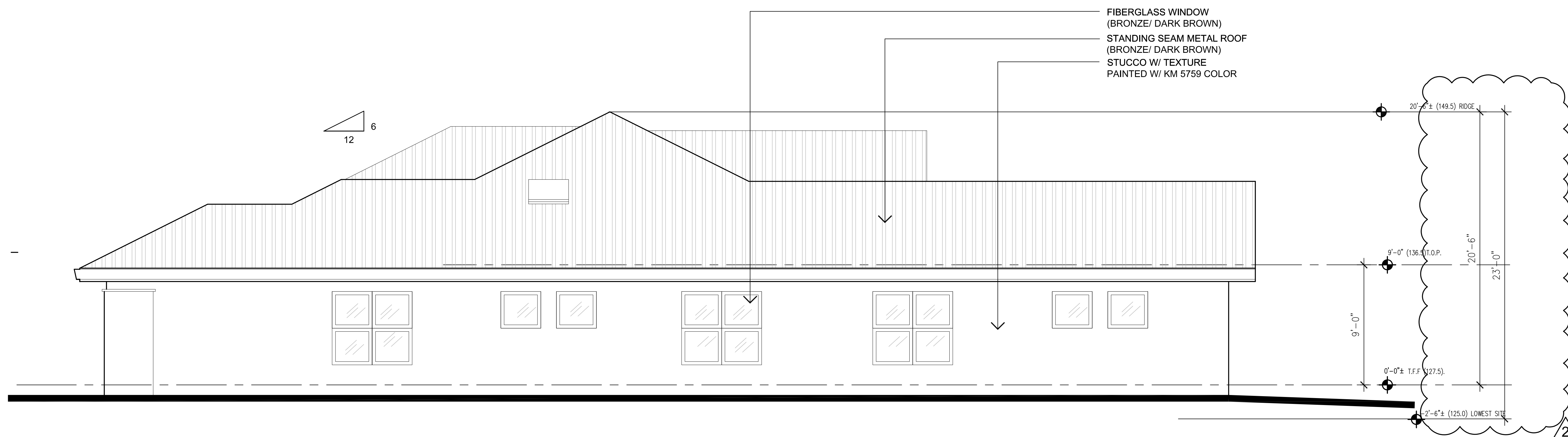


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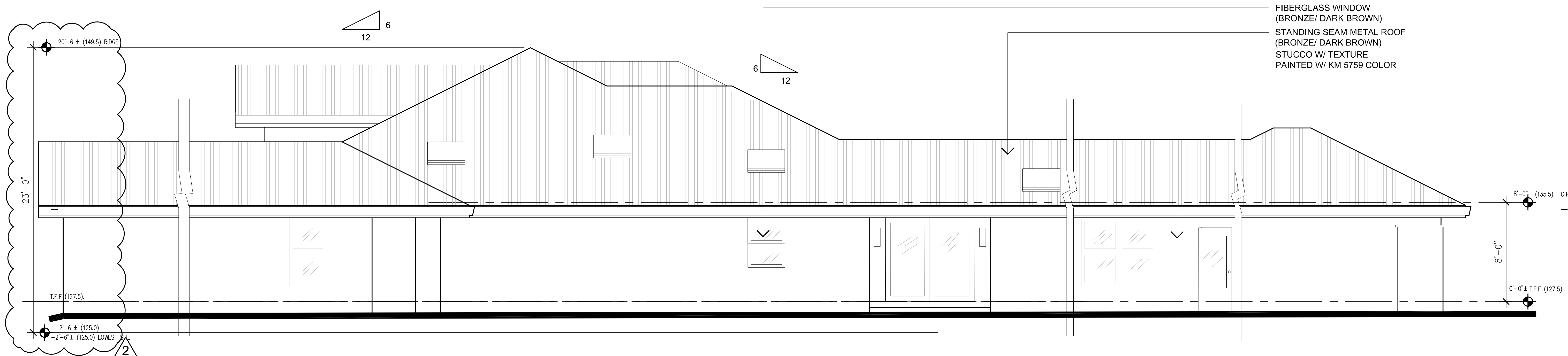


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### RIGHT (SOUTH) ELEVATION

1/4"=1'-0"



### LEFT (NORTH) ELEVATION

1/4"=1'-0"

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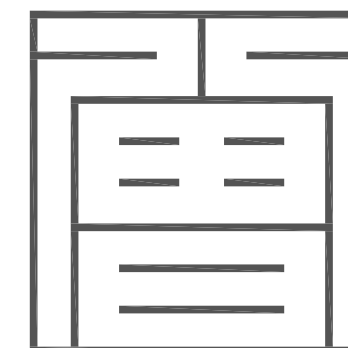
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| 2    | 08.23.23 | PLANNING RESUBMITTAL |
| 3    | 06.16.23 | PLANNING SUBMITTAL   |

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ELEVATIONS

# A3.2

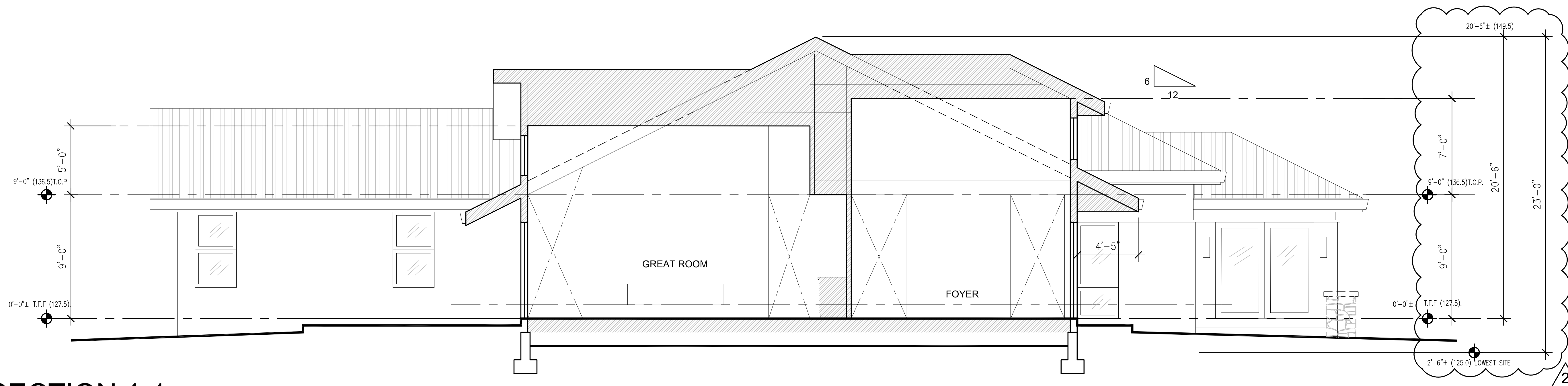


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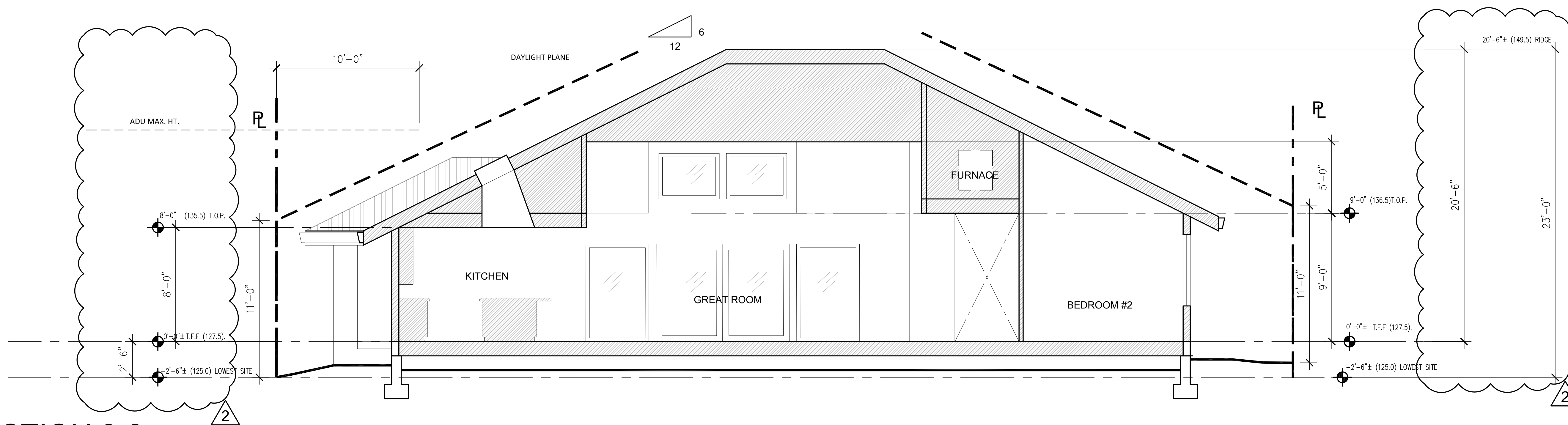


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### SECTION 1-1

1/4"=1'-0"



### SECTION 2-2

1/4"=1'-0"

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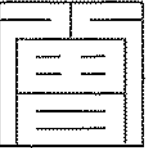
Project No: 2022-018  
Date: 12-18-2022  
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SECTIONS

# A4.1

# MATERIAL BOARD

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LOS ALTOS, CA



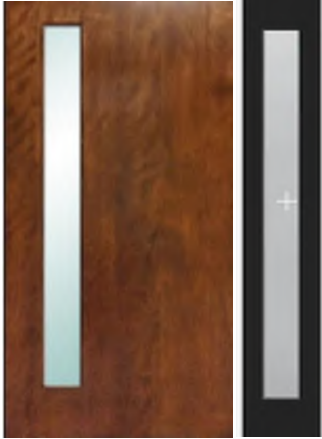
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CULTURED STONE  
WITH TRIM/CAP



STUCCO WALL FINISH  
PAINTED WITH BM1537 COLOR



FIBERGLASS ENTRY DOOR



GLASS GARAGE DOOR  
BRONZE ALUMINUM FRAME



FIBERGLASS WINDOW  
BRONZE/DARK BROWN COLOR



STANDING SEAM METAL ROOF