

ITEM #	SIZE DBH	DESCRIPTION	REMOVE
1	4	STAR MAGNOLIA	NO
2	8	WHITE WILLOW	NO
3	14	SWEET GUM	NO
4	14	SWEET GUM	NO
5	14	MAGNOLIA	NO
6	6	PARADISE APPLE	NO
7	10	ORANGE	YES
8	16	AVOCADO	NO
9	6	ORANGE	YES
10	6	PERSIMMON	YES
11	10	LILY MAGNOLIA	YES
12	6	LEMON	YES
13	6	SMOKE TREE	YES
14	10	SMOKE TREE	YES
15	6	GOLDEN DEWDROP	NO
16	6	MYRTLE	NO

DBH = DIAMETER AT BREAST HEIGHT

AREA SCHEDULE

LOT AREA	10,244 S.F.		
LIVABLE AREA	EXISTING	PROPOSED	ADDITION
MAIN FLOOR	1,844 S.F.	2,484 S.F.	4,42 S.F.
UPPER FLOOR	0 S.F.	0 S.F.	104 S.F.
TOTAL	1,844 S.F.	3,190 S.F.	1,344 S.F.
GARAGE	401 S.F.	401 S.F.	0 S.F.
COVERED PORCH	98 S.F.	45 S.F.	-33 S.F.
COVERED TERRACE	148 S.F.	128 S.F.	-40 S.F.
(E) SHED	94 S.F.	0 S.F.	-94 S.F.
COVERAGE ALLOWED EXISTING	(30%)	3,080 S.F.	
COVERAGE ALLOWED PROPOSED	(35%)	3,593 S.F.	
FLOOR AREA ALLOWED EXISTING	(35%)	3,593 S.F.	
FLOOR AREA ALLOWED PROPOSED	(35%)	3,591 S.F.	



3D RENDERING

INDEX OF DRAWINGS

- A1 SITE PLAN VICINITY PLAN
- A2 EXISTING FLOOR PLAN
- A3 PROPOSED MAIN FLOOR PLAN
- A4 PROPOSED UPPER FLOOR PLAN
- A5 ROOF PLAN AREA DIAGRAMS
- A6 EXTERIOR ELEVATIONS
- A7 EXTERIOR ELEVATIONS
- A8 BUILDING SECTIONS STREETSCAPE
- CM1 CONTEXT MAP
- I TOPOGRAPHIC SURVEY
- C1 GRADING AND DRAINAGE PLAN
- C2 EROSION CONTROL PLAN
- C3 BLUEPRINT FOR A CLEAN BAY
- L1 LANDSCAPE LAYOUT & DIMENSION PLAN
- L2 PLANTING PLAN
- L3 LIGHTING & MATERIAL PLAN
- L4 IRRIGATION PLAN
- L5 PLANTING & IRRIGATION DETAILS
- L6 CONSTRUCTION DETAILS

PROJECT INFO

OWNER: PRAVIR GUPTA & SUGANDH SHAIKHAR
435 CASITA WAY
LOS ALTOS, CA 94022

JOB ADDRESS: 435 CASITA WAY
LOS ALTOS, CA 94022

ZONING: RI-10

BUILDING OCCUPANCY GROUP(S): R-3/U

TYPE(S) OF CONSTRUCTION: I-B

OCCUPANCY CATEGORY: II

A.P.N.: 170-18-021

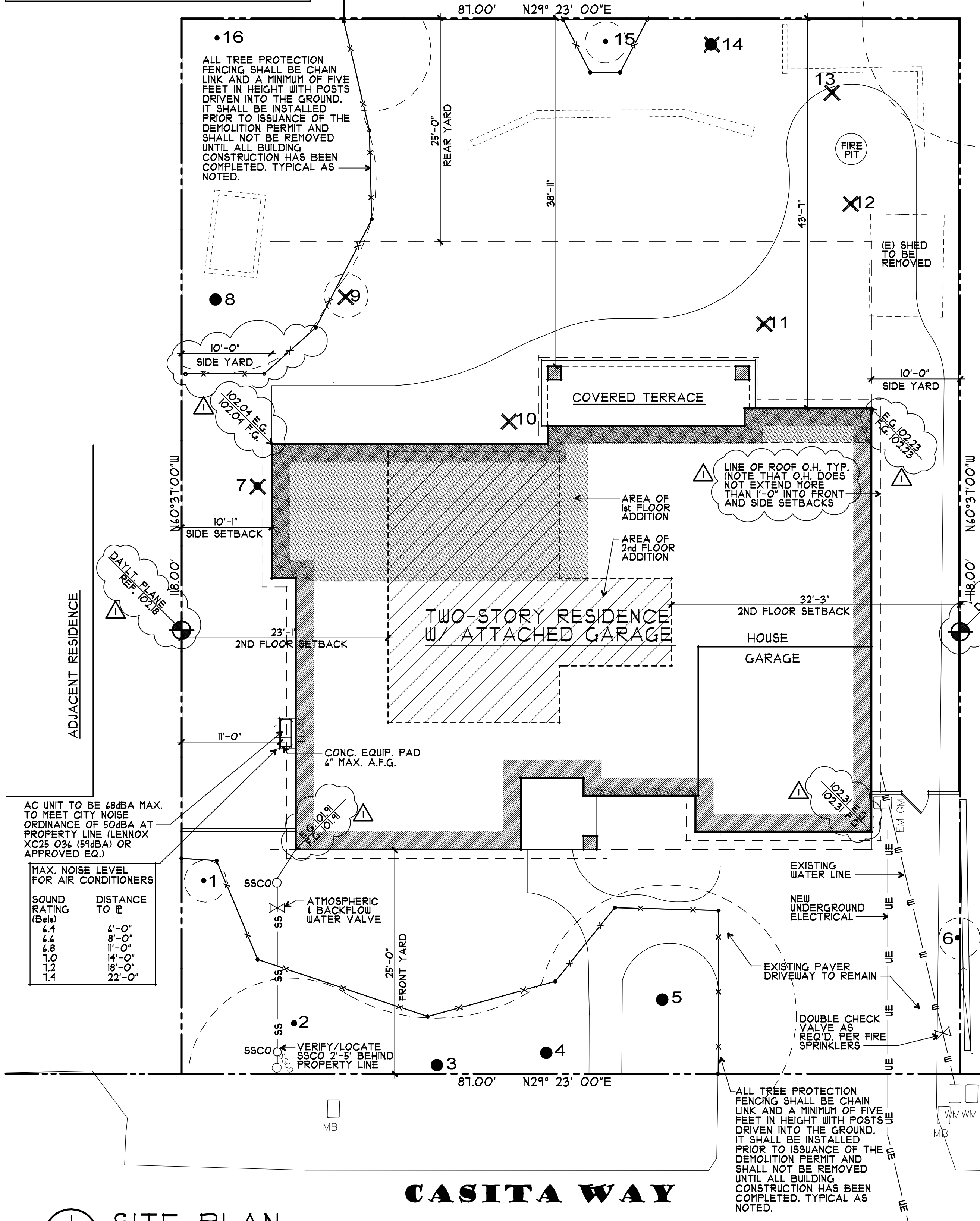
FIRE SPRINKLERS: YES

UNDERGROUND UTILITIES: YES

ARCHITECT: RH ASSOCIATES, ARCHITECTS
11010 COMBIE RD, SUITE 210
AUBURN, CA 95602
CONTACT: J. STEVE COLLOM
(530) 248-3055
steve.colom@gmail.com

CIVIL ENGINEER: NNR ENGINEERING
535 WEYBRIDGE DRIVE
SAN JOSE, CA 95123
CONTACT: NADIM RAFOUL
(408) 348-1819
nnrengineering@gsbno.com

LANDSCAPE DESIGN: KAREN AITKEN & ASSOCIATES
8242 RANCHO REAL
GILROY, CA 95020
CONTACT: KAREN AITKEN
(408) 842-0245
AitkenAssociates@gmail.com



	ZONING COMPLIANCE		
	EXISTING	PROPOSED	ALLOWED/REQ'D
LOT COVERAGE: LAND AREA COVERED BY ALL STRUCTURES THAT ARE OVER 6' HIGH	2,605 S.F.	3,080 S.F.	3,080 S.F.
FLOOR AREA: MEASURED TO THE OUTSIDE SURFACES OF EXTERIOR WALLS	2,339 S.F.	3,591 S.F.	3,593 S.F.
SETBACKS:			
FRONT	25 FT.	25 FT.	25 FT.
REAR	47.42 FT.	43.58 FT.	25 FT.
RIGHT SIDE (1ST/2ND)	10/NA FT.	10/32.25 FT.	10/17.5 FT.
LEFT SIDE (1ST/2ND)	12.75/NA FT.	10.08/23.08 FT.	10/17.5 FT.
HEIGHT:	14 FT.	24 FT.	27 FT.
SQUARE FOOTAGE BREAKDOWN			
	EXISTING	CHANGE IN	TOTAL PROPOSED
HABITABLE LIVING AREA: INCLUDES HABITABLE BASEMENT AREAS	1,844 S.F.	1,347 S.F.	3,191 S.F.
NON-HABITABLE AREA DOES NOT INCLUDE COVERED PORCHES OR OPEN STRUCTURES	495 S.F.	-94 S.F.	401 S.F.
LOT CALCULATIONS			
NET LOT AREA:			10,266 S.F.
FRONT YARD HARDSCAPE AREA: HARDSCAPE AREA IN THE FRONT YARD SETBACK SHALL NOT EXCEED 50%	891 S.F.		41.0%
LANDSCAPE BREAKDOWN:	TOTAL HARDSCAPE AREA EXISTING & PROPOSED		5,333 S.F.
	EXISTING SOFTSCAPE (UNDISTURBED) AREA		0 S.F.
	NEW SOFTSCAPE AREA		4,933 S.F.
	SUM OF ALL THREE SHOULD EQUAL THE SITE'S NET LOT AREA		5,333 S.F.

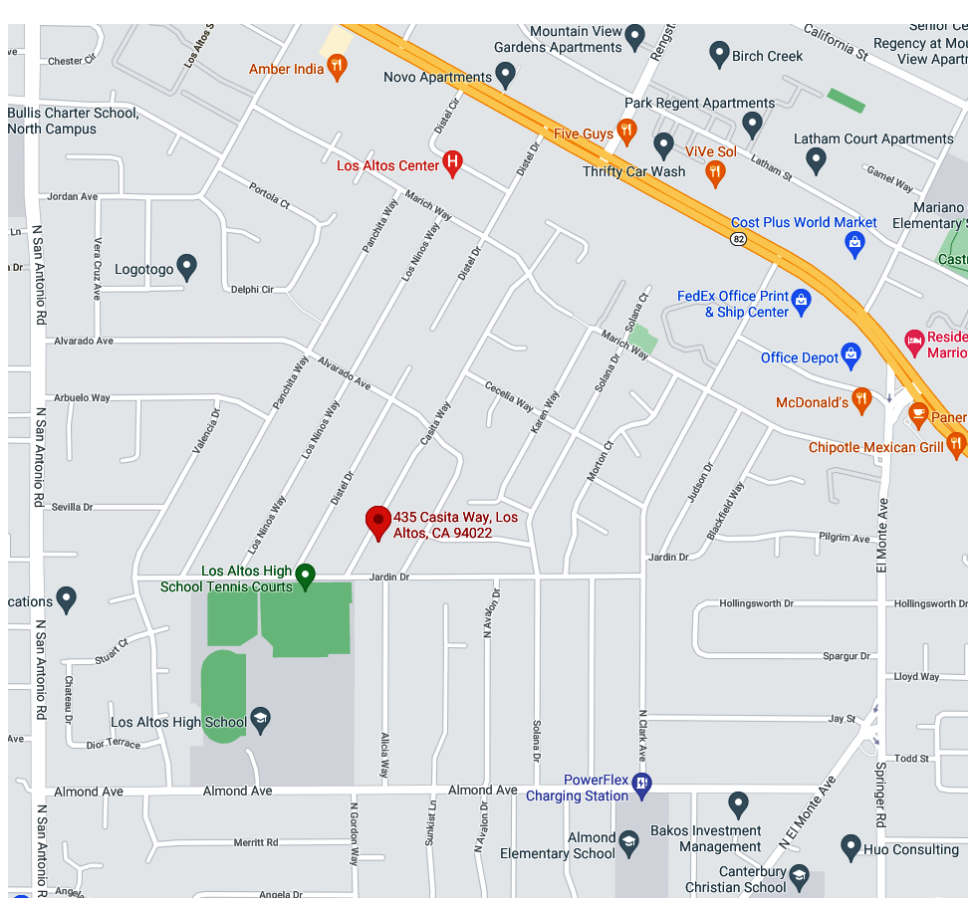
FIRE DEPARTMENT NOTES:

- REVIEW OF THIS DEVELOPMENTAL PROPOSAL IS LIMITED TO ACCEPTABILITY OF SITE ACCESS AND WATER SUPPLY AS THEY PERTAIN TO FIRE DEPARTMENT OPERATIONS, AND SHALL NOT BE CONSTRUED AS A SUBSTITUTE FOR FORMAL PLAN REVIEW TO DETERMINE COMPLIANCE WITH ADOPTED MODEL CODES. PRIOR TO PERFORMING ANY WORK THE APPLICANT SHALL MAKE APPLICATION TO AND RECEIVE FROM THE BUILDING DEPARTMENT ALL APPLICABLE CONSTRUCTION PERMITS.
- AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH NATIONAL FIRE PROTECTION ASSOCIATION'S (NFPA) STANDARD 13D IN ALL NEW ONE AND TWO-FAMILY DWELLINGS AND IN EXISTING DWELLINGS, WHEN ADDITIONS ARE MADE THAT INCREASE THE BUILDING AREA TO MORE THAN THE ALLOWABLE FIRE-FLOW APPENDIX TABLE B101.1, OR ADDITIONS EXCEEDS FIFTY (50) PERCENT (INCLUSIVE OF GARAGE CONVERSIONS) OF THE EXISTING LIVING AREA (EXISTING SQUARE FOOT CALCULATIONS SHALL NOT INCLUDE EXISTING BASEMENT). WHEN AUTOMATIC FIRE SPRINKLER SYSTEMS ARE REQUIRED BY THIS SECTION, ALL ASSOCIATED GARAGES SHALL BE INCLUDED. TEAR-DOWNS AND/OR ADDITIONS OVER FIFTY (50) PERCENT SHALL BE TREATED AS A NEW STRUCTURE REGARDING INSTALLATION OF FIRE SPRINKLER SYSTEMS. THE OBLIGATION TO PROVIDE COMPLIANCE WITH THESE FIRE SPRINKLER REGULATIONS MAY NOT BE EVADDED BY PERFORMING A SERIES OF SMALL ADDITIONS UNDERTAKEN OVER A THREE-YEAR PERIOD. THE PERMIT ISSUANCE DATE OF ANY ADDITIONS WHERE THESE REGULATIONS WERE IN EFFECT SHALL BE USED FOR DETERMINING COMPLIANCE. NOTE: THE OWNER(S), OCCUPANT(S) AND ANY CONTRACTOR(S) OR SUBCONTRACTOR(S) ARE RESPONSIBLE FOR CONSULTING WITH THE WATER PURVEYOR OF RECORD IN ORDER TO DETERMINE IF ANY MODIFICATION OR UPGRADE OF THE EXISTING WATER SERVICE IS REQUIRED. A STATE OF CALIFORNIA LICENSED (C-14) FIRE PROTECTION CONTRACTOR SHALL SUBMIT PLANS, CALCULATIONS, A COMPLETED PERMIT APPLICATION AND APPROPRIATE FEES TO THIS DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO BEGINNING THEIR WORK. CRC SEC. 313.2 AS ADOPTED AND AMENDED BY LAMC.
- POTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION WATER SUPPLIES. IT IS THE RESPONSIBILITY OF THE APPLICANT AND ANY CONTRACTORS AND SUBCONTRACTORS TO CONTACT THE WATER PURVEYOR SUPPLYING THE SITE OF SUCH PROJECT, AND TO COMPLY WITH THE REQUIREMENTS OF THAT PURVEYOR. SUCH REQUIREMENTS SHALL BE INCORPORATED INTO THE DESIGN OF ANY WATER-BASED FIRE PROTECTION SYSTEMS, AND/OR FIRE SUPPRESSION WATER SUPPLY SYSTEMS OR STORAGE CONTAINERS THAT MAY BE PHYSICALLY CONNECTED IN ANY MANNER TO AN APPLIANCE CAPABLE OF CAUSING CONTAMINATION OF THE POTABLE WATER SUPPLY OF THE PURVEYOR OF RECORD. FINAL APPROVAL OF THE SYSTEMS UNDER CONSIDERATION WILL NOT BE GRANTED BY THIS OFFICE UNTIL COMPLIANCE WITH THE REQUIREMENTS OF THE WATER PURVEYOR OF RECORD ARE DOCUMENTED BY THAT PURVEYOR AS HAVING BEEN MET BY THE APPLICANT(S). 2010 CFC SEC. 903.3.5 AND HEALTH AND SAFETY CODE 1314.1
- ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 33 AND OUR STANDARD DETAIL AND SPECIFICATIONS S1-1. PROVIDE APPROPRIATE NOTATIONS ON SUBSEQUENT PLAN SUBMITTALS TO THE PROJECT. CFC CHAPTER 33.
- NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MINIMUM OF 4 INCHES (101.6 MM) HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH (12.7 MM). WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A NONMENT FOLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. CFC SEC. 505.1

AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM WITH DOUBLE CHECK VALVES SHALL BE PROVIDED AND BE DESIGNED AND INSTALLED IN ACCORDANCE WITH SECTION R313.3 OR NFPA 13D AND LOS ALTOS RESIDENTIAL REQUIREMENTS. (UNDER SEPARATE PERMIT) FIRE SPRINKLER PLANS SHALL BE SUBMITTED DIRECTLY TO THE COUNTY FIRE DEPARTMENT BY A CALIFORNIA LICENSED C-14 FIRE SPRINKLER CONTRACTOR.

PROJECT DESCRIPTION

THE CONSTRUCTION OF A TWO-STORY ADDITION TO AN EXISTING ONE-STORY RESIDENCE WITH AN ATTACHED GARAGE. UTILITIES TO BE UNDERGROUND AND FIRE SPRINKLERS WILL BE REQUIRED FOR THE ENTIRE RESIDENCE.



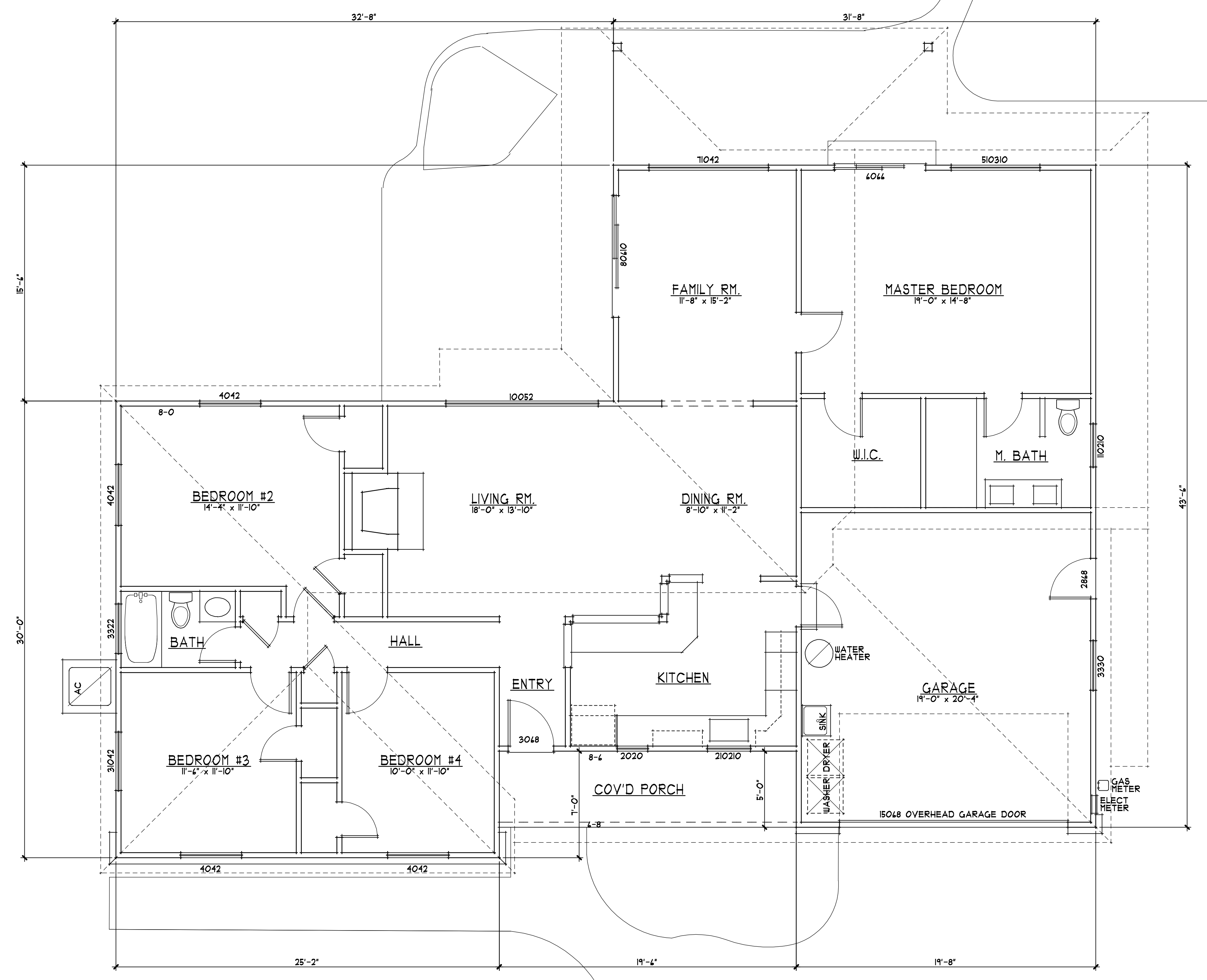
2 VICINITY MAP
NO SCALE NORTH

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LICENSED ARCHITECT
No. C 11982
Exp. 10-21
STATE OF CALIFORNIA


A PROPOSED TWO-STORY REMODEL & ADDITION FOR:
PRAVIR GUPTA & SUGANDH SHAIKHAR
LOS ALTOS, CALIFORNIA
435 CASITA WAY

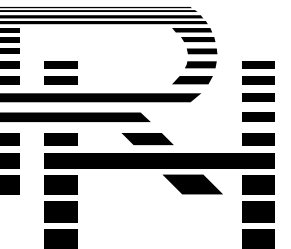
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revisions	8-22-22 PLANNING
project number	2514
date	NOV. 2022
sheet number	A1



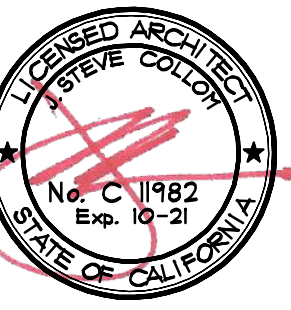
1 EXISTING FLOOR PLAN
 A2 1/4" = 1'-0"
 0 1 3 6 10

NORTH

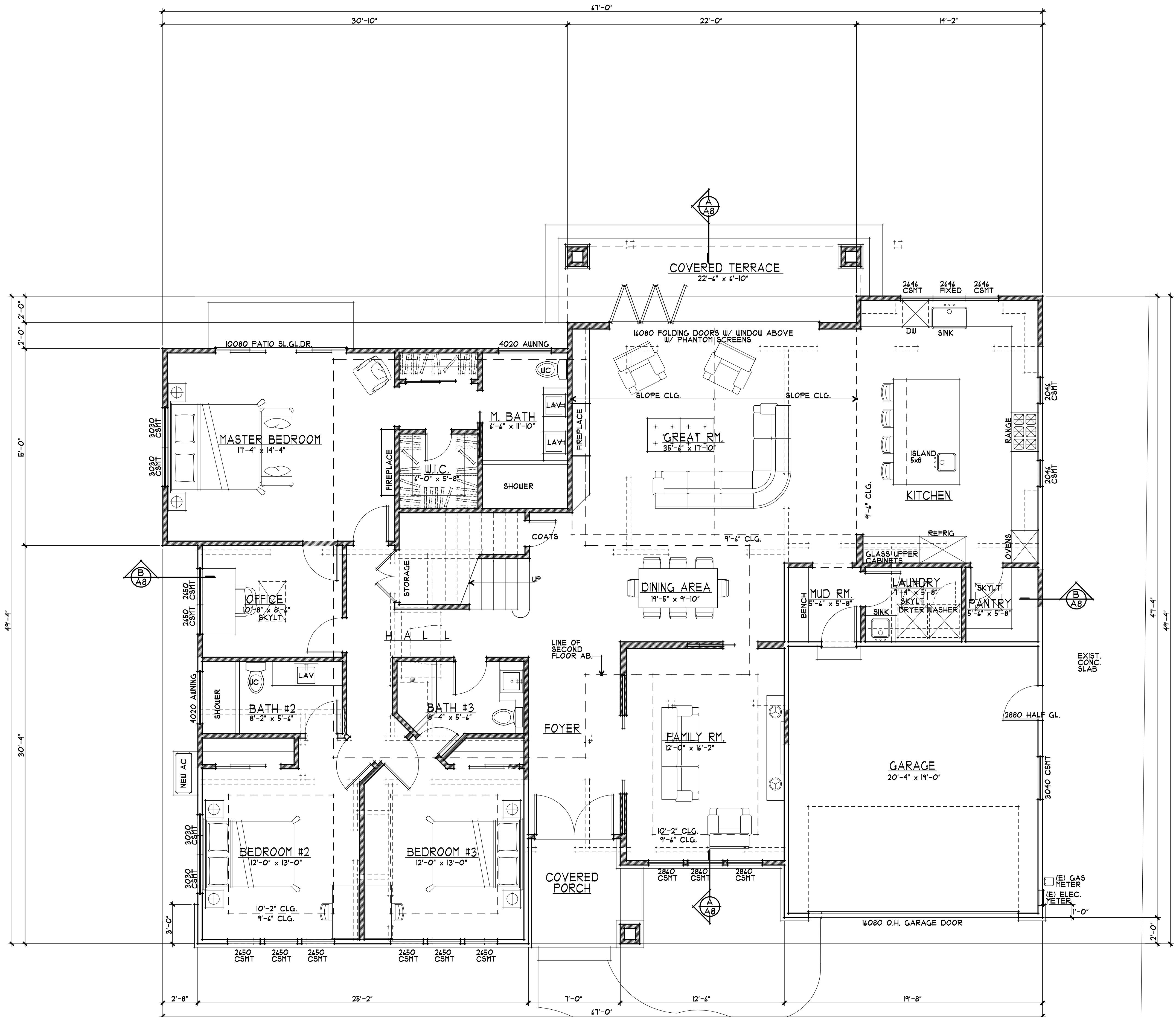
drawings	EXISTING FLOOR PLAN
revisions	 8-22-22 PLANNING
project number	2514
date	NOV. 2022
sheet number	A2



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A PROPOSED TWO-STORY REMODEL & ADDITION FOR:
PRAYIR GUPTA & SUGANDH SHAIKHAR
LOS ALTOS, CALIFORNIA
435 CASITA WAY



WALL SCHEDULE

- EXISTING WALL
- NEW WALL
- - - EXISTING WALL (TO BE REMOVED)

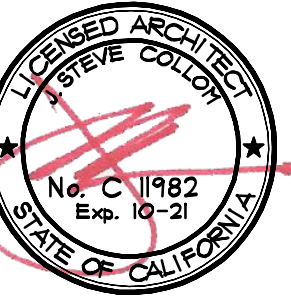
PROPOSED MAIN FLOOR PLAN

1/4" = 1'-0" 0 1 3 6 10

NORTH

drawings	MAIN FLOOR PLAN
revisions	8-22-22 PLANNING
project number	2514
date	NOV. 2022
sheet number	A3

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A PROPOSED TWO-STORY REMODEL & ADDITION FOR:
PRAVIR GUPTA & SUGANDH SHAIKHAR
 LOS ALTOS, CALIFORNIA
 435 CASITA WAY

drawings
 UPPER FLOOR PLAN

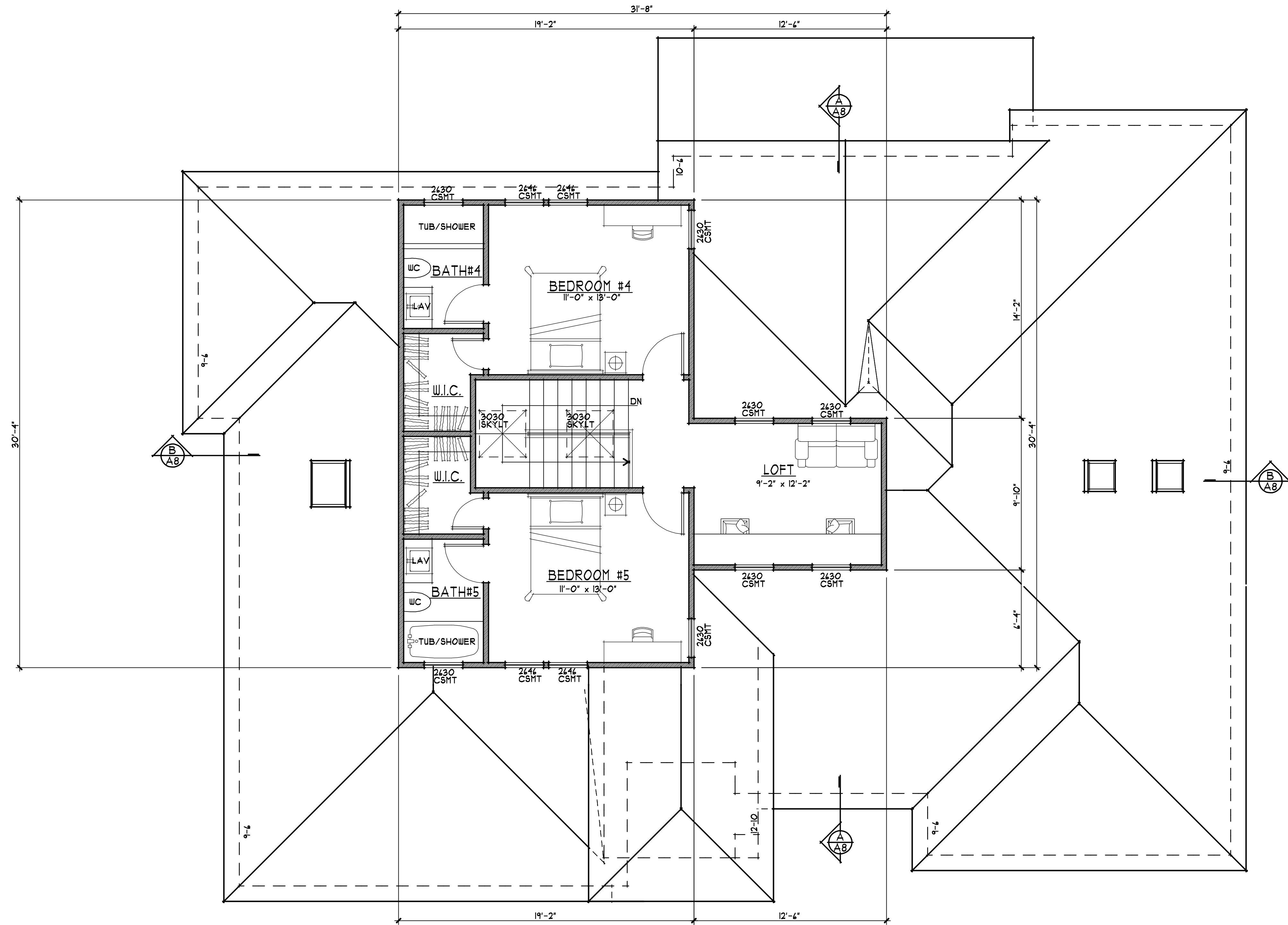
revisions
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project number
 2574

date
 NOV. 2022

sheet number

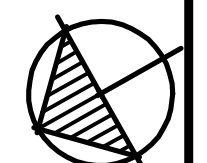
A4



1 UPPER FLOOR PLAN
 A4 1/4" = 1'-0"

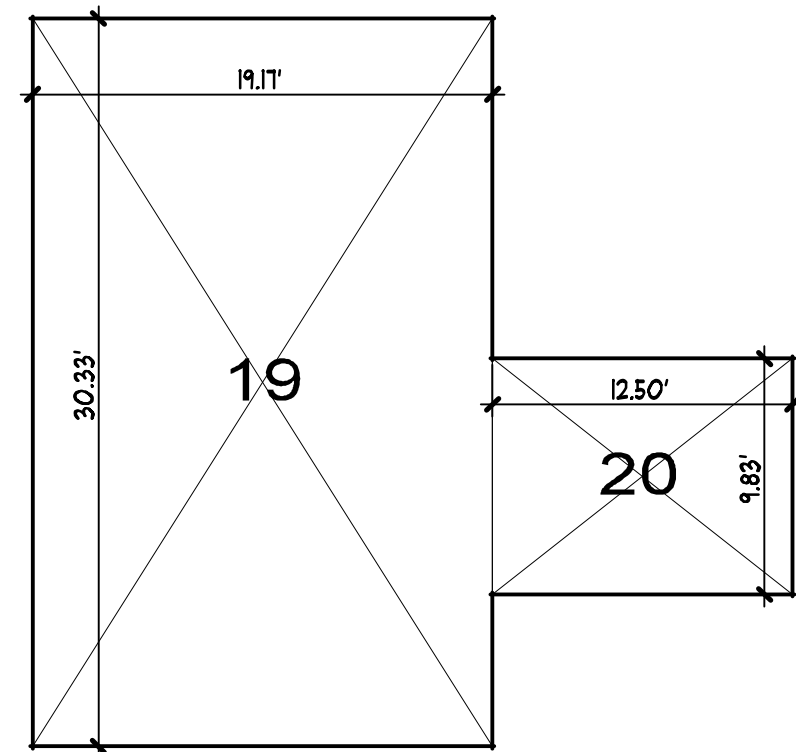


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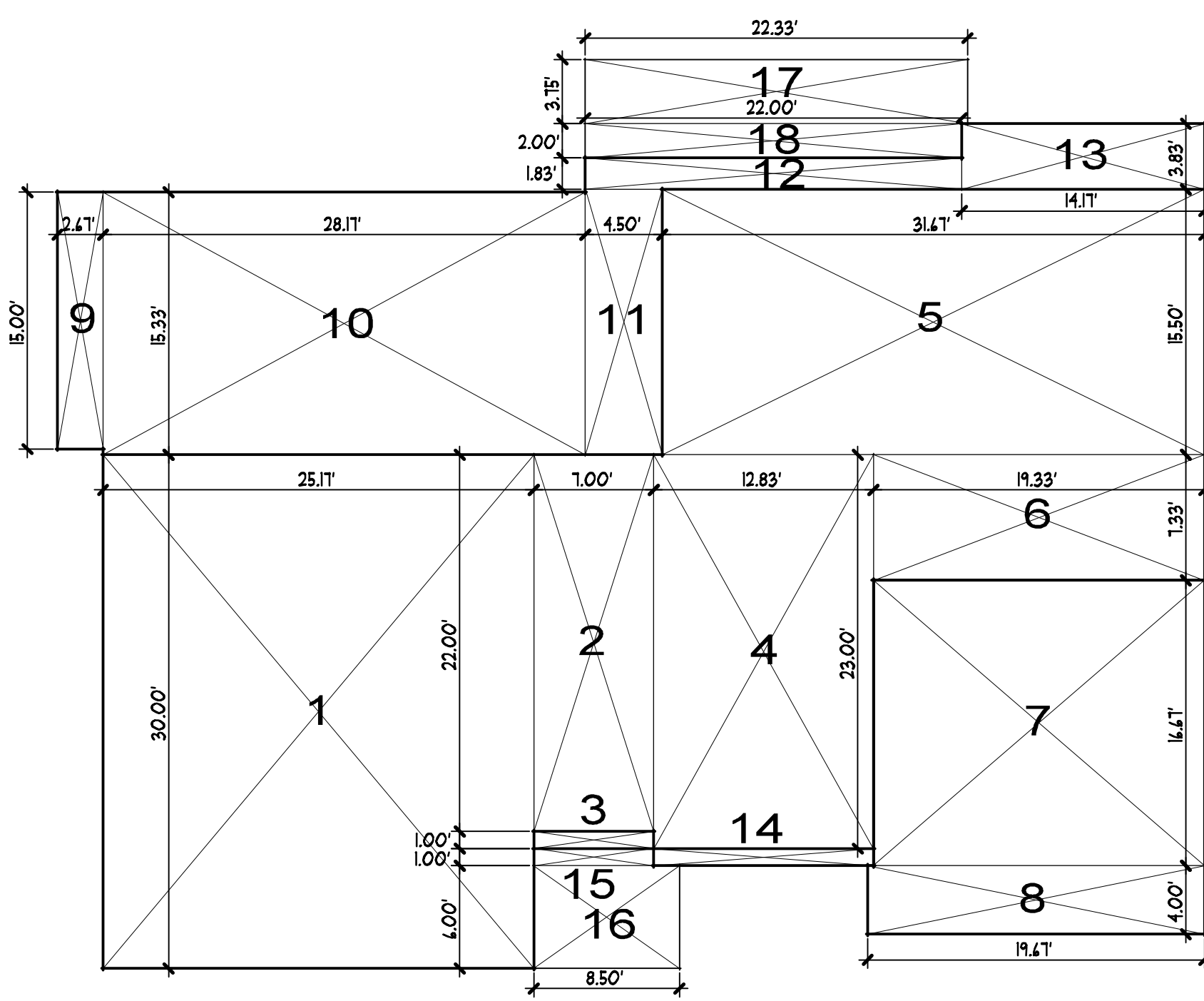


AREA CALCULATIONS

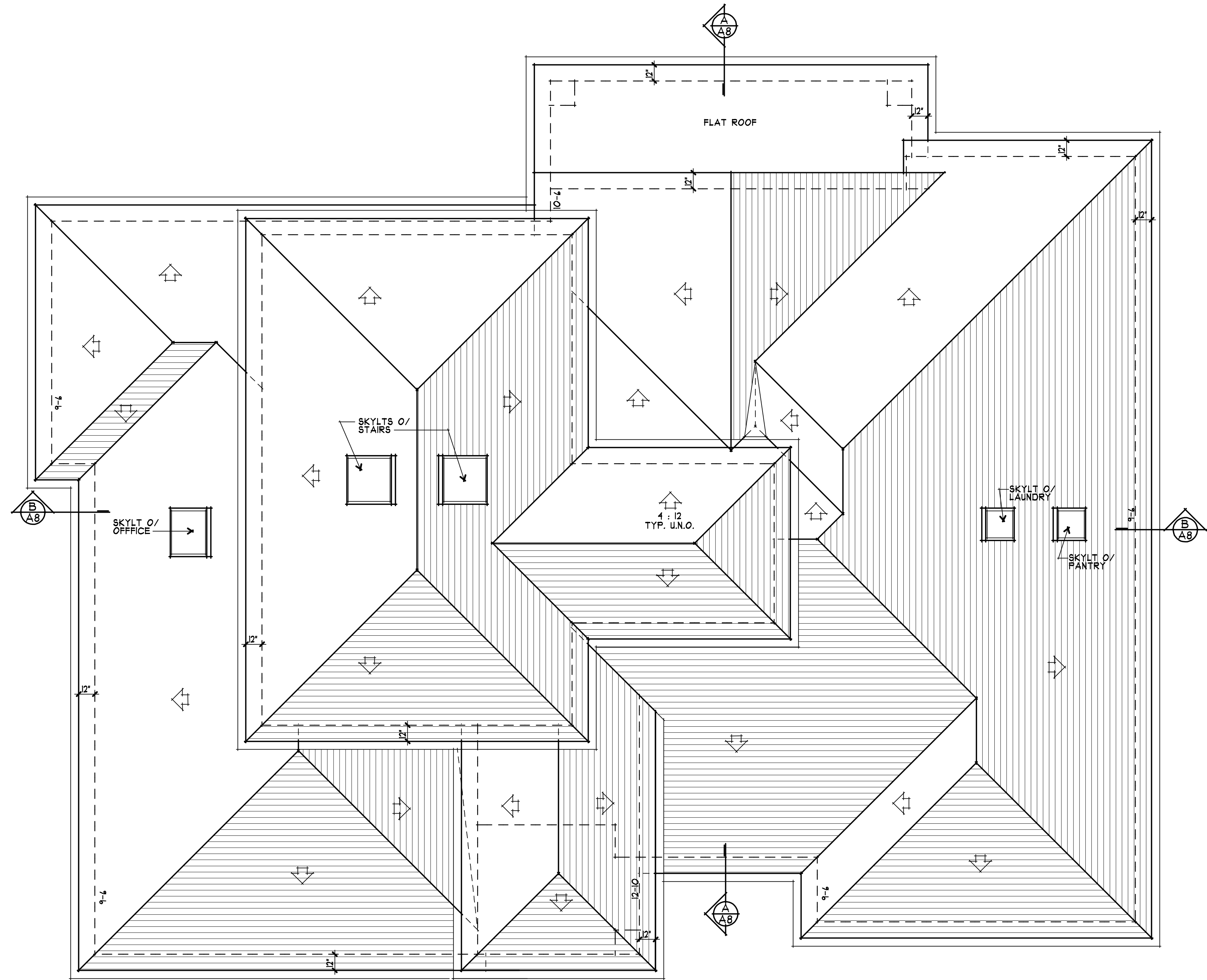
EXISTING	25.11	x	30.00	=	755.0
ADDITION	1.00	x	22.00	=	22.0
REMOVAL	12.83	x	1.00	=	12.8
REMOVAL	19.33	x	1.00	=	19.3
TOTAL				=	490.4
EXISTING GARAGE	19.33	x	14.1	=	272.6
ADDITION	19.33	x	4.00	=	77.3
TOTAL				=	350.0
ADDITION	2.41	x	15.00	=	36.2
REMOVAL	4.50	x	15.00	=	67.5
REMOVAL	22.00	x	1.00	=	22.0
REMOVAL	14.11	x	1.00	=	14.1
REMOVAL	12.83	x	1.00	=	12.8
REMOVAL	1.00	x	1.00	=	1.0
TOTAL				=	142.2
COVERED PORCH	1.00	x	1.00	=	1.0
REMOVAL	1.00	x	1.00	=	1.0
REMOVAL	8.50	x	1.00	=	8.5
TOTAL				=	1.0
COVERED TERRACE	22.33	x	2.00	=	44.7
REMOVAL	22.00	x	2.00	=	44.0
TOTAL				=	128
UPPER FLOOR	19.11	x	30.33	=	580.0
ADDITION	12.50	x	1.00	=	12.5
TOTAL				=	592.5



UPPER FLOOR



MAIN FLOOR

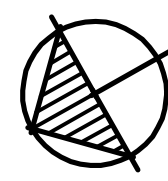


2 AREA DIAGRAMS

1/8" = 1'-0"



NORTH

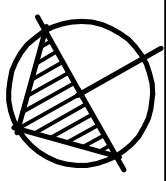


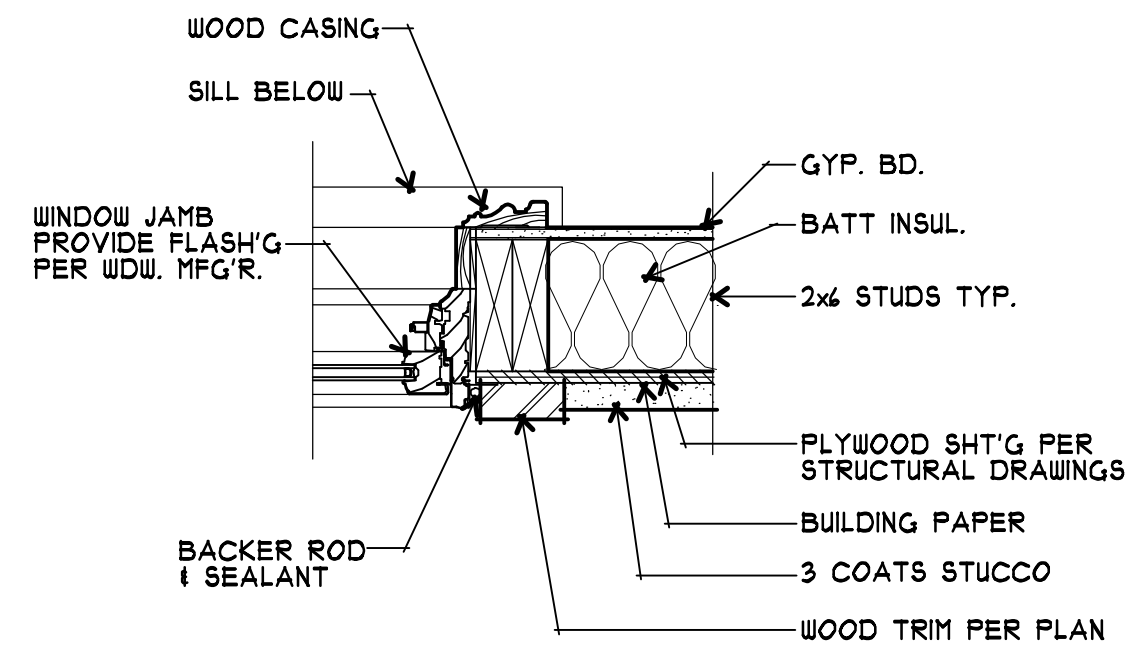
1 ROOF PLAN

1/4" = 1'-0"



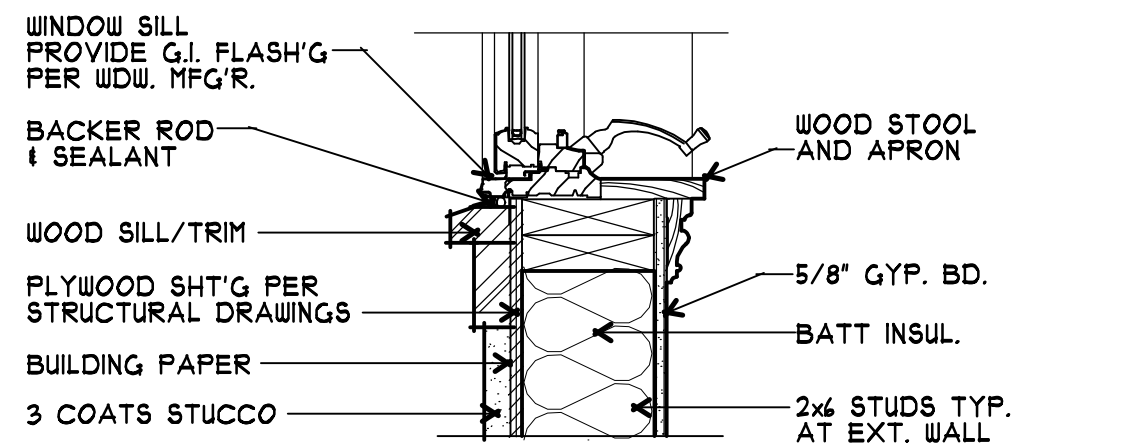
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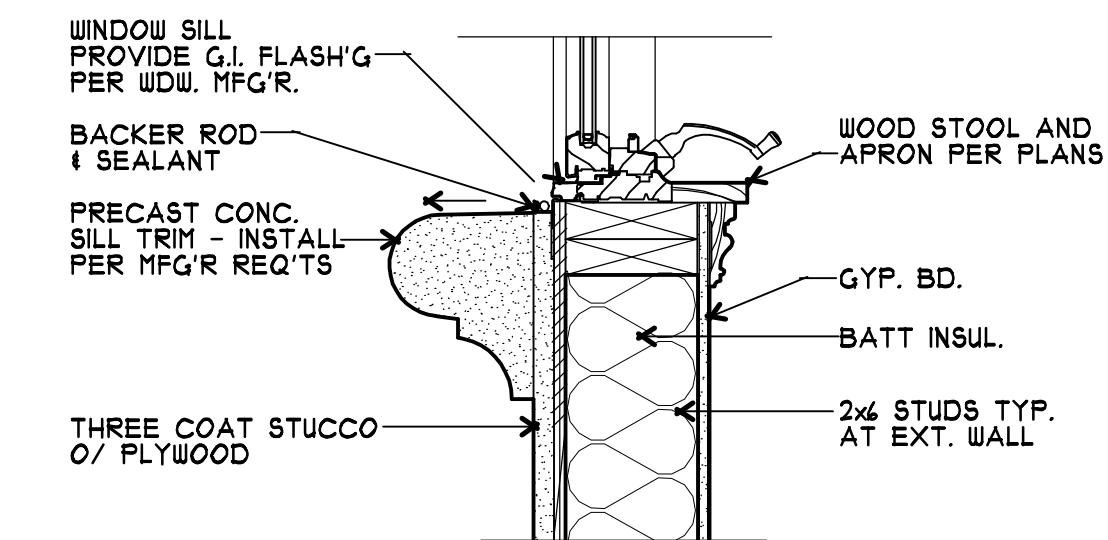
1 TYP. JAMB (HEAD SIM.)

1/2" = 1'-0"



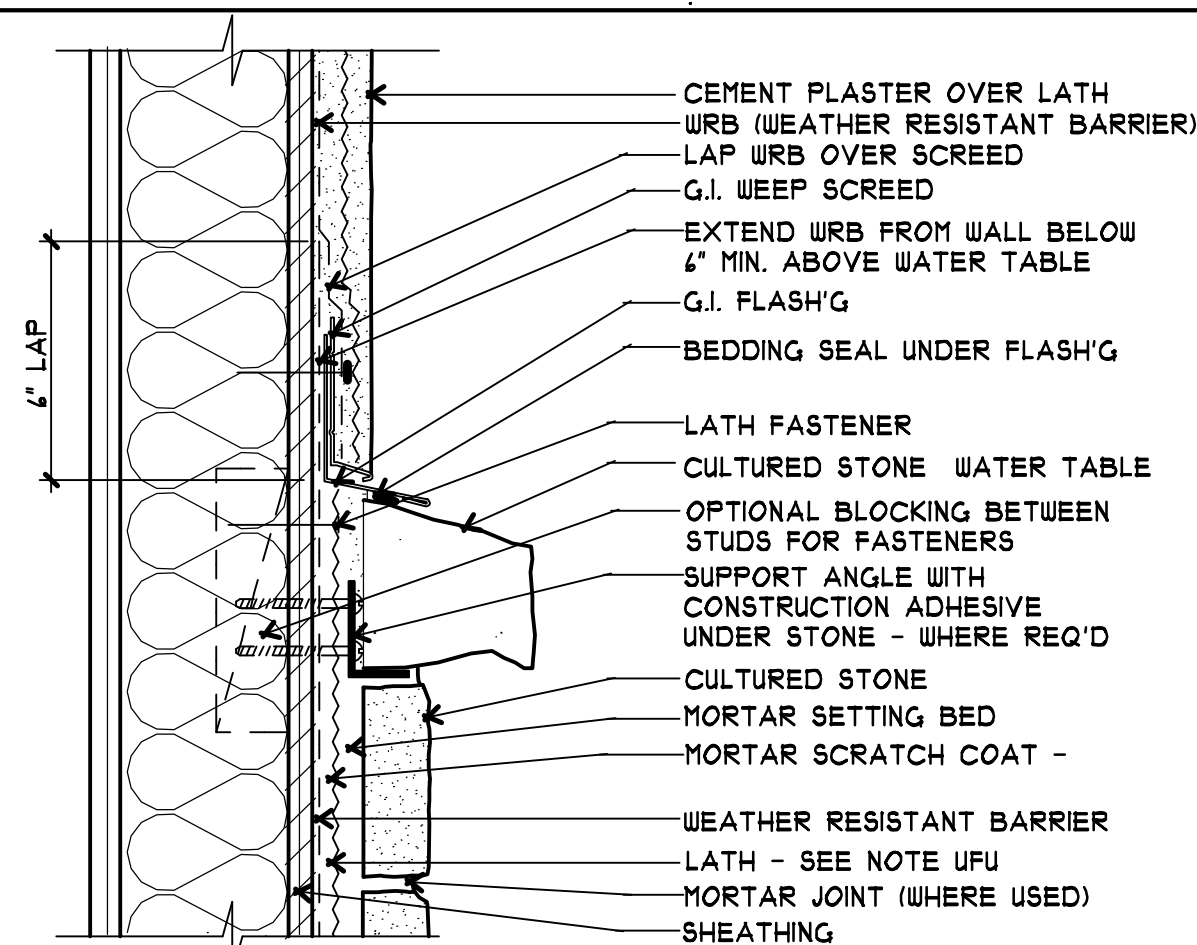
2 TYPICAL SILL

1/2" = 1'-0"



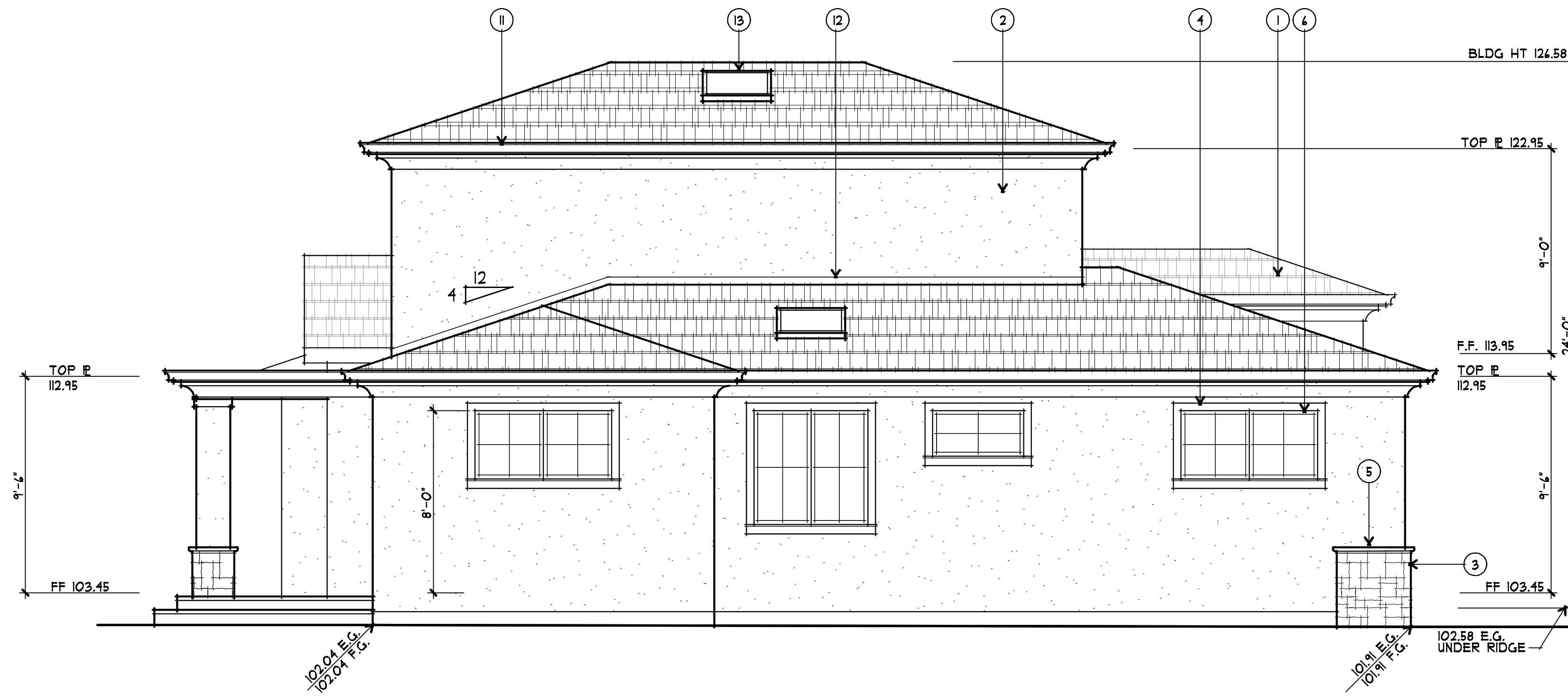
3 SILL AT FRONT ELEVATION

1/2" = 1'-0"



4 ADHERED VENEER TOP AT STUCCO

3" = 1'-0"



5 LEFT (NORTH) ELEVATION

1/4" = 1'-0"



6 FRONT (WEST) ELEVATION

1/4" = 1'-0"

EXTERIOR FINISH SCHEDULE

LOCATION	KEYNOTE	MATERIAL/COLOR
ROOF	1	LIGHT WEIGHT SLATE SHAPE CONCRETE TILE
WALLS	2	STUCCO W/ SMOOTH TROWEL FINISH
	3	STONE VENEER
TRIM	4	HARDI TRIM
	5	PRECAST WAINSCOT CAP/SILL
WINDOWS	6	ALUMINUM CLAD WOOD WINDOWS
DOORS	7	WOOD ENTRY DOOR W/ GLASS & SIDELITES
	8	CARRIAGE-STYLE, OVERHEAD SECTIONAL GARAGE DOOR W/ LITES
	9	ALUMINUM-CLAD WOOD BI-FOLD DOOR(S)
	10	ALUMINUM-CLAD WOOD SLIDING DOOR(S)
GUTTERS & DOWNSPOUTS	11	SHAPED G.I. GUTTERS & DOWNSPOUTS
FLASHING	12	G.I. FLASHING - PAINT
SKYLIGHTS	13	CURB MOUNTED OR SELF-FLASHING

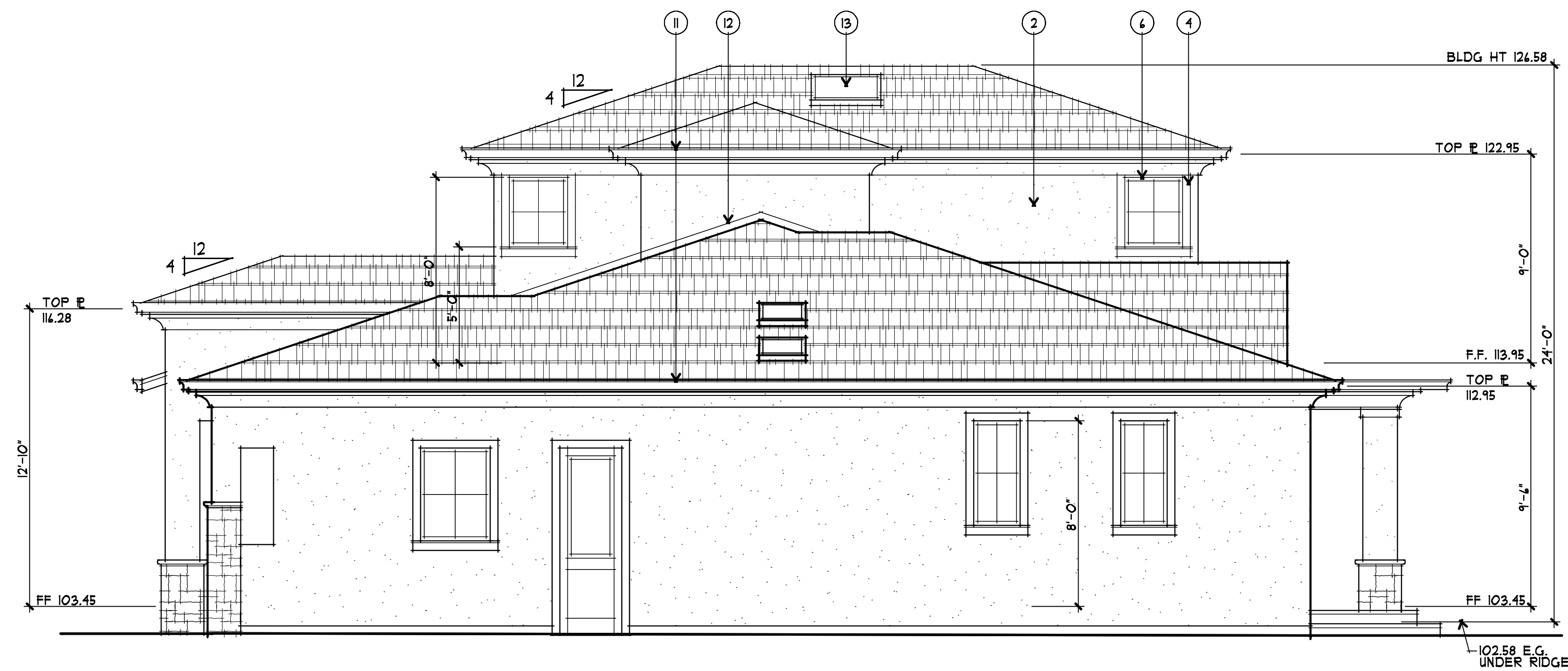
TYPICAL STUCCO FINISH

PROVIDE 3 COATS OF STUCCO (1/8" MIN.) ON METAL LATH OVER 2 LAYERS OF GRADE "D" PAPER ON EXT. SHEATHING. PROVIDE WEEP SCREED AT FDN. PLATE LINE 4" MIN. ABOVE FINISH GRADE PER CRC SEC. R103.1

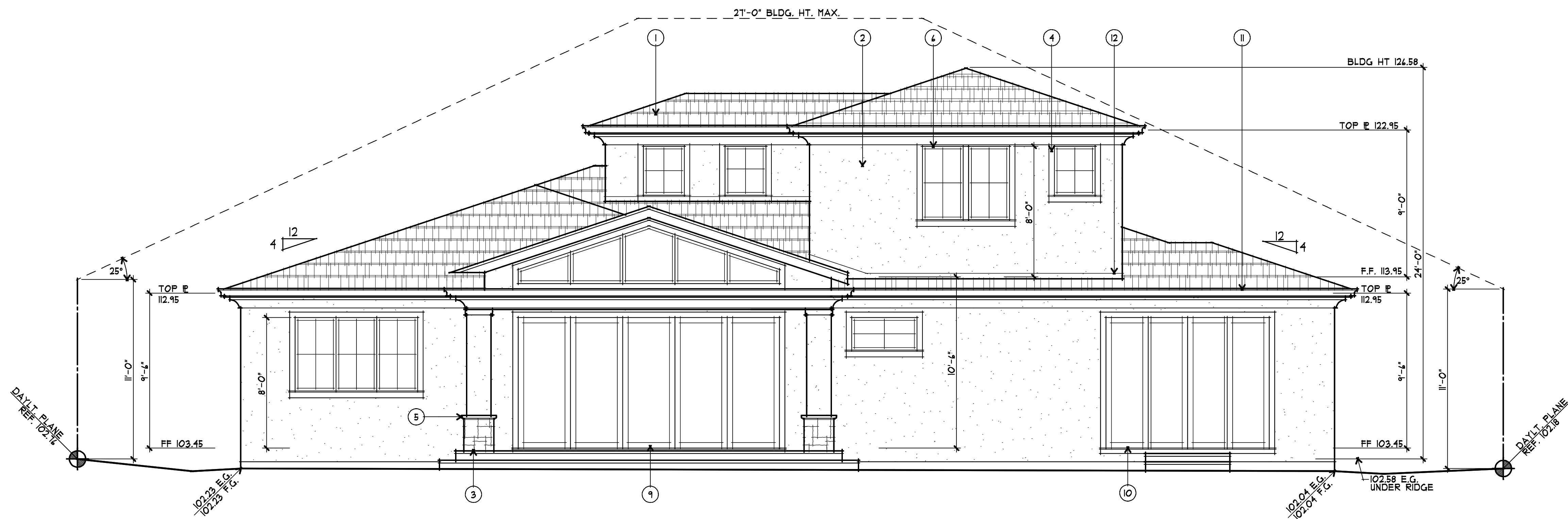


A PROPOSED TWO-STORY REMODEL & ADDITION FOR:
PRAYIR GUPTA & SUGANDH SHAIKHAR
 LOS ALTOS, CALIFORNIA
 435 CASITA WAY

drawings	EXTERIOR ELEVATIONS
revisions	8-22-22 PLANNING
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1 RIGHT (SOUTH) ELEVATION
 1/4" = 1'-0"



2 REAR (EAST) ELEVATION
 1/4" = 1'-0"

EXTERIOR FINISH SCHEDULE		
LOCATION	KEYNOTE	MATERIAL/COLOR
ROOF	①	LIGHT WEIGHT SLATE SHAPE CONCRETE TILE
WALLS	②	STUCCO W/ SMOOTH TROWEL FINISH
	③	STONE VENEER
TRIM	④	HARDI TRIM
	⑤	PRECAST WAINSCOT CAP/SILL
WINDOWS	⑥	ALUMINUM CLAD WOOD WINDOWS
DOORS	⑦	WOOD ENTRY DOOR W/ GLASS & SIDELITES
	⑧	CARRIAGE-STYLE, OVERHEAD SECTIONAL GARAGE DOOR W/ LITES
	⑨	ALUMINUM-CLAD WOOD BI-FOLD DOOR(S)
	⑩	ALUMINUM-CLAD WOOD SLIDING DOOR(S)
GUTTERS & DOWNSPOUTS	⑪	SHAPED G.I. GUTTERS & DOWNSPOUTS
FLASHING	⑫	G.I. FLASHING - PAINT
SKYLIGHTS	⑬	CURB MOUNTED OR SELF-FLASHING

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LICENSED ARCHITECT
 STATE OF CALIFORNIA
 No. C 1182
 Exp. 10-21

A PROPOSED TWO-STORY REMODEL & ADDITION FOR:
PRAYIR GUPTA & SUGANDH SHAIKHAR
 LOS ALTOS, CALIFORNIA
 435 CASITA WAY

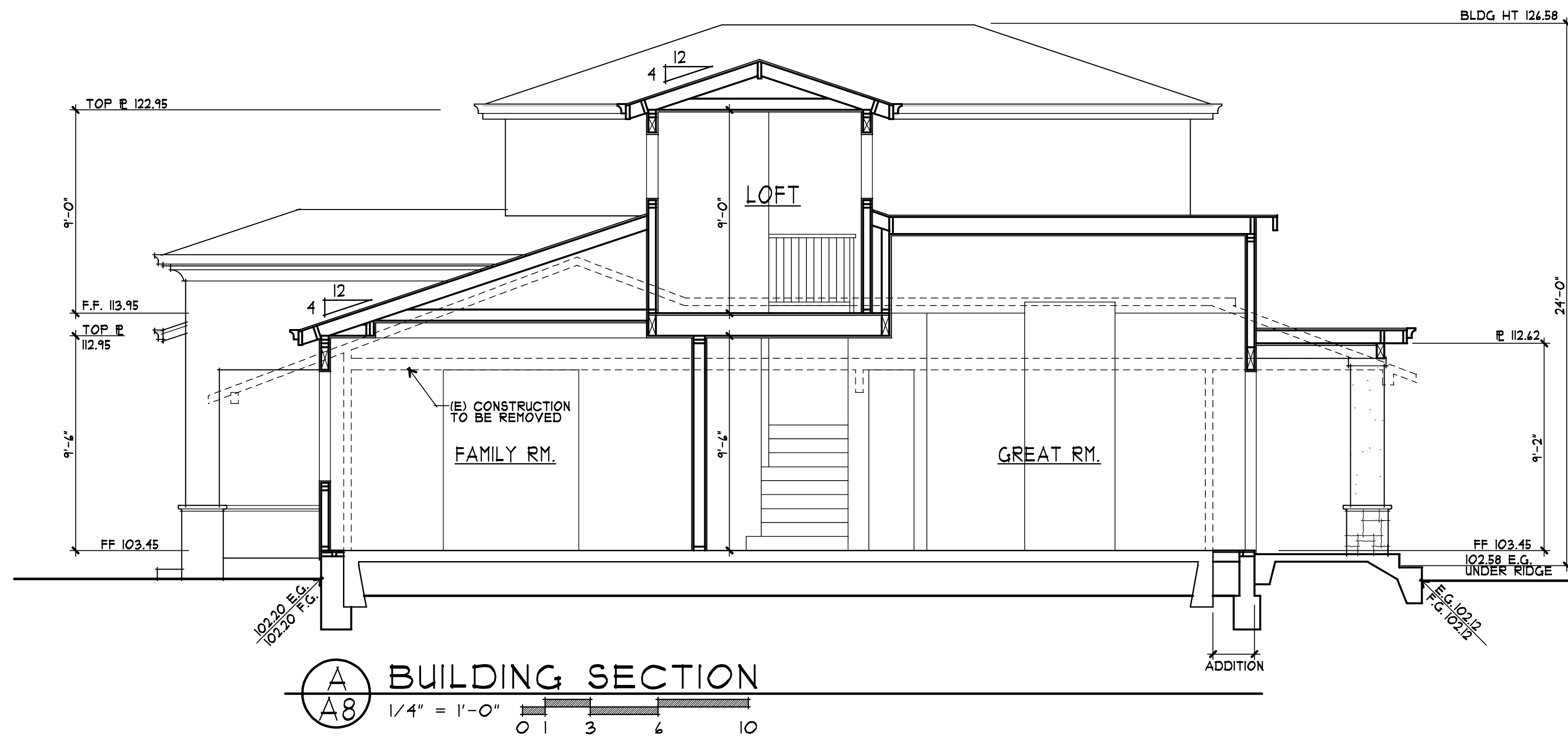
drawings
 EXTERIOR ELEVATIONS

revisions
 A 8-22-22 PLANNING

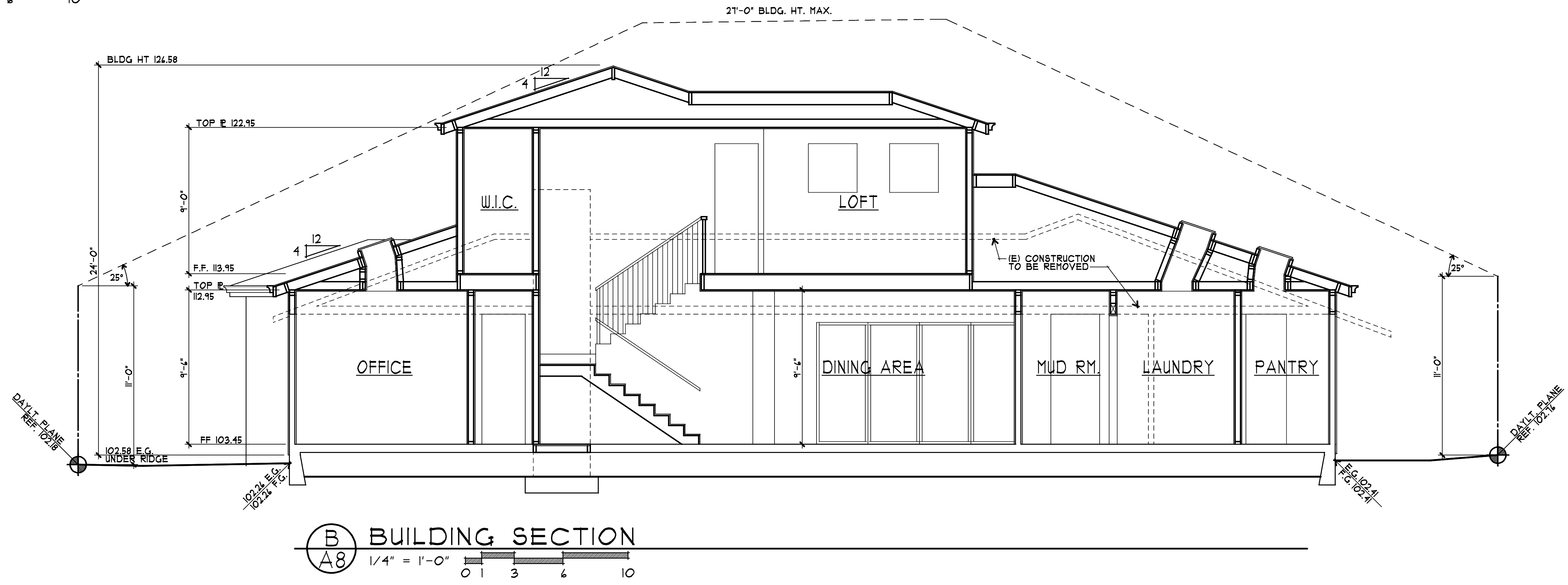
project number
 2514

date
 NOV. 2022

sheet number
 A7



A BUILDING SECTION
 A8 1/4" = 1'-0"



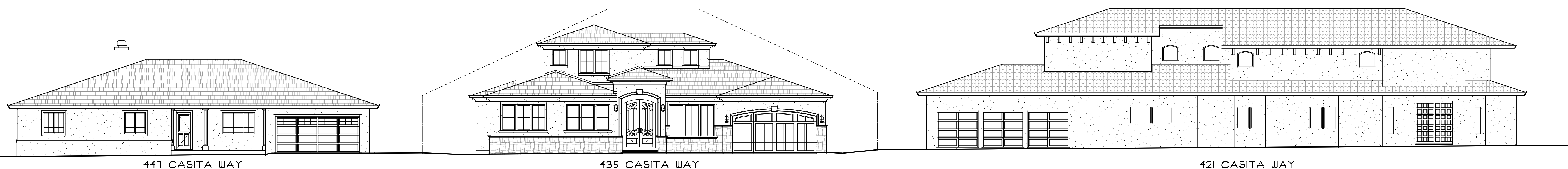
B BUILDING SECTION
 A8 1/4" = 1'-0"

EXTERIOR FINISH SCHEDULE		
LOCATION	KEYNOTE	MATERIAL/COLOR
ROOF	①	LIGHT WEIGHT SLATE SHAPE CONCRETE TILE
WALLS	②	STUCCO W/ SMOOTH TROWEL FINISH
	③	STONE VENEER
TRIM	④	HARDI TRIM
	⑤	PRECAST WAINSCOT CAP/SILL
WINDOWS	⑥	ALUMINUM CLAD WOOD WINDOWS
DOORS	⑦	WOOD ENTRY DOOR W/ GLASS & SIDELITES
	⑧	CARRIAGE-STYLE, OVERHEAD SECTIONAL GARAGE DOOR W/ LITES
	⑨	ALUMINUM-CLAD WOOD BI-FOLD DOOR(S)
	⑩	ALUMINUM-CLAD WOOD SLIDING DOOR(S)
GUTTERS & DOWNSPOUTS	⑪	SHAPED G.I. GUTTERS & DOWNSPOUTS
FLASHING	⑫	G.I. FLASHING - PAINT
SKYLIGHTS	⑬	CURB MOUNTED OR SELF-FLASHING

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 Exp. 10-21
 STATE OF CALIFORNIA

A PROPOSED TWO-STORY REMODEL & ADDITION FOR:
PRAYIR GUPTA & SUGANDH SHAIKHAR
 435 CASITA WAY
 LOS ALTOS, CALIFORNIA



A8 STREETSCAPE
 N.T.S.

drawings
 BUILDING SECTION
 STREETSCAPE

revisions
 8-22-22 PLANNING

project number
 2514

date
 NOV. 2022

sheet number
A8



421 CASITA WAY



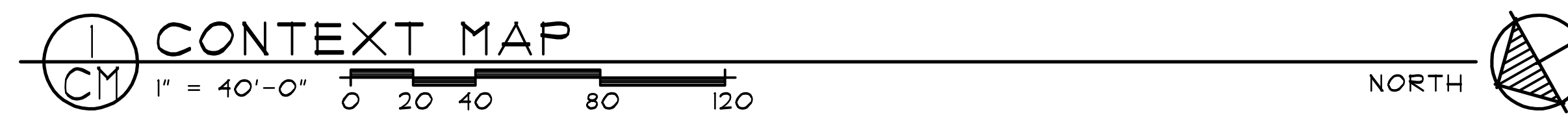
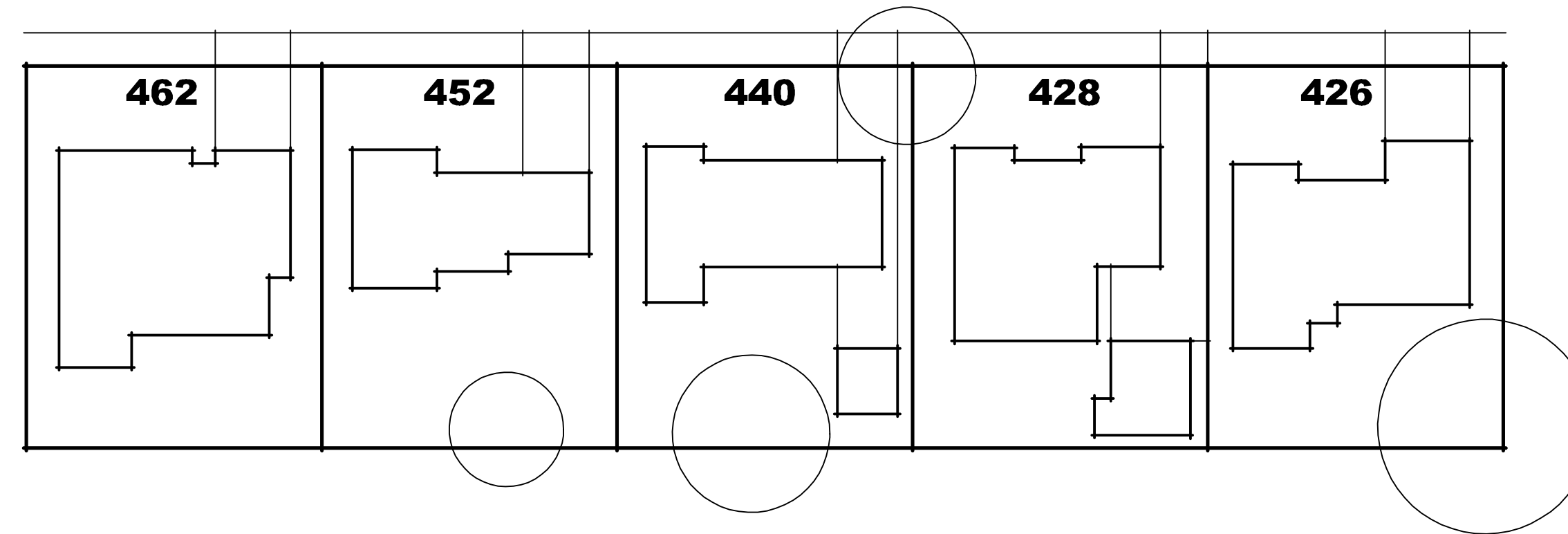
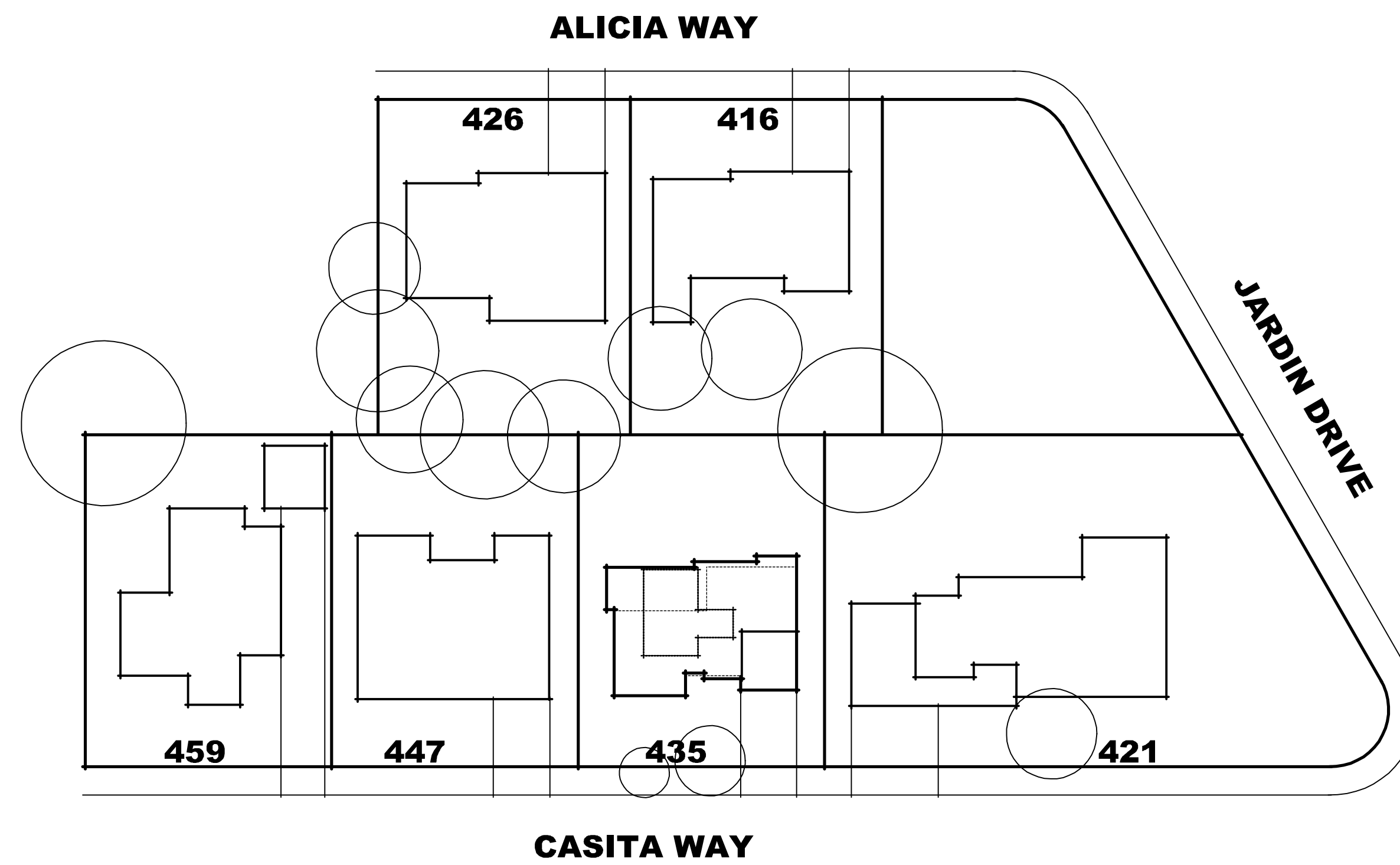
447 CASITA WAY



459 CASITA WAY



426 CASITA WAY



428 CASITA WAY



440 CASITA WAY



426 ALICIA WAY



416 ALICIA WAY



462 CASITA WAY



452 CASITA WAY

ASSOCIATES ARCHITECTS
 11010 combie rd. ste. 210
 AUBURN, CA 95602
 530-268-3055
 J. STEVE COLLOM
 rhaarchitects.com
 rhaassoc@abglobal.net

LICENSED ARCHITECT
 J. STEVE COLLOM
 No. C 11982
 Exp. 10-21
 STATE OF CALIFORNIA

A PROPOSED TWO-STORY REMODEL & ADDITION FOR:
PRAYIR GUPTA & SUGANDH SHAIKHAR
 LOS ALTOS, CALIFORNIA
 435 CASITA WAY

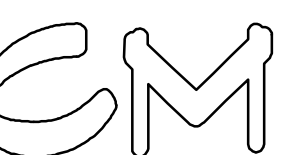
drawings
 CONTEXT MAP

revisions

project number
 2514

date
 7-1-2022

sheet number



ABBREVIATIONS

FL FLOWLINE
 TC TOP OF CURB
 EP EDGE OF PAVEMENT
 CONC CONCRETE
 LIP LIP OF GUTTER
 GS GROUND SHOT
 AD AREA DRAIN
 FF FINISH FLOOR
 BSL BUILDING SETBACK LINE

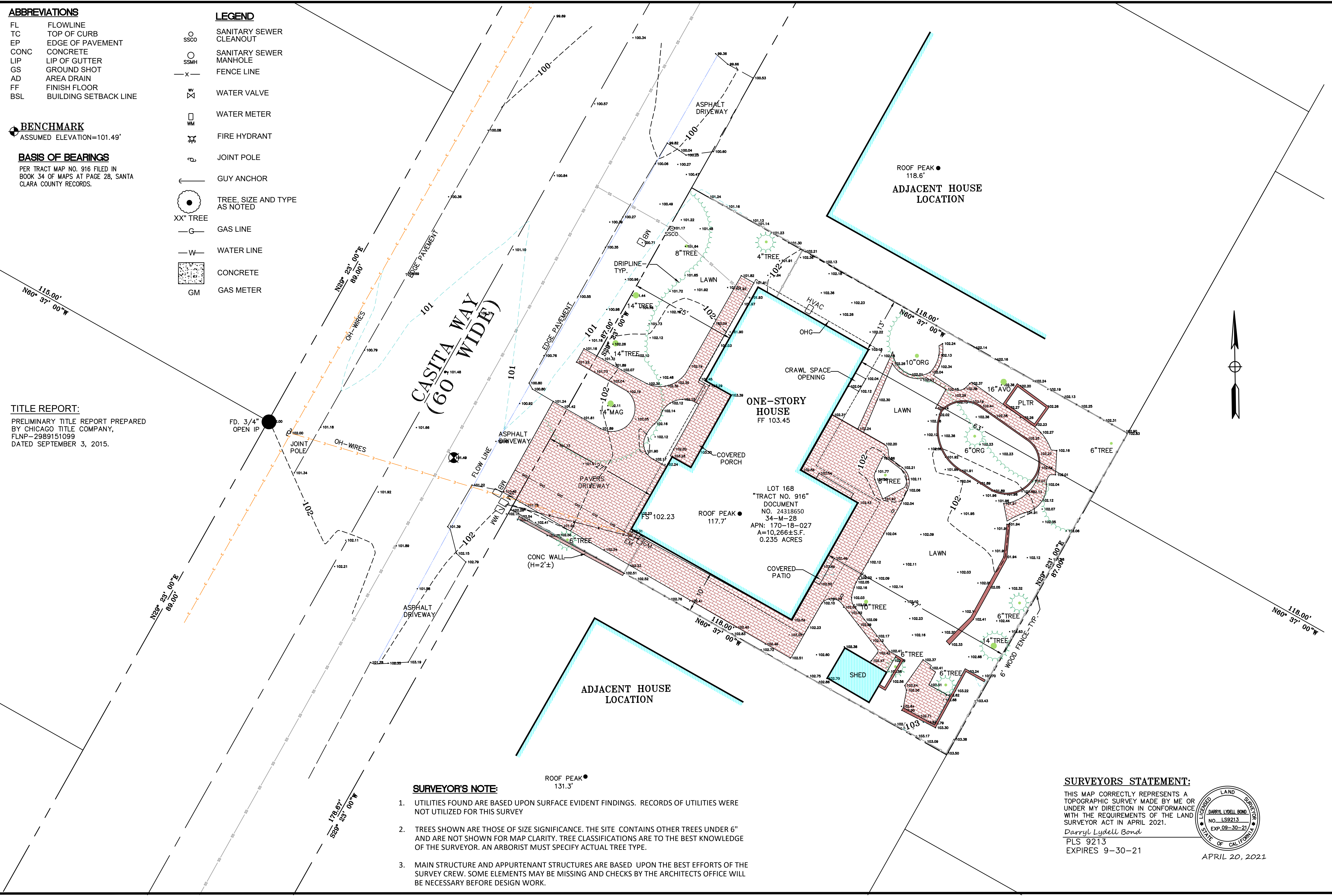
LEGEND

SSCO SANITARY SEWER CLEANOUT
 SSMH SANITARY SEWER MANHOLE
 X FENCE LINE
 W# WATER VALVE
 W# WATER METER
 FH FIRE HYDRANT
 J# JOINT POLE
 GUY ANCHOR
 TREE, SIZE AND TYPE AS NOTED
 XX" TREE
 G GAS LINE
 W WATER LINE
 CONC CONCRETE
 GM GAS METER

BENCHMARK
 ASSUMED ELEVATION=101.49'

BASIS OF BEARINGS
 PER TRACT MAP NO. 916 FILED IN BOOK 34 OF MAPS AT PAGE 28, SANTA CLARA COUNTY RECORDS.

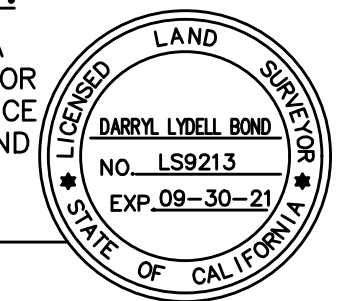
TITLE REPORT:
 PRELIMINARY TITLE REPORT PREPARED BY CHICAGO TITLE COMPANY, FLNP-2989151099 DATED SEPTEMBER 3, 2015.



SURVEYOR'S NOTE:

- UTILITIES FOUND ARE BASED UPON SURFACE EVIDENT FINDINGS. RECORDS OF UTILITIES WERE NOT UTILIZED FOR THIS SURVEY
- TREES SHOWN ARE THOSE OF SIZE SIGNIFICANCE. THE SITE CONTAINS OTHER TREES UNDER 6" AND ARE NOT SHOWN FOR MAP CLARITY. TREE CLASSIFICATIONS ARE TO THE BEST KNOWLEDGE OF THE SURVEYOR. AN ARBORIST MUST SPECIFY ACTUAL TREE TYPE.
- MAIN STRUCTURE AND APPURTENANT STRUCTURES ARE BASED UPON THE BEST EFFORTS OF THE SURVEY CREW. SOME ELEMENTS MAY BE MISSING AND CHECKS BY THE ARCHITECTS OFFICE WILL BE NECESSARY BEFORE DESIGN WORK.

SURVEYORS STATEMENT:
 THIS MAP CORRECTLY REPRESENTS A TOPOGRAPHIC SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE LAND SURVEYOR ACT IN APRIL 2021.
 Darryl Lydell Bond
 PLS 9213
 EXPIRES 9-30-21



NNR ENGINEERING SERVICES CO.
 DARRYL LYDELL BOND PLS 9213
 535 WEBER DRIVE, SAN JOSE, CA 95123
 (408) 348-7813
 nnrengineering@yahoo.com

CALIFORNIA

TOPOGRAPHICAL SURVEY

435 CASITA WAY

SANTA CLARA COUNTY

LOS ALTOS

SCALE	DATE	DRAWN	CHECKED	PROJ. MGR.
1" = 10'	4/20/21	NR	D. BOND	DB

SHEET NO. **1**

OF 1 SHEETS

JOB NO. CASITA WAY

CAD FILE:

GRADING AND DRAINAGE CONSTRUCTION NOTES:

- DIRECT ROOF DOWNSPOUT LEADERS TO APPROVED SPLASH BLOCKS (2' LENGTH MIN.). DIRECT AWAY FROM BUILDING FOR POSITIVE FLOW, & TOWARDS PERVIOUS AREA OF THE SITE - TYP. SEE DETAIL ON SHEET C-2.
- DIRECT SURFACE FLOW DRAINAGE AWAY FROM BUILDING AT 2% SLOPE FOR PAVED AREAS AND SLOPE 5% FOR AT LEAST 10 FEET, FOR NON-PAVED (DIRT & LANDSCAPE) AREAS.
- 4" SDR-26 SS. LAT. @ 2% MIN.
- 6" PVC (SDR-35) @ S=0.5% MIN.
- INFILTRATION DEVICE, 5'X8'X4.5' DEEP, SEE DETAIL.
- EARTH SWALE, SEE DETAIL.
- INSTALL (N)"ATMOSPHERIC & LISTED ACCESSIBLE BACK FLOW WATER VALVE".
- INSTALL (N) DOMESTIC WATER BACKFLOW PREVENTION DEVICE IF NECESSARY FOR FIRE SPRINKLER SYSTEM.
- INSTALL (N) SSSO PER CITY STD. DETAIL SS-5.

GENERAL NOTES

- CONTRACTOR SHALL EXERCISE ALL NECESSARY CAUTION TO AVOID DAMAGE TO ANY EXISTING TREES AND SURFACE IMPROVEMENTS WHICH ARE TO REMAIN IN PLACE AND SHALL BEAR FULL RESPONSIBILITY FOR ANY DAMAGE THERETO.
- EXISTING UNDERGROUND LINES, APPURTENANCES AND FACILITIES WHICH ARE KNOWN TO THE ENGINEER ARE SHOWN FOR INFORMATION ONLY. CONTRACTOR SHALL EXERCISE ALL NECESSARY CAUTION TO AVOID DAMAGE TO ANY EXISTING FACILITIES WHICH ARE TO REMAIN IN PLACE, WHETHER OR NOT SUCH FACILITIES ARE SHOWN ON THE PLANS, AND SHALL BEAR FULL RESPONSIBILITY FOR ANY DAMAGE THERETO. NO WARRANTY IS GIVEN AS TO THE COMPLETENESS AND ACCURACY OF SUCH FACILITIES INFORMATION.
- ALL CONTRACTORS WILL BE RESPONSIBLE FOR VERIFICATION OF THE LOCATION OF ALL EXISTING UTILITIES IN THE FIELD. LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND FOR GENERAL INFORMATION ONLY.
- CONTRACTOR SHALL CALL UNDERGROUND SERVICES ALERT "USA" CENTER AT 800/642-2444, A TOLL-FREE NUMBER, 48 HOURS IN ADVANCE OF ANY EXCAVATION ACTIVITY SO ALL UNDERGROUND FACILITIES CAN BE LOCATED AND MARKED.
- CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONNEL AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE CITY, THE OWNER, AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONJUNCTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT EXCEPT FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE CITY OR THE ENGINEER.
- IT SHALL BE THE RESPONSIBILITY OF THE VARIOUS CONTRACTORS TO COORDINATE THEIR WORK SO AS TO ELIMINATE CONFLICTS AND TO INSURE COMPLETION OF THE ENTIRE PROJECT WITHIN THE SPECIFIED PERIOD.
- THE CONTRACTOR SHALL MAINTAIN THE STREET, SIDEWALKS AND ALL OTHER RIGHTS-OF-WAY IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC, SHALL BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION.

UNDERGROUND NOTES

- CONTRACTORS SHALL EXPOSE AND VERIFY PIPE MATERIAL, LINE SIZE, LOCATION AND ELEVATION OF EXISTING UTILITIES, INCLUDING SANITARY SEWERS, STORM DRAINS, AND WATER LINES AT ALL TE-INS AND CROSSINGS PRIOR TO CONSTRUCTING NEW FACILITIES.
- UNLESS OTHERWISE NOTED, ALL STORM DRAINS, SANITARY SEWERS, MANHOLES AND INLETS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE CITY OF LOS ALTOS STANDARD SPECIFICATIONS AND STANDARD PLAN DETAILS AS DESIGNATED AND TO DETAILS AS SHOWN ON THE PLAN.
- ALL TRENCH EXCAVATION, BACKFILL AND BEDDING FOR STORM DRAINS AND SANITARY SEWERS SHALL CONFORM TO THE CITY OF LOS ALTOS
- ALL TRENCHES AND EXCAVATIONS SHALL BE CONSTRUCTED IN STRICT COMPLIANCE WITH THE APPLICABLE SECTIONS OF CALIFORNIA AND FEDERAL O.S.H.A. REQUIREMENTS AND OTHER APPLICABLE SAFETY ORDINANCES. CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR
- ALL GAS, ELECTRICAL, TELEPHONE AND CABLE T.V. UTILITIES, WILL BE DESIGNED AND CONSTRUCTED BY OTHERS UNDER SEPARATE CONTRACTS

ENCROACHMENT PERMIT

NO PROPOSED CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY SHALL BEGIN UNTIL CITY REQUIREMENTS FOR THE ISSUANCE OF AN ENCROACHMENT PERMIT, INCLUDING REVIEW OF THE PLANS, HAVE BEEN MET AND AN ENCROACHMENT PERMIT ISSUED.
 ANY DAMAGED RIGHT-OF-WAY INFRASTRUCTURES AND OTHERWISE DISPLACED CURB, GUTTER SHALL BE REMOVED AND REPLACED AS DIRECTED BY THE CITY ENGINEER OR HIS DESIGNEE. CONTRACTOR SHALL COORDINATE WITH PUBLIC WORKS, DEPARTMENT AT (650) 947-2780

TREE NOTE:

ALL TREE PROTECTION FENCING SHALL BE CHAIN LINK AND A MINIMUM OF FIVE FEET IN HEIGHT WITH POSTS DRIVEN INTO THE GROUND. IT SHALL BE INSTALLED PRIOR TO ISSUANCE OF THE DEMOLITION PERMIT AND SHALL NOT BE REMOVED UNTIL ALL BUILDING CONSTRUCTION HAS BEEN COMPLETED. TYPICAL AS NOTED.

ABBREVIATION

AD	AREA DRAIN
CO	CLEANOUT
(E)	EXISTING
FG	FINISH GRADE
FL	FLOW LINE
FS	FINISH SLAB
INV	INVERT
(N)	NEW
SS	SANITARY SEWER
SSCO	SANITARY SEWER CLEANOUT
RDS	ROOF DOWNSPOUT
CB	CATCH BASIN

GENERAL NOTE

- ANY DAMAGED RIGHT-OF-WAY INFRASTRUCTURES AND OTHERWISE DISPLACED CURB AND GUTTER SHALL BE REMOVED AND REPLACED AS DIRECTED BY THE CITY ENGINEER OR HIS DESIGNEE. CONTRACTOR SHALL COORDINATE WITH PUBLIC WORKS DEPARTMENT AT (650) 947-2680.
- PRIOR TO THE COMMENCEMENT OF ANY WORK DONE IN THE PUBLIC RIGHT-OF-WAY, A PERMIT TO OPEN STREET AND/OR AN ENCROACHMENT PERMIT WILL BE REQUIRED.

DRAINAGE NOTES:

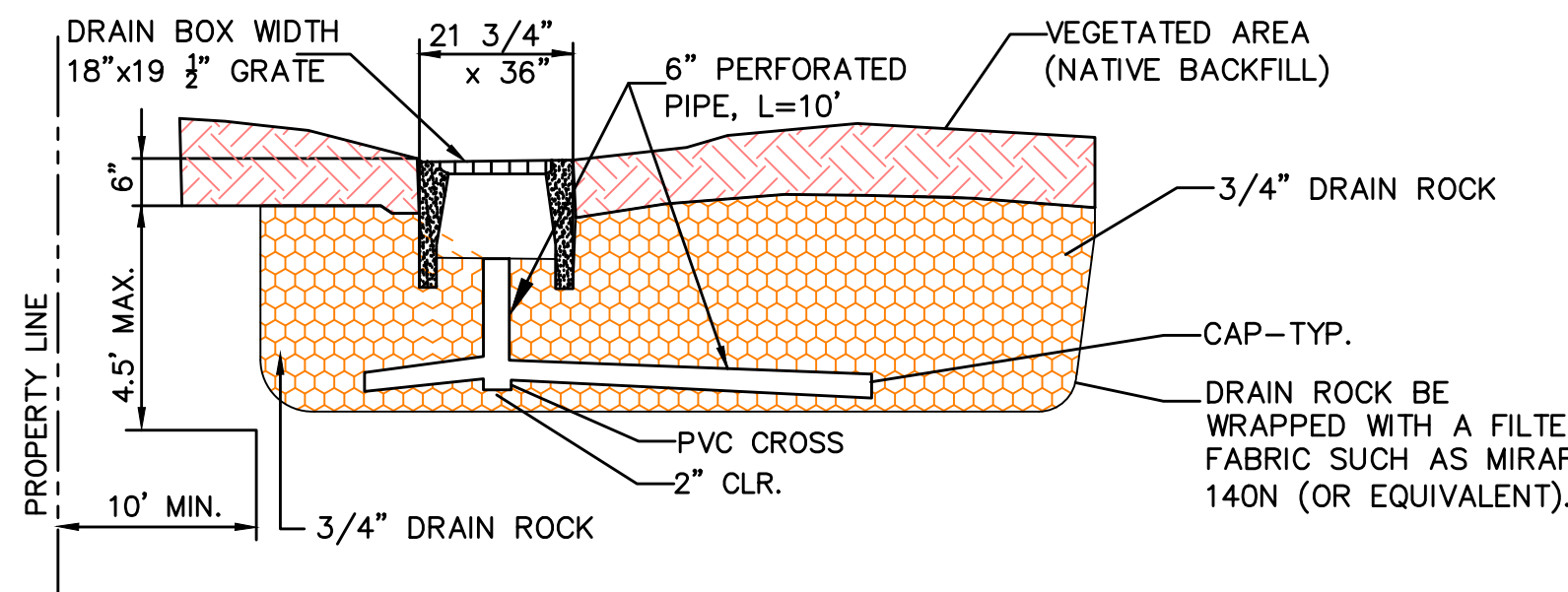
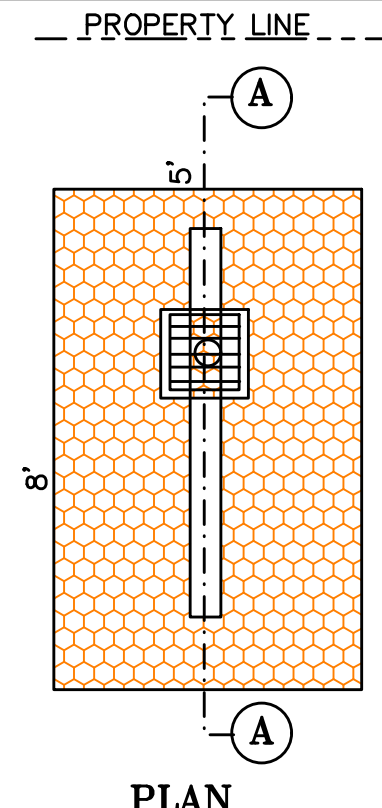
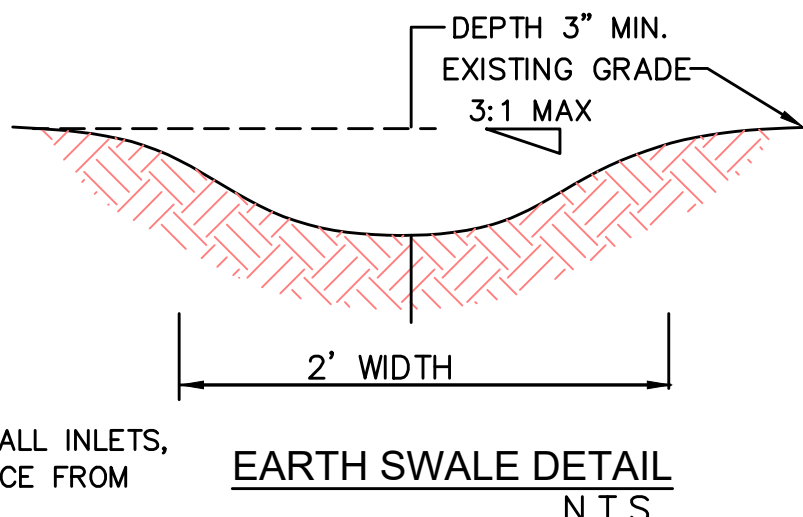
- CB RIM 102.0± INV 100.3±
- AD RIM 102.0± INV 100.0±
- AD RIM 102.0± INV 99.7±
- AD RIM 101.8± INV 99.5±
- AD RIM 101.7± INV 99.0±
- CB RIM 101.6± INV 98.5±

LEGEND:

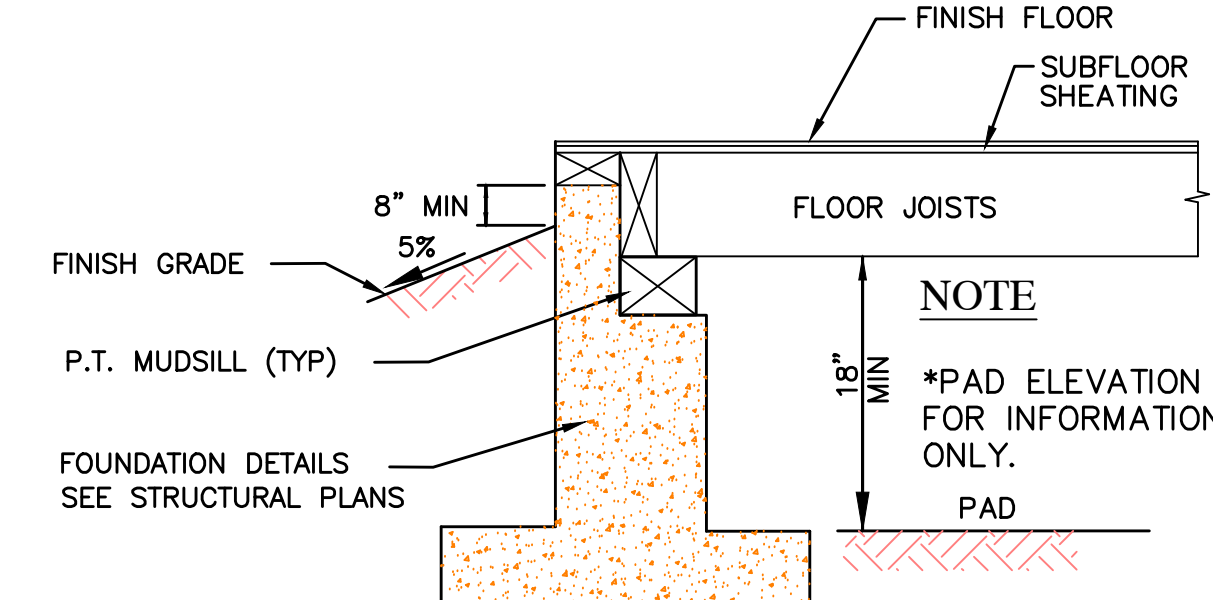
- AREA DRAIN (CHRISTY BOX V-1) OR EQUAL
- CATCH BASIN (CHRISTY BOX V-24) OR EQUAL

MAINTENANCE NOTES

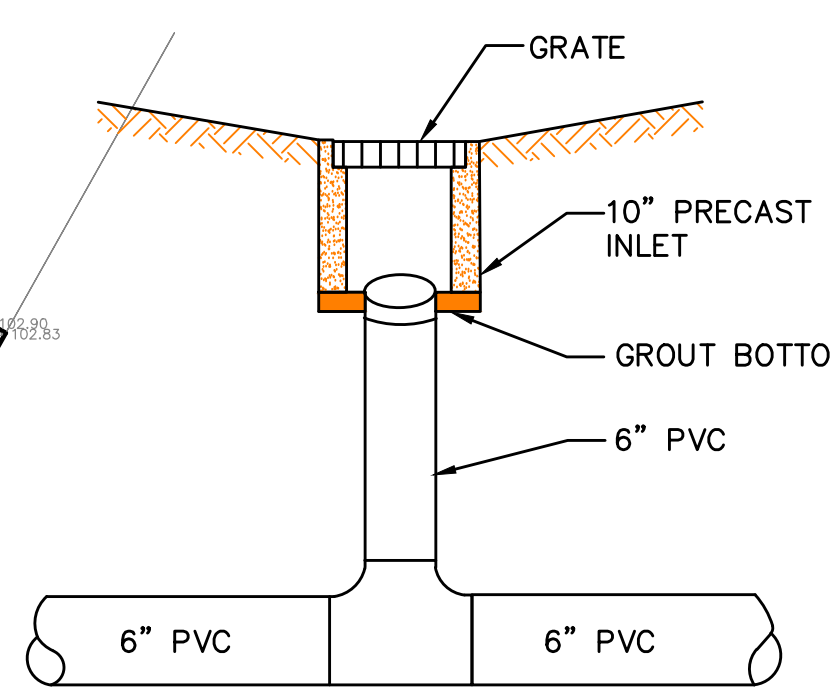
- OWNER IS RESPONSIBLE FOR MAINTAINING ALL INLETS, RETENTION SYSTEM AND INFILTRATION DEVICE FROM TRASH, DEBRIS & SEDIMENTS.
- THE REGULAR CLEARING OF SILT AND DEBRIS IS ESPECIALLY IMPORTANT PRIOR TO EACH RAINY SEASON.



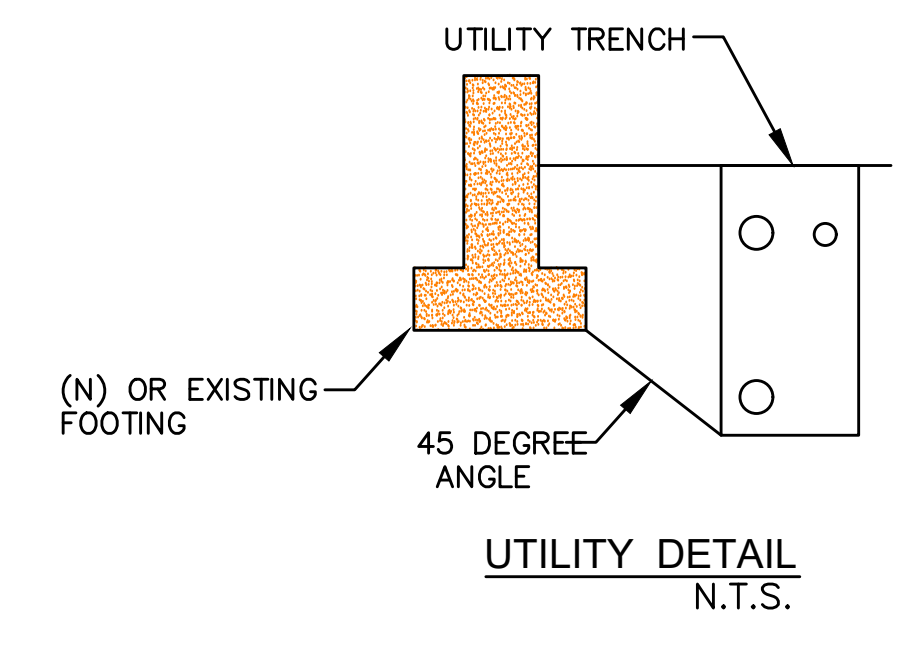
SECTION A-A
INFILTRATION DEVICE DETAIL
N.T.S.



EXTERIOR GRADING DETAIL
N.T.S.



AREA DRAIN DETAIL
N.T.S.



UTILITY DETAIL
N.T.S.

DESCRIPTION

PROPERTY LINE	---
CENTERLINE	---
SANITARY SEWER	SS SS SS SS SS SS SS SS
STORM DRAIN LINE	SD SD SD SD SD SD SD SD
DRAINAGE FLOW	→
REMOVE TREE	X

LEGEND

EARTH WORK NOTE:

THE CONTRACTOR SHALL STRICTLY ADHERE TO THE SOILS ENGINEER'S RECOMMENDATIONS ON STRIPPING AND SITE PREPARATION FOR ALL PERTINENT GRADING, PAVING AND TRENCH BACKFILL ON THIS SITE.

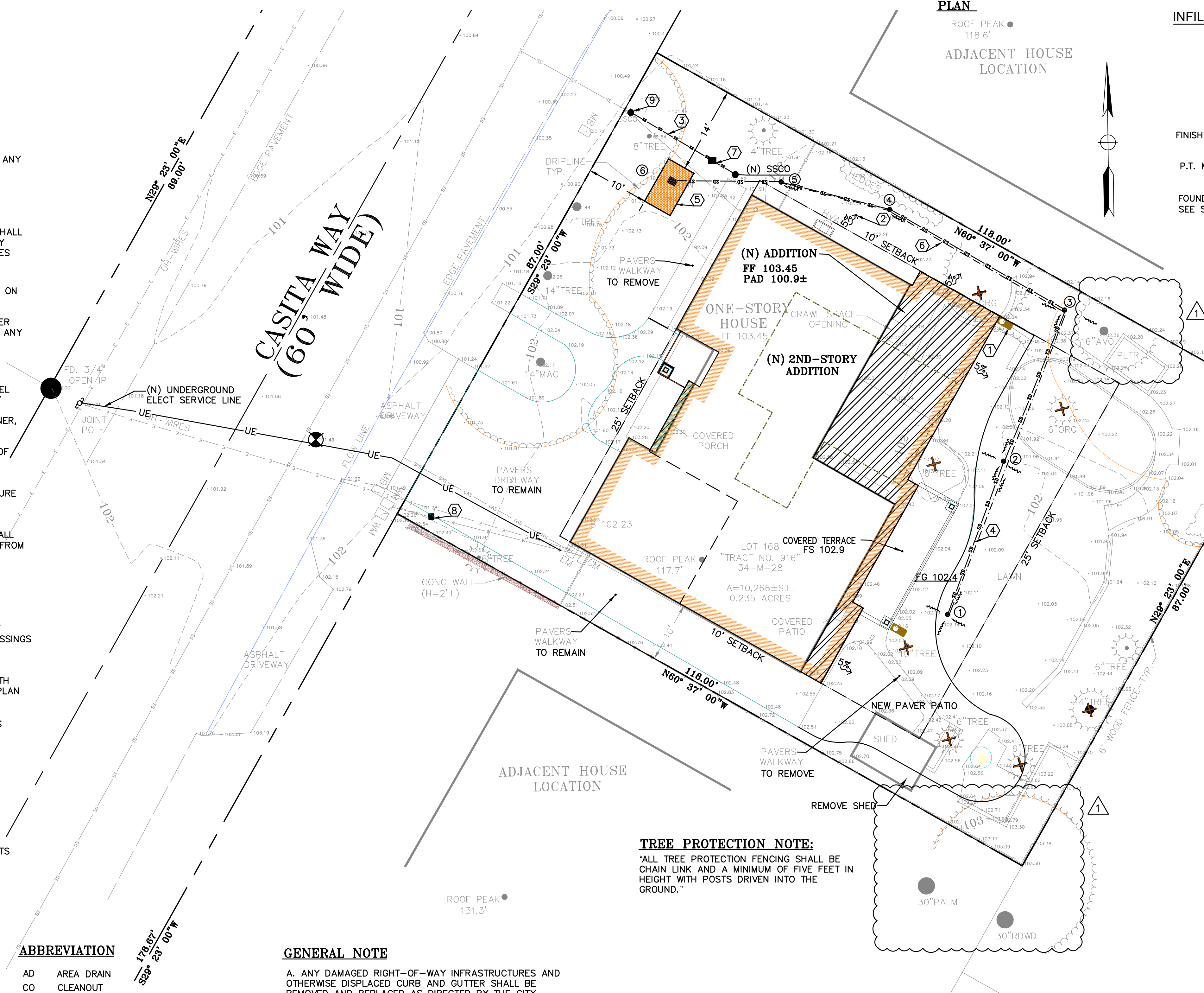
NOTE:

THE QUANTITIES ARE SHOWN FOR THE PURPOSE OF GRADING PERMIT APPROVAL FROM THE CITY OF LOS ALTOS AND ARE NOT TO BE USED FOR PAYMENT TO THE CONTRACTOR. CONTRACTOR SHALL ESTABLISH HIS OWN QUANTITIES.

APPROXIMATE CUT REQUIRED	70± CY
FILL REQUIRED	0± CY

SHEET INDEX

GRADING AND DRAINAGE PLAN	C-1
EROSION CONTROL PLAN	C-2
BLUEPRINT FOR A CLEAN BAY	C-3



TREE PROTECTION NOTE:

"ALL TREE PROTECTION FENCING SHALL BE CHAIN LINK AND A MINIMUM OF FIVE FEET IN HEIGHT WITH POSTS DRIVEN INTO THE GROUND."



NNR ENGINEERING
 SERVICES CO.
 585 WEBBIDGE DRIVE
 SAN JOSE, CALIFORNIA 95128
 (408) 348-7888

CALIFORNIA

435 CASITA WAY
 LOS ALTOS
 APN: 170-18-027

SANTA CLARA COUNTY

MINOR GRADING AND DRAINAGE PLAN

ADD DRIPLINE 10/26/22

REVISIONS DATE

JOB NO:

DATE: 6-27-2022

SCALE: 1" = 10'

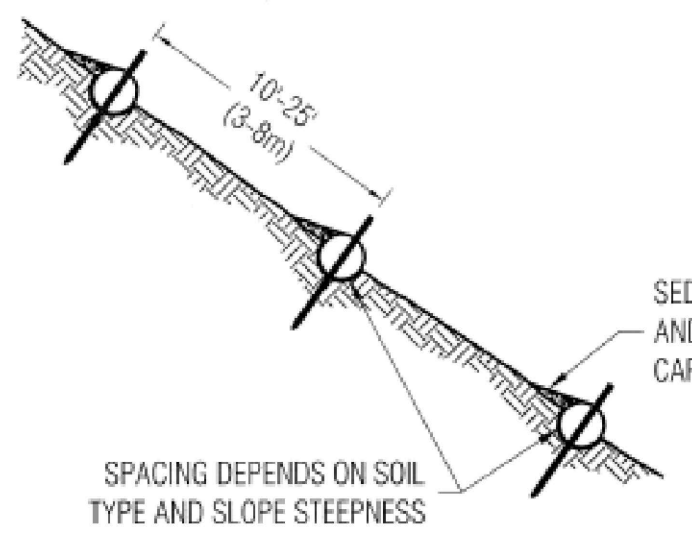
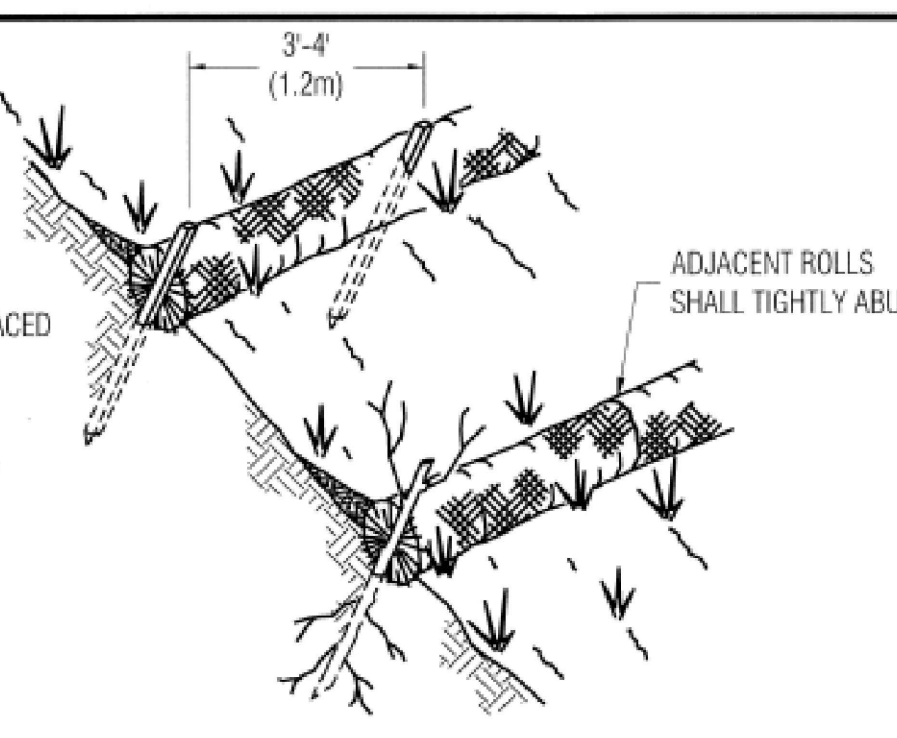
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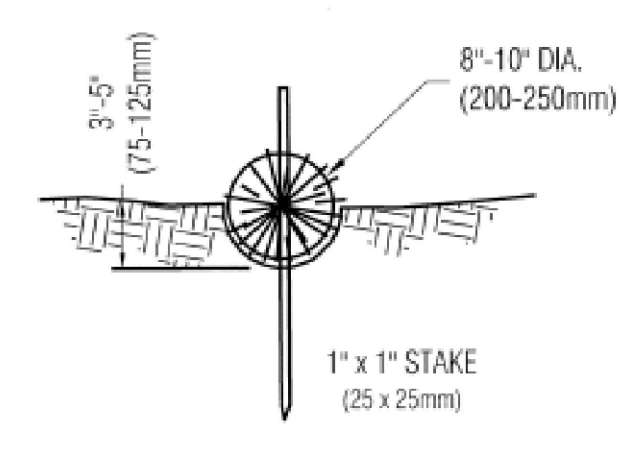
C-1

OF 3 SHEETS

NOTE:
STRAW ROLLS MUST BE PLACED
ALONG SLOPE CONTOURS



SEDIMENT, ORGANIC MATTER,
AND NATIVE SEEDS ARE
CAPTURED BEHIND THE ROLLS



- NOTES:
- STRAW ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE ROLL IN A TRENCH 3'-5" (75-125mm) DEEP, DUG ON CONTOUR. RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND ROLL.
 - VERTICAL SPACING FOR SLOPE INSTALLATIONS:
1:1 SLOPES = 10 FEET APART
2:1 SLOPES = 20 FEET APART
3:1 SLOPES = 30 FEET APART
4:1 SLOPES = 40 FEET APART
<4:1 SLOPE = ONE ROW AT LOW POINT
 - REMOVED SEDIMENT SHALL BE DEPOSITED IN AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT TO RUN OFF-SITE AND CAN BE PERMANENTLY STABILIZED.

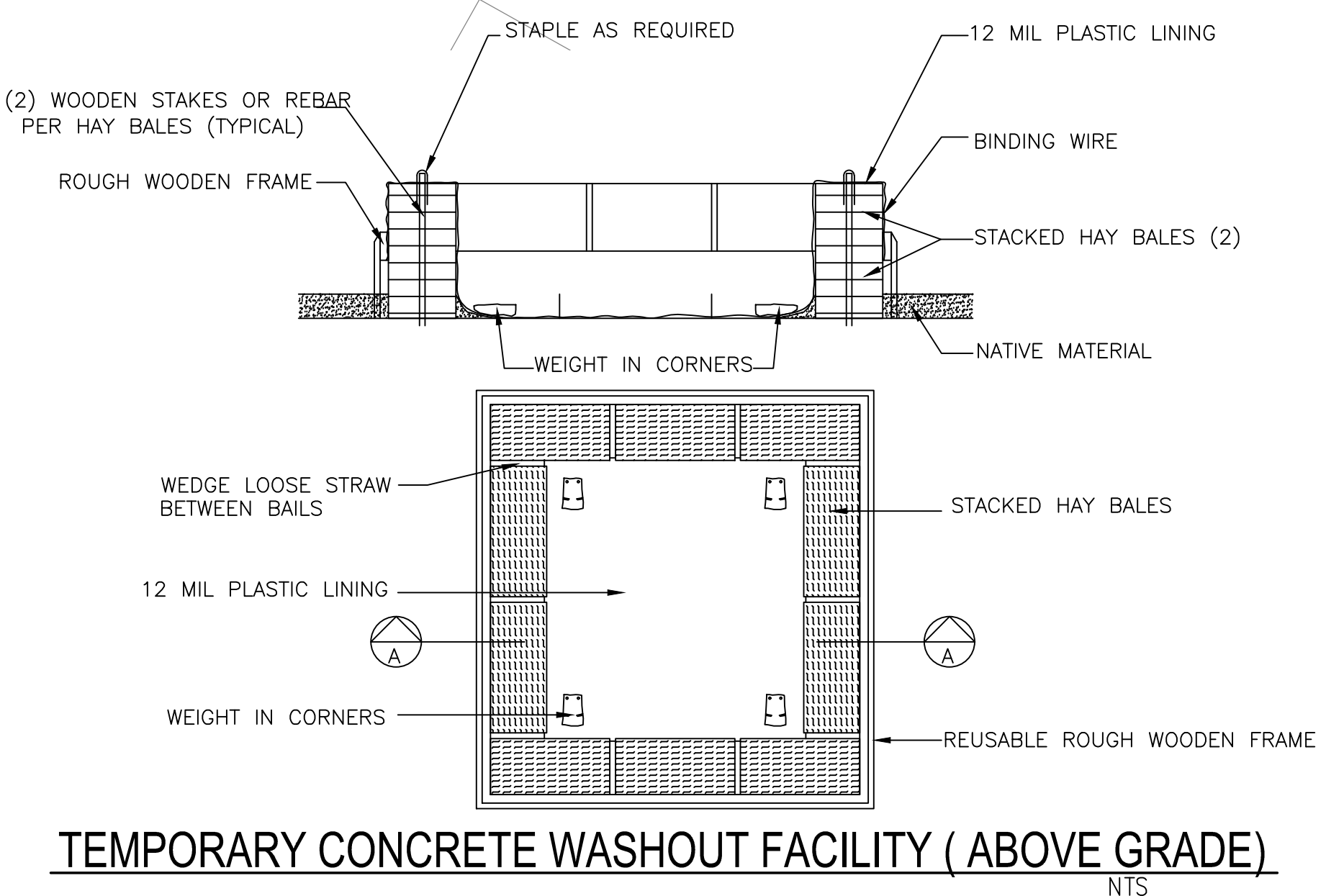
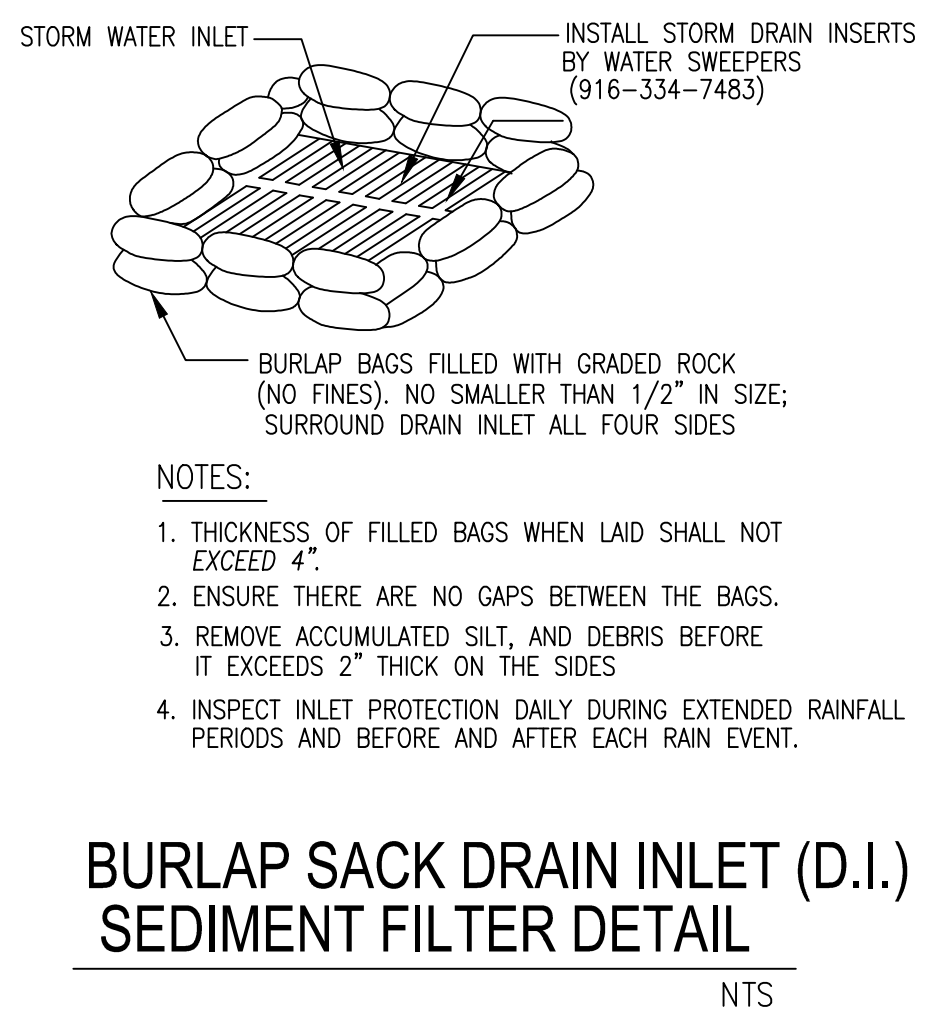
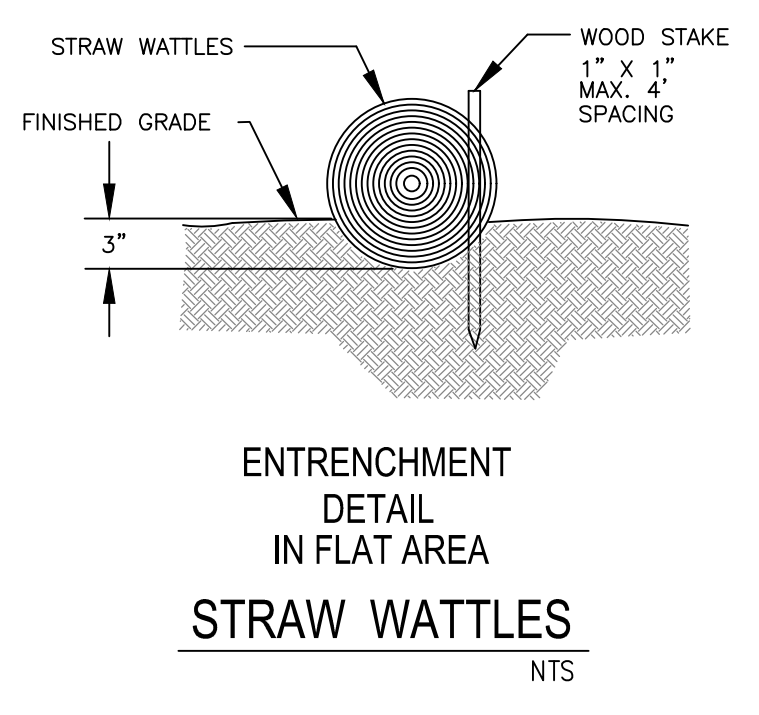
Approved: *[Signature]*
City Engineer

REVISION		ENGINEERING DIVISION	
Description	Date		
		STRAW ROLLS	EC-4

STANDARD DETAILS MAY 2010

EROSION AND SEDIMENT CONTROL NOTES:

- ALL CONSTRUCTION ACTIVITIES SHALL BE PERFORMED IN CONFORMANCE WITH THE STORM WATER POLLUTION PREVENTION PLAN FOR THIS PROJECT AND AS REQUIRED BY THE STATE OF CALIFORNIA WATER RESOURCES CONTROL BOARD ORDER R2-2003-0021 AND NPDES PERMIT NO. CAS 0029831.
- THE DEVELOPER IS RESPONSIBLE FOR ENSURING THAT ALL CONTRACTORS AND SUBCONTRACTORS ARE AWARE OF ALL STORM WATER QUALITY MEASURES AND IMPLEMENT SUCH MEASURES. FAILURE TO COMPLY WITH THE APPROVED CONSTRUCTION BEST MANAGEMENT PRACTICES WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATIONS, AND/OR STOP ORDERS.
- ANY VEHICLE OR EQUIPMENT WASHING/STEAM CLEANING MUST BE DONE AT AN APPROPRIATELY EQUIPPED FACILITY WHICH DRAINS TO THE SANITARY SEWER. OUTDOOR WASHING MUST BE MANAGED IN SUCH A WAY THAT THERE IS NO DISCHARGE OF SOAPS, SOLVENTS, CLEANING AGENTS OR OTHER POLLUTANTS TO THE STORM DRAINS. WASH WATER SHALL DISCHARGE TO THE SANITARY SEWER, SUBJECT TO REVIEW AND APPROVAL OF THE CITY ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LITTER CONTROL AND SWEEPING OF ALL PAVED SURFACES DURING CONSTRUCTION.
- THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 1 TO APRIL 30. EROSION CONTROL MEASURES ARE TO BE FUNCTIONAL PRIOR TO OCTOBER 1ST OF ANY YEAR GRADING OPERATIONS HAVE LEFT AREAS UNPROTECTED FROM EROSION.
- ALL ON-SITE STORM DRAINS SHALL BE CLEANED IMMEDIATELY BEFORE THE START OF THE RAINY SEASON BEGINNING ON OCTOBER 1ST EACH YEAR, SUBJECT TO THE REVIEW OF THE BUILDING/ENGINEERING INSPECTOR.
- IF RAINY WEATHER BECOMES IMMINENT, GRADING OPERATIONS SHALL BE STOPPED AND EROSION CONTROL MEASURES SHALL BE IMPLEMENTED TO PROTECT DISTURBED AREAS.
- DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO ANY STORM DRAIN SYSTEM.
- CONSTRUCTION ENTRANCES SHALL CONSIST OF A MINIMUM 8" THICK LAYER OF 3"-4" FRACTURED STONE AGGREGATE UNLAINED WITH GEOTEXTILE LINER FOR A MINIMUM DISTANCE OF 50 FEET, AND IS TO BE PROVIDED AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS. THE DEPTH AND LENGTH OF AGGREGATE MAY NEED TO BE ADJUSTED IN THE FIELD TO ENSURE NO TRACKING OF SEDIMENT ONTO EXISTING PAVED STREETS. CONSTRUCTION ENTRANCES SHALL SLOPE AWAY FROM EXISTING PAVED STREETS.
- INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL MEASURES ARE TO BE BLOCKED UNLESS THE AREA DRAINED IS UNDISTURBED OR STABILIZED.
- BORROW AREAS AND TEMPORARY STOCKPILES SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES TO THE SATISFACTION OF THE CITY ENGINEER.
- NO STRAW BALES OR SILT FENCES SHALL BE USED AS EROSION CONTROL MEASURES. SILT FENCES MAY ONLY BE USED AS A PHYSICAL BARRIER TO PREVENT VEHICULAR AND PEDESTRIAN TRAFFIC FROM USING NON-APPROVED ACCESS POINTS (E.G. - ALONG RIGHT-OF-WAY).



NIR ENGINEERING
ENGINEERS CO.
685 WETMORE DRIVE
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(408) 946-7885

CALIFORNIA

435 CASITA WAY
LOS ALTOS
APN: 170-18-027

SANTA CLARA COUNTY

**EROSION CONTROL
PLAN**

REVISIONS	DATE

JOB NO:
DATE: 6-27-2022
SCALE: 1" = 10'
DRAWN BY: NIR
SHEET NO:

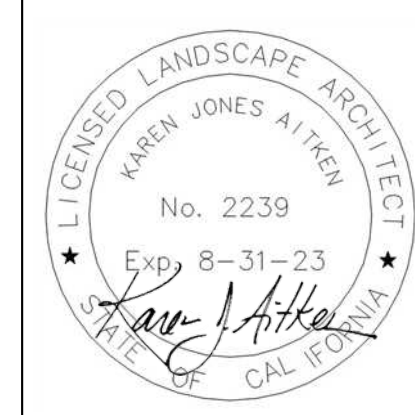
C-2

REVISIONS	BY



KAREN AITKEN & ASSOCIATES
LANDSCAPE ARCHITECTS
 8262 Rancho Real Gilroy Ca. 95020
 Calif. Reg. #2239 (408) 842-0245
 karen@KAA.Design

GUPTA RESIDENCE
 435 Casita Way, Los Gatos, CA
LAYOUT & DIMENSION PLAN



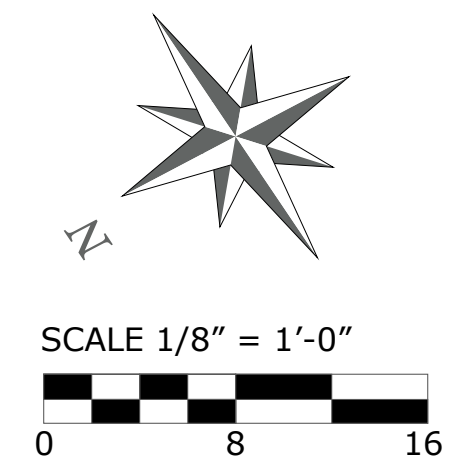
DATE	11-11-22
SCALE	1/8" = 1'-0"
DRAWN	IN-SL
JOB	GUPTA

L-1

*** Note Utility Lines**
 - - - - - Electric line
 3/4" UI schedule
 40 electrical conduit
 18" Min. Below Finish Grade
 for 12GA THWN wire



Casita Way



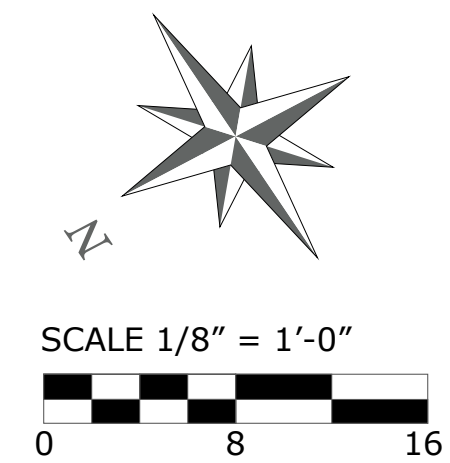
Plant Legend					
BOTANICAL	COMMON	QTY	SIZE	WATER	REMARKS
Tree					
Acer palmatum 'Dissectum Viridis'	Laceleaf Japanese Maple	1	24" Box	Medium, Extra in Summer	
Citrus sinensis	Orange Cultivars	1	15 Gallon	Medium	
Citrus x 'Dwarf Meyer'	Dwarf Meyer Lemon	1	15 Gallon	Low, Medium, Extra in Summer	
Eriobotrya japonica	Loquat	1	15 Gallon	Low	
Fruit Tree	Owners Choice	1	15 Gallon	Medium	Espaliered Fruit Tree
Laurus nobilis	Grecian Laurel	9	15 Gallon	Low	
Prunus persica var. nucipersica	Nectarine	1	15 Gallon	Medium, Extra in Summer	'White'
Punica granatum	Pomegranate	1	15 Gallon	Low	
Shrub					
Camellia japonica 'Nuccio's Pearl'	Nuccio's Pearl Shade Camellia	3	5 Gallon	Medium, Extra in Summer	
Coleonema pulchellum 'Compacta'	Dwarf Breath of Heaven	3	1 Gallon	Medium	
Nandina domestica	Nandina, Heavenly Bamboo	2	5 Gallon	Low	
Pittosporum tenuifolium	Blackstem Pittosporum	8	15 Gallon	Medium	
Rosa 'Iceberg'	Iceberg Floribunda Rose	13	5 Gallon	Medium	
Ground cover					
Agapanthus africanus	Lily of the Nile	5	1 Gallon	Medium, Extra in Summer	
Ajuga reptans	Carpet Bugle	10	1 Gallon	Medium	
Gazania 'Fiesta Red'	Fiesta Red Gazania	2	1 Gallon	Low, Medium	
Heuchera caespitosa	Urnflower Alumroot	7	1 Gallon	Low, Medium	
Rosa Flower Carpet Apple Blossom	Apple Blossom Carpet Rose	3	1 Gallon	Medium	
Trachelospermum jasminoides	Star Jasmine	7	1 Gallon	Low, Medium	
Verbena 'Tapien Purple'	Tapien Purple Hybrid Verbena	2	1 Gallon	Very Low, Low	
Perennial					
Salvia 'Waverly'	Waverly Sage	1	5 Gallon	Low, Medium, Extra in Summer	
Broadleaf Evergreen					
Pieris japonica 'Forest Flame'	Flame Of The Forest Pieris	6	1 Gallon	Medium, High, Extra in Summer	
Fern					
Athyrium filix-femina	Lady Fern	5	1 Gallon	High, Extra in Summer	
Rumohra adiantiformis	Leather Fern	3	1 Gallon	Medium	



Casita Way

At least 4 cu. yds. of compost, six (6) inches deep, shall be applied per 1,000 sq. ft. of landscape area.

A minimum three (3") inch layer of mulch shall be applied on all exposed soil surfaces of planting areas, except in areas of direct seeding application (e.g. hydro-seeding).



REVISIONS	BY



KAREN AITKEN & ASSOCIATES
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GUPTA RESIDENCE
435 Casita Way, Los Altos, CA
PLANTING PLAN







DATE	11-11-22
SCALE	1/8" = 1'-0"
DRAWN	IN-SL
JOB	GUPTA

L-2

**Low Voltage Lights- by Alliance
Outdoor Lighting**

FIXTURE FINISH: Bronze Finish

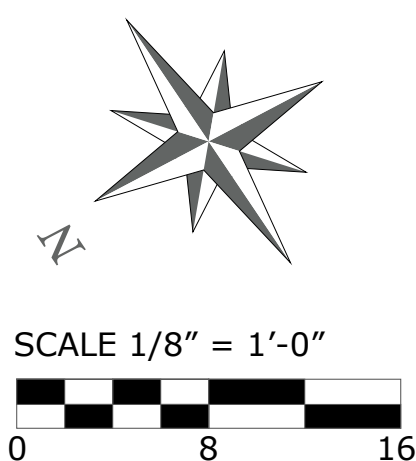
-  Path Lights - PL200 - LED
-  Lighting Transformer IT300
-  Down Lights DE-LED
-  Wall Lights SL100-LED



MATERIAL SURFACE TABLE	
Impervious Surfaces	Total Sq. Ft.
Existing Driveway of Pavers (Front Yard)	761 Sq. Ft.
Existing Porch & Path of Pavers (Front Yard)	243 Sq. Ft.
Stepping Stones (Front Yard)	55 Sq. Ft.
Existing Path of Pavers (Side Yard)	380 Sq. Ft.
Patio of Pavers (Backyard)	1040 Sq. Ft.
Sub Total Impervious	2519 Sq. Ft.
Pervious Surfaces	Total Sq. Ft.
Artificial Turf	510 Sq. Ft.
Bark Mulch	1800 Sq. Ft.
Lawn	650 Sq. Ft.
Landscape Area	1985 Sq. Ft.
Sub Total Pervious	5095 Sq. Ft.



Casita Way



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GUPTA RESIDENCE
435 Casita Way, Los Gatos, CA
LIGHTING & MATERIAL PLAN



DATE 11-11-22
SCALE 1/8"=1'-0"
DRAWN IN-SL
JOB GUPTA

L-3

MAWA EPPT and ETWU Calculations

Project Name: Gupta Sugandh Residence
 Project Location: 435 Casita Way, Los Altos, CA
 Total Landscape Area: 2,635.0 sq. ft.
 Date: 08/06/2022

MAWA CALCULATION

MAWA = (Eto) / (62) / (0.55 x LA) + (1-ETAF x SLA)

MAWA = Maximum Applied Water Allowance (gallons per year)
 Eto = Reference Evapotranspiration (inches per year)
 62 = Conversion Factor (to gallons)
 0.55 = ET Adjustment Factor (ETAF)
 LA = Landscape Area including SLA (square feet)
 0.45 = Additional Water Allowance for SLA
 SLA = Special Landscape Area (square feet)

Eto =	43
Conversion	0.62
ETAF	0.55
LA =	2,635
SLA =	0
MAWA =	38,637.0 gallons per year
	5,195.4 cubic feet per year

MAWA with EPPT

MAWA = (Eto-Eppt) / (62) / (0.55 x LA) + (1-ETAF x SLA)

Eppt = 25% of Annual precipitation 16.40

Eto =	43
Eppt =	4.1
ETAF =	0.55
LA =	2,635
SLA =	0
MAWA w/ EPPT =	34,977.1 gallons per year
	4,676.1 cubic feet

ETWU CALCULATION

ETWU = (Eto) / (62) / (PF) / (IE) / (LA)

ETWU = Estimated Total Water Use Per Year (gallons)
 Eto = Reference Evapotranspiration
 PF = Plant Factor from WUCOLS (Region 2, Water Use: H 0.7 - 0.9, M 0.4 - 0.6, L 0.1 - 0.3, VL < 0.1, All Turf 0.8)
 LA = Landscape Area (High, Medium, and low water use areas) (square feet)
 SLA = Special Landscape Area
 62 = Conversion Factor
 IE = Irrigation Efficiency (drip spray and bubblers .81, sub surface .81, spray sprinklers .75)
 ET Adjustment Factor (ETAF): .55 for Residential and .45 for Non Residential

Reference Evapotranspiration (Eto)	43	Los Altos, Ca
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REGULAR LANDSCAPE AREAS

Hydrozone #/ Plant Description	Irrigation Method	Plant Factor (PF)	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscape Area (sq. ft)	ETAF x Area	ETWU
1) Low Water Use/ Shrubs	Drip	0.2	0.81	0.24691358	880.0	217.3	5,792.8
2) Med Water Use/ Trees	Drip	0.4	0.81	0.49382716	280.0	138.3	3,686.3
3) High Water Use / Lawn	Spray	0.8	0.75	1.06666667	650.0	693.3	18,484.3
4) Med. Water Use/ Trees	Drip	0.4	0.81	0.49382716	140.0	69.1	1,843.2
5) Low Water Use/ Shrubs	Drip	0.2	0.81	0.24691358	955.0	139.5	3,719.2
6) Med. Water Use/ Veg Box	Drip	0.4	0.81	0.49382716	120.0	59.3	1,579.9
Totals					2,635.0	1,316.8	35,105.6

SPECIAL LANDSCAPE AREAS

Hydrozone #/ Plant Description	Irrigation Method	Plant Factor (PF)	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscape Area (sq. ft)	ETAF x Area	ETWU
				1	0	0	0.0
Totals					0	0	0.0

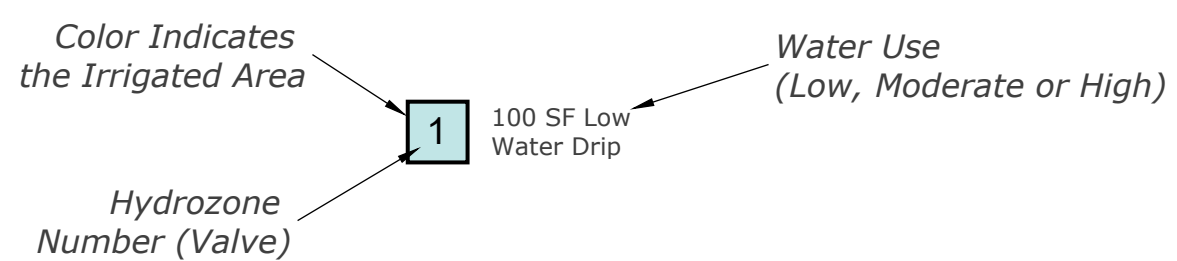
ETAF CALCULATIONS

Regular Landscape Areas	
Total ETAF x Area	1,316.8
Total Area	2,635.0
Average ETAF	0.50
Special Landscape Areas	
Total ETAF x Area	1,316.8
Total Area	2,635.0
Sitewide ETAF	0.5

Average ETAF for Regular Landscape Areas must be .55 or below for residential areas, and .45 or below for non residential areas.

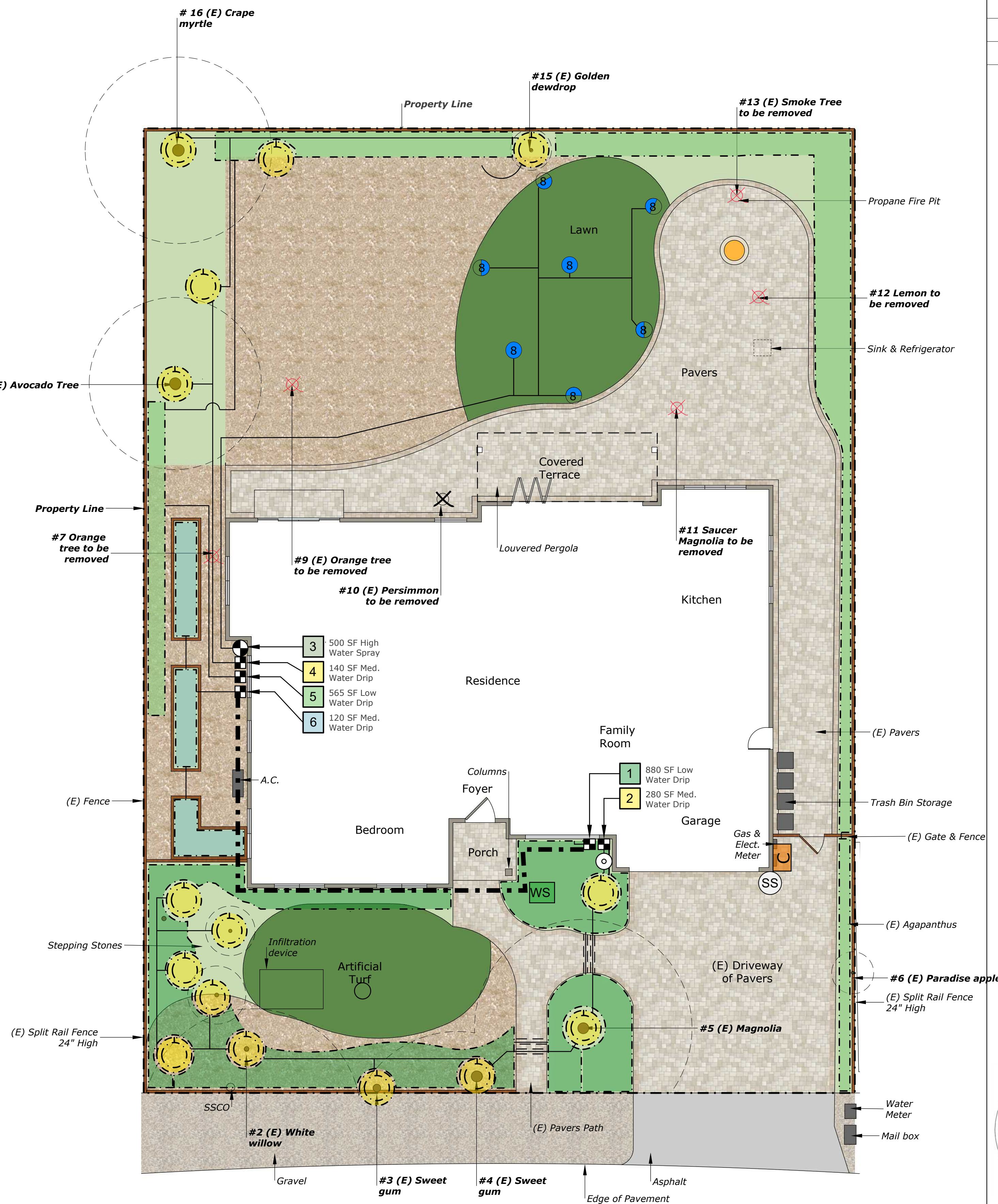
IRRIGATION KEY

- Irrigation Lateral Line: 1 in. PVC Class 200
- Irrigation Mainline: 2 in. PVC Schedule 40
- Pipe Sleeve: PVC Class 200
Typical pipe sleeve for irrigation pipe. Pipe sleeve size shall allow for irrigation piping and their related couplings to easily slide through sleeving material. Extend sleeves 18 inches beyond edges of paving or construction.
- RainBird 1806 PRS 6 in. 1800 Series HE-VAN-10 Nozzle 8' radius**
Turf Spray, 30 psi regulated 6.0" Pop-Up.
- Hunter ICV-G**
1", 1-1/2", 2", and 3" Plastic Electric Remote Control Valves, Globe Configuration, with NPT Threaded Inlet/Outlet, for Commercial/Municipal Use.
- Hunter ICZ-101-25-LF**
Drip Control Zone Kit. 1" ICV Globe Valve with 1" HY100 filter system. Pressure Regulation: 25psi. Flow Range: .5-15 GPM. 150 mesh stainless steel screen.
- Hunter Dripline HDL-06-12-CV**
Hunter Dripline w/ 0.9 GPH emitters every 12 in. Dripline laterals spaced at 12" apart. Install with Hunter PLD barbed or PLD-LOC fittings.
- Tree Ring Irrigation**
Dripline w/ 0.9 drip emitters placed every 12 in. Inner ring 12" from plant. Outer ring 30" from plant. Place tie down every 4' in loam and 5' in clay.
- Hunter ACC-1200**
12 to 42 Station Outdoor Modular Controller. No Module Required. High-End Commercial Use. Metal Cabinet.
- Hunter SOIL-CLIK**
The Soil-Clík probe uses proven technology to measure moisture within the root zone. When the probe senses that the soil has reached its desired moisture level, it will shut down irrigation, preventing water waste.
- Hunter Solar-Sync**
Solar, rain freeze sensor with outdoor interface, connects to Hunter PCC, Pro-C, and I-Core Controllers, install as noted. Includes 10 year lithium battery and rubber module cover, and gutter mount bracket. Wired.
- Hunter HFS-150**
Flow Sensor for use with ACC controller, 1-1/2" Schedule 40 Sensor Body, 24 VAC, 2 amp.

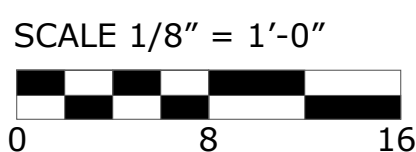
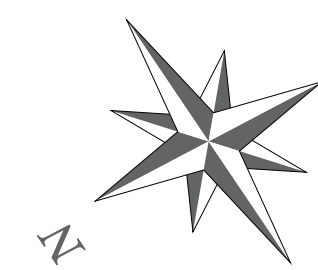


"I have complied with the criteria of the Water Conservation in Landscaping Ordinance and applied them accordingly for the efficient use of water in the irrigation design plan."

Karen Aitken



Casita Way



* NOTE: Refer to L-5 for Irrigation Details

* NOTES (E) = Existing

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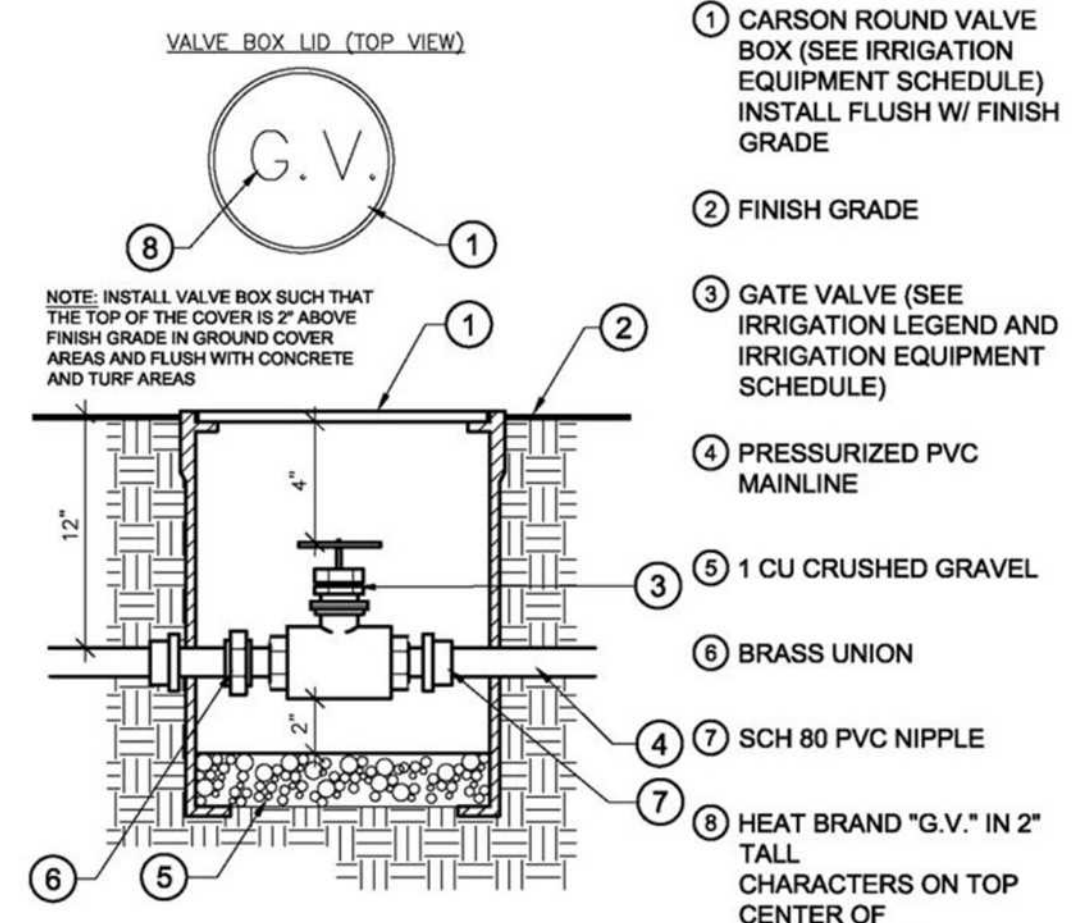
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IRRIGATION PLAN



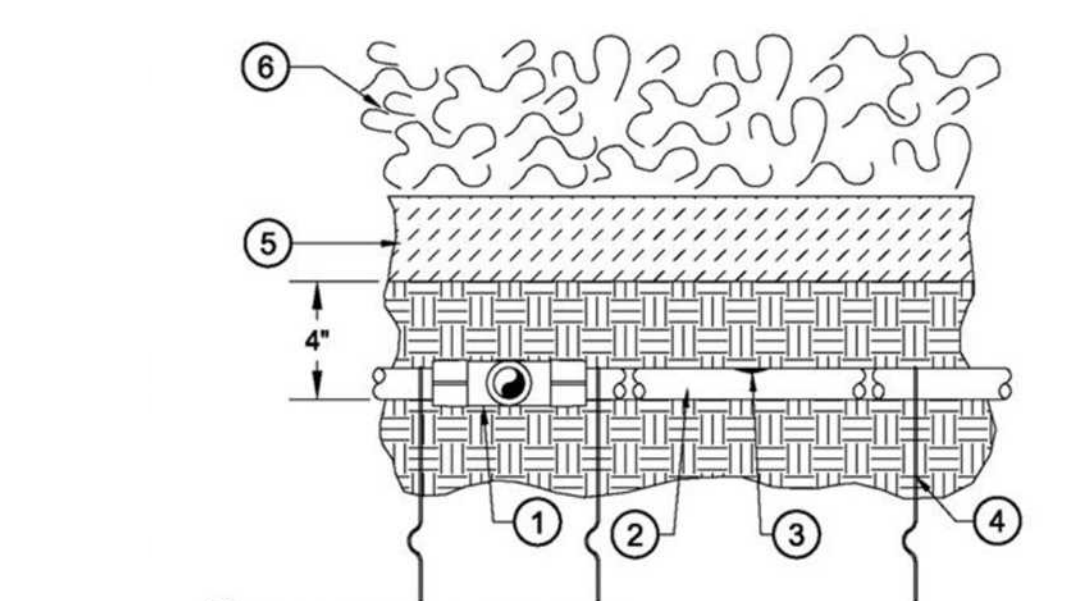
DATE 11-11-22
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 JOB GUPTA

L-4



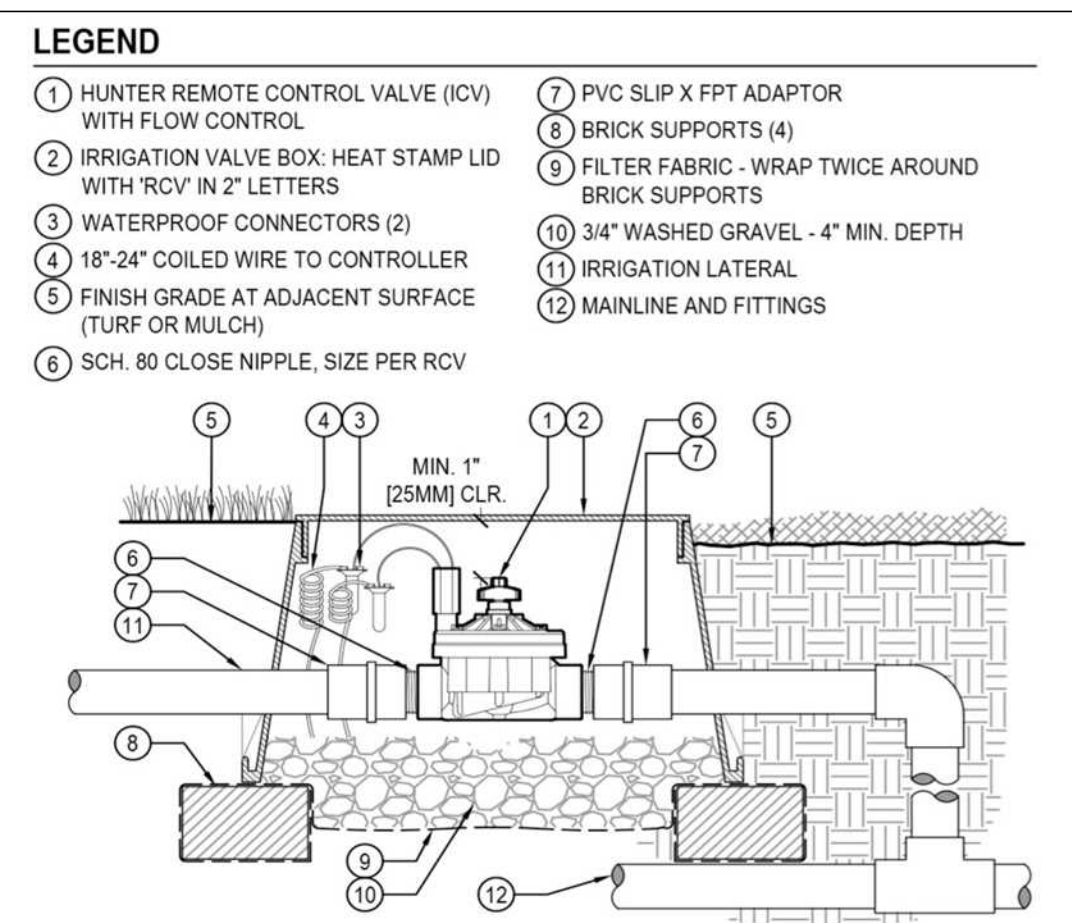
- CARSON ROUND VALVE BOX (SEE IRRIGATION EQUIPMENT SCHEDULE) INSTALL FLUSH W/ FINISH GRADE
- FINISH GRADE
- GATE VALVE (SEE IRRIGATION LEGEND AND IRRIGATION EQUIPMENT SCHEDULE)
- PRESSURIZED PVC MAINLINE
- 1 CU CRUSHED GRAVEL
- BRASS UNION
- SCH 80 PVC NIPPLE
- HEAT BRAND "G.V." IN 2" TALL CHARACTERS ON TOP CENTER OF VALVE BOX LID

ISOLATION SHUT OFF VALVE

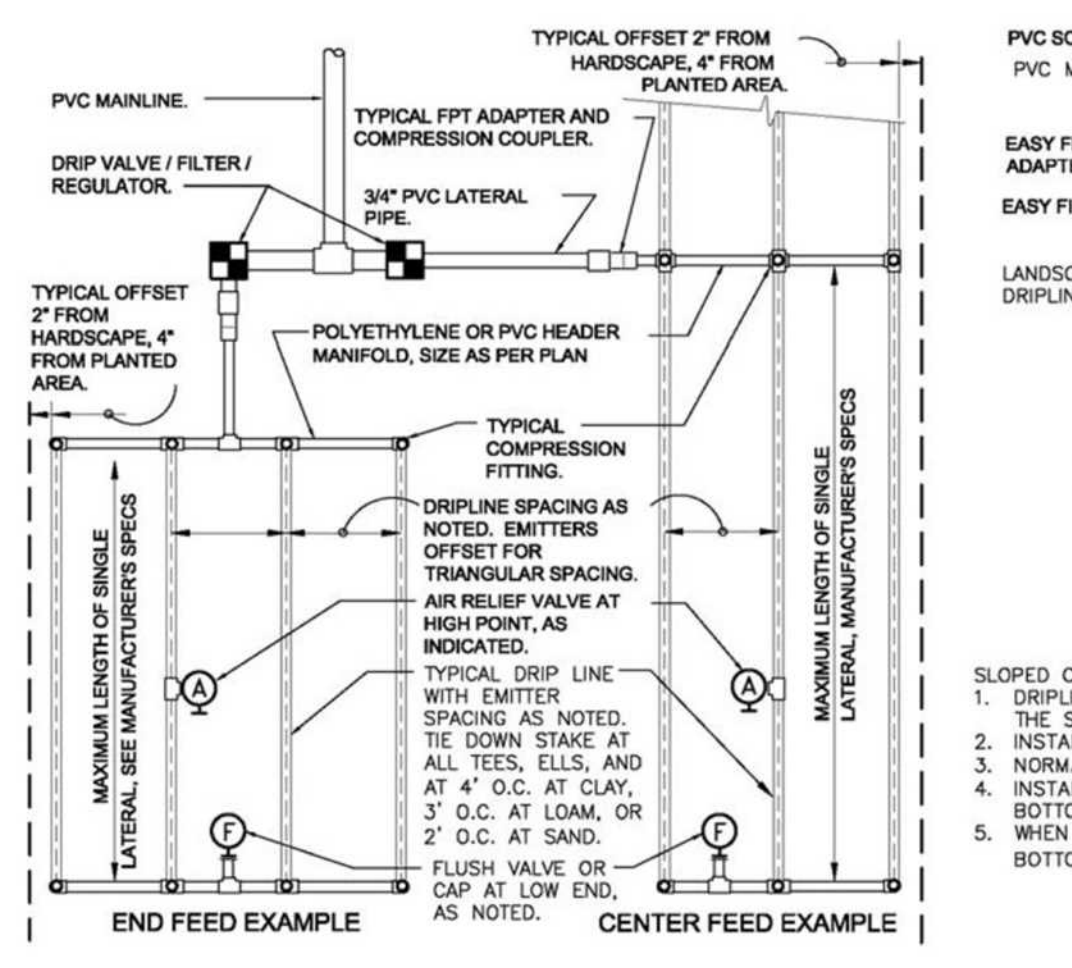


- DRIPLINE COMPRESSION TEE
- SUB-SURFACE DRIPLINE - SEE LEGEND FOR DRIP LINE MANUFACTURER, SPECIFICATIONS, SIZE AND SPACING
- IN-LINE DRIP EMITTER
- TIE-DOWN STAKES SPACE 3' O.C. PER DRIP LINE MANUFACTURER
- MULCH - SEE PLANTING NOTES FOR DEPTH OF MULCH
- PLANT MATERIAL - SEE PLANS FOR TYPE AND SPACING

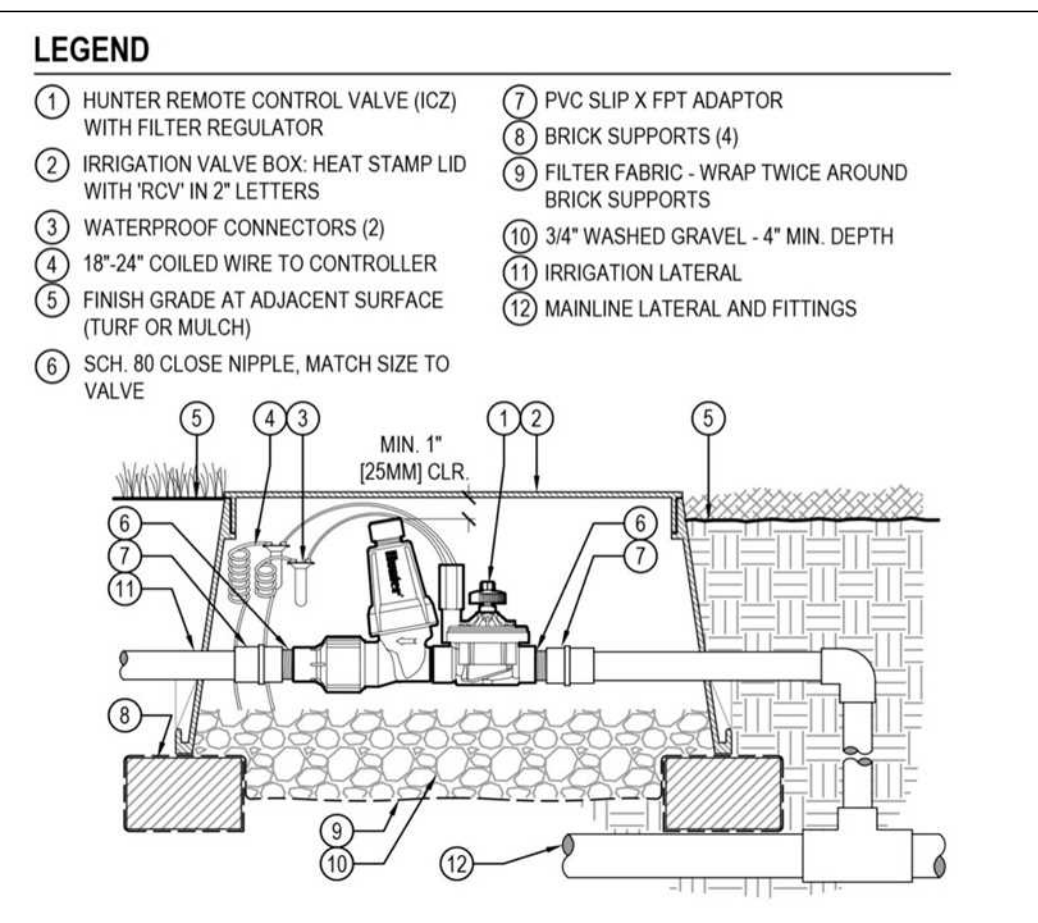
SUB-SURFACE DRIPLINE BURIAL



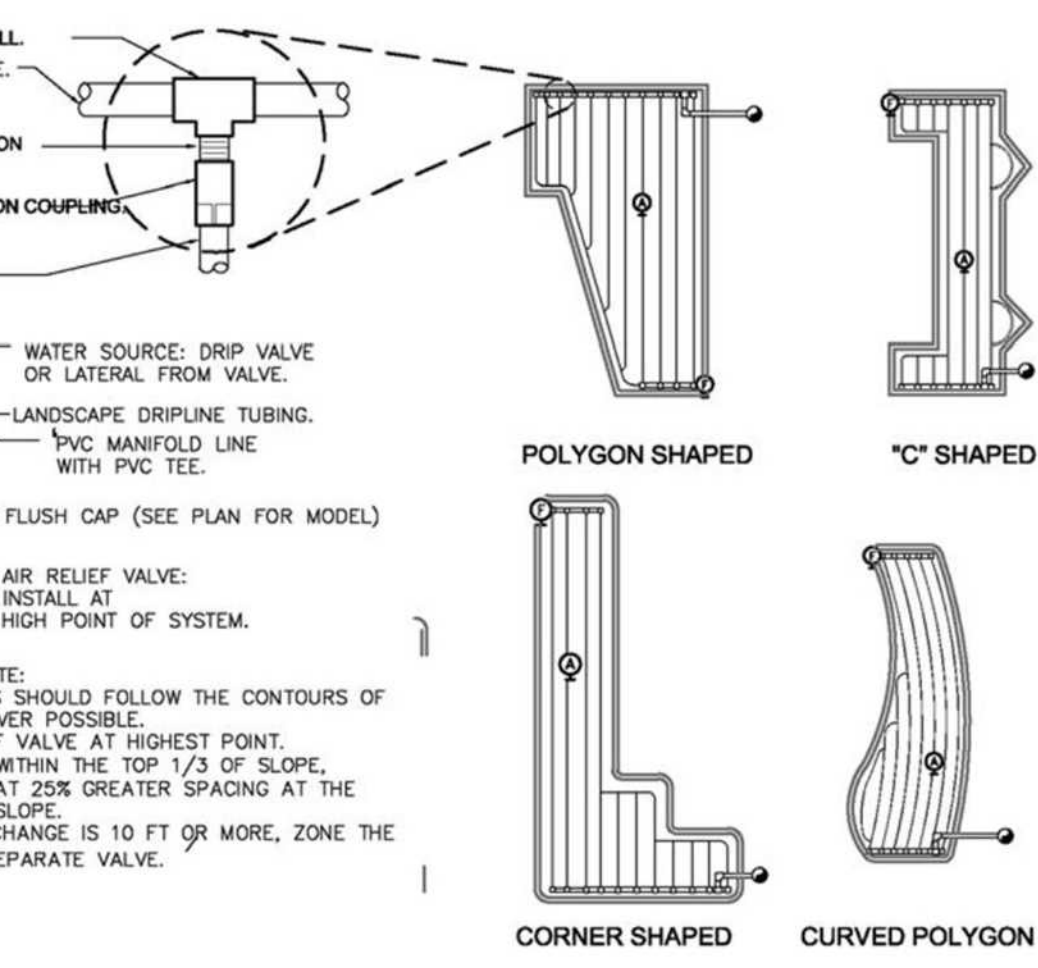
IN-LINE VALVE (ICV-151G)
Hunter V.ICV.05 NO SCALE



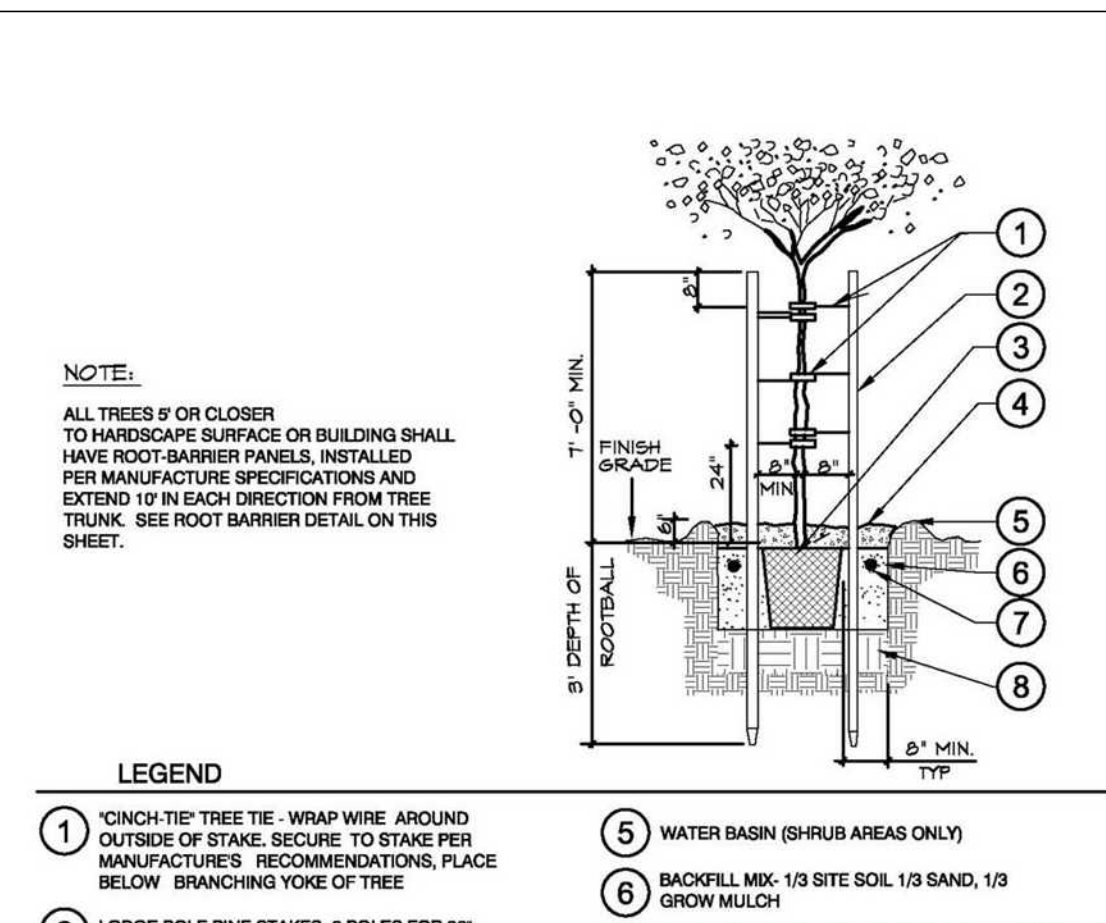
TYPICAL DRIPLINE LAYOUT



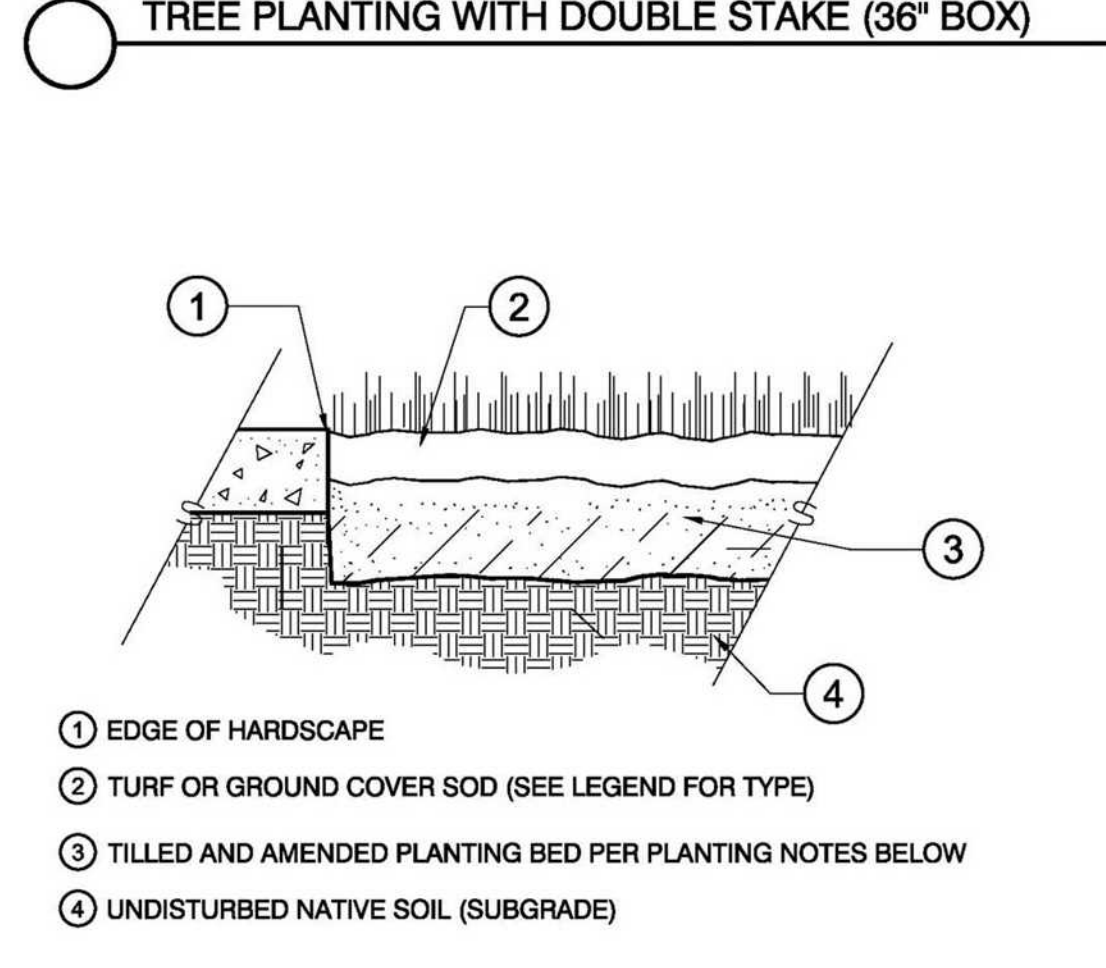
DRIP CONTROL ZONE KIT (ICZ-101-LF)
Hunter V.ICZ.01 NO SCALE



TREE PLANTING WITH DOUBLE STAKE (36" BOX)



TYPICAL SHRUB PLANTING



SOIL PREPARATION, MULCH AND AMENDMENTS

THE FOLLOWING CRITERIA SHALL BE USED IN THE PREPARATION OF ON-SITE SOILS AND FOR MULCHING PROCEDURES:

A) PRIOR TO THE PLANTING OF ANY MATERIALS, COMPACTED SOILS SHALL BE TRANSFORMED TO A FRIABLE CONDITION. ON ENGINEERED SLOPES, ONLY AMENDED PLANTING HOLES NEED MEET THIS REQUIREMENT;

B) SOIL AMENDMENTS SHALL BE INCORPORATED ACCORDING TO RECOMMENDATIONS OF THE SOIL REPORT AND WHAT IS APPROPRIATE FOR THE PLANTS SELECTED;

C) FOR LANDSCAPE INSTALLATIONS, COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOILS WITH GREATER THAN 6% ORGANIC MATTER IN THE TOP 6" INCHES OF SOIL ARE EXEMPT FROM ADDING COMPOST AND TILLING;

D) A MINIMUM 3 INCH (3") LAYER OF BARK MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT IN TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED. TO PROVIDE HABITAT FOR BENEFICIAL INSECTS AND OTHER WILDLIFE, UP TO 5% OF THE LANDSCAPE AREA MAY BE LEFT WITHOUT MULCH. DESIGNATED INSECT HABITAT MUST BE INCLUDED IN THE LANDSCAPE DESIGN PLAN AS SUCH;

E) STABILIZING MULCHING PRODUCTS SHALL BE USED ON SLOPES THAT MEET CURRENT ENGINEERING STANDARDS;

F) THE MULCHING PORTION OF THE SEED/MULCH SLURRY IN HYDRO-SEEDED APPLICATIONS SHALL MEET THE MULCHING REQUIREMENT;

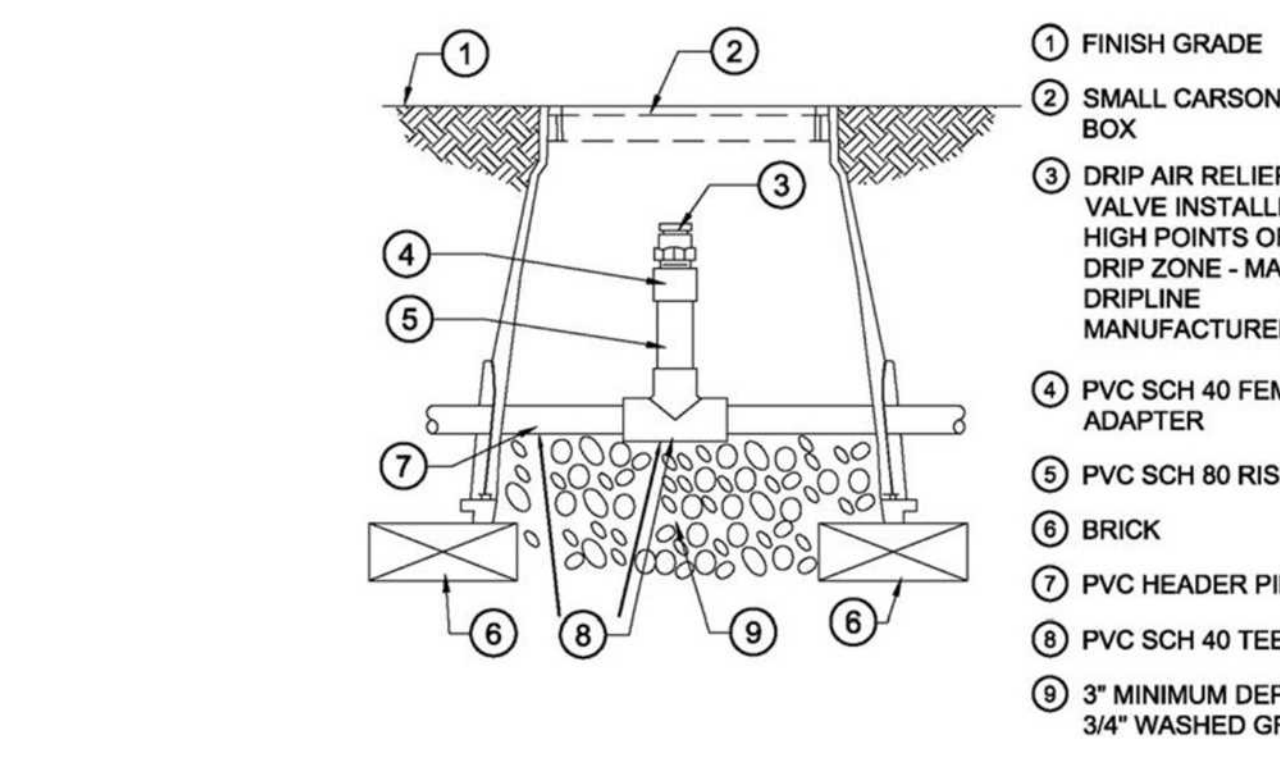
G) ORGANIC MULCH MATERIALS MADE FROM RECYCLED OR POST-CONSUMER PRODUCTS UNLESS THE RECYCLED POST-CONSUMER ORGANIC PRODUCTS ARE NOT LOCALLY AVAILABLE. ORGANIC MULCHES ARE NOT REQUIRED WHERE PROHIBITED BY LOCAL FUEL MODIFICATION PLAN GUIDELINES OR OTHER APPLICABLE LOCAL ORDINANCES.

SOD PLANTING

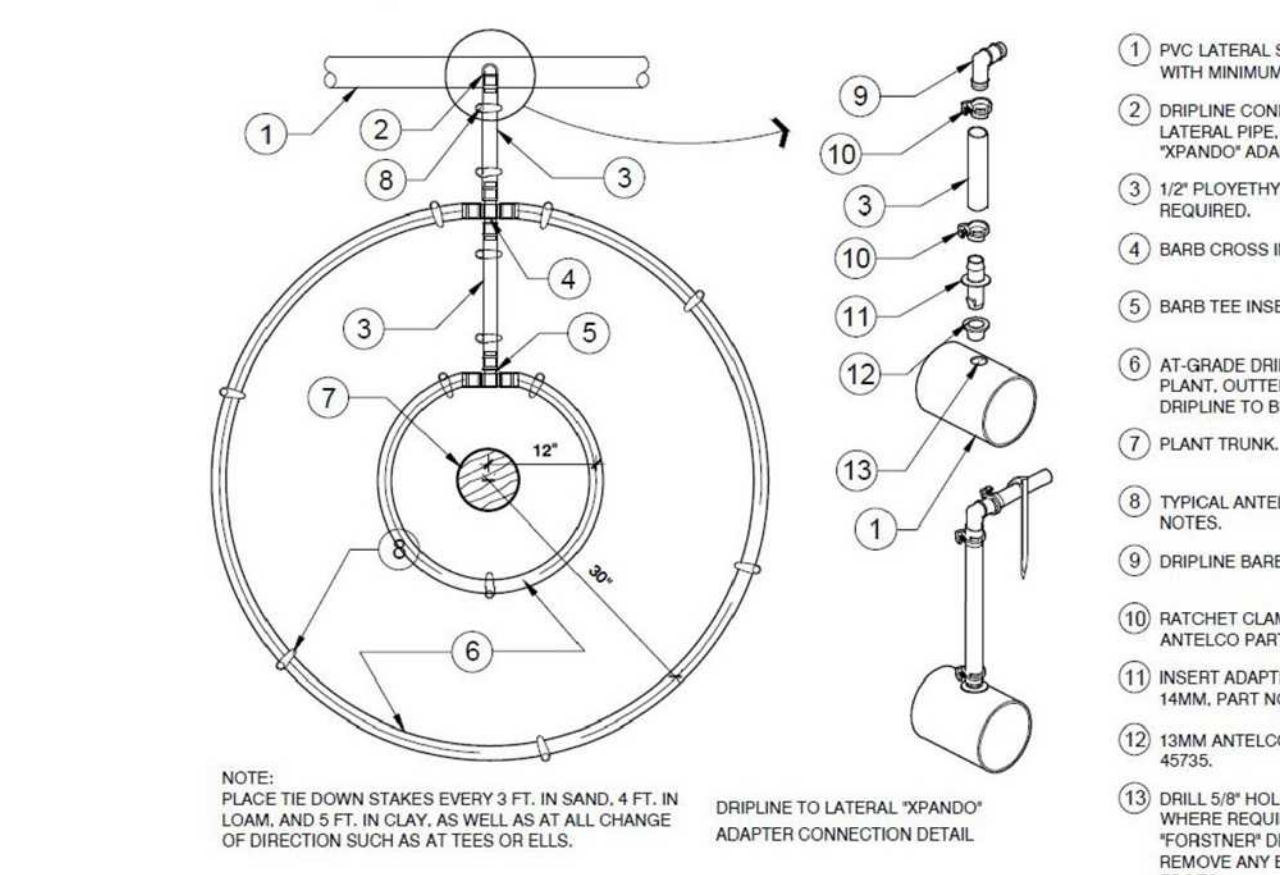


NOTES:

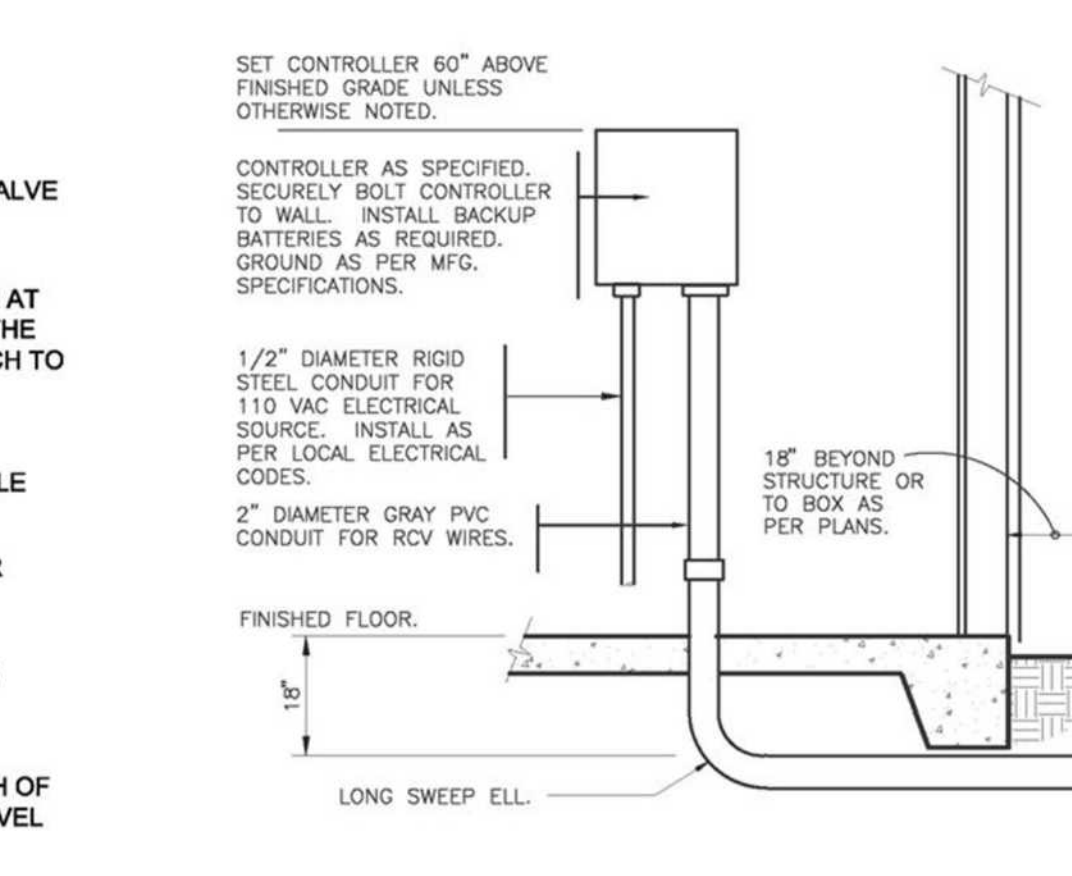
- All threaded connection points between Sch. 40 PVC and Sch. 80 PVC fitting shall be installed using teflon tape.
- Contractor shall compact soil around rotor and riser prior to planting, plugging, seeding, or laying of sod.



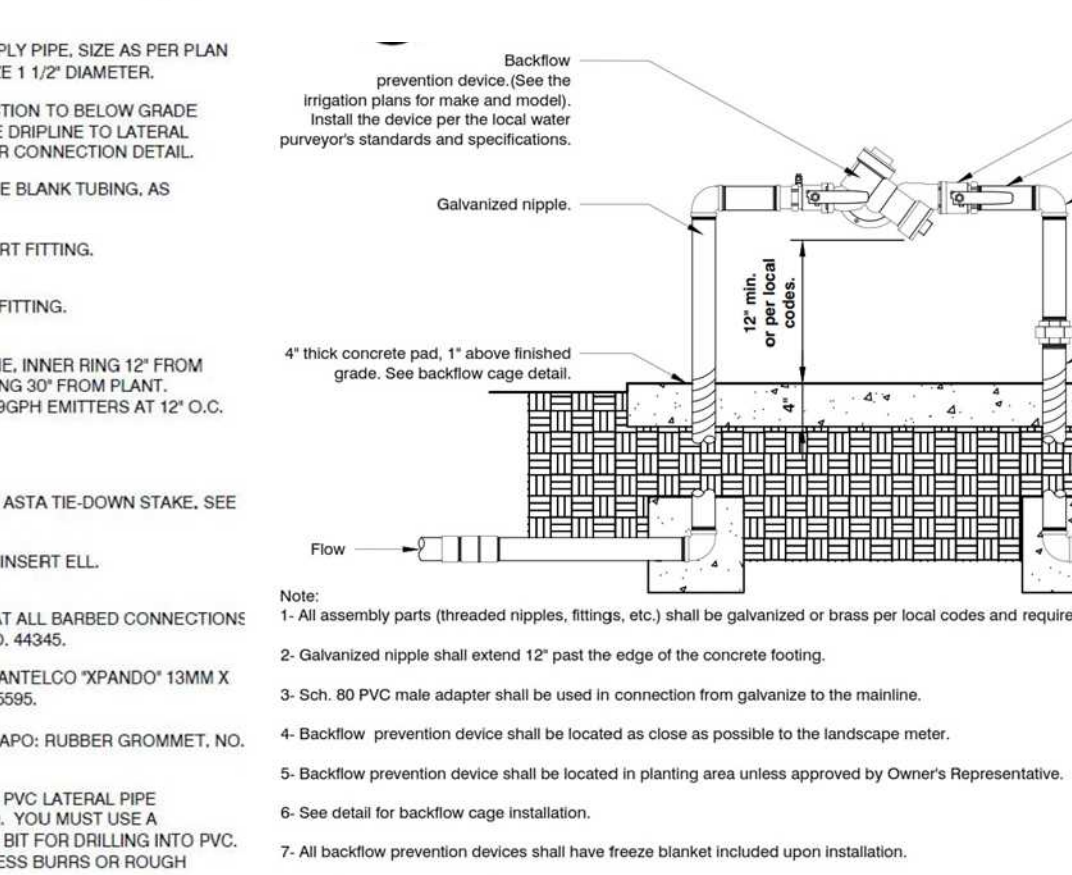
AIR RELIEF VALVE IN PVC HEADER



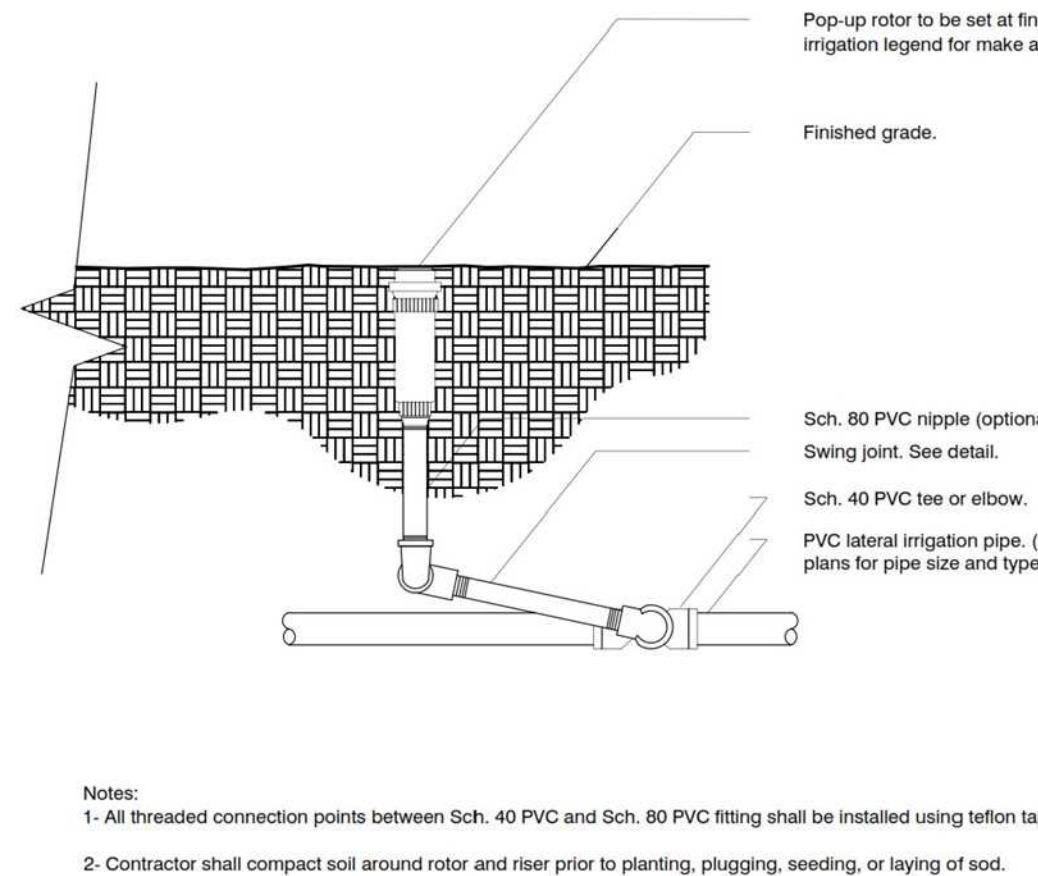
20 GPH DRIPLINE RING-0.9 GPH @ 12" O.C.



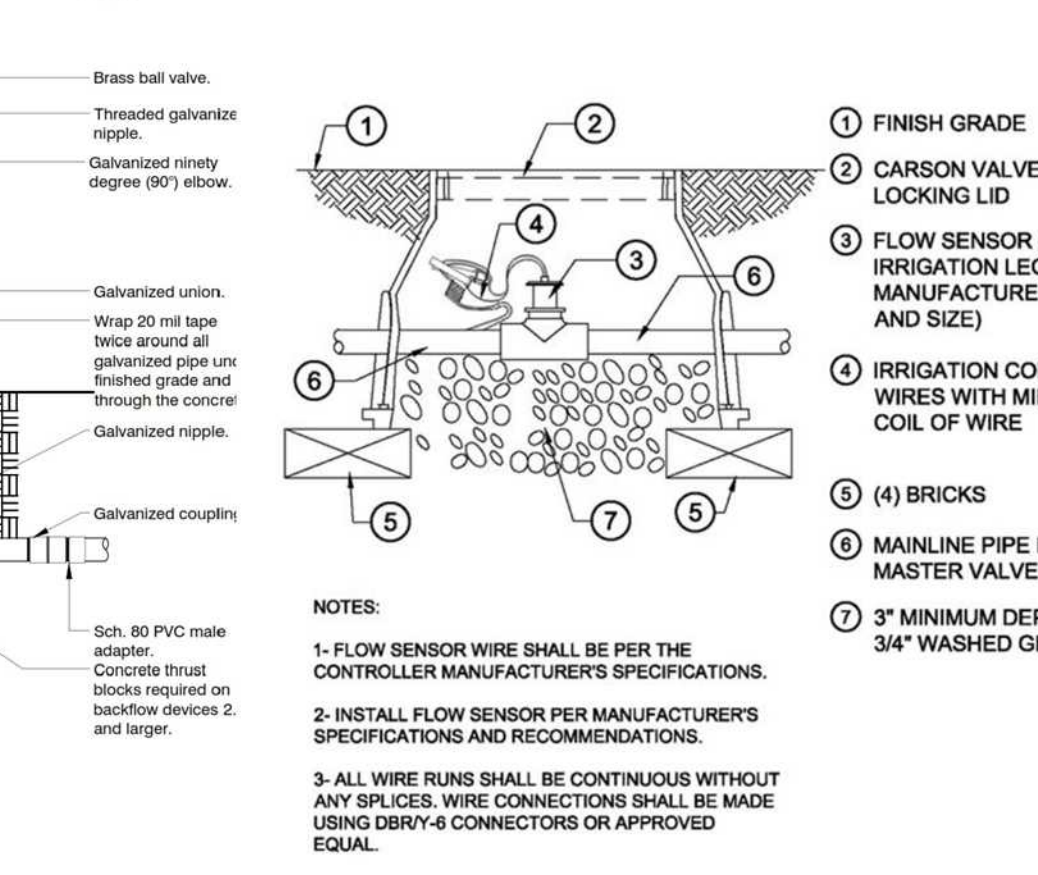
INTERIOR WALL MOUNT CONTROLLER



BACKFLOW PREVENTION DEVICE



ROTOR SPRAYHEAD



FLOW SENSOR

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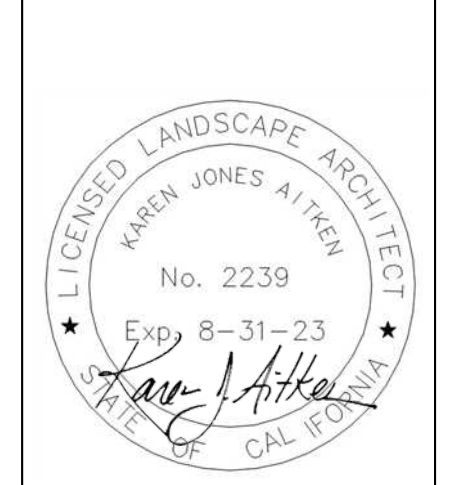


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PLANTING & IRRIGATION DETAILS



DATE	11-11-22
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Fire Pit: Moderno V

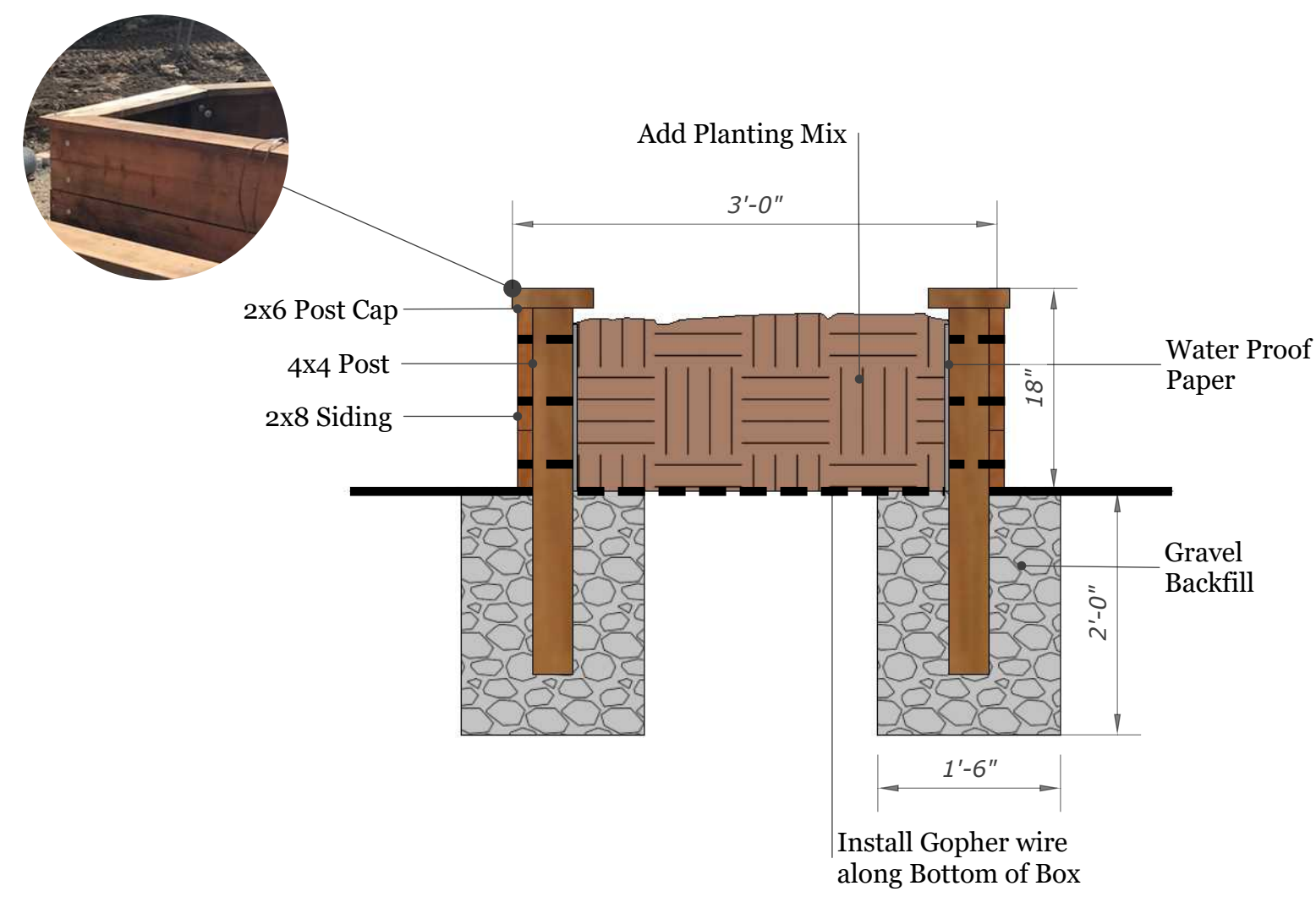
By Prism Hardscapes



Type: Propane
BTU : 65,000
Diameter: 36"

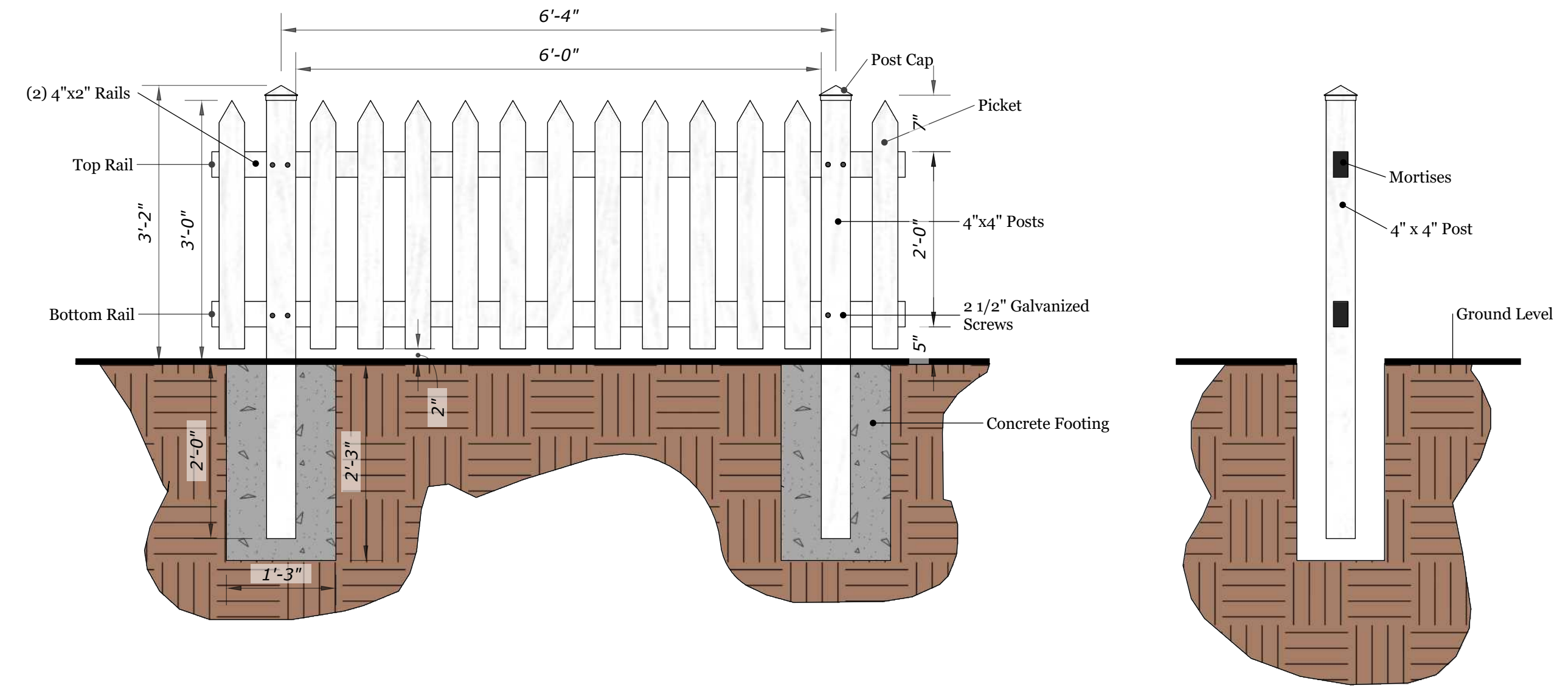
Planter Detail: 18" High Planter

Note: All Lumber to be Construction Grade Redwood



Picket Fence

Scale 3/4" = 1'-0"



Picket Fence Isometric View

Scale 1" = 1'-0"



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L-6