

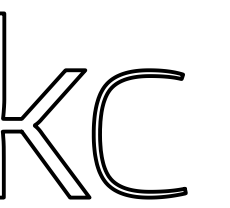
905 LEONELLO AVE

LOS ALTOS CA 94024

NEW 2-STORY SINGLE FAMILY HOUSE

PERMIT SUBMISSION SET:

ATTACHMENT G



kylechan
ARCHITECT
3561 HOMESTEAD ROAD
SUITE 222,
SANTA CLARA, CA 95051
669-244-3111
www.kylechan.com
kyle@kylechan.com

PROGRESS SET
7.28.2022

- Sheet Revisions:
- 1 PLAN CHECK COMMENTS 10.10.2022
 - 2 PLAN CHECK COMMENTS 12.5.2022

ALL DIMENSIONS AND WRITTEN MATERIALS CONTAINED HEREIN ARE THE PROPERTY OF KYLECHAN ARCHITECT. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF KYLECHAN ARCHITECT, INC.

ELECTRONIC PLAN REVIEW



ZHANG RESIDENCE
NEW RESIDENCE
905 LEONELLO AVE
LOS ALTOS, CA 94024

PROJECT TEAM	VICINITY MAP	ZONING INFORMATION (ADU)	ZONING INFORMATION (MAIN HOUSE)	PROJECT INFORMATION	DRAWING INDEX																																																																																																																																																		
<p>OWNER DAIHUA ZHANG & PEIRAN SONG 905 LEONELLO AVE LOS ALTOS, CA 94024 650-304-6833 zhangdaihua@gmail.com</p> <p>SURVEYOR / CIVIL ENGINEER WEC & ASSOCIATES 2625 MIDDLEFIELD RD #658 PALO ALTO, CA 94306 650.823.6466 PH 650.887.0321 FAX CONTACT: ED WU ed@weceng.com</p> <p>LANDSCAPE ARCHITECT GREG LEWIS 735 PARK WAY SANTA CRUZ, CA 95065 LEWISLANDSCAPE@SBGGLOBAL.NET (831) 359-0960</p>	<p style="text-align: right;">SITE</p> <p style="text-align: center;">N.T.S.</p>	<p>For ADUS of 850 Square Feet or Less</p> <p>ADU ZONING COMPLIANCE TABLE</p> <table border="1"> <thead> <tr> <th></th> <th>Proposed ADU</th> <th>Allowed/Required</th> </tr> </thead> <tbody> <tr> <td>FLOOR AREA: (including basement and attic)</td> <td>660 square feet</td> <td>850 square feet</td> </tr> <tr> <td>SETBACKS:</td> <td></td> <td></td> </tr> <tr> <td>Front</td> <td>52'1" feet</td> <td>25 feet</td> </tr> <tr> <td>Rear</td> <td>56 feet</td> <td>4 feet</td> </tr> <tr> <td>Right side (1st/2nd)</td> <td>47'1" feet / N/A 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<p>OCCUPANCY: R-3 / U</p> <p>BUILDING CODES:</p> <ul style="list-style-type: none"> 2019 CBC (BASED ON 2018 IBC) 2019 CRC (BASED ON 2018 IRC) 2019 CEC (BASED ON 2017 NEC) 2019 EMC (BASED ON 2018 UMC) 2019 CPC (BASED ON 2018 UPC) 2019 CALIFORNIA ENERGY CODE 2019 CFC (BASED ON 2018 IFC) 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN) CITY MUNICIPAL CODE ALL APPLICABLE LOCAL, COUNTY, STATE AND FEDERAL CODES, LAWS & REGULATIONS <p>NO GAS POLICY: FOR THE NEW SINGLE-FAMILY HOME, NO GAS IS ALLOWED PER CITY REACH CODES.</p> <p>FIRE SPRINKLER: A RESIDENTIAL FIRE SPRINKLER SYSTEM IS REQUIRED IN ACCORDANCE WITH NFPA 13D AND STATE AND LOCAL REQUIREMENTS. 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PROGRESS SET
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906 LEONELLO AVE.
2-STORY HOUSE



1147 LINCOLN DR.
1-STORY HOUSE



1141 LINCOLN DR.
1-STORY HOUSE



1135 LINCOLN DR.
1-STORY HOUSE



918 LEONELLO AVE.
1-STORY HOUSE



906 SEENA AVE
2-STORY HOUSE



930 LEONELLO AVE.
1-STORY HOUSE



916 SEENA AVE
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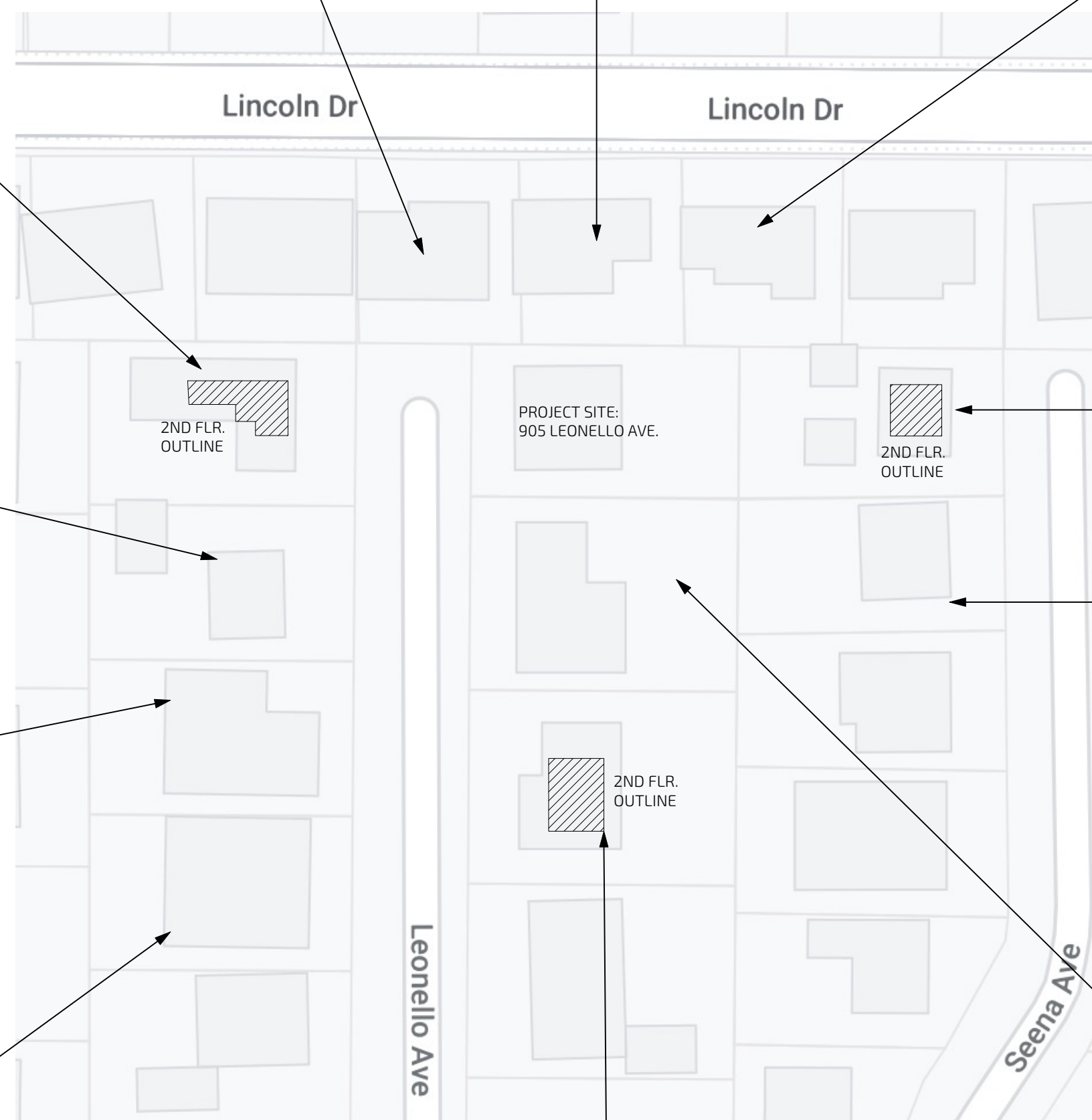
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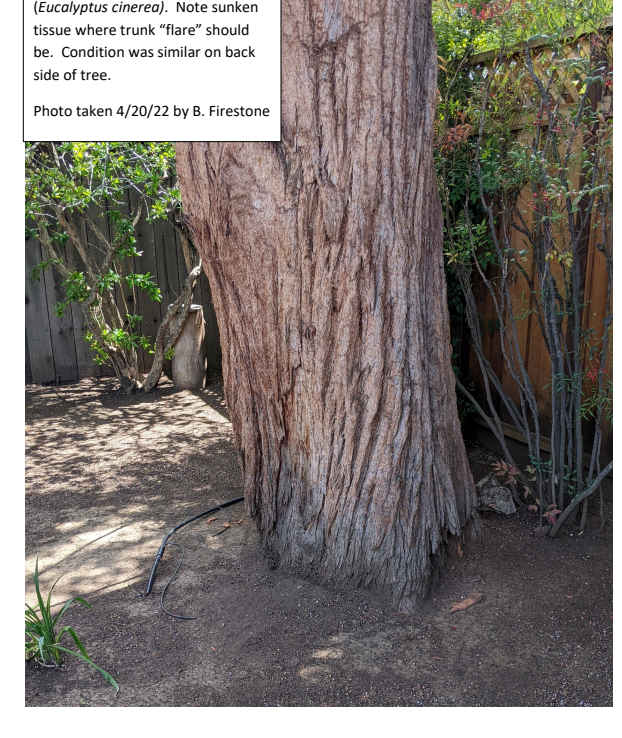

PROGRESS SET
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STREETScape
DIAGRAM

CITY STAMP:

A0.2

PROJECT NUMBER: 2112
905 LEONELLO AVE

<p>ARBORIST REPORT TREE PROTECTION PLAN</p> <p>REV. OCTOBER 6, 2022</p> <p>PREPARED FOR: ANJ SONG</p> <p>PROJECT: 905 LEONELLO AVE, LOS ALTOS, CA 94022</p>  	<p>905 Leonello Ave • Song Residence • rev. 10/06/22 TREE PROTECTION PLAN - ARBORIST REPORT Page 1 of 24</p> <p>CONTENTS</p> <ul style="list-style-type: none"> Introduction..... 1 ASSIGNMENT..... 1 USES OF THIS REPORT..... 1 LIMITATIONS..... 2 How Construction Can Damage Trees..... 2 DAMAGE TO ROOTS..... 3 Mechanical Injury..... 3 Tree Impact Assessment..... 4 SITE DESCRIPTION..... 4 DESCRIPTION OF PROPOSED WORK..... 4 TREE INVENTORY..... 4 IMPACTS TO PROTECTED TREES..... 5 REQUESTED TREE REMOVALS..... 6 Tree Preservation & Mitigation Measures..... 7 DURING CONSTRUCTION..... 7 Establish Tree Protection Zones (TPZ)..... 7 Preventing Soil Disturbance & Root Damage..... 9 Pruning Branches..... 9 Pre-Construction Inspection..... 9 Special Tree Protection Measures..... 10 Project Arborist Supervision..... 11 Irrigation..... 11 Root Pruning..... 12 <p>PREPARED BY: SUSANA FRESTONE ISA CERTIFIED ARBORIST AND ISA-RCA WWW.BORNEFESTONE.COM</p>	<p>905 Leonello Ave • Song Residence • rev. 10/06/22 TREE PROTECTION PLAN - ARBORIST REPORT Page 1 of 24</p> <p>POST-CONSTRUCTION</p> <ul style="list-style-type: none"> Continued Tree Care..... 13 Post-Construction Monitoring..... 13 Conclusion..... 14 Supporting Documents..... 15 Glossary..... 15 Notes..... 18 PHOTOS (A - C)..... 19 TREE FENCING REQUIREMENTS..... 22 TREE INVENTORY (TABLE)..... 23 TREE MAP..... 24 <p>PREPARED BY: SUSANA FRESTONE ISA CERTIFIED ARBORIST AND ISA-RCA WWW.BORNEFESTONE.COM</p>	<p>905 Leonello Ave • Song Residence • rev. 10/06/22 TREE PROTECTION PLAN - ARBORIST REPORT Page 2 of 24</p> <p>Introduction</p> <p>ASSIGNMENT</p> <p>On April 20, 2022, I visited the project site at 905 Leonello Avenue, Los Altos. I had accepted the assignment of Project Arborist, meaning to create an industry-standard tree protection plan for their building permit application. The scope of the assignment, as specified by the City of Los Altos, was to include an inventory of trees of four inches and larger (4" DBH+) on and overhanging the property. After review of project plans, it was my understanding that the existing one-story home would be demolished, and a new two-story home with attached garage would be built in its place. The existing landscaping would be removed and replaced with new plants. Recommendations in this report are based on review of the following:</p> <ul style="list-style-type: none"> Proposed Site Plan A0.3 by Kyle Chan Architect (2.18.2022) Topographic Survey (L) by WFC Associates (02.20.2022) Landscaping Site Plan (L) by Gregory Lewis Landscape Architects (7.18.2022) <p>I identified 21 trees for inclusion in this report including five (5) protected trees on the neighboring properties or on the public right-of-way. One (1) protected tree in very poor condition was requested for removal. Four (4) trees without special status were also slated for removal. All other trees in the area were either sub-size (4" DBH) or sufficiently distant from the work.</p> <p>PREPARED BY: SUSANA FRESTONE ISA CERTIFIED ARBORIST AND ISA-RCA WWW.BORNEFESTONE.COM</p>	<p>905 Leonello Ave • Song Residence • rev. 10/06/22 TREE PROTECTION PLAN - ARBORIST REPORT Page 3 of 24</p> <p>LIMITATIONS</p> <p>Trees assessed were limited to the scope of work identified in the assignment. I have estimated the trunk diameters of trees with barriers to access or visibility (such as those on neighboring properties or behind decks).</p> <p>Although general structure and health were assessed, formal Tree Risk Assessments were not conducted unless specified. Disease diagnostic work was not conducted unless specified. All assessments were the result of ground-based, visual inspections. No excavation or soil inspections were performed. Recommendations beyond those related to the proposed construction were not within the scope of work. Full tree risk assessments were not within the scope of work, although assessments of health and structure informed my condition ratings for each tree.</p> <p>My tree impact and preservation assessments were based on information provided in the plans I have reviewed to date, and conversations with the involved parties. I assumed that the guidelines and setbacks recommended in this report would be followed. Assessments, conclusions, and opinions shared in this report are not a guarantee of any specific outcome. If additional information (such as engineering or landscape plans) is provided for my review, these assessments would be subject to change.</p> <p>PREPARED BY: SUSANA FRESTONE ISA CERTIFIED ARBORIST AND ISA-RCA WWW.BORNEFESTONE.COM</p>	<p>905 Leonello Ave • Song Residence • rev. 10/06/22 TREE PROTECTION PLAN - ARBORIST REPORT Page 4 of 24</p> <p>How Construction Can Damage Trees</p> <p>Damage to Roots</p> <p>Where are the roots? The most common types of injury to trees that occur during property improvements are related to root cutting or damage. Tree roots extend further out than people realize, and the majority are located within the upper 24 inches of soil. The thickest roots are found close to the trunk, and finer and branch roots occur further from the trunk. These roots are connected to an intricate system of fine fibrous roots, which are connected to an even finer system of fungal filaments. This vast below-ground network is soaked with absorbing water and nutrients, as well as anchoring the tree in the ground, storage, and communication.</p> <p>PREPARED BY: SUSANA FRESTONE ISA CERTIFIED ARBORIST AND ISA-RCA WWW.BORNEFESTONE.COM</p>	<p>905 Leonello Ave • Song Residence • rev. 10/06/22 TREE PROTECTION PLAN - ARBORIST REPORT Page 5 of 24</p> <p>Mechanical Injury</p> <p>Harm from the impact of vehicles or equipment can occur to the root crown, trunk, and lower branches of a tree. The bark protects a tree – creating a skin-like barrier from disease-causing organisms. The stem tissues support the weight of the plant, and conducting the flow of water, sugars, and other important compounds throughout the tree. When the bark and wood is injured, the structure and health of the tree is compromised.</p> <p>PREPARED BY: SUSANA FRESTONE ISA CERTIFIED ARBORIST AND ISA-RCA WWW.BORNEFESTONE.COM</p>	<p>905 Leonello Ave • Song Residence • rev. 10/06/22 TREE PROTECTION PLAN - ARBORIST REPORT Page 6 of 24</p> <p>Preventing Soil Disturbance & Root Damage</p> <p>I recommend that engine vehicles and vehicles will be travelling over bare ground within fifteen feet of a tree's drip line should have material applied over the ground to disperse the load. This may be done by applying a six to 12 inch layer of wood chip mulch to the area. With this method, much of the excess of four inches would have to be removed after work is completed. As an alternative method that would not require much removal, the contractor could place plywood (3/4" x 6" x 10") or rock mats over a four-inch layer of mulch. Mulch should be spread normally so as not to cause compaction or damage.</p> <p>PREPARED BY: SUSANA FRESTONE ISA CERTIFIED ARBORIST AND ISA-RCA WWW.BORNEFESTONE.COM</p>	<p>905 Leonello Ave • Song Residence • rev. 10/06/22 TREE PROTECTION PLAN - ARBORIST REPORT Page 7 of 24</p> <p>Pruning Branches</p> <p>I recommend that each tree that is designated to remain shall be pruned as necessary to provide clearance for development, while maintaining a natural appearance. Branches must be pruned to allow clearance for proposed structures and the passage of vehicles and machines. Any large dead branches should be pruned out prior to the safety of people working on the site.</p> <p>Pruning should be specified in writing adhering to ANSI A300 Pruning Standards and performed according to Best Management Practices endorsed by the International Society of Arboriculture. Any pruning (trimming) of branches should be supervised by an ISA-certified arborist.</p> <p>PREPARED BY: SUSANA FRESTONE ISA CERTIFIED ARBORIST AND ISA-RCA WWW.BORNEFESTONE.COM</p>	<p>905 Leonello Ave • Song Residence • rev. 10/06/22 TREE PROTECTION PLAN - ARBORIST REPORT Page 8 of 24</p> <p>Pre-Construction Inspection</p> <p>Prior to issuance of a Building Permit (including Grading or Demolition Permits), it is common for municipal Planning and Building Departments to request a pre-construction site inspection and report, to verify that all required tree protection and erosion control measures are in place, in-line with your Planning Department contact for requirements.</p> <p>PREPARED BY: SUSANA FRESTONE ISA CERTIFIED ARBORIST AND ISA-RCA WWW.BORNEFESTONE.COM</p>	<p>905 Leonello Ave • Song Residence • rev. 10/06/22 TREE PROTECTION PLAN - ARBORIST REPORT Page 9 of 24</p> <p>Conclusion</p> <p>The proposed building project appears to be a valuable upgrade to the property and neighborhood. If the recommendations and protection measures in this report are followed, all protected trees identified for preservation are expected to survive.</p> <p>If any of the parties involved have questions on this report, or require Project Arborist supervision or technical support, please do not hesitate to contact me at (650) 493-7338 or bsusana@bornefestone.com.</p> <p>Signed,  B. Frestone ISA Certified Arborist WE-8032A ASCA Registered Consulting Arborist RCA #781 ISA Qualified Tree Risk Assessor ASCA Tree and Plant Appraisal Qualification Member - American Society of Consulting Arborists Wildlife Trained Arborist</p> <p>PREPARED BY: SUSANA FRESTONE ISA CERTIFIED ARBORIST AND ISA-RCA WWW.BORNEFESTONE.COM</p>	<p>905 Leonello Ave • Song Residence • rev. 10/06/22 TREE PROTECTION PLAN - ARBORIST REPORT Page 10 of 24</p> <p>Supporting Documents</p> <p>Glossary</p> <p>DBH (Diameter at Breast/Standard Height) measured at 4.5' above grade.</p> <p>CIRCUMFERENCE (CMC) Combined trunk circumference at 4.5' above grade.</p> <p>SPREAD: Diameter of canopy between farthest branch tips.</p> <p>PROTECTED TREE: According to Los Altos City Code.</p> <ul style="list-style-type: none"> Any tree that is 48 inches (four feet) or greater in circumference when measured at 48 inches above the ground. Any tree designated by the Historical Commission as a Heritage Tree or any tree under official consideration for a Heritage Tree designation. (All California Inland Palm Trees on Riverside Court are designated as Heritage Trees.) Any tree which was required to be either saved or planted in conjunction with a development review approval (i.e. new two-story homes). Any tree located within a public right-of-way. Any tree, regardless of size, located on property zoned other than single-family (R1). <p>CONDITION: Ground based visual assessment of structural and physiological well-being.</p> <p>"Excellent" = 81 - 100%; Good health and structure with significant size, location or quality.</p> <p>"Good" = 61-80%; Normal vigor, full canopy, no observable significant structural defects, many years of service life remaining.</p> <p>"Fair" = 41-60%; Reduced vigor, significant structural defects(s), and/or other significant signs of stress.</p> <p>"Poor" = 21-40%; In potentially irreversible decline; structure and aesthetics severely compromised.</p> <p>PREPARED BY: SUSANA FRESTONE ISA CERTIFIED ARBORIST AND ISA-RCA WWW.BORNEFESTONE.COM</p>	<p>905 Leonello Ave • Song Residence • rev. 10/06/22 TREE PROTECTION PLAN - ARBORIST REPORT Page 11 of 24</p> <p>Tree Impact Assessment</p> <p>SITE DESCRIPTION</p> <p>The parcel was on a rectangular residential lot typical of the neighborhood. The property was without notable topography (no slopes). There was an existing north (Babson driveway) and perimeter (overgrown) oak in front of the property in the public right-of-way. In the back yard were some small ornamental and fruit trees, screening trees along the back property line, and a large Acacia. There were also several neighboring trees backing the property including two (2) mature coast live oak (Quercus agrifolia).</p> <p>DESCRIPTION OF PROPOSED WORK</p> <p>It was understood that the existing one-story house would be demolished, and a new two-story home with attached garage would be built in its place. The existing landscaping would be removed and replaced with new trees.</p> <p>TREE INVENTORY</p> <p>This tree preservation plan includes an attached inventory of all trees four inches and larger (4" DBH+) on or overhanging the property as well as adjacent Street Trees as necessary. According to the City of Los Altos a "Protected Tree" was any tree that was 48 inches or greater in circumference when measured at 48 inches above the ground.</p> <p>The inventory included each tree's number (or shown on the TPZ map), measurements, condition, level of impact (due to proximity to work), tolerance to construction, overall suitability for conservation, and prescription (remove/retain).</p> <p>PREPARED BY: SUSANA FRESTONE ISA CERTIFIED ARBORIST AND ISA-RCA WWW.BORNEFESTONE.COM</p>	<p>905 Leonello Ave • Song Residence • rev. 10/06/22 TREE PROTECTION PLAN - ARBORIST REPORT Page 12 of 24</p> <p>IMPACTS TO PROTECTED TREES</p> <p>Identified 21 trees for inclusion in this report including five (5) protected trees in the area where either sub-size 1/4" DBH or sufficiently distant from the work. Please see next section for a list of proposed tree removals. Anticipated impacts to trees to be retained with Protected status are as follows:</p> <ul style="list-style-type: none"> Tree #1 (Locust, Street Tree): This tree would be expected to sustain a moderate (acceptable) impact of 10 - 25% root loss from the proposed installation of the new driveway and front walkway. Please see "Special Tree Protection Measures" section of this report for guidelines on working within its DBH of this tree. Tree #2 (Perseman, Street Tree): would incur a "low" impact (no more than 10% root loss) from the proposed installation of the front walkway. Tree #3 and #4 (neighboring oak and blue gum eucalyptus): These trees would be expected to sustain a moderate (acceptable) impact of 10 - 25% root loss from the proposed excavation of the new foundation which would be no closer than the original. Please see "Special Tree Protection Measures" section of this report for guidelines on working within its DBH of this tree. Tree #20 (neighboring oak): assuming the existing mow strip would be demolished, and new landscaping installed to the back yard, this tree would be expected to sustain a moderate (acceptable) impact of 10 - 25% root loss from the proposed excavation of the new foundation as long as guidelines are followed. Please see "Special Tree Protection Measures" section of this report for guidelines. <p>The evaluation of anticipated project impacts to the woodlot was summarized in the Tree Inventory under the heading "Impact Assessment." These included impacts of grading, excavation for utility installation, retaining walls, drainage or any other aspect of the project that could impact the service life of the tree. The anticipated impact due to proximity to work was provided using a rating system. General species tolerance to construction, and condition of the trees (health and structural integrity), was also provided. These factors, as well as tree age, soil characteristics, and species diversity, all factored into individual trees' suitability.</p> <p>PREPARED BY: SUSANA FRESTONE ISA CERTIFIED ARBORIST AND ISA-RCA WWW.BORNEFESTONE.COM</p>	<p>905 Leonello Ave • Song Residence • rev. 10/06/22 TREE PROTECTION PLAN - ARBORIST REPORT Page 13 of 24</p> <p>Requested Tree Removals</p> <p>One (1) protected tree in very poor condition was requested for removal:</p> <ul style="list-style-type: none"> Tree #17 (Angie apple, Eucalyptus corymbosa): Although the client valued this tree and would to preserve it, they are requesting removal as my recommendation. I observed that the lower trunk had a serious rot, and upon investigation, found that more than 50% of its circumference was rotten, with the rotter wood coming apart easily to my hands. Area had reported that another Eucalyptus had failed in years prior and it was my assessment that while tree failure of this one was probable within the next few years. Recent reduction pruning of its canopy had reduced the loading on the defect and will buy some time. However, with the house located within the Fall zone, I recommended removal as soon as the City provides approval and before the storm season if possible. Based on its very poor and potentially dangerous condition, removal of Tree #17 may be justified by City code chapter 13.06.000 Chapter 13. The condition of the tree with respect to disease. Please see photos at the end of this report. Four (4) trees without special status were also slated for removal: Tree #7, #8, #11, and #12. I recommended these for removal based on poor condition and/or severe project impacts. Please see the Tree Inventory table for condition and impact rating for these trees. <p>PREPARED BY: SUSANA FRESTONE ISA CERTIFIED ARBORIST AND ISA-RCA WWW.BORNEFESTONE.COM</p>	<p>905 Leonello Ave • Song Residence • rev. 10/06/22 TREE PROTECTION PLAN - ARBORIST REPORT Page 14 of 24</p> <p>Tree Preservation & Mitigation Measures</p> <p>PRE-CONSTRUCTION</p> <p>Establish Tree Protection Zones (TPZ):</p> <p>The Tree Protection Zone (TPZ) shall be a fenced-off area where work and material storage is not allowed. This barrier protects the critical root zone and trunk from compaction, mechanical damage, and chemical spills.</p> <p>TPZ SPECIFICATIONS:</p> <p>From "Tree Protection During Construction" (DNR 07-314 4-3 (amended) prior code §10.2.2.6(33))</p> <p>Protected trees designated for preservation shall be protected during development of a property by compliance with the following, which may be modified by the planning director:</p> <ul style="list-style-type: none"> a. Protective fencing shall be installed no closer to the trunk than the drip line, and far enough from the trunk to protect the integrity of the tree. The fence shall be a minimum of four feet in height and shall be set at an angle to the trunk. The fence shall be of sturdy but open material (i.e., chain-link), to allow visibility to the trunk for inspections and safety. There shall be no storage of any kind within the protective zone. b. To meet the City fencing requirements, specifically recommend using five-foot (5') chain-link fence as standard tree protection. The fence is most secure when mounted on a 2-inch diameter galvanized posts and driven into the ground to a depth of at least 2 feet at no more than 10-foot spacing. In lieu of a diagram provided by the City, I have attached a diagram TPZ fencing diagram published by the County of Santa Clara to serve as an example of a standard, best-practice TPZ. <p>PREPARED BY: SUSANA FRESTONE ISA CERTIFIED ARBORIST AND ISA-RCA WWW.BORNEFESTONE.COM</p>	<p>905 Leonello Ave • Song Residence • rev. 10/06/22 TREE PROTECTION PLAN - ARBORIST REPORT Page 15 of 24</p> <p>POST-CONSTRUCTION</p> <p>Ensure any mitigation measures to ensure long term survival including but not limited to:</p> <p>Continued Tree Care</p> <p>Provide adequate and appropriate irrigation. A rule of thumb, provide 1-2 inches of water per week. Water slowly so that it penetrates 12 inches into the soil, to the depth of the tree roots. However, native oaks usually should not be provided supplemental water during the warm, dry season (June - September) as this activates oak root fungus. Therefore, native oaks should only be watered October - May when rain has been scarce.</p> <p>Mulch insulates the soil, reduces weeds, reduces compaction, and promotes myriad benefits to soil life and tree health. Apply four inches of wood chips (or other mulch) to the surface of the soil around trees, extending at least to the drip line when possible. Take care not to pile mulch against the trunk.</p> <p>Do not fertilize unless a specific nutrient deficiency has been identified and a specific plan prescribed by the project arborist (or a consulting arborist).</p> <p>Post-Construction Monitoring</p> <p>Monitor trees for changes in condition. Check trees at least once per month for the first year post construction. Erosion monitoring should be done at least every 6 months or if trees show signs of stress. Signs of stress include unseasonably sparse canopy, leaf drop, early leaf loss, browning of needles, and shoot die-back. Stressed trees are also more vulnerable to certain disease and pest infestations. Call the Project Arborist, or a consulting arborist. If these, or other concerning changes occur in tree health.</p> <p>PREPARED BY: SUSANA FRESTONE ISA CERTIFIED ARBORIST AND ISA-RCA WWW.BORNEFESTONE.COM</p>	<p>905 Leonello Ave • Song Residence • rev. 10/06/22 TREE PROTECTION PLAN - ARBORIST REPORT Page 16 of 24</p> <p>During Construction</p> <p>Special Tree Protection Measures</p> <ul style="list-style-type: none"> 1. Trees #1 (Locust, Street Tree), #3 (neighboring coast live oak), #4 (neighboring eucalyptus), and #20 (neighboring coast live oak) 2. Demolition of existing hardwood (on original foundation and landscaping) should be performed in a manner that avoids tearing roots. Using the smallest effective machinery, break up pieces of the concrete and lift pieces up and away from trees. Cut roots embedded in paving rather than tearing them loose into paving on "Road Pruning". 3. Demolition of existing mow strip should be performed in a manner that avoids tearing roots. Using the smallest effective machinery, break up pieces of the concrete and lift pieces up and away from trees. Cut roots embedded in paving rather than tearing them loose into paving on "Road Pruning". 4. Retaining walls, driveways, patios, When excavating within 10 feet of trees: <ul style="list-style-type: none"> • 10 feet of trees #3's trunk • 15 feet of trees #4's trunk • 10 feet of trees #20's trunk 5. Use hand tools. Leave roots undisturbed and buried if possible. Excavation depth for installation of new landscape materials within the above distances of these trees should be no more than four inches (4") into original grade. Minimize compaction of subgrade under trees. If roots must be cut, please see section titled "Road Pruning". <p>2. Trees #3 and #4 (neighboring oak and eucalyptus)</p> <p>Excavation guidelines for installation of new foundation: When excavating underneath the canopy, or within 20 feet of these large neighboring trees, use hand tools within top 36 inches of soil depth. If roots over one inch (1") must be cut, use instructions on "Road Pruning".</p> <p>3. Tree #20 (neighboring oak)</p> <p>a. Demolition of existing mow strip should be performed in a manner that avoids tearing roots. Using the smallest effective machinery, break up pieces of the concrete and lift pieces up and away from trees. Cut roots embedded in paving rather than tearing them loose into paving on "Road Pruning".</p> <p>PREPARED BY: SUSANA FRESTONE ISA CERTIFIED ARBORIST AND ISA-RCA WWW.BORNEFESTONE.COM</p>	<p>905 Leonello Ave • Song Residence • rev. 10/06/22 TREE PROTECTION PLAN - ARBORIST REPORT Page 17 of 24</p> <p>Irrigation</p> <p>Maintain normal irrigation, as a rule of thumb, provide 1-2 inches per month. Water slowly so that it penetrates 12 inches into the soil, to the depth of the tree roots. However, native oaks usually should not be provided supplemental water during the warm, dry season (June - September) as this activates oak root fungus. Therefore, native oaks should only be watered October - May when rain has been scarce.</p> <p>Root Pruning</p> <p>Roots often extend farther beyond the tree than people realize. Even outside of the fencing protecting the critical root zone, there are roots that are important to the wellbeing of the tree. Builders may notice torn roots after digging or trenching. If this happens, exposed ends should be cut cleanly. The cut should be made perpendicular to the growth of the root (i.e. "square cut") at a location where bark is undamaged and intact.</p> <p>However, the best way to cut roots is to cut them cleanly before they are torn by excavating equipment. Roots may be exposed by gentle excavation methods, and then cut selectively. Alternatively, a tool specifically designed to cut roots may be used to cut through the soil on the tree side of the excavation line prior to digging to the roots and not roots.</p> <p>I recommend that root pruning of any root over one inch (1") be supervised by the Town Arborist (or Project Arborist).</p> <p>PREPARED BY: SUSANA FRESTONE ISA CERTIFIED ARBORIST AND ISA-RCA WWW.BORNEFESTONE.COM</p>	<p>905 Leonello Ave • Song Residence • rev. 10/06/22 TREE PROTECTION PLAN - ARBORIST REPORT Page 18 of 24</p> <p>SOURCES</p> <p>Fitz, Kelly, and E. Thomas Smiley. Managing trees during construction, second edition. Champaign, IL: International Society of Arboriculture, 2016. Print.</p> <p>ISA. Guide for Plant Approval, 10th edition, second printing. Atlanta, GA: International Society of Arboriculture, 2019. Print.</p> <p>ISA. Species Classification and Group Assignment, 2004 Western Chapter Regional Supplement. Western Chapter ISA.</p> <p>Smiley, E. Thomas, Nelda Matheny, and Sharon Lily. Best Management Practices: Tree Risk Assessment. International Society of Arboriculture, 2011. Print.</p> <p>PREPARED BY: SUSANA FRESTONE ISA CERTIFIED ARBORIST AND ISA-RCA WWW.BORNEFESTONE.COM</p>	<p>905 Leonello Ave • Song Residence • rev. 10/06/22 TREE PROTECTION PLAN - ARBORIST REPORT Page 19 of 24</p> <p>PHOTOS (A - C)</p>    <p>PREPARED BY: SUSANA FRESTONE ISA CERTIFIED ARBORIST AND ISA-RCA WWW.BORNEFESTONE.COM</p>	<p>905 Leonello Ave • Song Residence • rev. 10/06/22 TREE PROTECTION PLAN - ARBORIST REPORT Page 20 of 24</p> <p>Very Poor = 0 - 5%; Nearly dead, or high risk of failure, negative contribution to the landscape</p> <p>Dead/Unstable = 0 - 5%; No live canopy/buds or failure imminent</p> <p>IDEAL TPZ RADII: Recommended tree protection radius to ensure healthy, sound trees. Based on species tolerance, age, and size (total combined stem area). Compromising the radius in a specific area may be acceptable as per arborist approval.</p> <p>AGE: Relative to tree lifespan: "Young" <1/3; "Mature" 1/3 - 2/3; "Overmature" >2/3</p> <p>IMPACT: Anticipated impact to an individual tree including...</p> <p>SEVERE: In direct conflict, removal necessary if plans proceed (distance to root cut/fill within 3x DBH or root loss of > 30% anticipated).</p> <p>HIGH: Work planned within 6x DBH and/or anticipated root loss of 20% - 30%. Retaining or reduce impact should be explored and may be required by municipal reviewer. Retention may be possible with monitoring or alternative building methods. Health and structure may worsen even if conditions for retention are met.</p> <p>MODERATE: Ideal TPZ encroached upon in limited areas. No work or very limited work was planned by Project Arborist. Although some symptoms of stress are possible, tree is not likely to decline due to construction related activities.</p> <p>LOW: Anticipated root loss of less than 10%. Minor or no encroachment on ideal TPZ. Longevity uncompromised with standard protection.</p> <p>VERY LOW: Ideal TPZ well exceeded. Potential impact only by ingress/egress. Anticipated root loss of 0% - 5%. Longevity uncompromised.</p> <p>NONE: No anticipated impact to roots, soil environment, or above ground parts</p> <p>TOLERANCE: General species tolerance to construction (GOOD, MODERATE, or POOR) as given in Managing Trees During Construction, Second Edition, by International Society of Arboriculture</p> <p>PREPARED BY: SUSANA FRESTONE ISA CERTIFIED ARBORIST AND ISA-RCA WWW.BORNEFESTONE.COM</p>	<p>905 Leonello Ave • Song Residence • rev. 10/06/22 TREE PROTECTION PLAN - ARBORIST REPORT Page 21 of 24</p> <p>ARBORIST REPORT</p> <p>CITY STAMP:</p> <p>A0.3</p> <p>PROJECT NUMBER: 212 905 LEONELLO AVE</p>
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PROGRESS SET
7.28.2022

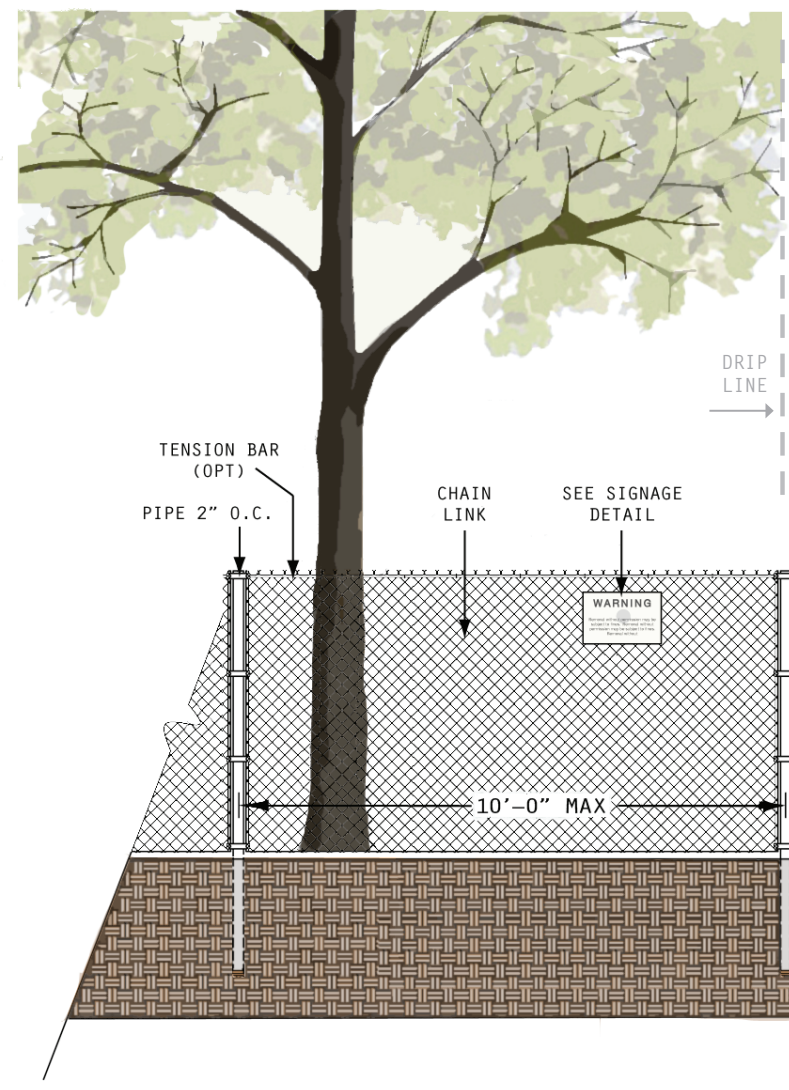
Sheet Revisions:
1. PLAN CHECK COMMENTS
10.10.2022
2. PLAN CHECK COMMENTS
12.5.2022

ALL DRAWINGS AND WRITTEN MATERIAL CONTAINED HEREIN SHALL BE THE PROPERTY OF KYLECHAN ARCHITECT AND NO PART MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF KYLECHAN ARCHITECT.

ELECTRONIC PLAN REVIEW

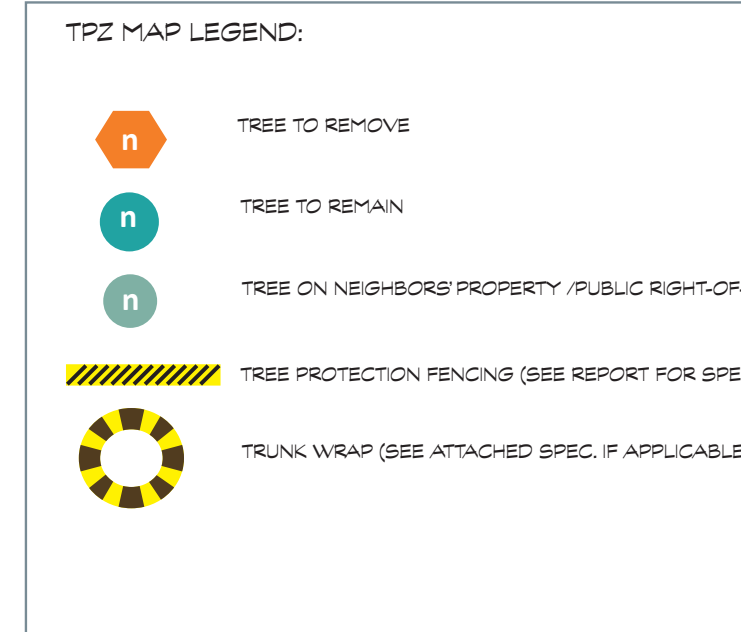
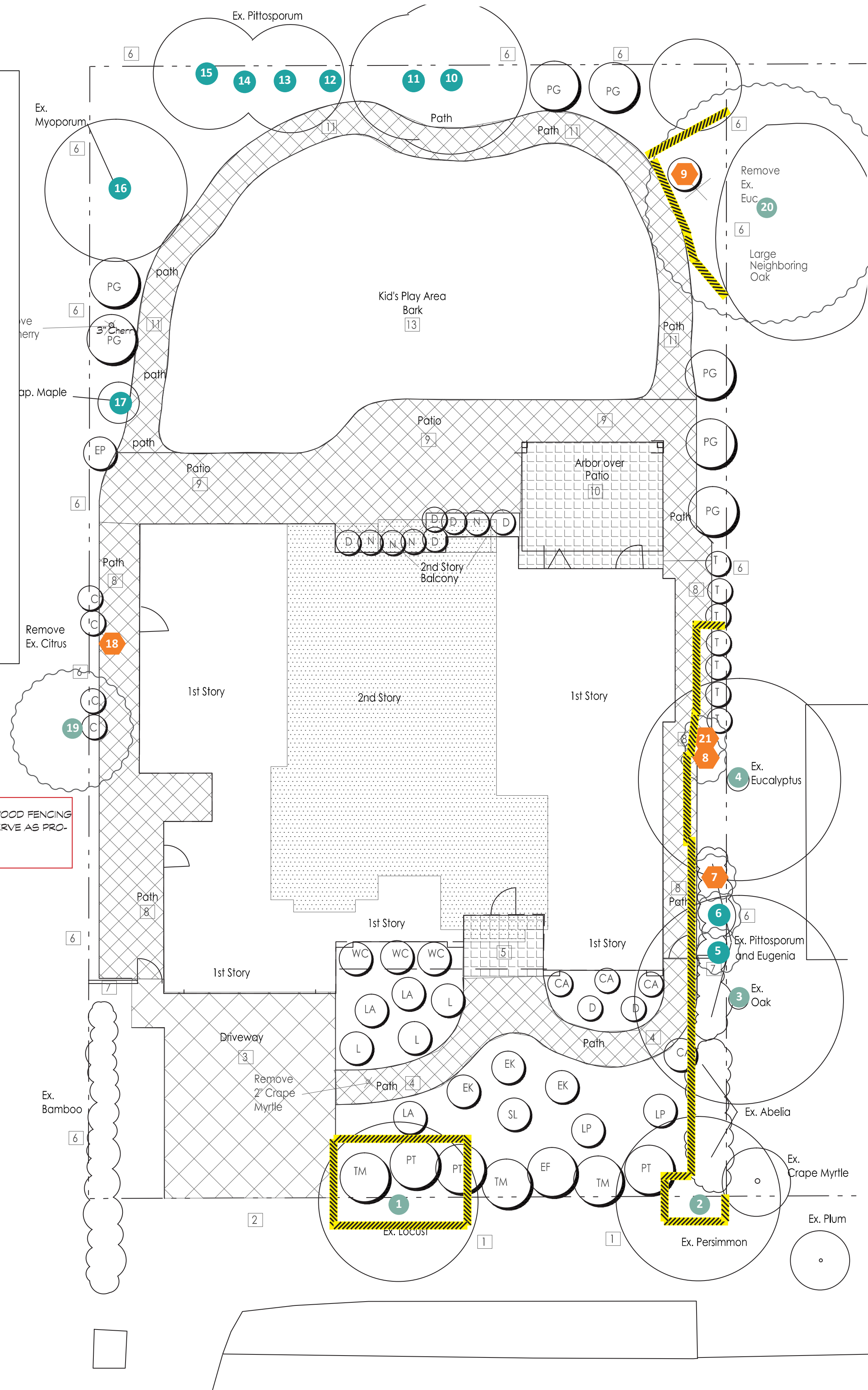
ZHANG RESIDENCE
NEW RESIDENCE
905 LEONELLO AVE
LOS ALTOS, CA 94024

PROGRESS SET
NOT FOR CONSTRUCTION



TREE PROTECTION FENCE DETAIL
ELEVATION VIEW

TPZ NOTE: EXISTING 6\"/>



NOTE: TREES #19 & #20 WERE PLACED BY PROJECT ARBORIST AND LOCATIONS ARE APPROXIMATE.

TREE INVENTORY - 905 Leonello Ave, Los Altos 94025

Date: 4/29/2022

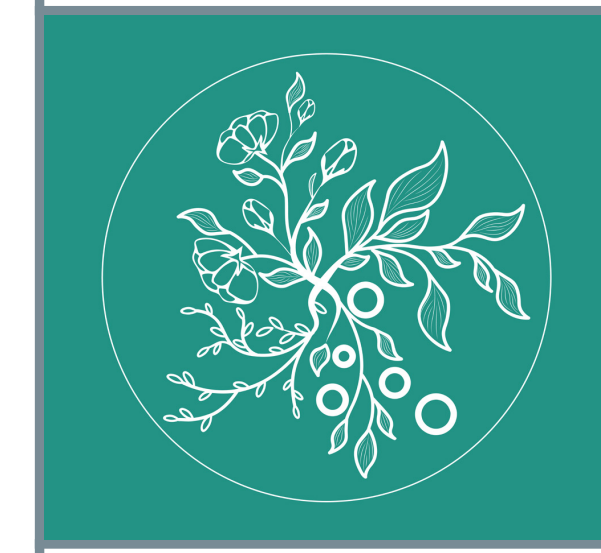
ALL TREES 4" AND OVER ON OR OVERHANGING THE PROPERTY										TREE IMPACT ASSESSMENT				
Number	Common Name	Botanical Name	DBH (inches)	Height (feet)	Spread (feet)	Status	Condition	Age	Species Tolerance	TPZ mult. Factor	Ideal TPZ Radius (ft)	Impact Level **	Suitability Rating	Prescription
1	Idaho Laurel	<i>Rubus idahoensis</i>	11	11	30	PROTECTED	FAIR	MATURE	MODERATE	12	11	MODERATE**	MODERATE	PRESERVE
2	Persimmon	<i>Diopatra laevis</i>	8	8	25	PROTECTED	FAIR	MATURE	HIGH	8	5	LOW	MODERATE	PRESERVE
3	Coast Live Oak	<i>Quercus agrifolia</i>	est. 40	40	50	30	PROTECTED	FAIR	MATURE	HIGH	8	27	MODERATE	PRESERVE
4	Blue Gum	<i>Eucalyptus globulus</i>	est. 25	25	55	20	PROTECTED	FAIR	MATURE	MODERATE	12	25	MODERATE	PRESERVE
5	Surinam Cherry	<i>Eugenia uniflora</i>	6	6	15	5	(not protected)	FAIR	OVERMATURE	MODERATE	15	8	MODERATE	PRESERVE
6	Surinam Cherry	<i>Eugenia uniflora</i>	6	6	15	5	(not protected)	FAIR	OVERMATURE	MODERATE	15	8	MODERATE	PRESERVE
7	Surinam Cherry	<i>Eugenia uniflora</i>	7	7	15	5	(not protected)	VERY POOR	OVERMATURE	MODERATE	15	9	MODERATE	LOW REMOVE (X)
8	Yucca	<i>Yucca sp.</i>	10	10	10	5	(not protected)	FAIR	MATURE	MODERATE	12	10	SEVERE	MODERATE REMOVE (X)
9	Argyle Apple	<i>Eucalyptus cinerea</i>	32	32	55	20	PROTECTED	VERY POOR	MATURE	MODERATE	12	32	MODERATE	LOW REMOVE (X)
10	Limewood	<i>Pittosporum eugenioides</i>	8, 7.5, 7	13	30	20	(not protected)	FAIR	OVERMATURE	MODERATE	15	16	MODERATE	PRESERVE
11	Limewood	<i>Pittosporum eugenioides</i>	8, 5.5	10	30	15	(not protected)	FAIR	OVERMATURE	MODERATE	15	13	MODERATE	PRESERVE
12	Limewood	<i>Pittosporum eugenioides</i>	8	8	30	10	(not protected)	FAIR	OVERMATURE	MODERATE	15	10	MODERATE	PRESERVE
13	Limewood	<i>Pittosporum eugenioides</i>	8, 7	11	30	15	(not protected)	FAIR	OVERMATURE	MODERATE	15	14	MODERATE	PRESERVE
14	Limewood	<i>Pittosporum eugenioides</i>	14	14	30	15	(not protected)	FAIR	OVERMATURE	MODERATE	15	18	MODERATE	PRESERVE
15	Limewood	<i>Pittosporum eugenioides</i>	13	13	25	20	(not protected)	FAIR	OVERMATURE	MODERATE	15	16	MODERATE	PRESERVE
16	Myoporum	<i>Myoporum laetum</i>	9	9	20	20	(not protected)	FAIR	MATURE	MODERATE	12	9	MODERATE	LOW PRESERVE
17	Japanese Maple	<i>Acer palmatum</i>	4	4	10	10	(not protected)	FAIR	MATURE	MODERATE	12	4	MODERATE	LOW PRESERVE
18	Lemon	<i>Citrus limon</i>	4	4	10	10	(not protected)	FAIR	MATURE	MODERATE	12	4	SEVERE	LOW REMOVE (X)
19	Holly	<i>Ilex spp.</i>	est. 6, (2) 4	8	15	15	(not protected)	FAIR	MATURE	HIGH	8	5	MODERATE	PRESERVE
20	Coast Live Oak	<i>Quercus agrifolia</i>	est. 18	18	40	30	PROTECTED	FAIR	MATURE	HIGH	8	12	MODERATE	PRESERVE
21	Yucca	<i>Yucca spp.</i>	4	4	10	5	(not protected)	FAIR	MATURE	MODERATE	12	4	SEVERE	LOW REMOVE (X)

SEE GLOSSARY FOR DEFINITION OF TERMS

**ASSUMES STANDARD AND SPECIAL TREE PROTECTION MEASURES ARE FOLLOWED.

Prepared by Buzszi Firestone
ISA Certified Arborist #WE 8525A

TREE PROTECTION ZONE MAP
905 LEONELLO AVE, LOS ALTOS, CA

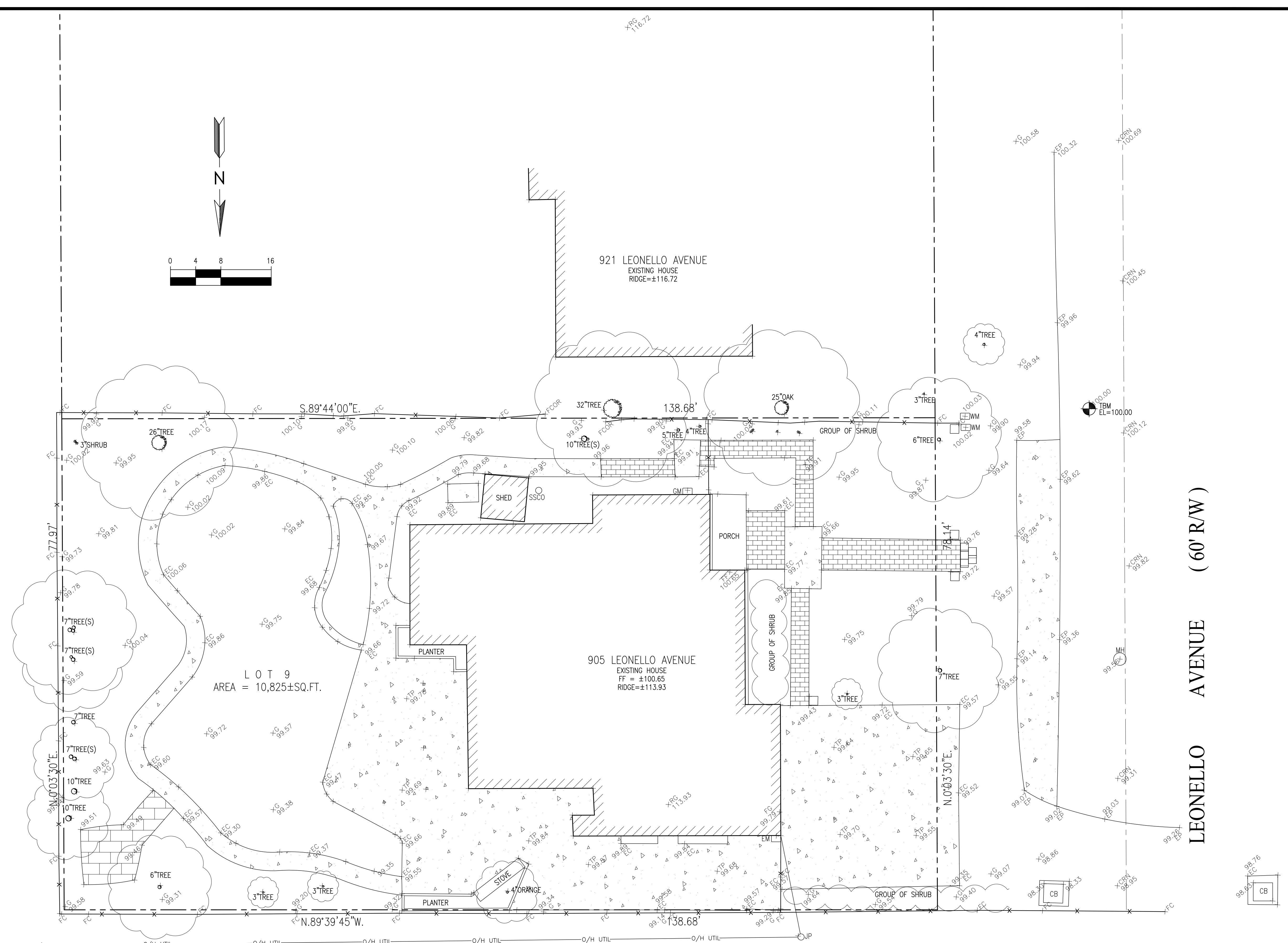
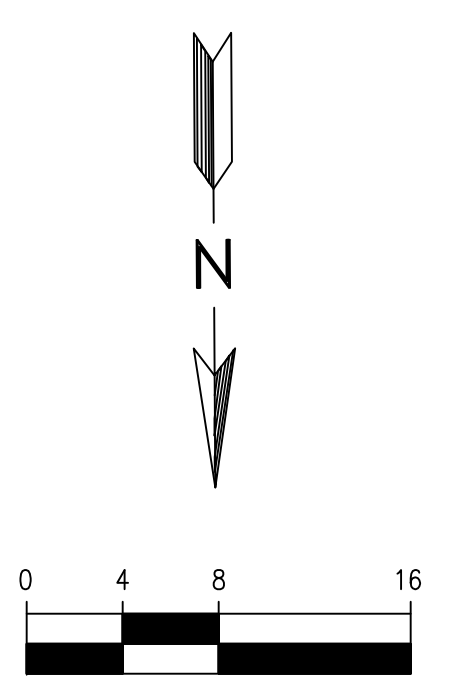


DATE:
rev. 10/06/22

TPZ ELEMENTS DRAWN:
B. FIRESTONE
ISA-CERTIFIED ARBORIST
#WE-8525A

BASE MAP: SITE PLAN L1
by GREGORY LEWIS LAND-
SCAPE ARCHITECT
(07/18/2022)

ARBORIST REPORT
pg. 24



- LEGEND:**
- AC ASPHALT CONCRETE
 - BC BUILDING CORNER
 - BW BACK OF WALK
 - CB CATCH BASIN
 - CMP CORRUGATED METAL PIPE
 - CO CLEAN OUT
 - CRN CROWN
 - DW DRIVEWAY
 - EC EDGE OF CONCRETE
 - EM ELECTRIC METER
 - EP EDGE OF PAVEMENT
 - FCOR FENCE CORNER
 - FD FOUND
 - FF FINISHED FLOOR
 - FL FLOW LINE
 - FH FIRE HYDRANT
 - FW FRONT OF WALK
 - G GROUND
 - GC GARAGE CORNER
 - GF GARAGE FACE/FRONT
 - GFC GROUND AT FENCE
 - GM GAS METER
 - HCR HANDICAP RAMP
 - INV INVERT
 - IP IRON PIPE
 - JP JOINT POLE
 - LG LIP OF GUTTER
 - O/H OVERHEAD
 - PC PROPERTY CORNER
 - RM RETAINING WALL
 - SL STREET LIGHT
 - SSCO SANITARY SEWER CLEANOUT
 - SSMH SANITARY SEWER MANHOLE
 - SDMH STORM DRAIN MANHOLE
 - TBC TOP BACK ROLLED CURB
 - TC TOP OF CURB
 - TOB TOP OF BANK
 - TOE TOP OF BANK
 - TP TOP OF PAVEMENT
 - TRC TOP OF ROLLED CURB
 - TW TOP OF WALL
 - U/G UNDERGROUND
 - VCP VITRIFIED CLAY PIPE
 - WV WATER VALVE
 - WM WATER METER BOX
 - CTV- CABLE TELEVISION LINE
 - E- ELECTRICAL LINE
 - G- GAS LINE
 - SS- SANITARY SEWER LINE
 - SD- STORM DRAIN LINE
 - T- TELEPHONE LINE
 - W- WATER LINE

BASIS OF BEARINGS:
 THE BEARING, N0°03'30"E, OF THE CENTER LINE OF LEONELLO AVENUE, AS SHOWN ON THAT CERTAIN MAP FILED IN THE OFFICE OF THE RECORDER OF SANTA CLARA COUNTY, STATE OF CALIFORNIA, IN BOOK 12 OF MAPS AT PAGE 16, WAS USED AS THE BASIS OF BEARINGS SHOWN ON THIS MAP.

BASIS OF ELEVATION:
 TBM ELEV=100.00 (ASSUMED)

UTILITY NOTE:
 UNDERGROUND UTILITIES SHOWN PER SURFACE EVIDENCE AND RECORD MAPS. MAY BE DIFFERENT THAN AS SHOWN. BEFORE EXCAVATION, CALL UNDERGROUND SERVICE ALERT (USA) 1-800-642-2444.

LEGAL DESCRIPTION:
 LOT 9, TRACT NO.384, MAP REF: BOOK 12 PAGE 16

NOTE:
 1. MEASUREMENT OF BUILDING LINE IS TO THE FACE OF STUCCO OR SIDING

ZHANG & SONG RESIDENCE

905 LEONELLO AVENUE
 LOS ALTOS, CA
 APN: 189-20-014



2625 MIDDLEFIELD RD #658
 PALO ALTO, CA 94306
 TEL: (650) 823-6466
 FAX: (650) 887-1294

LICENSE STAMPS AND SIGNATURE



ISSUED

No.	Description	Date

DATE: AUG 25, 2021
 SCALE: 1/8"=1'-0"
 DRAWN: BG
 JOB: 10078

SHEET TITLE:

TOPOGRAPHIC SURVEY

SHEET NO.

C.0

GRADING AND DRAINAGE NOTES:

1. CONTRACTOR TO VERIFY ALL CONTROLLING DIMENSIONS WITH ARCHITECTURAL PLANS AND SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH ALL EXISTING CONDITIONS. THEY SHALL BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING. VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES BEFORE STARTING CONSTRUCTION. ANY SITE WORK THAT DEVIATES FROM WHAT IS SHOWN ON THE PLANS SHALL HAVE THE ENGINEER'S APPROVAL PRIOR TO PROCEEDING WITH THE DEVIATING WORK ITEM. CONTRACTOR SHALL CALL "UNDERGROUND SERVICE ALERT" (800) 642-2444 PRIOR TO EXCAVATION.
2. THE SITE SHALL BE FINE GRADED TO PROVIDE A MINIMUM OF 5% ACROSS VEGETATED OR DIRT AREA AND 2% ACROSS HARDSCAPED AREA, AWAY FROM THE BUILDING PERIMETER. EXISTING DRAINAGE COMING FROM ADJACENT PROPERTIES SHALL BE MAINTAINED. IN NO CASE SHALL THE FINAL GRADING INCREASE SHEET FLOW ONTO ADJACENT PROPERTIES.
3. UNLESS SHOWN ON THE PLAN OTHERWISE, HOUSE AND GARAGE MUST HAVE DOWN SPOUTS THAT ARE DIRECTED TO SPLASH BLOCKS (2 FEET LONG) THAT DEFLECT THE WATER AWAY FROM BUILDING FOUNDATION BY SURFACE DRAINAGE. ALL DOWNSPOUT AND GUTTER SHALL BE GALV. SHEET METAL.
4. CONTRACTOR SHALL OBTAIN A STREET WORK PERMIT FROM PUBLIC WORKS ENGINEERING FOR ANY PROPOSED CONSTRUCTION WHICH WILL IMPACT THE USE OF THE SIDEWALK, STREET AND ALLEY OR ON THE PROPERTY IN WHICH THE CITY HOLDS AN INTEREST.
5. ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF WAY MUST HAVE AN APPROVED PERMIT FOR CONSTRUCTION IN THE PUBLIC STREET PRIOR TO COMMENCEMENT OF THIS WORK. THE PERFORMANCE OF THIS WORK IS NOT AUTHORIZED BY THE BUILDING PERMIT ISSUANCE BUT SHOWN ON THE BUILDING PERMIT FOR INFORMATION ONLY.
6. IF GROUNDWATER OR RUNOFF WATER IS ENCOUNTERED AND REQUIRES REMOVAL FROM THE EXCAVATION AREA, ALL EXCAVATION AND/OR BUILDING ACTIVITIES MUST IMMEDIATELY STOP. THE PLAN FOR THE DEWATERING OF THE EXCAVATION MUST BE DESIGNED AND SUBMITTED FOR APPROVAL TO THE PUBLIC WORKS-ENGINEERING DIVISION. ONCE APPROVAL OF THE PLAN DESIGN HAS BEEN RECEIVED, IMPLEMENTATION OF THE PLAN IS REQUIRED PRIOR TO THE COMMENCEMENT OF THE EXCAVATION AND/OR BUILDING ACTIVITIES.

GENERAL NOTES

5

AB	AGGREGATE BASE	GB	GRADE BREAK
AC	ASPHALT CONCRETE	GM	GAS METER
AD	AREA DRAIN	GR	GRATE ELEVATION
BW	BOTTOM OF WALL	HP	HIGH POINT
CB	CATCH BASIN	INV	INVERT ELEVATION
CIP	CAST IRON PIPE	JT	JOINT TRENCH
CL	CENTER LINE	JP	JOINT POLE
CONC	CONCRETE	LD	LANDSCAPE DRAIN
CS	CRAWL SPACE ELEV.	LF	LINEAR FEET
DD	DECK DRAIN	(N)	NEW
DIP	DUCT IRON PIPE	RIM	RIM ELEVATION
DS	DOWNSPOUT	S	SLOPE
DWY	DRIVEWAY	SD	STORM DRAIN LINE
(E)	EXISTING	SDCO	STORM DRAIN CLEANOUT
EG	EXISTING GRADING	SDFM	STORM DRAIN FORCED MAIN
EM	ELECTRICAL METER	SS	SANITARY SEWER
EP	EDGE OF PAVEMENT	SSCO	SANITARY SEWER CLEANOUT
FF	FINISH FLOOR ELEVATION	TW	TOP OF WALL ELEVATION
FG	FINISHED GROUND ELEV.	TYP	TYPICAL
FP	FINISHED PAVEMENT	W	DOMESTIC WATER LINE
FS	FINISH SURFACE ELEV	WM	WATER METER

ABBREVIATION

4

—SS—	SANITARY SEWER	—SL—	STREET LIGHT
—E—	ELECTRIC	—IRR—	IRRIGATION
—TV—	TV/CABLE TV	—X—	FENCE
—FS—	FIRE SERVICE	—JT—	JOINT TRENCH
—W—	DOMESTIC WATER	—O/H—	OVERHEAD WIRES
—T—	TELEPHONE	× 16.07	(E) SPOT ELEVATION
—G—	NATURAL GAS	× 16.07	(N) SPOT ELEVATION
—FM—	FORCE MAIN		
DS	SPLASH BLOCK, MIN. 2 FEET LONG DEFLECT THE WATER AWAY FROM BOTH BLDG.		
—	DOWNSPOUT		

LEGEND

3

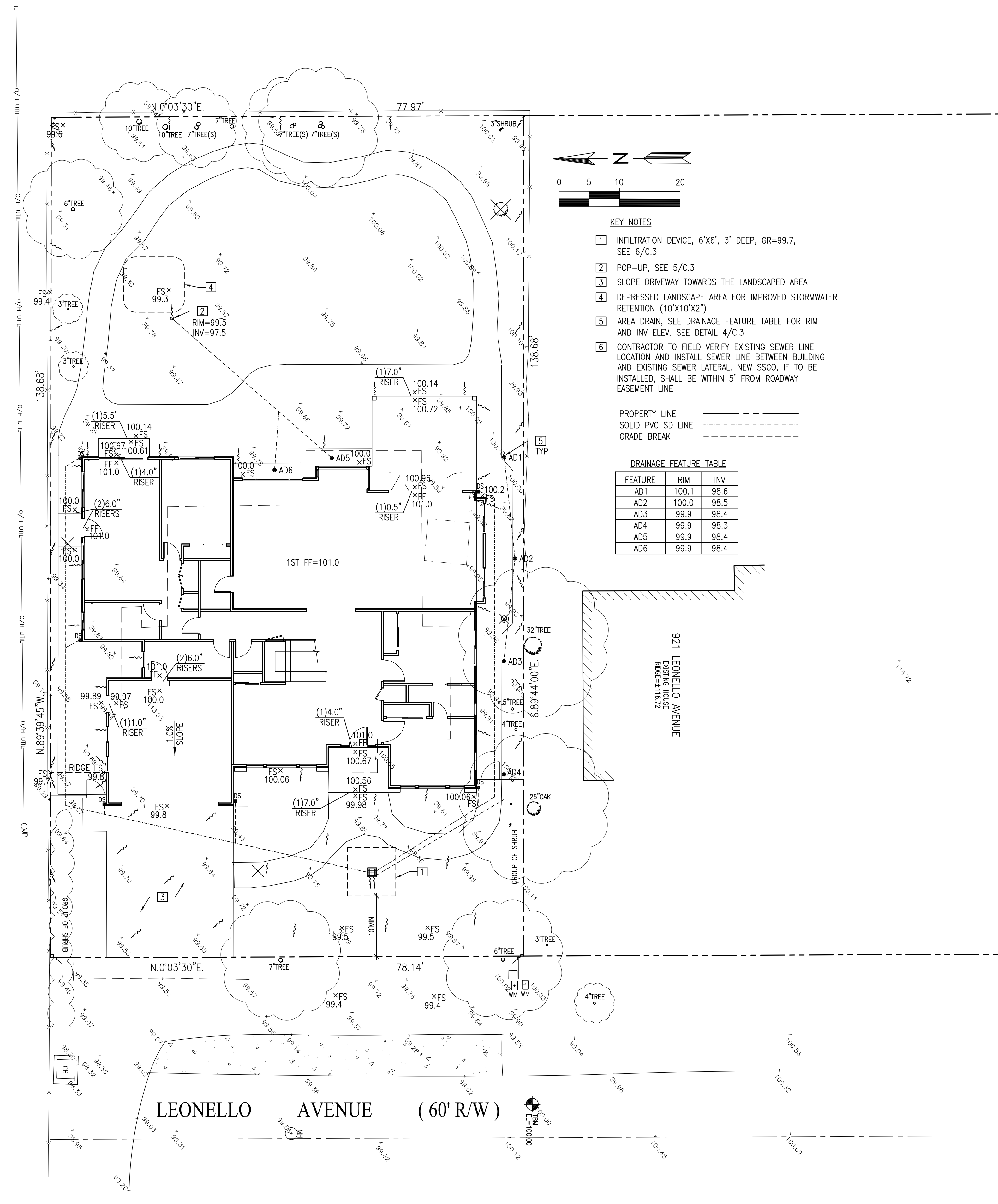
EARTHWORK QUANTITIES:

CUT(OUTSIDE BLDG FOOTPRINT)	20 C.Y.
CUT(INSIDE BLDG FOOTPRINT)	210 C.Y.
FILL	25 C.Y.
BALANCE	205 C.Y.

EARTHWORK QUANTITIES SHOWN ARE FOR PLANNING PURPOSES ONLY. CONTRACTOR SHALL PERFORM THEIR OWN EARTHWORK QUANTITY CALCULATION AND USE THEIR CALCULATION FOR BIDDING AND COST ESTIMATING PURPOSES.

CUT AND FILL EST.

2



**ZHANG & SONG
RESIDENCE**

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LOS ALTOS, CA
APN: 189-20-014



2625 MIDDLEFIELD RD #658
PALO ALTO, CA 94306
TEL: (650) 823-6466
FAX: (650) 887-1294

LICENSE STAMPS AND SIGNATURE



ISSUED

No.	Description	Date

DATE: JULY 14, 2022
 SCALE: AS SHOWN
 DRAWN: J
 JOB: 10078

SHEET TITLE:

**GRADING &
DRAINAGE
PLAN**

SHEET NO.

C.1

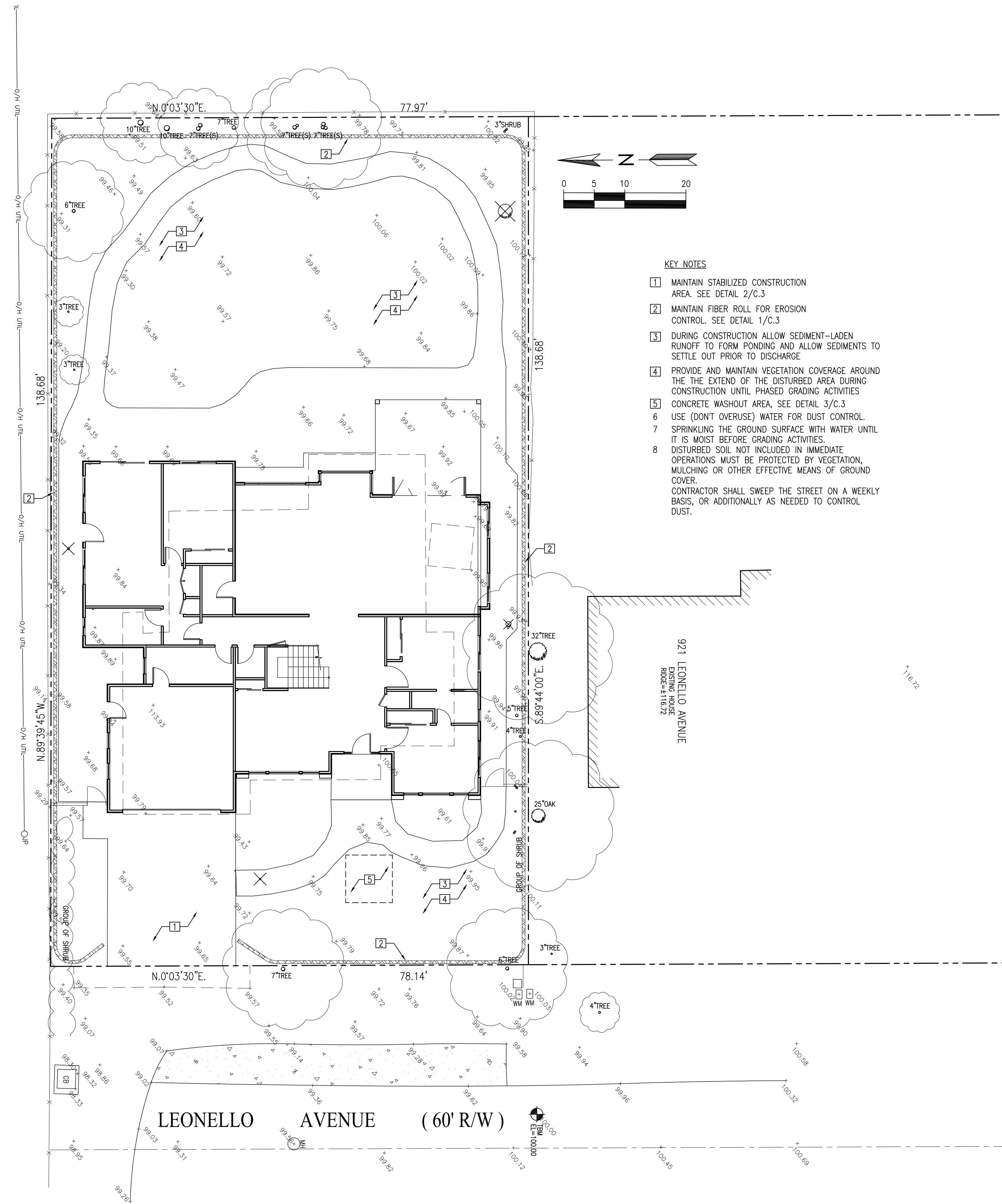
1

EROSION CONTROL AND BEST MANAGEMENT PRACTICE:

1. CONTRACTOR SHALL ASSUME THE CONCEPTS ON THE EROSION CONTROL PLAN/NOTES, IF PROVIDED, ARE MINIMUM REQUIREMENTS, THE FULL EXTENTS OF WHICH ARE TO BE DETERMINED BY CONTRACTOR. CONTRACTOR IS RESPONSIBLE FOR THE EXACT DESIGN AND EXTENT OF CONTRACTOR'S INTENDED USE AND MANAGEMENT OF THE CONSTRUCTION SITE.
2. ALL EROSION CONTROL FACILITIES SHALL BE INSPECTED BY THE CONTRACTOR AND REPAIRED AS REQUIRED AT THE CONCLUSION OF EACH WORKING DAY DURING THE RAINY SEASON. REPAIRS TO DAMAGED FACILITIES SHALL BE MADE IMMEDIATELY UPON DISCOVERY.
3. THE CONTRACTOR SHALL REMOVE ANY ACCUMULATION OF SILT OR DEBRIS FROM THE EROSION CONTROL SEDIMENT BASINS FOLLOWING EACH STORM AND SHALL CLEAR THE OUTLET PIPES OF ANY BLOCKAGE.
4. STOCKPILED MATERIAL SHALL BE COVERED WITH VISQUEEN OR TARPULIN UNTIL THE MATERIAL IS REMOVED FROM THE SITE. ANY REMAINING BARE SOIL THAT EXISTS AFTER THE STOCKPILE HAS BEEN REMOVED SHALL BE COVERED UNTIL A NATURAL GROUND COVER IS ESTABLISHED OR IT MAY BE SEEDED OR PLANTED TO PROVIDE GROUND COVER PRIOR TO THE FALL RAINY SEASON.
5. PROTECT ADJACENT PROPERTIES AND UNDISTURBED AREAS FROM CONSTRUCTION IMPACTS USING VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS OR FILTER, DIKES, MULCHING OR OTHER MEASURES AS APPROPRIATE.
6. CONTRACTOR SHALL MAINTAIN ADJACENT STREETS IN A NEAT, CLEAN, DUST FREE AND SANITARY CONDITION AT ALL TIMES. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CLEAN UP ON ADJACENT STREETS AFFECTED BY THEIR CONSTRUCTION. NO STOCKPILING OF BUILDING MATERIALS WITHIN THE PUBLIC RIGHT-OF WAY IS PERMITTED.
7. PROTECT DOWN SLOPE DRAINAGE COURSES, STREAMS AND STORM DRAINS WITH ROCK FILLED SAND BAGS, TEMPORARY DRAINAGE SWALES, SILT FENCES, EARTH BERMS, STORM DRAIN INLET FILTERS AND/OR STRAW BALES USED ONLY IN CONJUNCTION WITH PROPERLY INSTALLED SILT FENCES. PROVIDE ROCKED DRIVEWAY FOR SITE ACCESS DURING CONSTRUCTION.

GENERAL NOTES

2



KEY NOTES

- 1 MAINTAIN STABILIZED CONSTRUCTION AREA. SEE DETAIL 2/C.3
- 2 MAINTAIN FIBER ROLL FOR EROSION CONTROL. SEE DETAIL 1/C.3
- 3 DURING CONSTRUCTION ALLOW SEDIMENT-LADEN RUNOFF TO FORM PONDING AND ALLOW SEDIMENTS TO SETTLE OUT PRIOR TO DISCHARGE
- 4 PROVIDE AND MAINTAIN VEGETATION COVERAGE AROUND THE THE EXTEND OF THE DISTURBED AREA DURING CONSTRUCTION UNTIL PHASED GRADING ACTIVITIES
- 5 CONCRETE WASHOUT AREA, SEE DETAIL 3/C.3
- 6 USE (DON'T OVERUSE) WATER FOR DUST CONTROL
- 7 SPRINKLING THE GROUND SURFACE WITH WATER UNTIL IT IS MOIST BEFORE GRADING ACTIVITIES
- 8 DISTURBED SOIL NOT INCLUDED IN IMMEDIATE OPERATIONS MUST BE PROTECTED BY VEGETATION, MULCHING OR OTHER EFFECTIVE MEANS OF GROUND COVER. CONTRACTOR SHALL SWEEP THE STREET ON A WEEKLY BASIS, OR ADDITIONALLY AS NEEDED TO CONTROL DUST.

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LICENSE STAMPS AND SIGNATURE



ISSUED

No.	Description	Date

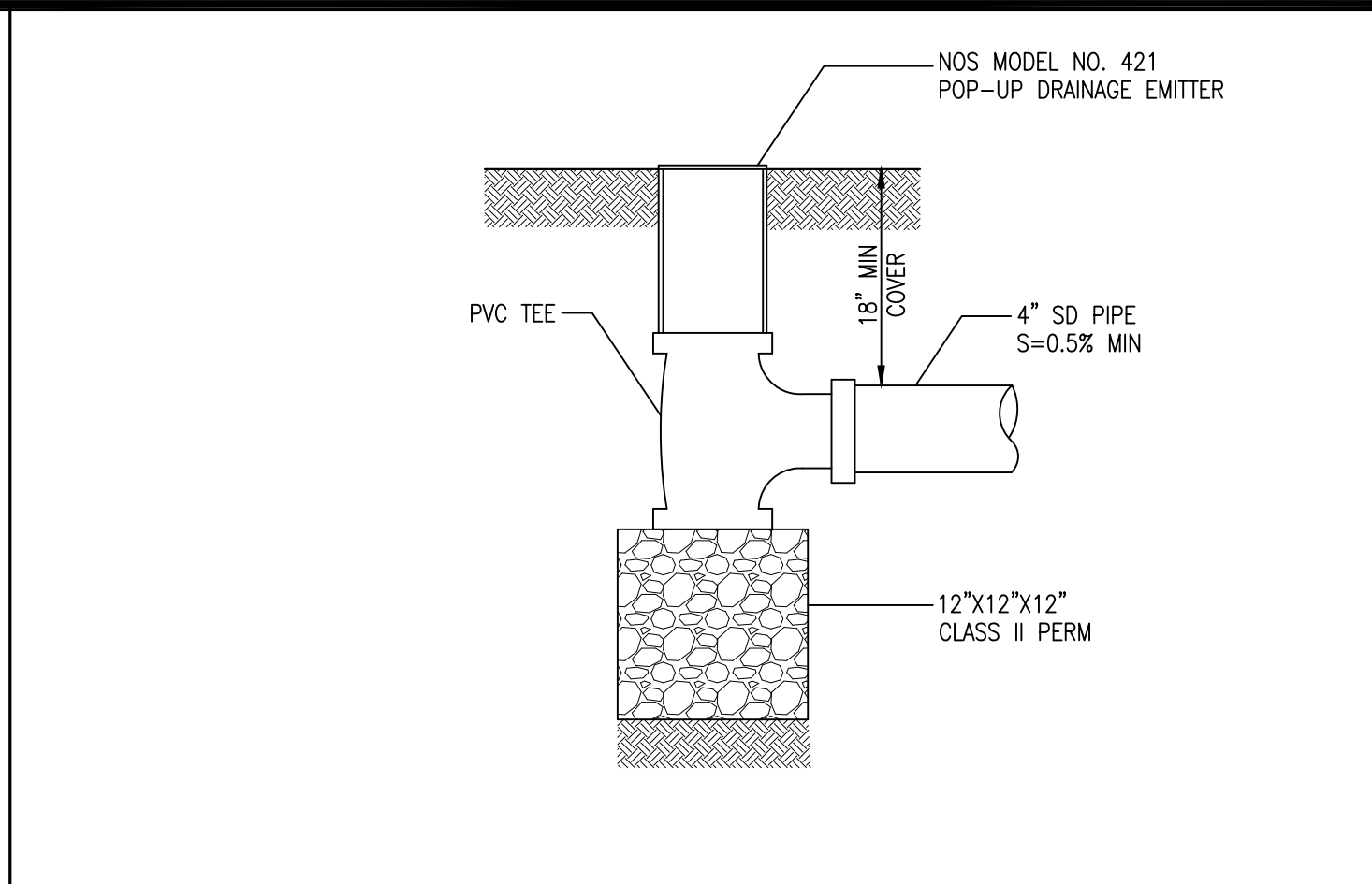
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SCALE: AS SHOWN
DRAWN: J
JOB: 10078

SHEET TITLE:

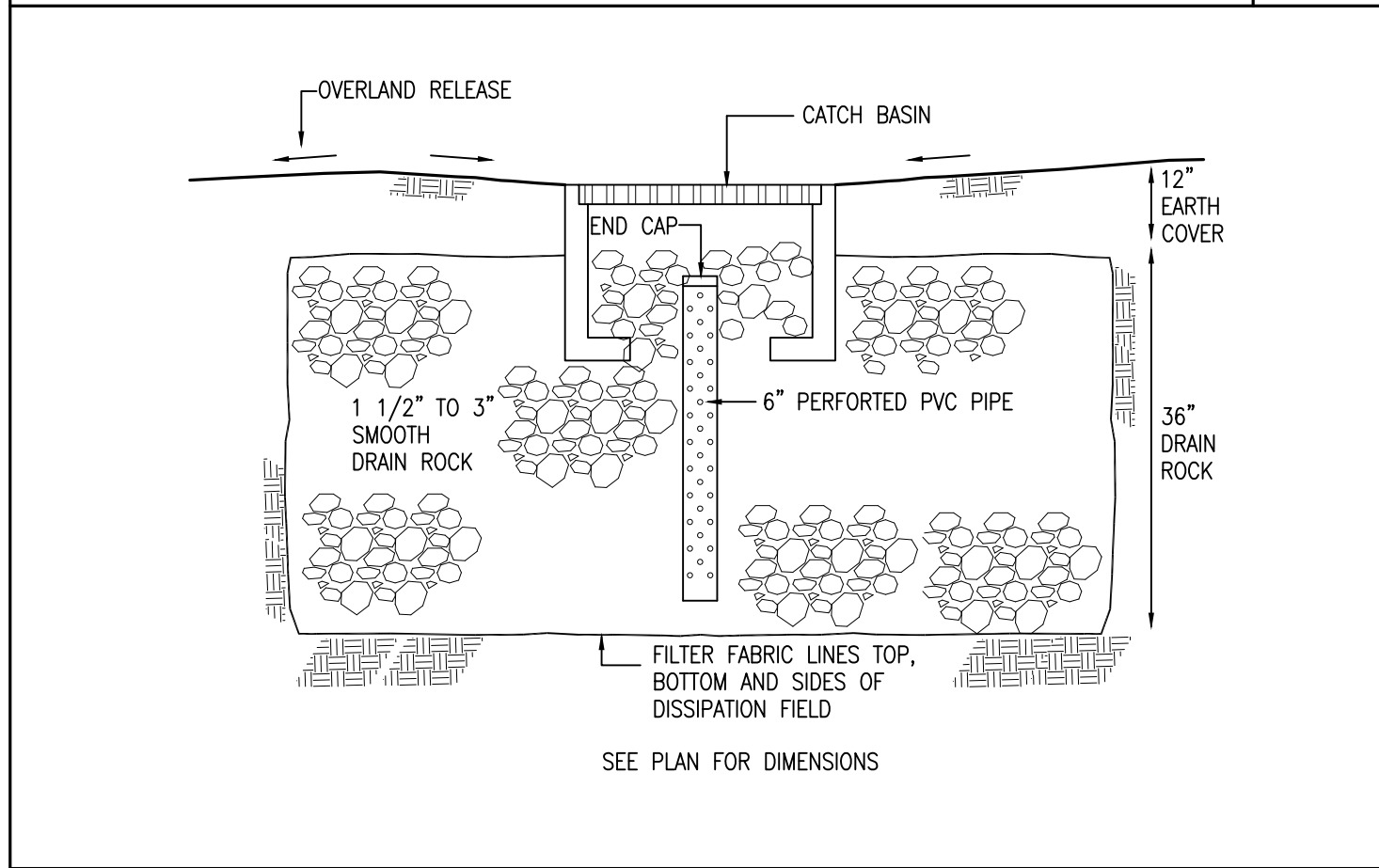
EROSION CONTROL PLAN

SHEET NO.

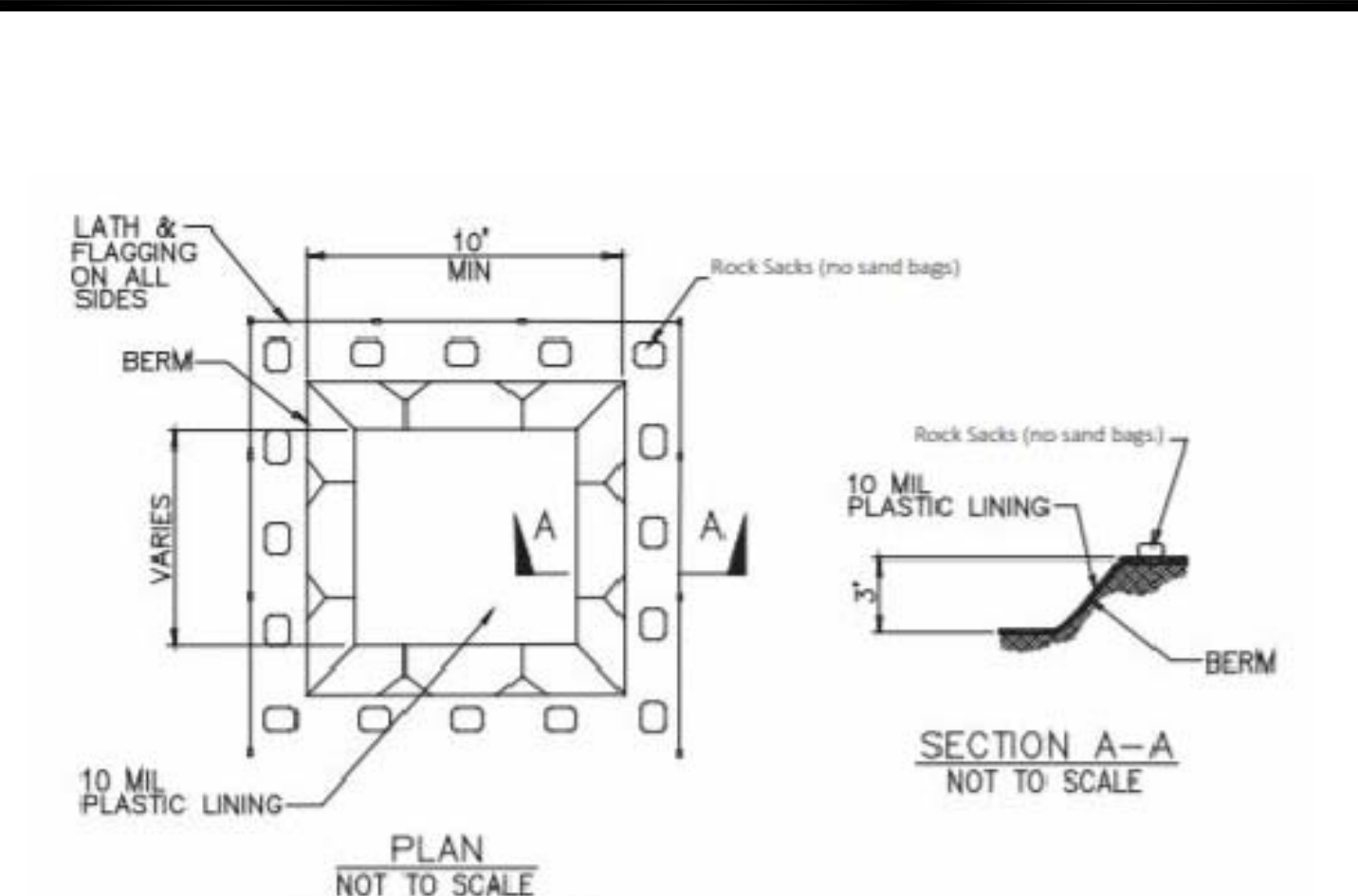
C.2



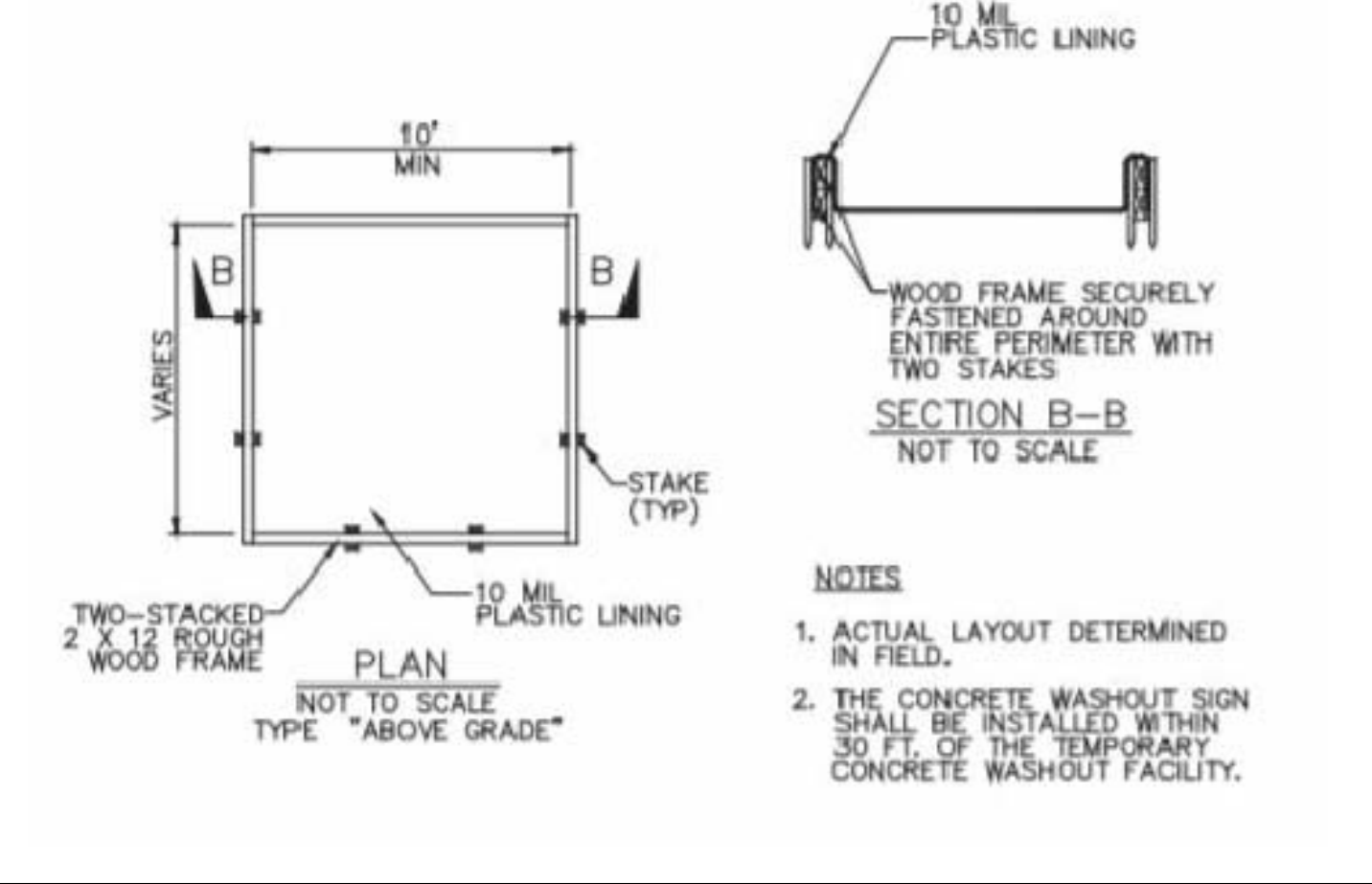
POP-UP DRAIN DETAIL 5



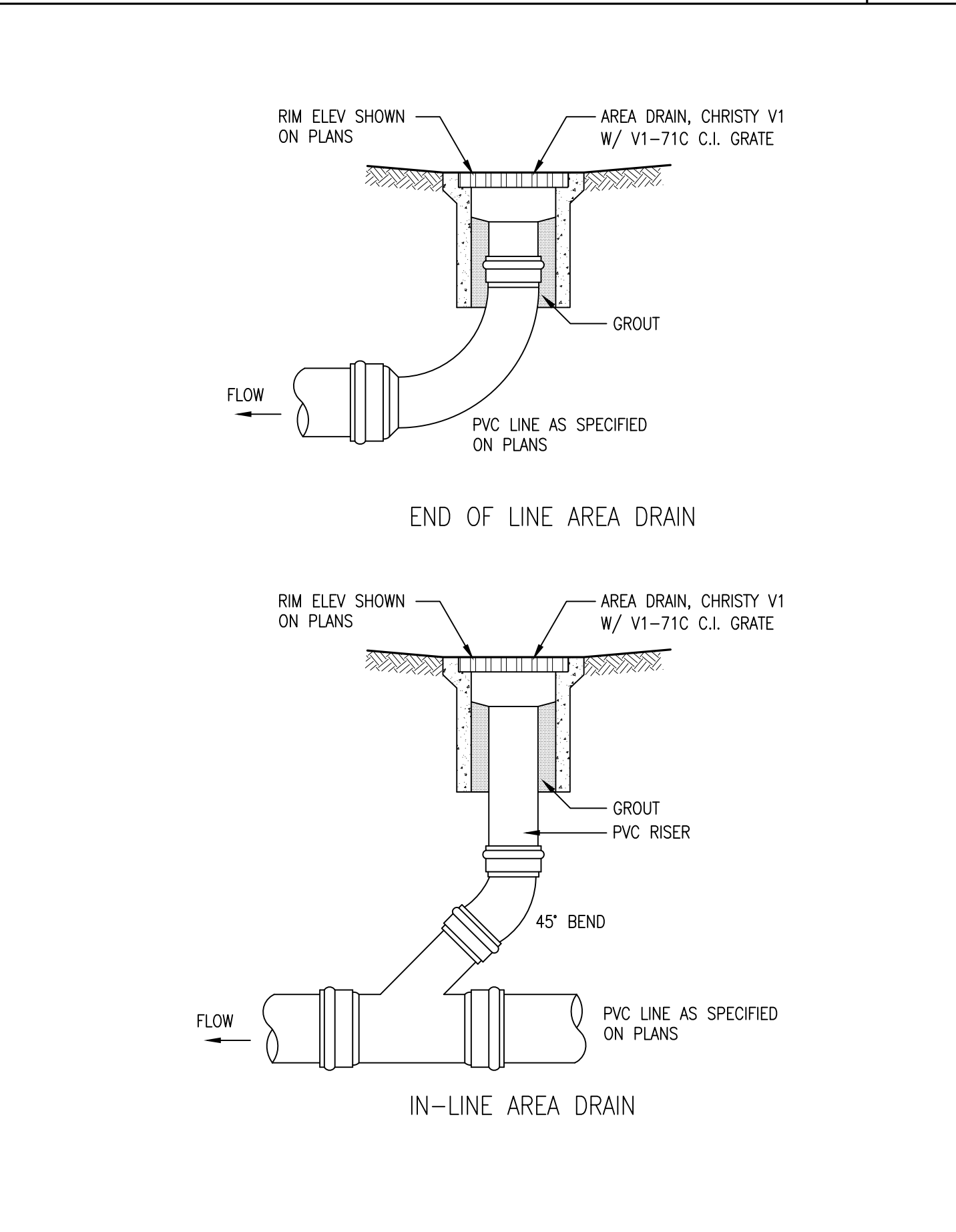
INFILTRATION DEVICE N.T.S. 6



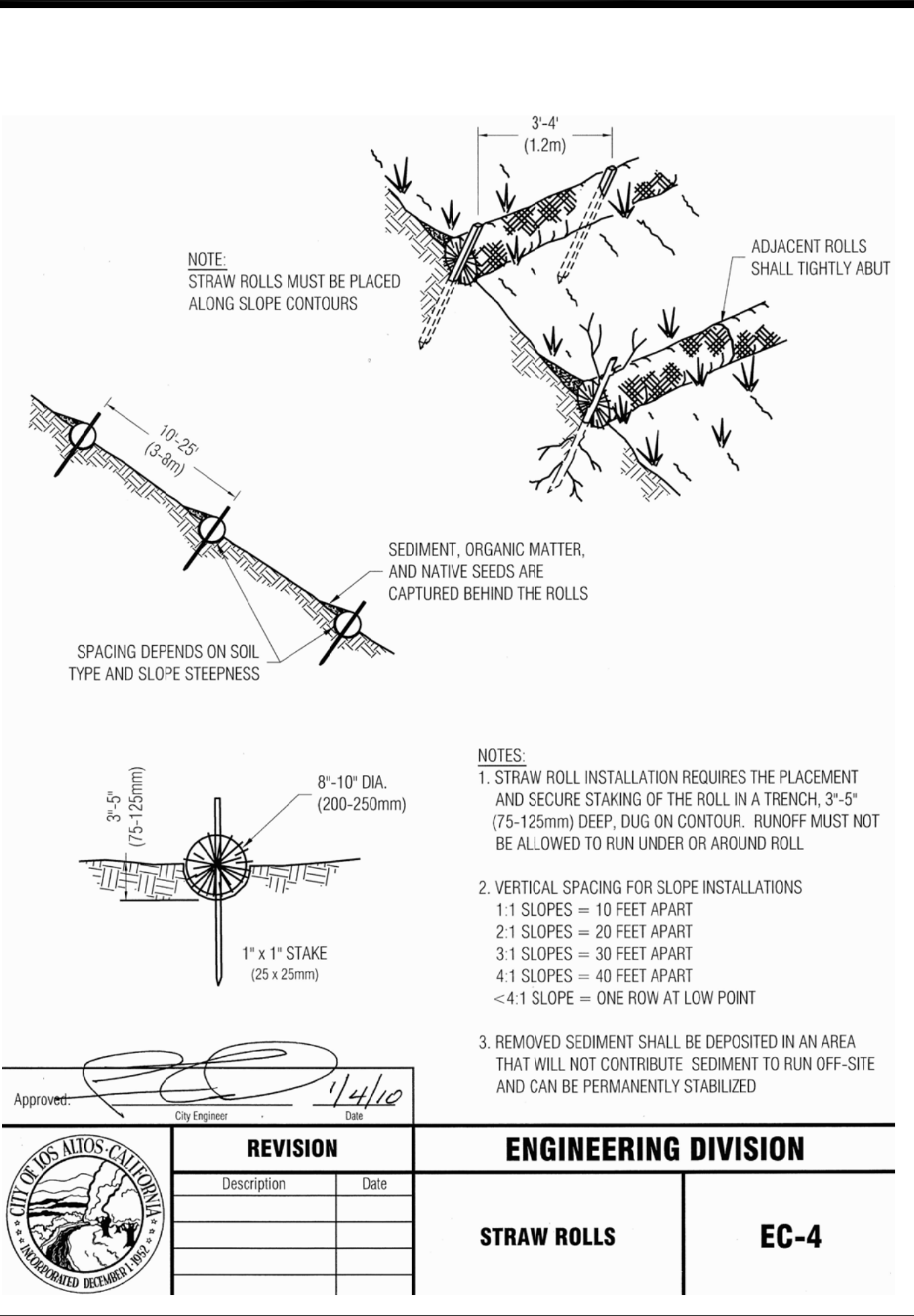
CONCRETE WASHOUT AREA 3



FIBER ROLL DETAIL 1



AREA DRAIN DETAILS SCALE: N.T.S. 4



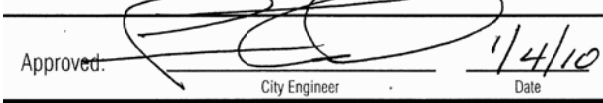
STABILIZED CONSTRUCTION ENTRANCE 2

ZHANG & SONG RESIDENCE

905 LEONELLO AVENUE
LOS ALTOS, CA
APN: 189-20-014

W E C & ASSOCIATES

2625 MIDDLEFIELD RD #658
PALO ALTO, CA 94306
TEL: (650) 823-6466
FAX: (650) 887-1294

Approved:  Date: 7/14/22 City Engineer		ENGINEERING DIVISION	
REVISION		STRAW ROLLS	
Description	Date	EC-4	

LICENSE STAMPS AND SIGNATURE



ISSUED		
No.	Description	Date

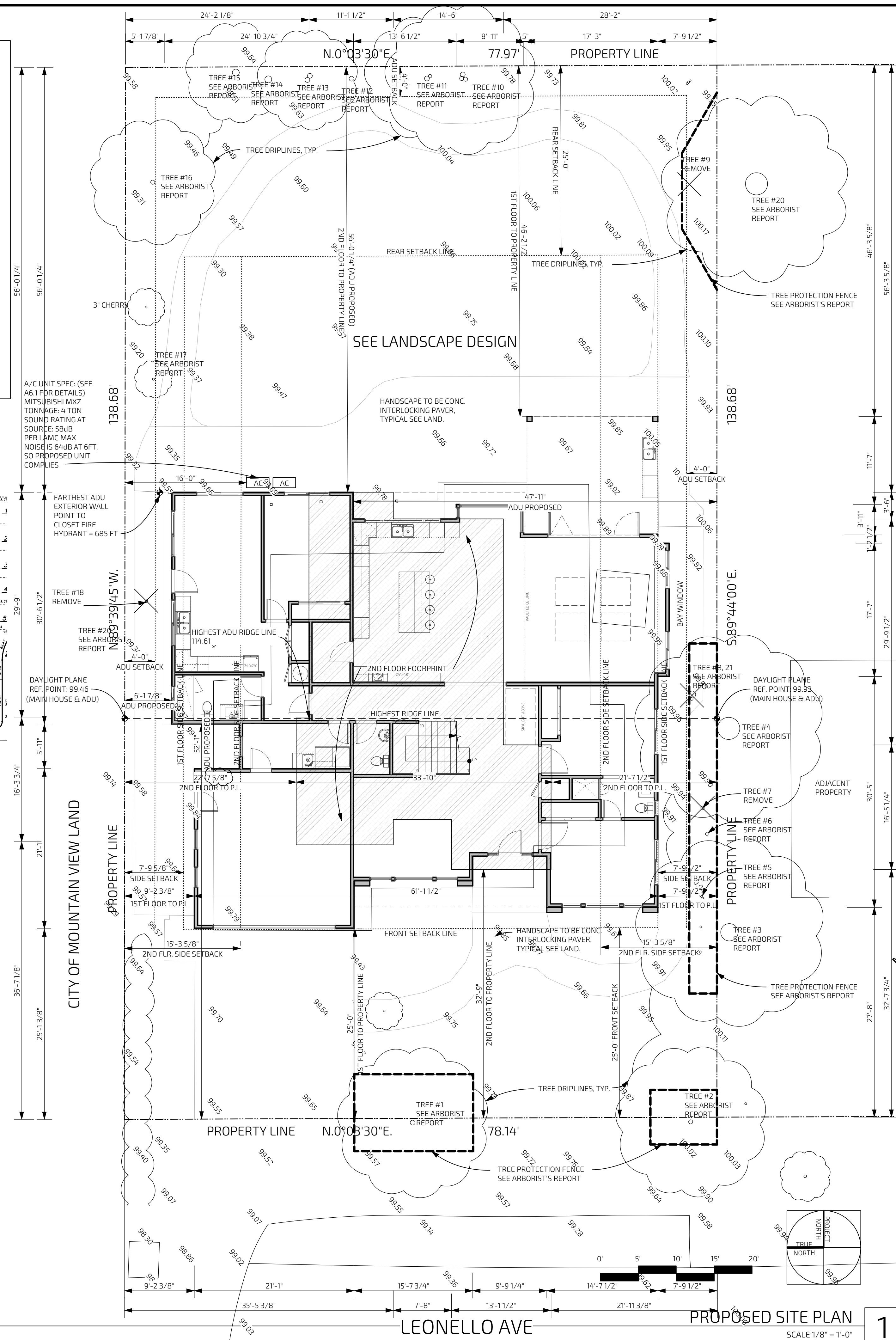
DATE: JULY 14, 2022
SCALE: AS SHOWN
DRAWN: J
JOB: 10078

SHEET TITLE:

DETAILS

SHEET NO.

C.3



TREE INVENTORY - 905 Leonello Ave, Los Altos 94025

Date: 4/29/2022

Number	Common Name	Scientific Name	DBH (inches)	Height (feet)	Spread (feet)	Species	Condition	Age	Health	Value	Notes	
1	Little Leaf	Salix alba	11	11	10	PROTECTED	FAIR	MATURE	MODERATE	12	15	MODERATE**
2	Panorama	Quercus agrifolia	8	8	10	PROTECTED	FAIR	MATURE	HIGH	8	5	LOW
3	Black Oak	Quercus agrifolia	44	40	30	PROTECTED	FAIR	MATURE	HIGH	8	27	MODERATE
4	Black Oak	Quercus agrifolia	44	25	10	PROTECTED	FAIR	MATURE	MODERATE	12	25	MODERATE
5	Juniper Cherry	Prunus arbutifolia	6	8	10	1	FAIR	OVERMATURE	MODERATE	15	8	MODERATE
6	Juniper Cherry	Prunus arbutifolia	6	8	10	1	FAIR	OVERMATURE	MODERATE	15	8	MODERATE
7	Juniper Cherry	Prunus arbutifolia	7	7	10	1	FAIR	OVERMATURE	MODERATE	15	8	MODERATE
8	Yucca	Yucca sp.	10	10	10	1	FAIR	MATURE	MODERATE	12	10	SEVERE
9	Yucca	Yucca sp.	10	10	10	1	FAIR	MATURE	MODERATE	12	10	SEVERE
10	Linealoud	Philadelphus angustifolius	4.5	10	10	1	FAIR	OVERMATURE	MODERATE	15	10	MODERATE
11	Linealoud	Philadelphus angustifolius	4.5	10	10	1	FAIR	OVERMATURE	MODERATE	15	10	MODERATE
12	Linealoud	Philadelphus angustifolius	4.5	10	10	1	FAIR	OVERMATURE	MODERATE	15	10	MODERATE
13	Linealoud	Philadelphus angustifolius	4.5	10	10	1	FAIR	OVERMATURE	MODERATE	15	10	MODERATE
14	Linealoud	Philadelphus angustifolius	4.5	10	10	1	FAIR	OVERMATURE	MODERATE	15	10	MODERATE
15	Linealoud	Philadelphus angustifolius	4.5	10	10	1	FAIR	OVERMATURE	MODERATE	15	10	MODERATE
16	Linealoud	Philadelphus angustifolius	4.5	10	10	1	FAIR	OVERMATURE	MODERATE	15	10	MODERATE
17	Linealoud	Philadelphus angustifolius	4.5	10	10	1	FAIR	OVERMATURE	MODERATE	15	10	MODERATE
18	Linealoud	Philadelphus angustifolius	4.5	10	10	1	FAIR	OVERMATURE	MODERATE	15	10	MODERATE
19	Linealoud	Philadelphus angustifolius	4.5	10	10	1	FAIR	OVERMATURE	MODERATE	15	10	MODERATE
20	Linealoud	Philadelphus angustifolius	4.5	10	10	1	FAIR	OVERMATURE	MODERATE	15	10	MODERATE
21	Yucca	Yucca sp.	4	4	10	1	FAIR	MATURE	MODERATE	12	4	SEVERE
22	Yucca	Yucca sp.	4	4	10	1	FAIR	MATURE	MODERATE	12	4	SEVERE

KEY:
 *Neighboring tree (overhanging property) / public right of way
 **Tree Removal

SEE GLOSSARY FOR DEFINITION OF TERMS
 **ASSUMES STANDARD AND SPECIAL TREE PROTECTION MEASURES ARE FOLLOWED.

Prepared by Susan Froese
 500 California Avenue #404 65024

FLOOR AREA CALCULATION

LABEL	DIMENSIONS	AREA
A	14.75 X 18.3	267 SF
B	9.25 X 11.6	107 SF
C	15.7 X 14.9	234 SF
D	4.57 X 10.11.5	500 SF
E	17.8 X 20.0	353 SF
F	22.5 X 22.0	494 SF
H	97.5 X 5.11	57 SF
K	5.5 X 94.5	46 SF
L	10.75 X 12.5	13 SF
M	12.95 X 16.87	214 SF
N	7.8 X 9.02	70 SF
Q	11.5 X 29.9	331 SF
R	14.6 X 29.5	432 SF

CONDITIONED AREA
 1ST FLOOR (A-J) 2,073 SF
 2ND FLOOR (F-H) 1,269 SF
 TOTAL 3,342 SF

GARAGE (G) 211 X 211 445 SF
 TOTAL BUILDING 3,787 SF

FLOOR AREA RATIO
 LOT SIZE 10,825 SF
 F.A.R. 34.98

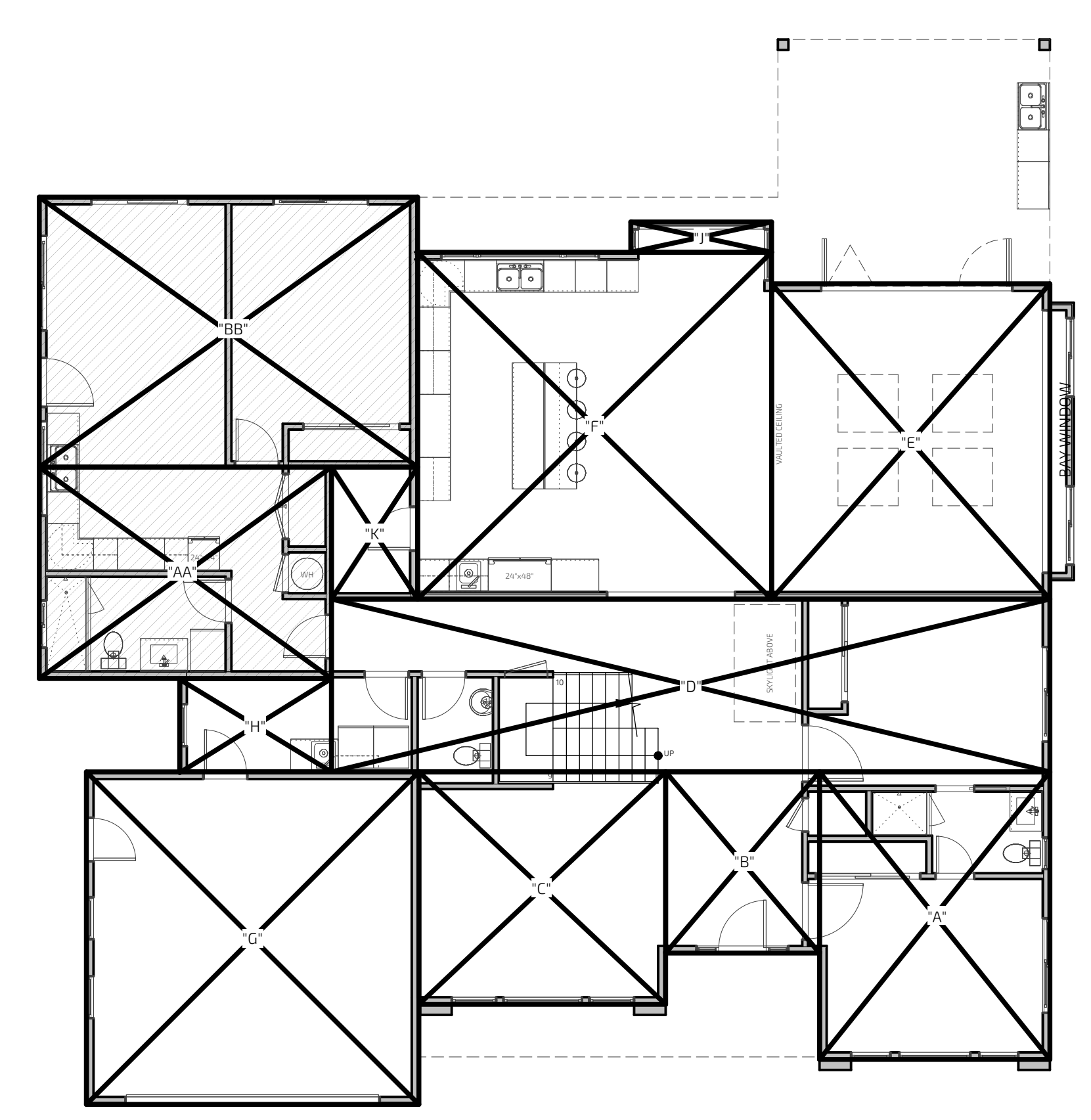
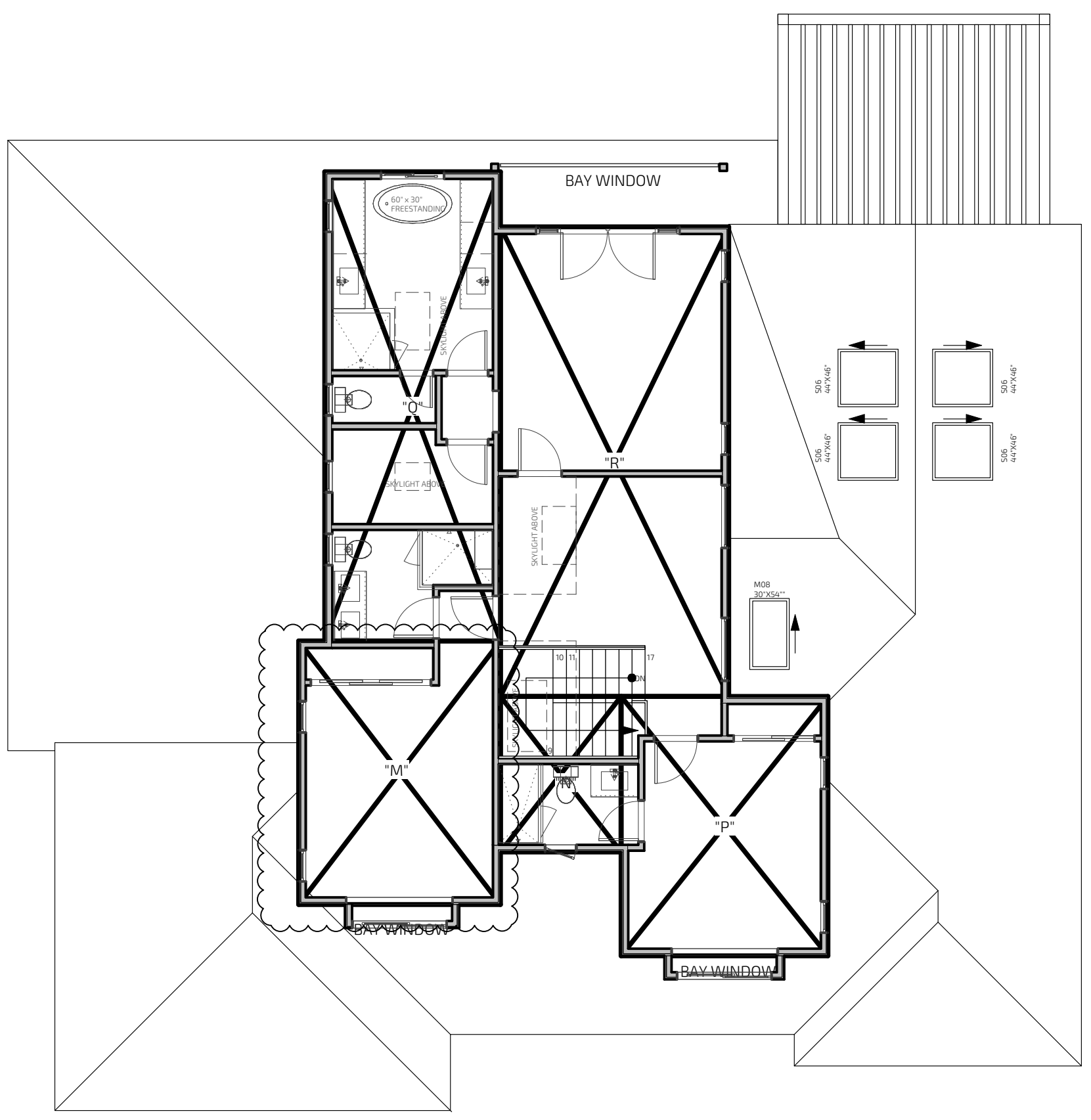
ATTACHED ADU
 AA 18.65 X 13.5 249 SF
 BB 24 X 17.15 411 SF
 TOTAL ADU 660 SF
 TOTAL BUILDING (MAIN + ADU) 4,447 SF

OUTDOOR PORCHES
 T 34.475 X 11.0 378.4 SF
 U 77.25 X 5.9 453.7 SF
 V 12.8 X 13.4 171.5 SF
 W 12.2 X 3 36.5 SF
 TOTAL 627.5 SF

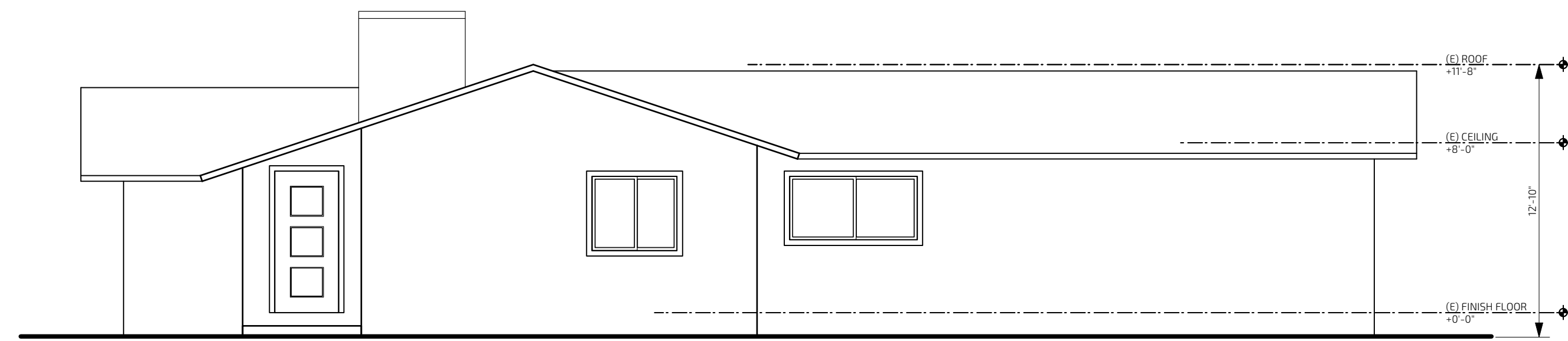
LOT COVERAGE
 = 1ST FLOOR + GARAGE + PORCHES
 = 2073 + 445 + 627.5
 = 3,146 SF

EXISTING BUILDING
 HABITABLE SPACE 2,198 SF
 GARAGE 402 SF
 TOTAL 2,600 SF
 EXISTING SHED 62 SF

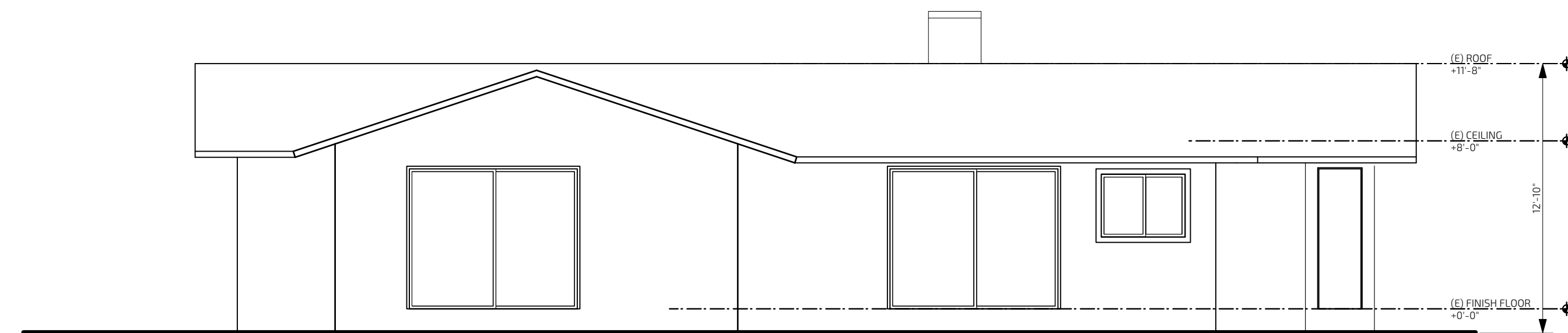
AREA CALCULATION
 SCALE 1/8" = 1'-0" **3**



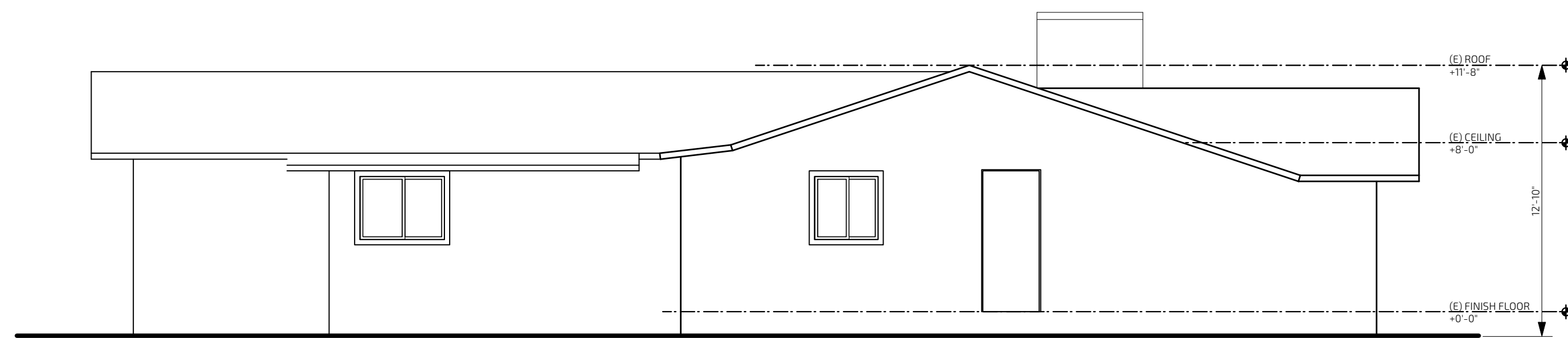
AREA CALCULATION
 SCALE 1/8" = 1'-0" **3**



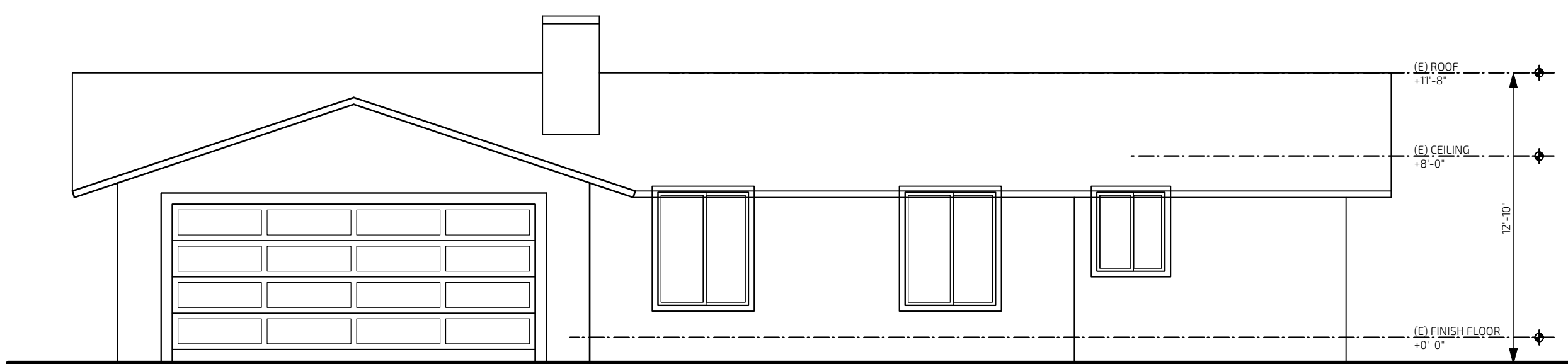
EXISTING NORTH - FRONT ELEVATION 4
SCALE 3/16" = 1'-0"



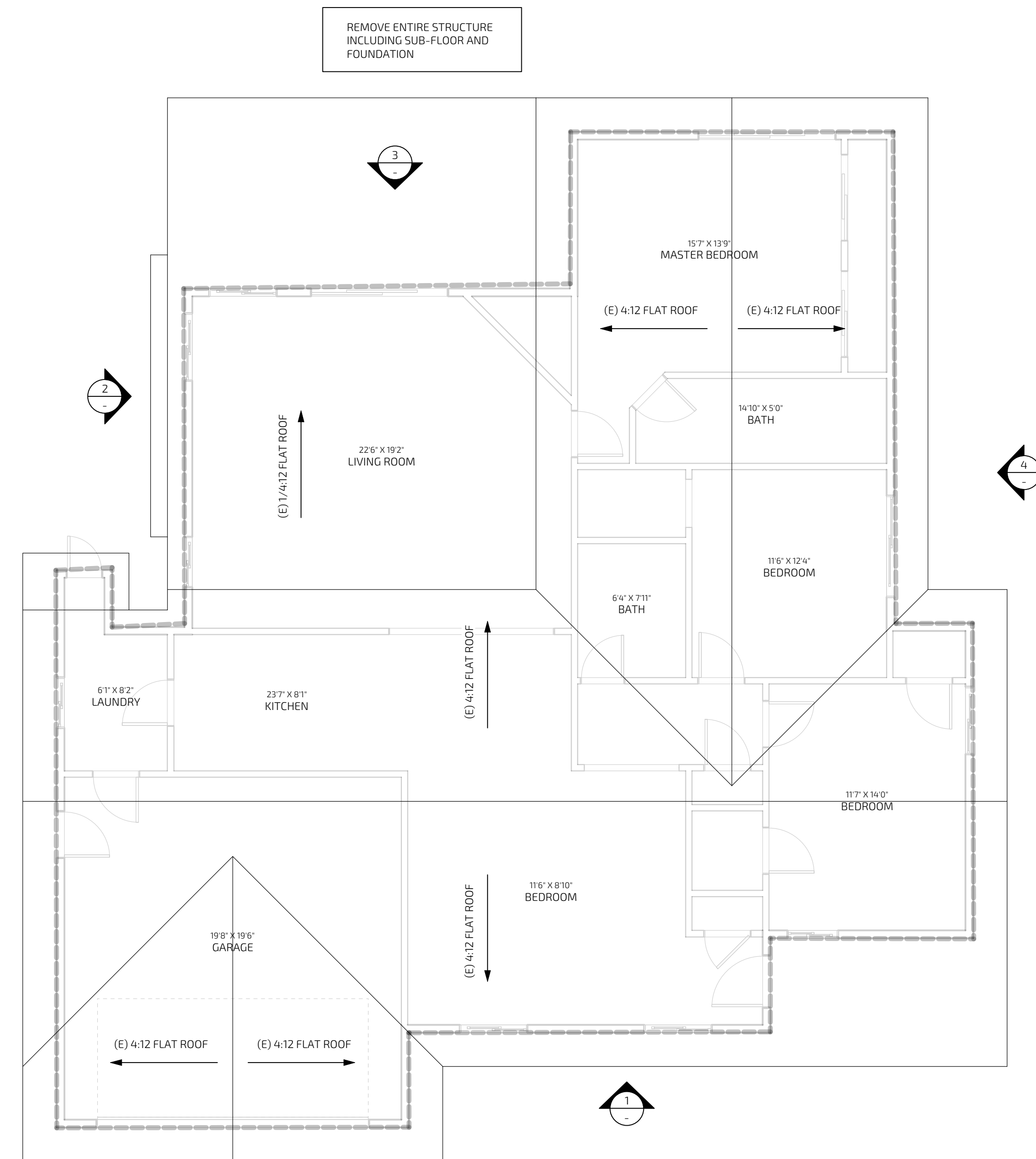
EXISTING WEST - RIGHT ELEVATION 3
SCALE 3/16" = 1'-0"



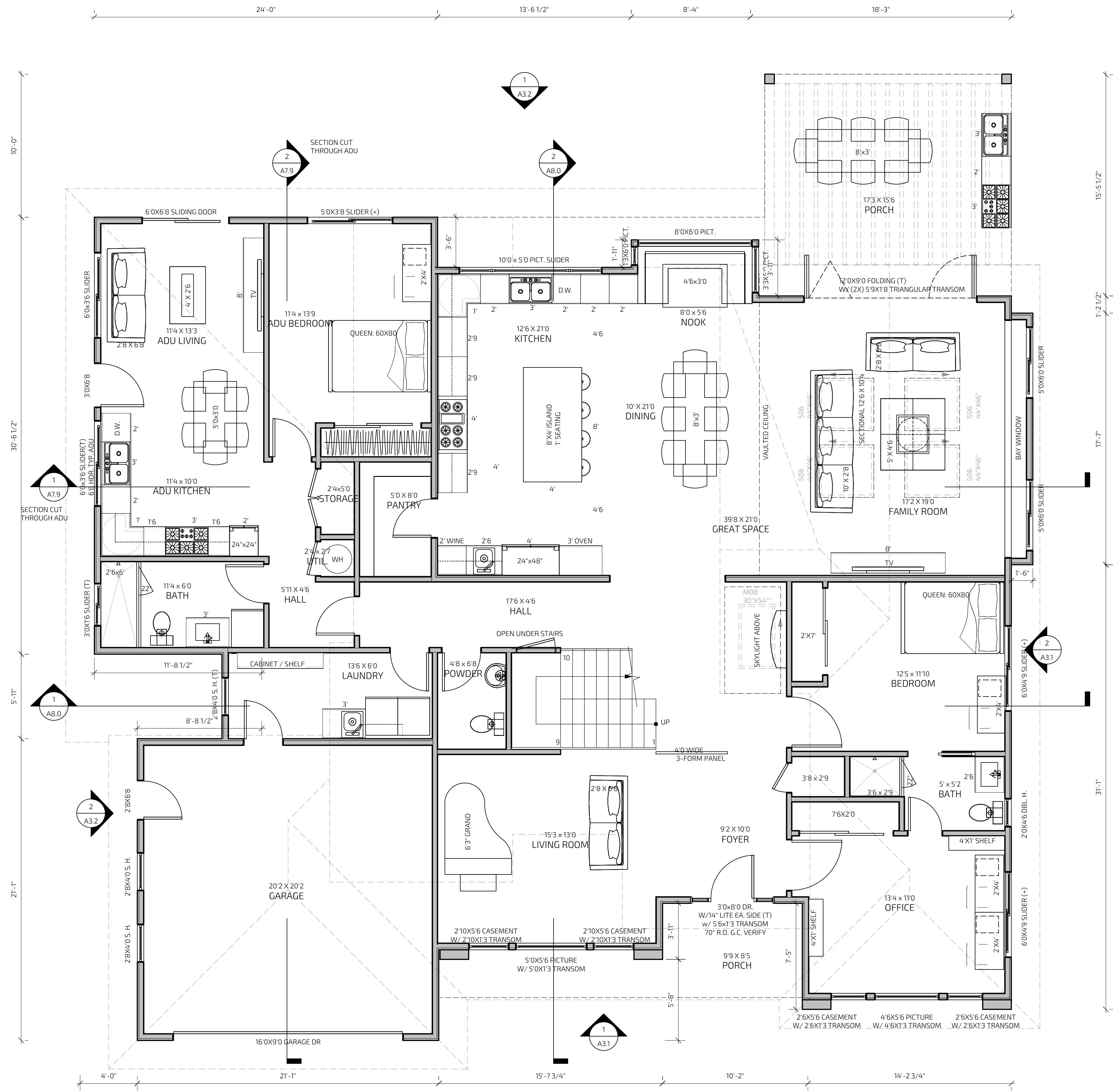
EXISTING SOUTH - BACK ELEVATION 2
SCALE 3/16" = 1'-0"



EXISTING EAST - LEFT ELEVATION 1
SCALE 3/16" = 1'-0"



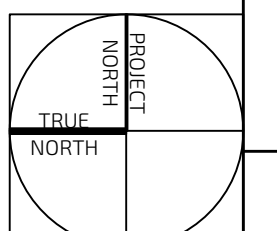
EXISTING FLOOR / ROOF PLAN 5
SCALE 3/16" = 1'-0"

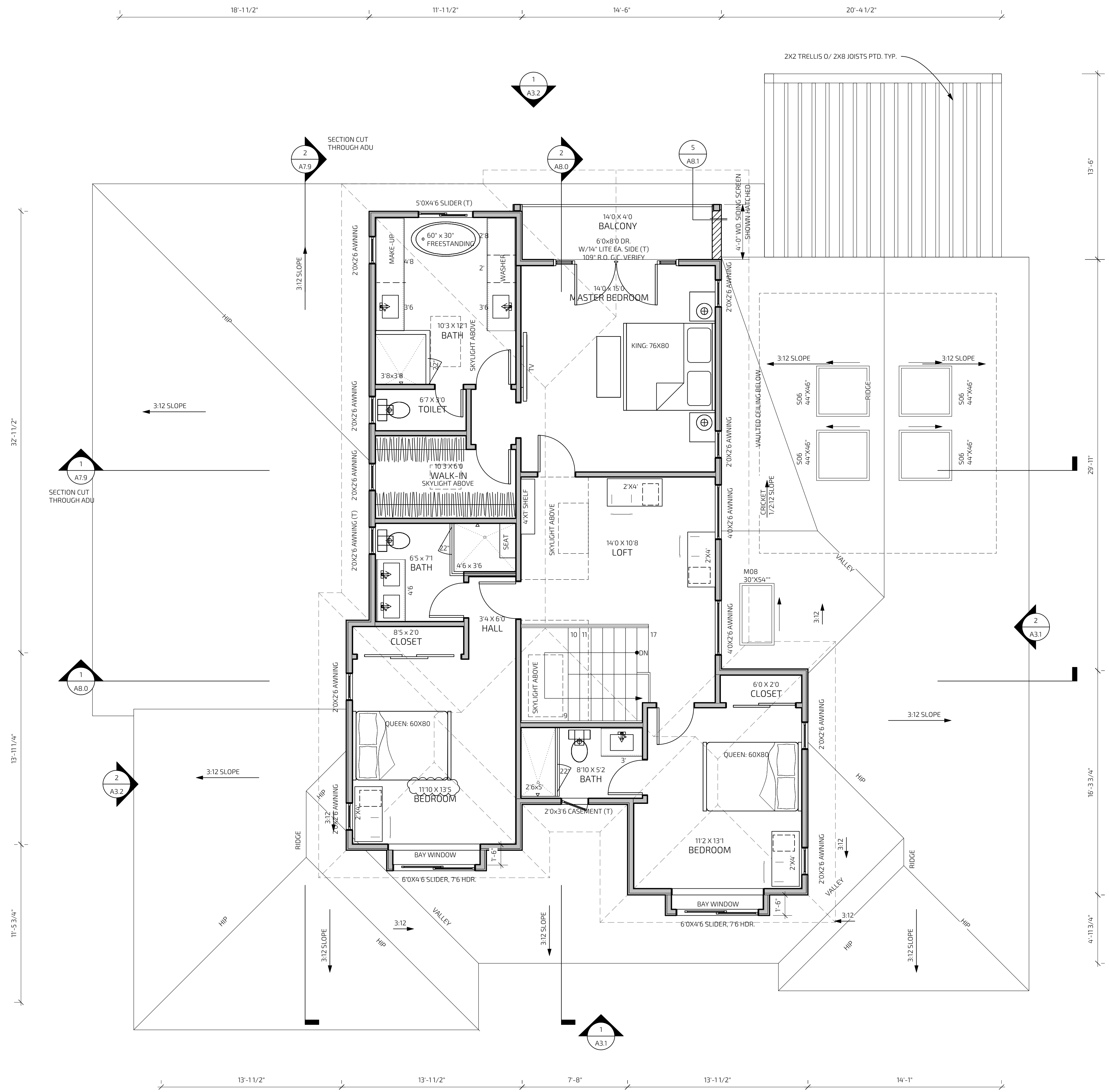


FIRST FLOOR PROPOSED PLAN

SCALE 1/4" = 1'-0"

1

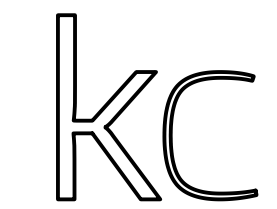




SECOND FLOOR PROPOSED PLAN

SCALE 1/4" = 1'-0"

2



kylechan
ARCHITECT
3561 HOMESTEAD ROAD
SUITE 222,
SANTA CLARA, CA 95051
669-244-3111
www.kylechan.com
kyle@kylechan.com

PROGRESS SET
7.28.2022

Sheet Revisions:
1 PLAN CHECK COMMENTS
10.10.2022
2 PLAN CHECK COMMENTS
12.5.2022

ALL DRAWINGS ARE UNLESS OTHERWISE SPECIFIED TO BE IN ACCORDANCE WITH THE CALIFORNIA ARCHITECTURAL BOARD'S STANDARD SPECIFICATIONS FOR ARCHITECTS AND ENGINEERS. THIS SET IS THE PROPERTY OF THE ARCHITECT AND IS TO BE KEPT IN HIS OR HER OFFICE. IT IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

ELECTRONIC PLAN REVIEW

ZHANG RESIDENCE
NEW RESIDENCE
905 LEONELLO AVE
LOS ALTOS, CA 94024

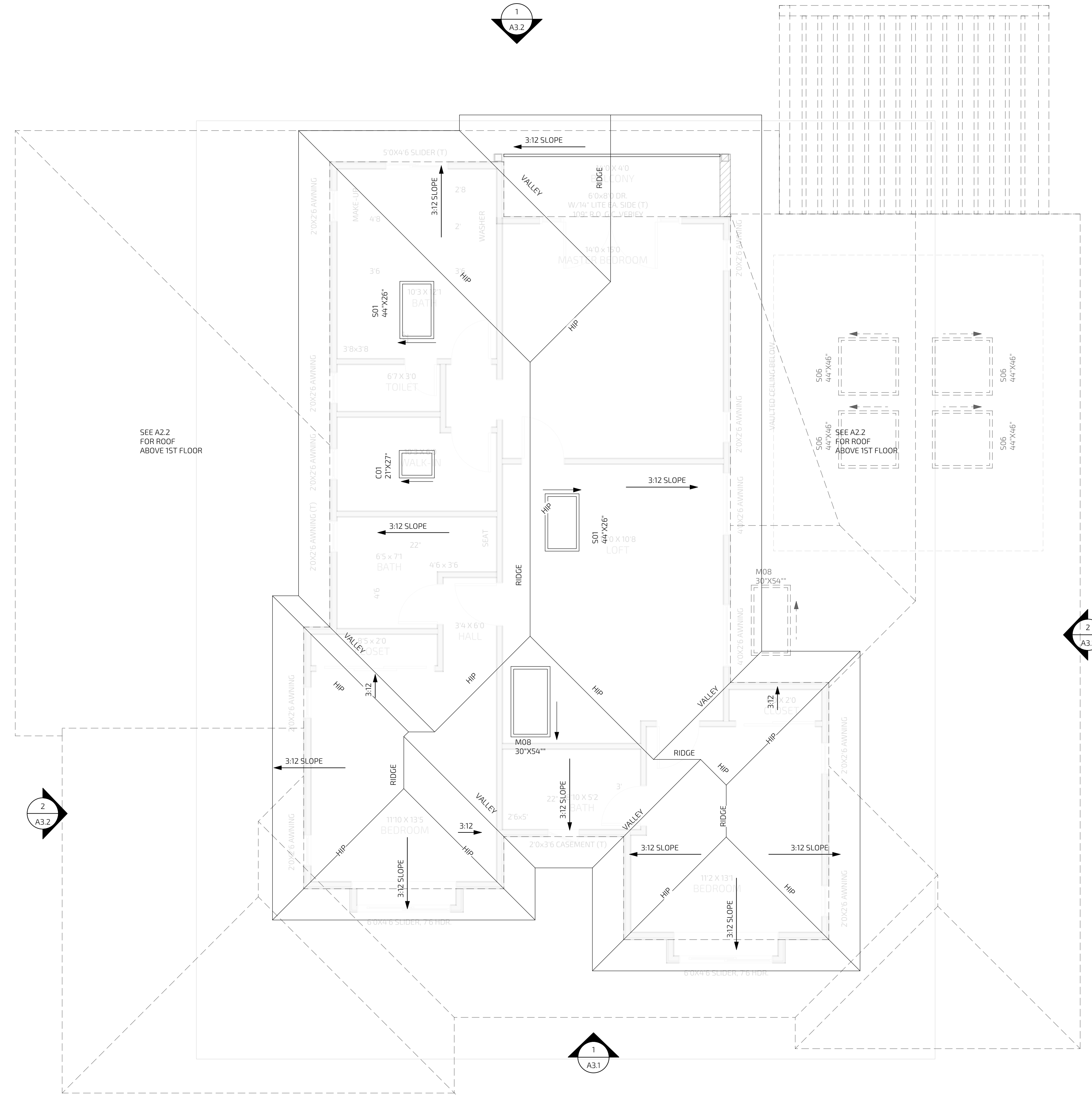
PROGRESS SET
NOT FOR CONSTRUCTION

PROPOSED
ROOF PLAN

CITY STAMP:

A2.3

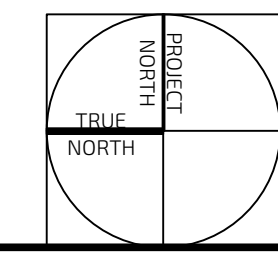
PROJECT NUMBER: 212
905 LEONELLO AVE

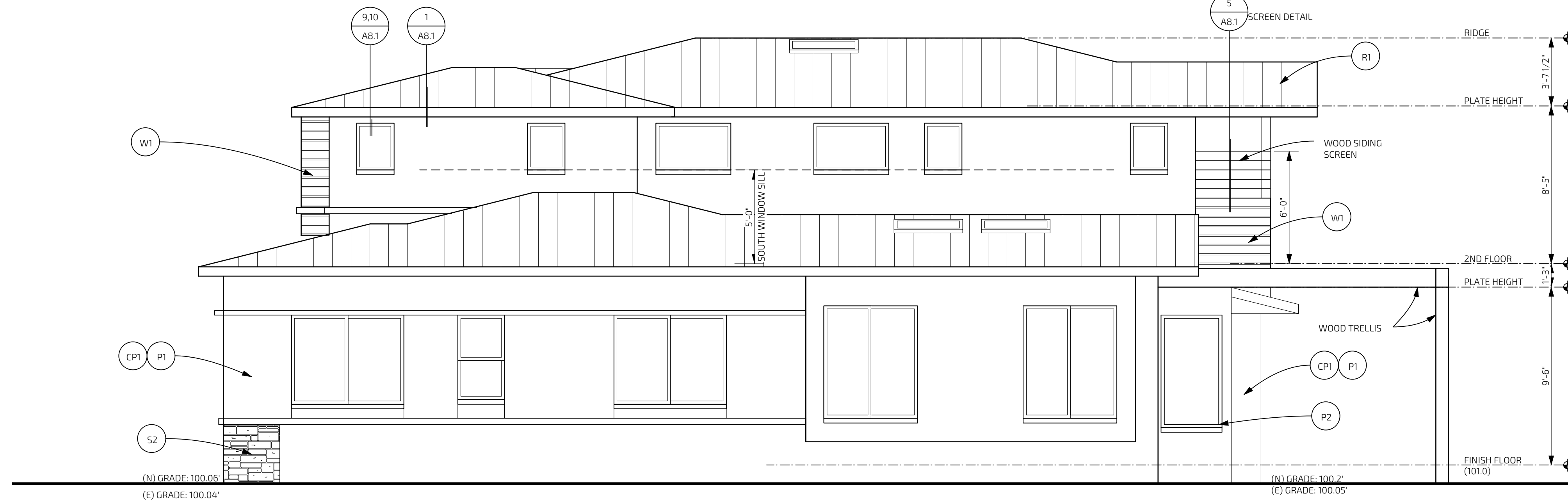


PROPOSED ROOF PLAN

SCALE 1/4" = 1'-0"

1





PROPOSED RIGHT (SOUTH) ELEVATION 2
SCALE 1/4" = 1'-0"

EXTERIOR FINISH SCHEDULE

SYMBOL	MATERIAL	MFR./DEALER	MODEL #/ DESCRIPTION/ LOCATION	COLOR
S1	STONE OVERLAY / OR STAMP CONCRETE	-	SEE LANDSCAPE DRAWING PAVER SYSTEM	-
S2	LIGHTWEIGHT CLAD STONE VENEER PANEL (**)	ELDORADO STONE OR SIM.	MARQUEE LIMESTONE VENEER FINISH PROVIDE PTD. CAP AT TOP, TYPICAL. STONE TO WRAP- TO BOTH SIDES OF WALL, TYPICAL. ICC ESR-1215	-
R1	STANDING SEAM METAL ROOF (*)	-	NEW STANDING SEAM ROOF PER CRC B905.6, ROOF TO BE CLASS 'A' OR BETTER. 12" MAX PROFILE & V-GROOVE, W/ PVDF COATING	METALLIC GRAY
R2	ROLL ROOFING OR BUILT-UP ROOF (*)	-	CRICKET ROOFING PER CRC B905.5 & 905.9, ROOF TO BE CLASS 'A' OR BETTER.	LIGHT GRAY
G1	GUTTER	-	ALUM. - PAINTED	GRAPHITE
CP1	CEMENT PLASTER	-	EXTERIOR SMOOTH HARD STEEL TOWEL FINISH (ACRYLIC STUCCO FIN. SIMILAR)	MATCH P1
P1	EXTERIOR PAINT	-	PAINT AT CEMENT PLASTER	BEIGE
P2	TRIM PAINT	-	MATCH WINDOW TRIM	GRAPHITE
W1	SIDING	-	PARKLEX NATURAL WOOD FACADE SIDING OVER GRADE 'D' BUILDING PAPER OVER PLYWOOD SHEATHING, ICC-ES REPORT: ESR-3462	MUSTARD FINISH
	WINDOW	-	WINDOW SASH AND TRIM FINISH (SEE A2.1 SPEC FOR FINISH MATERIALS) SPEC. MARVIN WOOD ULTIMATE	GRAPHITE
	DOOR	-	SOLID WOOD STAIN BY SIMPSON OR SIM.	MUSTARD FINISH
	GARAGE DOOR	-	STAIN SIDING FINISH TO MATCH WOOD SIDING	MUSTARD FINISH

(*) PER TITLE-24: COOL ROOF REQUIRED. ROOF REFLECTANCE: 0.1 OR BETTER. ROOF EMITTANCE: 0.8 OR BETTER.
 (**) STONE PANEL TO BE ADHERED PER CRC R703.12. SEE ICC-REPORT FOR INSTALLATION SPECIFICATIONS.
 1. PAINT ALL EXTERIOR WINDOW TRIM, SILLS, NON-VINYL SASH, MUTTINS, DECK RAILINGS, DECK FASCIA, BEAMS AND TRELLISES, RAFTER TAILS AND EAVE SHEATHING BOARDS. PROTECT ANY AND ALL VINES / PLANTINGS FROM DAMAGE.
 2. CONTRACTOR TO CONFIRM ALL FINISH WITH OWNER BEFORE ORDERING.
 3. PROVIDE COEFFICIENT OF FRICTION OF 0.6 OR HIGHER FOR ALL FLOOR TILE & EXTERIOR FLAG STONE SURFACE.
 4. FOR ALL WALL FINISHES, SEE WALL SCHEDULE ON A2.1 FOR UNDERLAYMENT REQUIREMENTS.
 5. THE FASTENERS FOR THE ROOFING SHALL BE CORROSION RESISTANT PER **CRC R905.2.5**.



PROGRESS SET
7.28.2022

Sheet Revisions:
 1 PLAN CHECK COMMENTS 10.10.2022
 2 PLAN CHECK COMMENTS 12.5.2022

ELECTRONIC PLAN REVIEW

ZHANG RESIDENCE
 NEW RESIDENCE
 905 LEONELLO AVE
 LOS ALTOS, CA 94024

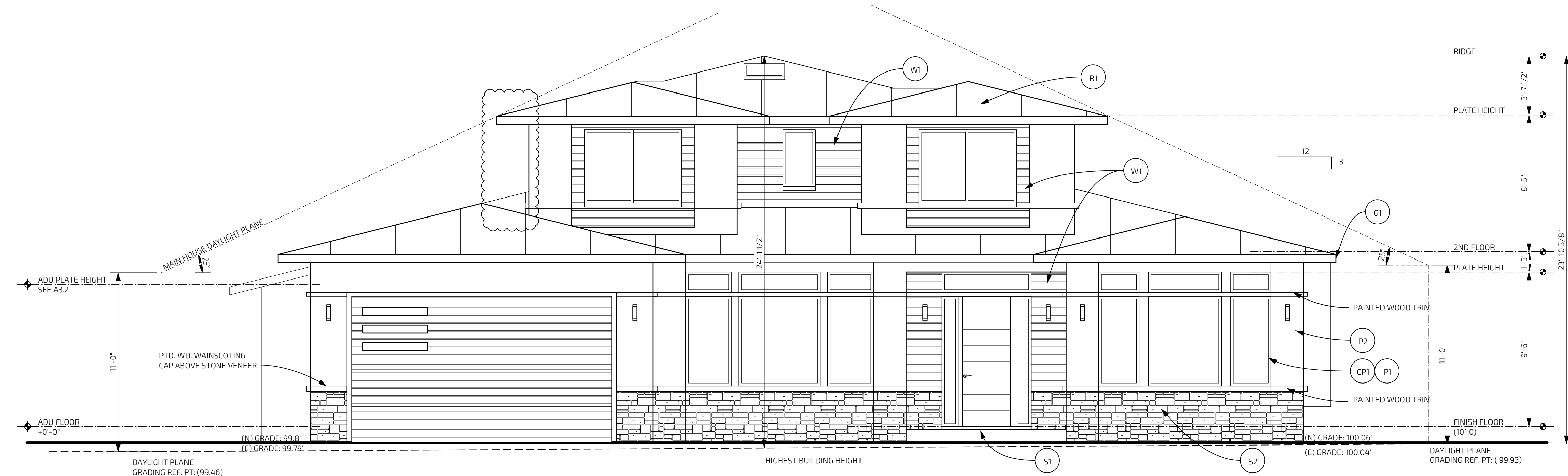
PROGRESS SET
 NOT FOR CONSTRUCTION

PROPOSED ELEVATIONS

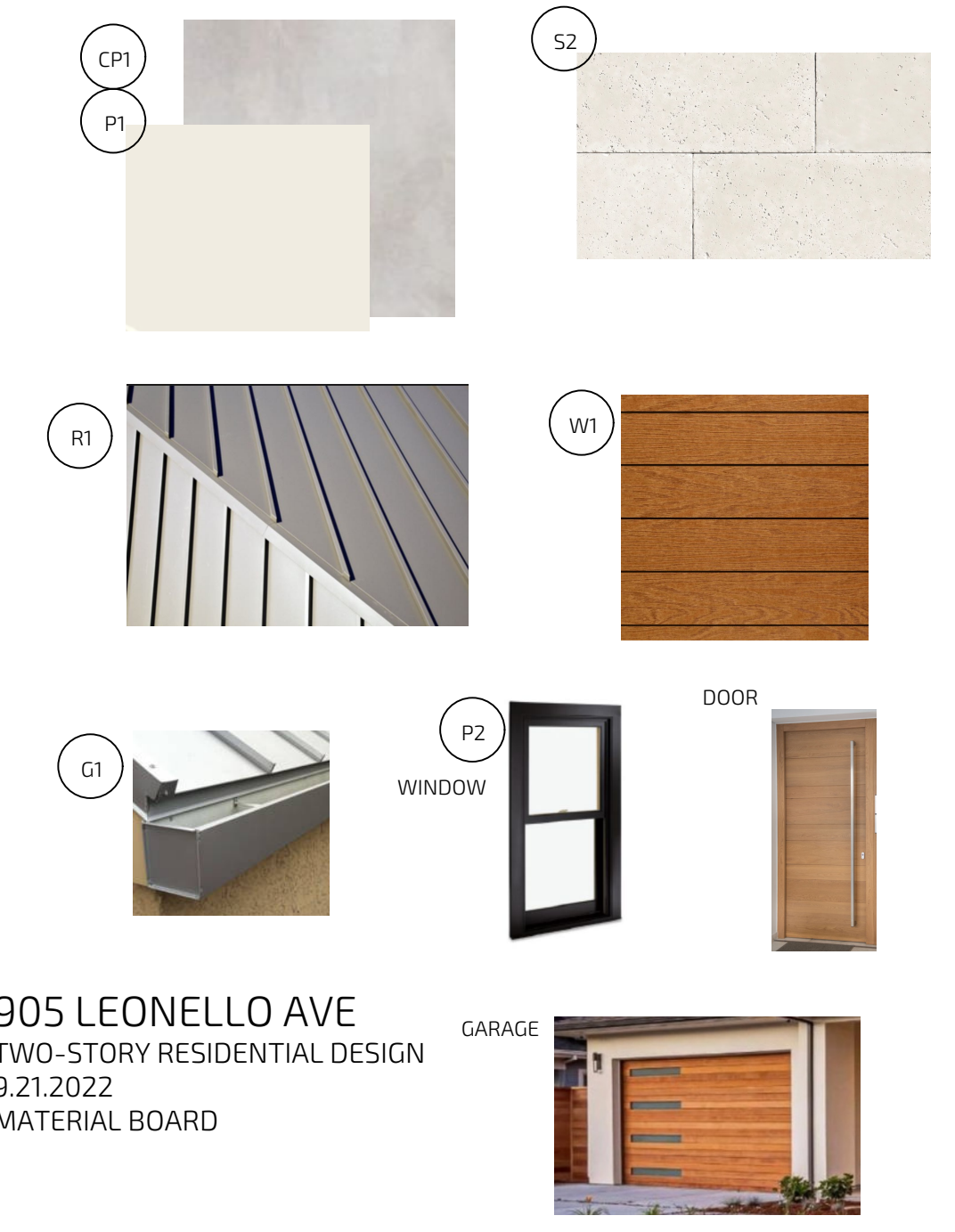
CITY STAMP:

A3.1

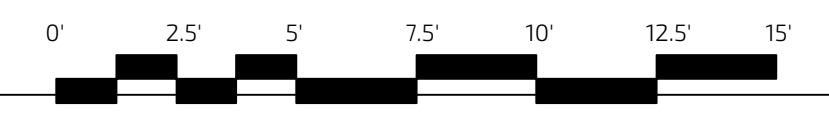
PROJECT NUMBER: 2112
905 LEONELLO AVE

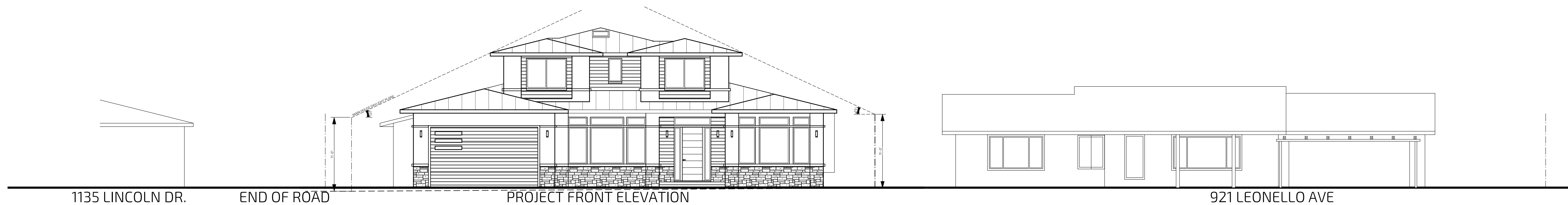


PROPOSED FRONT (WEST) ELEVATION 1
SCALE 1/4" = 1'-0"



905 LEONELLO AVE
 TWO-STORY RESIDENTIAL DESIGN
 9.21.2022
 MATERIAL BOARD





1135 LINCOLN DR.

END OF ROAD

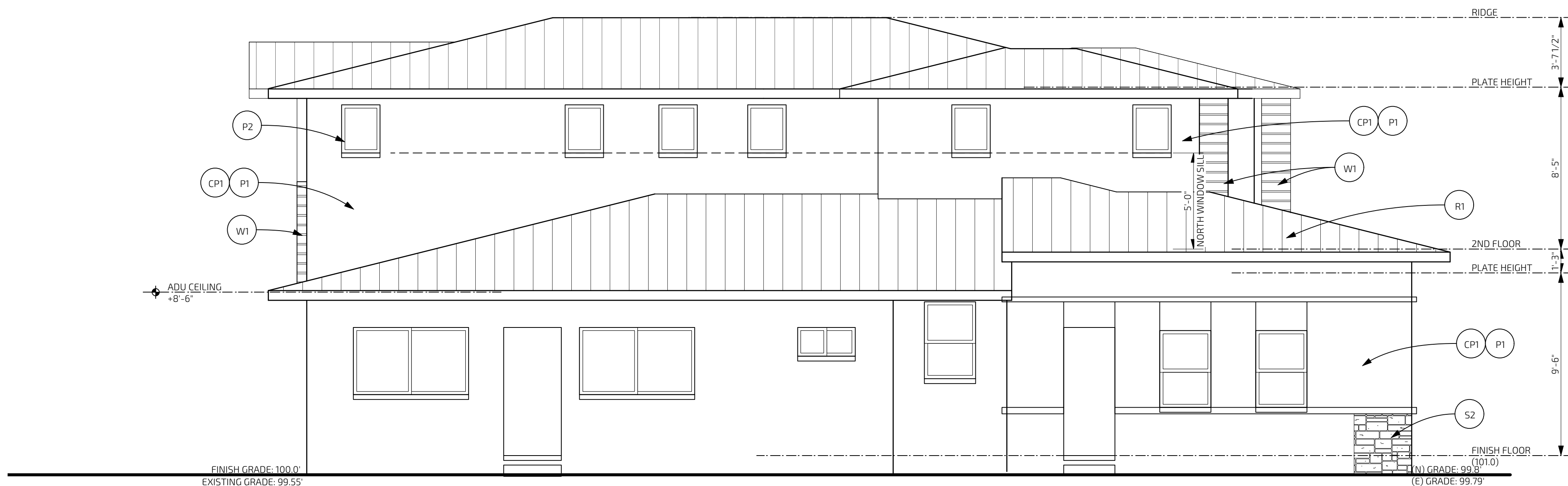
PROJECT FRONT ELEVATION

921 LEONELLO AVE

STREETSCAPE ELEVATION

SCALE 1/8" = 1'-0"

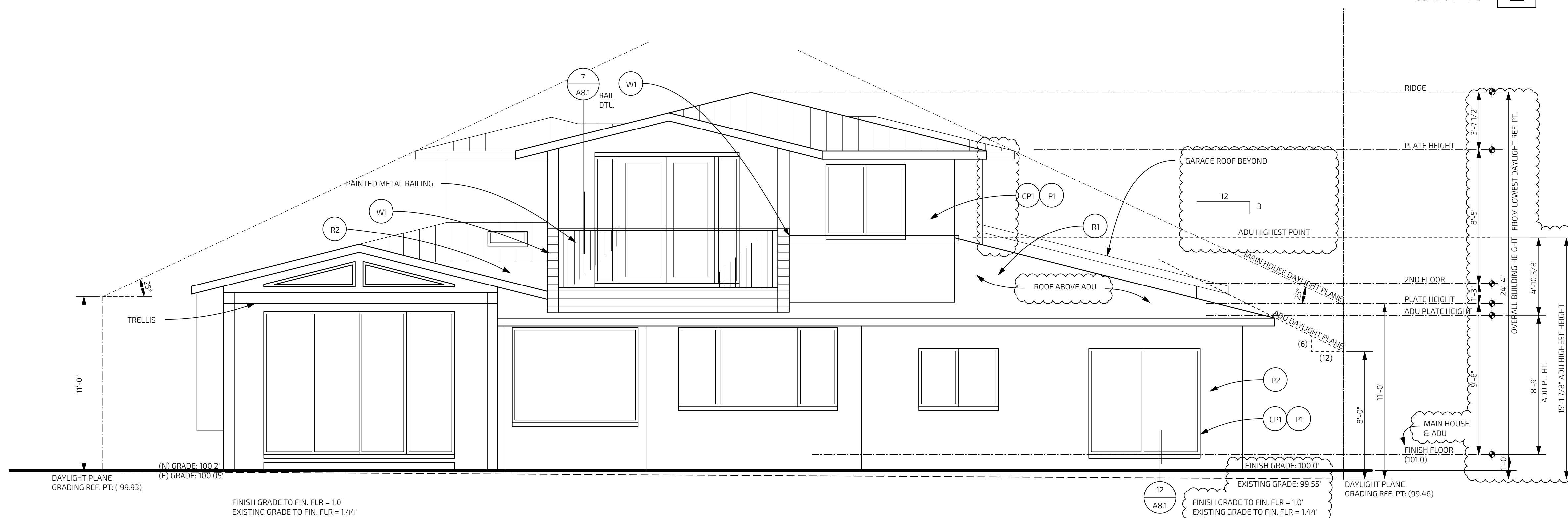
3



PROPOSED LEFT (NORTH) ELEVATION

SCALE 1/4" = 1'-0"

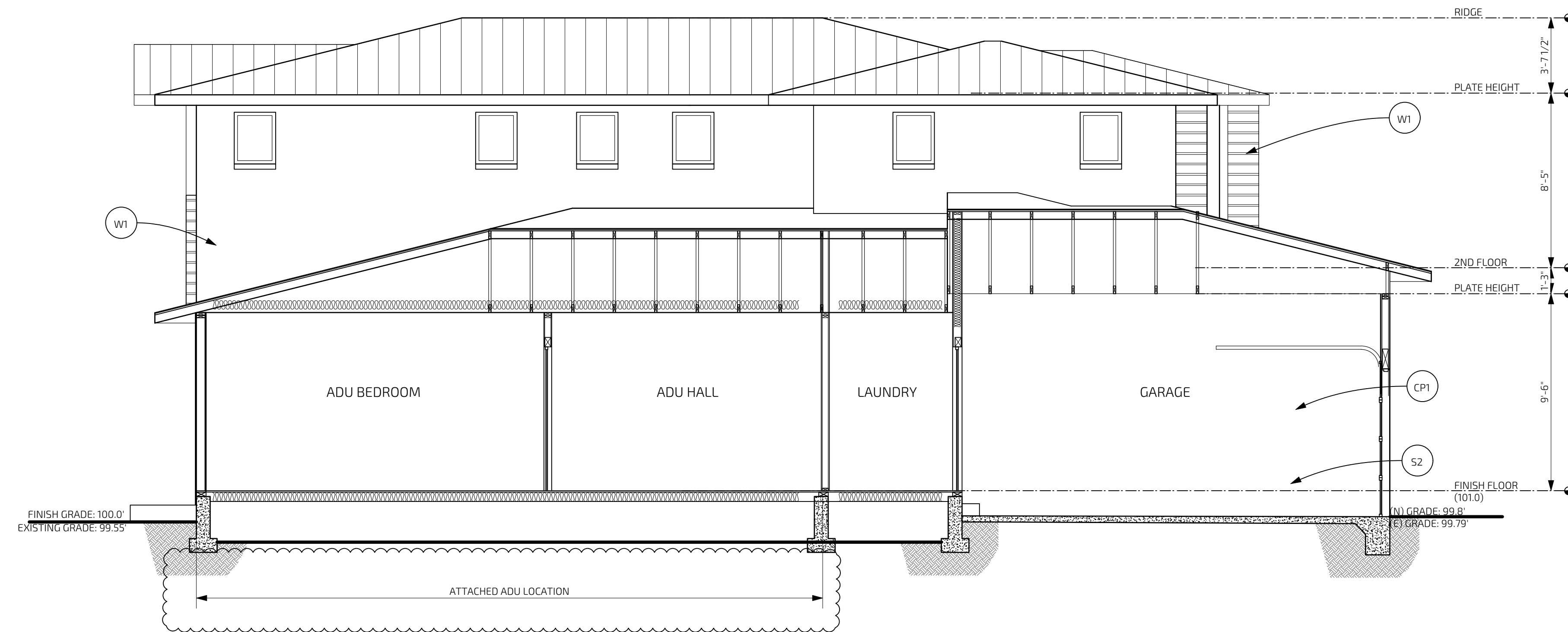
2



PROPOSED BACK (EAST) ELEVATION

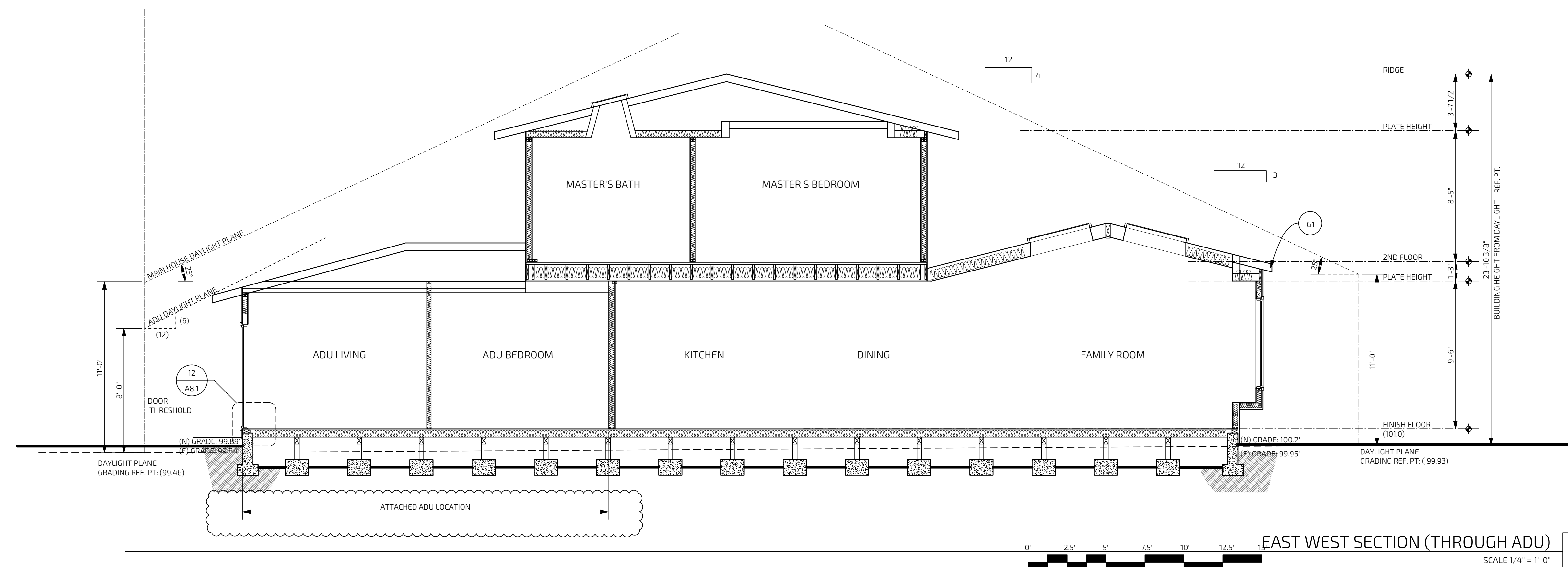
SCALE 1/4" = 1'-0"

1



NORTH-SOUTH SECTION (THROUGH ADU)
SCALE 1/4" = 1'-0"

2



EAST WEST SECTION (THROUGH ADU)
SCALE 1/4" = 1'-0"

1

ZHANG RESIDENCE
NEW RESIDENCE
905 LEONELLO AVE
LOS ALTOS, CA 94024

PROGRESS SET
NOT FOR CONSTRUCTION

PROPOSED SECTIONS

CITY STAMP:

A7.9

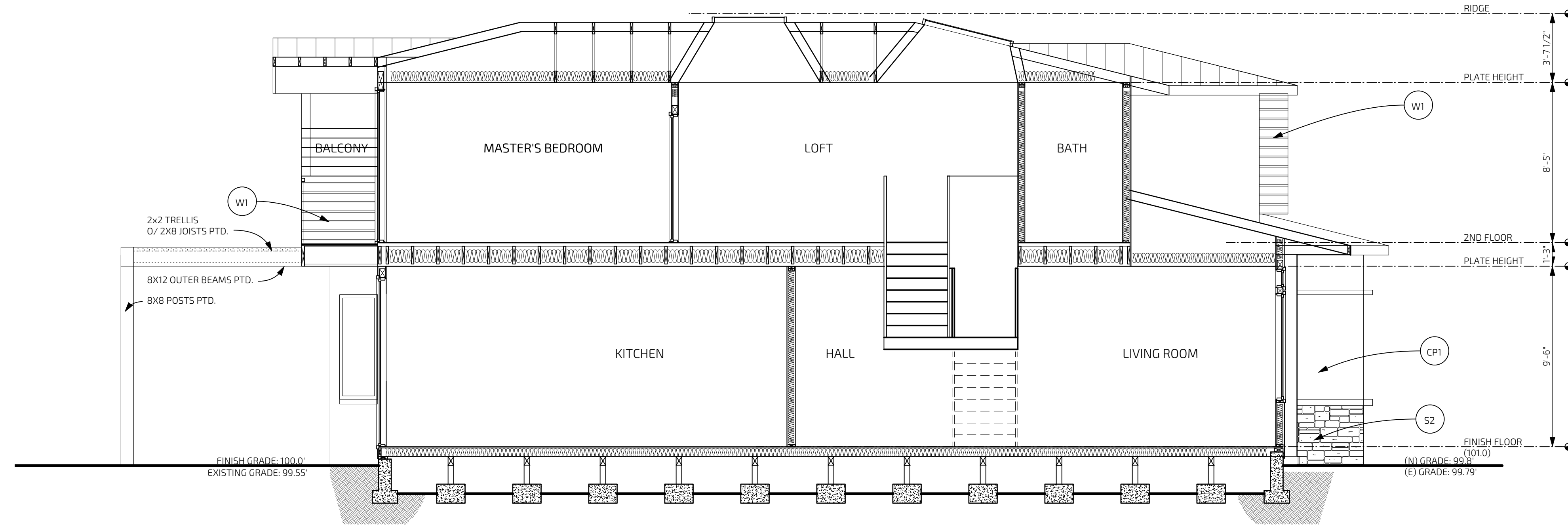
PROJECT NUMBER: 2112
905 LEONELLO AVE

Sheet Revisions:

1	PLAN CHECK COMMENTS 10.10.2022
2	PLAN CHECK COMMENTS 12.5.2022

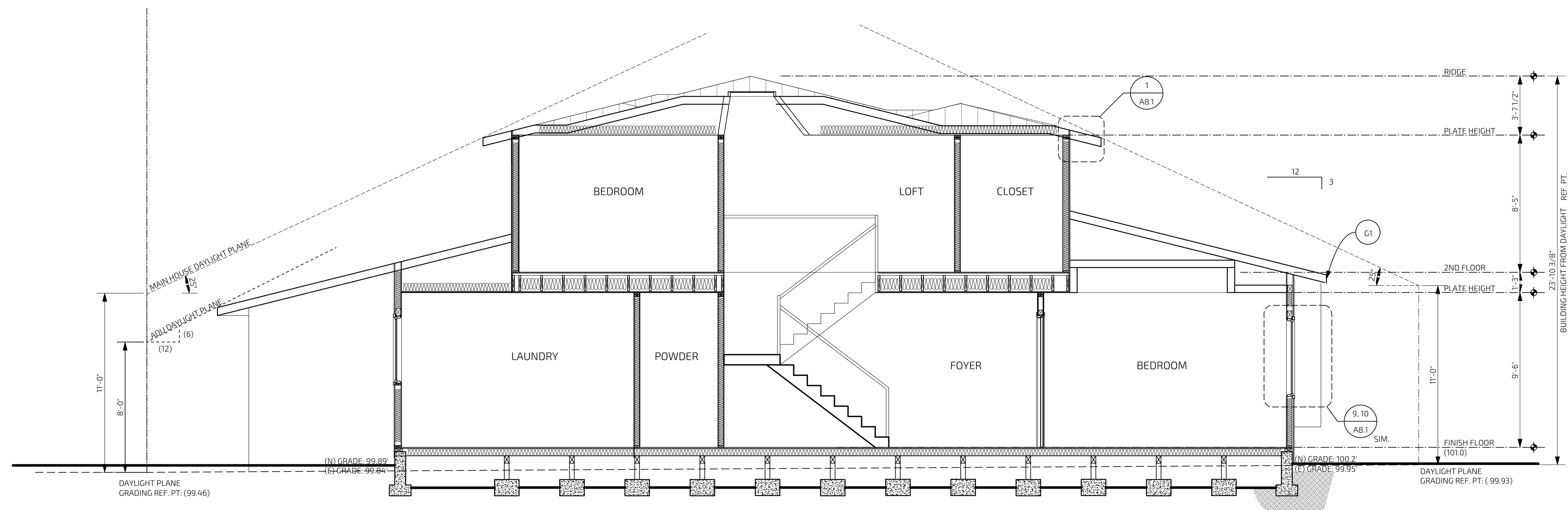
ALL DIMENSIONS AND SPACINGS UNLESS OTHERWISE SPECIFIED ARE IN INCHES. DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED. VERIFY THE EXISTING CONTENT OF THE ARCHITECT'S RECORD DRAWINGS.

ELECTRONIC PLAN REVIEW



NORTH-SOUTH SECTION
SCALE 1/4" = 1'-0"

2



EAST WEST SECTION
SCALE 1/4" = 1'-0"

1

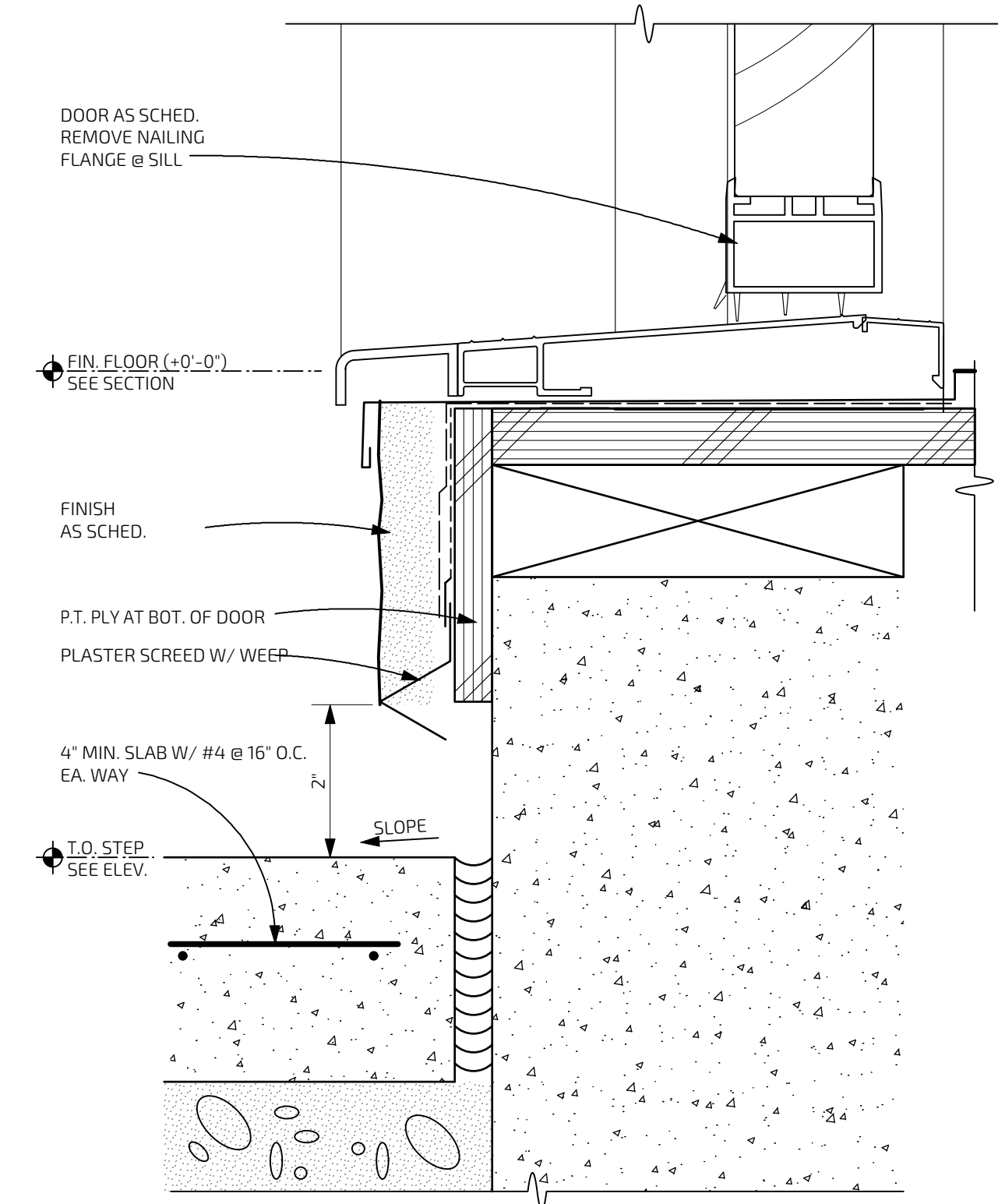
ZHANG RESIDENCE
NEW RESIDENCE
905 LEONELLO AVE
LOS ALTOS, CA 94024

PROGRESS SET
NOT FOR CONSTRUCTION

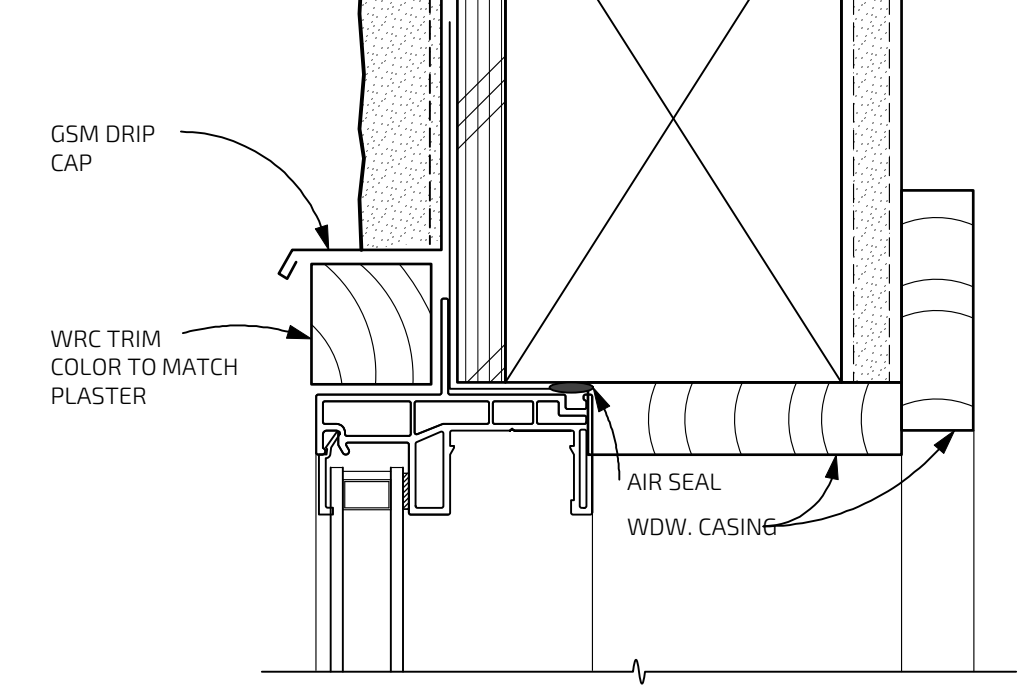
PROPOSED
SECTIONS

CITY STAMP:

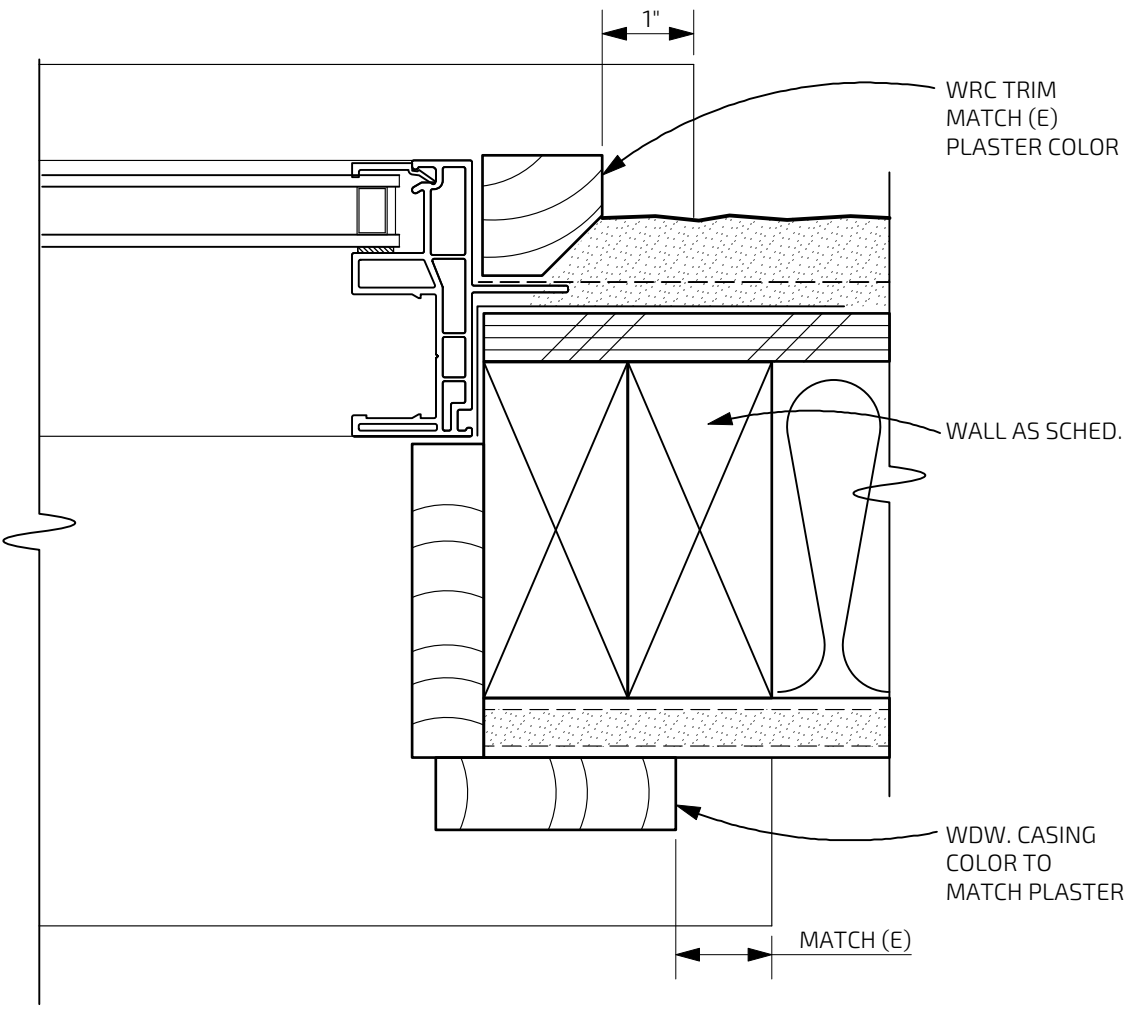
A8.0



SLIDING DOOR SILL (SWING DR SIM.)
SCALE 6" = 1'-0" **12**

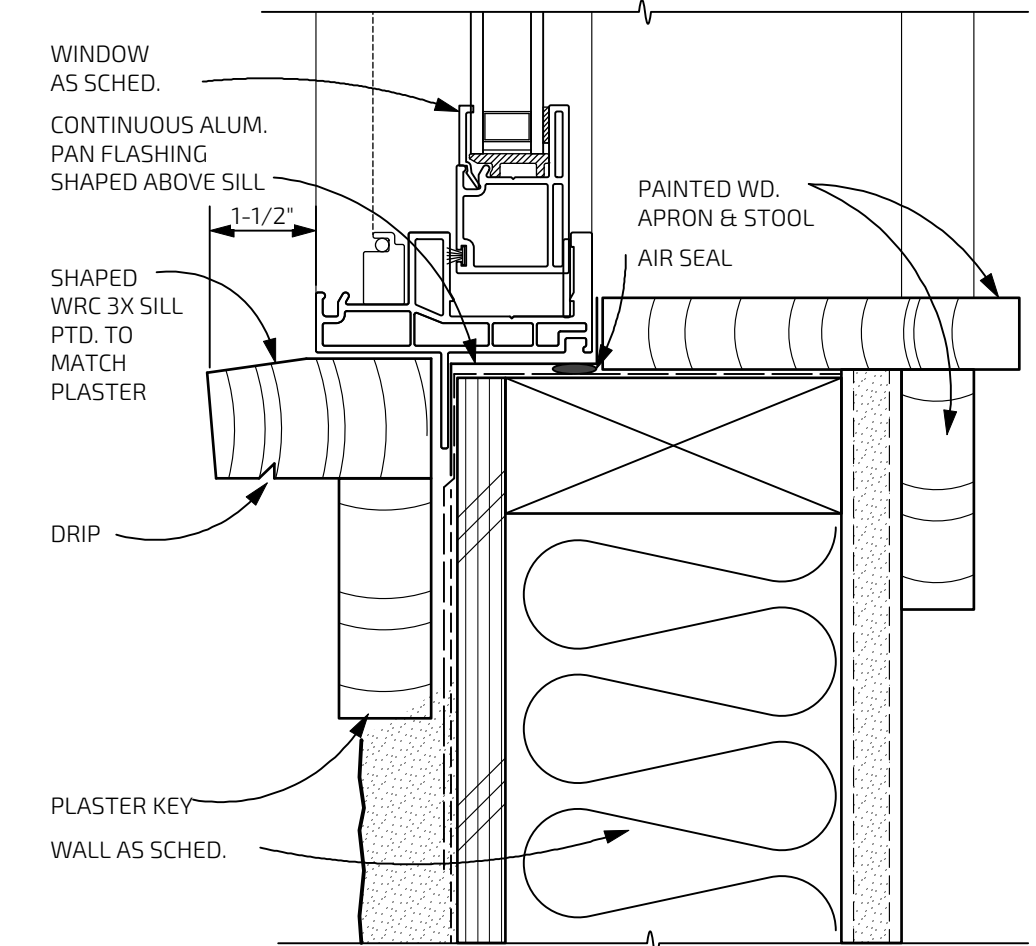
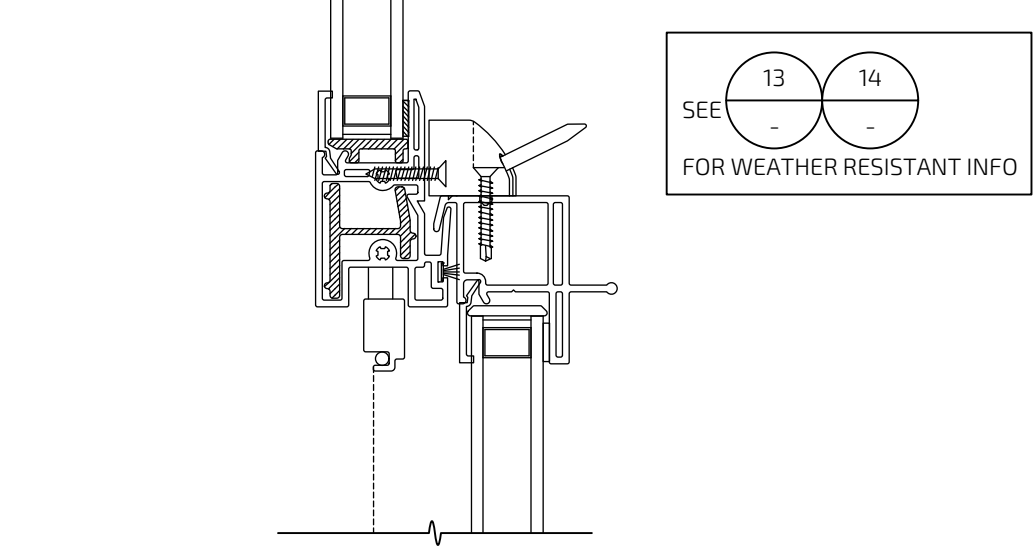


TYP. WDW. JAMB DETAIL
@ CEMENT PLASTER FINISH
SCALE 6" = 1'-0" **9**

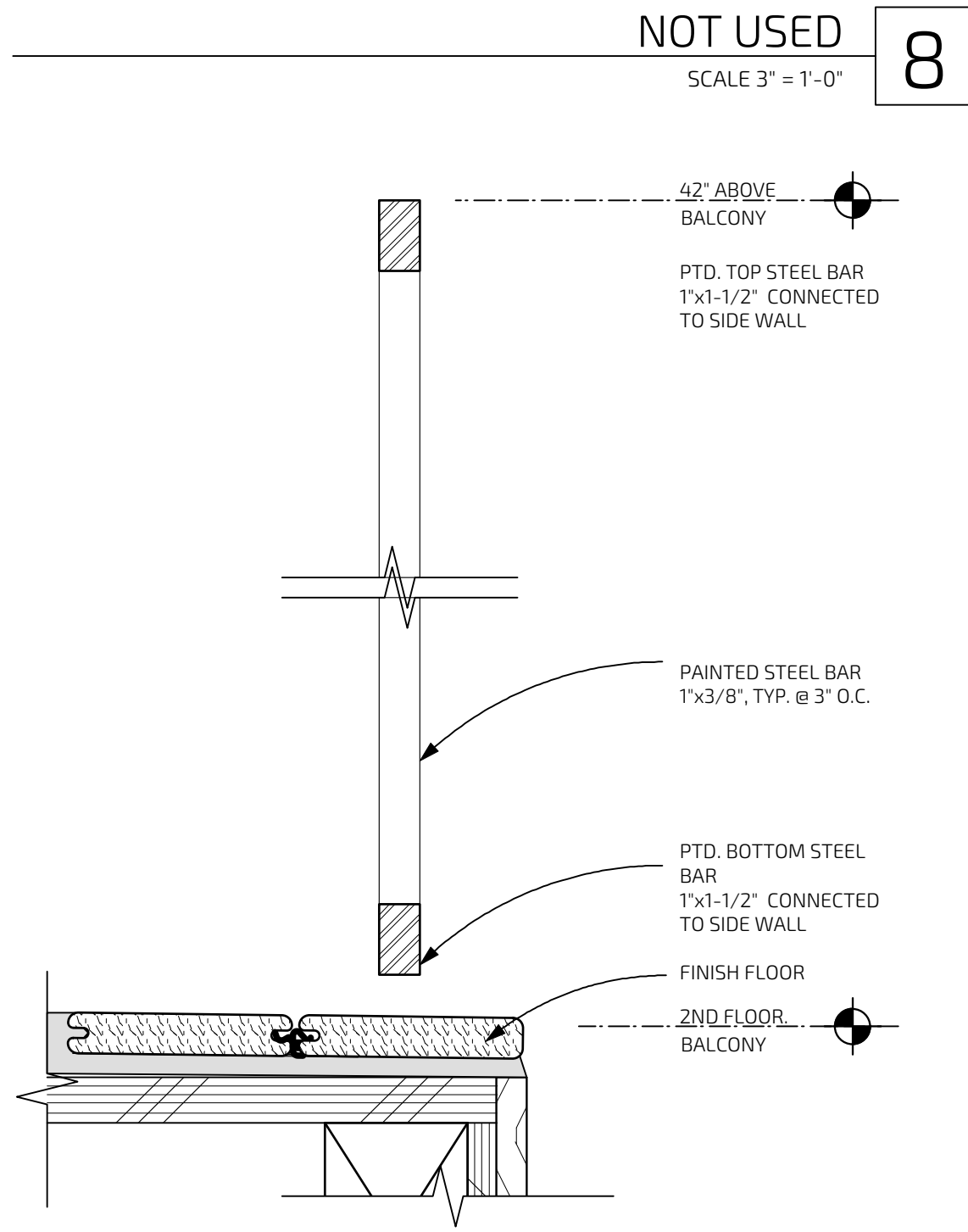


NOT USED **6A**
SCALE 3" = 1'-0"

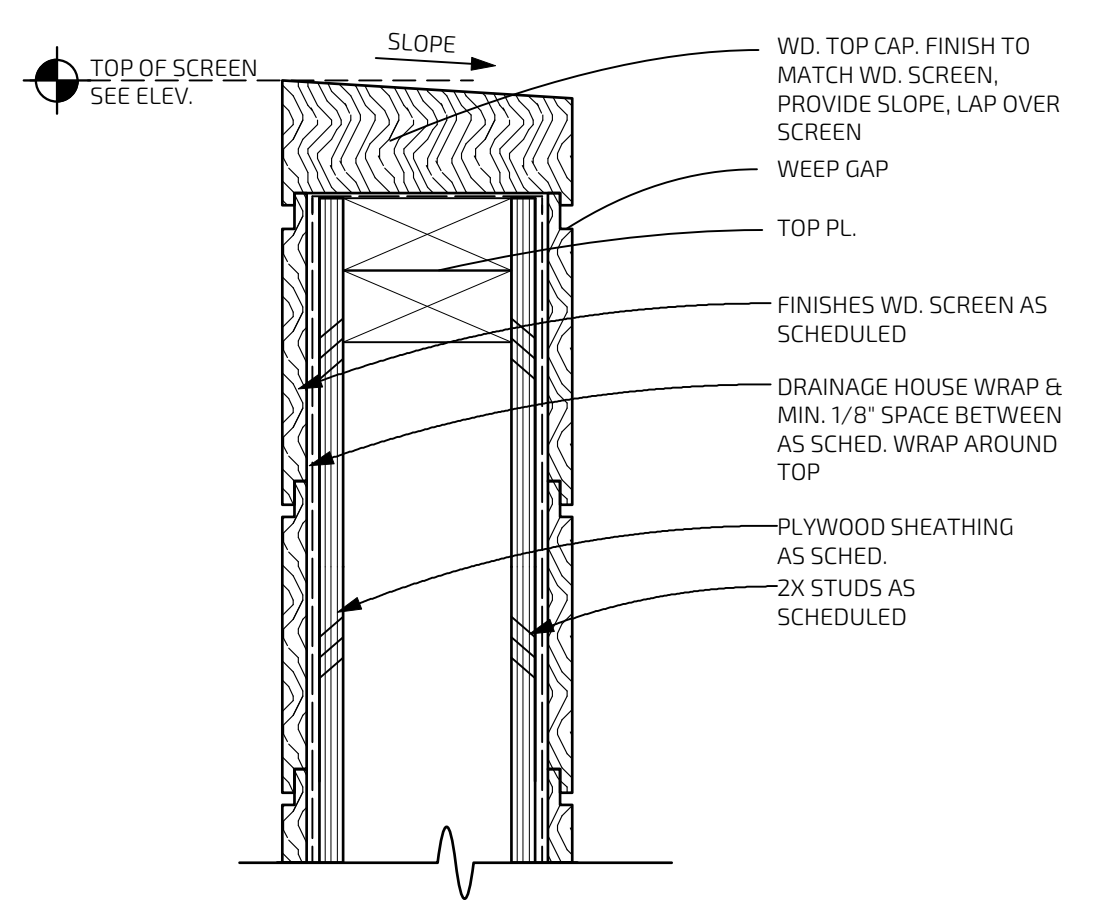
NOT USED **3**
SCALE 3" = 1'-0"



TYPICAL WDW. SILL,
MEETING RAIL & HEAD DETAILS @ CEM.
PLASTER FINISH (DR HEAD SIM.)
SCALE 6" = 1'-0" **10**

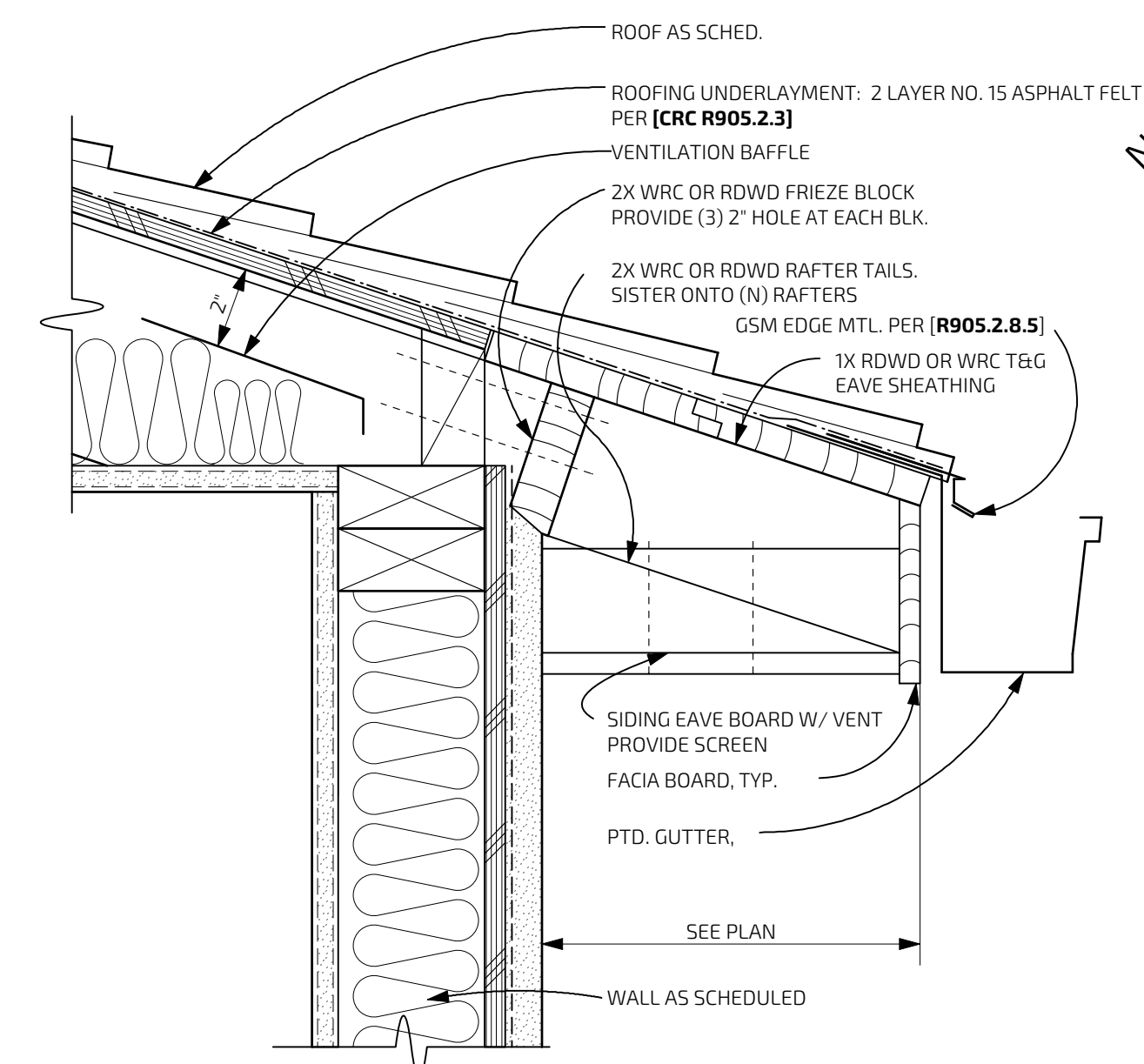


NOT USED **8**
SCALE 3" = 1'-0"



NOT USED **6**
SCALE 3" = 1'-0"

WOOD SCREEN DETAIL
SCALE 1-1/2" = 1'-0" **5**



NOT USED **2**
SCALE 3" = 1'-0"

ROOF EAVE DETAIL
SCALE 1-1/2" = 1'-0" **1**

NOT USED **7**
SCALE 3" = 1'-0"

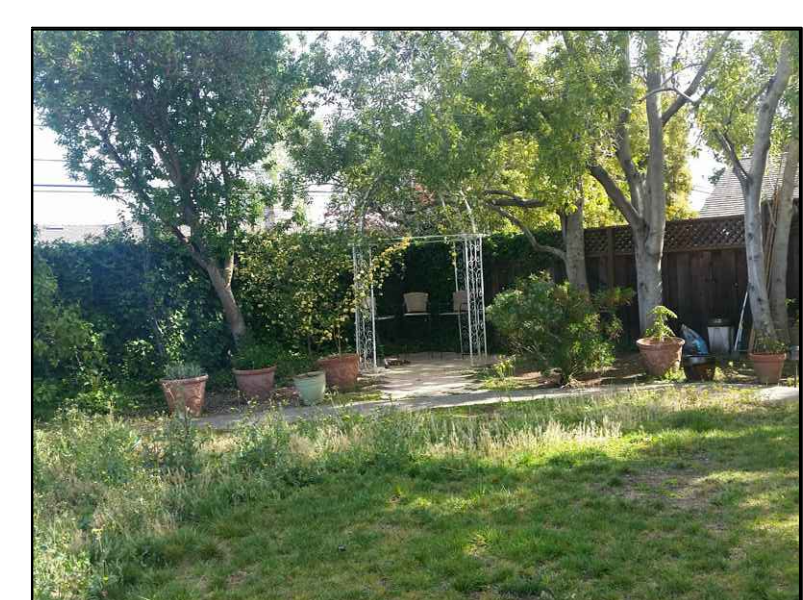
Plant Legend

KEY	QTY	SIZE GALLONS	SPACING	WUCOLS RATING	BOTANICAL NAME	COMMON NAME	Mature High x Width
TALL SCREENING SHRUBS							
PG	-	15	3'-5'	MED	Podocarpus gracilior	Fern Pine	20 - 60'x10-20'
SHRUBS							
PT	-	5	4'-7'	LOW	Pittosporum tobira		
TM	-	5	3'-5'	LOW	Lavatera Barnsley	Tree Mallow	
EF	-	5	6'-8'	LOW	Echium fastuosum	Pride of Madiera	
WC	-	5	3'-5'	LOW	Westringia compacta	Morning Light	
VINES							
T	-	5	3'-8'	MED	Trachelospermum jasminoides	Star Jasmine	
C	-	5	3'-8'	MED	Clytostoma callistigoides	Lavender Trumpet Vine	
GROUND COVERS							
L	-	1	3'-5'	LOW	Limonium perezii	Sea Statice	
EK	-	1	3'-5'	LOW	Erigeron karvinskianus	Santa Barbara Daisy	
LP	-	1	3'-5'	LOW	Lomandra Platinum		
SL	-	1	4'-8'	LOW	Salvia leucantha	Mexican Sage	
N	-	1	3'-5'	LOW	Nandina Gulf Stream		
EP	-	1	5'-7'	LOW	Euryops pectinatis	Euryops Daisy	
LA	-	1	3'-6'	LOW	Lavandula - selected by owner	Lavender	
D	-	1	2'-4'	LOW	Aeonium canariense	Mint Saucer	
CA	-	1	3'-5'	LOW	Crassula ovata	Jade Plant	
EP	-	1	3'-5'	LOW	Euryops pectinatus	Euryops Daisy	

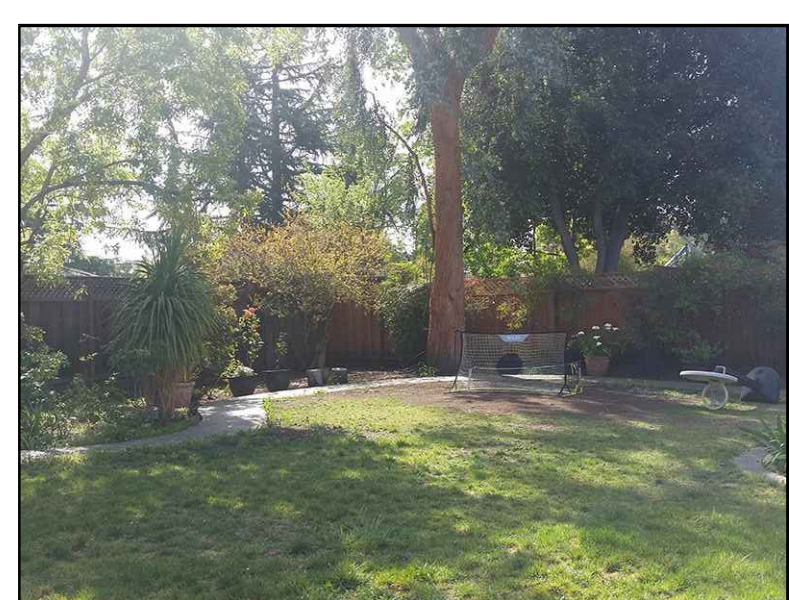
Ask owners if they want to upsize some of 1 gal plants to 5 gal plants
 Plant quantities are for planning purposes only. Contractor to do own plant count and install all plants on plan

Planting Notes

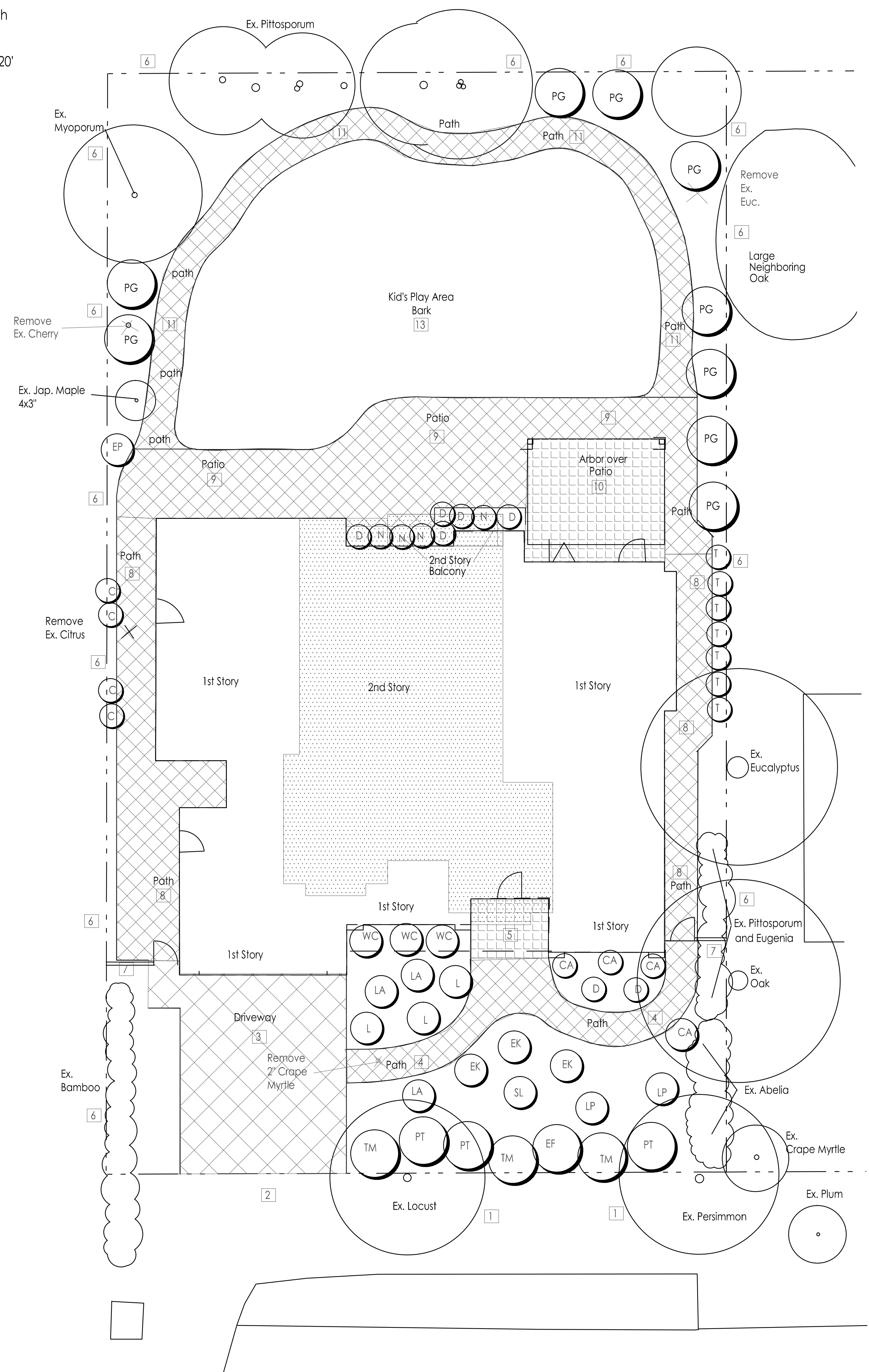
- LESS THAN 25% OF PLANTING AREA IS TURF - THERE IS NO REAL TURF
- PLANTS WITH SIMILAR WATER NEEDS ARE GROUPED WITHIN HYDROZONES. EACH HYDROZONE SHALL BE CONTROLLED BY A SEPARATE GROUP OF VALVES
- AT LEAST 4 CUBIC YARDS OF COMPOST (BFI SUPER HUMUS) AND 16 POUNDS OF 12-12-12 FERTILIZER PER 1000 SF OF PLANTING AREA SHALL BE THOROUGHLY TILLED INTO THE TOP 8 INCHES OF SOIL (EXCEPT UNDER CANOPY OF EXISTING TREES TO BE SAVED) OR FOLLOW THE AMENDMENT AND FERTILIZER RECOMMENDATIONS OF A SOIL FERTILITY TEST AND ANALYSIS FROM A SOIL LAB (HIGHLY RECOMMENDED)
- INSTALL 3 INCH DEEP LAYER OF TOP DRESS MULCH ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT IN AREAS OF DIRECT SEEDING APPLICATION OR SOD LAWN. USE WOOD CHIP TYPE MULCH TO BE SELECTED BY OWNERS. PROVIDE SAMPLES AND PRICES PRIOR TO FINALIZING BID
- GRADING SHALL BE DESIGNED TO MINIMIZE SOIL EROSION, RUN-OFF AND WATER WASTE ADDITIONAL NOTES
- FINAL CONSTRUCTION DRAWINGS TO INCLUDE PLANTING AND IRRIGATION DETAILS AND SPECIFICATIONS
- DON'T TRENCH TOO CLOSE TO STRUCTURES WITHOUT THE APPROVAL OF THE BUILDING ARCHITECT, CIVIL, OR STRUCTURAL ENGINEER
- PRIOR TO ORDERING PLANTS OR SIGNING FINAL CONTRACT FOR WORK MAKE SURE YOU HAVE THE MOST CURRENT SET OF APPROVED PLANS AND MAKE SURE THERE ARE NO CHANGES TO THE PLANT CHOICES
- ADJUST FINAL LOCATIONS OF PLANTS TO AVOID CONFLICTS WITH UTILITIES, LIGHTS, AND IRRIGATION COMPONENTS. SCREEN VALVES AND UTILITIES WITH PLANTS. DON'T PUT PLANTS TOO CLOSE TO PAVING OR BUILDINGS
- GRADING AND DRAINAGE TO BE DONE ACCORDING TO THE APPROVED GRADING AND DRAINAGE PLANS DONE BY



Existing Pittosporum and Myoporum North and East rear yard Landscape Screening



Existing Pittosporum and neighboring Oak South East area of rear yard Landscape Screen



There is 2939 sf of Planting Area - 68% is rated low water use

Landscape Site Legend

- Compacted baserock and gravel in ROW for parking
- AC paving in ROW to connect road to driveway
- Driveway - Interlocking pavers - manuf., style, pattern, and color to be selected by owners
- Front walk - Interlocking pavers - a little different than driveway but complimentary to it- manuf., style, pattern, and color to be selected by owners
- Front porch - tile on concrete base or plain conc. - finish and pattern to be selected by owner
- Existing solid redwood 6' + 1' lattice fence
- New solid redwood 6' + 1' lattice fence with matching gate
- Side yard paths - Interlocking pavers - same as front walk
- Rear Patio - Conc. interlocking pavers to be selected by owner
- Covered Patio - tile on concrete base or plain conc. - finish and pattern to be selected by owner
- Path way - Interlocking pavers - same as front walk
- Kid's Play Area - bark

Impervious Paving in Front Yard Setback

Total Area in Front Yard Setback
 78' x 25' = 1950 sf
 Driveway = 540.6 sf
 Front walk = 218 sf
 Total impervious = 758.6 sf
 758.6/1950 = 38.9% OK

Landscape Screening

- Along the rear fence there are mature, tall Pittosporum. We are filling a gap with Podocarpus
- Along the north fence in the rear yard there is a mature Myoporum tree and a Japanese Maple. We are adding Podocarpus between them.
- On the south east side of the rear yard there is a large Oak next door and a large eucalyptus next door on the south side of the proposed house. We are adding some Podocarpus



Landscape Screening Podocarpus gracilior

Revision

GREGORY LEWIS LANDSCAPE ARCHITECT #2176
 Santa Cruz, CA 95065 (831) 359-0960
 greg@lewislandscape.com

New Residence
 905 Leonello Ave., Los Altos, CA

True North

1/8" = 1'-0"
 0' 4' 8'

LANDSCAPE SITE PLAN PLANTING & SCREENING PLAN

Date: 7/18/22
 Scale: As Noted
 Drawn: Greg
 Job Sheet: L1

Plant Legend

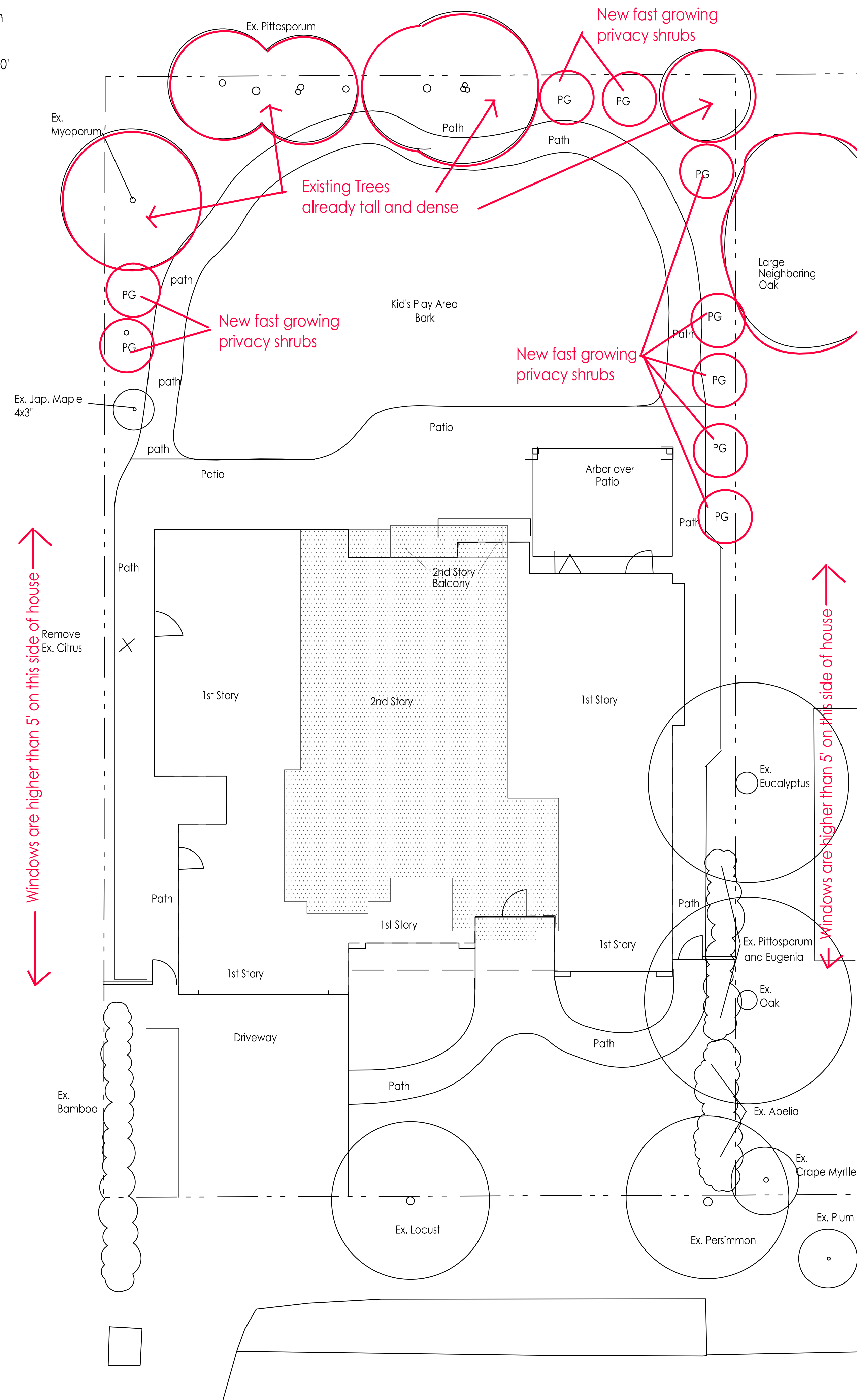
KEY	QTY	SIZE	SPACING	WUCOLS	BOTANICAL NAME	COMMON NAME	Mature High x Width
		GALLONS		RATING			

TALL SCREENING SHRUBS

PG	-	15	3'-5'	MED	Podocarpus gracilior	Fern Pine	20 - 60'x10-20'
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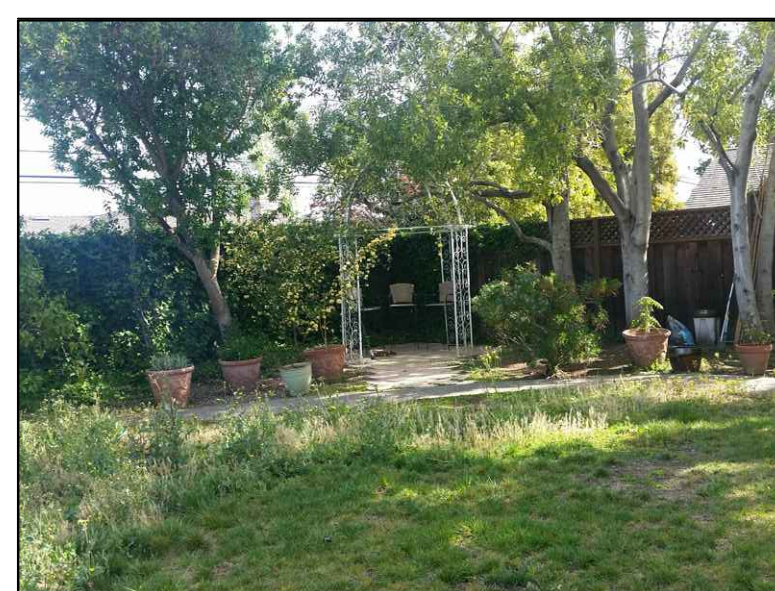
growth rate 12" to 24" per year

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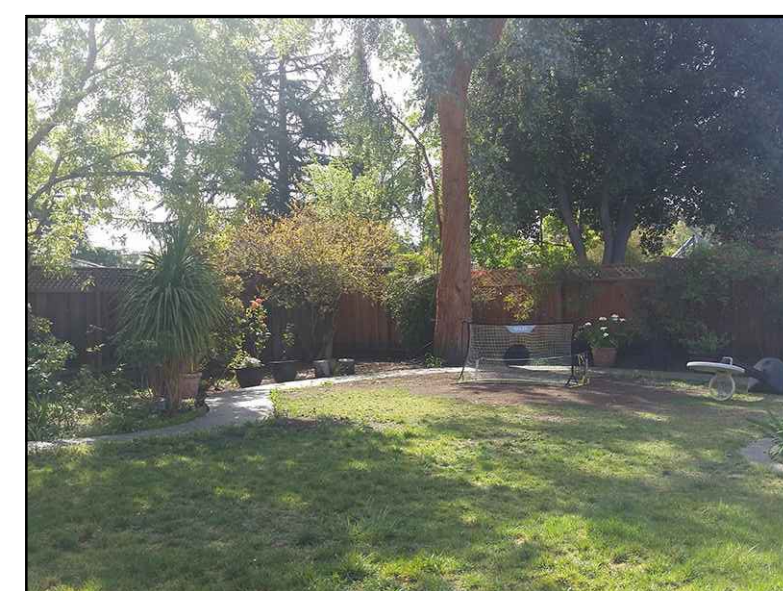


↑ Windows are higher than 5' on this side of house ↓

↑ Windows are higher than 5' on this side of house ↓



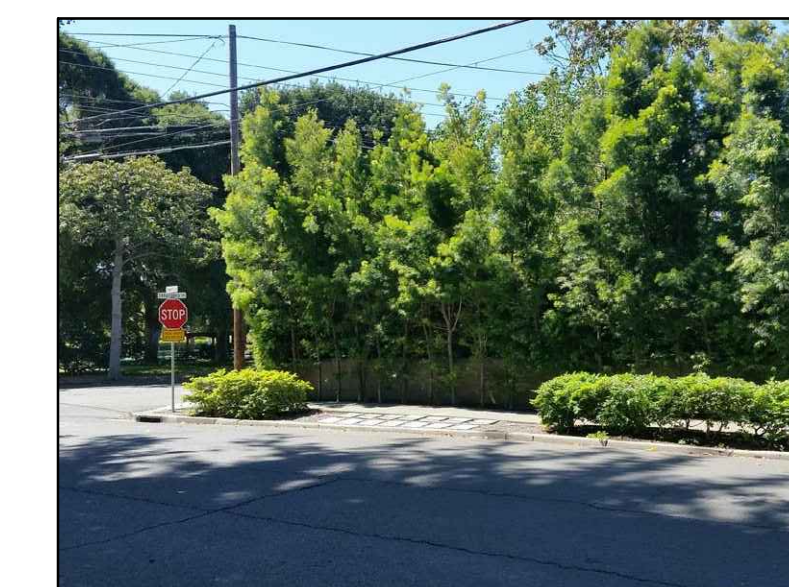
Existing Pittosporum and Myoporum North and East rear yard Landscape Screening



Existing Pittosporum and neighboring Oak South East area of rear yard Landscape Screen

Landscape Screening

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- 2 Along the north fence in the rear yard there is a mature Myoporum tree and a Japanese Maple. We are adding Podocarpus between them.
- 3 On the south east side of the rear yard there is a large Oak next door and a large eucalyptus next door on the south side of the proposed house. we are adding some Podocarpus



Landscape Screening Podocarpus gracilior

<p>Revision</p>	<p>#2176</p> <p>GREGORY LEWIS LANDSCAPE ARCHITECT Santa Cruz, CA 95065 (631) 359-0960 lewislandscape@sbcglobal.net</p> <p>New Residence 905 Leonello Ave., Los Altos, CA</p> <p>True North</p> <p>1/8" = 1'-0"</p> <p>0' 4' 8'</p> <p>LANDSCAPE SCREENING PLAN</p> <p>Date: 7/18/22 Scale: As Noted Drawn: Greg Job Sheet: L2</p>
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