

REQUEST FOR QUALIFICATIONS (RFQ)
TOWN GREEN PROJECT PROFESSIONAL SERVICES



City of Loganville
4303 Lawrenceville Rd
Loganville, GA 30052

Release Date: **DATE HERE**

Deadline for Questions: **DATE HERE**

Response Deadline: **DATE HERE**

City of Loganville
Request for Qualifications (RFQ)

Town Green Project Professional Services

- I. Introduction
- II. Request for Qualifications
- III. Scope of Work
- IV. Submission Format
- V. Proposal Schedule
- VI. Proposal Evaluation Process

Appendix A

1. Boundary Survey
2. Architectural Site Plan for Proposed Library (for reference only)

I. Introduction

A. Summary

The City of Loganville requests proposals from qualified architects, landscape architects and/or Engineers registered in Georgia and other appropriate firms/individuals to provide a compelling and comprehensive design of the City's Town Green located at 200 Main Street, Loganville, GA 30052.

B. Background

Community Vision:

In early 2023, the City and a consultant worked with residents, neighbors, and business owners to understand community priorities to generate a vision for the Main Street District. This work will aid the chosen designer who can draw on the data from the design charette and are available for reference via the City's website. For digital viewing, links have been provided below:

- [Planning Presentation](#)
- [Concept Master Plan Rendering](#)

Site Details:

The site consists of two parcels with a total of 3.57 acres and located on the southeast side of Main Street in the Central Business Zoning District. The property is surrounded by Main Street on the northwest side, Church Street on the northeast side, Lucy Street on the southeast side, and Covington Street on the southwest side. The property is within a short walk to civic resources such as Loganville's City Hall, existing Loganville Town Green, and several other parks; cultural assets such as the Historic Rock Gym; several local churches; small businesses; and residential homes and apartments. More than a thousand people are employed in the immediate area and thousands more come to the City each week to visit shops, restaurants, churches, recreational facilities, professional and personal service establishments, and to conduct business at City and County buildings.

The property currently sits vacant with the remnants of an existing building foundation and associated parking area and remnants of several other driveways. **A portion of the property will be developed to include a new library building and associated parking. The library development and associated parking is not part of this project (Site Plan included for reference only).** Loganville has a once-in-a-lifetime opportunity to create a Town Green at the heart of its local economy and near the geographic center of the city. Unlike surrounding communities, Loganville's downtown area evolved over centuries without a central public green space. Loganville now has the good fortune to create a new vibrant public space that will foster community and economic vibrancy. The Loganville Town Green is a milestone public improvement project which will benefit residents and visitors for generations to come.

C. Contact Information:

Project Contact

Danny Roberts, City Manager
4303 Lawrenceville Rd
Loganville, GA 30052
Email: droboterts@loganville-ga.gov
Phone: 770-466-3184

II. Request for Qualifications

Project: Town Green Project Professional Services

Qualifications Deadline: **DATE TIME HERE**

A. General Information

Submissions will be received by the City of Loganville, Georgia at 4303 Lawrenceville Rd, Loganville, Georgia 30052. All interested parties must submit (2) printed, paper copies of their proposals and (1) digital copy (via USB drive) containing all information as outlined in "IV. Submission Format." Submissions will be accepted up to but not later than the published date and time.

B. Purpose

The purpose of this Request for Qualifications is to obtain information about consulting firms interested in providing professional services for the City of Loganville. The City will utilize the information provided in the response to evaluate each interested firm by utilizing the criteria as outlined in "VI. Evaluation Process".

C. Anticipated Project Schedule

The City expects work to begin on **TIME START HERE**. Project work is to be completed by **PROJECT END HERE** with anticipated construction completion by **CONSTRUCTION END HERE**.

D. Selection Consideration

In order to be selected for consideration, a firm shall be qualified and capable of delivering the following services identified for this project. If sub-consultants are used for any portion of the work, sub-consultants are to be identified. Any pertinent information related to the sub-consultant team should be provided.

III. Scope of Work

A. Proposed Improvements

Loganville Town Green is a proposed park and city center located on a portion of +/- 1.722 acres of property located on Loganville's Main Street. The space is to consist of an open lawn and the following programmed **facilities: LIST FACILITIES HERE**.

B. Professional Services Required:

- Preliminary/Concept Design
 - Preliminary Design to include a minimum of 3 meetings with the City to Review
 - The end of this phase is considered the 30% Design
- Site Survey (including Utility Locate)
- Site Visits & Meetings
- Detailed Design & Estimate of Probable Cost
 - Including: Site Preparation, Installation of Proposed Construction Elements, Site Furnishings/Equipment, Structures (if present,) and Annual Maintenance/Operating Cost (if applicable)
 - Submitted at each project Checkpoint, 30%/60%/90%

- Permitting, Plan Submittals & Review Process
 - Submissions to each regulating agency required to acquire the necessary permits for construction.
- Final (100%) Contract Documents
 - Submissions for Review will be Required at 30%/60%/90% Checkpoints
 - Review comments should be incorporated into each proceeding submission
 - Project Manual/Specifications will be included at 90% for Review
- Bidding Assistance (including Solicitation, Questions, and Answers)
 - Preparation of Contract Documents
 - Preparing/Distributing Addenda
 - Conducting a Pre-Bid Conference (if requested)
 - Review of Bids and recommendation of award
- Construction Administration (**assume 6 Months**)
 - The selected firm will serve as the City's Project Manager and be responsible for the general administration of the construction contract.
 - Minimum of (1) Site Visit per month during the lifetime of the project for construction oversight to ensure work is being performed in accordance with specifications.
 - Minimum (1) Monthly construction meeting with the Contractor, Project Manager, and the City. Additional meetings may be held as required by the City.
 - Approval of samples, schedules, shop drawings and other submissions by the Contractor
 - Review of all requests for changes, specification, or contracts
 - Minimum of (1) Monthly Report to the City, in writing, documenting the progress of construction
 - Conduct Substantial and Final Completion inspections, punch-lists, and reports
- Project Closeout

IV. Submission Format

A. Proposal Format

To facilitate the review of your Statement of Qualifications by the City of Loganville, please adhere to the following submission format.

B. Cover Letter

The cover letter should include: name of the RFQ to which the firm is responding, name of the firm, headquarters address, email address, telephone number. Please indicate an individual contact for the person responsible for the proposal. This letter is to be signed and provide a statement that the contents of the proposal shall be valid for ninety (90) days from the response deadline.

C. Qualifications & Experience of the Company

Brief history and organization of the company, the legal entity entering the contract, location of the office performing the work, name and title of the person authorized to enter into a master contract agreement (this person must be an owner/officer/partner or authorized member of the company.) List any sub-consultants which will be supporting your company. A narrative of the company's prior experience and qualifications pertaining to the Scope of

Work should be provided, including a list of projects completed by the company of a similar scope or nature.

D. Project Team

Provide a list of the project team that you propose to use. This list shall include project team members, including the office in which they are located, that you propose to use and identify each team member's responsibility and experience. A complete list of sub-consultant teams is not required, but the supervisor or project manager of the sub-consultant's team should be provided. Each identified person should include a brief resume outlining project experience on works with similar scope or nature, educational experience, and licensure/certifications.

E. Project Management and Approach

Outline project management methods, approach to the project, and quality control methods utilized by the firm. This section shall also include an organizational chart displaying all team members, including sub-consultant supervisors, and their roles and responsibility for the project.

F. Capacity & Project Schedule

Provide a statement of the company's current workload. Please include a project schedule in a GANTT style chart for the project, indicate specific time frames for each phase of the project between project start and completion of the scope of work.

G. Projects Completed with the City of Loganville

Provide a list of projects that the company has completed, or is currently working on, with the City of Loganville within the last seven (7) years. Please include the total construction cost, year completed (or status if currently in progress.) If you have no experience in the City of Loganville, please provide a list of similar projects and include the project's distance from the City of Loganville.

H. References

Provide the name, address, and telephone number of at least three (3) references familiar with the quality of work done by the company with a similar nature/scope to the proposed project. By submitting these references, you are authorizing the City of Loganville to contact these references. This list can be shortened to two (2) references if indicated that you have worked with the City of Loganville within the past (2) years.

I. Insurance Capacity

The submitting company shall be able to post the minimum, specified insurance requirements for this project as follows. Coverages must be maintained throughout the life of the contract, and any applicable warranty period.

- Professional Liability Insurance policy for errors, omissions or negligent acts arising out of the performance of this Agreement in a minimum amount of \$1,000,000.
- General Liability insurance, including property damage, bodily injury or death, and personal injury insurance against claims for damages because of bodily injury or death of any person or damage to property in a minimum amount of \$1,000,000 Per Occurrence.
- Workers' Compensation insurance at statutory limits, and Employers' Liability coverage at limits of at least \$500,000.

- Auto Liability insurance in a minimum amount of \$1,000,000 Combined Single Limit for bodily injury or property damage.

J. Proposal of Fees

Provide the total fees for completion of the scope of work. The engineering and design fees will be performed in a lump-sum approach as follows:

Phase	Name	Fee (\$)
Phase 1	Survey & Data Collection	\$
Phase 2	Design Development, Construction Documents, Permitting & Project Manual	\$
Phase 3	Bidding Assistance & Construction Administration	\$
		TOTAL:
		\$

V. Proposal Schedule

Advertise Request for Qualifications (RFQ): **DATE HERE**
 Deadline for Questions: **DATE HERE**
 RFQ Deadline: **DATE HERE**
 Anticipated Notice of Award (subject to change): **DATE HERE**

VI. Proposal Evaluation Process

Criteria	Percent (%)
Experience of Firm	25%
Project Staff	20%
Similar Experience	20%
References	15%
Price	20%
TOTAL:	
100%	

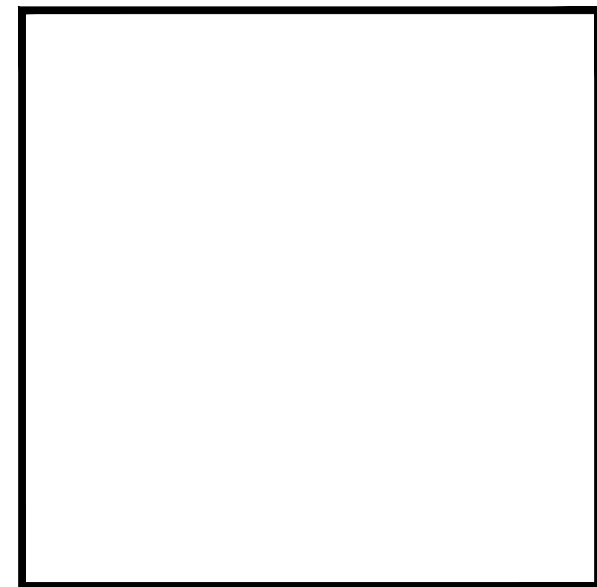
Attachment 1:

Location Map



Appendix A

DRAFT



OWNERS ACKNOWLEDGMENT AND DECLARATION

STATE OF GEORGIA, COUNTY OF WALTON, CITY OF LOGANVILLE
THE OWNER OF THE LAND SHOWN ON THIS PLAT AND WHOSE NAME IS SUBSCRIBED THEREON...

FINAL PLAT APPROVAL

THE DIRECTOR OF THE DEPARTMENT OF PLANNING AND DEVELOPMENT OF THE CITY OF LOGANVILLE, GEORGIA, CERTIFIES THAT THIS PLAT COMPLIES WITH THE CITY OF LOGANVILLE ZONING ORDINANCE...

CITY OF LOGANVILLE NOTES

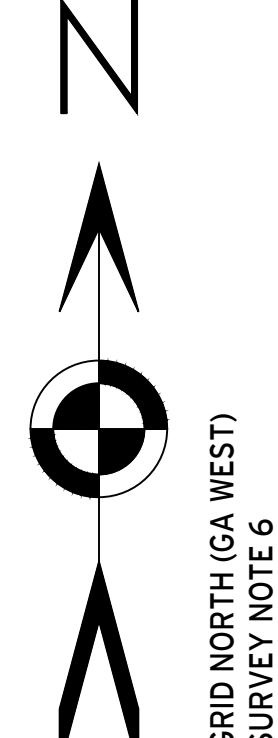
-THE CITY OF LOGANVILLE ASSUMES NO RESPONSIBILITY FOR OVERFLOW OR EROSION OF NATURAL OR ARTIFICIAL DRAINS BEYOND THE EXTENT OF THE STREET RIGHT-OF-WAY...

ZONING

ZONING FOR THIS PROPERTY IS CURRENTLY CLASSIFIED AS "R-16" SINGLE-FAMILY URBAN RESIDENTIAL DISTRICT...



VICINITY MAP

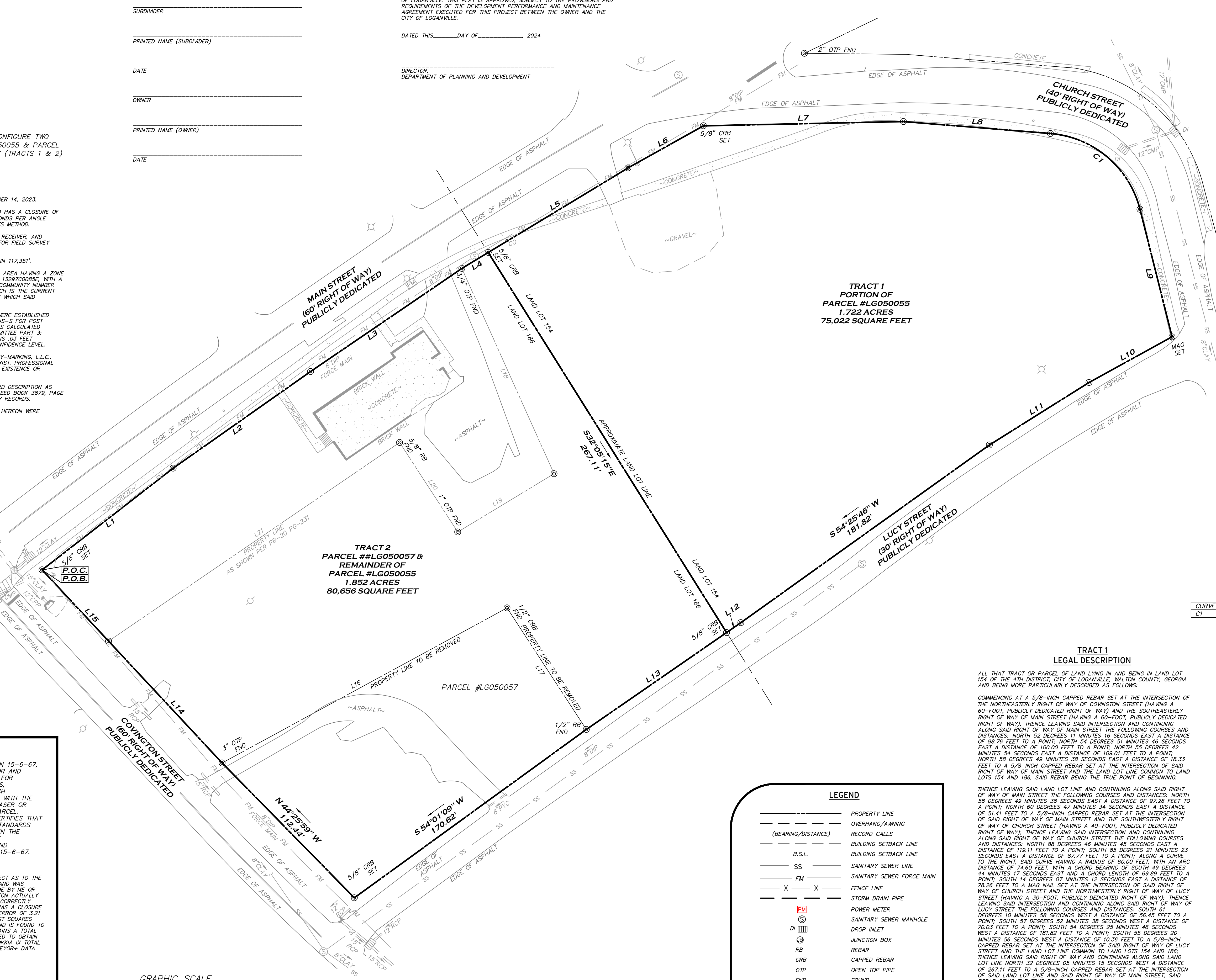


SCOPE OF WORK

THE PURPOSE OF THIS PROJECT IS TO RECONFIGURE TWO ALREADY EXISTING PARCELS (PARCEL #LG050055 & PARCEL #LG050057) INTO TWO RESULTANT PARCELS (TRACTS 1 & 2)

SURVEY NOTES

- 1) PROPERTY SHOWN HEREON WAS SURVEYED DECEMBER 14, 2023.
2) THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE OF 1" IN 39,642' WITH AN ANGULAR ERROR OF 3.21 SECONDS PER ANGLE POINT...



TRACT 1
PORTION OF
PARCEL #LG050055
1.722 ACRES
75,022 SQUARE FEET

TRACT 2
PARCEL #LG050057 &
REMAINDER OF
PARCEL #LG050055
1.852 ACRES
80,656 SQUARE FEET

LINE TABLE with columns: LINE, BEARING, DISTANCE. Lists lines L1 through L21 with their respective bearings and distances.

CURVE TABLE with columns: CURVE, RADIUS, ARC LENGTH, CHORD LENGTH, CHORD BEARING. Lists curve C1 with its characteristics.

TRACT 1 LEGAL DESCRIPTION

ALL THAT TRACT OR PARCEL OF LAND LYING IN AND BEING IN LAND LOT 154 OF THE 4TH DISTRICT, CITY OF LOGANVILLE, WALTON COUNTY, GEORGIA AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCING AT A 5/8-INCH CAPPED REBAR SET AT THE INTERSECTION OF THE NORTHEASTERLY RIGHT OF WAY OF COVINGTON STREET...

TRACT 2 LEGAL DESCRIPTION

ALL THAT TRACT OR PARCEL OF LAND LYING IN AND BEING IN LAND LOT 186 OF THE 4TH DISTRICT, CITY OF LOGANVILLE, WALTON COUNTY, GEORGIA AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCING AT A 5/8-INCH CAPPED REBAR SET AT THE INTERSECTION OF THE NORTHEASTERLY RIGHT OF WAY OF COVINGTON STREET...

LEGEND table listing symbols for Property Line, Record Calls, Building Setback Line, B.S.L., Sanitary Sewer Line, Sanitary Sewer Force Main, Fence Line, Storm Drain Pipe, Power Meter, Sanitary Sewer Manhole, Drop Inlet, Junction Box, Rebar, Capped Rebar, Open Top Pipe, Found, Light Pole, Signal Pole, Sign.

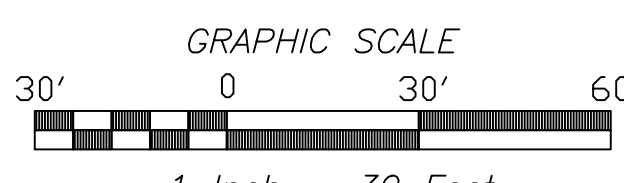


EXHIBIT "B"

SURVEYOR'S CERTIFICATION

AS REQUIRED BY SUBSECTION (D) OF O.C.G.A. SECTION 15-6-67, THIS PLAT HAS BEEN PREPARED BY A LAND SURVEYOR AND APPROVED BY ALL APPLICABLE LOCAL JURISDICTIONS FOR RECORDING AS EVIDENCED BY APPROVAL CERTIFICATES...

FINAL SURVEYOR'S CERTIFICATE

IT IS HEREBY CERTIFIED THAT THIS PLAT IS TRUE AND CORRECT AS TO THE PROPERTY LINES AND ALL IMPROVEMENTS SHOWN THEREON, AND WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE BY ME OR UNDER MY SUPERVISION...

PRELIMINARY
REGISTERED GEORGIA LAND SURVEYOR
ADAM THOMAS BRATTON
REGISTERED GEORGIA LAND SURVEYOR NO. 3489
DATE OF EXPIRATION: DECEMBER 31, 2024

Professional Land Surveyors information including contact details for O'Kelly Memorial Library Board of Trustees and Azalea Regional Library System, and Professional Land Surveyors logo and contact info.

AZALEA REGIONAL LIBRARY SYSTEM
O'KELLY MEMORIAL LIBRARY
LOGANVILLE, GEORGIA

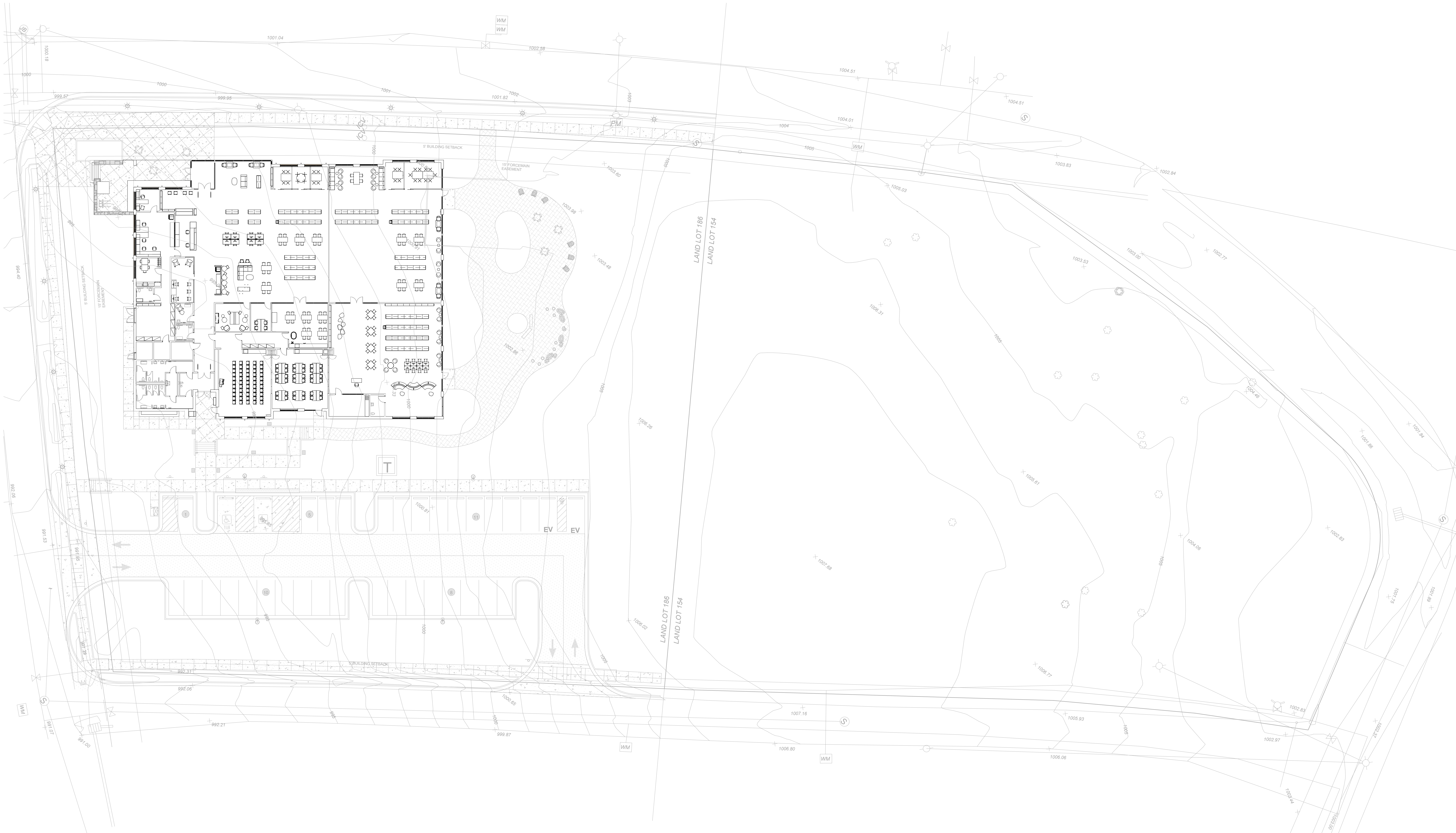
ISSUE DATE:	2024.08.27	
PHASE:	SCHEMATIC DESIGN	
SHEET ISSUE:		
NO.	DATE	DESCRIPTION

PRINCIPAL IN CHARGE: DRM
PROJECT ARCHITECT: AMG
DRAWN BY: KW

SHEET TITLE:
PHASE 2 SITE PLAN

SHEET NO. PROJ. NO.
025432

A010



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