

CASITA WAY

MB

SITE PLAN



3D RENDERING

	Z	ONING COM	PLIAN	ICE			
	EXISTING			PROPOSED		ALLOWED/REQ'D	
LOT COVERAGE: LAND AREA COVERED BY ALL STRUCTURES		2,605	S.F.	3,080	S.F.	3,080	S.F.
THAT ARE OVER 6' HIGH		25.4%		_ 30.0% .		30.0%	
	1st FLR.	2,339	S.F.	2,887) S.F.	3,593	S.F.
FLOOR AREA: MEASURED TO THE OUTSIDE SURFACES OF EXTERIOR WALLS	2nd FLR.	0	S.F.	704	S.F.		
	TOTAL	2,339	S.F.	3,591	S.F.		
	22.8%		35.0%		35.0%		
SETBACKS:							
FRONT		25	FT.	25	FT.	25	FT.
REAR		47.42	FT.	43.58	FT.	25	FT.
RIGHT SIDE (1ST/2ND)		10/NA	FT.	10/32.25	FT.	10/17.5	FT.
LEFT SIDE (1ST/2ND)		12.75/NA	FT.	10.08/23.08	FT.	10/17.5	FT.
HEIGHT:		14	FT.	24	FT.	27	FT.
SQUARE FOOTAGE BREAKDOWN							

_	SQUARE FOOTAGE BREAKDOWN					
	EXISTING	CHANGE IN	TOTAL PROPOSED			
HABITABLE LIVING AREA: INCLUDES HABITABLE BASEMENT AREAS	1,844 S.F.	1,347 S.F.	3,191 S.F.			
NON-HABITABLE AREA DOES NOT INCLUDE COVERED PORCHES OR OPEN STRUCTURES	495 S.F.	_94 S.F.	401 S.F.			
LOT CALCULATIONS						

	LOT CALCULATIO	NS S			
NET LOT AREA:				10,266	S.F.
FRONT YARD HARDSCAPE AREA: HARDSCAPE AREA IN THE FRONT YARD SETBACK SHALL N	NOT EXCEED 50%	891	S.F.	41.0%	
LANDSCAPE BREAKDOWN:	EXISTING SOFTSCAPE NEW SOFTSCAPE ARE	REA EXISTING & PROPOS (UNDISTURBED) AREA: A: IOULD EQUAL THE SITE'S		5,333 0 4,933	S.F. S.F. S.F.

FIRE DEPARTMENT NOTES:

WM WM

NORTH

UNTIL ALL BUILDING
CONSTRUCTION HAS BEEN
COMPLETED. TYPICAL AS
NOTED.

REVIEW OF THIS DEVELOPMENTAL PROPOSAL IS LIMITED TO ACCEPTABILITY OF SITE ACCESS AND WATER SUPPLY AS THEY PERTAIN TO FIRE DEPARTMENT OPERATIONS, AND SHALL NOT BE CONSTRUED AS A SUBSTITUTE FOR FORMAL PLAN REVIEW TO DETERMINE COMPLIANCE WITH ADOPTED MODEL CODES. PRIOR TO PERFORMING ANY WORK THE APPLICANT SHALL MAKE APPLICATION TO, AND RECEIVE FROM, THE BUILDING DEPARTMENT ALL APPLICABLE CONSTRUCTION PERMITS.

2. AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH NATIONAL FIRE PROTECTION ASSOCIATION'S (NFPA) STANDARD 13D IN ALL NEW ONE AND TWO-FAMILY DWELLINGS AND IN EXISTING DWELLINGS, WHEN ADDITIONS ARE MADE THAT INCREASE THE BUILDING AREA TO MORE THAN THE ALLOWABLE FIRE-FLOW APPENDIX TABLE BIOSL, OR ADDITIONS EXCEEDS FIFTY (50) PERCENT (INCLUSIVE OF GARAGE CONVERSIONS) OF THE EXISTING LIVING AREA (EXISTING SQUARE FOOT CALCULATIONS SHALL NOT INCLUDE EXISTING BASEMENT.) WHEN AUTOMATIC FIRE SPRINKLER SYSTEMS ARE REQUIRED BY THIS SECTION, ALL ASSOCIATED GARAGES SHALL BE INCLUDED. TEAR-DOWNS AND/ OR ADDITIONS OVER FIFTY (50) PERCENT SHALL BE TREATED AS A NEW STRUCTURE REGARDING INSTALLATION OF FIRE SPRINKLER SYSTEMS. THE OBLIGATION TO PROVIDE COMPLIANCE WITH THESE FIRE SPRINKLER REGULATIONS MAY NOT BE EVADED BY PERFORMING A SERIES OF SMALL ADDITIONS UNDERTAKEN OVER A THREE-YEAR PERIOD. THE PERMIT ISSUANCE DATE OF PAST ADDITIONS WHERE THESE REGULATIONS WERE IN EFFECT SHALL BE USED FOR DETERMINING COMPLIANCE. NOTE: THE OWNER(S), OCCUPANT(S) AND ANY CONTRACTOR(S) OR SUBCONTRACTOR(S) ARE RESPONSIBLE FOR CONSULTING WITH THE WATER PURVEYOR OF RECORD IN ORDER TO DETERMINE IF ANY MODITION OF THE PURVEYOR OF RECORD IN ORDER TO DETERMINE IF ANY WITH THE WATER PURVEYOR OF RECORD IN ORDER TO DETERMINE IF ANY MODIFICATION OR UPGRADE OF THE EXISTING WATER SERVICE IS REQUIRED. A STATE OF CALIFORNIA LICENSED (C-I6) FIRE PROTECTION CONTRACTOR SHALL SUBMIT PLANS, CALCULATIONS, A COMPLETED PERMIT APPLICATION AND APPROPRIATE FEES TO THIS DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO BEGINNING THEIR WORK. CRC SEC. 313.2 AS ADOPTED AND AMENDED BY LAMC

3. POTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION WATER SUPPLIES. IT IS THE RESPONSIBILITY OF THE APPLICANT AND ANY CONTRACTORS AND SUBCONTRACTORS TO CONTACT THE WATER PURVEYOR SUPPLYING THE SITE OF SUCH PROJECT. AND TO COMPLY WITH THE REQUIREMENTS OF THAT PURVEYOR. SUCH REQUIREMENTS SHALL BE INCORPORATED INTO THE DESIGN OF ANY WATER-BASED FIRE PROTECTION SYSTEM(S), AND/OR FIRE SUPPRESSION WATER SUPPLY SYSTEMS OR STORAGE CONTAINERS THAT MAY BE PHYSICALLY CONNECTED IN ANY MANNER TO AN APPLIANCE CAPABLE OF CAUSING CONTAMINATION OF THE POTABLE WATER SUPPLY OF THE PURVEYOR OF RECORD. FINAL APPROVAL OF THE SYSTEMS UNDER CONSIDERATION WILL NOT BE GRANTED BY THIS OFFICE UNTIL COMPLIANCE WITH THE REQUIREMENTS OF THE WATER PURVEYOR OF RECORD ARE DOCUMENTED BY THAT PURVEYOR AS HAVING BEEN MET BY THE APPLICANT(S). 2010 CFC SEC. 903.3.5 AND HEALTH AND SAFETY CODE 13114.7

4. ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 33 AND OUR STANDARD DETAIL AND SPECIFICATIONS SI-1. PROVIDE APPROPRIATE NOTATIONS ON SUBSEQUENT PLAN SUBMITTALS TO THE PROJECT. CFC CHAPTER 33.

5. NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MINIMUM OF 4 INCHES (IOI.6 MM) HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH (I2.7 MM). WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. CFC SEC. 505.1

AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM WITH DOUBLE CHECK VALVES SHALL BE PROVIDED AND BE DESIGNED AND INSTALLED IN ACCORDANCE WITH SECTION R313.3 OR NFPA 13D AND LOS ALTOS RESIDENTIAL REQUIREMENTS. (UNDER SEPERATE PERMIT) FIRE SPRINKLER PLANS SHALL BE SUBMITTED DIRECTLY TO THE COUNTY FIRE DEPARTMENT BY A CALIFORNIA LICENSED C-16 FIRE SPRINKLER CONTRACTOR.

INDEX OF DRAWINGS

SITE PLAN VICINITY PLAN

EXISTING FLOOR PLAN

PROPOSED MAIN FLOOR PLAN

PROPOSED UPPER FLOOR PLAN

ROOF PLAN AREA DIAGRAMS

EXTERIOR ELEVATIONS

EXTERIOR ELEVATIONS

BUILDING SECTIONS STREETSCAPE

CONTEXT MAP

TOPOGRAPHIC SURVEY

GRADING AND DRAINAGE PLAN

EROSION CONTROL PLAN

BLUEPRINT FOR A CLEAN BAY

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PLANTING PLAN

LIGHTING & MATERIAL PLAN

IRRIGATION PLAN

PLANTING & IRRIGATION DETAILS

CONSTRUCTION DETAILS

PROJECT INFO

PRAVIR GUPTA & SUGANDH SHAIKHAR 435 CASITA WAY LOS ALTOS, CA 94022

435 CASITA WAY LOS ALTOS, CA 94022 JOB ADDRESS:

ZONING: RI-10

BUILDING OCCUPANCY GROUP(S):

OWNER:

TYPE(S) OF CONSTRUCTION: ▼-B

OCCUPANCY CATEGORY:

170-18-027 FIRE SPRINKLERS: YES

UNDERGROUND UTILITIES:

ARCHITECT:

RH ASSOCIATES, ARCHITECTS IIOIO COMBIE RD. SUITE 2IO AUBURN, CA 95402 CONTACT: J. STEVE COLLOM (530) 248-3055 steve.collom@gmail.com

NNR ENGINEERING 535 WEYBRIDGE DRIVE CIVIL ENGINEER:

SAN JOSE, CA 95123 CONTACT: NADIM RAFOUL

(408) 348-7813 nnrengineering@yahoo.com

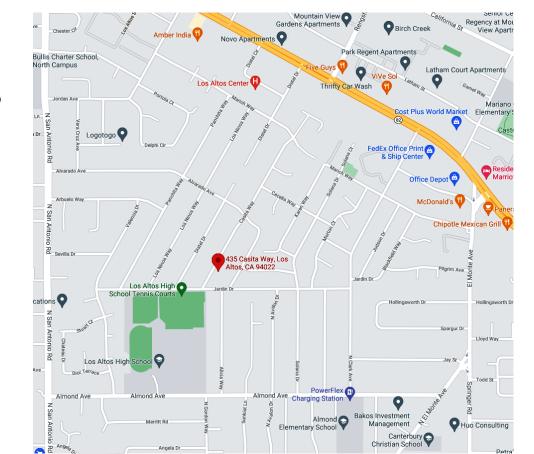
LANDSCAPE DESIGN: KAREN AITKEN & ASSOCIATES

8262 RANCHO REAL GILROY, CA 95020 CONTACT: KAREN AITKEN (408) 842-0245

Aitken Associates agmail.com

PROJECT DESCRIPTION

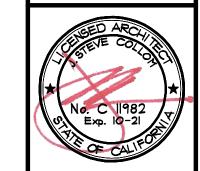
THE CONSTRUCTION OF A TWO-STORY ADDITION TO AN EXISTING ONE-STORY RESIDENCE WITH AN ATTACHED GARAGE. UTILITIES TO BE UNDERGROUND AND FIRE SPRINKLERS WILL BE REQUIRED FOR THE ENTIRE RESIDENCE.



NO SCALE

NORTH

ASSOCIATES ARCHITECTS 11010 combie rd. ste. 21 AUBURN, CA 9560 530-268-305 J. STEVE COLLOM rhaarchitects.con rhassoc@sbcglobal.net



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drawings

evisions

COVER SHEET

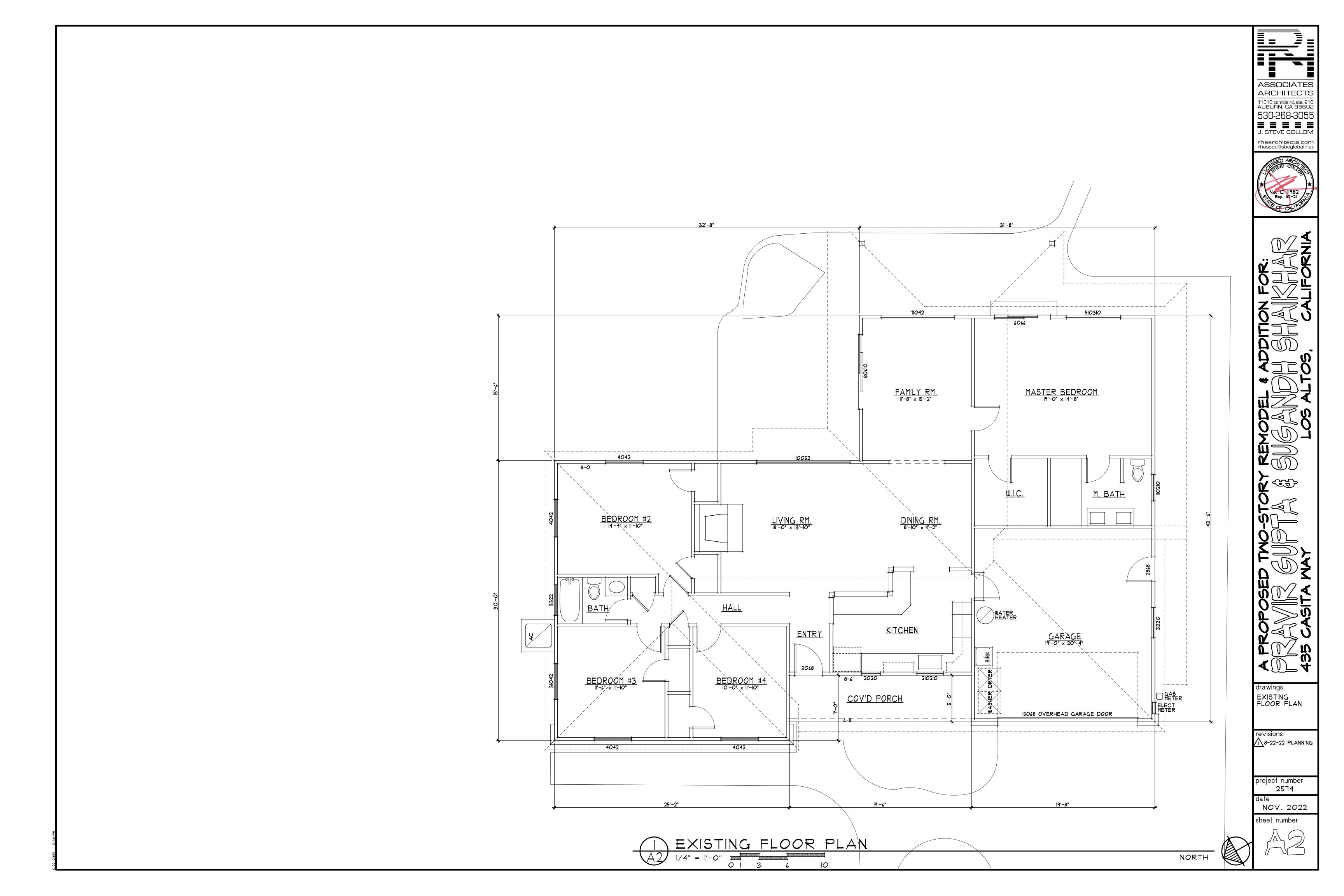
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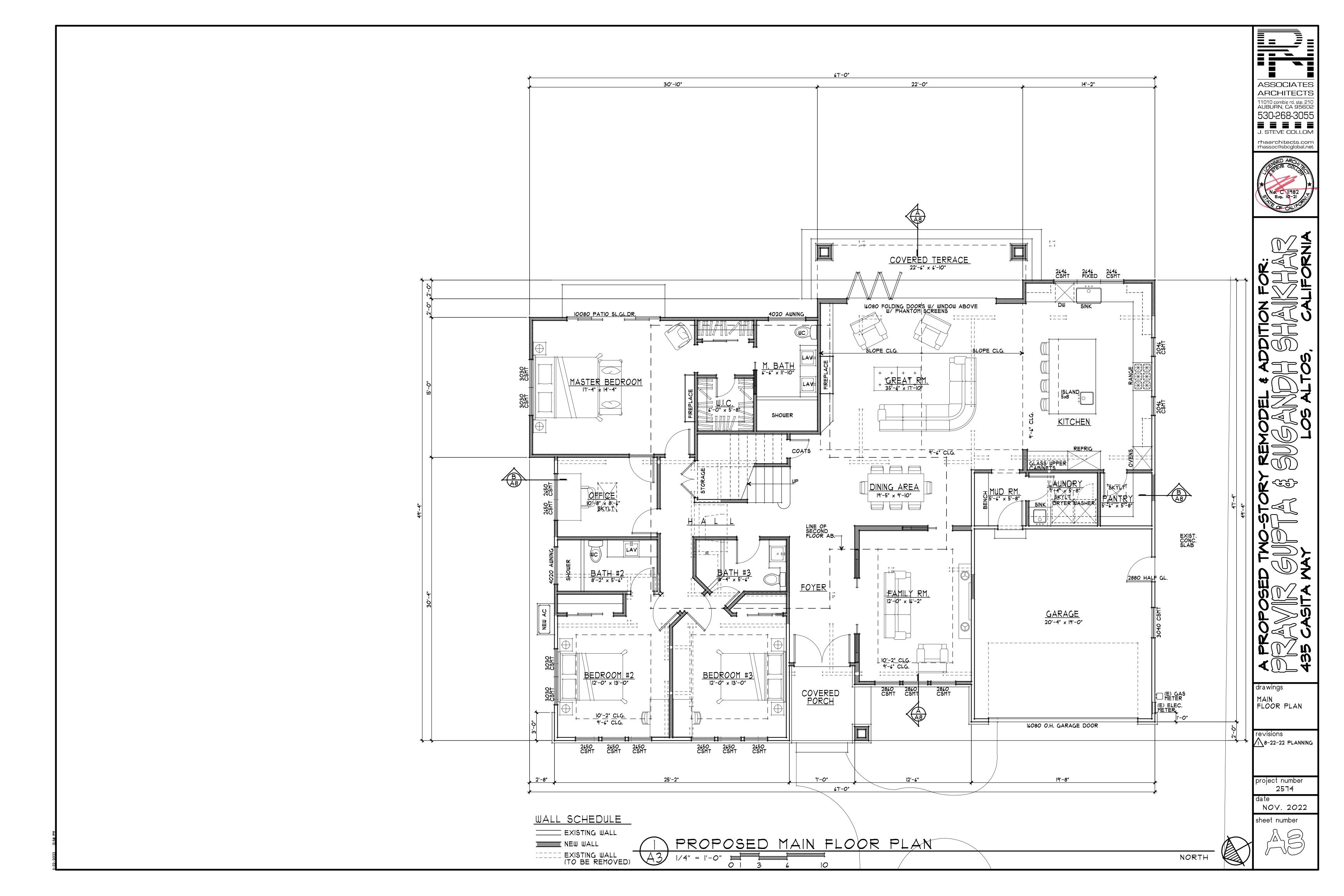
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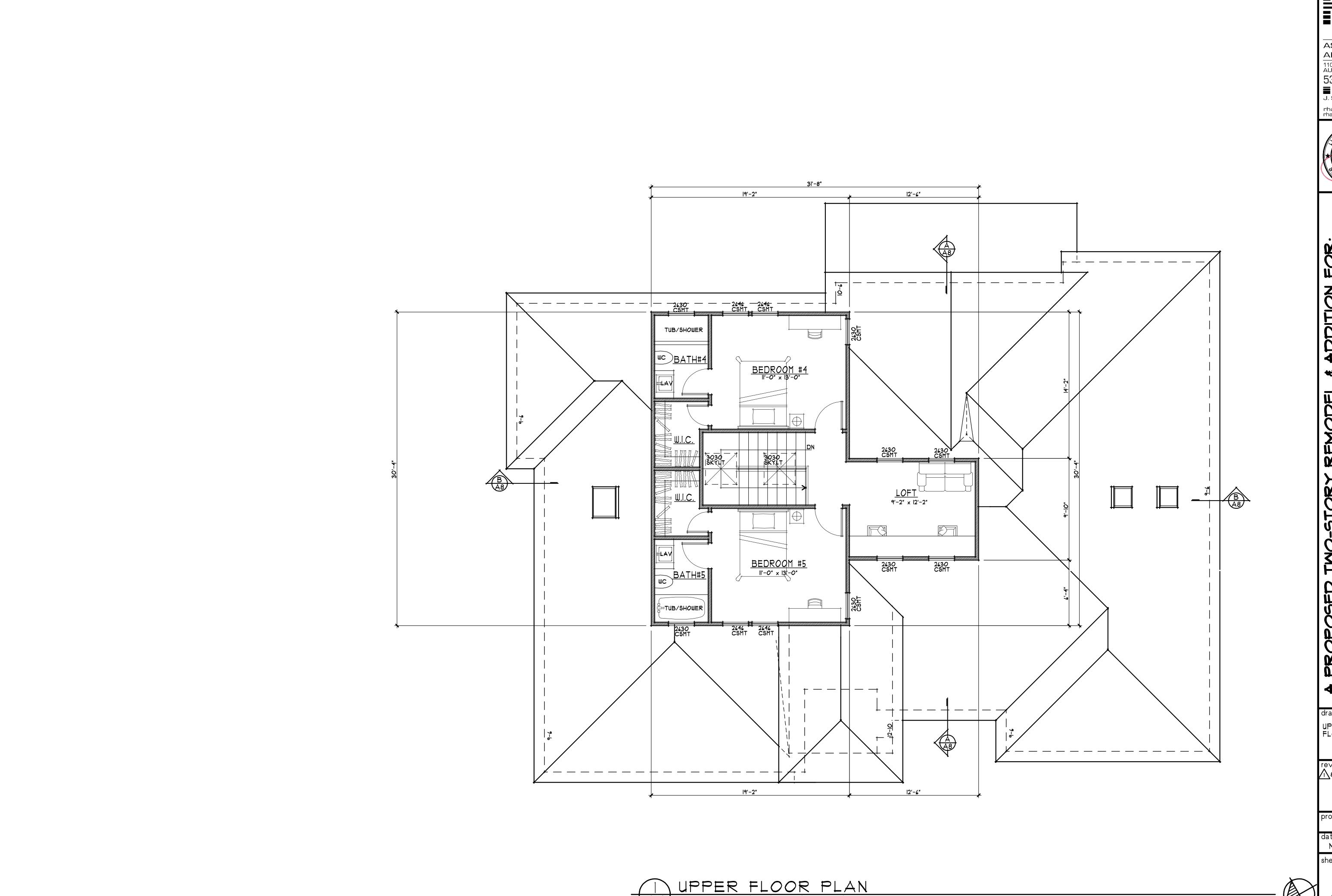
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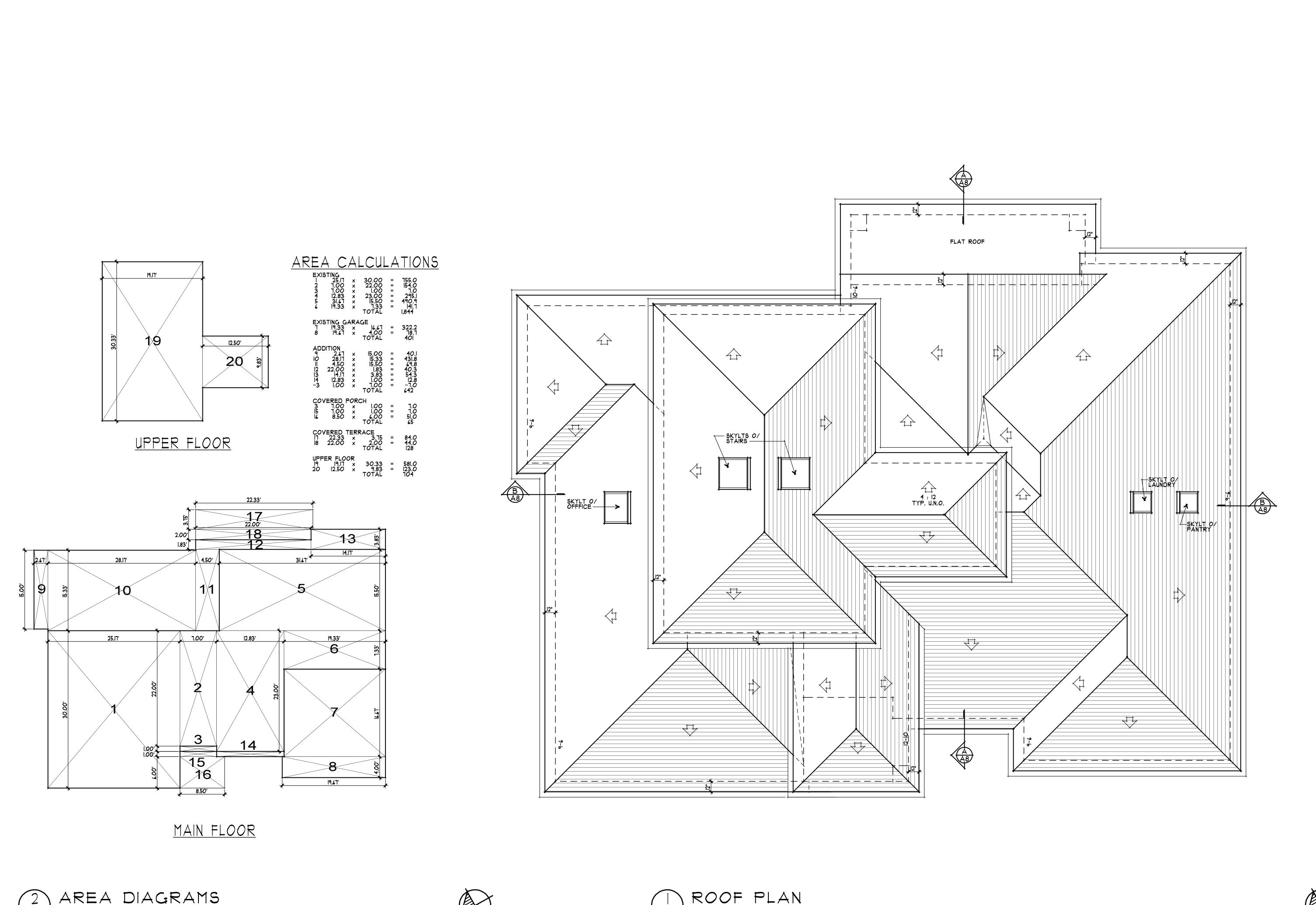
UPPER FLOOR PLAN

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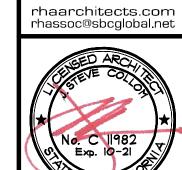
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ASSOCIATES ARCHITECTS





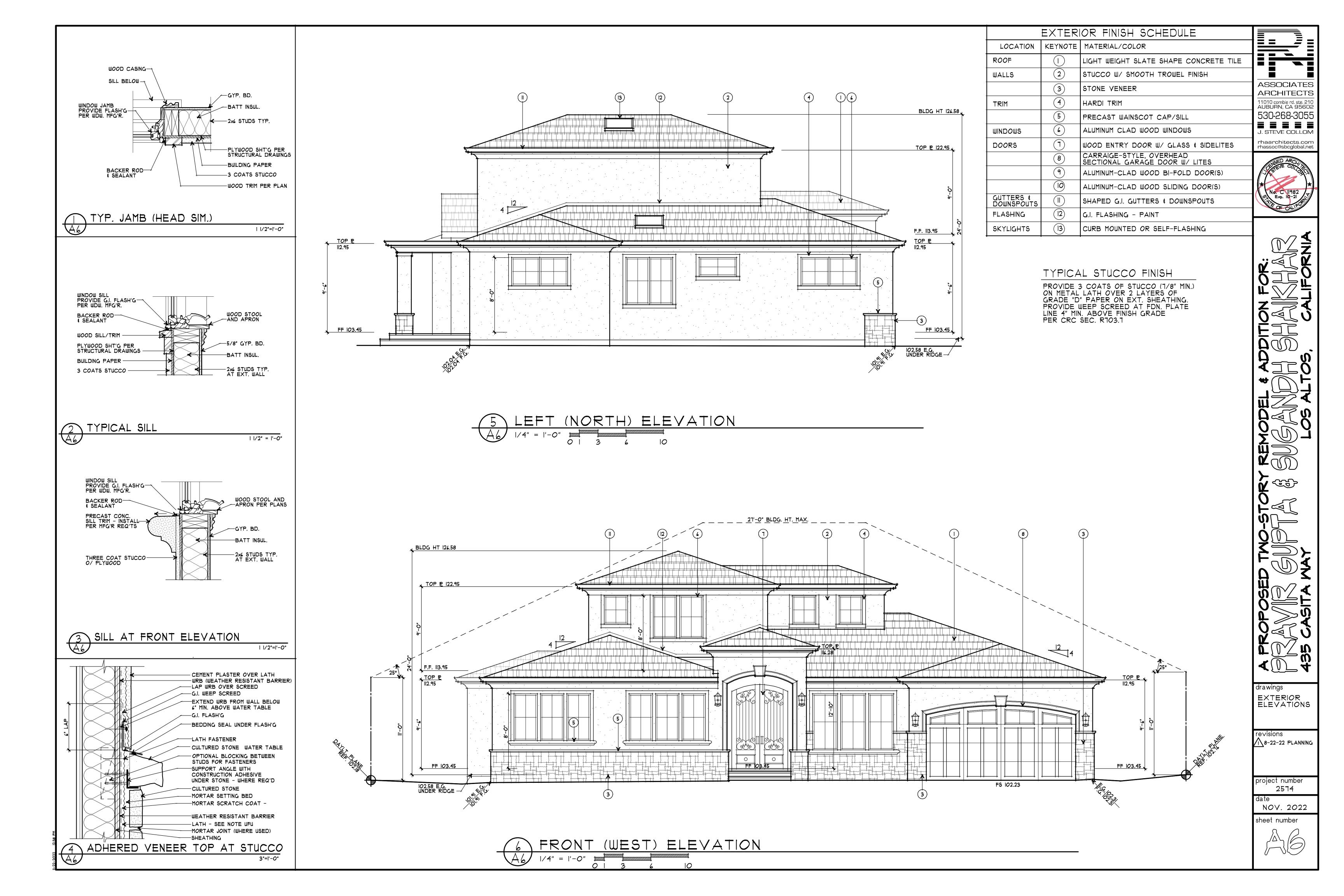
drawings ROOF PLAN

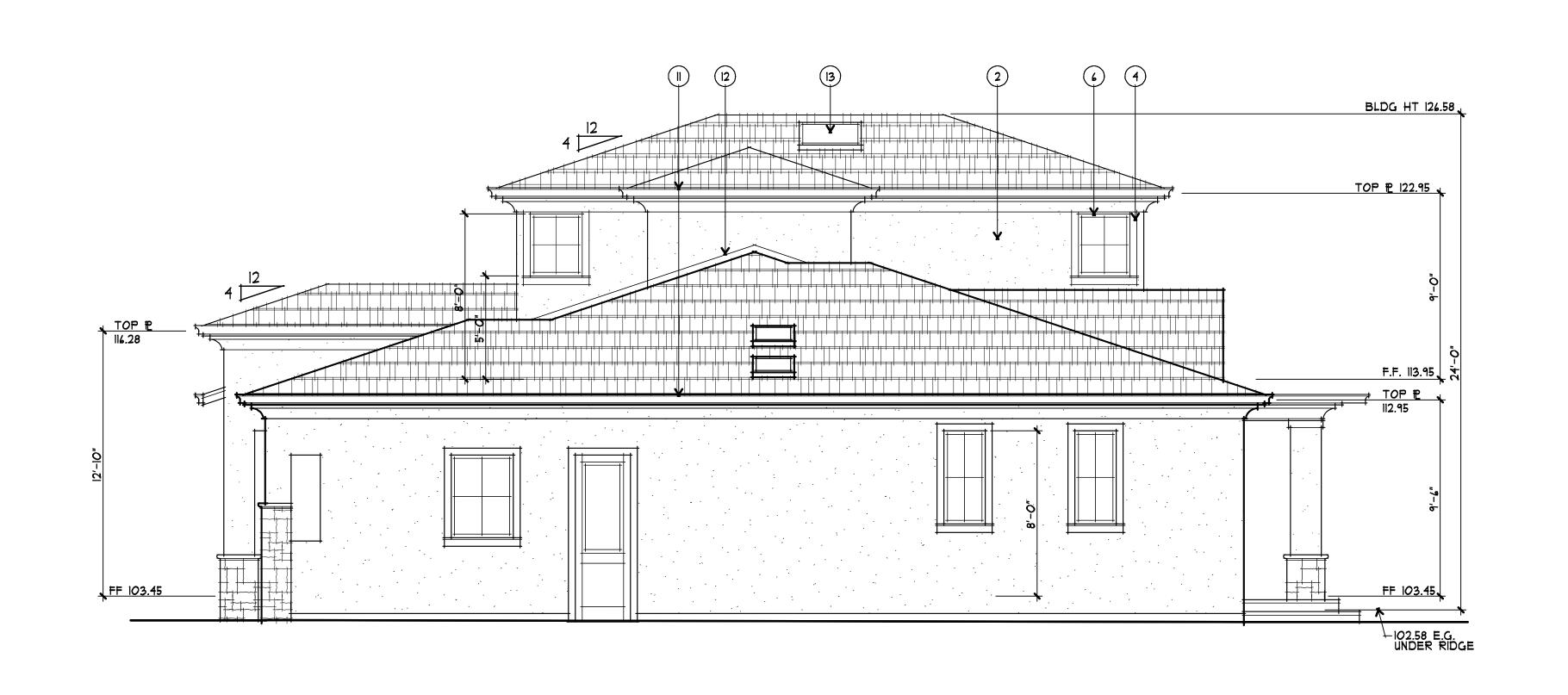
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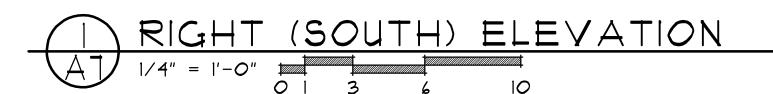
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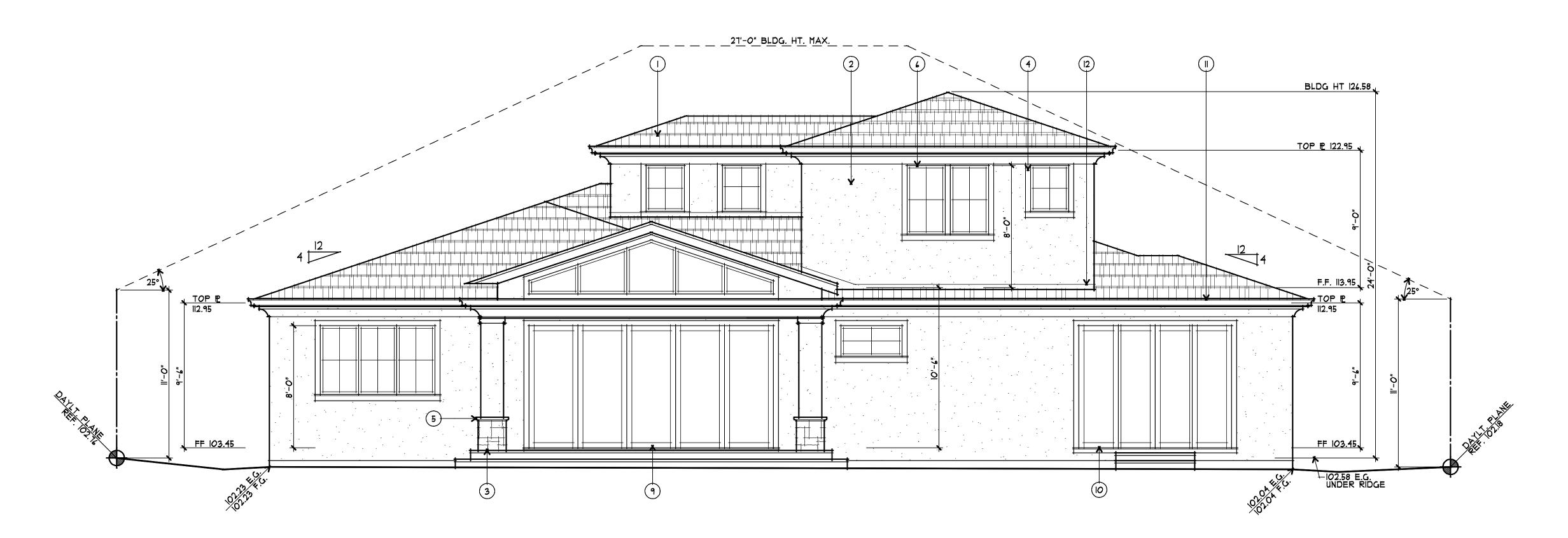


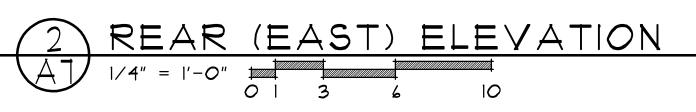


		EXTER	OR FINISH SCHEDULE	
·	LOCATION	KEYNOTE	MATERIAL/COLOR	
•	ROOF		LIGHT WEIGHT SLATE SHAPE CONCRETE TILE	
•	WALLS	2	STUCCO W/ SMOOTH TROWEL FINISH	
		3	STONE VENEER	ASSOCIATES ARCHITECTS
	TRIM	4	HARDI TRIM	
		5	PRECAST WAINSCOT CAP/SILL	530-268-3055
	WINDOWS	6	ALUMINUM CLAD WOOD WINDOWS	J. STEVE COLLOM
	DOORS	7	WOOD ENTRY DOOR W/ GLASS & SIDELITES	rhaarchitects.com rhassoc@sbcglobal.net
		8	CARRAIGE-STYLE, OVERHEAD SECTIONAL GARAGE DOOR W/ LITES	GED ARCH
		9	ALUMINUM-CLAD WOOD BI-FOLD DOOR(S)	STEVE SOLDAN
		0	ALUMINUM-CLAD WOOD SLIDING DOOR(S)	* No. C 11982 **
	GUTTERS & DOWNSPOUTS		SHAPED G.I. GUTTERS & DOWNSPOUTS	(g) Exp. 10-21
	FLASHING	12	G.I. FLASHING - PAINT	GAL.
	SKYLIGHTS	(13)	CURB MOUNTED OR SELF-FLASHING	ا ہر _









drawings EXTERIOR ELEVATIONS

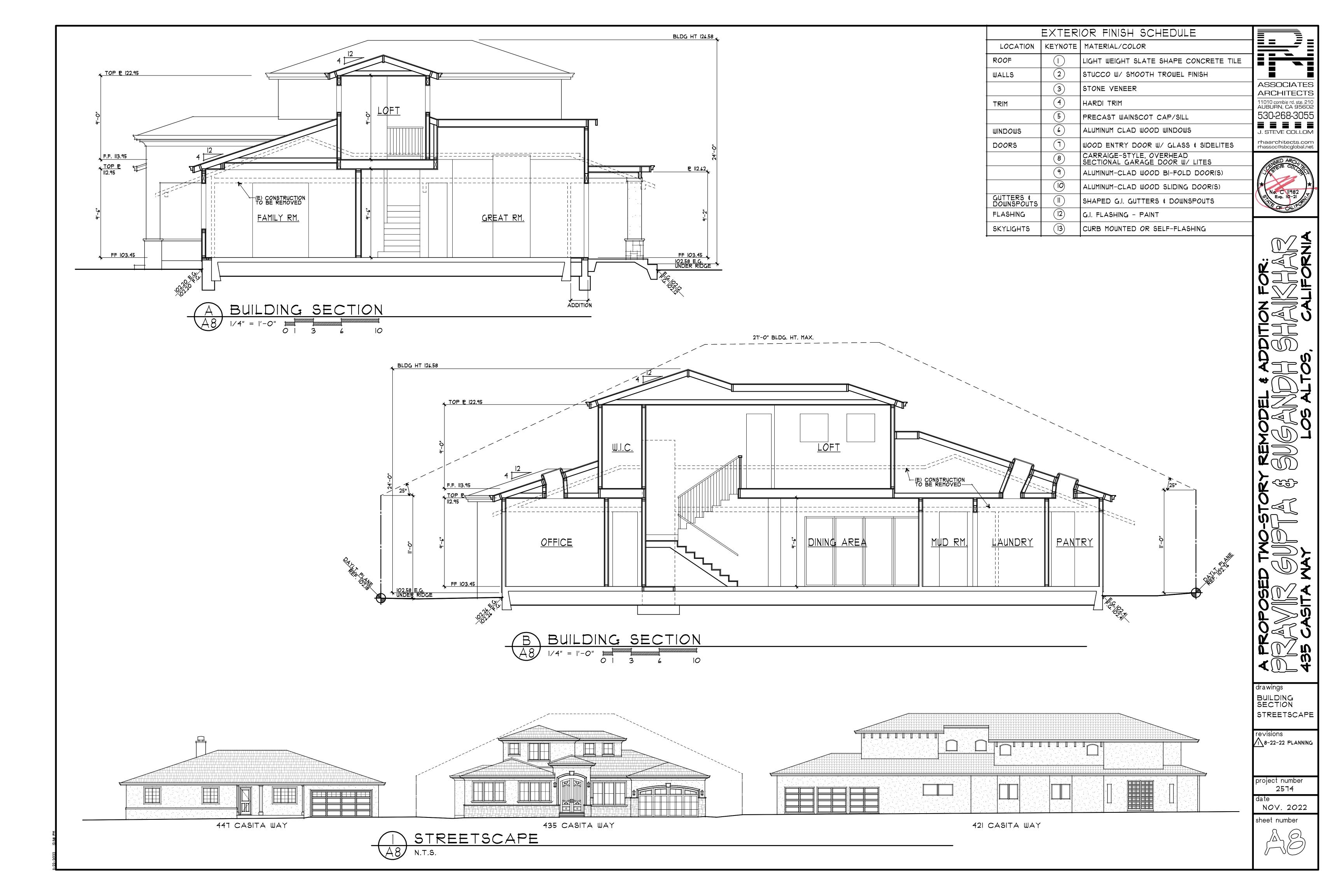
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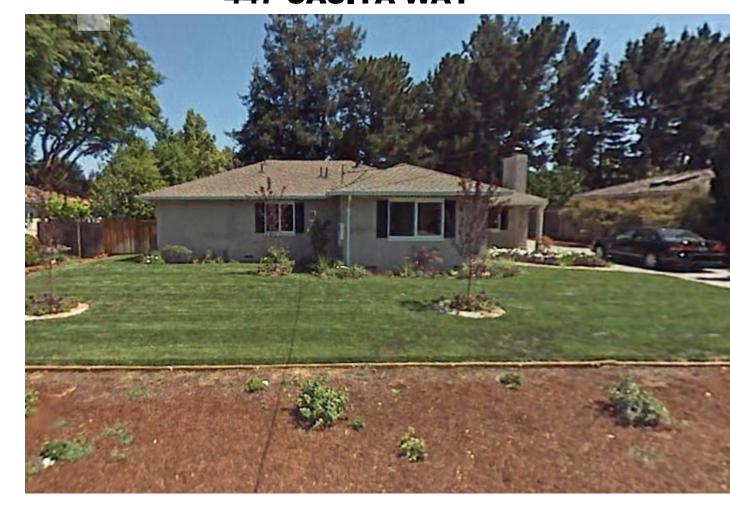




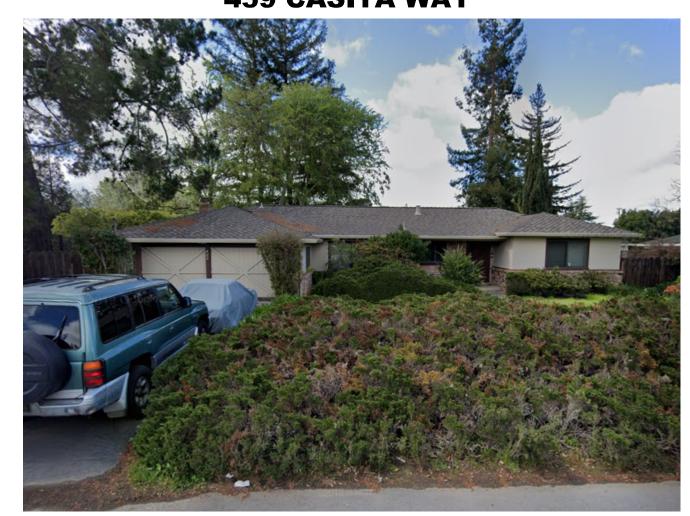
421 CASITA WAY



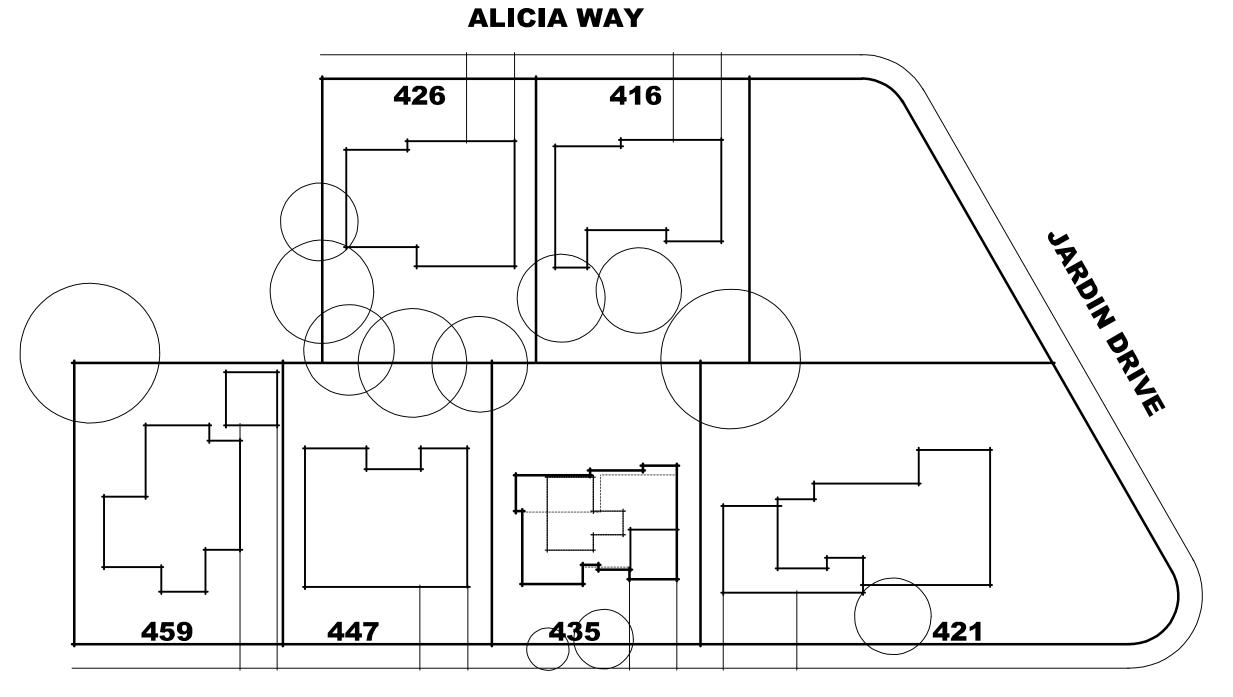
447 CASITA WAY



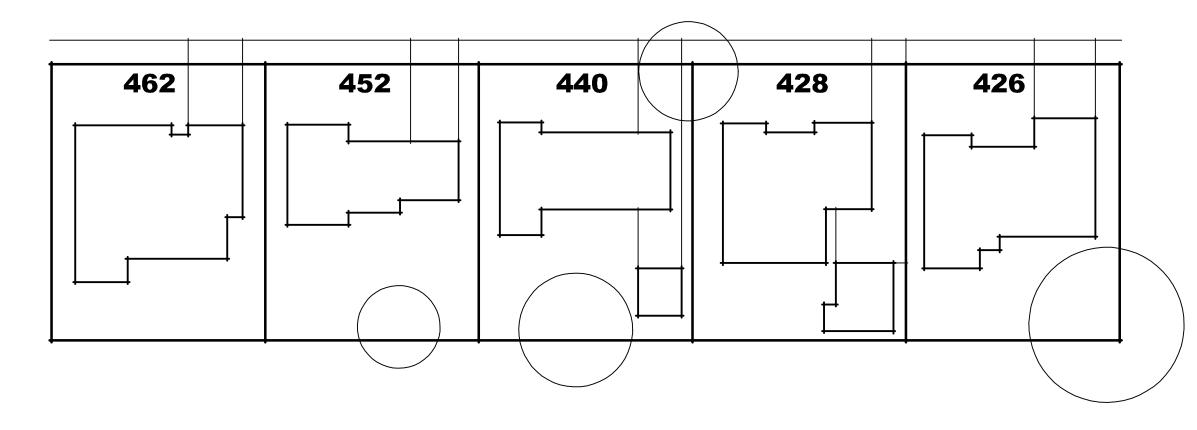
459 CASITA WAY

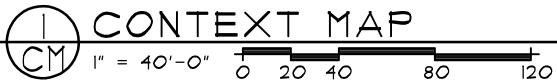


426 CASITA WAY



CASITA WAY







428 CASITA WAY



440 CASITA WAY



426 ALICIA WAY



416 ALICIA WAY



462 CASITA WAY



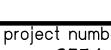
452 CASITA WAY



CONTEXT MAP



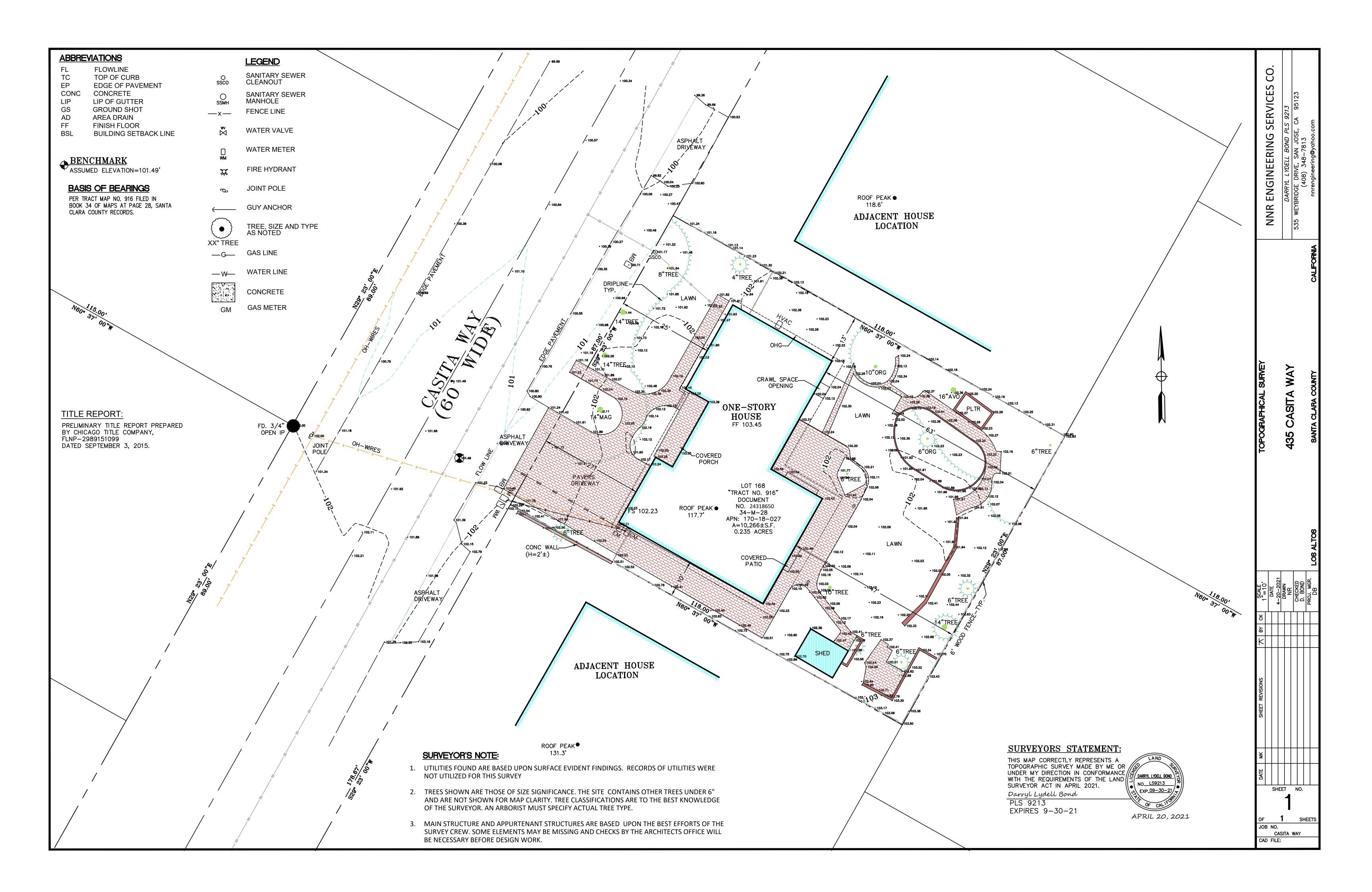


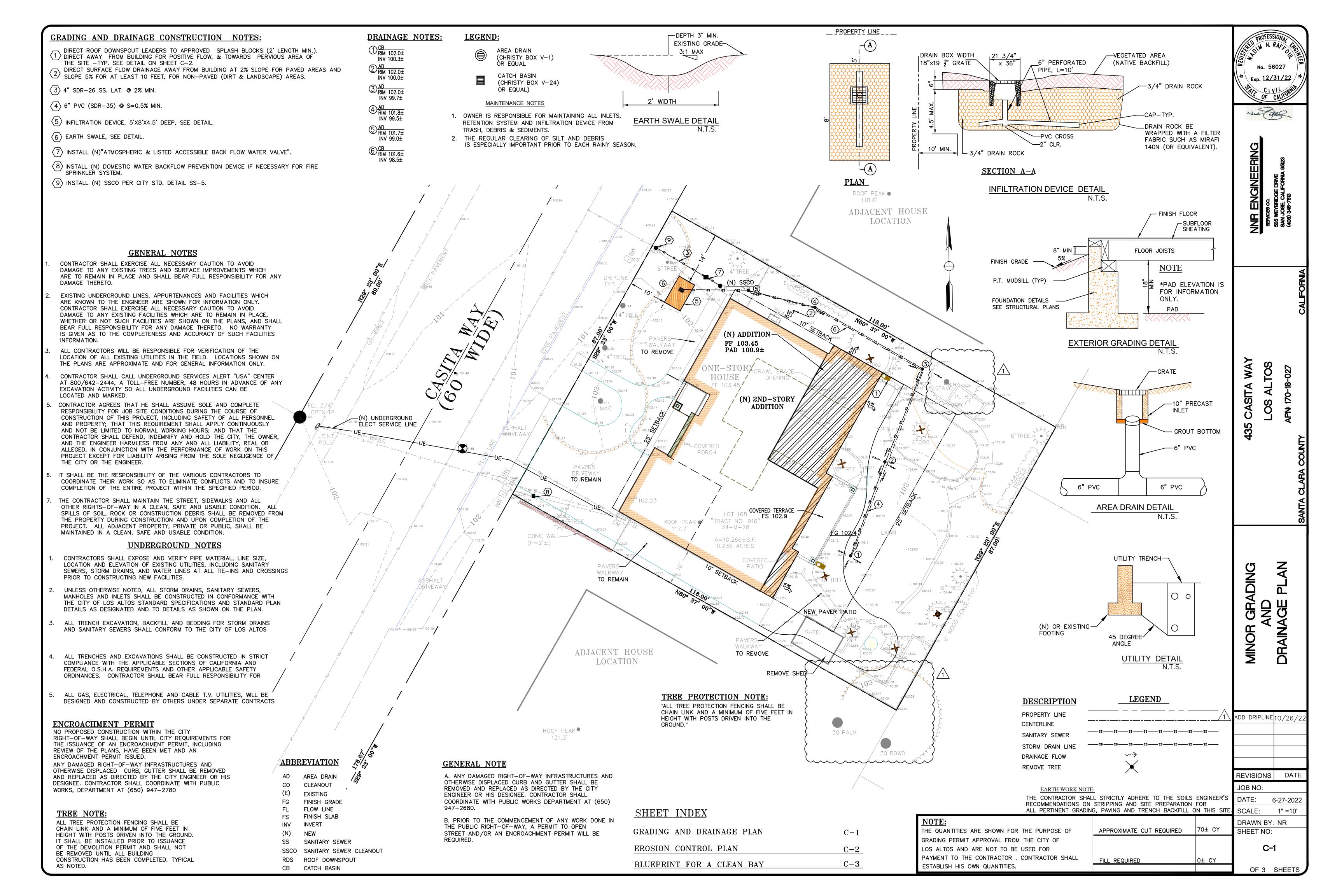


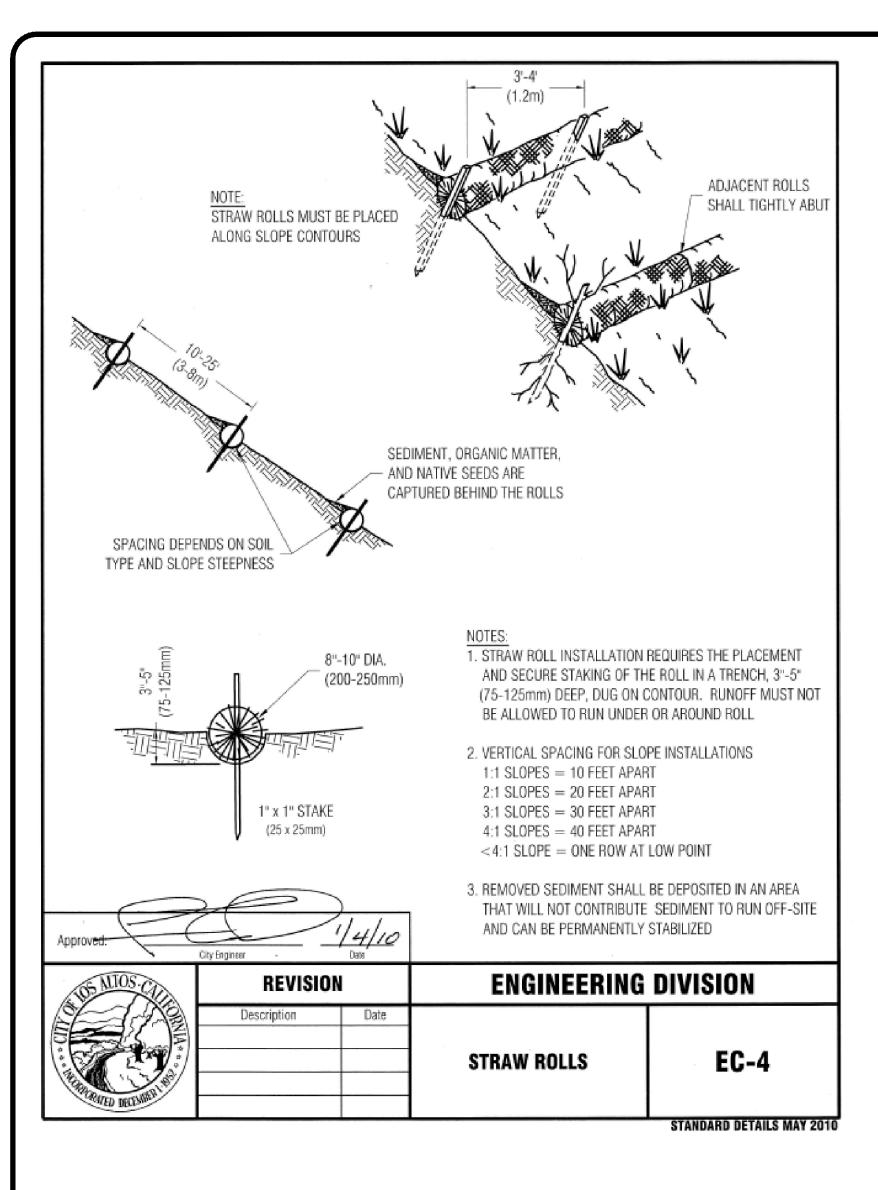
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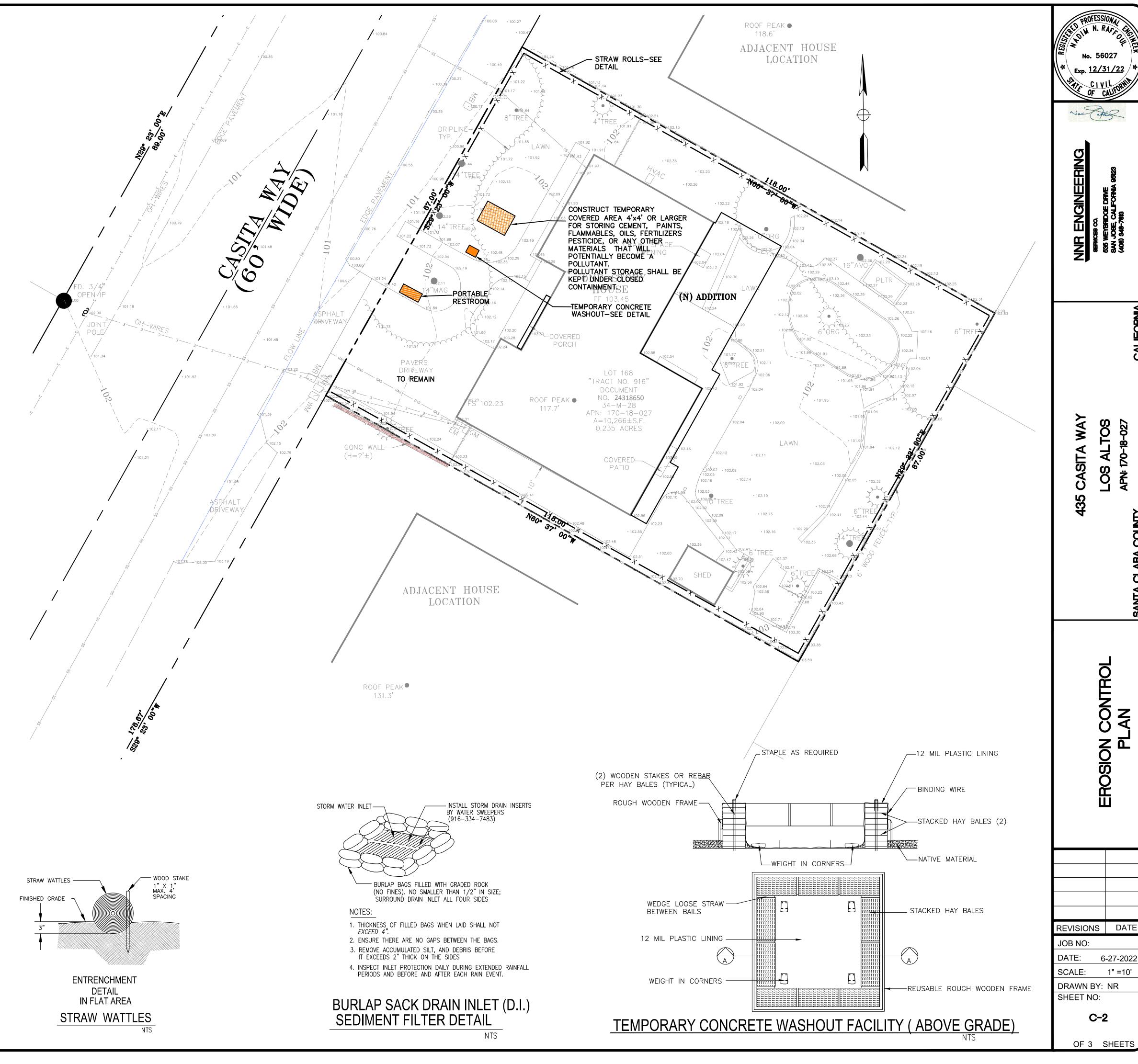




EROSION AND SEDIMENT CONTROL NOTES:

- 1. ALL CONSTRUCTION ACTIVITIES SHALL BE PERFORMED IN CONFORMANCE WITH THE STORM WATER POLLUTION PREVENTION PLAN FOR THIS PROJECT AND AS REQUIRED BY THE STATE OF CALIFORNIA WATER RESOURCES CONTROL BOARD ORDER R2-2003-0021 AND NPDES PERMIT NO. CAS 0029831.
- 2. THE DEVELOPER IS RESPONSIBLE FOR ENSURING THAT ALL CONTRACTORS AND SUBCONTRACTORS ARE AWARE OF ALL STORM WATER QUALITY MEASURES AND IMPLEMENT SUCH MEASURES. FAILURE TO COMPLY WITH THE APPROVED CONSTRUCTION BEST MANAGEMENT PRACTICES WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATIONS, AND/OR STOP ORDERS.
- 3. ANY VEHICLE OR EQUIPMENT WASHING/STEAM CLEANING MUST BE DONE AT AN APPROPRIATELY EQUIPPED FACILITY WHICH DRAINS TO THE SANITARY SEWER. OUTDOOR WASHING MUST BE MANAGED IN SUCH A WAY THAT THERE IS NO DISCHARGE OF SOAPS, SOLVENTS, CLEANING AGENTS OR OTHER POLLUTANTS TO THE STORM DRAINS. WASH WATER SHALL DISCHARGE TO THE SANITARY SEWER, SUBJECT TO REVIEW AND APPROVAL OF THE CITY ENGINEER.
- 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LITTER CONTROL AND SWEEPING OF ALL PAVED SURFACES DURING CONSTRUCTION.
- 5. THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 1 TO APRIL 30. EROSION CONTROL MEASURES ARE TO BE FUNCTIONAL PRIOR TO OCTOBER 1ST OF ANY YEAR GRADING OPERATIONS HAVE LEFT AREAS UNPROTECTED FROM EROSION.
- 6. ALL ON-SITE STORM DRAINS SHALL BE CLEANED IMMEDIATELY BEFORE THE START OF THE RAINY SEASON BEGINNING ON OCTOBER 1ST EACH YEAR, SUBJECT TO THE REVIEW OF THE BUILDING/ENGINEERING INSPECTOR.
- 7. IF RAINY WEATHER BECOMES IMMINENT, GRADING OPERATIONS SHALL BE STOPPED AND EROSION CONTROL MEASURES SHALL BE IMPLEMENTED TO PROTECT DISTURBED
- 8. DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO ANY STORM DRAIN SYSTEM.
- 9. CONSTRUCTION ENTRANCES SHALL CONSIST OF A MINIMUM 8" THICK LAYER OF 3"-4" FRACTURED STONE AGGREGATE UNLAID WITH GEOTEXTILE LINER FOR A MINIMUM DISTANCE OF 50 FEET, AND IS TO BE PROVIDED AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS. THE DEPTH AND LENGTH OF AGGREGATE MAY NEED TO BE ADJUSTED IN THE FIELD TO ENSURE NO TRACKING OF SEDIMENT ONTO EXISTING PAVED STREETS. CONSTRUCTION ENTRANCES SHALL SLOPE AWAY FROM EXISTING PAVED
- STREETS.

 10. INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL MEASURES ARE TO BE BLOCKED UNLESS THE AREA DRAINED IS UNDISTURBED OR STABILIZED.
- 11. BORROW AREAS AND TEMPORARY STOCKPILES SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTORL MEASURES TO THE SATISFACTION OF THE CITY ENGINEER.
- 12. NO STRAW BALES OR SILT FENCES SHALL BE USED AS EROSION CONTROL MEASURES. SILT FENCES MAY ONLY BE USED AS A PHYSICAL BARRIER TO PREVENT VEHICULAR AND PEDESTRIAN TRAFFIC FROM USING NON-APPROVED ACCESS POINTS (E.G. ALONG RIGHT-OF-WAY).





Best Management Practices for the

- General contractors

Vehicle and equipment operators

- Site supervisors
- Home builders Developers

Poorly maintained vehicles and heavy equipment that leak fuel, oil, antifreeze or other fluids on the construction site are common sources of storm drain pollution. Prevent spills and leaks by isolating equipment from runoff channels, and by watching for leaks and other maintenance problems. Remove construction equipment from the site as soon as possible

☐ Protect stockpiles and landscaping materials

chemicals indoors or in a shed or storage

Use temporary check dams or ditches to divert

Protect storm drains with sandbags or other

Landscaping/Garden Maintenance

Use pesticides sparingly, according to

instructions on the label. Rinse empt

containers, and use rinse water as product

Dispose of rinsed, empty containers in the

trash. Dispose of unused pesticides as

☐ Collect lawn and garden clippings, pruning

☐ In communities with curbside pick-up of yard

☐ Schedule grading and excavation projects

from wind and rain by storing them under tarps

Doing The Right Job

during dry weather.

sediment controls

control for any site

hazardous waste.

General Business Practices

or secured plastic sheeting.

☐ Store pesticides, fertilizers, and other

Cover exposed fifth wheel hitches and other oily

Storm water Pollution

from Heavy Equipment on

Construction Sites

or greasy equipment during rain events.

Spill Cleanup Site Planning and Preventive Vehicle Clean up spills immediately when they

☐ Maintain all vehicles and heavy equipment. Inspect frequently for and repair leaks. ☐ Never hose down "dirty" pavement or

Doing the Job Right

- Perform major maintenance, repair jobs, and impermeable surfaces where fluids have vehicle and equipment washing off site where spilled. Use dry cleanup methods cleanup is easier. (absorbent materials, cat litter, and/or rags) whenever possible and properly ☐ If you must drain and replace motor oil, radiator dispose of absorbent materials. coolant, or other fluids on site, use drip pans or drop cloths to catch drips and spills. Collect all ☐ Sweep up spilled dry materials
- spent fluids, store in separate containers, and mmediately. Never attempt to "wash properly dispose as hazardous waste (recycle them away" with water, or bury them. Do not use diesel oil to lubricate equipment
 - ☐ Use as little water as possible for dust control. Ensure water used doesn't leave silt or discharge to storm drains.
 - Clean up spills on dirt areas by digging up and properly disposing of
 - ☐ Report significant spills to the
 - If the spill poses a significant hazard to human health and safety, property or the environment, you must also report it to the State Office of Emergency

Roadwork

Paving Best Management Practices for the



Best Management Practices for the

- Seal coat contractors



- Road crews Driveway/sidewalk/parking lot construction
 - Operators of grading equipment, paving machines, dump trucks, concrete mixers
 - Construction inspectors General contractors
 - Home builders Developers

General Business Practices

Doing The Job Right

- Develop and implement erosion/sediment control plans for roadway embankments.
- ☐ Schedule excavation and grading work during
- ☐ Check for and repair leaking equipment. Perform major equipment repairs at designated
- Park paving machines over drip pans or areas in your maintenance yard, where absorbent material (cloth, rags, etc.) to cleanup is easier. Avoid performing equipment catch drips when not in use. repairs at construction sites. ☐ Clean up all spills and leaks using "drv"
- ☐ When refueling or when vehicle/equipment methods (with absorbent materials maintenance must be done on site, designate and/or rags), or dig up, remove, and a location away from storm drains and creeks. properly dispose of contaminated soil.
- Do not use diesel oil to lubricate equipment Collect and recycle or appropriately parts or clean equipment. Recycle used oil, concrete, broken asphalt, etc.

whenever possible, or dispose of properly.

Avoid paving and seal coating in wet weather, or when rain is forecast, to prevent fresh materials from contacting stormwater runoff

During Construction

- Cover and seal catch basins and manholes when applying seal coat, slurry seal, fog seal,
- Protect drainage ways by using earth dikes, sand bags, or other controls to divert or trap and filter runoff.

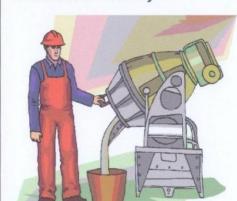
Storm Drain Pollution

from Roadwork

Road paving, surfacing, and pavement removal nappen right in the street, where there are numerous opportunities for asphalt, saw-cut slurry, or excavated material to illegally enter storm drains Extra planning is required to store and dispose of materials properly and guard against pollution of storm drains, creeks, and the Bay.

□ Never wash excess material from **Fresh Concrete** exposed- aggregate concrete or similar reatments into a street or storm drain. Collect and recycle, or dispose to dirt and Mortar ☐ Cover stockpiles (asphalt, sand, etc.) and other construction materials with

- **Application** plastic tarps. Protect from rainfall and prevent runoff with temporary roofs or Best Management Practices for the
 - Construction Industry



Best Management Practices for the

- Masons and bricklayers
- Sidewalk construction crews
- Patio construction workers
- Construction inspectors General contractors
- Home builders
- Developers
- Concrete delivery/pumping workers

Doing The Job Right

General Business Practices

- ☐ Wash out concrete mixers only in designated wash-out areas in your yard, away from storm drains and waterways, where the water will flow into a temporary waste pit in a dirt area. Let water percolate through soil and dispose of settled, hardened concrete as garbage. Whenever possible, recycle washout by
- ☐ Wash out chutes onto dirt areas at site that do not flow to streets or drains.

pumping back into mixers for reuse.

- Always store both dry and wet materials under cover, protected from rainfall and runoff and away from storm drains or waterways. Protect dry materials from wind
- Secure bags of cement after they are open. Be sure to keep wind-blown cement powder away from streets, gutters, storm drains, rainfall, and
- Do not use diesel fuel as a lubricant on concrete forms, tools, or trailers.

Storm Drain Pollution from Fresh Concrete and Mortar Applications

Fresh concrete and cement-related mortars that wash into lakes, streams, or estuaries are toxic to fish and the aquatic environment. Disposing of these materials to the storm drains or creeks can block storm drains, causes serious problems, and is

During Construction

- Don't mix up more fresh concrete or cement than you will use in a two-hour
- ☐ Set up and operate small mixers on tarps or heavy plastic drop cloths. When cleaning up after driveway or
- sidewalk construction, wash fines onto dirt areas, not down the driveway or into the street or storm drain.
- Protect applications of fresh concrete and mortar from rainfall and runoff until the material has dried.
- ☐ Wash down exposed aggregate concrete only when the wash water can (1) flow onto a dirt area; (2) drain onto a bermed surface from which it can be pumped and disposed of properly; or (3 be vacuumed from a catchment created by blocking a storm drain inlet. If necessary, divert runoff with temporary berms. Make sure runoff does not reach
- ☐ When breaking up pavement, be sure to pick up all the pieces and dispose of properly. Recycle large chunks of broken concrete at a landfill.
- Never bury waste material. Dispose of small amounts of excess dry concrete, grout, and mortar in the trash.

gutters or storm drains.

Never dispose of washout into the street, storm drains, drainage ditches,

Preventing Pollution: It's Up to Us

In the Santa Clara Valley, storm drains transport water directly to local creeks and San Francisco Bay without treatment. Storm water pollution is a serious problem for wildlife dependent on our waterways and for the people who live near polluted streams or bay lands. Some common sources of this pollution include spilled oil. fuel, and fluids from vehicles and heavy equipment; construction debris; sediment created by erosion; landscaping runoff containing pesticides or weed killers; and materials such as used motor oil, antifreeze, and paint products that people pour or spill into a street or storm drain.

Thirteen valley municipalities have joined together with Santa Clara County and the Santa Clara Valley Water District to educate local residents and businesses and fight storm water pollution. TO comply with this program, contractors most comply with the practices described this drawing sheet.

Spill Response Agencies

DIAL 9-1-1

State Office of Emergency Services Warning Center (24 hours): 800-852-7550 Santa Clara County Environmental Health

Services: (408) 299-6930

Local Pollution Control

Agencies County of Santa Clara Pollution Prevention (408) 441-1195

County of Santa Clara Integrated Waste Management Program: (408) 441-1198 County of Santa Clara District Attorney

Environmental Crimes Hotline (408) 299-TIPS

Santa Clara County 1-800-533-8414 Recycling Hotline:

Santa Clara Valley Water (408) 265-2600 Santa Clara Valley Water District Pollution

Regional Water Quality Control Board San Francisco Bay Region: (510) 622-2300 Palo Alto Regional Water Quality

Control Plant: (650) 329-2598 Serving East Palo Alto Sanitary District, Los Altos, Los Altos Hills, Mountain View, Palo Alto, Stanford

City of Los Altos

Building Department: (650) 947-2752 Engineering Department: (650) 947-2780

Landscaping, Gardening, and **Pool Maintenance**

Best Management Practices for the Construction Industry



- Landscapers
- Gardeners Swimming pool/spa service and repair
- Home builders Developers

Homeowners

Best Management Practices for the

- General contractors

General

And Site

For Construction

Construction

Supervision

Best Management Practices

curb in approved bags or containers. Or, take to a landfill that composts yard waste. No curbside pickup of yard waste is available for commercial properties.

Storm Drain Pollution From Landscaping and Swimming Pool Maintenance Many landscaping activities expose soils and increase the likelihood that earth and garden

chemicals will run off into the storm drains during

irrigation or when it rains. Swimming pool water

containing chlorine and copper-based algaecides

should never be discharged to storm drains. These

Do not blow or rake leaves, etc. into the street, or place yard waste in gutters or on dirt shoulders, unless you are piling them for recycling (allowed by San Jose and unincorporated County only). Sweep up any leaves, litter or residue in gutters or on

☐ In San Jose, leave yard waste for curbside recycling pickup in piles in the street, 18 nches from the curb and completely out of the flow line to any storm drain.

Pool/Fountain/Spa Maintenance

- **Draining Pools Or Spas** Re-vegetation is an excellent form of erosion When it's time to drain a pool, spa, or fountain, please be sure to call your local wastewater treatment plant before you start for further guidance on flow rate restrictions, backflow
 - prevention, and handling special cleaning waste (such as acid wash). Discharge flows shall not exceed 100 gallon per minute. ☐ Never discharge pool or spa water to a
 - street or storm drain; discharge to a If possible, when emptying a pool or spa, let chlorine dissipate for a few days and then recycle/reuse water by draining it Do not use copper-based algaecides.

Control algae with chlorine or other alternatives, such as sodium bromide

- Filter Cleaning ☐ Never clean a filter in the street or near a storm drain. Rinse cartridge and diatomaceous earth filters onto a dirt area, and spade filter residue into soil. Dispose
- of spent diatomaceous earth in the If there is no suitable dirt area, call your local wastewater treatment plant for nstructions on discharging filter backwash or rinse water to the sanitary sewer.

Painting and **Application of** Solvents and

Best Management Practices for the



- Paperhangers Plasterers
- Dry wall crews

Home builders

Developers

Construction Industry



- Graphic artists Floor covering installers General contractors

Adhesives



Handling Paint Products



Best Management Practices for the

Homeowners

Doing The Job Right

☐ Keep all liquid paint products and wastes away from the gutter, street, and storm drains. Liquid residues from paints, thinners, solvents, glues, and cleaning fluids are hazardous wastes and must be disposed of at a hazardous waste collection facility (contact

- your local stormwater program listed on the back of this brochure). ☐ When thoroughly dry, empty paint cans, used brushes, rags, and drop cloths may be disposed of as garbage in a sanitary landfill. Empty, dry paint cans also may be recycled as
- ☐ Wash water from painted buildings constructed before 1978 can contain high amounts of lead, even if paint chips are not present. Before you begin stripping paint or cleaning pre-1978 building exteriors with water under high pressure, test paint for lead by taking paint scrapings to a local laboratory. See Yellow Pages for a state-certified laboratory.

☐ If there is loose paint on the building, or if the paint tests positive for lead, block storm drains Check with the wastewater treatment plant to determine whether you may discharge water to the sanitary sewer, or if you must send it offsite for disposal as hazardous waste.

Storm Drain Pollution from

properly to prevent these materials from flowing

into storm drains and watercourses

Doing The Job Right

Paints. Solvents, and Adhesives All paints, solvents, and adhesives contain chemicals that are harmful to wildlife in local creeks, San Francisco Bay, and the Pacific Ocean Toxic chemicals may come from liquid or solid products or from cleaning residues or rags. Paint material and wastes, adhesives and cleaning fluids should be recycled when possible, or disposed of

Painting Cleanup Never clean brushes or rinse paint

plastic sheets and berms.

dispose of excess abrasive gravel or

□ Avoid over-application by water trucks

for dust control.

Asphalt/Concrete Removal

Avoid creating excess dust when

breaking asphalt or concrete.

contact with rainfall or runoff.

☐ When making saw cuts, use as little

After breaking up old pavement, be sure

to remove all chunks and pieces. Make

water as possible. Shovel or vacuum

Cover or protect storm drain inlets

during saw-cutting. Sweep up, and

Sweep, never hose down streets to

clean up tracked dirt. Use a street

vacuumed liquor in storm drains.

sweeper or vacuum truck. Do not dump

properly dispose of, all residues.

saw-cut slurry and remove from the site.

sure broken pavement does not come in

- containers into a street, gutter, storm drain, French drain, or stream. For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm
- ☐ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids and residue as hazardous Paint Removal
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash. Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury or tributyl tin must be disposed of as hazardous wastes Lead based paint removal requires a

state-certified contractor.

- When stripping or cleaning building exteriors with high-pressure water, block storm drains. Direct wash water onto a dirt area and spade into soil. Or, check with the local wastewater treatment authority to find out if you can collect (mop or vacuum) building cleaning water and dispose to the sanitary sewer. Sampling of the water may be required to assist the wastewater
- treatment authority in making its decision. Recycle/Reuse Leftover Paints Whenever Possible Recycle or donate excess water-based (latex) paint, or return to supplier.
- Reuse leftover oil-based paint. Dispose of non-recyclable thinners, sludge and unwanted paint, as hazardous waste. Unopened cans of paint may be able to be returned to the paint vendor. Check with

threatened discharges unless they are actively being cleaned up.

- A. A spill response plan for hazardous waste, hazardous materials and uncontained construction materials shall be prepared and of the plan shall be in accordance with guidelines published by the city engineer
- necessary to protect surface waters. Preparation of the plan shall be in accordance with guidelines published by the city engineer. C. Prior approval shall be obtained from the city engineer or designee to discharge water pumped from construction sites to the storm drain. The city engineer or designee may require gravity settling and filtration upon a determination that either or both would improve the water quality of the discharge. Contaminated groundwater or water that exceeds state or federal requirements for

prohibited by law.

A. Unlawful discharges. It shall be unlawful to discharge any domestic waste or industrial waste into storm drains, gutters, creeks, or San Francisco Bay. Unlawful discharges to storm drains shall include, but not be limited to, discharge from toilets; sinks; industrial processes; cooling systems; boilers; fabric cleaning; equipment cleaning; vehicle cleaning; construction activities, including, but not limited to, painting, paving, concrete placement, saw cutting and grading; swimming pools; spas; and fountains, unless specifically permitted by a discharge permit or unless exempted pursuant to guidelines published by the superintendent.

Los Altos Municipal Code Requirements

Threatened discharges. It shall be unlawful to cause hazardous materials, domestic waste, or industrial waste to be deposited in such a manner or location as to constitute a threatened discharge into storm drains, gutters, creeks or San Francisco Bay. A "threatened discharge" is a condition creating a substantial probability of harm, when the probability and potential extent of harm make it reasonably necessary to take immediate action to prevent, reduce or mitigate damages to persons, property or natural resources. Domestic or industrial wastes that are no longer contained in a pipe, tank or other container are considered to be

- that the requirements of Section 10.08.240 are met and the approval of the superintendent is obtained prior to discharge. D. No cleanup of construction debris from the streets shall result in the discharge of water to the storm drain system; nor shall any

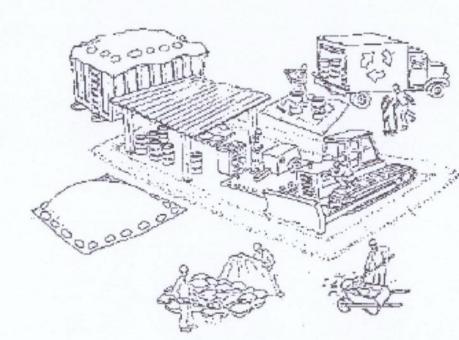
Criminal and judicial penalties can be assessed for non-compliance.

- disturbed soil and for any other projects for which the city engineer determines is necessary to protect surface waters. Preparation A storm water pollution prevention plan shall be prepared and available at the construction sites for all projects greater than one acre of disturbed soil and for any other projects for which the city engineer determines that a storm water management plan is
- discharge to navigable waters may not be discharged to the storm drain. Such water may be discharged to the sewer, provided

Blueprint for a Clean Bay

responsibility for the activities that occur on a construction site. You may be held responsible for any environmental damage caused by your subcontractors or employees.

Santa Clara **Urban Runoff Pollution Prevention Program**



DESIGNED BY: LARRY LIND	APPR	ROVED BY:	2	CITY OF LOS	ALTOS	DATE: OCTOBER, 2003
DRAWN BY: VICTOR CHEN	CI	TY ENGINEER		4803 R.C.		SCALE: N.T.S.
CHECKED BY: ЛМ GUSTAFSON	V	SHEET	OF	SHEE	ETS	DRAWING NO:

 Inspectors Home builders

Site supervisors

Construction sites are common sources of storm water pollution. Materials and wastes that blow or wash into a storm drain, gutter, or street have a direct impact on local creeks and the Bay. As a contractor, or site supervisor, owner or operator of a site, you may be responsible for any environmental damage caused by your

subcontractors or employee

General contractors

Storm Drain Pollution from Construction Activities

discharge to storm drains.

chemicals are toxic to aquatic life.

Doing The Job Right

housekeeping practices are used. ☐ Maintain equipment properly. Cover materials when they are not in use. Keep materials away from streets, storm drains and drainage channels

Ensure dust control water doesn't leave site or

Advance Planning To Prevent Pollution

☐ Schedule excavation and grading activities for dry weather periods. To reduce soil erosion, plant temporary vegetation or place other working order. Check frequently for leaks. erosion controls before rain begins. Use the Materials/Waste Handling Erosion and Sediment Control Manual, available Practice Source Reduction -- minimize from the Regional Water Quality Control Board, as a reference. ☐ Control the amount of runoff crossing your site

Train your employees and subcontractors. Make these best management practices available to everyone who works on the construction site. Inform subcontractors about the storm water requirements and their own

Good Housekeeping Practices

check dams or berms where appropriate.

(especially during excavation!) by using berms

or temporary or permanent drainage ditches to

divert water flow around the site. Reduce storm

water runoff velocities by constructing temporary

vehicle refueling, and routine equipment maintenance. The designated area should be well away from streams or storm drain inlets bermed if necessary. Make major repairs off ☐ Keep materials out of the rain – prevent runoff contamination at the source. Cover exposed piles of soil or construction materials with plastic

sheeting or temporary roofs. Before it rains,

drain to storm drains, creeks, or channels.

Place trashcans and recycling receptacles

Keep pollutants off exposed surfaces.

around the site to minimize litter.

sweep and remove materials from surfaces that

Designate one area of the site for auto parking,

- Clean up leaks, drips and other spills immediately so they do not contaminate soil or groundwater or leave residue on Keep an orderly site and ensure good
 - frequently for leaks. Place dumpsters under roofs or cover with tarps or plastic sheeting secured around the outside of the dumpster. Never clean out a dumpster by hosing it down on the construction site. Set portable toilets away from storm drains. Make sure portable toilets are in good

Cover and maintain dumpsters. Check

waste when you order materials. Order only the amount you need to finish the job. Use recyclable materials whenever possible. Arrange for pick-up of recyclable materials such as concrete, asphalt, scrap metal, solvents, degreasers, cleared vegetation, paper, rock, and vehicle maintenance materials such as used oil, antifreeze, batteries, and tires.

including solvents, water-based paints,

wood, and cleared vegetation can be

In addition to local building permits, you

will need to obtain coverage under the

State's General Construction Activity

Storm water Permit if your construction

site disturbs one acre or more. Obtain

information from the Regional Water

Quality Control Board.

recycled. Materials that cannot be recycled must be taken to an appropriate landfill or disposed of as hazardous waste. Never bury waste materials or leave them in the street or near a creek or stream bed.

vehicle fluids, broken asphalt and concrete,

paved surfaces. Use dry cleanup methods whenever possible. If you must use water, use just enough to keep the dust down.

Activities

Dispose of all wastes properly. Many construction materials and wastes,

Earth-Moving And Dewatering

Construction Industry

Best Management Practices for the



Best Management Practices for the

Dump truck drivers

General contractors

Site supervisors

Home builders

Developers

Bulldozer, back hoe, and grading machine

from Earth-Moving Activities and Dewatering

General Business Practices ☐ Schedule excavation and grading work during Perform major equipment repairs away from the ☐ When refueling or vehicle/equipment

location away from storm drains. Do not use diesel oil to lubricate equipment parts, or clean equipment **Practices During Construction** Remove existing vegetation only when absolutely necessary. Plant temporary

vegetation for erosion control on slopes or where construction is not immediately planned. Protect down slope drainage courses, streams, and storm drains with wattles, or temporary drainage swales. Use check dams or ditches to divert runoff around excavations. Refer to the Regional Water Quality Control Board's Erosion and Sediment Control Field Manual for proper erosion and sediment control

maintenance must be done on site, designate a

Soil excavation and grading operations loosen large amounts of soil that can flow or blow into storm drains when handled improperly. Sediments in runoff can clog storm drains, smother aquatic life, and destroy habitats in creeks and the Bay. Effective erosion control practices reduce the amount of runoff crossing a site and slow the flow with check dams or

Contaminated groundwater is a common problem in

the Santa Clara Valley. Depending on soil types and

site history, groundwater pumped from construction

sites may be contaminated with toxics (such as oil or

solvents) or laden with sediments. Any of these

pollutants can harm wildlife in creeks or the Bay, or

Discharging sediment-laden water from a

dewatering site into any water of the state

interfere with wastewater treatment plant operation.

roughened ground surfaces.

without treatment is prohibited.

Storm Drain Pollution

the vendor regarding its "buy-back" policy.

Cover stockpiles and excavated soil with secured tarps or plastic sheeting. **Dewatering Operations** . Check for Toxic Pollutants ☐ Check for odors, discoloration, or an oily

> water tested by a certified laboratory. Depending on the test results, you may be allowed to discharge pumped groundwater to the storm drain (if no sediments present) or sanitary sewer. OR, you may be required to collect and haul pumped groundwater offsite for treatment and disposal at an appropriate treatment

sheen on groundwater.

Call your local wastewater treatment

If contamination is suspected, have the

agency and ask whether the groundwater

less than 20 gallons per minute, you may pump water to the street or storm drain. If the pumping time is more than 24 hours and the flow rate greater than 20 gpm, call your local wastewater treatment plan for guidance. If the water is not clear, solids must be filtered or settled out by pumping to a

for filtering include:

with gravel;

Check for Sediment Levels

If the water is clear, the pumping time is

less than 24 hours, and the flow rate is

settling tank prior to discharge. Options

Pumping through a perforated pipe

sunk part way into a small pit filled

Pumping from a bucket placed below

Pumping through a filtering device

water level using a submersible pump;

such as a swimming pool filter or filter fabric wrapped around end of suction When discharging to a storm drain, protect the inlet using a barrier of burlap bags filled with drain rock, or cover inlet with filter fabric anchored under the grate. OR pump water through a grassy swale prior to discharge.

Los Altos Municipal Code Chapter 10.08.390 Non-storm water discharges

Los Altos Municipal Code Section 10.08.430 Requirements for construction operations.

construction debris be deposited or allowed to be deposited in the storm drain system. (Prior code § 5-5.643)

Remember: The property owner and the contractor share ultimate

Best Management Practices for the Construction Industry



WAY TOS

REVISIONS

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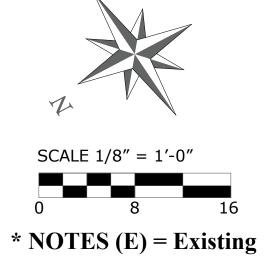
N.T.S.

JOB NO:

SCALE:

OF 3 SHEETS

Casita Way



REVISIONS

DATE 11-11-22 SCALE 1/8"=1'-0" DRAWN IN-SL **GUPTA** JOB

L-1

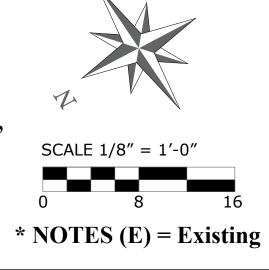
Plant Legend							
BOTANICAL	COMMON		SIZE	WATER	REMARKS		
Tree	1			,	<u>'</u>		
Acer palmatum 'Dissectum Viridis'	Laceleaf Japanese Maple	1	24" Box	Medium, Extra in Summer			
Citrus sinensis	Orange Cultivars	1	15 Gallon	Medium			
Citrus x 'Dwarf Meyer'	Dwarf Meyer Lemon	1	15 Gallon	Low, Medium, Extra in Summer			
Eriobotrya japonica	Loquat	1	15 Gallon	Low			
Fruit Tree	Owners Choice	1	15 Gallon	Medium	Espaliered Fruit Tree		
Laurus nobilis	Grecian Laurel	9	15 Gallon	Low			
Prunus persica var. nucipersica	Nectarine	1	15 Gallon	Medium, Extra in Summer	'White'		
Punica granatum	Pomegranate	1	15 Gallon	Low			
Shrub							
Camellia japonica 'Nuccio's Pearl'	Nuccio's Pearl Shade Camellia	3	5 Gallon	Medium, Extra in Summer			
Coleonema pulchellum 'Compacta'	Dwarf Breath of Heaven	3	1 Gallon	Medium			
Nandina domestica	Nandina, Heavenly Bamboo	2	5 Gallon	Low			
Pittosporum tenuifolium	Blackstem Pittosporum	8	15 Gallon	Medium			
Rosa 'Iceberg'	Iceberg Floribunda Rose	13	5 Gallon	Medium			
Ground cover							
Agapanthus africanus	Lily of the Nile	5	1 Gallon	Medium, Extra in Summer			
Ajuga reptans	Carpet Bugle	10	1 Gallon	Medium			
Gazania 'Fiesta Red'	Fiesta Red Gazania	2	1 Gallon	Low, Medium			
Heuchera caespitosa	Urnflower Alumroot	7	1 Gallon	Low, Medium			
Rosa Flower Carpet Apple Blossom	Apple Blossom Carpet Rose	3	1 Gallon	Medium			
Trachelospermum jasminoides	Star Jasmine	7	1 Gallon	Low, Medium			
Verbena 'Tapien Purple'	Tapien Purple Hybrid Verbena	2	1 Gallon	Very Low, Low			
Perennial							
Salvia 'Waverly'	Waverly Sage	1	5 Gallon	Low, Medium, Extra in Summer			
Broadleaf Evergreer	n .						
Pieris japonica 'Forest Flame'	Flame Of The Forest Pieris	6	1 Gallon	Medium, High, Extra in Summer			
Fern							
Athyrium filix-femina	Lady Fern	5	1 Gallon	High, Extra in Summer			
Rumohra adiantiformis	Leather Fern	3	1 Gallon	Medium			



Casita Way

At least 4 cu. yds. of compost, six (6) inches deep, shall be applied per 1,000 sq. ft. of landscape area.

A minimum three (3") inch layer of mulch shall be applied on all exposed soil surfaces of planting areas, except in areas of direct seeding application (e.g. hydro-seeding).



REVISIONS

Karen Aithen & ASSOCIATES LANDSCAPE ARCHITECTURE & DESIGN

AREN AITKEN & ASSOCIATES
LANDSCAPE ARCHITECTS
8262 Rancho Real Gilroy Ca. 95020

JPTA RESIDENCE
Casita Way, Los Altos, CA

PLAN

PLANTING

No. 2239

* Exp, 8-31-23

* CAL HOLD

DATE 11-11-22
SCALE 1/8"=1'-0"
DRAWN IN-SL
JOB GUPTA

L-2

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MATERIAL PLA

DATE 11-11-22 SCALE 1/8"=1'-0" DRAWN IN-SL **GUPTA** JOB

L-3



FIXTURE FINISH: Bronze Finish

Path Lights - PL200 - LED

Lighting Transformer IT300

Down Lights DE-LED

Wall Lights SL100-LED







Wall Light SL100-LED

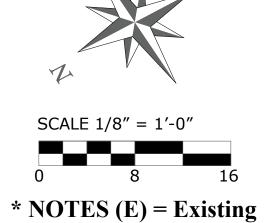
Down Lights DL200-LED

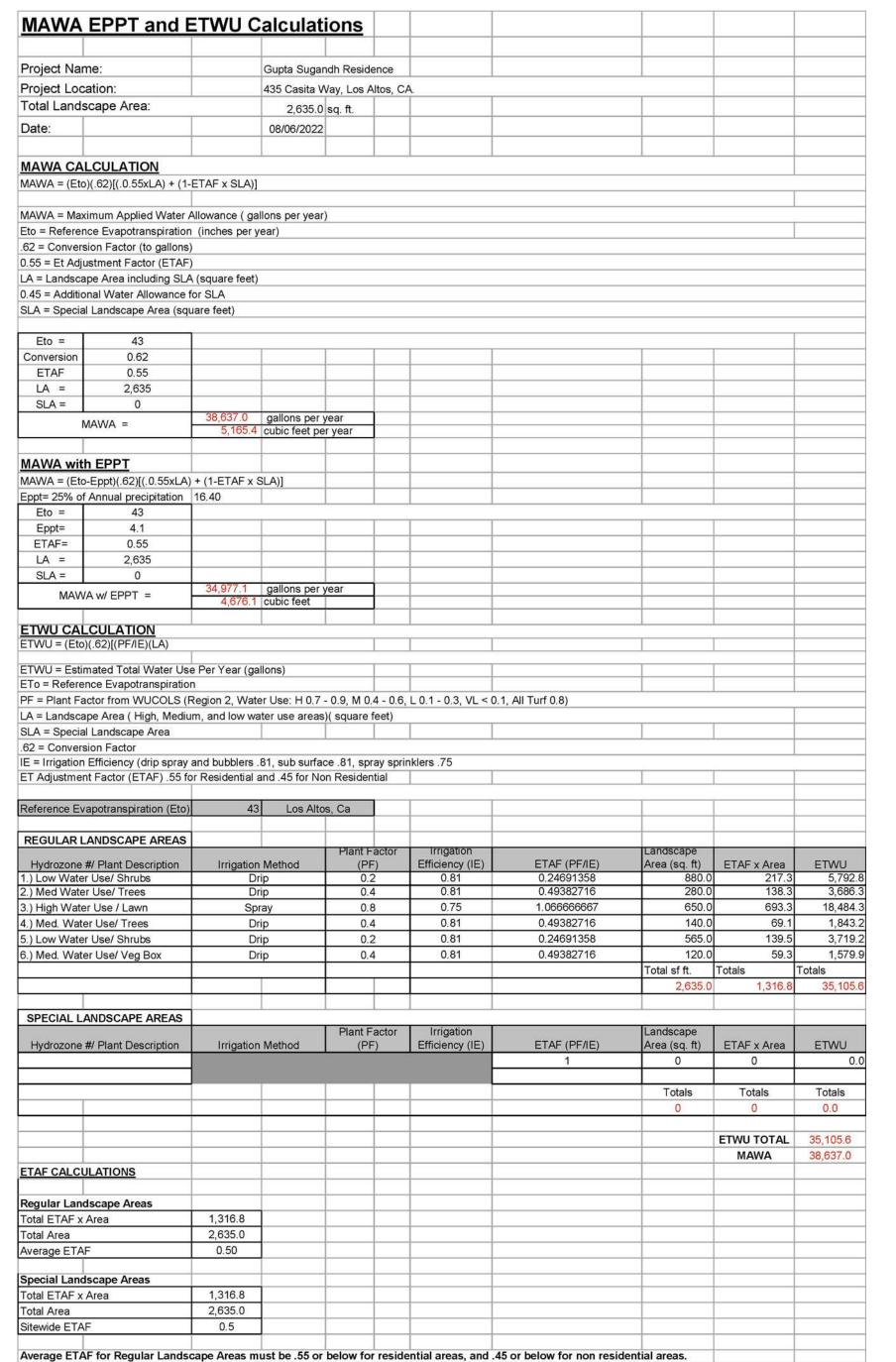
Path Lights PL200-LED

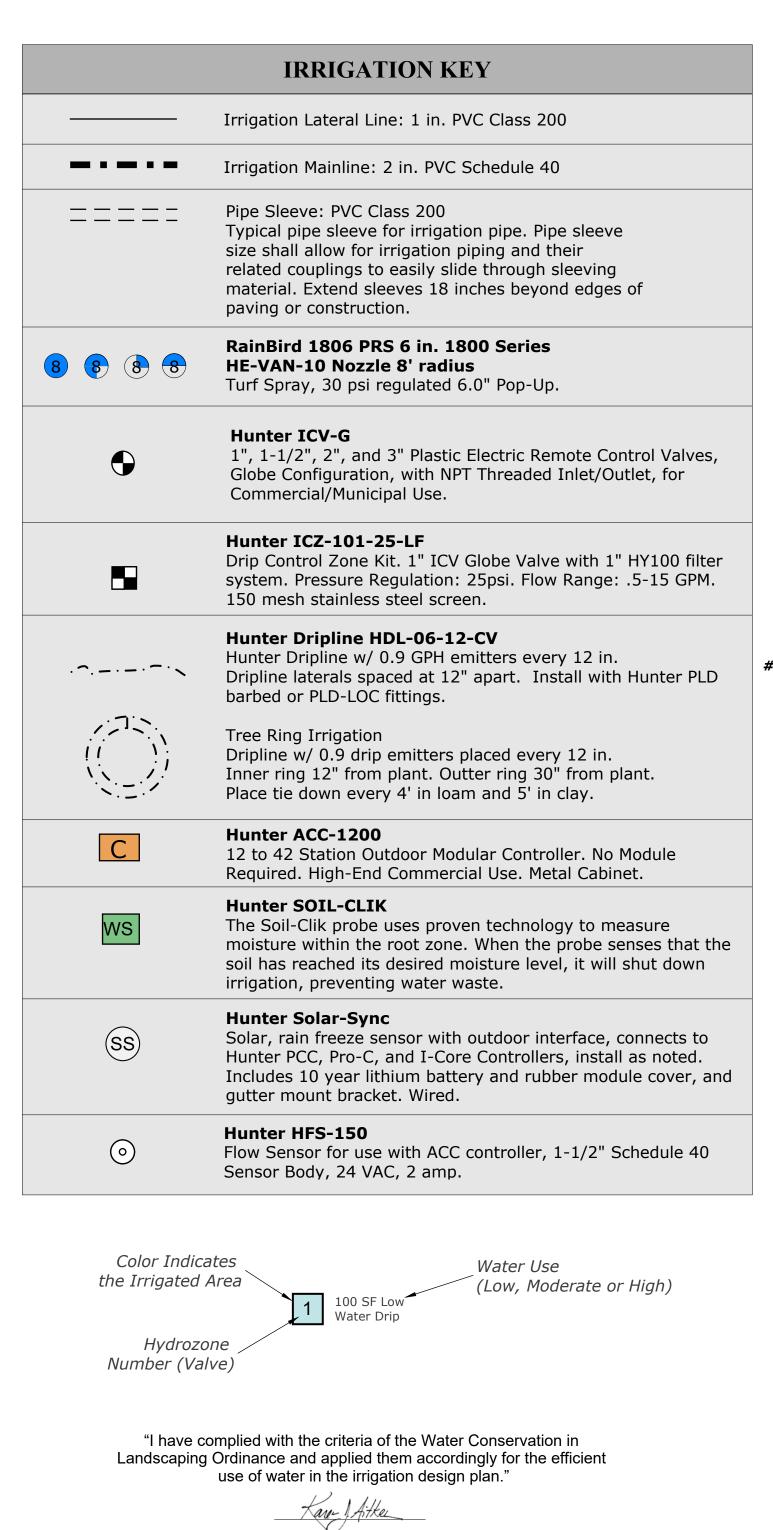
MATERIAL SURFACE TABLE						
Impervious Surfaces	Total Sq. Ft.					
Existing Driveway of Pavers (Front Yard)	761 Sq. Ft.					
Existing Porch & Path of Pavers (Front Yard)	243 Sq. Ft.					
Stepping Stones (Front Yard)	55 Sq. Ft.					
Existing Path of Pavers (Side Yard)	380 Sq. Ft.					
Patio of Pavers (Backyard)	1040 Sq. Ft.					
Sub Total Impervious	2519 Sq. Ft.					
Pervious Surfaces	Total Sq. Ft.					
Artificial Turf	510 Sq. Ft.					
Bark Mulch	1800 Sq. Ft.					
Lawn	650 Sq. Ft.					
Landscape Area	1985 Sq. Ft.					
Sub Total Pervious	5095 Sq. Ft.					

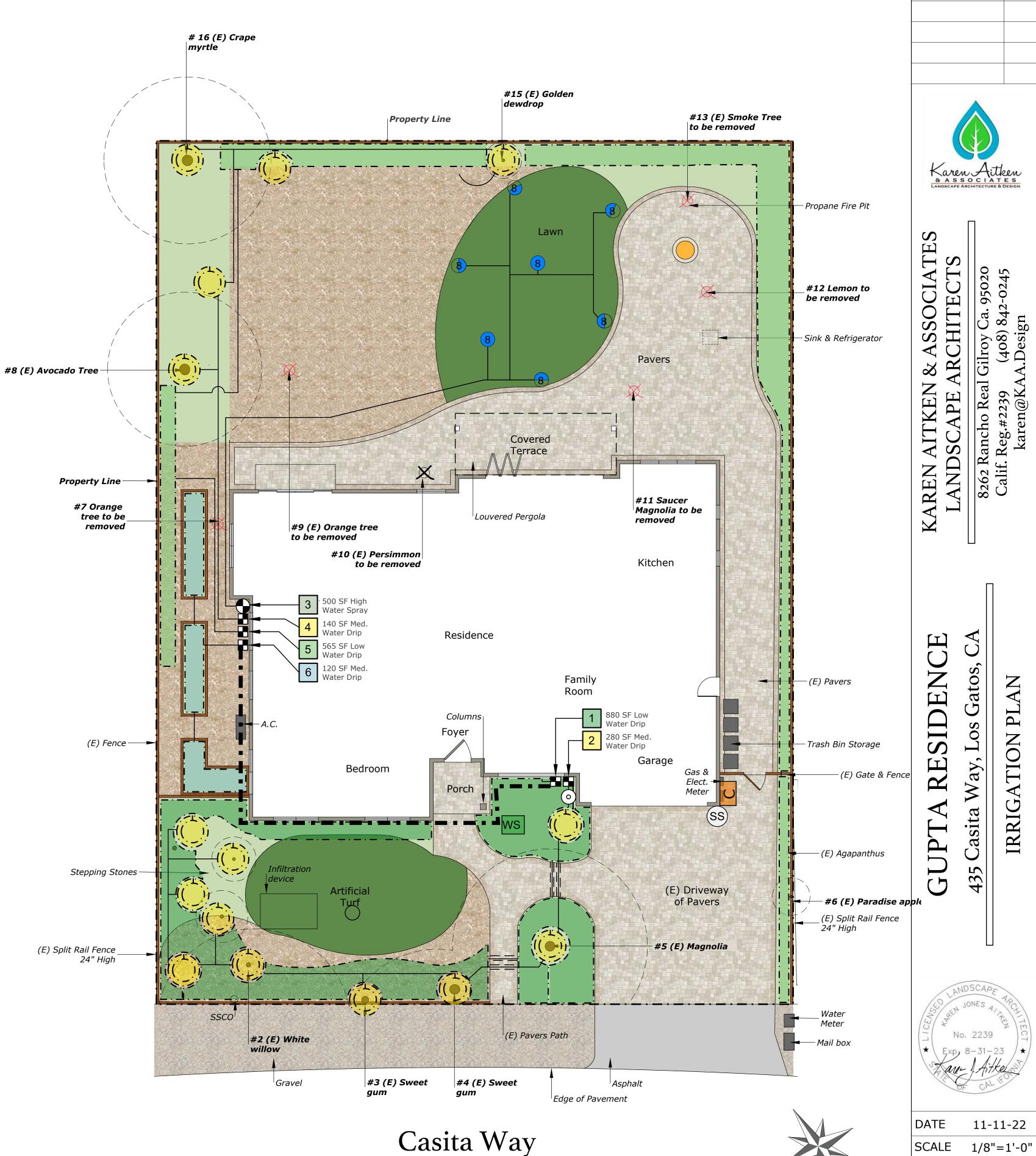


Casita Way









* NOTE: Refer to L-5 for Irrigation Details

REVISIONS

DRAWN IN-SL

L-4

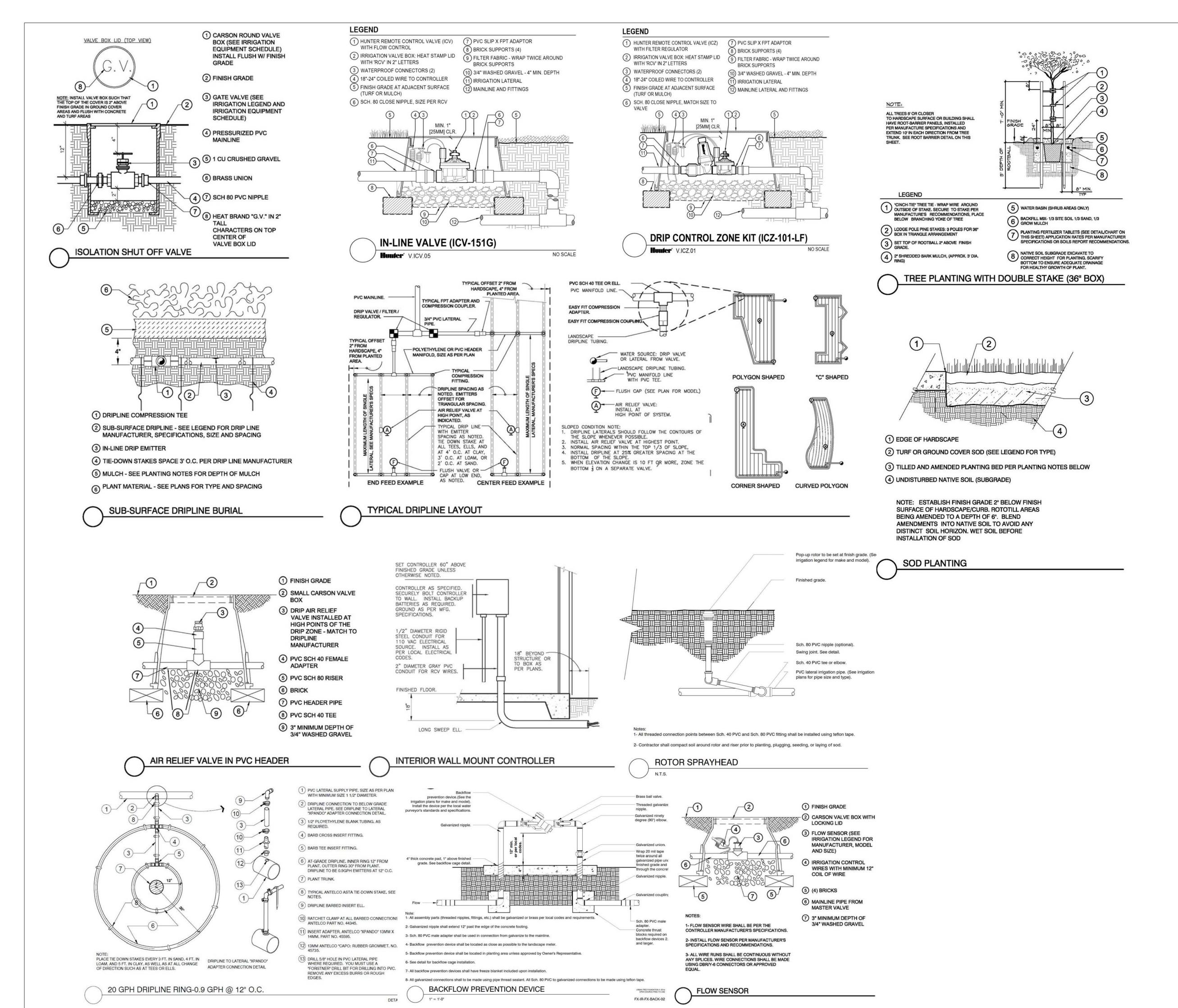
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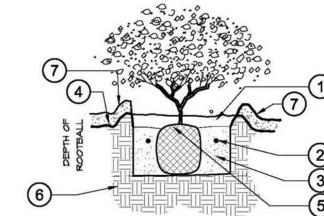
SCALE 1/8" = 1'-0"

* NOTES (E) = Existing

GUPTA

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1) WATER BASIN WITH 2" X 2" SHREDDED BARK MULCH.

(2) TRI-C MYCO PAKS (SEE DETAIL "E" ON THIS SHEET). APPLICATION RATES PER MANUFACTURER SPECIFICATIONS.

(3) BACKFILL MIX- 1/3 SITE SOIL, 1/3 SAND, 1/3 GROW MULCH.

4 FINISH GRADE

5 ROOTBALL 1"-2" ABOVE FINISH GRADE

(6) NATIVE SOIL SUBGRADE EXCAVATE TO CORRECT HEIGHT FOR PLANTING. SCARIFY BOTTOM TO ENSURE ADEQUATE DRAINAGE FOR HEALTHY GROWTH OF PLANT.

(7) 3" MULCH LAYER

TYPICAL SHRUB PLANTING

SOIL PREPARATION, MULCH AND AMENDMENTS

THE FOLLOWING CRITERIA SHALL BE USED IN THE PREPARATION OF ON-SITE SOILS AND FOR MULCHING PROCEDURES:

A) PRIOR TO THE PLANTING OF ANY MATERIALS, COMPACTED SOILS SHALL BE TRANSFORMED TO A FRIABLE CONDITION. ON ENGINEERED SLOPES, ONLY AMENDED PLANTING HOLES NEED MEET THIS REQUIREMENT;

B) SOIL AMENDMENTS SHALL BE INCORPORATED ACCORDING TO RECOMMENDATIONS OF THE SOIL REPORT AND WHAT IS APPROPRIATE FOR THE

C) FOR LANDSCAPE INSTALLATIONS, COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOILS WITH GREATER THAN 6% ORGANIC MATTER IN THE TOP 6 INCHES OF SOIL ARE EXEMPT FROM ADDING COMPOST AND TILLING;

D) A MINIMUM 3 INCH (3") LAYER OF BARK MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT IN TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS MULCH IS CONTRAINDICATED. TO PROVIDE HABITAT FOR BENEFICIAL INSECTS AND OTHER WILDLIFE, UP TO 5 % OF THE LANDSCAPE AREA MAY BE LEFT

WITHOUT MULCH. DESIGNATED INSECT HABITAT MUST BE INCLUDED IN THE LANDSCAPE DESIGN PLAN AS SUCH; E) STABILIZING MULCHING PRODUCTS SHALL BE USED ON SLOPES THAT MEET

F) THE MULCHING PORTION OF THE SEED/MULCH SLURRY IN HYDRO-SEEDED APPLICATIONS SHALL MEET THE

CURRENT ENGINEERING STANDARDS;

MULCHING REQUIREMENT;

G) ORGANIC MULCH MATERIALS MADE FROM RECYCLED OR POST-CONSUMER SHALL TAKE PRECEDENCE OVER INORGANIC MATERIALS OR VIRGIN FOREST PRODUCTS UNLESS THE RECYCLED POST-CONSUMER ORGANIC PRODUCTS ARE NOT LOCALLY AVAILABLE. ORGANIC MULCHES ARE NOT REQUIRED WHERE PROHIBITED BY LOCAL FUEL MODIFICATION PLAN GUIDELINES OR OTHER APPLICABLE LOCAL ORDINANCES.

& ASSOCIATES
LANDSCAPE ARCHITECTURE & DESIGN

REVISIONS

Ca. 9 842 8262 Rancho Real Calif. Reg.#2239 karen@K4 **ANDSC**

Gato

DE

ON

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Z

PI

No. 2239

DATE 11-11-22 SCALE 1/8"=1'-0" DRAWN IN-SL GUPTA

L-5

Fire Pit: Moderno V

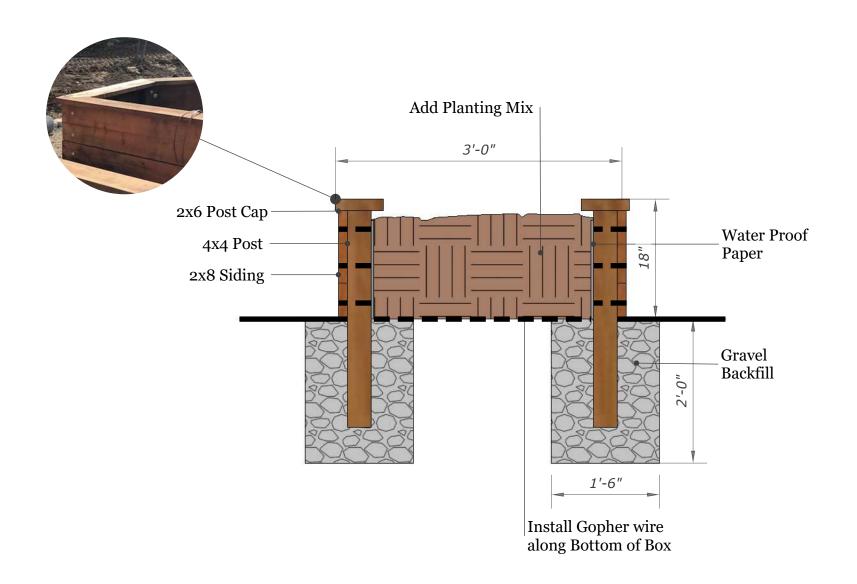
By Prism Hardscapes



Type: Propane BTU: 65,000 Diameter: 36"

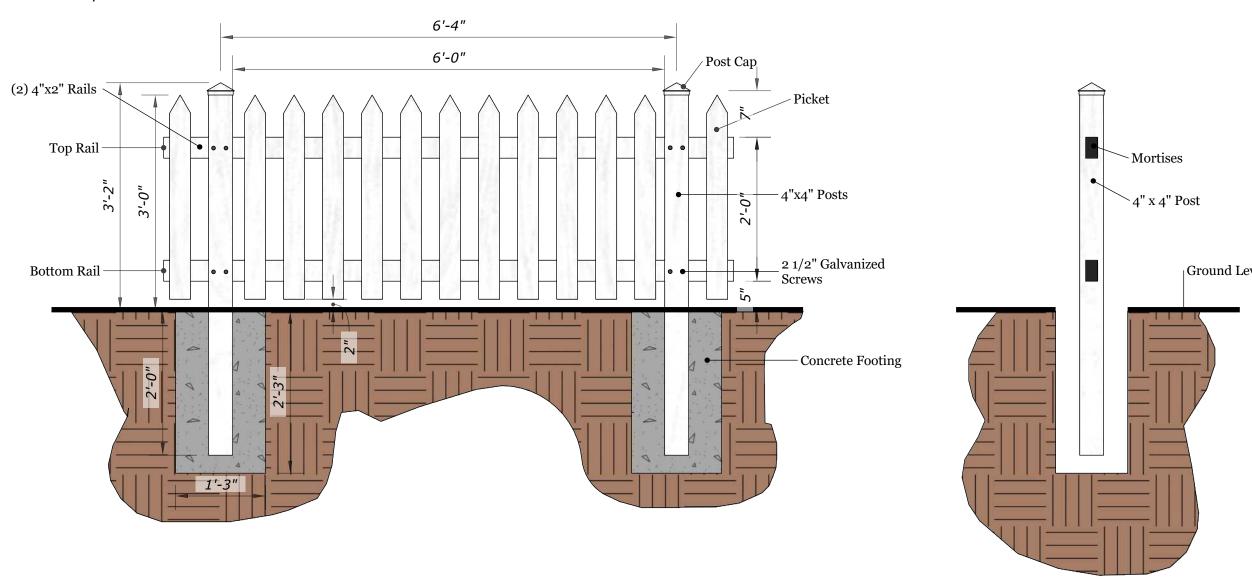
Planter Detail: 18" High Planter

Note: All Lumber to be Construction Grade Redwood



Picket Fence

Scale 3/4" = 1'-0"



Picket Fence Isometric View

Scale 1" = 1'-0"



REVISIONS



KAREN AITKEN & ASSOCIATES LANDSCAPE ARCHITECTS

DATE 11-11-22 SCALE 1/8"=1'-0" DRAWN IN-SL