



MAVIN INNOVATIVE DESIGNS  
 312-661-2024  
 malavika@mavindesigns.com  
 34623 Gladstone Place  
 Fremont, CA 94555

*V. Malavika Rao*

VARADA MALAVIKA RAO  
 BUSINESS LICENSE: 080304

**ANAND AND RAMYA RESIDENCE  
 ADDITION & REMODEL PROJECT**  
 363 W EDITH AVENUE,  
 LOS ALTOS, CA 94022

REVISIONS	DATE	BY
REVISION 1	11/09/2022	MR
REVISION 2	11/11/2022	MR

DATE	08/29/2022
DRAWN BY:	MALAVIKA RAO
SCALE:	AS NOTED
SHEET TITLE:	COVER SHEET, SITE & ROOF PLAN
SHEET #:	A-1

PROJECT ADDRESS: 363 W EDITH AVE,  
 LOS ALTOS, CA 94022  
 OCCUPANCY CLASSIFICATION: R-3  
 ZONING: R1-10  
 CONSTRUCTION TYPE: TYPE V-B  
 STORIES: SINGLE STORY  
 SPRINKLERS REQUIRED: NO  
 YEAR BUILT: 1961  
 APN #: 175-11-004  
 FLOOD ZONE: NO  
 SEISMIC HAZARD: NO

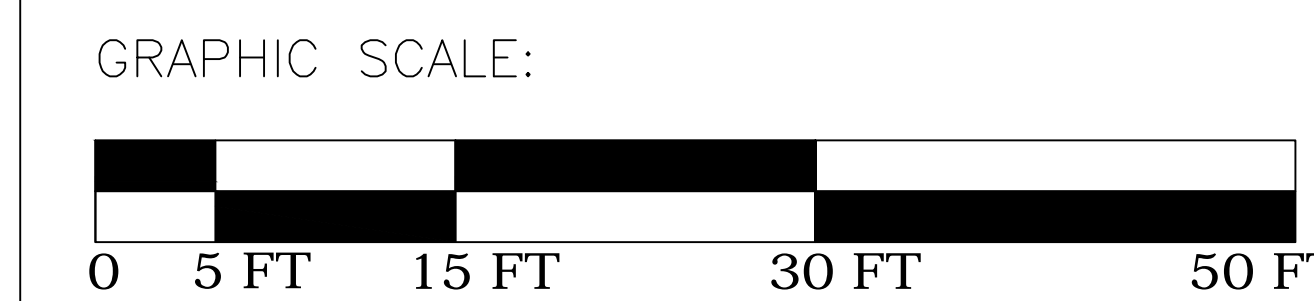
(E) FIRST FLOOR AREA INCLUDING SHED = 2,359 SF  
 (E) GARAGE = 467 SF  
 (E) FIRST FLOOR REMODEL AREA = 1,824 SF  
 (E) SHED TO BE DEMOLISHED = 49 SF  
 (N) FIRST FLOOR PORCH ADDITION = 86 SF  
 (N) SECOND FLOOR ADDITION AREA = 805 SF  
 (E) LOT AREA = 10,400 SF  
 (N) FAR (FLOOR AREA RATIO):  
 = 2,359+467-49+805 / 10,400  
 = 3,582 / 10,400  
 = 0.34 < 0.35  
 LOT COVERAGE ALLOWED = 30% = 3,120 SF  
 LOT COVERAGE PROPOSED = 2,863 SF  
 = 0.275 < 0.3

### 3 PROJECT DATA & AREA CALCS

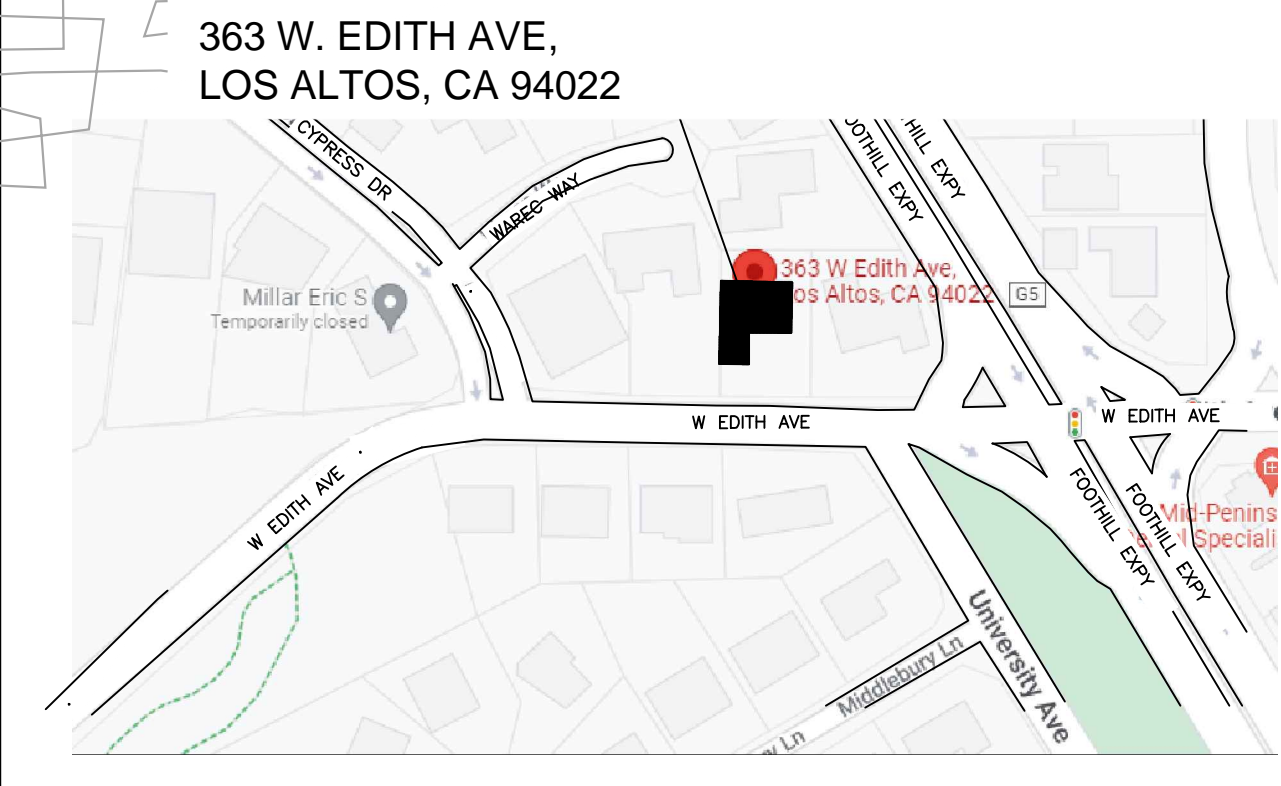
OWNER: ANAND SANKARALINGAM AND RAMYA GANESHAN  
 PHONE# : (646) 283-6804  
 EMAIL : ANAND.SANK@GMAIL.COM  
 DESIGNER: VARADA MALAVIKA RAO  
 (CONTACT PERSON) MAVIN INNOVATIVE DESIGNS  
 PHONE# : (312) 661-2024  
 EMAIL : MALAVIKA@MAVINDESIGNS.COM  
 STRUCTURAL ENGINEER: TBD  
 GENERAL CONTRACTOR: TBD

### 2 OWNER & PROJECT TEAM

- ARCHITECTURAL DRAWINGS
- A-1 COVER SHEET, SITE PLAN & ROOF PLAN
  - A-2 FLOOR AREA DIAGRAMS
  - A-3 CONTEXT MAP AND STREETScape VIEWS
  - A-4 EXSTING/DEMO ROOF PLAN
  - A-5 PROPOSED ROOF PLAN
  - A-6 EXISTING/DEMO FIRST FLOOR PLAN
  - A-7 PROPOSED FIRST FLOOR PLAN
  - A-8 PROPOSED SECOND FLOOR PLAN
  - A-9 EXISTING ELEVATIONS
  - A-10 PROPOSED ELEVATION
  - A-11 PROPOSED ELEVATIONS
  - A-12 PROPOSED PERSPECTIVE VIEWS
  - A-13 LANDSCAPE PLAN
  - A-14 MATERIAL BOARD
  - A-15 PROPOSED SECTIONS



### 1 SHEET INDEX



### 8 VICINITY MAP

1. DEMO EXISTING KITCHEN, LAUNDRY, AND BUILD NEW KITCHEN, FAMILY ROOM, GAME AREA, LAUNDRY ROOM AND EXIT TO GARAGE.
2. REMODEL EXISTING PRIMARY BATHROOM AND WALK IN CLOSET TO MAKE THEM WIDER. ADD NEW TILES AND VANITY AS NEEDED. ADD ADDITIONAL WALK IN CLOSET AS INDICATED.
3. BUILD IN NEW BAR AREA AND DEMOLISH EXISTING CLOSET AND FURNACE/WATERHEATER CLOSETS NEXT TO PRIMARY BEDROOM.
4. DEMOLISH EXISTING FOYER AND BUILD NEW FOYER WITH A POWDER ROOM AND NEW STAIRS LEADING TO THE SECOND FLOOR.
5. DEMOLISH EXISTING CEILING IN NEW KITCHEN AND FAMILY ROOM AND BUILD A VAULTED CEILING.
6. DEMOLISH ROOF ABOVE LIVING ROOM TO CREATE A DOUBLE HEIGHT SPACE.
7. REMOVE EXISTING FURNACE AND WATER HEATER TO ADD A NEW TANKLESS WATER HEATER AND ATTIC FURNACE.
8. BUILD A NEW SECOND FLOOR ADDITION AS INDICATED WITH TWO BEDROOMS, TWO FULL BATHROOMS, LOUNGE AND AN OFFICE.
10. BUILD A NEW POOL IN THE BACKYARD WITH NEW WOOD TRELIS AND BBQ STATION. ADD NEW GAS LINE TO BBQ STATION.
11. BUILD IN A NEW POOL, TRELIS AND BBQ STATION IN THE BACKYARD.

### 7 SCOPE OF WORK

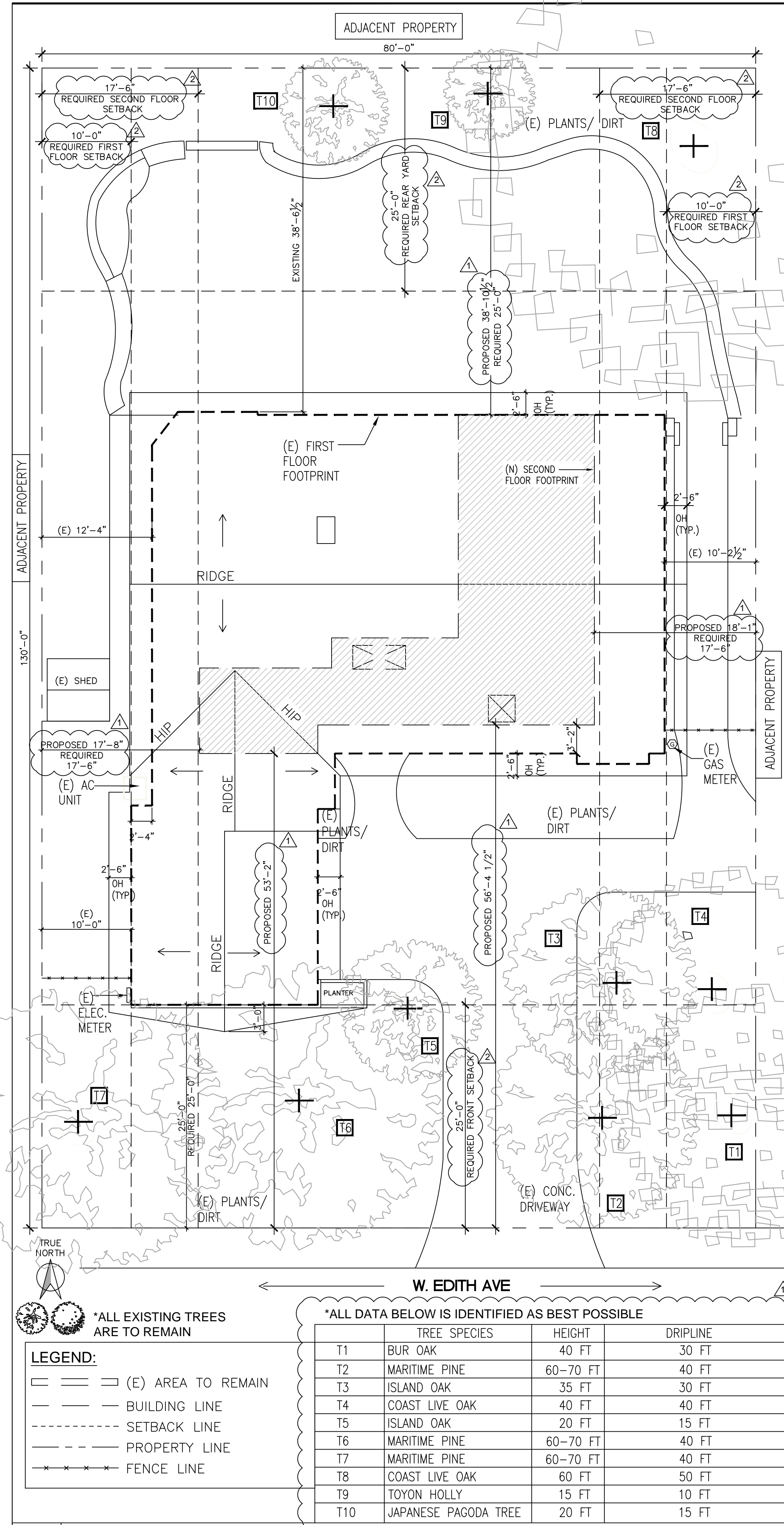
1. FIRE DEPARTMENT ACCESS ROADWAY MUST BE PROVIDED AND MAINTAINED SERVICEABLE PRIOR TO AND DURING CONSTRUCTION.
2. THE APPLICANT MUST IMMEDIATELY NOTIFY THE FIRE DEPARTMENT, HAZARDOUS MATERIALS UNIT OF ANY UNDERGROUND PIPES, TANKS OR STRUCTURES; ANY SUSPECTED OR ACTUAL CONTAMINATED SOILS; OR OTHER ENVIRONMENTAL ANOMALIES ENCOUNTERED DURING SITE DEVELOPMENT ACTIVITIES. ANY CONFIRMED ENVIRONMENTAL LIABILITIES WILL NEED TO BE REMEDIATED PRIOR TO PROCEEDING WITH SITE DEVELOPMENT.
3. CALL '811' BEFORE YOU DIG

### 6 GENERAL NOTES

### 5 ARCHITECTURAL NOTES

- EFFECTIVE CODES: (AS ADAPTED FROM THE UNIFORM MODEL CODES):
- 2019 CALIFORNIA RESIDENTIAL CODE
  - 2019 CALIFORNIA ENERGY CODE
  - 2019 CALIFORNIA MECHANICAL CODE
  - 2019 CALIFORNIA PLUMBING CODE
  - 2019 CALIFORNIA ELECTRICAL CODE
  - 2019 CALIFORNIA BUILDING CODE
  - 2019 CALIFORNIA GREEN BUILDING STANDARD CODE

### 4 CODES & REGULATIONS



### 9 EXISTING SITE PLAN

W. EDITH AVE

\*ALL DATA BELOW IS IDENTIFIED AS BEST POSSIBLE

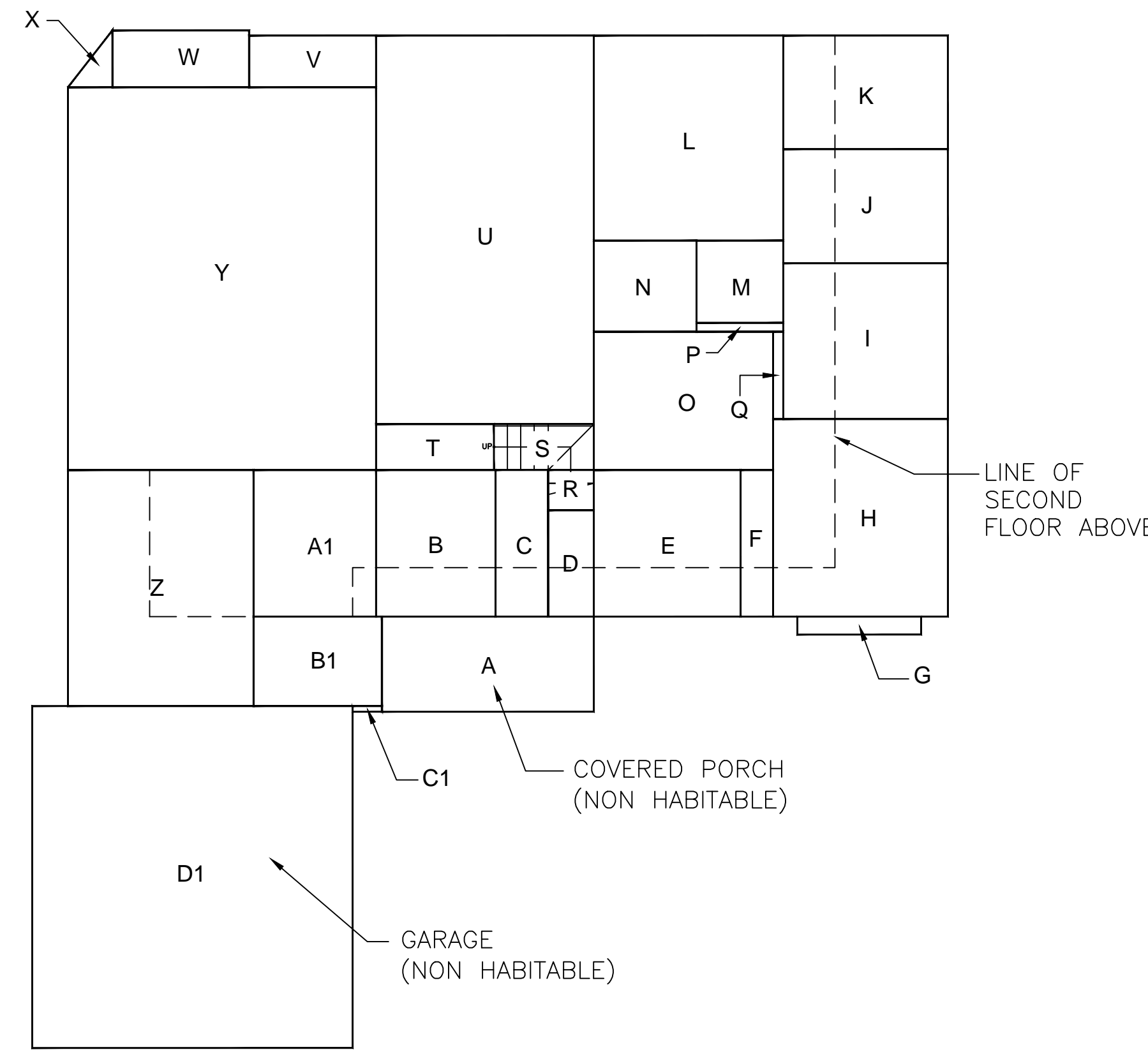
TREE SPECIES	HEIGHT	DRIFLINE
T1 BUR OAK	40 FT	30 FT
T2 MARITIME PINE	60-70 FT	40 FT
T3 ISLAND OAK	35 FT	30 FT
T4 COAST LIVE OAK	40 FT	40 FT
T5 ISLAND OAK	20 FT	15 FT
T6 MARITIME PINE	60-70 FT	40 FT
T7 MARITIME PINE	60-70 FT	40 FT
T8 COAST LIVE OAK	60 FT	50 FT
T9 TOYON HOLLY	15 FT	10 FT
T10 JAPANESE PAGODA TREE	20 FT	15 FT

\*ALL EXISTING TREES ARE TO REMAIN

LEGEND:

- (E) AREA TO REMAIN
- BUILDING LINE
- SETBACK LINE
- PROPERTY LINE
- FENCE LINE

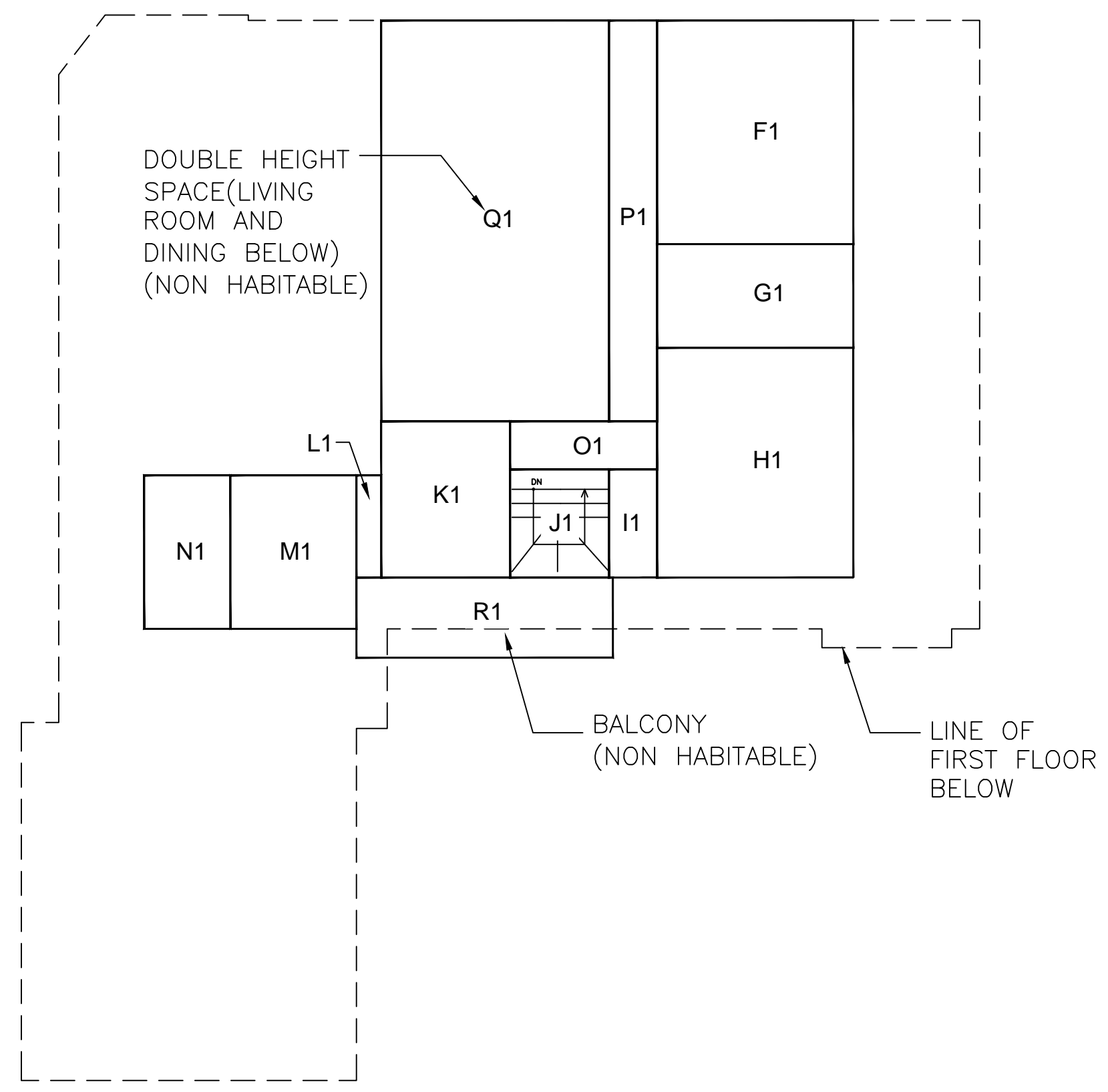
SCALE: 1/8"=1'-0"



FIRST STORY

SECTION	DIMENSIONS	AREA
A	13'10" x 6'2-1/2"	86 SF
B	7'9-1/2" x 9'7"	75 SF
C	3'5-1/2" x 9'7"	33 SF
D	3' x 6'11-1/2"	21 SF
E	9'7" x 9'7"	92 SF
F	2'1-1/2" x 9'7"	20 SF
G	8'1" x 1'2"	9 SF
H	11'5" x 12'11"	147 SF
I	10'9" x 10'2"	109 SF
J	10'9" x 7'5-1/2"	80 SF
K	10'9" x 7'5"	80 SF
L	12'4-1/2" x 13'4-1/2"	166 SF
M	5'8" x 5'4-1/2"	30 SF
N	6'8-1/2" x 5'11-1/2"	40 SF
O	11'8-1/2" x 9'0-1/2"	106 SF
P	5'8" x 7"	3 SF
Q	8" x 5'8-1/2"	4 SF
R	3' x 2'7-1/2"	8 SF
S	6'6-1/2" x 3'	20 SF
T	7'8-1/2" x 3'	23 SF
U	14'2-1/2" x 25'4-1/2"	361 SF
V	8'3-1/2" x 3'4-1/2"	28 SF
W	8'11" x 3'8-1/2"	33 SF
X	(3'8-1/2" x 2'11")/2	5 SF
Y	20'1-1/2" x 25'	503 SF
Z	12'1-1/2" x 15'5"	187 SF
A1	8' x 9'7"	77 SF
B1	8'4-1/2" x 5'10"	49 SF
C1	1'11" x 4-1/2"	1 SF
D1	20'11" x 22'4"	467 SF

FIRST FLOOR AREA SUBTOTAL = 2,777 SF (EXCLUDING A)



SECOND STORY

SECTION	DIMENSIONS	AREA
F1	12'3" x 13'11-1/2"	171 SF
G1	12'3" x 6'5-1/2"	79 SF
H1	12'3" x 14'4"	175 SF
I1	3' x 6'9"	20 SF
J1	6'2" x 6'9"	42 SF
K1	8'0-1/2" x 9'9"	78 SF
L1	1'6-1/2" x 6'4-1/2"	10 SF
M1	7'10-1/2" x 9'7"	75 SF
N1	5'4-1/2" x 9'7"	52 SF
O1	9'2" x 3'	28 SF
P1	3' x 25'	75 SF
Q1	14'2-1/2" x 25'	355 SF
R1	16' x 5'	80 SF

SECOND FLOOR AREA SUBTOTAL = 805 SF (EXCLUDING Q1 AND R1)

TOTAL FLOOR AREA (FIRST AND SECOND STORY) = 2,777 + 805 = 3,582 SF  
 TOTAL LOT COVERAGE = 2,777 + 86 (COVERED PORCH) = 2,863 SF

ZONING COMPLIANCE

	EXISTING	PROPOSED	ALLOWED/REQUIRED
<b>LOT COVERAGE:</b> LAND AREA COVERED BY ALL STRUCTURES THAT ARE OVER 6' IN HEIGHT	2,825 SF (27%)	2,863 SF (28%)	3,120 SF (30%)
<b>FLOOR AREA:</b> MEASURED TO THE OUTSIDE SURFACES OF EXTERIOR WALLS	1ST FL: 2,777 SF TOTAL: 2,777 SF	1ST FL: 2,777 SF 2ND FL: 805 SF TOTAL: 3,582 SF	3,640 SF (35%)
<b>SETBACKS:</b>			
FRONT	25'-0"	25'-0"	25'-0"
REAR	38' 6-1/2"	38' 6-1/2"	25'-0"
RIGHT SIDE (1ST/2ND)	10' 2-1/2"	10' 2-1/2" / 18'-1"	10'-0" / 17'-6"
LEFT SIDE (1ST/2ND)	10'-0"	10'-0" / 17'-8"	10'-0" / 17'-6"
HEIGHT:	15'-9"	23' 6-1/2"	27'-0" (2 STORIES)

SQUARE FOOTAGE BREAKDOWN

	EXISTING	CHANGE IN	TOTAL PROPOSED
<b>HABITABLE LIVING AREA:</b> INCLUDES HABITABLE BASEMENT AREAS	2,777 SF	805 SF	3,582 SF
<b>NON-HABITABLE AREA:</b> DOES NOT INCLUDE COVERED PORCHES OR OPEN STRUCTURES	516 SF (SHED 49 SF INCLUDED)	355 SF	822 SF (SHED 49 TO BE DEMOLISHED HENCE EXCLUDED)

LOT CALCULATIONS

NET LOT AREA:	10,400 SF
FRONT YARD HARDSCAPE AREA: HARDSCAPE AREA IN THE FRONT YARD SETBACK SHALL NOT EXCEED 50%	383 SF (20%)
<b>LANDSCAPING BREAKDOWN:</b>	TOTAL HARDSCAPE AREA (EXISTING AND PROPOSED): 3,838 SF EXISTING SOFTSCAPE (UNDISTURBED) AREA: 2,980 SF NEW SOFTSCAPE (NEW OR REPLACED LANDSCAPE) AREA: 0



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REVISION 1	11/09/2022	MR

DATE: 08/29/2022  
 DRAWN BY: MALAVIKA RAO  
 SCALE: AS NOTED

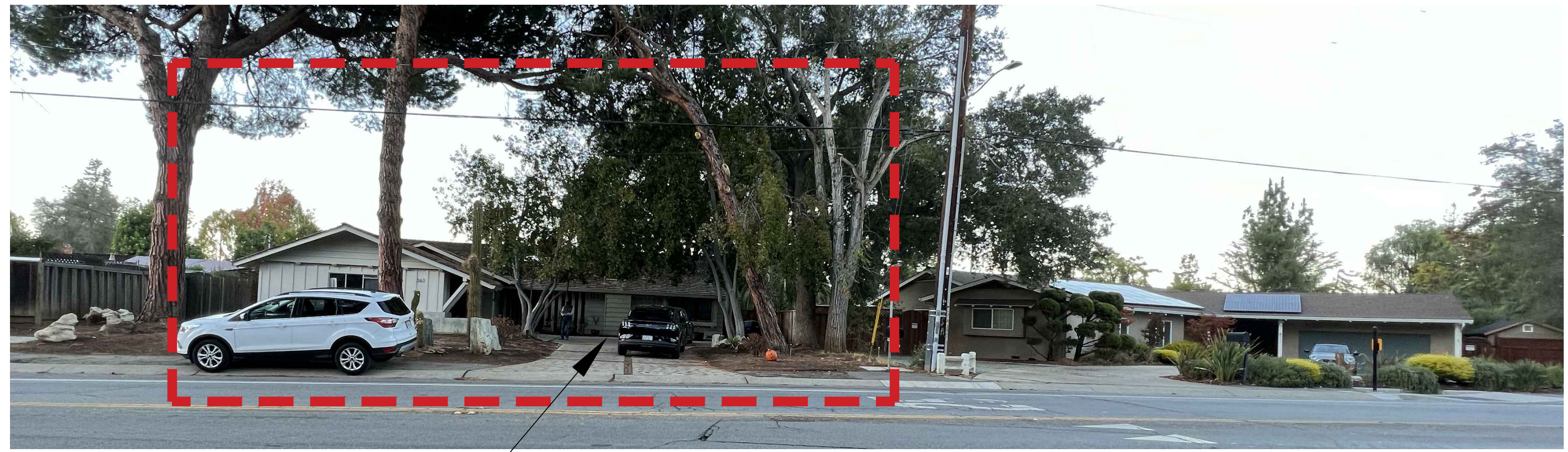
SHEET TITLE:  
 FLOOR AREA DIAGRAM

SHEET #:

A-2

**NEIGHBORHOOD ADDRESSES:**

- 1 394 W EDITH AVE, LOS ALTOS
- 2 384 W EDITH AVE, LOS ALTOS
- 3 374 W EDITH AVE, LOS ALTOS
- 4 364 W EDITH AVE, LOS ALTOS
- 5 2 MIDDLEBURY LN, LOS ALTOS
- 6 333 W EDITH AVE, LOS ALTOS
- 7 384 WAREC WAY, LOS ALTOS
- 8 389 CYPRESS DR, LOS ALTOS
- 9 355 WAREC WAY, LOS ALTOS
- 10 366 WAREC WAY, LOS ALTOS

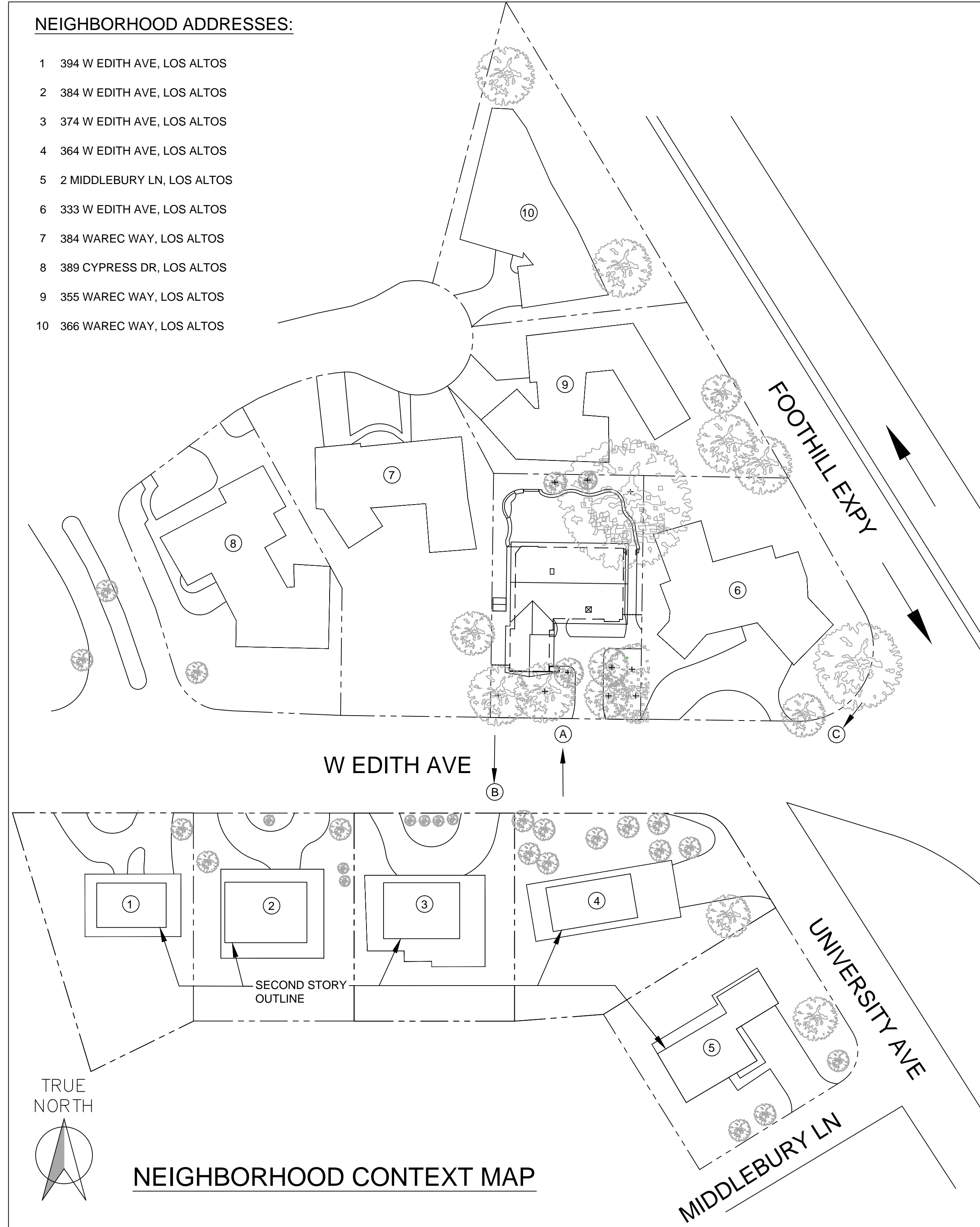


PROJECT SITE

VIEW A



VIEW B



NEIGHBORHOOD CONTEXT MAP



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INNOVATIVE DESIGNS

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malavika@mavindesigns.com

34623 Gladstone Place  
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*V. Malavika Rao*

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**ANAND AND RAMYA RESIDENCE  
REMODEL AND ADDITION PROJECT**

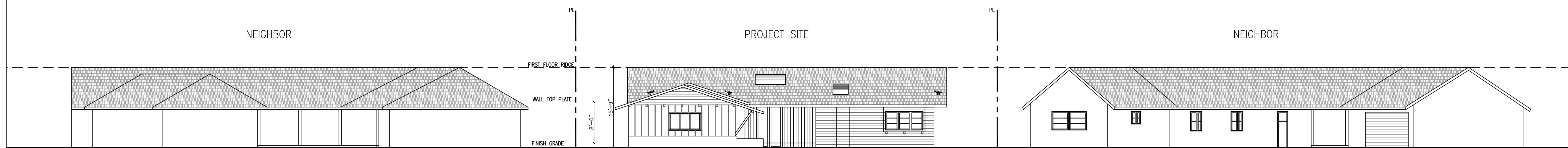
363 W. EDITH AVENUE  
LOS ALTOS, CA 94022

REVISIONS	DATE	BY
REVISION 1	11/09/2022	MR

DATE: 08/29/2022  
DRAWN BY: MALAVIKA RAO  
SCALE: AS NOTED

SHEET TITLE:  
**CONTEXT MAP &  
STREETSCAPE  
VIEWS**

SHEET #:  
**A-3**



STREETSCAPE ELEVATION



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 malavika@mavindesigns.com  
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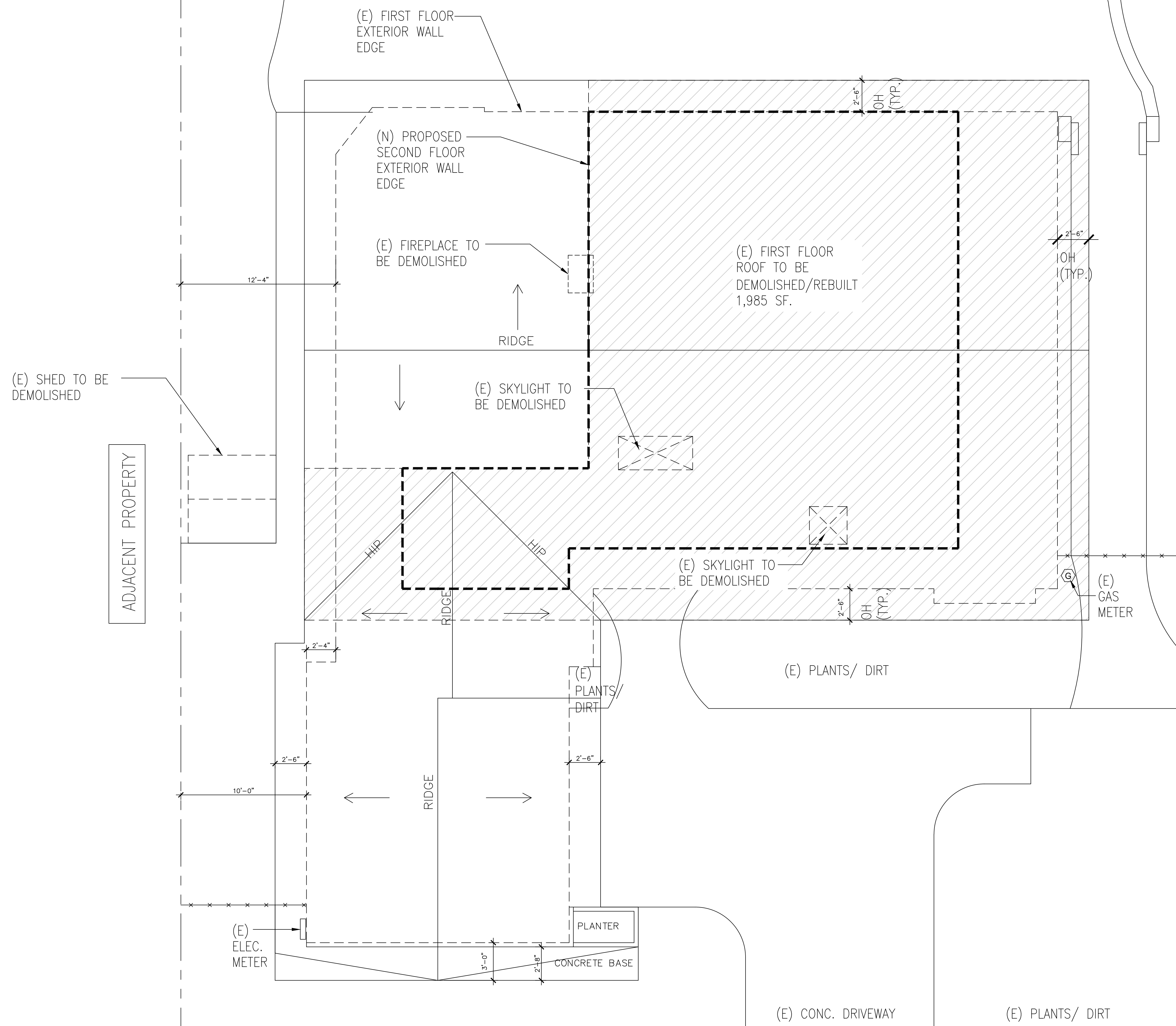
*V. Malavika Rao*  
 VARADA MALAVIKA RAO

**ANAND AND RAMYA RESIDENCE  
 REMODEL AND ADDITION PROJECT**  
 363 W. EDITH AVENUE  
 LOS ALTOS, CA 94022

REVISIONS	DATE	BY

DATE: 08/29/2022  
 DRAWN BY: MALAVIKA RAO  
 SCALE: AS NOTED  
 SHEET TITLE:  
 EXISTING ROOF PLAN

SHEET #:  
**A-4**





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 malavika@mavindesigns.com  
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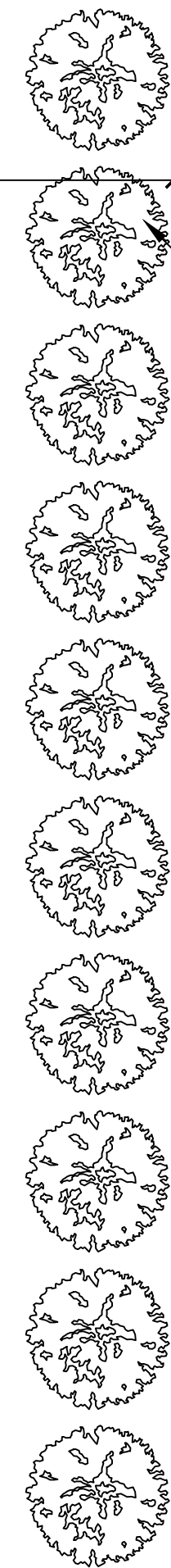
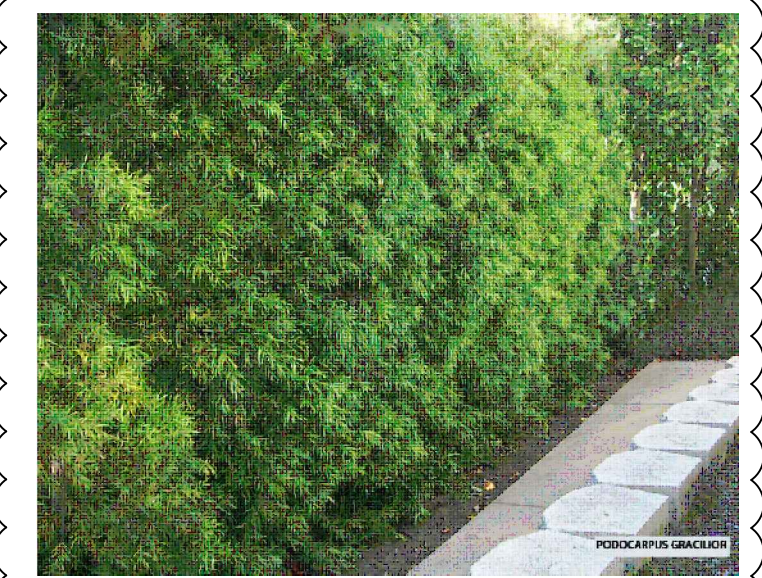
REVISIONS	DATE	BY
REVISION 1	11/09/2022	MR

DATE: 08/29/2022  
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 SCALE: AS NOTED  
 SHEET TITLE:  
**PROPOSED  
 ROOF PLANS**

SHEET #:

**A-5**

10 NEW PRIVACY TREES TO BE PLANTED TO FORM A HEDGE  
PODOCARPUS GRACILIOR  
 AT MATURITY HEIGHT - 20-60 FT  
 AT MATURITY WIDTH - 5-10 FT  
 RATE OF GROWTH - 1-3 FT/YR



(N) CLIPPED GABLE ROOF

B/B-11a

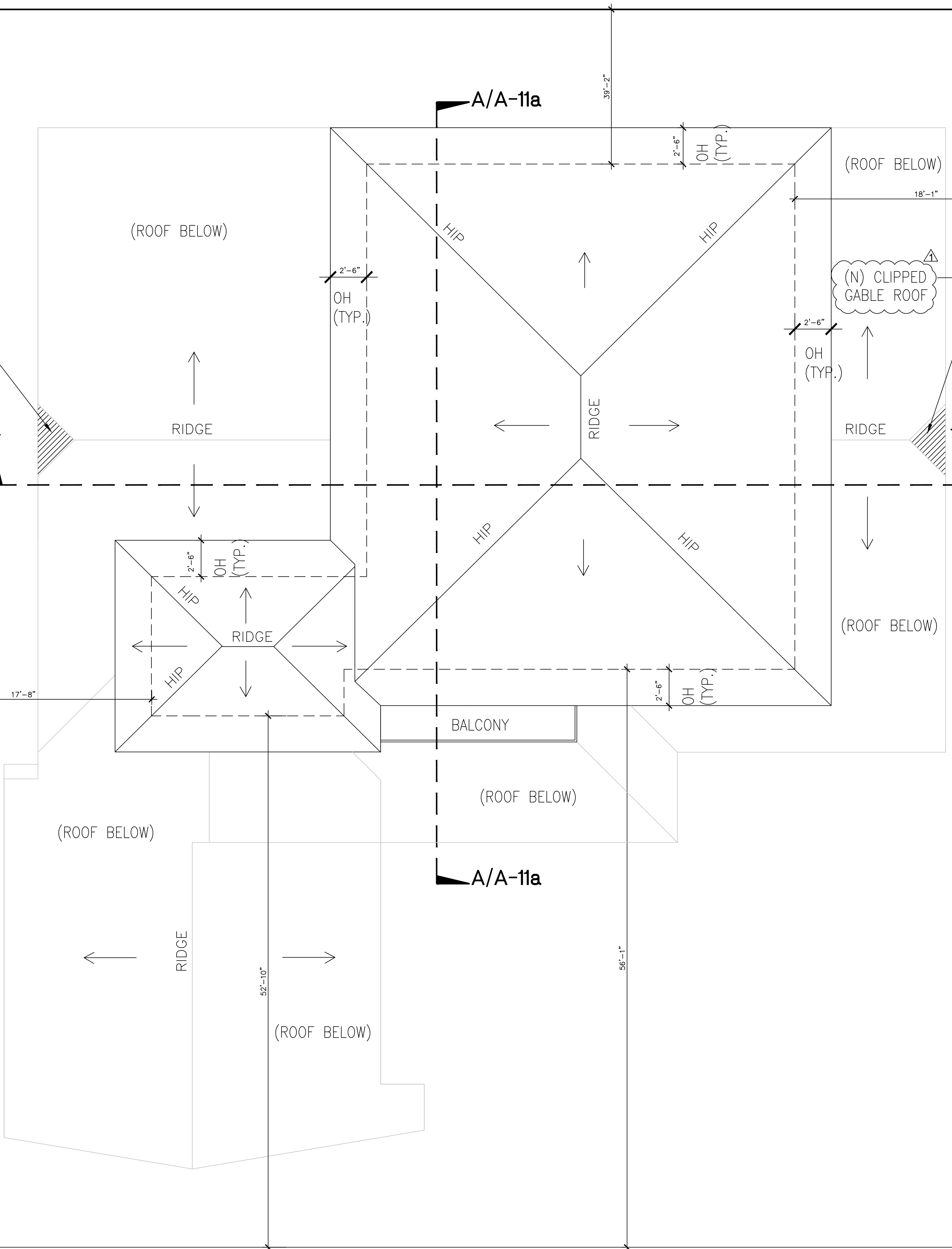
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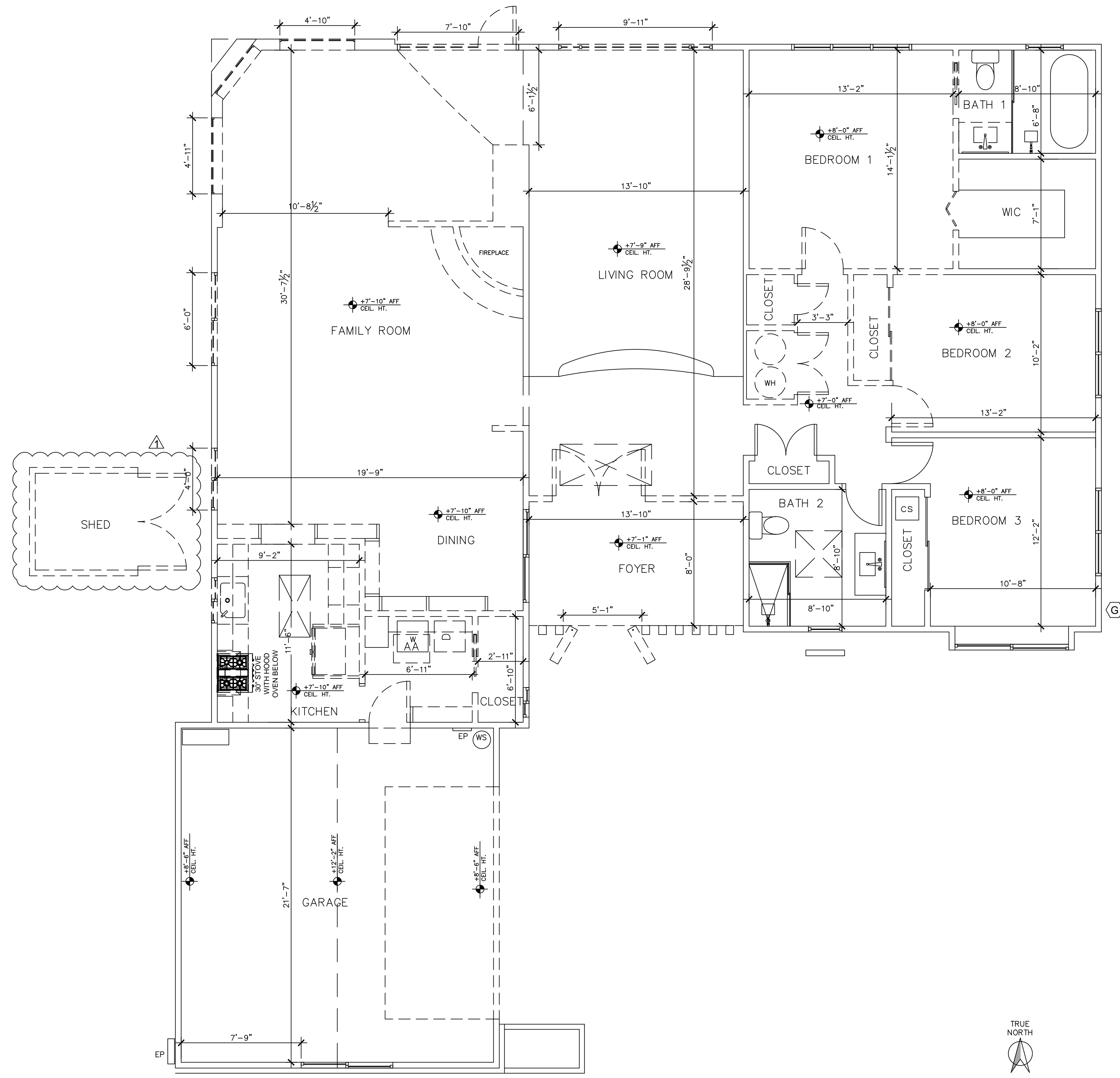
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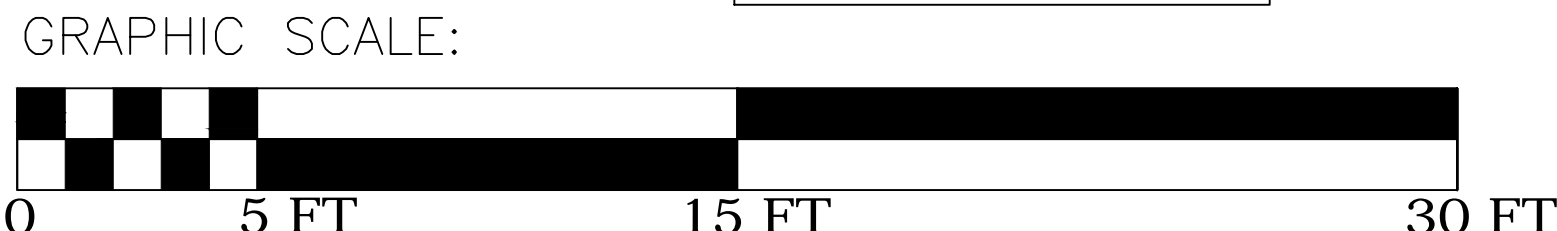
ADJACENT PROPERTY

ADJACENT PROPERTY





**LEGEND:**  
 (E) WALLS TO REMAIN  
 (E) WALLS TO BE DEMOLISHED  
 (E) DOOR/WINDOW/ITEMS TO REMAIN  
 (E) DOOR/WINDOW/ITEMS TO BE REMOVED



**GENERAL NOTES**

- ALL CODE REFERENCES ARE 2019 CALIFORNIA RESIDENTIAL CODE (CRC)
- WALL FRAMING TO COMPLY w/ R602.
  - EXTERIOR WALLS ARE FRAMED w/ 2X6 STUDS AT 16" O.C. UNLESS OTHERWISE NOTED- S.S.D.
  - INTERIOR WALLS ARE FRAMED w/ 2X4 STUDS AT 16" O.C. UNLESS OTHERWISE NOTED. S.S.D.
  - DIMENSIONS ARE FACE OF STUD, UNLESS NOTED OTHERWISE.
  - FIREBLOCKS ARE REQ'D. IN ACCORDANCE w/ R302.11 IN THE LOCATIONS SPECIFIED.
    - IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AN PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS:
      - VERTICALLY AT THE CEILING AND FLOOR LEVELS
      - HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET
    - AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS
    - IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN. ENCLOSED SPACES UNDER STAIRS SHALL COMPLY w/ SECTION R302.7.
    - AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILING AND FLOOR LEVEL, w/ AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION. THE MATERIAL FILLING THIS ANNULAR SPACE SHALL NOT BE REQ'D. TO MEET THE STM E 136 REQUIREMENTS.
    - FOR THE FIREBLOCKING OF CHIMNEYS AND FIREPLACES, SEE SECTION R1003.19.
    - FIREBLOCKING OF CORNICES OF A TWO-FAMILY DWELLING IS REQ'D. AT THE LINE OF DWELLING UNIT SEPARATION.
  - FIREBLOCK CONSTRUCTION SHOULD BE 2" NOMINAL LUMBER. FIREBLOCKING MATERIALS TO COMPLY w/ R302.11 & R302.11.1
  - WALLS AT SHOWERS AND SHOWER/TUBS SHALL BE FINISHED w/ SMOOTH HARD, NON-ABSORBENT SURFACE TO A HEIGHT OF 72 INCHES MIN. ABOVE THE DRAIN INLET (GREEN BOARD IS NOT ALLOWED BEHIND THE NON-ABSORBENT SURFACE - USE CEMENTITIOUS BACKER BOARD - SEE SPECIFICATIONS). NRRC307AND R702.3.7
  - THERMAL AND ACOUSTICAL INSULATION SHALL COMPLY w/ R302.10.1, R302.10.2 TO R302.10.5 & R302.11.1.1 TO R302.11.1.3
  - WINDOW HEAD HEIGHTS PER EXTERIOR ELEVATION, UNLESS OTHERWISE NOTED.
  - WINDOW AND DOOR LOCATIONS SHOWN WITHOUT DIMENSIONS ON PLAN SHALL BE PLACED ALONG THE CENTER OF THE WALL SHOWN, UNLESS DIMENSIONED OTHERWISE.
  - EMERGENCY EGRESS WINDOWS SHALL HAVE A MIN. NET CLEAR OPENING OF 5.7 SQUARE FT., A MIN. NET CLEAR HEIGHT OF 24", AND A MIN. NET CLEAR OPENING WIDTH OF 20". THE SILL HEIGHT OF EMERGENCY EGRESS WINDOWS SHALL NOT BE LOCATED MORE THAN 44" ABOVE THE FINISHED FLOOR. R310.2.1 AND R310.
  - SAFETY GLAZING SHALL BE PROVIDED AT THE FOLLOWING LOCATIONS PER R308 (SEE FLOOR PLANS FOR EXACT LOCATIONS):
    - TUBS, SHOWERS, TUB/ SHOWERS.
    - ADJACENT TO AND WITHIN 24" OF EITHER EDGE OF DOORS, R308.4.2
    - WITHIN 18" OF FINISHED FLOOR.
  - PROVIDE SOUND ATTENUATING BATTEN INSULATION AT ALL PLUMBING WALLS AND AT NON-PLUMBING WALLS SURROUNDING BATHROOM.
  - DRAFTSTOP SHALL BE PROVIDED BOTH ABOVE AND BELOW THE CONCEALED USABLE SPACE OF A FLOOR/ CEILING ASSEMBLY, WHERE SHALL DIVIDE THE SPACE INTO APPROX. EQUAL AREA AND DOES NOT EXCEED 1000 S.F. OF EACH. R302.12
  - PROVIDE 1/2" GYP. BD. TYPE 'X' ON THE ENCLOSED SIDE OF THE WALLS UNDER STAIR SURFACE AND SOFFITS.
  - PROVIDE 5/8" TYPE 'X' GYP. BD. ON GARAGE WALLS AND CEILING, TAPE ALL JOINTS.
  - SHOWER STALLS SHALL MAINTAIN A MIN. 30" CLEAR DIAMETER SPACE
  - SEE ROOF PLAN AND ELEVATIONS FOR ROOF PLATE HEIGHTS AND WINDOW HEAD HEIGHTS.
  - INSULATION FOR CONDITIONED AREA (SEE TITLE-24 DOCUMENT FOR R-VALUES):
    - R-15 AT EXTERIOR 2X4 WALLS
    - R-21 AT EXTERIOR 2X6 WALLS
    - R-38 AT FLAT CEILINGS w/ ATTIC
    - R-21 AT ALL RAFTERS IN ATTIC
    - (2.5 INCH SPRAY FOAM & R-30 BATT) TOTAL R-47 AT ALL VAULTS
    - R-6 AT ALL DUCTS
  - RESIDENTIAL DEVELOPMENTS SHALL COMPLY WITH A LOCAL WATER EFFICIENT LANDSCAPE ORDINANCE OR THE CURRENT CALIFORNIA DEVELOPMENT OF WATER RESOURCES' MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWEO).
  -



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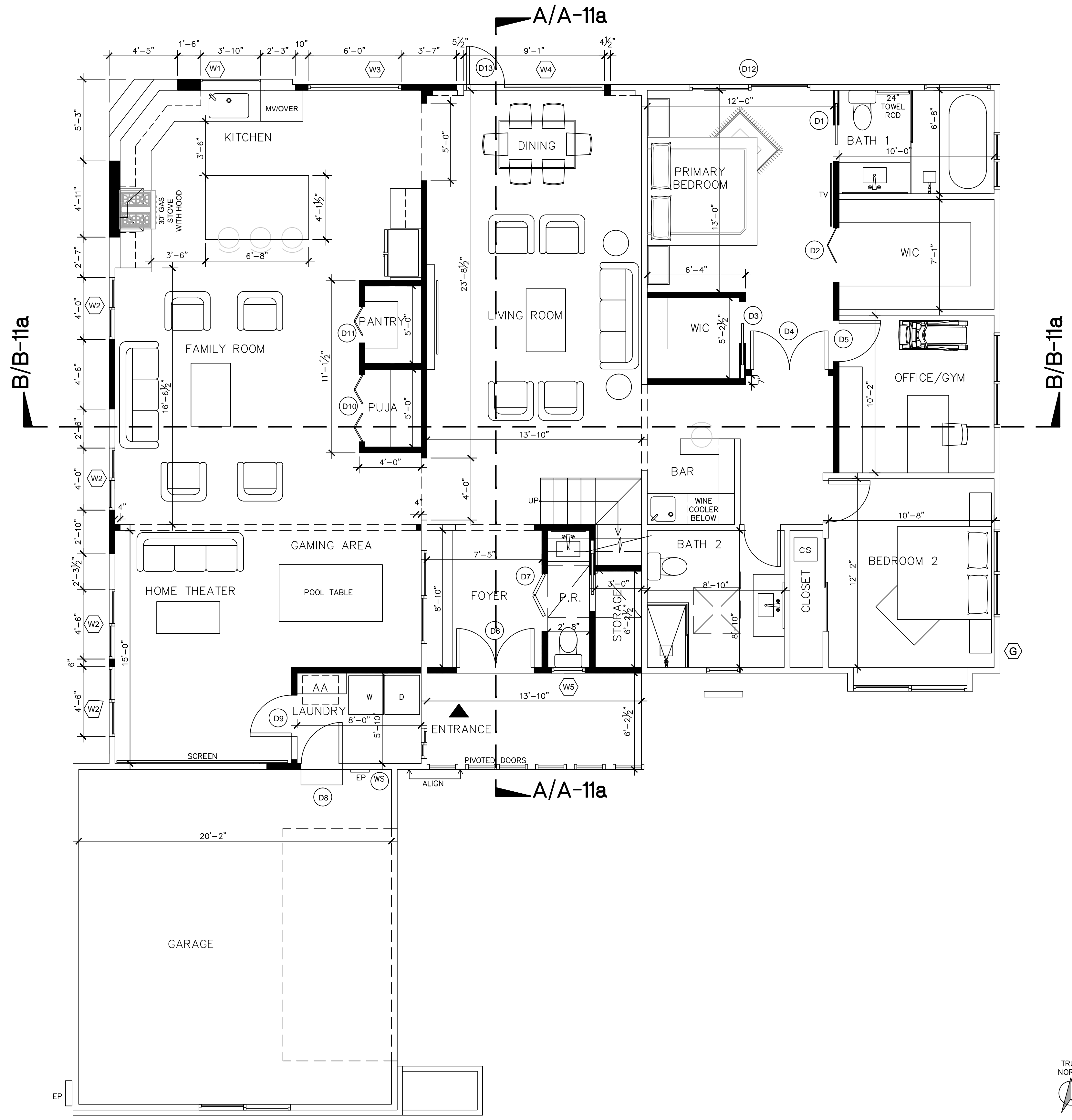
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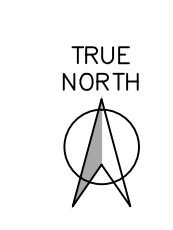
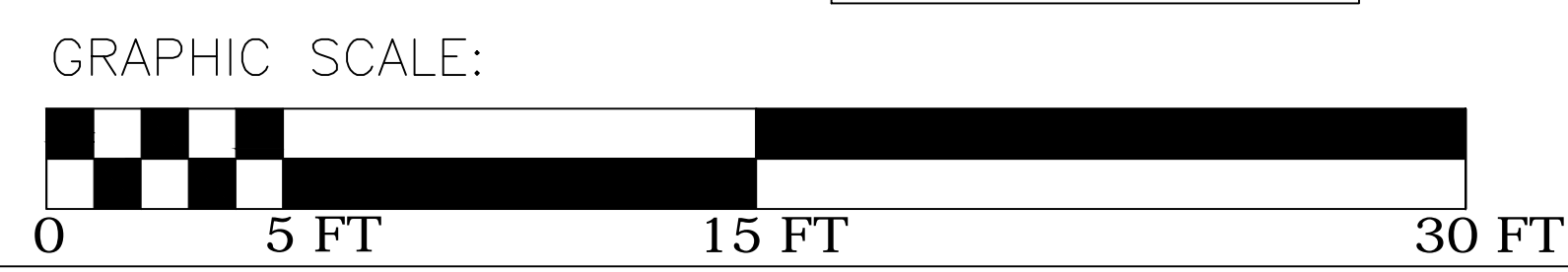
EXISTING/DEMO FLOOR PLAN

SHEET #:

**A-6**



LEGEND:  
 (E) WALLS TO REMAIN  
 (N) WALLS  
 (E) DOOR/WINDOW/ITEMS TO REMAIN



**GENERAL NOTES**

- INSTALLATION INSTRUCTIONS FOR ALL LISTED EQUIPMENT SHALL BE PROVIDED TO THE FIELD INSPECTOR AT THE TIME OF INSPECTION. CMC304.1.
  - PROVIDE SMOOTH METAL DUCT FOR DRYER EXHAUST EXTENDING TO OUTSIDE IN ACCORDANCE WITH CMC 504.3. DRYER TO HAVE A BACKDRAFT DAMPER WITH NO SCREEN. DUCT IS LIMITED TO 14FT IN LENGTH W/TWO 90 DEGREE ELBOWS FROM DRYER TO TERMINATION POINT. REDUCE THIS LENGTH BY 2 FEET FOR EVERY ELBOW IN EXCESS OF TWO.
  - CONTRACTOR SHALL SPECIFY SIZE, METHOD AND SOURCE OF COMBUSTION AIR FOR GAS BURNING APPLIANCES IN ACCORDANCE WITH CMC CHAPTER 7. CONTRACTOR SHALL SUBMIT TO BUILDING DEPARTMENT FOR REVIEW AND APPROVAL.
    - FACTORY-BUILT FIREPLACES SHALL BE TESTED IN ACCORDANCE WITH UL 127. [R1004.1]
    - THE VENT TERMINAL OF A DIRECT-VENT APPLIANCE SHALL BE LOCATED NOT LESS THAN 12 INCHES FROM AN AIR OPENING INTO A BUILDING. [CMC 802.8.3] THE BOTTOM OF THE VENT TERMINAL AND THE AIR INTAKE SHALL BE LOCATED NOT LESS THAN 12 INCHES ABOVE FINISHED GRADE. [CMC 802.8.3]
    - CONTINUOUSLY BURNING PILOT LIGHTS AND INDOOR AIR VENTING ARE PROHIBITED. [CENC 150.0(E)]
  - NEW FURNACES ARE LOCATED IN THE ATTIC. MODIFY EXISTING PLYWOOD SHEATHING PATH FROM ATTIC ACCESS TO CONTROL SIDE OF FURNACE AS REQUIRED BY CODE.
  - HEATING AND AIR CONDITIONING SYSTEMS SHALL BE SIZED, DESIGNED AND HAVE THEIR EQUIPMENT SELECTED USING THE FOLLOWING METHODS:
    - THE HEAT LOSS AND HEAT GAIN IS ESTABLISHED ACCORDING TO ANSI/ACCA 2 MANUAL J - 2004 (RESIDENTIAL LOAD CALCULATION), ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.
    - DUCT SYSTEMS ARE SIZED ACCORDING TO ANSI/ACCA 1 MANUAL D - 2009 (RESIDENTIAL DUCT SYSTEMS), ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.
    - SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ANSI/ACCA 3 MANUAL S - 2004 (RESIDENTIAL EQUIPMENT SELECTION), OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS. REFER TO SECTION 4.507 GREEN BUILDING CODE FOR ADDITIONAL INFO.
  - BATHROOM EXHAUST FANS: EACH BATHROOM SHALL BE MECHANICALLY VENTILATED AND SHALL COMPLY WITH THE FOLLOWING PER 4.506.1 GREEN BUILDING CODE:
    - FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING.
    - UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDITY CONTROL.
      - HUMIDITY CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE LESS THAN OR EQUAL TO 50% TO A MAXIMUM OF 80%. A HUMIDITY CONTROL MAY UTILIZE MANUAL OR AUTOMATIC MEANS OF ADJUSTMENT.
      - A HUMIDITY CONTROL MAY BE A SEPARATE COMPONENT TO THE EXHAUST FAN AND IS NOT REQUIRED TO BE INTEGRAL (I.E., BUILT-IN)
- NOTE: LIGHTING INTEGRAL TO BATHROOM EXHAUST FANS SHALL COMPLY WITH THE CEC
- NEW RESTROOM EXHAUST FAN SHALL BE 50CFM MIN. FOR INTERMITTENT VENTILATION OR 20 CFM FOR CONTINUOUS VENTILATION. EXHAUST AIR FROM THE SPACE SHALL BE EXHAUSTED DIRECTLY TO THE OUTDOORS.
  - THE DUCT RUN AND TERMINATION POINT OF THE DRYER EXHAUST EXTENDING TO OUTSIDE OF THE BUILDING. DRYER MUST BE EQUIPPED WITH A BACKDRAFT DAMPER WITH NO SCREEN. THE DUCT IS LIMITED TO 14 FEET IN LENGTH WITH TWO 90 DEGREE ELBOWS FROM THE CLOTHES DRYER TO THE POINT OF TERMINATION. REDUCE THIS LENGTH BY 2 FEET FOR EVERY ELBOW IN EXCESS OF TWO. CMC 504.3.
  - TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS SHALL BE A MINIMUM OF 3 FEET FROM ANY OPENINGS INTO THE BUILDING (I.E., DRYERS, BATH AND UTILITY FANS, ETC.) MUST BE 3 FEET AWAY FROM DOORS, WINDOWS, OPENING SKYLIGHTS, OR ATTIC VENTS. CMC 504.5



**MAVIN**  
 INNOVATIVE DESIGNS

312-661-2024  
 malavika@mavindesigns.com  
 34623 Gladstone Place  
 Fremont, CA 94555

*V. Malavika Rao*  
 VARADA MALAVIKA RAO

**ANAND AND RAMYA RESIDENCE  
 REMODEL AND ADDITION PROJECT**  
 363 W. EDITH AVENUE  
 LOS ALTOS, CA 94022

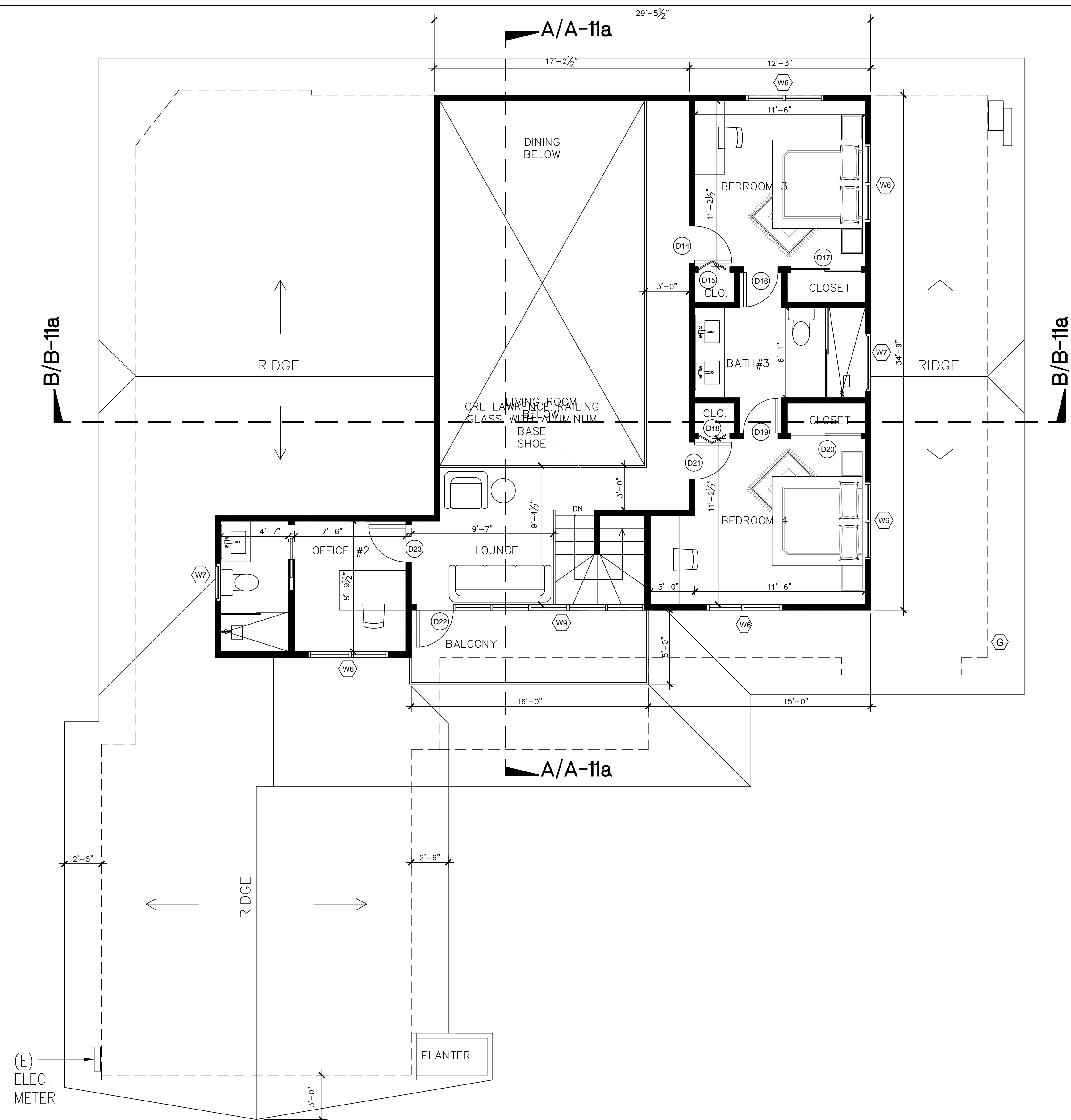
REVISIONS	DATE	BY

DATE: 08/29/2022  
 DRAWN BY: MALAVIKA RAO  
 SCALE: AS NOTED

SHEET TITLE:  
 PROPOSED FLOOR PLAN

SHEET #:

**A-7**

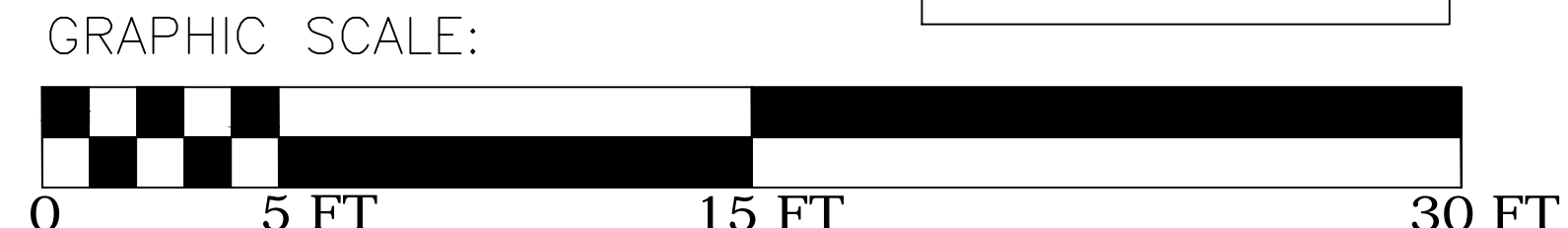


(E)  
ELEC.  
METER

PLANTER

LEGEND:

	(E) WALLS TO REMAIN
	(N) WALLS
	(E) DOOR/WINDOW/ITEMS TO REMAIN



SCALE: 1/4" = 1'-0"



MAVIN INNOVATIVE DESIGNS  
312-661-2024  
malavika@mavindesigns.com  
34623 Gladstone Place  
Fremont, CA 94555

*V. Malavika Rao*  
VARADA MALAVIKA RAO

**ANAND AND RAMYA RESIDENCE  
REMODEL AND ADDITION PROJECT**  
363 W. EDITH AVENUE  
LOS ALTOS, CA 94022

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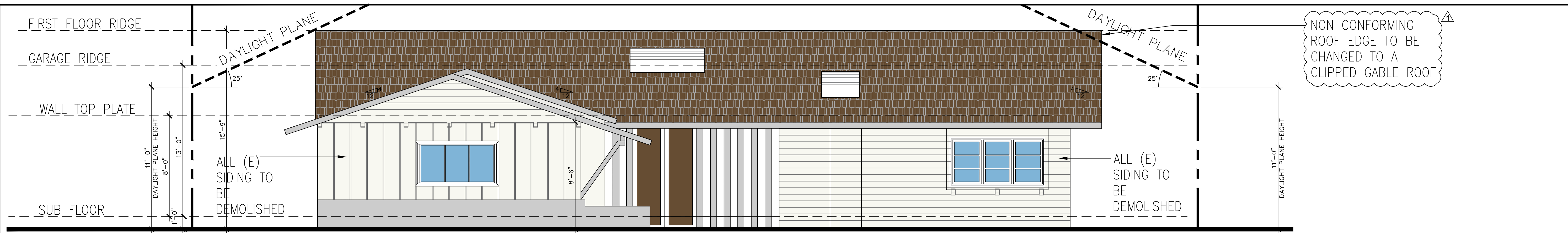
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DRAWN BY: MALAVIKA RAO  
SCALE: AS NOTED

SHEET TITLE:  
**PROPOSED  
2ND FLOOR  
PLAN**

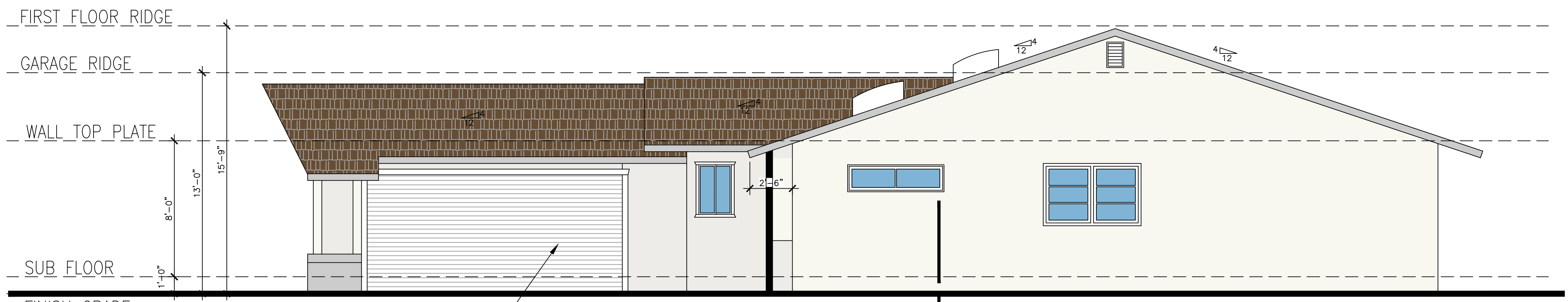
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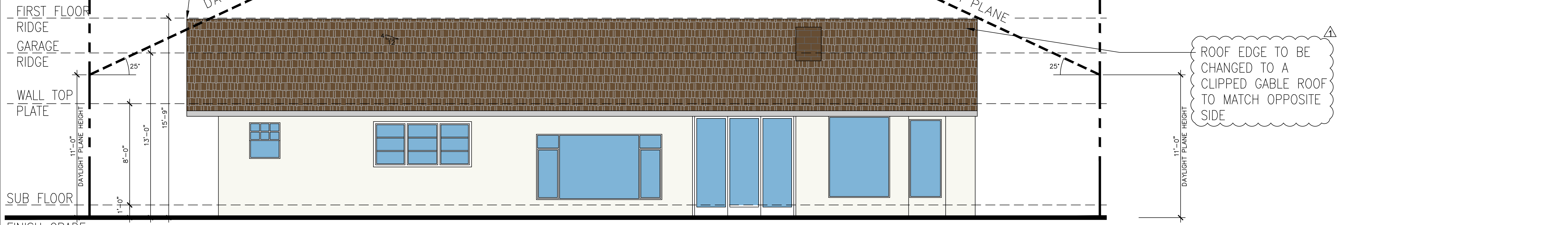




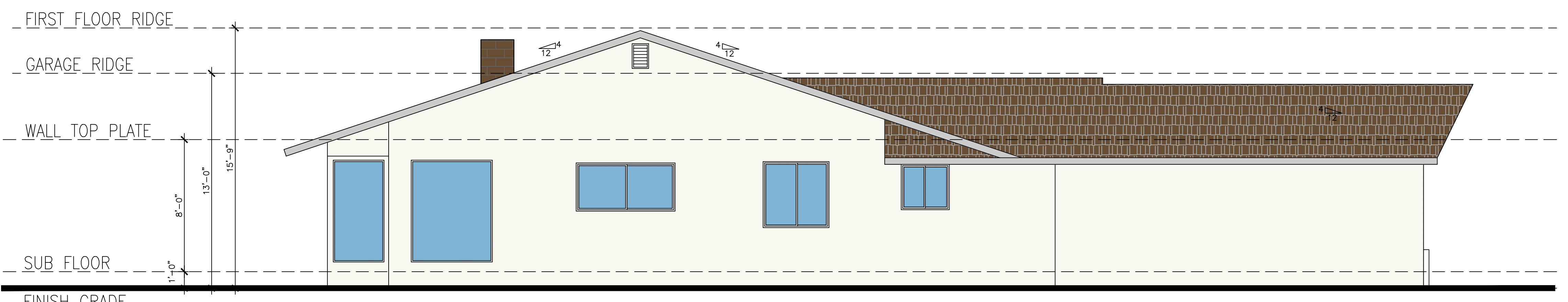
FRONT ELEVATION



RIGHT ELEVATION

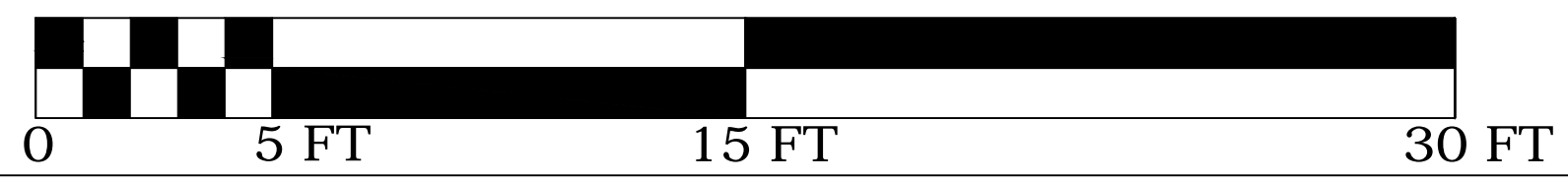


REAR ELEVATION



LEFT ELEVATION

GRAPHIC SCALE:



SCALE: 1/4" = 1'-0"



MAVIN INNOVATIVE DESIGNS  
312-661-2024  
malavika@mavindesigns.com  
34623 Gladstone Place  
Fremont, CA 94555

*V. Malavika Rao*  
VARADA MALAVIKA RAO

ANAND AND RAMYA RESIDENCE  
REMODEL AND ADDITION PROJECT  
363 W. EDITH AVENUE  
LOS ALTOS, CA 94022

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SHEET TITLE:  
EXISTING ELEVATIONS

SHEET #:

A-9



MAVIN INNOVATIVE DESIGNS  
 312-661-2024  
 malavika@mavindesigs.com  
 34623 Gladstone Place  
 Fremont, CA 94555

*V. Malavika Rao*  
 VARADA MALAVIKA RAO

ANAND AND RAMYA RESIDENCE  
 REMODEL AND ADDITION PROJECT  
 363 W. EDITH AVENUE  
 LOS ALTOS, CA 94022

REVISIONS	DATE	BY
REVISION 1	11/09/2022	MR

DATE: 08/29/2022  
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 SCALE: AS NOTED

SHEET TITLE:  
 PROPOSED ELEVATIONS

SHEET #:

A-10

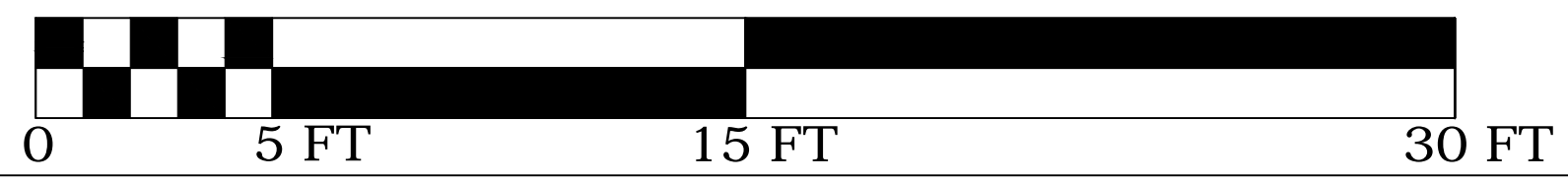


FRONT ELEVATION



RIGHT ELEVATION

GRAPHIC SCALE:





MAVIN INNOVATIVE DESIGNS  
 312-661-2024  
 malavika@mavindesigns.com  
 34623 Gladstone Place  
 Fremont, CA 94555

*V. Malavika Rao*  
 VARADA MALAVIKA RAO

ANAND AND RAMYA RESIDENCE  
 REMODEL AND ADDITION PROJECT  
 363 W. EDITH AVENUE  
 LOS ALTOS, CA 94022

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REVISION 1	11/09/2022	MR

DATE: 08/29/2022  
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 SCALE: AS NOTED

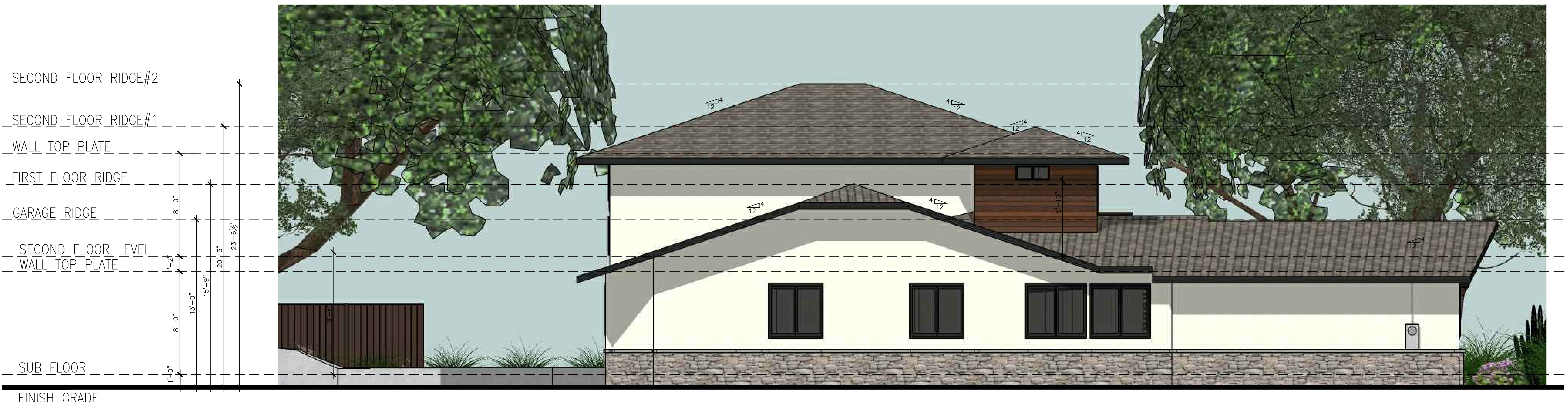
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 PROPOSED ELEVATIONS

SHEET #:

A-11

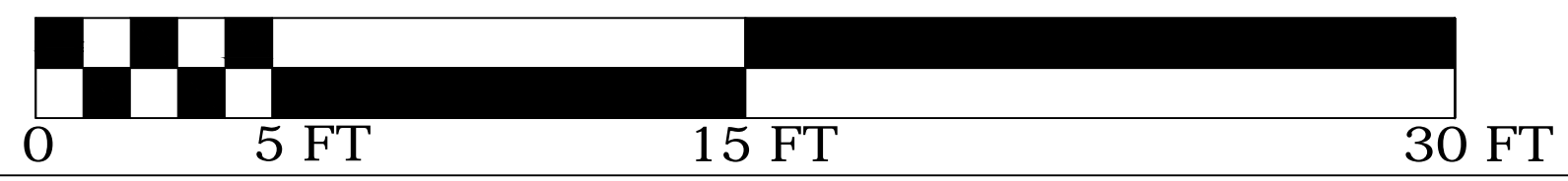


REAR ELEVATION



LEFT ELEVATION

GRAPHIC SCALE:





MAVIN INNOVATIVE DESIGNS  
 312-661-2024  
 malavika@mavindesigns.com  
 34623 Gladstone Place  
 Fremont, CA 94555

*V. Malavika Rao*  
 VARADA MALAVIKA RAO

ANAND AND RAMYA RESIDENCE  
 REMODEL AND ADDITION PROJECT  
 363 W. EDITH AVENUE  
 LOS ALTOS, CA 94022

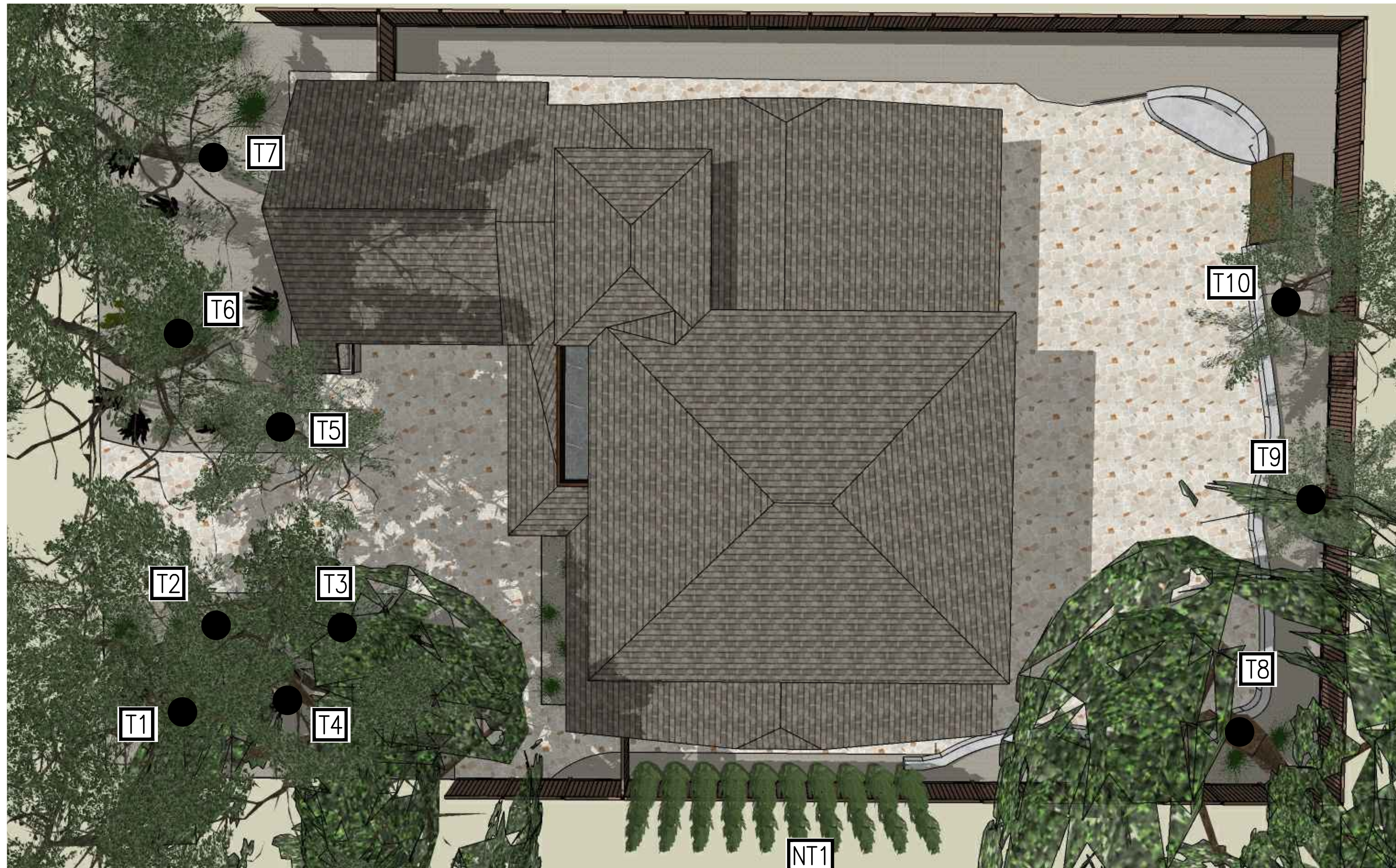
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 SCALE: AS NOTED

SHEET TITLE:  
 PROPOSED PERSPECTIVE VIEWS

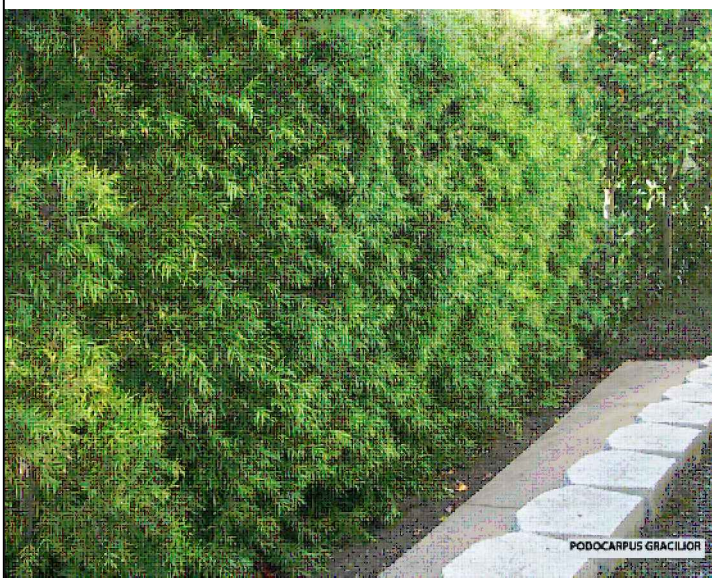
SHEET #:

A-12



10 NEW PODOCARPUS GRACILIOR TREES PROPOSED

\*ALL DATA BELOW IS IDENTIFIED AS BEST POSSIBLE

EXISTING	TREE SPECIES	HEIGHT	DRIPLINE	PROPOSED	TREE SPECIES	HEIGHT @ MATURITY	WIDTH @ MATURITY	RATE OF GROWTH
T1	BUR OAK	40 FT	30 FT	NT1	 PODOCARPUS GRACILIOR	20-60 FT	5-10 FT	1-3 FT/YR
T2	MARITIME PINE	60-70 FT	40 FT					
T3	ISLAND OAK	35 FT	30 FT					
T4	COAST LIVE OAK	40 FT	40 FT					
T5	ISLAND OAK	20 FT	15 FT					
T6	MARITIME PINE	60-70 FT	40 FT					
T7	MARITIME PINE	60-70 FT	40 FT					
T8	COAST LIVE OAK	60 FT	50 FT					
T9	TOYON HOLLY	15 FT	10 FT					
T10	JAPANESE PAGODA TREE	20 FT	15 FT					



MAVIN INNOVATIVE DESIGNS  
 312-661-2024  
 malavika@mavindesigns.com  
 34623 Gladstone Place  
 Fremont, CA 94555

*V. Malavika Rao*

VARADA MALAVIKA RAO

ANAND AND RAMYA RESIDENCE  
 REMODEL AND ADDITION PROJECT

363 W. EDITH AVENUE  
 LOS ALTOS, CA 94022

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REVISION 2	11/11/2022	MR

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SHEET TITLE:  
 LANDSCAPE PLAN

SHEET #:

A-13



MAVIN INNOVATIVE DESIGNS  
 312-661-2024  
 malavika@mavindesigns.com  
 34623 Gladstone Place  
 Fremont, CA 94555

*V. Malavika Rao*  
 VARADA MALAVIKA RAO

ANAND AND RAMYA RESIDENCE  
 REMODEL AND ADDITION PROJECT  
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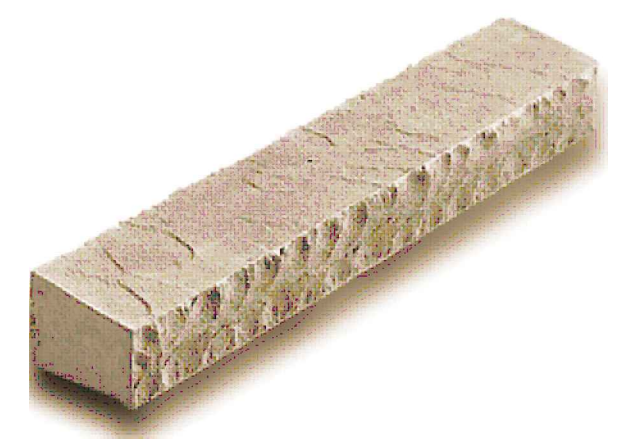


FINISH GRADE

STUCCO FINISH  
 COLOR: BEHR  
 SWISS COFFEE

BRONZE VINYL WINDOWS  
 - MILGARD

STONE WALL CAP  
 MANUFACTURER - ELDORADO STONE  
 TYPE - CHISELED EDGE WAINSCOT SILL  
 COLOR: BUCKSKIN



THIN SET RUBBLE STONE  
 MANUFACTURER - NATIVE CUSTOM STONE  
 TYPE - APPALACHIAN RUBBLE



SHINGLES ROOF -  
 TO MATCH EXISTING

CUSTOM EXTERIOR  
 WOOD SCREEN -  
 COLOR - MAHAGONY

STUCCO FINISH  
 COLOR: BEHR  
 SWISS COFFEE

EXTERIOR WOOD CLADDING  
 - WOODPLANK  
 COLOR - THERMO POPLAR

METAL TRIM  
 COLOR - ABYSS BLACK

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SHEET TITLE:  
 MATERIAL BOARD

SHEET #:

A-14



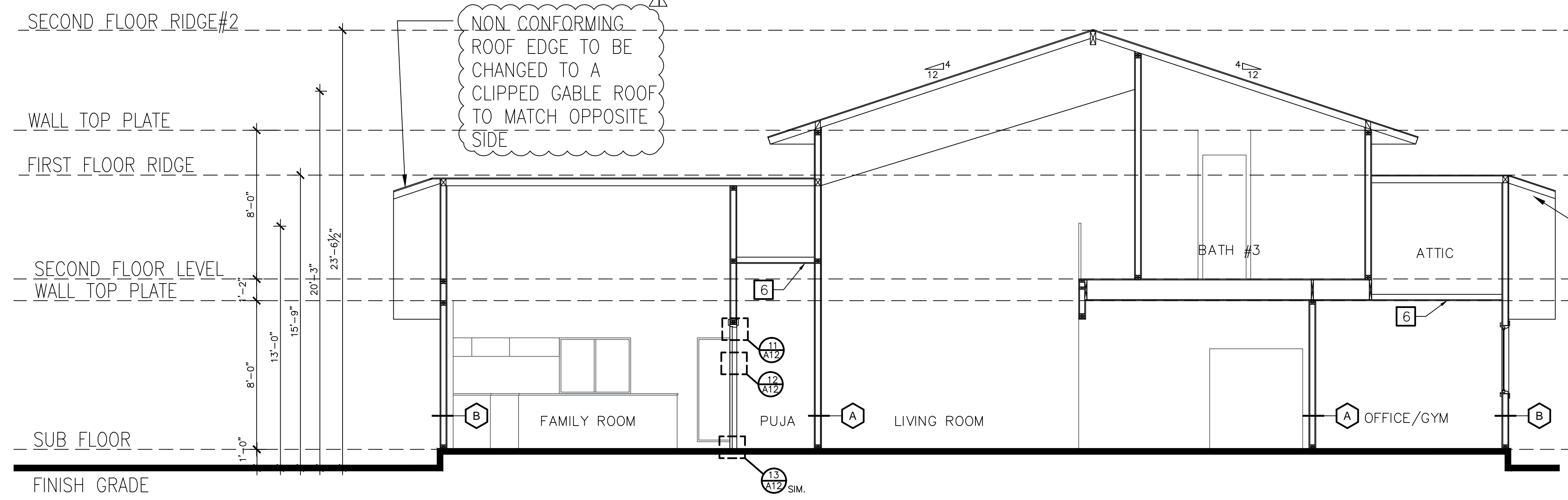
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 312-661-2024  
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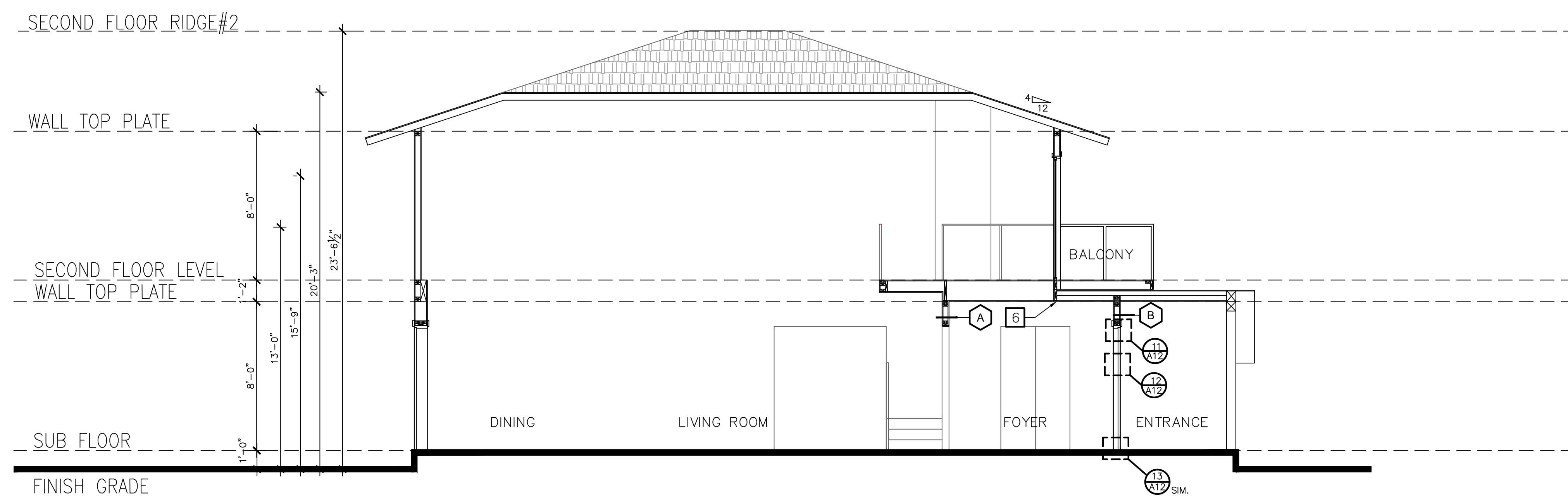
ANAND AND RAMYA RESIDENCE  
 REMODEL AND ADDITION PROJECT  
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SHEET NOTES

- 1 (N) 12 X 12 GABLE VENT -PAINT FINISH TO MATCH STUCCO
- 2 NEW ROOF CRICKET
- 3 (N) COMPOSITE TILE ROOF - MATCH TO EXISTING
- 4 MATCH STUCCO FINISH AND COLOR TO EXISTING
- 5 MATCH EXISTING ROOF SLOPE BEYOND
- 6 FALSE CEILING WITH GYP BOARD OVER A 2X4 FRAMING @ 16" C.C, S.S.D. FOR FRAMING DETAILS
- 7 INSTALLER TO PROVIDE CRICKET DESIGN FOR APPROVAL FROM DESIGNER AND ENGINEER BEFORE INSTALLATION
- X SEE WALL TYPES ON SHEET A-14



SECTION B-B



SECTION A-A

REVISIONS	DATE	BY
REVISION 1	11/09/2022	MR

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SHEET TITLE:  
 PROPOSED SECTIONS

SHEET #:

A-15

GRAPHIC SCALE:

