



PROPOSED RESIDENCE

PROJECT DESCRIPTIONS

THIS PROJECT IS TO DEMOLISH AN EXISTING ONE STORY HOUSE AND BUILD A NEW 4,036.8 S.F. TWO STORY SINGLE-FAMILY RESIDENCE WITH ATTACHED 1,196 S.F. ADU, DAYLIGHT BASEMENT AND 2-CAR GARAGE.

OWNER:	JUN ZHANG
ADDRESS:	353 COSTELLO DRIVE, LOS ALTOS, CA
APN:	167-28-009
OCCUPANCY:	R-3 / U
CONSTRUCTION TYPE:	VB
ZONING:	R1-10
FEMA:	X A small portion of the property within the Valley Water easement is located within Flood Zone X (0.2% annual chance of flood) and AE (1% annual chance of flood). No work is proposed within these flood zone designations. The remainder of the property is not within a flood zone.
NUMBER OF STORIES:	1

CODE INFORMATION

2023 CALIFORNIA BUILDING CODE (C.B.C.) STRUCTURAL ONLY

2023 CALIFORNIA RESIDENTIAL CODE

2023 CALIFORNIA MECHANICAL CODE

2023 CALIFORNIA PLUMBING CODE

2023 CALIFORNIA ELECTRIC CODE

2019 CALIFORNIA ENERGY CODE
(2019 BUILDING ENERGY EFFICIENCY STANDARDS)

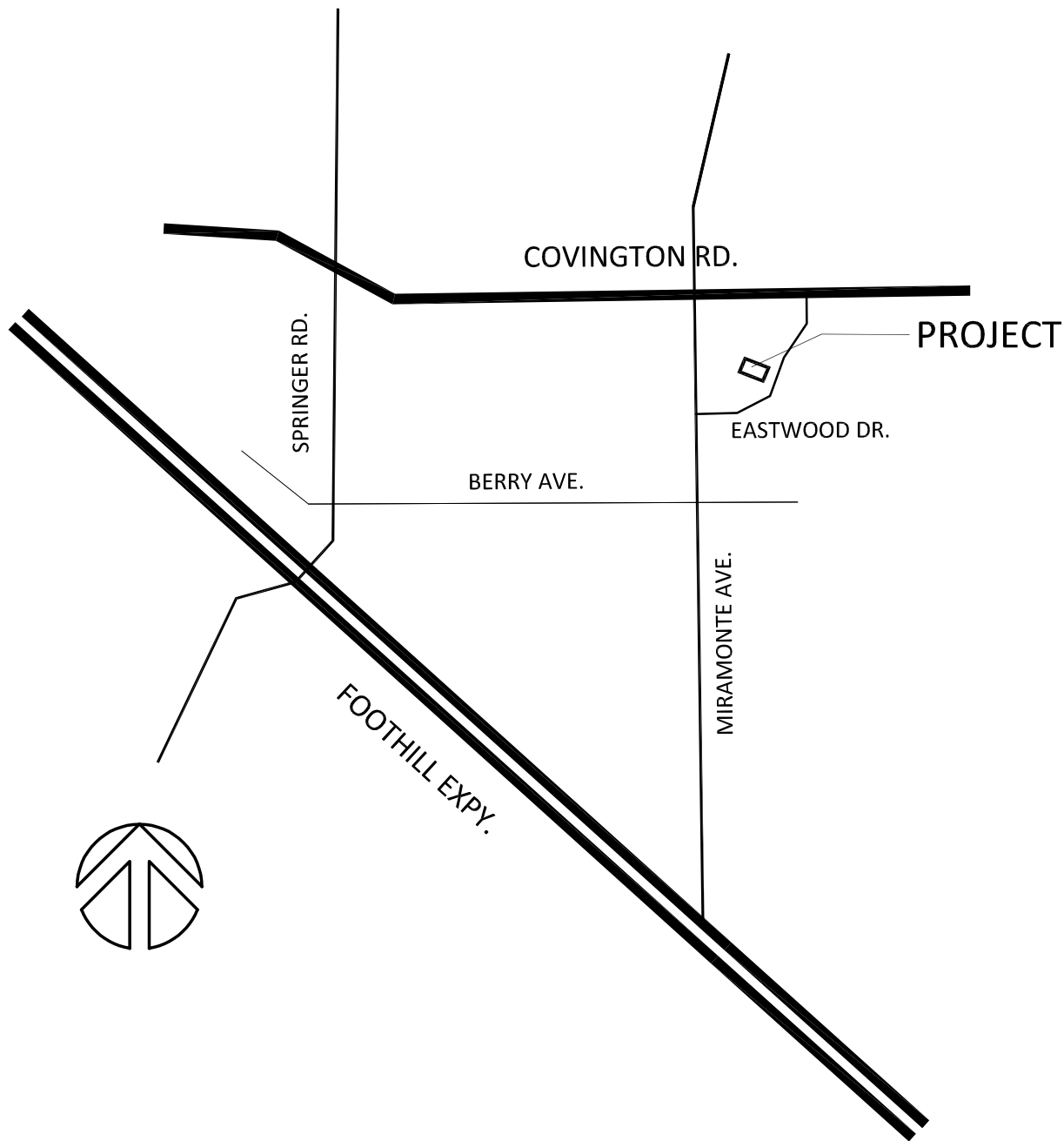
2019 CALIFORNIA GREEN BUILDING STANDARDS CODE

CITY OF LOS ALTOS ORDINANCES

PROJECT DATA

NET LOT AREA:		(0.42± ACRES) 18,430 ± S.F.	
LOT COVERAGE	EXISTING	PROPOSED	
	2,310 ± S.F.	2,930.1 S.F. +1,196.9 S.F. (ADU)	
	12.53 %	15.9 % +6.5% (ADU)	
FLOOR AREA	2,310 S.F.	2,256.8 (1ST) S.F. +1,780.0 (2ND) =4,036.8 S.F.	
		+ 1,196.9 S.F. (ADU)	
	12.53 %	21.9 % +6.5% (ADU)	
LIVABLE AREA	2,310 S.F.	2,256.8+1,780.0+3,255.4(BASEMENT) +1,196.9 (ADU) =	
SETBACK			
FRONT	1ST STORY	26.5± FEET	26'-5"
	2ND STORY		25 FEET
REAR	1ST STORY	53.5± FEET	41'-10"
	2ND STORY		25 FEET
RIGHT SIDE	1ST STORY	10± FEET	10'-3"
	2ND STORY		10 FEET
LEFT SIDE	1ST STORY	7.5± FEET	26'-3"
	2ND STORY		17.5 FEET
HEIGHT	1ST STORY	9'-2" (ADU)	10 FEET (4' ADU)
	2ND STORY		17.5 FEET
HEIGHT	1ST STORY	22'-7"	17.5 FEET
	2ND STORY		27 FEET
NET LOT AREA:		(0.42± ACRES) 18,430 ± S.F.	
FRONT YARD HARDSCAPE AREA		1,676.5 S.F.	
LANDSCAPE BREAKDOWN			
EXISTING		PROPOSED CHANGE	
HARDSCAPE AREA		EXISTING / PROPOSED	
HARDSCAPE AREA		659.7 S.F.	
SOFTSCAPE AREA		131.6 S.F.	
SOFTSCAPE AREA		-131.6 S.F.	
BUILDING BREAKDOWN			
EXISTING		CHANGE IN	
HABITABLE LIVING AREA		TOTAL PROPOSED	
HABITABLE LIVING AREA		1,910 S.F.	
NON- HABITABLE LIVING AREA		7,424.5 S.F.	
NON- HABITABLE LIVING AREA		319.6 S.F.	
NON- HABITABLE LIVING AREA		9,334.5 S.F.	
NON- HABITABLE LIVING AREA		719.6 S.F.	

VICINITY MAP



DRAWING INDEX

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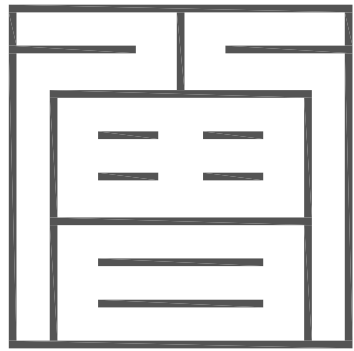
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ADDITIONAL ELEVATIONS AND PERSPECTIVES

MATERIAL COLOR BOARD



Z S D ARCHITECTS, INC.
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YAN RESIDENCE

ALEX YAN

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LOS ALTOS,
CALIFORNIA, 94024
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01.16.25 PLANNING RESUBMITTAL

06.16.24 PLANNING SUBMITTAL

Rev. Date Issue

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Project No: 2024-08

Date: 05-08-2024

Scale: N.T.S.

TITLE SHEET

T.0

A black and white prohibition sign. It features a thick black diagonal line crossing from the top-left to the bottom-right over a circular background. Inside the circle, there are three black silhouettes: a shovel, a wheelbarrow, and a wheel. This symbol typically indicates that heavy machinery or vehicles are prohibited in the area.

ALL CONTRACTOR AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL REFER TO SCVUR POLLUTION PREVENTION PROGRAM- CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs) AND BECOME FAMILIAR WITH ITS CONTENTS PRIOR TO CONSTRUCTION

EARTHWORK CALCULATIONS:			
	CUT (CY)	FILL (CY)	NET (CY)
TOTAL	1,235	115	1,120 (CUT)

IMPERVIOUS AREA CALCULATIONS:	
PRE-DEVELOPED	6,463 SF
POST-DEVELOPED	10,179 SF
NET CHANGE	3,716 SF
IMPERVIOUS AREA CREATED	5,959 SF
IMPERVIOUS AREA REPLACED	4,220 SF

	Adjoiner	HO	Fire Hydrant
	Building Footprint	EW	Guy Wire
	Building Overhang	hb	Hose Bib
	Boundary	oi oi	Irrigation Box
	Centerline	SS	Sanitary Sewer Cleanout
	Concrete	●	Sanitary Sewer Manhole
	Concrete Grade Break	T	Sign
	Curb & Gutter	99.95	Spot Elevation
	Easement	⊙	Survey Monument
	Edge of Pavement	12" ⊙	Tree Trunk Diameter / Approximate Drip Line
	Fenceline	●	Utility PVC
	Concrete	●	Utility Pole
		W	Water Meter
		V	Water Valve
	Brick/Paver		

	XXXX EX	EXISTING SPOT ELEVATION
	XXXX FL	FLOWLINE ELEVATION
	XXXX RIM	RIM ELEVATION
		DRAINAGE SLOPE AND DIRECTION
	sd	4" HDPE @ MIN 1.5%
		2" FORCE MAIN
		8" DRAIN BASIN W/ SOLID COVER (NYLOPLAST OR EQUIVALENT)
		8" DRAIN BASIN W/ GRATE TOP (NYLOPLAST OR EQUIVALENT)
		BUBBLER BOX
		ROOF DRAIN DOWNSPOUT

GENERAL NOTES:

1. DO NOT DOWEL IN NEW DRIVEWAY AND WALKWAY INTO THE BACK OF EXISTING CONCRETE CURB
2. ANY DAMAGED RIGHT-OF-WAY INFRASTRUCTURES AND OTHERWISE DISPLACED CURB & GUTTER SHALL BE REMOVED AND REPLACED AS DIRECTED BY THE CITY ENGINEER OR HIS DESIGNEE. CONTRACTOR SHALL COORDINATE WITH PUBLIC WORKS DEPARTMENT AT (650) 974-2680.
3. PRIOR TO COMMENCEMENT OF ANY WORK DONE IN THE PUBLIC RIGHT-OF-WAY, A PERMIT TO OPEN STREET AND FOR AN ENCRoACHMENT PERMIT ILL BE REQUIRED.

1. THE PROJECT CREATES AND/OR REPLACES LESS THAN ONE ACRE OF IMPERVIOUS SURFACES.
2. THE FOLLOWING SITE DESIGN MEASURES ARE PROPOSED:
 - PROTECT EXISTING TREES AND SOIL.
 - DIRECT ROOF RUNOFF ONTO VEGETATED AREA
3. THE FOLLOWING SOURCE CONTROL MEASURES ARE PROPOSED:
 - DROUGHT TOLERANT LANDSCAPING
 - USE WATER EFFICIENT IRRIGATION SYSTEM

(IN FEET)
1 inch = 10 ft.

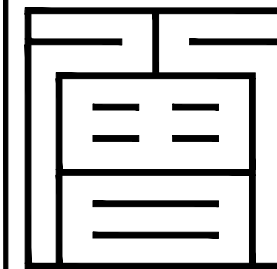
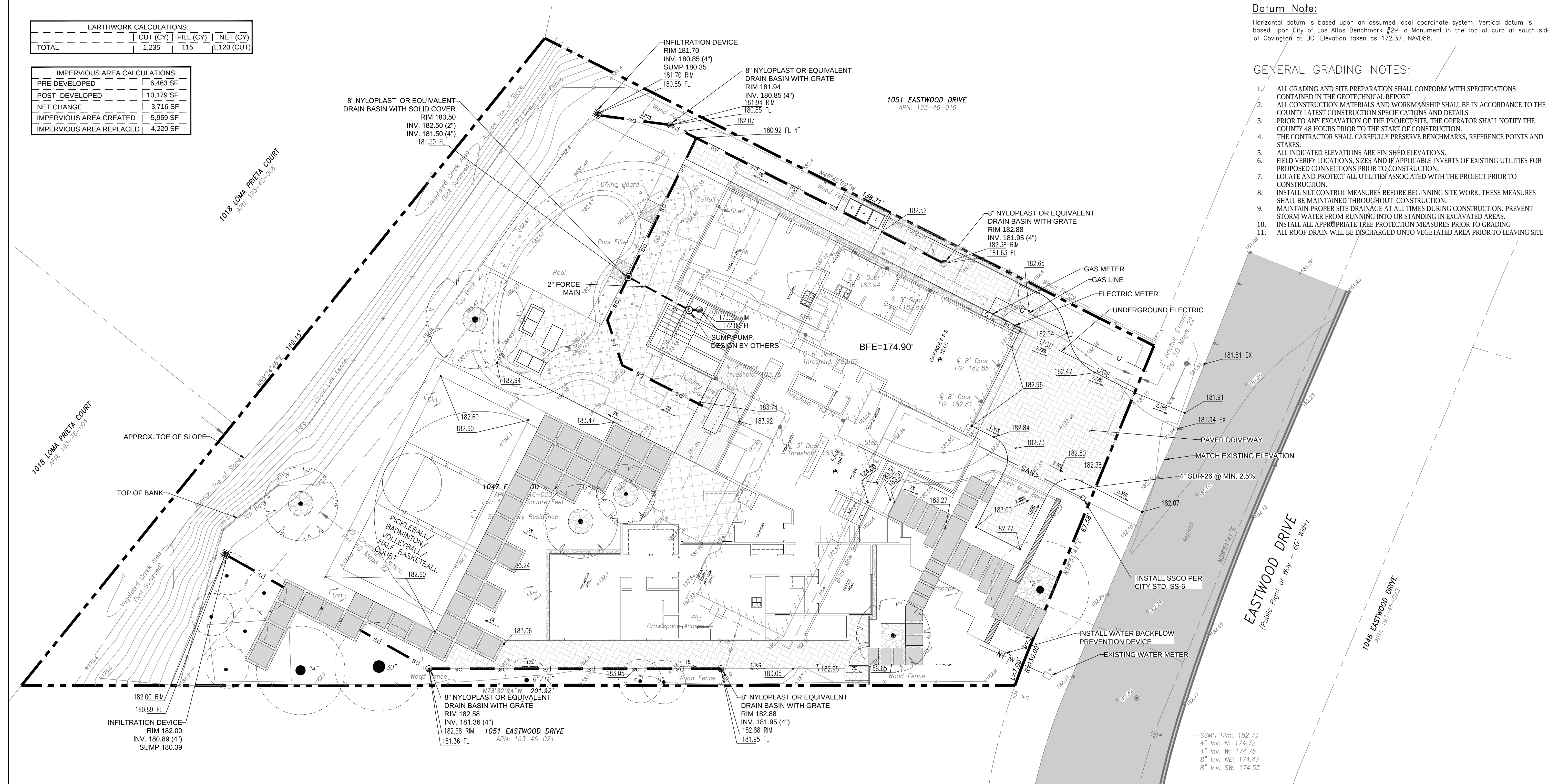
TOPOGRAPHIC SURVEY BY MOUNTAIN PACIFIC SURVEYS, DATED APRIL 26, 2024

- 1) All features shown hereon represent surface conditions of the project area compiled from a field survey performed in April, 2024. Surveyor made no attempts to determine the extent or existence of and utilities not service visible.
- 2) Property line and easement information shown hereon is based upon Book 50 of Maps, Page 22, and the Preliminary Title Report prepared by Orange Coast Title Co. of Northern California as Order No. 520-23900900-60, dated January 9, 2024.

Bearings shown hereon are based upon the monumented centerline of Eastwood Drive as shown on that certain map filed for record in Book 50 of Maps at Page 32 of Santa Clara County Records.

Horizontal datum is based upon an assumed local coordinate system. Vertical datum is based upon City of Los Altos Benchmark #29, a Monument in the top of curb at south side of Covington at BC. Elevation taken as 172.37, NAVD88.

1. ALL GRADING AND SITE PREPARATION SHALL CONFORM WITH SPECIFICATIONS CONTAINED IN THE GEOTECHNICAL REPORT
2. ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE TO THE COUNTY LATEST CONSTRUCTION SPECIFICATIONS AND DETAILS
3. PRIOR TO ANY EXCAVATION OF THE PROJECT/SITE, THE OPERATOR SHALL NOTIFY THE COUNTY 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
4. THE CONTRACTOR SHALL CAREFULLY PRESERVE BENCHMARKS, REFERENCE POINTS AND STAKES.
5. ALL INDICATED ELEVATIONS ARE FINISHED ELEVATIONS.
6. FIELD VERIFY LOCATIONS, SIZES AND IF APPLICABLE INVERTS OF EXISTING UTILITIES FOR PROPOSED CONNECTIONS PRIOR TO CONSTRUCTION.
7. LOCATE AND PROTECT ALL UTILITIES ASSOCIATED WITH THE PROJECT PRIOR TO CONSTRUCTION.
8. INSTALL SILT CONTROL MEASURES BEFORE BEGINNING SITE WORK. THESE MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
9. MAINTAIN PROPER SITE DRAINAGE AT ALL TIMES DURING CONSTRUCTION. PREVENT STORM WATER FROM RUNNING INTO OR STANDING IN EXCAVATED AREAS.
10. INSTALL ALL APPROPRIATE TREE PROTECTION MEASURES PRIOR TO GRADING
11. ALL ROOF DRAIN WILL BE DISCHARGED ONTO VEGETATED AREA PRIOR TO LEAVING SITE

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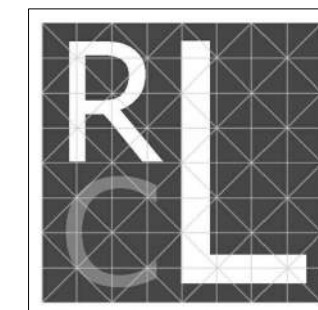
henryhzeng@yahoo.com
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REV	BY	DATE	REVISIONS



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570 E. El Camino Real Ste. D
Sunnyvale, CA 94087



RESIDENCE
GRADING & DRAINAGE PLAN
1047 EASTWOOD DRIVE

SHEET
CC1

PROJECT #

047 EASTWOOD DRIVE
LOS ALTOS, CA
APN: 193-46-020

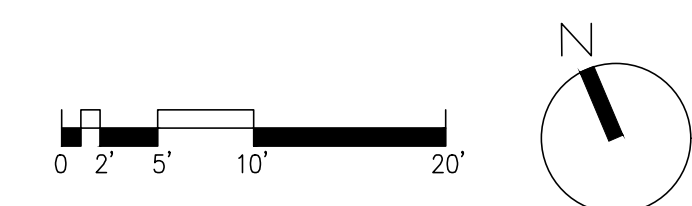
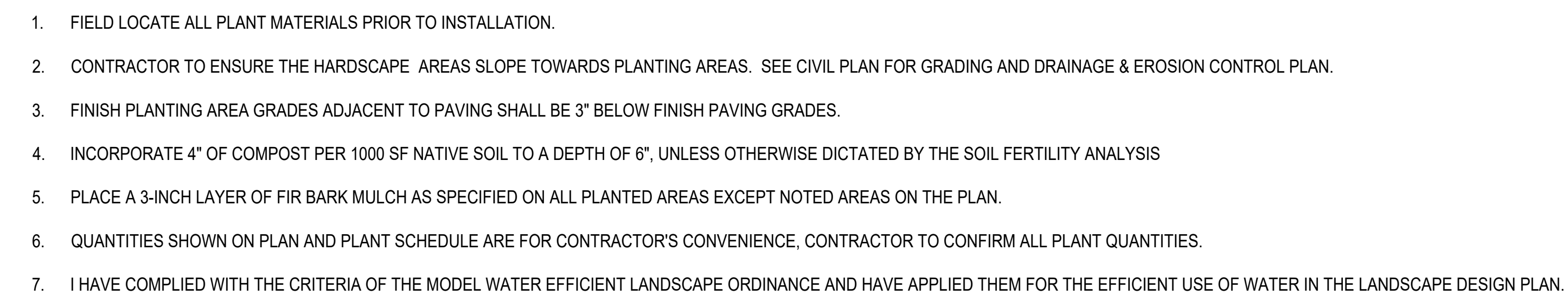
3357 SAINT MICHAEL CT
PALO ALTO, CA 94306
TEL: (415) 694-0800

[illegible]

_____ IN _____
JOB: _____

LANDSCAPE PLAN

L-1



EVERGREEN SCREENING SHRUB



Cherry Laurel, 20' H X 5' W, Growth rate: fast

PROPOSED TREE



Sweet Olive, 20'-30' H X 12'-15' W, Growth rate: moderate to fast

PROPOSED TREE



Okame Cherry Tree, 20' H X 20' W, Growth rate: moderate

PROPOSED TREE



Coral Bark Japanese Maple, 15'-25' H X 15'-20' W, Growth rate: moderate

PLANT SCHEDULE

SYM.	BOTANICAL NAME	COMMON NAME	* WUCOLS	QUAN.	SIZE	SPACING
TREE						
AcPa	Acer palmatum 'Sango-kaku'	Coral Bark Japanese Maple	M	1	24" box	AS SHOWN
OsFr	Osmanthus fragrans	Sweet Olive	M	1	24" box	AS SHOWN
PrOk	Prunus 'Okame'	Okame Cherry	M	3	24" box	AS SHOWN
SHRUBS						
ArSu	Arctostaphylos 'Sunset'	Sunset Manzanita	L	8	15 gal.	3' O.C.
BeTh	Berberis thunbergii 'Atropurpurea'	Red-leaf Japanese Barberry	L	20	15 gal.	4' O.C.
CaJa	Camellia japonica 'Kramer's Supreme'	Kramer's Supreme Camelia	M	4	15 gal.	5' O.C.
CeTh	Ceanothus thyrsiflorus 'Skylark'	California Lilac	L	15	15 gal.	5' O.C.
CoPu	Coleonema pulchrum 'Compacta'	Pink Breath of Heaven	M	7	15 gal.	4' O.C.
CoSu	Coleonema pulchrum 'Sunset Gold'	Golden Breath of Heaven	M	6	15 gal.	4' O.C.
CySp	Cytisus x spachianus	Broom	L	1	15 gal.	4' O.C.
EsLa	Escallonia laevis	Pink Escallonia	M	3	15 gal.	8' O.C.
EuJa	Euonymus japonicus 'Microphyllus'	Evergreen Euonymus	L	1	15 gal.	3' O.C.
FaJa	Fatsia japonica	Japanese Aralia	M	3	15 gal.	4' O.C.
HyMa	Hydrangea macrophylla	Bigleaf Hydrangea	M	1	15 gal.	4' O.C.
LaAn	Lavandula angustifolia	English Lavander	L	87	15 gal.	2' O.C.
MyCo	Myrtus communis 'Compacta'	Dwarf True Myrtle	L	13	15 gal.	3' O.C.
NaNa	Nandina domestica 'Nana Purpurea'	Dwarf Sacred Bamboo	M	5	15 gal.	3' O.C.
PuNa	Punica granatum 'Nana'	Dwarf Pomegranate	L	2	15 gal.	3' O.C.
PrCa	Prunus caroliniana 'Bright N Tight'	Cherry Laurel (evergreen, privacy screening)	M	22	15 gal., 8' tall	5' O.C.
					at the time of final inspection	
RoOf	Rosmarinus officinalis 'Upright'	Upright Rosemary	L	1	15 gal.	4' O.C.
PERENNIAL and GROUNDCOVER						
AeMi	Aeonium 'Mint Saucer'	Mint Saucer Aeonium	L	40	5 gal.	2' O.C.
AgAt	Agave attenuata	Fox Tail Agave	L	1	15 gal.	3' O.C.
AnBu	Anigozanthos 'Bush Ranger'	Dwarf Kangaroo Paw	L	10	15 gal.	2' O.C.
AsDe	Asparagus densiflorus	Foxtail Fern	M	6	15 gal.	3' O.C.
ClMi	Clivia miniata	Clivia	M	5	5 gal.	2' O.C.
DrFi	Dryopteris filix-mas	Male Fern	M	3	15 gal.	3' O.C.
HaMa	Hakonechloa macra	Golden Japanese Forest Grass	M	6	15 gal.	3' O.C.
	Lippia nodiflora L. 'Kurapia'	Kurapia	L	171 SF	Sod	
PhAp	Phormium 'Apricot Queen'	Apricot Queen New Zealand Flax	L	1	15 gal.	AS SHOWN
PhDa	Phormium 'Dark Delight'	Dark Delight New Zealand Flax	L	6	15 gal.	3' O.C.
PhMa	Phormium 'Maori Queen'	Maori Queen New Zealand Flax	L	3	15 gal.	5' O.C.
HeSe	Helictotrichon sempervirens	Blue Oat Grass	L	102	5 gal.	2' O.C.
Saln	Salvia 'Indigo Spires'	Indigo Spires Sage	L	4	15 gal.	4' O.C.
SaTr	Sansevieria trifasciata	Mother-in-law's tongue	M	6	15 gal.	2' O.C.
SeMa	Senecio Mandralscae	Blue Chalk Sticks	L	6	5 gal.	2' O.C.
	Thymus serpyllum	Creeping Thyme	M	14	5 gal.	3' O.C.
	90% Tall Fescue & 10% Kentucky Bluegrass Blend	Sod Lawn	M	771 SF	Sod	

* WUCOLS water usage level: H-High, M-Moderate, L-Low and VL-Very Low

YAN
RESIDENCE

1047 EASTWOOD DRIVE
LOS ALTOS, CA
APN: 193-46-020

YH
LANDSCAPE DESIGN

3357 SAINT MICHAEL CT
PALO ALTO, CA 94306
TEL: (415) 694-0800

LICENSE STAMPS AND SIGNATURE



ISSUED

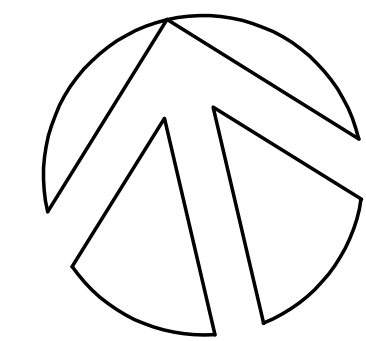
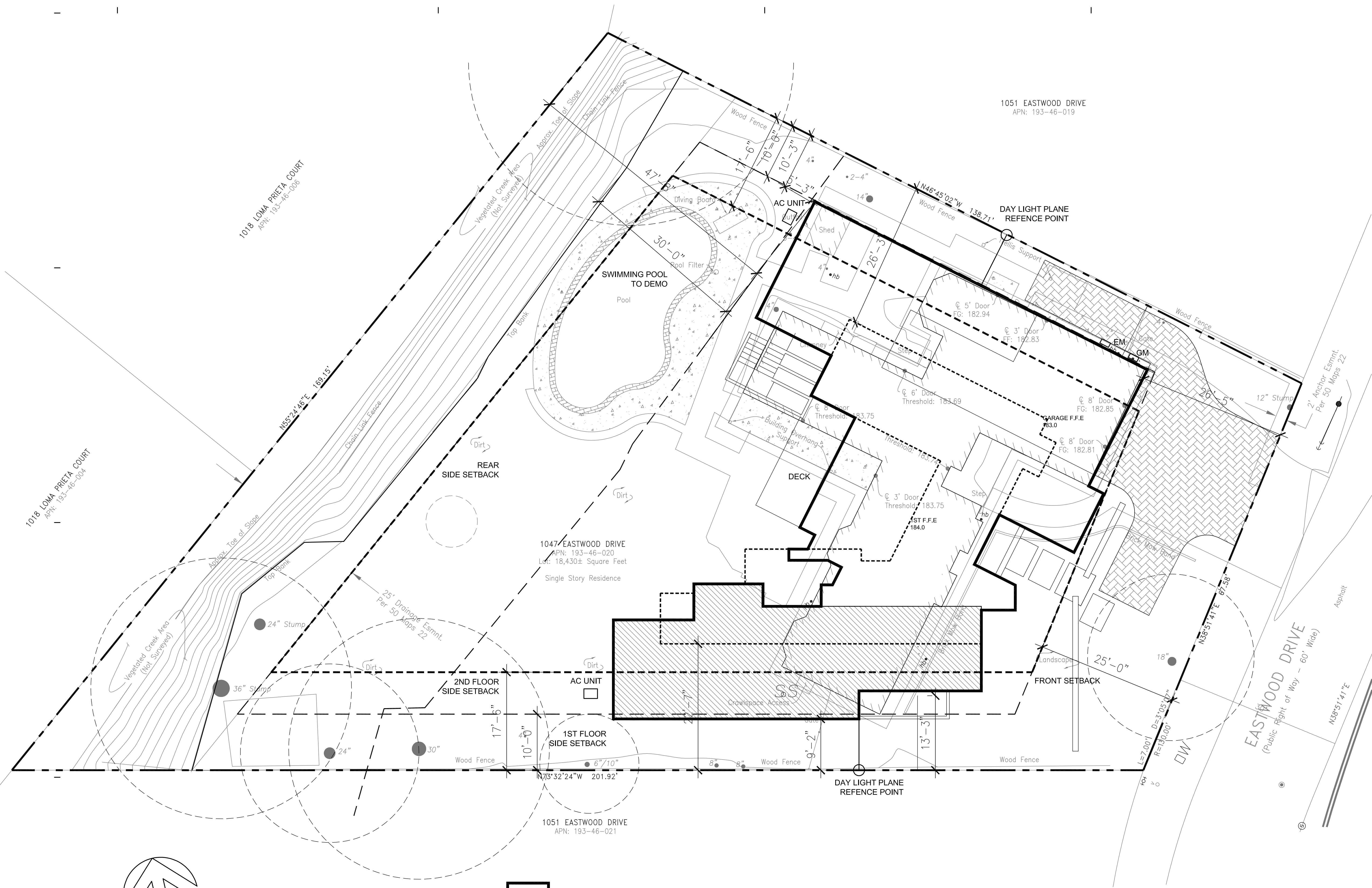
No.	Description	Date

DATE:	NOVEMBER 8, 2024
SCALE:	AS SHOWN
DRAWN:	YH
JOB:	

SHEET TITLE:

PLANTING SCHEDULE
& PLANT PHOTOS

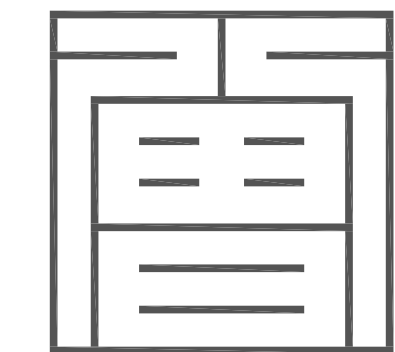
SHEET NO.



SITE PLAN

1/8"=1'-0"

- NEW 1ST FLOOR
- NEW 2ND FLOOR
- NEW ADU
- EX. BUILDING TO DEMO.



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YAN RESIDENCE

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01.16.25	PLANNING RESUBMITTAL
06.16.24	PLANNING SUBMITTAL

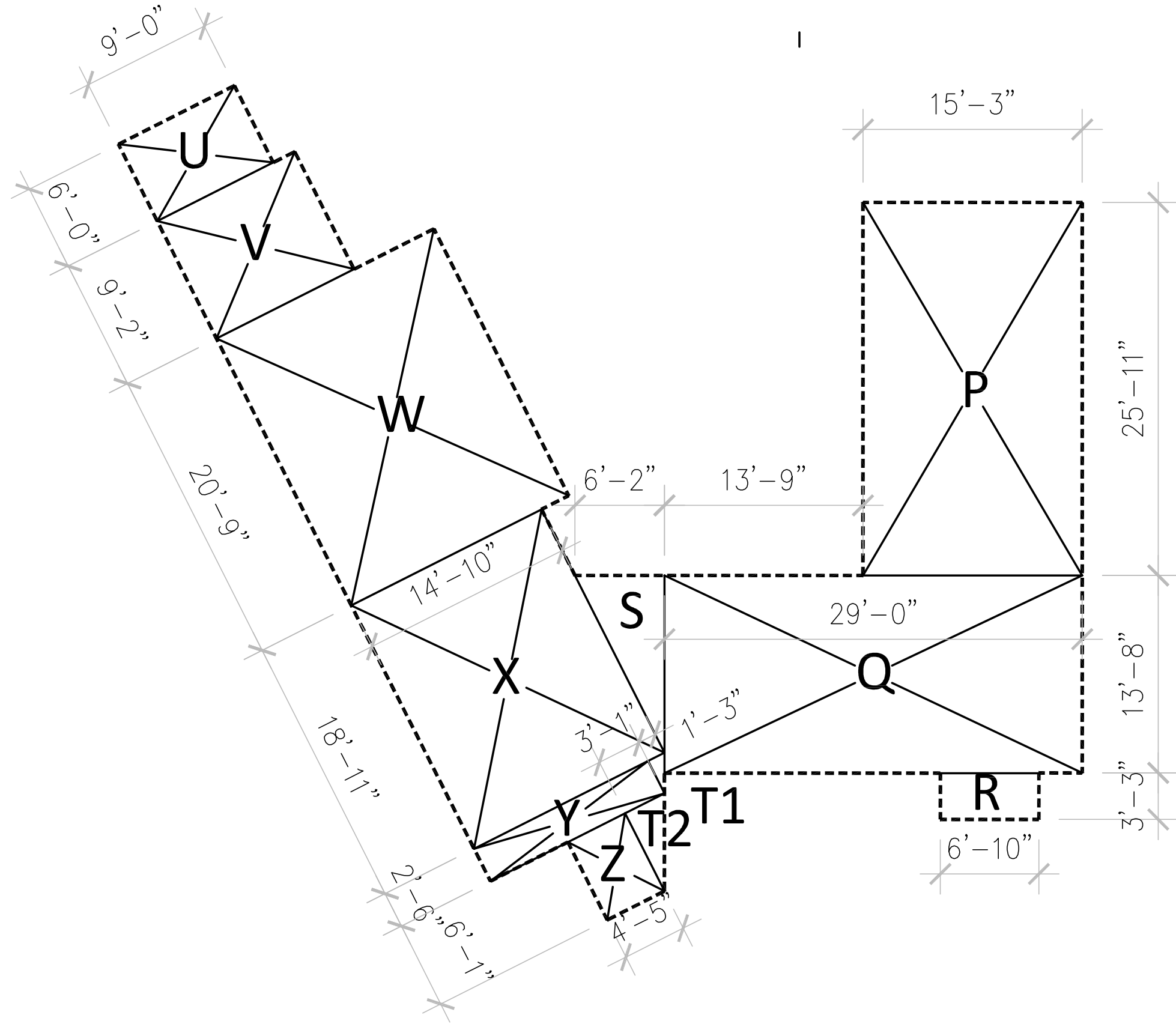
Rev.	Date	Issue
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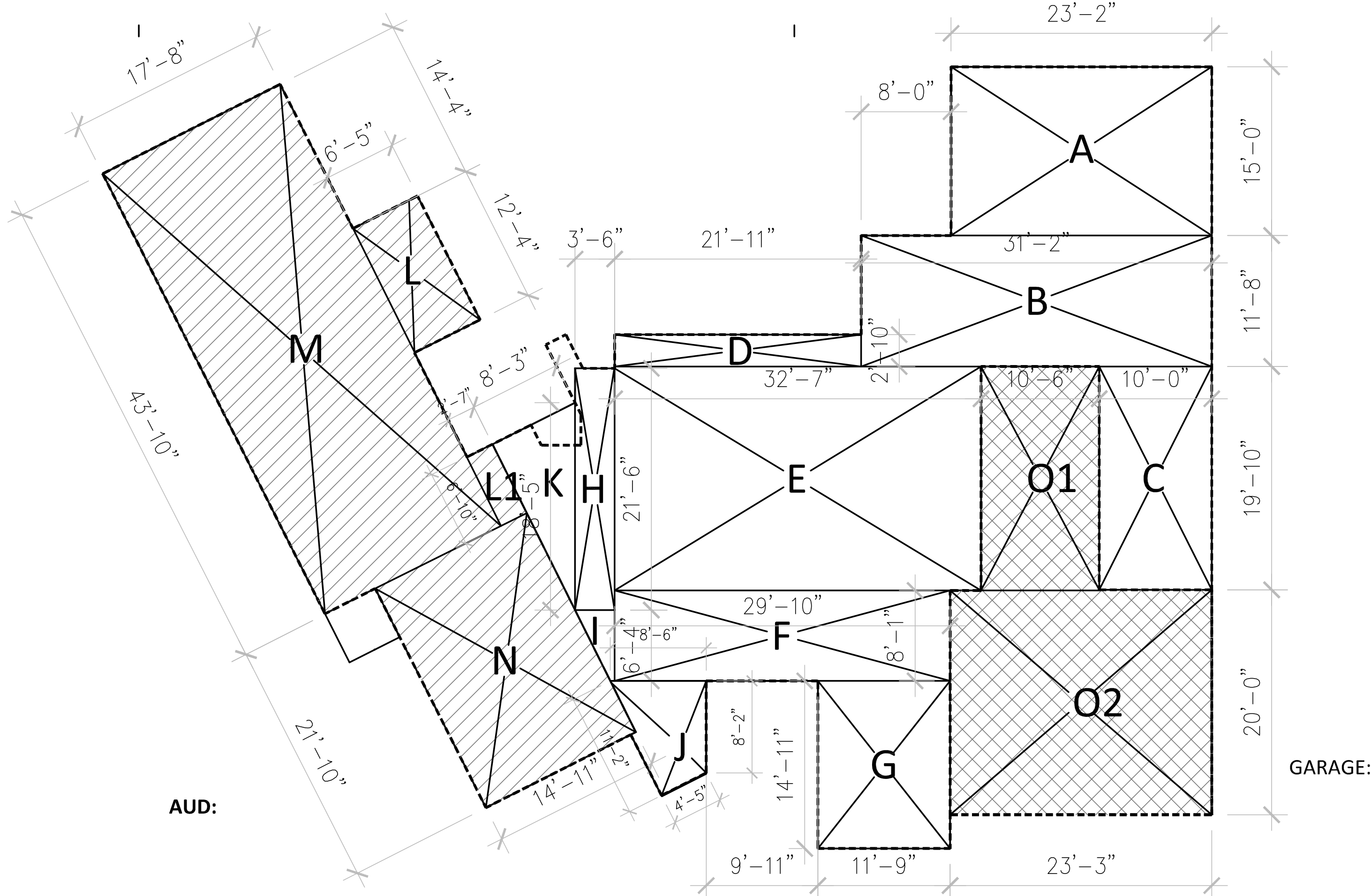
SITE PLAN

A1.0



2ND FLOOR AREA CALCULATION DIAGRAM

1/8"=1'-0" 1,704.8 SF

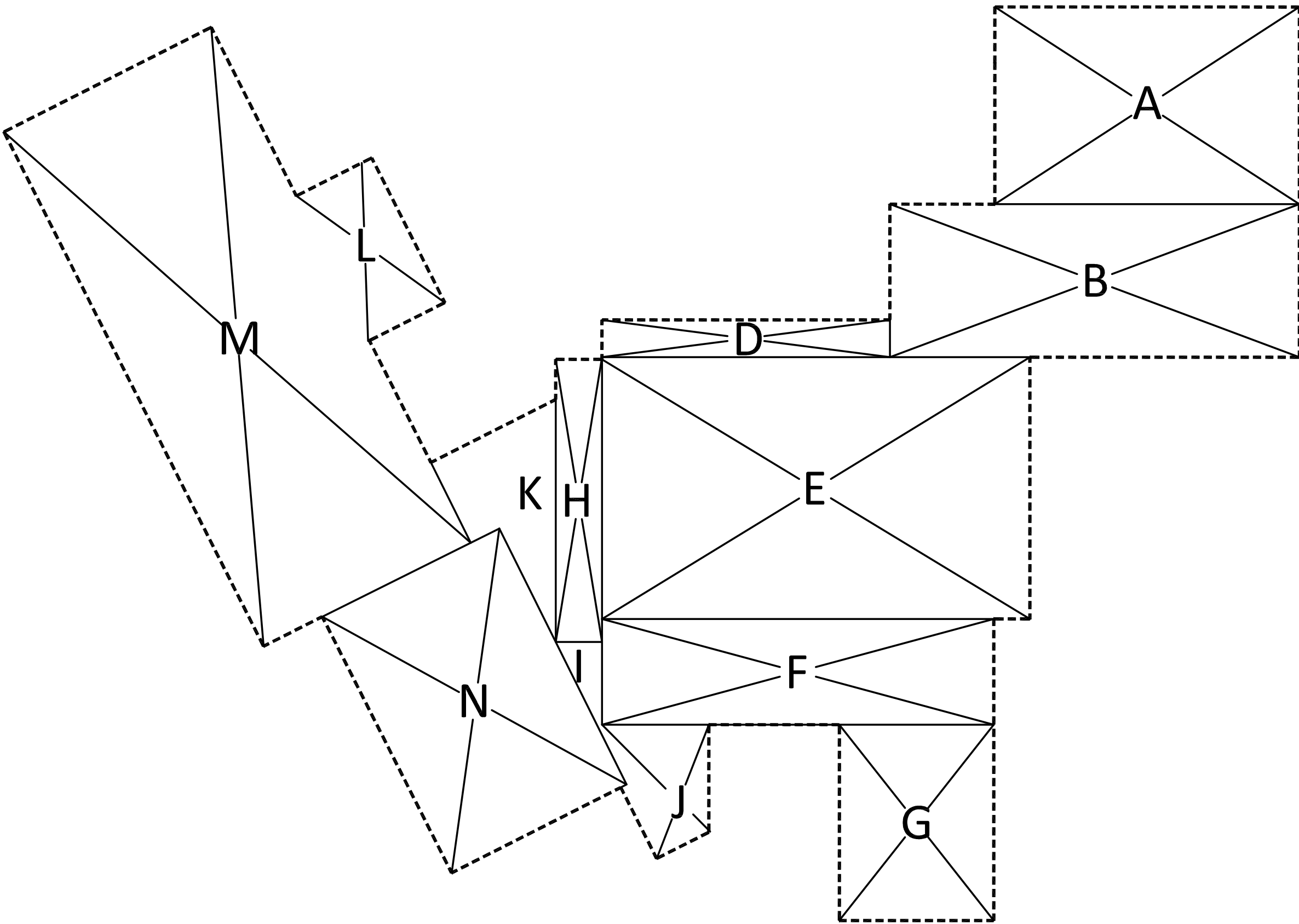


AUD:

GARAGE:

1ST FLOOR AREA CALCULATION DIAGRAM

1/8"=1'-0" 4,115.3 SF



BASEMENT AREA CALCULATION DIAGRAM

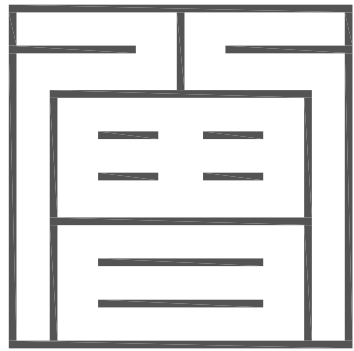
1/8"=1'-0"

FLOOR AREA AND COVERAGE CALCULATION

SECTION	DIMENTION	AREA
A	23'-2" X 15'-0"	347.50 S.F.
B	31'-2" X 11'-8"	363.60 S.F.
C	19'-10" X 10'-0"	198.33 S.F.
D	21'-11" X 2'-10"	62.10 S.F.
E	32'-7" X 19'-10"	646.24 S.F.
F	29'-10" X 8'-1"	241.15 S.F.
G	14'-11" X 11'-9"	175.27 S.F.
H	21'-6" X 3'-6"	75.25 S.F.
I	6'-4" X 3'-6" /2	11.08 S.F.
J	(8'-6" X 8'-2" +11'-2"x4'-5")/2	60.34 S.F.
K	18'-5" X 8'-3"/2	75.97 S.F.
1ST FLOOR:		2,256.8 S.F.
L	12'-4" X 6'-5"	79.14 S.F.
L1	6'-10" X 2'-7"	17.65 S.F.
M	43'-10" X 17'-8"	774.39 S.F.
N	21'-10" X 14'-11"	325.68 S.F.
ADU:		1,196.9 S.F.
O	19'-10" X 10'-6"	208.25 S.F.
O2	23'-3" X 20'-0"	465.00 S.F.
GARAGE:		673.3 S.F.
GROUND FLOOR TOTAL/ LOT COVERED AREA:		4,127.0 S.F.
FLOOR AREA TOTAL (NIC. ADU & GARAGE):		7,292.2 S.F.

SECTION	DIMENTION	AREA
P	25'-11" X 15'-3"	395.23 S.F.
Q	29'-0" X 13'-8"	396.33 S.F.
R	6'-10" X 3'-3"	22.21 S.F.
S	13'-8" X 6'-2"/2	42.14 S.F.
T1	2'-6" X 1'-3" /2	47.92 S.F.
T2	6'-1" X 3'-1"/2	9.38 S.F.
U	9'-5" X 6'-0"	56.5 S.F.
V	27'-7" X 17'-3"	465.75 S.F.
X	18'-11" X 14'-10"	280.60 S.F.
Y	14'-10" X 2'-6"	37.08 S.F.
Z	6'-1" X 4'-5"	26.87 S.F.
2ND FLOOR:		1,780.0 S.F.
A	23'-2" X 15'-0"	347.50 S.F.
B	31'-2" X 11'-8"	363.60 S.F.
D	21'-11" X 2'-10"	62.10 S.F.
E	32'-7" X 19'-10"	646.24 S.F.
F	29'-10" X 8'-1"	241.15 S.F.
G	14'-11" X 11'-9"	175.27 S.F.
H	21'-6" X 3'-6"	75.25 S.F.
I	6'-4" X 3'-6" /2	11.08 S.F.
J	(8'-6" X 8'-2" +11'-2"x4'-5")/2	60.34 S.F.
K	18'-5" X 8'-3"/2	75.97 S.F.
L	12'-4" X 6'-5"	79.14 S.F.
L1	6'-10" X 2'-7"	17.65 S.F.
M	43'-10" X 17'-8"	774.39 S.F.
N	21'-10" X 14'-11"	325.68 S.F.
BASEMENT FLOOR:		3,255.4 S.F.

TOTAL PROJECT BUILDING AREA	9,162.4 S.F.	
LIVABLE AREA (NIC. GARAGE)	2,256.8+1,780.0+3,255.4(BASEMENT) +1,196.9 (ADU) =	8,489.1 S.F.
LOT COVERED AREA		4,119.5 S.F.

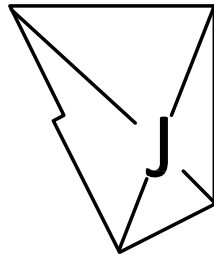


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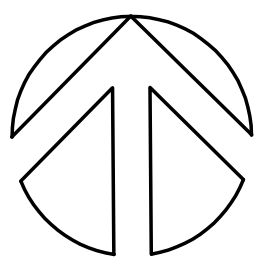
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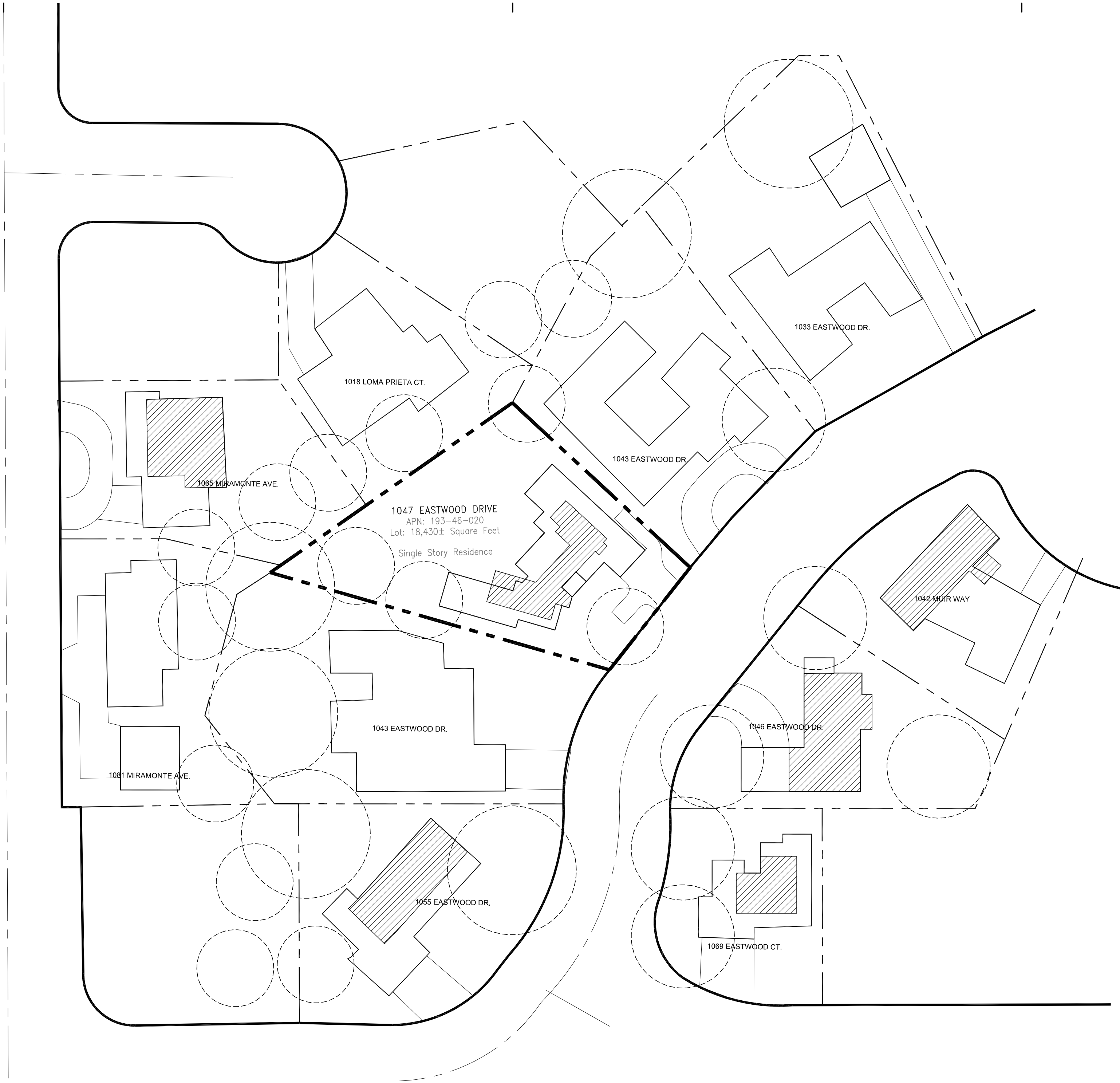
AREA CALCULATION

A1.1

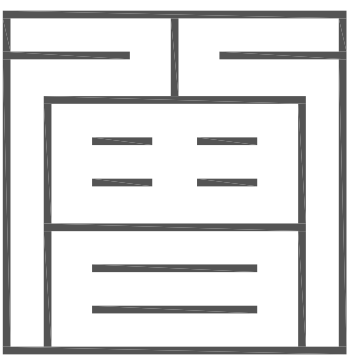


NEIGHBORHOOD CONTEXT MAP

1"=40'-0"



- SIGNIFICANT TREE
- TWO STORY
- ONE STORY
- DRIVE WAY



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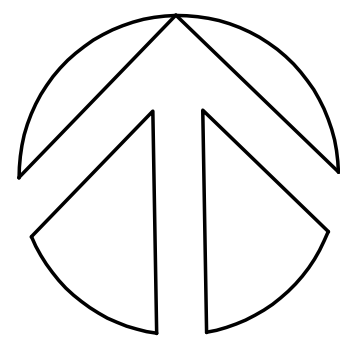
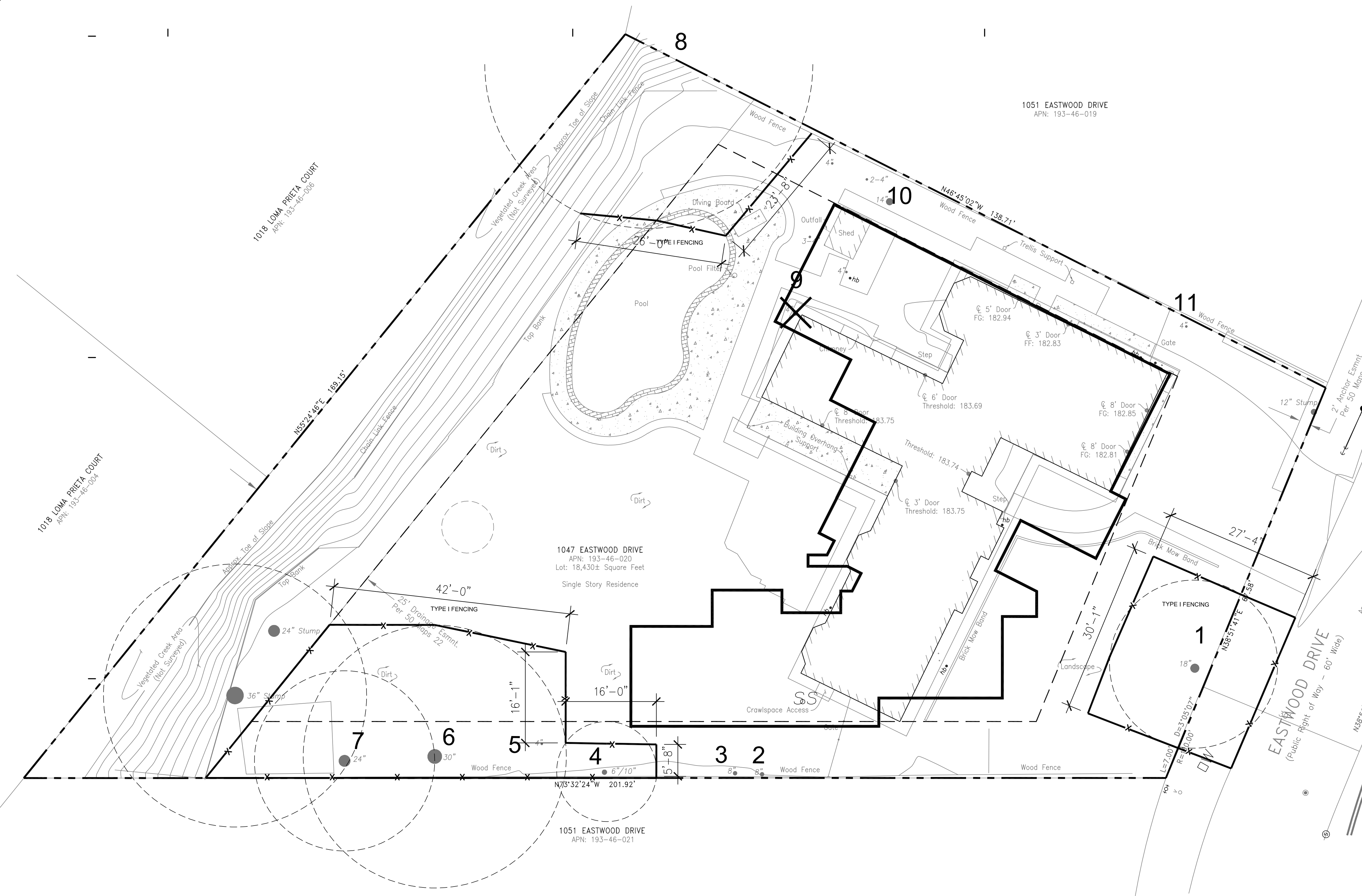
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NEIGHBORHOOD MAP



TREE PROTECTION PLAN

1"=10'-0"

NOTE: ALL TREE PROTECTION FENCING SHALL BE CHAIN LINK AND A MINIMUM OF FIVE FEET IN HEIGHT WITH POSTS DRIVEN INTO THE GROUND.

Advanced Tree Care

965 East San Carlos Ave, San Carlos

1047 Eastwood Dr., Los Altos
July 25, 2024

Tree Survey

Tree#	Species	DBH	Ht/Sp	Con Rating	Comments
1	Valley oak <i>Quercus lobata</i>	19.5"	45/30	60	Good health, fair condition, topped at 15' and resprousted, Regulated
2	Catalina cherry <i>Prunus lyonii</i>	8.0"	20/10	50	Good health, fair condition, leaning, Not Regulated
3	Holly oak <i>Quercus ilex</i>	8.9"	28/15	70	Good health and condition Not Regulated
4	Catalina cherry <i>Prunus lyonii</i>	6.0"/9.5"	28/15	60	Good health and condition, codominant at grade, Regulated
5	Catalina cherry <i>Prunus lyonii</i>	3.0"/2.1"/2.0"	20/10	50	Good health, poor condition, codominant at grade, Not Regulated
6	Coastal redwood <i>Sequoia sempervirens</i>	29.5"	80/15	40	Poor health and condition Regulated
7	Coastal redwood <i>Sequoia sempervirens</i>	21.2"	60/10	30	Poor health and condition Regulated
8	Coast live oak <i>Quercus agrifolia</i>	36"est	50/60	80	Good health and condition Regulated
9	Avocado <i>Persea Americana</i>	5.1"/3.8"/4.2"	20/10	50	Fair health and condition Not Regulated
10	Mexican fan palm <i>Washingtonia filifera</i>	14.8"	Trk Ht 6'	70	Good health and condition Not Regulated
11	Toyon <i>Heteromeles arbutifolia</i>	4.5"/4.8"/2.8"/2.1"/3.0"	12/10	60	Good health, fair condition Not Regulated

Summary:

There are 11 trees on this property with trunk diameters greater than 6 inches.

Tree #s 1, 4, 6, 7 and 8 are Regulated trees.

Tree # 1 is a native species in good health and fair condition that should be protected during construction.

Tree # 4 is mature tree in good health and condition that should be protected during construction.

Tree #s 6 and 7 are mature trees. Both trees are in poor health and condition. I recommend that these trees be removed. If they are to be retained, they should be protected during construction.

Tree # 8 is a native species in good health and condition that should be protected during construction.

3 | Page

Advanced Tree Care

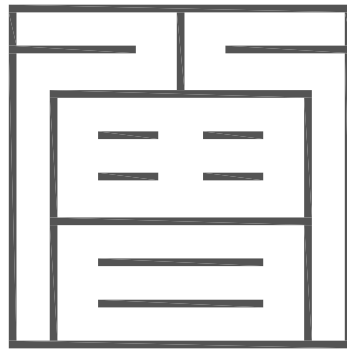
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Location of existing home, protected trees and their Tree Protection Zones

6 | Page



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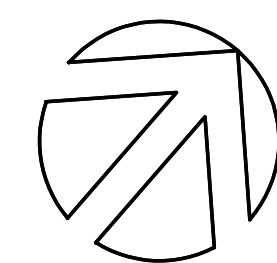
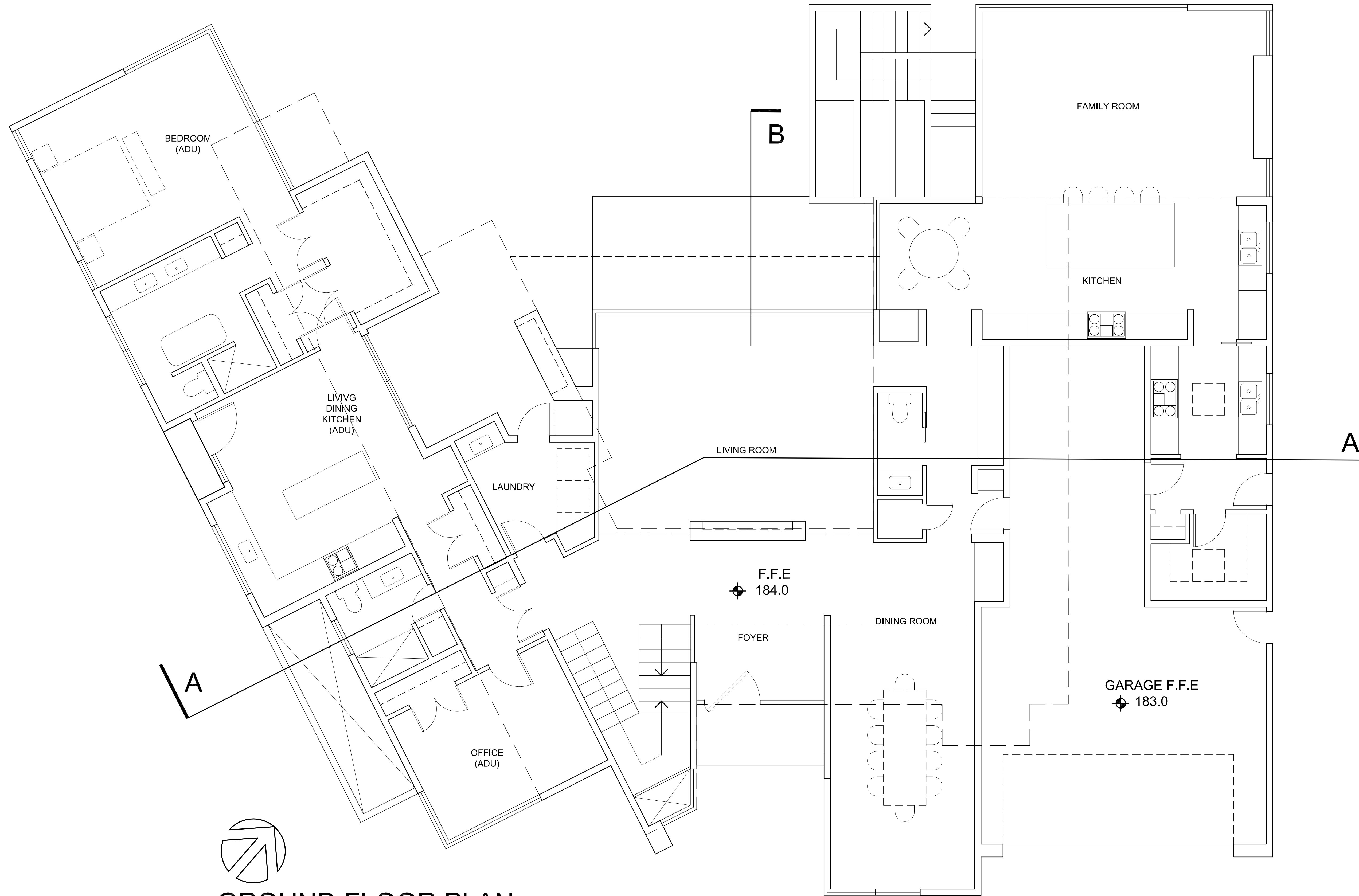
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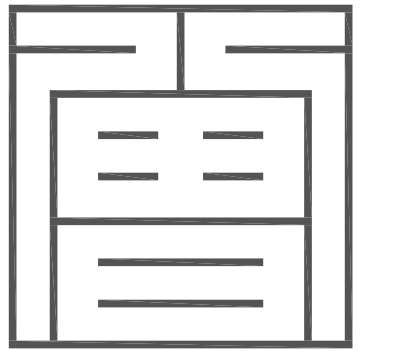
TREE PROTECTION PLAN

A1.3



GROUND FLOOR PLAN

1/4"=1'-0"



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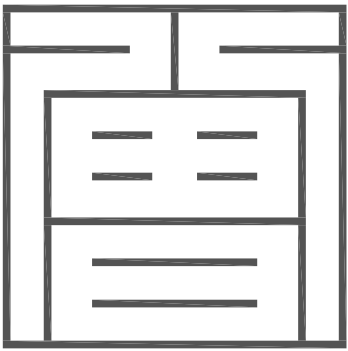
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FLOOR PLAN

A2.1

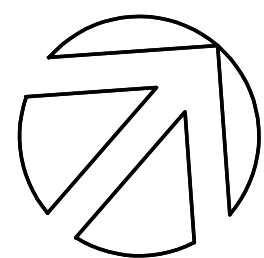
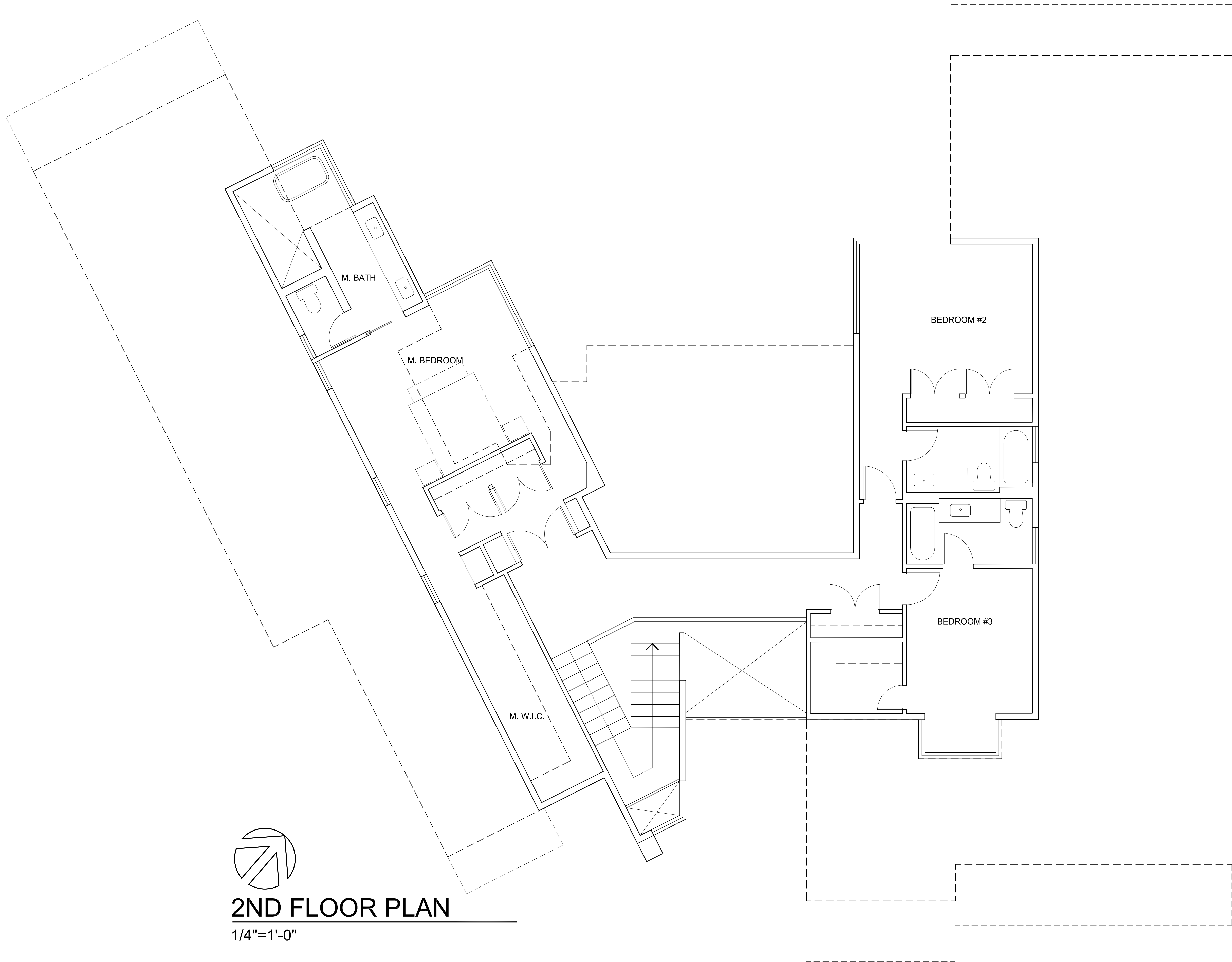


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2ND FLOOR PLAN

1/4"=1'-0"

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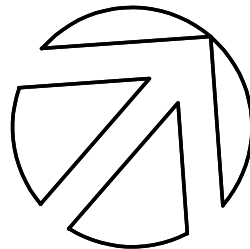
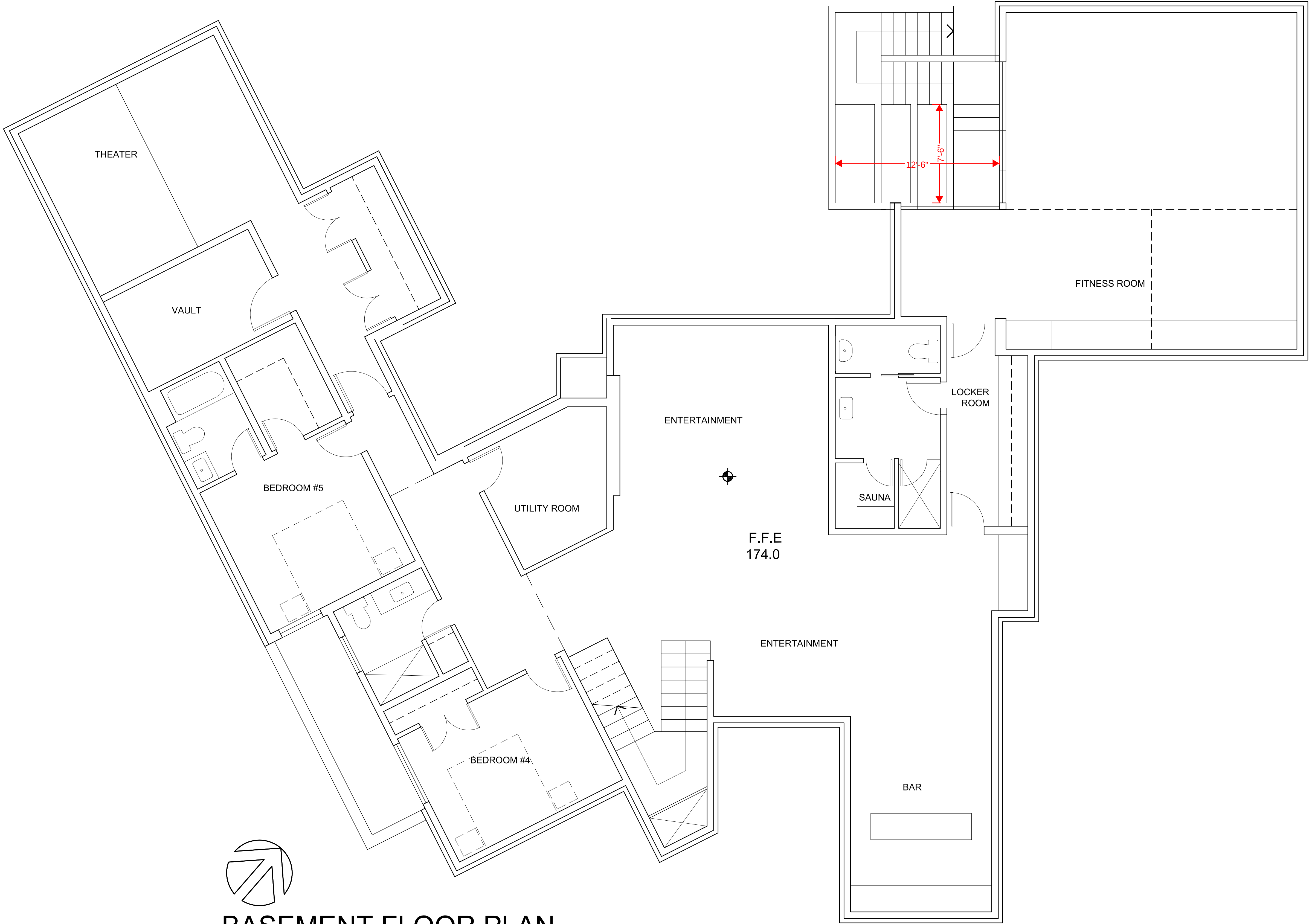
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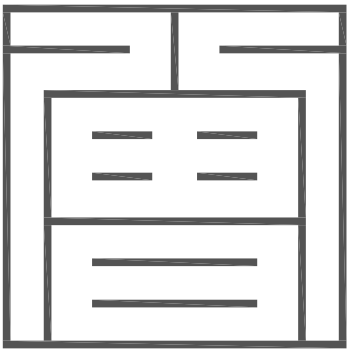
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FLOOR PLAN



BASEMENT FLOOR PLAN
1/4"=1'-0"



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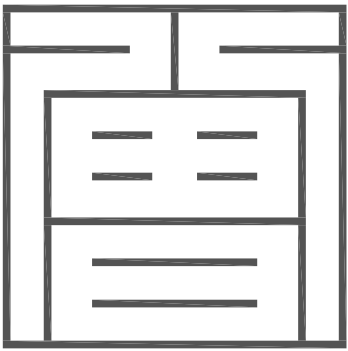
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BASEMENT PLAN



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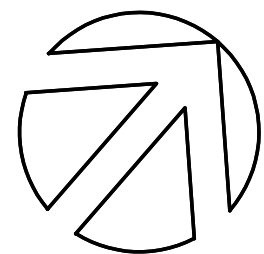
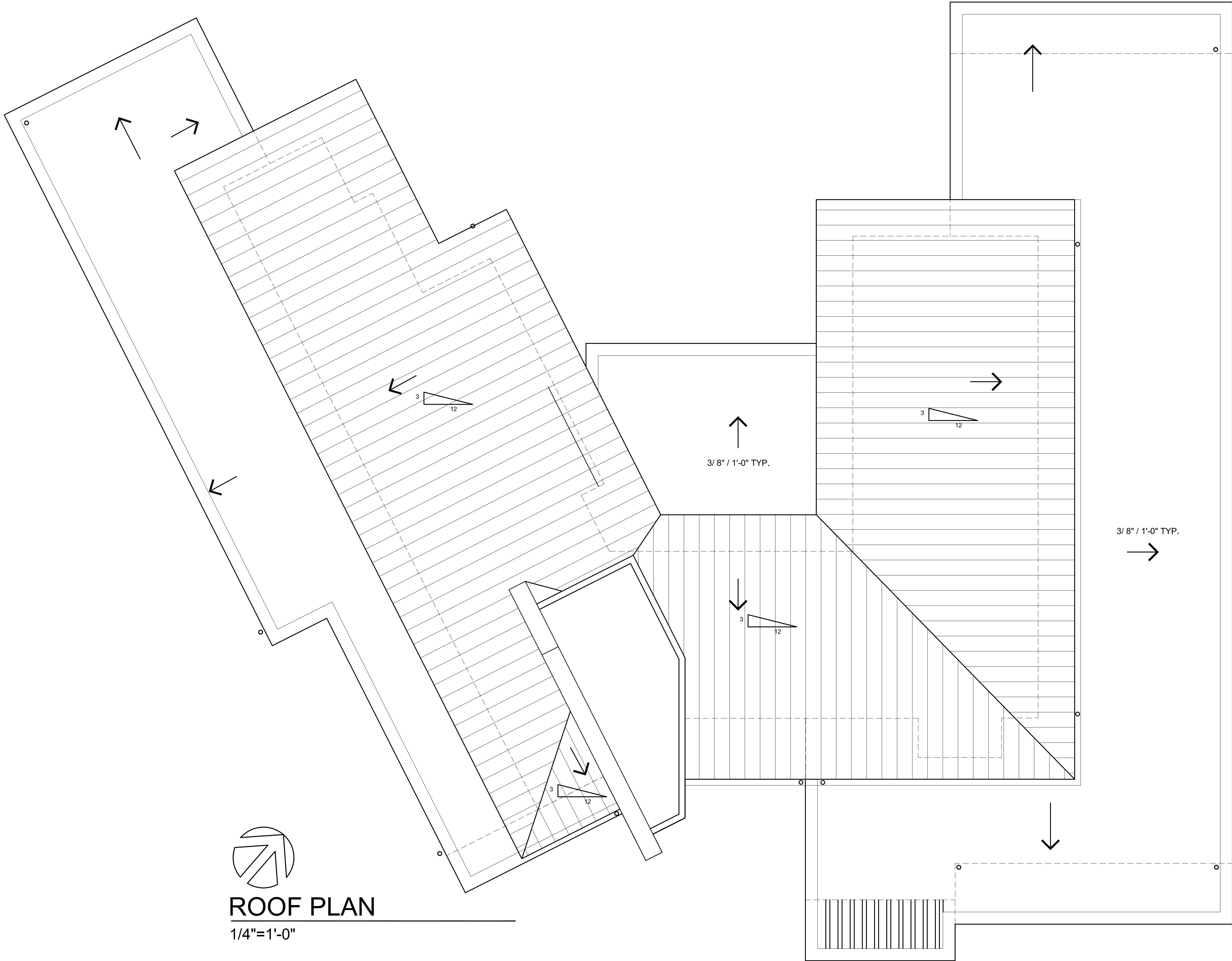
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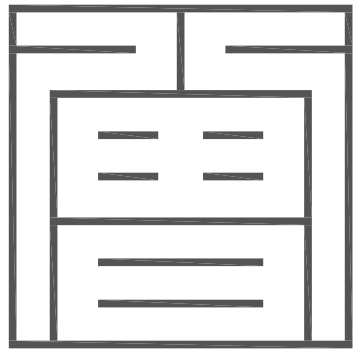
ROOF PLAN

A2.4



ROOF PLAN

1/4"=1'-0"

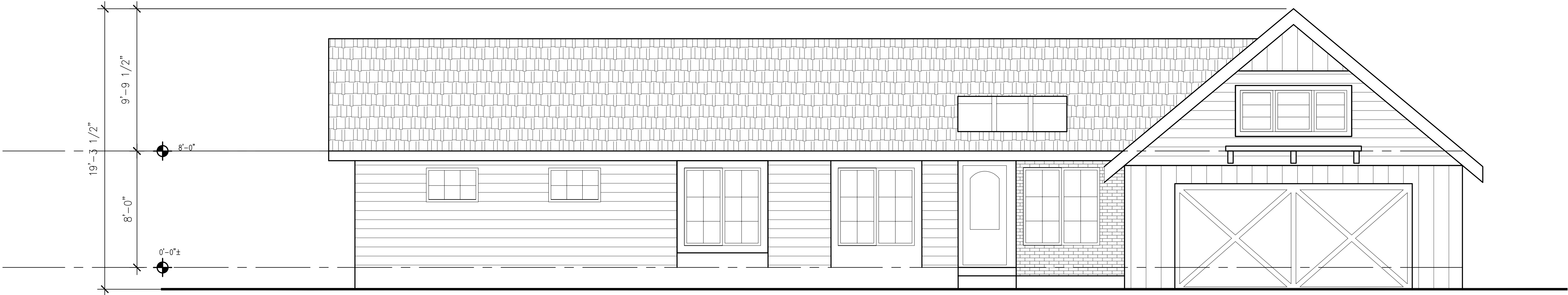


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EX. EAST (FRONT) ELEVATION
1/4"=1'-0"



EX. SOUTH ELEVATION
1/4"=1'-0"

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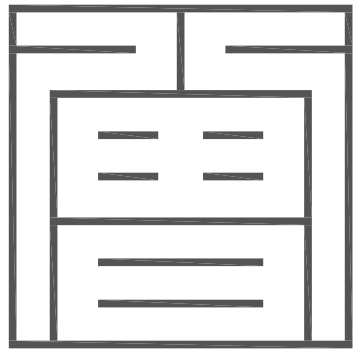
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EX. ELEVATIONS

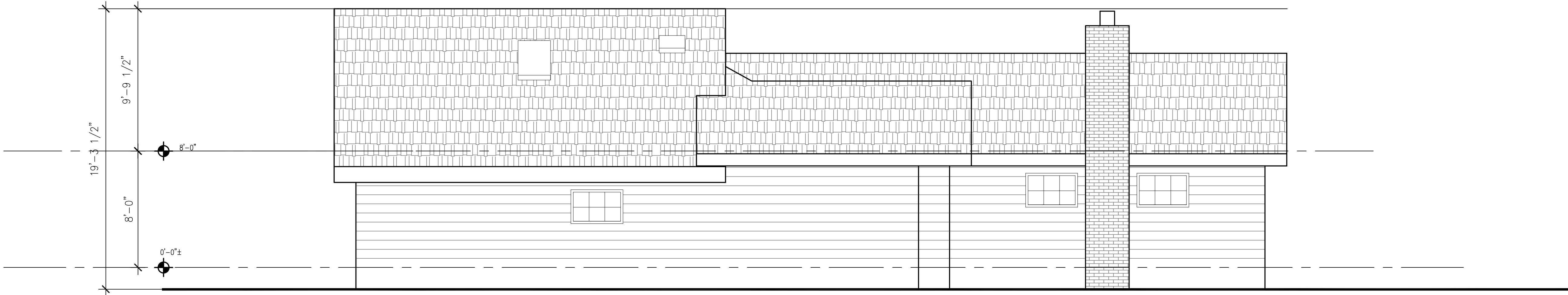


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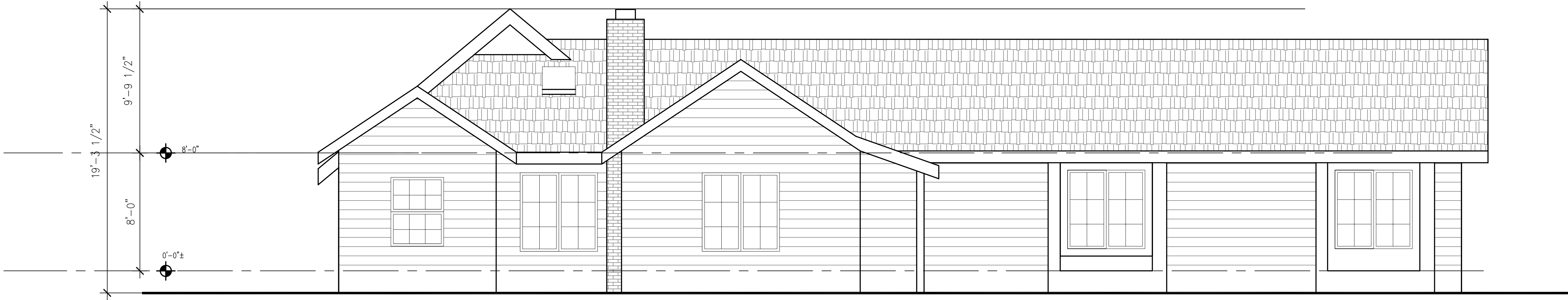
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EX. NORTH ELEVATION
1/4"=1'-0"



EX. WEST (REAL) ELEVATION
1/4"=1'-0"

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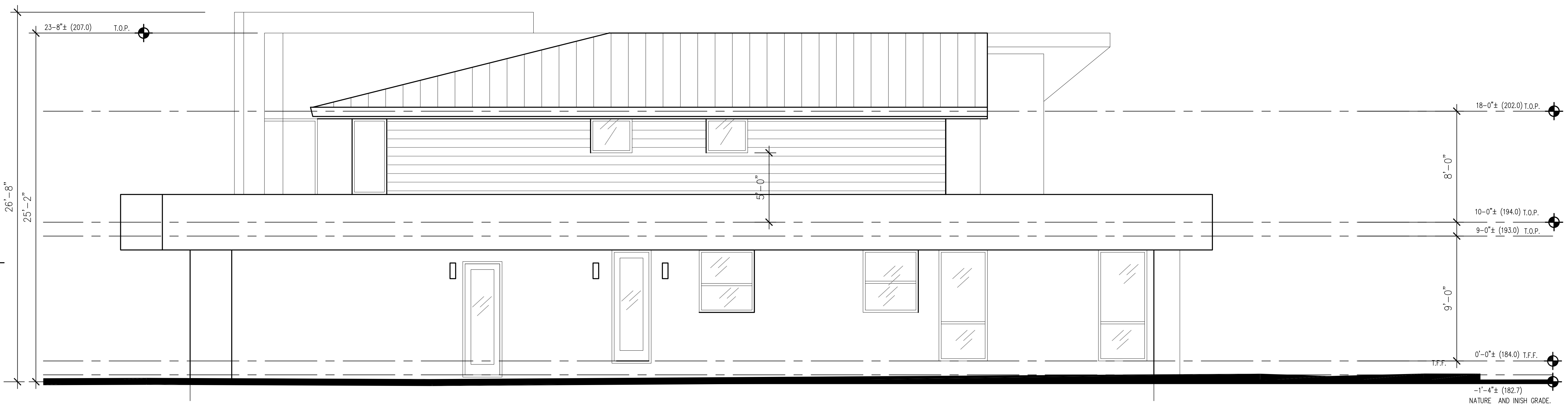
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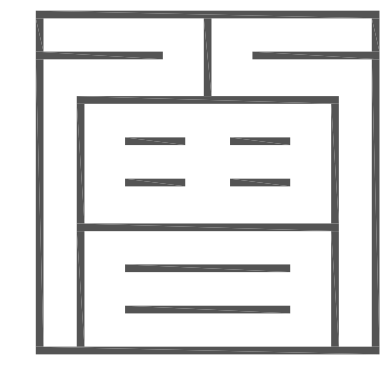
EX. ELEVATIONS



FRONT (EAST) ELEVATION
1/4"=1'-0"



RIGHT (NORTH) ELEVATION
1/4"=1'-0"



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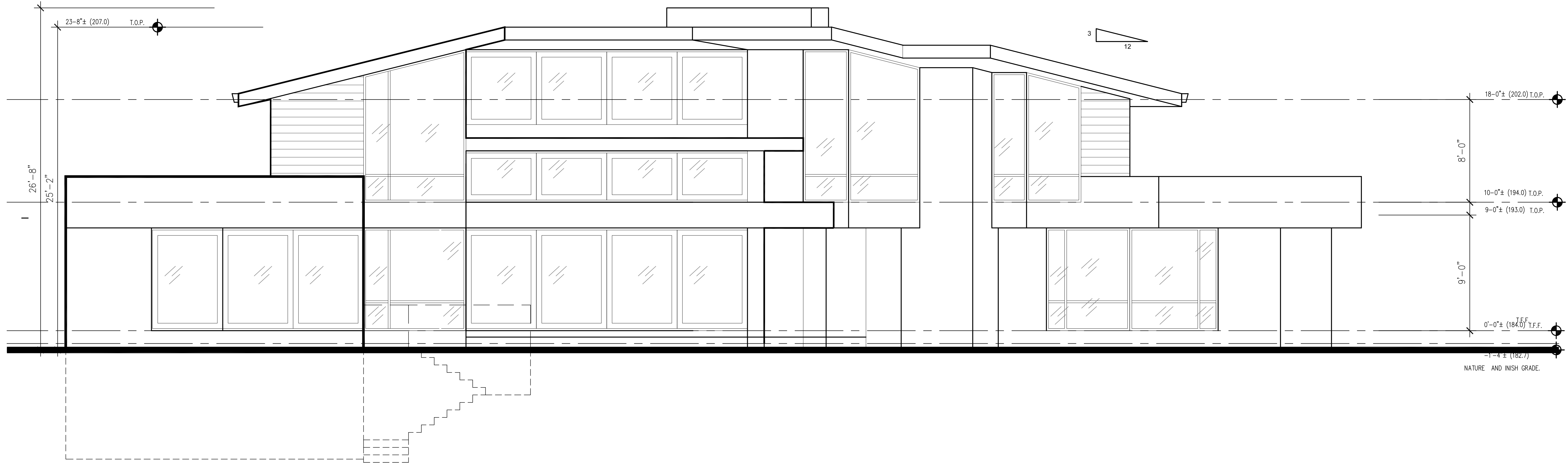
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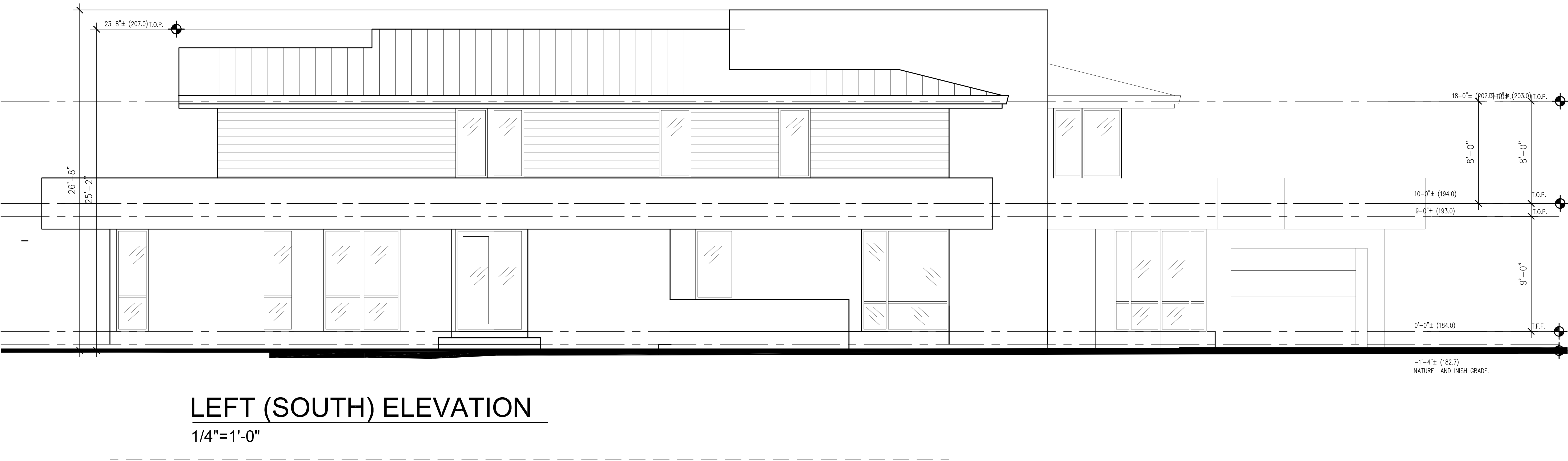
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ELEVATIONS

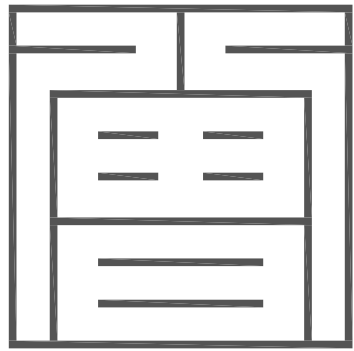
A3.1



REAR (WEST) ELEVATION
1/4"=1'-0"



LEFT (SOUTH) ELEVATION
1/4"=1'-0"



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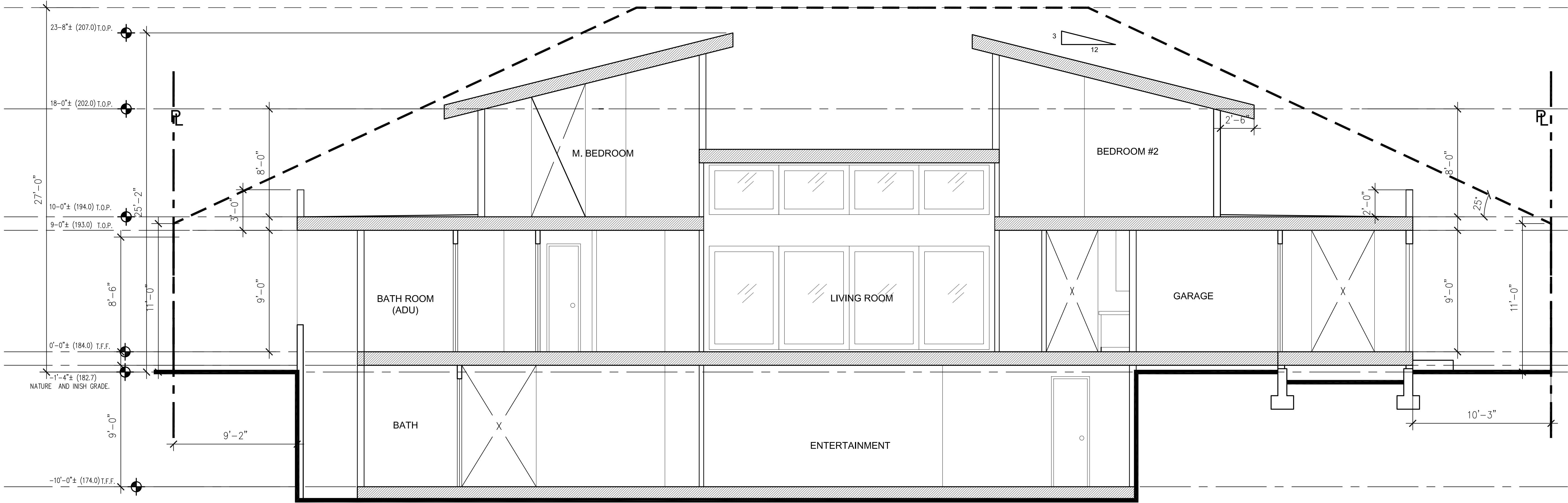
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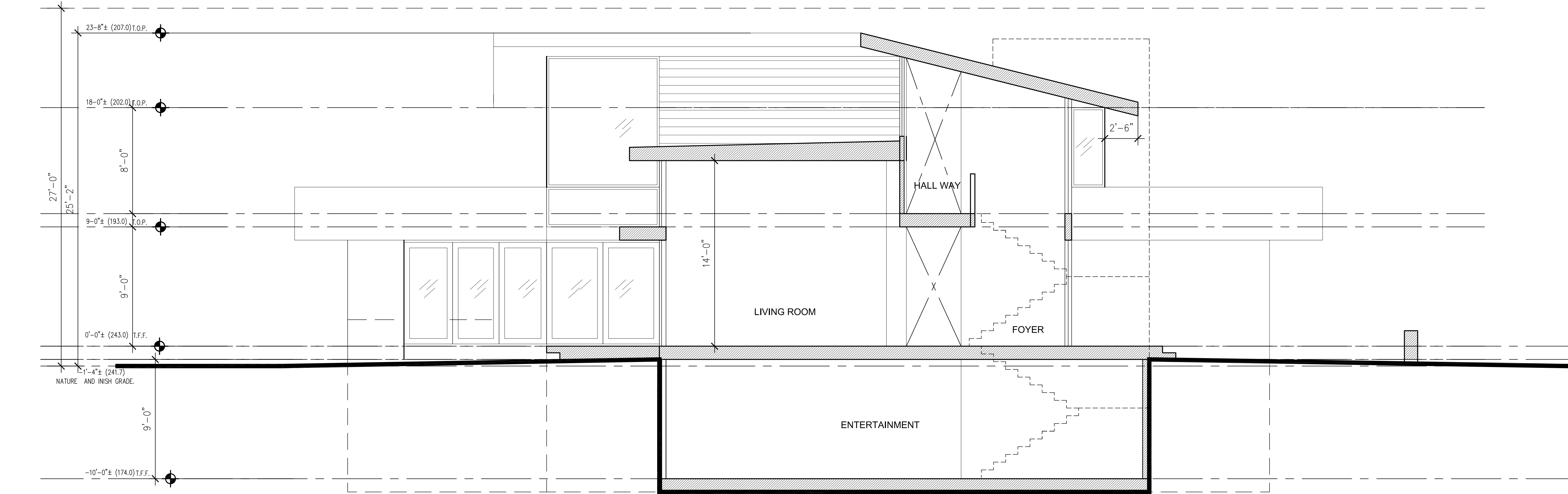
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Scale: 1/4"=1'-0"

ELEVATIONS

A3.2



A-A SECTION
1/4"=1'-0"



B-B SECTION
1/4"=1'-0"



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FRONT (STREET) ELEVATION



REAR (WEST) ELEVATION



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STANDING SEAM
METAL ROOFING
CHARCOAL GRAY COLOR



STUCCO WALL FINISH
PAINTED W/ KM 5759



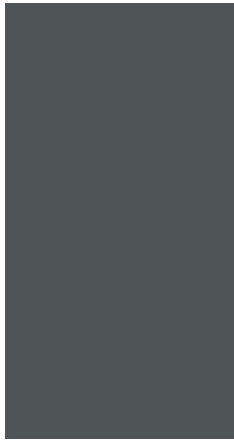
FIBERGLASS ENTRY DOOR



GLASS GARAGE DOOR
BRONZE ALUMINUM FRAME



MARVIN FIBERGLASS
Essential
WINDOW/ SLIDING DOOR
GUNMETAL COLOR



EAVE/ GUTTER
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ROMAN ANTIQUE COLOR